



AGENDA

REGULAR MEETING OF
THE PLANNING COMMISSION
SEPTEMBER 02, 2021 AT 6:00
PM
MEETING VIRTUALLY

SPECIAL PROCEDURES FOR VIRTUAL ATTENDANCE AND PUBLIC COMMENT:

In response to the State's declaration of a Public Health Emergency, the Mayor's Proclamation of Emergency, the ban on public gatherings of more than five (5) people, and the need to incorporate technology and practices to re-institute in-person meeting consistent with the limitations established by the Order, the Planning Commission meeting will be conducted virtually using Zoom.

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Attending on Zoom: Members of the public may attend the Zoom meeting on a computer, mobile device, or phone. The video conference link and teleconference number will be posted at <https://santafe.primegov.com/public/portal> at least seventy-two (72) hours before the meeting.. The direct Zoom link is: <https://us02web.zoom.us/j/88934452321?pwd=Ync5eE1ia0ExcUQ4eXF5em5ZZW5Fdz09> and use password: **786484**.

Attending Zoom by Phone: Members of the public can attend the Zoom meeting by phone by dialing:
US: **(253) 215-8782** or **(346) 248-7799** or **(929) 205-6099**
Webinar ID: 810 0507 2259.

Public Comment:

- By video: A person attending the Zoom meeting by video conference (using a computer, mobile device, or smart phone) may provide public comment during the meeting. Attendees should use the "Raise Hand" function to be recognized by the chair to speak at the appropriate time.



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• By phone: A person attending the Zoom meeting by phone may provide public comment during the meeting. Phone attendees should press *9 to use the “Raise Hand” function to be recognized at the appropriate time.

• In writing: A person may submit written public comments by 5pm the Monday prior to the meeting via the virtual comment “button” at

<https://santafe.primegov.com/public/portal>.

A. ROLL CALL

B. PLEDGE OF ALLEGIANCE

C. APPROVAL OF AGENDA

D. APPROVAL OF MINUTES:

1. August 19, 2021

E. APPROVAL OF FINDINGS/CONCLUSIONS

F. OLD BUSINESS

1. CONSIDERATION OF BILL NO. 2021-__.

An Ordinance Amending the Land Development Code, Chapter 14 FCC 1987, to Address Zoning Issues Related to Cannabis; Amending Table 14-6.1-1, Table of Permitted Uses, to Clarify Zoning Districts for Various Types of Cannabis Establishments, and to Adopt Operating Times, Density Limitations, and a Minimum Distance Between Cannabis Retail Establishments and Schools or Daycare Centers; Amending Subsection 14-6.2(H), Agricultural Uses, to Address Cannabis Production; Adding a New Subsection 14-6.2(I) to Adopt Use-Specific Standards for Cannabis Establishments, Including Operating Times, Density Limitations, and a Minimum Distance Between Cannabis Retail Establishments and Schools or Daycare Centers; Amending Subsection 14-6.3(B)(2) to Prohibit Commercial Cannabis Establishments as Accessory Uses or Structures on Residentially Zoned Property; Amending Subsection 14-6.3(D)(2) to Prohibit the Conduct of a Cannabis Establishment as a Home Occupation; Amending Section 14-12.1 to Add Definitions for Various Types of Cannabis Establishments; Establishing an Effective Date; and Making Such Other



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Changes as are Necessary to Carry Out the Purpose of this Ordinance.
(Andrea Salazar, Assistant City Attorney: asalazar@santafenm.gov, 955-6303; Noah Berke, Current Planning Manager: nlberke@santafenm.gov, 955-6647) **(POSTPONED FROM AUGUST 19, 2021)**

Committee Review:

Planning Commission: 08/19/21

Planning Commission: 09/02/21

Public Works and Utilities Committee: 09/07/21

Economic Development Advisory Committee: 09/08/21

Governing Body (request to publish): 09/08/21

Quality of Life Committee: 09/15/21

Finance Committee: 09/20/21

Governing Body (public hearing): 09/29/21

2. **Case #2021-3818. Tierra Contenta Master Plan Amendment #1 for Phase 3A.** JenkinsGavin, Inc., Agent, for Tierra Contenta Corporation, Owner, requests Master Plan Amendment for Phase 3A. The Amendment, which includes modifications to infrastructure, parks, trails, land uses, and density. The property is an undeveloped tract of land located southwest of Capital High School, containing approximately 222.84 acres, and is zoned PRC (Planned Residential Community. (Dan Esquibel, daesquibel@santafenm.gov, 955-6587) **(POSTPONED FROM AUGUST 19, 2021)**

G. NEW BUSINESS

1. **Case #2021-3811. Villas de Las Soleras Unit 3 Master Plan Amendment.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of an Amendment to the Las Soleras Master Plan to request a rezoning for Tract 13 from R-6 (Residential- six dwelling units per acre) to R-10 (Residential- ten dwelling units per acre) for approximately 6.8 acres at 4601 Rail Runner Road. The property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136). **(POSTPONED FROM AUGUST 19, 2021)**



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2. **Case #2021-3814. Villas de Las Soleras Unit 3 General Plan Amendment.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of a General Plan Amendment to amend the existing General Plan Future Land Use classification for approximately 6.8 acres from Low Density Residential (3 to 7 dwelling units per acre) to Medium Density Residential (7 to 12 dwelling units per acre) at 4601 Rail Runner Road. The property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136). **(POSTPONED FROM AUGUST 19, 2021)**
3. **Case #2021-3815. Villas de Las Soleras Unit 3 Rezoning.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests a rezoning from R-6 (Residential- six dwelling unit per acre) to R-10 (Residential- ten dwelling unit per acre) for a property located at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136). **(POSTPONED FROM AUGUST 19, 2021)**
4. **Case #2021-3816. Villas de Las Soleras Unit 3 Preliminary Development Plan.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests preliminary development plan approval for a 44-lot single-family home subdivision at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136). **(POSTPONED FROM AUGUST 19, 2021)**
5. **Case #2021-3817. Villas de Las Soleras Unit 3 Preliminary Subdivision.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of a preliminary subdivision plat for 44 single-family residential lots located at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136). **(POSTPONED FROM AUGUST 19, 2021)**



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6. **Case #2021-3976. 123 and 135 Grant Avenue Development Plan.** Lorn Tryk Architects, Agent, for 123-135 Grant LLC (on behalf of the Georgia O'Keeffe Museum), Owner, request development plan approval to construct a 54,100 square foot structure for use as a museum. The properties are located at 123 Grant Avenue (consisting of approximately 1.2174 acres) and 135 Grant Avenue (consisting of approximately 0.7670 acres). The project site is zoned BCDMAR (Business Capitol District - Marcy Subdistrict) and within the Historic Downtown Archeological District and Downtown and East Side Historic District. (Dan Esquibel, Case Manager, daesquibel@santafenm.gov 505-955-6587). **(POSTPONED FROM SEPTEMBER 2, 2021)**

7. **Case #2021-3977. 123 and 135 Grant Avenue Variance to Subsection 14-8.6(C)(2)(b).** Lorn Tryk Architects, Agent, for 123-135 Grant LLC (on behalf of the Georgia O'Keeffe Museum), Owner, request variance to Subsection 14-8.6(C)(2)(b) to allow off site parking greater than 600 feet from the closest property line. The properties are located at 123 Grant Avenue (consisting of approximately 1.2174 acres) and 135 Grant Avenue (consisting of approximately 0.7670 acres). The project site is zoned BCDMAR (Business Capitol District - Marcy Subdistrict) and within the Historic Downtown Archeological District and Downtown and East Side Historic District. (Dan Esquibel, Case Manager, daesquibel@santafenm.gov, 505-955-6587). **(POSTPONED FROM SEPTEMBER 2, 2021)**

8. **Case #2021-3978. 123 and 135 Grant Avenue Variance to Exhibit A - Table 14-8.6-1.** Lorn Tryk Architects, Agent, for 123-135 Grant LLC (on behalf of the Georgia O'Keeffe Museum), Owner, request variance to Table 14-8.6-1 "Parking and Loading Requirements" to allow 93 parking spaces where 119 parking spaces are required. The properties are located at 123 Grant Avenue (consisting of approximately 1.2174 acres) and 135 Grant Avenue (consisting of approximately 0.7670 acres). The project site is zoned BCDMAR (Business Capitol District - Marcy Subdistrict) and within the Historic Downtown Archeological District and Downtown and East Side Historic District. (Dan Esquibel, Case Manager, daesquibel@santafenm.gov 505-955-6587). **(POSTPONED FROM SEPTEMBER 2, 2021)**



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9. **Case #2021-3802. 697 Gonzales Road Variance to Subsection 14-8.2(D)(3)(b).** Sommer Karnes & Associates, LLP, Agent for Ramirez Investment Company, LLC, Owner, requests approval of a variance to grading standards related to permissible building slope within SFCC Subsection 14-8.2(D)(3)(b) *Topography*, which states “at least one-half of the area designated as suitable for building and at least one-half of any **building** footprint shall have a natural **slope** of less than twenty percent; the remainder of the area or **building** footprint may have a natural **slope** of twenty percent or greater, but less than thirty percent. The property is zoned R-1 (1 dwelling unit per acre), is partially within the Escarpment Overlay, and is approximately 1.36 acre in size. (John Neunuebel, Case Manager, [jcneunuebel @santafenm.gov](mailto:jcneunuebel@santafenm.gov) 955-6656)

10. **Case #2021-3803. 697 Gonzales Road Variance to Subsection 14-8.2(D)(3)(d).** Sommer Karnes & Associates, LLP, Agent for Ramirez Investment Company, LLC, Owner, requests approval of variance(s) to grading standards related to permissible building slope within SFCC Subsection SFCC 14-8.2(D)(3)(d). *Topography*, which states “A structure shall not be built on a natural slope of thirty percent or greater.” The property is zoned R-1 (1 dwelling unit per acre), is partially within the Escarpment Overlay, and is approximately 1.36 acre in size. (John Neunuebel, Case Manager, [jcneunuebel @santafenm.gov](mailto:jcneunuebel@santafenm.gov) 955-6656)

H. STAFF COMMUNICATIONS

I. MATTERS FROM THE COMMISSION

J. ADJOURNMENT

Persons with disabilities in need of accommodations, contact the City Clerk’s office at 955-6521, five (5) working days prior to meeting date.

**SUMMARY INDEX
PLANNING COMMISSION MINUTES
AUGUST 19, 2021**

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MINUTES OF THE CITY OF SANTA FE PLANNING COMMISSION
Thursday, August 19, 2021 - 6:00 pm
VIRTUAL HEARING

CALL TO ORDER

A regular meeting of the City of Santa Fe Planning Commission was called to order by Vice Chair Hogan on the above date at approximately 6:00 p.m. at a virtual meeting.

A. ROLL CALL

Roll Call indicated the presence of a quorum for the meeting.

Members Present

Commissioner Brian Patrick Gutierrez, Chair (arrived at 6:50 p.m.)
Commissioner Mark Hogan, Vice Chair
Commissioner Janet Clow, Secretary
Commissioner Pilar Faulkner
Commissioner Jessica Lawrence
Commissioner Lee Garcia
Commissioner Dominic Sategna

Members Absent

Two vacancies

Others Present:

Mr. Jason Kluck, Interim Land Use Director
Mr. Noah Berke, Planning Manager
Mr. Kyle Hibner, Assistant City Attorney
Ms. Patricia Feghali, Assistant City Attorney
Ms. Andrea Salazar, Assistant City Attorney
Mr. Dan Esquibel, Senior Planner
Ms. Melissa D. Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Land Use Department.

B. PLEDGE OF ALLEGIANCE

Commissioner Faulkner led the Pledge of Allegiance.

Director Kluck introduced Patricia Feghali the new Assistant City Attorney who will be assisting the Commission.

Attorney Feghali said she previously worked with the Legislature and has a Planning Degree.

Mr. Berke introduced Kyle Hibner and Andrea Salazar from the City Attorney's Office.

Director Kluck added that Attorney Salazar has been working on the cannabis legislation and Mr. Hibner is standing in tonight for Attorney Paez.

C. APPROVAL OF AGENDA

MOTION: Commissioner Faulkner moved, seconded by Commissioner Clow to approve the agenda, as presented.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Garcia, Lawrence and Sategna voting in favor and none voting against.

D. APPROVAL OF MINUTES

1. August 5, 2021

MOTION: Commissioner Faulkner moved, seconded by Commissioner Garcia to approve the minutes of August 5, 2021, as presented.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Garcia, Lawrence and Sategna voting in favor and none voting against.

E. APPROVAL OF FINDINGS/CONCLUSIONS

1. Case #2021-3804. Villa Sendero Development Plan Amendment for Phase II.

MOTION: Commissioner Faulkner moved, seconded by Commissioner Garcia to approve the Findings of Fact and Conclusions of Law, as presented.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow (as to form only), Faulkner, Garcia, Lawrence and Sategna voting in favor and none voting against.

F. OLD BUSINESS

None

G. NEW BUSINESS

1. **CONSIDERATION OF BILL NO. 2021-__**. An Ordinance Amending the Land Development Code, Chapter 14 FCC 1987, to Address Zoning Issues Related to Cannabis; Amending Table 14-6.1-1, Table of Permitted Uses, to Clarify Zoning Districts for Various Types of Cannabis Establishments, and to Adopt Operating Times, Density Limitations, and a Minimum Distance Between Cannabis Retail Establishments and Schools or Daycare Centers; Amending Subsection 14-6.2(H), Agricultural Uses, to Address Cannabis Production; Adding a New Subsection 14-6.2(I) to Adopt Use-Specific Standards for Cannabis Establishments, Including Operating Times, Density Limitations, and a Minimum Distance Between Cannabis Retail Establishments and Schools or Daycare Centers; Amending Subsection 14-6.3(B)(2) to Prohibit Commercial Cannabis Establishments as Accessory Uses or Structures on Residentially Zoned Property; Amending Subsection 14-6.3(D)(2) to Prohibit the Conduct of a Cannabis Establishment as a Home Occupation; Amending Section 14-12.1 to Add Definitions for Various Types of Cannabis Establishments; Establishing an Effective Date; and Making Such Other Changes as are Necessary to Carry Out the Purpose of this Ordinance. (Andrea Salazar, Assistant City Attorney and Noah Berke, Current Planning Manager)

BACKGROUND

In the 2021 Special Session, the New Mexico Legislature adopted the Cannabis Regulation Act (House Bill 2), which legalized recreational cannabis use by adults twenty-one (21) years old and over. The Act, which took effect on June 29, 2021, allows local jurisdictions to adopt zoning and land use regulations but limits the extent of local regulatory authority. This memorandum sets forth the Policy Subcommittee's preliminary recommendations for cannabis land use regulations. The Policy Subcommittee requests input from the full Planning Commission on these recommendations. Following input from the Planning Commission, the Policy Subcommittee will work with Staff to incorporate the recommendations into draft amendments to the Land Development Code, as set forth in Chapter 14 of the Santa Fe City Code. The resulting legislation will require review at public hearings before the Planning Commission and Governing Body prior to adoption.

EXECUTIVE SUMMARY

This Bill would amend the Land Development Code by adding a new category of specific uses, "Commercial Cannabis Establishments," in the Santa Fe City Code ("SFCC" 14-6.1-1 (Table of Permitted Uses). The Bill further clarifies in which zoning districts the various types of Commercial Cannabis Establishments would be permitted and adopts minimum distances between cannabis retail establishments and schools or daycares. The Bill includes proposed changes to Subsection 14-6.2(H) (agricultural uses), 14-6.3(D)(2) (home occupations), 14-12.1 (definitions), and adds a new subsection 14-6.2(I) to adopt

use specific standards for cannabis establishments including density limitations and operating times. The goal of this proposed legislation is to promote the cannabis economy while protecting public health, safety, and the general welfare of the residents and visitors to the City of Santa Fe.

Mr. Berke reviewed the draft changes made by staff to Chapter 14 and the compliance criteria to Chapter 14 that the changes must comply with.

STAFF RECOMMENDATION

Staff requested that the Planning Commission consider the proposed legislation and make a positive recommendation to the Governing Body to adopt the proposed legislation.

COMMISSION DISCUSSION

Vice Chair Hogan asked Commissioner Faulkner if she wanted to add anything from the subcommittee.

Commissioner Faulkner thought some of the Commissioners had amendments. The first version of the legislation received by the subcommittee was different than what was later received and some of the amendments had been satisfied. She said the Commissioners could share their amendments and comments.

Vice Chair Hogan asked her to explain the subcommittee's process.

Commissioner Faulkner said the subcommittee did extensive research and she personally contacted other cities and land use departments who have experience. She also contacted the superintendent in charge of Cannabis Licensing and Regulations at the State. The committee determined what they should focus on what will have a quick impact and what would not be possible. They chose production since licenses are rolling out in September and then addressed manufacturing issues. She thanked the subcommittee for their dedication and doing a great job, and staff for their efforts.

Vice Chair Hogan said he appreciated the efforts of staff and the subcommittee. He wondered if in their research, certain issues surfaced, such as impact on community.

Commissioner Faulkner said they discovered that New Mexico is trending towards breaking down the production by the number of plants. Other states have said canopy size is a better way because of the zoning. Also, with production, there is more eating of cannabis. One issue they heard is that people smoke cannabis on the street outside of the consumption areas. As a misdemeanor in New Mexico the challenge will be how much they can dedicate to enforcement. They also heard there is an issue of an unexplained increase in homelessness.

Commissioner Sategna stated one issue in categorizing production in different built environments is that it is best done by square footage. The State limits production to the number of plants, i.e., a micro business is limited to 200 plants. His research shows that two hundred plants can take an acre, or the same amount can be grown in a small green house. The zoning determines where you want growing to take place and putting caps on square footage will become important in the legislation.

He noted that the document received last Thursday is different than what was presented this evening and things were lost in translation between the memorandums and the letters. The committee wants to be sure the amendments are clear before they are sent to the Governing Body.

Vice Chair Hogan asked Mr. Berke to address the original and second version of the legislation.

Mr. Berke explained he sent out the policy committee's recommendations because of the limited time for distribution and sent a corrected version the next morning. One primary difference is the State defines five different levels of producers categorized by the numbers of plants. Albuquerque and Santa Fe County have followed the State and drafted by number of plants. The canopy size and elimination of micro businesses and vertically integrated micro businesses will be unique to Santa Fe.

A big question from the subcommittee was the distance between retail establishments and they left that to the Commission to recommend to the Governing Body.

Commissioner Clow pointed out a third issue discussed was the density of retail. Albuquerque has a moratorium in their downtown and she favored that, but the rest of the committee did not. The subcommittee recommended that be done through density and recommended a density buffer of 400 feet. They believe that is important to avoid an area of the city becoming inundated and changing the character of a neighborhood. Particularly downtown in terms of culture and economic dependence the area provides.

Vice Chair Hogan asked for clarification if she was saying to limit density in the BCD as well as city wide.

Commissioner Clow said they felt that is important to keep uniformity throughout the city. She was concerned the effect of treating everything the same could mean the downtown area would get the bulk of new businesses. The subcommittee has agreed that for now, a 400 foot radius from property lines would work.

Attorney Salazar said she would preference the conversation; she read, "*That a local jurisdiction shall not completely prohibit the operation of the licensee.*" A concern of removing the definition of micro businesses and having only a canopy definition, is that could undermine what a local jurisdiction cannot do. She reminded the Commission of

the additional information John Blair provided on the current medical cannabis. There are 32 retailers, producers, and manufacturers and a revised map of their locations.

Commissioner Faulkner explained they did not eliminate micro producers. They said those and all other facilities will fall into categories of extra small, small, medium, and large. A micro could be 200 plants within its own category designation in the law. The size of the plant will determine how much space it will take up. She thought it clear in most of the legislation that the micro was not eliminated. They asked to include the size designations to make it easier for the city to determine where appropriate to put different manufacturers and producers.

Director Kluck commended the subcommittee and staff for working rapidly and picking up the nuances of the issue. He added in doing so he did want to put on the record that the memo had a couple of errors. The canopy area for large producers may not exceed 22,000 square feet; and 5,000 to 10,000 has not been addressed.

Commissioner Sategna asked if public comment will be included.

Vice Chair Hogan said his intention was to hear from the Commission first, followed by public comment. Then he would return to the Commission for further discussion and proposed amendments.

Commissioner Sategna pointed out the subcommittee made changes to the letter that reflects their position on micro businesses. They felt that was important because the State has a separate definition for micro business producers, and producers, in the memorandum. The committee wants to ensure micro businesses are included in the legislation since it is not, and that it also be done in the table. They did not want to discriminate. Any type of production, regardless of license, will fall within the zoning table within sizing requirements based on square footage. He thought there was confusion because they couldn't see the policy right away but had to make recommendations. The State has its own definition of producer and that is where they want to clarify their recommendations tonight. He offered to address those.

Vice Chair Hogan asked if he wanted to do that now.

Commissioner Sategna said he wanted to discuss the changes before public comment and would recommend changing the zoning table now.

Attorney Salazar asked for a motion to amend with the specifics of the legislation.

Vice Chair Hogan said he hoped to have a robust discussion and get all of the issues on the table.

Mr. Berke indicated it would be appropriate to open public comment first.

Vice Chair Hogan agreed changes should be made after public discussion.

PUBLIC HEARING

Fred Lucas commended staff and the subcommittee on the first draft. He said he recommends the distance between cannabis retail businesses be at least 1,000 feet. At 400 feet, a dispensary could be allowed on every block and was not practical. They should consider the aesthetic impact of a cannabis business, especially downtown and not allow them within 1000 square feet of the Downtown Plaza. He recommended recreational cannabis sales be allowed in the rest of the city for a full year before a new cannabis business is allowed in the downtown district. That would bridge Commissioner Clow's concerns about preserving downtown and provide time to observe and gain knowledge of the industry before committing to laws or ordinances specific to downtown. And, they would make better educated decisions because once it is law it cannot be undone. Santa Fe is unique, and the sale of cannabis should be approached with caution. He believed the general populace preferred getting the laws right, rather than rushing this. He recommended on the production side to require commercial water rights. Land Use could set an example for the rest of the state in preserving water resources if they required the preservation and water catchment methods by all cannabis facilities, regardless of size. He recommended an 8 foot fence for cannabis cultivation to provide a better visual barrier and security and a more effective way to mitigate the smell.

Chair Gutierrez arrived at 6:50 p.m. and assumed chairing the meeting.

Colleen said she's been hearing a lot about the downtown area, the Plaza. She said the rest of the city is here. She said it's really important that the Commission consider the residents and not just the tourists when these plans are being made.

There were no other public speakers. Chair Gutierrez closed the public hearing.

COMMISSION DISCUSSION

Commissioner Sategna indicated he was ready to make a motion.

Mr. Berke pointed out there were density maps and the policy committee's recommendation for density is 400 feet, but staff did not agree. That is left for the Commission to decide.

Commissioner Faulkner agreed with Mr. Berke that 1,000 feet did not seem like much until put in a dense area. The subcommittee felt above a certain number of feet, would allow only one retail location downtown. They felt based on the maps, 400 feet is a good compromise. She recommended Mr. Berke show the maps to explain the debate between 200, 400 and 1,000 feet in denser parts of town. She noted land use departments she spoke with said there were unintended consequences of the industry. They suggested making this available in high tourist areas because the costs will be felt

by tourists, not locals. Also, better GRT is generated when allowed in a commercial area like downtown as the highest income generated by those from out of town. Also related to density, equity was an issue, and the State feels that is important. The committee chose a uniform density to avoid parts of town becoming overburdened or receiving more benefit. The negative drawbacks to pushing this to residential areas is that locals would not have the same opportunities as a larger business to rent space downtown if they are a small producer, seller, etc. This was a way to ensure equity.

Mr. Berke added they should consider too, that medicinal cannabis has an option to become retail and they exist downtown now.

Vice Chair Hogan said this is important and they need to take the time to get it right. He agreed with Mr. Lucas it would change the culture of the street if not done correctly. He said with schools, the current ordinance is within 400 feet. He asked hypothetically what would happen if a small charter school wanted to locate in an area where there is an existing cannabis dealer.

Mr. Berke explained it would be a legal nonconforming right, and the school could locate closer. If the business ceased to operate for 365 days, the business could lose their status.

Vice Chair Hogan said there had been incidents in the last year or so, that indicate there are fire and explosive hazards. He asked if that could affect the size and types of processing proposed in the districts.

Mr. Berke said the subcommittee discussed that this industry and its uses could have unintended consequences, such as smells, noise etc. That is one reason they want to define the two categories and permit them only in certain districts.

Vice Chair Hogan asked Attorney Salazar to comment on whether over restricting could cause legal problems.

Attorney Salazar stated she put that in the forefront because it was the intent and purpose of the statute to be equitable and economically available to everyone. There are 22 established retailers who are currently medical, but can do both and restricting 1000 feet from any of those could prohibit anyone coming into the city. The Commission has to mitigate allowing the current licensees to expand and prohibiting new businesses to come in.

Vice Chair Hogan asked the committee which communities they found were doing this right, especially with density.

Commissioner Sategna said he spoke with a producer in Los Angeles. Their code only allows production of cannabis in industrial areas. He asked if Commissioner Hogan was referring to retail or production.

Commissioner Hogan said retail.

Commissioner Faulkner said she learned that it depends on the culture of the city. Some like the cannabis culture and have areas of town dedicated to it and some cities disperse equitably, while others restrict it. She advised that the approach that downtown is the only important part of town, is dangerous. She was at the Legislature when this was discussed, and cities are seeing that consumption and retail sites are not the problem. The problem is the open use of cannabis and having the resources to dedicate police writing violations for a misdemeanor. She added there will be a hefty clean-air restriction put on production sites.

Vice Chair Hogan said he is in favor of Commissioner Clow's recommendation for retail, to disperse it throughout the community. He agreed downtown should not be the concentration for the cannabis businesses. He said he appreciated some distance restrictions. He assumed Santa Fe at some point would address what is not publicly acceptable.

Mr. Berke said the County passed legislation of a distance of 200 feet.

Commissioner Clow added the City of Albuquerque passed 600 feet, and the County chose 200 feet because they don't have a lot of commercial space.

Mr. Berke displayed the maps of downtown, Airport Road, Cerrillos Road next to the Super Walmart, and St. Michael's Drive. He noted that most of the commercial activity is on either side of Airport Road. He identified possible sites if distance was 400 feet and the impact to existing businesses.

Commissioner Garcia said the visual aids helped and he agreed equity throughout the city is important. He asked what happens with the distance if someone with a retail business wants to do both production and manufacturing.

Mr. Berke said that was considered a vertically integrated cannabis establishment that touches on multiple categories. They have to have a permit in the district and will still be subject to density with the retail business. And if another retail establishment is within the required distance, that wouldn't be allowed.

Commissioner Garcia point out that was another issue with zoning. There are a lot of current places with medical distribution, and someone might want to put a greenhouse in the back. He thought 300 feet too close and 400 feet was better.

Vice Chair Hogan said looking at the maps, it was apparent that property size has a huge impact on adjacent businesses. He wondered if possible to use the premises, instead of the property line.

Chair Gutierrez thought there appeared to be an advantage for an existing business. He asked if having a grace period was ever discussed.

Commissioner Faulkner said that is beyond the Planning Commission's scope and jurisdiction. She noted that medical facilities are renewing their licenses now and will be done by the end of August and nothing could be done with those.

Chair Gutierrez said he was thinking the reverse, anyone applying before January will have no limitations or restrictions.

Commissioner Faulkner explained the State is issuing licenses only for those they have promulgated regulations for, like production and medical facilities. They will not issue licenses on consumption, etc. until more regulations are in place.

Mr. Berke agreed. He added that someone wanting a zoning verification for a license could not get it until the 1st of January. A disclaimer would be at the bottom of the zoning verification letter that says it is subject to pending legislation and those rules will apply to them.

Commissioner Clow clarified that she thought Chair Gutierrez was asking if the committee considered not putting in density regulations until new businesses have an opportunity. She said that was not specifically addressed by the committee, but they were concerned with density from the beginning. Existing businesses do have a benefit. They don't want a rush to areas that retailers believe are good to be in. She thought it would be good to include density regulations right away.

Chair Gutierrez asked Mr. Berke to address the 6- and 8-foot fences that Mr. Lucas mentioned.

Mr. Berke said code requires a 6 foot limitation on walls and fences in residential districts and an 8 foot wall in industrial districts. The policy subcommittee recommendation is a commercial use abutting a residential zone be required to have an 8 foot wall. In addition, there is a buffer requirement of 15 feet for commercial districts that abut residential districts.

Chair Gutierrez said he wanted to clarify that for Mr. Lucas and for himself.

MOTION: Commissioner Sategna moved to amend the draft as follows:
on page 32, line 20, "cannabis producer", be changed to "cannabis producer and cannabis producer microbusiness";
line 21, same page, state "*cannabis producers and cannabis producer micro businesses are permitted as provided in Table 14-6,1-1*";
line 23 of page 32, state "cannabis producers and cannabis producer micro businesses must comply with applicable state regulations and licensure";
line 14 of page 34, state, "urban farms, cannabis producers, and cannabis

producer micro businesses are allowed to use the following water resources”;

line 10, page 33, re “maintenance and operation, urban farms, cannabis producers and cannabis producer micro businesses shall be used and maintained”;

line 13, page 33 be amended to state, “all urban farms, cannabis producers, cannabis producer micro businesses using conditioned soil will be required”;

line 17, page 33, state, “composting is an accessory to an urban farm, cannabis producer, and cannabis producer micro business and shall be used only on site where any ground level”;

lines 18 and 19 be amended on page 33 to say, “roof level urban farm, cannabis producer, cannabis producer micro businesses permitted”;

and page 11 of the draft starting at line 8, amend the table to state “cannabis producer or cannabis producer micro business, extra small, 2500 square feet canopy maximum indoor growing only;

beginning on page 12, be amended to say “cannabis producer or cannabis producer micro business extra small 2500 square feet canopy maximum without outdoor growing”;

page 12, starting line 1 amend the table to read, “cannabis producer, or cannabis producer micro business, small 2,501-10,000 square feet canopy indoor growing only”;

line 5, be amended to state “cannabis producer or cannabis producer micro business small 2501-10,000 square feet canopy with indoor growing”;

starting on line 9, be amended to state, “cannabis producer, or cannabis producer micro business medium 10,001-22,000 square foot canopy indoor growing only”;

line 12, table 12 the table be amended to say, “cannabis producer, or cannabis producer micro business medium, 10,001 square feet to 1 acre canopy with outdoor growing”;

page 13, line 1, amend the table to state, “cannabis producer, or cannabis producer micro business large 22,001 or more square feet canopy, indoor growing only”, and “cannabis producer, or cannabis producer micro business large 22,001 or more square feet canopy, outdoor growing”;

Under Definitions, page 46, line 19, Section 5, Section 14-12.1 of the Land Development Code is amended to have the following definitions: cannabis producer micro business be included in the definitions as follows: “cannabis producer micro business- a small business conducted by a person licensed to cultivate cannabis at a single location including the planting, growing, harvesting, drying, curing, grading or trimming of cannabis, providing that the person may not possess more than 200 total mature cannabis plants at any one time.”

On page 37, line 19, under Density Limitation amend it to say: “A new commercial cannabis retailer is not permitted use if the new commercial cannabis retailer would be located within a ‘400 foot radius’ of an existing

commercial cannabis retailer. The radius shall be measured from the subject property boundaries.”

Attorney Hibner asked if the motion was to approve with the amendments.

Commissioner Sategna said his motion was only to amend.

Vice Chair Hogan seconded the motion for discussion.

Chair Gutierrez asked Attorney Salazar if she followed the motion, and everything was okay.

Attorney Salazar asked Commissioner Sategna to send her the definitions. She clarified he was changing every portion in the entire bill that states cannabis producer and wanted to add cannabis producer micro business behind cannabis producer.

Commissioner Sategna explained he was adding cannabis producer, and cannabis producer micro business. He said urban farm is included, but he thought that wasn't the best place to include that. Urban farms is found in other places in Chapter 14 and is focused more on agricultural such as growing, but he was adding the State's definitions. He wanted to avoid confusion with what was proposed by the Planning Commission and the categories. He wanted to recognize the State's definitions, but the Planning Commission's will be based on square footage when applied to zoning. There is no discrimination of either license depending on the zone they choose.

Attorney Salazar asked to clarify that technically there were three amendments in his motion. One changed everywhere cannabis producer is stated to cannabis producer, or “cannabis producer micro business”. Secondly to add the cannabis producer micro business definition and third to add having a 400 foot density radius from the property boundaries.

Commissioner Sategna agreed. He said also missing is to add the definition to the legislation recognizing the State's category of cannabis producer micro business in addition to the definitions for producers, small, medium, and large as defined by the number of plants.

Mr. Berke asked if he also wanted to include vertically integrated micro business.

Commissioner Sategna said the State's definition included that in micro businesses and the application of zoning doesn't need to acknowledge that.

He understood an integrated vertical business has to find a zoning area that allows production, retail or a combination of that within the zoning.

Mr. Berke said the primary difference between the micro business and the vertically integrated is that the micro business only allows 200 plants. Vertically integrated allows any type of production.

Commissioner Sategna said he didn't know, but thought the Commission should recommend micro businesses be identified within the table. The Commission hasn't discussed integrated, and he wasn't ready to include that. He said they could discuss it now.

Vice Chair Hogan suggested a friendly amendment to include in the motion that the Commission endorses this. But he wanted this in a revised draft incorporating the motion changes. He wanted to read and consider before approving. He asked if the Commission is making a recommendation to the Governing Body.

Mr. Berke confirmed they were recommending.

Vice Chair Hogan asked if possible, to approve to form with finalization at the next meeting and if acceptable to the maker of the motion.

Commissioner Sategna said the discussion is for everyone and he was open to that, but the City emphasized that this be a priority. He was comfortable with his amendments to vote now, but understood others might need time to digest the information. But he wasn't sure about a delay.

Commissioner Faulkner shared Vice Chair Hogan's concerns noting the typo indicated by Director Kluck. The difference between may, and may not, is huge and could impact the intent of the law. They should also define canopy and add that to the definitions.

Director Kluck stated the error he commented on was only in the memo, not the legislation.

Commissioner Faulkner said a lot has been thrown out in discussion. She agreed with the amendments but wanted to read this after all of the amendments were added before approving.

Chair Gutierrez suggested they keep in mind integration Mr. Berke brought up.

Commissioner Clow said timewise it could be a problem if this is not addressed tonight. City Council addresses it in two weeks. She said it may

have sounded complicated, but really wasn't much change. Commissioner Sategna was just clarifying and adding micro business. Her concern was if they don't have a finished product tonight the Commission would not have input.

Chair Gutierrez asked if the September 1 deadline would be affected..

Mr. Berke explained it does have an effect on the September 1st deadline in that regulations would not have been passed. However, at this point, that probably was not going to happen anyway. He reviewed the tentative schedule with the subcommittees hearing this in the next three weeks and the governing body hearing by the end of September. Mechanisms are in place now that will hold them through September.

Director Kluck noted they could have another Planning Commission meeting to add the proposed amendments so they could approve at the September 2nd meeting.

Commissioner Garcia said the bulk of the changes were with the cannabis producer and cannabis producer micro business. He could go either way but preferred a finalized proposal before voting.

Commissioner Faulkner confirmed there was time for the Commission to see a final copy at the next meeting before voting. There was anxiety because of the impression this had to be done by the end of August. That seems to have shifted. Having more time could be a benefit and produce a more sound, reliable policy.

Director Kluck asked to review the schedule with the Commission.

Chair Gutierrez said he would come back to him after the others with their hands up commented.

Commissioner Sategna commented on the vertically integrated cannabis establishment. He read the definition and noted there is a combination. He asked to add "cannabis producer microbusiness" to the definition of a "*cannabis: courier, manufacturer, producer, or retailer*" in the legislation. He didn't think that should be included in the Table or the category of cannabis producer and cannabis producer micro business. He explained the table is based on square footage, and he isn't sure how that lends itself to other facets of the industry. Including vertically integrated into the zoning table would be confusing and doesn't make sense.

Vice Chair Hogan said he has great respect for the work of the policy committee and wasn't trying to cast doubt on their work. He knew

Commissioner Clow and Commissioner Sategna had looked at this carefully and the changes were technical. He thought everyone was comfortable with the distance recommendations and he was okay with moving this forward. Also, he didn't think any of the subcommittees would look at this with as much detail. They will rely on the Commission to get this right and he wanted to be sure to do that. He said he would be okay if this was tabled, or they vote.

Commissioner Sategna said the memorandum when the definitions were stated represented the table limitations. After looking at the draft he could see why the memo was confusing and how staff approached this in the table. The memorandum should be updated to reflect these changes and the table as presented tonight. He said he would consider hearing this again so the memorandum is updated to reflect his amendments before it went to other committees.

Director Kluck said he learned when talking with a vertical integration applicant, that the State does have a vertical integration license.

He said regarding the schedule, postponing the vote until September 2, would just shift the committee meetings two weeks. They would still meet the deadline for the public hearing and presentation to the Governing Body.

Commissioner Sategna thought that was another reason to delay this for further review. He said the Planning Commission looks at this as it applies to zoning. Cannabis retail is applied in its own right to the zoning table. He didn't know if they should consider including what Mr. Berke proposed - mentioning cannabis producers and cannabis producer micro businesses, and the vertically integrated establishments. The Commission hasn't worked through that and determined that impact.

Commissioner Sategna said on the other side of the coin, it was stressed they should acknowledge the definitions and categories created by the State. That is why they are highlighting and incorporating micro businesses. He asked if the same should be applied to vertically integrated and if that created problems for the zoning code. He said the Commission should not rush this if they have time.

Commissioner Clow said this was the first time she heard that this did not have to be done tonight and it made sense to take another look. She also had another typo error to point out.

Commissioner Sategna asked Attorney Salazar if easier for her if he summarized the five changes he wanted, instead of line by line, making a general statement for amendment.

Attorney Salazar said if he removed his motion to amend and started a new simplified motion to amend, and amplified his motion to capture all of the cannabis producer language.

Attorney Hibner agreed. He said the pending motion should either be withdrawn or voted on.

Commissioner Sategna withdrew his motion. Commissioner Hogan who seconded the motion, supported the withdrawal.

Commissioner Sategna said he would like to make a motion to capture the production and density if there were no objections.

MOTION: Commissioner Sategna moved to amend the current draft beginning with Table 14-6, and where cannabis producer is mentioned to amend to “cannabis producer, cannabis producer micro business” and additionally include a new zoning category that includes cannabis producer and cannabis producer micro business large, 22,001 or more square feet canopy outdoor growing only, and match the same classification as indoor, and mark them as permit. Secondly, anywhere cannabis producer is identified in the bill, should include cannabis producer micro business after cannabis producer; to include cannabis producer micro business on pages 46 and 47 of the draft under Section 5, and include the definition cannabis producer microbusiness to state: “A small business conducted by a person licensed to cultivate cannabis at a single location, including planting, growing, harvesting, drying, curing, grading or trimming of cannabis, provided the person may not possess a total of more than 200 mature cannabis plants at any one time; and to amend on page 37, line 19, under Density Limitation to state: “A new commercial cannabis retailer is not permitted use if located within a 400 foot radius.” Commissioner Hogan seconded the motion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Garcia, Lawrence and Sategna voting in favor and none voting against.

Commissioner Clow said on Page 41 it states, “The following activities are prohibited within residential zoned districts” and at viii , says, “Use of any structure or conduct of any business or home occupation for any cannabis establishment or commercial cannabis activity.” She said the “conduct of any business” does not make sense.

Attorney Salazar believed “to conduct any business” was clearer.

Mr. Berke agreed it should be “to conduct”.

Commissioner Clow asked that the typo be corrected.

Commissioner Sategna said if she would state the correction to be made, he would second that.

Commissioner Clow read the sentence again and asked the purpose of the statement in viii, “use of any structure, or” and what are they trying to say.

Mr. Berke said he didn’t write that legislation. The Commission could evaluate it and that could be included in the redraft.

Commissioner Clow thought the purpose was to say what is prohibited in a residential home business.

Commissioner Lawrence thought the intent was to indicate that the conduct of any business or home occupation for cannabis in a residential zone, is prohibited. She agreed staff should come back with a change.

MOTION: Commissioner Faulkner moved to postpone the vote to recommend until the next meeting on September 2, 2021 to give the Commission time to see a completed copy of the legislation and allow staff and the subcommittee time to make clarifications. Commissioner Garcia seconded the motion.

Vice Chair Hogan asked a friendly amendment recommending staff consider using premise to premise as the radius for the boundary instead of the property line.

Commissioner Faulkner accepted the amendment as friendly as did the seconder on the motion, Commissioner Garcia.

Attorney Hibner asked to clarify the motion with the friendly amendment.

Commissioner Faulkner explained the friendly amendment is to consider a radius from premise to premise instead of the property line. An example was given of a mall that could have more than one cannabis retailer.

Vice Chair Hogan explained further if taken from the property line of the mall and it would go to the street and would then extend the 400 feet considerably further, than if taken from the premises.

Mr. Berke clarified the premise is defined in Chapter 14 based on common ownership. He believed Vice Chair Hogan wanted to say from business to business, not property line to property line.

Vice Chair Hogan agreed. It would be the lease hold versus the property.

Director Kluck pointed out it could be challenging to determine the geospatial data for the premises building perimeter, especially a mall.

Vice Chair Hogan said he just wanted to make sure that was part of the discussion.

VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Hogan, Garcia, Lawrence and Sategna voting in favor and none voting against.

2. **Case #2021-3818. Tierra Contenta Master Plan Amendment #1 for Phase 3A.** JenkinsGavin, Inc., Agent, for Tierra Contenta Corporation, Owner, requests Master Plan Amendment for Phase 3A. The Amendment, which includes modifications to infrastructure, parks, trails, land uses, and density. The property is an undeveloped tract of land located southwest of Capital High School, containing approximately 222.84 acres, and is zoned PRC (Planned Residential Community). (Dan Esquibel, Case Manager)

Commissioner Sategna brought to the Commission's attention a possible conflict of interest because he is president of the Nave Ade Homeowners Association (HOA). He said he would leave it to the commission is appropriate for him to make a decision. He said he participated in the Nava Ade HOA meeting discussion and some community members opinions on this topic. Although he recused himself from that meeting, he was happy to recuse from this case if the Commission felt he could not remain impartial.

Chair Gutierrez asked Commissioner Sategna if he felt he could be fair and impartial, to which Commissioner Sategna responded he could.

Chair Gutierrez asked for input and concerns from Commissioners about Commissioner Sategna continuing to hear the case. There were none.

STAFF REPORT - Dan Esquibel

The property is owned by the Tierra Contenta Corporation (TCC). The property is located south of Jaguar Road, southwest of Capital High School and east of SWAN Park (no assigned address). The property is approximately of 222.84 acres which would be amended later, zoned PRC (Planned Residential Community) and located within the Suburban Archaeological Review District.

The Master Plan Amendment Application is a request to outline a phase-by-phase development process for entitlements of phase 3A. The entitlements include:

- Design standards,
- Subdivisions and subdivision phases,
- Infrastructure,
- Affordable housing (40% affordability to 80% Area Median Income), and
- Parks, open space, and other public uses according to the Annexation Agreement.

Proceeding the Master Plan, the Applicant will submit a Master Plan plat to identify subdivision tracts to recruit developers and/or builders for the development of proposed Tracts. The Applicant will also submit design guidelines for all development in Phase 3A. The Applicant states that process of review will start with the TCC Architectural Review Committee prior to review before the Planning Commission. The TCC review is to ensure compliance with the Master Plan, adopted Master Plat and Design Standards. The Master Plan anticipates mixed residential (1,175 to 1,500 dwelling units) and both civic, and neighborhood commercial uses.

The Applicant complied with all process requirements of Chapter 14 as follows:

- Pursuant to 14-3.1(E) *“Pre-application”*: Conducted on December 10, 2020,
- Pursuant to 14-3.1(F) *“Early Neighborhood Notification” (“ENN”)*: Conducted two ENN meetings:
 - May 27, 2021; and
- Pursuant to 14-3.1(H) *“Notice Requirements”* for ENN’s and Public Hearings.

The Applicant will be returning to the Planning Commission for review and approval of the Master Plat which will subdivide the property into phase tracts for developers to purchase and develop.

The application identifies 222.84 acres however during the review process, it was found the tracks making up phase 3A boundary as drawn, inadvertently includes an area dedicated to the city. That reduced the overall area to 216.25 acres. The applicant is aware of this and will correct those as soon as they get the Master Plan.

He also noted that his report states other accessory structures are *not* included however they are, such as sheds. However, there was not enough detail how everything would fit within the design. Some lots have been reduced from 15 feet to 10 feet and there was not adequate information on street and building lights and bicycle racks or information that identified case specific urban form. It is unclear the guidelines provide enough baseline for potential developers to achieve a specific urban form. The applicant must provide additional details for these guidelines using the standard form, as long as approved as part of the Master Plan.

The Master Plan does not address trails, or designs of the open space and parks areas and is a condition of approval for sidewalks, etc. opposed to by the applicant. The overall network areas 6C, show the bicycle paths and existing trails and Tierra Contenta open space and potential bike paths and sidewalk trails through Phase 3A. There will be pocket

parks and a neighborhood park as part of the overall design parameters.

The applicant is working on an easement for their road through the School for the Deaf property as a condition that it be in place prior to filing for their master plat.

A Master Plan will expire in 5 years if nothing is done from the date of approval from the Governing Body.

STAFF RECOMMENDATION

Staff recommended that the Commission should recommend that the Governing Body approve the requests with design guidelines subject to conditions of approval recommended by staff and technical corrections listed in Exhibit A of the staff report. The applicant agreed to all conditions and technical corrections except for two; #18, to widen the minimum sidewalk width to 6 feet and #19, add a landscape buffer between all sidewalks and the road issued by the MPO Division.

He said Leah Yngve would discuss the conditions.

STAFF REPORT- Leah Yngve

The conditions they are striving for is a more walkable, bikeable community. Phase 3 proposes more housing density which means more people want or need to walk or bike. There are a variety of destinations such as commercial, community uses, parks etc. and affordable housing attracts families. It makes sense to support the youth who must walk or bike to get around.

There are 5 Ds of Walkability: Density, Diversity of destinations, Design (they are hoping to strengthen) and Destination accessibility and Distance to existing transit lines nearby. One condition of the MPO is 6 foot sidewalks, to make it easier for those with disabilities and families. The design standards allow for 11-foot driving lanes could be reduced to 10 feet to use the extra foot for the sidewalk. And a 10 foot car lane slows traffic and is safer.

Another condition is landscape buffers on all of the roads supported by the MPO Master Plan. Planters between the cars and pedestrians supports a more comfortable safer environment. The argument against that is that passengers may need to get out of a car. The thought is it is better to provide more safety, despite the occasional passenger. Another condition that was not contested is a parking protected bike lane would be provided by changing the order of the road. That is a goal in the Bicycle Master Plan by 2024 although it is above and beyond Code. The precedent is to go beyond Code per the planning documents and the Sustainable Santa Fe 25 Year Plan. All champion walking and biking as safe and convenient transportation. Transportation is the number one source of greenhouse gas emissions in Santa Fe and the plan outlines the goal of achieving carbon neutral by 2040.

Another reason to add weight in the plans over the Code is the Code may change. The road will remain for decades, and the plans consider the population growth of Santa Fe and that more people will be walking and biking. People tell them they want to bike and walk more but don't feel safe and that is a reason with new roads, to support that. Supporting biking and walking is an equity issue as well because some in the community cannot drive. This looks at allocating space in our streets that supports the entire community.

APPLICANT'S PRESENTATION

Jennifer Jenkins, 130 Grant Avenue, Suite 101 was sworn. She said she represents the Tierra Contenta Association and Santa Fe Community Housing Trust. She explained the consultant team and introduced Daniel Werwath, who shared the Tierra Contenta background.

Daniel Werwath, 1111 Agua Fria St. was sworn in. He said Tierra Contenta is City initiated and developed in the early 1990's to address the housing affordability crisis. The idea was to create a nonprofit to manage a large piece of land and master development to ensure it was developed to achieve 40% affordability. Two phases have been built and meet that requirement. The two goals of the Master Plan amendment are 1) to move the project forward as quickly as possible and 2) upgrade the plan as indicated by lessons learned and the community feedback. The core of the plan is better land-use planning with more mixed use, greater density, higher levels of energy efficiency. Good planning concepts that have been proven to make better communities that are more walkable, more affordable, and more diverse communities and a density that supports that. He indicated for a community this size, Tierra Contenta is one of the most productive and successful housing initiatives in the country. The number one goal is the production of housing affordability, which the Commission will see in the presentation.

Ms. Jenkins shared a site map and noted the surrounding community. She explained Phase 3 includes the property owned by the New Mexico School for the Deaf, but the amendment is just for phase 3A of the Master Plan. The property is zoned Planned Residential Community (PRC) which is intended to support a mix of housing types and uses based on custom design standards. The applicant proposes additional design standard upgrades. The open space proposed and the existing and trail networks nearby were shown. Sewer and water connections, terrain and open space and areas to be developed were reviewed. The Commission approved the Tierra Contenta Master Plan from 1994 and the master plat identifying developable plats was shown.

Ms. Jenkins displayed the Master Plan Amendment #1 to Phase 3A, which shifts the development to a mixed residential community to encourage diverse housing on all of the tracts. All residential tracts will permit every residential housing type, regardless of whether single-family, duplex, a townhome, multiplex, etc. homes will be for sale, and some for rent. Every Street will have sidewalks and connections to open space and trails. The park areas have been decentralized for neighborhood interaction with one large park

and pocket parks. A school site has been identified and could be mixed use with a fire station, police substation, or small grocer, coffee shop, live/work units, etc.

She explained the infrastructure connection that extends Jaguar Drive to Paseo del Sol East and the internal loop to individual tracts of land. The revenue for the first two phases from land sales funded the infrastructure but this would not be the same. The School for the Deaf is not interested in developing their property. The Corporation is working on a public/private partnership with the City to fund the balance of the infrastructure.

Ms. Jenkins indicated that this provides twice the requirement of affordable housing. That is achieved by reducing the value of the land to make it feasible for developers to make affordable housing. Part of the Master Plan Amendment request is to increase density to 1500 dwelling units to build a density bank. They will use the extra density as a tool to incentivize developers willing to incorporate townhomes, multiplexes etc. Aggressive and sustainable construction practices will be given extra density. The slight reduction in the mixed-use acreage and significant increase in parking, open space and school site, would accommodate more contemporary needs.

She said the incentive and model for this project is what now exists and is working in the most desirable of old neighborhoods. They have active streetscapes and a diverse population concept. She said they wanted to do further study on the classifications and design suggestions proposed by the MPO. But they were happy to consider the MPO suggestions when they get to the master plat final engineering. She noted that Paseo del Sol is a fully engineered roadway.

Ms. Jenkins said feedback heard from significant community outreach in 2019 was there is not enough on-street parking. One of their goals is to maximize that. She noted where there is no on street parking there are sidewalks, a 6 foot planting and then a bike lane and driveway. They have a consistent 72 feet right-of-way whether on-street parking or not. The Commission had approved the innovative street design where the sidewalk will be at the back of curb when there is on-street parking for functionality.

Regarding the sidewalks, Code requires 5 feet which is what the applicant provides. She understood that the Code may need to be changed but thought it did not make sense here. The infrastructure will be a significant cost and the revenue that can be generated is finite, meaning anything over the finite amount will need to be publicly financed. They welcome the MPO's expertise in their community but in this case imposing rules that exceed the City Code doesn't feel appropriate.

Ms. Jenkins explained the loop road parking will be on one side and where there is on-street parking there will be a sidewalk and plantings. The local streets will be developed by the developers of those individual tracts. Design standards do not allow 6 foot walls or walled-in backyards and the right of way is narrow for affordability. The street trees are on private property; there are robust trails and open spaces that connect to the

sidewalk network and pocket parks. Pocket parks will be HOA maintained and pedestrian corridors will run between development tracts for connectivity.

Ms. Jenkins said they conducted surveys, held community meetings, sent flyers to receive feedback from the current residents on what is working. They held the normal ENN in May.

PUBLIC HEARING

Ruth Hamilton, 6509 Valentine Way, was sworn. She said she is a resident and on the Board of Directors of Tierra Contenta and is encouraged by the competent leadership of the Acting Executive Director, Daniel Werwath, and an invigorated board. She is optimistic the issues in Phase I and Phase 2 have been addressed and the creative solutions will provide well-built, affordable and environmentally friendly contemporary housing. The innovative mixed housing types will appeal to multi-cultural multi-generational homebuyers in that “missing middle”. They will have desirable homes they want to live in instead of feeling they are limited to Tierra Contenta.

Alba Blondis, 7042 Valentine Loop, was sworn. She has seen the presentation before and is impressed by the thought that went into it, particularly the mixed-use diversity. Some problems experienced in Phase 2, such as the walls and weeds, have been eliminated from these plans, that are very worthwhile and thought out. She hoped this will be approved by the Commission. She disclosed that she sits on the boards of the Tierra Contenta and the Housing Trust.

John Paul Granillo, 4311 Jaguar Loop was sworn. He commended Ms. Jenkins for a great presentation that provided an opportunity to look at the mixed and affordable housing. This will be an opportunity for more people to have homes that barely missed the support because of income and all of them to live in one place. He thought this a great idea that gives hope back to the community, especially the south side. He thanked them.

Ruta Singh, 6761 Camino Rojo was sworn. She thanked them for the presentation. She resides in Tierra Contenta now and moved from a very low density to high density living area. She is a disabled senior who works from home. She is concerned about the narrow streets. She said a new family was looking at a home across the street for sale from her and they witnessed a road rage incident. That is a big problem with narrow streets, they are not safe. She said they need to keep as much open area and lose as few trails as possible, and keep in mind the curb cuts for strollers and walkers. She noted the demographic for those with disabilities is 25% and will get a lot bigger due to the impact by COVID. She said safe streets with good lighting and recreation and accessibility is important. She added it would be fantastic if there was a pool. She thanked them for their time and hoped they thought her words were ones that examine the heart of the community.

Carlos Gonzales, 19 West Prince Road, was sworn. He lives outside of Tierra Contenta. His concern is the Paseo del Sol extension off of the roundabout. He lives on a street with a lot of fast traffic and wondered if there are plans to slow traffic going into the subdivision.

Gina Alf, address not provided, said she is a social worker. She thought that the southside needs low income housing because many of them are homeless. They are living in their cars or residing with other residents or family many times with six people in one room. Instead of worrying about building a six foot sidewalk, they should be focused on building low income housing in the community.

Donna Stewart, 6920 Golden Mesa, was sworn. She thanked Ms. Jenkins for the presentation and the Commission for their time and allowing comments. She said as a homeowner her concern is property values and density in her neighborhood. She appreciated the City's recommendation for six foot sidewalks everywhere and thought they should make that happen. The amendments as she understands them, will increase density to 1500 households and she thought there should be more discussion on why that is necessary. There are traffic issues already in the neighborhood and issues with very noisy cars, and that will just increase. Low income housing will bring more noise and more crime, and the neighborhood will become less enjoyable. She hoped the City will stick to the requirement for 6 foot sidewalks and she is against an increase in density. She agreed there is a need for the maximum in open space because that is what brings people to Santa Fe and what brought her here.

Letisha Lovato, 13B Tulsa Drive, was sworn. She said she is speaking for herself and her boyfriend. She agrees with the comments that a number of people cannot afford to buy a house. Affordable housing in Santa Fe is \$250,000 instead of \$80,000 as it is in other parts of the country. She thought there should be more subsidized housing because the homelessness in Santa Fe is growing. Also, Section 8 doesn't cover a decent, safe place for a family of three. She suggested instead of building more houses that cost \$1200 or more a month, focus should be on the homelessness. She has heard stories about people letting other people live with them who were not on the lease because they have nowhere else to live. She appreciates, as a disabled person herself, having six-foot sidewalks, but there is very limited subsidized housing in Santa Fe.

Rosemarie Gonzales-Nielson, 108 Mesa Verde Street, 87501 was sworn. She said she is a Board member of the Housing Trust and Tierra Contenta. Affordable housing has been an issue since the early 1980s. Now in 2021, the need is still affordable housing. She emphasized the importance for locals to have a home or place to reside. She said we do the best we can to build beautiful homes and affordability of a home does not equate to troublesome people or more crime. She said we are trying to build a community people would love to live, not just a place they can afford because they have no other choice. She agrees with the request for more affordable housing and asked the Commission to consider that.

Chair Gutierrez closed the public hearing, seeing no others who wanted to speak.

COMMISSION DISCUSSION

Commissioner Sategna requested a hard stop to the meeting because it was already 10 o'clock.

Chair Gutierrez asked the others for their thoughts.

Commissioner Faulkner agreed. Good to have more time. She said it is difficult for her to dig in on the issues at this time of night, but she would yield to the others.

Commissioner Garcia agreed it had been a long night and this project is big. He said he could continue but wanted to hear from the other Commissioners.

Vice Chair Hogan said he appreciated that everyone was tired, but they should try to finish. There are a handful of issues, and this will come back around for further review. He thought the concept and planning was good and agrees with all of the MPO recommendations. He has followed their work and it is worth the Commission's attention.

Commissioner Lawrence said she wanted those who want to postpone to have the opportunity and ample time to ask all of their questions. She said if they do postpone she wanted more detail from the applicant why six foot sidewalks would be difficult to accomplish technically. The applicant may already be prepared to answer but she would like that on a to do list if they postpone.

Commissioner Garcia had a couple of recommendations and without going deep into discussion, wanted to know the applicant's concerns if this is postponed. He noted the packet is 300 pages, and the Commission could not get through that in 30 minutes. He asked the main issues Commissioners have after having heard the presentations.

Commissioner Faulkner said she wondered regarding infrastructure cost, rather than eliminating amenities like 6 foot sidewalks they could consider the contract between the City and Tierra Contenta Corporation. They could reduce the amount of draw from the sale of the land the city takes.

She said secondly on the discussion on the size of the sidewalks and street sizes, that only pertains to the portion of the development Tierra Contenta Corporation is responsible for. Once they sell the tracts, it becomes the developer's responsibility to determine. She has found that to be where the trouble happens. She noted that where she lives, anywhere developers had a hand in what could or couldn't be done. Her streets have no sidewalks, and the street is only 20 feet wide with no cutback parking, etc. an emergency vehicle cannot get down her Street after 5:00 p.m. Her concern isn't what Tierra Contenta Corporation will do; it is ensuring the developers buying the tracts do what was intended by the Corporation.

Commissioner Faulkner summarized her two primary concerns are #1) how to claw back some of the money the city takes for other causes that is desperately needed in Tierra Contenta; and 2) How to ensure the developers adhere to the intent of the master plan which they have been requesting exemptions for and the city history is to grant the requests.

Commissioner Faulkner said that sounds like an easy trade off to get rid of sidewalks and have more houses, but it is dangerous without having the level of infrastructure needed for the population that lives there.

Mr. Werwath addressed Commissioner Faulkner's comments. He reported the design guidelines go down to the sub-tract level now and have to have authorization by the Tierra Contenta Architectural Review Committee. They are actively discussing with the City ways to subsidize infrastructure, including the remaining debt and reducing that. Economic development monies might get place-based to Tierra Contenta instead of the entire City.

He noted a concern if this gets postponed is it pushes them to a new Governing Body post-election. Potentially they could be starting from scratch with new Councilors, including a new Mayor. Logistically that could become difficult and time-consuming. Also, a lot of what has been done came from the feedback of the Governing Body and Mayor over the last couple of years. He said however, they would be happy to present again next month, but he wanted them to consider that serious factor.

Commissioner Sategna said he appreciated Mr. Werwath's comments, but he knows how easily even the last 15 minutes went by. They have a lot of questions that could easily turn into another hour and a half.

MOTION: Commissioner Sategna moved to postpone the rest of the agenda until the next meeting, September 2, 2021. Commissioner Faulkner seconded the motion for discussion.

Chair Gutierrez said if the motion passed, he recommended Commissioners send their questions to Mr. Berke for the applicant.

Vice Chair Hogan thought the next agenda was large as well. He asked about considering a special meeting because otherwise they would be backed up again.

Chair Gutierrez asked if there were noticing requirements.

Mr. Berke explained it has already been noticed if postponed. It will be an amended agenda, but if a special meeting is held it would have to be the second meeting in September. There are two large cases at the next

meeting; a variance case with 2 requests and the Georgia O'Keefe Museum addition with two case captions and also the Tierra Contenta, cannabis recommendations and Las Soleras.

VOTE: The motion passed by majority roll call vote with Commissioners Clow, Faulkner, Garcia, Lawrence and Sategna voting in favor and Commissioner Hogan voting against.

3. **Case #2021-3811. Villas de Las Soleras Unit 3 Master Plan Amendment.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of an Amendment to the Las Soleras Master Plan to request a rezoning for Tract 13 from R-6 (Residential- six dwelling units per acre) to R-10 (Residential- ten dwelling units per acre) for approximately 6.8 acres at 4601 Rail Runner Road. The property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager). **(Postponed to September 2, 2021)**
4. **Case #2021-3814. Villas de Las Soleras Unit 3 General Plan Amendment.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of a General Plan Amendment to amend the existing General Plan Future Land Use classification for approximately 6.8 acres from Low Density Residential (3 to 7 dwelling units per acre) to Medium Density Residential (7 to 12 dwelling units per acre) at 4601 Rail Runner Road. The property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager) **(Postponed to September 2, 2021)**
5. **Case #2021-3815. Villas de Las Soleras Unit 3 Rezoning.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests a rezoning from R-6 (Residential- six dwelling unit per acre) to R-10 (Residential- ten dwelling unit per acre) for a property located at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager). **(Postponed to September 2, 2021)**
6. **Case #2021-3816. Villas de Las Soleras Unit 3 Preliminary Development Plan.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests preliminary development plan approval for a 44-lot single-family home subdivision at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential-six dwelling units per acre) and is within the Las Soleras Master Plan area. (Lee Logston) **(Postponed to September 2, 2021)**

7. **Case #2021-3817. Villas de Las Soleras Unit 3 Preliminary Subdivision.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of a preliminary subdivision plat for 44 single-family residential lots located at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager) **(Postponed to September 2, 2021)**

H. STAFF COMMUNICATIONS

Mr. Burke thanked everyone for their positive feedback on the cannabis recommendations.

Mr. Burke said there was an offer for the replacement for Carlos Gemora. Also, they will continue the virtual meetings for at least another 47 days.

I. MATTERS FROM THE COMMISSION

Commissioner Faulkner said working on policy could be a taxing process, but staff and the subcommittee did their best given the circumstances. She suggested considering what the Commission could do to get more resources in the future for the staff. They are under resourced for the work they have on their plate daily which was abundantly clear when working on the cannabis recommendations.

Commissioner Sategna said site sections are really important when trying to determine the surrounding environment, if the Commission is to consider that criteria. It is important they look at the built environment surrounding the site and extending past the site, to understand the impact to the surrounding environments if density and height are increased. Setbacks are important and the Commission is not always getting the full picture.

Secondly he said it would be extremely helpful when they receive a 551 page packet if staff could create bookmarks for easier navigation through the PDF versus having to scroll through it. Even on a basic level to get from one case to the next would be helpful.

Mr. Esquibel offered to show staff how to create bookmarks.

Chair Gutierrez said it was almost like a bookmark when staff highlighted things in the last case. He thanked staff and said he liked that and the visuals they included. He thought the bookmark suggestion was great.

Commissioner Garcia said kudos to the policy committee on their work and their collaboration and time it took. He appreciated how hard the policy committee and staff worked on that.

Director Kluck said he agreed with Commissioner Sategna. He said as the interim director he has to be careful with changes he makes, but they could work on refinement. He thought they even need 3D modeling with dimensional data. He said he wanted to say that now because he has heard the same thing from other committees.

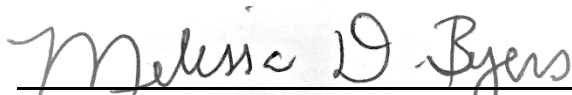
Director Kluck added he and Mr. Burke are looking at things that could reduce the size of the packets. Staff capacity hinders getting some of these things done but they are considering them.

Chair Gutierrez thanked the subcommittee and staff for all of their work.

J. ADJOURNMENT

Chair Gutierrez adjourned the meeting at 10:25 pm.

Submitted by:



Melissa D. Byers, Stenographer for
Byers Organizational Support Services

Approved by:

Brian Gutierrez, Chair



City of Santa Fe, New Mexico

Memorandum



Date: August 30, 2021

To: Planning Commission, Public Works and Utilities Committee, Economic Development Advisory Committee, Quality of Life Committee, Finance Committee and Governing Body

From: Noah L. Berke, AICP, Current Planning Division Manager

Via: Jason M. Kluck, Interim Planning and Land Use Department Director *jmk*

RE: Proposed Legislation to Address Zoning Issues Related to Cannabis Legislation

EXECUTIVE SUMMARY:

This Bill would amend the Land Development Code by adding a new category of specific uses, “Commercial Cannabis Establishments,” in the Santa Fe City Code (“SFCC” 14-6.1-1 (Table of Permitted Uses). The Bill further clarifies in which zoning districts the various types of Commercial Cannabis Establishments would be permitted and adopts minimum distances between cannabis retail establishments and schools or daycares. The Bill includes proposed changes to Subsection 14-6.2(H) (agricultural uses), 14-6.3(D)(2) (home occupations), 14-12.1 (definitions), and adds a new subsection 14-6.2(I) to adopt use specific standards for cannabis establishments including density limitations and operating times. The goal of this proposed legislation is to promote the cannabis economy while protecting public health, safety, and the general welfare of the residents and visitors to the City of Santa Fe.

Commercial Cannabis Establishments:

With the proposed amendments, a new “Commercial Cannabis Establishments” category of specific uses would be created within SFCC Section 14-6.1-1 (table of permitted uses), which stipulates specific definitions and uses in zoning districts as “permitted use”, “special use permit”, “accessory use”, and “prohibited use”.

Commercial Cannabis Establishments would be divided into two classes for Production:

1. Cannabis Producer:

A business conducted by a person licensed to cultivate cannabis, including the planting, growing, harvesting, drying, curing, grading, or trimming of cannabis, provided that the person possesses two hundred and one (201) total mature cannabis plants or more at any one time.



City of Santa Fe, New Mexico

Memorandum



Cannabis Producer would be further divided into four subclasses defined by canopy area:

**Extra Small (up to 2500 sq. ft. canopy area),
Small (2,501-10,000 sq. ft. canopy area),
Medium (10,001-22,000 sq. ft. canopy area), and
Large (over 22,000 sq. ft. canopy area)**

- **Permitted indoors: I-1 and I-2**
- **Permitted indoors or outdoors with Special Use Permit: C-2 and BIP**

2. Cannabis Producer Microbusiness:

A small business conducted by a person licensed to cultivate cannabis at a single location, including the planting, growing, harvesting, drying, curing, grading, or trimming of cannabis, provided that the person may not possess more than two hundred (200) total mature cannabis plants at any one time.

Cannabis Producer Microbusiness would be further divided into four subclasses defined by canopy area:

**Extra Small (up to 2500 sq. ft. canopy area),
Small (2,501-10,000 sq. ft. canopy area),
Medium (10,001-22,000 sq. ft. canopy area), and
Large (over 22,000 sq. ft. canopy area)**

- **Permitted indoors: C-2, I-1, I-2, BIP, SC-1, SC-2, SC-3 and**
- **Outdoors with Special Use Permit**

Commercial Cannabis Establishments would be divided into two classes for Manufacturing:

1. Cannabis Manufacturing, Heavy:

A use that involves compounding, blending, extracting, infusing, packaging, or otherwise preparing a cannabis product using volatile solvents, e.g., butane, heptane, hexane, or propane.

- **Permitted in indoors in I-1, I-2 and BIP**

2. Cannabis Manufacturing, Light:

A use that involves compounding, blending, extracting, infusing, packaging, or otherwise preparing a cannabis product using mechanical methods, nonvolatile solvents, or no solvents.



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- **Permitted in C-2, BCD, I-1, I-2 and BIP**

Commercial Cannabis Establishments would be divided into two categories for Cannabis research and testing laboratories:

1. Cannabis Research Laboratory:

A facility that produces or possesses cannabis or cannabis products for the purpose of studying cannabis cultivation, characteristics, or uses, provided that a cannabis research laboratory that conducts heavy cannabis manufacturing activities shall be classified as “cannabis manufacturing, heavy.”

- **Permitted in C-2, BCD, I-1, I-2 and BIP**

2. Cannabis Testing Laboratory:

A facility where cannabis products are sampled, collected, and tested, provided that a cannabis testing laboratory that conducts heavy cannabis manufacturing activities shall be classified as “cannabis manufacturing, heavy.”

- **Permitted in C-2, BCD, I-1, I-2 and BIP**

Commercial Cannabis Establishments would include one category for Cannabis Retail:

1. Commercial Cannabis Retailer:

A business conducted by a person that is licensed to sell cannabis products directly to consumers who are twenty-one years of age or older.

- **Permitted in C-2, BCD, I-1, I-2, BIP, SC-1, SC-2, SC-3, and MU (limited to hours of operation from 7:00 AM to 10:00 PM in MU districts only)**

The Commercial Cannabis Retailer use would only be permitted if not located within three hundred (300) feet of an existing school or daycare center; new commercial cannabis retailer would only be permitted use if located within a four hundred (400) foot radius of an existing commercial cannabis retailer (radius measured from the subject property boundaries); all commercial cannabis retailers would be limited to hours of operation from 7:00 AM to 12:00 AM (midnight).

The final permitted use added to the Commercial Cannabis Establishments would be “Cannabis Consumption Area”, defined as an area where cannabis products may be served and consumed by smoking, vaping, or ingesting, provided that alcohol cannot be sold or consumed in a cannabis consumption area and entry is limited to patrons 21 years of age or older. The State of New Mexico



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Memorandum



is currently working on a framework for regulating cannabis consumption areas and legislation will be further drafted and presented to the Planning Commission and Governing Body after the State's framework is completed.

BACKGROUND:

In the 2021 Special Session, the New Mexico Legislature adopted the Cannabis Regulation Act (House Bill 2), which legalized recreational cannabis use by adults twenty-one (21) years old and over. The Act, which took effect on June 29, 2021, allows local jurisdictions to adopt zoning and land use regulations but limits the extent of local regulatory authority. This memorandum sets forth the Policy Subcommittee's preliminary recommendations for cannabis land use regulations. The Policy Subcommittee requests input from the full Planning Commission on these recommendations. Following input from the Planning Commission, the Policy Subcommittee will work with Staff to incorporate the recommendations into draft amendments to the Land Development Code, as set forth in Chapter 14 of the Santa Fe City Code. The resulting legislation will require review at public hearings before the Planning Commission and Governing Body prior to adoption.

The State has clearly outlined that a local jurisdiction cannot:

- Prevent anyone properly licensed from transporting cannabis products on public roads;
- Completely prohibit the operation of a cannabis licensee;
- Prohibit or limit signage identifying a business as a cannabis establishment if it's attached to or located on the business premises;
- Require a cannabis establishment or a cannabis consumption area be located more than 300 feet from a school or daycare center that existed when the cannabis establishment or consumption area was licensed;
- Require an existing cannabis licensee to relocate to a new premises; or
- Prohibit an adult New Mexican from producing homegrown cannabis.

Local jurisdictions can adopt rules that reasonably limit conditions like density of cannabis establishments and operating times.

The Cannabis Regulation Act defines new types of recreational cannabis establishments, including the following:

- Cannabis Retailer (commercial sales of cannabis);
- Cannabis Producer (growing or farming of cannabis);
- Cannabis Producer Microbusiness (produces cannabis at a single premise with no more than 200 mature plants at one time);
- Cannabis Manufacturer (turns uncultivated cannabis into oils, edibles, and products); and
- Cannabis Research and/or Testing Laboratories;



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Memorandum



- Cannabis Consumption Areas (place where cannabis is smoked, vaporized, or ingested);
- Integrated Cannabis Microbusiness (may include combination of producer microbusiness, manufacture and retail at a single location selling only their own products); and
- Vertically Integrated Cannabis Establishment (may include combination of retail, producer, and manufacturer).

The proposed City ordinance would mirror the existing definitions set forth by the State of New Mexico. The City ordinance would also adopt further restrictions regarding density, classifications, and hours of operation.

On July, 14, 2021, the Governing Body heard a presentation from Staff which outlined how the Land Use Department would classify cannabis establishments under the current zoning and land use codes. Staff also made formal cannabis recommendations moving forward. As contemplated in Chapter 14, the Planning Commission is making the recommendations for changes to the Chapter, beginning with the recommendations from its policy subcommittee.

The Policy Subcommittee conducted several meetings to formalize answers to the broad land use policy questions that Staff posed to the Governing Body on July 14, 2021. Subcommittee members have also worked to research the legislative limitations, best practices, and experiences of other places, and have noted their appreciation of staff for assistance with this research. The Subcommittee's primary focus has been to make recommendations regarding appropriate time, place, and manner restrictions for the following types of cannabis establishments: commercial retail, production (growing), testing and research laboratories, manufacturing facilities, and vertically integrated cannabis establishments. The Policy Subcommittee's recommendations are aimed at promoting the cannabis economy while protecting public health, safety, and the general welfare.

Planning and Land Use Department Review of Proposed Legislation:

Under SFCC Section 14-3.3, the Planning and Land Use Department is required to review proposed amendments to the text of Chapter 14 to ensure compliance with the following criteria:

1. compliance with law;
2. consistency with the general plan;
3. consistency with other policies adopted by the Governing Body;
4. consistency with the purpose and intent of Chapter 14 and of the section being amended;
5. consideration of how the amendment relates to other provisions of the Santa Fe City Code and the avoidance of unintended consequences; and
6. consistency with any approved neighborhood conservation overlay districts.

The Planning and Land Use Department, in consultation with the City Attorney's Office, has reviewed and crafted the proposed legislation to ensure that all of the above criteria are met.



City of Santa Fe, New Mexico

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ACTION REQUESTED:

The Planning and Land Use Department requests that the Planning Commission and council committees consider the proposed legislation and make a positive recommendation to the Governing Body and that the Governing Body adopt the proposed legislation.

ATTACHMENTS:

1. Bill
2. Policy Subcommittee Memo on Recommendations
3. Fiscal Impact Report

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CITY OF SANTA FE, NEW MEXICO

BILL NO. 2021-19

AN ORDINANCE

AMENDING THE LAND DEVELOPMENT CODE, CHAPTER 14 SFCC 1987, TO ADDRESS ZONING ISSUES RELATED TO CANNABIS; AMENDING TABLE 14-6.1-1, TABLE OF PERMITTED USES, TO CLARIFY ZONING DISTRICTS FOR VARIOUS TYPES OF CANNABIS ESTABLISHMENTS, AND TO ADOPT OPERATING TIMES, DENSITY LIMITATIONS, AND A MINIMUM DISTANCE BETWEEN CANNABIS RETAIL ESTABLISHMENTS AND SCHOOLS OR DAYCARE CENTERS; AMENDING SUBSECTION 14-6.2(H), AGRICULTURAL USES, TO ADDRESS CANNABIS PRODUCTION; ADDING A NEW SUBSECTION 14-6.2(I) TO ADOPT USE-SPECIFIC STANDARDS FOR CANNABIS ESTABLISHMENTS, INCLUDING OPERATING TIMES, DENSITY LIMITATIONS, AND A MINIMUM DISTANCE BETWEEN CANNABIS RETAIL ESTABLISHMENTS AND SCHOOLS OR DAYCARE CENTERS; AMENDING SUBSECTION 14-6.3(B)(2) TO PROHIBIT COMMERCIAL CANNABIS ESTABLISHMENTS AS ACCESSORY USES OR STRUCTURES ON RESIDENTIALLY ZONED PROPERTY; AMENDING SUBSECTION 14-6.3(D)(2) TO PROHIBIT THE CONDUCT OF A CANNABIS ESTABLISHMENT AS A HOME OCCUPATION;

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1 AMENDING SECTION 14-12.1 TO ADD DEFINITIONS FOR VARIOUS TYPES OF
2 CANNABIS ESTABLISHMENTS; ESTABLISHING AN EFFECTIVE DATE; AND
3 MAKING SUCH OTHER CHANGES AS ARE NECESSARY TO CARRY OUT THE
4 PURPOSE OF THIS ORDINANCE.

5

6 BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF SANTA FE:

7 Section 1. Table 16-1.1-1 of the Land Development Code (being Ord. No. 2011-
8 37, § 8, as amended) is amended to read:

9 Table 14-6.1-1

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CATEGORY Specific Use	RR	R-1	R-7	R-7	RC-5, R-10	MHP	RAC	AC**	C-1	C-2	C-4	HZ	BCD	I-1	I-2	BIP	SC-1	SC-2	SC-3	MU ***	Reqs 14-6.2	Use-Specific
COMMERCIAL																						
Animal Sales and Service																						
Veterinary establishments, pet grooming	S								P*	P*	P*		P	P	P	P*		P*	P*	P* ₂		
Kennel	S								P*	P*	P*		P	P	P	P*						
Arts Activities																						
Arts and crafts studios, galleries and shops; gift shops for the sale of arts and crafts							P ₁₀	P	P	P	P		P	P				P	P	P	P ²	
Arts and crafts schools							P ₁₀	P	P	P	P		P	P		P	P	P	P	P	P ²	

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Dance studios								P 1 0	P	P	P			P	P		P	P	P	P	P 2	
Photographers' studios								P 1 0	P	P	P			P	P		P	P	P	P	P 2	
Assembly																						
Private clubs and lodges	S	S	S		S	S		S	S	P*	P*	P*	P*	P*	P*		P*	P*	P*	P*	P* ₂	
<u>Cannabis consumption area</u>																						(I)
<u>Cannabis manufacturing, heavy</u>															P	P	P					(I)
<u>Cannabis manufacturing, light</u>											<u>P</u>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>					(I)
<u>Cannabis producer microbusiness (200 mature plants max.), indoor growing only</u>																						

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<u>Extra small</u> <u>(2,500 sq. ft.</u> <u>canopy max.)</u>											<u>P</u>					<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>(H), (I)</u>
<u>Small (2,501</u> <u>- 10,000 sq.</u> <u>ft. canopy)</u>											<u>P</u>					<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>(H),</u> <u>(I)</u>
<u>Medium</u> <u>(10,001 -</u> <u>22,000 sq. ft.</u> <u>canopy)</u>											<u>P</u>					<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>(H),</u> <u>(I)</u>
<u>Large</u> <u>(22,001 or</u> <u>more sq. ft.</u> <u>canopy)</u>											<u>P</u>					<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>(H),</u> <u>(I)</u>
<u>Cannabis producer microbusiness (200 mature plants max.), outdoor growing</u>																								
<u>Extra small</u> <u>(2,500 sq. ft.</u> <u>canopy max.)</u>											<u>S</u>					<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>		<u>(H),</u> <u>(I)</u>
<u>Small (2,501</u> <u>- 10,000 sq.</u> <u>ft. canopy)</u>											<u>S</u>					<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>		<u>(H),</u> <u>(I)</u>

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<u>Medium</u> (10,001 - 22,000 sq. ft. canopy)											<u>S</u>						<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>				<u>(H), (I)</u>	
<u>Large (22,001</u> <u>or more sq. ft.</u> <u>canopy)</u>											<u>S</u>						<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>				<u>(H), (I)</u>	
<u>Cannabis producer, indoor growing only</u>																												
<u>Extra small</u> (2,500 sq. ft. canopy max.)											<u>S</u>							<u>P</u>	<u>P</u>	<u>S</u>								<u>(H), (I)</u>
<u>Small (2,501 -</u> <u>10,000 sq. ft.</u> <u>canopy)</u>											<u>S</u>							<u>P</u>	<u>P</u>	<u>S</u>								<u>(H), (I)</u>
<u>Medium</u> (10,001 - 22,000 sq. ft. canopy)											<u>S</u>							<u>P</u>	<u>P</u>	<u>S</u>								<u>(H), (I)</u>
<u>Large (22,001</u> <u>or more sq. ft.</u> <u>canopy)</u>											<u>S</u>							<u>P</u>	<u>P</u>	<u>S</u>								<u>(H), (I)</u>

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<u>Cannabis producer, outdoor growing</u>																					
<u>Extra small (2,500 sq. ft. canopy max.)</u>											<u>S</u>				<u>S</u>	<u>S</u>	<u>S</u>			<u>(H), (I)</u>	
<u>Small (2,501 - 10,000 sq. ft. canopy)</u>											<u>S</u>				<u>S</u>	<u>S</u>	<u>S</u>			<u>(H), (I)</u>	
<u>Medium (10,001 - 22,000 sq. ft. canopy)</u>											<u>S</u>				<u>S</u>	<u>S</u>	<u>S</u>			<u>(H), (I)</u>	
<u>Large (22,001 or more sq. ft. canopy)</u>											<u>S</u>				<u>S</u>	<u>S</u>	<u>S</u>			<u>(H), (I)</u>	
<u>Cannabis research laboratory</u>											<u>P</u>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>			<u>(D)(4), (I)</u>	
<u>Cannabis testing laboratory</u>											<u>P</u>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>			<u>(D)(4), (I)</u>	
<u>Commercial cannabis retailer</u>											<u>P</u>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u> ²	<u>(I)</u>

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<p>* Special use permit required if located within 200 feet of <i>residentially-zoned property</i> unless a <i>qualifying project</i> located within the Midtown LINC Overlay District; otherwise permitted. (Ord. No. 2013-16 § 29; Ord. No. 2016-39 § 3)</p>
<p>**Uses listed are in addition to those permitted in the underlying district. No more than 3,000 square feet of <i>gross floor area</i> may be devoted to <i>nonresidential</i> uses.</p>
<p>***See Section 14-7.3(B)(1) for additional MU district regulations including minimum percentage of residential use. (Ord. No. 2013-16 § 22)</p>
<p>1. In the RR district, multiple- family dwellings are limited to four per lot.</p>
<p>2. Hours of operation limited to 7 a.m. to 10 p.m.</p>
<p>3. Amplified live entertainment or amplified music for dancing prohibited after 10 p.m.</p>
<p>4. Not to exceed 1,000 square feet gross floor area, sales of alcohol prohibited.</p>
<p>5. Hospital is a permitted use in the Las Soleras Hospital District; requires special use permit in the Christus St. Vincent Hospital District.</p>
<p>6. See Section 14-6.2(A)(7) for additional regulations for principal dwelling units in the C-2, BIP and SC districts.</p>
<p>7. See Section 14-6.3 for additional accessory use regulations; see Section 14-6.4 (Temporary Uses or Structures)</p>
<p>8. In the Las Soleras Hospital District a heliport serving a hospital is a permitted use.</p>
<p>9. See Section 14-7.2(I) for standards for pre-existing mobile home parks and Section 14-6.2(A)(3)(a) for prohibition of new mobile home parks in MHP districts.</p>
<p>10. See Section 14-7.2(H) 3,000 square foot limit applies to specified uses in RAC district. (Ord. No. 2014-31 § 11)</p>

1 **Section 2. Subsection 14-6.2(H) of the Land Development Code (being Ord. No.**
2 **2016-42, § 2, as amended) is amended to read:**

3 (H) **Agricultural Uses**

4 (1) Agricultural uses for noncommercial purposes that are *accessory* uses to
5 a permitted *principal* use are permitted in all zoning districts but shall not create a public
6 nuisance, subject to Subsection 10-9 SFCC 1987, Nuisance Abatement Ordinance, and shall meet
7 all other applicable *city* codes.

8 (2) Agricultural uses for commercial purposes are permitted as set forth in
9 Table 14-6.1-1; however, the following commercial agricultural uses are specifically prohibited:

- 10 (a) animal production;
- 11 (b) slaughterhouses and slaughtering of livestock; and
- 12 (c) any other use prohibited by 5-7.1 SFCC 1987.

13 (3) Applicability. No agricultural activity shall be conducted, or *farm*
14 *structure* erected, except in compliance with the provisions of this Subsection 14-6.2(H), and
15 shall not supersede the rights of home owners associations (HOAs) or any existing covenants,
16 conditions and restrictions of HOAs or other neighborhood associations. The provisions of this
17 subsection shall apply to all agricultural activities, whether such activity is a primary use or an
18 accessory use, except for:

- 19 (a) Gardens for the personal noncommercial use of residents as
20 accessory uses to *residential* uses.
- 21 (b) Community gardens located on city-owned property and
22 regulated by written policies and procedures of the City of Santa Fe.
- 23 (c) Community gardens for noncommercial purposes permitted as
24 an accessory use.
- 25 (d) The growing of cannabis for personal use, as permitted by the

1 Lynn and Erin Compassionate Use Act, NMSA 1978, Sections 26-2B-1 to -10 NMSA 1978; and
2 the Cannabis Regulation Act, NMSA 1978, Sections 26-2C-1 to -42.

3 4) Approval Procedures.

4 (a) Agricultural uses are allowed as an accessory use; with a special
5 use permit; or permitted by right, all as shown in Table 14-6.1-1.

6 (b) Except as otherwise provided in this Subsection 14-6.2(H), the
7 procedural and other requirements for *home occupations*, special use permits and development
8 plans apply to agricultural uses and *structures*. No commercial cannabis activity, including
9 cannabis production, may be conducted as a *home occupation*.

10 (c) Agricultural uses and *structures* shall comply with all other
11 applicable provisions of SFCC 1987, including Chapter VII relating to building and housing, and
12 Chapter XII relating to fire prevention and protection.

13 (d) The governing body may adopt by resolution guidelines for the
14 development and operation of agricultural uses, which shall guide the *land use director* in the
15 administration of this Subsection 14-6.2(H).

16 (5) Development Standards.

17 (a) Except as otherwise provided in this Subsection 14-
18 6.2(H), *structures* associated with agricultural uses are subject to the development standards
19 established for the underlying and overlay zoning districts within which the property is located.

20 (b) Agricultural *home occupations* shall comply with
21 Subsection 14-6.3(D)(2).

22 (6) *Urban Farm, Ground Level*.

23 (a) The principal activity to be performed on a *ground level urban*
24 *farm* shall be the cultivation of agricultural crops.

25 (b) *Ground level urban farms* are permitted as provided in Table 14-

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(7) *Urban Farm, Roof Level*

(a) The principal activity to be performed on a *roof level urban farm* shall be the cultivation of agricultural crops.

(b) *Roof level urban farms* are permitted as provided in Table 14-6.1-1.

(8) *Aquaculture, Aquaponics and Hydroponics.*

(a) *Aquaculture, aquaponics and hydroponics* are permitted as provided in Table 14-6.1-1.

(b) Operations must comply with applicable Federal and State regulations for water use and discharge, and for the possession, propagation, culture, sale and disposition of living marine organisms.

(9) *Farm Stands.*

(a) An urban farm may include a *farm stand*. *Farm stands* located in zoning districts which otherwise prohibit retail sales shall be limited to sales of agricultural products that are grown on the premises, shall not be larger than 48 square feet, and shall be erected only during business operating hours and during the farming season.

(b) Operation of a *farm stand* requires a *home occupation* permit or other type of business license issued by the City of Santa Fe Business Licensing Division.

(10) *Cannabis Producer and Cannabis Producer Microbusiness*

(a) *Cannabis Producers and Cannabis Producer Microbusinesses* are permitted as provided in Table 14-6.1-1.

(b) *Cannabis Producers and Cannabis Producer Microbusinesses* must comply with applicable State regulations and licensure, in addition to applicable provisions of the SFCC 1987.

1 ([10]11) Screening and Buffering.

2 (a) Any composting, loading or disposal areas within or adjacent to
3 a residential or commercial zoning district shall be screened from view by a wall, fence, berm or
4 vegetative screen, or combination thereof. Any fencing shall be constructed of opaque materials
5 and shall comply with the standards and requirements applicable to fences in the zoning district
6 where the property is located.

7 (b) Any material or equipment stored outdoors within
8 a residential or commercial zoning district shall be surrounded by a wall or fence or vegetative
9 screen not less than six (6) feet high, as may be necessary, to screen such material or equipment
10 from view from any public street or public open space.

11 ([11]12) Maintenance and Operation. Urban farms, cannabis producers,
12 and cannabis producer microbusinesses shall be used and maintained in such a manner in which
13 at no time shall they constitute a nuisance or hazard to the surrounding neighborhood.

14 ([12]13) Soil Safety. All urban farms, cannabis producers, and cannabis
15 producer microbusinesses using conditioned soil will be required to comply with the New
16 Mexico Soil and Water Conservation Act, Sections 73-20-25 through 73-20-48 NMSA 1978.

17 ([13]14) Composting.

18 (a) Composting is accessory to an urban farm, cannabis producer,
19 or cannabis producer microbusinesses and shall be used only onsite where any ground level
20 urban farm~~[-or]~~, roof level urban farm, cannabis producer, or cannabis producer
21 microbusiness is permitted. Composting shall occupy no more than ten (10) percent of the farm
22 area, and cooked food, raw animal matter, animal waste, and human waste shall not be used in
23 the creation of compost.

24 (b) Composting as a principal use requires approval of a special use
25 permit in industrial zoning districts, and is prohibited in other zoning districts.

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(c) Maximum Height:

(i) Maximum height of composting structures or bins shall not exceed the maximum height permitted for fences and walls in the zoning district where the property is located.

(ii) On a *roof level urban farm*, any *composting* must be contained within a fully enclosed inflammable bin that does not have direct contact with flammable materials.

(d) *Setbacks*:

(i) Subject to Subsection 14-6.3(B)(2) Accessory Uses, compost bins, accessory structures and windrows shall comply with the applicable *setback* requirements in all zoned districts.

(ii) Compost bins, structures and windrows located in a required yard or street frontage in all *residential* and *commercial* zoned districts must be screened from street view, and *setback* a minimum of ten (10) feet from the property line.

~~(14)~~15) Water.

(a) Urban farms, *cannabis producers*, and *cannabis producer microbusinesses* are allowed to use the following water resources:

(i) Captured rainwater on-site meeting the requirements of the New Mexico State Engineer's Office (OSE) and Subsection 14-8.4(E).

(ii) Passive water harvesting designed to infiltrate water, control runoff and erosion.

(iii) *Gray water* or treated effluent from permitted on-site sources adhering to the requirements of Section 20-7-3 NMAC and Subsection 14-8.4(E)(2) consistent with its adjudicated, licensed, or permitted use.

(iv) Well water from existing on-site wells, provided that

1 such wells are permitted by the OSE for agricultural use, are metered, and tested annually by a
 2 laboratory certified by the New Mexico environment department to ensure that the well is
 3 bacteria-free and that the levels of arsenic, fluoride, nitrate, and uranium are compliant with EPA
 4 primary drinking water standards (maximum contamination levels, or MCLs), and such lab
 5 reports shall be sent to the *land use director*.

6 (v) Municipal water system.

7 (vi) Stormwater infiltration where or permitted by the OSE.

8 (b) Any constructed water catchment systems shall meet all
 9 permitting requirements of the City of Santa Fe's planning and land use department.

10 (c) Water supplied through the municipal water system shall be
 11 charged at the rate applicable to the meter size, and shall comply with all applicable requirements
 12 of Section 14-8.13 of the land use development code.

13 (i) Separate meters shall be required for irrigation
 14 in *commercial* and *industrial* zoned areas unless the total farm area on the lot is less than five
 15 hundred (500) square feet, and meter data denoting monthly and annual water use shall be sent
 16 to the *land use director* for monitoring purposes.;

17 (ii) Water efficient irrigation systems are required to be
 18 installed and used when water from the municipal water system is used for irrigation.

19 (d) Irrigation systems shall comply with Subsection 14-8.4(E)(4),
 20 including installation of an approved backflow prevention device.

21 (e) Watering times shall comply with the outdoor conservation
 22 regulations pursuant to Subsection 25-2.7 SFCC 1987.

23 (f) The use of other water efficient technologies and water
 24 management best practices, such as use of ollas or other water-holding materials, are allowed.
 25 The *land use director* shall provide all urban farms with city-authored water efficient irrigation

1 guidelines and low-water use landscape literature, such as landscape irrigation design standards.

2 (~~15~~16) Abandonment.

3 (a) If an agricultural use ceases for any reason for three hundred
4 sixty-five (365) consecutive days without the prior written approval of the *land use director*, the
5 use shall be deemed to be abandoned.

6 (b) Any property used for agricultural purposes pursuant to this
7 section shall be cleared and restored to the state in which it existed prior to commencement of
8 the agricultural use. The property owner shall remove from the property all *farm*
9 *structures* within ninety (90) days after the date the agricultural use is discontinued. Site clearing
10 shall consist of:

11 (i) Physical removal of all *farm structures*, farm equipment
12 and machinery; and

13 (ii) Disposal of all *composting* and agricultural waste in
14 accordance with local and state waste disposal regulations; and

15 (iii) Stabilization of the site's vegetation as necessary to
16 minimize erosion and invasive species encroachment. The *land use director* may allow the owner
17 to leave landscaping in order to minimize erosion and disruption to vegetation.

18 (c) If the applicant fails to remove *farm structures*, farm equipment,
19 and farm machinery in accordance with the requirements of this Subsection 14-6.2(H)(~~15~~16)
20 within ninety (90) days of the date the agricultural use is discontinued, the *land use director* shall
21 proceed with enforcement actions as provided for in Section 14-11.

22 **Section 3. [NEW MATERIAL] A New Subsection 14-6.2(I) of the Land**
23 **Development Code is ordained to read:**

24 **(I) *Cannabis Establishments***

25 (1) Applicable law. *Cannabis establishments* are subject to applicable

1 sections of the Land Development Code, as set forth in Chapter 14 of the SFCC 1987; other
2 applicable city ordinances, as set forth in the SFCC 1987; and applicable state laws and regulations.
3 Applicable provisions include, but are not limited to, the Lynn and Erin Compassionate Use Act,
4 Sections 26-2B-1 to -10 NMSA 1978; the Cannabis Regulation Act, Sections 26-2C-1 to -42
5 NMSA 1978; the Dee Johnson Clean Indoor Air Act, Sections 24-16-1 to -20 NMSA 1978; the
6 Santa Fe Smoke Free Ordinance, Section 10-6 SFCC 1987; the Nuisance Abatement Ordinance,
7 Section 10-9 SFCC 1987; and the Business License Ordinance, Section 18-1 SFCC 1987.

8 (2) Enforcement. A person who fails to adhere to the provisions of Chapter
9 14 of the SFCC shall be subject to the enforcement provisions set forth in Sections 1.3 and 14-11
10 SFCC 1987 and all other legal remedies and enforcement actions available under the law.

11 (3) Permitted Uses. *Cannabis establishments* are permitted only as set forth
12 in Table 14-6.1-1 and this subsection. A *vertically integrated cannabis establishment* or *integrated*
13 *cannabis microbusiness* is permitted only if all of the uses encompassed by the license are permitted
14 in the zoning district.

15 (3) Minimum Distance from Schools. A new *cannabis establishment* is not a
16 permitted use if the new *cannabis establishment* would be located within a three hundred (300) foot
17 radius of an existing preschool, daycare center, elementary school, or secondary school. The radius
18 shall be measured from the subject property boundaries.

19 (4) Retail Establishments.

20 (a) Density limitation. A new *commercial cannabis retailer* is not a
21 permitted use if the new *commercial cannabis retailer* would be located within a four hundred
22 (400) foot radius of an existing *commercial cannabis retailer*. The radius shall be measured from
23 the subject property boundaries.

24 (b) Operating hours. The hours of operation for a *commercial*
25 *cannabis retailer* are limited to 7:00 a.m. to 12:00 a.m. (midnight).

1 (5) Odors and Ventilation. All *cannabis establishments* must comply with
 2 applicable state and *city* laws and regulations concerning odors and ventilation, including building
 3 and fire codes. Cannabis producers, cannabis producer microbusinesses, and cannabis
 4 manufacturers must use industry standard techniques to minimize odorous, toxic, or noxious matter,
 5 such as activated carbon filtration and regular maintenance of HVAC systems. Cannabis producers,
 6 cannabis producer microbusinesses, cannabis manufacturers, and cannabis consumption areas must
 7 have an odor control plan approved by the City.

8 (6) Safety and Security. All *cannabis establishments* must comply with state
 9 law and regulations concerning safety and security, in addition to applicable provisions of the SFCC
 10 1987.

11 * Editor’s Note: the current subsection (I) shall be re-lettered as subsection (J).

12 **Section 4. Subsection 14-6.3(B)(2) of the Land Development Code (being Ord.**
 13 **No. 2011-37, § 8, as amended) is amended to read:**

14 (B) Permitted Accessory Uses and Structures

15 (2) RR, R1-R-6, R-7, R-7(I), R-8, R-9, RC-5, RC-8, R-10, R-21, R-29, RAC,
 16 C-1, C-4, and HZ Districts (Ord. No. 2014-31 § 14)

17 (a) The following *accessory* uses and *structures* are permitted in the
 18 RR, R1-R-6, R-7, R-7(I), R-8, R-9, RC-5, RC-8, R-10, R-21, R-29, RAC, C-1, C-4 and HZ districts:
 19 (Ord. No. 2013-16 § 31)

20 (i) *home occupations*, as provided for in Subsection 14-
 21 6.3(D)(2);

22 (ii) *noncommercial greenhouses* and plant nurseries;

23 (iii) *private garages*;

24 (iv) *utility sheds*, located within the *rear yard* only;

25 (v) *children's play areas* and play equipment;

- 1 (vi) private barbeque pits and private swimming pools;
- 2 (vii) *accessory dwelling units* as regulated in Subsection 14-
- 3 6.3(D)(1);
- 4 (viii) other uses and *structures* customarily *accessory* and
- 5 clearly incidental and subordinate to permitted or permissible uses and *structures*; and
- 6 (ix) *accessory structures* of a permanent, temporary or
- 7 portable nature such as coverings not constructed of solid building materials, including inflatable
- 8 covers over swimming pools and tennis courts, and such other *accessory structures* that exceed
- 9 thirty (30) inches in height from the average ground elevation.

10 (b) All *accessory* uses and *structures* allowed under Subsection 14-

11 6.3(B)(2)(a) shall:

- 12 (i) not involve the conduct of *business* on the *premises*,
- 13 except *home occupations*;
- 14 (ii) be located on the same *lot* as the permitted *principal* use
- 15 or *structure* or on a contiguous *lot* in the same ownership; and
- 16 (iii) not be likely to attract visitors in larger numbers than
- 17 would normally be expected in a *single-family residential* neighborhood.

18 (c) The following activities are prohibited within *residentially zoned*

19 *districts*:

- 20 (i) Storage or parking, either continuous or intermittent, of
- 21 commercial or industrial vehicles, except for those vehicles that are authorized by a special
- 22 use *permit* or other permitted *non-residential* use.

- 23 A. Commercial or industrial vehicles include:
- 24 1. vehicles requiring a commercial driver's
- 25 license to operate;

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pumper trucks;

tractors)

equipment;

related to an active construction *permit*); or

manufacturer for *business* purposes.

- 2. tour buses or school buses;
- 3. concrete mixer trucks or concrete
- 4. towing vehicles;
- 5. earthmoving or *grading* equipment;
- 6. trailers or tractors (except lawn trailers or
- 7. motorized construction or agricultural
- 8. cranes;
- 9. roll-off trash containers (except as
- 10. any other vehicles designed by the

B. Commercial or industrial vehicles do not include:

- 1. *recreational vehicles* or trailers related to *recreational vehicles* that are used for personal purposes; or
- 2. passenger vehicles, pickup trucks or small trailers that may be used for *business* purposes related to a registered *home occupation business*.

(ii) Outdoor storage of construction materials, except in connection with active construction activities on the *premises*;

(iii) Storage of *mobile homes* or commercial shipping containers;

(iv) Vehicles, tents or other *structures* that do not comply with

1 this chapter or other applicable codes, used as dwellings;

2 (v) Storage of PODS[®] or similar style moving/shipping
3 containers for more than thirty (30) days;

4 (vi) Storage or parking within any portion of a *street*
5 *yard* other than a driveway of a noncommercial vehicle used for storage of goods, materials or
6 equipment other than those items considered to be a part of the vehicle or essential for its immediate
7 use; ~~and~~

8 (vii) Use of any vehicle as a receptacle for the storage of litter
9 or refuse as provide by Subsections 10-1.13 and 10-1.14 SFCC 1987~~[-]~~; and

10 (viii) ~~[Use of any structure or]~~ The conduct of any *business* or
11 *home occupation* ~~[for any]~~ as a cannabis establishment or for a commercial cannabis activity.

12 **Section 5. Subsection 14-6.3(D)(2) of the Land Development Code (being**
13 **Ord. No. 2011-37, § 8, as amended) is amended to read:**

14 (D) Standards for Specific Accessory Uses

15 (2) Home occupations

16 (a) Purposes

17 The purposes of the this Subsection 14-6.3(D)(2) are to increase the
18 economic vitality of Santa Fe; provide increased worker independence, self-sufficiency and
19 motivation; decrease traffic congestion through the enhancement of community; increase the
20 safety of the neighborhoods by promoting neighborhood activity; integrate the ideas of working
21 and residing in the same environment; protect the stability and character of the neighborhood;
22 and encourage neighborhood participation in the determination of a successful balance between
23 neighborhood residents and home-based *businesses*.

24 (b) Standards

25 *Home occupations* are permitted on all *property*,

1 including *residential* or *mixed-use residential*/commercial if the standards provided in this
2 paragraph are met.

3 (c) General Standards

4 (i) The *home occupation* shall involve the primary sale of
5 goods or services in connection with the *home occupation* , including: 1) goods that are prepared,
6 produced or grown on the *premises* ; 2) services that are developed on the *premises* and provided
7 on or off the *premises* ; 3) the sale of goods that are not produced on the *premises* and that are
8 only distributed off the *premises* ; or 4) repair services that take place solely within the home.

9 (ii) The *home occupation* shall be located on the same *lot* as
10 the permitted *principal use* or *structure* or on a contiguous *lot* in the same ownership.

11 (iii) The *home occupation* shall be conducted by
12 the *business* owner who resides continuously for a substantial period of time at the *premises* in
13 which the *home occupation* is conducted. Continuous residence is determined by the land use
14 director by review of relevant factors. The address listed on a driver's license, voter registration
15 or tax return may not be sufficient to establish continuous residence.

16 (iv) Not more than two persons, other than members of
17 the *family* who reside on the *premises*, shall be regularly engaged in the *home occupation*.

18 (v) Except for on-street parking, as set forth in this section,
19 a *home occupation* shall be completely contained within the *property* lines of the lot on which
20 the *home occupation* is located. A *home occupation* shall be in compliance with the performance
21 standards set forth in Section 10-4 SFCC (General Environmental Standards); not produce any
22 offensive noise, vibration, smoke, dust, odors, heat, gas, glare or electrical interference; or
23 otherwise create a risk to health, safety or *property* of residents and occupants of adjacent and
24 neighboring *properties* . The storage of firearms, ammunition, fireworks or similar explosives
25 for sale or service is prohibited. Mechanical or electrical equipment that is incidental to the *home*

1 *occupation* may be used if it does not create visible or audible interference in radio, computer or
2 television receivers or cause fluctuation in voltage of the premises or neighboring premises.
3 Depending upon the nature of the *home occupation* , the land use director may require proof of
4 compliance with these restrictions prior to issuance of a *business* registration.

5 (vi) *Employees* , customers, clients or deliveries shall not
6 enter the *premises* between the hours of 7:00 p.m. and 8:00 a.m. weekdays and 7:00 p.m. and
7 10:00 a.m. weekends. Depending on the nature of the *home occupation* , the *land use*
8 *director* may reduce the hours of operation. Deliveries are limited to vehicles that do not exceed
9 eleven (11) feet in height and twenty (20) feet in length.

10 (vii) No *cannabis establishment* or *commercial cannabis*
11 *activity* may be conducted as a *home occupation*.

12 (d) Structural Standards

13 (i) Not more than twenty-five percent of the *gross floor*
14 *area* of the *dwelling unit* , including *accessory buildings* , shall be used to conduct a *home*
15 *occupation* . In determining the *gross floor area* of an *accessory dwelling unit* , no more than one
16 thousand (1,000) square feet shall be used.

17 (ii) Nothing incidental to the conduct of a *home*
18 *occupation* shall be constructed, installed, placed, parked or stored on a residentially zoned *lot* on
19 which a *home occupation* is being conducted if it is visible from any adjacent or
20 neighboring *property* and if it is not in keeping with the *residential* character of the
21 neighborhoods surrounding the *lot* , except for *signs* and parking set forth in item (iii) below. A
22 person who conducts a *home occupation* and applies for a construction *permit* shall demonstrate
23 to the *land use director* that the proposed construction does not violate any section of this
24 Subsection 14-6.3(D)(2).

25 (iii) No more than one *sign* is permitted, and the area of

1 the *sign* shall not exceed one square foot.

2 (e) Parking Standards

3 (i) Depending on the nature of the *home occupation*, the
 4 following parking spaces shall be provided on the *lot* : 1) if there are no *employees* who reside
 5 off the *premises* and customers or clients do not come to the *premises*, only parking for
 6 the *dwelling unit* is required; 2) if there are no *employees* who reside off the premises and
 7 customers or clients come to the *premises* , at least one parking space shall be provided on the
 8 lot for every four hundred (400) square feet of the *gross floor area* of the *premises* used for
 9 the *home occupation*, in addition to that required for the *dwelling unit*; 3) if there are
 10 any *employees* who reside off the *premises* and customers or clients do not come to the *premises*,
 11 at least one parking space shall be provided on the *lot* for every *employee* simultaneously
 12 working, in addition to that required for the *dwelling unit*; 4) if there are *employees* who reside
 13 off the *premises* and customers or clients come to the *premises*, at least one parking space shall
 14 be provided on the *lot* for every *employee* simultaneously working and at least one parking space
 15 shall be provided on the *lot* for every four hundred (400) square feet of the *gross floor area* of
 16 such *premises* used for the *home occupation* in addition to that required for the *dwelling unit*;

17 (ii) No more than one vehicle relating to a *home*
 18 *occupation* may be parked at any one time on the *streets* adjacent or proximate to the *lot* on
 19 which the *home occupation* is being conducted; however, in light of the character of the
 20 surrounding neighborhood, the *land use director* may prohibit any vehicles used in connection
 21 with a *home occupation* from parking on the *street*. This item regulates parked vehicles not
 22 associated with the *residential* use of the *dwelling unit*.

23 (f) Other Requirements; Inspections

24 (i) The *home occupation* shall comply with all other
 25 applicable codes, including without limitation the currently adopted fire and building codes, the

1 federal American disabilities act and the *city's* wastewater requirements. Depending on the
2 location of the *home occupation*, private covenants enforceable by those governed by the
3 covenants may apply.

4 (ii) Inspections by the *city* are required prior to issuance of
5 the *business* registration for the *home occupation* only for those *home occupations* in which the
6 following occur: 1) *employees* reside off the *premises* come to the *premises*; 2) customers or
7 clients come to the *premises*; or 3) goods for sale are prepared, produced, grown or stored on
8 the *premises*. The *city* reserves the right to inspect all *home occupations* for code compliance at
9 such times as the *city* receives a complaint or has reason to believe the *city's* codes may be
10 violated.

11 (g) Notice; Registration; Violations; Complaints; Variances;
12 Appeals

13 (i) A person proposing to conduct a *home occupation* that
14 will have more than one *employee* who will reside off the *premises* or that will have customers
15 or clients coming to the *premises*, shall as part of the *application* be required to give notice, by
16 first class mail with mailing certificate, of the *home occupation application* to all residents
17 and *property owners* within one hundred fifty (150) feet of the *premises* and nearby
18 neighborhood associations. The notice shall include the nature of the *home occupation*, the
19 number of *employees*, whether customers or clients will be involved, the willingness of
20 the *applicant* to meet with the neighboring residents and *property owners* and that the
21 neighboring resident and *property owner* may review the *application* at the *city* offices. The
22 neighboring residents and *property owners* have fifteen days from the date the notice was mailed
23 to review the *application*. The *land use director* shall collect and evaluate this public comment
24 that shall be used in determining whether the *home occupation* shall be approved and what
25 restrictions, if any, shall be placed on it.

1 (ii) Each person who engages in a *home occupation* shall
 2 register the *home occupation* with the *city* on forms designated by the *city*, shall provide such
 3 information as required by the forms to verify compliance with the regulations, and shall renew
 4 such registration each year.

5 (iii) A person shall not conduct a *home occupation* in
 6 violation of this section. In addition to any other remedies available, the *city* may revoke
 7 the *business* registration for the *home occupation* or the *certificate of occupancy* for
 8 any *building* in which a *home occupation* is being conducted in violation of this section. A person
 9 who fails to comply with the provisions of this section is subject to a penalty as provided
 10 in Article 14-11.

11 (iv) A *person* who is aggrieved by an approved *home*
 12 *occupation business* may file a complaint with the *city*. Within thirty calendar days of
 13 the *city's* receipt of the complaint, the *city* shall investigate the complaint and issue a written
 14 decision as to whether the *home occupation* against which the complaint was filed violates or
 15 complies with this section. If a violation is found, the *land use director* shall determine the
 16 actions that have been or should be taken to address the violation. Complaints shall be kept on
 17 file and be open to the public. When investigating complaints, the *land use director* shall review
 18 the file for prior complaints.

19 **Section 5. Section 14-12.1 of the Land Development Code (being Ord. No. 2011-**
 20 **37, § 15, as amended) is amended to add the following definitions:**

21 CANNABIS CANOPY AREA

22 The surface area utilized to produce cannabis plants calculated in square feet and measured
 23 using clearly identifiable boundaries of all area(s) that will contain cannabis plants at any point in
 24 time, including all of the space(s) within the boundaries. Canopy may be noncontiguous, but each
 25 unique area included in the total canopy calculation shall be separated by an identifiable boundary,

1 which includes: interior walls, shelves, greenhouse walls, hoop house walls, garden benches,
 2 hedgerows, fencing, garden beds, or garden plots. If mature plants are being cultivated using a
 3 shelving system, the surface area of each level shall be included in the total canopy calculation.

4 CANNABIS CONSUMPTION AREA

5 An area where cannabis products may be served and consumed by smoking, vaping, or
 6 ingesting, provided that alcohol cannot be sold or consumed in a cannabis consumption area.

7 CANNABIS ESTABLISHMENT

8 A broad term that includes a cannabis testing laboratory, a cannabis manufacturer, a
 9 cannabis producer, a cannabis retailer, a cannabis research laboratory, a vertically integrated
 10 cannabis establishment, a cannabis producer microbusiness, or an integrated cannabis
 11 microbusiness.

12 CANNABIS MANUFACTURING, LIGHT

13 A use that involves compounding, blending, extracting, infusing, packaging, or otherwise
 14 preparing a cannabis product using nonvolatile solvents, alcohol, or carbon dioxide, or no solvents.

15 CANNABIS MANUFACTURING, HEAVY

16 A use that involves compounding, blending, extracting, infusing, packaging, or otherwise
 17 preparing a cannabis product using volatile solvents or other methods that fall outside the scope of
 18 light cannabis manufacturing.

19 CANNABIS PRODUCER

20 A business conducted by a person licensed to cultivate cannabis, including the planting,
 21 growing, harvesting, drying, curing, grading, or trimming of cannabis, provided that the person
 22 possesses two hundred and one (201) total mature cannabis plants or more at any one time.

23 CANNABIS PRODUCER MICROBUSINESS

24 A small business conducted by a person licensed to cultivate cannabis at a single
 25 location, including the planting, growing, harvesting, drying, curing, grading, or trimming of

1 cannabis, provided that the person may not possess more than two hundred (200) total mature
2 cannabis plants at any one time.

3 CANNABIS PRODUCT

4 A product that is or that contains cannabis or cannabis extracts, including edible or topical
5 products that may also contain other ingredients.

6 CANNABIS RESEARCH LABORATORY

7 A facility that produces or possesses cannabis or cannabis products for the purpose of
8 studying cannabis cultivation, characteristics, or uses.

9 CANNABIS TESTING LABORATORY

10 A facility where cannabis products are sampled, collected, and tested.

11 COMMERCIAL CANNABIS ACTIVITY

12 Cultivating, producing, possessing, manufacturing, storing, testing, researching, labeling,
13 selling, purchasing for resale, or consigning cannabis products (but excluding personal growing
14 and use, medical cannabis program activities, and cannabis training and education programs).

15 COMMERCIAL CANNABIS RETAILER

16 A business conducted by a person that is licensed to sell cannabis products directly to
17 consumers who are twenty-one years of age or older.

18 INTEGRATED CANNABIS MICROBUSINESS

19 ~~[A small business conducted by a person that is authorized to act as all or any combination~~
20 ~~of the following: a cannabis courier, a cannabis producer at a single location (and possessing no~~
21 ~~more than two hundred (200) total mature cannabis plants at any one time), a cannabis manufacturer~~
22 ~~at a single location, or a cannabis retailer at a single location selling only products that they have~~
23 ~~manufactured.] A person that is authorized to conduct one or more of the following:~~

- 24 1. production of cannabis at a single licensed premises; provided that the person shall
25 not possess more than two hundred total mature cannabis plants at any one time;

- 1 2. manufacture of cannabis products at a single licensed premises;
- 2 3. sales and transportation of only cannabis products produced or manufactured by
- 3 that person;
- 4 4. operation of only one retail establishment; and
- 5 5. couriering of cannabis products to qualified patients, primary caregivers or
- 6 reciprocal participants or directly to consumers.

VERTICALLY INTEGRATED CANNABIS ESTABLISHMENT

~~[A business conducted by a person that is authorized to act as all or any combination of the following: a cannabis courier, a cannabis manufacturer, a cannabis producer or a cannabis retailer.]~~

A person that is authorized to conduct one or more of the following at any one time:

- 11 1. a cannabis courier;
- 12 2. a cannabis manufacturer;
- 13 3. a cannabis producer; and
- 14 4. a cannabis retailer.

Section 6. Effective Date. This ordinance shall take effect immediately upon adoption.

APPROVED AS TO FORM:

ERIN K. McSHERRY, CITY ATTORNEY

CATEGORY	RR	R-1 – R6	R-7 – R-9	R-7 – 1	RC-5, RC-8	R-10 – R-29	MHP	RAC	AC**	C-1	C-2	C-4	HZ	BCD	I-1	I-2	BIP	SC-1	SC-2	SC-3	MU ***	Use-Specific Regs 14-6.2	
COMMERCIAL																							
<u>Commercial Cannabis Establishments</u>																							
<u>Cannabis consumption area</u>																							(I)
<u>Cannabis manufacturing, heavy</u>															P	P	P						(I)
<u>Cannabis manufacturing, light</u>										P				P	P	P	P						(I)
<u>Cannabis producer microbusiness (200 mature plants max.), indoor growing only</u>																							
<u>Extra small (2,500 sq. ft. canopy max.)</u>											P				P	P	P	P	P	P			(H), (I)
<u>Small (2,501 - 10,000 sq. ft. canopy)</u>											P				P	P	P	P	P	P			(H), (I)
<u>Medium (10,001 - 22,000 sq. ft. canopy)</u>											P				P	P	P	P	P	P			(H), (I)
<u>Large (22,001 or more sq. ft. canopy)</u>											P				P	P	P	P	P	P			(H), (I)

CATEGORY	RR	R-1 – R6	R-7 – R-9	R-7 – 1	RC-5, RC-8	R-10 – R-29	MHP	RAC	AC**	C-1	C-2	C-4	HZ	BCD	I-1	I-2	BIP	SC-1	SC-2	SC-3	MU ***	Use-Specific Regs 14-6.2
COMMERCIAL																						
<u>Commercial Cannabis Establishments</u>																						
<u>Cannabis producer microbusiness (200 mature plants max.), outdoor growing</u>																						
<u>Extra small (2,500 sq. ft. canopy max.)</u>											<u>S</u>				<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>		<u>(H), (I)</u>
<u>Small (2,501 - 10,000 sq. ft. canopy)</u>											<u>S</u>				<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>		<u>(H), (I)</u>
<u>Medium (10,001 - 22,000 sq. ft. canopy)</u>											<u>S</u>				<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>		<u>(H), (I)</u>
<u>Large (22,001 or more sq. ft. canopy)</u>											<u>S</u>				<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>	<u>S</u>		<u>(H), (I)</u>
<u>Cannabis producer, indoor growing only</u>																						
<u>Extra small (2,500 sq. ft. canopy max.)</u>											<u>S</u>				<u>P</u>	<u>P</u>	<u>S</u>					<u>(H), (I)</u>

CATEGORY	RR	R-1 – R6	R-7 – R-9	R-7 – 1	RC-5, RC-8	R-10 – R-29	MHP	RAC	AC**	C-1	C-2	C-4	HZ	BCD	I-1	I-2	BIP	SC-1	SC-2	SC-3	MU ***	Use-Specific Regs 14-6.2	
COMMERCIAL																							
<u>Commercial Cannabis Establishments</u>																							
<u>Small (2,501 - 10,000 sq. ft. canopy)</u>											S				P	P	S						(H), (I)
<u>Medium (10,001 - 22,000 sq. ft. canopy)</u>											S				P	P	S						(H), (I)
<u>Large (22,001 or more sq. ft. canopy)</u>											S				P	P	S						(H), (I)
<u>Cannabis producer, outdoor growing</u>																							
<u>Extra small (2,500 sq. ft. canopy max.)</u>											S				S	S	S						(H), (I)
<u>Small (2,501 - 10,000 sq. ft. canopy)</u>											S				S	S	S						(H), (I)
<u>Medium (10,001 - 22,000 sq. ft. canopy)</u>											S				S	S	S						(H), (I)

CATEGORY	RR	R-1 – R6	R-7 – R-9	R-7 – 1	RC-5, RC-8	R-10 – R-29	MHP	RAC	AC**	C-1	C-2	C-4	HZ	BCD	I-1	I-2	BIP	SC-1	SC-2	SC-3	MU ***	Use-Specific Regs 14-6.2	
COMMERCIAL																							
<u>Commercial Cannabis Establishments</u>																							
<u>Large (22,001 or more sq. ft. canopy)</u>											<u>S</u>				<u>S</u>	<u>S</u>	<u>S</u>						<u>(H), (I)</u>
<u>Cannabis research laboratory</u>											<u>P</u>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>						<u>(D)(4), (I)</u>
<u>Cannabis testing laboratory</u>											<u>P</u>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>						<u>(D)(4), (I)</u>
<u>Commercial cannabis retailer</u>											<u>P</u>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u> ²		<u>(I)</u>



City of Santa Fe New Mexico

Memorandum



Date: August 13, 2021, for the August 19, 2021 Meeting of the Planning Commission

To: Planning Commission

From: The Policy Subcommittee of the Planning Commission

CC: Jason Kluck, Interim Planning and Land Use Department Director
Noah Berke, Current Planning Division Manager

RE: Policy Subcommittee Cannabis Recommendations

ITEM & ISSUE:

In the 2021 Special Session, the New Mexico Legislature adopted the Cannabis Regulation Act (House Bill 2), which legalized recreational cannabis use by adults twenty-one (21) years old and over. The Act, which took effect on June 29, 2021, allows local jurisdictions to adopt zoning and land use regulations but limits the extent of local regulatory authority. This memorandum sets forth the Policy Subcommittee's preliminary recommendations for cannabis land use regulations. The Policy Subcommittee requests input from the full Planning Commission on these recommendations. Following input from the Planning Commission, the Policy Subcommittee will work with Staff to incorporate the recommendations into draft amendments to the Land Development Code, as set forth in Chapter 14 of the Santa Fe City Code. The resulting legislation will require review at public hearings before the Planning Commission and Governing Body before adoption.

The State has clearly outlined that local jurisdictions cannot:

- Prevent anyone properly licensed from transporting cannabis products on public roads;
- Completely prohibit the operation of a cannabis licensee;
- Prohibit or limit signage identifying a business as a cannabis establishment if it's attached to or located on the business premises;
- Require a cannabis establishment or a cannabis consumption area be located more than 300 feet from a school or daycare center that existed when the cannabis establishment or consumption area was licensed;
- Require an existing cannabis licensee to relocate to a new premises; or
- Prohibit an adult New Mexican from producing homegrown cannabis.

Local jurisdictions can adopt rules that reasonably limit conditions like density of cannabis establishments and operating times.

The Policy Subcommittee has conducted several meetings to formalize answers to the broad land use policy questions that Staff posed to the Governing Body on July 14, 2021. Subcommittee members have also worked to research the legislative limitations, best practices, and experiences of other places, and have appreciated the assistance of staff in this research. The Subcommittee's primary focus has been to make recommendations regarding appropriate time, place, and manner restrictions for the following types of cannabis establishments: commercial retail, production (growing), testing and research laboratories, manufacturing facilities, and vertically integrated cannabis establishments. The Policy Subcommittee's recommendations are aimed at promoting the cannabis economy while protecting public health, safety, and the general welfare.

During this process, the Policy Subcommittee has expressed concern that the City's desired timeline assigned to the promulgation of the policy related to the cannabis legislation has impeded the Subcommittee's completion of a thorough and effective set of recommendations. The Subcommittee notes the complexity of this industry and its impacts (both positive and negative) on the community need further examination. It would be beneficial to seek more community feedback prior to making any final recommendations.

Although the Policy Subcommittee has submitted a limited series of general recommendations, it is the intent of the Subcommittee to continue working on producing more impactful and substantive recommendations to address several gaps and "unknowns" in the current recommendation submission. Regulatory requirements for cannabis consumption areas have not been addressed in this work because of additional time available before that licensing is implemented and because of time pressures to complete the regulations for the other uses. The Subcommittee recommends that cannabis consumption areas be an immediate priority after the current ordinance is adopted, so that thoughtful and complete work can be done before that licensing begins. The Subcommittee intends to address consumption in a separate set of recommendations (estimated start date mid-to-late September). The Policy Subcommittee recognizes that additional recommendations and legislation will likely be required in the future to address unresolved issues and make any desired adjustments to the City's regulatory framework.

UPDATE:

The Policy Subcommittee met on August 12, 2021 to work on definitions, density, and permitted uses. The Policy Subcommittee recommends the following:

- Regarding density for retail: 400 feet to replace 100 to 600 feet.
- Regarding production: micro and all other facilities fall under the subcategories Extra Small, Small, Medium, and Large. It is important that the state's definition of Micro-business remain in the drafted legislation under definitions and a statement be included before subcategory definitions (XS, S, M, L) and the zoning table. "Micro-business and all other production facilities shall fall under the subcategories, Extra Small, Small, Medium, and Large as defined based on indoor/outdoor canopy size."

RECOMMENDATIONS:

The Policy Subcommittee proposes the following recommendations in response to the questions posed by Staff.

- Should the density of cannabis establishments be limited, in all or part of the City?

Yes. The Policy Subcommittee recommends the adoption of a minimum distance between commercial retail establishments, as measured from the property lines of a parcel, to avoid the potential negative consequences that might result from concentrating retail establishments, and recommends a uniform minimum distance across the city to promote equitable requirements in all areas of town and ease of enforcement. Staff has provided maps that illustrate buffer zones of various sizes, ranging from 100 feet to 600 feet. The Policy Subcommittee anticipates making a recommendation for a buffer of between 300 and 600 feet, following input from the public and the full Planning Commission. The Policy Subcommittee is also exploring whether density limitations might be appropriate for other types of cannabis establishments, including production (growing) and manufacturing establishments.

The Policy Subcommittee recommends that density be uniform throughout the entire city, meaning that no district shall be at a higher or lesser density than any other district. Consistency in regards to density is a critical part of the intent of the New Mexico state law to ensuring equity.

- Should the City adopt operating times for cannabis establishments?

Yes. The Policy Subcommittee recommends limiting commercial retail establishments to operating hours of 7 AM – 12 AM (midnight). This would be consistent with what Santa Fe County has adopted.

- Should cannabis uses be located a minimum distance from schools, daycare centers, religious institutions, and/or residential neighborhoods?

Yes. Cannabis establishments should be located no closer than 300 feet from a school or daycare center. The Policy Subcommittee does not recommend a minimum distance from religious institutions or residentially zoned districts. The Policy Subcommittee notes that existing provisions in Chapter 14 require up to an 8 foot wall and a 15 foot landscape buffer between commercial uses and residentially zoned districts, which appear sufficient to address potential residential concerns about noise and odor. To further protect residential neighborhoods, the Policy Subcommittee also recommends prohibiting home occupations that involve commercial cannabis activities, which would be consistent with what Santa Fe County has adopted.

- Should a special use permit be required to operate a cannabis establishment in certain areas?

Yes. At a minimum, the Policy Subcommittee recommends that a Special Use Permit should be required for all outdoor commercial growing operations; all large growing operations

(22,000 sq. ft. of canopy or more); and all growing operations in C-2 and BIP districts.

- Should the City adopt regulations to allow recreational cannabis consumption areas?

Yes, but not as part of the initial legislation currently under way. The Policy Subcommittee recommends that consumption areas should be prohibited until the City has had an opportunity to conduct further study and obtain additional input from the community and stakeholders. The State of New Mexico has not drafted regulations for consumption areas and therefore the Policy Subcommittee is not in a position to offer guidance until such regulations are promulgated at the State level. The Policy Subcommittee anticipates that additional legislation on this topic will be drafted and proposed in the near future.

- Should the Table of Permitted Uses be revised to clarify or amend the zoning districts in which the various types of cannabis establishments may be located? E.g., should certain zoning districts be reserved for uses other than cannabis establishments to prevent unintended consequences, such as a proliferation of cannabis establishments that could drive other businesses out or cause rent and property prices to go up?

Yes. For clarity, the Policy Subcommittee recommends that various types of cannabis establishments should be added to the Table of Permitted Uses. The Policy Subcommittee recommends basing the permitted zoning districts on the existing categories, with the following recommended changes:

Retail cannabis should be allowed in zones where other retail is allowed, subject to the density and proximity to school/daycare limitations described above. Permitted districts include the C-2, BCD, industrial districts, shopping center districts, and mixed use districts.

Cannabis manufacturing uses should be divided into two categories. Methods of manufacturing that involve volatile solvents pose a greater risk to public safety should be restricted to industrial zoning districts. Research and testing laboratories that use volatile solvents should likewise be treated as heavy manufacturing. Methods of manufacturing that pose a lower risk to public safety should be allowed in the zoning districts that currently allow laboratory, light manufacturing, and assembly uses, which includes the C-2, BCD, and industrial zoning districts.

Regarding cannabis production (growing), the Policy Subcommittee notes that facility size appears to be critical to managing this industry in other cities and states, and that other jurisdictions have regulated facility size based on a calculation of the total area of the canopy of mature plants present at the facility at any one time. The Policy Subcommittee recommends ongoing study of this issue and intends to retain this as a policy priority in the near future. At this time, the Policy Subcommittee recommends creating four different sub categories that all producers, including Micro-businesses, will fall under and requiring special use permits for most growing operations, as follows:

~~Regarding cannabis production (growing), the Policy Subcommittee notes that facility size appears to be critical to managing this industry in other cities and states, and that other jurisdictions have regulated facility size based on a calculation of the total area of the canopy~~

~~of mature plants present at the facility at any one time. The Policy Subcommittee recommends ongoing study of this issue and intends to retain this as a policy priority in the near future. At this time, the Policy Subcommittee recommends creating five different categories of producers and requiring special use permits for most growing operations, as follows:~~

~~**Cannabis Producer Microbusiness (up to 200 mature plants)**~~

- ~~• Permitted indoors: I-1, I-2~~
- ~~• Permitted indoors or outdoors with Special Use Permit: C-4, BIP~~

Cannabis Producer, Extra Small (up to 2500 sq. ft. canopy)

- Permitted indoors: I-1, I-2
- Permitted indoors or outdoors with Special Use Permit: C-4, BIP

Cannabis Producer, Small (2,500-10,000 sq. ft. canopy)

- Permitted indoors: I-1, I-2
- Permitted indoors or outdoors with Special Use Permit: C-4, BIP

Cannabis Producer, Medium (10,000-22,000 sq. ft. canopy indoors or up to 1 acre outdoors)

- Permitted indoors: I-1, I-2
- Permitted indoors or outdoors with Special Use Permit: C-4, BIP

Cannabis Producer, Large (over 22,000 sq. ft. canopy)

- Permitted indoors or outdoors with Special Use Permit: I-1, I-2.

Finally, House Bill 2 creates a type of establishment called a “vertically integrated cannabis establishment” that allows a person licensed by the State to act as all or any combination of the following: a cannabis courier, a cannabis manufacturer, a cannabis producer, or a cannabis retailer. The Policy Subcommittee recommends that a licensee seeking to run one a vertically integrated cannabis establishments must be located in a zoning district that allows all of the contemplated uses.

- Are Chapter 14 amendments needed to address issues related to safety and security, or odors and ventilation?

Regarding safety and security, House Bill 2 requires the Cannabis Control Division of the New Mexico Regulation and Licensing Department to adopt regulations to address security requirements, and comprehensive draft regulations have been published for comment. The Policy Subcommittee intends to review the regulations when they have been promulgated and made available to the public to ensure they are appropriate for the City of Santa Fe. The Policy Subcommittee intends to propose additional legislation if any gaps are identified.

Regarding odor and ventilation, the Policy Subcommittee notes that existing building and fire codes and the City’s nuisance ordinance likely address most of the concerns about preventing nuisance odors and ensuring safe, well-ventilated operations. The Policy Subcommittee recommends adding some general language to Chapter 14 to further address these issues, based on provisions that have been adopted by the City of Albuquerque and the County of Santa Fe. The City of Albuquerque requires cannabis establishments to have

an odor control plan approved by the City. The County of Santa Fe requires certain cannabis producers and manufacturers to use industry standards to minimize odorous, toxic, or noxious matter.

- What should the process be for conducting stakeholder outreach and community conversations, prior to the adoption of new land use regulations for cannabis?

The Policy Subcommittee understands that the Governing Body solicited public input on cannabis at the Governing Body meeting held August 2, 2021. Public input is invited at the Planning Commission meeting scheduled for August 5, and notice of this opportunity has been posted on the City’s Facebook page. In addition, public hearings are legally required as part of the approval of any legislative language. The Policy Subcommittee recommends that the City continue to issue media releases to alert the public to additional opportunities to provide input at upcoming Planning Commission and Governing Body meetings. Additional public input will also be sought for the regulations for cannabis consumption areas.

The Policy Subcommittee regrets that there is not more time available for more stakeholder outreach outside of public meetings and recommends that this be improved as part of the Subcommittee’s process for all future work.

- Should the definitions in Chapter 14 be amended to include new definitions for various types of cannabis establishments?

Yes. The definitions should be consistent with State and County definitions, as customized to describe various types of land uses.

APPENDIX: PROPOSED NEW DEFINITIONS FOR § 14-12.1 (WORKING DRAFT)

CANNABIS CANOPY AREA

The measurement in square feet of the boundaries of all area(s) that will contain mature cannabis plants. If plants are being cultivated using a shelving system, the surface area of each level shall be included in the total canopy calculation. The surface area utilized to produce mature plants calculated in square feet and measured using the outside boundaries of any area that includes mature marijuana plants including all of the space within the boundaries. Square footage of canopy space is measured horizontally starting from the outermost point of the furthest mature flowering plant in a designated growing space and continuing around the outside of all mature flowering plants located within the designated growing space.

CANNABIS CONSUMPTION AREA

An area where cannabis products may be served and consumed by smoking, vaping, or ingesting, provided that alcohol cannot be sold or consumed in a cannabis consumption area and entry is limited to patrons 21 years of age or older.

CANNABIS ESTABLISHMENT

A broad term that includes a cannabis testing laboratory, a cannabis manufacturer, a cannabis producer, a cannabis retailer, a cannabis research laboratory, a vertically integrated cannabis establishment, a

cannabis producer microbusiness, or an integrated cannabis microbusiness.

CANNABIS MANUFACTURING, LIGHT

A use that involves compounding, blending, extracting, infusing, packaging, or otherwise preparing a cannabis product using mechanical methods, nonvolatile solvents, or no solvents.

CANNABIS MANUFACTURING, HEAVY

A use that involves compounding, blending, extracting, infusing, packaging, or otherwise preparing a cannabis product using volatile solvents, e.g., butane, heptane, hexane, or propane.

CANNABIS PRODUCER, EXTRA SMALL

A business conducted by a person licensed to cultivate cannabis, including the planting, growing, harvesting, drying, curing, grading, or trimming of cannabis, provided that the cannabis canopy area for an extra small cannabis producer may not exceed twenty-five hundred (2,500) square feet at any one time.

CANNABIS PRODUCER, LARGE

A business conducted by a person licensed to cultivate cannabis, including the planting, growing, harvesting, drying, curing, grading, or trimming of cannabis. The cannabis canopy area for a large cannabis producer may exceed twenty-two thousand (22,000) square feet.

CANNABIS PRODUCER, MEDIUM

A business conducted by a person licensed to cultivate cannabis, including the planting, growing, harvesting, drying, curing, grading, or trimming of cannabis, provided that the cannabis canopy area for a medium cannabis producer may not exceed twenty-two thousand (22,000) square feet at any one time, or one (1) acre, if growing will occur outdoors.

CANNABIS PRODUCER, SMALL

A business conducted by a person licensed to cultivate cannabis, including the planting, growing, harvesting, drying, curing, grading, or trimming of cannabis, provided that the cannabis canopy area for a small cannabis producer may not exceed five thousand (5,000) square feet at any one time.

CANNABIS PRODUCER MICROBUSINESS

A small business conducted by a person licensed to cultivate cannabis at a single location, including the planting, growing, harvesting, drying, curing, grading, or trimming of cannabis, provided that the person may not possess more than two hundred (200) total mature cannabis plants at any one time.

CANNABIS PRODUCT

A product that is or that contains cannabis or cannabis extracts, including edible or topical products that may also contain other ingredients.

CANNABIS RESEARCH LABORATORY

A facility that produces or possesses cannabis or cannabis products for the purpose of studying cannabis cultivation, characteristics, or uses, provided that a cannabis research laboratory that conducts heavy cannabis manufacturing activities shall be classified as “cannabis manufacturing, heavy.”

CANNABIS TESTING LABORATORY

A facility where cannabis products are sampled, collected, and tested, provided that a cannabis testing laboratory that conducts heavy cannabis manufacturing activities shall be classified as “cannabis manufacturing, heavy.”

COMMERCIAL CANNABIS ACTIVITY

Cultivating, producing, possessing, manufacturing, storing, testing, researching, labeling, selling, purchasing for resale, or consigning cannabis products (but excluding personal growing and use, medical cannabis program activities, and cannabis training and education programs).

COMMERCIAL CANNABIS RETAILER

A business conducted by a person that is licensed to sell cannabis products directly to consumers who are twenty-one years of age or older.

INTEGRATED CANNABIS MICROBUSINESS

A small business conducted by a person that is authorized to act as all or any combination of the following: a cannabis courier, a cannabis producer at a single location (and possessing no more than two hundred (200) total mature cannabis plants at any one time), a cannabis manufacturer at a single location, or a cannabis retailer at a single location selling only products that they have manufactured.

VERTICALLY INTEGRATED CANNABIS ESTABLISHMENT

A business conducted by a person that is authorized to act as all or any combination of the following: a cannabis courier, a cannabis manufacturer, a cannabis producer or a cannabis retailer.

FISCAL IMPACT REPORT

General Information:

(Check) Bill: X Resolution: _____

Short Title(s): Cannabis Zoning

Sponsor(s): N/A

Reviewing Department(s): Community Development/Planning and Land Use, Finance

Staff Completing FIR: Jason Kluck, Bradley Fluetsch, CFA Date: 8/11/2021 Phone: 231-8753

Reviewed by City Attorney: _____ Date: _____

Reviewed by Finance Director: _____ Date: _____

Summary:

This Bill amends the Land Development Code by adding a new specific use category of Commercial Cannabis Establishments in the Santa Fe City Code ("SFCC" 14-6.1-1 (Table of Permitted Uses). The Bill further clarifies what zoning districts various types of Commercial Cannabis Establishments are permitted in, as well as adopts minimum distances between cannabis retail establishments and schools or daycares. The Bill includes proposed changes to Subsection 14-6.2(H) (agricultural uses), 14-6.3(D)(2) (home occupations), 14-12.1 (definitions), and adds a new subsection 14-6.2(I) to adopt use-specific standards for cannabis establishments including density limitations, and operating times. The goal of the Bill is to promote the cannabis economy while protecting public health, safety, and the general welfare of the City of Santa Fe.

Departments Affected:

Community Development – Planning and Land Use, City Attorney

Consequences of Not Enacting Legislation:

Current zoning regulations do not adequately address the needs and complexities of this new use and emerging industry. Without legislation allowing implementation of land development regulations that guide and support the commercial cannabis industry, a negative impact may result regarding issues such as lost or delayed economic opportunity, impeded facilitation and clarity of needed local approvals and lack of appropriate local control of time, place and manner criteria.

Conflict, Duplication, Companionship, or Relationship to Other Legislation:

This legislation is necessary due to the State's legalization of recreational cannabis during the 2021 Special Legislative Session.

Performance and Administrative Implications:

Once the Bill has been adopted, there will be more new businesses starting than usual and there will be an increased work load on staff and that is anticipated to subside after the initial wave of permit applications has been filed.

Fiscal Implications:

The fiscal implication is negligible and would be consistent with adding any new business to our community, in this case it is an entire industry being added and it will bring a number of new businesses in a short time frame. Sale of recreational cannabis would be legal without this Bill, which is intended to define various limitations on the location and density of Commercial Cannabis Establishments.

Fiscal Impact

X _____ Check here if no fiscal impact

Expenditures

Expenditure Type	FYE __	FYE __	FYE __	Require BAR (Y/N)	Recurring (R) or Non-recurring (NR)	Fund	3-Year Total Cost
Personnel and	\$ _____	\$ _____	\$ _____	_____	_____	_____	
Benefits*							
Capital Outlay	\$ _____	\$ _____	\$ _____	_____	_____	_____	
Contractual/	\$ _____	\$ _____	\$ _____		_____	_____	
Professional Services							
Operating	\$ _____	\$ _____	\$ _____		_____	_____	\$ _____
Total:	\$ _____	\$ _____	\$ _____				\$ _____

* This includes all staff time associated with executing the job functions of the proposed legislation.

Expenditure Narrative:

There is no expense narrative, this is normal course business that would be done for any new business.

Revenue

Revenue Type	FYE	FYE	FYE	Recurring (R) or Non-recurring (NR)	Fund
General Fund	\$ _____	\$ _____	\$ _____	_____	_____
Special Revenue	\$ _____	\$ _____	\$ _____	_____	_____
CIP	\$ _____	\$ _____	\$ _____	_____	_____
Enterprise	\$ _____	\$ _____	\$ _____	_____	_____
Internal Service	\$ _____	\$ _____	\$ _____	_____	_____
Trust and Agency	\$ _____	\$ _____	\$ _____	_____	_____
Federal	\$ _____	\$ _____	\$ _____	_____	_____
Other	\$ _____	\$ _____	\$ _____	_____	_____
Total	\$ _____	\$ _____	\$ _____		

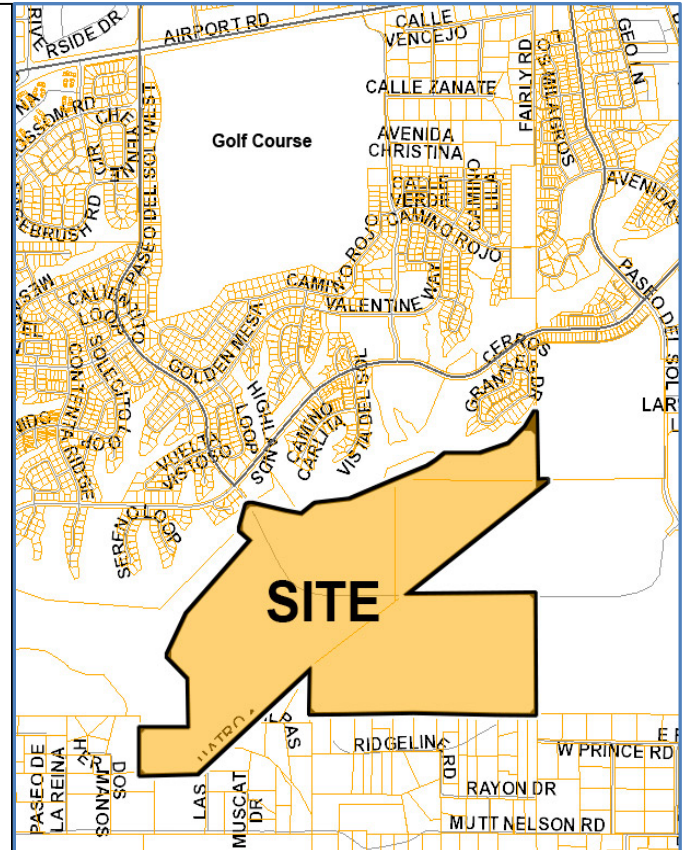
Revenue Narrative:

There is no expected revenue.



Land Use Department Planning Commission Staff Report

Case No: 21-3818
Hearing Date: August 19, 2021
Applicant: JenkinsGavin, Inc., Agent, for
Tierra Contenta Corporation
Request: Master Plan.
Location: Southwest of Capital High School
Case Mgr.: Dan Esquibel
Zoning: PRC (Planned Residential
Community)
Overlay: Suburban Archaeological Review
District
Pre-app. Mtg.: December 10, 2020
ENN Mtg.: May 27, 2021
Proposal:
Requests Master Plan Amendment for Phase
3A. The Amendment, which includes
modifications to infrastructure, parks, trails, land
uses, and density.



Case #2021-3818. Tierra Contenta Master Plan Amendment #1 for Phase 3A. JenkinsGavin, Inc., Agent, for Tierra Contenta Corporation, Owner, requests Master Plan Amendment for Phase 3A. The Amendment, which includes modifications to infrastructure, parks, trails, land uses, and density. The property is an undeveloped tract of land located southwest of Capital High School, containing approximately 222.84 acres, and is zoned PRC (Planned Residential Community).

I. RECOMMENDATION

The Commission should recommend that the Governing Body **APPROVE** the requests.

One motions will be required in this case:

- *Recommend that the Governing Body approve the proposed Master Plan with Design Guidelines subject to conditions of approval recommended by Staff and Technical Correction listed in Exhibit A.*

The Planning Commission's recommendation will proceed to the City Council for final decision on the master plan requests.

II. CONDITIONS OF APPROVAL

Table 1 Conditions of Approval

#	Conditions of approval	Dept/Division	Completed By:
1	Submit a Master Plan plat defining the Master Plan Phase 3A proposed Tract boundaries and total acreage.	Land Use	Prior to filing the Master Plan
2	Correct Master Plan boundaries excluding previously dedicated open space from Tierra Contenta Subdivision Phase 2A, Unit 1 and Tierra Contenta Subdivision Phase 1B, Unit one.		
3	The Master Plan shall include conceptual trail integration with existing trails, parks, and open space. The trails may be included with phased development of tracts as long as design and construction standards are included in the Phase 3A design guidelines.		
4	Disturbed areas within the open space shall be revegetated to mimic the undisturbed condition		
5	NMSD right-of-way dedications shall be acquired for proposed roads crossing NMSD land.		
6	Address all comment and concerns received from Wilson & Company, Inc., Engineers & Architects.		
7	Terrain Management shall comply with Section 14-8.2 requirements for Terrain Management.		
8	Submit concept street lighting plan		
9	Submit amenities for other accessory structures within the Design Guidelines.		
10	Submit plan for the timing, financing, and responsibility for infrastructure construction.		
11	Submit concept water budget		Prior to Governing Body Review
12	Submit fiscal impact to the city of providing utility and other municipal services to the area.		Prior to Governing Body Review

13	Provide additional detail in the guidelines identified in Section IV(a) "Housing and Nonresidential of this report for the Land Director review and approval.		Prior to filing the Master Plan
14	Design guide lines for development of the water system for the Master Plan Phases, including the Plats, for the Tierra Contenta Master Plan Phase 3A shall require a pre-water design meeting with the City's Water Division prior to submittal of an application to the City for Development	Water Division	Prior to subdivision or development plan review of Tract Phases
15	Design guidelines for development of the sanitary sewer system for the Master Plan Phases, including the Plats, for the Tierra Contenta Master Plan Phase 3A project shall require a pre-sewer design meeting with the City's Wastewater Division prior to submittal of an application to the City for Development	Sewer Division	
16	Fire apparatus access shall have an unobstructed width of not less than 20 feet exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches (IFC 2015 Section 503.2.1)	Fire Marshal	Prior to Signatures
17	Include parking protected bike lanes as a design option	Land Use/MPO	Sheet Process
18	Widen the minimum sidewalk width to 6 feet		
19	Add a landscape buffer between all sidewalks and the road		
20	Incorporate all conditions required for ADA compliance into the Master Plan Guidelines. ADA guidelines shall comply with both Federal and State ADA standards as amended.	Land Use/ADA Review	Prior to Recording the Master Plan

III. EXECUTIVE SUMMARY

The property is owned by the Tierra Contenta Corporation (TCC). The property is located south of Jaguar Road, southwest of Capital High School and east of SWAN Park (no assigned address). The property is approximately 216.52 acres in size, zoned PRC (Planned Residential Community) and located within the Suburban Archaeological Review District.

The Master Plan Amendment Application is a request to outline a phase-by-phase development process for entitlements of phase 3A. The entitlements include:

- Design standards,
- Subdivisions and subdivision phases,
- Infrastructure,
- Affordable housing (40% affordability to 80% Area Median Income), and
- Parks, open space, and other public uses according to the Annexation Agreement

Proceeding the Master Plan, the Applicant will submit a Master Plan plat to identify subdivision tracts to recruit developers and/or builders for the development of proposed Tracts. The Applicant will also submit design guidelines for all development in Phase 3A. The Applicant states that process of review will start with the TCC Architectural Review Committee prior to review before the Planning Commission. The TCC review is to ensure compliance with the Master Plan, adopted Master Plat and Design Standards. The Master Plan anticipates mixed residential (1,175 to 1,500 dwelling units) and both civic, and neighborhood commercial uses.

The Applicant complied with all process requirements of Chapter 14 as follows:

- Pursuant to 14-3.1(E) “*Pre-application*”: Conducted on December 10, 2020,
- Pursuant to 14-3.1(F) “*Early Neighborhood Notification*” (“*ENN*”): Conducted two ENN meetings:
 - May 27, 2021; and
- Pursuant to 14-3.1(H) “*Notice Requiems*” for ENN’s and Public Hearings.

The Applicant will be returning to the Planning Commission for review and approval of the Master Plat which will subdivide the property into phase Tracts for developers to purchase and develop.

The Land Use recommend conditional approval of Case #2021-3818. Tierra Contenta Master Plan Amendment #1 for Phase 3A.

IV. BACKGROUND

In 1985 the City amended the Santa Fe Urban Area and annexed approximately 1,931 acres of the property owned by Tierra, School for the Deaf, Santa Fe Board of Education, Elisia and Prater, and Herrera and Hernandez (Original Annexation Agreement). On December 15, 1994, the City recorded the “*Restated Annexation Agreement Tierra Contenta, Wolgamood Subdivision and Contiguous Lands (east)*” (Agreement). The Agreement superseded the Original Annexation Agreement. The Annexation Agreement was recorded in the Office of the Santa Fe County Clerk on December 15, 1994, in Book 1122, Pages 756-786. The Agreement identified that the annexed property comprised approximately 1,421 acres, zoned PRC (Planned Residential Community), and encompassed the following property owners: City of Santa Fe, Tierra Contenta Corporation, Elisia Partnership, Kenneth Prater, New Mexico School for the Deaf, Santa Fe Board of Education, Herrera Associates, and Dr. Joe L. Hernandez (Landowners).

The Agreement states that “[i]n lieu of standards set forth in the PRC Zoning Ordinance, specific

development standards that vary from the PRC Zoning Ordinance may be proposed by any PRC Owner for individual tract development within the PRC district as part of any application for preliminary and final subdivision plat approval or preliminary and final development plan approval to the Development Review Committee.”

Table 2 “Entitlements/Uses” identifies the Applicant’s proposed uses for the Master Plan for Phase 3A.

Table 2 Entitlements/Uses

USE	Acreage	Units
Mixed Residential	118.95 acres	1,133 units
Mixed-Use	3.43 acres	42 units
School	9.37 acres	N/A
Open Space	84.77 acres (stated 91.09 acres)	N/A
	Total 216.52 acres (stated 222.84 acres)	1,175 units (1,500 maximum)

The proposed master plan application identifies approximately 222.84 acres. However, the Master Plan proposed boundary includes a portion of open space previously dedicated to the city created as part of Tierra Contenta Subdivision Phase 2A, Unit 1 (approximately 2.0 acres), and a portion of open space dedicated to the city created as part of Tierra Contenta Subdivision Phase 1B, Unit one (37.24 acres). Since a Master Plan plat was not provided with the application, exact amounts from each previously dedicated open space cannot be quantified (reference Figure 1 “Included open space”). The subject property comprises four tracts totaling approximately 216.52 acres, a difference of approximately 6.32 acres (Reference Table 2 “Master Plan Tracts/Lots” and Figure 2 “Master Plan Tracts/Lots”).

Table 3 Master Plan Tracts/Lots

Tract Name	Approximate Acreage	Approximate Total Acreage
Tract - A3-7C	109.54	216.52
Tract 7A Remaining portion of Government Lot 7	10.56	
Government Lot 8	27.72	
Tract 9 (Annexation Plat for Tracts 1-9 Tierra Contenta, Wolgamood Subdivision and Continuous Land (east))	68.70	

Figure 1 Included open space

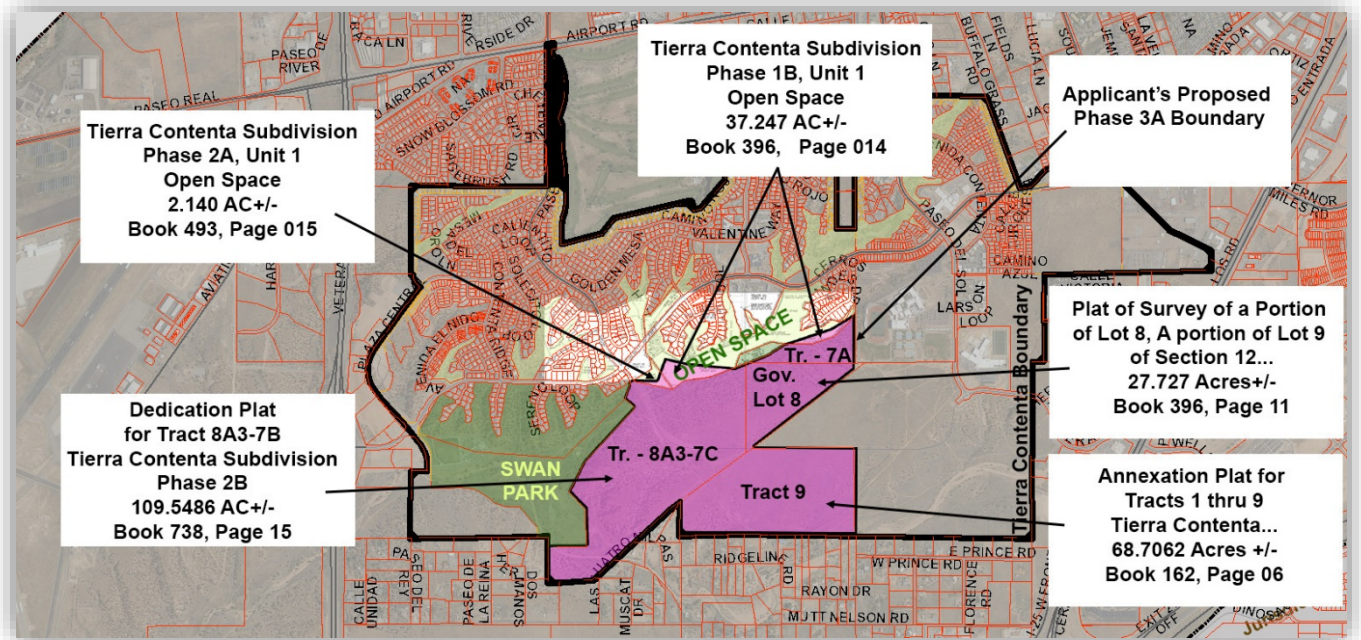
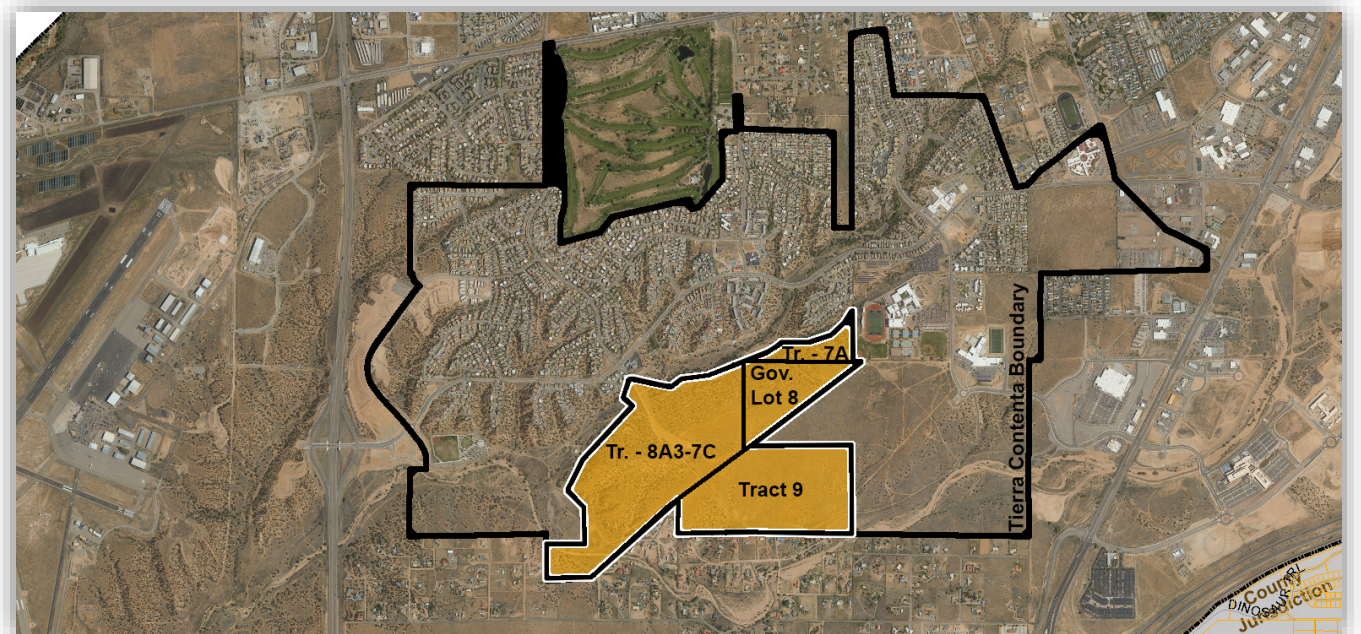


Figure 2 Master Plan Tracts/Lots (Approximately 216.52 Acres)



a) Housing and Nonresidential

The Master Plan will provide all residential Phase/Tract(s) uses to include “Mixed Residential” “to emphasize that a mixture of housing types is permissible and encouraged¹.” The residential Phase/Tracts are designed to promote and enable the creation of a diversity of housing types. To achieve this goal, the Applicant requests an increase in residential density governed by a form-based design. The form-based design provides predictability in how the buildings fit together and reinforce each other relative to the street within the public realm. The design guidelines will regulate development to achieve a specific urban form for Phase/Tract(s) within the Tierra Contenta Master Plan Amendment #1 for Phase 3A. The design guidelines have been provided for the following housing types but not for nonresidential structures (reference Exhibit E “Tierra Contenta Phase 3A Design Standards Overview”):

- Building Typology,
- Detached House,
- Accessory Unit,
- Duplex, Townhouses/Rowhouses,
- Casita Court,
- Courtyard Apartments,
- Multiplex,
- Garden Apartments, and
- Live-Work, Flex Building.

The Application did not include information to accommodate a family’s growing needs for storage or other accessory structures, street and building lighting, or bicycle racks. Additionally, while architecture plays a role in the form-based design, not enough information was included in the Application to identify a specific urban form. Furthermore, the Application vaguely identified any organic flow between phases or how the variety of housing types will fit together to promote that sense of place or design predictability in the organic flow from building to building and phase to phase. It is understood that each Phase/Tract may be unique with housing types proposed by developers; it is not clear that the provided guidelines promote enough of a base guide for potential developers to achieve a specific urban form. Per 4-3.9(C)(3)(a):

“The master plan must include a designation of the maximum density allowed for each tract designated for use. Unless special standards are adopted, development standards for each tract shall be those specified in Section 14-7 Building Envelope and Open Space Standards and Measurements for the corresponding density. The applicant must provide additional detail in the guidelines.

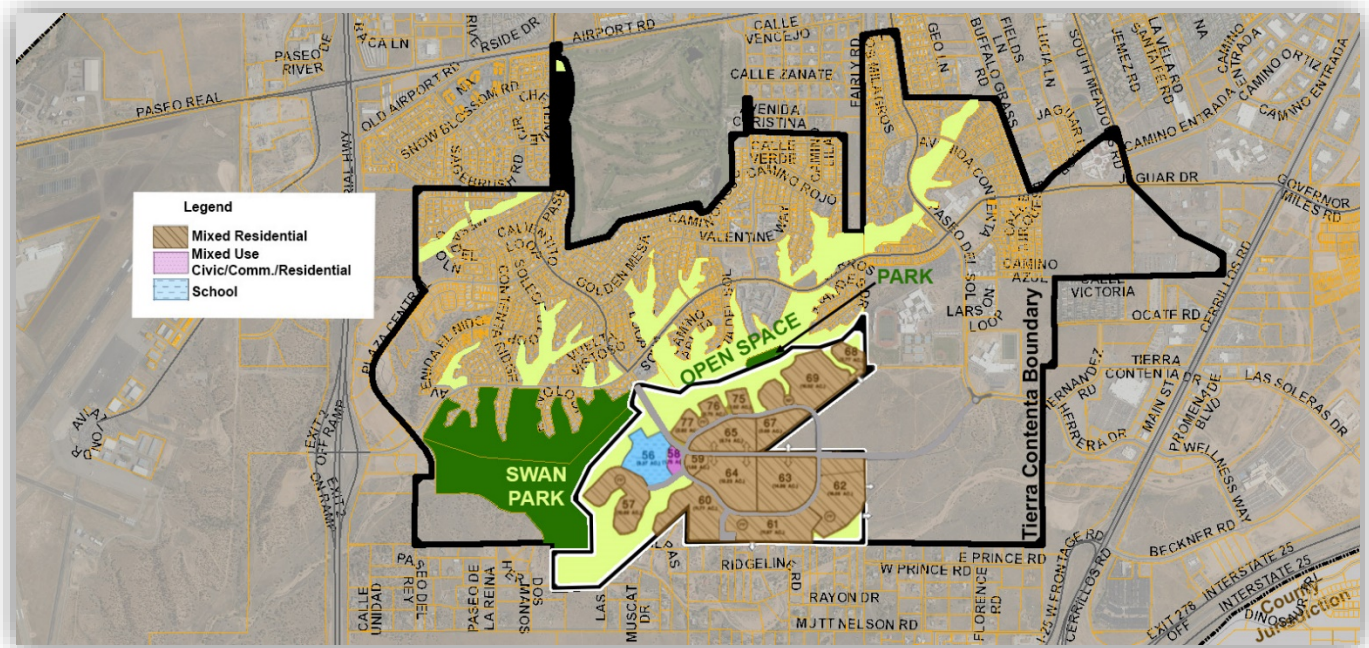
Form Based Code Design would qualify as “special standards”. Per Subsection 14-3.9(C)(2)(b) “Special standards and guidelines must be approved as part of the master plan.”

The current housing density is stated to be a total of 4,368 dwellings units for Tierra Contenta (TC), with Phase 3A representing 1,175 dwelling units remaining per the TC Master Plan. Of the existing 3,193 dwellings units within TC, 41% (1,310) is considered affordable housing. The Applicant’s request proposes to increase the remaining balance of 1,175 dwelling units to 1,500 dwelling units, a difference of 325 dwellings. The Applicant’s Master Plan report states that affordability will include 40%, which translates to 600 dwellings units.

¹ Applicant’s TC3A Master Plan Amendment Report.

Additionally, Tracts 58 and 59 of the TC Master Plan included in Phase 3A are proposed as Mixed-Use to accommodate the nonresidential uses for the civic, neighborhood, and commercial use opportunities. An option will be built into the Master Plan for Tracts 58 and 59 if there is no demand for nonresidential services to allow mixed residential use. The PRC zoning and the Agreement allow the zoning proposal and dwelling unit increase provided City approvals are obtained (reference Figure 3 “Master Plan Uses”).

Figure 3 Master Plan Uses

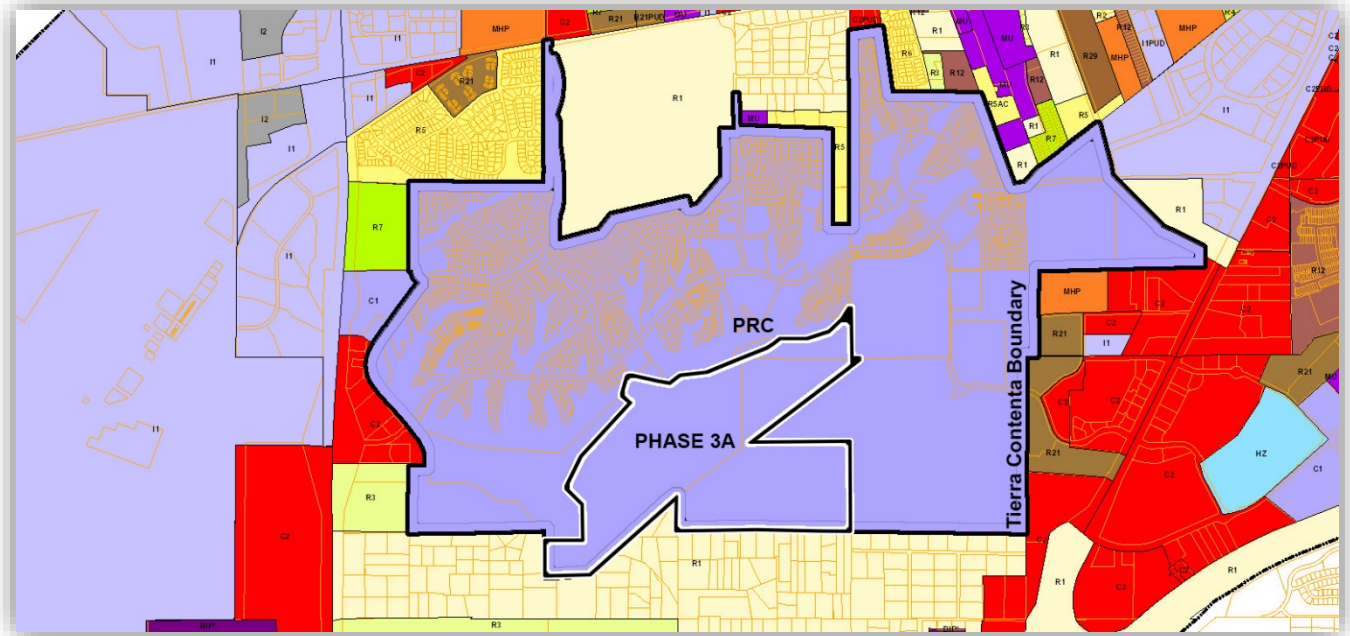


a) Adjacent Uses:

Table 4 Adjacent Zoning (Reference Figure 4 “Adjacent Zoning”)

Direction	Zoning
North and Northeast	PRC (TC Planned Residential Community), Swan Park Node, Park and Dedicated Open Space
South	R-1 (Residential – 1 Dwelling unit per acre)
East	PRC (TC Planned Residential Community) vacant land and Institutional Use (Capitol High School)
West	SWAN Park Node

Figure 4 Adjacent Zoning



b) Bicycle and Trails

The Master Plan proposal did not address trail(s) design into the open space and park(s) areas. The Master Plan shall include conceptual trail integration with existing trails, parks, and open space. Trail construction may be included with phased development of Tracts, provided design and construction standards are included in the Phase 3A design guidelines.

Figure 5, “Conceptual Bike and Trail Design,” provides street designs identifying both bicycle and trail details. Figure 6, “Conceptual Bicycle and Trail Plan,” shows Conceptual Bicycle and Trail paths, and Figure 7, “Existing Bikes and Trails,” identifies existing bicycle and trail conditions.

Comments received from the Santa Fe Metropolitan Planning Organization (MPO) require three conditions:

1. Include parking-protected bike lanes as a design option,
2. Widen the minimum sidewalk width to 6 feet, and
3. Add a landscape buffer between all sidewalks and the road.

MPO explanation of condition can be found in Exhibit B1.

Figure 5 Applicant's Conceptual Bike and Trail Design.

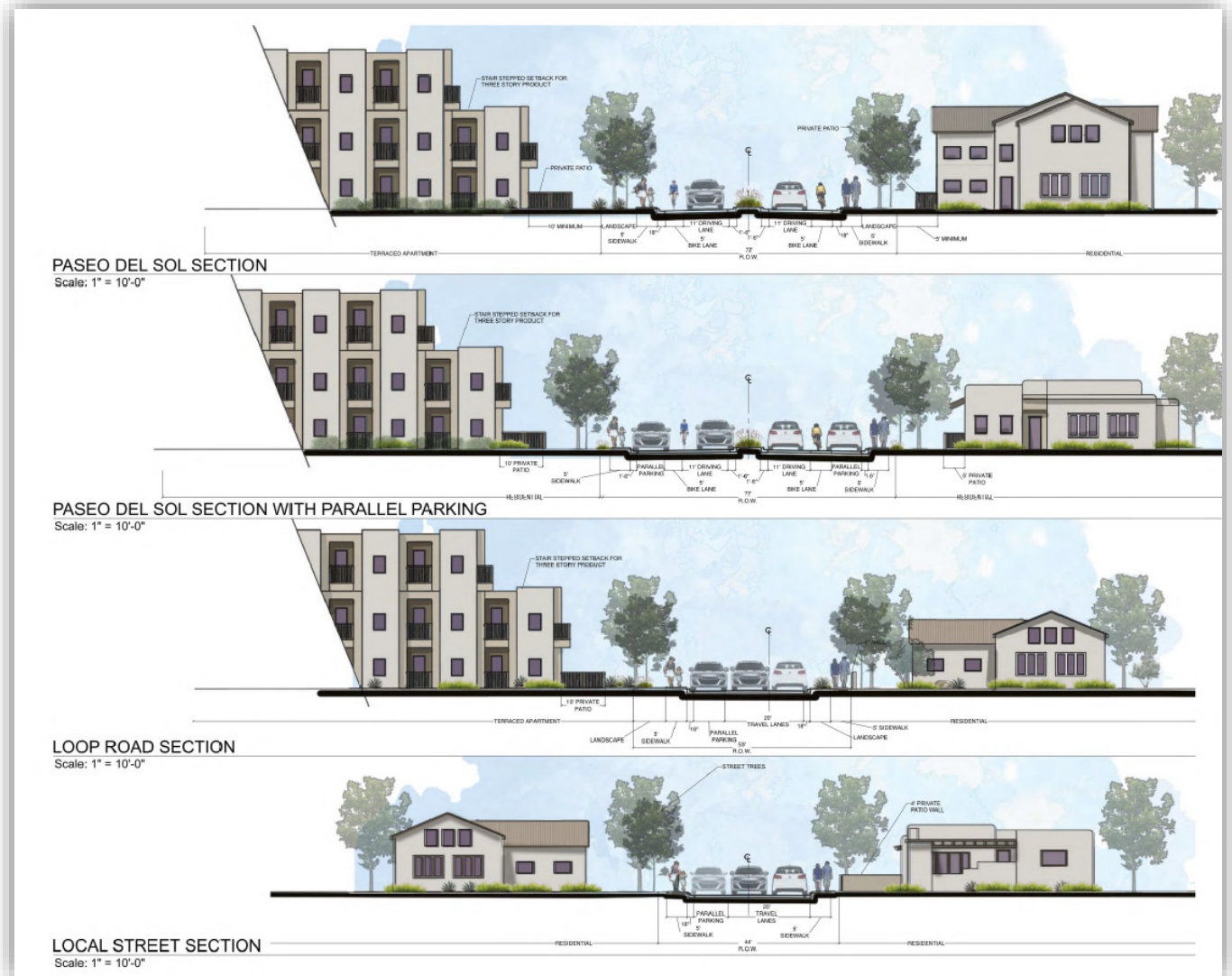


Figure 6 Conceptual Bicycle and Trail Plan

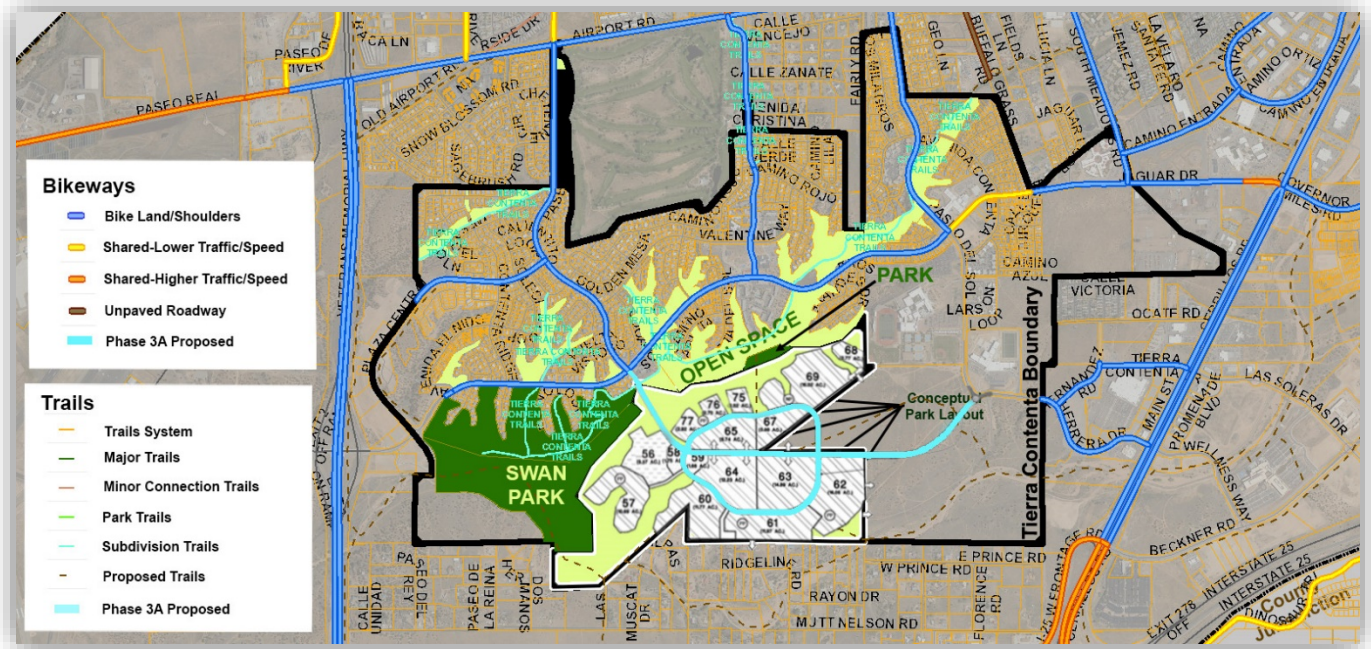
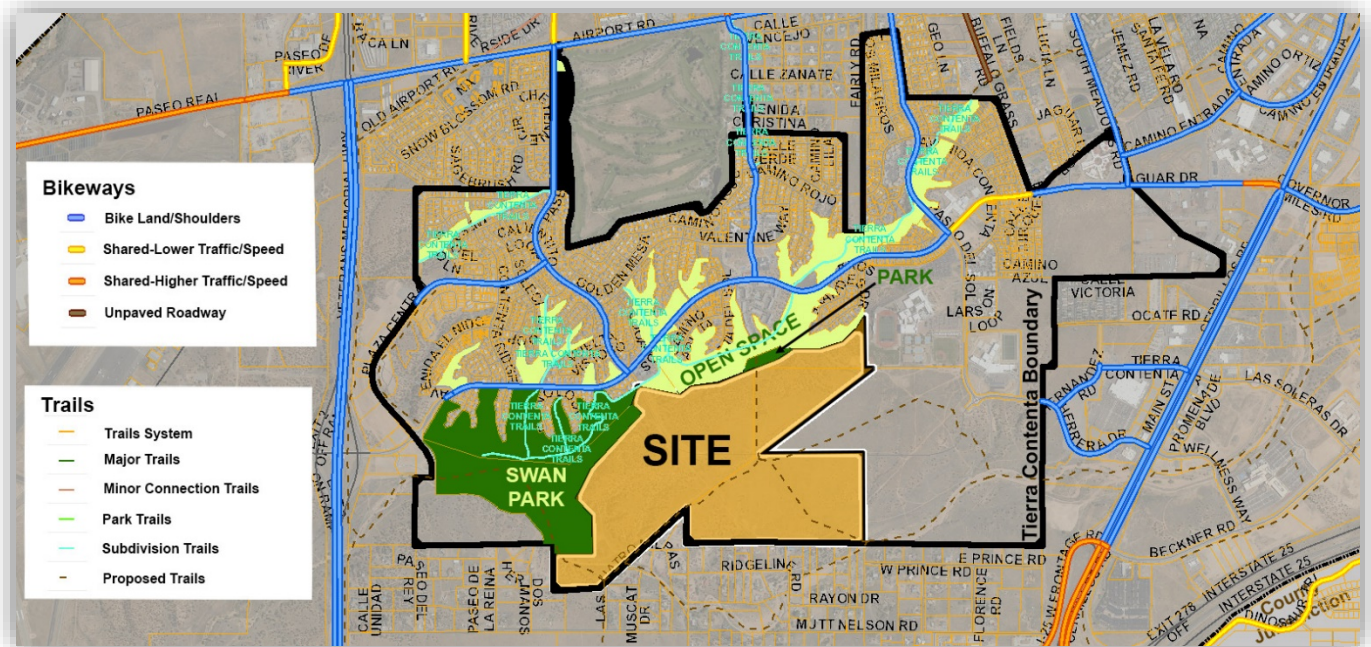


Figure 7 Existing Bikes and Trails



c) Parks

The Master Plan includes five parks, one neighborhood park and four dispersed pocket parks. The neighborhood park will be dedicated to the city and the pocket parks will be maintained by applicable homeowners”. The neighborhood park will be up to approximately 5 acres in size and contain (Reference Figure 8 “Neighborhood Park Concept.”):

- formal playground,
- outdoor sport courts,
- sport fields,
- picnic tables,
- pathways, and/or
- multi-use open turf areas.

Figure 8 Applicant’s Neighborhood Park Concept



The pocket parks will contain no more than ¼ to ½ acre in size (Reference Figure 9 “Concept Pocket Park). The application states that the pocket parks are for “passive recreation, social interaction, and connection with nature. Minimal amenities are provided, aside from those intended to enhance pedestrian comfort.” Reference Figure 10 “Conceptual Park Layout.”

Figure 9 Applicant's Concept Pocket Park

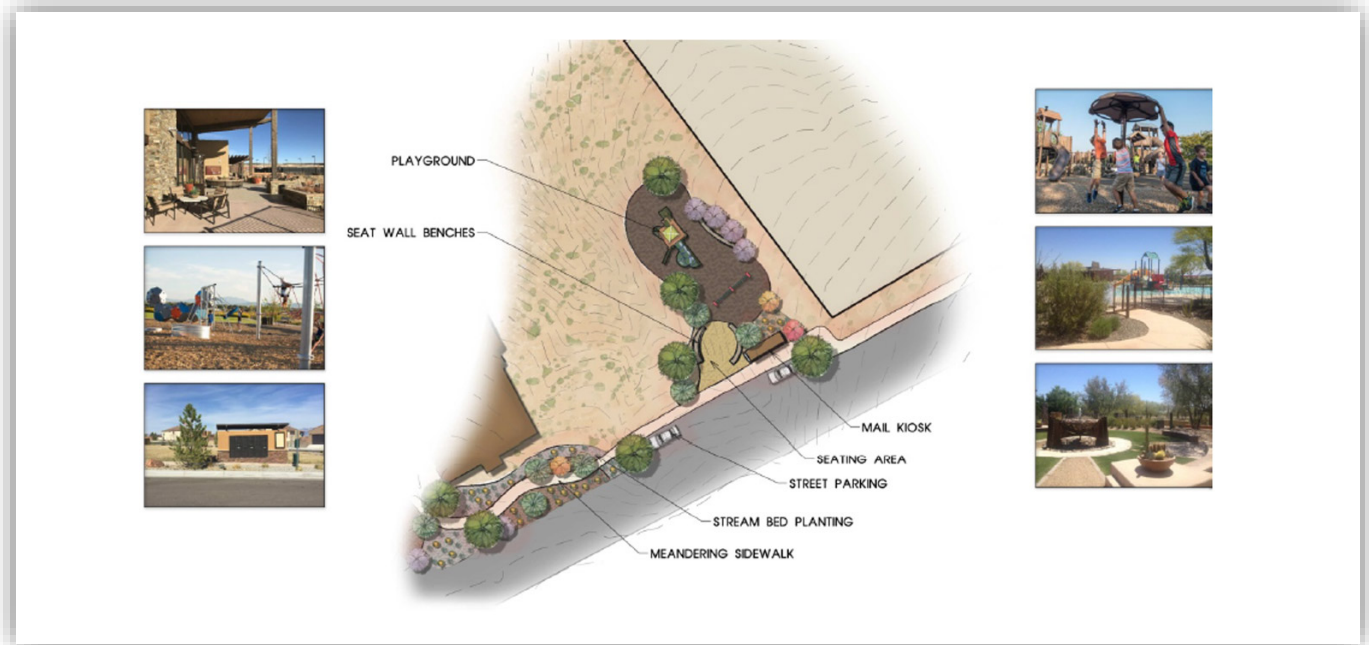
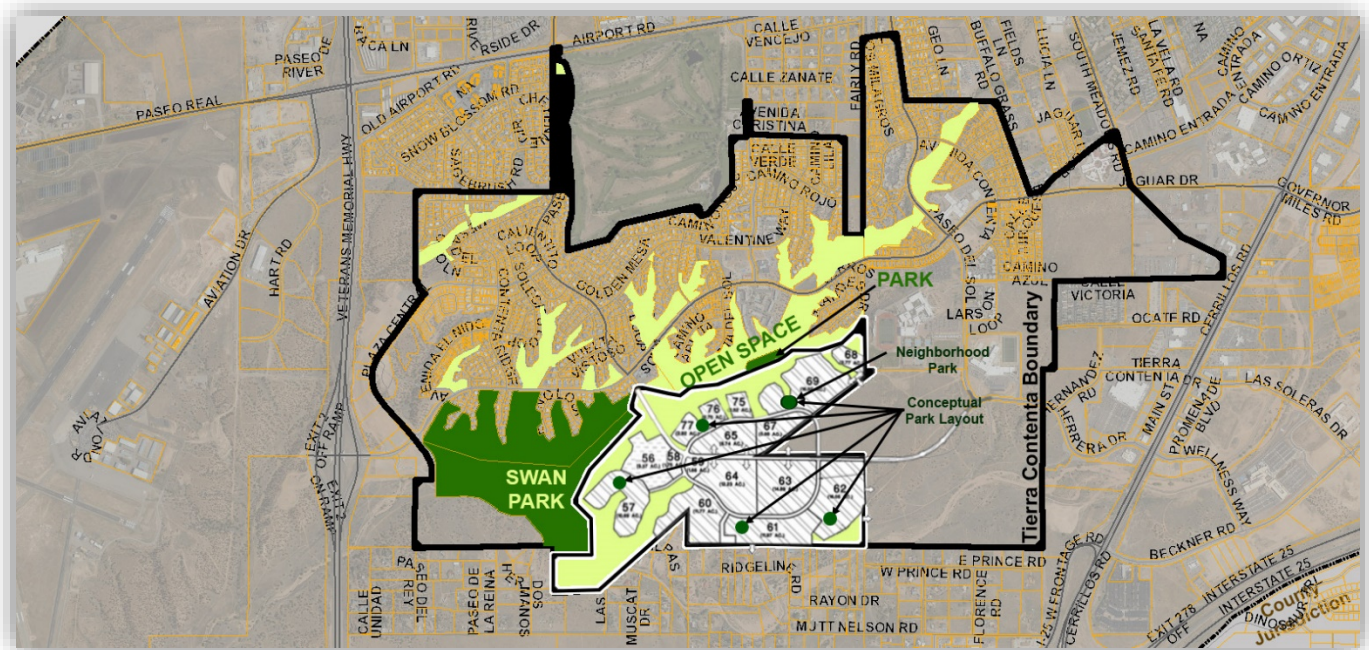


Figure 10 Conceptual Park Layout



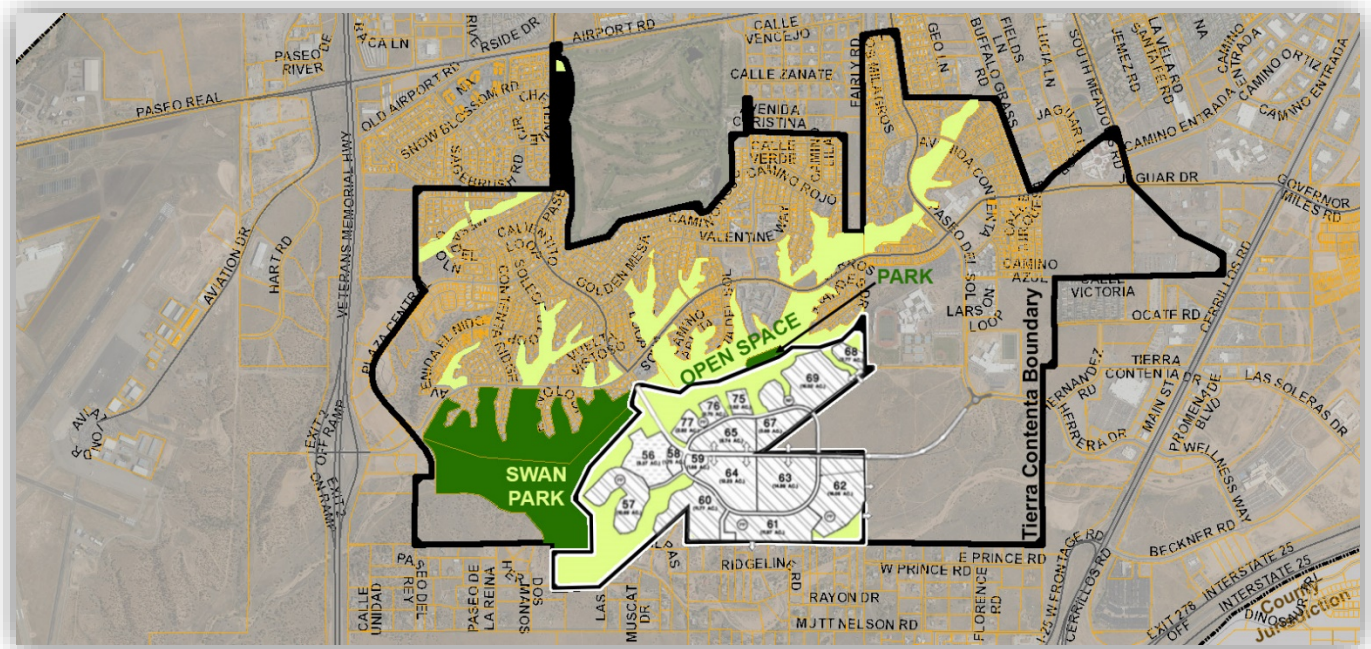
d) Open Space

The Master Plan report identifies 90.09 acres for dedicated open space to the City. However, as stated earlier in this report illustrated in Figure 1, “Included open space,” the proposed boundaries include open

space previously dedicated to the City as part of previous development projects. The overage in the proposed open space is approximately 6.32 acres reducing the amount of dedicated open space preserved for Phase 3A to approximately 83.77 acres.

The Application states that “Construction within Natural Open Space is limited to trails, drainage improvements/arroyo bank stabilization, and utility extensions. Disturbed areas shall be revegetated to mimic the undisturbed condition.”

Figure 11 Open Space



e) Traffic

Access to Phase 3A will be through an extension of Paseo Del Sol West just south of Jaguar Drive east. The extension will run through the project site, extending through the New Mexico School for the Deaf (NMSD) land, connecting to Herrera Drive/Paseo del Sol East roundabout. The Paseo del Sol extension road will comprise:

- 72’ right-of-way,
- 11’ driving lanes with a 1’6” median,
- two 5’ bike lanes,
- parallel parking on both sides of the street,
- 5’ sidewalks (MPO has requested 6’), and
- street trees and landscaping.

A loop road crossing the New Mexico School for the Deaf will complete the backbone roadway to all the developable tracts. The loop road will comprise:

- 53' right-of-way,
- 20' travel lane,
- parallel parking on both sides of the street,
- 5' sidewalks (MPO has requested 6'), and
- street trees and landscaping.

Local streets will comprise:

- 44' right-of-way,
- 20' travel lane,
- parallel parking on one side of the street,
- 5' sidewalks (MPO has requested 6'), and
- street trees and landscaping.

The Master Plan will anticipate future roadway connections both within the Master Plan and to adjacent properties. The Master Plan report states that the Applicant is negotiating with the NMSD to acquire right-of-way dedications for proposed roads crossing NMSD land. Reference Figure 5 "Applicant's Conceptual Bike and Trail Design" for road cross-section and Figure 10 "Phase 3A Backbone Roadway Infrastructure" for Phase 3A Backbone Roadway Infrastructure.

A Traffic Impact Analysis was requested by the City Traffic Division for the project and was submitted for review by the Applicants. The Applicant's report identifies:

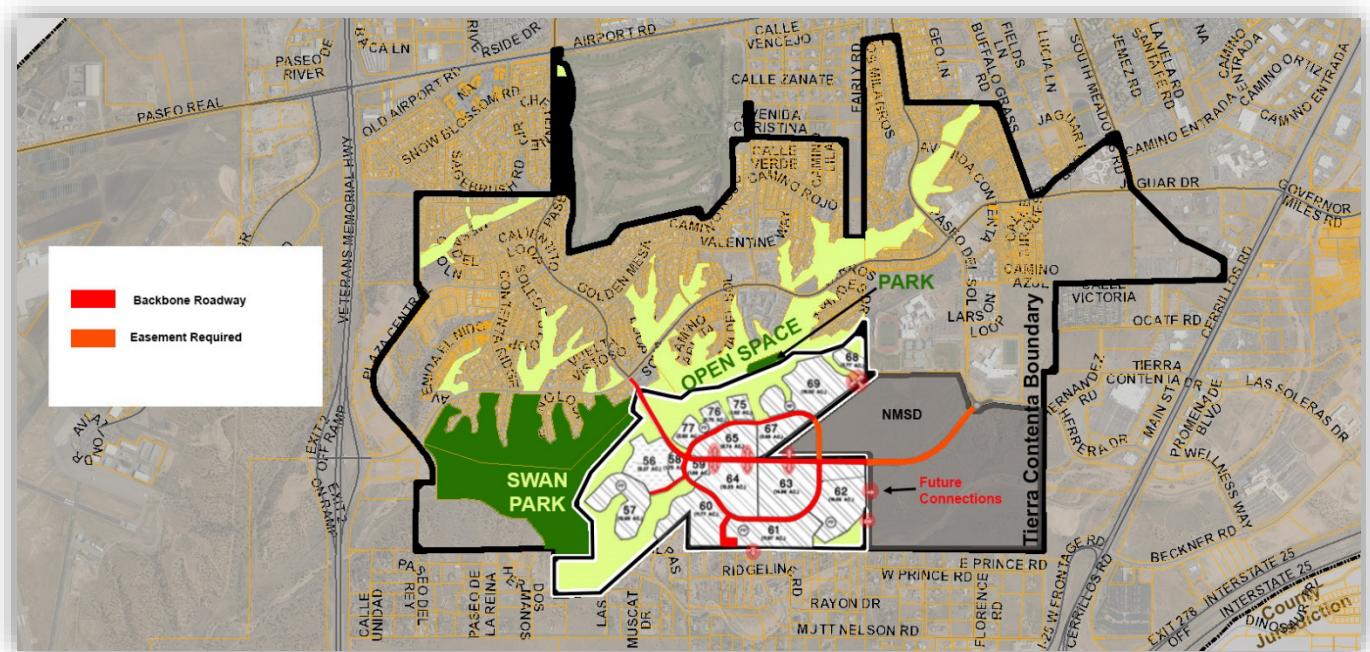
"The trip generation was calculated in accordance with a set of land use assumptions based on a dwelling unit yield analysis of the subject area. All studied intersections will continue to operate at acceptable Levels of Service in the build condition and horizon year. Furthermore, as referenced in the addendum letter from Morey Walker, a potential increase in density up to 1,500 dwelling units will not negatively impact the study's results."

Comments received by the City's traffic engineering consultant (Wilson & Company, Inc., Engineers & Architects) stated that the "TIA was a higher-level analysis so the phased developments will need to have an updated TIA completed." (Reference Exhibit B2)

- Letter dated June 17, 2021, indicates an increase in residential units by 366 to a total of 1500. However, it appears the traffic volumes do not take the increase into account.
- TIA mentions right turn lanes for certain sections of Internal traffic circulation, but turn lanes were not included in the analysis.
- Several Driveways appear to be located along Paseo Del Sol, both in the development, and external to the development, these were not included in the TIA evaluation.
- Internal intersections with loop road were analyzed as 4-way stop control. Need to provide an all-way stop warrant analysis. The all-way stop should be implemented only when they are warranted.
- TIA Recommended Improvements for Phase 3A, with comments in Blue (reference Exhibit B2):

- **Stop Controlled Intersection of West Paseo del Sol and Jaguar Drive**
 - 1) In the build out year 2030, no improvements are needed
 - 2) In the horizon year 2040, a right turn lane for Jaguar Drive eastbound (Is this to be built now?)
- **Signalized Intersection of East Paseo del Sol and Jaguar Drive** No improvements are required for Year 2030 and Year 2040
- **Roundabout Intersection of Paseo del Sol and Herrera Drive**
 - 1) In the build out year 2030, no improvements are required.
 - 2) In the horizon year 2040, a dedicated EB though lane could be required. (If Herrera requires a dedicated through lane, will this be funded by the developer, is a second lane required on Herrera?)
- **Internal Phase 3A Intersections**
Both major internal road Intersections will require four way stop controlled for both design year 2030 and horizon year 2040 (Internal Intersections with loop road were analyzed as 4-way stop control. Need to provide an all-way stop warrant analysis. The all-way stop should be implemented only when they are warranted.)
- **VISUM Traffic Generation & Distribution output was provided for the analyzed Intersections, however, the model input data was not included.**
- **The commercial/mixed use, and elementary school may have significant traffic impacts. Additional traffic investigation is needed.**
- **The intersection of Herrera and Cerrillos was not included in the TIA. However, with the increase and traffic on Herrera, it should be included in the evaluation.**

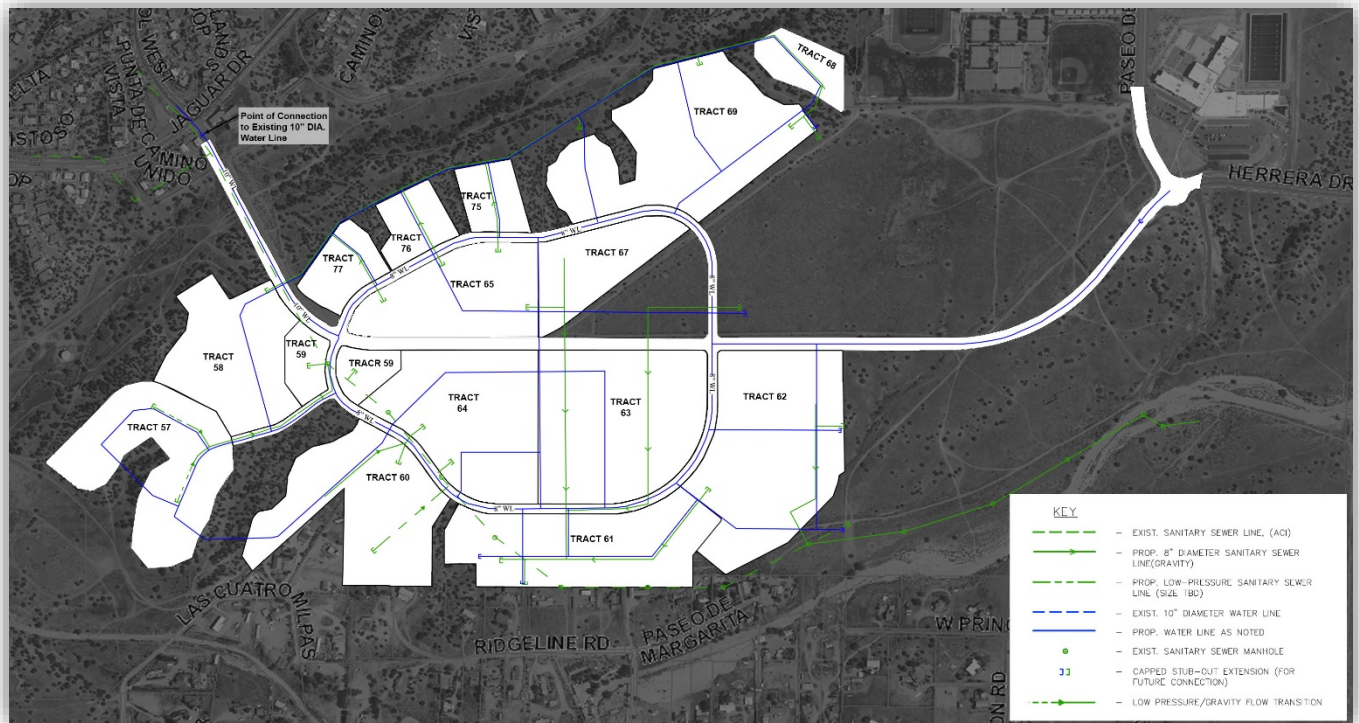
Figure 12 Phase 3A Backbone Roadway Infrastructure



f) Utilities

City Water and City Sewer will be extended into the Phase 3A from Paseo Del Sol. The Master plan identifies a water connection to an existing 10" water line then connecting to an 8" line (Reference Figure 13 "Phase 3A Utility Plan"). Additionally, water lines will end at the south property line (within the street) providing availability to city services to bordering property south of the project.

Figure 13 Phase 3A Utility Plan



Both City water and City Serwer Divisions requested one condition of approval applying to each Division (Reference Exhibits B3 and B4).

“Design guidelines for development of the sanitary water and sewer system(s) for the Master Plan Phases, including the Plats, for the Tierra Contenta Master Plan Phase 3A project shall require a pre-water and pre-sewer design meeting(s) with the City’s Water Division and Wastewater Division(s) prior to submittal of an application to the City for Development”

The Master Plan Amendments submittals did not include a concept water budget. A concept water budget is required prior to Governing Body review.

g) Fire Protection

With roughly 2,232 residential developments under construction² (reference Exhibit C15), the addition of 1,500 dwelling units will increase demand on the Fire Department. The Applicant has set aside Tract 58

² Count: As of May 13, 2021

for civic/public uses.

Fire Marshal requested one condition of approval with standard technical corrections identified in Exhibit B5.

Fire Marshal Condition:

Fire apparatus access shall have an unobstructed width of not less than 20 feet exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches (IFC 2015 Section 503.2.1)

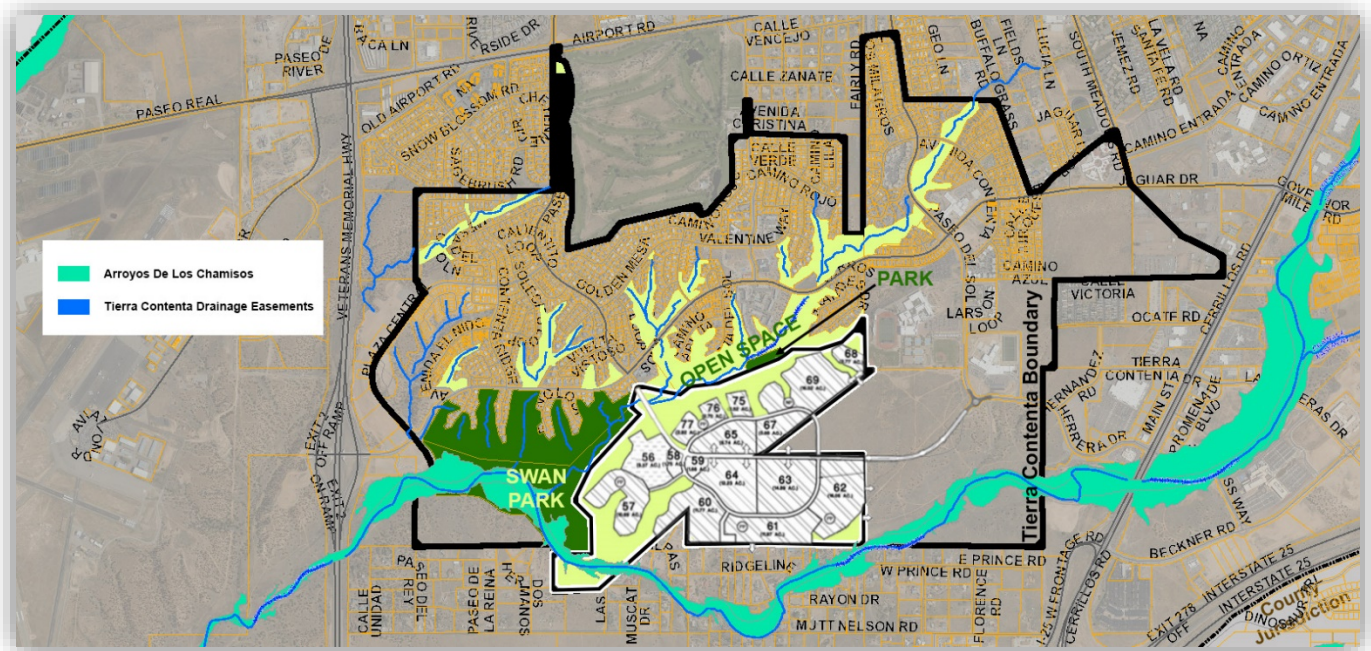
h) Terrain Management and Landscape

Terrain Management shall comply with Section 14-8.2 requirements for Terrain Management. Phase 3A is neither within the Escarpment Overlay or Mountainous and Difficult Train Mapped area. However, there are areas of 20 and 30% slopes. Additionally, there are drainage ways (Tierra Contenta Drainage Easements) that run through the open space and the Arroyos De Los Chamisos runs through the SWAN Park (Refence Figure 13 “Drainage”). The Annexation agreement states:

15. CONFORMANCE WITH TERRAIN MANAGEMENT AND DRAINAGE

STANDARDS. *Prior to development of Property, the PRC Owners and Adjoining Owners shall demonstrate compliance with the Terrain Management provisions of Santa Fe City Code. Dip sections shall not be allowed on designated arroyos without prior administrative approval of the director of the Technical Review Division of the City.*

Figure 14 Drainage



The City Technical Review Division had no comments.

V. MASTER PLAN

The Applicants has provided a multi-phases Master Plan. The objective of the master plan is the “creation of tracts for sale to developers in a phase subdivision plat, and creation of a phase development plan.” “Recruit developers and/or builders for the development tracts created.” The Applicant has not requested any variances for Caser #2021-3818.

Development and use of the property, as outlined in the Master Plan, solidifies the Master Plan with the Property until changed by the Applicants. Changes to an approved Master Plan require a public hearing before the Planning Commission and the Governing Body.

Table 5 Approval Criteria– Master Plan (Section 14-3.9(D)(1))

<p>Criterion 1: the master plan is consistent with the general plan;</p>	<p>Criterion Met: (Yes/No/Conditional/N/A) YES</p>
<p>The Applicant has addressed Criterion 1 stating:</p> <p><i>“This Master Plan Amendment aligns with General Plan Themes and Policies, such as Affordable Housing, Economic Diversity, Urban Form/Higher Densities, Community Oriented Development, and Mixed Use. Furthermore, the General Plan Land Use Framework includes the following elements: Compact Urban Form, Mix of Uses in All New and Existing Neighborhoods, and Mix of Housing Types in All Neighborhoods.”</i></p> <p>Staff concurs with the Applicant response to Subsection 14-3.9(D)(1). Staff’s analysis of the project identifies that the Applicant satisfied the Master Plan criterion required by Subsection 14-3.9(D)(1).</p>	
<p>Criterion 2: the master plan is consistent with the purpose and intent of the zoning districts that apply to, or will apply to, the master plan area, and with the applicable use regulations and development standards of those districts;</p>	<p>Criterion Met: (Yes/No/Conditional/N/A) YES</p>
<p>The Applicant has addressed Criterion 2 stating:</p> <p><i>“The stated purpose of the PRC District in §14-4.3(l)(1) is “...to provide for the comprehensive and coordinated planning of large-scale residential developments that allows for a phasing of development that will take place over a long period of time. This district allows and encourages single- family residences in conventionally platted subdivisions and clustered residential developments based on a design concept that applies innovative site-planning techniques; a mixture of residential densities intended to achieve a balanced community for all types of families; and neighborhood commercial uses of a type and intensity serving the residents of the PRC and the surrounding areas.” This amended Master Plan is consistent with the purpose and intent of the PRC District through the provision of a diversity of housing types, innovative design standards, a mix of residential densities, and mixed-use development.”</i></p> <p>Staff concurs with the Applicant response to Subsection 14-3.9(D)(2). Staff’s analysis of the project identifies that the Applicant satisfied the Master Plan criterion required by Subsection 14-3.9(D)(2).</p>	

Criterion 3: development of the master plan area will contribute to the coordinated and efficient development of the community; and	Criterion Met: (Yes/No/Conditional/N/A) YES
<p>The Applicant has addressed Criterion 3 stating:</p> <p><i>“The Master Plan includes provisions for pedestrian and vehicular connectivity to the surrounding area. In addition, the subject land area (Phase 3A) makes efficient use of existing infrastructure and represents the final phase of development within the Tierra Contenta master-planned community, as contemplated in the original vision of the master plan.”</i></p> <p>Staff concurs with the Applicant response to Subsection 14-3.9(D)(3). Staff’s analysis of the project identifies that the Applicant satisfied the Master Plan criterion required by Subsection 14-3.9(D)(3).</p>	
Criterion 4: the existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the planned development.	Criterion Met: (Yes/No/Conditional/N/A) CONDITIONAL
<p>The Applicant did not submit a fiscal impact analysis to the city addressing the impacts of the planned development. This is needed to address impacts to water as well as emergency services and public safety, given full build out of Tierra Contenta Phase Amendment #1 for Phase 3A. The Applicant has addressed Criterion 4 stating:</p> <p><i>“The backbone infrastructure to be constructed by TCC will include the following: (1) construction of Paseo del Sol from the current terminus of Paseo del Sol West to the Herrera Drive/Paseo del Sol East roundabout, completing this important connection; (2) construction of the Phase 3A Loop Road, providing access to the development tracts; and (3) water and sewer mainline extensions in accordance with the attached Master Utility Plan. In addition, over 91 acres of natural open space is being preserved with a significant trail network and two mixed-use parcels are provided to accommodate potential future civic/public uses. Lastly, a 9.37-acre school site is being established to address future student demand in the area.”</i></p> <p>Staff’s analysis of the project identifies that the Applicant has not fully satisfied the Master Plan criterion required by Subsection 14-3.9(D)(4). However, conditions of approval have been included in Section II “Conditions of Approval” to address this Subsection 14-3.9(D)(4).</p>	

VI. EARLY NEIGHBORHOOD NOTIFICATION (ENN)

The Applicant conducted a virtual ENN meeting via Zoom on May 27, 2021.

The meeting attendance included the Applicants, City staff plus about 20 members of the public.

The meeting started at 5:30 PM and ended about 7:00 PM. The Applicant opened the meeting with an introduction by the staff regarding city process, followed by a presentation of the proposal by the Applicants with questions and answers succeeding the presentation. Members of the public noted concerns with the following:

- Traffic increases/congestion on Jaguar Road
- Drag racing on the streets

- Barking dogs in front yards
- HOA decisiveness
- Noise and safety for area residence along Jaguar Road.
- Water usage

VII. EXPIRATION

Pursuant to 14-3.19(B) *“Expiration of Development Approvals”*:

1) Master Plans

Approval of a master plan shall expire five years after all applicable appeal periods, and any appeals of the final action approving it unless:

- (a) approval is granted for a development plan or subdivision plat within the master plan boundaries; or
- (b) actual development of the site or off-site improvements is begun and is continued pursuant to Subsection 14-3.19(B)(6).

If approved by the Governing Body, the expiration will be 5 years from the adoption and approval of the Findings of Fact and Conclusions of Law.

VIII. ATTACHMENTS:

EXHIBIT A: Technical Corrections

EXHIBIT B: Development Review Team Memoranda

1. MPO, Leah Yngve
2. Traffic (Wilson & Company, Inc., Engineers & Architects)
3. Water Engineering Division Memorandum, Robert Jorgensen, Engineer
4. Wastewater Division Memorandum, Stan Holland, P.E.
5. Fire Marshal, Geronimo Griego
6. Land Use ADA Review, Jason Kluck, Interim Land Use Director
7. Environmental Services, Eric Lucero

EXHIBIT C: Maps and Photos

1. Figure 14 Included open space Aerial Photo
2. Figure 215 Master Plan Tracts/Lots
3. Figure 3 Master Plan Use
4. Figure 4 Adjacent Zoning
5. Figure 5 Applicant’s Conceptual Bike and Trail Design
6. Figure 6 Conceptual Bicycle and Trail Plan
7. Figure 7 Existing Bikes and Trails
8. Figure 8 Applicant’s Neighborhood Park Concept

9. Figure 9 Applicant's Concept Pocket Park
10. Figure 10 Conceptual Park Layout
11. Figure 11 Open Space
12. Figure 12 Phase 3A Backbone Roadway Infrastructure
13. Figure 13 Phase 3A Utility Plan
14. Figure 14 Drainage
15. Residential Development Pipeline Units Under Construction May 13, 2021

EXHIBIT D: Plats referenced in Figure 1 *"Included open space"*

1. Tierra Contenta Subdivision Phase 2A, Unit 1
2. Tierra Contenta Subdivision Phase 1B, Unit 1
3. Plat of survey of a Portion of Lot 8, A portion of Lot 9 of Section 12...
4. Annexation Plat for Tracts 1 thru 9 Tierra Contenta...
5. Dedication Plat for Tract 8A3-7B Tierra Contenta Subdivision

EXHIBIT E: Applicant's Design Standards Overview

EXHIBIT F: Applicants ENN Materials

1. Applicants ENN packet
2. Applicant Notes
3. Applicant's Community Outreach

EXHIBIT G: Applicants Materials

1. Application Master Plan Report
2. Applicant's Traffic Study
3. Archaeological Clearance
4. Tierra Contenta *Restated Annexation Agreement*
5. *Master Plan Plans*

PROVED BY:

Title	Name	Initials
Interim Land Use Department Director	Jason Kluck	jmk
Land Use Current Planning Planner Manager	Noah Berke	NLB
Land Use Department Case Manager	Dan Esquibel	DAE

**August 19, 2021
Planning Commission
Case #2020-2318
Tierra Contenta Master Plan
Amendment #1 for Phase 3A**

EXHIBIT A

Technical Corrections

EXHIBIT A
 Technical Corrections
Case #2021-3818
 Tierra Contenta Master Plan Amendment #1 for Phase 3A

	Technical Corrections of approval	Department	To be completed by:
1	Shall meet the 150 feet driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided. (Appendix D Table D103.4)	Fire Prevention	At the time of any new construction or remodel
2	Shall comply with table D103.4 Requirements for Dead-End Fire Apparatus Access Roads.		
3	Fire Department shall have 150 feet distance to any portion of the building on any new construction. (IFC 2015 section 503.1.1)		
4	507.5 Fire hydrant systems. Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6. 507.5.1 Where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building.		
5	Shall have water supply that meets fire flow requirements as per IFC (Appendix B)		
6	Shall comply with Section D102.1 Access and Loading (75,000 lbs).		
7	Shall meet the 150 feet driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided. (Appendix D Table D103.4)		
8	Shall comply with IFC 2015 Section D103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.		
9	Shall comply with IFC 2015 Section D103.5 Fire apparatus access road gates.		
10	Shall comply with Section D106 Multiple-Family Residential Developments.		
11	Shall meet the IFC code requirements 2015 edition or the most current edition the governing body has adopted at the time of permitting.		

August 19, 2021
Planning Commission
Case #2020-2318
Tierra Contenta Master Plan
Amendment #1 for Phase 3A

EXHIBIT B

Development Review Team Memoranda

1. MPO, Leah Yngve
2. Traffic (Wilson & Company, Inc., Engineers & Architects)
3. Water Engineering Division Memorandum, Robert Jorgensen, Engineer
4. Wastewater Division Memorandum, Stan Holland, P.E.
5. Fire Marshal, Geronimo Griego
6. Land Use ADA Review, Jason Kluck, Interim Land Use Director
7. Environmental Services, Eric Lucero

Exhibit B1

Development Review Team

Comment Form

Date: 7/13/21

Staff person: Leah Yngve

Dept/Div: Land Use/MPO

Case: **Case #2021-3818. Tierra Contenta Master Plan Amendment #1 for Phase 3A**

Case Mgr: Dan Esquibel



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval :	Must be completed by:
1 Include parking protected bike lanes as a design option	Prior to Signature Sheet Process
2 Widen the minimum sidewalk width to 6ft	Prior to Signature Sheet Process
3 Add a landscape buffer between all sidewalks and the road	Prior to Signature Sheet Process

Technical Corrections*:	Must be completed by:
1	

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]

Explanation of Conditions or Corrections (if needed):

These conditions are provided to strengthen the road designs to accommodate, encourage, and improve the pedestrian and bicycle facilities in Phase 3A. The amendment report identifies an intent for this phase to “enhance[] pedestrian connectivity and improve bicycle facilities.” A number of factors support bicycle and pedestrian improvements beyond the current design:

- increased housing density will increase the number of people wanting to walk and bike
- a number of amenities will be in walking/biking distance of the neighborhood (schools, library, teen center, parks)
- much of the housing will be ideal for families; youth need additional protection when walking or biking

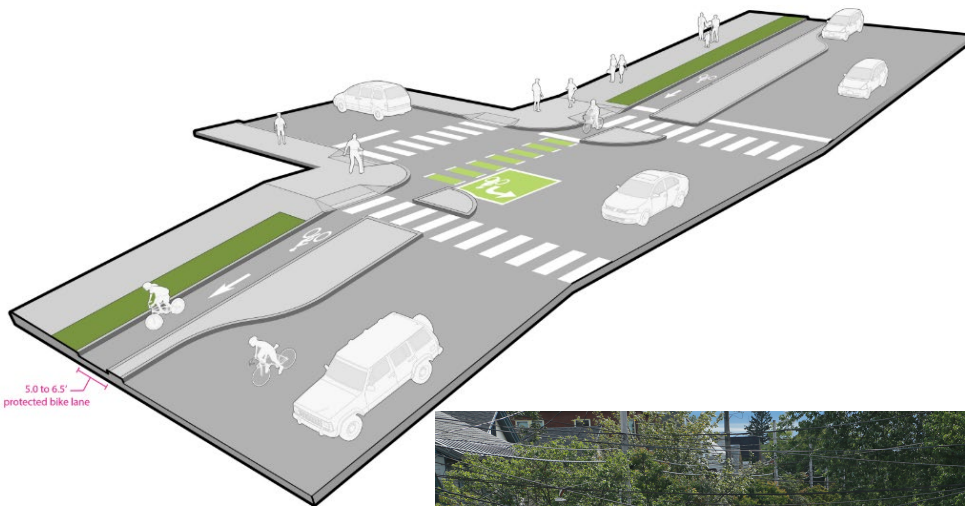
1. Parking Protected Bike Lanes

The design guidance has bicycle lanes adjacent to on-street parking as a design type for Paseo del Sol, however, the bicycle lane and parking spots could be switched to create safer, parking protected bicycle lanes. Parking protected bike lanes provide a barrier between people on bikes and traveling cars which makes riding a bicycle on the street safer for users of all ages and abilities. They also reduce the likelihood of “dooring”, or a person riding a bicycle being hit as a driver opens their door.

Protected bike lanes are called for in the Santa Fe Bicycle Master Plan (BMP) as many people do not feel comfortable riding on the edge of a busy street, but would feel comfortable riding in a protected bike lane. The BMP identifies a goal of 1 mile of protected bike lanes in Santa Fe by 2024 to help Santa Fe have an “all ages and abilities” bicycle network.

The Santa Fe Metropolitan Bicycle Design Toolkit also recommends protected bicycle lanes as: “They reduce the risk of a bicyclist being hit by an opening car door and can prevent motor vehicles from driving, stopping, or waiting in the bikeway. They also provide greater comfort to pedestrians by separating them from bicyclists operating at higher speeds.”

Though this would be a new type of design for Santa Fe, implementing it in one large section, with appropriate signage or clarity of proper use, would be a strategic way to introduce this new design. When the whole road section operates under the same way, people will learn how to use it properly and then it can be adopted in other places around the city.



2. 6ft sidewalks

Though the code does not call for greater than 5ft sidewalks, the conditions of this development (density, destinations) create the opportunity for residents to walk for recreation or transportation. Five foot sidewalks do not comfortably accommodate groups or people or people going opposite directions that need to pass. With the anticipation of families living in this development, a slightly wider sidewalk of 6ft will provide more space for people to comfortably walk together and pass.

Below are examples showing the limitations of 5ft sidewalks:



Wider is better for walking together!



3. Add a landscape buffer between all sidewalks and the road

A landscape barrier between the road and the sidewalk on the proposed Paseo del Sol design will improve the aesthetics for people walking on this road. It will also move people further away from traffic, which improves the pedestrian experience.

Santa Fe Pedestrian Master Plan p83:

Landscaping / Planting Buffer

Introducing plants into the buffer zone is highly beneficial to the street environment. Plants can help mitigate the urban heat island effect, provide a more comfortable microclimate, help manage stormwater runoff, and provide locations for bird and wildlife habitat.

Street trees serve as a barrier between pedestrians and traffic on high volume streets and help provide a more comfortable, shaded walking environment. Street trees also visually narrow the field of vision for motorists, causing them to move more slowly.

Landscape improvements in the buffer zone can soften the edge of the sidewalk and make the walking environment more enjoyable.

Plant selections can aesthetically enhance the streetside environment and help establish a local character with drought tolerant and native plants.

Planting areas, or rain gardens, along roadways can be designed to collect stormwater runoff to help irrigate plants and allow for infiltration. Curb extensions can capture stormwater to control flow and improve water quality.

Exhibit B2

Tierra Contena TIA Review

Gallegos, Audra V. <Audra.Gallegos@wilsonco.com>

Mon 7/12/2021 4:06 PM

To: BERKE, NOAH L. <nberke@santafenm.gov>; ESQUIBEL, DANIEL A. <daesquibel@santafenm.gov>

Cc: Kramer, Michael E. <Michael.Kramer@wilsonco.com>

📎 1 attachments (12 MB)

TC Maps.pdf;

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Noah and Dan,

The following are comments on Tierra Contenta Phase 3A TIA dated November 1, 2020 and update/cover letter dated June 17, 2021:

- Letter dated June 17, 2021 indicates an increase in residential units by 366 to a total of 1500. However, it appears the traffic volumes do not take the increase into account.
- TIA mentions right turn lanes for certain sections of Internal traffic circulation, but turn lanes were not included in the analysis.
- Several Driveways appear to be located along Paseo Del Sol, both in the development, and external to the development, these were not included in the TIA evaluation.
- Internal intersections with loop road were analyzed as 4-way stop control. Need to provide an all-way stop warrant analysis. The all-way stop should be implemented only when they are warranted.
- TIA Recommended Improvements for Phase 3A, with comments in [Blue](#):
 - Stop Controlled Intersection of West Paseo del Sol and Jaguar Drive
 - 1) In the build out year 2030, no improvements are needed
 - 2) In the horizon year 2040, a right turn lane for Jaguar Drive eastbound
[Is this to be built now?](#)
 - Signalized Intersection of East Paseo del Sol and Jaguar Drive
No improvements are required for Year 2030 and Year 2040
 - Roundabout Intersection of Paseo del Sol and Herrera Drive
 - 1) In the build out year 2030, no improvements are required.
 - 2) In the horizon year 2040, a dedicated EB though lane could be required. [If Herrera requires a dedicated through lane, will this be funded by the developer, is a second lane required on Herrera?](#)
 - Internal Phase 3A Intersections
Both major internal road intersections will require four way stop controlled for both design year 2030 and horizon year 2040
[Internal intersections with loop road were analyzed as 4-way stop control. Need to provide an all-way stop warrant analysis. The all-way stop should be implemented only when they are warranted.](#)
- VISUM Traffic Generation & Distribution output was provided for the analyzed intersections, however, the model input data was not included.
- The commercial/mixed use, and elementary school may have significant traffic impacts. Additional traffic investigation is needed.

- The intersection of Herrera and Cerrillos was not included in the TIA. However, with the increase and traffic on Herrera, it should be included in the evaluation.

This TIA was a higher level analysis so the phased developments will need to have an updated TIA completed.

Thank you!

Audra V. Gallegos, PE

Civil Engineer

Wilson & Company, Inc., Engineers & Architects

4401 Masthead Street NE, Suite 150 | Albuquerque, NM 87109

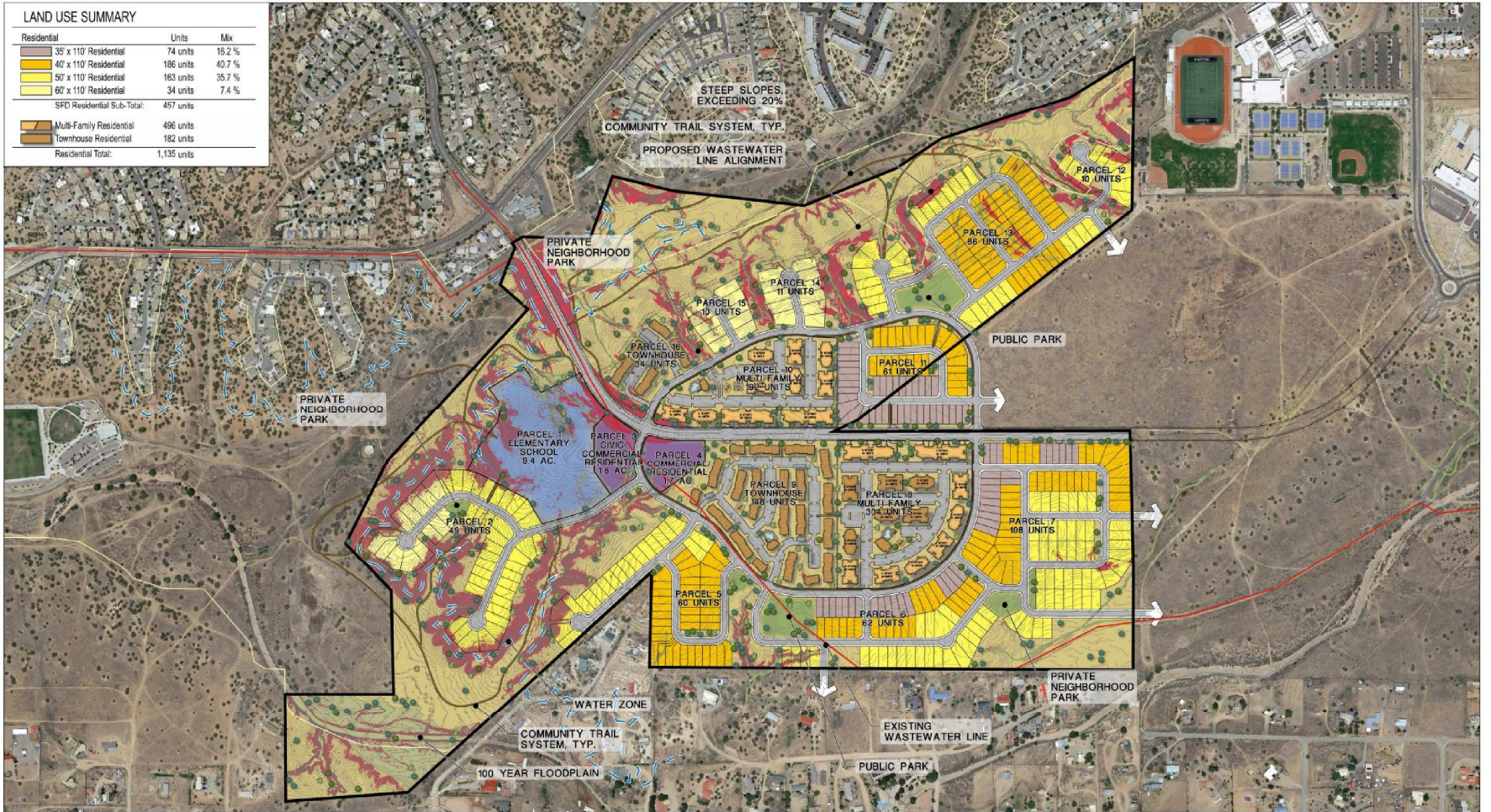
505 348 4110 (direct) | 505 250 4853 (cell)

wilsonco.com








discipline | intensity | collaboration | shared ownership | solutions

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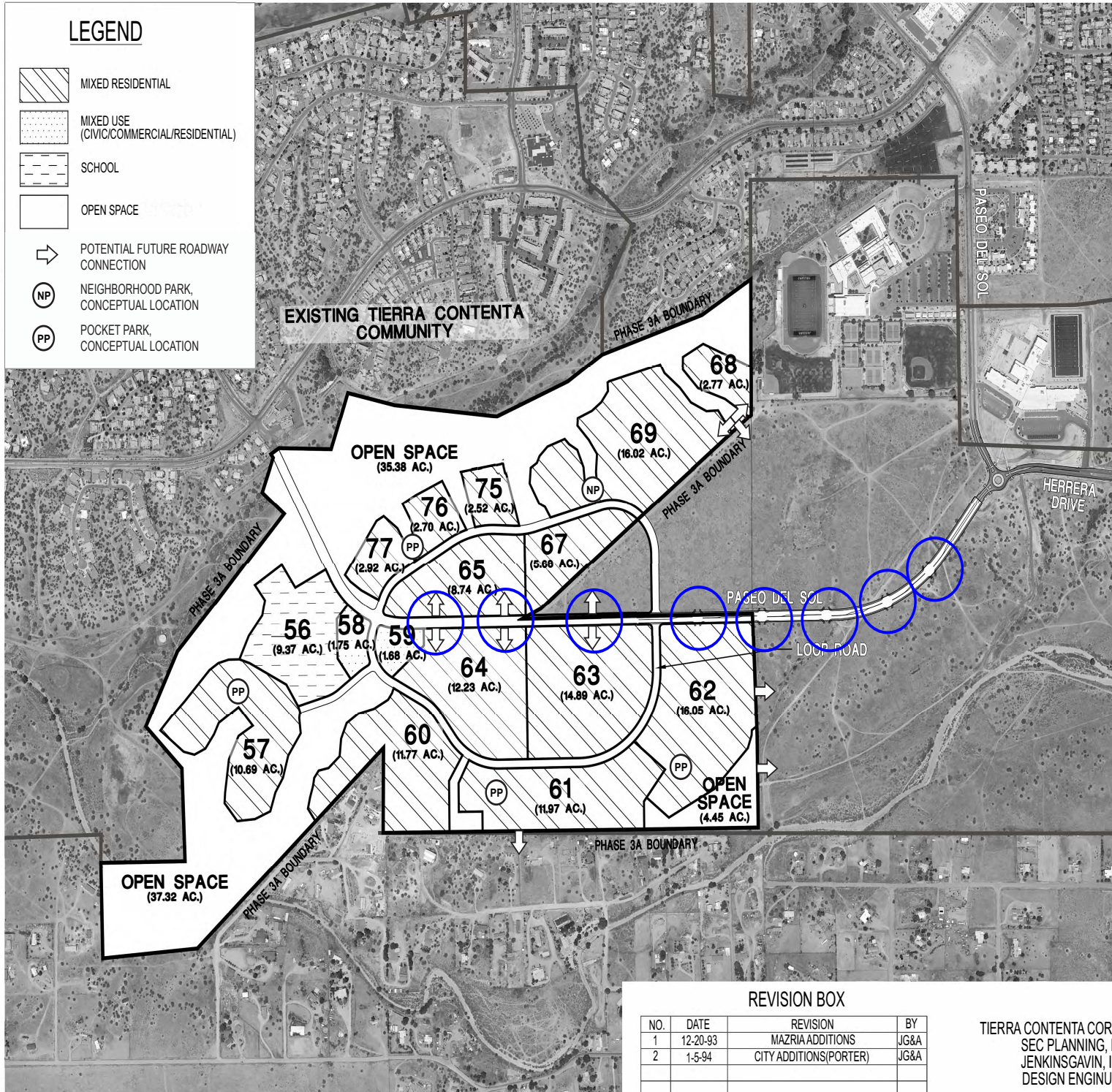
LAND USE SUMMARY		
Residential	Units	Mix
35' x 110' Residential	74 units	16.2 %
40' x 110' Residential	106 units	40.7 %
50' x 110' Residential	163 units	35.7 %
60' x 110' Residential	34 units	7.4 %
SFD Residential Sub-Total:	457 units	
Multi-Family Residential	496 units	
Townhouse Residential	182 units	
Residential Total:	1,135 units	



LEGEND

-  MIXED RESIDENTIAL
-  MIXED USE (CIVIC/COMMERCIAL/RESIDENTIAL)
-  SCHOOL
-  OPEN SPACE
-  POTENTIAL FUTURE ROADWAY CONNECTION
-  NEIGHBORHOOD PARK, CONCEPTUAL LOCATION
-  POCKET PARK, CONCEPTUAL LOCATION

EXISTING TIERRA CONTENTA COMMUNITY



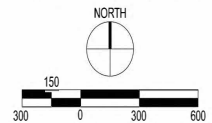
NOTES:

1. FOR DEVELOPMENT PROGRAM, SEE BELOW. SEE ALSO RESTATED ANNEXATION AGREEMENT ENTITLED "TIERRA CONTENTA, WOLMAGOOD SUBDIVISION AND CONTIGUOUS LAND (EAST)" FOR CONDITIONS OF DEVELOPMENT.
2. AT THE TIME OF APPLICATION FOR PLAT, A SYSTEM OF APPROPRIATELY SCALED LOCAL ROADS SHALL BE ESTABLISHED WHICH CONNECT OR ARE STUBBED OUT TO PERMIT LATER CONNECTION TO ADJOINING LOCAL ROADS ON PROPERTIES WITHIN OR NEXT TO TIERRA CONTENTA.
3. SUBSEQUENT PLATS SHALL ILLUSTRATE STORM WATER MANAGEMENT SYSTEMS ACCEPTABLE TO THE CITY, WHICH INCLUDE FACILITY DESIGN AND MAINTENANCE PROGRAMS.
4. FOR FINAL SUBDIVISION PLATS OR DEVELOPMENT PLANS (IN THE CASE OF MULTI-FAMILY), THE DISPOSITION OF LANDS OVER 30% SLOPE THAT ARE NOT LOCATED IN THE PUBLIC OPEN SPACE SYSTEM SHALL BE CLARIFIED. LANDS OUTSIDE THE OPEN SPACE SYSTEM THAT ARE OVER 30% SLOPE SHALL BE IDENTIFIED AS REMAINING UNDISTURBED PER THE CITY CODE OR AS REQUIRING A VARIANCE.
5. SUBMITTALS SHALL BE PREPARED ON A TRACT BY TRACT BASIS FOR IMPROVEMENT PLANS, VEGETATION PLANS (INCLUDING USE OF NATIVE PLANTS) AND IRRIGATION PLANS (INCLUDING XERISCAPE AND USE OF EFFLUENT WATER) IN PARKS, OPEN SPACE, ROADWAYS, DRAINAGES, AND COMMUNITY FACILITIES. THE CITY PARKS AND PUBLIC WORKS DEPARTMENTS SHALL REVIEW THE SUBMITTALS TO DETERMINE ACCEPTABLE PLANS.
6. THE CITY PARKS DEPARTMENT SHALL RECOMMEND SIZE AND DEVELOPMENT CRITERIA FOR PARK IMPROVEMENTS.
7. ROADS WILL BE CONSTRUCTED CONSISTENT WITH CITY CODE OR VARIANCES FROM THE CITY CODE SHALL BE OBTAINED.
8. DEVELOPMENT WITHIN THE PRC SHALL COMPLY WITH THE APPROVED DESIGN GUIDELINES.

PHASE 3A DEVELOPMENT PROGRAM AND TRACT DATA

TRACT	LAND USE	NET ACREAGE	UNITS	DU/ACRE
56	School	9.37	0	0
57	Mixed Residential	10.69	49	4.6
58	Mixed Use (Civic/Commercial/Residential)	1.75	21	12.0
59	Mixed Use (Civic/Commercial/Residential)	1.68	21	12.5
60	Mixed Residential	11.77	60	5.1
61	Mixed Residential	11.97	73	6.1
62	Mixed Residential	16.05	107	6.7
63	Mixed Residential	14.89	275	18.5
64	Mixed Residential	12.23	225	18.4
65	Mixed Residential	8.74	150	17.2
67	Mixed Residential	5.68	40	7.0
68	Mixed Residential	2.77	12	4.3
69	Mixed Residential	16.02	85	5.3
75	Mixed Residential	2.52	11	4.4
76	Mixed Residential	2.70	12	4.4
77	Mixed Residential	2.92	34	11.6
	Open Space	91.09	0	0
PHASE 3A TOTALS		222.84	1175	5.3
MAXIMUM PERMISSIBLE UNITS			1500	6.7

MASTER PLAN AMENDMENT #1



TIERRA CONTENTA
PHASE 3A
SANTA FE, NEW MEXICO

SHEET 7B

REVISION BOX

NO.	DATE	REVISION	BY
1	12-20-93	MAZRIA ADDITIONS	JG&A
2	1-5-94	CITY ADDITIONS (PORTER)	JG&A

TIERRA CONTENTA CORPORATION
SEC PLANNING, LLC
JENKINS GAVIN, INC.
DESIGN ENGINEITY

Exhibit B3

Development Review Team

Comment Form

Date: August 4, 2021

Staff person: Robert Jorgensen, Engineer

Dept/Div: Public Utilities/Wastewater

Case: Case #2021-3818 Tierra Contenta Master Plan Amendment 1 for Phase 3A

Case Mgr: Dan Esquibel



The subject properties are accessible to the City public water system. Accessible is defined as within 200 feet of a public water line.

Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:

Must be completed by:

1. Design guidelines for development of the water system for the Master Plan Phases, including the Plats, for the Tierra Contenta Master Plan Phase 3A shall require a pre-water design meeting with the City's Water Division prior to submittal of an application to the City for Development	Prior to subdivision or development Plan review of Tract Phases
---	---

Technical Corrections*:

Must be completed by:

None at this time	Prior to Sign Off for Final Subdivision Plan.
-------------------	---

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [None]

Exhibit B4

Development Review Team

Comment Form

Date: August 4, 2021
 Staff person: Stan Holland, Engineer
 Dept/Div: Public Utilities/Wastewater
 Case: Case #2021-3818 Tierra Contenta Master Plan Amendment 1 for Phase 3A
 Case Mgr: Dan Esquibel



The subject properties are accessible to the City public sewer system. Accessible is defined as within 200 feet of a public sewer line.

Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:	Must be completed by:
1. Design guidelines for development of the sanitary sewer system for the Master Plan Phases, including the Plats, for the Tierra Contenta Master Plan Phase 3A project shall require a pre-sewer design meeting with the City's Wastewater Division prior to submittal of an application to the City for Development	Prior to subdivision or development Plan review of Tract Phases

Technical Corrections*:	Must be completed by:
None at this time	Prior to Sign Off for Final Subdivision Plan.

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [None]

Exhibit B5

Development Review Team

Comment Form

Date: 07/14/2021

Staff person: Geronimo Griego

Dept/Div: Fire Prevention

Case: 2021-3818 TC Master Plan Amendment for Phase 3A

Case Mgr: Dan Esquibel



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:
by:

Must be completed

1. Fire apparatus access shall have an unobstructed width of not less than 20 feet exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches (IFC 2015 Section 503.2.1)	Prior to planning commission.
---	-------------------------------

Technical Corrections*:

Must be completed by:

<ol style="list-style-type: none"> 2. Shall meet the 150 feet driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided. (Appendix D Table D103.4) 3. Shall comply with table D103.4 Requirements for Dead-End Fire Apparatus Access Roads. 4. Fire Department shall have 150 feet distance to any portion of the building on any new construction. (IFC 2015 section 503.1.1) 5. 507.5 Fire hydrant systems. Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6. 507.5.1 Where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building. 6. Shall have water supply that meets fire flow requirements as per IFC (Appendix B) 	At the time of any new construction or remodel.
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<ol style="list-style-type: none">7. Shall comply with Section D102.1 Access and Loading (75,000 lbs).8. Shall meet the 150 feet driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided. (Appendix D Table D103.4)9. Shall comply with IFC 2015 Section D103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.10. Shall comply with IFC 2015 Section D103.5 Fire apparatus access road gates.11. Shall comply with Section D106 Multiple-Family Residential Developments.12. Shall meet the IFC code requirements 2015 edition or the most current edition the governing body has adopted at the time of permitting.	
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*Must made prior to recording and/or permit issuance

Exhibit B6

Development Review Team Comment Form

Date: 7/04/2021
Staff person: Jason M. Kluck
Dept/Div: Land Use – ADA Site Review
Case: **Case #2021-3818 Tierra Contenta Phase 3A**
Master Plan
Case Mgr: Dan Esquibel



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:

Must be completed by:

<p>Approval Comments:</p> <p>Provide Design Professional Seal and signature with date signed on all drawing sheets.</p> <p>At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.</p> <p>Accessibility feature design within the Public Right-of-Way shall comply with NMDOT Pedestrian Access Route Details (Serial 608).</p> <p>Sidewalks within the subdivision shall provide for a continuous accessible path of travel route(s). (Provide signage at closest intersection with accessible connection indicating "Accessible Route Ends Ahead" or "No Accessible Route" and provide detour at any temporary or permanent inaccessible routes.)</p> <p>Walking surfaces along the accessible path of travel route(s) shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps.</p> <p>Walking surfaces along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have</p>	<p>Prior to Recording</p>
--	---------------------------

marked crossings where the accessible route crosses vehicular traffic lanes.

Accessible street crossing locations provided shall be compliant with NMDOT Pedestrian Access Route Details (Serial 608) and shall be approved by the City's Traffic Engineering Division prior to permit application. Please include documentation of this approval with the building permit submittal.

Driveway and intersection crossings shall not exceed 2% cross slope, shall have a level maneuvering space, shall have 1/4" max. vertical deflections, and 10% max. flare slope.

Curb ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.

At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.

Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

Vertical clearance: Provide and maintain 80" of vertical clearance for the full width of all sidewalks/pedestrian routes. Rails or other barriers shall be provided where the vertical clearance is less than 80". The leading edge of such rails or barrier shall be located 27" max. above the floor. (307.4)

Provide and maintain 98" vertical clearance at van parking spaces and access aisles, and accessible routes. (502.6) At Passenger Loading Zones, provide and maintain 114" min. vertical clearance at the exterior vehicular route and access aisles serving the vehicle pull-up space. (503.5)

Off-Street parking a striped or metered on-street parking shall comply with:

2015 NM Accessible Parking Checklist

2010 ADA Standards - 208.2.3 Residential Facilities. Parking spaces provided to serve residential facilities shall comply with 208.2.3.

208.2.3.3 Parking for Guests, Employees, and Other Non-Residents.

Where parking spaces are provided for persons other than residents, parking shall be provided in accordance with Table 208.2.

Provision for ADA parking, signage and sidewalk access at striped and/or metered on-street parking spaces is recommended and may be required

for public infrastructure. See State Proposed PROWAG On-Street parking scoping requirements for details.

Technical Corrections*:

Must be completed by:

N/A	Prior to recording
-----	--------------------

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply:

General ADA Site Compliance Requirements for all phases of development of this project, as applicable

On-Site ADA Site Compliance Requirements as applicable:

IEBC Section 705, Accessibility: Businesses must comply with the provisions of the ADA Standards to the "maximum extent feasible" with a building alteration. The costs for the added ADA work is considered disproportionate if it is over 20% of the costs of the project. Improvements should be prioritized up to the 20% limit: entrance; route to the primary function area; at least one unisex ADA restroom or one restroom for each sex serving the area; drinking fountains serving the area; other.

Accessible path(s) of travel route shall be provided from the Public Right-of-Way and accessible parking aisle(s) to accessible building entrance(s) and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. Ensure accessible route(s) from the Public Right-of-Way and accessible parking space aisle(s) to building entrance(s) are provided and maintained. Provide detectable warning surfaces at curb ramps and transitions to driveway crossings along the accessible paths of travel as applicable.

IBC 1104.1 Site arrival points: At least one (firm, stable, slip resistant) accessible route within the site shall be provided from: public transportation stops, accessible parking, accessible passenger loading zones, and public streets or sidewalks to the accessible building entrance served.

Accessibility feature design within the Site shall comply with NMDOT Pedestrian Access Route Details (Serial 608) or demonstrate compliance with applicable ADA regulations by other means as provided in the permitted Construction Documents.

All walk surfaces along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.

All walk surfaces along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.

Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

Ramps within the site shall have 1:12 (8.33%) running slope and 1:48 (2%) cross slope max. With a max. rise of 30" and with 5' clear length landings where straight. Changes in direction shall comply with 304.3. Landing typical slope is 1.5% and shall not exceed 2% running and cross slope.

Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.

Accessible parking spaces and access aisles shall not exceed 2% slope in any direction. 1%-1.5% is the preferred target slope.

ADA parking signage shall comply with the 2015 New Mexico Accessible Parking Checklist. Accessible Signage Detail - Signage with required language per the NM Accessible Parking Checklist is required at ALL ADA Parking spaces. Parking signage height shall be 84" above the floor of the parking space, measured to the bottom of the R7-8 sign in the Public right-of-way, accessible path of travel, pedestrian way or path of the means of egress. Locate Van Accessible Parking signs immediately below the reserved parking sign at wall mounted or other locations not in the pedestrian way. At Van Accessible signs located in the pedestrian way, the R7-8A Van Accessible sign shall be mounted at 84" to bottom of the sign. Wall mounted signs and signs not mounted in the public way shall be 60" (84" is preferred) minimum above the floor of the parking space, measured to the bottom of the sign.

ADA parking space and aisle striping shall comply with the 2015 NM Accessible Parking Checklist, Section 9 (NMBC-1111 Section 1.4 through 1.4.3). The ADA parking space access aisle shall be clearly marked by diagonal pavement striping. "NO PARKING" lettering shall be stenciled in 1 foot high min. and 2 inches wide min. strokes, and located at the drive end of the striped access aisle. The International Symbol of Accessibility (ISA) shall be stenciled at all parking spaces, centered on the space and aligned with the drive end of the parking space striping. All pavement striping and markings shall be stenciled with pavement paint; blue on concrete paving or white on asphalt paving.

Ensure ADA Accessible parking spaces are located in close physical proximity to any adjacent accessible entrances or accessible housing units (60% of all entrances shall be accessible on new construction), with the shortest path of travel available from the parking area to the unit(s) and accessible entrances. Ensure accessible routes from Accessible parking space aisle(s) to building entrance are provided/maintained. Wheel stops are encouraged at all ADA accessible parking spaces to help ensure required clearance along the accessible path of travel is maintained.

Vertical clearance: Provide and maintain 80" of vertical clearance for the full width of all sidewalks/pedestrian routes. Rails or other barriers shall be provided where the vertical clearance is less than 80". The leading edge of such rails or barrier shall be located 27" max. above the floor. (307.4) Provide and maintain 98" vertical clearance at van parking spaces and access aisles, and accessible routes. (502.6) At Passenger Loading Zones, provide and maintain 114" min. vertical clearance at the exterior vehicular route and access aisles serving the vehicle pull-up space. (503.5)

Bicycle parking spaces shall comply with the requirements set forth in SFCC Chapter 14, (Subsection 14-8.6(E) along with Appendix Exhibit D, bicycle rack standards and dimensions for size, clearance and location.

At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter

7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.

Off-Site ADA Site Compliance Requirements as applicable:

Accessibility feature design within the Public Right-of-Way shall comply with NMDOT Pedestrian Access Route Details (Serial 608).

Driveway and intersection crossings shall not exceed 2% cross slope, shall have a level maneuvering space, shall have 1/4" max. vertical deflections, and 10% max. flare slope.

Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.

All walk surface along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.

Sidewalks and Walkways along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.

Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.

Exhibit B7

DRT Comments

LUCERO, ERIC J. <ejlucero@santafenm.gov>

Tue 7/13/2021 8:26 AM

To: ESQUIBEL, DANIEL A. <daesquibel@santafenm.gov>

Dan,

In regards to cases:

Case #2021-3837. Monte Sereno Variance to Subsections 14-8.2(D)(1) and (D)(2)(b). Al Lilly, Agent, for 21 Club Holdings LLC, Owner, requests a variance to Subsections 14-8.2(D)(1) and (D)(2)(b), Terrain and Stormwater Management, for road construction within the project and driveway construction for the resort casitas. The Property is zoned PRRC, located West of Highway 285, North of Tano Road at 4000 Monte Sereno Drive, and is within the Monte Sereno Development

Case #2021-3818. Tierra Contenta Master Plan Amendment #1 for Phase 3A. JenkinsGavin, Inc., Agent, for Tierra Contenta Corporation, Owner, requests Master Plan Amendment for Phase 3A. The Amendment, which includes modifications to infrastructure, parks, trails, land uses, and density. The property is an undeveloped tract of land located southwest of Capital High School, containing approximately 222.84 acres, and is zoned PRC (Planned Residential Community).

I have no comments at this time.

In regards to case:

Case #2021-3801. Monte Sereno Preliminary Subdivision for Phase 4. Al Lilly, Agent, for 21 Club Holdings LLC, Owner, request preliminary subdivision approval to create a 70-lot/Tract subdivision on Tract M containing approximately 168.27 acres. The subdivision would create 60 hotel unit lots containing a gross total of approximately 21.98 acres, 1 hotel amenities lot (Tract A-1) containing approximately 3.68 acres, 8 open space Tracts (A-2, A-3, A-5 thru A-7, A-9 thru A-11) containing approximately 11.68 acres and the balance of Tract M containing 133.32 acres. The Property is zoned PRRC, located West of Highway 285, North of Tano Road at 4000 Monte Sereno Drive, and is within the Monte Sereno Development.

I see no plan for refuse and recycling collection. Being that this is "hotel" use with a clubhouse bar and grill, there should be a plan for refuse collection.

Thanks,

**Eric J Lucero
Operations Manager
City of Santa Fe
Environmental Services Division**

August 19, 2021
Planning Commission
Case #2020-2318
Tierra Contenta Master Plan
Amendment #1 for Phase 3A

EXHIBIT C

Maps and Photos

1. Figure 1 Included open space Aerial Photo
2. Figure 2 Master Plan Tracts/Lots
3. Figure 3 Master Plan Use
4. Figure 4 Adjacent Zoning
5. Figure 5 Applicant's Conceptual Bike and Trail Design
6. Figure 6 Conceptual Bicycle and Trail Plan
7. Figure 7 Existing Bikes and Trails
8. Figure 8 Applicant's Neighborhood Park Concept
9. Figure 9 Applicant's Concept Pocket Park
10. Figure 10 Conceptual Park Layout
11. Figure 11 Open Space
12. Figure 12 Phase 3A Backbone Roadway Infrastructure
13. Figure 13 Phase 3A Utility Plan
14. Figure 14 Drainage
15. Residential Development Pipeline Units Under Construction May 13, 2021

EXHIBIT C1

**Tierra Contenta Subdivision
Phase 2A, Unit 1
Open Space
2.140 AC+/-
Book 493, Page 015**

**Tierra Contenta Subdivision
Phase 1B, Unit 1
Open Space
37.247 AC+/-
Book 396, Page 014**

**Applicant's Proposed
Phase 3A Boundary**

**Plat of Survey of a Portion
of Lot 8, A portion of Lot 9
of Section 12...
27.727 Acres+/-
Book 396, Page 11**

**Dedication Plat
for Tract 8A3-7B
Tierra Contenta Subdivision
Phase 2B
109.5486 AC+/-
Book 738, Page 15**

**Annexation Plat for
Tracts 1 thru 9
Tierra Contenta...
68.7062 Acres +/-
Book 162, Page 06**

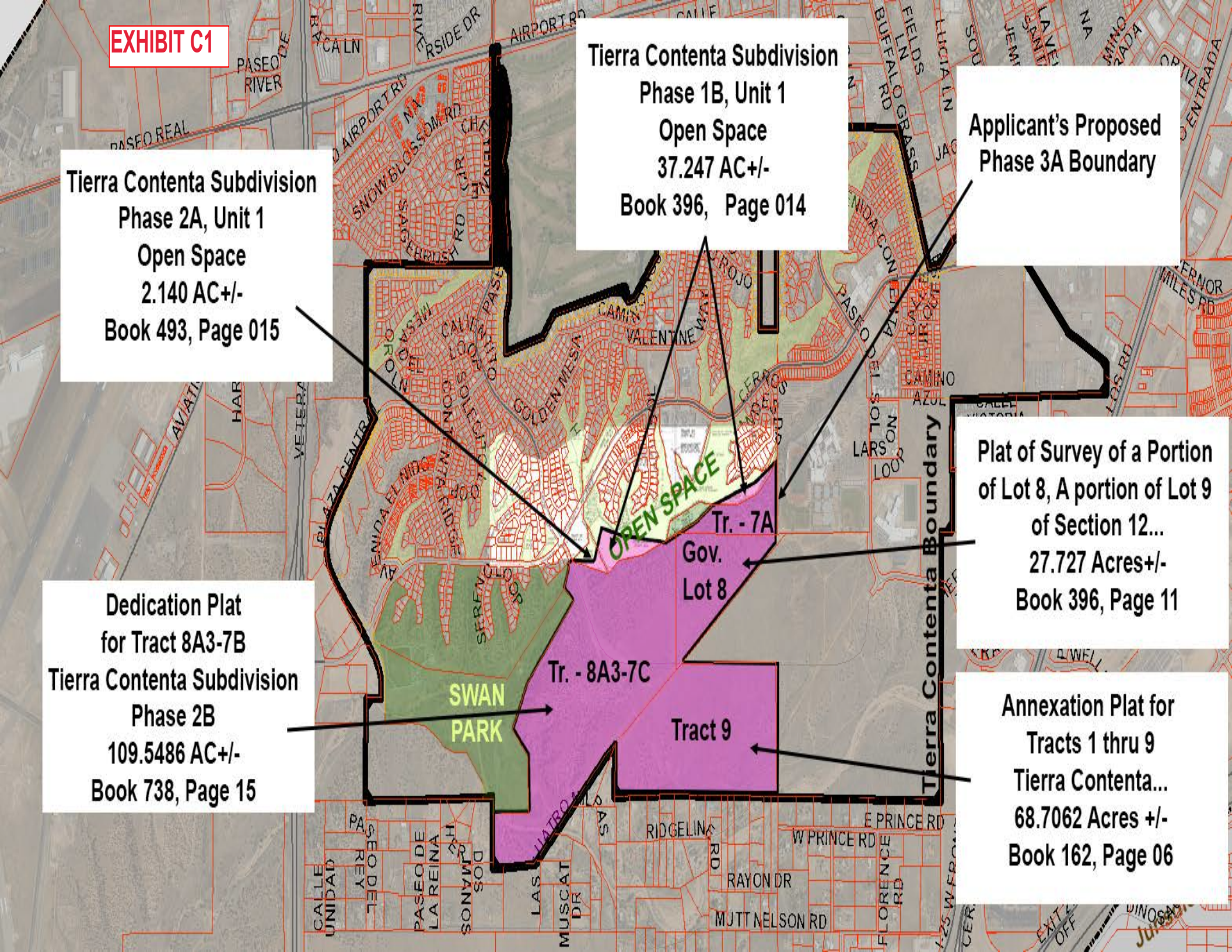
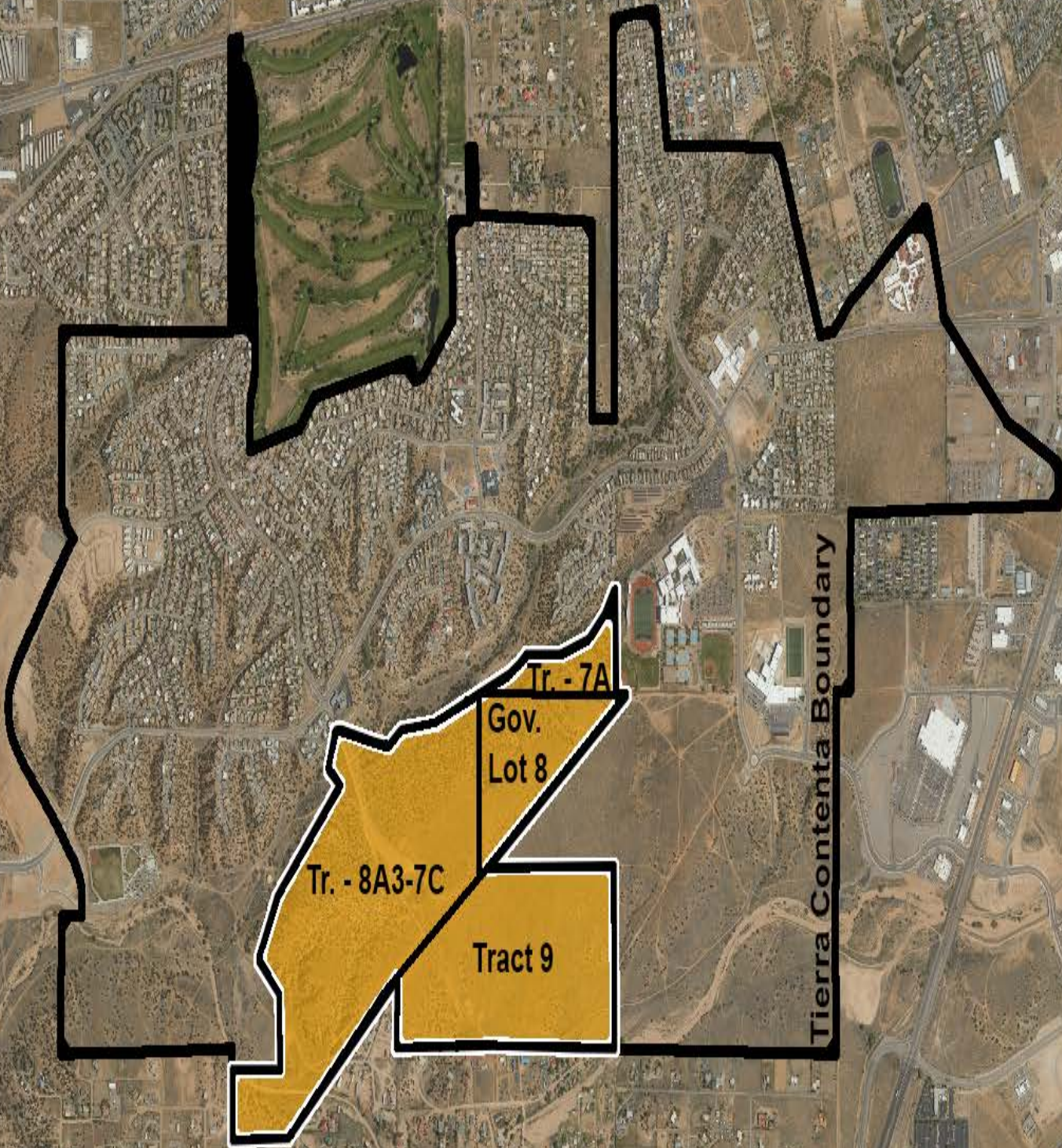


EXHIBIT C2



Tierra Contenta Boundary

Tr. - 7A

Gov.
Lot 8

Tr. - 8A3-7C

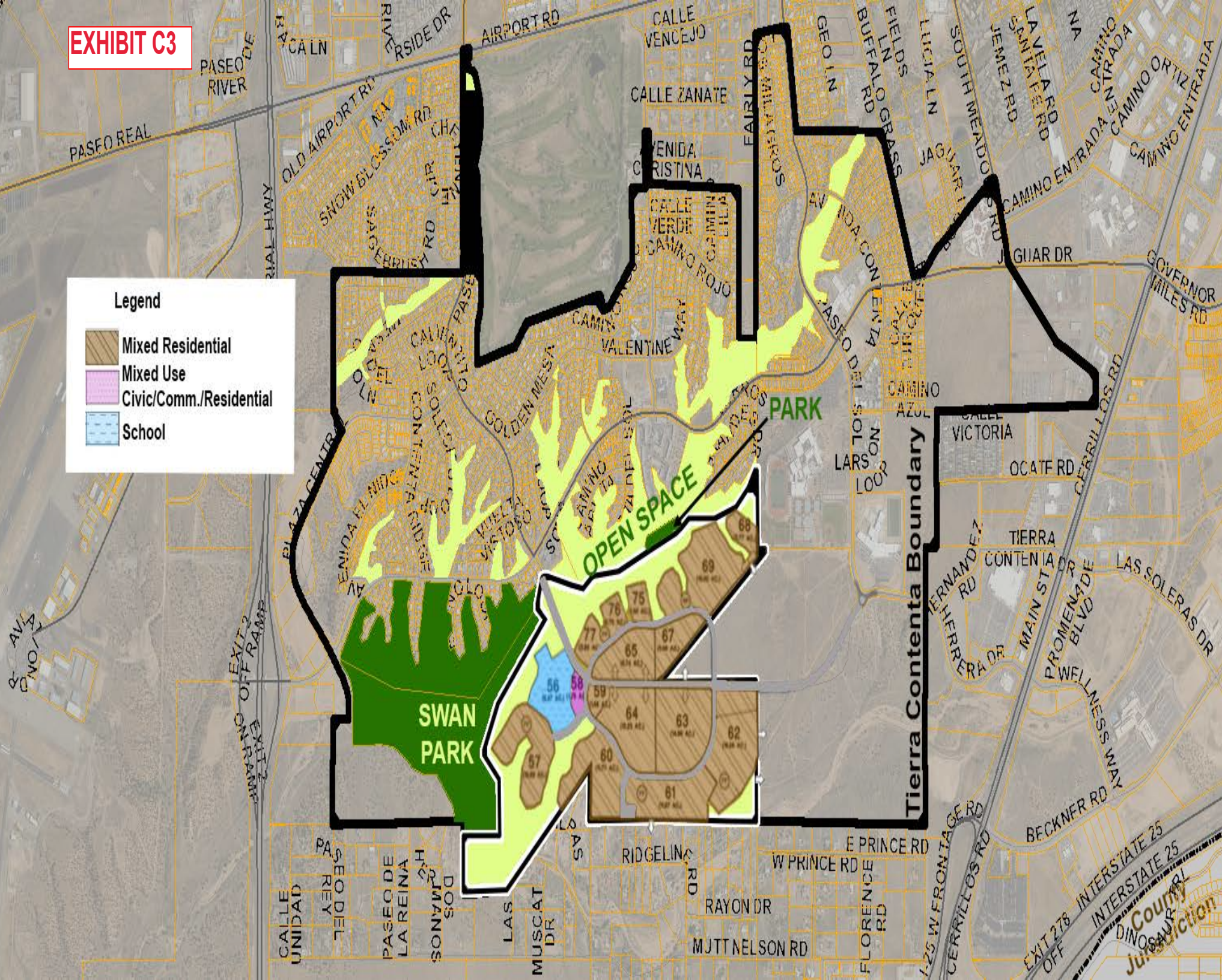
Tract 9

County
DINOSAUR
Jurisdiction

EXHIBIT C3

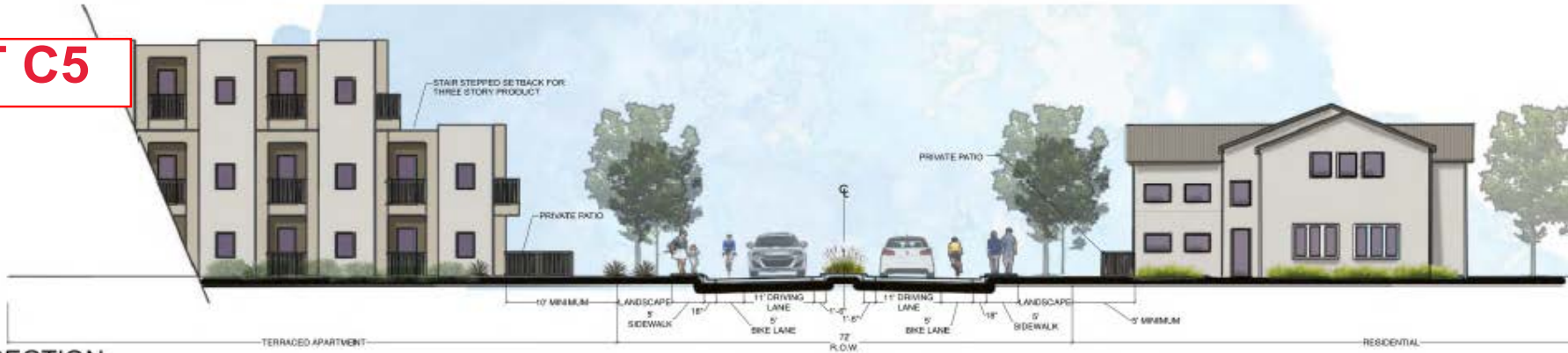
Legend

-  Mixed Residential
-  Mixed Use
-  Civic/Comm./Residential
-  School



County
Jurisdiction

EXHIBIT C5



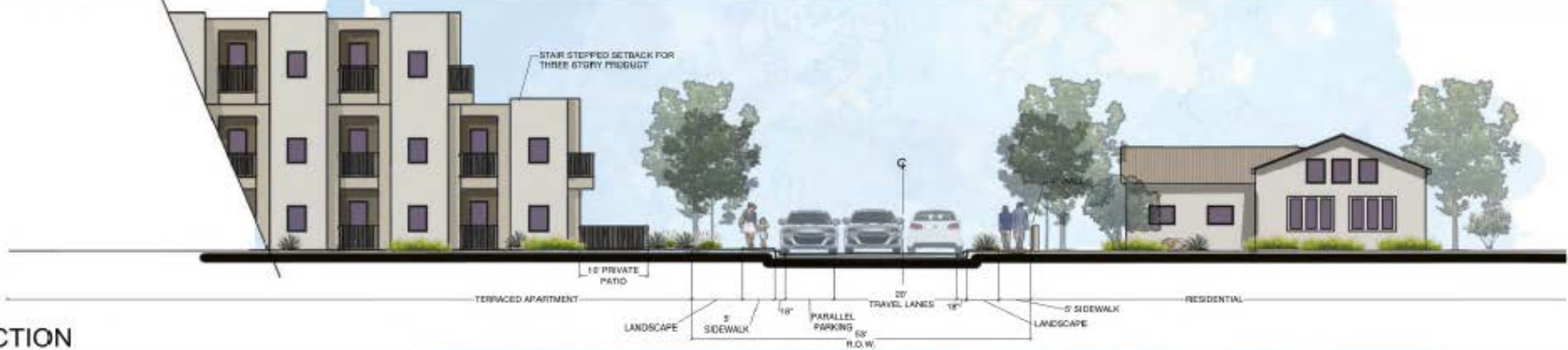
PASEO DEL SOL SECTION

Scale: 1" = 10'-0"



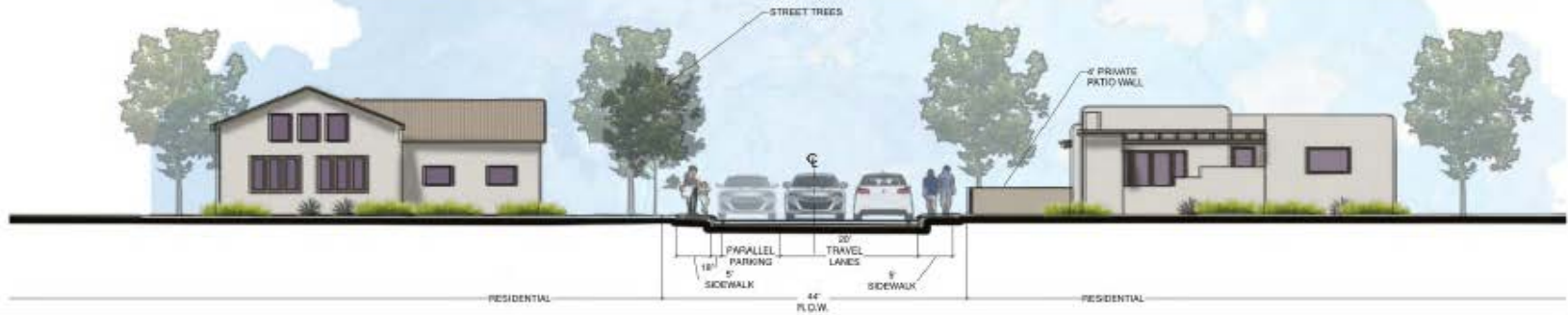
PASEO DEL SOL SECTION WITH PARALLEL PARKING

Scale: 1" = 10'-0"



LOOP ROAD SECTION

Scale: 1" = 10'-0"



LOCAL STREET SECTION

Scale: 1" = 10'-0"

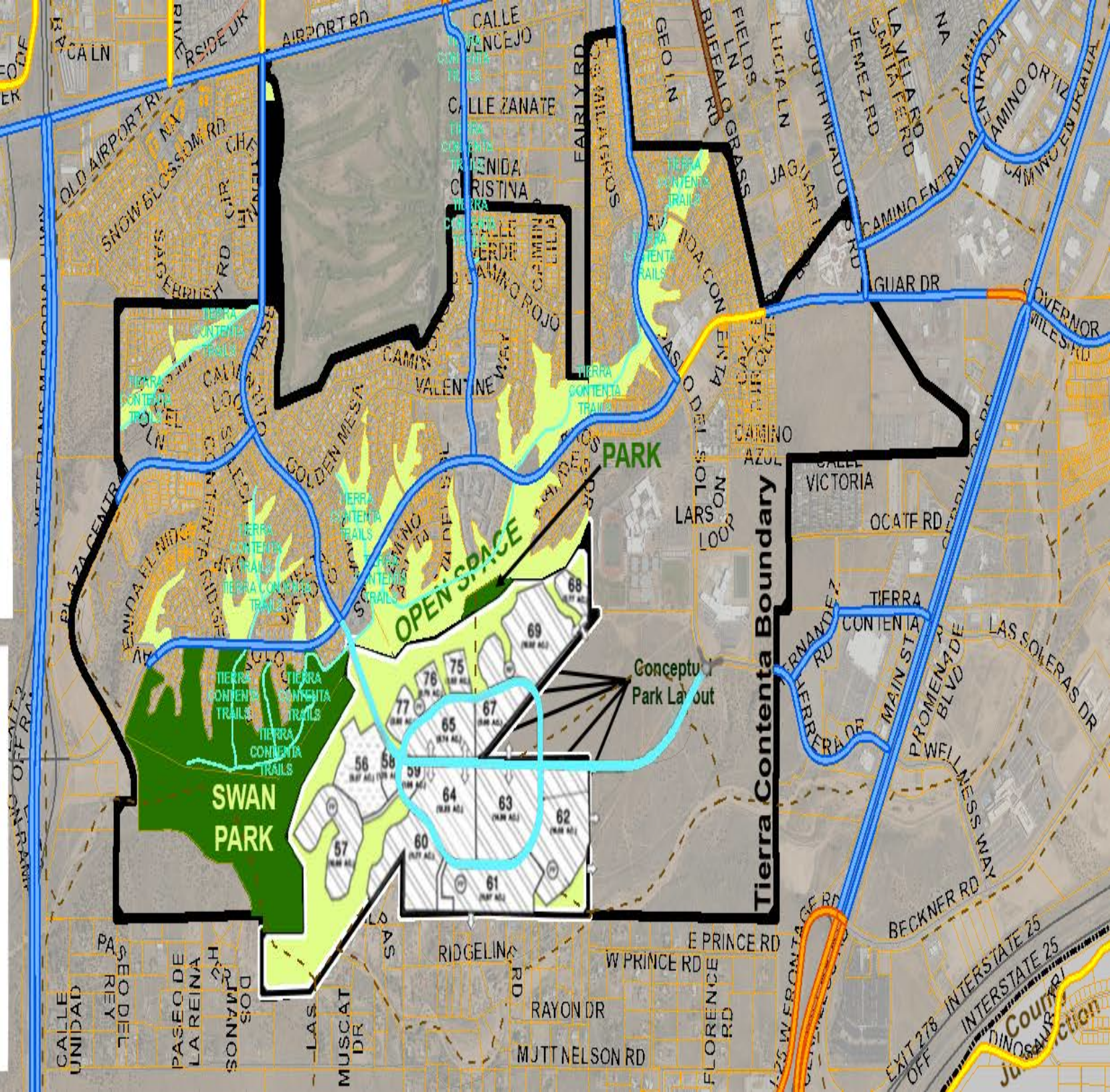
EXHIBIT C6

Bikeways

-  Bike Land/Shoulders
-  Shared-Lower Traffic/Speed
-  Shared-Higher Traffic/Speed
-  Unpaved Roadway
-  Phase 3A Proposed

Trails

-  Trails System
-  Major Trails
-  Minor Connection Trails
-  Park Trails
-  Subdivision Trails
-  Proposed Trails
-  Phase 3A Proposed



EXIT 278 INTERSTATE 25
 OFF INTERSTATE 25
 Dinosaur Junction

EXHIBIT C7

Bikeways

-  Bike Land/Shoulders
-  Shared-Lower Traffic/Speed
-  Shared-Higher Traffic/Speed
-  Unpaved Roadway

Trails

-  Trails System
-  Major Trails
-  Minor Connection Trails
-  Park Trails
-  Subdivision Trails
-  Proposed Trails

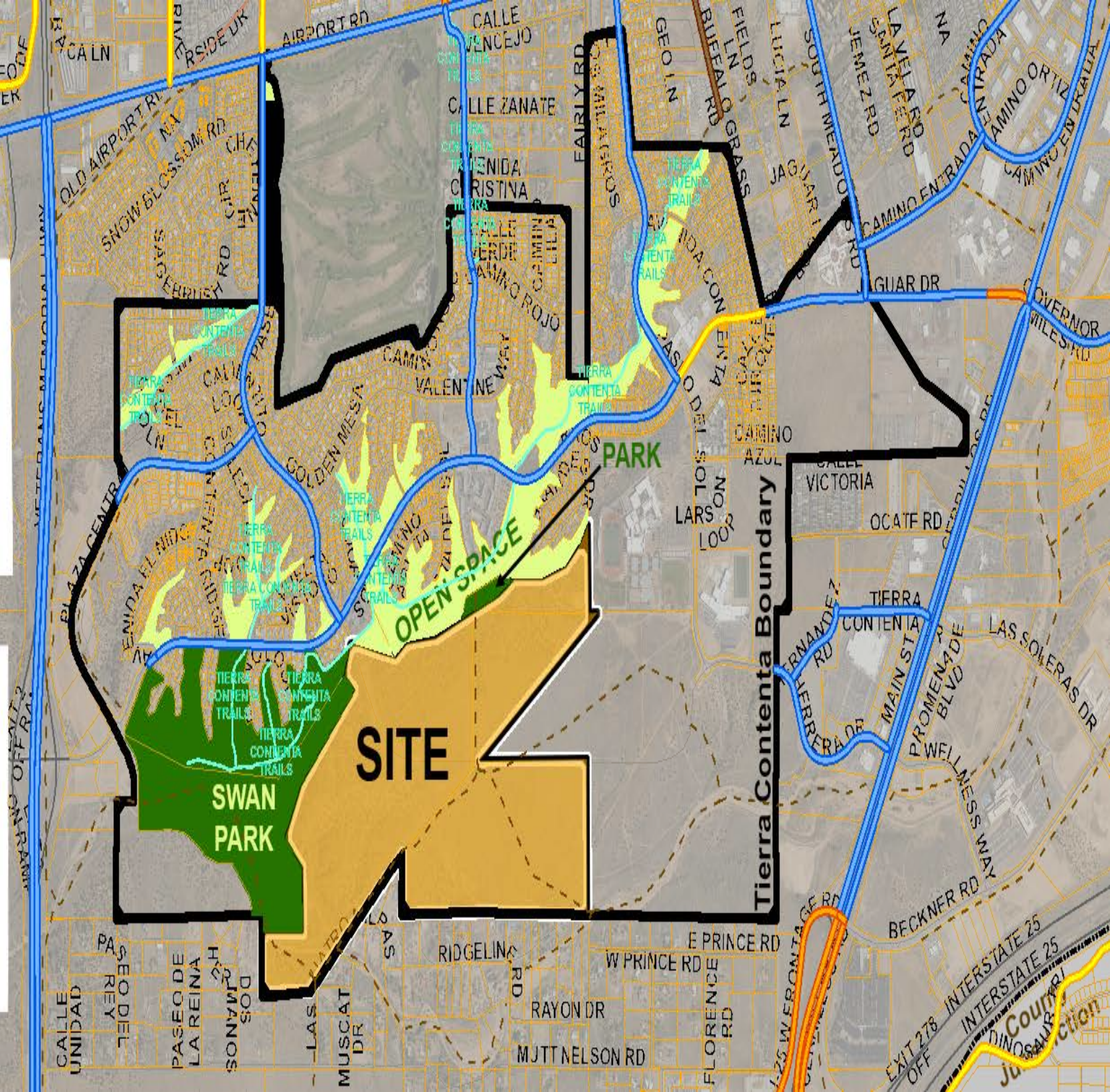


EXHIBIT C8



EXHIBIT C9



PLAYGROUND

SEAT WALL BENCHES

MAIL KIOSK

SEATING AREA

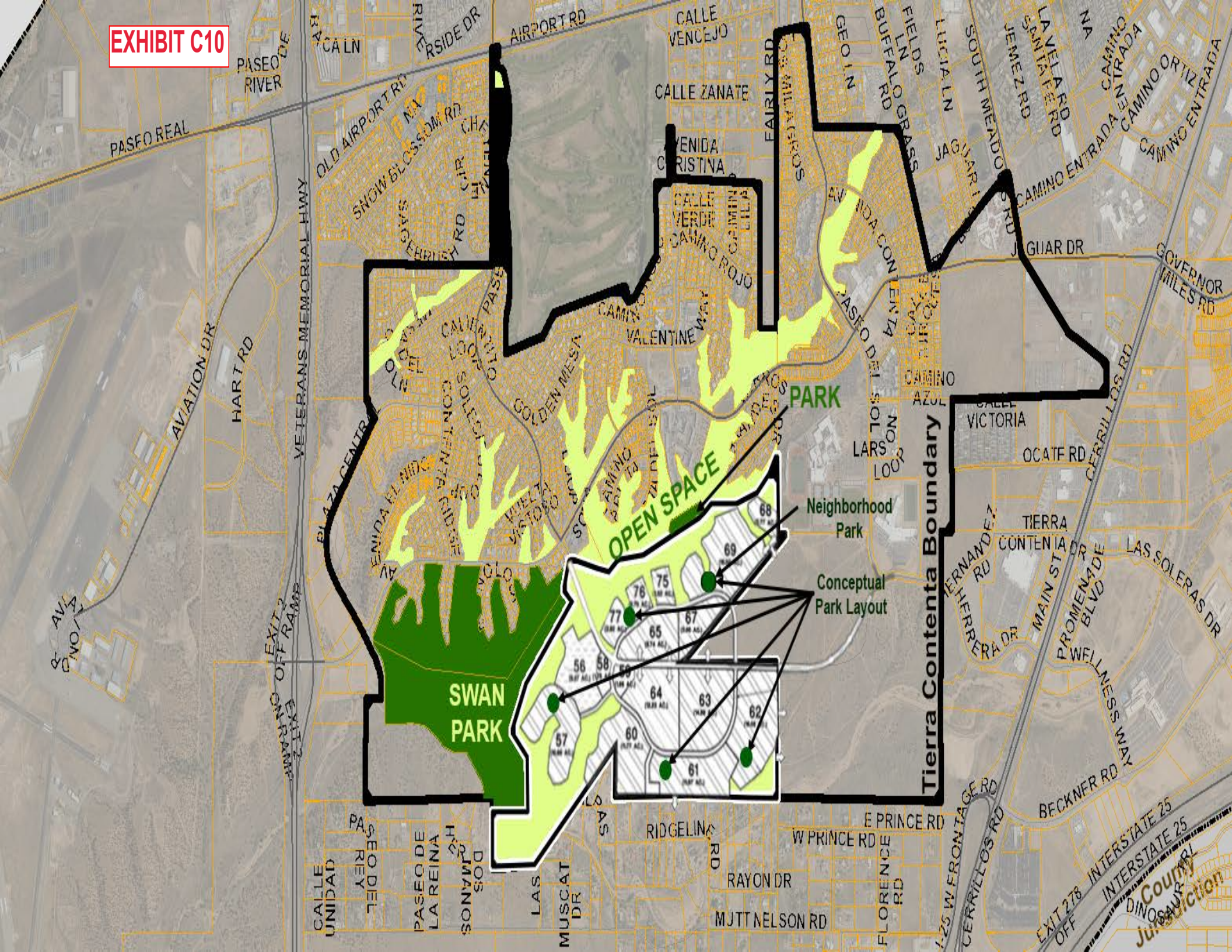
STREET PARKING

STREAM BED PLANTING

MEANDERING SIDEWALK



EXHIBIT C10



SWAN PARK

OPEN SPACE

PARK

Neighborhood Park

Conceptual Park Layout

Tierra Contenta Boundary

County Jurisdiction

EXHIBIT C11

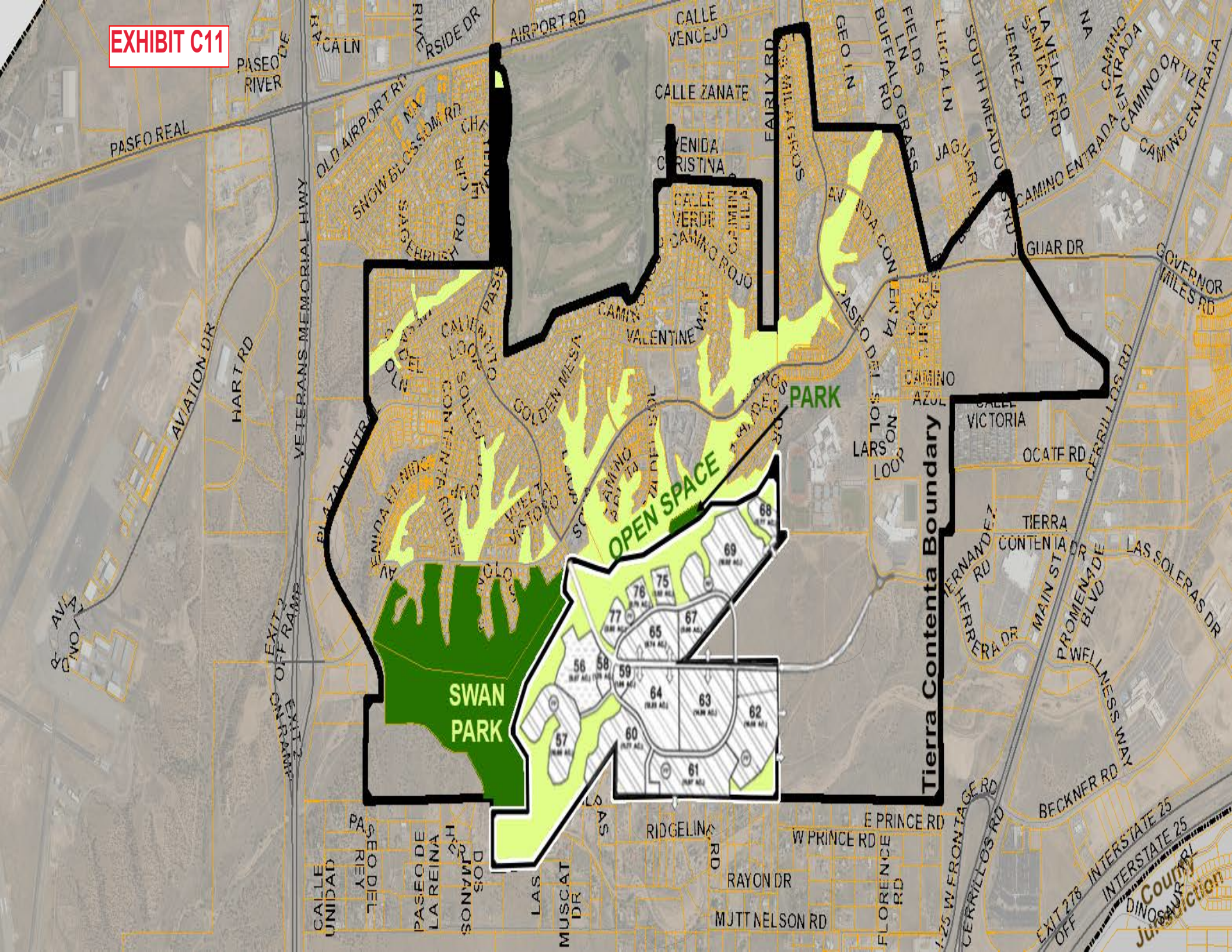


EXHIBIT C11

OPEN SPACE


SWAN PARK


PARK

Tierra Contenta Boundary

County Jurisdiction

EXHIBIT C12

 Backbone Roadway

 Easement Required

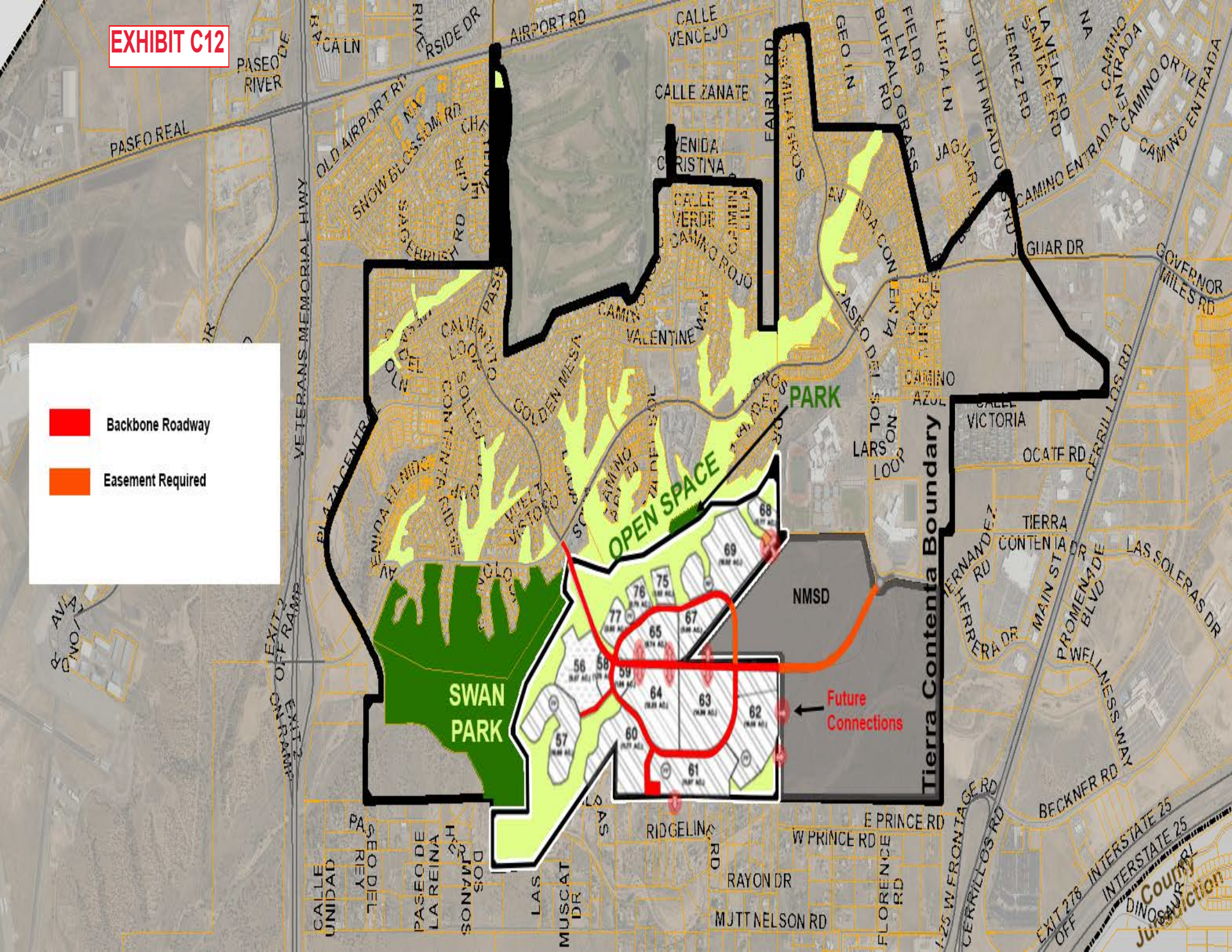
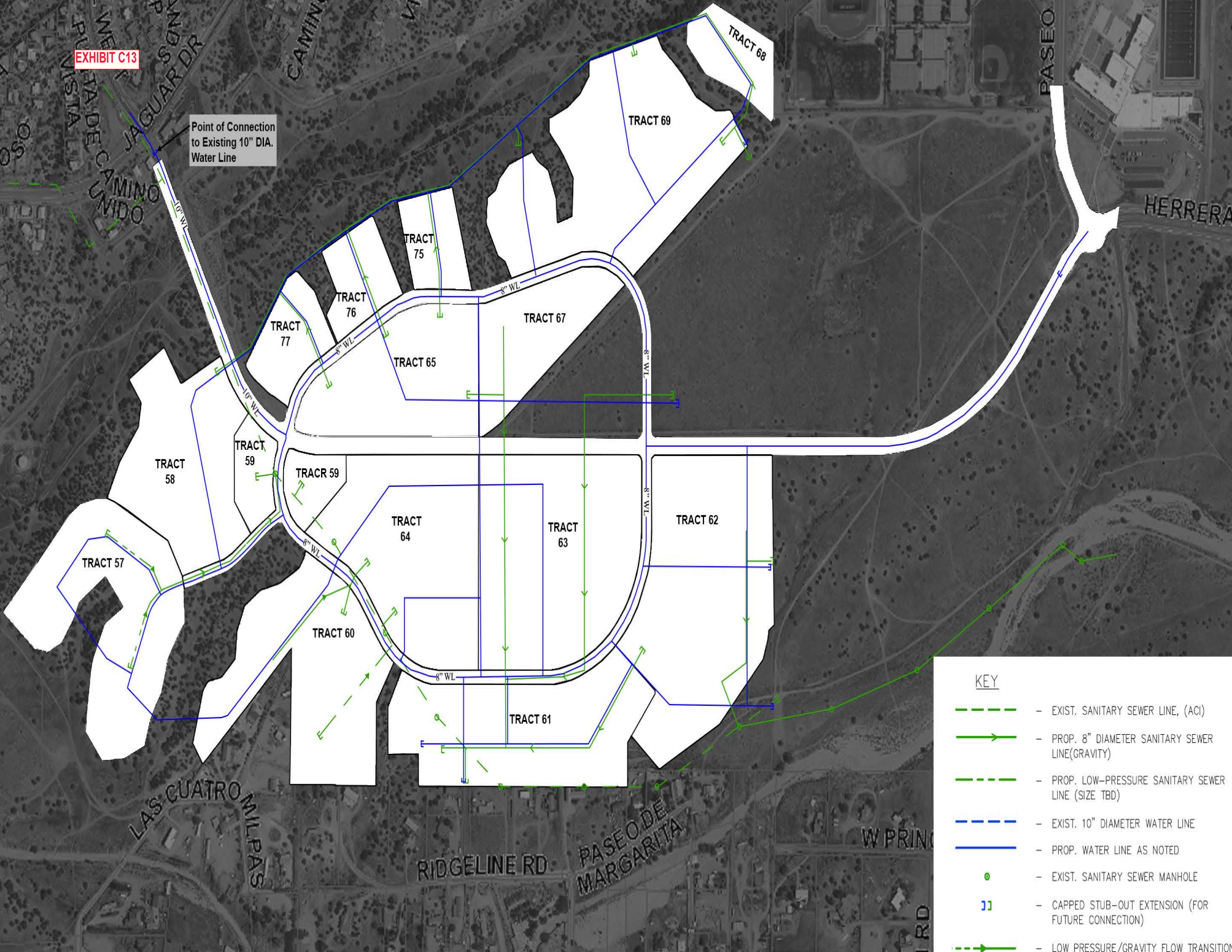


EXHIBIT C13

Point of Connection
to Existing 10" DIA.
Water Line



KEY	
	- EXIST. SANITARY SEWER LINE, (ACI)
	- PROP. 8" DIAMETER SANITARY SEWER LINE(GRAVITY)
	- PROP. LOW-PRESSURE SANITARY SEWER LINE (SIZE TBD)
	- EXIST. 10" DIAMETER WATER LINE
	- PROP. WATER LINE AS NOTED
	- EXIST. SANITARY SEWER MANHOLE
	- CAPPED STUB-OUT EXTENSION (FOR FUTURE CONNECTION)
	- LOW PRESSURE/GRAVITY FLOW TRANSITION

EXHIBIT C14

-  Arroyos De Los Chamisos
-  Tierra Contenta Drainage Easements

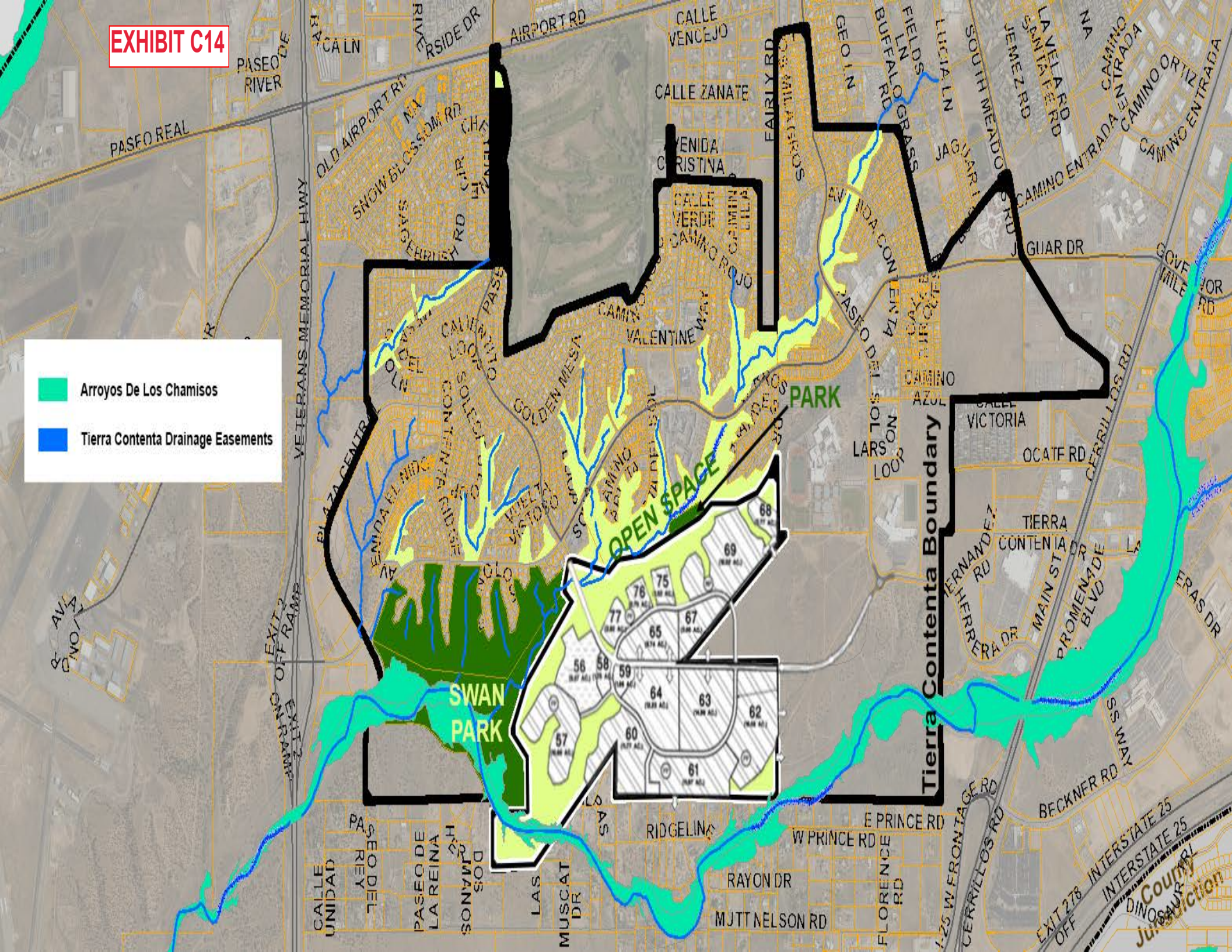
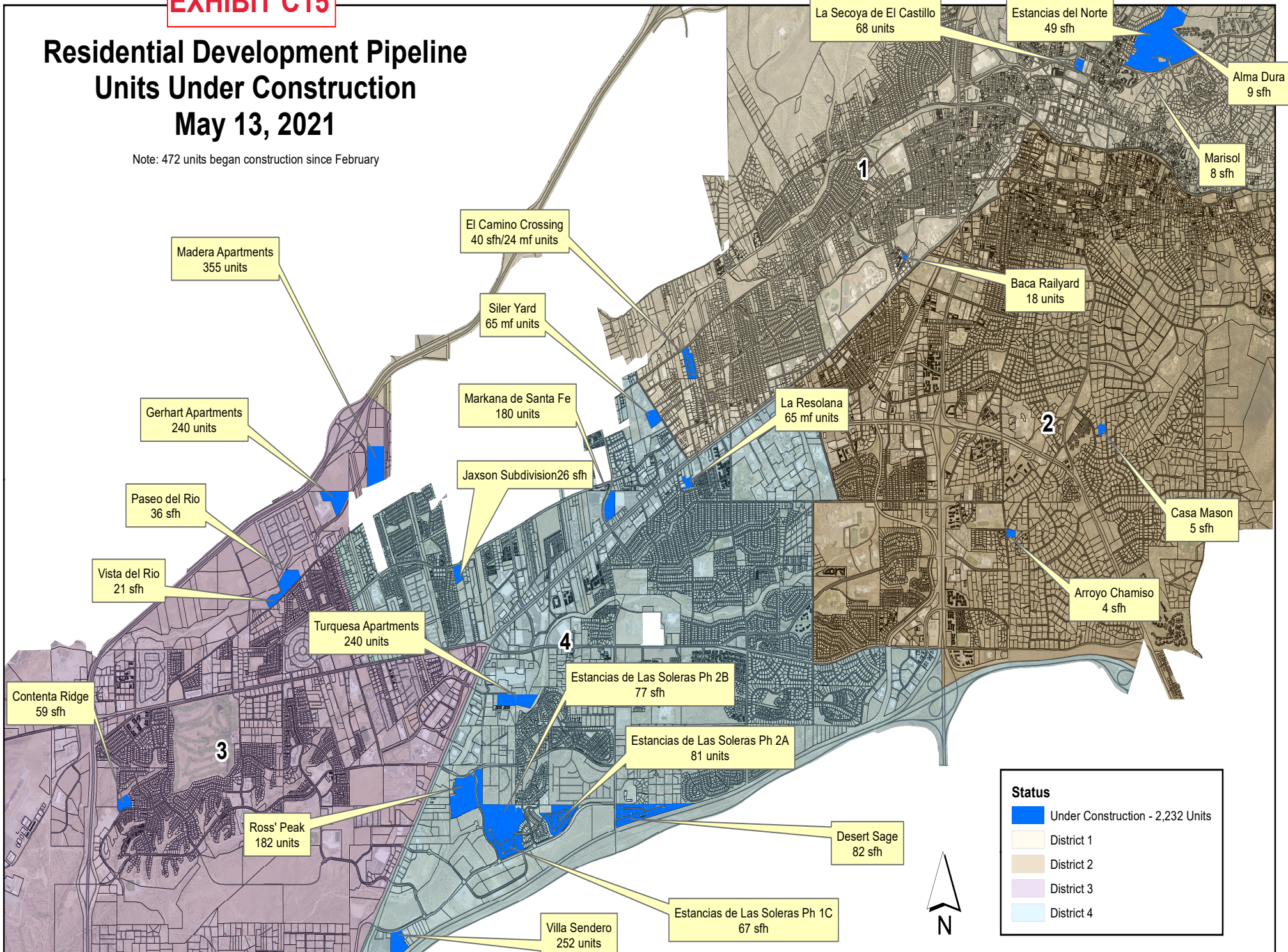


EXHIBIT C15

Residential Development Pipeline Units Under Construction May 13, 2021

Note: 472 units began construction since February



August 19, 2021
Planning Commission
Case #2020-2318
Tierra Contenta Master Plan
Amendment #1 for Phase 3A

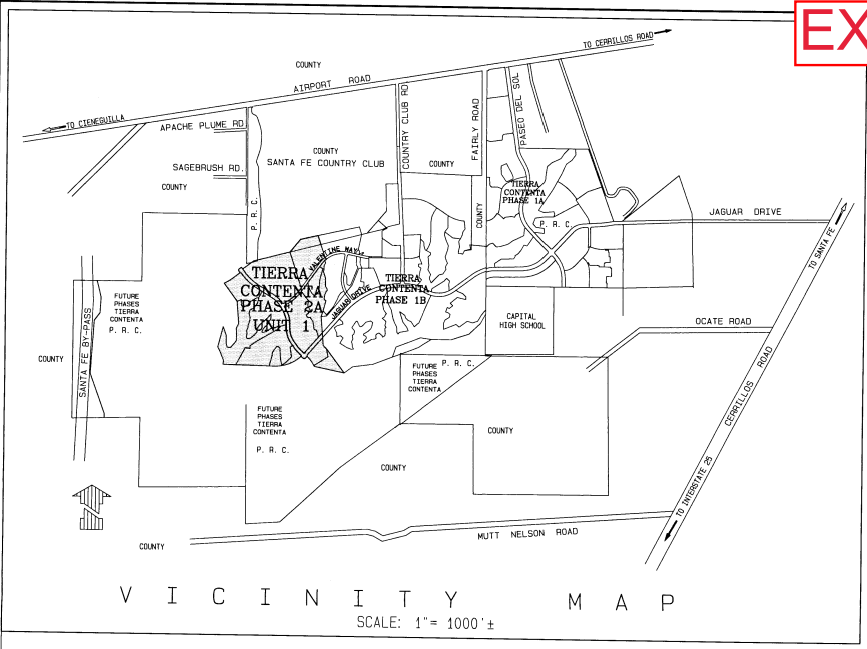
EXHIBIT D

Plats referenced in Figure 1

1. Tierra Contenta Subdivision Phase 2A, Unit 1
2. Tierra Contenta Subdivision Phase 1B, Unit 1
3. Plat of survey of a Portion of Lot 8, A portion of Lot 9 of Section 12...
4. Annexation Plat for Tracts 1 thru 9 Tierra Contenta...
5. Dedication Plat for Tract 8A3-7B Tierra Contenta Subdivision

EXHIBIT D1

493013



SUBDIVISION NOTES:

1. A 7.5' PUBLIC UTILITY EASEMENT IS HEREBY GRANTED ALONG THE FRONTAGE OF ALL TRACTS ADJOINING THE DEDICATED RIGHT-OF-WAY.
2. EACH LOT SHALL BE SERVED BY SEWER AND WATER SERVICES.
3. PURSUANT TO SECTION 14-65, IMPACT FEES MAY BE ASSESSED ON THESE TRACTS. ANY PERSON INTENDING TO BUILD SHOULD CONTACT STAFF AT CITY HALL.
4. THIS PROPERTY IS SUBJECT TO THE MASTER COVENANTS FOR TIERRA CONTENTA PHASE 2A, RECORDED IN THE RECORDS OF SANTA FE COUNTY IN BOOK 2008, ON PAGES 306-318. PRIOR TO THE SALE OF ANY LOT WITHIN THIS SUBDIVISION, THE DEVELOPER WILL RECORD SUPPLEMENTAL COVENANTS THAT WILL INCLUDE PROVISIONS FOR ACCESS TO AND MAINTENANCE OF COMMON PROPERTY LINE WALLS AND FENCES.
5. FOR SPECIFIC INFORMATION PERTAINING TO SETBACKS, HEIGHTS, TRACT COVERAGE, LANDSCAPING, AND FENCING, REFER TO THE TIERRA CONTENTA DESIGN STANDARDS FOR PHASE 2A, ADOPTED BY THE CITY PLANNING COMMISSION ON Aug. 3, 2000.
6. FLOOD ZONE NOTE:
UNLESS OTHERWISE SHOWN HEREON, THE LANDS PLATTED HEREON LIE WITHIN FLOOD ZONE X. AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOOD PLAIN SOURCE: FLOOD INSURANCE RATE MAP COMMUNITY PANEL 350009 0227 B, 350009 0226 B, 360069 0288B. EFFECTIVE 11-04-1988.
7. TERRAIN MANAGEMENT NOTE:
AT THE TIME OF APPLICATION OF A BUILDING PERMIT, LOTS WITHIN THIS SUBDIVISION MUST CONFORM WITH ALL TERRAIN MANAGEMENT REGULATIONS, OF CITY CODE AND OR TIERRA CONTENTA PHASE 1B DESIGN STANDARDS AS THEY MAY APPLY UNLESS A VARIANCE IS GRANTED BY THE CITY PLANNING COMMISSION. NO "ON-LOT PONDING" IS REQUIRED. INCREASED STORM WATER RUNOFF IS TO BE HANDLED BY CENTRALIZED PONDS. DEVELOPERS OF TRACTS WILL BE REQUIRED TO SAFELY TRANSMIT STORM WATERS TO THESE CENTRALIZED STORM WATER PONDS. REFER TO THE FINAL ENGINEERING PLANS PREPARED BY C. R. WALBRIDGE & ASSOCIATES, SANTA FE, N.M.
8. PURSUANT TO CHAPTER 11, PART D OF THE TIERRA CONTENTA DESIGN STANDARDS FOR PHASE 2A AND BEFORE RECORDED OF THIS PLAT TIERRA CONTENTA CORPORATION WILL POST A SURETY BOND ON OTHER SECURITY ACCEPTABLE TO THE CITY OF SANTA FE, IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS.
9. THE TIERRA CONTENTA DESIGN STANDARDS FOR PHASE 2A (DESIGN STANDARD) ARE TO BE USED IN CONJUNCTION WITH CITY CODE FOR PROVIDED IN THE DESIGN STANDARDS. WHERE SPECIFIC DEFINITION IS TAKEN FROM THE CITY CODE, WHERE THE DESIGN STANDARDS ARE SILENT, THE CITY DEVELOPMENT CODE SHALL APPLY.
10. PERMANENT TRAFFIC CONTROL. SIGNS WILL BE INSTALLED BY THE CITY AT THE DEVELOPERS EXPENSE.
11. BY APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES, PNM DID NOT CONDUCT A TITLE SEARCH ON THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHT WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.
12. MAINTENANCE OF DRAINAGE STRUCTURES AND APPURTENANCES THERETO WITHIN THE DEDICATED RIGHT-OF-WAYS, OPEN SPACE, PARKS AND DRAINAGE EASEMENTS AS SHOWN HEREON, ARE THE RESPONSIBILITY OF THE CITY OF SANTA FE. MAINTENANCE OF IMPROVEMENTS WITHIN THE REGISTRIAN EASEMENTS AS SHOWN HEREON, IS THE RESPONSIBILITY OF THE CITY OF SANTA FE. THE DEVELOPERS OF THESE TRACTS WILL BE REQUIRED TO CONTRIBUTE \$100.00 PER LOT TO A DRAINAGE MAINTENANCE FUND AT THE TIME OF PLAT RECORDING. THIS FEE DOES NOT APPLY TO THIS PLATTING BUT ONLY TO SUBSEQUENT SUBDIVISIONS OF THESE TRACTS.

DEDICATION AND AFFIDAVIT:

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED OWNER OF THESE LANDS LYING WITHIN THE CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO, COMPRISED OF A PORTION OF TRACT 8A2-5, WITHIN THE PACHECO GRANT AND WITHIN PROJECTED SECTIONS 11 AND 14, WITHIN TOWNSHIP 10 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CONTAINING 89.031 ACRES, MORE OR LESS, HEREIN CALLED SAID LANDS TO BE SURVEILED, TIERRA CONTENTA SUBDIVISION, PHASE 2A, UNIT 1, IS KNOWN AS ALL THAT APPEARS ON THIS PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF SAID OWNER.

UTILITY EASEMENTS ARE HEREBY GRANTED TO THE UTILITY COMPANIES LISTED HEREON AND TO THE CITY OF SANTA FE, FOR THE PURPOSE OF INSTALLING, OPERATING AND MAINTAINING SUCH PUBLIC OR PRIVATE UTILITIES AS ELECTRIC POWER, CABLE T.V., TELEPHONE, WATER, STORM AND SANITARY SEWER & GAS; THAT THE SAID EASEMENTS GRANT WITH THEM THE RIGHT OF IMPRESS AND EGRESS (BOTH SURFACE AND SUBSURFACE) FOR CRIMS AND MACHINERY AND THE RIGHT TO TRIM OR REMOVE INTERFERING VEGETATION OR OBSTRUCTIONS BY AGENCIES RESPONSIBLE FOR SAID UTILITIES.

AREAS DESIGNATED AS RIGHT-OF-WAY (R.O.W.), R.W., AND OPEN SPACE AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE CITY OF SANTA FE, FOR PUBLIC USE. TIERRA CONTENTA CORPORATION RESERVES THE RIGHT TO INSTALL UTILITIES, NECESSARY TO SERVE THE TRACTS ON PHASE 2A ACROSS THE OPEN SPACE AND PARK TRACTS. THE CITY AGREES TO GRANT EASEMENTS FOR THESE UTILITIES AT NO COST TO TIERRA CONTENTA CORPORATION (OR TO INDIVIDUAL TRACT DEVELOPERS).

THE CITY WILL GRANT EASEMENTS AT NO COST WITHIN THE OPEN SPACE SHOWN HEREON FOR DRAINAGE AND DRAINAGE STRUCTURES, FOR MAINTENANCE OF PUBLIC AND NON-MOTORIZED VEHICLE TRAILS, FOR CONSTRUCTION AND PERSONNEL, EQUIPMENT AND PRIVATE UTILITY LINES INCLUDING VEHICLES. SUCH REQUESTS FOR SUCH EASEMENTS SHALL BE MADE TO THE CITY PRIOR TO CONSTRUCTION OF THE TRAIL, OR UTILITY AND SHALL IDENTIFY THE LIMITS, REQUIRED FOR CONSTRUCTION AND MAINTENANCE OF THE FACILITY. USE OF OPEN SPACE OUTSIDE THE EASEMENT GRANTED FOR THE ABOVE USES WILL NOT BE ALLOWED.

A BLANKET EASEMENT IS HEREBY GRANTED UPON ALL OPEN SPACE SHOWN HEREON FOR ALL EMERGENCY VEHICLES, PERSONNEL AND EQUIPMENT. MAINTENANCE OF DRAINAGE STRUCTURES AND APPURTENANCES THERETO WITHIN THE DEDICATED RIGHT-OF-WAYS, OPEN SPACE, PARKS AND DRAINAGE EASEMENTS AS SHOWN HEREON, IS THE RESPONSIBILITY OF THE CITY OF SANTA FE.

THIS PLAT LIES WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO.

OWNERS: TIERRA CONTENTA CORPORATION
BY: *[Signature]*

PREPARED BY:
[Signature]
VICE PRESIDENT & EXECUTIVE DIRECTOR
TIERRA CONTENTA CORPORATION

STATE OF NEW MEXICO)
COUNTY OF SANTA FE)
I, *[Signature]*,
NOTARY PUBLIC,
do hereby certify that the foregoing instrument was acknowledged before me this 12th day of December, 2000, by the President and Executive Director of TIERRA CONTENTA CORPORATION.
[Signature]
NOTARY PUBLIC



1191732

I hereby certify that this instrument was filed for record on the 12 day of December, A.D. 2000, at 12:42 o'clock P.M. and was duly recorded in Book 493 Page 016 of the records of Santa Fe County.

Witness my Hand and Seal of Office
REBECCA BUSTAMANTE
County Clerk, Santa Fe County, NM
[Signature] Deputy



DEED REFERENCES

- 1) REFER TO WARRANTY DEED BY AND BETWEEN CITY OF SANTA FE (GRANTOR) AND TIERRA CONTENTA CORPORATION (GRANTEE), RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK, IN BOOK 1452, PAGE 789.

PLAT REFERENCES

- 1) HEARINGS BASED UPON PLAT ENTITLED "TIERRA CONTENTA SUBDIVISION, PHASE 1B, UNIT 1" PREPARED BY JAMES B. SANDOZ, P.S. NO. 12820 ON DEC. 20, 1995, HAVING PROJECT NO. C-1591 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 396 ON PAGES 015 - 014.
- 2) REFER TO PLAT OF SURVEY ENTITLED "ANNEXATION PLAT FOR TRACTS 1 THROUGH 8 TIERRA CONTENTA, ANO GANCO SUBDIVISION AND CONTIGUOUS LANDS (EAST)", PREPARED BY FRED SANCHEZ, N.M.L.S. NO. 4078 ON JUNE 11, 1982 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 182 ON PAGE 006.
- 3) REFER TO PLAT OF SURVEY ENTITLED "LOT LINE ADJUSTMENT BETWEEN LOT 1-A, TRACTS 4 & LOT 4-1" PREPARED BY FRED SANCHEZ, N.M.L.S. NO. 4078 ON JUNE 11, 1982 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 239 ON PAGE 024.
- 4) REFER TO PLAT OF SURVEY ENTITLED "ALTAIRASH LAND TITLE SURVEY, TRACTS 1-A-1, 4, 9, 7, 8, 9, LOT 1 & REMAINING PORTION OF TRACT 5" PREPARED BY FRED SANCHEZ, N.M.L.S. NO. 4078, ON JUNE 25, 1991 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 231 ON PAGE 046.

REVIEWED BY:
CITY OF SANTA FE

[Signature] 2/1/02
CITY CLERK

[Signature] 2/1/02
SUBDIVISION REVIEW

[Signature] 1/19/02
WATER QUALITY DIVISION

APPROVED BY THE CITY PLANNING COMMISSION
AT THEIR MEETING OF March 3, 2001
[Signature]
SECRETARY

[Signature] 1-16-02

UTILITY APPROVAL

[Signature] 12/1/01
PUBLIC SERVICE COMPANY OF NEW MEXICO
DATE

[Signature] 01/01/02
U.S. WEST TELEPHONE
DATE

[Signature] 12/6/01
SAN JUAN GAS COMPANY NEW MEXICO
DATE

[Signature] 1-8-02
T. C. I. CABLE CO.
DATE

[Signature] 12/1/01
SANTA FE CITY WATER DIVISION
DATE

Detail Communications, Inc., Distaster
The fee for this approval is returned upon completion of the survey of the plat does not in any way guarantee registration in the public records.

SITE DATA	
PHASE 2A, UNIT 1	
GROSS AREA OF TRACTS SURVEYED	527.764 AC. ±
AREAS NOT DEVELOPED	438.742 AC. ±
GROSS AREA DEVELOPED	89.022 AC. ±
TOTAL AREA OF TRACTS	61.793 AC. ±
TOTAL DEDICATED OPEN SPACE	21.812 AC. ±
TOTAL DEDICATED R.O.W.	5.467 AC. ±

TIERRA CONTENTA SUBDIVISION PHASE 2A, UNIT 1

COMPRISED OF:
A PORTION OF TRACT 8A2-5
WITHIN THE PACHECO GRANT AND
WITHIN PROJECTED SECTIONS 11 AND 14
TOWNSHIP 10 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN
CITY AND COUNTY OF SANTA FE, NEW MEXICO

02-12

PROJECT No.: C-1281-P2AU1

REVISIONS

BY	DATE	DESCRIPTION
LES	02-14-01	

SOUTHWEST MOUNTAIN SURVEYS, INC.
1114 HICKOX ST., SANTA FE, N.M. 87501
PHONE (505) 982-9429 FAX (505) 982-2413
DRAFTED BY: FLR DATE: 01-05-01

SURVEYOR'S CERTIFICATE

I, MITCHEL K. NODMAN A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR, CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYORS PRACTICING IN NEW MEXICO.

[Signature]
MITCHEL K. NODMAN, P.S. No. 6998
DATE



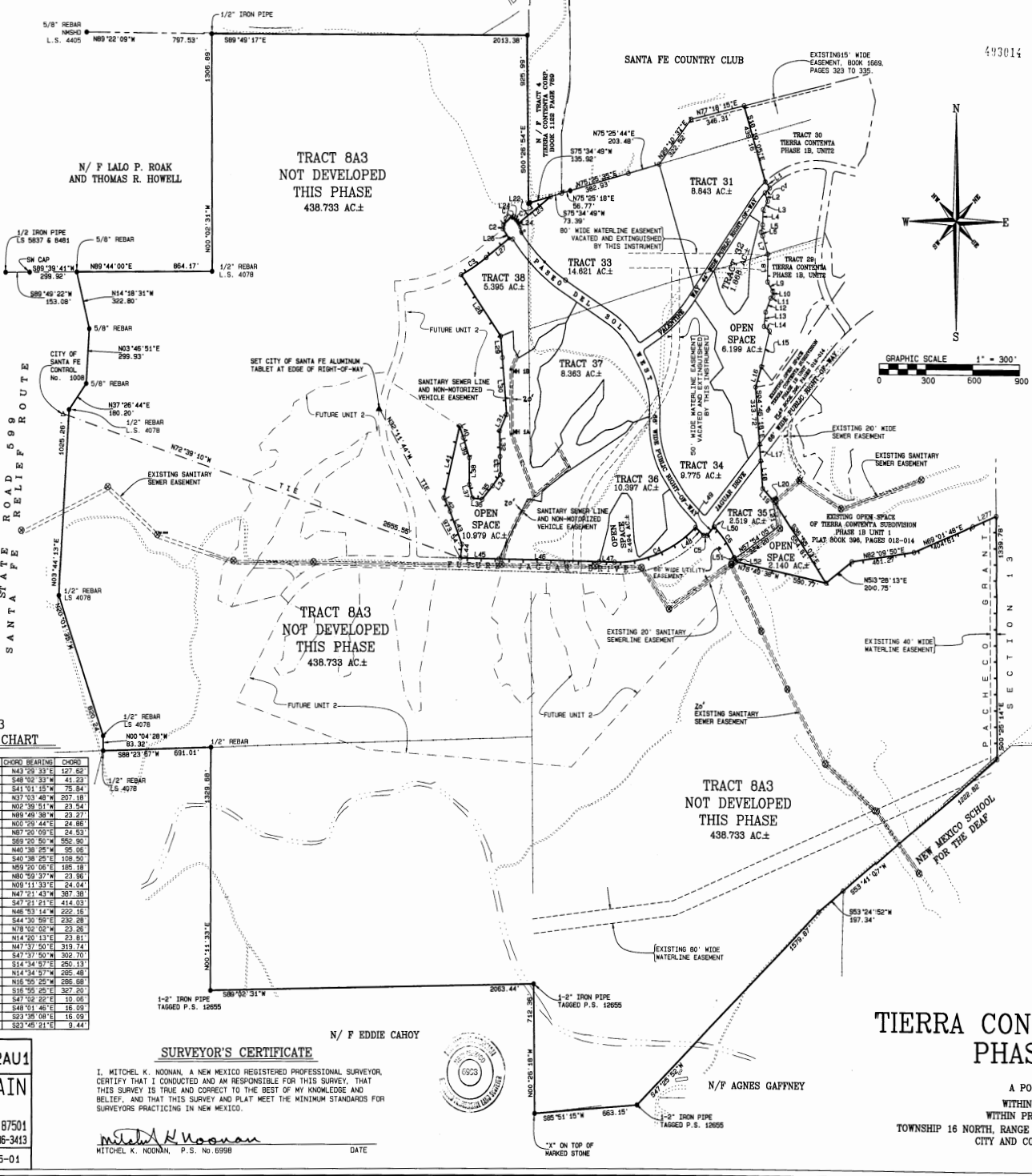
SHEET 3
LINE DATA CHART

NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
L53	S33°29'09"E	44.00	L168	N15°43'02"W	51.83
L54	S1°46'27"E	49.29	L169	N35°50'30"E	118.30
L55	S32°04'58"W	54.59	L170	N47°36'15"E	196.40
L56	S01°56'34"W	84.53	L171	N40°00'11"E	94.89
L57	S14°18'21"E	41.32	L172	S01°17'34"W	103.71
L58	S05°51'54"E	23.70	L173	S41°07'41"W	99.96
L59	S18°12'02"E	105.51	L174	S23°58'29"W	61.43
L60	S02°35'27"W	151.78	L175	S45°13'05"W	78.87
L61	S33°19'44"E	99.83	L176	S34°07'15"W	48.16
L62	S02°51'50"E	28.87	L177	S18°23'41"W	44.63
L63	S05°01'34"W	17.49	L178	S09°27'17"E	18.90
L64	S23°09'01"W	84.95	L179	N12°54'22"E	59.68
L65	S07°18'29"W	78.30	L180	N54°07'22"E	73.16
L66	S55°48'08"E	43.31	L181	N02°56'26"E	39.41
L67	S18°20'47"W	110.17	L182	N02°03'29"E	47.93
L68	S04°46'18"E	91.87	L183	N07°47'38"E	59.82
L69	S04°10'13"W	109.91	L184	N02°47'25"W	91.81
L70	N18°40'44"E	136.24	L185	N15°14'07"E	39.43
L71	N66°12'22"W	48.48	L186	S30°06'59"E	91.15
L72	N07°36'44"W	70.26	L187	S00°57'05"W	21.03
L73	N10°34'01"W	70.80	L188	N35°48'27"W	66.00
L74	N33°02'19"W	95.26	L189	N49°11'15"E	68.59
L75	N88°13'13"W	54.61	L190	S00°15'05"E	22.47
L76	N34°02'35"W	110.99	L191	N10°41'33"E	288.39
L77	N45°24'48"E	115.82	L192	S36°28'15"W	56.93
L78	N28°40'40"W	113.78	L193	S08°47'25"W	91.81
L79	N32°09'40"E	96.38	L194	N18°38'41"E	104.97
L80	N36°28'15"E	203.76	L195	N49°28'25"W	104.91
L81	S17°34'50"E	126.68	L196	N34°47'55"W	94.70
L82	S20°11'51"E	91.25	L197	N00°17'05"E	59.66
L83	S47°18'29"E	82.12	L198	N00°35'25"W	59.63
L84	N56°38'58"E	43.13	L199	N58°47'22"E	91.41
L85	N05°00'06"E	91.84	L200	S11°21'49"E	23.21
L86	N03°32'29"E	204.97	L201	S08°54'59"E	271.84
L87	N15°49'21"E	157.90	L202	S45°25'48"E	87.91
L88	N15°17'45"E	60.03	L203	S35°48'27"E	9.77
L89	N20°11'44"W	74.84	L204	S35°48'27"E	9.77
L90	S04°46'18"E	154.76			
L91	S45°29'46"E	17.78			
L92	S14°19'16"W	154.89			
L93	S57°54'05"W	324.20			
L94	N27°38'41"W	7.59			
L95	N45°28'18"E	81.91			
L96	S43°40'37"W	65.73			
L97	N48°36'43"W	66.34			
L98	N27°38'41"W	20.86			
L99	N80°46'42"W	97.51			
L100	S80°15'43"E	89.26			
L101	N85°21'36"E	53.59			
L102	N02°56'54"E	173.75			
L103	N40°17'56"E	70.39			
L104	N72°29'06"E	106.73			
L105	N00°10'01"W	104.63			
L106	S34°47'59"E	59.98			
L107	S34°47'59"E	34.72			
L108	S42°04'19"E	104.63			
L109	N15°33'33"E	191.75			
L110	N07°14'39"E	77.70			
L111	N41°10'07"W	49.55			
L112	N41°10'07"W	208.02			
L113	S89°04'39"E	34.96			
L114	N41°10'07"W	16.02			
L115	S14°25'43"E	81.46			
L116	S59°43'36"E	16.02			
L117	N05°38'31"E	80.39			
L118	N05°19'27"E	148.27			
L119	N05°16'39"W	191.80			
L120	N15°12'05"E	54.18			
L121	N88°46'42"E	245.44			
L122	N08°56'02"E	78.92			
L123	N82°24'05"W	199.50			
L124	N00°11'42"W	84.38			
L125	S30°50'42"E	65.64			
L126	S13°02'06"E	116.16			
L127	S02°00'00"W	120.40			
L128	S15°10'52"E	77.17			
L129	S84°10'37"E	62.21			
L130	N41°10'07"W	120.14			
L131	N38°31'58"E	79.07			
L132	N02°42'55"W	101.00			
L133	N51°11'55"W	143.44			
L134	N05°15'15"E	99.94			
L135	N05°15'19"W	116.94			
L136	N20°29'42"E	84.07			
L137	S02°43'07"E	98.60			
L138	S34°42'37"E	56.98			
L139	N13°01'08"E	132.02			
L140	N05°57'53"E	84.52			
L141	N01°02'03"E	59.52			
L142	N78°41'47"E	86.98			
L143	N78°41'47"E	191.33			
L144	N31°05'01"E	134.63			
L145	S89°34'95"E	124.70			
L146	N01°11'33"E	180.15			
L147	S05°27'40"W	29.74			
L148	S14°23'21"W	62.78			
L149	S17°12'17"E	54.42			
L150	S37°12'31"W	78.62			
L151	S47°04'39"W	51.13			
L152	S47°04'39"W	60.02			
L153	S15°40'01"E	68.80			
L154	S45°01'52"E	75.01			
L155	S55°58'39"W	77.62			
L156	S20°04'34"W	92.41			
L157	S04°05'14"E	35.60			
L158	S08°00'17"W	63.53			
L159	S05°26'39"E	87.38			
L160	S12°21'34"W	50.41			
L161	S11°33'55"E	35.04			
L162	S40°11'17"E	12.65			
L163	N83°09'40"E	58.92			
L164	N48°44'38"E	73.90			
L165	N02°30'47"E	30.20			
L166	N5°13'59"W	32.45			
L167	N43°44'36"E	49.44			

SHEET 3
CURVE DATA CHART

NO.	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C7	14°02'36"	522.00	127.94	N43°29'33"E	127.82
C8	4°56'35"	478.00	41.24	S48°03'33"W	41.23
C9	9°05'00"	478.00	75.52	S41°01'15"W	75.64
C10	18°50'14"	633.00	208.11	N37°03'48"W	207.18
C11	87°38'08"	17.00	25.00	N02°39'51"W	23.54
C12	86°23'51"	17.00	26.63	N89°40'38"W	23.27
C13	93°47'16"	17.00	27.88	N00°19'44"E	24.85
C14	92°21'52"	17.00	27.44	N87°20'09"E	24.53
C15	43°44'56"	742.00	568.56	S89°20'50"W	550.90
C16	11°41'00"	467.00	96.23	N40°38'25"W	95.06
C17	11°41'00"	533.00	108.69	S40°38'25"W	106.50
C18	18°17'06"	1033.00	365.43	N89°20'05"E	365.18
C19	89°37'55"	17.00	26.59	N80°59'37"W	23.96
C20	90°00'00"	17.00	26.70	N09°11'33"E	24.04
C21	23°05'32"	367.00	360.02	N47°01'43"W	367.38
C22	23°07'16"	1033.00	416.85	S47°21'21"E	414.03
C23	24°03'30"	533.00	223.86	N46°03'14"W	222.15
C24	28°14'00"	467.00	234.74	S44°30'50"W	233.28
C25	68°21'05"	17.00	25.62	N78°02'02"W	23.26
C26	68°54'25"	17.00	26.38	N14°20'13"E	23.81
C27	22°19'02"	636.00	321.77	N47°07'50"E	319.74
C28	22°19'10"	782.00	304.63	S47°37'50"W	302.70
C29	31°04'05"	467.00	253.22	S14°34'57"E	250.13
C30	31°04'05"	533.00	288.01	N14°34'57"E	285.48
C31	35°45'00"	467.00	291.39	N16°05'25"W	285.68
C32	39°45'00"	533.00	332.57	S16°36'25"E	327.20
C33	28°29'28"	22.00	10.55	S47°02'22"E	10.06
C34	24°28'39"	38.00	16.31	S48°01'46"E	16.09
C35	24°26'39"	38.00	16.21	S23°39'08"E	16.09
C36	24°47'05"	22.00	9.52	S23°48'21"E	9.44

VISTA PRIMERA SUBDIVISION
OPEN SPACE



THIS SHEET
LINE AND CURVE DATA CHART

NO.	ARC/DIST	RADIUS	DELTA	CHORD BEARING	CHORD
L1	44.00			S33°29'09"E	
C1	41.24	478.00	4°56'35"	S48°03'33"W	41.23
L2	46.25			S21°46'27"E	
L3	54.59			S32°04'58"W	
L4	84.53			S01°56'34"W	
L5	41.32			S14°18'21"E	
L6	23.70			S05°51'54"E	
L7	105.51			S18°12'02"E	
L8	151.78			S02°35'27"W	
L9	99.83			S33°19'44"E	
L10	28.87			S02°51'50"E	
L11	17.49			S05°01'34"W	
L12	84.95			S23°09'01"W	
L13	78.30			S07°18'29"W	
L14	43.31			S55°48'08"E	
L15	110.17			S18°20'47"W	
L16	91.87			S04°46'18"E	
L17	109.91			S04°10'13"W	
L18	136.24			N18°40'44"E	
L19	113.78			N32°09'40"E	
L20	203.76			N36°28'15"E	
L21	126.68			S17°34'50"E	
L22	91.25			S20°11'51"E	
L23	82.12			S47°18'29"E	
L24	74.84			S04°46'18"E	
L25	154.76			S45°29'46"E	
C2	26.70	17.00	90°00'00"	S09°11'33"W	24.04
L26	56.00			S35°48'27"E	
C3	180.11	1100.00	10°17'06"	S54°11'35"W	180.18
C3	185.43	1033.00	10°17'06"	S59°20'06"W	185.18
L28	420.81			S36°52'00"E	
L29	125.84			S05°26'39"E	
L30	312.53			S04°51'45"E	
L31	39.84			S28°15'49"W	
L32	60.02			S47°04'39"W	
L33					

LINE	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C33	26°25'28"	22.00	10.15	S47°32'22"E	10.06
C34	24°26'39"	38.00	16.21	S46°11'46"E	16.02
C35	24°26'39"	38.00	16.21	S23°26'08"E	16.02
C36	24°47'05"	22.00	9.52	S23°45'21"E	9.44

REVISIONS

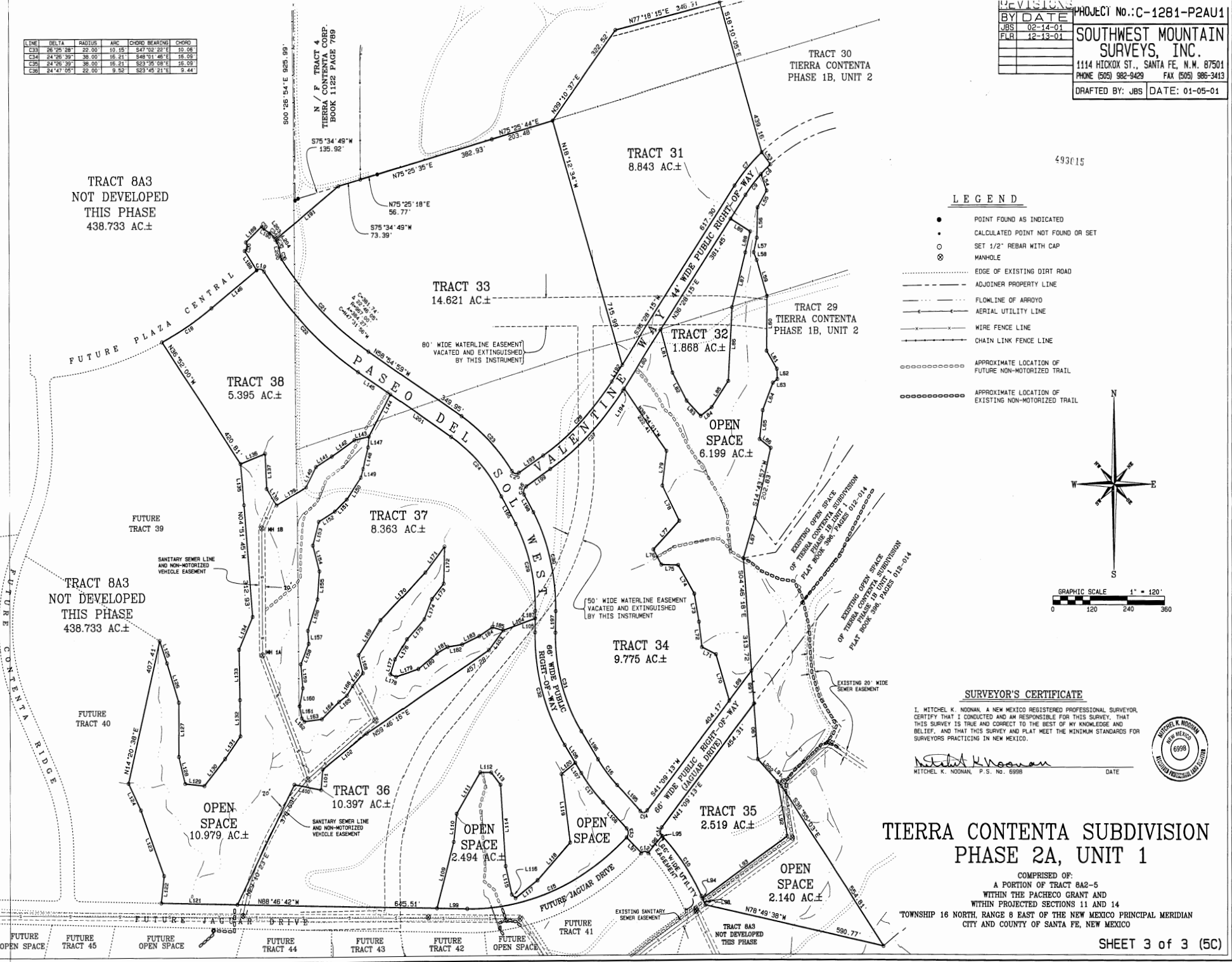
BY	DATE
JBS	02-14-01
FLR	12-13-01

PROJECT No.: C-1281-P2AU1

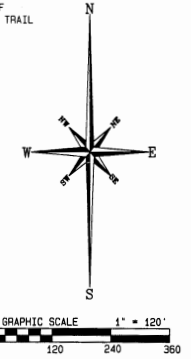
SOUTHWEST MOUNTAIN SURVEYS, INC.
 1114 HICKORY ST., SANTA FE, N.M. 87501
 PHONE (505) 982-9429 FAX (505) 986-3413
 DRAFTED BY: JBS DATE: 01-05-01

TRACT 8A3
NOT DEVELOPED
THIS PHASE
438.733 AC±

TRACT 8A3
NOT DEVELOPED
THIS PHASE
438.733 AC±



- LEGEND**
- POINT FOUND AS INDICATED
 - CALCULATED POINT NOT FOUND OR SET
 - SET 1/2" REBAR WITH CAP
 - ⊗ MANHOLE
 - EDGE OF EXISTING DIRT ROAD
 - ADJOINER PROPERTY LINE
 - FLOWLINE OF ARROYO
 - AERIAL UTILITY LINE
 - WIRE FENCE LINE
 - CHAIN LINK FENCE LINE
 - APPROXIMATE LOCATION OF FUTURE NON-MOTORIZED TRAIL
 - APPROXIMATE LOCATION OF EXISTING NON-MOTORIZED TRAIL



SURVEYOR'S CERTIFICATE

I, MITCHEL K. NOONAN, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR, CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYORS PRACTICING IN NEW MEXICO.

Mitchel K. Noonan
 MITCHEL K. NOONAN, P.S. No. 6998 DATE _____



**TIERRA CONTENTA SUBDIVISION
PHASE 2A, UNIT 1**

COMPRISED OF:
 A PORTION OF TRACT 8A2-5
 WITHIN THE PACHECO GRANT AND
 WITHIN PROJECTED SECTIONS 11 AND 14
 TOWNSHIP 16 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN
 CITY AND COUNTY OF SANTA FE, NEW MEXICO

02-12

039012

EXHIBIT D2

SUBDIVISION NOTES:

- A 7.5' PUBLIC UTILITY EASEMENT IS HEREBY GRANTED ALONG THE FRONTAGE OF ALL TRACTS ADJOINING THE DEDICATED ROADS.
- EACH LOT SHALL BE SERVED BY SEPARATE SEWER AND WATER SERVICES.
- PURSUANT TO SECTION 14-95, IMPACT FEES MAY BE ASSESSED ON THESE TRACTS. ANY PERSON INTENDING TO BUILD SHOULD CONTACT STAFF AT CITY HALL.
- THIS PROPERTY IS SUBJECT TO THE MASTER COVENANTS FOR TIERRA CONTENTA PHASE 1B, RECORDED IN THE RECORDS OF SANTA FE COUNTY IN BOOK 1547 ON PAGES 240-245. PRIOR TO THE SALE OF ANY LOT WITHIN THIS SUBDIVISION, THE DEVELOPER WILL RECORD SUPPLEMENTAL COVENANTS THAT WILL INCLUDE PROVISIONS FOR ACCESS TO AND MAINTENANCE OF COMMON PROPERTY LINE WALLS AND FENCES.
- FOR SPECIFIC INFORMATION PERTAINING TO SETBACKS, HEIGHTS, TRACT COVERAGE, LANDSCAPING, AND FENCING, REFER TO THE TIERRA CONTENTA DESIGN STANDARDS FOR PHASE 1B, ADOPTED BY THE CITY PLANNING COMMISSION JULY, 1997.
- FLOOD ZONE NOTE:
UNLESS OTHERWISE SHOWN HEREON, THE LANDS PLATTED HEREON LIE WITHIN FLOOD ZONE X. AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOOD PLAIN SOURCE: FLOOD INSURANCE RATE MAP COMMUNITY PANEL 350069 0227 B, 350069 0228 B, 350069 0228B. ALL EFFECTIVE 11-04-1988.
BOUNDARIES OF OPEN SPACE AND DRAINAGE EASEMENTS SHOWN HEREON ENCOMPASS AREAS SUBJECT TO SIGNIFICANT STORM WATER FLOW AND ALL AREAS OF SLOPE GREATER THAN 30%. AS DETERMINED BY DAVID THOMAS P.E.
- TERRAIN MANAGEMENT NOTE:
AT THE TIME OF APPLICATION OF A BUILDING PERMIT, LOTS WITHIN THIS SUBDIVISION MUST CONFORM WITH ALL TERRAIN MANAGEMENT REGULATIONS OF CITY CODE AND OR TIERRA CONTENTA PHASE 1B DESIGN STANDARDS AS THEY MAY APPLY UNLESS A VARIANCE IS GRANTED BY THE CITY PLANNING COMMISSION. NO "ON-LOT PONDING" IS REQUIRED.
INCREASED STORM RUN-OFF SHALL BE HANDLED BY CENTRALIZED PONDS. DEVELOPERS OF TRACTS WILL BE REQUIRED TO SAFELY TRANSMIT STORM WATERS TO THESE CENTRALIZED STORM WATER PONDS. REFER TO THE FINAL ENGINEERING PLANS PREPARED BY C. R. WALLBRIDGE & ASSOCIATES, SANTA FE, N.M.
- PURSUANT TO CHAPTER 11, PART D OF THE TIERRA CONTENTA DESIGN STANDARDS FOR PHASE 1B, AND BEFORE REDEMPTION OF THIS PLAT TIERRA CONTENTA CORPORATION WILL POST A SURETY BOND OR OTHER SECURITY ACCEPTABLE TO THE CITY OF SANTA FE, IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS.
- THE TIERRA CONTENTA DESIGN STANDARDS FOR PHASE 1B (DESIGN STANDARD) ARE TO BE USED IN CONJUNCTION WITH CITY CODE FOR DEVELOPMENT WITHIN THIS PLAT. WHERE SPECIFIC DEFINITION IS PROVIDED IN THE DESIGN STANDARDS, THE DESIGN STANDARDS SHALL TAKE PRECEDENCE OVER CITY CODE WHERE THE DESIGN STANDARDS ARE SILENT, THE CITY DEVELOPMENT CODE SHALL APPLY.
- PERMANENT TRAFFIC CONTROL. SIGNS WILL BE INSTALLED BY THE CITY AT THE DEVELOPERS EXPENSE.
- BY APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES, PNM DID NOT CONDUCT A TITLE SEARCH ON THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHT WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.
- MAINTENANCE OF DRAINAGE STRUCTURES AND APPURTENANCES THERETO WITHIN THE DEDICATED RIGHT-OF-WAYS, OPEN SPACE, PARKS AND DRAINAGE EASEMENTS AS SHOWN HEREON, ARE THE RESPONSIBILITY OF THE CITY OF SANTA FE. MAINTENANCE OF IMPROVEMENTS WITHIN THE PEDESTRIAN EASEMENTS AS SHOWN HEREON, IS THE RESPONSIBILITY OF THE CITY OF SANTA FE, ONCE FINAL ACCEPTANCE HAS OCCURRED.
DEVELOPERS THE TRACTS IN THIS SUBDIVISION, WILL BE REQUIRED TO CONTRIBUTE \$1000 PER LOT TO A DRAINAGE MAINTENANCE FUND, AT THE AT THE TIME OF PLAT RECORDING.

DEDICATION AND AFFIDAVIT:

KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED OWNER OF THESE LANDS LYING WITHIN THE CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO, COMPRISED OF: A PORTION OF LOT 8, A PORTION LOT 9 OF SECTION 12, ALL OF LOT 7 OF SECTION 13, TRACT 8A, TRACT A-1 AND TRACT 1-A, WITHIN THE PACHECO GRANT WITHIN PROJECTED SECTION 11 AND SECTION 14, ALL WITHIN TOWNSHIP 16 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CONTAINING 426.2 ACRES, MORE OR LESS, DOES HEREBY CONSOLIDATE SAID LANDS AND DOES HEREBY CAUSE SAID CONSOLIDATED LANDS TO BE SUBDIVIDED AS SHOWN HEREON AND THAT THE SUBDIVISION IS NAMED AND WILL BE KNOWN AS "TIERRA CONTENTA SUBDIVISION, PHASE 1B, UNIT 1" ALL THAT APPEARS ON THIS PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF SAID OWNER.

UTILITY EASEMENTS ARE HEREBY GRANTED TO THE UTILITY COMPANIES LISTED HEREON AND TO THE CITY OF SANTA FE, UPON ALL RIGHT-OF-WAYS AND UTILITY EASEMENTS AS SHOWN HEREON, FOR THE PURPOSE OF INSTALLING OPERATING AND MAINTAINING SUCH PUBLIC OR PRIVATE UTILITIES AS ELECTRIC POWER, CABLE T.V., TELEPHONE, WATER, STORM AND SANITARY SEWER & GAS. THAT THE SAID EASEMENTS CARRY WITH THEM THE RIGHT OF INGRESS AND EGRESS (BOTH SURFACE AND SUBSURFACE) FOR CREWS AND MACHINERY AND THE RIGHT TO TRIM OR REMOVE INTERFERING VEGETATION OR OBSTRUCTIONS BY AGENCIES RESPONSIBLE FOR SAID UTILITIES.

AREAS DESIGNATED AS RIGHT-OF-WAY (R.O.W.), R/M, OPEN SPACE AND PARKS AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE CITY OF SANTA FE. FOR PUBLIC USE. TIERRA CONTENTA CORPORATION RESERVES THE RIGHT TO INSTALL UTILITIES, NECESSARY TO SERVICE THE TRACTS IN PHASE 1B, ACROSS THE OPEN SPACE AND PARK TRACTS. THE CITY AGREES TO GRANT EASEMENTS FOR THESE UTILITIES AT NO COST TO TIERRA CONTENTA CORPORATION OR TO INDIVIDUAL TRACT DEVELOPERS. TIERRA CONTENTA CORPORATION ALSO RESERVES THE RIGHT TO CONSTRUCT A TEMPORARY ACCESS ROAD TO PARK TRACT C ACROSS THE OPEN SPACE.

THE CITY WILL GRANT EASEMENTS AT NO COST WITHIN THE OPEN SPACE SHOWN HEREON FOR DRAINAGE AND DRAINAGE STRUCTURES, FOR PEDESTRIAN AND NON-MOTORIZED VEHICLE TRAILS, FOR CONSTRUCTION AND MAINTENANCE OF PUBLIC AND PRIVATE UTILITY LINES INCLUDING VEHICLES, PERSONNEL, EQUIPMENT AND APPURTENANCES THERETO, AND FOR ROADWAY SLOPES. REQUESTS FOR SUCH EASEMENTS SHALL BE MADE TO THE CITY PRIOR TO CONSTRUCTION OF THE TRAIL OR UTILITY. IDENTIFY THE LIMITS, REQUIRED FOR CONSTRUCTION AND MAINTENANCE OF THE FACILITY, USE OF OPEN SPACE OUTSIDE THE EASEMENT GRANTED FOR THE ABOVE USES WILL NOT BE ALLOWED. ALL SUCH REQUESTS SHALL BE DIRECTED TO THE CITY TRAILS AND OPEN SPACE PLANNER.

A BLANKET EASEMENT IS HEREBY GRANTED UPON ALL OPEN SPACE SHOWN HEREON FOR ALL EMERGENCY VEHICLES, PERSONNEL AND EQUIPMENT. MAINTENANCE OF DRAINAGE STRUCTURES AND APPURTENANCES THERETO WITHIN THE DEDICATED RIGHT-OF-WAYS, OPEN SPACE, PARKS AND DRAINAGE EASEMENTS AS SHOWN HEREON, IS THE RESPONSIBILITY OF THE CITY OF SANTA FE.

THIS PLAT LIES WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO.

OWNERS: TIERRA CONTENTA CORPORATION
BY:

Ken Campbell
PRESIDENT
TIERRA CONTENTA CORPORATION

Michael Chavez
VICE PRESIDENT
TIERRA CONTENTA CORPORATION

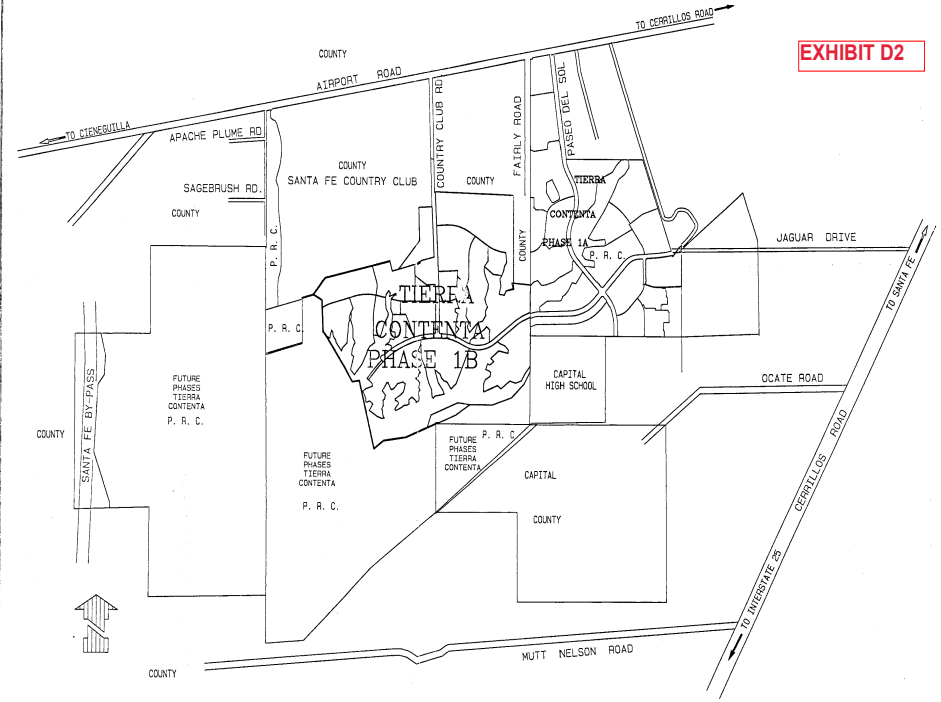
STATE OF NEW MEXICO
COUNTY OF SANTA FE
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 30th DAY OF July, 1998 BY THE PRESIDENT AND VICE PRESIDENT OF TIERRA CONTENTA CORPORATION.

Renee Gray
NOTARY PUBLIC

I hereby certify that this instrument /043-287 was filed for record on the 30 day of July, A.D. 19 98 at 3:37 o'clock P. and was duly recorded in Book 336 Page 0204 of the records of Santa Fe County.

Witness my Hand and Seal of Office
RESECCA BUSTAMANTE
County Clerk, Santa Fe County, NM

Patsy Montoya
Deputy



VICINITY MAP
SCALE: 1" = 1000'

DEED REFERENCES

- REFER TO WARRANTY DEED BY AND BETWEEN CITY OF SANTA FE (GRANTOR) AND TIERRA CONTENTA CORPORATION (GRANTEE), RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK, IN BOOK 1122, PAGE 789.
- REFER TO WARRANTY DEED BY AND BETWEEN HARRY DAVIS (GRANTOR) AND SANTA FE COUNTY CLERK, IN BOOK 46, PAGE 466.
- REFER TO WARRANTY DEED BY AND BETWEEN ELIZABETH PICK (GRANTOR) AND ELISIA CORPORATION (GRANTEE), RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK, IN BOOK 288, PAGE 040.
- REFER TO WARRANTY DEED BY AND BETWEEN ELISIA AND PCC LTD., CO A LIMITED LIABILITY COMPANY (GRANTORS) AND TIERRA CONTENTA CORP. (GRANTEE) RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK, IN BOOK 1333 ON PAGES 924 94
- EASEMENTS LISTED IN COMMITMENT FOR TITLE INSURANCE NO. 9801145 ISSUED BY TERRITORIAL ABSTRACT & TITLE CO. ARE SHOWN HEREON.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO TIERRA CONTENTA CORP. AND CAPITOL CITY TITLE SERVICES, THAT THIS PLAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF IS AN ACCURATE REPRESENTATION OF A FIELD SURVEY COMPLETED BY ME OR UNDER MY SUPERVISION ON DEC. 02, 1997 AND THAT IT MEETS THE STANDARDS FOR PROFESSIONAL SURVEYORS PRACTICING IN NEW MEXICO.

James B. Sanchez
JAMES B. SANCHEZ, N.M.P.L.S., NO. 12655

REVIEWED BY: CITY OF SANTA FE

[Signature] 0-14-98
CITY PLANNER DATE

[Signature] 6/25/98
SUBDIVISION REVIEWER DATE

[Signature] 8-24-98
WATER QUALITY DIVISION DATE

APPROVED BY THE CITY PLANNING COMMISSION AT THEIR MEETING OF July 9, 1998

[Signature] 8/19/98
CHAIRMAN

[Signature] 8/19/98
SECRETARY

UTILITY APPROVAL

[Signature] 7-31-98
PUBLIC SERVICE COMPANY OF NEW MEXICO DATE

[Signature] 7/31/98
U.S. WEST TELEPHONE DATE

[Signature] 7/31/98
PNM GAS COMPANY OF NEW MEXICO DATE

[Signature] 7-31-98
T. C. CABLE CO. DATE

VACATION OF RIGHT-OF-WAY

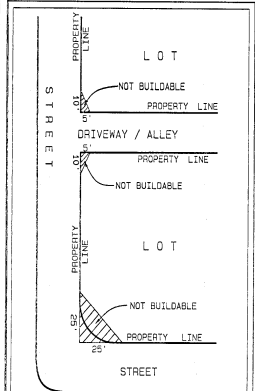
THE UNDERSIGNED, ON BEHALF OF THE CITY OF SANTA FE, A MUNICIPAL CORPORATION, DO HEREBY VACATE AND EXTINGUISH THE PORTIONS OF COUNTRY CLUB ROAD, A PUBLIC RIGHT-OF-WAY, AS SHOWN HEREON. THIS VACATION IS MADE WITH THEIR FREE CONSENT AND IS IN ACCORDANCE WITH THEIR WISHES AND DESIRES.

[Signature] 8-25-98
MAYOR, CITY OF SANTA FE DATE

[Signature] 8-25-98
CITY CLERK, CITY OF SANTA FE DATE

SITE DATA	
GROSS AREA OF TRACTS SURVEYED	
RESIDUAL NOT DEVELOPED PHASE 1B, UNIT 1	
TOTAL DEDICATED PARKS AND ACTIVITY NODE TRACTS	
TOTAL DEDICATED RIGHT-OF-WAY	
TOTAL VACATED RIGHT-OF-WAY	
TOTAL DEDICATED OPEN SPACE	

TIERRA CONTENTA SUBDIVISION
PHASE 1B, UNIT 1
COMPRISED OF:
A PORTION OF LOT 8, A PORTION OF LOT 9 OF SECTION 12,
ALL OF LOT 7 OF SECTION 13,
TRACT 8-A, TRACT A-1, WITHIN THE PACHECO GRANT
WITHIN PROJECTED SECTION 11 AND SECTION 14
TOWNSHIP 16 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN
SHEET 5A



TYPICAL VISIBILITY AT INTERSECTIONS REFERENCE SUBSECTION 14-53.2 SFC 1987, OR AS IT MAY BE AMENDED AT THE TIME OF APPLICATION. NOT TO SCALE

PROJECT No.: C-1281

REVISIONS BY DATE

JBS	02-05-98
JBS	04-11-98
JBS	07-30-98

SOUTHWEST MOUNTAIN SURVEYS, INC.

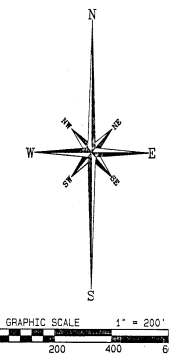
1114 HICKOK ST., SANTA FE, N.M. 87501
PHONE (505) 982-9429 FAX (505) 986-3413

DRAFTED BY: JBS DATE: 12-02-97

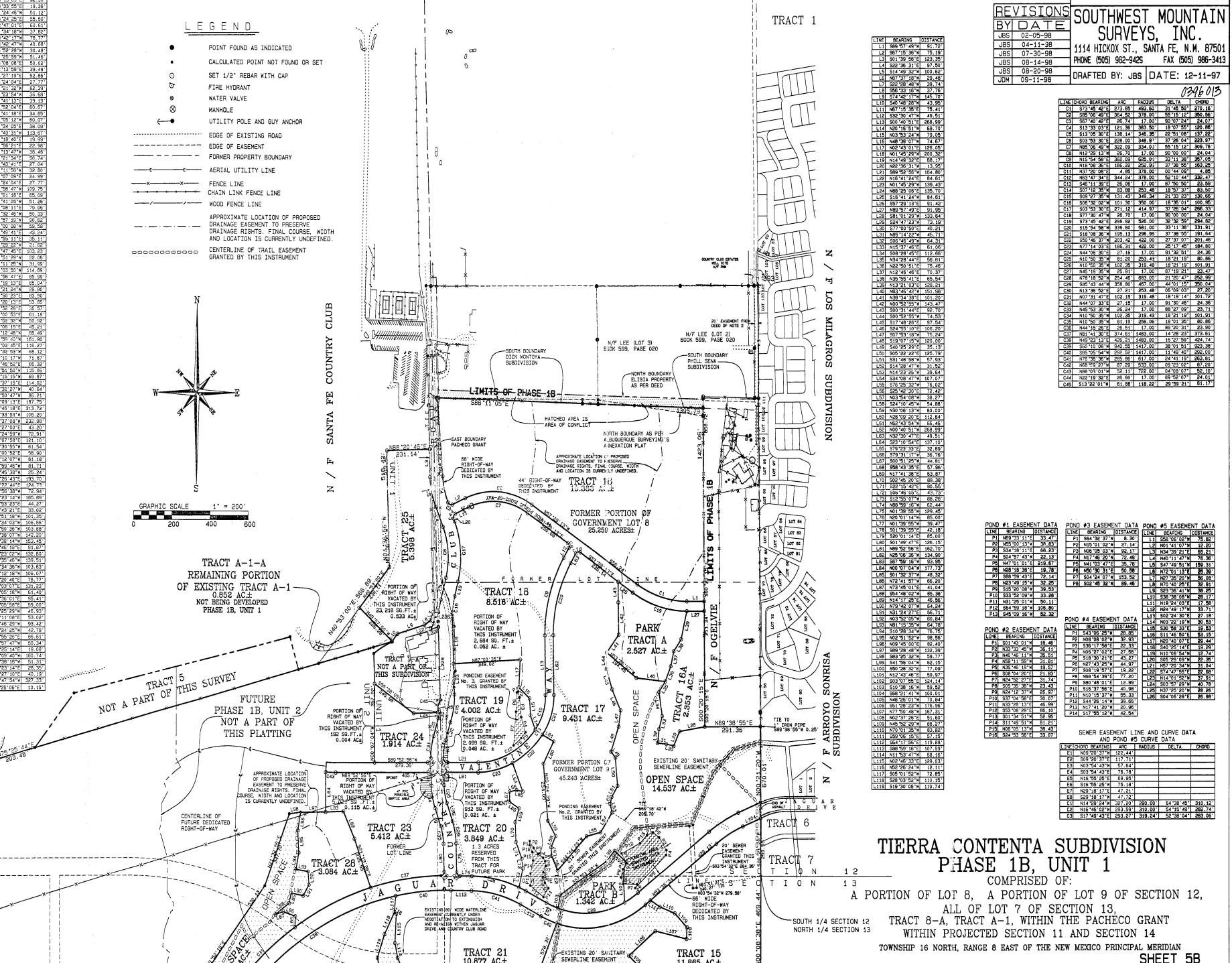
L1	353.7117	27.77	1.98	5.57	15.38
L2	353.1430	29.82	1.98	5.57	15.38
L3	352.5744	31.87	1.98	5.57	15.38
L4	352.0058	33.92	1.98	5.57	15.38
L5	351.4372	35.97	1.98	5.57	15.38
L6	350.8686	38.02	1.98	5.57	15.38
L7	350.3000	40.07	1.98	5.57	15.38
L8	349.7314	42.12	1.98	5.57	15.38
L9	349.1628	44.17	1.98	5.57	15.38
L10	348.5942	46.22	1.98	5.57	15.38
L11	348.0256	48.27	1.98	5.57	15.38
L12	347.4570	50.32	1.98	5.57	15.38
L13	346.8884	52.37	1.98	5.57	15.38
L14	346.3198	54.42	1.98	5.57	15.38
L15	345.7512	56.47	1.98	5.57	15.38
L16	345.1826	58.52	1.98	5.57	15.38
L17	344.6140	60.57	1.98	5.57	15.38
L18	344.0454	62.62	1.98	5.57	15.38
L19	343.4768	64.67	1.98	5.57	15.38
L20	342.9082	66.72	1.98	5.57	15.38
L21	342.3396	68.77	1.98	5.57	15.38
L22	341.7710	70.82	1.98	5.57	15.38
L23	341.2024	72.87	1.98	5.57	15.38
L24	340.6338	74.92	1.98	5.57	15.38
L25	340.0652	76.97	1.98	5.57	15.38
L26	339.4966	79.02	1.98	5.57	15.38
L27	338.9280	81.07	1.98	5.57	15.38
L28	338.3594	83.12	1.98	5.57	15.38
L29	337.7908	85.17	1.98	5.57	15.38
L30	337.2222	87.22	1.98	5.57	15.38
L31	336.6536	89.27	1.98	5.57	15.38
L32	336.0850	91.32	1.98	5.57	15.38
L33	335.5164	93.37	1.98	5.57	15.38
L34	334.9478	95.42	1.98	5.57	15.38
L35	334.3792	97.47	1.98	5.57	15.38
L36	333.8106	99.52	1.98	5.57	15.38
L37	333.2420	101.57	1.98	5.57	15.38
L38	332.6734	103.62	1.98	5.57	15.38
L39	332.1048	105.67	1.98	5.57	15.38
L40	331.5362	107.72	1.98	5.57	15.38
L41	330.9676	109.77	1.98	5.57	15.38
L42	330.3990	111.82	1.98	5.57	15.38
L43	329.8304	113.87	1.98	5.57	15.38
L44	329.2618	115.92	1.98	5.57	15.38
L45	328.6932	117.97	1.98	5.57	15.38
L46	328.1246	120.02	1.98	5.57	15.38
L47	327.5560	122.07	1.98	5.57	15.38
L48	326.9874	124.12	1.98	5.57	15.38
L49	326.4188	126.17	1.98	5.57	15.38
L50	325.8502	128.22	1.98	5.57	15.38
L51	325.2816	130.27	1.98	5.57	15.38
L52	324.7130	132.32	1.98	5.57	15.38
L53	324.1444	134.37	1.98	5.57	15.38
L54	323.5758	136.42	1.98	5.57	15.38
L55	323.0072	138.47	1.98	5.57	15.38
L56	322.4386	140.52	1.98	5.57	15.38
L57	321.8700	142.57	1.98	5.57	15.38
L58	321.3014	144.62	1.98	5.57	15.38
L59	320.7328	146.67	1.98	5.57	15.38
L60	320.1642	148.72	1.98	5.57	15.38
L61	319.5956	150.77	1.98	5.57	15.38
L62	319.0270	152.82	1.98	5.57	15.38
L63	318.4584	154.87	1.98	5.57	15.38
L64	317.8898	156.92	1.98	5.57	15.38
L65	317.3212	158.97	1.98	5.57	15.38
L66	316.7526	161.02	1.98	5.57	15.38
L67	316.1840	163.07	1.98	5.57	15.38
L68	315.6154	165.12	1.98	5.57	15.38
L69	315.0468	167.17	1.98	5.57	15.38
L70	314.4782	169.22	1.98	5.57	15.38
L71	313.9096	171.27	1.98	5.57	15.38
L72	313.3410	173.32	1.98	5.57	15.38
L73	312.7724	175.37	1.98	5.57	15.38
L74	312.2038	177.42	1.98	5.57	15.38
L75	311.6352	179.47	1.98	5.57	15.38
L76	311.0666	181.52	1.98	5.57	15.38
L77	310.4980	183.57	1.98	5.57	15.38
L78	309.9294	185.62	1.98	5.57	15.38
L79	309.3608	187.67	1.98	5.57	15.38
L80	308.7922	189.72	1.98	5.57	15.38
L81	308.2236	191.77	1.98	5.57	15.38
L82	307.6550	193.82	1.98	5.57	15.38
L83	307.0864	195.87	1.98	5.57	15.38
L84	306.5178	197.92	1.98	5.57	15.38
L85	305.9492	199.97	1.98	5.57	15.38
L86	305.3806	202.02	1.98	5.57	15.38
L87	304.8120	204.07	1.98	5.57	15.38
L88	304.2434	206.12	1.98	5.57	15.38
L89	303.6748	208.17	1.98	5.57	15.38
L90	303.1062	210.22	1.98	5.57	15.38
L91	302.5376	212.27	1.98	5.57	15.38
L92	301.9690	214.32	1.98	5.57	15.38
L93	301.4004	216.37	1.98	5.57	15.38
L94	300.8318	218.42	1.98	5.57	15.38
L95	300.2632	220.47	1.98	5.57	15.38
L96	299.6946	222.52	1.98	5.57	15.38
L97	299.1260	224.57	1.98	5.57	15.38
L98	298.5574	226.62	1.98	5.57	15.38
L99	297.9888	228.67	1.98	5.57	15.38
L100	297.4202	230.72	1.98	5.57	15.38

LEGEND

- POINT FOUND AS INDICATED
- CALCULATED POINT NOT FOUND OR SET
- SET 1/2" REBAR WITH CAP
- FIRE HYDRANT
- WATER VALVE
- MANHOLE
- UTILITY POLE AND GUY ANCHOR
- EDGE OF EXISTING ROAD
- EDGE OF EASEMENT
- FORMER PROPERTY BOUNDARY
- AERIAL UTILITY LINE
- FENCE LINE
- CHAIN LINK FENCE LINE
- WOOD FENCE LINE
- APPROXIMATE LOCATION OF PROPOSED DRAINAGE EASEMENT TO PRESERVE DRAINAGE RIGHTS, FINAL COURSE, WIDTH AND LOCATION IS CURRENTLY UNDEFINED.
- CENTERLINE OF TRAIL EASEMENT GRANTED BY THIS INSTRUMENT



TRACT A-1-A
REMAINING PORTION
OF EXISTING TRACT A-1
0.852 AC±
NOT BEING DEVELOPED
PHASE 1B, UNIT 1



PROJECT No.: C-1281A
REVISIONS BY DATE
 JBS 02-05-98
 JBS 04-11-98
 JBS 07-30-98
 JBS 08-14-98
 JBS 08-20-98
 JWB 09-11-98

SOUTHWEST MOUNTAIN SURVEYS, INC.
 1114 HICKOX ST., SANTA FE, N.M. 87501
 PHONE (505) 982-9425 FAX (505) 986-3413

DRAFTED BY: JBS DATE: 12-11-97

0298.013

LINE	BEARING	DISTANCE
C1	S13°45'41"W	273.65
C2	S89°06'49"W	34.52
C3	S67°46'42"W	26.74
C4	S13°13'31"W	121.38
C5	S63°03'30"W	138.10
C6	S63°03'30"W	138.10
C7	N85°06'49"W	34.52
C8	N89°06'49"W	34.52
C9	N13°54'56"W	352.03
C10	N10°26'13"W	76.30
C11	N37°20'08"W	4.95
C12	N69°17'34"W	344.24
C13	S44°15'35"W	25.26
C14	S07°19'35"W	83.88
C15	S89°25'05"E	135.70
C16	S13°13'24"W	74.09
C17	S63°03'30"W	138.10
C18	S63°03'30"W	138.10
C19	N85°06'49"W	34.52
C20	N89°06'49"W	34.52
C21	N13°54'56"W	352.03
C22	N10°26'13"W	76.30
C23	N37°20'08"W	4.95
C24	N69°17'34"W	344.24
C25	S44°15'35"W	25.26
C26	S07°19'35"W	83.88
C27	S89°25'05"E	135.70
C28	S13°13'24"W	74.09
C29	S63°03'30"W	138.10
C30	S63°03'30"W	138.10
C31	N85°06'49"W	34.52
C32	N89°06'49"W	34.52
C33	N13°54'56"W	352.03
C34	N10°26'13"W	76.30
C35	N37°20'08"W	4.95
C36	N69°17'34"W	344.24
C37	S44°15'35"W	25.26
C38	S07°19'35"W	83.88
C39	S89°25'05"E	135.70
C40	S13°13'24"W	74.09
C41	S63°03'30"W	138.10
C42	S63°03'30"W	138.10
C43	N85°06'49"W	34.52
C44	N89°06'49"W	34.52
C45	N13°54'56"W	352.03
C46	N10°26'13"W	76.30
C47	N37°20'08"W	4.95
C48	N69°17'34"W	344.24
C49	S44°15'35"W	25.26
C50	S07°19'35"W	83.88
C51	S89°25'05"E	135.70
C52	S13°13'24"W	74.09
C53	S63°03'30"W	138.10
C54	S63°03'30"W	138.10
C55	N85°06'49"W	34.52
C56	N89°06'49"W	34.52
C57	N13°54'56"W	352.03
C58	N10°26'13"W	76.30
C59	N37°20'08"W	4.95
C60	N69°17'34"W	344.24
C61	S44°15'35"W	25.26
C62	S07°19'35"W	83.88
C63	S89°25'05"E	135.70
C64	S13°13'24"W	74.09
C65	S63°03'30"W	138.10
C66	S63°03'30"W	138.10
C67	N85°06'49"W	34.52
C68	N89°06'49"W	34.52
C69	N13°54'56"W	352.03
C70	N10°26'13"W	76.30
C71	N37°20'08"W	4.95
C72	N69°17'34"W	344.24
C73	S44°15'35"W	25.26
C74	S07°19'35"W	83.88
C75	S89°25'05"E	135.70
C76	S13°13'24"W	74.09
C77	S63°03'30"W	138.10
C78	S63°03'30"W	138.10
C79	N85°06'49"W	34.52
C80	N89°06'49"W	34.52
C81	N13°54'56"W	352.03
C82	N10°26'13"W	76.30
C83	N37°20'08"W	4.95
C84	N69°17'34"W	344.24
C85	S44°15'35"W	25.26
C86	S07°19'35"W	83.88
C87	S89°25'05"E	135.70
C88	S13°13'24"W	74.09
C89	S63°03'30"W	138.10
C90	S63°03'30"W	138.10
C91	N85°06'49"W	34.52
C92	N89°06'49"W	34.52
C93	N13°54'56"W	352.03
C94	N10°26'13"W	76.30
C95	N37°20'08"W	4.95
C96	N69°17'34"W	344.24
C97	S44°15'35"W	25.26
C98	S07°19'35"W	83.88
C99	S89°25'05"E	135.70
C100	S13°13'24"W	74.09

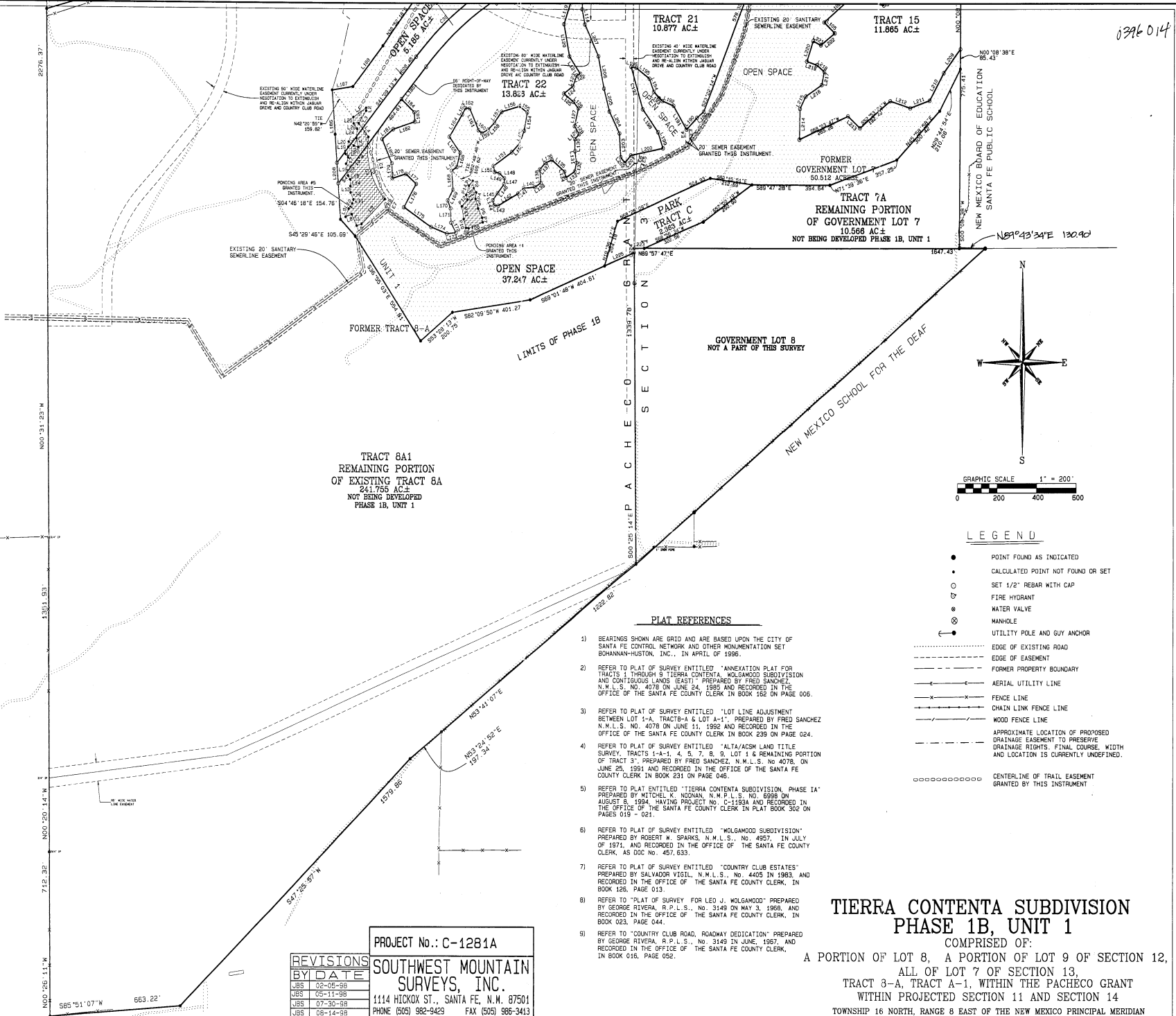
POND #1 EASEMENT DATA

LINE	BEARING	DISTANCE
P1	S64°23'13"W	13.44
P2	S95°20'13"W	36.83
P3	S04°10'11"E	32.33
P4	S04°50'43"E	22.13
P5	S00°51'04"E	17.13
P6	S24°21'51"W	48.32
P7	S88°56'43"E	72.14
P8	N04°18'28"E	18.18
P9	S15°20'08"W	36.53
P10	N89°06'49"W	34.52
P11	N13°54'56"W	352.03
P12	N10°26'13"W	76.30
P13	N37°20'08"W	4.95
P14	N69°17'34"W	344.24
P15	S44°15'35"W	25.26
P16	S07°19'35"W	83.88
P17	S89°25'05"E	135.70

POND #2 EASEMENT DATA

LINE	BEARING	DISTANCE
E1	S43°28'25"W	26.88
E2	N08°08'08"E	35.93
E3	N10°26'13"E	32.33
E4	S07°20'52"E	27.97
E5	S18°30'17"W	43.77
E6	S22°23'25"E	44.91
E7	S08°54'20"E	31.83
E8	N08°08'08"E	35.93
E9	S07°20'52"E	27.97
E10	S18°30'17"W	43.77
E11	S22°23'25"E	44.91
E12	S08°54'20"E	31.83
E13	N08°08'08	

0396014



TRACT 8A
REMAINING PORTION
OF EXISTING TRACT 8A
241.765 AC±
NOT BEING DEVELOPED
PHASE 1B, UNIT 1

LIMITS OF PHASE 1B

PLAT REFERENCES

- BEARINGS SHOWN ARE GRID AND ARE BASED UPON THE CITY OF SANTA FE CONTROL NETWORK AND OTHER MONUMENTATION SET BOHANNAN-HUSTON, INC., IN APRIL OF 1999.
- REFER TO PLAT OF SURVEY ENTITLED "ANNEXATION PLAT FOR TRACTS 1 THROUGH 9 TIERRA CONTENTA WOLGAMOOD SUBDIVISION AND CONTIGUOUS LANDS (EAST)" PREPARED BY FRED SANCHEZ, N.M.L.S. NO. 4078 ON JUNE 24, 1999 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 162 ON PAGE 006.
- REFER TO PLAT OF SURVEY ENTITLED "LOT LINE ADJUSTMENT BETWEEN LOT 1-A, TRACT 3-A & LOT 4-1", PREPARED BY FRED SANCHEZ, N.M.L.S. NO. 4078 ON JUNE 11, 1992 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 239 ON PAGE 024.
- REFER TO PLAT OF SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY, TRACTS 1-A-1, 4, 5, 7, 8, 9, LOT 1 & REMAINING PORTION OF TRACT 3", PREPARED BY FRED SANCHEZ, N.M.L.S. NO. 4078, ON JUNE 25, 1994 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 231 ON PAGE 046.
- REFER TO PLAT ENTITLED "TIERRA CONTENTA SUBDIVISION, PHASE 1A" PREPARED BY MICHAEL K. NORDAN, N.M.P.L.S. NO. 5998 ON AUGUST 6, 1984, HAVING PROJECT NO. C-1193A AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 302 ON PAGES 019 - 021.
- REFER TO PLAT OF SURVEY ENTITLED "WOLGAMOOD SUBDIVISION" PREPARED BY ROBERT M. SPARKS, N.M.L.S., NO. 4957, IN JULY OF 1974, AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK, AS DOC NO. 257, 633.
- REFER TO PLAT OF SURVEY ENTITLED "COUNTRY CLUB ESTATES" PREPARED BY SALVADOR VIGIL, N.M.L.S., NO. 4405 IN 1983, AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK, IN BOOK 126, PAGE 013.
- REFER TO "PLAT OF SURVEY FOR LEO J. WOLGAMOOD" PREPARED BY GEORGE RIVERA, R.P.L.S., NO. 3149 ON MAY 3, 1968, AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK, IN BOOK 023, PAGE 044.
- REFER TO "COUNTRY CLUB ROAD, ROADWAY DEDICATION" PREPARED BY GEORGE RIVERA, R.P.L.S., NO. 3149 IN JUNE, 1967, AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK, IN BOOK 016, PAGE 052.

LEGEND

- POINT FOUND AS INDICATED
- CALCULATED POINT NOT FOUND OR SET
- ⊕ SET 1/2" REBAR WITH CAP
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ MAN-HOLE
- ⊕ UTILITY POLE AND GUY ANCHOR
- ⋯ EDGE OF EXISTING ROAD
- ⋯ EDGE OF EASEMENT
- ⋯ FORMER PROPERTY BOUNDARY
- ⋯ AERIAL UTILITY LINE
- ⋯ FENCE LINE
- ⋯ CHAIN LINK FENCE LINE
- ⋯ WOOD FENCE LINE
- ⋯ APPROPRIATE LOCATION OF PROPOSED DRAINAGE EASEMENT TO PRESERVE DRAINAGE RIGHTS. FINAL COURSE, WIDTH AND LOCATION IS CURRENTLY UNDEFINED.
- ⋯ CENTERLINE OF TRAIL EASEMENT GRANTED BY THIS INSTRUMENT

**TIERRA CONTENTA SUBDIVISION
PHASE 1B, UNIT 1**

COMPRISED OF:
A PORTION OF LOT 8, A PORTION OF LOT 9 OF SECTION 12,
ALL OF LOT 7 OF SECTION 13,
TRACT 3-A, TRACT A-1, WITHIN THE PACHECO GRANT
WITHIN PROJECTED SECTION 11 AND SECTION 14
TOWNSHIP 16 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN

PROJECT No.: C-1281A

**SOUTHWEST MOUNTAIN
SURVEYS, INC.**

1114 HICKOX ST., SANTA FE, N.M. 87501
PHONE (505) 982-9429 FAX (505) 986-3413

DRAFTED BY: JBS DATE: 12-11-97

REVISIONS	BY	DATE
JBS	02-06-98	
JBS	05-11-98	
JBS	07-30-98	
JBS	08-14-98	
JSM	09-11-98	

ANNEXATION PLAT FOR TRACTS 1 THRU 9 TIERRA CONTENTA, WOLGAMOOD SUBDIVISION AND CONTIGUOUS LANDS (EAST)

TOWNSHIP 16 NORTH, RANGES 8 & 9 EAST, NEW MEXICO PRINCIPAL MERIDIAN SANTA FE COUNTY, NEW MEXICO JUNE 1985

DEDICATION AND CONSENT STATEMENT

The undersigned owner(s) of the properties hereon shown Bellamah Community Development, a New Mexico General Partnership; Meadows Resources, Inc., a New Mexico Corporation; The Elitia Partnership, a New Mexico General Partnership; The City of Santa Fe Board of Education; The New Mexico School for the Deaf; The New Mexico State Highway Department; The City of Santa Fe; Dr. Joe L. Hernandez; Dr. William Herrera; Kenneth Prater;

NEW MEXICO SCHOOL FOR THE DEAF

By: Judy Williams, Ms. Judy Williams, President, Board of Regents

Kenneth E. Brasel, Ph.D., Superintendent

Kenneth W. Prater, Kenneth W. Prater

Susan P. Prater, Susan P. Prater

CITY OF SANTA FE

Louis R. Montano, Mayor

BELLAHMAH COMMUNITY DEVELOPMENT, a New Mexico General Partnership

By: D.T. Robertson, Senior Vice-President and Regional Manager

NOTARY:

STATE OF NEW MEXICO) COUNTY OF SANTA FE)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the persons noted in the Affidavit appearing hereon on the 29th day of June, 1985

My Commission Expires: 1/14/89 Notary Public

NOTARY:

STATE OF New Mexico) COUNTY OF Santa Fe)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the persons noted in the Affidavit appearing hereon on the 27th day of June, 1985

My Commission Expires: 6/14/89 Notary Public

NOTARY:

STATE OF NEW MEXICO) COUNTY OF SANTA FE)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person noted in the Affidavit appearing hereon on the ___ day of ___, 19__.

My Commission Expires: Notary Public

NOTARY:

STATE OF NEW MEXICO) COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person noted in the Affidavit appearing hereon on the 25th day of JUNE, 1985

My Commission Expires: 10-12-87 Notary Public

BOARD OF EDUCATION, CITY OF SANTA FE

By: Edward A. Ortiz, Superintendent

Dr. Joe L. Hernandez

NOTARY:

STATE OF NEW MEXICO) COUNTY OF SANTA FE)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person noted in the Affidavit appearing hereon on the 27th day of June, 1985

My Commission Expires: May 1989 Notary Public

NOTARY:

STATE OF New Mexico) COUNTY OF Santa Fe)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person noted in the Affidavit appearing hereon on the 27th day of June, 1985

My Commission Expires: 6/14/89 Notary Public

APPROVAL

CITY OF SANTA FE, NEW MEXICO

APPROVED ON March 3, 1985 BY: City Engineer

APPROVED ON March 5, 1985 BY: City Engineer

APPROVED BY: THE SANTA FE PLANNING COMMISSION AT ITS MEETING OF Sept-4-1985

CHAIRMAN SECRETARY

ACCEPTED BY: THE CITY COUNCIL OF THE CITY OF SANTA FE, NEW MEXICO, AT ITS MEETING OF 10-20-85, 1985

MAYOR CITY CLERK

SURVEYOR'S CERTIFICATE

I, FRED SANCHEZ, a duly qualified land surveyor, registered under the laws of the State of New Mexico, hereby certify that this plat was prepared by me or under my direct supervision, shows accurate dimensions, land areas, shows all easements shown on recorded plat or made known to me by the owner, utility companies, or other parties expressing an interest, and that this survey meets the minimum requirements for monumentation and surveys of the Santa Fe Subdivision Ordinance, and that the survey is true and correct to the best of my knowledge and belief.

Fred Sanchez, FRED SANCHEZ, N.M.L.S. NO. 6078

NOTARY:

STATE OF NEW MEXICO) COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person noted in the Affidavit appearing hereon on the 24th day of June, 1985

My Commission Expires: 8-24-87 Notary Public

MEADOWS RESOURCES, INC., a New Mexico Corporation

By: Roger C. Raboin, Its Vice President

NOTARY:

STATE OF NEW MEXICO) COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person noted in the Affidavit appearing hereon on the 25th day of JUNE, 1985

My Commission Expires: 10-12-87 Notary Public

NEW MEXICO STATE HIGHWAY DEPARTMENT

By: L.A. Larranaga, Chief Highway Administrator

Dr. William R. Herrera

NOTARY:

STATE OF NEW MEXICO) COUNTY OF SANTA FE)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the persons noted in the Affidavit appearing hereon on the 27th day of June, 1985

My Commission Expires: 6/14/89 Notary Public

NOTARY:

STATE OF New Mexico) COUNTY OF Santa Fe)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person noted in the Affidavit appearing hereon on the 27th day of June, 1985

My Commission Expires: 6/14/89 Notary Public

ELISIA PARTNERSHIP, a New Mexico General Partnership

By: Henry Pick, General Partner; William S. Pick, General Partner

NOTARY:

STATE OF NEW MEXICO) COUNTY OF SANTA FE)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the persons noted in the Affidavit appearing hereon on the 27th day of June, 1985

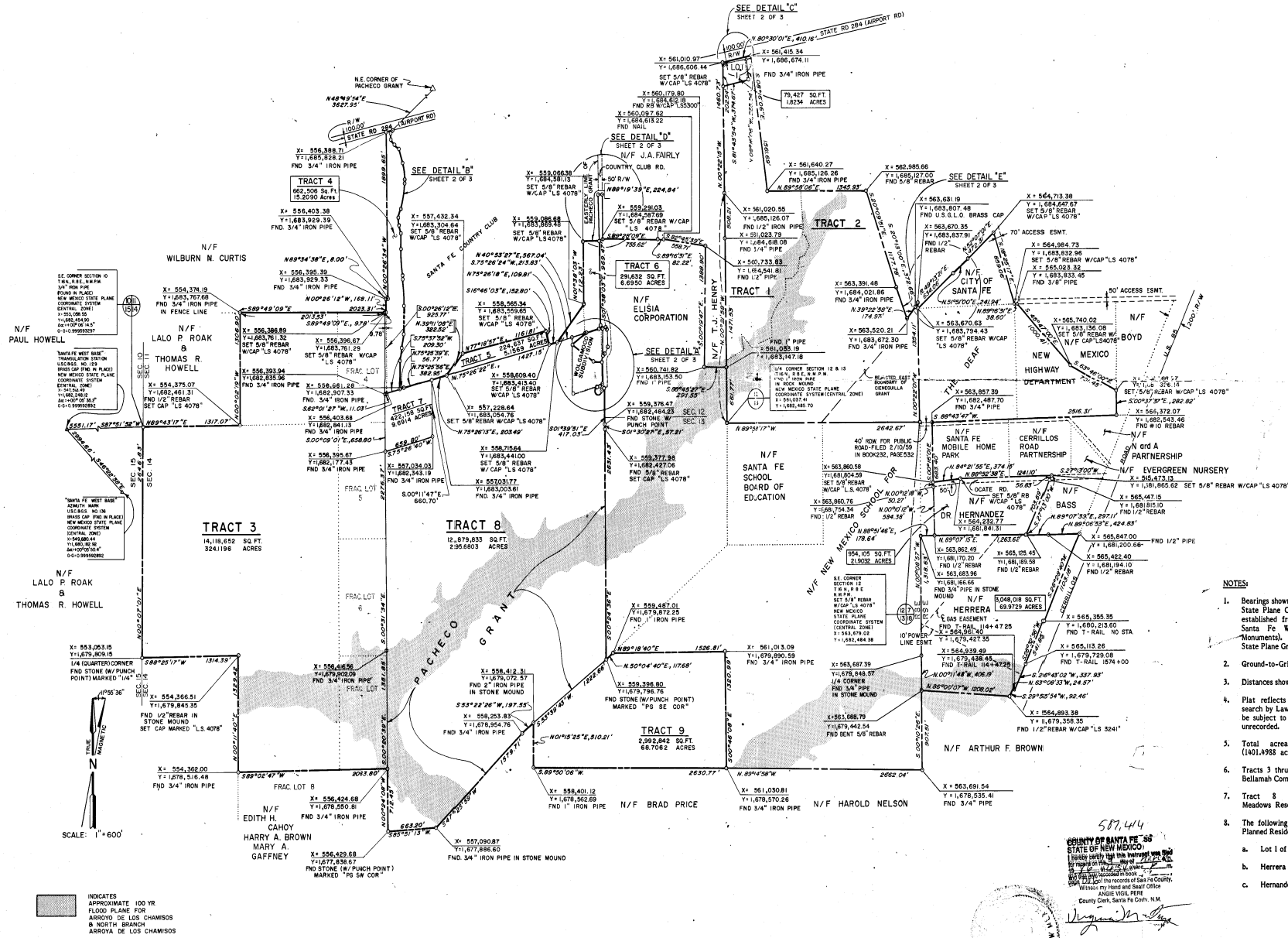
My Commission Expires: 6/14/89 Notary Public

577444 COUNTY OF SANTA FE, N.M. STATE OF NEW MEXICO I hereby certify that this instrument was filed for record on the 24th day of June, 1985. My office is located in Santa Fe, New Mexico, and my files are recorded in Book 1985-100-100-100. My files are recorded in Santa Fe County, New Mexico. ANILU VIGIL PEREZ County Clerk, Santa Fe County, N.M.

ANNEXATION PLAT
FOR
TRACTS 1 THRU 9
TIERRA CONTENTA,
WOLGAMOOD SUBDIVISION
AND
CONTIGUOUS LANDS (EAST)

TOWNSHIP 16 NORTH, RANGES 8 & 9 EAST, NEW MEXICO PRINCIPAL MERIDIAN
SANTA FE COUNTY, NEW MEXICO
JUNE 1985

162006



- NOTES:
- Bearings shown hereon are based on the New Mexico State Plane Coordinate System (Central Zone) as established from "Santa Fe West Tri-Station and Santa Fe West Azimuth Mark" (Brass Cap Monuments). Coordinates shown are New Mexico State Plane Grid.
 - Ground-to-Grid conversion factor = 0.9999334753.
 - Distances shown are ground distances.
 - Plat reflects easements as disclosed by a title search by Lawyers Title of Santa Fe, Inc. and may be subject to appurtenant easements recorded and unrecorded.
 - Total acreage is 64,574,087 square feet (1401,988 acres).
 - Tracts 3 thru 7 and 9 now or formerly owned by Bellman Community Development.
 - Tract 8 now or formerly owned by Meadows Resources, Inc.
 - The following is not proposed to be zoned to the Planned Residential Community (PRC) District:
 - Lot 1 of Bellman Community Development
 - Herrera Property
 - Hernandez Property

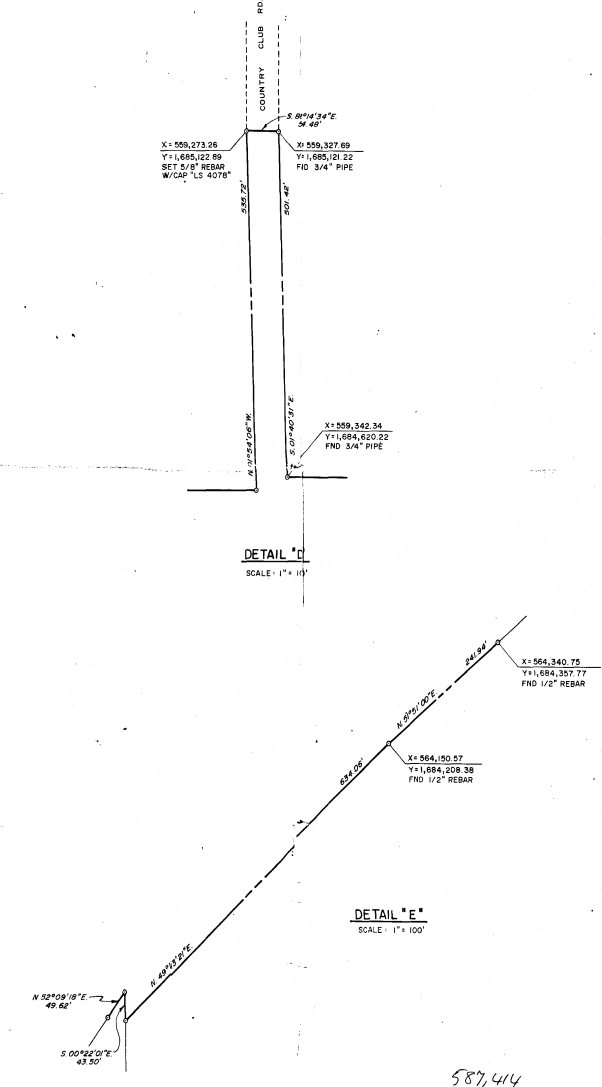
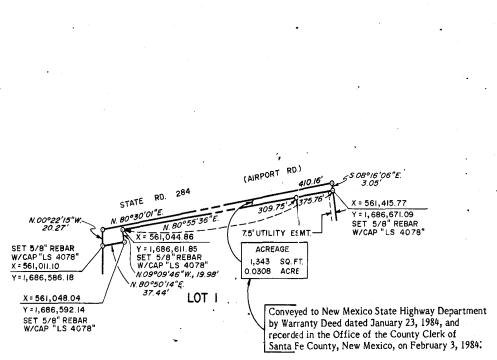
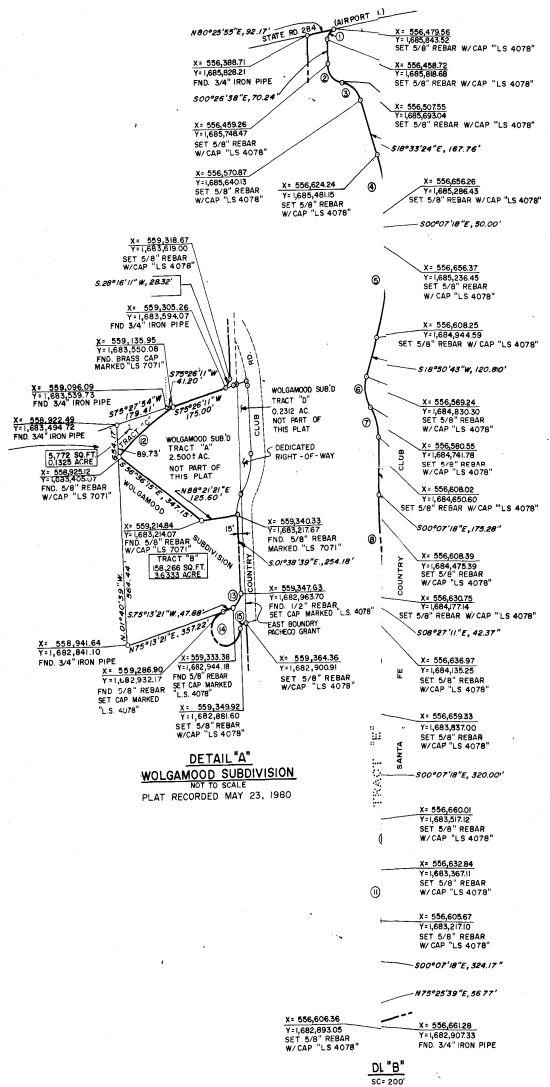
507.414
COUNTY OF SANTA FE
STATE OF NEW MEXICO
I hereby certify that the foregoing is a true and correct copy of the original as recorded in my office.
WOLGAMOOD SUBDIVISION
TIERRA CONTENTA
ANNEXATION PLAT
COUNTY OF SANTA FE
COUNTY CLERK'S OFFICE
SANTA FE, NEW MEXICO



**ANNEXATION PLAT
FOR
TRACTS 1 THRU 9
TIERRA CONTENTA,
WOLGMOOD SUBDIVISION
AND
CONTIGUOUS LANDS (EAST)**

162007

WITHIN
TOWNSHIP 16 NORTH, RANGES 8 & 9 EAST, NEW MEXICO PRINCIPAL MERIDIAN
SANTA FE COUNTY, NEW MEXICO
JUNE 1985



587,414
COUNTY OF SANTA FE
STATE OF NEW MEXICO
I hereby certify that this instrument was filed
in accordance with the provisions of the
Act of the 19th Legislature, 1st Session, 1925,
and was properly recorded in book 152, page 162.
Witness my hand and seal of office
ANGIE WIGIL FENEZ
County Clerk, Santa Fe County, N.M.

ANNEXATION PLAT FOR TRACTS 1 THRU 9 TIERRA CONTENTA, WOLGAMOOD SUBDIVISION AND CONTIGUOUS LANDS (EAST)

WITHIN TOWNSHIP 16 NORTH, RANGES 8 & 9 EAST, NEW MEXICO PRINCIPAL MERIDIAN SANTA FE COUNTY, NEW MEXICO - JUNE 1985

LEGAL DESCRIPTION FOR EXTERIOR BOUNDARIES OF LANDS TO BE ANNEXED INTO THE LIMITS OF THE CITY OF SANTA FE, NEW MEXICO

Being those certain parcels of land comprising Tracts 3 through 9, TIERRA CONTENTA (FUTURE PHASES) plat of which was filed for record in the Office of the County Clerk of Santa Fe County, New Mexico, January 31, 1985, in Book 148, Pages 042-046, under the control of Bellamah Community Development, a New Mexico General Partnership and Meadows Resources, Inc., a New Mexico Corporation; TOGETHER WITH TRACTS "A", "B", "C", and "D" OF THE "WOLGAMOOD SUBDIVISION", plat of which was filed for record in the Office of the County Clerk of Santa Fe County, New Mexico, May 23, 1980, and Tracts 1 and 2 of the Replat of the "PLAT OF THE 165 ACRES TIERRA CONTENTA", within Section 12, T. 16 N., R. 9 E., N.M.P.M., Santa Fe County, New Mexico, plat of which was filed for record in the Office of the County Clerk of Santa Fe County, New Mexico, July 12, 1984, in Book 142, Page 942, under the control of Bellamah Community Development, a New Mexico General Partnership; TOGETHER WITH PORTIONS OF SECTIONS 12 AND 13, T. 16 N., R. 8 E., N.M.P.M., under the control of the Elisia Partnership, a New Mexico General Partnership; a Northernly Portion of Section 13, T. 16 N., R. 8 E., N.M.P.M., under the control of The City of Santa Fe Board of Education; an Easterly Portion of Section 13, T. 16 N., R. 8 E., N.M.P.M., under the control of the New Mexico School for the Deaf; a Southerly Portion of Section 7, T. 16 N., R. 9 E., N.M.P.M., under the control of the New Mexico School for the Deaf; a Westerly Portion of Section 18, T. 16 N., R. 9 E., N.M.P.M., under the control of the City of Santa Fe; New Mexico a Portion of the S.E.W. of Section 7, T. 16 N., R. 9 E., N.M.P.M., under the control of the New Mexico State Highway Department; a Westerly Portion of Section 18, T. 16 N., R. 9 E., N.M.P.M., under the control of Dr. Joe L. Hernandez; a Westerly Portion of Section 18, T. 16 N., R. 9 E., N.M.P.M., under the control of Dr. William Herrera; Tract A of above-mentioned Subdivision under the control of Kenneth Prater; All of which lands are located West of Cerrillos Road and generally South of Airport Road in Santa Fe County, New Mexico, and the exterior boundaries of said lands now being more particularly described by metes and bounds surveys as follows:

BEGINNING at the most Northernly corner of above-mentioned TIERRA CONTENTA (FUTURE PHASES), (a 5/8" rebar surmounted with a cap marked "LS 4078") being 1) a point on the Southerly right-of-way line of New Mexico State Road No. 288 also known as Airport Road, and 2) the corner common to the Northwest corner of "Santa Fe Country Club" and the Northeast corner of Tract 4, TIERRA CONTENTA (FUTURE PHASES), whence, the U.S.G.L.O. Brass Cap marking the Northeast corner of the Pacheco Grant bears N. 48° 49' 39" E., 3627.95 feet distance; thence,

Continuing along the Easterly line of said Tract 4, TIERRA CONTENTA (FUTURE PHASES) common with the Westerly line of the "Santa Fe Country Club" through the following corners (all monumented with a 5/8" rebar surmounted with a cap marked "LS 4078"):

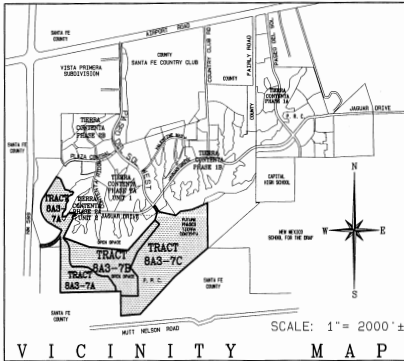
- S. 35° 29' 52" E., 35.29 feet distance along said "Common Line" along the arc of a curve bearing to the left (said arc having a radius of 23.00 feet, a central angle of 80° 52' 33", and a long chord which bears S. 39° 59' 38" W., 32.43 feet distance) to a Point of Tangency; thence,
S. 00° 26' 38" E., 70.24 feet distance continuing along said "Common Line" to a Point of Curvature; thence,
Southeasterly, 80.10 feet distance continuing along said "Common Line" along the arc of a curve bearing to the left (said arc having a radius of 36.50 feet, a central angle of 81° 13' 59", and a long chord which bears S. 41° 03' 38" E., 73.34 feet distance) to a Point of Reverse Curvature; thence,
Southeasterly, 86.90 feet distance continuing along said "Common Line" along the arc of a curve bearing to the right (said arc having a radius of 78.88 feet, a central angle of 63° 07' 04", and a long chord which bears S. 30° 06' 56" E., 82.55 feet distance) to a Point of Tangency; thence,
S. 18° 33' 28" E., 167.76 feet distance continuing along said "Common Line" to a Point of Curvature; thence,
Southeasterly, 188.27 feet distance continuing along said "Common Line" along the arc of a curve bearing to the left (said arc having a radius of 616.23 feet, a central angle of 18° 26' 06", and a long chord which bears S. 09° 20' 21" E., 197.41 feet distance) to a Point of Tangency; thence,
S. 00° 07' 18" E., 50.00 feet distance continuing along said "Common Line" to a Point of Curvature; thence,
Southeasterly, 297.26 feet distance continuing along said "Common Line" along the arc of a curve bearing to the right (said arc having a radius of 897.96 feet, a central angle of 18° 39' 01", and a long chord which bears S. 09° 21' 42" W., 295.90 feet distance) to a Point of Tangency; thence,
S. 18° 50' 43" W., 120.80 feet distance continuing along said "Common Line" to a Point of Curvature; thence,
Southeasterly, 92.45 feet distance continuing along said "Common Line" along the arc of a curve bearing to the left (said arc having a radius of 101.38 feet, a central angle of 33° 16' 59", and a long chord which bears S. 07° 16' 47" E., 89.27 feet distance) to a Point of Reverse Curvature; thence,
Southeasterly, 96.65 feet distance continuing along said "Common Line" along the arc of a curve bearing to the right (said arc having a radius of 166.34 feet, a central angle of 33° 16' 58", and a long chord which bears S. 16° 45' 47" E., 95.27 feet distance) to a Point of Tangency; thence,
S. 00° 07' 18" E., 175.28 feet distance continuing along said "Common Line" to a Point of Curvature; thence,
Southeasterly, 299.47 feet distance continuing along said "Common Line" along the arc of a curve bearing to the left (said arc having a radius of 2059.49 feet, a central angle of 08° 19' 33", and a long chord which bears S. 04° 17' 19" E., 299.21 feet distance) to

- a Point of Curvature; thence,
S. 88° 45' 27" E., 291.55 feet distance to a point on the Westerly line of aforementioned Replat of the "Plat of 165 Acres TIERRA CONTENTA" (a 1" pipe); thence,
N. 00° 21' 38" W., 1471.53 feet distance along the Westerly line of said "Replat" to a Point on the Southerly right-of-way line of Fairly Road (a 3/4" pipe); continuing thence,
N. 00° 21' 38" W., 508.21 feet distance continuing along the Westerly line of said "Replat" common with the Easterly right-of-way line of Fairly Road to a Point (a 8" iron pipe); thence,
N. 00° 22' 19" W., 1460.73 feet distance along the Easterly right-of-way line of Fairly Road to its Point of Intersection with the Southerly right-of-way line of Airport Road, as widened, widened portion conveyed to New Mexico State Highway Department by Warranty Deed dated January 23, 1984, recorded in the Office of the County Clerk of Santa Fe County, New Mexico, February 3, 1984 (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
N. 80° 50' 14" E., 37.44 feet distance along the said Southerly right-of-way line of Airport Road (as widened) to a Point (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
N. 09° 09' 46" W., 19.98 feet distance continuing along said Southerly right-of-way line of Airport Road (as widened) to a Point (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
N. 80° 55' 36" E., 375.76 feet distance continuing along said Southerly right-of-way line of Airport Road (as widened) to the most Northernly corner of the parcel of land herein described (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
S. 08° 16' 06" E., 1561.69 feet distance to a point (a 3/4" iron pipe); thence,
N. 89° 58' 06" E., 1345.93 feet distance to a point (a 5/8" rebar); thence,
S. 20° 09' 51" E., 1177.78 feet distance to an Angle Point (a 3/4" iron pipe); thence,
S. 20° 13' 00" E., 372.66 feet distance to an Angle Point (3/4" iron pipe); thence,
N. 39° 22' 58" E., 174.97 feet distance to a U.S.G.L.O. Brass Cap; thence,
N. 52° 09' 18" E., 49.62 feet distance to an Angle Point (a 5/8" rebar) on the Easterly line of said "Replat"; thence,
S. 00° 22' 01" E., 415.00 feet distance along the Easterly line of said "Replat" to a Point (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
N. 49° 19' 21" E., 634.66 feet distance to a point (a 8" rebar) on the Northernly line of Lands of the City of Santa Fe to a Point (a 8" rebar); thence,
N. 51° 51' 00" E., 241.94 feet distance continuing along the Northernly line of Lands of the City of Santa Fe to a Point (a 8" rebar); thence,
N. 52° 07' 01" E., 472.31 feet distance continuing along the Northernly line of Lands of the City of Santa Fe to a point on the westerly line of a Seventy (70) foot wide Access Easement (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
S. 18° 29' 17" E., 859.06 feet distance along the Westerly line of a Seventy (70) foot wide Access Easement to a point on the Northernly line of the S.W. of the S.W. of Section 7, T. 16 N., R. 9 E., N.M.P.M. (a 5/8" iron pipe) being also the Northwest corner of Lands of the New Mexico State Highway Department and a point on the Southerly line of a Fifty (50) foot wide Access Easement; thence,
N. 89° 16' 31" E., 38.60 feet distance along the Northernly line of the S.W. of the S.W. of Section 7, T. 16 N., R. 9 E., N.M.P.M. to the Northwest corner of the S.E. of the S.W. of Section 7, T. 16 N., R. 9 E., N.M.P.M. (a 5/8" iron pipe) being also the Northwest corner of Lands of the New Mexico State Highway Department and a point on the Southerly line of a Fifty (50) foot wide Access Easement; thence,
S. 43° 47' 09" E., 1000.41 feet distance across a portion of Lands of the New Mexico State Highway Department to a Point (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
S. 69° 46' 00" E., 701.45 feet distance continuing across a portion of Lands of the New Mexico State Highway Department to a point on the Easterly line of the S.E. of the S.W. of Section 7, T. 16 N., R. 9 E., N.M.P.M. (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
S. 00° 37' 37" E., 282.82 feet distance along the Easterly line of the S.E. of the S.W. of Section 7, T. 16 N., R. 9 E., N.M.P.M. to the Quarter Corner common to Sections 7 and 18, T. 16 N., R. 9 E., N.M.P.M. (a 1/2" rebar); thence,
S. 88° 47' 47" W., 2516.31 feet distance to a point (a 3/4" iron pipe) being also the Northwest corner of a Mobile Home Park; thence,
S. 00° 16' 01" E., 683.40 feet distance along the Westerly line of a Mobile Home Park to its Southwest corner being also a point on the Northernly right-of-way line of Ocote Road (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
N. 84° 21' 55" E., 374.15 feet distance along the Southerly line of a Mobile Home Park common with the Northernly right-of-way line of Ocote Road to a Point (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
N. 88° 52' 38" E., 1241.10 feet distance continuing along said "common line" to its Point of Intersection with the projected Easterly line of Lands (now or formerly) N/P of Dr. Joe L. Hernandez (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
S. 27° 19' 00" W., 56.83 feet distance across Ocote Road to the Northeast corner of said Lands N/P of Dr. Joe L. Hernandez (a 8" rebar); continuing thence,
S. 27° 19' 00" W., 703.69 feet distance along the Easterly line of said Lands N/P of Dr. Joe L. Hernandez to a point on the Northernly line of Lands N/P of Dr. William Herrera (a 8" rebar); thence,

- N. 89° 07' 39" E., 297.11 feet distance along said Northernly line of Lands N/P of Dr. William Herrera to a Point (a 8" rebar); thence,
N. 89° 06' 53" E., 424.83 feet distance continuing along said Northernly line of Lands N/P of Dr. William Herrera to its Point of Intersection with the Westerly right-of-way line of U.S. Highway 285 (also known as Cerrillos Road) (a 8" pipe); thence,
S. 26° 28' 40" W., 1103.18 feet distance along the Westerly right-of-way line of U.S. Highway 285 (also known as Cerrillos Road) to a Point (a "T" Rail); thence,
S. 26° 32' 56" W., 541.85 feet distance continuing along the Westerly right-of-way line of U.S. Highway 285 (also known as Cerrillos Road) to a Point (a "T" Rail marked Sta. "1574-007"); thence,
S. 26° 43' 02" W., 337.93 feet distance continuing along the Westerly right-of-way line of U.S. Highway 285 (also known as Cerrillos Road) to a Point (a "T" Rail marked Sta. "114-47.27"); thence,
N. 63° 08' 33" W., 28.57 feet distance continuing along the Westerly right-of-way line of U.S. Highway 285 (also known as Cerrillos Road) to a Point (a "T" Rail marked Sta. "114-47.27"); thence,
S. 29° 55' 54" W., 92.46 feet distance continuing along the Westerly right-of-way line of U.S. Highway 285 (also known as Cerrillos Road) to a Point (a 8" rebar with cap marked "LS 52014"); thence,
N. 86° 00' 07" W., 1208.02 feet distance to a Point (a 5/8" rebar); thence,
S. 00° 10' 26" E., 907.51 feet distance to a Point (a 3/4" iron pipe); thence,
N. 89° 14' 58" W., 2662.04 feet distance to a Point (a 3/4" iron pipe); thence,
S. 89° 50' 66" W., 2630.77 feet distance along the Southerly line of said Tract 9, TIERRA CONTENTA (FUTURE PHASES) to its Southwest corner (a 1" iron pipe); thence,
N. 01° 19' 25" E., 510.21 feet distance along the Westerly line of said Tract 9, TIERRA CONTENTA (FUTURE PHASES) to its Point of Intersection with the Southerly line of the Pacheco Grant (a 2" iron pipe in stone); thence,
S. 53° 22' 26" W., 197.55 feet distance along the Southeasterly line of the Pacheco Grant to a Point (a 3/4" iron pipe); thence,
S. 47° 29' 59" W., 1579.71 feet distance continuing along the Southeasterly line of the Pacheco Grant to a point on the Southerly line of the Pacheco Grant (a 3/4" iron pipe in stone mound); thence,
S. 85° 51' 13" W., 663.20 feet distance along the Southerly line of the Pacheco Grant to a point (a found stone with punch point and marked "PG SW COR."), being 1) the Southwest corner of the Pacheco Grant, and 2) the most Southerly point of the parcel of land herein described; thence,
N. 00° 34' 08" W., 712.45 feet distance along the Westerly line of the Pacheco Grant to a point (a 3/4" iron pipe) being 1) the Southeasterly corner of Fractional Lot 7, Section 14, Township 16 North, Range 8 East, New Mexico Principal Meridian, and 2) the Northeast corner of Fractional Lot 8, Section 14, Township 16 North, Range 8 East, New Mexico Principal Meridian; thence,
S. 89° 02' 47" W., 2063.80 feet distance along the line common to the Southerly line of aforementioned Fractional Lot 7 and its Westerly projection, Section 14, Township 16 North, Range 8 East, New Mexico Principal Meridian to a point (a 3/4" iron pipe) being 1) a Southerly corner of the parcel of land herein described, 2) the Northwest corner of said Fractional Lot 8, Section 14, and 3) the Southwest corner of the N.E.W. of the S.W. of Section 14, Township 16 North, Range 8 East, New Mexico Principal Meridian; thence,
N. 00° 11' 40" E., 1322.42 feet distance along the Westerly line of the aforementioned N.E.W. of the S.W. of Section 14 to a point (a 1/2" rebar surmounted with a cap marked "LS 4078" in stone mound) on the Southerly line of the N.W.W. of said Section 14; thence,
S. 88° 29' 17" W., 1314.39 feet distance along the Southerly line of the N.W.W. of said Section 14 to the Quarter Corner common to Sections 14 and 15 (a found stone with punch point and marked "1/4") in mound of stones), Township 16 North, Range 8 East, New Mexico Principal Meridian; thence,
N. 00° 09' 01" E., 2446.83 feet distance along the line common to said Sections 14 and 15 to the Section Corner common to Sections 10, 11, 14 and 15 (a 3/4" iron pipe) being 1) Township 16 North, Range 8 East, New Mexico Principal Meridian; thence,
N. 89° 43' 17" E., 1317.07 feet distance along the line common to said Sections 11 and 14 to the Southwest corner of the S.E.W. of the S.W. of said Section 11 (a 1/2" rebar surmounted with a cap marked "LS 4078"); thence,
N. 00° 02' 19" W., 1306.90 feet distance along the Westerly line of said S.E.W. of the S.W. to the Northwest corner of said S.E.W. of the S.W. of Section 11 (a 3/4" iron pipe in fence line) and Northwest corner of the parcel of land herein described; thence,
S. 89° 49' 09" E., 2015.53 feet distance along the Northernly line of said S.E.W. of the S.W. Section 11, and along the Northernly line of Fractional Lot 4 Section 11 to its Point of Intersection with the projected Westerly boundary of the "Pacheco Grant" (a 5/8" rebar surmounted with a cap marked "LS 4078") continuing thence,
S. 80° 09' 09" E., 9.78 feet distance to a point on the Westerly line of Tract 4, TIERRA CONTENTA (FUTURE PHASES), (a 5/8" rebar surmounted with a cap marked "LS 4078"); thence,
N. 00° 28' 12" W., 168.11 feet distance along the Westerly line of said Tract 4, TIERRA CONTENTA (FUTURE PHASES) to a Point (a 3/4" iron pipe); thence,
N. 89° 34' 38" E., 8.00 feet distance continuing along the Westerly line of said Tract 4, TIERRA CONTENTA (FUTURE PHASES) to a Point (a 3/4" iron pipe); thence,
N. 00° 26' 34" W., 1839.65 feet distance continuing along the Westerly line of said Tract 4, TIERRA CONTENTA (FUTURE PHASES) to a point on the Southerly right-of-way line of New Mexico State Road No. 288 also known as Airport Road (a 3/4" iron pipe); thence,
N. 80° 29' 55" E., 92.17 feet distance along the Southerly right-of-way line of New Mexico State Road No. 288 (also known as Airport Road) to the PLACE OF BEGINNING of the parcel of land herein described and containing 64,234,087 square feet (1481.4988 acres) more or less.

STATE OF NEW MEXICO COUNTY OF SANTA FE COUNTY COUNTY CLERK I have certified that this is a true and correct copy of the original as the same appears in the records of this office. Witness my hand and seal of office at Santa Fe, New Mexico, this 12th day of June, 1985. [Signature]





DEVELOPMENT NOTES

- 1. MAINTENANCE OF IMPROVEMENTS WITHIN THE DEDICATED "TRACT 8A3-7B", AS SHOWN HEREON, IS THE RESPONSIBILITY OF THE CITY OF SANTA FE.
2. NO WALLS, FENCES, OR OTHER STRUCTURES WHICH WOULD IMPEDE DRAINAGE FLOW SHALL BE PLACED WITHIN FLOODWAY AREAS ZONE AE.
3. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
4. ALL FIRE DEPARTMENT ACCESS SHALL BE NO GREATER THAN A 10% GRADE THROUGHOUT AND MAINTAIN 20-FOOT MINIMUM WIDTH.
5. SHALL COMPLY WITH INTERNATIONAL FIRE CODE (IFC) 2009 EDITION.

I hereby certify that this instrument was filed for record on the 21 day of Oct A.D. 2011 at 3:53 o'clock P.M. and was duly recorded in Book 138 Page 1445 of the records of Santa Fe County.



Witness my Hand and Seal of Office VALERIE ESPINOZA County Clerk, Santa Fe County, NM

Signature of Valerie Espinoza

CITY OF SANTA FE REVIEW

City Planner: Jennifer... 10/12/11
City Engineer for Land Use: Kristina... 10/12/11
WASTE WATER: A. Holland P.E. 9-15-11

ACCEPTANCE OF DEDICATION BY THE CITY OF SANTA FE

APPROVED BY THE CITY OF SANTA FE SUMMARY COMMITTEE AT THEIR MEETING OF Sept. 1 2011, AS CASE No. 2011-72
Tara... 10/21/11
Angie... 10/21/11

THE UNDERSIGNED, ON BEHALF OF THE CITY OF SANTA FE DOES HEREBY ACCEPT THE DEDICATION OF "TRACT 8A3-7B", AS PLATTED HEREON.

MR. DAVID COSS, MAYOR, CITY OF SANTA FE DATE: 10/17/11

ATTEST: Yolanda Y. Vigil City Clerk, City of Santa Fe DATE: 10/17/11

Table with 2 columns: REVISION, DATE BY. Includes project info for Santa Fe Surveying Company, Project No. 16081314-TC P2BD, Drafted by: JBS, Date: 12-22-10.

DEDICATION STATEMENT

KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED OWNER OF THESE LANDS, LYING WITHIN THE CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO, COMPRISED OF "TRACT 8A3-7" OF THE TIERRA CONTENTA SUBDIVISION PHASE 2B, REMAINING UNDEVELOPED LANDS, SITUATE WITHIN SECTION 14 AND SECTION 13 OF TOWNSHIP 16 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CONTAINING 222.1570 ACRES MORE OR LESS, DOES HEREBY DEDICATE "TRACT 8A3-7B", AS PLATTED HEREON, TO THE CITY OF SANTA FE FOR PUBLIC USE.

SAID "TRACT 8A3-7B" IS SUBJECT TO FUTURE DRAINAGE EASEMENTS, UTILITY EASEMENTS, ADDITIONAL RIGHT-OF-WAYS FOR ROADS, AND SLOPE EASEMENTS FOR ROAD CONSTRUCTION, AS MAY BE DESIRED BY THE CITY OF SANTA FE, OR BY THE TIERRA CONTENTA CORPORATION AND APPROVED BY THE CITY OF SANTA FE, FOR THE DEVELOPMENT OF LAND WITHIN THE TIERRA CONTENTA SUBDIVISION.

THE UNDERSIGNED OWNER DOES HEREBY ATTEST THAT THIS DEDICATION AND ALL THAT APPEARS ON THIS PLAT IS IN ACCORDANCE WITH THEIR WISHES AND DESIRES.

THE LANDS PLATTED HEREON LIE WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO.

BY: Ouida MacGregor, President, Board of Directors, Tierra Contenta Corporation

STATE OF NEW MEXICO, COUNTY OF SANTA FE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF September, 2011, BY OUIDA MACGREGOR, VICE-PRESIDENT, BOARD OF DIRECTORS, TIERRA CONTENTA CORPORATION.

Margaret L. Vasquez, Notary Public

ATTEST: James S. Hicks, Executive Director, Tierra Contenta Corporation

STATE OF NEW MEXICO, COUNTY OF SANTA FE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14th DAY OF September, 2011, BY JAMES S. HICKS, THE EXECUTIVE DIRECTOR OF TIERRA CONTENTA CORPORATION.

Margaret L. Vasquez, Notary Public

NOTES, PLAT AND DEED REFERENCES

- 1) REFER TO PLAT OF SURVEY ENTITLED "TIERRA CONTENTA SUBDIVISION, PHASE 2B", PREPARED BY MITCHEL K. NOONAN, NMPLS, No. 6998, ON DECEMBER 3, 2004, HAVING PROJECT NO. C-1281P2B AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK ON JANUARY 25, 2005, IN BOOK 579 ON PAGES 005-008.
2) REFER TO PLAT OF SURVEY ENTITLED "TIERRA CONTENTA SUBDIVISION, PHASE 2A, UNIT 2", PREPARED BY MITCHEL K. NOONAN, NMPLS, No. 6998, ON JULY 18, 2002, AMENDED ON JANUARY 19, 2004 HAVING PROJECT NO. C-1281-P2A2 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK ON SEPTEMBER 26, 2003, IN BOOK 543 ON PAGES 001-003.
3) REFER TO PLAT OF SURVEY ENTITLED "ANNEXATION PLAT FOR TRACTS 1 THROUGH 9 TIERRA CONTENTA, WOLGAMOD SUBDIVISION AND CONTIGUOUS LANDS (EAST)", PREPARED BY FRED SANCHEZ, NMPLS No. 4079 ON JUNE 24, 1995 AND RECORDED IN THE SANTA FE COUNTY CLERK'S OFFICE IN BOOK 162, PAGES 006-009.
4) REFER TO WARRANTY DEED BY AND BETWEEN TIERRA CONTENTA CORPORATION (GRANTOR) AND COMMERCIAL CENTER AT 599 (GRANTEE), RECORDED IN THE OFFICE OF SANTA FE COUNTY CLERK, BEING INSTRUMENT NUMBER 1567592.
5) BEARINGS SHOWN ARE GRID AND ARE BASED UPON THE CITY OF SANTA FE CONTROL NETWORK AND OTHER MONUMENTATION SET BY BOHANNAN-HUSTON, INC., IN APRIL OF 1996.
6) REFER TO WARRANTY DEED BY AND BETWEEN CITY OF SANTA FE (GRANTOR) AND TIERRA CONTENTA CORPORATION (GRANTEE), RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK, IN BOOK 1122, PAGE 789.

GRANT OF EASEMENT FOR EFFLUENT REUSE LINE

KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED OWNERS OF THE LANDS PLATTED HEREON, SITUATE WITHIN SECTION 14 AND SECTION 13 OF TOWNSHIP 16 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, LYING WITHIN THE CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO, DO HEREBY GRANT TO THE CITY OF SANTA FE AND TO THEIR SUCCESSORS IN INTEREST AND ASSIGNS, AN EASEMENT FOR AN EFFLUENT REUSE LINE, AS SHOWN HEREON.

SAID EASEMENT IS GRANTED FOR THE PURPOSE OF INSTALLING, OPERATING AND MAINTAINING AN EFFLUENT REUSE LINE AND APPURTENANCE STRUCTURES THERETO.

SAID EASEMENT CARRIES WITH IT THE RIGHT OF INGRESS AND EGRESS (BOTH SURFACE AND SUBSURFACE) FOR CREWS AND MACHINERY AND THE RIGHT TO TRIM OR REMOVE INTERFERING VEGETATION OR OTHER OBSTRUCTIONS BY AGENCIES RESPONSIBLE FOR SAID AN EFFLUENT REUSE LINE.

THE UNDERSIGNED OWNERS DO FURTHER ATTEST THAT THIS GRANT OF EASEMENT AND ALL THAT APPEARS ON THIS PLAT IS MADE WITH THEIR FREE CONSENT AND IS IN ACCORDANCE WITH THEIR WISHES AND DESIRES.

BY: Ouida MacGregor, President, Board of Directors, Tierra Contenta Corporation

STATE OF NEW MEXICO, COUNTY OF SANTA FE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF September, 2011, BY OUIDA MACGREGOR, VICE-PRESIDENT, BOARD OF DIRECTORS, TIERRA CONTENTA CORPORATION.

Margaret L. Vasquez, Notary Public

ATTEST: James S. Hicks, Executive Director, Tierra Contenta Corporation

STATE OF NEW MEXICO, COUNTY OF SANTA FE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14th DAY OF September, 2011, BY JAMES S. HICKS, THE EXECUTIVE DIRECTOR OF TIERRA CONTENTA CORPORATION.

Margaret L. Vasquez, Notary Public

BY: David Coss, Mayor, City of Santa Fe DATE: 10-17-11

ATTEST: Yolanda Y. Vigil City Clerk, City of Santa Fe DATE: 10-17-11

FLOOD ZONE NOTE

THE LANDS PLATTED HEREON LIE PARTIALLY WITHIN "OTHER AREAS", "ZONE X", "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"; AND PARTIALLY WITHIN "OTHER FLOOD AREAS", "ZONE X", "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM THE 1% ANNUAL CHANCE FLOOD..."

TAKEN FROM F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBERS: 35049C0506D, 35049C0502D, ALL EFFECTIVE JUNE 17, 2008, AND IS SHOWN HEREON. FURTHER, "ACCORDING TO THE FEBRUARY 17th, 2011 PRELIMINARY FIRM PANELS 35049C0506E AND 35049C0502E, THE FLOOD PLAIN STATUS IS UNCHANGED FROM THE CURRENT EFFECTIVE FIRM", AS PER TECHNICAL REVIEW DIVISION, CITY OF SANTA FE.

THE PURPOSE OF THIS PLAT IS TO CREATE TWO (2) PARCELS OF LAND FROM TRACT 8A3-7 AND TO DEDICATE ONE (1) PARCEL TO THE CITY OF SANTA FE.

GRANT OF EASEMENTS FOR INGRESS, EGRESS AND UTILITIES

KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED OWNER OF THE LANDS PLATTED HEREON, LYING WITHIN THE CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO, COMPRISED OF "TRACT 8A3-7" OF THE TIERRA CONTENTA SUBDIVISION PHASE 2B, "REMAINING UNDEVELOPED LANDS", SITUATE WITHIN SECTION 14 AND SECTION 13 OF TOWNSHIP 16 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CONTAINING 222.1570 ACRES MORE OR LESS, DOES HEREBY GRANT TO THE CITY OF SANTA FE, THEIR SUCCESSORS IN INTEREST AND ASSIGNS THE PUBLIC, INGRESS & EGRESS AND PUBLIC UTILITY EASEMENTS, AS SHOWN HEREON.

SAID PUBLIC, INGRESS & EGRESS EASEMENTS ARE GRANTED FOR THE PURPOSE OF FREE INGRESS AND EGRESS, TOGETHER WITH THE RIGHT TO CONSTRUCT AND MAINTAIN A ROADWAY AND APPURTENANCES THERETO, AT THEIR OWN DESIRE AND UNDER NO OBLIGATION OR CONSTRAINTS.

SAID PUBLIC UTILITY EASEMENTS ARE GRANTED FOR THE PURPOSE OF INSTALLING OPERATING AND MAINTAINING UTILITIES, SUCH AS ELECTRIC POWER, CABLE T.V., TELEPHONE, WATER AND SANITARY & STORM SEWER LINES, SAID PUBLIC UTILITY EASEMENTS CARRY WITH THEM THE RIGHT OF INGRESS AND EGRESS (BOTH SURFACE AND SUBSURFACE) FOR CREWS AND MACHINERY AND THE RIGHT TO TRIM OR REMOVE INTERFERING VEGETATION OR OTHER OBSTRUCTIONS BY AGENCIES RESPONSIBLE FOR SAID UTILITIES.

FURTHER, IT IS UNDERSTOOD THAT THESE PUBLIC, INGRESS & EGRESS EASEMENTS, WITHIN TRACT 8A3-7 AND 8A3-7C, ARE BEING GRANTED ONLY UNTIL AN ALTERNATIVE RIGHT-OF-WAY IS DEDICATED AND THE ROADWAY WITHIN IS CONSTRUCTED AND PROVIDES ALTERNATE ACCESS, TO THE SATISFACTION OF THE CITY OF SANTA FE. AFTER SUCH DEDICATION, THESE PUBLIC, INGRESS & EGRESS EASEMENTS SHALL FOREVER BECOME EXTINGUISHED AND VACATED.

FURTHER, IT IS UNDERSTOOD THAT THESE PUBLIC UTILITY EASEMENTS, WITHIN TRACT 8A3-7A AND 8A3-7C, ARE BEING GRANTED ONLY UNTIL AN ALTERNATIVE EASEMENT IS GRANTED AND THE UTILITY LINES AND STRUCTURES WITHIN SAID EASEMENT ARE CONSTRUCTED AND PROVIDE ALTERNATE UTILITY SERVICES, TO THE SATISFACTION OF THE CITY OF SANTA FE. AFTER SUCH GRANT OF EASEMENT AND INSTALLATION OF UTILITY SERVICES, THESE PUBLIC UTILITY EASEMENTS SHALL FOREVER BECOME EXTINGUISHED AND VACATED.

THE UNDERSIGNED OWNER DOES FURTHER ATTEST THAT THIS GRANT OF EASEMENTS AND ALL THAT APPEARS ON THIS PLAT IS MADE WITH THEIR FREE CONSENT AND IS IN ACCORDANCE WITH THEIR WISHES AND DESIRES.

BY: Ouida MacGregor, President, Board of Directors, Tierra Contenta Corporation

STATE OF NEW MEXICO, COUNTY OF SANTA FE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15th DAY OF September, 2011, BY OUIDA MACGREGOR, VICE-PRESIDENT, BOARD OF DIRECTORS, TIERRA CONTENTA CORPORATION.

Margaret L. Vasquez, Notary Public

ATTEST: James S. Hicks, Executive Director, Tierra Contenta Corporation

STATE OF NEW MEXICO, COUNTY OF SANTA FE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 14th DAY OF September, 2011, BY JAMES S. HICKS, THE EXECUTIVE DIRECTOR OF TIERRA CONTENTA CORPORATION.

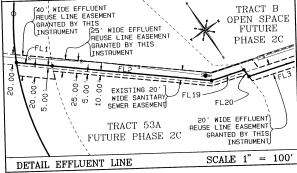
Margaret L. Vasquez, Notary Public

DEDICATION PLAT FOR TRACT 8A3-7B WITHIN THE TIERRA CONTENTA SUBDIVISION PHASE 2B

COMPRISED OF A PORTION OF "TRACT 8A3-7", THE REMAINING UNDEVELOPED LANDS OF THE TIERRA CONTENTA SUBDIVISION WITHIN SECTION 14 AND SECTION 13 OF TOWNSHIP 16 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN AND WITHIN THE CITY AND COUNTY OF SANTA FE, NEW MEXICO

INGRESS, EGRESS AND UTILITY EASEMENT LINE AND CURVE DATA CHART

No.	BEARING/CHORD	ARC/DIST	CHORD	RADIUS	DELTA
UL1	S37°39'41"E	183.84	183.84	659.55	18°58'17"
UL2	S37°39'41"E	200.34	189.43	659.55	18°58'17"
UL3	S42°56'07"W	69.78	143.77	487.03	41°20'07"
UL4	S48°52'27"W	291.34	343.77	487.03	41°20'07"
UL5	S27°52'24"N	21.81	10.47	182.00	6°47'15"
UL6	S27°46'51"W	10.47	10.47	182.00	6°47'15"
UL7	S14°04'23"E	183.20	183.20	659.55	28°10'33"
UL8	S05°50'55"E	47.07	74.18	242.00	47°33'04"
UL9	S21°47'27"E	147.10	147.10	518.75	36°17'59"
UL10	N43°53'59"W	147.10	147.10	518.75	36°17'59"
UL11	N23°01'07"W	260.83	260.83	913.00	46°27'36"
UL12	N43°53'59"W	230.01	230.01	814.00	46°27'36"
UL13	S20°41'23"E	294.60	288.17	404.19	41°46'08"
UL14	S34°44'24"W	20.61	20.58	126.00	9°52'01"
UL15	S34°44'24"W	26.45	26.41	174.00	9°52'01"
UL16	S30°53'24"W	63.40	145.72	117.00	77°38'45"
UL17	S30°53'24"W	150.89	145.72	117.00	77°38'45"
UL18	S47°36'21"E	38.71	38.71	134.00	9°23'00"
UL19	S25°11'23"E	38.45	28.41	174.00	9°23'00"
UL20	S25°11'23"E	40.60	20.58	126.00	9°52'00"
UL21	S47°36'21"E	14.77	14.77	51.00	9°23'00"
UL22	S23°44'20"E	270.65	270.64	934.00	47°46'02"
UL23	S00°11'41"E	498.02	498.02	1710.00	90°00'00"



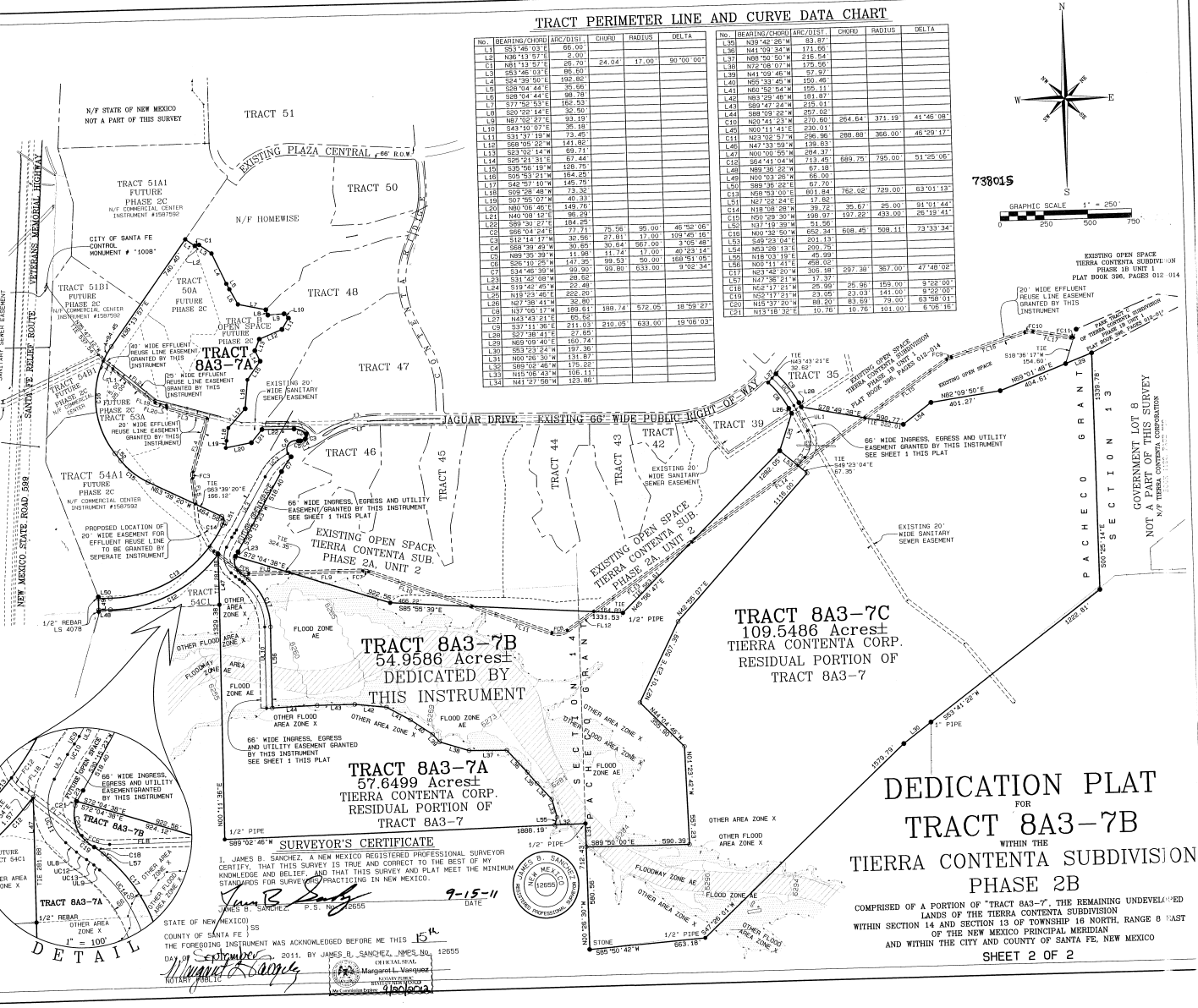
SCALE 1" = 100'

EFFLUENT REUSE LINE EASEMENT LINE AND CURVE DATA CHART

LINE	BEARING/CHORD	ARC/DIST	CHORD	RADIUS	DELTA
FL1	S09°14'50"E	69.78	69.78	242.00	15°12'53"
FL2	S09°14'50"E	139.57	139.57	242.00	15°12'53"
FL3	S73°48'20"E	238.03	238.03	843.00	21°19'59"
FL4	S15°27'31"E	113.03	113.03	394.00	5°15'23"
FL5	S05°45'54"W	37.23	37.02	100.00	21°19'59"
FL6	S04°15'05"E	146.05	146.05	500.00	15°12'53"
FL7	S15°27'31"E	37.23	36.82	100.00	21°19'59"
FL8	S08°59'58"E	118.87	118.87	404.19	15°12'53"
FL9	S28°07'56"E	43.04	43.37	100.00	24°50'50"
FL10	N01°25'54"W	145.42	145.42	500.00	38°54'06"
FL11	S70°58'57"E	56.89	56.89	193.00	38°54'06"
FL12	N82°00'00"E	417.13	417.13	1428.00	90°00'00"
FL13	S80°39'34"E	34.76	34.58	100.00	19°54'53"
FL14	S70°58'57"E	620.10	620.10	2100.00	15°12'53"
FL15	S70°58'57"E	620.10	620.10	2100.00	15°12'53"
FL16	N85°16'31"E	186.89	186.89	643.00	53°38'22"
FL17	N85°16'31"E	373.78	373.78	1286.00	53°38'22"
FL18	N05°16'31"E	124.93	124.93	416.50	15°12'53"
FL19	N05°16'31"E	373.78	373.78	1286.00	53°38'22"
FL20	N05°16'31"E	26.93	26.83	100.00	15°34'29"
FL21	N22°51'00"W	441.85	441.85	1506.00	27°28'11"
FL22	N02°30'24"E	22.97	22.97	78.00	27°28'11"
FL23	S79°39'49"E	219.54	19.93	100.00	9°04'43"
FL24	S84°12'11"E	15.85	15.85	53.00	9°04'43"
FL25	S79°39'49"E	219.54	19.93	100.00	9°04'43"
FL26	S84°12'11"E	15.85	15.85	53.00	9°04'43"
FL27	S84°12'11"E	15.85	15.85	53.00	9°04'43"
FL28	S84°12'11"E	15.85	15.85	53.00	9°04'43"
FL29	S03°44'41"E	15.96	15.96	53.00	9°04'43"

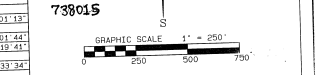
- LEGEND**
- SET 1/2" REBAR WITH CAP STAMPED "J.B. SANCHEZ - NMPS 12695"
 - POINT FOUND 1/2" REBAR WITH CAP STAMPED "M. NODIAN - NMPS No. 6998"
 - ◆ UNLESS OTHERWISE NOTED
 - ◆ CALCULATED POINT NOT FOUND OR SET
 - ◆ SANTA FE CONTROL MONUMENT
 - FH2 FIRE HYDRANT
 - WV WATER VALVE
 - MH MANHOLE
 - LP SR STREET LIGHT
 - EDGE OF EASEMENT
 - ADJOINER PROPERTY LINE
 - EDGE OF ASPHALT
 - EXISTING ICC TRAIL SYSTEM
 - EXISTING FENCE LINE
 - SANITARY SEWER LINE
 - OTHER AREA ZONE X

SANTA FE SURVEYING COMPANY
 P.O. BOX 2919, SANTA FE, N.M. 87504 | 1210 LUISA ST, SUITE B
 PHONE (505) 992-3211, MOBILE (505) 668-2955, FAX (505) 992-8065
PROJECT NO.: 160B1314-TC P2BD
 DRAFTED BY: JBS | DATE: 12-26-10
 REVISION: | DATE: | BY: |



TRACT PERIMETER LINE AND CURVE DATA CHART

No.	BEARING/CHORD	ARC/DIST	CHORD	RADIUS	DELTA
LT1	S53°46'03"E	66.00	66.00	242.00	15°12'53"
LT2	N85°16'31"E	186.89	186.89	643.00	53°38'22"
LT3	N85°16'31"E	373.78	373.78	1286.00	53°38'22"
LT4	S24°50'44"E	69.78	69.78	242.00	15°12'53"
LT5	S24°50'44"E	139.57	139.57	242.00	15°12'53"
LT6	S42°56'07"W	69.78	143.77	487.03	41°20'07"
LT7	S48°52'27"W	291.34	343.77	487.03	41°20'07"
LT8	S27°52'24"N	21.81	10.47	182.00	6°47'15"
LT9	S27°46'51"W	10.47	10.47	182.00	6°47'15"
LT10	S14°04'23"E	183.20	183.20	659.55	28°10'33"
LT11	S05°50'55"E	47.07	74.18	242.00	47°33'04"
LT12	S21°47'27"E	147.10	147.10	518.75	36°17'59"
LT13	N43°53'59"W	147.10	147.10	518.75	36°17'59"
LT14	N23°01'07"W	260.83	260.83	913.00	46°27'36"
LT15	N43°53'59"W	230.01	230.01	814.00	46°27'36"
LT16	S20°41'23"E	294.60	288.17	404.19	41°46'08"
LT17	S34°44'24"W	20.61	20.58	126.00	9°52'01"
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LT24	S47°36'21"E	14.77	14.77	51.00	9°23'00"
LT25	S23°44'20"E	270.65	270.64	934.00	47°46'02"
LT26	S00°11'41"E	498.02	498.02	1710.00	90°00'00"



TRACT 8A3-7C
 109.5486 Acres
 TIERRA CONTENTA CORP.
 RESIDUAL PORTION OF
 TRACT 8A3-7

TRACT 8A3-7B
 54.9586 Acres
 DEDICATED BY
 THIS INSTRUMENT

TRACT 8A3-7A
 57.6499 Acres
 TIERRA CONTENTA CORP.
 RESIDUAL PORTION OF
 TRACT 8A3-7

SURVEYOR'S CERTIFICATE
 I, JAMES B. SANCHEZ, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR
 CERTIFY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY
 KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM
 STANDARDS FOR SURVEYS PRACTICING IN NEW MEXICO.
 JAMES B. SANCHEZ, P.S. 17555
 DATE: 9-15-11
 MARGARET L. VAQUERO, J.B.S. 12655

DEDICATION PLAT
 FOR
TRACT 8A3-7B
 WITHIN THE
TIERRA CONTENTA SUBDIVISION
 PHASE 2B

COMPRISED OF A PORTION OF "TRACT 8A3-7", THE REMAINING UNDEVELOPED
 LANDS OF THE TIERRA CONTENTA SUBDIVISION
 14 AND SECTION 13 OF TOWNSHIP 16 NORTH, RANGE 8 EAST
 OF THE NEW MEXICO PRINCIPAL MERIDIAN
 AND WITHIN THE CITY AND COUNTY OF SANTA FE, NEW MEXICO
 SHEET 2 OF 2

**August 19, 2021
Planning Commission
Case #2020-2318
Tierra Contenta Master Plan
Amendment #1 for Phase 3A**

EXHIBIT E

Applicant's Design Standards Overview

Tierra Contenta

Phase 3A Design Standards Overview

*Submitted with Tierra Contenta Master Plan Amendment #1 Application
June 21, 2021*

Introduction

Phase 3A of Tierra Contenta includes only lands owned by the Tierra Contenta Corporation (TCC) within the final phase of Tierra Contenta, totaling 222.84 acres. The remainder of land in Phase 3 is owned by the New Mexico School for the Deaf (NMSD), who has no plans to develop Phase 3B at this time. The amendment to the Master Plan for Phase 3A is intended to respond to market conditions and to provide more housing diversity, improve pedestrian connectivity, and implement design changes to address lessons learned from previous phases. This overview of the proposed Phase 3A Design Standards is presented with the application for Master Plan Amendment #1 and describes the draft conceptual framework and form-based, typological approach to be taken in Phase 3A. The final document will incorporate input from the City and the TCC Board and will be submitted with the Master Plat application for Phase 3A.

The following table summarizes the proposed land use entitlements for Phase 3A, as requested in Master Plan Amendment #1, to which the Phase 3A Design Standards will apply:

Mixed Residential	118.95 acres	1,133 units
Mixed-Use	3.43 acres	42 units
School	9.37 acres	
Open Space	91.09 acres	
<i>Total</i>	<i>222.84 acres</i>	<i>1,175 units (1,500 maximum)</i>

Conceptual Framework

In response to City and neighborhood feedback on previous phases, TCC is taking a fresh approach to the design standards for Phase 3A. All residential tracts are designated as “Mixed Residential” to emphasize that a mixture of housing types is permissible and encouraged. An overall increase in density / maximum residential units is proposed to encourage and facilitate the creation of a diversity of housing types. A minimum number of units are assigned per development tract, and a “density bank” will be established to provide incentives for inclusion of “missing middle” housing types and innovative sustainability measures as each tract develops. Rules will be established to determine how density bonuses are awarded based on availability of entitled units and the development program proposed. Form-based standards define Roadway Typology, Building Typology, and Open Space/Trail Typology. This approach is intended to create a flexible framework that will define how buildings, open spaces, and streetscapes are configured to shape and activate the public realm, create a desirable and livable neighborhood, meet affordability goals, and realize the values and intent of Tierra Contenta.

Where appropriate given the change in conceptual framework for Phase 3A, relevant components of the design standards from previous Tierra Contenta phases will be incorporated.

Design Review Process

The Phase 3A Design Standards along with the Phase 3A Master Plat will form the basis to implement the Amended Tierra Contenta Master Plan. Development of the tracts created by the Phase 3A Master Plat will be contingent on approval of a Subdivision Plat and/or a Development Plan, if applicable, for each tract that follows the Tierra Contenta Master Plan, the Phase 3A Design Standards, and other relevant City policies and regulations. The Design Standards are structured to give users and reviewers a format, intent, and specific direction for development review and implementation.

City staff and planning officials retain jurisdiction to review, approve, or disapprove Development Plans and Subdivision Plats within Tierra Contenta. However, the Tierra Contenta Annexation Agreement states that:

“The City agrees to approve rezoning, preliminary development plans and preliminary subdivision plats for individual tracts within the Property, provided such rezoning, plats and plans conform to the Master Plan and Phasing Plan, the SFCC 1987 as amended, and the provisions of this Agreement. The City agrees to approve final development plans and final subdivision plats that substantially conform to previously approved preliminary plats and plans.”

The Phase 3A Master Plat and Design Standards shall be consistent with the Master Plan. Subsequently, the individual Subdivision Plats and Development Plans for the tracts shall be consistent with the approved Phase 3A Master Plat and Design Standards. Phase 3A Subdivision Plats and Development Plans shall be reviewed and approved by the Planning Commission for individual development tracts. Prior to City review and approval, each Subdivision Plat and Development Plan is subject to review by the TCC Architectural Review Committee for compliance with the Master Plan and with the adopted Phase 3A Master Plat and Design Standards. Except as specifically provided in the Tierra Contenta Master Plan, Annexation Agreement or phase-specific Design Standards, development within Tierra Contenta must comply with all other property development regulations adopted by the City of Santa Fe.

Roadway Typology

Phase 3A will be served via the extension of Paseo del Sol from the current terminus of Paseo del Sol West just south of Jaguar Drive east to the Herrera Drive/Paseo del Sol East roundabout, completing this important roadway connection. In addition, an internal Community Loop Road will complete the Phase 3A backbone roadway infrastructure, providing access to the development tracts. The easternmost leg of Paseo del Sol and a portion of the Loop Road cross NMSD property, requisite right-of-way dedications in accordance with the terms of the Tierra Contenta Annexation Agreement are in negotiation.

The Amended Master Plan identifies potential future roadway connections to adjacent lands, including NMSD property and the Mutt Nelson neighborhood to the south. As the

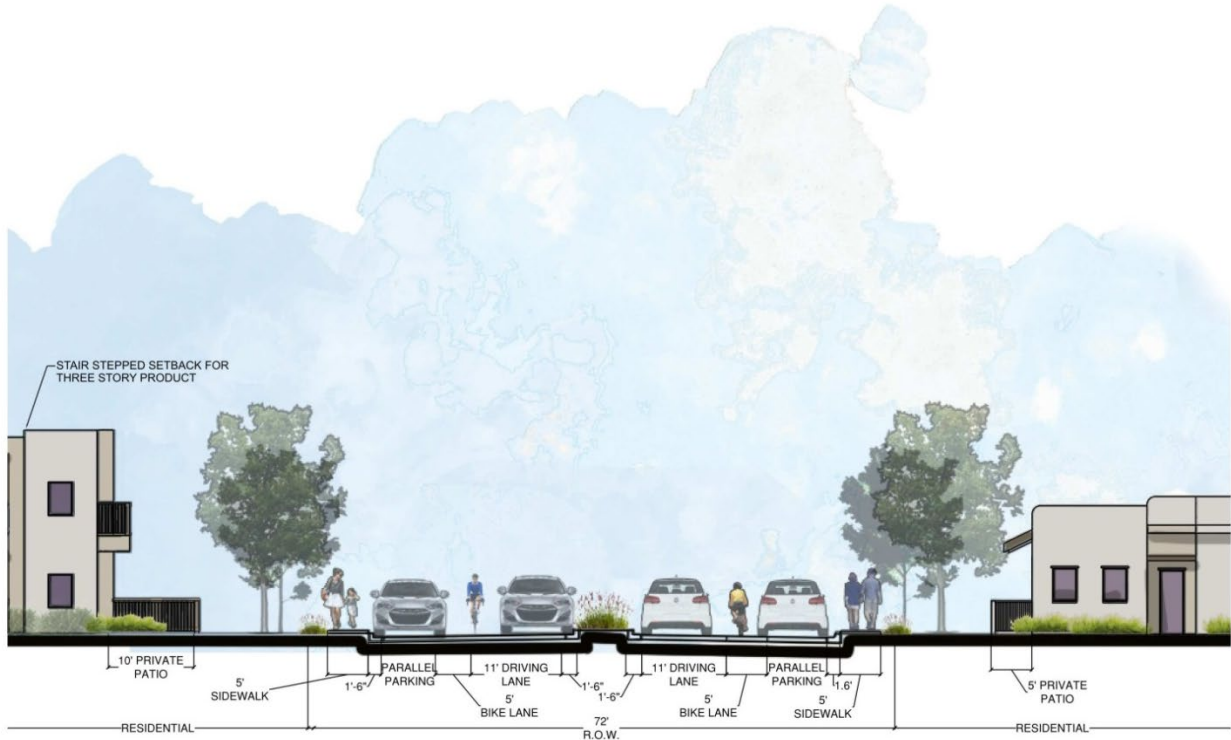
individual tracts are developed, road stub-outs and/or right-of-way dedications will be required where appropriate to ensure adequate roadway connectivity in the larger area. In addition, connectivity among the development tracts is a key component of the design intent.

In an effort to provide improved pedestrian amenities and connectivity, the Roadway Typology requires sidewalks on both sides of each of the three street types. Furthermore, in order to address parking shortages experienced in previous phases, on-street parking is proposed on segments of Paseo del Sol and on one side of the Community Loop Road. Local Streets constructed within the development tracts will also need to include on-street parking. In the event on-street parking is not feasible due to driveway proximity, dedicated guest parking areas will be required.

Roadway standards are illustrated below by road sections, and their relationships to the buildings are defined within the Building Typology as frontage specifications.

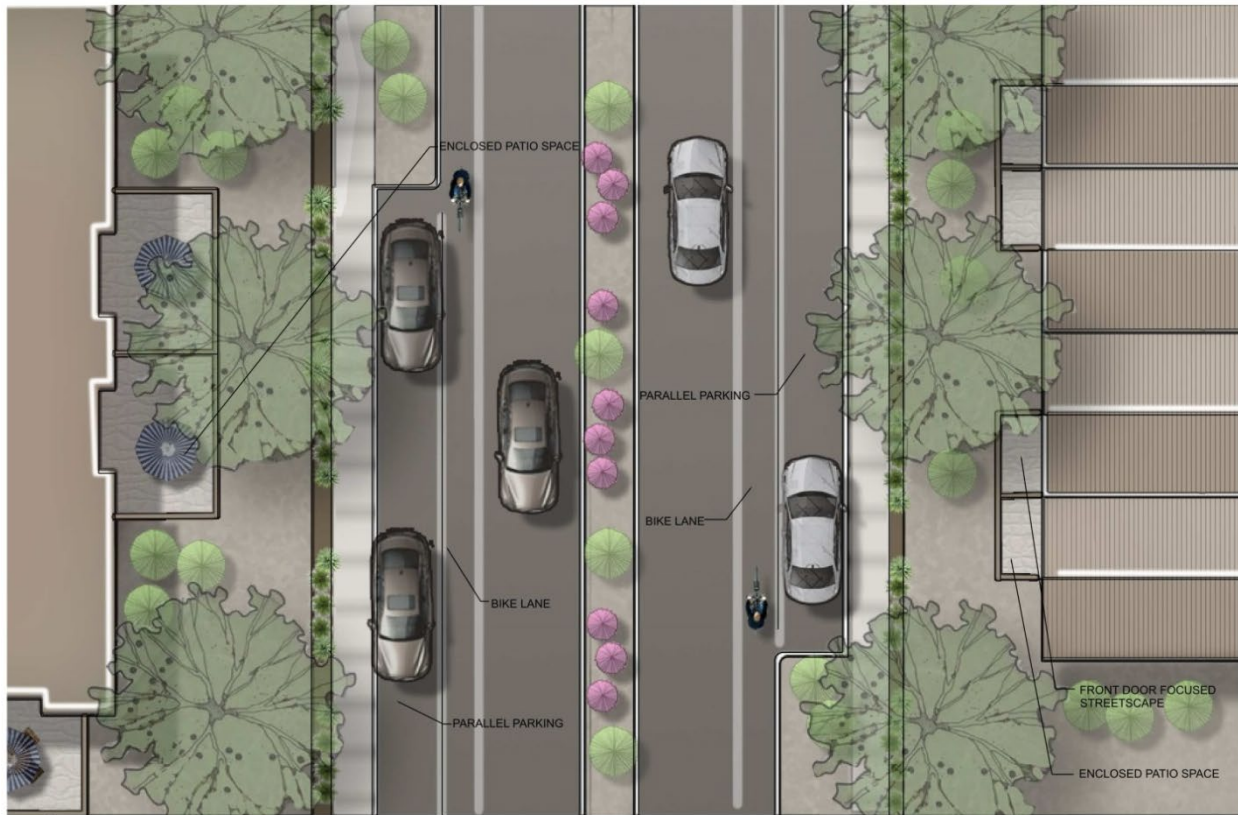
Paseo del Sol

Paseo del Sol is the primary through access connecting Phase 3 to previous phases of Tierra Contenta and to the City's larger roadway network. This roadway is not, however, intended to be a high-speed, multi-lane thoroughfare and is instead designed with traffic calming, pedestrian orientation, and activation of the streetscape as top priorities. No rear-facing building relationships are permissible, and no single-access or shared driveways are allowed from Paseo del Sol, except for the purposes of accessing rear parking for multi-unit residential developments or commercial/mixed use buildings. Parallel parking is included on both sides of the street, as are sidewalks and bike lanes, and a landscaped median will aid in traffic calming and enhancement of the driver and pedestrian experience. Street trees and plantings are required, and frontage relationships of buildings are defined in the Building Typology to ensure that Paseo del Sol is an attractive, inviting streetscape. A cross section and plan view of Paseo del Sol are provided below, for illustration, and more detailed roadway standards will be provided in the final Phase 3A Design Standards document.



PASEO DEL SOL STREET CROSS - SECTION: 72' RIGHT OF WAY

Scale: 1/2" = 1'



PASEO DEL SOL PLAN: 72' RIGHT OF WAY

Scale: 1/2" = 1'

Community Loop Road

The Community Loop Road provides access to the Phase 3A development tracts from Paseo del Sol. As such, it is a critical piece of the spine infrastructure for Phase 3A. The Community Loop Road is envisioned as a low-speed collector with on-street parking on one side and sidewalks on both sides, along with requisite street trees and plantings. As with Paseo del Sol, no rear facing building relationships are permissible, but driveways are allowed. A cross section and plan view of the Community Loop Road are provided below, for illustration, and more detailed roadway standards will be provided in the final Phase 3A Design Standards document.

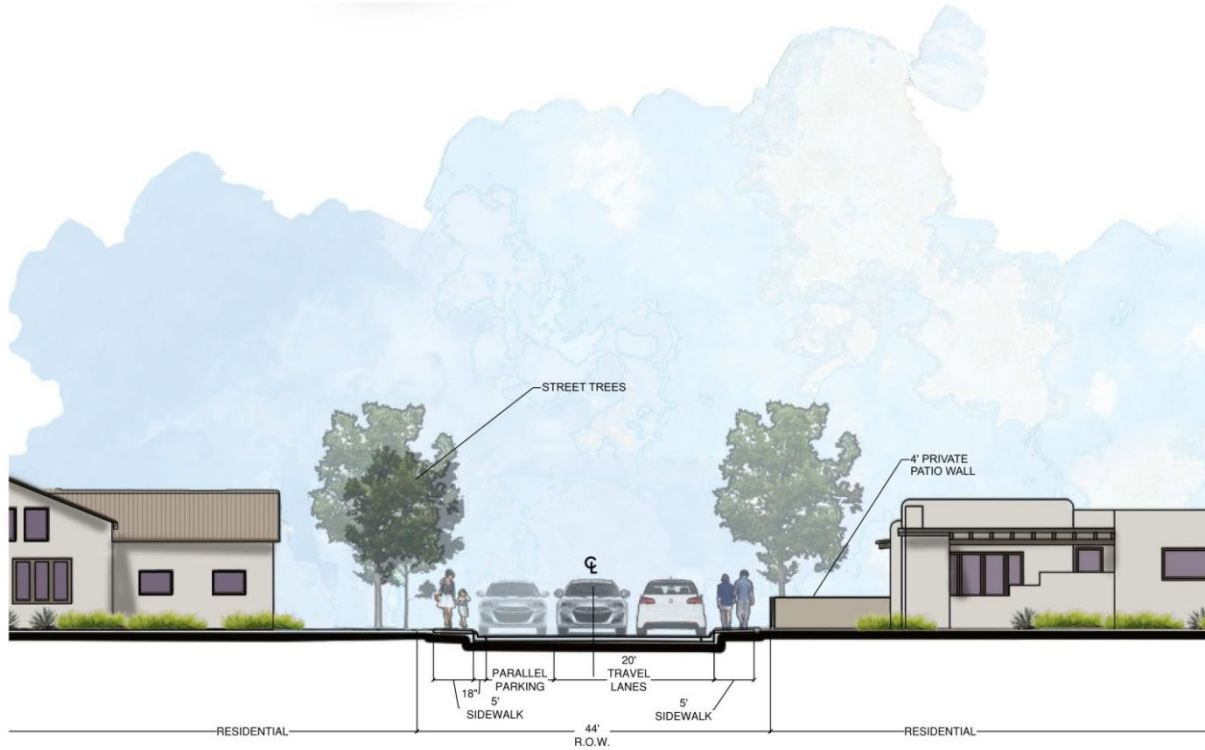


COMMUNITY LOOP CROSS - SECTION: 53' RIGHT OF WAY
 Scale: 1/2" = 1'

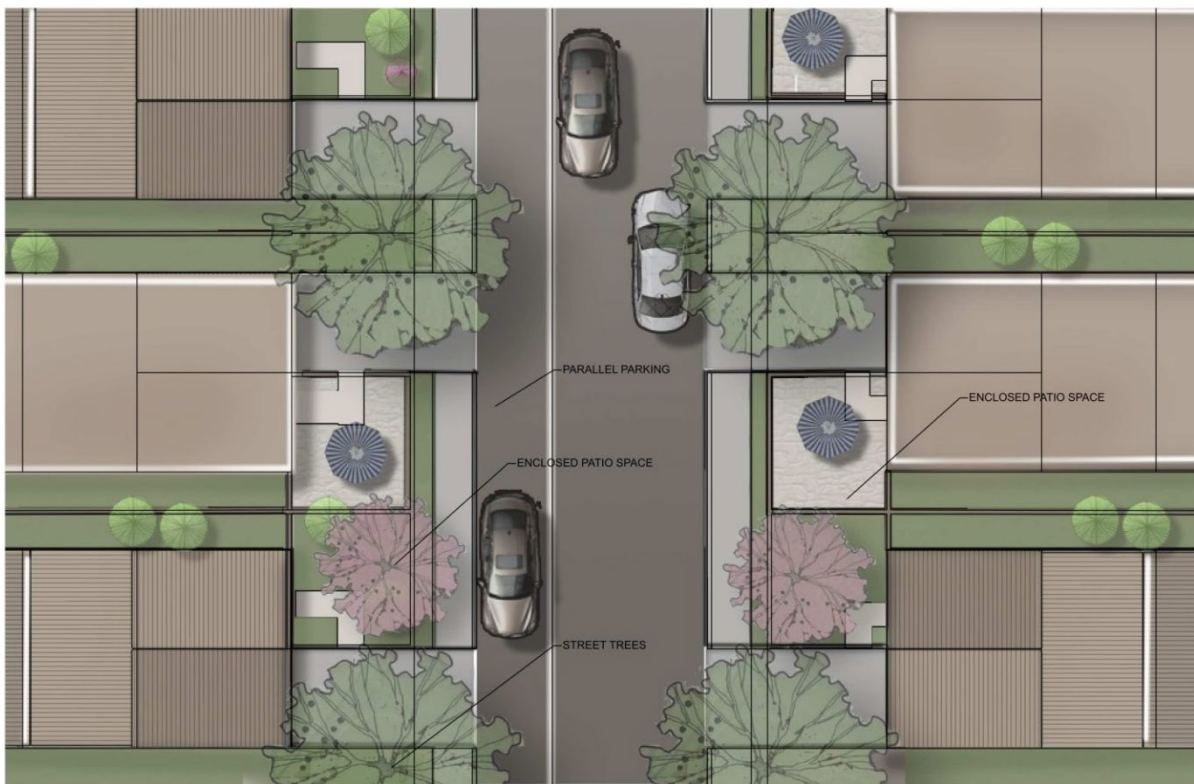


Local Streets

The configuration of local streets will be determined as tracts are developed, depending on the program proposed by the developer of that tract. Sidewalks, street trees, and plantings are required on both sides of the Local Streets, and they will also need to include on-street parking on at least one side. In the event on-street parking is not feasible due to driveway proximity, dedicated guest parking areas will be required. A conceptual cross section and plan view of a Local Street are provided below, for illustration, and more detailed roadway standards will be provided in the final Phase 3A Design Standards document.



LOCAL STREET CROSS - SECTION: 44' RIGHT OF WAY
Scale: 1/2" = 1'



LOCAL STREET PLAN: 44' RIGHT OF WAY
Scale: 1/2" = 1'

Building Typology

The Phase 3A Building Typology identifies typical and appropriate building forms to encourage diversity of housing types, including those referred to as the “missing middle” housing types, as well as activation of the streetscape. Each Building Type includes specifications for access and entry, parking, frontage, placement and massing of building form. Building types will be accompanied by simple visual renderings or photos, schematic plans and sections showing building footprints and frontage relationships. All residential building types are permissible in all Mixed Residential areas. No rear-facing building orientations are permissible for any Building Type on any Roadway Type. Building Types are described below.

Detached House

A detached structure that incorporates one dwelling unit on a single lot with front and rear yards. Must be oriented toward the street, and may be accompanied by one attached or freestanding Accessory Unit.

Access & Entry	The Principal Entry to each dwelling shall face the street frontage and have direct access from a porch/portal, stoop, or private patio. Access for parking, loading, and trash disposal must be from an alley, narrow driveway, ribbon driveway or circular driveway.
Parking	Parking shall be located in garages, carports, or in designated driveways constructed for that purpose. Garages or carports may be attached, detached, or connected by a breezeway. Attached garages or carports shall be set back from street-facing façades by a minimum of 6 feet. Detached and breezeway garages must be located in the side or rear yard. Side yard garage access is permissible when a dual frontage is present.
Frontage	Principal Entry must face the street. Must include a portal/porch, stoop, or private patio. May have dual frontage in which there is both front yard and side yard frontage. Front yard may be enclosed with a low yard wall or fence (max 4 ft. high) at the property line. If a side yard frontage is present, a yard wall or fence up to 6 ft. high is permissible at the frontage if the lot line is set back from the right-of-way a minimum of 10 ft. The resultant open space between the right-of-way and the lot line must be landscaped and maintained as common open space.
Placement	Front Setback: Min 7 ft / Max 20 ft Side Setback: Min 5 ft / Max 10 ft Rear Setback: Min 10 ft Garage / Carport Front Setback: Min 20 ft Zero-lot-lines are permissible for garages / carport at side or rear.
Massing	May be 1 or 2 stories in height. May not exceed 24 ft. in height. For lots 50 ft wide or wider, any portion of a building over 14 feet must step back at least 10 feet on one or both sides.



Accessory Unit

An accessory structure, typically located near the rear of a lot and can be free-standing or attached to a garage or main dwelling unit. Can be a stacked, second-floor unit above a garage or main house. Can serve as an accessory dwelling unit, home office space, studio or other use.

Access & Entry	The Principal Entry to the unit shall be accessed from the side or rear yard or alley. Access for parking, loading, and trash disposal must be from an alley, narrow driveway, or ribbon driveway.
Parking	Parking shall be located below, beside, or behind the unit and accessed from an alley or side driveway.
Frontage	Typically does not have street frontage unless accessed from a side yard.
Placement	Typically located near the rear of a lot and can be free-standing or attached to a garage or main dwelling unit. Side Setback: Min 5 ft / Max 10 ft Rear Setback: Min 10 ft
Massing	Can be a single-story unit or a stacked, second-floor unit above a garage or main house. Cannot exceed 24 ft. in height when located on a second floor. Floor area cannot exceed that of the Principal Dwelling, up to 1500 sq ft.



Duplex

Small-to-medium sized structure that consists of two side-by-side or stacked dwelling units, both facing the street and within a single building massing. This building type has the appearance of a medium-to-large single-family home and is appropriately scaled to fit within primarily single-family neighborhoods or medium-density neighborhoods.

Access & Entry	The Principal Entry to each dwelling or each common entrance, if designed as stacked flats, shall have direct access from a portal/porch, a common portal/porch, or stoop facing the street.
Parking	Parking shall be located in garages, carports, or in designated driveways constructed for that purpose. Garages or carports may be attached, detached, or connected by a breezeway. Attached garages or carports shall be set back from street-facing façades by a minimum of 6 feet. Detached and breezeway garages must be located in the side or rear yard. Side yard garage access is permissible when a dual frontage is present.
Frontage	Principal Entries or common entrance must face the street. Each dwelling must include a stoop or porch/portal, either individually or in common with an adjoining dwelling. May have dual frontage in which there is both front yard and side yard frontage. Front yard may be enclosed with a low yard wall or fence (max 4 ft. high) at the property line. If a side yard frontage is present, a yard wall or fence up to 6 ft. high is permissible at the frontage if the lot line is set back from the right-of-way a minimum of 10 ft. The resultant open space between the right-of-way and the lot line must be landscaped and maintained as common open space.

<p>Placement</p>	<p>Front Setback: Min 7 ft / Max 20 ft Side Setback: Zero-lot-lines permissible if attached side-by-side units. If stacked, min 5 ft / Max 10 ft Rear Setback: Min 10 ft Garage / Carport Front Setback: Min 20 ft Zero-lot-lines are permissible for garages / carport at side or rear.</p>
<p>Massing</p>	<p>May be articulated as large single family houses consistent with the vernacular building form in the surrounding neighborhood. Duplexes may also be designed as stacked flats, abutting townhouses, courtyards, or other vernacular forms compatible with the surrounding neighborhood. Attic spaces may be used as habitable space.</p>



Townhouses/Rowhouses

Consists of multiple attached dwelling units, placed side-by-side (zero lot line). Building cannot exceed 180 linear feet. Typically located in medium-density neighborhoods or in a location that serves as a transition from primarily single-family homes to higher density areas.

<p>Access & Entry</p>	<p>The Principal Entry to each dwelling shall have direct access to the street. Parking, loading and trash disposal must be accessed from an alley or from a shared driveway.</p>
<p>Parking</p>	<p>Parking shall be located behind each building or in attached garages facing the street. Attached garages or carports shall be set back from street-facing façades by a minimum of 6 feet.</p>

Frontage	Each dwelling must include a stoop or porch/portal fronting the street and a public sidewalk or a common open space. May have dual frontage in which there is both front yard and side yard frontage. Front yard may be enclosed with a low yard wall or fence (max 4 ft. high) at the property line. If a side yard frontage is present, a yard wall or fence up to 6 ft. high is permissible at the frontage if the lot line is set back from the right-of-way a minimum of 10 ft. The resultant open space between the right-of-way and the lot line must be landscaped and maintained as common open space.
Placement	Front Setback: Min 7 ft / Max 20 ft Garage / Carport Front Setback: Min 20 ft Rear Setback: Min 10 ft
Massing	May be 1 or 2 stories in height. May not exceed 24 ft. in height.



Casita Court

Consists of a series of small, detached structures and/or side-by-side attached structures, providing multiple dwelling units arranged around a shared courtyard, which takes the place of a private rear yard. Each unit shall have an individual entry accessed from the shared courtyard.

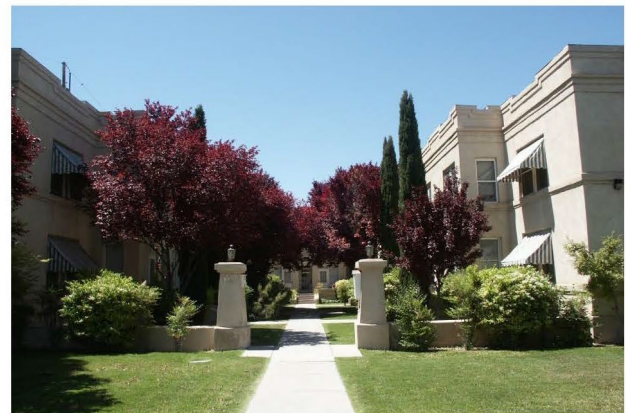
Access & Entry	The Principal Entry to each dwelling shall have direct access to a shared courtyard at ground level or from a stoop or small portal/porch.
Parking	Parking can be located behind the rear massing of the courtyard or below the rear-most dwelling units, which may be located above a bank of garages. A common parking court may be provided interior to the block.
Frontage	Typically, multiple building masses are arranged around a central landscaped courtyard. Yard walls or fences flush with the courtyard opening are permissible, cannot exceed 4 ft. in height, and must include a pedestrian opening/entry, which can be gated.
Placement	Front Setback: Min 7 ft / Max 20 ft Side Setback: Min 5 ft / Max 10 ft Rear Setback: Min 10 ft Zero-lot-lines are permissible for garages / carport at rear.
Massing	Typically consists of single story structures, but can be up to two stories (24 ft max height). Often the rear-most building(s) are up to two stories, sometimes allowing for garages on the ground floor and dwelling units above, while the structures flanking the courtyard are 1 to 1.5 stories.



Courtyard Apartments

Consists of multiple side-by-side and/or stacked multiple dwelling units arranged around a shared courtyard and accessed from a central common entry facing the street.

Access & Entry	The Principal Entry to each dwelling shall be accessed from a common entry and interior corridor.
Parking	Parking shall be located behind the rear massing of the courtyard. A common parking court may be provided interior to the block.
Frontage	Central portion of the building is set back between two flanking sections that are closer to the front property line, creating a recessed, landscaped courtyard. Yard walls or fences flush with the courtyard opening are permissible, cannot exceed 4 ft. in height, and must include a pedestrian opening/entry, which can be gated.
Placement	Front Setback: Min 7 ft / Max 20 ft Side Setback: Min 5 ft / Max 10 ft Rear Setback: Min 10 ft Zero-lot-lines are permissible for garages / carport at rear.
Massing	Up to three stories (36 ft max height) if located on Paseo del Sol; up two stories (24 ft max height) elsewhere. Massing step-backs required from frontage if three stories.



Multiplex

Detached structure that consists of multiple dwelling units arranged side-by-side and/or stacked, typically with one shared entry at the front. Has the appearance of a medium-to-large sized single-unit house. Typically does not include a rear yard, as parking is generally located behind the structure.

Access & Entry	Dwelling units are accessed from a common entry or entries and interior corridor(s).
Parking	Parking is located behind the structure and accessed from an alley or from a shared narrow or ribbon driveway. Parking may be accessed from the side yard if there is a dual frontage condition.
Frontage	Building frontage has the appearance of a medium-to-large detached house, set near the street. May have dual frontage. Typically, there are no yard walls or fencing. However, if present, front yard walls or fences may not exceed 4 ft. If a side yard frontage is present, a yard wall or fence up to 6 ft. high is permissible at the frontage if the lot line is set back from the right-of-way a minimum of 10 ft. The resultant open space between the right-of-way and the lot line must be landscaped and maintained as common open space.
Placement	Front Setback: Min 7 ft / Max 20 ft Side Setback: Min 5 ft / Max 10 ft Rear Setback: Min 10 ft Zero-lot-lines are permissible for garages / carport at rear.
Massing	Up to three stories (36 ft max height) if located on Paseo del Sol; up two stories (24 ft max height) elsewhere. Massing step-backs required from frontage if three stories.



Garden Apartments

A building or group of buildings containing multiple dwelling units, stacked vertically and horizontally. Buildings can take the form of rectilinear building blocks, or L-shaped or U-shaped footprints. Typically, each dwelling unit has a small private terrace, and/or there are shared terraces for common use by residents.

Access & Entry	Dwelling units are accessed from a common entry or entries and interior corridor(s) and vertical circulation.
Parking	Underground or surface parking. Surface parking must be interior to the lot.
Frontage	Buildings are generally arranged close to the street. Each dwelling unit typically has a small terrace, landing, or private yard enclosed with a low (4 ft max height) wall or fence, either elevated above the street level (balcony) or at street level, or a combination of both. Perimeter fencing for low-rise garden apartments shall not exceed 6 ft in height, must allow for transparency/visibility, and must be set back at least 5 ft from the edge of right-of-way. The resultant open space between the right-of-way and the perimeter fencing must be landscaped and maintained as common open space. Six-foot-high block walls are not permitted, and six-foot-high fencing is not permitted at the edge of right-of-way.
Placement	Front Setback: 10 ft for a 2-story building / 20 ft for a 3-story building (no stepback required, see below) Side Setback: 10 ft min Rear Setback: 10 ft min
Massing	Up to three stories if located on Paseo del Sol; two stories elsewhere. Massing step-back of 10ft required from frontage for a third story. No stepback required if three story building is set back 20 ft from frontage/ROW.



Live-Work

Attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground-floor space that can be used for residential, service, or retail purposes. Both the ground-floor flex space and the unit above are owned or occupied by one entity. Typically located in a medium-density residential context or in a location that transitions between a mixed residential neighborhood and commercial/mixed-use area. Especially appropriate for incubating small businesses and for allowing commercial uses to expand as the market demands.

Access & Entry	Ground floor flex space and residential unit above typically have separate entrances. Upper floor residential units may have a common entry. Parking, loading and trash disposal accessed from alley or rear of the lot.
Parking	Parking areas must be located adjacent to an alley or at the rear of the lot and may not abut the street frontage. On-street parking is typical along street frontages.
Frontage	Shopfront street frontage is typical at the ground floor. Each shopfront must have a separate entrance, which may be covered with a portal or awning. Live-work buildings may be arranged around an interior landscaped and/or hardscaped courtyard or forecourt.
Placement	Front Setback: zero-lot-line permissible / 5 ft maximum Side Setback: zero-lot-line permissible / 10 ft maximum Rear Setback: 10 ft minimum
Massing	Up to three stories (36 ft max) if located on Paseo del Sol; two stories (24 ft max) elsewhere. Massing step-backs required from frontage if three stories.

Flex Building

Contains at least one story above the ground floor, with Shop Fronts on the ground floor. The building may contain any combination of residential, office, and commercial uses. Retail should occur on the ground floor, but is not mandatory. The building may evolve over time through many combinations of use.

Access & Entry	Principal Entry to each individual unit on the ground floor must have direct access from the street frontage. Parking access is from an alley or narrow driveway.
Parking	Parking is located behind or under the building. Additional on-street parking is typical. A common parking area may be located interior to the block.
Frontage	Frontages take the form of shop fronts. A courtyard / forecourt building arrangement is permissible.

Placement	Front Setback: zero-lot-line permissible / 5 ft maximum Side Setback: zero-lot-line permissible / 10 ft maximum Rear Setback: 10 ft minimum
Massing	Up to three stories if located on Paseo de Sol; two stories elsewhere. Buildings facing a street that are longer than 50 feet must be articulated a maximum of every 40 feet along the street-facing façade. Entryways are required at least every 40 feet.

Open Space and Trail Typology

In Phase 3A, 91.09 acres of open space will be preserved, which includes one Neighborhood Park, to be owned and maintained by the City of Santa Fe, four dispersed Pocket Parks to be maintained by the applicable homeowners' association, and an extensive trail network. Park locations shown on the Master Plan Amendment Plans are conceptual and subject to change during platting. These decentralized passive and active recreational spaces are intended to provide community connection opportunities throughout the neighborhood and will be developed in accordance with the Open Space and Trails Typology described below.

Neighborhood Park

Up to 5 acres in size, a neighborhood park serves as a social and recreational focal point for the neighborhood. Includes formal playground, outdoor sport courts, sport fields, picnic tables, pathways, and/or multi-use open turf areas. Can accommodate the recreational needs of a wide variety of users, and access for pedestrians, bicyclists and other non-motorized travelers is a priority. Connectivity to surrounding neighborhood(s) is vital. Sidewalks, pathways, and connections to the larger neighborhood trail system should be established. Proximity to school facilities is highly desirable.

Provides a variety of recreational, social, and cultural opportunities. Provides greens pace within neighborhoods. Contributes to health and wellness. Provides opportunities to connect with nature.

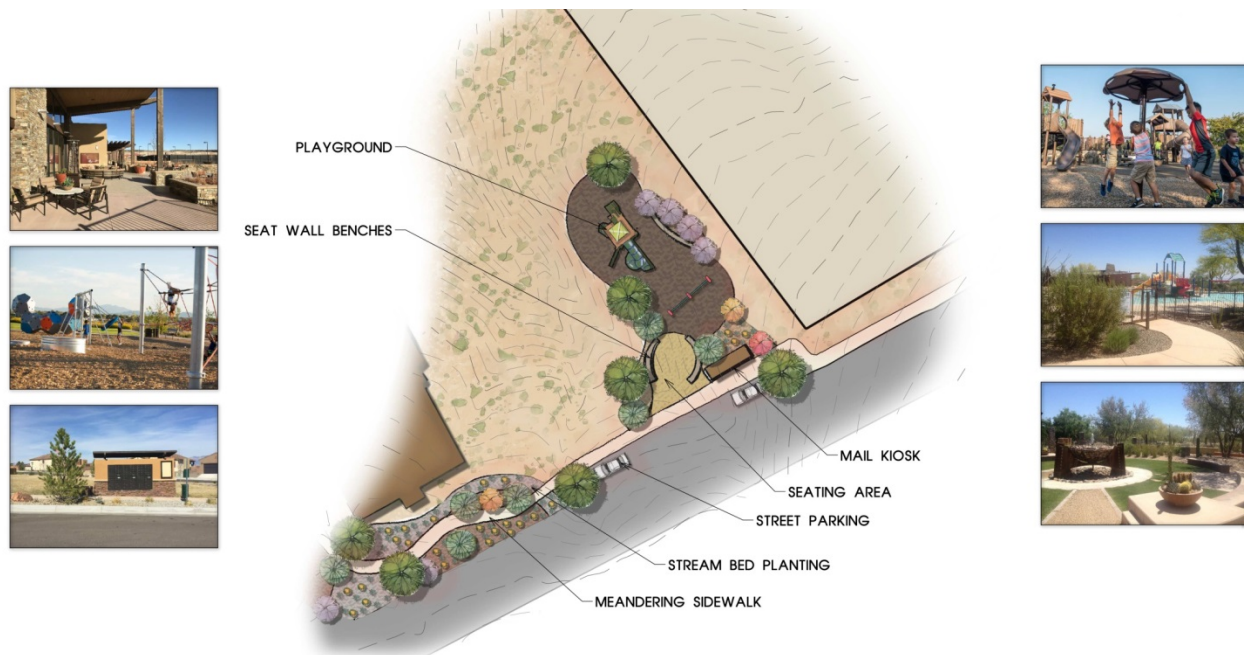
No more than 2/3 of the area should be reserved for active recreation. Remaining area should be enhanced with benches, gardens, natural areas, multi-use green space, pathways, and other more passive pedestrian amenities.

A conceptual plan of a 3-acre neighborhood park is provided below.



Pocket Park

Small outdoor space, usually no more than ¼ to ½ acre in size. Also referred to as mini-parks, pocket parks are small-scale, landscaped open spaces designed for passive recreation, social interaction, and connection with nature. Minimal amenities are provided, aside from those intended to enhance pedestrian comfort, and connectivity to surrounding residences is a priority. A conceptual plan of a pocket park is provided below.



Pedestrian Corridor

Multi-use path with open space buffer on either side that provides enhanced connectivity for pedestrians and cyclists between residential development tracts, linking streets, sidewalks, and other pedestrian pathways through a neighborhood.

Community Trail

A network of 10-foot wide non-motorized trails within the natural open space, which will connect to the existing area trails. Trails shall be accessible via the sidewalk network and connect to the parks, where feasible.

Natural Open Space

Dedicated open space that is defined by natural vegetation and shall remain largely undisturbed and protected during construction activities. Construction within Natural Open Space is limited to trails, drainage improvements/arroyo bank stabilization, and utility extensions. Disturbed areas shall be revegetated to mimic the undisturbed condition.

**August 19, 2021
Planning Commission
Case #2020-2318
Tierra Contenta Master Plan
Amendment #1 for Phase 3A**

EXHIBIT F

Applicants ENN Materials

1. Applicants ENN packet
2. Applicant Notes
3. Applicant's Community Outreach



EXHIBIT F1

EARLY NEIGHBORHOOD NOTIFICATION MEETING

Request for Staff Attendance

Project Information

Project Name: Tierra Contenta Phase 3A Master Plan Amendment

Address: N/A Parcel Size: 228 acres

Zoning: PRC Future Land Use: Residential, Neighborhood Center, Parks, Public/Inst

Preapplication Conference Date: December 10, 2020

Detailed Project Description: Proposed Master Plan Amendment for Tierra Contenta Phase 3A to adjust roadway and pedestrian network, unit count and program in advance of development.

Property Owner Information

Name: Tierra Contenta Corporation

Address: 1111 Agua Fria Street, Santa Fe, NM 87501

Phone: 505-989-3960 E-mail Address: _____

Applicant/Agent Information (if different from owner):

Name: JenkinsGavin, Inc.

Address: 130 Grant Ave., Suite 101

Phone: 505-820-7444 E-mail Address: Jennifer@jenkinsgavin.com

Agent Authorization (if applicable):

I am/We are the owner(s) and record title holder(s) of the property located at: _____

I/We authorize See attached letter of authorization. to act as my/our agent to execute this application.

Signed: _____ Date: _____

Signed: _____ Date: _____

Proposed ENN Meeting Dates:

<i>Provide 2 options:</i>	<i>Preferred Option</i>	<i>Alternative</i>
DATE:	5/27/2021	
TIME:	5:30 p.m.	
LOCATION:	Zoom Meeting (virtual)	

Tierra Contenta

City of Santa Fe
Land Use Department
200 Lincoln Avenue
Santa Fe, NM 87501

RE: Tierra Contenta

To Whom It May Concern:

This letter shall serve as authorization for JenkinsGavin, Inc. to act on my behalf with respect to the referenced property regarding land use applications to be submitted to the City of Santa Fe.

Thank you.


Sincerely,

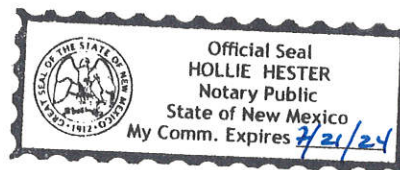

Justin Robison, Santa Fe Community Housing Trust

1/12/21
Date

State of New Mexico)
) ss
County of Santa Fe)

The foregoing instrument was acknowledged before me
this 12 day of January, 2021 by Justin Robison.


Notary Public



My Commission Expires: 7/21/24



Submit by Email

Print Form

Early Neighborhood Notification (ENN) Guidelines

Section 14-3.1(F)(5) SFCC 1987, as Amended

Please address each of the criteria below. Each criterion is based on the Early Neighborhood Notification (ENN) guidelines for meetings, and can be found in Section 14-3.1(F)(5) SFCC 1987, as amended, of the Santa Fe City Code. A short narrative should address each criterion (if applicable) in order to facilitate discussion of the project at the ENN meeting. These guidelines should be submitted with the application for an ENN meeting to enable staff enough time to distribute to the interested parties. For additional detail about each criterion, consult the Land Development Code.

(a) EFFECT ON CHARACTER AND APPEARANCE OF THE SURROUNDING NEIGHBORHOODS *For example: number of stories, average setbacks, mass and scale, architectural style, landscaping, lighting, access to public places, open spaces and trails. (Ord. No. 2008-29 § 3)*

The proposed amendment to the Tierra Contenta Master Plan for Phase 3A provides for over 1,100 quality, mixed-income homes and apartments in the last remaining undeveloped area of Tierra Contenta (TC), adding to the 2,300 residences already built in this planned residential community. As in the previous phases, land will be reserved for a new school, community facilities, neighborhood parks, and trails. The planning area comprises 228 acres of undeveloped land located southeast of Capital High School, of which over 35 percent will be preserved as open space.

Proposed changes to the Tierra Contenta Master Plan reflect the impact of major changes in the surrounding area, such as new schools, roads, businesses and parks. In addition, the Design Standards are being revised for consistency with the goals of the Master Plan Amendment, including improving the pedestrian experience and connectivity, activating the streets and public spaces, diversifying housing types, and modifying the site program to respond to current market conditions.

The nonprofit Tierra Contenta Corporation (TCC) owns 225 acres and the New Mexico School for the Deaf (NMSC) owns 3 acres of the planning area. The expansion area is part of the larger "Phase 3" as shown in the existing Master Plan. The land area subject to revisions will be designated Phase 3A. The remaining 179 acres of Phase 3 land are owned by NMSD and will remain subject to the original Tierra Contenta Master Plan, approved by the City in 1994.

(b) EFFECT ON PROTECTION OF THE PHYSICAL ENVIRONMENT *For example: trees, open space, rivers, arroyos, floodplains, rock outcroppings, escarpments, trash generation, fire risk, hazardous materials, easements, etc.*

TCC has conducted a thorough study of the terrain and the best routes for the primary roads and infrastructure and determined to leave 35% of the land as open space and parks, in order to protect virtually all of the nearby land on the sides of arroyos and to avoid mass grading.

(c) IMPACTS ON ANY PREHISTORIC, HISTORIC, ARCHAEOLOGICAL OR CULTURAL SITES OR STRUCTURES, INCLUDING ACEQUIAS AND THE HISTORIC DOWNTOWN *For example: the project's compatibility with historic or cultural sites located on the property where the project is proposed.*

The Project poses no risks to known archaeological sites or other historic / cultural resources. Archaeological Clearance was granted by the City of Santa Fe Archaeological Review Committee in 2001 for all phases of the Tierra Contenta Master Plan area.

(d) RELATIONSHIP TO EXISTING DENSITY AND LAND USE WITHIN THE SURROUNDING AREA AND WITH LAND USES AND DENSITIES PROPOSED BY THE CITY GENERAL PLAN *For example: how are existing City Code requirements for annexation and rezoning, the Historic Districts, and the General Plan and other policies being met.*

The proposed amendment to the Tierra Contenta Master Plan for Phase 3A will build over 1,100 quality, mixed-income homes and apartments in the last remaining undeveloped area of Tierra Contenta (TC), adding to the 2,300 residences already built in this planned residential community. Proposed residential densities range from 5.2 units/acre for single-family housing to 23.7 units/acre for multi-family housing. The proposed densities are consistent with the original Master Plan for Phase 3, with policies in the General Plan, and with the surrounding area.

(e) EFFECTS UPON PARKING, TRAFFIC PATTERNS, CONGESTION, PEDESTRIAN SAFETY, IMPACTS OF THE PROJECT ON THE FLOW OF PEDESTRIAN OR VEHICULAR TRAFFIC AND PROVISION OF ACCESS FOR THE DISABLED, CHILDREN, LOW-INCOME AND ELDERLY TO SERVICES *For example: increased access to public transportation, alternate transportation modes; traffic mitigation, cumulative traffic impacts, pedestrian access to destinations and new or improved pedestrian trails.*

Improving vehicular and pedestrian connectivity is a high priority for the the proposed Tierra Contenta Master Plan Amendment. The planned expansion of Paseo del Sol, as well as the planned expansions of both roadside and community trails and connections to existing trail and open space/park infrastructure represent improvements that are responsive to public input obtained to date and to guidance received from City staff.

A Traffic Impact Analysis has been conducted and will be submitted with the application. The TIA indicates that "Tierra Contenta Phase 3A will have a minimal impact on the City of Santa Fe road system." Roadway improvements are proposed that will improve traffic flow and levels of service. Off-street parking will be provided in accordance with City Code regulations, and public sidewalks will be constructed. There is no anticipated impact on access to services.

(f) IMPACT ON THE ECONOMIC BASE OF SANTA FE *For example: availability of jobs to Santa Fe residents; market impacts on local businesses; and how the project supports economic development efforts to improve living standards of neighborhoods and their businesses.*

During the development period, the project will create jobs in construction and related fields. In addition, the commercial uses included in the plan amendment will create job opportunities, as well as opportunities for local businesses to locate in the development. Finally, the project will increase the City's affordable housing supply, a much-needed prerequisite for economic development.

(g) EFFECT ON THE AVAILABILITY OF AFFORDABLE HOUSING AND AVAILABILITY OF HOUSING CHOICES FOR ALL SANTA FE RESIDENTS
For example: creation, retention or improvement of affordable housing; how the project contributes to serving different ages, incomes and family sizes; the creation or retention of affordable business space. (Ord. No. 2005-30(A) § 4)

The residential components of the project will be developed in compliance with the Tierra Contenta Annexation Agreement, which requires that 40% of homes developed be affordable (exceeding the 30% affordability required by the Santa Fe Homes Program).

(h) EFFECT UPON PUBLIC SERVICES SUCH AS FIRE, POLICE PROTECTION, SCHOOL SERVICES AND OTHER PUBLIC SERVICES OR INFRASTRUCTURE ELEMENTS SUCH AS WATER, POWER, SEWER, COMMUNICATIONS, BUS SYSTEMS, COMMUTER OR OTHER SERVICES OR FACILITIES *For example: whether or how the project maximizes the efficient use or improvement of existing infrastructure; and whether the project will contribute to the improvement of existing public infrastructure and services.*

The Project will connect to existing public utilities. It is located in Fire District 8 and will be served by Fire Station No. 8, located nearby at the intersection of Jaguar Drive and Paseo del Sol. The project will be served by City police and Santa Fe Public Schools, and a future elementary school site is reserved. A Santa Fe Trails Bus Stop is located at the intersection of Jaguar Drive and Paseo del Sol, and service will be extended through the development upon build-out. Lastly, proposed roadway and pedestrian improvements will enhance the public roadway and trail network.

(i) IMPACTS UPON WATER SUPPLY, AVAILABILITY AND CONSERVATION METHODS *For example: conservation and mitigation measures; efficient use of distribution lines and resources; effect of construction or use of the project on water quality and supplies.*

The project will comply with City water conservation requirements. Water rights will be provided to offset increased demand in accordance with City requirements.

(j) EFFECT ON THE OPPORTUNITIES FOR COMMUNITY INTEGRATION AND SOCIAL BALANCE THROUGH MIXED LAND USE, PEDESTRIAN ORIENTED DESIGN, AND LINKAGES AMONG NEIGHBORHOODS AND RECREATIONAL ACTIVITY AND EMPLOYMENT CENTERS *For example: how the project improves opportunities for community integration and balance through mixed land uses, neighborhood centers and/or pedestrian-oriented design.*

Appropriate measures for creation of pedestrian trails and vehicular connectivity will be implemented. The project provides a mixture of housing types and integrates school and commercial uses as well. Pedestrian and transit connectivity between the project and adjacent existing neighborhoods will be improved, while providing services and employment opportunities for nearby residents. Access to the Arroyo Chamiso Trail and community trail networks will greatly enhance the pedestrian experience in this area of the City.

(k) EFFECT UPON SANTA FE'S URBAN FORM *For example: how are policies of the existing City General Plan being met? Does the project promote a compact urban form through appropriate infill development? The project's effect on intra-city travel; and between employment and residential centers.*

Development of the Tierra Contenta project has been underway since 1994 and is in alignment with the City's General Plan policies around infill development, affordable housing, and compact urban form. The project encourages a mixture of high-quality housing types and includes a mixture of uses, including residential, commercial, elementary school, community facilities, parks and trails.

ADDITIONAL COMMENTS (Optional)

The proposed amendment to the Tierra Contenta Phase 3A Master Plan represents a logical next step in the development of Tierra Contenta, which has been underway for over 25 years. The proposed changes to the Master Plan represent improvements to the overall phase layout and program that enhance vehicular and pedestrian connectivity in the area and increase the City's market-rate and affordable housing supply.



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

EARLY NEIGHBORHOOD NOTIFICATION MEETING

May 12, 2021

RE: Tierra Contenta Phase 3A Master Plan Amendment

Dear Neighbor:

This letter is being sent as notice of a neighborhood meeting to discuss a pending application to the City of Santa Fe for an Amendment to the Tierra Contenta Phase 3A Master Plan. The proposed amendment provides for over 1,100 quality, mixed-income homes and apartments in the last remaining undeveloped area of Tierra Contenta, adding to the 2,300 residences already built in this planned residential community. As in the previous phases, land will be reserved for a new school, community facilities, neighborhood parks, and trails. The planning area comprises 228 acres of undeveloped land located southwest of Capital High School, of which over 35 percent will be preserved as open space. In accordance with the requirements of the City of Santa Fe's Early Neighborhood Notification regulations, this letter is to inform you that a meeting is scheduled to be held on **May 27, 2021, at 5:30pm.**

Join Zoom Meeting

<https://us02web.zoom.us/j/85204550999?pwd=LzBjK2hqWGUybk1Qc3NkYkhpVEZlQT09>

Meeting ID: 852 0455 0999

Passcode: 759355

One tap mobile

+13462487799,,85204550999#,,,*759355# US (Houston)

+16699009128,,85204550999#,,,*759355# US (San Jose)

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington DC)

Meeting ID: 852 0455 0999

Passcode: 759355

Find your local number: <https://us02web.zoom.us/j/85204550999?pwd=LzBjK2hqWGUybk1Qc3NkYkhpVEZlQT09>

Early Neighborhood Notification is intended to provide for an exchange of information between prospective applicants for development projects and the project's neighbors before plans become too firm to respond meaningfully to community input. If you have any questions or comments, please contact Jennifer Jenkins at 505-820-7444 or jennifer@jenkinsgavin.com. Persons with disabilities in need of special accommodations, or the hearing impaired needing an interpreter, please contact the Land Use Department at 505-955-6820 or gagurule@santafenm.gov 5 days prior to the meeting date.

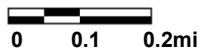
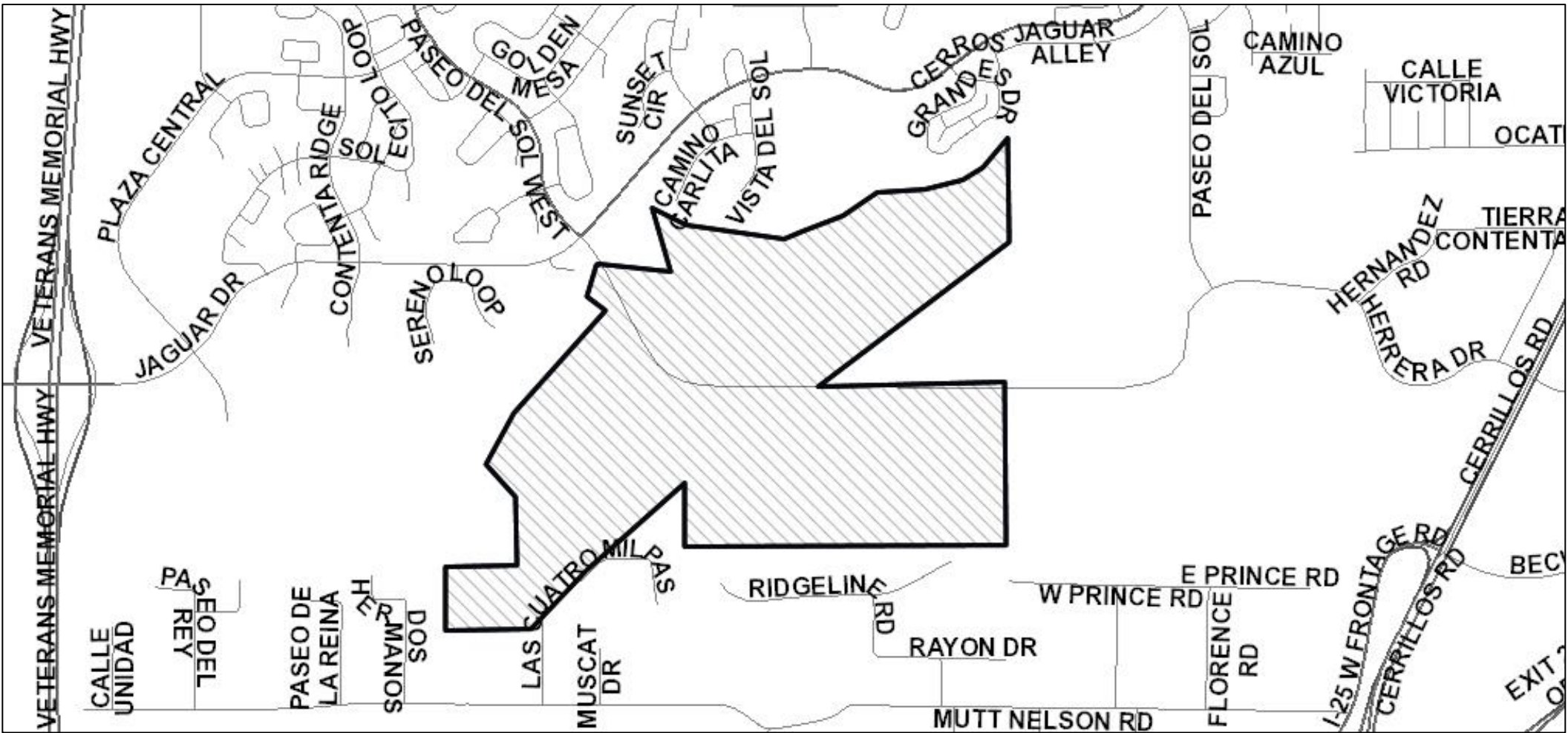
Sincerely,

A handwritten signature in blue ink, appearing to read "Jennifer Jenkins".

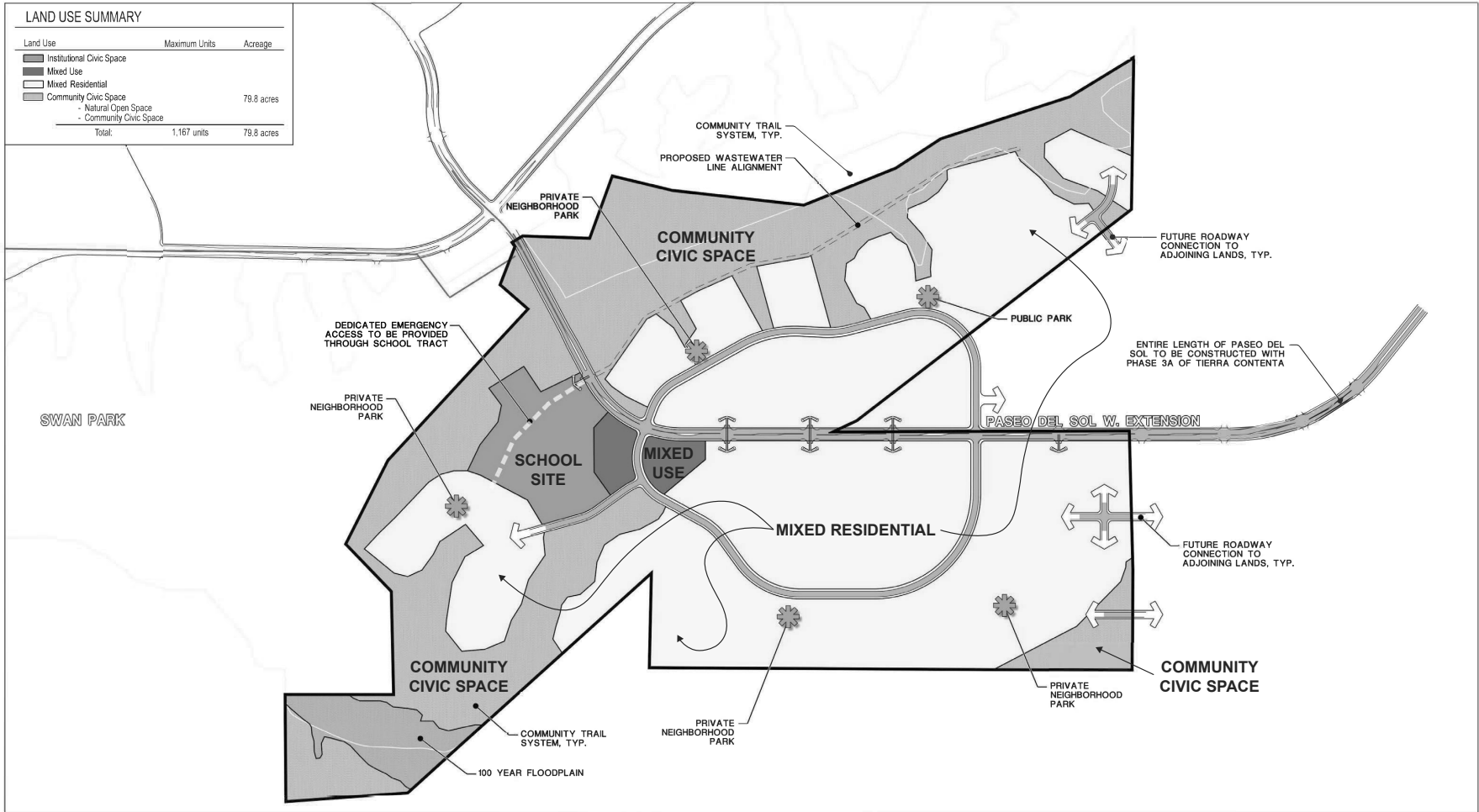
Jennifer Jenkins

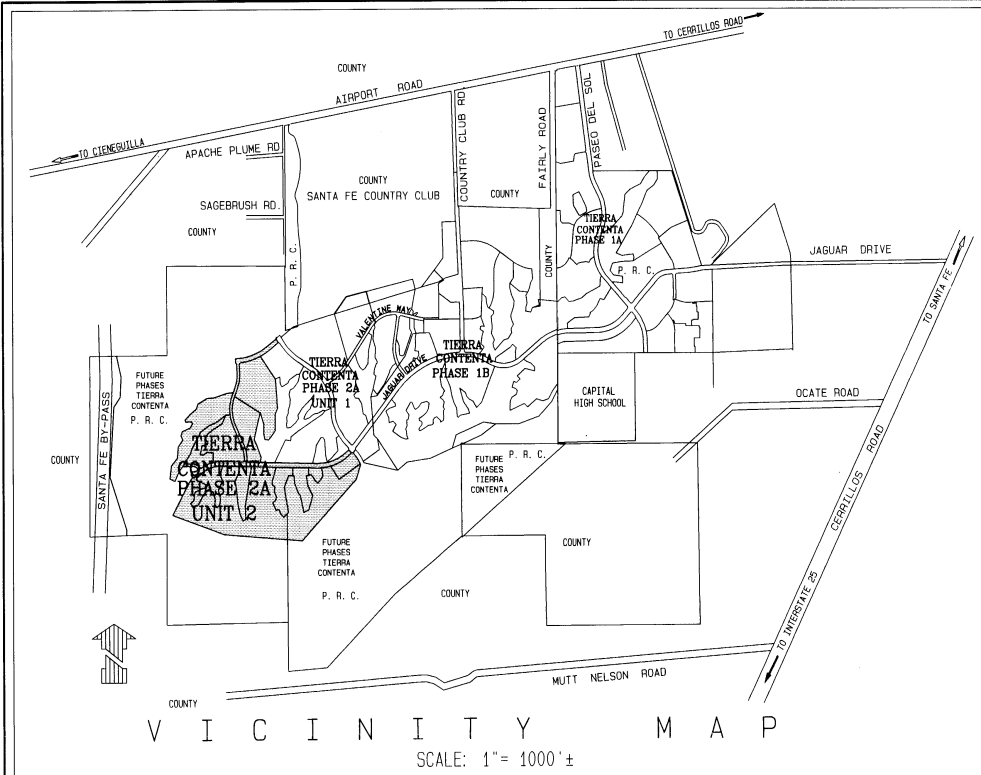
Attachments: Vicinity Map + Site Plan

Vicinity Map – Tierra Contenta Phase 3A



Land Use	Maximum Units	Acreage
Institutional Civic Space		
Mixed Use		
Mixed Residential		
Community Civic Space		79.8 acres
- Natural Open Space		
- Community Civic Space		
Total:	1,167 units	79.8 acres





SUBDIVISION NOTES:

- A 7.5' PUBLIC UTILITY EASEMENT IS HEREBY GRANTED ALONG THE FRONTAGE OF ALL TRACTS ADJOINING THE DEDICATED ROADWAYS.
- EACH LOT SHALL BE SERVED BY SEPARATE SEWER AND WATER SERVICES.
- PURSUANT TO SECTION 14-95, IMPACT FEES MAY BE ASSESSED ON THESE TRACTS. ANY PERSON INTENDING TO BUILD SHOULD CONTACT STAFF AT CITY HALL.
- THIS PROPERTY IS SUBJECT TO THE MASTER COVENANTS FOR TIERRA CONTENTA PHASE 2A, UNIT 2 RECORDED IN THE RECORDS OF SANTA FE COUNTY IN BOOK 1406 ON PAGES 150-152 PRIOR TO THE SALE OF ANY LOT WITHIN THIS SUBDIVISION. THE DEVELOPER WILL RECORD SUPPLEMENTAL COVENANTS THAT WILL INCLUDE PROVISIONS FOR ACCESS TO AND MAINTENANCE OF COMMON PROPERTY LINE WALLS AND FENCES.
- FOR SPECIFIC INFORMATION PERTAINING TO SETBACKS, HEIGHTS, TRACT COVERAGE, LANDSCAPING, AND FENCING, REFER TO THE TIERRA CONTENTA DESIGN STANDARDS FOR PHASE 2A, ADOPTED BY THE CITY PLANNING COMMISSION ON AUGUST 3, 2000.
- FLOOD ZONE NOTE:
UNLESS OTHERWISE SHOWN HEREON, THE LANDS PLATTED HEREON LIE WITHIN FLOOD ZONE X, "AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOOD PLAIN" SOURCE: FLOOD INSURANCE RATE MAP COMMUNITY PANEL 350069 0227 B, 350069 0226 B, 350069 0226B. EFFECTIVE 11-04-1988.
- TERRAIN MANAGEMENT NOTE:
AT THE TIME OF APPLICATION OF A BUILDING PERMIT, LOTS WITHIN THIS SUBDIVISION MUST CONFORM WITH ALL TERRAIN MANAGEMENT REGULATIONS, OF CITY CODE AND OR TIERRA CONTENTA PHASE 2A DESIGN STANDARDS AS THEY MAY APPLY UNLESS A VARIANCE IS GRANTED BY THE CITY PLANNING COMMISSION. NO "ON-LOT PONDING" IS REQUIRED. INCREASED STORM WATER RUN-OFF IS TO BE HANDLED BY CENTRALIZED PONDS. DEVELOPERS OF TRACTS WILL BE REQUIRED TO SAFELY TRANSPORT STORM WATERS TO THESE CENTRALIZED STORM WATER PONDING. REFER TO THE FINAL ENGINEERING PLANS PREPARED BY C. R. MALBRIDGE & ASSOCIATES, SANTA FE, N.M.
- PURSUANT TO CHAPTER II, PART D OF THE TIERRA CONTENTA DESIGN STANDARDS FOR PHASE 2A AND BEFORE RECREATION OF THIS PLAT TIERRA CONTENTA CORPORATION WILL POST A SURETY BOND OR OTHER SECURITY ACCEPTABLE TO THE CITY OF SANTA FE, IN SUFFICIENT AMOUNT TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS.
- THE TIERRA CONTENTA DESIGN STANDARDS FOR PHASE 2A (DESIGN STANDARD) ARE TO BE USED IN CONJUNCTION WITH CITY CODE FOR DEVELOPMENT WITHIN THIS SUBDIVISION. WHERE SPECIFIC DEFINITION IS PROVIDED IN THE DESIGN STANDARDS, THE DESIGN STANDARDS SHALL TAKE PRECEDENCE OVER CITY CODE. WHERE THE DESIGN STANDARDS ARE SILENT, THE CITY DEVELOPMENT CODE SHALL APPLY.
- PERMANENT TRAFFIC CONTROL. SIGNS WILL BE INSTALLED BY THE DEVELOPER AT THE DEVELOPERS EXPENSE.
- BY APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES, PNM DID NOT CONDUCT A TITLE SEARCH ON THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT MAKE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHT WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.
- MAINTENANCE OF DRAINAGE STRUCTURES AND APPURTENANCES THERETO WITHIN THE DEDICATED RIGHT-OF-WAYS, OPEN SPACE, PARKS AND DRAINAGE EASEMENTS AS SHOWN HEREON, ARE THE RESPONSIBILITY OF THE PEDESTRIAN EASEMENTS AS SHOWN HEREON, IS THE RESPONSIBILITY OF THE CITY OF SANTA FE. THE DEVELOPERS OF THESE TRACTS WILL BE REQUIRED TO CONTRIBUTE \$100.00 PER LOT TO A DRAINAGE MAINTENANCE FUND AT THE TIME OF PLAT RECORDING. THIS FEE DOES NOT APPLY TO THIS PLATTING BUT ONLY TO SUBSEQUENT SUBDIVISIONS OF THESE TRACTS.

DEDICATION AND AFFIDAVIT:

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED OWNER OF THESE LANDS LYING WITHIN THE CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO, COMPRISED OF: A PORTION OF TRACT 8A2-5, WITHIN THE PACHECO GRANT AND WITHIN PROJECTED SECTIONS 11 AND 14 WITHIN TOWNSHIP 16 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CONTAINING 104.026 ACRES, MORE OR LESS, DOES HEREBY CAUSE SAID LANDS TO BE SUBDIVIDED, AS SHOWN HEREON AND THAT THE SUBDIVISION IS NAMED AND WILL BE KNOWN AS TIERRA CONTENTA SUBDIVISION, PHASE 2A, UNIT 2. ALL THAT APPEARS ON THIS PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF SAID OWNER.

543001

UTILITY EASEMENTS ARE HEREBY GRANTED TO THE UTILITY COMPANIES LISTED HEREON AND TO THE CITY OF SANTA FE, UPON ALL RIGHT-OF-WAYS AND UTILITY EASEMENTS AS SHOWN HEREON, FOR THE PURPOSE OF INSTALLING OPERATING AND MAINTAINING SUCH PUBLIC OR PRIVATE UTILITIES AS ELECTRIC POWER, CABLE T.V., TELEPHONE, WATER, STORM AND SANITARY SEWER & GAS; THAT THE SAID EASEMENTS CARRY WITH THEM THE RIGHT OF INGRESS AND EGRESS (BOTH SURFACE AND SUBSURFACE) FOR CREWS AND MACHINERY AND THE RIGHT TO TRIM OR REMOVE INTERFERING VEGETATION OR OBSTRUCTIONS BY AGENCIES RESPONSIBLE FOR SAID UTILITIES.

AREAS DESIGNATED AS RIGHT-OF-WAY (R.O.W.), R/W, AND OPEN SPACE AS SHOWN HEREON, ARE HEREBY DEDICATED TO THE CITY OF SANTA FE, FOR PUBLIC USE. TIERRA CONTENTA CORPORATION RESERVES THE RIGHT TO INSTALL, UTILITIES, NECESSARY TO SERVE THE TRACTS IN PHASE 2A, ACROSS THE OPEN SPACE AND PARK TRACTS. THE CITY AGREES TO GRANT EASEMENTS FOR THESE UTILITIES AT NO COST TO TIERRA CONTENTA CORPORATION OR TO INDIVIDUAL TRACT DEVELOPERS.

THE CITY WILL GRANT EASEMENTS AT NO COST WITHIN THE OPEN SPACE SHOWN HEREON FOR DRAINAGE AND DRAINAGE STRUCTURES, FOR PEDESTRIAN AND NON-MOTORIZED VEHICLE TRAILS, FOR CONSTRUCTION AND MAINTENANCE OF PUBLIC AND PRIVATE UTILITY LINES INCLUDING VEHICLES, PERSONNEL, EQUIPMENT AND APPURTENANCES THERETO, AND FOR ROADWAY SLOPES. REQUESTS FOR SUCH EASEMENTS SHALL BE MADE TO THE CITY PRIOR TO CONSTRUCTION OF THE TRAIL OR UTILITY AND SHALL IDENTIFY THE LIMITS REQUIRED FOR CONSTRUCTION AND MAINTENANCE OF THE FACILITY. USE OF OPEN SPACE OUTSIDE THE EASEMENT GRANTED FOR THE ABOVE USES WILL NOT BE ALLOWED.

A BLANKET EASEMENT IS HEREBY GRANTED UPON ALL OPEN SPACE SHOWN HEREON FOR ALL EMERGENCY VEHICLES, PERSONNEL AND EQUIPMENT.

MAINTENANCE OF DRAINAGE STRUCTURES AND APPURTENANCES THERETO WITHIN THE DEDICATED RIGHT-OF-WAYS, OPEN SPACE, PARKS AND DRAINAGE EASEMENTS AS SHOWN HEREON, IS THE RESPONSIBILITY OF THE CITY OF SANTA FE.

THIS PLAT LIES WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO.

OWNERS: TIERRA CONTENTA CORPORATION

[Signature]
PRESIDENT
TIERRA CONTENTA CORPORATION

[Signature]
VICE PRESIDENT OR EXECUTIVE DIRECTOR
TIERRA CONTENTA CORPORATION

STATE OF NEW MEXICO)
COUNTY OF SANTA FE) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4th DAY of August, 2003, BY THE PRESIDENT AND VICE PRESIDENT OF TIERRA CONTENTA CORPORATION.



[Signature]
NOTARY PUBLIC

192.540

I hereby certify that this instrument was filed for record on the 26 day of August, A.D. 2003 at 2:00 o'clock p.m. and was duly recorded in Book 918, Page 175 of the records of Santa Fe County.

Witness my Hand and Seal of Office
REBECCA BUSTAMANTE
County Clerk, Santa Fe County, NM

[Signature]
Notary Public

CITY OF SANTA FE WATERLINE EASEMENT VACATION

THE CITY OF SANTA FE hereby vacates any rights or claims to any waterline easements crossing the OPEN SPACE, PARKS AND DRAINAGE EASEMENTS AS SHOWN HEREON, ARE THE RESPONSIBILITY OF THE PEDESTRIAN EASEMENTS AS SHOWN HEREON, IS THE RESPONSIBILITY OF THE CITY OF SANTA FE. THE DEVELOPERS OF THESE TRACTS WILL BE REQUIRED TO CONTRIBUTE \$100.00 PER LOT TO A DRAINAGE MAINTENANCE FUND AT THE TIME OF PLAT RECORDING. THIS FEE DOES NOT APPLY TO THIS PLATTING BUT ONLY TO SUBSEQUENT SUBDIVISIONS OF THESE TRACTS.

CITY OF SANTA FE BY *[Signature]* CITY MANAGER

STATE OF NEW MEXICO)
COUNTY OF SANTA FE) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 1st DAY of August, 2003, BY THE CITY OF SANTA FE.

[Signature] 3/31/07
NOTARY PUBLIC

SITE DATA	
PHASE 2A, UNIT 2	
GROSS AREA OF TRACTS SURVEYED	527,764 AC. ±
RESIDUAL NOT DEVELOPED	334,686 AC. ±
GROSS AREA DEVELOPED PHASE 2A, UNIT 2	104,027 AC. ±
TOTAL AREA OF TRACTS	50,034 AC. ±
TOTAL DEDICATED OPEN SPACE	46,718 AC. ±
TOTAL DEDICATED R.O.W.	7,275 AC. ±

UTILITY APPROVAL

- [Signature]* 7-29-03
PUBLIC SERVICE COMPANY OF NEW MEXICO DATE
- [Signature]* 7-31-03
WEST TELEPHONE DATE
- [Signature]* 7-29-03
PNM / GAS COMPANY OF NEW MEXICO DATE
- [Signature]* 7-31-03
COMCASTABLE CO. DATE
- [Signature]* 8-1-03
SANGRE DE CRIADO WATER DIVISION DATE



SURVEYOR'S CERTIFICATE

I, MICHEL K. NOONAN, N.M.P.L.S. NO. 6998 DO HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
MICHEL K. NOONAN
N.M.P.L.S. NO. 6998

DEED REFERENCES

- REFER TO WARRANTY DEED BY AND BETWEEN CITY OF SANTA FE (GRANTOR) AND TIERRA CONTENTA CORPORATION (GRANTEE), RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK, IN BOOK 1122, PAGE 789.

PLAT REFERENCES

- BEARINGS BASED UPON PLAT ENTITLED "TIERRA CONTENTA SUBDIVISION, PHASE 1B, UNIT 1" PREPARED BY JAMES B. SANCHEZ, P.S. NO. 12655 ON DEC. 09, 1997, HAVING PROJECT NO. C-1281 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 396 ON PAGES 012 - 014.
- REFER TO PLAT OF SURVEY ENTITLED "ANNEXATION PLAT FOR TRACTS 1 THROUGH 9 TIERRA CONTENTA SUBDIVISION AND CONTIGUOUS LANDS (EAST)" PREPARED BY FRED SANCHEZ, N.M.L.S. NO. 4078 ON JUNE 24, 1995 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 162 ON PAGE 006.
- REFER TO PLAT OF SURVEY ENTITLED "LOT LINE ADJUSTMENT BETWEEN LOT 1-A, TRACTS-A & LOT A-1", PREPARED BY FRED SANCHEZ, N.M.L.S. NO. 4078 ON JUNE 11, 1992 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 239 ON PAGE 024.
- REFER TO PLAT OF SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY, TRACTS 1-A-1, 4, 5, 7, 8, 9, LOT 1 & REMAINING PORTION OF TRACT 3", PREPARED BY FRED SANCHEZ, N.M.L.S. NO. 4078, ON JUNE 26, 1991 AND RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 231 ON PAGE 046.

REVIEWED BY:
CITY OF SANTA FE

[Signature] 9/24/03
CITY PLANNER DATE

[Signature] 8-25-03
SUBDIVISION REVIEW DATE

[Signature] 9-22-03
DATE QUALITY DIVISION DATE

APPROVED BY THE CITY PLANNING COMMISSION
AT THEIR MEETING OF November 07, 2003

[Signature] 9/24/03
CHAIRMAN

[Signature] 9/14/03
SECRETARY

EASEMENTS ARE HEREBY GRANTED FOR ALL EXISTING UTILITIES AND THIS PLAT IS SUBJECT TO ALL EASEMENTS OF RECORD

REVISIONS BY DATE

PROJECT No.: C-1281-P2AU2

SOUTHWEST MOUNTAIN SURVEYS, INC.

1114 HICKOX ST., SANTA FE, N.M. 87501
PHONE (505) 982-9429 FAX (505) 986-3413

DRAFTED BY: DKR DATE: 07/18/02

TIERRA CONTENTA SUBDIVISION PHASE 2A, UNIT 2

COMPRISED OF:
A PORTION OF TRACT 8A2-5 WITHIN THE PACHECO GRANT AND WITHIN PROJECTED SECTIONS 11 AND 14 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN CITY AND COUNTY OF SANTA FE, NEW MEXICO

Table with 14 columns: No., BEARING, DIST, L, A, B, C, D, E, F, G, H, I, J, K. Lists line data points for various tracts and easements.

Table with 14 columns: No., BEARING, DIST, L, A, B, C, D, E, F, G, H, I, J, K. Continuation of line data points.

TRACT 8A3
NOT DEVELOPED
THIS PHASE
334.686 AC ±

TRACT 8A3
NOT DEVELOPED
THIS PHASE
334.686 AC ±

TRACT 8A3
NOT DEVELOPED
THIS PHASE
334.686 AC ±

Table with 14 columns: No., ARC, RADIUS, DELTA, CHORD BEARING, CHORD. Lists curve data for various tracts and easements.

Table with 14 columns: No., CHORD, ARC, RADIUS, DELTA, CHORD BEARING, CHORD. Lists curve data points.

Table with 14 columns: No., CHORD, ARC, RADIUS, DELTA, CHORD BEARING, CHORD. Continuation of curve data points.

TRACT 8A3
NOT DEVELOPED
THIS PHASE
334.686 AC ±

TRACT 8A3
NOT DEVELOPED
THIS PHASE
334.686 AC ±

- POINT FOUND AS INDICATED
• CALCULATED POINT NOT FOUND OR SET
○ SET 1/2" REBAR WITH CAP
MANHOLE
— UTILITY POLE AND GUY ANCHOR
— EDGE OF EXISTING ROAD
— EDGE OF EASEMENT
— ADJOINER PROPERTY LINE
— PHASE LINE
— AERIAL UTILITY LINE
— WIRE FENCE LINE
— CHAIN LINK FENCE LINE
— FLOWLINE ARROYO

PROJECT NO.: C-1281-P2AU2

REVISIONS
BY DATE

SOUTHWEST MOUNTAIN
SURVEYS, INC.

1114 HICKOX ST., SANTA FE, N.M. 87501
PHONE (505) 982-9429 FAX (505) 986-3413

DRAFTED BY: DKR DATE: 07/18/02

N/F EDIE CAHOY

N/F AGNES GAFFNEY

TIERRA CONTENTA SUBDIVISION
PHASE 2A, UNIT 2

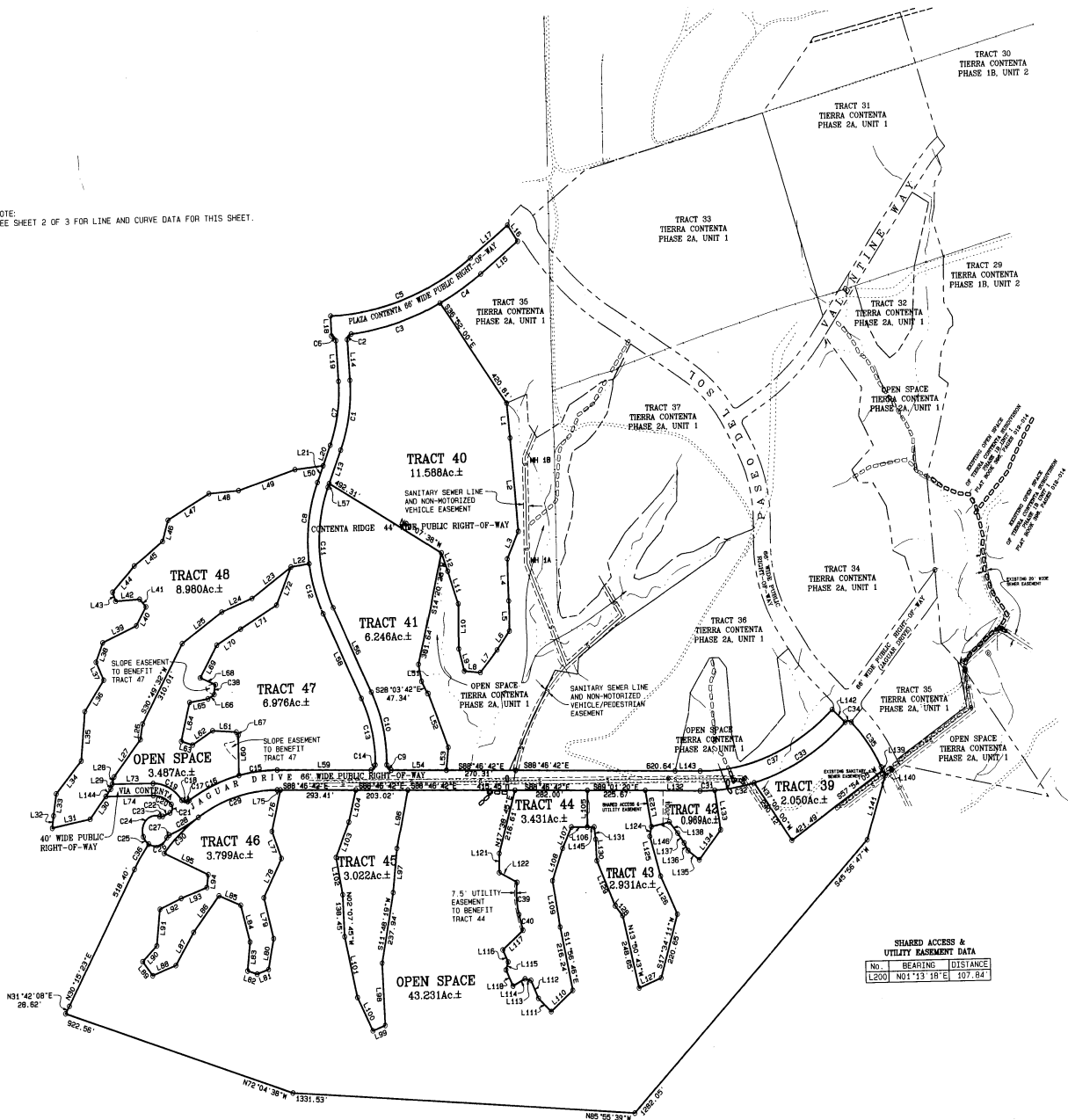
COMPRISED OF:
A PORTION OF TRACT 8A2-5
WITHIN THE PACHECO GRANT AND
WITHIN PROJECTED SECTIONS 11 AND 14
TOWNSHIP 16 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN
CITY AND COUNTY OF SANTA FE, NEW MEXICO

REVISIONS	BY	DATE

PROJECT No.: C-1281-P2AU2
SOUTHWEST MOUNTAIN SURVEYS, INC.
 1114 HICKOX ST., SANTA FE, N.M. 87501
 PHONE (505) 962-9429 FAX (505) 966-3413
 DRAFTED BY: DKR DATE: 07/18/02

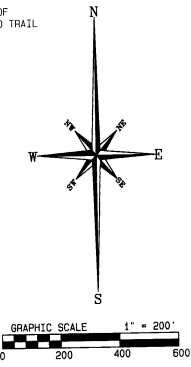
543003

NOTE:
 SEE SHEET 2 OF 3 FOR LINE AND CURVE DATA FOR THIS SHEET.



LEGEND

- POINT FOUND AS INDICATED
- CALCULATED POINT NOT FOUND OR SET
- SET 1/2" REBAR WITH CAP
- ⊗ MANHOLE
- EDGE OF EXISTING DIRT ROAD
- - - - - ADJOINER PROPERTY LINE
- FLOWLINE OF ARROYO
- AERIAL UTILITY LINE
- WIRE FENCE LINE
- - - - - EASEMENT LINE
- APPROXIMATE LOCATION OF FUTURE NON-MOTORIZED TRAIL
- APPROXIMATE LOCATION OF EXISTING NON-MOTORIZED TRAIL



SURVEYOR'S CERTIFICATE

I MITCHEL K. NOONAN, N.M.P.L.S. No. 6998 DO HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Mitchel K. Noonan
 MITCHEL K. NOONAN N.M.P.L.S. No. 6998

SHARED ACCESS & UTILITY EASEMENT DATA		
No.	BEARING	DISTANCE
L200	N01°13'18"E	107.64'

**TIERRA CONTENTA SUBDIVISION
 PHASE 2A, UNIT 2**

COMPRISED OF:
 A PORTION OF TRACT 8A2-5
 WITHIN THE PACHECO GRANT AND
 WITHIN PROJECTED SECTIONS 11 AND 14
 TOWNSHIP 16 NORTH, RANGE 8 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN
 CITY AND COUNTY OF SANTA FE, NEW MEXICO

APPROVED BY CITY PLANNING COMMISSION
AT THEIR MEETING OF NOVEMBER 7, 2002

Robert J. Warner 9-24-03
CHAIRMAN DATE
[Signature] 9-24-03
SECRETARY DATE

APPROVED:

[Signature] 9/24/03
CITY PLANNER DATE

[Signature] 09-24-03
CITY SUBDIVISION ENGINEER DATE

LEGEND

- PROPOSED TRACT ACCESS LOCATION
- NON-MOTORIZED FEEDER TRAIL OR TC SPINE TRAIL
- PHASE 2A, UNIT 2 BOUNDARY
- OPEN SPACE - UNIT 2
- OPEN SPACE - UNIT 1

343004

PHASE 2A DATA - UNIT 2

TRACT No.	LAND USE	AREA (Ac.)	DENSITY (UNITS PER AC.)	RESIDENTIAL UNITS (NUMBER)
39	RESIDENTIAL	2,050	4.9	10
40	RESIDENTIAL	11,588	7.9	91
41	RESIDENTIAL	6,289	7.9	49
42	RESIDENTIAL	0,969	6.2	6
43	RESIDENTIAL	2,931	6.4	22
44	RESIDENTIAL	3,022	6.6	20
45	RESIDENTIAL	3,799	5.8	22
46	RESIDENTIAL	6,977	7.2	50
48	RESIDENTIAL	8,980	11.0	99
OPEN SPACE	-	46,716	-	-
ROADS	-	7,272	-	-
TOTALS UNIT 2		104,026	3.7	387 UNITS

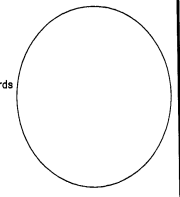
NOTES:

1. ACTUAL TRAIL LOCATIONS TO BE FIELD VERIFIED WITH CITY STAFF.
2. SEE SUBDIVISION PLAT FOR TRACT BOUNDARY DESCRIPTION.
3. STREET LIGHTS SHALL BE INSTALLED ON THE PARKWAYS, SEE ROAD PLAN AND PROFILE SHEETS 11A THROUGH 11D FOR LOCATIONS.
4. SEE SHEET 3B FOR NOTES REGARDING RECREATIONAL TRAIL RESPONSIBILITIES AND INFRASTRUCTURE RESPONSIBILITIES.
5. THE DEVELOPERS OF THE TRACTS CREATED BY THIS SUBDIVISION ARE RESPONSIBLE FOR COMPLYING WITH THE WATER USE RESTRICTIONS AND RETROFIT REQUIREMENTS; APPLICABLE AT THE TIME HOUSE BUILDING PERMITS ARE BEING REQUESTED.
6. THE CITY PLANNING COMMISSION GRANTED VARIANCES FOR THE DISTURBANCE OF 30% SLOPE LAND FOR THE INFRASTRUCTURE IMPROVEMENTS AT THEIR MEETING OF 09-12-02.

COUNTY OF SANTA FE)
STATE OF NEW MEXICO,)
I hereby certify that this instrument)
was filed for record on the _____ day of)
_____ 20____ A.D. AT)
_____ o'clock _____ M., and was duly recorded in)
Book _____ Page _____ of the records)
of Santa Fe County.

Witness my hand and Seal of Office)
REBECCA BUSTAMANTE)
County Clerk, Santa Fe County, NM)

Deputy



P&DR CASES M02-32 AND S02-44

CITY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
WASTE WATER MANAGEMENT DIV.	<i>[Signature]</i>	
WATER DIV.		
STREETS DIV.		
TRAFFIC DIV.		
FIRE DEPT.		
SUBDIVISION ENGINEER	<i>[Signature]</i> 09-24-04	
Landscaper	<i>[Signature]</i>	



REVISIONS	
DATE	BY
02/21/03	CRW
07/29/03	CRW

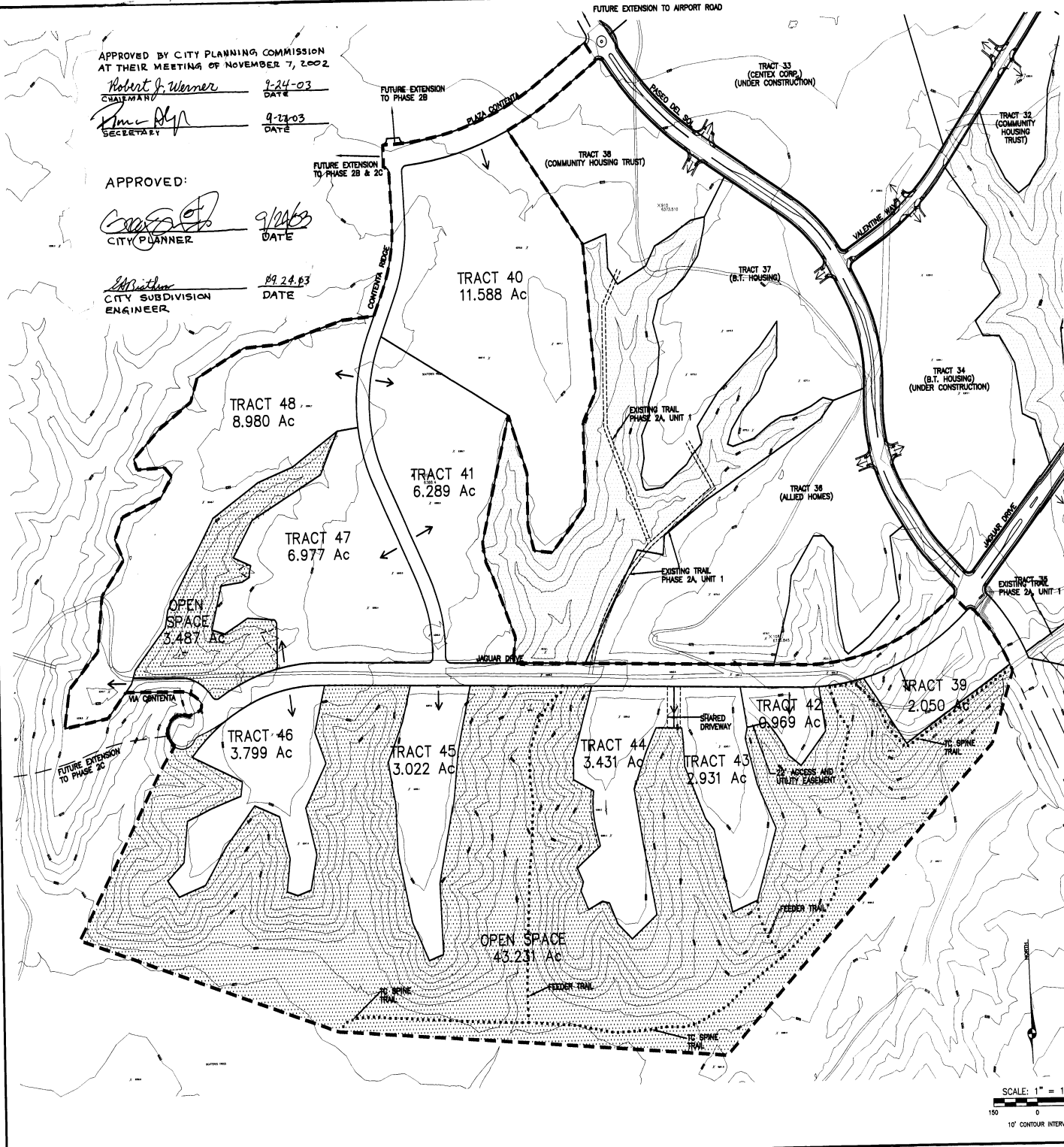
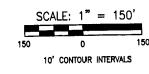
DEVELOPMENT PLAN

Tierra Contenta PHASE 2A, U2

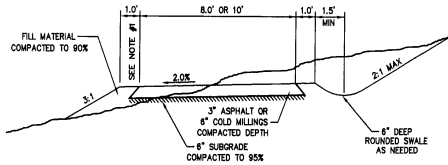
SCALE: 1"=150' DATE: JULY 22, 2002 DRAWN BY: YP

C.R. WALBRIDGE & ASSOCIATES, LLC
1421 LUISA STREET SUITE E
SANTA FE NEW MEXICO
(505) 982-9711

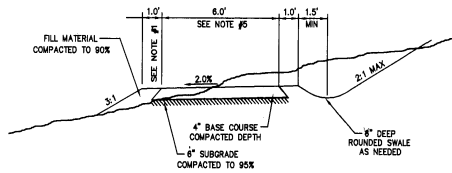
SHEET 1
OF 2
3A



PEDESTRIAN TRAIL DETAILS



TYPICAL SECTION - SPINE TRAIL



TYPICAL SECTION - FEEDER TRAIL
SCALE 1"=3'

NOTES

- ADDITIONAL WIDTH MAY BE REQUIRED ONLY IF 2:1 FILL SLOPES ARE UTILIZED AND THE HEIGHT OF FILL EXCEEDS 4 FEET.
- SUBGRADE IS TO BE TREATED WITH AN APPROVED PRE-EMERGENT CONTROL, SUCH AS TREFLORAN, OR EQUIVALENT, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS PRIOR TO COMPACTION
- MAXIMUM SLOPE ON THE SPINE TRAIL IS 8.0%. STEPS ARE NOT ALLOWED. LANDINGS IN ACCORDANCE WITH ADA REQUIREMENTS SHALL BE PROVIDED.
- MAXIMUM SLOPE ON THE FEEDER TRAIL IS 15.0%. IN STEEPER AREAS STEPS MAY BE PROVIDED
- FEEDER TRAIL WIDTH MAY BE REDUCED TO 5' IF TRAIL SERVES LESS THAN 120 UNITS, AND MAY BE REDUCED TO 4' IF SERVING LESS THAN 30 UNITS.
- TRAILS ARE TO BE COMPLETED PRIOR TO FINAL ACCEPTANCE OF OTHER INFRASTRUCTURE.

TIERRA CONTENTA CORPORATION SHALL BE RESPONSIBLE FOR CONSTRUCTION OF THE FOLLOWING INFRASTRUCTURE:

- JAGUAR DRIVE FROM PASEO DEL SOL IN PHASE 2A UNIT 1 TO THE WEST SIDE OF TRACT 46, INCLUDING ALL UTILITIES, STORM SEWERS AND MEDIAN LANDSCAPING, LANDSCAPING ADJACENT TO OPENSACE, AND STREET LIGHTS.
- PLAZA CONTENTA FROM PASEO DEL SOL IN PHASE 2A UNIT 1 WEST TO CONTENTA RIDGE, INCLUDING ALL UTILITIES AND STORM SEWERS, AND STREET LIGHTS.
- CONTENTA RIDGE FROM PLAZA CONTENTA SOUTH TO JAGUAR DRIVE, INCLUDING ALL UTILITIES, STORM SEWERS, AND STREET LIGHTS.
- VIA CONTENTA FROM JAGUAR DRIVE WEST TO TRACT 48, INCLUDING ALL UTILITIES, STORM SEWER AND LANDSCAPING.
- CENTRALIZED STORM WATER DETENTION PONDS IN PHASE 2A, UNIT 2.

INDIVIDUAL TRACT DEVELOPERS SHALL BE RESPONSIBLE FOR CONSTRUCTION OF THE FOLLOWING INFRASTRUCTURE:

- ALL INFRASTRUCTURE IMPROVEMENTS NECESSARY TO DEVELOP THE TRACT INCLUDING GRADING, DRAINAGE, ROADS, UTILITIES, AND LANDSCAPING.
- LANDSCAPING ALONG JAGUAR DRIVE, PLAZA CONTENTA, AND CONTENTA RIDGE ADJACENT TO INDIVIDUAL TRACTS.
- TRAILS AS OUTLINED IN THE TRAIL RESPONSIBILITIES ON THIS SHEET.

RECREATIONAL TRAILS RESPONSIBILITIES

TIERRA CONTENTA CORPORATION SHALL BE RESPONSIBLE FOR THE FOLLOWING:

TIERRA CONTENTA SPINE TRAIL:

DESIGN AND CONSTRUCT THE TIERRA CONTENTA SPINE TRAIL (TC SPINE TRAIL) FROM END OF THE EXISTING TRAIL IN PHASE 2A UNIT 1 TO THE SOUTH SIDE OF PHASE 2A UNIT 2.

FEEDER TRAIL:

- CONSTRUCT THE FEEDER TRAILS WITHIN THE OPEN SPACE FROM THE TC SPINE TRAIL TO THE FEEDER TRAIL WEST OF TRACT 36 BUILT WITH PHASE 2A, UNIT 1 BETWEEN TRACTS 43 AND 44.

THE PHASE 2A UNIT 1 TRACT DEVELOPERS SHALL BE RESPONSIBLE FOR THE FOLLOWING:

TRACT 39

CONNECT THE INTERNAL PEDESTRIAN CIRCULATION SYSTEM OF TRACT 39 TO JAGUAR DRIVE.

TRACT 40

CONNECT THE INTERNAL PEDESTRIAN CIRCULATION SYSTEM OF TRACT 40 TO PLAZA CENTRAL AND CONTENTA RIDGE, BUILD A TRAIL FROM TRACT 40 TO THE FEEDER TRAIL IN THE OPEN SPACE TO THE EAST OF TRACT 40.

TRACT 41

CONNECT THE INTERNAL PEDESTRIAN CIRCULATION SYSTEM OF TRACT 41 TO JAGUAR DRIVE, CONTENTA RIDGE.

TRACT 42

CONNECT THE INTERNAL PEDESTRIAN CIRCULATION SYSTEM OF TRACT 42 TO JAGUAR DRIVE, AND BUILD A FEEDER TRAIL TO THE TC SPINE TRAIL LOCATED EAST OF TRACT 42.

TRACT 43

CONNECT THE INTERNAL PEDESTRIAN CIRCULATION SYSTEM OF TRACT 43 TO JAGUAR DRIVE AND BUILD A FEEDER TRAIL TO THE TC SPINE TRAIL LOCATED SOUTH OF TRACT 43.

TRACT 44

CONNECT THE INTERNAL PEDESTRIAN CIRCULATION SYSTEM OF TRACT 44 TO JAGUAR DRIVE AND BUILD A FEEDER TRAIL EITHER TO THE TC SPINE TRAIL LOCATED SOUTH OF TRACT 44 OR TO THE FEEDER TRAIL LOCATED WEST OF TRACT 44.

TRACT 45

CONNECT THE INTERNAL PEDESTRIAN CIRCULATION SYSTEM OF TRACT 45 TO JAGUAR DRIVE AND BUILD A FEEDER TRAIL EITHER TO THE TC SPINE TRAIL LOCATED SOUTH OF TRACT 45 OR TO THE FEEDER TRAIL LOCATED EAST OF TRACT 45.

TRACT 46

CONNECT THE INTERNAL PEDESTRIAN CIRCULATION SYSTEM OF TRACT 46 TO JAGUAR DRIVE AND BUILD A FEEDER TRAIL TO THE TC SPINE TRAIL LOCATED SOUTH OF TRACT 46.

TRACT 47

CONNECT THE INTERNAL PEDESTRIAN CIRCULATION SYSTEM OF TRACT 47 TO CONTENTA RIDGE AND JAGUAR DRIVE.

TRACT 48

CONNECT THE INTERNAL PEDESTRIAN CIRCULATION SYSTEM OF TRACT 48 TO CONTENTA RIDGE AND VIA CONTENTA.

SOME OFFSITE INFRASTRUCTURE BY TRACT DEVELOPERS IS NECESSARY AS FOLLOWS:

- TRACTS 41-48 - NONE REQUIRED, EXCEPT THAT TRACT DEVELOPERS ARE RESPONSIBLE FOR EROSION AND SILTATION PREVENTION MEASURES NEEDED TO SAFELY TRANSMIT STORMWATER FROM THE TRACT TO THE STORMWATER DETENTION PONDS, WHICH OCCUR WITHIN THE OPEN SPACE TRACTS.
- TRACT 40 WILL NEED TO EXTEND A SANITARY SEWER FROM MH #1A IN PHASE 2A UNIT 1.

COUNTY OF SANTA FE)
STATE OF NEW MEXICO)ss
I hereby certify that this instrument
was filed for record on the _____ day of _____
20__ A.D. At
o'clock _____ M., and was duly recorded in
Book _____ Page _____
of the records
of Santa Fe County.

Witness my hand and Seal of Office
REBECCA BUSTAMANTE
County Clerk, Santa Fe County, NM

Deputy

P&DR CASES M02-32 AND S02-44

CITY REVIEW			REVISIONS	
DEPARTMENT	SIGN-OFF	DATE	DATE	BY
WASTE WATER MANAGEMENT DIV.	<i>Signature on file</i>		02/21/03	CRH
WATER DIV.			07/28/03	CRW
STREETS DIV.				
TRAFFIC DIV.				
FIRE DEPT.				
SUBDIVISION ENGINEER	<i>Signature 09/20/03</i>			
Landowner	<i>Signature on file</i>			



FINAL DEVELOPMENT PLAN

Tierra Contenta PHASE 2A, UNIT 2

SCALE: - DATE: JULY 22, 2002

C.R. WALBRIDGE & ASSOCIATES, L.L.C.
1421 LUISA STREET SUITE E
SANTA FE NEW MEXICO
(505) 982-9711

SHEET 2
OF 2
3B



Santa Fe Public Schools

Property & Asset Management

Residential Development Impact Information Form

School Notification as required by City Ordinance 14-8.18 AFCC 1987

1. Project Name: Tierra Contenta Phase 3A Master Plan Amendment
2. Location of Property: vacant land between Jaguar Dr, Cerrillos Rd, and Mutt Nelson Rd
3. Owner/Agent Name: Tierra Contenta Corporation / JenkinsGavin, Inc.
 Mailing Address: 130 Grant Ave. Suite 101, Santa Fe, NM 87501
 Phone & Fax: (505) 820-7444

4. Unit Matrix

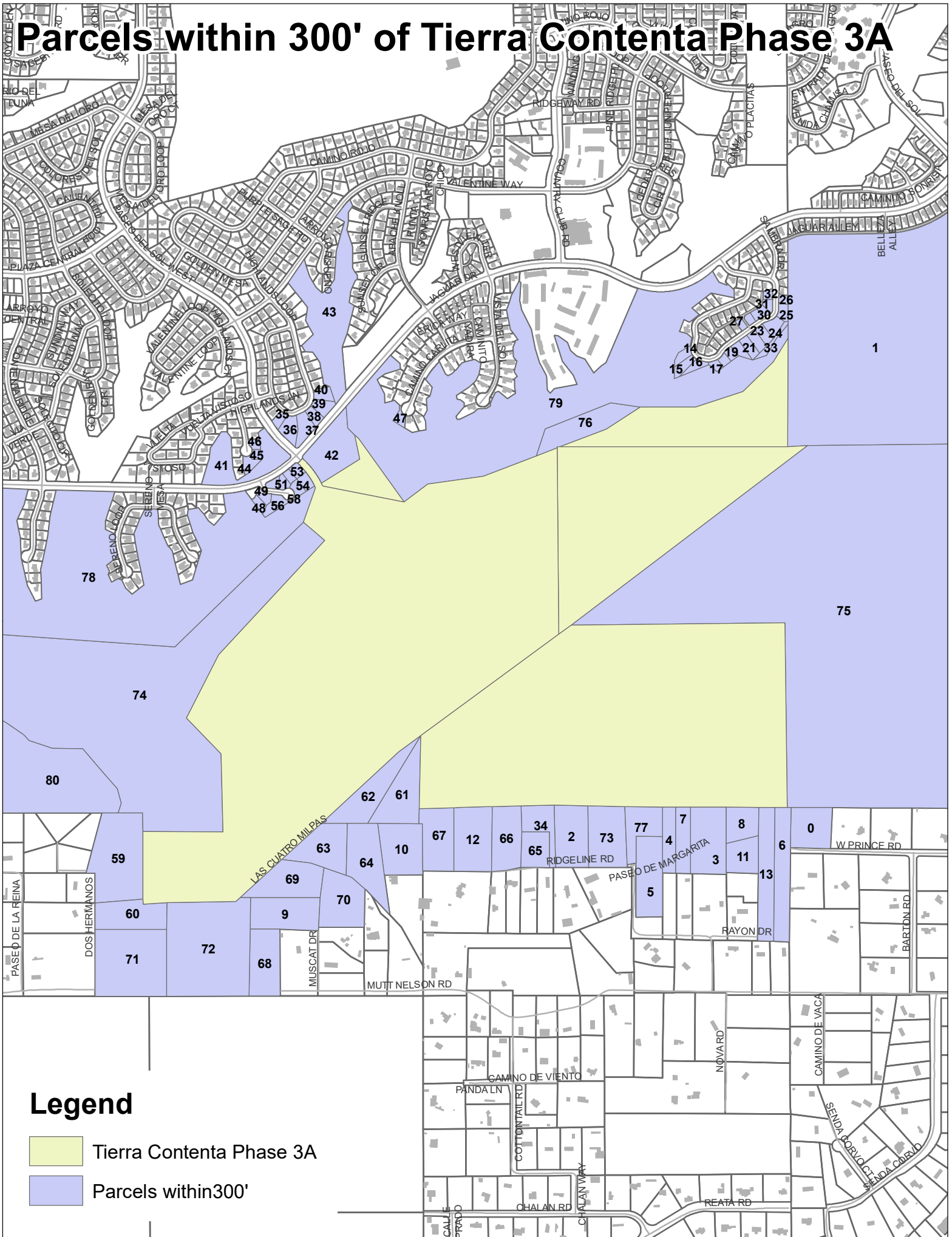
PROJECT EFFECT ON STUDENT POPULATION		
Unit Type	Unit Quantity	Average Price
Single Family (detached)	455	TBD Single Family Residences will be 40% Affordable
Single Family (attached)		
Townhome/ Apartment	180	
Multi-Family	490	
Commercial	42	

5. Elementary School Zone for Proposed Development: Nina Otero Community School
6. Middle School Zone for Proposed Development: Nina Otero Community School
7. High School Zone for Proposed Development: Capitol High School
8. Build out Rates (Year/s; #/yr): TBD

Educational Services Center
 610 Alta Vista
 Santa Fe, NM 87505
 Telephone (505) 467-2000
 www.sfps.info

For questions & submittal, contact:
 Santa Fe Public Schools, Property & Asset Management,
 2195 Zia Road, Santa Fe NM 87505
 505 467 3400

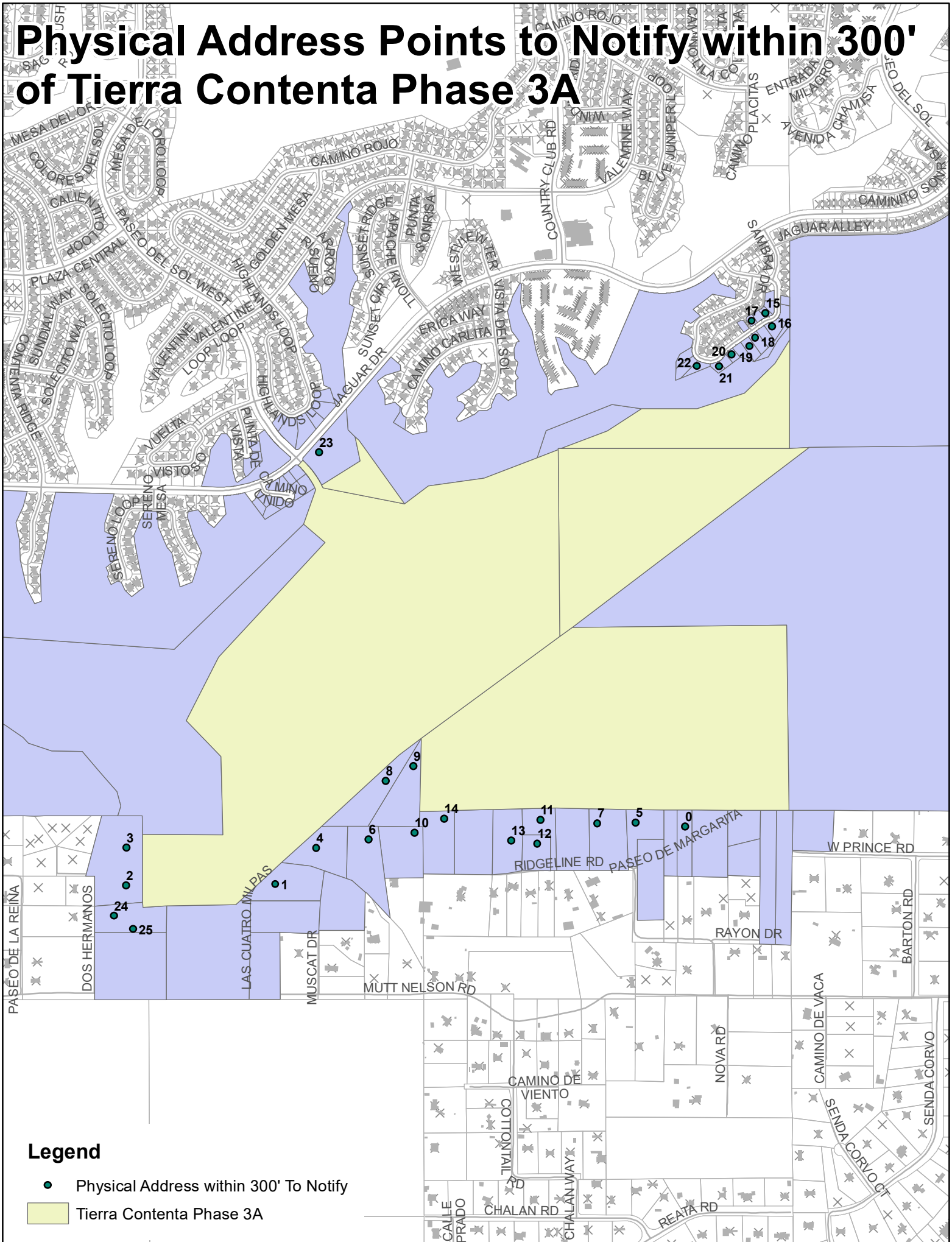
Parcels within 300' of Tierra Contenta Phase 3A



Legend

- Tierra Contenta Phase 3A
- Parcels within 300'

Physical Address Points to Notify within 300' of Tierra Contenta Phase 3A



CARRILLO, VANESSA
27 W PRINCE RD
SANTA FE, NM 87507-9780

BOARD OF EDUCATION OF
SF PUBLIC SCHOOLS
SANTA FE, NM 87502

TRUJILLO, DAVID & BONNIE
37 RIDGELINE RD
SANTA FE, NM 87507

SALCIDO, AMADO & MANUELA
BAILON DE SALCI
11 PASEO DE MARGARITA
SANTA FE, NM 87505

ALVAREZ, JOE M
3 PASEO DE MARGARITA
SANTA FE, NM 87507-3408

MONTOYA, DEBORAH T
3201 ZAFARANO DR STE C
SANTA FE, NM 87507-2672

LOYA, REYES M & ELMA
45 LAS ESTRELLAS
SANTA FE, NM 87507-4230

ANDUJO, EBERARDO
5 PASEO DE MARGARITA
SANTA FE, NM 87507

ANDUJO, SERGIO & HERMILA
13 PASEO DE MARGARITA
SANTA FE, NM 87507-3408

RIVERA, JOSE
10 LAS CUATRO MILPAS
SANTA FE, NM 87507

CASTILLO, SERGIO & ADELA
37 LAS CUATRO MILPAS
SANTA FE, NM 87507-4404

RAMOS, ISIDORO & BEATRIZ
5 A RAYON DR
SANTA FE, NM 87501

MARTINEZ, TRICIA
53 RIDGELINE RD
SANTA FE, NM 87507

LOYA, ADALBERTO & GILA
07 RAYON DR
SANTA FE, NM 87507

HAYNES, EMILY K
6465 CERROS GRANDE DR
SANTA FE, NM 87507-1822

GOMEZ, CIPRIANO & PAMELA
6463 CERROS GRANDES DR
SANTA FE, NM 87505

HARRIS, PAULA B
PO BOX 35
TESUQUE, NM 87574

GONZALES, JUANITA E
PO BOX 24063
SANTA FE, NM 87502-0063

MCADAMS, AMANDA D
6453 CERROS GRANDES DR
SANTA FE, NM 87507

MAZON, ARTURO G & CARMEN M
6324 CALLE ZANATE
SANTA FE, NM 87507

GARCIA, FRANCISCO & ELVIRA CUNA
6445 CERROS GRANDES DR
SANTA FE, NM 87507

JIMENEZ, FERNANDO & AOLGA
TARANGO JIMENEZ
6443 CERROS GRANDES
SANTA FE, NM 87507

ORTIZ, EDGAR & MICHELLE
6441 CERROS GRANDE DR
SANTA FE, NM 87507-1822

OLAND, GREGG J
6437 CERROS GRANDES DR
SANTA FE, NM 87502

DONOGHUE, CAMILLE PISK & DANIEL
DONOGHUE
6433 CERROS GRANDES DRIVE
SANTA FE, NM 87507

RIEGER, PAUL
6431 CERROS GRANDES DR
SANTA FE, NM 87507-1822

ACOSTA, NAYELI LOZOYA
6429 CERROS GRANDES DR
SANTA FE, NM 87507

HEJL, RONALD & JULIE ANN
6440 CERROS GRANDE DR
SANTA FE, NM 87507-1813

ORNELAS, ISMAEL & BLANCA
6438 CERROS GRANDES
SANTA FE, NM 87507

GURULE, MONICA K
6434 CERROS GRANDES DR
SANTA FE, NM 87507

BACA, MICHAEL W
6432 CERROS GRANDES
SANTA FE, NM 87507

SANCHEZ, HECTOR & MARIA ARACELY
6430 CERROS GRANDES DR
SANTA FE, NM 87508

GIRARD FUND-MATTEUCCI INV LLC
4720 SAMBRA DR
SANTA FE, NM 87507

TIERRA CONTENTA
PO BOX 308
NEWMARKET, NH 3857

ROYBAL, ALLEN R & MICHELLE
PO BOX 29201
SANTA FE, NM 87592

DEVARY, DENNIS R
4735 HIGHLANDS LP
SANTA FE, NM 87507

PEARSON, RICHARD W & LINDA
MARIE(TRUST)
4733 HIGHLANDS LOOP
SANTA FE, NM 87507

RANGLES, TIMOTHY C & LUCY R
4731 HIGHLANDS LOOP
SANTA FE, NM 87507

RYNESS IV, FRED ALISON & ALAINA
MARIE
4729 HIGHLANDS LOOP
SANTA FE, NM 87507-4601

REYNOLDS, WALTER D
4727 HIGHLANDS LOOP
SANTA FE, NM 87507

HAMMOCK, ROBERT C & MARY E
4725 HIGHLANDS LOOP
SANTA FE, NM 87507

CITY OF SANTA FE
PO BOX 909
SANTA FE, NM 87501

CITY OF SANTA FE
PO BOX 909
SANTA FE, NM 87504

CITY OF SANTA FE
200 LINCOLN AVE
SANTA FE, NM 87501

ENGELMAN, ANTHONY C
4761 PUNTA DE VISTA
SANTA FE, NM 87507

MARTINEZ, TANYA B
4759 PUNTA DE VISTA
SANTA FE, NM 87507

VIGIL, RICHARD D
4757 PUNTA DE VISTA
SANTA FE, NM 87507

LUCERO, MANUEL
6799 CAMINO CARLITA
SANTA FE, NM 87507

MEDINA, SARAH
4752 CAMINO UNIDO
SANTA FE, NM 87507

SOLIS, HECTOR F & VIRIDIANA LOYA
SOLIS
4750 CAMINO UNIDO
SANTA FE, NM 87507

LUCERO, JANICE LYNN
4757 CAMINO UNIDO
SANTA FE, NM 87505

MARTINEZ, SARA L
4759 CAMINO UNIDO
SANTA FE, NM 87507

MONSEY, SHARON R
4761 CAMINO UNIDO
SANTA FE, NM 87507

MOLINAR, EVERARDO & LUZ
4763 CAMINO UNIDO
SANTA FE, NM 87507

MIERA, JO ANN
4765 CAMINO UNIDO
SANTA FE, NM 87507

SANCHEZ, LOU ANN
4767 CAMINO UNIDO
SANTA FE, NM 87507

FIERRO, JOSE & ROSA C/O JOSE LUIS
FIERRO & ROSA E
4756 CAMINO UNIDO
SANTA FE, NM 87507

ROSENQUIST, MARTHA
4754 CAMINO UNIDO
SANTA FE, NM 87507

CITY OF SANTA FE
200 LINCOLN AVE
SANTA FE, NM 87501

OROZCO, NORMA M GARCIA & REYES
16 DOS HERMANOS
SANTA FE, NM 87507-4501

HERRERA, MICHAEL G & BEATRICE
5 PASEO DE LA REINA
SANTA FE, NM 87507

CERA, CESAR & LUZ ADRIANA
PRIMERO DE CER
33 B LAS CUATRO MILPAS
SANTA FE, NM 87507

CASTILLO, MANUEL E & MARISELA
33 A LAS CUATRO MILPAS
SANTA FE, NM 87507

REYES, RAUL & SARAH
22 A LAS CUATRO MILPAS
SANTA FE, NM 87507-4404

TORRES, ZAIDE MENDOZA
32 B LOS CUATRO MILPAS
SANTA FE, NM 87507

ORTEGA, BENJAMIN E & EVELYN
PO BOX 29201
SANTA FE, NM 87592

RIVERA, GARY M
903 W ALAMEDA ST #216
SANTA FE, NM 87501-1681

MONTOYA, EPIE C & KAREN J
2302 CALLE ANNA JEAN CT
SANTA FE, NM 87505

PRIETO, AMY B
123 MUTT NELSON RD
SANTA FE, NM 87507

CASTILLO, SERGIO & ADELA
125 MUTT NELSON ROAD
SANTA FE, NM 87507

ORTIZ, JERRY F & ROSE M
PO BOX 29251
SANTA FE, NM 87592-9251

HETT, JEFFREY D & ANITA L
PO BOX 4131
SANTA FE, NM 87502

BROWN, PATRICIA D
4900 DEBORAH AVE NW
ALBUQUERQUE, NM 87120

TRUJILLO, AURELIO & MARY
29 RIDGELINE RD
SANTA FE, NM 87508

CITY OF SANTA FE
PO BOX 909
SANTA FE, NM 87501

N M SCHOOL FOR THE DEAF
UNASSIGNED
SANTA FE, NM 87501

TIERRA CONTENIDA S/D
0 JAGUAR DR
SANTA FE, NM 87507

REEVES, ALAN E
550 A SALINE PUMP RD
MORIARTY, NM 87035-5471

CITY OF SANTA FE
P O BOX 909
SANTA FE, NM 87504-0909

CITY OF SANTA FE
P O BOX 909
SANTA FE, NM 87504-0909

TIERRA CONTENTA CORPORATION
1111 AGUA FRIA ST
SANTA FE, NM 87501-2467

Owner/Current Resident
9 PASEO DE MARGARITA
SANTA FE, NM 87507

Owner/Current Resident
12 LAS CUATRO MILPAS
SANTA FE, NM 87507

Owner/Current Resident
18 DOS HERMANOS
SANTA FE, NM 87507

Owner/Current Resident
20 DOS HERMANOS
SANTA FE, NM 87507

Owner/Current Resident
22 LAS CUATRO MILPAS
SANTA FE, NM 87507

Owner/Current Resident
27 RIDGELINE RD
SANTA FE, NM 87507

Owner/Current Resident
28 LAS CUATRO MILPAS
SANTA FE, NM 87507

Owner/Current Resident
29 A RIDGELINE RD
SANTA FE, NM 87507

Owner/Current Resident
31 LAS CUATRO MILPAS
SANTA FE, NM 87507

Owner/Current Resident
33 LAS CUATRO MILPAS
SANTA FE, NM 87507

Owner/Current Resident
37 LAS CUATRO MILPAS A
SANTA FE, NM 87507

Owner/Current Resident
39 B RIDGELINE RD
SANTA FE, NM 87507

Owner/Current Resident
39 RIDGELINE RD
SANTA FE, NM 87507

Owner/Current Resident
43 RIDGELINE RD
SANTA FE, NM 87507

Owner/Current Resident
55 RIDGELINE RD
SANTA FE, NM 87507

Owner/Current Resident
6432 CERROS GRANDES DR
SANTA FE, NM 87507

Owner/Current Resident
6433 CERROS GRANDES DR
SANTA FE, NM 87507

Owner/Current Resident
6438 CERROS GRANDES DR
SANTA FE, NM 87507

Owner/Current Resident
6441 CERROS GRANDES DR
SANTA FE, NM 87507

Owner/Current Resident
6443 CERROS GRANDES DR
SANTA FE, NM 87507

Owner/Current Resident
6451 CERROS GRANDES DR
SANTA FE, NM 87507

Owner/Current Resident
6455 CERROS GRANDES DR
SANTA FE, NM 87507

Owner/Current Resident
6461 CERROS GRANDES DR
SANTA FE, NM 87507

Owner/Current Resident
6796 JAGUAR DR
SANTA FE, NM 87507

Owner/Current Resident

10 DOS HERMANOS

SANTA FE, NM 87507

Owner/Current Resident

10 DOS HERMANOS A

SANTA FE, NM 87507

SANTA FE, NM 87507



EXHIBIT F2

JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

TIERRA CONTENTA PHASE 3A MASTER PLAN AMENDMENT EARLY NEIGHBORHOOD NOTIFICATION MEETING NOTES

Date: May 27, 2021
 Time: 5:30 to 7:00 pm
 Location: Virtual Meeting held via Zoom
 Attendees: City Land Use Department Representative (Dan Esquibel, Senior Planner)
 Project Team Representatives

- JenkinsGavin, Inc. (Jennifer Jenkins)
- Santa Fe Community Housing Trust (Daniel Werwath)
- Tierra Contenta Corporation (Jack Hiatt)

± 20 Attendees

A presentation was given by Jennifer Jenkins of JenkinsGavin, Inc., with assistance from Daniel Werwath of the Santa Fe Community Housing Trust, regarding the upcoming application to the City of Santa Fe for a Master Plan Amendment for Phase 3A of Tierra Contenta.

Following the presentation, a Question & Answer session was held. The following notes capture the questions and concerns raised and the responses by the Project Team.

Questions/Comments	Responses
Excited about the diversity of homes, but concerned about terrain and open space preservation.	The proposed development tracts are on the high ground between arroyos, and the arroyos and steep slopes will be preserved as open space.
With SFPS enrollment decreasing, it is a possibility to replace the school site with a new rec center with a pool instead?	The project is obligated to set aside a school site, but if SFPS eventually decides they do not want it, it could be reprogrammed. Civic/Mixed-Use parcels could be dedicated for a rec center or pool if the City wishes.
Are solar or other sustainability measures being included in the project?	Not proposing an array, but sustainability measures are encouraged and possibly incentivized. Still working through these details.
Concerned about losing open space and about traffic/congestion, especially on Jaguar in the AM hours.	The extension of Paseo del Sol will create more E-W connectivity and alleviate Jaguar traffic.
Concerned about barking dogs in front yards.	Requirements for low front yard walls will help mitigate issues with barking dogs and make the streetscape more inviting.

Questions/Comments	Responses
Will impact fees be collected?	The City deeded the land to TCC, so impact fees will be collected for market rate units.
Concerns re street/drag racing. Is there a plan for installing speed humps?	Not right now, particularly because the spine infrastructure will be emergency routes where speed humps are not permissible. However, the city can evaluate this once the streets are constructed, and if warranted, speed humps can be installed.
Can we make this conversation available in Spanish or hold a Spanish-language meeting?	Daniel is willing to work with Miguel Acosta on this.
Why does TC have to pay for its own park maintenance while northside park maintenance is handled by the City and paid for with taxes? Concerns re park equity.	City has taken the position in recent years that it cannot take on maintenance of new small scale parks. One park will be public, and there will be four pocket parks that may be maintained with HOA fees or a master association or possibly with a PID.
Concerns re HOA creating inequity and divisiveness	We hear these concerns. The program being contemplated is the creation of associations that are open to all residents (owners and renters). Still working out the details of this. A PID would only apply to Phase 3A, but earlier phases could establish this by vote. There would have to be community control of the PID, and we are definitely taking a very close look at neighborhood equity and community building opportunities.
What considerations are being made for noise and safety for existing residents adjacent to Paseo del Sol and Jaguar? What about during construction?	Efforts are being made to improve the streetscapes within TC as a top priority. These include traffic calming and complete street design. The City has strict regulations governing noise and dust during construction.
How will traffic increase be handled once Jaguar is a central access for the airport?	Unsure of the timing of this, but the primary strategy to mitigate traffic is increased connectivity, not wider roads.
Concerns re sub-contracts, specifically, how can we help local, small builders get over the barriers of infrastructure financing to be able to complete with large scale builders?	One of our goals is to help support smaller builders. Perhaps the City could set aside some of the \$2M it will be receiving in loan repayments to support economic development in this area. Encouraging collaboration with nonprofits on infrastructure as well.
How will sustainability be encouraged or required?	Incentive-based rather than prescriptive approach. Affordability and sustainability are high priorities. The density bank concept is a way to incentivize increased affordability and sustainability. Net zero, water conservation, and electric only are top sustainability goals.

Questions/Comments	Responses
Can we have another meeting to try and engage more residents?	We can consider this, but it may be that due to the extensive outreach that was done in 2019 and then a long pause due to the pandemic in 2020, many neighbors feel they have already had input.

Feedback from Three Public Meetings on the Draft Land Use Plan For Tierra Contenta Phase 3A

1. Overview

The Meetings

On November 7 and 9, 2019, the nonprofit Tierra Contenta Corporation (TCC) hosted three public meetings at the Southside Library. The purpose was to get input from the public on preliminary drafts of a Land Use Plan for one of the last large tract (228 acres) portions of undeveloped land in Tierra Contenta.

Residents of Tierra Contenta and the city as a whole had been encouraged to attend these meetings by these outreach efforts:

- Multiple postings in NextDoor.com—both the citywide section and two sections that Tierra Contenta residents created for their neighborhoods.
- Newspaper advertisements in The New Mexican and Santa Fe Reporter.
- Postings to event calendars in The New Mexican and Albuquerque Journal.
- Leaving leaflets about the meetings during a door-to-door survey within Tierra Contenta.
- Inviting city council members whose districts include Tierra Contenta.
- Contacting neighborhood residents individually

A total of over 100 residents signed in at the three meeting, not counting public officials and members of the TCC planning team. Several dozen more attended without signing in.

The Plan Presented Was Informed by Previous Public Input

Prior to an Amended Plan being drafted, an earlier public meeting had been held on April 11, 2019 at the Genoveva Chavez Community Center. Its purpose was to get advice and feedback from residents on their hopes and concerns about the development of would like----on the high-level goals of the plans as well as any concerns about the development. A total of 45 city residents attended, primarily residents of the developed parts of Tierra Contenta. Others attended without signing in.

In July 2019, SEC Planning of Austin, Texas had been hired and began work on the Land Use Plan component of the Amended Master Plan. The initial public feedback guided a number of features of the Plan. The Plan went through a number of iterations and was ready to present to the public by October, 2019. At that time, the TCC team conducted the outreach for the three November meetings as described above.

Detailed Input from the Three Public Meetings in November 2019

Below, in this report, we have listed comments recorded by six discussion leaders at the three public meetings in November, 2019. These were edited only for clarity and brevity. For example, two identical comments were combined like this: "Include rec center with activities for kids (2)." No critical comments about current conditions in Tierra Contenta or concerns about the development were left out.

Key Changes to the Draft Amended Land Use Plan as a Result of Public Input

Parks – In place of the single, larger park in the first version of the plan, the plan now calls for 4 small parks and one middle-sized park with more recreational features.

Store and Restaurant – Participants voiced a strong preference for having at least one small grocery store and a coffee shop/restaurant. The TCC team had not considered these uses commercially viable, but based on this

strong interest, the team changed the plan to include two parcels comprising over 3 acres for compatible commercial uses and public facilities such as a rec center and a farmers' market.

Pedestrian Network (sidewalks and trails) – Due to the strong public support of trails and sidewalks inside and surrounding the proposed future development area, some trails were added along with crosswalks where they intersect streets.

Connections to New Mexico School for the Deaf Land – The Land Use Plan now has added locations indicated as reserved as easements for future road extensions to connect roads and the pedestrian network with the NMSD land if and when it is developed.

Goal of Establishing a Master Property Owner Association – Due to numerous concerns expressed about problems in the built-up parts of Tierra Contenta with trash and abuse of the off-site trails, lack of maintenance of streetside landscape strips and similar issues, the Amended Master Plan includes a goal for creating a Master Property Owners Association for Phase 3A. Modest fees charged to property owners (in the range of \$20 per month) will provide funding for monitoring for and correcting problems. This would primarily involve working closely with the City to fix problems with the City-owned trails, parks and open spaces and encouraging the kinds of neighborhood clean-up activities proposed below.]

2. Recorded Questions and Comments, along with TCC Responses

Questions and comments are in italics. TCC answers precede or follow questions and comments.

What Participants Said They Liked Most About Developed Parts of Tierra Contenta

Pedestrian trails

Wildlife corridors

Parks

Suggestions for the Land Use Plan and Development of Parcels

More open space is needed. [Answer: 38% of the land in Phase 3A is reserved for open space and trails and another 4% for parks—a much higher percentage than in most new developments in Santa Fe, an amount TCC believes to be more than adequate.]

No mass grading; minimize land impact [Answer: the Land Use Plan avoided development on steep slopes, so that needs for grading and filling will be minimized. Grading plans will be subject to City review and permitting after parcels within Phase 3A are sold to developers and other entities.

Fewer homes built with fronts in straight line [Answer: The Design Standards for Phase 3A encourage builders to come up with attractive streetscapes.]

Eliminate school site from land use plan? Is a new school really needed? [Answer: The School District has contractual right to purchase one 9+-acre school site. The District has indicated that population increases on the southwest side of Santa Fe will necessitate an elementary school in this general location.

Allow some parcels to be sold lot-by-lot—like Mesa del Sol, for smaller-scale builders. [Answer: This is a goal that will be stated in the Amended Master Plan]

Consider adding non-residential parking lots. [Answer: the parcels designated for the school and non-residential uses have been sized to include adequate numbers of parking spaces.]

New state security regulations for new schools preventing access from surrounding perimeter. [Answer: this is a matter for the School District to address when it draws up plans for the elementary school.]

Switch park and commercial center because school won't allow those functions being adjacent. [Answer: The School District has informed us that the proximity is not an issue.]

Include landscaper advisement for parks etc. [Answer: the Amended Master Plan will include concept drawings and specifications for the 4 small and one larger park. All construction plans and landscaping plans are subject to Tierra Contenta's Design Standards and review by Tierra Contenta Corporation's Design Review Committee.]

Allow for co-housing development with common meeting/dining space for seniors, others (2) [Answer: This is possible in any residential parcel. One or more buyers of a parcel would have to see a demand for this type of housing and include it in their plans. Alternatively, a co-housing organization could negotiate with a buyer of one of the parcels to purchase a sub-parcel tract for this purpose.]

Could TCC retain ownership of land due to the housing crisis? [Answer: This would require that TCC lease all of the land, which it is not prepared to do because of real estate market and financing barriers. However, TCC would be pleased to sell a parcel to an affordable housing land trust, or to help negotiate the purchase of a sub-parcel tract.]

General Concerns About Development Phase

Is an environmental impact study needed? [Answer: not until parcels are sold to developers]

Who's in charge? [Answer: the nonprofit Tierra Contenta Corporation. See www.tierracontenta.org]

Archeology concerns - What's the situation with this land? What about state clearances? [Answer: will be addressed when parcels are purchased and developed]

Concerned about building on edge of arroyo, too steep/dangerous/people feel trapped (4) [Answer: the Land Use Plan avoided including terrain with the steepest grades]

Want to know more about School for the Deaf plans for its land. [Answer: NMSD has no plans to sell or develop its land in the foreseeable future]

Concerned about density of parcels [Answer: the Land Use Plan allows for house lots of varying sizes. Ultimately, home buyers make the decisions of what size lots they want and can afford. Smaller lots are included because they make some homes much more affordable and similar in size to some lots in the historic parts of the city and many lots in recent subdivisions.]

Concerned about surveying properties/eminent domain/fracking [Answer: Surveys of parcels will occur only when they are sold. The land is owned by TCC so eminent domain is not relevant. A ban on fracking will be considered even though there is no data to indicate the presence of oil or gas reserves.]

Affordable Housing

Allow accessory dwelling units. [Answer: the City's ordinance allowing for these will make it possible.]

Create more affordability [Answer: TCC is legally bound to provide 40% of the homes and apartments in Tierra Contenta with incomes and rents restricted in three tiers of affordability: 65% of area median income (AMI), 80% of AMI, and 100% of AMI.]

Set targets for affordability lower than 80% of area median income—that's still high. [See answer above]

Lower income families are usually larger + need more space. [Answer: TCC and City regulations require builders to provide a mix of bedroom-sizes for the affordable homes, each with a minimum square footage.]

Future Businesses and Community Facilities/Services

[TCC response to the preferences below: TCC is a nonprofit planning and land sales entity. We will make best efforts to see affordably-priced land to developers and service agencies who will commit to building the facilities that have been most favored in our public meetings and formal surveys of residents.]

Include a locally owned co-op market/less of a food desert

Include coffee shop

Include community center

Include rec center with activities for kids (2)

Make room for a farmer's market

Include facility for mental health and recovery services

Better public transportation, add bus routes (2). [Answer: TCC will work actively with the City to assure that bus routes are added to Phase 3A. However, TCC does not have the resources or expertise to provide transportation services.]

Parks, Trails, and Recreational Facilities

Unpaved trails for jogging next to paved trails now shown on major arteries (2). [Answer: this suggestion is being considered.]

Where trails intersect roads - need for simple trail crossings. [Answer: these are included in the latest version of the Land Use Plan]

Is Paseo del Sol extension wide enough for bike lane? [Answer: yes.]

Don't substitute bike lanes for bike trails [Answer: This rule will be imposed on the pedestrian trails along the major arteries – Paseo del Sol and the “Loop” road.]

Include small neighborhood parks. [Answer: This preference was incorporated in the current version of the Land Use Plan.]

More benches in arroyo area. [Answer: The trails in the arroyo are built and maintained by the City and not the responsibility of TCC. However, a master homeowner association with modest monthly fees is planned to provide sufficient income to augment City efforts to monitor and fix problems with trails, open space and landscape strips along the streets.]

Have a year-around pool connected to a Rec Center (2). [Answer: TCC has no capability to provide any public facilities. However, TCC would be eager to work with the City or nonprofit to provide this and/or other high-demand facilities.]

Add tennis courts. [Answer: same as above.]

Roads, Access, and Traffic

Paseo del Sol as only access road is a concern. [Answer: TCC has completed a traffic study that indicates the offsite road and traffic signage that will be needed at different stages of the build-out. The City will be expected to require these improvements as the Phase 3A parcels are sold and development plans are submitted for approval.]

Safety concerns over volume of traffic. [See answer above.]

Don't continue to allow shared driveways as in earlier phases of Tierra Contenta (3). [Based on numerous complaints about safety issues and inconvenience, shared driveways will not be allowed in Phase 3A.]

Make roads wider. (2) [Answer: based on public input, the Land Use Plan and Design standards will include specifications for the smallest local streets that facilitate safe parking on both sides.]

Don't allow gated areas (4). [Answer: TCC will consider banning these via the Design Standards for Phase 3A.]

Add speed humps [Answer: we will respond at a later date as to whether these should be included in the Design Standards. At present, TCC believes that the decisions on whether or where to install these should be the City's decision since the City will own and be responsible for the streets.]

Better access for RVs and other larger vehicles. [As noted above, TCC's plan for Phase 3A widens the narrowest streets but still, some RV owners will have to find parking/storage spaces offsite.]

Create better connectivity among the sections of Tierra Contenta [Answer: Due to this input, we have amended the Land Use Plan to provide easements for future road connections with the land owned by New Mexico School for the Deaf, which, if and when developed, will become Phase 3B.]

Water, Energy Conservation and Environmental Features

Concerned about growth with limited water supply (2). [Answer: The City has ample water supplies for prudent growth. Phase 3A design standards and City codes demand strict water conservation in new buildings]

Stormwater collection not shown on plans. Retention ponds? [Answer: Engineered plans for these included the ultimate development plans presented to the City buy buyers/developers of the land.]

Concerns about arroyo and stormwater management. [See answer above.]

Water usage concerns. (2) [See answers above]

Make sure water/energy efficiency is prioritized. [Answer: the Design Standards address both of these issues.]

"Climate investment" a good thing. [See answers above]

Would like trees along streets. [Answer: the Design Standards require appropriate, attractive low-maintenance landscaping in landscape strips along the streets. TCC will not permit any landscaping on these strips requires irrigation due to our goals of conserving scarce water supplies.]

Help environment by planting trees [See answer above.]

Current Problems with Developed Areas of Tierra Contenta

Current homeowners are involved in lawsuits with builders over bad materials—standards of building must be enforced. [Answer: TCC staff has supported homeowners by making best efforts to help resolve these kinds of

disputes with homebuilders. However the City's Land Use Department and not TCC is responsible for reviewing construction plans and inspecting for compliance with the City's Building Code.]

[Regarding the 3 concerns below, voiced by current TC residents, TCC Phase 3A Master Plan calls for formation of a Master Property Owners Association to address issues such as these. See page 2 above for details.]

Stop abuse of public land around Swan Park.

Concerned about people ignoring rules banning ATVs on trails and open space areas.

Concerned about homeless encampments in arroyo (questioning school location).

Encourage organized neighborhood cleanup projects.

EXHIBIT F3

Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

**Analysis of a Door-to-Door Survey in the Tierra Contenta Community
And an Online Citywide Survey**

Commissioned By the Tierra Contenta Corporation

February 14, 2020

(Revised 12/10/2020 only to update details about the Planning Area)

Contents

1. Summary of Survey Responses, p. 1
2. Door-to-Door Survey of Tierra Contenta Residents, p. 4
3. Online Citywide Survey of Santa Fe Residents, p. 9

Appendices

Available Separately at www.tierracontenta.org

- A. Comments from Tierra Contenta Residents
- B. Comments from Citywide Survey

1. Summary of Survey Responses

Background and Goals of Surveys

Plans are being prepared to build over 1,100 quality, mixed-income homes and apartments in the last undeveloped part of Tierra Contenta (TC), adding to the 2,500 residences already built in this planned residential community. As in the previous phases, land will be reserved for a new school, community facilities, neighborhood parks, and trails.

The planning area comprises 228 acres of undeveloped land located southeast of Capital High School, of which over 35 percent will be preserved as open space. The nonprofit Tierra Contenta Corporation (TCC) owns 225 acres and the New Mexico School for the Deaf (NMSC) owns 3 acres of the planning area.

TCC is in the process of revising the existing Tierra Contenta Master Plan to reflect the impact of major changes in the surrounding area—such as new schools, roads, stores, and parks. Also, the Design Standards for all new construction are being reviewed. TCC has conducted a thorough study of the terrain and the best routes for the primary roads and infrastructure and determined to leave 35% of the land as open space and parks, in order to protect virtually all of the nearby land on the sides of arroyos and to avoid mass grading.

The expansion area is part of the larger “Phase 3” as shown in the existing Master Plan. The land area subject to revisions will be designated Phase 3A. The remaining 179 acres of Phase 3 land are owned by NMSC and will remain subject to the original Tierra Contenta Master Plan.

TCC hosted four public meetings in 2019 to hear and respond to input from nearly 150 residents, most of them living in the completed parts of Tierra Contenta.

Two surveys have been completed:

- (1) a door to door survey of residents within the completed parts of TC during October, 2019, and
- (2) an online survey open to residents from all parts of Santa Fe that was active from December 6, 2019 to January 30, 2020.

The goals of the surveys were to solicit and receive public input on the draft plans, in order design a high-quality new neighborhood that takes into account the hopes and concerns of its neighbors as well as residents of other parts of Santa Fe who may want to live there and/or have input into the plans.

To distinguish between the surveys, we call the first one the “Tierra Contenta residents” survey. We call the second survey “citywide” even though 57% of respondents were TC residents. The first survey had a total of 119 respondents, and the second 77 respondents.

The methodologies of the surveys are described in Sections 2 and 3 of this report. The key findings are as follows.

Desirability of Living in a Quality Planned Community on the Outskirts

Of the citywide respondents, 17% would strongly consider it; 25% might consider it. An image of the current concept plan was placed above the photo (see it on p. 10 of this report).

Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

Parks and Trails

Of TC residents, 62% see parks and trails as positive features; 15% think they are OK but need better maintenance. Small parks are favored by 59% of citywide respondents; large parks by 36%. Some commenters want both.

Streets, Parking and Traffic

Half of TC residents find some or all of the streets too narrow and half find the streets “good” or “don’t mind”. Nearly half of TC residents complained that there are not enough parking spaces. Most of the negative comments came from residents living on the narrowest streets, with shorter lot frontages and thus fewer on-street parking spaces in front of homes.

Affordable Housing

A total of 85% of TC residents say that TC’s current affordable housing policies have worked very well or are OK in single-family neighborhoods. However, 14% don’t agree, and respondents commented about what they see as associated crime, overcrowded homes, too many cars, and lack of maintenance. With regard to the apartments, half of TC respondents “weren’t sure” how well the apartments are operating—indicating a lack of social connections between homeowners and renters. Of those TC residents with opinions, 80% are positive and 20% negative about the rental apartments.

Desirable Businesses

A grocery store was the most-desired business in Phase 3, with 53% support from current TC residents, and 65% from citywide respondents. Of TC residents, 33% want a coffee shop, and 5% a restaurant. Multiple commenters mentioned Trader Joe’s and Sprouts as desirable grocers, while others voiced support for locally owned and family businesses.

Desirable Facilities

Among both citywide respondents, the highest priorities for public facilities for Phase 3 were community gardens (44%), a senior center (42%), a farmer’s market (40%), a rec center for young children (39%), and a rec center for teens (36%). Other facilities with substantial support were day care for children, adult day care, and a community meeting room. Respondents wrote comments in favor of a gym, swimming pool, soccer field, dog park, a city public safety office, an “all ages” multipurpose center, a post office and a library.

Homeowner Association

A question about the possible need for a homeowner association to monitor and/or fund maintenance of common areas was included in the TC door-to-door survey, due to many comments in public meetings by TC residents about poor maintenance and misuse of the trails and parks in the completed parts of TC. Of TC residents, 36% had no opinion, while those with an opinion favored an HOA 45% to 19%. In contrast, 66% of citywide respondents said they would pay \$10 to \$20 a month in HOA fees to get better maintenance, with 17% opposing the idea.

Restrictions on Designs of New Homes

As part of its application for a master plan amendment for Phase 3 design standards for roads, sidewalks, homes, other buildings, etc. must be submitted. The nonprofit Tierra Contenta Corporation wanted to find out if respondents felt the existing standards should stay in place or be changed. A background issue is whether new homes in TC should continue to encourage the “stucco-flat roof” and “territorial” (stucco-pitched roof styles—both allowed in current standards). Of citywide respondents, 58% said there should be more flexibility in standards, or exceptions made allowing other “Southwestern” materials such as clay tile roofs, while 33% want to keep existing standards.

Energy and Water Conservation Features in New Homes

We assumed that if we asked respondents preference for homes that use less energy and water, built to standards over and above current codes, most would say yes—good to know, but not enough data to be the basis of TC raising its design requirements. So we asked the questions a different way—in terms of how much larger of a mortgage a respondent would take on to add these features. Overall, 82% of citywide respondents said they would add between \$2,000 and \$15,000 to their mortgages for above-code energy improvements—with 43% willing to add \$10,000 to \$15,000. Similarly, nearly 80% said they would add \$2,000 to \$8,000 for water conservation features, with \$2,000 as the limit for half of those who responded positively.

Size and Types of New Residences Desired

In the citywide survey, we asked the question, “if you were to move to a planned community, what kind of home would you be looking for.” Of the respondents 56% want small detached homes, 32% large detached homes, 11% town homes, and 1% rental apartments.

What Would Make Phase 3 a Very Desirable Place to Live

This was an open-ended question in both the TC and citywide surveys without multiple choices, so the answers could not be tabulated. The most frequent recommendations had to do with providing more infrastructure and City policing to reduce traffic problems and avoiding higher residential densities. Other desired features included maintaining open space, making it walking and biking friendly, having multiple parks, assuring adequate parking spaces, and assuring maintenance of common spaces. Some commenters cited the need for more affordable housing, and some wanted less or none. See Appendices A and B (separate documents on www.tierracontenta.org) for a complete download of the comments.

What Problems with Tierra Contenta Should Be Avoided in Phase 3

Again, vehicle traffic, narrow streets, and higher densities were cited as things to be avoided or mitigated. Other problems cited were big families in small houses, too many low-income residents, allowing apartments, spoiling viewsheds or existing vegetation with new construction, and too many schools close together leading to traffic congestion. See Appendices A and B (separate documents on www.tierracontenta.org) for a complete download of the comments.

Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

Detailed Comments of Respondents (Separate documents, Appendix A and B).

The door-to-door survey and citywide survey had a combined total of 23 topic questions, 22 of which invited open-ended comments by respondents. Representative comments are included in this summary and the two reports that follow.

All comments made by respondents are available for viewing and downloading from the TCC website as Appendix A and Appendix B to this report. While the comments in this report were edited for brevity and clarity, the full set of comments in the Appendices are unedited except to remove one expletive.

2. Door-To-Door Survey: Tierra Contenta Residents

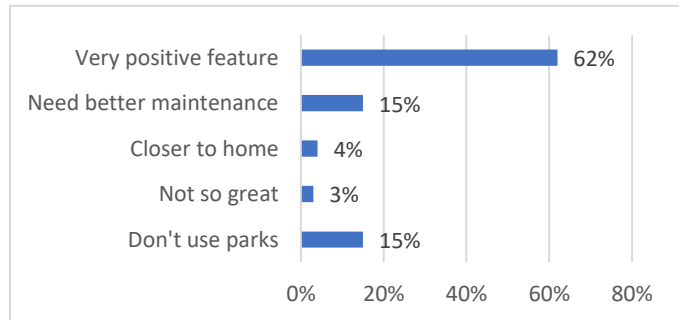
Methodology

Staff of YouthWorks were retained in October 2019 to conduct a door-to-door survey of TC residents regarding their likes and concerns regarding the design and construction of the completed two phases of TC and suggestions for planning Phase 3. Surveyors left flyers with a link to an online survey with the same questions. The survey was completed by 119 residents from December 2019 through January 2020.

Nine out of the 10 questions in the survey included comment boxes. All comments are included, unedited, in Appendix B. Sample comments are listed after the numeric results of those nine questions. Samples were selected based on two factors: (1) being representative of the range of opinions expressed in the multiple choice questions, and (2) expressing opinions on issues not addressed in the question.

Question 1: Opinions on parks and trails in Tierra Contenta

Sixty-two percent of respondents indicated that that parks and trails are a very positive feature of the community.

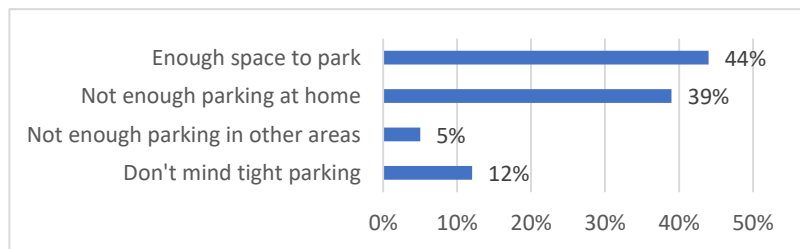


Following are sample comments:

- Parks are used and loved, just [worried about] needles or trash after parties. But love overall.
- Need more maintenance.
- Just wish [the trails] connected to the mall. I run the trails every day.
- Not enough access to ALL trails for the disabled, benches needed along trails.
- Dog park please.
- Wish the trails went to the schools.
- Would be nice to have interconnecting trails to Rail and Arroyo Chamisos trails.
- I am very concerned that the new development not encroach on the Santa Fe Open Space that is located between Capital High and the Swan Park.

Question 2: Views on parking in your neighborhood

An equal number of respondents (44%) indicated there is enough space to park, or that there isn't enough space to park at home or in other parts of TC. Most of the comments about lack of parking came from residents of smaller



streets with short lot frontages that limited the number of on-street parking spaces. Most respondents who were surveyed on wider streets with longer lot frontages did not voice those concerns.

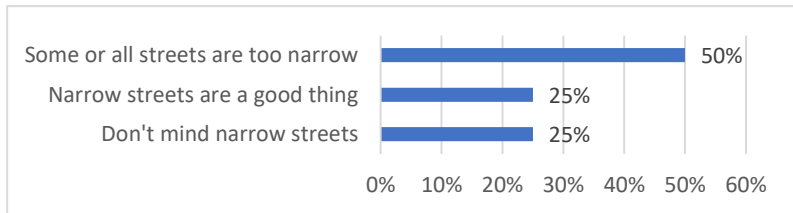
Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

Following are sample comments:

- Too many people park on the street and not in their driveways/garages.
- Too many families with 3 or 4 cars and don't use the garage.
- No parking at all trailheads - need handicapped parking!
- The apartments at Zona del Sol (near me) do NOT have enough parking.
- Eliminate on street parking. (2 more comments like this.)

Question 3: Views on street widths in your neighborhood

Residents of TC were evenly split in their opinions on street widths, with 50% saying the streets are too narrow and 50% saying they don't mind narrow streets or that they are a good thing for slowing traffic.

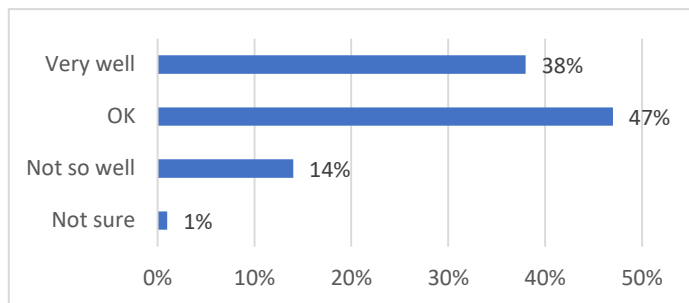


Following are sample comments, which included comments on traffic problems unrelated to street widths.

- We do get less through-traffic due to narrower streets.
- Parked cars on both sides in Cesar Chavez neighborhood is hazardous, slows emergency response time. Control speeding with narrow streets, speed humps. Speed on Jaguar drive must be controlled.
- Some lights could be added.
- Need to have more on street parking. Many homes have several cars, park on street.

Question 4: How well affordable housing has worked in single-family neighborhoods so far

A large majority of residents (85%) indicated that TCC's current affordability requirements for builders worked "very well" or "OK" in single-family neighborhoods.



Following are sample comments:

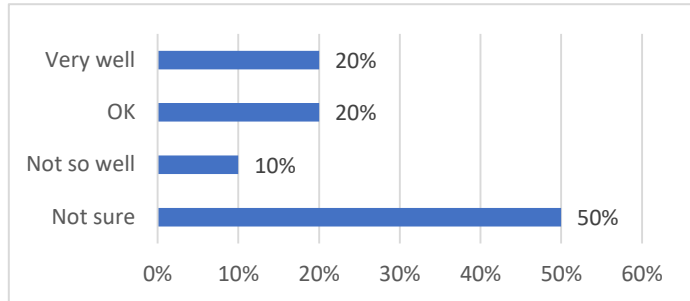
- Wouldn't even have known.
- A nice mix--a quiet neighborhood.
- People need a place to live.
- Feels safe here and strongly agree with affordable housing.
- It has worked well in my Evergreen neighborhood. Mixture of town homes and single-family homes.
- Worried my property value will drop.
- Too many houses too close together.
- Parking--many of the [affordable homes] have only 1 car garage but more than 2 cars so park on street.
- No garages, low quality construction.

Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

- At times, some of these homes have then been rented out, which I understand was not part of the plan. It works when the original purchasers live in the home or sell it when they move, rather than rent it out.

Question 5: How well affordable housing has worked in apartments so far

Half of TC residents (50%) indicated that they were unsure whether or not affordable housing policies in apartments worked well, while approximately 40% indicated they worked “very well” or “OK.”

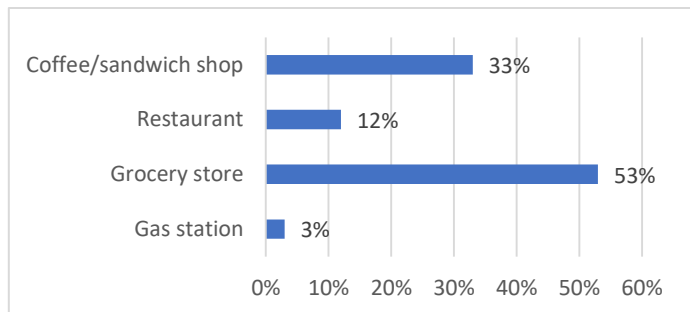


Following are sample comments:

- Good area of people [and they look] out for each other.
- Occasional problems, but quiet.
- If it gives them a place to live and off the streets, it's good.
- Focus on homeownership makes better neighborhood. (1 more similar comment) Too many people from apartments continue to park along narrow streets - not happy.
- Lower property values.

Question 6: Which business would you most want nearby if you were living in Phase 3?

A majority of current TC residents (53%) indicated that they would most prefer a grocery store in TC Phase 3, while 32% indicated they would prefer a coffee/sandwich shop, 12% indicated they would prefer a restaurant and 3% indicated a gas station/convenience store.

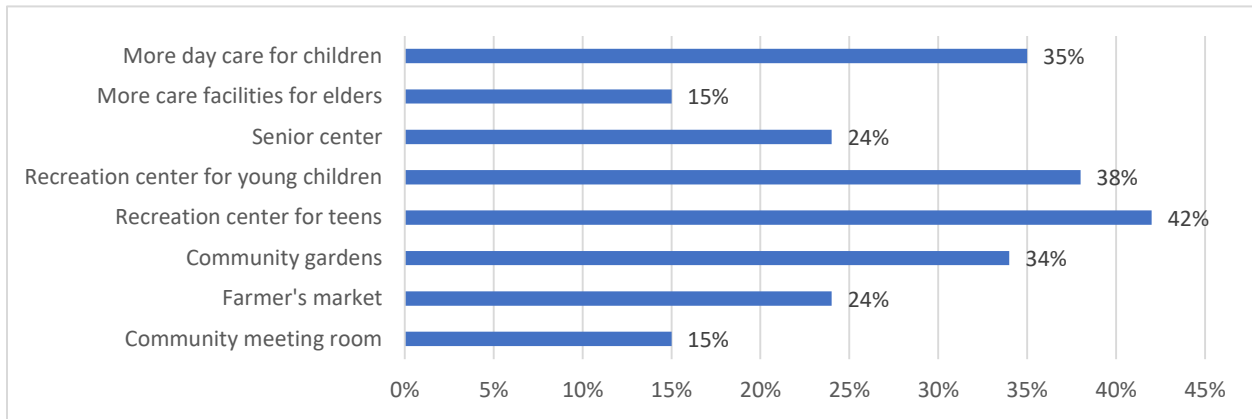


Following are sample comments:

- Morning coffee!
- Small grocer (3 more comments like this)
- Costco!!!
- Trader Joe's....it's all the way across town. More healthy options would be great. (3 more comments like this)
- No Starbucks!
- Preferably locally or family owned (4 more comments like this)
- Would prefer no development at all or a bakery--something social
- None - good enough as is. Already enough here and a new business would make more traffic

Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

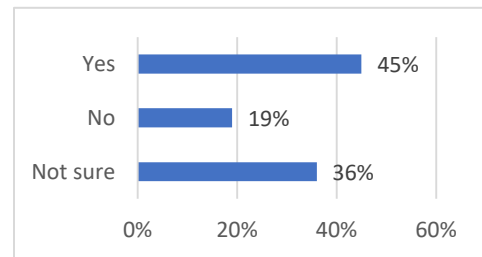
Question 7: If you were living in a community like this, which facilities would be good to have?



Many comments repeated the choices shown in the chart above but also suggested a swimming pool, a gym, soccer fields, and treatment facilities for people with disabilities.

Question 8: Would it be a good idea to set up a resident association for Phase 3?

Forty-five percent of current TC residents indicated that a resident association for Phase 3 would be a good idea, while 19% did not think it was a good idea and 36% were unsure.



Following are sample comments:

- Currently not all residents adhere to established covenants and there is no good way to enforce those covenants (weeds, extra autos on streets, etc).
- Make communities closer.
- We need to work together.
- Too expensive.
- I am NOT interested in having to pay fees or having people dictating extremes.
- If their power is limited . . .

Question 9: What would make Phase 3 of Tierra Contenta a very desirable place to live?

This was an open-ended question with no multiple-choice options to tabulate. Following are representative responses:

- Buildings that go with New Mexico traditions.
- Careful attention to the increase of traffic in the area, and allowances for new/improved arterials to carry people in/out of the area without extra use of existing roadways.
- More space, wider roads, home standards (home, yard, etc), parks, coffee/cafe to walk to.
- Maintain open space. Make it walking and biking friendly.
- Less low-income.
- Community activities board.
- Affordable housing.

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- Supermarket and coffee [shop].
- Senior Center please. Something for seniors to do.
- Block parties to get to know each other. Create bond with community.
- Activities and programming for youth.
- Speed bumps help slow down drivers.
- Housing with no shared driveways.
- 40% is too high for affordable housing.
- More child friendly. Kids need parks that are accessible.
- Try to preserve views for the residents.
- Strong homeowners association that enforces community standards that benefit all.
- Restrictions & enforcement on number of people per residence. Parking vehicles on the front yard is an eyesore for neighbors. RV's should be parked offsite. No Airbnb's. Paint the curb red in front of the mailbox turn out.
- As long as streets are narrow, street parking needs to be eliminated.

Question 10: What problems are there with Tierra Contenta that should be avoided in Phase 3?

This was an open-ended question with no multiple-choice options to tabulate. Following are representative responses:

- Roadways that encourage racing of autos/motorcycles.
- Traffic congestion, shoddy construction, destruction of habitat and native vegetation.
- I'm concerned about crime in the area and would like to see that addressed.
- Big families in small houses.
- Fewer low-income residents.
- Too many speed bumps.
- No [new] schools! Too many already.
- Narrow streets without place to park.
- Please apartments in a different place. Not so close to the houses.
- Don't put buildings so close next to each other.
- Anything with liquor--bars or pot stores
- View impacted? Walking trails impacted? Traffic?
- Road traffic is already tight on busy mornings and afternoons. Any projects should be well thought out to avoid further congestion.
- HOA [should be] responsible for important infrastructure and repairs
- If it is not absolutely necessary to destroy something or get rid of something like trees, bushes, etc. [then] keep them.

3. Online Survey of Santa Fe Residents - Citywide

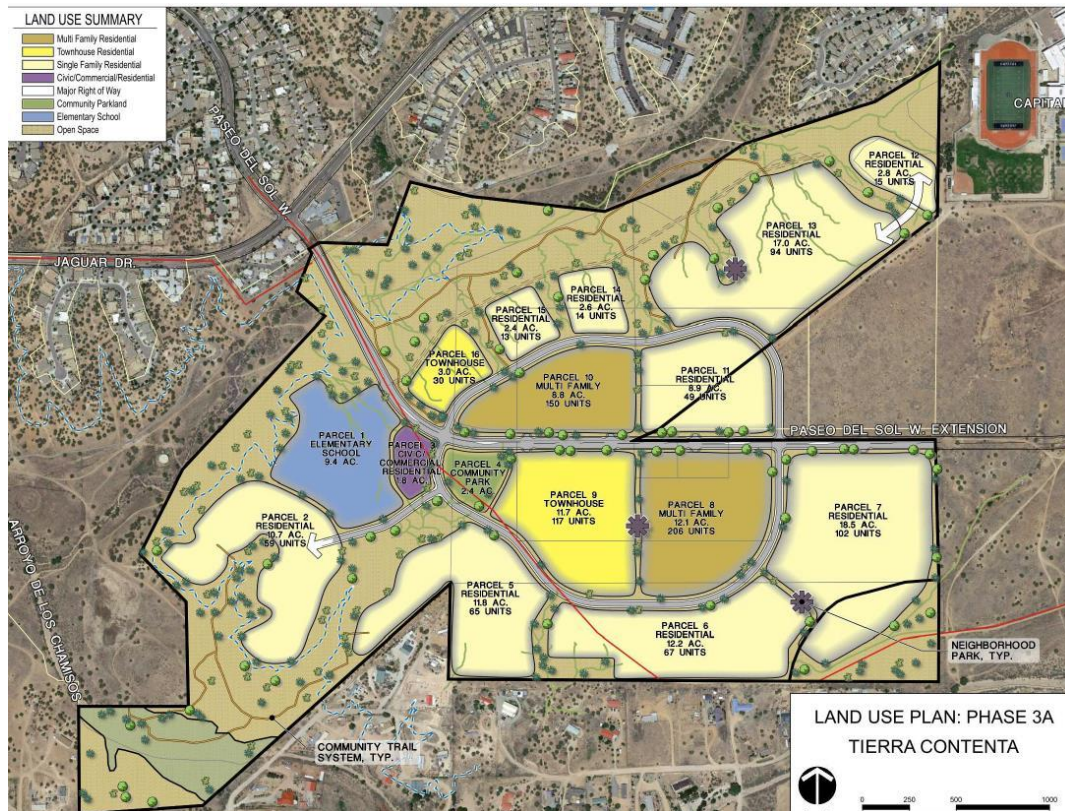
Methodology

In October, 2019, an online survey instrument was created to gather opinions about the expansion plans for TC from residents throughout Santa Fe. Some questions were repeated from the previous door-to-door survey of TC residents. Other questions were refined based on the results of the first survey. Lastly, questions were added to determine the housing preferences of potential buyers of homes in the next phase of TC. The link to the survey was posted on the TC website and then publicized by City of Santa Fe staff by a posting on the Santa Fe NextDoor community information website on November 6, 2019 and a reminder posting in January, 2020 before the survey was closed out on January 30. The link was also shared through press releases and with participants in two public input sessions at the Southside Library on November 6 and 9, 2019.

The survey was completed by 77 respondents as of its closing on January 30, 2020. Data were analyzed for the sample as a whole as well as separately for current residents and non-residents. Current residents comprised 57% of the sample while non-residents comprised 43%.

Nine out of the 10 questions in the survey included comment boxes. All comments are included, unedited, in Appendix B. Sample comments are listed after the numeric results of those nine questions. Samples were selected based on two factors: 1) being representative of the range of opinions expressed in the multiple choice questions, and 2) expressing opinions on issues not addressed in the question.

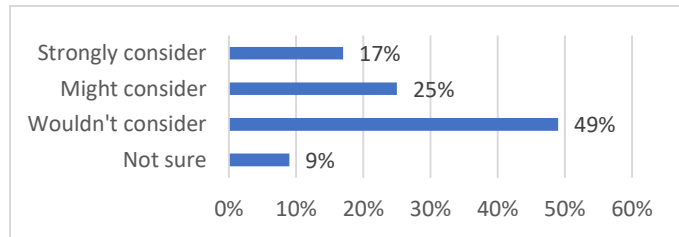
The illustration below relates to the analysis of Question 1 responses on the next page.



Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

Question 1: Would you consider buying or renting a home during the next 10 years in a planned community on the outskirts of Santa Fe as illustrated by the plan above?

Forty-two percent of respondents indicated that they would either strongly consider or might consider buying or renting a home in TC, while 49% indicated they would not consider it and 9% said they were unsure.

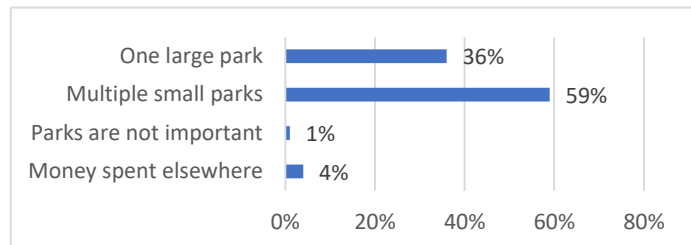


Following are sample comments:

- I already live here and like the current planned layout of the units.
- I'd consider buying a home on the south side but only if there are grocery stores, restaurants, better streets, and more police presence.
- Would prefer to see townhouse and multi-family mixed in with single-family units. Ghettoizing them often creates hotspots and eyesores.
- Needs more infrastructure - specifically police and roadway, to handle traffic to and from schools (Capital, Cesar Chavez, and the middle school; Jaguar is over charged now; homes on Jaguar have too much pressure from the road. (5 other commenters expressed concerns about traffic)
- The density of homes to parcels is too high for me to consider a property on the outskirts. (3 other commenters expressed concern about density)
- My concern is traffic. Make sure there is appropriate highway access. Open up the highway at sfcc.
- I'd like to know where the water is going to come from for this and other developments in Santa Fe. (1 other commenter expressed concern about the water supply)

Question 2: If you lived in a planned community, what are your feelings about park land?

A majority of respondents (59%) indicated that that more of them valued multiple small parks near their home than one large park. A slightly different 57% of current residents and 64% of non-residents preferred multiple smaller parks.



Following are sample comments:

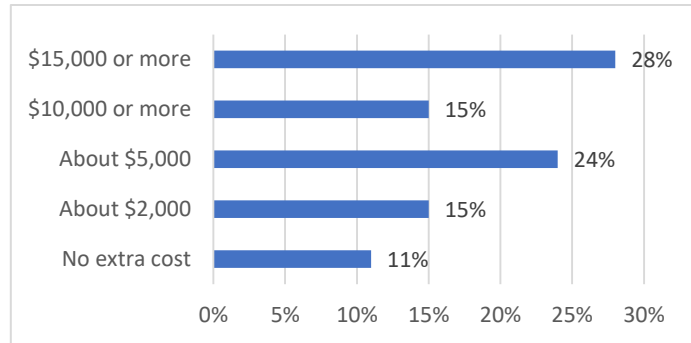
- Parks and opens space are critical to the community's wellbeing.
- A park like Swan is built too far from too many in the area and access is extremely limited. More small parks . . . would serve more that actually need it - those living in smaller places that need more community spaces.
- Actually the option I prefer is not listed--one large park as described and a few small dedicated parks for specialized activities like dog walking and child play.
- Both 1 and 2. Large parks are good for community gatherings but small parks are important to connect proximate neighbors. (A total of 3 commenters expressed this opinion)
- If there are several small parks, who is going to maintain them? The City crews can barely keep up with all the parks and medians throughout Santa Fe. A large park can benefit more people.

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- Parks would be nice IF they were maintained. We have a small one near us which was designed very well, but it just fills up with weeds and is not maintained
- [Other commenters also suggested park features such as dog parks, community gardens, basketball courts, a swimming pool, and a little theater.]

Question 3: How much more would you be willing to add to your mortgage to improve energy efficiency?

We asked questions 3 and 4 to determine the extent to which respondents wanted and (if necessary) would pay for energy and water conservation improvements over and above current codes. Twenty-four percent of respondents indicated they would be willing to add \$5,000 or less for better insulation, 15% indicated they would pay \$10,000 or more for a rooftop solar system, and 28% said they would be willing to pay \$15,000 or more for all of those upgrades. Overall, 82% of respondents indicated they would be willing to add some extra costs to their mortgage payment to improve the energy efficiency of their homes.

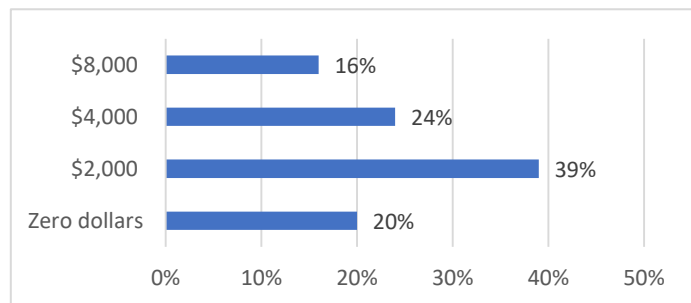


Following are sample comments:

- I would pay for passive solar, solar panels, would love to see water conservation factored in, and buried tubing for low cost cooling.
- Energy efficiency shouldn't be limited to insulation, windows, etc. It should be built in from the ground up. Slab design, lot placement, fenestration design, window overhangs, heat vaults, building materials, LED lighting, etc. should all be integrated. Would pay for well-designed low-energy use home, how much 'more' would depend on many factors.
- The city needs to update its standards if [higher energy efficiency] is an issue.
- New homes should have highly efficient insulation and windows; city and developers should supply solar and wind sustainability for each community and whole city.

Question 4: How much more would you be willing to add to your mortgage to improve water conservation?

Thirty-nine percent of respondents indicated they would be willing to add \$2,000, 24% indicated they would be willing to add \$4,000, and 16% indicated they would be willing to add \$8,000. Overall, nearly 80% of respondents indicated they would be willing to add some extra costs to their mortgage to improve water conservation.



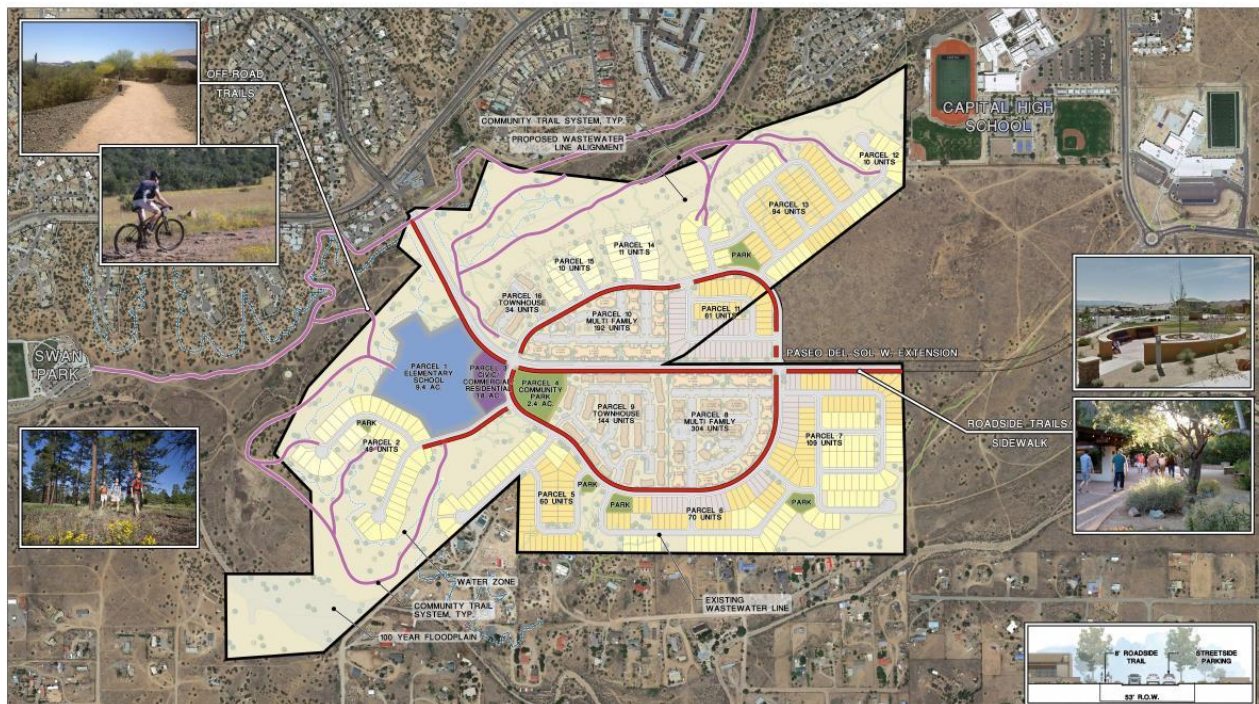
Following are sample comments:

- All new construction should be built with gray water systems and ample water catchment.

Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

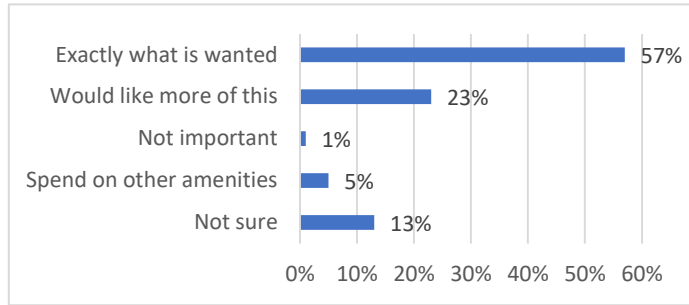
- This should already come with the house is a standard package.
- Do not eliminate well-designed irrigation systems from landscaping plans - make them available to residents who want to do container gardening for food, small well-placed ornamental plots, etc.
- Xeriscaping is NOT hardscaping! Low water use, native plants and smart, well planned landscaping is far preferred to extensive gravel and rock hardscaping that requires no water but absolutely hideous and increases reflective heat problems and has other negative impacts on the soil and land.
- New homes should include above code standards for conserving water and capturing storm water. (2 more commenters expressed this opinion)

This preliminary concept plan for pedestrian trails was shown with the next question



Question 5: Opinions on the proposed Tierra Contenta Pedestrian Network of walking/cycling trails

A majority (57%) indicated the trail system as illustrated is what they would like to have in their neighborhood, 23% indicated they would like to see even more pedestrian pathways, and 20% indicated that pedestrian walkways are not important to them or that they were not sure. Results were similar between current TC residents and non-residents.

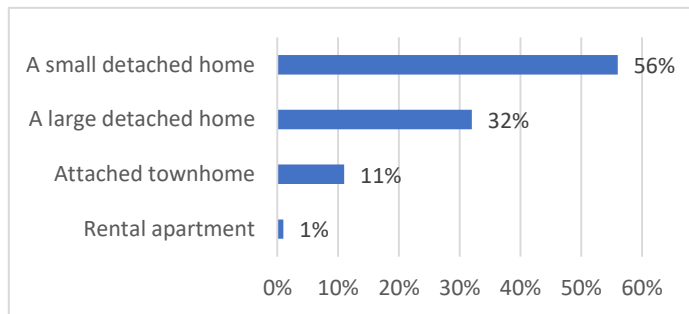


Following are sample comments:

- Walkability, bike paths for recreation and commuting, safe routes to school, etc. all very important to me.
- Pedestrian walking and cycling paths need to be AWAY from the streets. In Tierra [Phase 2] the streets are too narrow for SAFE cycling and they are dangerous for pedestrians.
- Soft trails better for elderly with arthritic joints.
- Pedestrians and bicyclists cannot safely share the same space. Dedicated cycling lanes are overdue in the city, and this phase is no exception.
- Pavement is the last thing my aging legs want. Keep as many dirt trails as you can and having a dirt path next to the paved bike trails would be fantastic.
- I would like for a Pedestrian Network like this to be made NOT roadside. When I'm walking and strolling around with my family and kids on a trike, I do not want to be anywhere close to cars. This kind of network would be amazing to have as shortcut paths between major roads, or down back alleys.
- Sidewalks everywhere so I can use my disability scooter. (A total of 2 commenters suggested this)
- Paseo del Sol is going to be one busy street. I would not enjoy walking it.

Question 6: If you were to move to a planned community, what kind of home would you be looking for?

A majority (56%) indicated that they would prefer a small detached home, 32% indicated they would prefer a large detached home, and 12% indicated they would prefer an attached townhome or rental apartment. •



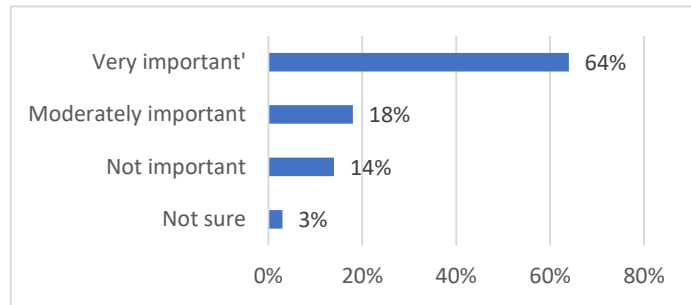
Overall, 88% of respondents preferred a detached home over an attached townhome or apartment. Responses differed between current TC residents and non-residents, with current residents more likely to prefer detached homes than non-residents (95% versus 82%).

This question did not have a comment box since it asked only about a personal preference.

Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

Question 7: How important is it to provide some modest affordable homes to low-income residents?

An large majority of survey respondents (83%) indicated that it was very important or moderately important to provide modest homes for sale at affordable prices for low-income families, while 15% said it was not important and 2% said they were not sure.

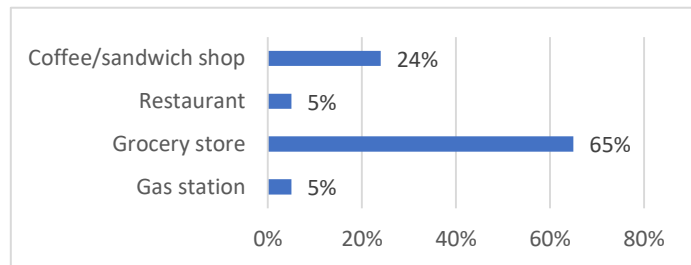


Following are sample comments:

- Important to keep neighborhoods diverse and offer affordable housing options interspersed with more expensive options.
- There are enough wealthy people here. Save this space for some of its sanctuary city folks that will need housing.
- There is reporting that genuinely affordable housing will not be included in Tierra III. This would be a mistake. We need housing for lower income families (\$35k or less) . . .even if the city has to subsidize it!
- The city of Santa Fe's affordable housing regulations have created the current housing shortage . . . It is misguided to have builders build for a certain income price range, but have to require a certain number of affordable homes. Not fair or desirable to the people who want to live in neighborhoods with families of similar incomes.
- I live in this neighborhood. And although providing housing for all price ranges is important. I don't want the price to be so low that our safety begins to be a concern.
- Homes that are affordable are never maintained. Why is the majority of affordable homes dumped on the south side.
- Please also look at providing accessible homes for the disabled including single level floor plans with no stairs.

Question 8: If you were to live in a community like this, which one business would you most want nearby?

Most respondents (65%) indicated that if only one business was financially feasible in the new TC development that it should be a grocery store. Twenty-four percent preferred a coffee/sandwich shop, while only 5% of respondents indicated a restaurant and 5% indicated a gas station. Results were similar between TC residents and city residents outside TC.



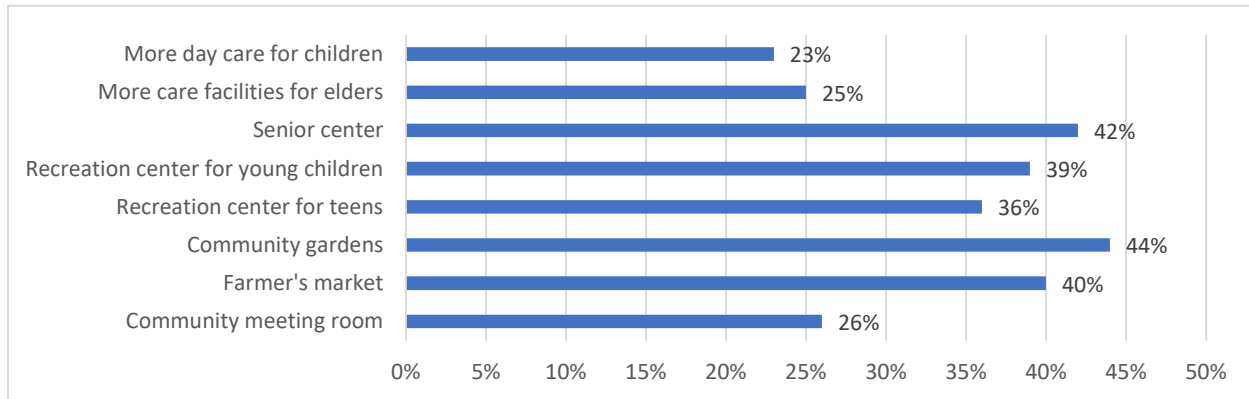
Following are sample comments:

- Get good local retail anchored by an excellent grocery store (Trader Joe's, Kaune's, Smith's, Sprouts, etc.) How many times do we have to tell you we want a good grocery store? (A total of three commenters expressed similar opinions)

Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

- A restaurant out near 599 and Jaguar, a convenience store/gas station would be nice, too. Maybe a small grocery store.
- Living in Walmart's shadow makes many businesses unviable. But having a community where there is no place to walk to is isolating. I can currently walk to a dollar store and McDonalds. That's a serious negative. Need an ice cream place at least for a little stroll on a summer evening.
- A small market with packaged foods and seating area could fill same function while also offering grocery items. Something like La Montanita Co-op or Silver St. Market in ABQ.
- We have plenty of gas stations and convenience stores on Airport Road. I would not want one in my neighborhood.

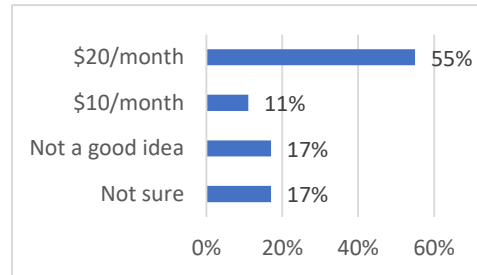
Question 9: If you were living in a community like this, which facilities would be good to have?



In addition to these facilities above, commenters suggested an “all ages” multi-purpose center, a post office, a police/fire/emergency hub, a dog park, a gym, swimming pool, pet daycare, and a library.

Question 10: What would you be willing to pay for a resident association to help assure maintenance?

A majority of respondents (55%) indicated that it would be worth paying \$20 a month to a residents association to assure good maintenance of common areas. Eleven percent indicated they would be willing to pay \$10 a month for a minimum effort, 17% said it was not a good idea and another 17% said they were not sure.



Current residents were much less likely to support a residents association, with 32% saying it was not a good idea compared to only 4% of non-residents.

Following are sample comments:

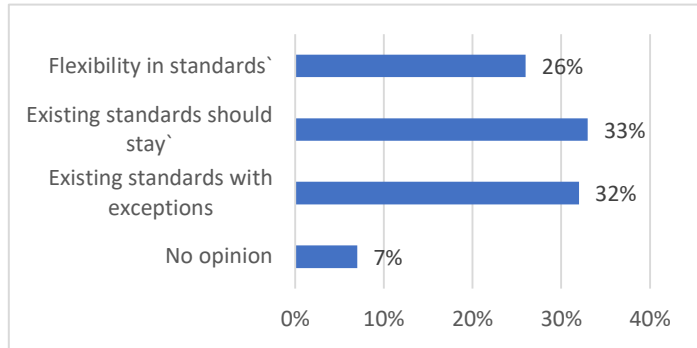
- I'd be willing to pay more to have a better neighborhood. (3 more similar comments)
- I would be willing to pay an extra fee in the cost of the house, that would be added to a permanent endowment to provide some resident services and an ombudsperson to nag [the staff] at City Hall to pay attention to us.
- HOAs have their pros and cons, like anything, but in an area quickly becoming overcrowded, I feel they are necessary to curb negative issues that arise in planned communities such as this.

Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

- I think an emphasis should be on "community work days" or other ways to engage with neighbors rather than paying an anonymous fee to outsource maintenance work.
- I like the idea of maintaining common spaces. However, I do not like the idea of HOA covenants that really discourage individuality.
- It's not the money. HOAs can get out of control.

Question 11: What best reflects your views of design standards for the Phase 3 expansion?

A majority of respondents (65%) indicated that existing standards favoring traditional New Mexico designs and materials should stay in place or that exceptions might be made to allow some additional materials such as clay tile roofs. Twenty-six percent said that design standards should be flexible and 7% did not have an opinion about the issue. Opinions on this issue did not differ significantly between current residents and non-residents.



Following are the only two comments:

- Standards should be flexible to allow additional styles, BUT there should be some defined standards. Do not allow just anything.
- Northern New Mexico roofs are often pitched, allowing for more efficient runoff.

Question 12: What would make Tierra Contenta Phase 3 a very desirable place to live in?

This was an open-ended question with no multiple-choice options to tabulate. Following are representative responses.

- Wider streets and better off-street parking; higher quality fencing standards; better privacy between single family homes; higher quality building material codes.
- Community outdoor pool.
- Ensuring that a trail system, like the one currently in place, that has gravel paths as well as paved paths links all the communities together.
- Options for affordable housing and mid-high end housing.
- Quality retail ANCHORED BY A GOOD GROCERY STORE, lots of small, scattered neighborhood-based retail for coffee shops, sandwich shops, barber/beauty shops, shoe repair, pack-and-mail places, ice cream shops, etc. And plenty of public transportation, walking trails, and bike facilities.
- Provide affordable housing to buy or rent. When I moved here, there were at least two pages of housing rentals. Now there are only a few listings.
- Nice well-designed outdoor spaces . . .
- Active Board, community events, local businesses (not corporations, chains, or even franchises) to maintain integrity, opportunity, and sense of place.
- Activities and spaces to foster community.
- More truly affordable housing with easy access to public transportation and community spaces.

Santa Fe Residents' Views and Concerns About the Expansion of Tierra Contenta

- Connecting transit and trails
- Dark Sites for amateur astronomers to place telescopes at night.

Question 13: What problems with Tierra Contenta should be avoided in Phase 3?

This, too, was an open-ended question with no multiple-choice options to tabulate. Following are representative responses.

- I don't know very much about the existing TC development so it's hard for me to compare. Frankly, looking at these plans, the high density and concrete/asphalt amount worries me. I would not want to live there the way it looks like right now.
- You will be taking away our pre-existing hiking trails which is the best and only feature of living down here. We are so lucky to have this open space.
- Think about parking. Each home has multi-families in it so there are homes with people parking on their front yards. Looks ghetto!
- The city is planning too many projects in this area without considering impact on traffic, lifestyle, water usage, and more. I am happy to see more options available for residents, but this cannot be done blindly, and I fear this is exactly what is happening.
- There needs to be a major artery in and out of the community or Paseo del Sol will be a nightmare to use on a daily basis.
- Parking! Camino Rojo near the Country Club in particular is an awful mess. Jaguar [Drive], when the schools start and end, is a congested hell. This project should not proceed until a traffic plan [is in place] that improves the current mess and anticipates the additional residents, is implemented or at least concurrently implemented.
- DO NOT build streets that are too narrow that two cars can't pass, especially when there are cars parked in the streets. Build wider sidewalks; the ones currently here are too narrow.

Appendix A: Tierra Contenta Residents' Comments

Following are each and every comment received from respondents to the Citywide survey. Grammar, spelling and formatting were not corrected. Expletives were deleted. Not all respondents made comments, and those who did comment did not necessarily comment on every question since they could express their opinions by ticking off the multiple-choice answers of their choosing.

Question 1: Opinions on parks and trails in Tierra Contenta

Concerned that new development doesn't encroach on open space between Capital high and swan park. The arroyo needs to be protected from motor vehicles, illegal dumping and vandalism.

Because a girl was murdered down there

I only have one car

Some garbage but not that bad.

Don't build on them!

I like them.

If they could go places, would be better.

A little overgrown

Please don't build on them.

Just wish they connected to the mall. I run the trails everyday.

Not enough access to ALL trails for the disabled, benches needed along trails

Clean up

Parks are used & loved, just worries with needles or trash after parties. But love overall.

Needles in park & needs to be cleaned & mowed more often. It's dirty with trash.

need more maintenance

The arroyo and trails are wonderful to have for walking and other outdoor activities. I understand the need for expansion but there is more than enough land on the south side of Santa Fe to develop. Leave us a portion of land for these activities. It's just wrong to develop every inch of nature. Considering how us as humans have already effected the Earth in such a negative manner. I strongly oppose this project.

dog park please

We enjoy walking the trails and park behind the house

I love the views and walk my dogs often.

other family members love them

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

a lot of trash

wish the trails went to the schools

Do not build on parks or trails

Would be nice to have interconnecting trails to rail and arroyo chamisos trails

I am very concerned that the new development not encroach on the Santa Fe Open Space that is located between Capital High and the Swan Park. This arroyo area needs to be protected from motor vehicles, illegal dumping and vandalism.

Because a girl was murdered down there

Question 2: Views on parking in your neighborhood

I live on a corner lot and have extra parking along the side of the house. Other neighbors in my area have very little parking for their homes.

I live on Cerros Grandes Drive and parking is a mess. Unfortunately, this makes the neighborhood look completely congested and unattractive. I wish there was more enforcement on the amount of vehicles a household can have. For example, I have 2 vehicles, both in my garage, whereas my neighbor has 5 vehicles all on the street! Not fair. Also, some houses have trailers parked in front of their homes.

Eliminate on-street parking

People need to use their garages for cars.

Too many people park on the street and not in their driveways/garages.

Too many families with 3 or 4 cars and don't use the garage.

No parking at all trailheads - need handicapped parking!

The apartments at Zona del Sol (near me) do NOT have enough parking.

All off street

Streets are too narrow, alleys are very narrow as well.

When parties are being built, there is not much room unless it's in the streets.

might need designated parking

not in the alley, but in the front yes.

People fill their garages and don't use for cars. Have grown kids with cars so one house may have 4-5 cars--no parking, just on street.

Well designed for parking.

not enough parking for guests, roads are too narrow

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

more "no parking" signs

people need to use their garages for their cars

Driveways are too short. Was promised parking in front of houses but was put across the street

I live on a corner lot and have extra parking along the side of the house. Other neighbors in my area have very little parking for their homes.

I live on Cerros Grandes Drive and parking is a mess. Unfortunately, this makes the neighborhood look completely congested and unattractive. I wish there was more enforcement on the amount of vehicles a household can have. For example, I have 2 vehicles, both in my garage, whereas my neighbor has 5 vehicles all on the street! Not fair. Also, some houses have trailers parked in front of their homes.

Eliminate on street parking.

Question 3: Views on street widths in your neighborhood

We do get less through-traffic due to narrower streets.

Cerros Grandes Dr. is far too narrow. There are vehicles parked on both sides of the streets, making the road only passable by one vehicle in either direction. The alleys to our garages also pose space and safety issues.

Parked cars on both sides in Cesar Chavez neighborhood is hazardous, slows emergency response time. Control speeding with narrow streets, speed humps. Speed on Jaguar drive must be controlled.

A lot of families have multiple cars

Streets are fine, no other comment.

Parking on one side of street

None, streets are OK for me.

Can't park on both sides

Streets are fine.

I do not find the streets too narrow.

Some lights could be added. Or strips on sidewalks so it doesn't flash in houses (track lighting).

speed humps, people drive too fast.

need to have more on street parking. Many homes have several cars, park on street.

streets are fine

Highlands Loop

they are wide enough

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

perfect

people park illegally

Enforce no parking signs on Highlands Loop

If only more residents understood this concept.

We do get less through-traffic due to narrower streets.

Cerros Grandes Dr. is far too narrow. There are vehicles parked on both sides of the streets, making the road only passable by one vehicle in either direction. The alleys to our garages also pose space and safety issues.

Parked cars on both sides of the street in the Cesar Chavez neighborhood makes driving hazardous, and slows emergency response time. Narrow streets do control speeding, so do speed tables/ humps as on Governor Dempsey Dr. through Nava Ade. Speed on Jaguar Drive must be controlled.

Question 4: How well affordable housing has worked in single-family neighborhoods so far

At times, some of these homes have then been rented out, which I understand was not part of the plan. It works when the original purchasers live in the home or sell it when they move, rather than rent it out.

It has worked well in my Evergreen neighborhood. Mixture of town homes and single-family homes.

no se

I like that

Car break-ins

Haven't noticed

Speak English

Worried my property value will drop.

Seems fair

No strong opinion

Not sure

Not sure

People need a place to live.

Don't know

But not sure

My family lives nearby.

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

That's nice.

Too many houses too close together.

Wouldn't even have known

I guess

again wants more

Housing value has dropped.

A nice mix--a quiet neighborhood.

not sure

Parking--many of the 40% have only 1 car garage but more than 2 cars so park on street

feels safe here and strongly agrees with affordable housing

doesn't notice anything related

unsure

the resale prices seem unreasonable

many of the affordable houses were foreclosed and lowered property values

40% feels high

no garages, low quality construction

overall good, but seems unfair a bit to those who have to pay full price. either/or--no graduated costs

But there should always be ample affordable housing available

At times, some of these homes have then been rented out, which I understand was not part of the plan. It works when the original purchasers live in the home or sell it when they move, rather than rent it out.

It has worked quite well in my Evergreen neighborhood. We have a mixture of townhomes, as well as single family homes.

No se

Question 5: How well affordable housing has worked in apartments so far

Focus on homeownership makes better neighborhood

But I like the idea

Just guessing

If it gives them a place to live and off the streets, it's good.

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

Family

I guess

Too many people from apartments continue to park along narrow streets - not happy.

Good area of people & looks out for each other.

wants more

lower property values

Occasional problems, but quiet.

car break ins

low income apartments have caused the home values to decrease due to all the crime. houses near apartments have several break ins in home and auto--lots of theft and vandalism

I believe focus on ownership creates a better neighborhood.

Question 6: Which business would you most want nearby if you were living in Phase 3?

Trader Joe's on the southside, please

A Sprouts would be nice

Something quick that keeps the traffic down

Don't care

Locally owned

Small market

Morning coffee!

Small grocer

Small, family place.

Not sure

Not sure

Costco!!!

Dog park! "Also a public pool".

All the above. And soccer field more than one!

Trader Joe's second location.

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

Popeye's would be great.

Trader Joe's....it's all the way across town. More healthy options would be great.

Nothing needs to be added.

"No Starbucks!"

locally owned

preferably locally owned

a small market

family run

none, would prefer no development at all or a bakery--something social

Trader Joe's

none-good enough as is. already enough here and a new bus would make more traffic

Grocery store & coffee shop

A south side Trader Joe's please.

A sprouts would be nice

Question 7: If you were living in a community like this, which facilities would be good to have?

Gym with swimming pool

I need help with both

Somewhere I can bring my father-in-law.

Community garden for kids? Just an idea.

They need a place to be

Keep teens off streets.

My parents are old and need stuff to do

Day care

Bike path & side walks & one lane for cars. Soccer fields.

No

PLEASE senior center (They had exercises, lunch, people to help with tech. stuff)

Newsletter of the area would be really great about the area and opening businesses.

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

They feel as though everything is good as it is.

More junior highs, treatment facilities, more care for people with disabilities

There just isn't enough programming for the youth of Santa Fe. And the state wonders why minors are getting into drugs and crime. There needs to be affordable activities for the youth to participate in.

give kids organized things to do

basketball

all covered reasonably well

community pool

Already looks good. Likes the library

Helps working moms, keeps kids out of trouble

the rest are already close enough

Gymnasium with swimming pool

Question 8: Would it be a good idea to set up a resident association for Phase 3?

Currently not all residents adhere to established covenants and there is no good way to enforce those covenants (weeds, extra autos on streets, etc).

I often write the city about the condition of my neighborhood. It is unfortunate how many let their homes/yards go.

Absolutely

Make communities closer

We need to work together

If free

City should do that.

They just talk and don't do anything.

Neighborhood watch

Too expensive

If no fees or very low fees

Should be able to make things work without one.

Not necessary

Need to make community decision.

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

We need to all know each other

If there is good participation

Initially many people get involved - but most drop out.

Clean up areas that are built first.

But who is on it?

It's better to allow locals to take care of their neighborhoods. It provides small jobs for those self employed.

no one has money to pay into it and people won't follow rules anyway.

But, I am NOT interested in having to pay fees or having people dictating extremes.

will it cost money?

yes, if no fee is involved

with caution about getting too political and expenses

affordable homes yard and home maintenance/regulations

recommends for new communities

modest fees, \$400/quarter landscape and playground

They have one and it is good, but limited participation

expensive

for trash and parking

No fee HOA to enforce issues like parking, animals, property maintenance, graffiti, etc.

If their power is limited...

Currently not all residents adhere to established covenants and there is no good way to enforce those covenants (weeds, extra autos on streets, etc).

I often write the city about the condition of my neighborhood. It is unfortunate how many let their homes/yards go.

Absolutely.

Question 9: What would make Phase 3 of Tierra Contenta a very desirable place to live?

Buildings that go with New Mexico traditions

Careful attention to the increase of traffic in the area, and allowances for new/improved arterials to carry people in/out of the area without extra use of existing roadways.

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

More space, wider roads, home standards (home, yard, etc), parks, coffee/cafe to walk to.

Maintain open space. Make it walking and biking friendly.

Community bulletin board. Take a book, leave a book.

More police patrols.

Not sure

Less low-income

No parking signs

Not sure

Slow driving signs

One-side parking.

No littering.

Community activities board

No littering signs

Good neighbors.

Park/open areas. Affordable housing.

Soccer field. And close by so people can use.

Leaving vegetation please. Putting things too close together.

Supermarket & coffee stores.

Senior Center please. Something for seniors to do.

Block parties to get to know each other. Create bond with community.

Patrol of houses

Activities and programming for youth

People don't take care of their houses

Speed bumps help slow down drivers.

I like the idea of more resources but I really enjoy the green space around here.

housing with no shared driveways

40% is too high for affordable housing

better plant maintenance on Valentine and Paseo del Sol West

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

more street lights--some car break ins

yards

a bigger community is always better

more child friendly. a majority of Santa Fe helps tourists. kids need parks that are accessible

do not litter signs

trails that go to locations (library, bus stop, school) trails as transportation option

Needs a close, full service grocery store and more police patrols

Build like Rio Rancho

tree planting

better parking

Affordable housing, grocery store

maintenance of space next to roadways poor

Try to preserve views for the residents. Strong homeowners association that enforces community standards that benefit all.

Restrictions & enforcement on number of people per residence. This would positively effect the current status of numerous pick up trucks parking illegally on the No Parking side of the street and all over front yards. Parking vehicles on the front yard is an eyesore for neighbors. Also, coyote & wood fences are in disrepair and are a blight. RV's should be parked offsite. No Airbnb's. Paint the curb red in front of the mailbox turn out. People park there and the mailtruck blocks the street since someone is in their spot.

As long as streets are narrow, street parking needs to be eliminated.

Buildings that are go with NM traditions

Careful attention to the increase of traffic in the area, and allowances for new/improved arterials to carry people in/out of the area without extra use of existing roadways.

More space, wider roads, home standards (home, yard, etc), parks, coffee/cafe to walk to.

Maintain open spaces. Make it walking and biking friendly.

police station, the crime rate has gone up in this area.

Question 10: What problems are there with Tierra Contenta that should be avoided in Phase 3?

If it is not absolutely necessary to destroy something or get rid of something like Trees, bushes, etc. To keep them

Roadways that encourage racing of autos/motorcycles.

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

My neighborhood on Cerros Grandes was being developed/built by Mock (I believe); all models were one story homes, and there were a handful of options to choose from. Then they went bankrupt and random homes were built in any tiny land they could find. There are two story houses, there are habitat houses, there are privately built houses. This was very upsetting, so in the new development, I would hope there would be some standardization. Q11

Traffic congestion, shoddy construction, destruction of habitat and native vegetation. Be aware of flood zones and drainage patterns.

I'd love to see growth in this area especially a grocery store. I'm concerned about crime in the area and would like to see that addressed.

Big families in small houses.

Not sure

Low-income

Fewer low-income residents

Not sure

Too many speed bumps

Fewer houses.

Be sure the home construction is well built.

No schools! Too many already.

Narrow streets without place to park.

Narrow Streets.

Please apartments in a different place. Not so close to the houses.

Don't put buildings so close next to each other.

Anything with liquor (Bars or pot stores)

Bring commercial things in. Maybe some main line churches in area of all kinds! Bring things to bring people out of house.

Growth comes development. Loves that area is growing. Having best interest of home owners. Being safe, in choosing businesses in area....add bike lanes.

Dust! Wet that soil down while building! Rich are raising property taxes, easements don't help.

No corporate development

Street parking--needs more

small streets

Tierra Contenta Residents' Views and Concerns About the Expansion of Tierra Contenta

View impacted? Walking trails impacted? Traffic?

fewer low-income

traffic flow is maintained as there are 4-5 schools off Jaguar

not too densely populated, maintains views

not sure

blocking roads and noise from construction

road traffic is already tight on busy mornings and afternoons. any projects should be well thought out to avoid further congestion.

sound ordinances

HOA is responsible for important infrastructure and repairs

Preferably no homeless shelter nearby

Not so much low income. Concerned about water

elimination of trees

not too many houses

very small streets

Not sure.

better access to schools for pick up of students

Some areas homes are very close together

See #9. Enforcement of regulations is key.

Apartment buildings need to have assigned parking. It would eliminate a lot of parking problems. Would really like that to happen with existing apartment dwellers.

If it is not absolutely necessary to destroy something or get rid of something like Trees, bushes, etc. To keep them

Roadways that encourage racing of autos/motorcycles.

My neighborhood on Cerros Grandes was being developed/built by Mock (I believe); all models were one story homes, and there were a handful of options to choose from. Then they went bankrupt and random homes were built in any tiny land they could find. There are two story houses, there are habitat houses, there are privately built houses. This was very upsetting, so in the new development, I would hope there would be some standardization.

Traffic congestion, shoddy construction, destruction of habitat and native vegetation. Be aware of flood zones and drainage patterns.

Appendix B: Comments from Citywide Survey

Following are each and every comment received from respondents to the Citywide survey. Grammar, spelling and formatting were not corrected. Not all respondents made comments, and those who did comment did not necessarily comment on every question since they could express their opinions by ticking off the multiple-choice answers of their choosing.

Question 1: Would you consider buying or renting a home during the next 10 years in a planned community on the outskirts of Santa Fe?

There is NO water and it is already too congested and there are NO basic amenities like healthy food grocery stores. We first need to take care of who is living here right NOW!

We already live in Tierra II

Seems unlikely Because I already own in TC

Would prefer to see townhouse and multi-family mixed in with single-family units. Ghettoizing them often creates "hotspots" and eyesores.

If the rents are not too high. We live in the Tierra Contenta community already.

Do not plan on leaving current home.

We need to fix the roads in this area to accommodate all this expansion

I already live here and like the current planned layout of the units.

needs more infrastructure - specifically police and roadway, to handle traffic to and from schools (Capital, Cesar Chavez, and the middle school; Jaguar is over charged now; homes on Jaguar have too much pressure from the road (not enough police to control speeding, noise abatement from loud boom radios, and such); and too much pressure of home break ins, car break ins.

This represents a lot of new residents in an area already experiencing elevated traffic and decreased services compared to other areas of Santa Fe. This kind of expansion requires a corresponding development of infrastructure.

I own a house on camino rojo. I'd take a look at the new ones.

I think it's a good plan.

The density of homes to parcels is too high for me to consider a property "on the outskirts." If it's semi-rural, I would be looking for 1-3 acres per home.

I'd consider buying a home on the south side but only if there are grocery stores, restaurants, better streets, and more police presence.

I am happy where I am.

housing is too dense - this isn't a master community - this looks like 'the projects'

Citywide Residents' Views and Concerns About the Expansion of Tierra Contenta

TRAFFIC - how in the world would you get out of there? Down the little teeny Paseo del Sol onto the incredibly crowded already Airport Rd?

My concern is traffic. Make sure there is appropriate highway access. Open up the highway at sfcc.

Too far from transportation and services

One very important aspect would be to minimize the impact of lighting on dark sky. In particular, there are many amateur astronomers in Santa Fe and that SW corridor is becoming increasingly light-polluted due to improperly installed or poorly maintained outdoor lighting fixtures. These lights cast a great deal of light upward, making observation of the night sky impossible.

I'd like to know where the water is going to come from for this and other developments in Santa Fe? We are restricted in water usage, year around in this area. Water is the one thing we all have to have in order to survive. If we don't start to conserve and protect the supply of water we have now, we will, like other civilizations that ran out of this precious necessity, we all will have to move.

Density way too high, not enough green space, need more green space close to all dwelling units and two more parks spread thruout. Even then it is way to dense for my comfort level. It makes me feel stressed just to look at it.

Already have a home in SolyLomas!

Too close to the airport the development is likely going to be plagued by airport expansion noise.

Too dense for my liking.

Question 2: If you lived in a planned community, what are your feelings about park land?

As long as these small parks have basket ball hoops and such for the teens who have nothing to do. I also think it is imperative that there is community garden in these parks.

See no reason why you can't include a large park AND small parks. Both important for different functions. AND THIS TIME INCLUDE RETAIL ANCHORED BY A DECENT GROCERY STORE.

We need to fix the roads in this area to accommodate all this expansion.

parks and opens space are critical to the community's well being -- also need some non paved walking paths; paved paths are too hard on arthritic joints.

Actually the option I prefer is not listed--one large park as described, and a few small dedicated parks for specialized activities like dog walking and child play.

currently all the small parks in the area are unused (except for the vegetable garden park on camino rojo and even there I've rarely seen anyone actually tending the vegetables). Right now, the entire area is a dog park.

If there are several small parks, who is going to maintain them. The City crews can barely keep up with all the parks and medians throughout Santa Fe. A large park can benefit more people. Build a community center with a swimming pool for residents to enjoy and not have to travel to Geneva Center.

Citywide Residents' Views and Concerns About the Expansion of Tierra Contenta

Both 1 and 2. Large parks are good for community gatherings but small parks are important to connect proximate neighbors.

Parks would be nice IF they were maintained. We have a small one near us which was designed very well, but it just fills up with weeds and is not maintained. No one ever puts down more bark or replaces damaged or stolen flagstone, for instance.

A community little theatre.

A park like Swan is built too far from too many in the area and access is extremely limited. More smaller parks, especially along Airport Rd would serve more that actually need it - those living in smaller places that need more community spaces.

Preserve dark sky.

I'd rather this money be spent on solving the problem of homelessness and crime in Santa Fe. We need to reinforce our police department with more officers and a pay scale that is equal to or superior to other cities in New Mexico. This our capital city and we should be the leader of the state in solving problems that concern the whole state. Crime, homelessness, and mental illness.

I am currently visiting a north eastern city that happens to have built been built around multiple small parks. Most of them have a dog park area in them and playgrounds that are fenced in for children. It is a magnificent use of the space and really enhances the community, and a community interaction as well.

I'm against more development period

Public swimming pool, dog park.

Question 3: How much more would you be willing to add to your mortgage to improve energy efficiency?

In addition to the above, we would definitely choose to include solar panels and the latest fiber optic services.

Zero I think it should come already with energy efficiency

Energy efficiency shouldn't be limited to insulation, windows, etc. It should be built in from the ground up. Slab design, lot placement, fenestration design, window overhangs, heat vaults, building materials, LED lighting, etc. should all be integrated. Would pay for well-designed low-energy use home, how much 'more' would depend on many factors.

I would pay for passive solar, solar panels, would love to see water conservation factored in, and buried tubing for low cost cooling.

The city needs to update its standards if that is an issue.

new homes should have highly efficient insulation and windows; city and developers should supply solar and wind sustainability for each community and whole city

Citywide Residents' Views and Concerns About the Expansion of Tierra Contenta

Question 4: How much more would you be willing to add to your mortgage to improve water conservation?

All new construction should be built with gray water systems and ample water catchment.

An underground tank to store runoff water; for later use when it is not raining.

Again this should already come with the house is a standard package

Do not eliminate well-designed irrigation systems from landscaping plans - make them available to residents who want to do container gardening for food, small well-placed ornamental plots, etc.

Water is scarce and is going to become even more so... We should all be planning for more ecological use

While this is a lovely option for new homeowners, which I support, it is not enough. Most people feel do not feel they have extra money to spend when investing in a house. Making options like these available with incentives for existing homeowners is needed.

would use drought tolerant native plants

Xeriscaping is NOT hardscaping! Low water use, native plants and smart, well planned landscaping is far preferred to extensive gravel and rock hardscaping that requires no water but absolutely hideous and increases reflective heat problems and has other negative impacts on the soil and land.

I already have xeric landscaping and use rain barrels to collect water, but it would be good to have a better catchment system.

rain water needs to go back into the aquifer

This should be standard.

new homes should include above code standards for conserving water and capturing stormwater

Question 5: Opinions on the proposed Tierra Contenta Pedestrian Network of walking/cycling trails

So you are going to encroach on our open space with houses, where we already have a good trail system, and then create something within that? This is a very poor compromise.

Pedestrian walking and cycling paths need to be AWAY from the streets. In Tierra II the streets are too narrow for SAFE cycling and they are dangerous for pedestrians.

Grocery stores, tennis courts, swimming pool, dog park, finish Swann Park (stages 2 and 3 need to be finished.).

THERE IS NO WHERE TO PARK!!! I HAVE 1 PARKING SPACE ON MY LOT AND THE STREET IS PACKED WITH PEOPLE PARKING NOT SAFE FOR KIDS TO PLAY OR TO PARK. NOT ENOUGH ROOM. BETTER SPACING FOR ON STREET PARKING FOR GOD SAKES!!

Citywide Residents' Views and Concerns About the Expansion of Tierra Contenta

Better public transit availability, please. Not just more Santa Fe Trails bus routes, but senior transport buses and in-development local buses to retail and services as well as to pickup points for city-wide transit.

I find in TCC that people tend to park on both sides of the road. Turning our already tight 2 lane roads into a single lane road. Perhaps widen the roads a little?

I love the trails east of Jaguar. That open space is awesome for mountain biking and hiking it would be a shame to lose it. Paved trails aren't the same.

Soft trails better for elderly with arthritic joints

Pedestrians and bicyclists cannot safely share the same space. Dedicated cycling lanes are overdue in the city, and this phase is no exception.

I'm a 68yo runner. I love the hills and the dirt paths back there. Pavement is the last thing my aging legs want. Keep as many dirt trails as you can and having a dirt path next to the paved bike trails would be fantastic.

I would like for a Pedestrian Network like this to be made NOT roadside. When I'm walking and strolling around with my family and kids on a trike, I do not want to be anywhere close to cars. This kind of network would be amazing to have as "shortcut" paths between major roads, or down back alleys. Definitely don't eliminate sidewalks alongside roads, but I would expand the non-roadside pathway plan instead.

Sidewalks everywhere so I can use my disability scooter

More open space is needed. With climate change, more open space is needed to prevent this. Too many buildings are causing our climate to change. I've seen how Santa Fe's climate has changed these past 60 years I've lived here.

Walkability, bike paths for recreation and commuting, safe routes to school, etc. all very important to me.

I think you should NOT have on street overnight parking. Separation between ped/bike paths and road are a good idea.

Must be 100% accessible in a self-propelled and electric wheelchair to be of any use to me

Transit as well as off street paths

Water conservation

I found the diagram hard to follow so I'm not sure if I'm accurate or not. It looks to me like there needs to be more interconnecting trails and not just one large one around the outside. The more walking trails you have the better. I would also suggest that they not be always next to Rose but that they wind through the community. People don't like to walk next to roads as much as they do winding through vegetation.

Paseo del Sol is going to be one busy street. I would not enjoy walking it.

Citywide Residents' Views and Concerns About the Expansion of Tierra Contenta

Question 6: If you were to move to a high quality planned community, what kind of home would you be looking for. Pick the one answer that best reflects your needs.

Respondents made no comments on this this subject but 75 out of 77 picked one of the multiple choice answers.

Question 7: How important is it to provide some modest affordable homes to low-income residents?

There is reporting that genuinely Affordable housing will not be included in Tierra III. This would be a mistake. We need housing for lower income families (\$35k or less)...even if the city has to subsidize it!

THERE IS ENOUGH HOUSING FOR UPPER MIDDLE TO SIMPLY RICH IN SANTA FE.

The city of Santa Fe's affordable housing regulations have created the current housing shortage. It is misguided to have builders build for a certain income price range, but have to require a certain number of affordable homes. Not fair or desirable to the people who want to live in neighborhoods with families of similar incomes.

I live in this neighborhood. And although providing housing for all price ranges is important. I don't want the price to be so low that the our safety begins to be a concern. didn't pay \$300,000 to live among riff raff.

Collaborate with Homewise! Economic and cultural diversity is the key to resilient communities.

Homes that are affordable are never maintained. People can barely afford their mortgage, and don't maintain their homes. Why is the majority of affordable homes dumped on the south side? I would love to live in the north or east sides of Santa Fe. When are residents on the north and east sides going to have to deal with affordable homes and residents?

Important to keep neighborhoods diverse and offer affordable housing options interspersed with more expensive options.

There are enough wealthy people here. Save this space for some of its sanctuary city folks that will need housing.

Please also look at providing accessible homes for the disabled including single level floor plans with no stairs

I think it is a worthy goal that is very hard to achieve to build a complex that is appealing and comfortable for all income levels. Philosophically I fully believe that providing quality housing for working level families is essential to maintaining Santa Fe. I think the Oshara community south of the city with Habitat and Home Wisehomes is a prime example. I think it's Great but could definitely be improved with more green and walkable space.

Citywide Residents' Views and Concerns About the Expansion of Tierra Contenta

Question 8: If you were to live in a community like this, which one business would you most want nearby?

A health food store like Natural Grocers, Sprouts, Co-op, Whole Foods, etc....

There needs to be an alternative to WalMart.

We have plenty of gas stations and convenience stores on Airport Road. I would not want one in my neighborhood.

Get good local retail anchored by an excellent grocery store (Trader Joe's, Kaune's, Smith's, Sprouts, etc.) and the other businesses will come to take advantage of the traffic. How many times do we have to tell you we want a good grocery store?

A restaurant out near 599 and Jaguar, a convenience store/gas station would be nice, too. Maybe a small grocery store.

Quality grocery stores such as Trader Joe's or even Costco are so way overdue in the Southside, I don't even have words to express it.

Living in walmart's shadow makes many businesses unviable. But having a community where there is no place to walk to is isolating. I can currently walk to a dollar store and mcdonalds. That's a serious negative. Need an ice cream place at least for a little stroll on a summer evening.

With a liquor license and patio for summer night hangouts, open mics nights for the community, etc.

None

This area is in desperate need for a few good grocery stores. Residents only have Walmart. This area also needs restaurants. This area has been so neglected for years.

"Third place" spaces are good. A small market with packaged foods and seating area could fill same function while also offering grocery items. Something like La Montanita Co-op or Silver St. Market in ABQ.

Same as the downtown area.

Question 9: If you were living in a community like this, which facilities would be good to have?

Multi-purpose center for all ages including recreation, community garden, farmers market, meeting room like a well designed and managed YMCA

Post Office, DMV Office, Police/Fire/Emergency hub

A dog park

None just empty land to enjoy

Police station. Could be a small office. Also, a recreation area. Gym, pool ect.

Elder care and day care for kids

Citywide Residents' Views and Concerns About the Expansion of Tierra Contenta

Gym. Pet daycare. Library.

Community center with pool and exercise facilities. Just like Fort marcy and geneva Center.

Question 10: What would you be willing to pay for a resident association to help assure maintenance?

HOA's are fascist.

But ONLY if it were governed by homeowners/renters. NO to outside HOAs.

I'd be willing to pay more to have a better neighborhood.

WE ALREADY HAVE MAJOR PROBLEMS WITH THE HOMEWISE HOMEOWNERS ASSOCIATION HARASSING PEOPLE ON AVENIDA EL NIDO. Major PROBLEMS!!!!

I would be willing to pay an extra fee in the cost of the house, that would be added to a permanent endowment to provide some resident services and an ombudsperson to nag those assholes at City Hall to pay attention to us.

HOAs have their pros and cons, like anything, but in an area quickly becoming overcrowded, I feel they are necessary to curb negative issues that arise in planned communities such as this.

it's not the money. hoa's can get out of control.

I think an emphasis should be on "community work days" or other ways to engage with neighbors rather than paying an anonymous fee to outsource maintenance work.

I would be willing to pay higher HOA fees as long as this area is kept clean and always maintained. Who would do the maintenance? Hopefully not the City of Santa Fe. The City doesn't keep Santa Fe clean or maintained.

Imperative

I like the idea of maintaining common spaces. However, I do not like the idea of HOA covenants that really discourage individuality. A few rules might be OK but it's important not to make them too restrictive. But reasonable maintenance of common spaces, trails, sidewalks etc. is a great idea

Question 11: What best reflects your views of design standards for the Phase 3 expansion?

Standards should be flexible to allow additional styles, BUT there should be some defined standards. Do not allow just anything.

Northern N M roofs are often pitched, allowing for more efficient runoff

Citywide Residents' Views and Concerns About the Expansion of Tierra Contenta

THERE NEEDS TO BE A DIFFERENT ROADWAY FROM THE AREA LEADING TO CERRILLOS ROAD!!!!!!

(1) INFRASTRUCTURE. There is simply not enough of it in the Southside as it is--traffic control, water access, schools, and the like. (2) More emphasis on walkable neighborhoods, with farmers' markets, upmarket groceries like Trader Joe's, coffee shops or other amenities in reasonable walking or short driving distance. (3) Preserved open space is vital to our health and sustainability, as well as preventing further incursions on wildlife. (4) Situate dog parks and kid playgrounds in peripheries, to minimizing noise and parking impact on residents in general.

Larger lots. No HOA. Definitely no covenants or restrictions. If I wanted to improve my property, I don't want to have to present it to some community council for approval first and argue about whether my apple tree plan is going to drop too many apples on my neighbor's lawn.

ADA accessible sidewalks

Better grocery stores and restaurants. Wider streets and not building homes on top of each other. Give residents room. Fix the roads especially Paseo del Sol, Jaguar etc. A community center so residents can go to exercise and swim and play basketball indoors.

Active Board, community events, local businesses (not corporations, chains, or even franchises) to maintain integrity, opportunity, and sense of place.

Would want to conduct as much business as possible within walking distance of home.

who benefits from this massive development?

I hate the narrow streets. I hate that there is no place to park.

Make it a 100% disability accessible community

Activities and spaces to foster community

More truly affordable housing with easy access to public transportation and community spaces.

Connecting transit and trails

Dark Sites for amateur astronomers to place telescopes at night

I am very concerned about 1,100 new homes where we been told for years that there is not enough water to accommodate your total construction

Encourage Innovation and connection: working with SFCC and other organizations (Reunity) design facility that serves as a community anchor with a community greenhouse attached to a community center and community garden with play area for kids.

To me, public green space is extremely important. It provides an efficient way to cool and beautify a community to have public green spaces well maintained in a water efficient way. There's also a lot of research on how green spaces calm the community and provide a gathering place in communities and cool down tempers. I think the walking trails, parks and green spaces will be an important type of clue for the community and could encourage all members of the community to mingle. I also think that it is important to have more than one of the services you suggested above. I believe day care centers are

Citywide Residents' Views and Concerns About the Expansion of Tierra Contenta

essential to a community of wealth of working families; I also believe that easy access to quality food is important. I know people who live in Aldea and I believe that the public gathering spaces there don't work very well because they don't provide a lot of these things. While it is a very attractive community, it feels isolated. It would be great if Tierra Contenta could avoid that. I also think relaxing some building standards to allow individuality is important. But Santa Fe building codes have for many years required these traditional building styles and I think it would be a shame to completely do away with them.

Question 13: What problems with Tierra Contenta should be avoided in Phase III?

You will be taking away our pre-existing hiking trails which is the best and only feature of living down here. We are so lucky to have this open space. Also, the traffic will be terrible, plus this is a food desert down here.

Parking on the street needs to be limited to daytime only. No parking in the "yard" areas. Parking ONLY in the garage or on the driveway. Other cities have helpful restrictions like this. SF does not have to be a fickle western town where one's bullying is the law. We went to the incompetent ENN presentation. Even there it was obvious the streets were TOO NARROW.

Traffic congestion and flow of traffic; access to public transportation; use of alternative forms of transportaion

*Streets that are too narrow*Not enough measures to slow traffic down such as speed bumps, roundabouts, and stop signs*Not enough space dedicated to open trails and things like a community garden*

Apartments, narrow streets, houses sitting on top of each other

Streets are too narrow, homes are too close to each other, too many cars parked on the narrow streets which make it impossible to drive through, better street lighting, not enough traffic calming measures, medians look terrible with ugly landscaping, too many affordable homes and apartments which has effected my home value, poorly designed streets. Etc.

THINK ABOUT PARKING MY GOD. EACH HOME HAS MULTI FAMILIES IN IT SO THERE IS HOMES WITH PEOPLE PARKING ON THE THEIR FRONT YARDS...LOOKS GHETTO

DON'T FORGET, IGNORE, OR PROCRASTINATE ON THE RETAIL. Provide incentives if necessary. Get the City involved. Tax rebates, property allocation, whatever it takes. And don't shove all the retail into one place. Integrate it. And don't ghettoize townhomes and multi-family housing, mix it in.

Too crowded!!

Tall shrubbery close to turnstiles and stop signs. People tend to run stop signs at these turnstiles. This would give me a better chance of not getting T-boned by a runner.

narrow streets that do not allow for parking, not having sidewalks for pedestrians, not having away-from-cars walking trails

We need to fix the roads in this area to accommodate all this expansion

Citywide Residents' Views and Concerns About the Expansion of Tierra Contenta

Loss of the dirt trails

Make sure traffic problems and noise are avoided. Water collection areas should be developed. Wildlife corridors should be planned.

INADEQUATE POLICE AND ROADS; SPEED CONTROL;

It's the infrastructure, silly. The city is planning too many projects in this area without considering impact on traffic, lifestyle, water usage, and more. I am happy to see more options available for residents, but this cannot be done blindly, and I fear this is exactly what is happening. Please provide more detailed explanation of how this is being addressed and to whom we can go with concerns.

parking! camino rojo near country club in particular is an awful mess. traffic! jaguar, when the schools start and end is a congested hell. this project should not proceed until a traffic plan, that improves the current mess and anticipates the additional residents, is implemented or at least concurrently implemented.

That not so much water is used.

DO NOT build streets that are too narrow that two cars can't pass especially when there are cars parked in the streets. DO NOT build homes on top of each other. DO NOT build homes with the garages in the back of the house that you have to access through an alley. Build better quality homes than the ones that were built in Phase 1. DO NOT build any more affordable apartments. The ones that are here are falling apart and need tending to. Create more presentable medians than the ones that are currently in place. Do NOT put bushes and trees behind residents homes where residents are responsible for maintaining them but don't. Build wider sidewalks because the ones currently here are too narrow and unpassable because of all the weeds and overgrown bushes and trees.

Through roads that encourage speeding - like what they did to Dancing Ground! Just now, cars going 50 miles an hour in 25 mph district - where we walk our dogs, get our mail, coming out of our driveways - it has become dangerous.

too many homes per acre

Dust, Traffic, Noise

I hate the narrow streets. I hate that there is no place to park.

Uncensored dog areas

Separation of children and elderly

Diverting resources from Airport Rd. Building Swan park so far from the Airport Rd community. Lack of community spaces

Don't give Tierra Contenta the necessary permits

I don't know very much about the existing Teaira content development so it's hard for me to compare. Frankly, looking at these plans, the high density and concrete/asphalt amount worries me. I would not want to live there the way it looks right now.

Citywide Residents' Views and Concerns About the Expansion of Tierra Contenta

Focus on preventing airport noise. Development should focus on Water conservation and should not be yet another exclusive neighborhood that only wealthy people can afford.

There needs to be other major artery in and out of the community or Paseo del Sol will be a nightmare to use on a daily basis.

**August 19, 2021
Planning Commission
Case #2020-2318
Tierra Contenta Master Plan
Amendment #1 for Phase 3A**

EXHIBIT G

Applicants Materials

1. Application Master Plan Report
2. Applicant's Traffic Study
3. Archaeological Clearance
4. Tierra Contenta *Restated Annexation Agreement*
5. *Master Plan Plans*



EXHIBIT G1

JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

June 21, 2021
(Revised July 28, 2021)

Dan Esquibel, Senior Planner
Current Planning Division
City of Santa Fe Land Use Department
200 Lincoln Avenue
Santa Fe, NM 87501

RE: Tierra Contenta, Phase 3A - Master Plan Amendment #1

Dear Dan:

This letter is respectfully submitted on behalf of Tierra Contenta Corporation (TCC) in application for an amendment to Phase 3A of the Tierra Contenta Master Plan, which was adopted by the City Council in 1994. Phase 3A comprises only the TCC-owned lands within Phase 3 of the recorded Master Plan. The Phase 3A subject parcels total ± 222.84 acres and are located of south Jaguar Road and east of SWAN Park.

Background

The land comprising Tierra Contenta was originally annexed by the City of Santa Fe in 1985. The City Council approved the following documents that initiated the development of Tierra Contenta at its meeting on February 23, 1994:

- The Tierra Contenta Master Plan, which included 1,331 acres of property rezoned to Planned Residential Community (PRC), plus 90 acres of property outside the PRC zoning, for a total 1,421 acres. Of this total land area, the City owned 860 acres, which it deeded to TCC.
- Purchase agreement and promissory note to the City conveying 860 acres to TCC for \$6.287 million.
- The Restated Annexation Agreement, “Tierra Contenta, Wolgamood Subdivision and Contiguous Lands (East)” which outlines the obligations of each land owner and the City for the development of the property, including the affordable housing obligations on the TCC-owned property.

The Tierra Contenta Corporation (TCC) was created by the City of Santa Fe in January 1993 for the purpose of implementing the Tierra Contenta Master Plan on its behalf. The Corporation’s Board of Directors is made up of volunteers from the Santa Fe area representing a wide range of expertise and includes two City staff members.

The primary roles of the Tierra Contenta Corporation are as follows:

- Secure development entitlements for the TCC property on a phase-by-phase-basis that are generally consistent with the Master Plan. This includes preparation of design standards, creation of tracts for sale to developers in a phase subdivision plat, and creation of a phase development plan.
- Recruit developers and/or builders for the development tracts created.
- Build the spine infrastructure necessary to provide access and utilities to each tract.
- Meet the currently established affordable housing requirements (40% affordability to 80% Area Median Income).
- Repay to the City the principal amount of the \$6.287 million land loan.
- Dedicate land for parks, open space, and other public uses according to the Annexation Agreement.

The Tierra Contenta Master Plan was approved by the Governing Body on February 23, 1994, which addresses land uses and densities for all properties subject to the Annexation Agreement. The Elisia Partnership owned 150 acres within the annexation area, which TCC later acquired. The total entitled dwelling units for TCC-owned lands per the Master Plan are identified below. Please note that Tract 55 was originally shown as part of Phase 3, but was actually created in Phase 2C. Therefore, the 103 units allotted to Tract 55 have been moved from Phase 3 to Phase 2.

Phase	TCC Units	Elisia Units	Total
1	926	335	1,261
2	1,874	126	2,000
<i>Subtotal</i>	<i>2,800</i>	<i>461</i>	<i>3,261</i>
3A	888	287	1,175
TOTAL	3,688	748	4,436

For each phase of the Master Plan, a Master Plat establishing the development tracts and associated Design Standards must be approved by the Planning Commission. Subsequently, Subdivision Plats and Development Plans are approved by the Planning Commission for individual development tracts within each phase. Prior to City review and approval, each Subdivision Plat and Development Plan is subject to review by the TCC Architectural Review Committee for compliance with the Master Plan and with the adopted Master Plat and Design Standards for the phase in which the development tract is situated. Except as specifically provided in the Tierra Contenta Master Plan, Annexation Agreement or phase-specific Design Standards, development within Tierra Contenta must comply with all other property development regulations adopted by the City of Santa Fe.

Previous Phases

To date, TCC has completed the master platting process for five phases – Phase 1A, Phase 1B, Phase 2A, Phase 2B, and Phase 2C. This represents 3,193 residential units on TCC land. Of these, 1,310 units (41%) are considered affordable. Per above, the total entitlement for Phases 1 and 2 is 3,261 units.

Phase	Acreage*	Total Built/Platted Units	Affordable Units	% Affordable
1A	175	891	460	51.6%
1B	165	800	365	45.6%
2A	165	670	225	33.6%
2B	61	388	165	42.5%
2C	45	444	95	21.4%
TOTAL	611	3,193	1,310	41.0%

**Acreages presented are exclusive of natural open space.*

Phase 3A Land Use Summary and Design Standards

Phase 3A of Tierra Contenta includes only TCC-owned lands within the final phase of Tierra Contenta, totaling 222.84 acres. The remainder of land in Phase 3 is owned by the New Mexico School for the Deaf (NMSD) and there are no plans to develop Phase 3B at this time. This proposed Amendment is intended to respond to shifting market conditions, provide more housing diversity, improve pedestrian connectivity, and implement design changes to address lessons learned from previous phases. An overview of the proposed Phase 3A Design Standards is provided with this application for the City’s review and comment. The final document will incorporate input from the City and the TCC Board and will be submitted with the Master Plat application for Phase 3A.

The following table summarizes the proposed land use entitlements for Phase 3A, as requested in Master Plan Amendment #1:

Mixed Residential	118.95 acres	1,133 units
Mixed-Use	3.43 acres	42 units
School	9.37 acres	
Open Space	91.09 acres	
<i>Total</i>	<i>222.84 acres</i>	<i>1,175 units (1,500 maximum)</i>

In response to City and neighborhood feedback on previous phases, TCC is taking a fresh approach to the design standards for Phase 3A. All residential tracts are designated as “Mixed Residential” to emphasize that a mixture of housing types is permissible and encouraged. An overall increase in density to 1,500 units is proposed to encourage and facilitate the creation of a diversity of housing types. A minimum number of units are assigned per development tract, and a “density bank” will be established to provide incentives for inclusion of “missing middle” housing types and innovative sustainability measures as each tract develops. Rules will be established to determine how density bonuses are awarded based on availability of entitled units and the development program proposed. Form-based standards will define Roadway Typology, Building Typology, and Open Space/Trail Typology. This approach is intended to create a flexible framework that will define how buildings, open spaces, and streetscapes are configured

to shape and activate the public realm, create a desirable and livable neighborhood, meet affordability goals, and realize the values and intent of Tierra Contenta.

Master Plan Amendment #1 Approval Criteria

The Master Plan approval criteria in §14-3.9(D) are addressed below:

(a) The master plan is consistent with the general plan;

This Master Plan Amendment aligns with General Plan Themes and Policies, such as Affordable Housing, Economic Diversity, Urban Form/Higher Densities, Community Oriented Development, and Mixed Use. Furthermore, the General Plan Land Use Framework includes the following elements: Compact Urban Form, Mix of Uses in All New and Existing Neighborhoods, and Mix of Housing Types in All Neighborhoods.

(b) The master plan is consistent with the purpose and intent of the zoning districts that apply to, or will apply to, the master plan area, and with the applicable use regulations and development standards of those districts;

The stated purpose of the PRC District in §14-4.3(I)(1) is “...to provide for the comprehensive and coordinated planning of large-scale residential developments that allows for a phasing of development that will take place over a long period of time. This district allows and encourages single-family residences in conventionally platted subdivisions and clustered residential developments based on a design concept that applies innovative site-planning techniques; a mixture of residential densities intended to achieve a balanced community for all types of families ; and neighborhood commercial uses of a type and intensity serving the residents of the PRC and the surrounding areas.” This amended Master Plan is consistent with the purpose and intent of the PRC District through the provision of a diversity of housing types, innovative design standards, a mix of residential densities, and mixed-use development.

(c) Development of the master plan area will contribute to the coordinated and efficient development of the community; and

The Master Plan includes provisions for pedestrian and vehicular connectivity to the surrounding area. In addition, the subject land area (Phase 3A) makes efficient use of existing infrastructure and represents the final phase of development within the Tierra Contenta master-planned community, as contemplated in the original vision of the master plan.

(d) The existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the planned development.

The backbone infrastructure to be constructed by TCC will include the following: (1) construction of Paseo del Sol from the current terminus of Paseo del Sol West to the

Herrera Drive/Paseo del Sol East roundabout, completing this important connection; (2) construction of the Phase 3A Loop Road, providing access to the development tracts; and (3) water and sewer mainline extensions in accordance with the attached Master Utility Plan. In addition, over 91 acres of natural open space is being preserved with a significant trail network and two mixed-use parcels are provided to accommodate potential future civic/public uses. Lastly, a 9.37-acre school site is being established to address future student demand in the area.

PRC Zoning

The zoning of Tierra Contenta is Planned Residential Community (PRC), which was established by the Santa Fe City Council in 1988. The purpose and intent of PRC zoning is described in SFCC §14-4.3(I)(1) and generally provides comprehensive zoning for large-scale, phased development, which “applies innovative site-planning techniques.” The Phase 3A Design Standards along with the Master Plat will form the basis to implement the Master Plan, as amended for Phase 3A by this application. Development of the tracts created by the Phase 3A Master Plat are contingent on approval of a Subdivision Plat and/or a Development Plan, if applicable, for each tract that follows the Tierra Contenta Master Plan, the Phase 3A Design Standards, and other relevant City policies and regulations. The Design Standards are structured to give users and reviewers a format, intent, and specific direction for development review and implementation.

City staff and planning officials retain jurisdiction to review, approve, or disapprove Development Plans and Subdivision Plats within Tierra Contenta. However, the Tierra Contenta Annexation Agreement states that:

“The City agrees to approve rezoning, preliminary development plans and preliminary subdivision plats for individual tracts within the Property, provided such rezoning, plats and plans conform to the Master Plan and Phasing Plan, the SFCC 1987 as amended, and the provisions of this Agreement. The City agrees to approve final development plans and final subdivision plats that substantially conform to previously approved preliminary plats and plans.”

The Phase 3A Master Plat and Design Standards shall be consistent with the Master Plan. Subsequently, the individual Subdivision Plats and Development Plans for the tracts shall be consistent with the approved Phase 3A Master Plat and Design Standards.

Residential Density

In accordance with the 1994 Tierra Contenta Master Plan, Phase 3A is entitled to 1,175 dwelling units. However, there is a 708-unit surplus of undeveloped units from the previous phases. Therefore, we are proposing a maximum density of 1,500 units, “borrowing” from this surplus. A minimum unit count is established for each tract to ensure that appropriate densities are achieved. Phase 3A will include a Density Bonus Program utilizing the surplus units as a “density bank” to incentivize diversity of housing types, higher levels of affordability, and innovative sustainability measures. For example, a single-family developer can achieve higher

density if they incorporate townhomes, multiplexes, courtyard housing, or other types of multi-family dwellings into their project. The Density Bonus Program parameters will be established in the Phase 3A Design Standards submitted with the Master Plat.

Affordable Housing

Tierra Contenta was established with an affordability program that requires that 40% of the units be affordable to those earning 80% of the Area Median Income and below. In the first two phases, 1,277 affordable units have been produced amounting to 41% of the total units constructed to-date, 33 units in excess of the requirement. Phase 3A will include a requirement that an overall 40% affordability is achieved.

Mixed-Use

Tracts 58 and 59 are designated as Mixed-Use to accommodate civic, neighborhood commercial, and residential uses. In the event that there is no market demand for civic or commercial space, one or both of these tracts may be converted to Mixed Residential in order to ensure the orderly completion of the project.

Access and Traffic

Phase 3A will be served via the extension of Paseo del Sol from the current terminus of Paseo del Sol West just south of Jaguar Drive east to the Herrera Drive/Paseo del Sol East roundabout, completing this important roadway connection. In addition, an internal Loop Road will complete the Phase 3A backbone roadway infrastructure, providing access to the development tracts. The easternmost leg of Paseo del Sol and a portion of the Loop Road cross NMSD property and we are working with the administration to procure the requisite right-of-way dedications in accordance with the terms of the Tierra Contenta Annexation Agreement.

The Amended Master Plan identifies potential future roadway connections to adjacent lands, including NMSD property and the Mutt Nelson neighborhood to the south. As the individual tracts are developed, road stub-outs and/or right-of-way dedications will be required where appropriate to ensure adequate roadway connectivity in the larger area. In addition, connectivity among the development tracts is a key component of the design intent.

In an effort to provide improved pedestrian amenities and connectivity, each of the proposed roadway sections includes sidewalks on both sides. Furthermore, in order to address parking shortages experienced in previous phases, on-street parking is proposed on segments of Paseo del Sol and on one side of the Loop Road. Local Roads constructed within the development tracts will also need to include on-street parking. In the event on-street parking is not feasible due to driveway proximity, dedicated guest parking areas will be required. Please refer to the Road Sections in the attached Master Plans for more information.

A Traffic Impact Analysis was conducted by Walker Engineering and is submitted herewith for review. The trip generation was calculated in accordance with a set of land use assumptions based on a dwelling unit yield analysis of the subject area. All studied intersections will continue

to operate at acceptable Levels of Service in the build condition and horizon year. Furthermore, as referenced in the addendum letter from Morey Walker, a potential increase in density up to 1,500 dwelling units will not negatively impact the study's results.

Water and Sewer

As part of the backbone infrastructure to be constructed by TCC, new water and sewer mainline extensions will connect to existing facilities. A 10" water main will be installed in Paseo del Sol connecting to existing lines at the eastern and western termini of the new roadway. In addition, an 8" water main will be installed in the Loop Road. Future tract development will connect to these lines and loops will be established among various tracts where warranted. Sewer service will be provided via gravity and low-pressure connections to the existing Arroyo Chamiso Trunk Line that extends through the project area from the western terminus of Paseo del Sol down to and along the southern site boundary. In addition, the northernmost tracts will connect to a new gravity sewer line to be constructed adjacent to an existing drainageway, which will also connect to the Arroyo Chamiso Trunk Line in Paseo del Sol. Please refer to the attached Water and Sanitary Sewer Master Plan for more details.

Open Space, Parks, and Trails

In Phase 3A, 91.09 acres of open space will be preserved, which includes one Neighborhood Park, to be owned and maintained by the City of Santa Fe, four dispersed Pocket Parks to be maintained by the applicable homeowners' association, and an extensive trail network. Park locations shown on the Master Plan Amendment Plans are conceptual and subject to change during platting. These decentralized passive and active recreational spaces are intended to provide community connection opportunities throughout the neighborhood and will be developed in accordance with the Design Standards, as summarized below.

- **Neighborhood Park**: Up to 5 acres in size, a Neighborhood Park serves as a social and recreational focal point for the neighborhood. Includes formal playground, outdoor sport courts, sport fields, picnic tables, pathways, and/or multi-use open turf areas. Intended to accommodate the recreational needs of a wide variety of users and access for pedestrians, bicyclists and other non-motorized travelers is a priority. Connectivity to surrounding neighborhoods is vital. Sidewalks, pathways, and connections to the larger neighborhood trail system should be established. No more than 2/3 of the area should be reserved for active recreation. Remaining area should be enhanced with benches, gardens, natural areas, multi-use green space, pathways, and other more passive amenities. The Neighborhood Park will be developed in the eastern portion of Phase 3A to achieve appropriate separation from SWAN Park.
- **Pocket Park**: Small outdoor space, usually no more than ¼ to ½ acre in size. These are small-scale, landscaped open spaces designed for passive recreation, social interaction, and connection with nature. Minimal amenities are provided, aside from those intended to enhance pedestrian comfort. Connectivity to surrounding residences and the trail network is a priority.

- **Pedestrian Corridors**: Multi-use path with open space buffer on either side that provides enhanced connectivity for pedestrians and cyclists between development tracts, linking streets, sidewalks, and trails within a neighborhood.
- **Community Trails**: A network of 10-foot wide non-motorized trails within the natural open space, which will connect to the existing area trails. Trails shall be accessible via the sidewalk network and connect to the parks, where feasible.
- **Natural Open Space**: Dedicated open space that is defined by natural vegetation and shall remain largely undisturbed and protected during construction activities. Construction within Natural Open Space is limited to trails, drainage improvements/arroyo bank stabilization, and utility extensions. Disturbed areas shall be revegetated to mimic the undisturbed condition.

Pedestrian/Bicycle Connectivity

One of the primary intentions of this Master Plan Amendment is the enhancement of pedestrian connectivity and improved bicycle facilities. Each of the proposed roadway sections includes sidewalks on both sides and Paseo del Sol will provide dedicated bike lanes. In addition, the trail network is a multi-modal improvement accommodating pedestrians, cyclists, and the differently abled. On Paseo del Sol and the Loop Road, sidewalks are separated from the travel lanes by either a landscape buffer or on-street parking, providing for pedestrian safety and an overall improved experience. Furthermore, the Design Standards address how the built environment relates to the street, ensuring a vital, animated streetscape that is safe and inviting. The streetscape will be dominated by street trees, front building façades, entryways, and low yard walls. Rear yards fronting a roadway, except alleys, are prohibited.

Archaeology

Archeological surveys were conducted of the entire Tierra Contenta land area and Clearance Permits have been issued for all phases, which are attached.

Community Outreach and Early Neighborhood Notification

Extensive community outreach was conducted on 2019 and early 2020 as TCC embarked on revising the Phase 3A design. The intent was to hear the perspective of existing TC residents in an effort to identify the design elements that work well and those that do not. A series of four community meetings were conducted in 2019:

- April 11, 2019 – 45 participants, primarily from Tierra Contenta, shared their likes and dislikes of the current developed neighborhoods. No plans were presented.
- Three meetings held the week of November 4, 2019 with over 100 attendees. The first draft of the Land Use Plan was reviewed.

Meetings were noticed via ads, flyers, nextdoor.com, and events calendars. In addition, two surveys were conducted:

- Door-to-door in Tierra Contenta, October 2019 – 199 respondents
- Online survey completed January 2020 – 79 respondents (57% from TC)

The neighborhood feedback included the following primary concerns:

- Vehicle traffic, narrow streets
- Higher densities
- Too many low-income residents
- Allowing apartments
- Spoiling viewsheds or existing vegetation
- Too many schools close together leading to traffic congestion

Input was also received from multiple City staff from November 2019 – February 2020, resulting in the following plan revisions:

- Mixed-use land was included, with the goal of creating a lively gathering place for Phase 3A, which may include a grocery store, farmers market, recreation centers, etc.
- The pedestrian network was refined to ensure better walkability among all tracts
- Locations identified for external roadway connections
- Parks plan significantly revised based on input from Parks and Recreation Department

An Early Neighborhood Notification Meeting was conducted on May 27, 2021. The discussion centered around traffic concerns, housing types/density, parking, and common area maintenance. Notes from the meeting are submitted herewith for your review.

In support of this request, the following documentation is submitted herewith for your reference:

1. Master Plan Application
2. Agent Authorization Letter
3. Warranty Deed
4. Annexation Plat and ALTA Survey
5. Tierra Contenta Annexation Agreement
6. Phase 3A Design Standards Overview
7. Community Outreach and ENN Meeting Notes
8. Traffic Impact Analysis and Addendum Letter
9. ARC Clearance for Tierra Contenta (all phases)
10. Tierra Contenta, Phase 3A Amended Master Plans

The Development Review Fees are calculated as follows:

Master Plan Amendment	\$500
<u>Eight Posters (4 for Planning Commission / 4 for City Council)</u>	<u>\$240</u>
TOTAL =	\$740

Please contact me should you have any questions or require additional information.

Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jennifer Jenkins", with a stylized flourish at the end.

Jennifer Jenkins, Principal

EXHIBIT G2

W·E Walker Engineering

Morey Walker & Associates Engineering, Inc.

905 Camino Sierra Vista
Santa Fe, NM 87505
(505) 820-7990

June 17, 2021

Dan Esquibel
City of Santa Fe Land Use
200 Lincoln Ave
Santa Fe, NM **87501**

Re: Tierra Contenta Phase 3A
Traffic Impact Analysis

Dear Dan,

For the referenced subdivision, a traffic impact analysis was prepared by this office on November 20, 2020. That report used a total of 1134 residential units as the design density with a build out year of 2030.

Since that report was completed, a land use analysis was made that determined there are 700 unused residential units in Phases 1 and 2 of Tierra Contenta. Consequently, the existing infrastructure was designed to include the impact of these unused units. To utilize the excess infrastructure capacity for the 700 unused unit, the Phase 3A residential units were increase by 366 to a total of 1500.

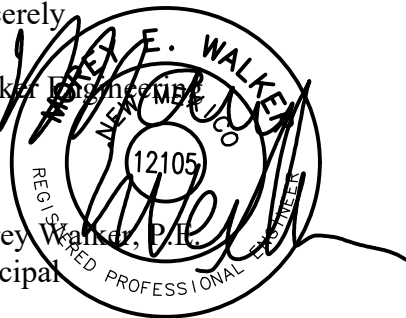
Therefore, the traffic impact analysis for the Tierra Contenta Phase 3A is still valid since the increase of the residential units has already been addressed in the previous phases.

If you have any questions or need further information, please do not hesitate to contact me at 820-7990. Thank you for your time and attention in this project.

Sincerely,

Walker Engineering

Morey Walker, P.E.
Principal



Tierra Contenta Phase 3A

Traffic Impact Analysis

November 1, 2020

for

TIERRA CONTENTA CORPORATION



Prepared by:

W•E Walker Engineering

Morey Walker & Associates Engineering, Inc.

905 Camino Sierra Vista
Santa Fe, NM 87505
505-820-7990 Fax 505-820-3539

Tierra Contenta Phase 3A Traffic Impact Analysis

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Tierra Contenta Phase 3A Traffic Impact Analysis

APPENDIXES

Appendix A - Traffic Counts

Appendix B – VISUM Traffic Generation & Distribution

Appendix C - Synchro 10 Western Intersection Jaguar Drive & Paseo del Sol

Appendix D- Synchro 10 Eastern Intersection Jaguar Drive & Paseo del Sol

Appendix E- Synchro 10 Herrera Drive and Paseo del Sol

Appendix F- Synchro 10 Western Loop Road and Paseo del Sol

Appendix G- Synchro 10 Eastern Loop Road and Paseo del Sol

Tierra Contenta Phase 3A Traffic Impact Analysis

EXECUTIVE SUMMARY

The subject of this traffic study is the area within the boundaries of a proposed amended master plan for Phase 3A of Tierra Contenta, a PUD within the City of Santa Fe located on the south side of the first two phases of the Tierra Contenta PUD. This report addresses the impact of the proposed revised land use plan for Tierra Contenta Phase 3A on the surrounding City of Santa Fe roadway system.

A buildout year of 2030 and a horizon year of 2040 were used in the analysis. Based upon the results of this traffic study, the required improvements within the studied area are the following:

- Stop Controlled Intersection of West Paseo del Sol and Jaguar Drive
 - 1) In the build out year 2030 (Phase 2), no improvements are needed
 - 2) In the horizon year 2040, a right turn lane for Jaguar Drive eastbound
- Signalized Intersection of East Paseo del Sol and Jaguar Drive
No improvements are required for Year 2030 and Year 2040
- Roundabout Intersection of Paseo del Sol and Herrera Drive
 - 3) In the build out year 2030, no improvements are required.
 - 4) In the horizon year 2040, a dedicated EB though lane could be required.
- Internal Phase 3A Intersection
Both major internal road intersections will require four way stop controlled for both design year 2030 and horizon year 2040.

Tierra Contenta Phase 3A Traffic Impact Analysis

I. INTRODUCTION

A. Project Location and Description

As described in the draft amendment to the master plan for Phase 3A of Tierra Contenta, the study area consists of 16 large tracts which the owner, the nonprofit Tierra Contenta Corporation, intends to sell to developers and the Santa Fe Public School District for residential, commercial, parkland, and school uses. The assumed time frame for development by these other parties will be 2021 to 2030. The study area comprises approximately 223 acres of which approximately 132 acres will be developed.

Figure 1 is a vicinity map describing the location of this property. Figure 2 describes the site development plans and parcel development.

B. Purpose

The purpose of this Traffic Impact Analysis (TIA) is to evaluate the impact of this residential development on the City of Santa Fe roadway system. This report is to determine the location and required improvements for three existing intersections and two new intersections within the Phase 3A Tierra Contenta development. The location of the existing intersections are both the east and west intersections of Paseo del Sol and Jaguar Drive and the intersection of Paseo del Sol and Herrera Drive.

C. Methodology

This TIA describes existing roadway conditions, present traffic volumes with peaks, future traffic volumes and the impacts of this additional traffic. Impacts to the selected intersection are evaluated on the basis of the time frame for the build-out of the development and the traffic volume for the project design year. Traffic Counts were collected by Walker Engineering. A level of service analysis (LOS) is conducted for the design year using Synchro 10 software. The degree of impacts is evaluated based on the LOS for the intersection. Recommendations for the mitigation of impacts, if they occur, are included in the final section of the report.

Tierra Contenta Phase 3A Traffic Impact Analysis

II PROPOSED DEVELOPMENT

A. Land Use per Parcel

As noted before, this development will be a planned unit development. There will be a total of 16 tracts to be sold to private developers and the Santa Fe Public School District. There will be a total 1,134 residential units, 3.4 acres of commercial development and a proposed elementary school. Table 1 below summarizes the anticipated land use.

Table 1: Phase 3A Tierra Contenta Land Use

Parcel Number	Land Use	Type	Number of Units	Area (Acres)
1	School	Elementary		9.4
2	Single Family	Detached	49	
3	Commercial	Mix Use		1.8
4	Commercial	Mix Use		1.6
5	Single Family	Detached	60	
6	Single Family	Detached	62	
7	Single Family	Detached	108	
8	Multifamily	Apartments	304	
9	Single Family	Townhouse	147	
10	Multifamily	Apartments	192	
11	Single Family	Detached	61	
12	Single Family	Detached	10	
13	Single Family	Detached	86	
14	Single Family	Detached	11	
15	Single Family	Detached	10	
16	Single Family	Townhouse	34	

B. Location and Type of Access Points

For this mixed use development, Paseo del Sol will be extended from the western intersection of Jaguar Drive to the eastern intersection of Herrera Drive. For the internal Phase 3A traffic, a loop road will be built that has two intersections with Paseo del Sol. This loop road is labeled as having an eastern and western intersection. Refer to Figure 2 for the roadway layout. Within Phase 3A, Paseo del Sol will be a two lane roadway with bike lanes.

Tierra Contenta Phase 3A Traffic Impact Analysis

III. EXISTING AND FUTURE ROAD CONDITIONS

A. Existing Conditions

The western intersection of Paseo del Sol and Jaguar Drive is four way stop controlled with left turn lanes. The eastern intersection of Paseo del Sol and Jaguar Drive is traffic light controlled with protected left turn lanes. The intersection of Paseo del Sol and Herrera Drive is a roundabout.

B. Planned Road Improvements

Since this is a new roadway within an undeveloped section of Tierra Contenta, no other planned improvements are anticipated. Though, several developers in this area have plans to build right turn deceleration/acceleration lanes for certain sections of the project.

IV. EXISTING TRAFFIC VOLUMES

Traffic counts were taken using a JAMAR DB-100 unit. The counts for the western intersection of Paseo del Sol & Jaguar Drive were taken on February 12, 2020. The counts for the eastern intersection of Paseo del Sol & Jaguar Drive were taken on February 13, 2020. The counts for the intersection of Paseo del Sol & Herrera Drive were taken on February 19, 2020. The counts were taken for the peak AM period of 7am to 9am and the peak PM period of 4pm to 6pm. Refer to Figure 3 for all three counts. The traffic counts are found in Appendix A.

Tierra Contenta Phase 3A

Traffic Impact Analysis

V. SFMPO VISUM Model

A. Modeling Methodology

The traffic volume forecasts for Tierra Contenta were evaluated using the Santa Fe Metropolitan Planning Organization (SFMPO) VISUM travel demand model. This model is primarily a peak hour model, which also includes mode choice and transit assignments. The model was calibrated to a base year of 2015 and was last updated in 2017 and has had minor refinements since that time with additional data from several projects. It has been used for forecasting AM and PM peaks and will compute daily volumes based upon the peak hour forecasts. Previous iterations of the model have been used for evaluation of the NM 599 improvement priority, Avenida del Sur, Las Soleras, Arroyo de los Chamisos Crossing, NE-SE Connectors, the interchange improvements at I-25 and Cerrillos Road, and other important studies in the Santa Fe MPO area.

This travel demand model (TDM) is a representation of the Santa Fe metropolitan area transportation facilities and the travel patterns using these facilities. This computerized transportation model is used to analyze street and intersection congestion and forecast the need for future roadway improvements. The model contains inventories of the existing roadway facilities and of housing, shopping, schools, and employment in the area.

The transportation modeling procedures were developed to produce representative travel flows for the base year of 2020 in the Tierra Contenta area. Model calibration involved examining multiple factors to adjust model parameters producing a strong comparison between observed data and model produced information. Once calibrated, the model can be used to test forecasted changes in growth patterns or changes to the transportation system. This can include changes in number of housing units, employment centers, travel behavior patterns, or roadway improvements. The SFMPO travel demand model includes the entire MPO area. The model development process, including input data and validation parameters, are described in the report “*Santa Fe Travel Demand Model Documentation, 2017 Update, December 20, 2017*” available from the Santa Fe MPO.

Tierra Contenta Phase 3A Traffic Impact Analysis

B. Forecasts

For this project, the model was refined in the Tierra Contenta area based upon the turning movement counts collected for this study. Because of the network detail required to forecast the intersection volumes, the centroid connectors in Tierra Contenta and surrounding traffic analysis zones were refined and tested to better replicate the turning count patterns and to define the connectors for the forecasts. The forecasts for 2030 and 2040 included planned background growth and transportation improvement projects provided by SFMPO staff. The forecasts for 2030 were tested with and without the projected Tierra Contenta growth.

C. Procedure

1. Enter updated AM and PM peak hour traffic counts for the existing conditions.
2. Update the SFMPO VISUM model in this area as needed and validate the model operation with the count data.
3. Enter forecast land use and demographics into the model from the Tierra Contenta plan, including housing, employment, and students.
4. Run the VISUM model and provide forecast turning volumes for the five intersections noted in the analysis. The post-process the intersection volumes were adjusted for model calibration as closely as possible. Turning movements for the SFMPO VISUM are attached in Appendix B.

Tierra Contenta Phase 3A Traffic Impact Analysis

VI. TRAFFIC EVALUATION

A. Level of Service

Synchro 10 software was used to determine the operational level of service (LOS) for the intersections. The LOS is conducted for the design years 2030 and 2040. First, LOS were determined for fully developed conditions for both years. If a LOS with failing conditions were identified, then LOS for undeveloped condition was run to determine what improvements will be required to improve the LOS.

LOS is ranked from A-F, with A being the highest level of service with the least delays and F indicating a break-down in the operation of the intersection. Table 2 summarizes the delays associated with LOS rankings for both an unsignalized intersection and a signalized intersection.

Table 2 LOS Rankings

LOS	Unsignalized Intersection	Signalized Intersection
A	≤ 10	≤ 10
B	> 10 and ≤ 15	> 10 and ≤ 20
C	> 15 and ≤ 25	> 20 and ≤ 35
D	> 25 and ≤ 35	> 35 and ≤ 55
E	> 35 and ≤ 50	> 55 and ≤ 80
F	> 50	> 80

Tierra Contenta Phase 3A Traffic Impact Analysis

B. Existing Western Intersection of Jaguar Drive and Paseo del Sol

The western intersection of Jaguar Drive and Paseo del Sol is an unsignalized with stop conditions on all four approaches. The traffic volumes and distributions were taken from Figure 5 for Year 2030 and from Figure 8 for Year 2040. The Synchro 10 results are summarized below on Table 3. The analysis reports are attached in Appendix C.

TABLE 3: Jaguar Drive and Paseo del Sol West LEVEL OF SERVICE ANALYSIS/DELAY (Seconds)				
	Figure 5 Year 2030		Figure 8 Year 2040	
Movement	AM	PM	AM	PM
Paseo Del Sol SB	B/13.1	B/13.4	C/15.5	C/17.5
Paseo Del Sol NB	B/13.6	B/13.1	C/17.7	C/17.0
Jaguar Drive EB	B/13.4	C/17.5	C/17.1	E/45.2
Jaguar Drive WB	B/12.2	B/13.3	C/15.1	C/19.3

The LOS E for the year 2040 for eastbound Jaguar Drive is close to failure, an additional analysis was completed to determine what roadway improvements would be necessary to bring the LOS up. The only improvement needed for the four way stop sign would be a dedicated right turn lane for eastbound Jaguar Drive. Table 3A summarizes the results.

TABLE 3A: Jaguar Drive and Paseo del Sol West Right Turn Lane Jaguar Dr Eastbound LOS ANALYSIS/DELAY (Seconds)		
	Year 2040	
Movement	AM	PM
Paseo Del Sol SB	C/17.8	C/19.9
Paseo Del Sol NB	C/20.4	C/19.0
Jaguar Drive EB	B/14.1	C/20.1
Jaguar Drive WB	C/17.44	C/23.5

Tierra Contenta Phase 3A Traffic Impact Analysis

C. Existing Eastern Intersection of Jaguar Drive and Paseo del Sol

The eastern intersection of Jaguar Drive and Paseo del Sol is signalized with protected left turns on all four approaches. The traffic volumes and distributions were taken from Figure 5 for Year 2030 and from Figure 8 for Year 2040. The Synchro 10 results are summarized below on Table 4. The analysis reports are attached in Appendix D.

TABLE 4: Jaguar Drive and Paseo del Sol East LEVEL OF SERVICE ANALYSIS/DELAY (Seconds)				
	Figure 5 Year 2030		Figure 8 Year 2040	
Movement	AM	PM	AM	PM
Paseo Del Sol NB	C/25.3	B/17.7	C/33.6	C/20.6
Paseo Del Sol SB	C/22.5	B/13.2	C/26.4	B/15.9
Jaguar Drive WB	C/29.0	C/27.1	C/32.3	C/32.6
Jaguar Drive WB	C/20.3	B/18.4	C/21.0	B/18.3

The LOS is acceptable for all approaches for both buildout year 2030 and horizon year 2040. .

Tierra Contenta Phase 3A Traffic Impact Analysis

D. Existing Intersection of Herrera Drive and Paseo del Sol East

The intersection of Herrera Drive and Paseo del Sol is an unsignalized roundabout with three approaches. The traffic volumes and distributions were taken from Figure 5 for Year 2030 and from Figure 8 for Year 2040. The Synchro 10 results are summarized below in Table 5. The analysis reports are attached in Appendix E.

TABLE 5: Herrera Drive and Paseo del Sol East LEVEL OF SERVICE ANALYSIS/DELAY (Seconds)				
	Figure 5 Year 2030		Figure 8 Year 2040	
Movement	AM	PM	AM	PM
Herrera Drive EB	C/24.4	A/8.8	E/44.7	B/11.4
Herrera Drive WB	A/6.9	A/9.6	A/6.8	B/10.8
Paseo Del Sol SB	A/9.7	A/9.8	C/11.3	B/12.8

Tierra Contenta Phase 3A Traffic Impact Analysis

E. Western Loop Road and Paseo del Sol

The intersection of Western Loop Road and Paseo del Sol is a new intersection within the proposed Phase 3A development. The intersection was assumed to be a four way stop condition. The traffic volumes and distributions were taken from Figure 6 for Year 2030 and from Figure 9 for Year 2040. The Synchro 10 results are summarized below on Table 6. The analysis reports are attached in Appendix F.

TABLE 6 Western Loop Road and Paseo del Sol FOUR WAY STOP CONDITIONS LEVEL OF SERVICE ANALYSIS/DELAY (Seconds)				
	Figure 6 Year 2030		Figure 9 Year 2040	
Movement	AM	PM	AM	PM
Paseo Del Sol EB	A/9.5	B/10.2	B/14.0	B/13.5
Paseo Del Sol WB	A/9.5	B/10.2	B/12.3	B/11.1
South Loop NB	A/8.4	A/9.6	B/13.0	B/10.9
North Loop SB	A/8.7	A/8.7	B/10.7	A/9.4

The LOS is acceptable for all approaches for both buildout year 2030 and horizon year 2040.

Tierra Contenta Phase 3A Traffic Impact Analysis

F. Eastern Loop Road and Paseo del Sol

The intersection of Eastern Loop Road and Paseo del Sol is a new intersection within the proposed Phase 3A development. This intersection was assumed to be a four way stop condition. The traffic volumes and distributions were taken from Figure 6 for Year 2030 and from Figure 9 for Year 2040. The Synchro 10 results are summarized below on Table 7. The analysis report is attached in Appendix G.

TABLE 7 Eastern Loop Road and Paseo del Sol FOUR WAY STOP CONDITIONS LEVEL OF SERVICE ANALYSIS/DELAY (Seconds)				
	Figure 6 Year 2030		Figure 9 Year 2040	
Movement	AM	PM	AM	PM
Paseo Del Sol EB	A/18.4	B/10.3	B/14.3	B/11.9
Paseo Del Sol WB	B/12.7	B/14.5	C/15.1	C/17.0
South Loop NB	B/13.3	B/10.2	C/16.8	B/11.3
North Loop SB	B/10.8	A/9.8	B/11.9	B/10.0

The LOS is acceptable for all approaches for both buildout year 2030 and horizon year 2040.

Tierra Contenta Phase 3A Traffic Impact Analysis

VII. SUMMARY AND RECOMMENDATIONS

A. Summary

Tierra Contenta Phase 3A will have minimal impact on the City of Santa Fe road system. The required improvements have been identified and will be implemented as the subdivision is developed.

B. Recommendations

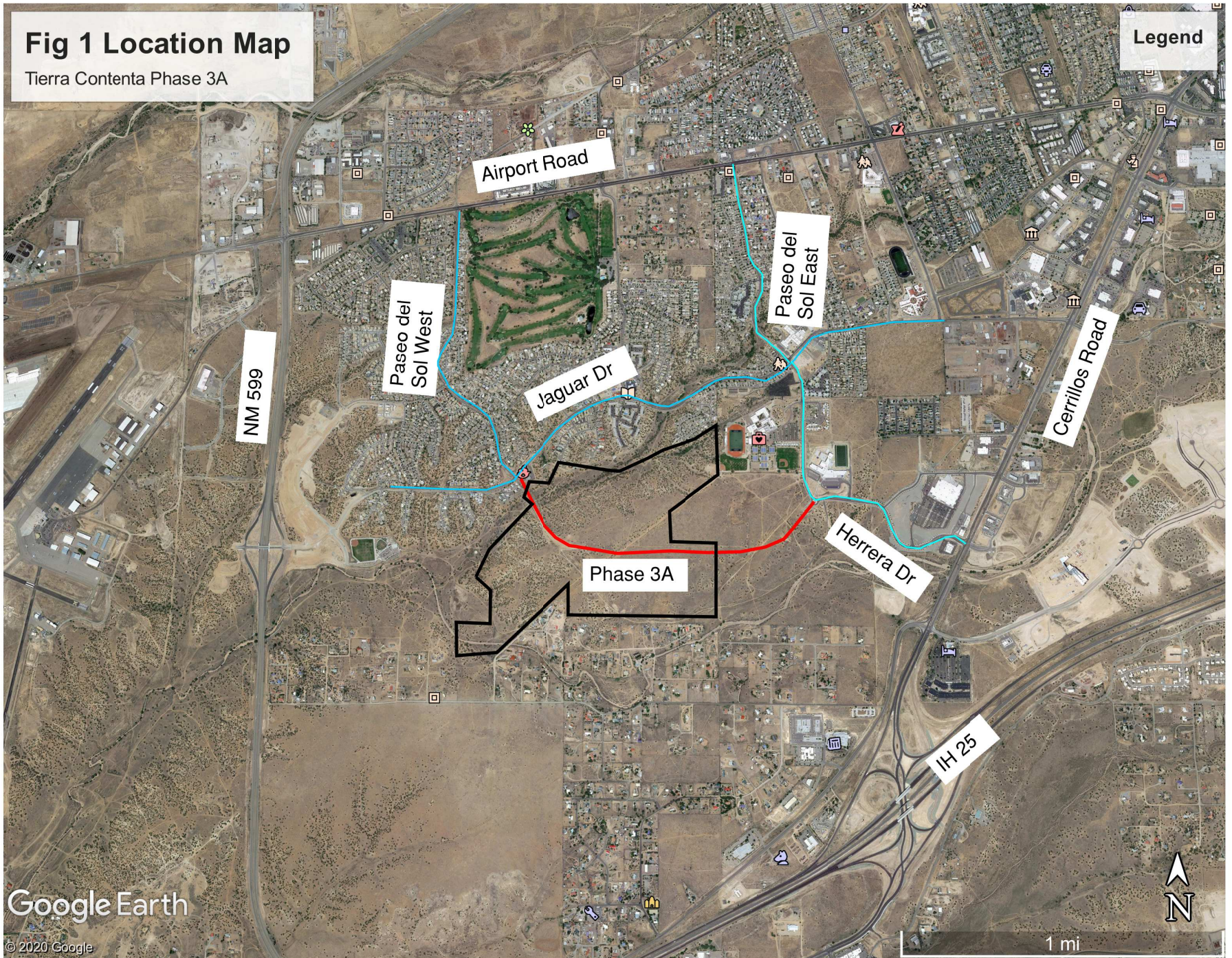
Based on this traffic impact analysis, the following recommended improvements should be made with Tierra Contenta Phase 3A:

- Stop Controlled Intersection of West Paseo del Sol and Jaguar Drive
 - 1) In the build out year 2030, no improvements are needed
 - 2) In the horizon year 2040, a right turn lane for Jaguar Drive eastbound
- Signalized Intersection of East Paseo del Sol and Jaguar Drive
No improvements are required for Year 2030 and Year 2040
- Roundabout Intersection of Paseo del Sol and Herrera Drive
 - 1) In the build out year 2030, no improvements are required.
 - 2) In the horizon year 2040, a dedicated EB though lane could be required.
- Internal Phase 3A Intersections
Both major internal road intersections will require four way stop controlled for both design year 2030 and horizon year 2040

Fig 1 Location Map

Tierra Contenta Phase 3A

Legend



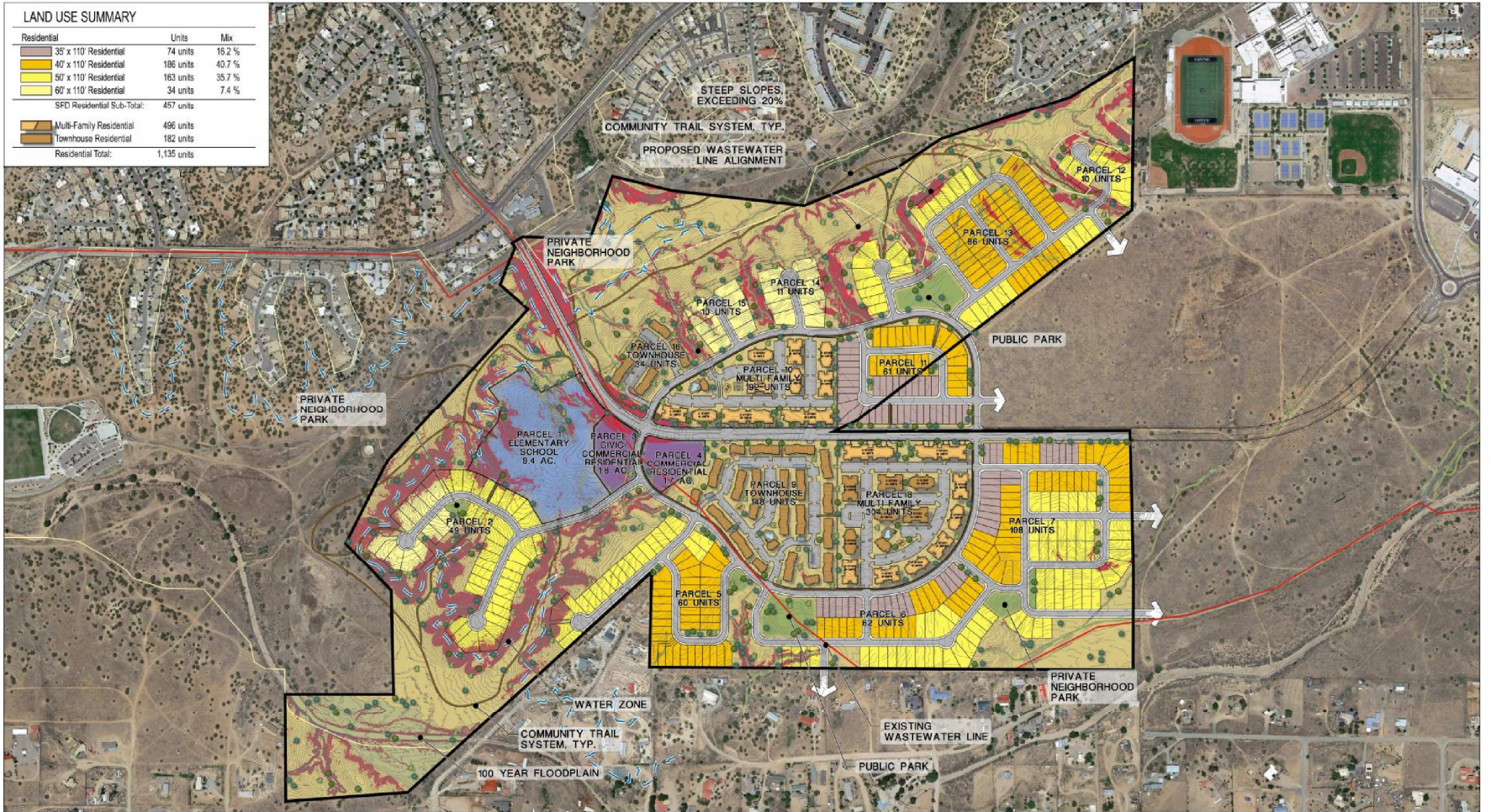
Google Earth

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LAND USE SUMMARY

Residential	Units	Mix
35' x 110' Residential	74 units	16.2 %
40' x 110' Residential	106 units	40.7 %
50' x 110' Residential	163 units	35.7 %
60' x 110' Residential	34 units	7.4 %
SFD Residential Sub-Total:	457 units	
Multi-Family Residential	496 units	
Townhouse Residential	182 units	
Residential Total:	1,135 units	



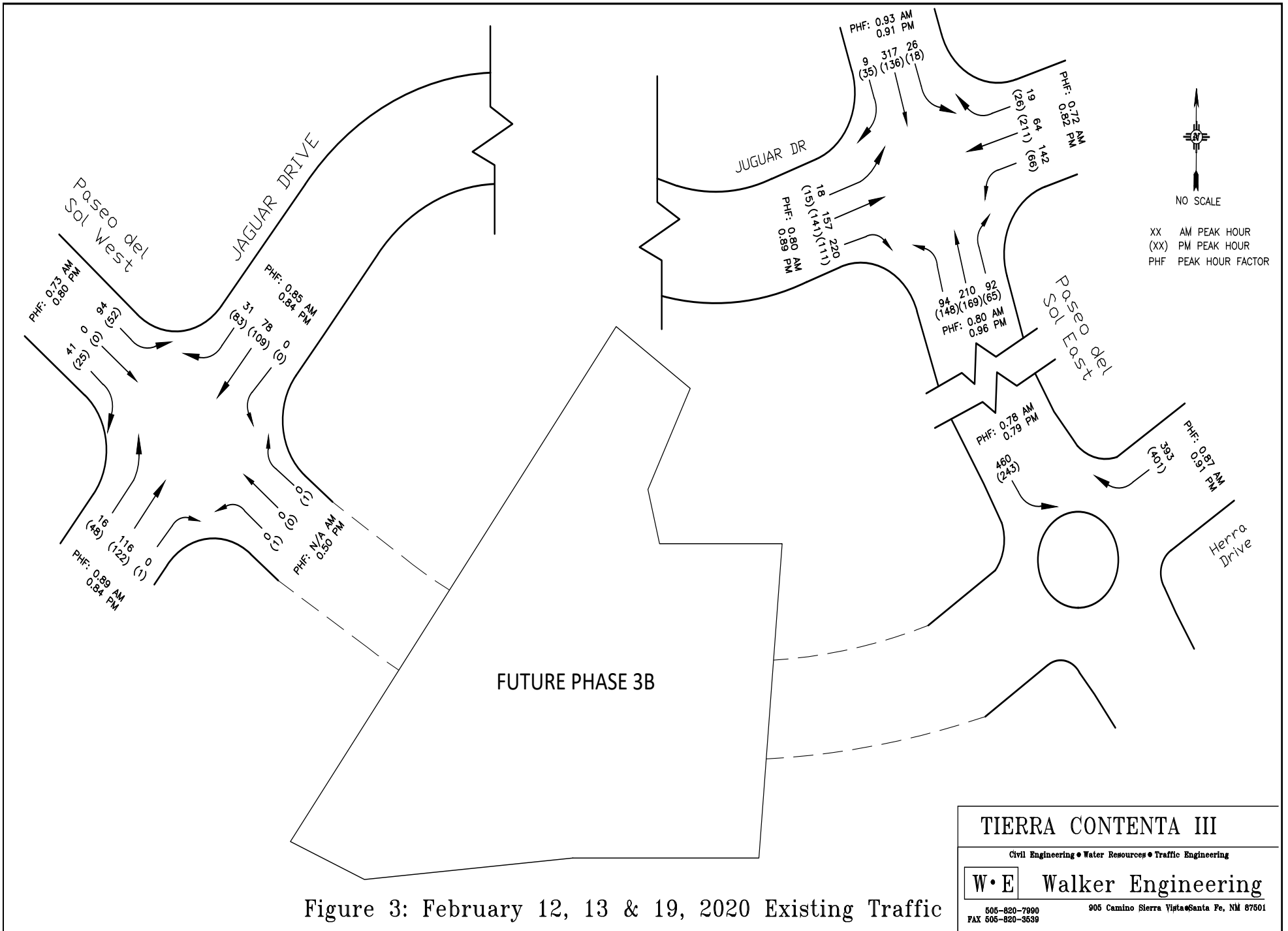
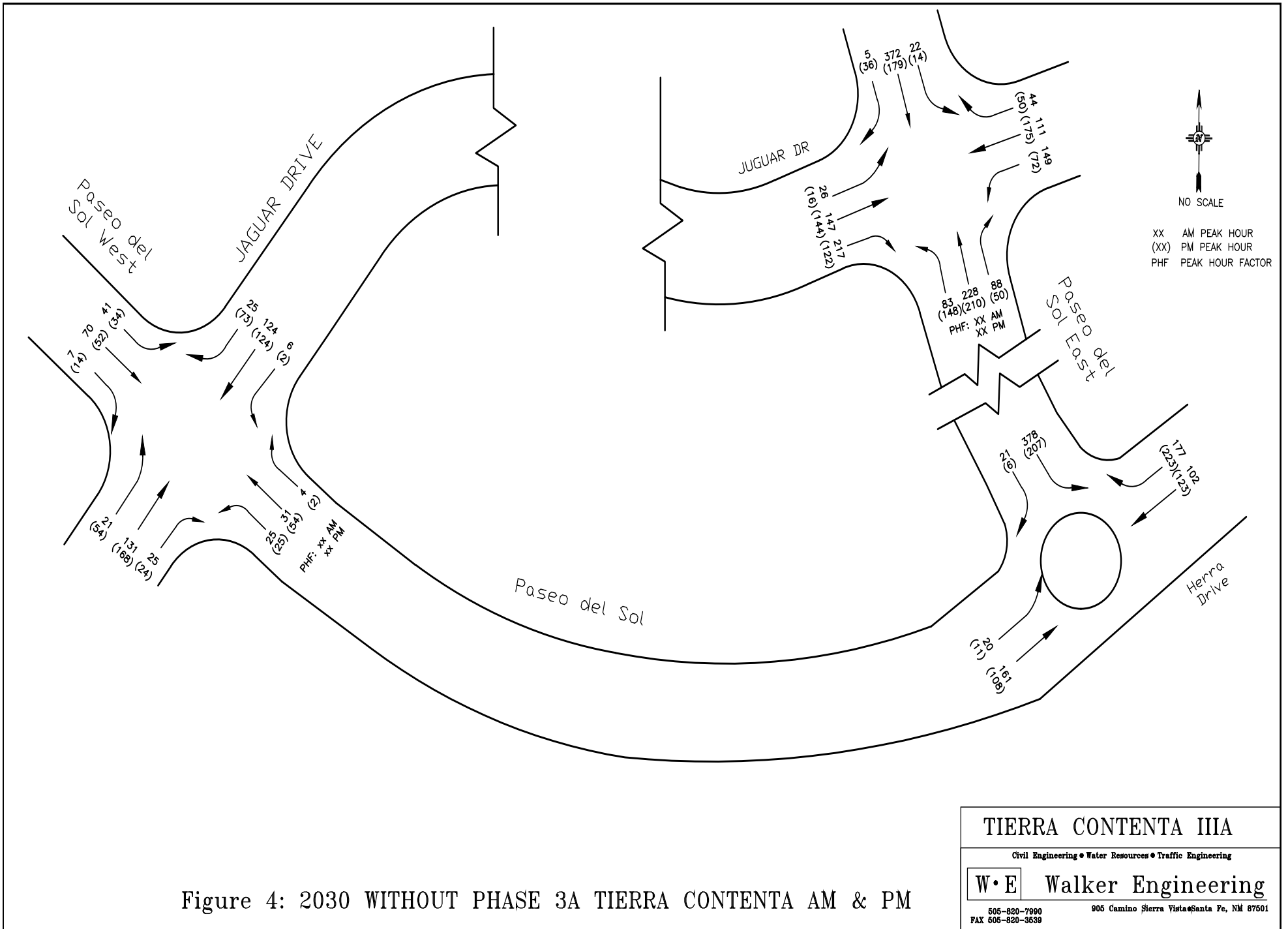
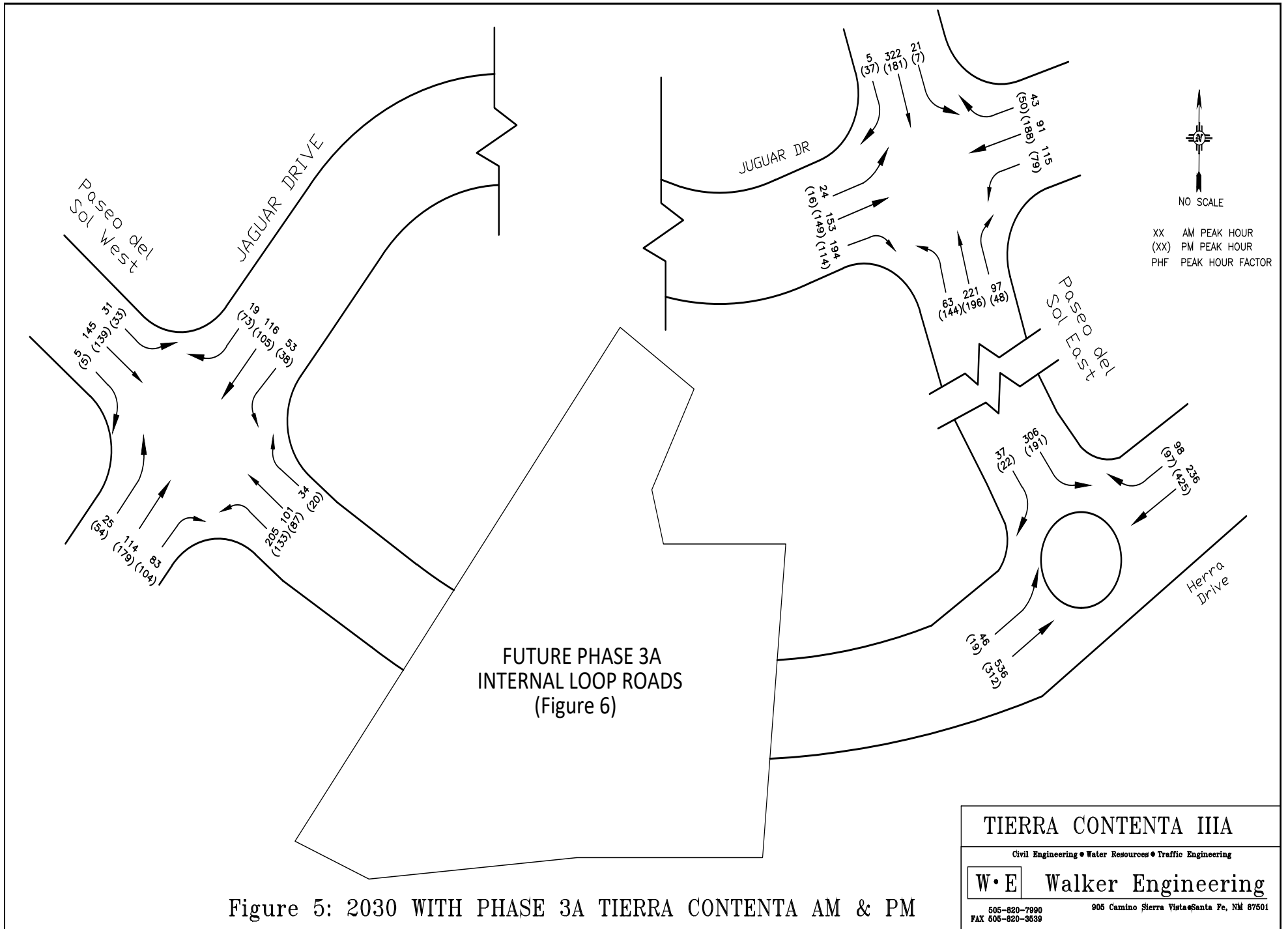


Figure 3: February 12, 13 & 19, 2020 Existing Traffic





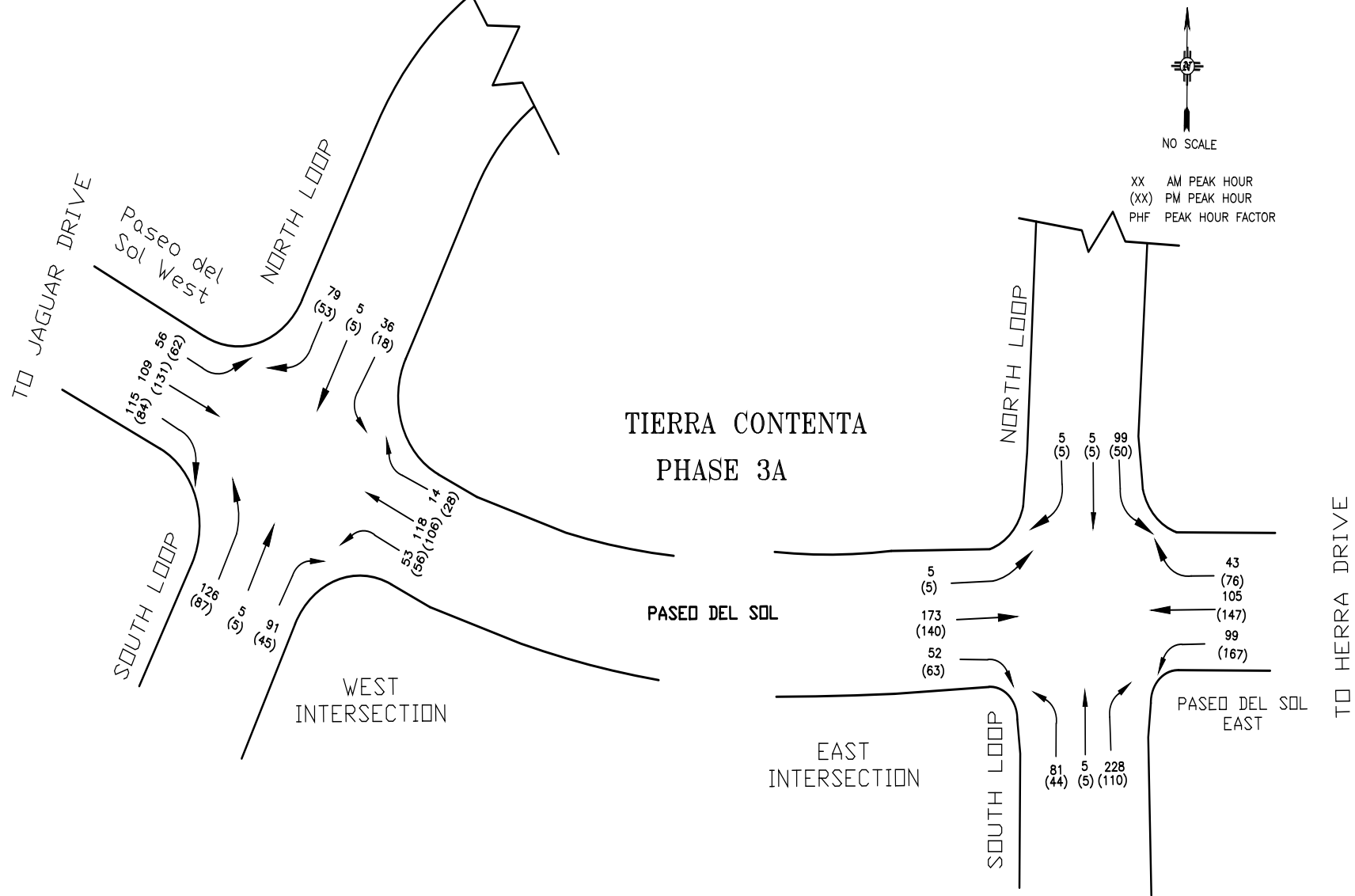


Figure 6: 2030 INTERNAL LOOP ROADS AM & PM

TIERRA CONTENTA IIIA

Civil Engineering • Water Resources • Traffic Engineering

W•E Walker Engineering

505-820-7990
 FAX 505-820-3539

905 Camino Sierra Vista • Santa Fe, NM 87501

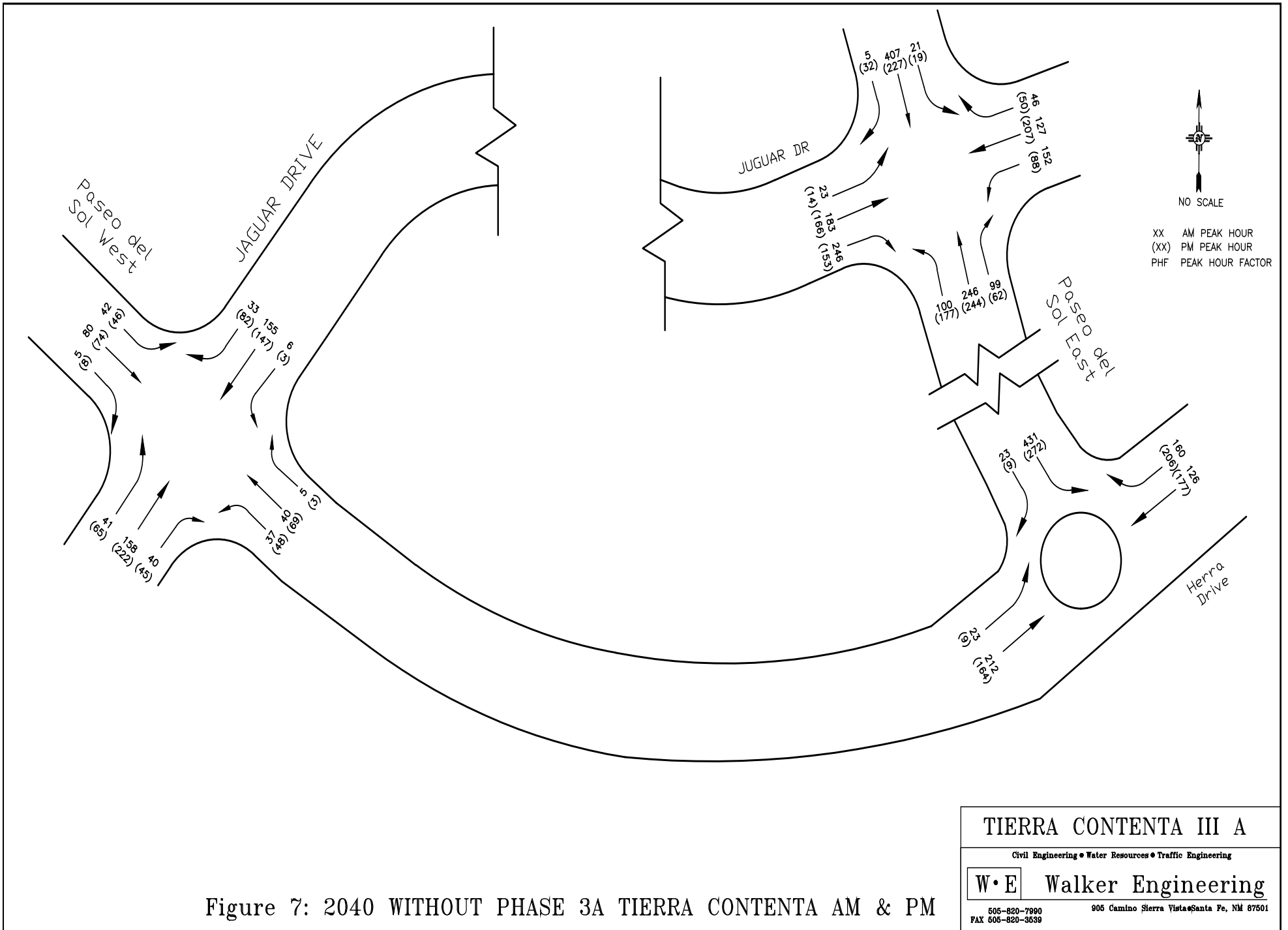


Figure 7: 2040 WITHOUT PHASE 3A TIERRA CONTENTA AM & PM

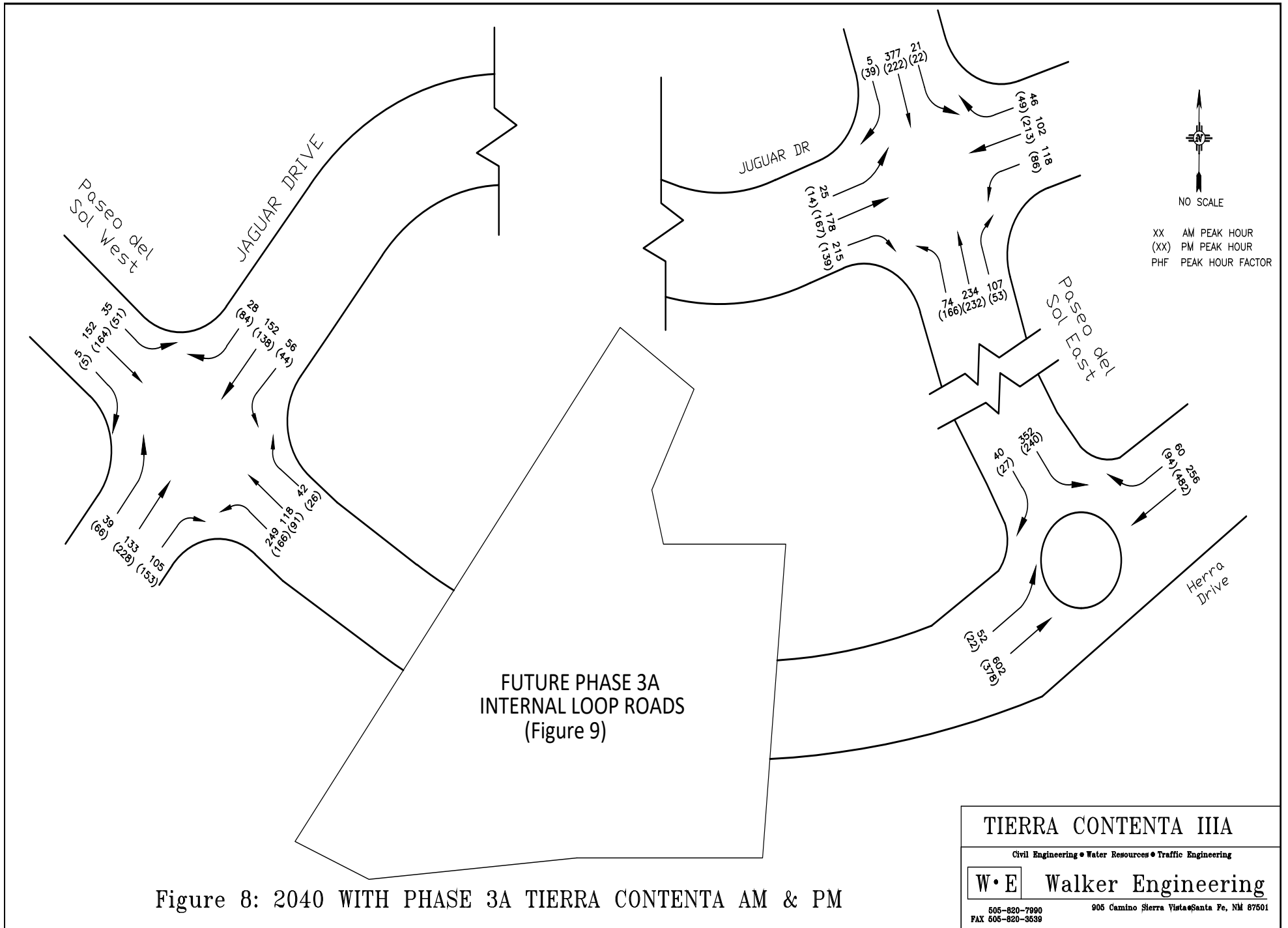


Figure 8: 2040 WITH PHASE 3A TIERRA CONTENTA AM & PM

TIERRA CONTENTA IIIA

Civil Engineering • Water Resources • Traffic Engineering

W•E Walker Engineering

505-820-7990
FAX 505-820-3639

905 Camino Sierra Vista • Santa Fe, NM 87501



NO SCALE

XX AM PEAK HOUR
(XX) PM PEAK HOUR
PHF PEAK HOUR FACTOR

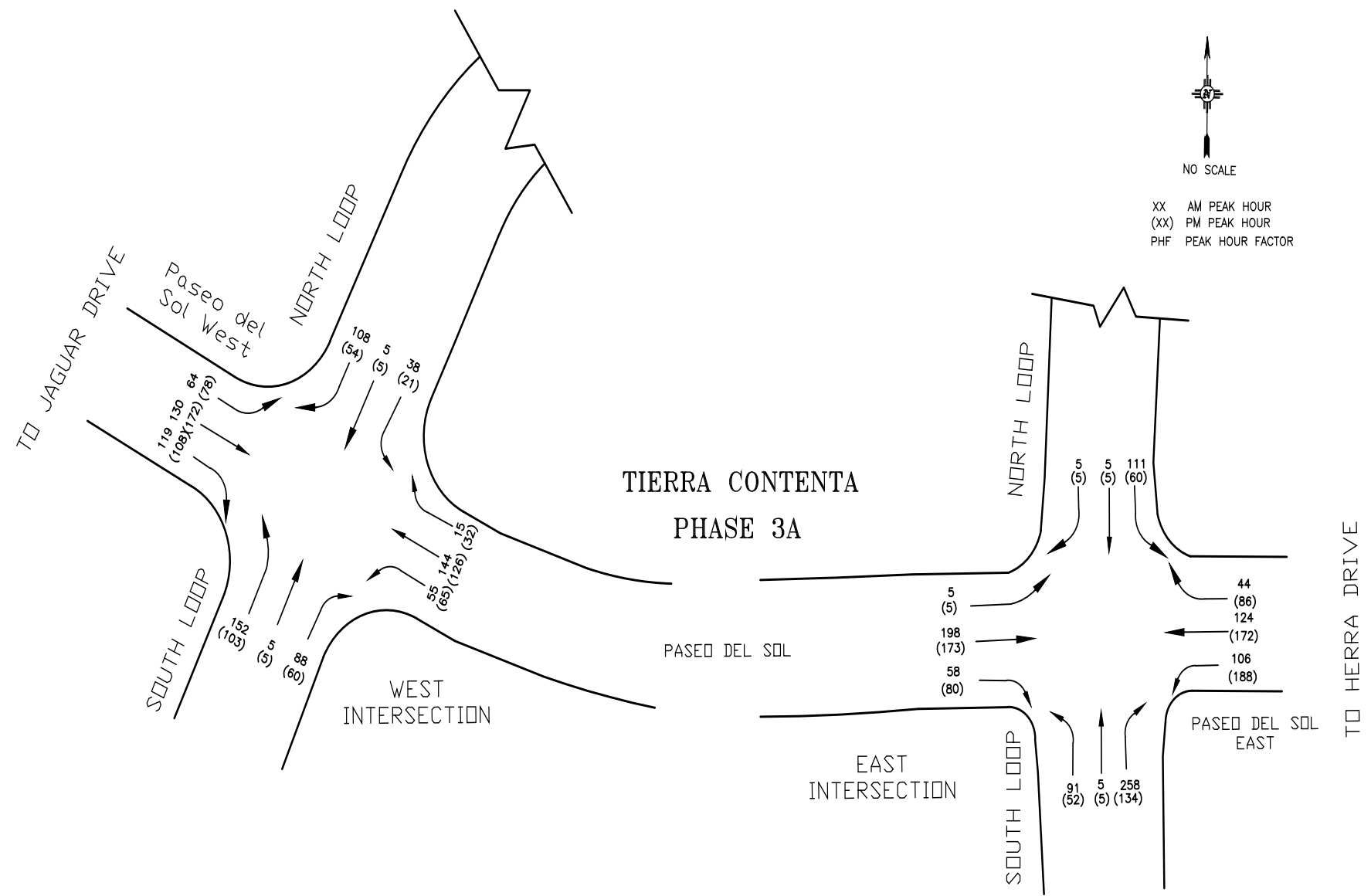


Figure 9: 2040 INTERNAL LOOP ROADS AM & PM

TIERRA CONTENTA IIIA

Civil Engineering • Water Resources • Traffic Engineering



Walker Engineering

505-820-7990
FAX 505-820-3539

905 Camino Sierra Vista • Santa Fe, NM 87501

Tierra Contenta Phase 3A

Traffic Impact Analysis

APPENDIX A

Traffic Counts

Tierra Contenta Phase 3A
Paseo del Sol & Jaguar Drive
West Intersection
Feb 12, 2020

File Name : West Paseo Real and Jaguar Dr AM 2020
Site Code : 00000000
Start Date : 02/12/2020
Page No : 1

Start Time	Groups Printed- Unshifted																	
	Paseo del Sol From North				Jaguar Drive From East				Paseo del Sol From South				Jaguar Drive From West					
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Int. Total	
07:00 AM	8	0	5	13	7	17	0	24	0	0	0	0	0	0	13	3	16	53
07:15 AM	11	0	27	38	1	8	0	9	0	0	0	0	0	0	20	1	21	68
07:30 AM	13	0	33	46	6	20	0	26	0	0	0	0	0	0	33	1	34	106
07:45 AM	7	0	17	24	9	21	0	30	0	0	0	0	0	0	30	7	37	91
Total	39	0	82	121	23	66	0	89	0	0	0	0	0	0	96	12	108	318
08:00 AM	9	0	20	29	9	23	0	32	0	0	0	0	0	0	28	4	32	93
08:15 AM	12	0	24	36	7	14	0	21	0	0	0	0	0	0	25	4	29	86
08:30 AM	9	0	8	17	3	16	0	19	0	0	0	0	0	0	17	2	19	55
08:45 AM	10	0	5	15	9	15	0	24	0	0	0	0	0	0	24	7	31	70
Total	40	0	57	97	28	68	0	96	0	0	0	0	0	0	94	17	111	304
Grand Total	79	0	139	218	51	134	0	185	0	0	0	0	0	0	190	29	219	622
Approch %	36.2	0.0	63.8		27.6	72.4	0.0		0.0	0.0	0.0	0.0	0.0	0.0	86.8	13.2		
Total %	12.7	0.0	22.3	35.0	8.2	21.5	0.0	29.7	0.0	0.0	0.0	0.0	0.0	0.0	30.5	4.7	35.2	

Tierra Contenta Phase 3A
Paseo del Sol & Jaguar Drive
West Intersection
Feb 12, 2020

File Name : West Paseo Real and Jaguar Dr AM 2020
 Site Code : 00000000
 Start Date : 02/12/2020
 Page No : 2

Start Time	Paseo del Sol From North			Jaguar Drive From East			Paseo del Sol From South			Jaguar Drive From West			Int. Total	
	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left		App. Total
Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1														
Intersection 07:30 AM	41	0	94	31	78	0	0	0	0	0	0	0	0	0
Volume	30.4	0.0	69.6	28.4	71.6	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Percent	13	0	33	6	20	0	0	0	0	0	0	0	0	0
Peak Factor														
High Int. Volume	13	0	33	08:00 AM	23	0	6:45:00 AM	0	0	07:45 AM	30	7	37	0.887
Peak Factor			0.734	9			0			0			0.892	
Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1														
By Approach 07:15 AM														
Volume	40	0	97	07:30 AM	78	0	07:00 AM	0	0	07:30 AM	116	16	132	
Percent	29.2	0.0	70.8	28.4	71.6	0.0	0	0	0	0.0	87.9	12.1	132	
High Int. Volume	13	0	33	08:00 AM	23	0	-	-	-	07:45 AM	30	7	37	
Peak Factor			0.745	9			-	-	-	0			0.892	

Tierra Contenta Phase 3A
Paseo del Sol & Jaguar Drive
West Intersection
Feb 12, 2020

File Name : West Paseo Real and Jaguar Dr PM 2020
Site Code : 00000000
Start Date : 02/12/2020
Page No : 1

Start Time Factor	Groups Printed - Unshifted																	
	Paseo del Sol From North				Jaguar Drive From East				Paseo del Sol From South				Jaguar Drive From West					
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Int. Total	
04:00 PM	5	0	7	12	13	25	1	39	1	0	0	0	1	0	23	6	29	81
04:15 PM	3	0	12	15	13	22	0	35	0	0	0	0	0	0	10	9	19	69
04:30 PM	6	0	12	18	25	15	0	40	0	0	0	0	0	0	18	6	24	82
04:45 PM	3	0	11	14	19	25	0	44	0	0	0	0	0	0	16	7	23	81
Total	17	0	42	59	70	87	1	158	1	0	0	0	1	0	67	28	95	313
05:00 PM	10	0	14	24	20	34	0	54	0	0	0	0	0	0	22	11	33	111
05:15 PM	4	0	14	18	26	31	0	57	0	0	1	1	1	1	39	11	51	127
05:30 PM	9	0	8	17	24	25	0	49	0	0	0	0	0	0	34	12	46	112
05:45 PM	2	0	16	18	13	19	0	32	1	0	0	1	0	0	27	14	41	92
Total	25	0	52	77	83	109	0	192	1	0	1	2	1	1	122	48	171	442
Grand Total	42	0	94	136	153	196	1	350	2	0	1	3	1	1	189	76	266	755
Approch %	30.9	0.0	69.1	43.7	43.7	56.0	0.3	66.7	0.0	0.0	33.3	0.4	0.4	0.1	71.1	28.6	26.6	75.5
Total %	5.6	0.0	12.5	18.0	20.3	26.0	0.1	46.4	0.3	0.0	0.1	0.4	0.1	0.1	25.0	10.1	35.2	101.1

Tierra Contenta Phase 3A
Paseo del Sol & Jaguar Drive
West Intersection
Feb 12, 2020

File Name : West Paseo Real and Jaguar Dr PM 2020
 Site Code : 00000000
 Start Date : 02/12/2020
 Page No : 2

Start Time	Paseo del Sol From North			Jaguar Drive From East			Paseo del Sol From South			Jaguar Drive From West			Int. Total	
	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left		App. Total
Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1														
Intersection 05:00 PM														
Volume	25	0	52	83	109	0	192	0	1	0	1	0	2	442
Percent	32.5	0.0	67.5	43.2	56.8	0.0	50.0	0.0	50.0	0.0	50.0	0.0	50.0	171
Peak Factor	4	0	14	26	31	0	57	0	0	1	1	0	1	51
High Int. Volume	10	0	14	26	31	0	57	0	0	1	1	0	1	0.870
Peak Factor				05:15 PM			0.842	05:15 PM			05:15 PM		05:15 PM	
Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1														
By Approach 05:00 PM														
Volume	25	0	52	89	115	0	204	0	1	0	1	0	2	171
Percent	32.5	0.0	67.5	43.6	56.4	0.0	50.0	0.0	50.0	0.0	50.0	0.0	50.0	48
Peak Factor	10	0	14	26	31	0	57	0	0	1	1	0	1	127
High Int. Volume	10	0	14	26	31	0	57	0	0	1	1	0	1	0.870
Peak Factor				05:15 PM			0.895	05:15 PM			05:15 PM		05:15 PM	

Tierra Contenta Phase 3A
 Paseo del Sol & Jaguar Drive
 East Intersection
 Feb 13, 2020

File Name : Paseo Real and Jaguar Dr AM 2020
 Site Code : 00000000
 Start Date : 02/13/2020
 Page No : 1

Start Time Factor	Groups Printed - Unshifted																
	Paseo Del Sol From North				Jaguar Drive From East				Paseo Del Sol From South				Jaguar Drive From West				
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Int. Total
07:00 AM	1	24	4	29	1	6	2	9	7	21	7	35	1.0	1.0	1.0	3.0	54
07:15 AM	1	32	2	35	2	6	8	16	4	13	3	20	2.0	3.0	5.0	92	
07:30 AM	0	62	3	65	1	9	21	31	15	22	18	55	7.0	7.0	14.0	137	
07:45 AM	2	84	9	95	8	13	24	45	14	34	22	70	6.0	7.0	13.0	288	
Total	4	202	18	224	12	34	55	101	40	90	50	180	19.0	27.0	46.0	333	
08:00 AM	3	78	9	90	3	22	27	52	17	62	34	113	3.0	4.0	7.0	162	
08:15 AM	2	86	5	93	4	17	57	78	31	39	19	89	6.0	3.0	9.0	191	
08:30 AM	2	69	3	74	4	12	34	50	30	75	19	124	5.0	3.0	8.0	162	
08:45 AM	3	26	1	30	2	12	10	24	15	27	11	53	1.0	2.0	3.0	66	
Total	10	259	18	287	13	63	128	204	93	203	83	379	17.0	14.0	31.0	622	
Grand Total	14	461	36	511	25	97	183	305	133	293	133	559	36.0	33.0	69.0	1197	
Approch %	2.7	90.2	7.0	24.2	8.2	31.8	60.0	14.5	23.8	52.4	23.8	26.5	49.9	46.1	4.0	73.3	
Total %	0.7	21.9	1.7	24.2	1.2	4.6	8.7	14.5	6.3	13.9	6.3	26.5	17.4	16.0	1.4	34.8	

Tierra Contenta Phase 3A
Paseo del Sol & Jaguar Drive
East Intersection
Feb 13, 2020

File Name : Paseo Real and Jaguar Dr AM 2020
Site Code : 00000000
Start Date : 02/13/2020
Page No : 2

Start Time	Paseo Del Sol From North			Jaguar Drive From East			Paseo Del Sol From South			Jaguar Drive From West			Int. Total
	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left	
Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1													
Intersection	07:45 AM												
Volume	9	317	26	19	64	142	92	210	94	220	157	18	395
Percent	2.6	90.1	7.4	8.4	28.4	63.1	23.2	53.0	23.7	55.7	39.7	4.6	1368
Peak Factor	2	86	5	4	17	57	31	39	19	66	31	4	101
High Int.	07:45 AM			08:15 AM			08:30 AM			07:45 AM			0.947
Volume	2	84	9	4	17	57	30	75	19	67	49	7	123
Peak Factor	2	84	9	4	17	57	0.721	0.721	0.798	0.798	0.803	0.803	0.803
Peak Hour From 07:00 AM to 08:45 AM - Peak 1 of 1													
By Approach	07:45 AM			07:45 AM			07:45 AM			07:30 AM			440
Volume	9	317	26	19	64	142	92	210	94	239	179	22	440
Percent	2.6	90.1	7.4	8.4	28.4	63.1	23.2	53.0	23.7	54.3	40.7	5.0	1368
Peak Factor	2	84	9	4	17	57	30	75	19	71	59	7	137
High Int.	07:45 AM			08:15 AM			08:30 AM			07:30 AM			0.803
Volume	2	84	9	4	17	57	30	75	19	71	59	7	137
Peak Factor	2	84	9	4	17	57	0.721	0.721	0.798	0.798	0.803	0.803	0.803

Tierra Contenta Phase 3A
Paseo del Sol & Jaguar Drive
East Intersection
Feb 13, 2020

File Name : Paseo Real and Jaguar Dr PM 2020
Site Code : 00000000
Start Date : 02/13/2020
Page No : 1

Start Time Factor	Groups Printed- Unshifted																
	Paseo del Sol From North				Jaguar Drive From East				Paseo del Sol From South				Jaguar Drive From West				
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Int. Total
04:00 PM	8	38	5	51	5	44	18	67	20	83	46	149	19	37	14	70	337
04:15 PM	5	23	5	33	9	47	6	62	20	52	40	112	18	38	5	61	268
04:30 PM	6	29	3	38	5	52	12	69	15	36	36	87	20	20	3	43	237
04:45 PM	10	35	7	52	10	44	15	69	14	43	34	91	27	34	3	64	276
Total	29	125	20	174	29	187	51	267	69	214	156	439	84	129	25	238	1118
05:00 PM	9	32	3	44	4	50	17	71	20	36	42	98	27	41	7	75	288
05:15 PM	6	29	6	41	5	67	20	92	12	47	34	93	24	42	3	69	295
05:30 PM	10	40	2	52	7	50	14	71	19	43	38	100	33	24	2	59	282
05:45 PM	7	41	6	54	2	45	17	64	12	43	27	82	27	38	4	69	269
Total	32	142	17	191	18	212	68	298	63	169	141	373	111	145	16	272	1134
Grand Total	61	267	37	365	47	399	119	565	132	383	297	812	195	274	41	510	2252
Approch Total %	16.7 2.7	73.2 11.9	10.1 1.6	16.2	8.3 2.1	70.6 17.7	21.1 5.3	25.1	16.3 5.9	47.2 17.0	36.6 13.2	36.1	38.2 8.7	53.7 12.2	8.0 1.8	22.6	

Tierra Contenta Phase 3A
 Paseo del Sol & Jaguar Drive
 East Intersection
 Feb 13, 2020

File Name : Paseo Real and Jaguar Dr PM 2020
 Site Code : 00000000
 Start Date : 02/13/2020
 Page No : 2

Start Time	Paseo del Sol From North			Jaguar Drive From East			Paseo del Sol From South			Jaguar Drive From West			Int. Total
	Right	Thru	Left / App. Total	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left	
Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1			189										
Intersection 04:45 PM													
Volume	35	136	18	26	211	66	65	169	148	382	141	15	267
Percent	18.5	72.0	9.5	8.6	69.6	21.8	17.0	44.2	38.7	82.7	52.8	5.6	1141
Peak Factor	6	29	6	5	67	20	12	47	34	93	42	3	69
High Int. 04:45 PM				05:15 PM			05:30 PM						
Volume	10	35	7	5	67	20	19	43	38	100	41	7	75
Peak Factor			0.909							0.955			0.890
Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1													
By Approach 05:00 PM				04:45 PM			04:00 PM						
Volume	32	142	17	26	211	66	69	214	156	439	145	16	272
Percent	16.8	74.3	8.9	8.6	69.6	21.8	15.7	48.7	35.5	82.7	53.3	5.9	1141
High Int. 05:45 PM				05:15 PM			04:00 PM						
Volume	7	41	6	5	67	20	20	83	46	149	41	7	75
Peak Factor			0.884							0.737			0.907

Tierra Contenta Phase 3A
Paseo del Sol & Herrera Drive
Western Intersection
Feb 12, 2020

File Name : Paseo Real and Circle PM 2020
Site Code : 00000000
Start Date : 02/19/2020
Page No : 1

Start Time	Paseo del Sol From North				Herra Drive From East				CIRCLE From West				
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Int. Total
Factor	1.0	1.0	1.0		1.0	1.0	1.0		1.0	1.0	1.0		
04:00 PM	0	0	81	81	79	0	0	79	0	0	0	6	166
04:15 PM	0	0	47	47	93	0	0	93	0	0	0	0	140
04:30 PM	0	0	52	52	96	1	0	97	0	0	0	0	149
04:45 PM	0	0	55	55	93	0	0	93	0	0	0	0	148
Total	0	0	235	235	361	1	0	362	0	0	0	6	603
05:00 PM	0	0	77	77	111	0	0	111	0	0	1	1	190
05:15 PM	0	0	59	59	101	0	0	101	0	0	0	0	160
05:30 PM	0	0	57	57	92	0	0	92	0	0	0	0	149
05:45 PM	0	0	37	37	80	0	0	80	0	0	0	0	117
Total	0	0	230	230	384	0	0	384	0	0	1	1	616
Grand Total	0	0	465	465	745	1	0	746	0	0	1	1	1219
Approch %	0.0	0.0	100.0		99.9	0.1	0.0		75.0	12.5	12.5	8	
Total %	0.0	0.0	38.1	38.1	61.1	0.1	0.0	61.2	0.0	0.1	0.1	0.7	0.7

Tierra Contenta Phase 3A
Paseo del Sol & Herrera Drive

File Name : Paseo Real and Circle PM 2020
Site Code : 00000000
Start Date : 02/19/2020
Page No : 2

Intersection
Feb 12, 2020

Start Time	Paseo del Sol From North			Herrera Drive From East			CIRCLE From West			Int. Total
	Right	Thru	Left	Right	Thru	Left	Right	Thru	Left	
Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1										
Intersection 04:30 PM	0	0	243	401	1	0	0	0	1	2
Volume	0	0	243	99.8	0.2	0.0	0	0	50.0	647
Percent	0.0	0.0	100.0	111	0	0	0	0	1	2
05:00 Volume	0	0	77	111	0	0	0	0	1	2
Peak Factor				05:00 PM				05:00 PM		0.851
High Int. Volume	0	0	77	111	0	0	0	0	1	2
Peak Factor			0.789	0.905				0	1	0.250
Peak Hour From 04:00 PM to 05:45 PM - Peak 1 of 1										
By Approach 04:45 PM										
Volume	0	0	248	401	1	0	0	0	0	6
Percent	0.0	0.0	100.0	99.8	0.2	0.0	0.0	0.0	0.0	6
High Int. Volume	0	0	77	111	0	0	0	0	0	6
Peak Factor			0.805	0.905				04:00 PM		0.250

Tierra Contenta Phase 3A

Traffic Impact Analysis

Appendix B

VISUM Traffic Generation & Distribution

VIANODE\Intersection Name	FROM LINK	TO LINK	ORIENTATION	2020		2030 Without TC		2030 With TC		2040 Without TC		2040 With TC		
				AM	PM	AM	PM	AM	PM	AM	PM	AM	PM	
Jaguar & Paseo del Sol East	Paseo del Sol	Jaguar Dr	EBL	26	18	22	14	21	7	21	19	21	22	
		Jaguar Dr	EBR	9	35	5	36	5	37	5	32	5	39	
	Jaguar Dr	Paseo del Sol	EBT	317	136	372	179	322	181	407	227	377	222	
		Paseo del Sol	NBL	28	15	26	16	24	16	23	14	25	14	
		Paseo del Sol	NBR	220	111	217	122	194	114	246	153	215	139	
		Jaguar Dr	NBT	157	141	147	144	153	149	183	166	178	167	
	Paseo del Sol	Paseo del Sol	SBL	142	66	149	72	115	79	152	88	118	86	
		Paseo del Sol	SBR	45	55	44	50	43	50	46	50	46	49	
		Jaguar Dr	SBT	114	163	111	175	91	188	127	207	102	213	
		Jaguar Dr	WBL	94	148	83	148	63	144	100	177	74	166	
		Jaguar Dr	WBR	92	65	88	50	97	48	99	62	107	53	
		Paseo del Sol	WBT	210	169	228	210	221	196	246	244	234	232	
	Jaguar & Paseo del Sol West	Paseo del Sol	Jaguar Dr	EBL	66	39	41	34	31	33	42	46	35	51
			Jaguar Dr	EBR	41	25	7	14	5	5	5	8	5	5
Jaguar Dr		Paseo del Sol	EBT	2	0	70	52	145	139	80	74	152	164	
		Paseo del Sol	NBL	16	48	21	54	25	54	41	65	39	66	
		Paseo del Sol	NBR	1	1	25	24	83	104	40	45	105	153	
		Jaguar Dr	NBT	116	122	131	168	114	179	158	222	133	228	
		Paseo del Sol	SBL	2	1	6	2	53	38	6	3	56	44	
		Paseo del Sol	SBR	31	83	25	73	19	73	33	82	28	84	
		Jaguar Dr	SBT	81	80	124	124	116	105	155	147	152	138	
		Paseo del Sol	WBL	2	1	25	25	205	133	37	48	249	166	
Paseo del Sol		Jaguar Dr	WBR	3	1	4	2	34	20	5	3	42	26	
		Paseo del Sol	WBT	1	0	31	54	101	87	40	69	118	91	
Herrera & Paseo del Sol East		Paseo del Sol	Paseo del Sol	NBL	0	0	20	11	46	19	23	9	52	22
			Herrera Drive	NBR	0	0	161	108	536	312	212	164	602	378
	Paseo del Sol		NBT	0	0	0	0	0	0	0	0	0	0	
	Herrera Drive	Herrera Drive	SBL	480	243	378	207	306	191	431	272	352	240	
		Paseo del Sol	SBR	0	0	21	6	37	22	23	9	40	27	
		Paseo del Sol	WBR	273	329	177	223	98	97	160	206	60	94	
		Paseo del Sol	WBT	0	0	102	123	236	425	126	177	256	482	

VIANODE\Intersection Name	FROM LINK	TO LINK	ORIENTATION	2020		2030 Without TC		2030 With TC		2040 Without TC		2040 With TC		
				AM	PM	AM	PM	AM	PM	AM	PM	AM	PM	
Paseo del Sol & W. Intersection	Paseo del Sol	North Loop	EBL	0	0	0	0	56	62	0	0	64	78	
		South Loop	EBR	0	0	0	0	115	84	0	0	119	108	
		Paseo del Sol	EBT	0	0	99	76	109	131	124	120	130	172	
	South Loop	Paseo del Sol	NBL	0	0	0	0	126	87	0	0	152	103	
		Paseo del Sol	NBR	0	0	0	0	79	53	0	0	88	60	
		North Loop	NBT	0	0	0	0	5	5	0	0	5	5	
	North Loop	Paseo del Sol	SBL	0	0	0	0	36	18	0	0	38	21	
		Paseo del Sol	SBR	0	0	0	0	91	45	0	0	108	54	
		South Loop	SBT	0	0	0	0	5	5	0	0	5	5	
	Paseo del Sol	South Loop	WBL	0	0	0	0	53	56	0	0	55	65	
		North Loop	WBR	0	0	0	0	14	28	0	0	15	32	
		Paseo del Sol	WBT	0	0	58	81	118	106	78	119	144	126	
		Paseo del Sol	WBU	0	0	0	0	0	0	0	0	0	0	
	Paseo del Sol & E. Intersection	Paseo del Sol	North Loop	EBL	0	0	0	0	5	5	0	0	5	5
			South Loop	EBR	0	0	0	0	52	63	0	0	58	80
Paseo del Sol			EBT	0	0	99	76	173	140	124	120	198	173	
South Loop		Paseo del Sol	NBL	0	0	0	0	81	44	0	0	91	52	
		Paseo del Sol	NBR	0	0	0	0	228	110	0	0	258	134	
		North Loop	NBT	0	0	0	0	5	5	0	0	5	5	
North Loop		Paseo del Sol	SBL	0	0	0	0	99	50	0	0	111	60	
		Paseo del Sol	SBR	0	0	0	0	5	5	0	0	5	5	
		South Loop	SBT	0	0	0	0	5	5	0	0	5	5	
Paseo del Sol		South Loop	WBL	0	0	0	0	99	167	0	0	106	188	
		North Loop	WBR	0	0	0	0	43	76	0	0	44	86	
		Paseo del Sol	WBT	0	0	58	81	105	147	78	119	124	172	

Tierra Contenta Phase 3A

Traffic Impact Analysis

Appendix C

Synchro 10 Western Intersection Jaguar Drive & Paseo del Sol

Intersection	
Intersection Delay, s/veh	13.2
Intersection LOS	B

Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↵	↶		↵	↶		↵	↶		↵	↶	
Traffic Vol, veh/h	31	145	5	205	101	34	25	114	83	53	116	19
Future Vol, veh/h	31	145	5	205	101	34	25	114	83	53	116	19
Peak Hour Factor	0.73	0.73	0.73	0.92	0.92	0.92	0.89	0.89	0.89	0.85	0.85	0.85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	42	199	7	223	110	37	28	128	93	62	136	22
Number of Lanes	1	1	0	1	1	0	1	1	0	1	1	0

Approach	SE	NW	NE	SW
Opposing Approach	NW	SE	SW	NE
Opposing Lanes	2	2	2	2
Conflicting Approach Left	SW	NE	SE	NW
Conflicting Lanes Left	2	2	2	2
Conflicting Approach Right	NE	SW	NW	SE
Conflicting Lanes Right	2	2	2	2
HCM Control Delay	13.1	13.6	13.4	12.2
HCM LOS	B	B	B	B

Lane	NELn1	NELn2	NWLn1	NWLn2	SELn1	SELn2	SWLn1	SWLn2
Vol Left, %	100%	0%	100%	0%	100%	0%	100%	0%
Vol Thru, %	0%	58%	0%	75%	0%	97%	0%	86%
Vol Right, %	0%	42%	0%	25%	0%	3%	0%	14%
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Stop	Stop
Traffic Vol by Lane	25	197	205	135	31	150	53	135
LT Vol	25	0	205	0	31	0	53	0
Through Vol	0	114	0	101	0	145	0	116
RT Vol	0	83	0	34	0	5	0	19
Lane Flow Rate	28	221	223	147	42	205	62	159
Geometry Grp	7	7	7	7	7	7	7	7
Degree of Util (X)	0.057	0.401	0.433	0.257	0.085	0.381	0.128	0.299
Departure Headway (Hd)	7.339	6.529	6.995	6.307	7.2	6.667	7.388	6.777
Convergence, Y/N	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Cap	485	547	512	565	494	536	482	526
Service Time	5.133	4.322	4.779	4.091	4.992	4.458	5.185	4.574
HCM Lane V/C Ratio	0.058	0.404	0.436	0.26	0.085	0.382	0.129	0.302
HCM Control Delay	10.6	13.7	15.1	11.3	10.7	13.6	11.3	12.5
HCM Lane LOS	B	B	C	B	B	B	B	B
HCM 95th-tile Q	0.2	1.9	2.2	1	0.3	1.8	0.4	1.2

Intersection	
Intersection Delay, s/veh	14.7
Intersection LOS	B

Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↶	↷		↶	↷		↶	↷		↶	↷	
Traffic Vol, veh/h	33	139	5	135	87	20	54	179	104	38	105	73
Future Vol, veh/h	33	139	5	135	87	20	54	179	104	38	105	73
Peak Hour Factor	0.80	0.80	0.80	0.87	0.87	0.87	0.84	0.84	0.84	0.84	0.84	0.84
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	41	174	6	155	100	23	64	213	124	45	125	87
Number of Lanes	1	1	0	1	1	0	1	1	0	1	1	0

Approach	SE	NW	NE	SW
Opposing Approach	NW	SE	SW	NE
Opposing Lanes	2	2	2	2
Conflicting Approach Left	SW	NE	SE	NW
Conflicting Lanes Left	2	2	2	2
Conflicting Approach Right	NE	SW	NW	SE
Conflicting Lanes Right	2	2	2	2
HCM Control Delay	13.4	13.1	17.5	13.3
HCM LOS	B	B	C	B

Lane	NELn1	NELn2	NWLn1	NWLn2	SELn1	SELn2	SWLn1	SWLn2
Vol Left, %	100%	0%	100%	0%	100%	0%	100%	0%
Vol Thru, %	0%	63%	0%	81%	0%	97%	0%	59%
Vol Right, %	0%	37%	0%	19%	0%	3%	0%	41%
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Stop	Stop
Traffic Vol by Lane	54	283	135	107	33	144	38	178
LT Vol	54	0	135	0	33	0	38	0
Through Vol	0	179	0	87	0	139	0	105
RT Vol	0	104	0	20	0	5	0	73
Lane Flow Rate	64	337	155	123	41	180	45	212
Geometry Grp	7	7	7	7	7	7	7	7
Degree of Util (X)	0.129	0.606	0.328	0.238	0.088	0.359	0.094	0.395
Departure Headway (Hd)	7.247	6.475	7.599	6.954	7.717	7.18	7.513	6.708
Convergence, Y/N	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Cap	495	559	473	517	464	500	477	536
Service Time	4.983	4.211	5.34	4.695	5.46	4.922	5.253	4.448
HCM Lane V/C Ratio	0.129	0.603	0.328	0.238	0.088	0.36	0.094	0.396
HCM Control Delay	11.1	18.7	14	11.9	11.2	13.9	11	13.8
HCM Lane LOS	B	C	B	B	B	B	B	B
HCM 95th-tile Q	0.4	4	1.4	0.9	0.3	1.6	0.3	1.9

Intersection	
Intersection Delay, s/veh	16.6
Intersection LOS	C

Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↶	↷		↶	↷		↶	↷		↶	↷	
Traffic Vol, veh/h	35	152	5	249	118	42	39	133	105	56	152	28
Future Vol, veh/h	35	152	5	249	118	42	39	133	105	56	152	28
Peak Hour Factor	0.73	0.73	0.73	0.92	0.92	0.92	0.89	0.89	0.89	0.85	0.85	0.85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	48	208	7	271	128	46	44	149	118	66	179	33
Number of Lanes	1	1	0	1	1	0	1	1	0	1	1	0

Approach	SE	NW	NE	SW
Opposing Approach	NW	SE	SW	NE
Opposing Lanes	2	2	2	2
Conflicting Approach Left	SW	NE	SE	NW
Conflicting Lanes Left	2	2	2	2
Conflicting Approach Right	NE	SW	NW	SE
Conflicting Lanes Right	2	2	2	2
HCM Control Delay	15.5	17.7	17.1	15.1
HCM LOS	C	C	C	C

Lane	NELn1	NELn2	NWLn1	NWLn2	SELn1	SELn2	SWLn1	SWLn2
Vol Left, %	100%	0%	100%	0%	100%	0%	100%	0%
Vol Thru, %	0%	56%	0%	74%	0%	97%	0%	84%
Vol Right, %	0%	44%	0%	26%	0%	3%	0%	16%
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Stop	Stop
Traffic Vol by Lane	39	238	249	160	35	157	56	180
LT Vol	39	0	249	0	35	0	56	0
Through Vol	0	133	0	118	0	152	0	152
RT Vol	0	105	0	42	0	5	0	28
Lane Flow Rate	44	267	271	174	48	215	66	212
Geometry Grp	7	7	7	7	7	7	7	7
Degree of Util (X)	0.098	0.535	0.579	0.338	0.107	0.449	0.148	0.44
Departure Headway (Hd)	8.027	7.196	7.699	6.999	8.051	7.514	8.102	7.476
Convergence, Y/N	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Cap	446	500	468	513	444	477	442	481
Service Time	5.785	4.954	5.459	4.758	5.815	5.278	5.863	5.237
HCM Lane V/C Ratio	0.099	0.534	0.579	0.339	0.108	0.451	0.149	0.441
HCM Control Delay	11.7	18	20.6	13.3	11.8	16.3	12.3	16
HCM Lane LOS	B	C	C	B	B	C	B	C
HCM 95th-tile Q	0.3	3.1	3.6	1.5	0.4	2.3	0.5	2.2

Intersection	
Intersection Delay, s/veh	28
Intersection LOS	D

Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↵	↵		↵	↵		↵	↵		↵	↵	
Traffic Vol, veh/h	51	164	5	166	91	26	66	228	153	44	138	84
Future Vol, veh/h	51	164	5	166	91	26	66	228	153	44	138	84
Peak Hour Factor	0.80	0.80	0.80	0.87	0.87	0.87	0.84	0.84	0.84	0.84	0.84	0.84
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	64	205	6	191	105	30	79	271	182	52	164	100
Number of Lanes	1	1	0	1	1	0	1	1	0	1	1	0

Approach	SE	NW	NE	SW
Opposing Approach	NW	SE	SW	NE
Opposing Lanes	2	2	2	2
Conflicting Approach Left	SW	NE	SE	NW
Conflicting Lanes Left	2	2	2	2
Conflicting Approach Right	NE	SW	NW	SE
Conflicting Lanes Right	2	2	2	2
HCM Control Delay	17.5	17	45.2	19.3
HCM LOS	C	C	E	C

Lane	NELn1	NELn2	NWLn1	NWLn2	SELn1	SELn2	SWLn1	SWLn2
Vol Left, %	100%	0%	100%	0%	100%	0%	100%	0%
Vol Thru, %	0%	60%	0%	78%	0%	97%	0%	62%
Vol Right, %	0%	40%	0%	22%	0%	3%	0%	38%
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Stop	Stop
Traffic Vol by Lane	66	381	166	117	51	169	44	222
LT Vol	66	0	166	0	51	0	44	0
Through Vol	0	228	0	91	0	164	0	138
RT Vol	0	153	0	26	0	5	0	84
Lane Flow Rate	79	454	191	134	64	211	52	264
Geometry Grp	7	7	7	7	7	7	7	7
Degree of Util (X)	0.178	0.924	0.464	0.302	0.157	0.489	0.125	0.574
Departure Headway (Hd)	8.14	7.337	8.755	8.076	8.869	8.329	8.617	7.825
Convergence, Y/N	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Cap	442	499	412	445	405	433	417	463
Service Time	5.853	5.049	6.504	5.825	6.618	6.078	6.335	5.543
HCM Lane V/C Ratio	0.179	0.91	0.464	0.301	0.158	0.487	0.125	0.57
HCM Control Delay	12.6	50.8	18.9	14.3	13.3	18.8	12.6	20.6
HCM Lane LOS	B	F	C	B	B	C	B	C
HCM 95th-tile Q	0.6	10.9	2.4	1.3	0.6	2.6	0.4	3.5

Tierra Contenta Phase 3A

Traffic Impact Analysis

Appendix D

**Synchro 10 Eastern Intersection Jaguar Drive &
Paseo del Sol**

2030 Build Conditions
Jaguar & Paseo Del Sol

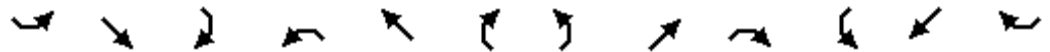
AM Peak
Eastern Intersection



Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations												
Traffic Volume (veh/h)	21	322	5	63	221	97	24	153	194	115	91	43
Future Volume (veh/h)	21	322	5	63	221	97	24	153	194	115	91	43
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	26	402	6	79	276	121	30	191	242	160	126	60
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.72	0.72	0.72
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	326	624	9	343	451	198	458	225	285	273	406	193
Arrive On Green	0.03	0.34	0.34	0.05	0.37	0.37	0.03	0.30	0.30	0.07	0.34	0.34
Sat Flow, veh/h	1781	1838	27	1781	1233	540	1781	750	950	1781	1197	570
Grp Volume(v), veh/h	26	0	408	79	0	397	30	0	433	160	0	186
Grp Sat Flow(s),veh/h/ln	1781	0	1865	1781	0	1773	1781	0	1699	1781	0	1768
Q Serve(g_s), s	0.7	0.0	13.9	2.1	0.0	13.7	0.9	0.0	18.0	4.7	0.0	5.8
Cycle Q Clear(g_c), s	0.7	0.0	13.9	2.1	0.0	13.7	0.9	0.0	18.0	4.7	0.0	5.8
Prop In Lane	1.00		0.01	1.00		0.30	1.00		0.56	1.00		0.32
Lane Grp Cap(c), veh/h	326	0	634	343	0	648	458	0	510	273	0	599
V/C Ratio(X)	0.08	0.00	0.64	0.23	0.00	0.61	0.07	0.00	0.85	0.59	0.00	0.31
Avail Cap(c_a), veh/h	395	0	634	366	0	648	527	0	804	273	0	836
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	16.2	0.0	20.9	15.8	0.0	19.5	17.3	0.0	24.7	19.0	0.0	18.3
Incr Delay (d2), s/veh	0.1	0.0	5.0	0.3	0.0	4.3	0.1	0.0	5.1	3.2	0.0	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.3	0.0	6.6	0.8	0.0	6.1	0.3	0.0	7.5	2.0	0.0	2.3
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	16.3	0.0	25.9	16.2	0.0	23.7	17.4	0.0	29.8	22.2	0.0	18.6
LnGrp LOS	B	A	C	B	A	C	B	A	C	C	A	B
Approach Vol, veh/h		434			476			463				346
Approach Delay, s/veh		25.3			22.5			29.0				20.3
Approach LOS		C			C			C				C
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	6.6	31.9	9.5	27.0	8.5	30.0	6.6	29.9				
Change Period (Y+Rc), s	4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5				
Max Green Setting (Gmax), s	5.0	25.5	5.0	35.5	5.0	25.5	5.0	35.5				
Max Q Clear Time (g_c+I1), s	2.7	15.7	6.7	20.0	4.1	15.9	2.9	7.8				
Green Ext Time (p_c), s	0.0	1.7	0.0	2.6	0.0	1.7	0.0	1.1				
Intersection Summary												
HCM 6th Ctrl Delay			24.5									
HCM 6th LOS			C									

2030 Build Conditions
Jaguar & Paseo Del Sol

PM Peak
Eastern Intersection



Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations												
Traffic Volume (veh/h)	7	181	37	144	196	48	16	149	114	79	188	50
Future Volume (veh/h)	7	181	37	144	196	48	16	149	114	79	188	50
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	8	199	41	150	204	50	20	182	139	89	211	56
Peak Hour Factor	0.91	0.91	0.91	0.96	0.96	0.96	0.82	0.82	0.82	0.89	0.89	0.89
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	462	472	97	506	556	136	326	223	171	297	383	102
Arrive On Green	0.01	0.31	0.31	0.08	0.38	0.38	0.02	0.23	0.23	0.07	0.27	0.27
Sat Flow, veh/h	1781	1505	310	1781	1451	356	1781	984	751	1781	1424	378
Grp Volume(v), veh/h	8	0	240	150	0	254	20	0	321	89	0	267
Grp Sat Flow(s),veh/h/ln	1781	0	1815	1781	0	1806	1781	0	1735	1781	0	1802
Q Serve(g_s), s	0.2	0.0	6.0	3.1	0.0	5.8	0.5	0.0	10.1	2.1	0.0	7.3
Cycle Q Clear(g_c), s	0.2	0.0	6.0	3.1	0.0	5.8	0.5	0.0	10.1	2.1	0.0	7.3
Prop In Lane	1.00		0.17	1.00		0.20	1.00		0.43	1.00		0.21
Lane Grp Cap(c), veh/h	462	0	569	506	0	692	326	0	394	297	0	485
V/C Ratio(X)	0.02	0.00	0.42	0.30	0.00	0.37	0.06	0.00	0.82	0.30	0.00	0.55
Avail Cap(c_a), veh/h	598	0	569	519	0	692	439	0	544	335	0	565
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	13.2	0.0	15.6	11.1	0.0	12.7	16.5	0.0	21.1	16.1	0.0	18.0
Incr Delay (d2), s/veh	0.0	0.0	2.3	0.3	0.0	1.5	0.1	0.0	6.7	0.6	0.0	1.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.1	0.0	2.6	1.1	0.0	2.3	0.2	0.0	4.4	0.8	0.0	2.9
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	13.2	0.0	17.9	11.4	0.0	14.2	16.6	0.0	27.7	16.6	0.0	19.0
LnGrp LOS	B	A	B	B	A	B	B	A	C	B	A	B
Approach Vol, veh/h		248			404			341			356	
Approach Delay, s/veh		17.7			13.2			27.1			18.4	
Approach LOS		B			B			C			B	
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	5.1	26.5	8.3	17.5	9.1	22.5	5.9	20.0				
Change Period (Y+Rc), s	4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5				
Max Green Setting (Gmax), s	5.0	18.0	5.0	18.0	5.0	18.0	5.0	18.0				
Max Q Clear Time (g_c+I1), s	2.2	7.8	4.1	12.1	5.1	8.0	2.5	9.3				
Green Ext Time (p_c), s	0.0	1.0	0.0	1.0	0.0	0.9	0.0	1.0				
Intersection Summary												
HCM 6th Ctrl Delay				18.9								
HCM 6th LOS				B								

2040 Build Conditions
Jaguar & Paseo Del Sol






















AM Peak
East Intersection



Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations												
Traffic Volume (veh/h)	21	377	5	74	234	107	25	178	215	118	102	46
Future Volume (veh/h)	21	377	5	74	234	107	25	178	215	118	102	46
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	26	471	6	92	292	134	31	222	269	164	142	64
Peak Hour Factor	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.72	0.72	0.72
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	280	596	8	273	425	195	473	254	308	257	446	201
Arrive On Green	0.03	0.32	0.32	0.05	0.35	0.35	0.03	0.33	0.33	0.06	0.37	0.37
Sat Flow, veh/h	1781	1843	23	1781	1213	557	1781	770	933	1781	1221	550
Grp Volume(v), veh/h	26	0	477	92	0	426	31	0	491	164	0	206
Grp Sat Flow(s),veh/h/ln	1781	0	1866	1781	0	1770	1781	0	1702	1781	0	1771
Q Serve(g_s), s	0.8	0.0	18.3	2.7	0.0	16.2	0.9	0.0	21.4	4.8	0.0	6.6
Cycle Q Clear(g_c), s	0.8	0.0	18.3	2.7	0.0	16.2	0.9	0.0	21.4	4.8	0.0	6.6
Prop In Lane	1.00		0.01	1.00		0.31	1.00		0.55	1.00		0.31
Lane Grp Cap(c), veh/h	280	0	603	273	0	621	473	0	562	257	0	647
V/C Ratio(X)	0.09	0.00	0.79	0.34	0.00	0.69	0.07	0.00	0.87	0.64	0.00	0.32
Avail Cap(c_a), veh/h	343	0	603	288	0	621	536	0	766	257	0	797
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	18.2	0.0	24.3	18.4	0.0	21.9	16.6	0.0	24.9	19.4	0.0	18.0
Incr Delay (d2), s/veh	0.1	0.0	10.2	0.7	0.0	6.1	0.1	0.0	8.4	5.1	0.0	0.3
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.3	0.0	9.4	1.1	0.0	7.4	0.4	0.0	9.5	2.2	0.0	2.6
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	18.3	0.0	34.4	19.2	0.0	28.0	16.7	0.0	33.3	24.6	0.0	18.2
LnGrp LOS	B	A	C	B	A	C	B	A	C	C	A	B
Approach Vol, veh/h		503			518			522				370
Approach Delay, s/veh		33.6			26.4			32.3				21.0
Approach LOS		C			C			C				C
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	6.7	32.2	9.5	30.6	8.8	30.0	6.7	33.3				
Change Period (Y+Rc), s	4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5				
Max Green Setting (Gmax), s	5.0	25.5	5.0	35.5	5.0	25.5	5.0	35.5				
Max Q Clear Time (g_c+I1), s	2.8	18.2	6.8	23.4	4.7	20.3	2.9	8.6				
Green Ext Time (p_c), s	0.0	1.6	0.0	2.6	0.0	1.4	0.0	1.2				
Intersection Summary												
HCM 6th Ctrl Delay				28.9								
HCM 6th LOS				C								

2040 Build Conditions
Jaguar & Paseo Del Sol

PM Peak
East Intersection

												
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations												
Traffic Volume (veh/h)	22	222	39	166	232	53	14	167	139	86	213	49
Future Volume (veh/h)	22	222	39	166	232	53	14	167	139	86	213	49
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	24	244	43	173	242	55	17	204	170	97	239	55
Peak Hour Factor	0.91	0.91	0.91	0.96	0.96	0.96	0.82	0.82	0.82	0.89	0.89	0.89
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	415	463	82	451	523	119	333	238	198	285	439	101
Arrive On Green	0.03	0.30	0.30	0.08	0.35	0.35	0.02	0.25	0.25	0.07	0.30	0.30
Sat Flow, veh/h	1781	1548	273	1781	1475	335	1781	943	786	1781	1471	338
Grp Volume(v), veh/h	24	0	287	173	0	297	17	0	374	97	0	294
Grp Sat Flow(s),veh/h/ln	1781	0	1821	1781	0	1810	1781	0	1729	1781	0	1809
Q Serve(g_s), s	0.6	0.0	7.9	3.9	0.0	7.6	0.4	0.0	12.4	2.3	0.0	8.2
Cycle Q Clear(g_c), s	0.6	0.0	7.9	3.9	0.0	7.6	0.4	0.0	12.4	2.3	0.0	8.2
Prop In Lane	1.00		0.15	1.00		0.19	1.00		0.45	1.00		0.19
Lane Grp Cap(c), veh/h	415	0	544	451	0	642	333	0	437	285	0	540
V/C Ratio(X)	0.06	0.00	0.53	0.38	0.00	0.46	0.05	0.00	0.86	0.34	0.00	0.54
Avail Cap(c_a), veh/h	514	0	544	451	0	642	444	0	517	314	0	541
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	14.0	0.0	17.6	12.9	0.0	15.0	16.3	0.0	21.5	16.0	0.0	17.7
Incr Delay (d2), s/veh	0.1	0.0	3.6	0.5	0.0	2.4	0.1	0.0	11.8	0.7	0.0	1.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.2	0.0	3.6	1.4	0.0	3.2	0.2	0.0	6.0	0.9	0.0	3.3
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	14.1	0.0	21.2	13.5	0.0	17.4	16.4	0.0	33.3	16.7	0.0	18.8
LnGrp LOS	B	A	C	B	A	B	B	A	C	B	A	B
Approach Vol, veh/h		311			470			391			391	
Approach Delay, s/veh		20.6			15.9			32.6			18.3	
Approach LOS		C			B			C			B	
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	6.2	25.8	8.5	19.7	9.5	22.5	5.7	22.5				
Change Period (Y+Rc), s	4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5				
Max Green Setting (Gmax), s	5.0	18.0	5.0	18.0	5.0	18.0	5.0	18.0				
Max Q Clear Time (g_c+I1), s	2.6	9.6	4.3	14.4	5.9	9.9	2.4	10.2				
Green Ext Time (p_c), s	0.0	1.1	0.0	0.8	0.0	1.0	0.0	1.0				
Intersection Summary												
HCM 6th Ctrl Delay			21.6									
HCM 6th LOS			C									

Tierra Contenta Phase 3A

Traffic Impact Analysis

Appendix E

Synchro 10 Herrera Drive and Paseo del Sol

Intersection			
Intersection Delay, s/veh	15.8		
Intersection LOS	C		
Approach	EB	WB	SB
Entry Lanes	1	1	1
Conflicting Circle Lanes	1	1	1
Adj Approach Flow, veh/h	633	364	373
Demand Flow Rate, veh/h	646	371	381
Vehicles Circulating, veh/h	340	51	262
Vehicles Exiting, veh/h	303	935	160
Follow-Up Headway, s	3.186	3.186	3.186
Ped Vol Crossing Leg, #/h	0	0	0
Ped Cap Adj	1.000	1.000	1.000
Approach Delay, s/veh	24.4	6.9	9.7
Approach LOS	C	A	A
Lane	Left	Left	Left
Designated Moves	LT	TR	LR
Assumed Moves	LT	TR	LR
RT Channelized			
Lane Util	1.000	1.000	1.000
Critical Headway, s	5.193	5.193	5.193
Entry Flow, veh/h	646	371	381
Cap Entry Lane, veh/h	804	1074	870
Entry HV Adj Factor	0.980	0.981	0.979
Flow Entry, veh/h	633	364	373
Cap Entry, veh/h	788	1053	851
V/C Ratio	0.803	0.346	0.438
Control Delay, s/veh	24.4	6.9	9.7
LOS	C	A	A
95th %tile Queue, veh	9	2	2

Intersection			
Intersection Delay, s/veh	9.4		
Intersection LOS	A		
Approach	EB	WB	SB
Entry Lanes	1	1	1
Conflicting Circle Lanes	1	1	1
Adj Approach Flow, veh/h	360	574	242
Demand Flow Rate, veh/h	367	585	247
Vehicles Circulating, veh/h	221	21	476
Vehicles Exiting, veh/h	501	567	130
Follow-Up Headway, s	3.186	3.186	3.186
Ped Vol Crossing Leg, #/h	0	0	0
Ped Cap Adj	1.000	1.000	1.000
Approach Delay, s/veh	8.8	9.6	9.8
Approach LOS	A	A	A
Lane	Left	Left	Left
Designated Moves	LT	TR	LR
Assumed Moves	LT	TR	LR
RT Channelized			
Lane Util	1.000	1.000	1.000
Critical Headway, s	5.193	5.193	5.193
Entry Flow, veh/h	367	585	247
Cap Entry Lane, veh/h	906	1106	702
Entry HV Adj Factor	0.982	0.981	0.980
Flow Entry, veh/h	360	574	242
Cap Entry, veh/h	889	1085	688
V/C Ratio	0.405	0.529	0.352
Control Delay, s/veh	8.8	9.6	9.8
LOS	A	A	A
95th %tile Queue, veh	2	3	2

Intersection			
Intersection Delay, s/veh	26.3		
Intersection LOS	D		
Approach	EB	WB	SB
Entry Lanes	1	1	1
Conflicting Circle Lanes	1	1	1
Adj Approach Flow, veh/h	711	343	426
Demand Flow Rate, veh/h	725	350	435
Vehicles Circulating, veh/h	391	58	284
Vehicles Exiting, veh/h	328	1058	124
Follow-Up Headway, s	3.186	3.186	3.186
Ped Vol Crossing Leg, #/h	0	0	0
Ped Cap Adj	1.000	1.000	1.000
Approach Delay, s/veh	44.7	6.8	11.3
Approach LOS	E	A	B
Lane	Left	Left	Left
Designated Moves	LT	TR	LR
Assumed Moves	LT	TR	LR
RT Channelized			
Lane Util	1.000	1.000	1.000
Critical Headway, s	5.193	5.193	5.193
Entry Flow, veh/h	725	350	435
Cap Entry Lane, veh/h	764	1066	851
Entry HV Adj Factor	0.981	0.981	0.979
Flow Entry, veh/h	711	343	426
Cap Entry, veh/h	749	1046	833
V/C Ratio	0.949	0.328	0.511
Control Delay, s/veh	44.7	6.8	11.3
LOS	E	A	B
95th %tile Queue, veh	14	1	3

Intersection			
Intersection Delay, s/veh	11.5		
Intersection LOS	B		
Approach	EB	WB	SB
Entry Lanes	1	1	1
Conflicting Circle Lanes	1	1	1
Adj Approach Flow, veh/h	435	633	304
Demand Flow Rate, veh/h	443	646	310
Vehicles Circulating, veh/h	278	24	541
Vehicles Exiting, veh/h	573	697	129
Follow-Up Headway, s	3.186	3.186	3.186
Ped Vol Crossing Leg, #/h	0	0	0
Ped Cap Adj	1.000	1.000	1.000
Approach Delay, s/veh	11.4	10.8	12.8
Approach LOS	B	B	B
Lane	Left	Left	Left
Designated Moves	LT	TR	LR
Assumed Moves	LT	TR	LR
RT Channelized			
Lane Util	1.000	1.000	1.000
Critical Headway, s	5.193	5.193	5.193
Entry Flow, veh/h	443	646	310
Cap Entry Lane, veh/h	856	1103	658
Entry HV Adj Factor	0.981	0.980	0.981
Flow Entry, veh/h	435	633	304
Cap Entry, veh/h	840	1082	645
V/C Ratio	0.518	0.586	0.471
Control Delay, s/veh	11.4	10.8	12.8
LOS	B	B	B
95th %tile Queue, veh	3	4	3

Tierra Contenta Phase 3A

Traffic Impact Analysis

Appendix F

**Synchro 10 Loop Road and Paseo del Sol
Western Intersection**

Intersection	
Intersection Delay, s/veh	9.1
Intersection LOS	A

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	56	109	14	53	118	14	12	5	91	36	5	79
Future Vol, veh/h	56	109	14	53	118	14	12	5	91	36	5	79
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	61	118	15	58	128	15	13	5	99	39	5	86
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	9.5	9.5	8.4	8.7
HCM LOS	A	A	A	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	11%	31%	29%	30%
Vol Thru, %	5%	61%	64%	4%
Vol Right, %	84%	8%	8%	66%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	108	179	185	120
LT Vol	12	56	53	36
Through Vol	5	109	118	5
RT Vol	91	14	14	79
Lane Flow Rate	117	195	201	130
Geometry Grp	1	1	1	1
Degree of Util (X)	0.149	0.257	0.265	0.17
Departure Headway (Hd)	4.555	4.764	4.752	4.682
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	782	749	752	762
Service Time	2.613	2.822	2.81	2.74
HCM Lane V/C Ratio	0.15	0.26	0.267	0.171
HCM Control Delay	8.4	9.5	9.5	8.7
HCM Lane LOS	A	A	A	A
HCM 95th-tile Q	0.5	1	1.1	0.6

Intersection	
Intersection Delay, s/veh	9.9
Intersection LOS	A

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔			↔			↔			↔	
Traffic Vol, veh/h	62	131	28	56	106	84	87	5	45	18	5	53
Future Vol, veh/h	62	131	28	56	106	84	87	5	45	18	5	53
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	67	142	30	61	115	91	95	5	49	20	5	58
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	10.2	10.2	9.6	8.7
HCM LOS	B	B	A	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	64%	28%	23%	24%
Vol Thru, %	4%	59%	43%	7%
Vol Right, %	33%	13%	34%	70%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	137	221	246	76
LT Vol	87	62	56	18
Through Vol	5	131	106	5
RT Vol	45	28	84	53
Lane Flow Rate	149	240	267	83
Geometry Grp	1	1	1	1
Degree of Util (X)	0.213	0.321	0.345	0.114
Departure Headway (Hd)	5.148	4.811	4.649	4.955
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	689	740	767	715
Service Time	3.233	2.883	2.718	3.049
HCM Lane V/C Ratio	0.216	0.324	0.348	0.116
HCM Control Delay	9.6	10.2	10.2	8.7
HCM Lane LOS	A	B	B	A
HCM 95th-tile Q	0.8	1.4	1.5	0.4

Intersection	
Intersection Delay, s/veh	12.8
Intersection LOS	B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	64	130	119	55	144	15	152	5	88	38	5	108
Future Vol, veh/h	64	130	119	55	144	15	152	5	88	38	5	108
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	70	141	129	60	157	16	165	5	96	41	5	117
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	14	12.3	13	10.7
HCM LOS	B	B	B	B

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	62%	20%	26%	25%
Vol Thru, %	2%	42%	67%	3%
Vol Right, %	36%	38%	7%	72%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	245	313	214	151
LT Vol	152	64	55	38
Through Vol	5	130	144	5
RT Vol	88	119	15	108
Lane Flow Rate	266	340	233	164
Geometry Grp	1	1	1	1
Degree of Util (X)	0.424	0.51	0.372	0.258
Departure Headway (Hd)	5.727	5.397	5.758	5.656
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	626	663	621	630
Service Time	3.8	3.465	3.835	3.739
HCM Lane V/C Ratio	0.425	0.513	0.375	0.26
HCM Control Delay	13	14	12.3	10.7
HCM Lane LOS	B	B	B	B
HCM 95th-tile Q	2.1	2.9	1.7	1

Intersection	
Intersection Delay, s/veh	11.9
Intersection LOS	B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	78	172	108	65	126	32	103	5	60	21	5	54
Future Vol, veh/h	78	172	108	65	126	32	103	5	60	21	5	54
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	85	187	117	71	137	35	112	5	65	23	5	59
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	13.5	11.1	10.9	9.4
HCM LOS	B	B	B	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	61%	22%	29%	26%
Vol Thru, %	3%	48%	57%	6%
Vol Right, %	36%	30%	14%	68%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	168	358	223	80
LT Vol	103	78	65	21
Through Vol	5	172	126	5
RT Vol	60	108	32	54
Lane Flow Rate	183	389	242	87
Geometry Grp	1	1	1	1
Degree of Util (X)	0.284	0.533	0.352	0.134
Departure Headway (Hd)	5.593	4.928	5.223	5.53
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	641	732	688	647
Service Time	3.634	2.959	3.26	3.578
HCM Lane V/C Ratio	0.285	0.531	0.352	0.134
HCM Control Delay	10.9	13.5	11.1	9.4
HCM Lane LOS	B	B	B	A
HCM 95th-tile Q	1.2	3.2	1.6	0.5

Tierra Contenta Phase 3A

Traffic Impact Analysis

Appendix G

Synchro 10 Loop Road and Paseo del Sol Eastern Intersection

Intersection	
Intersection Delay, s/veh	12.5
Intersection LOS	B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	5	173	52	99	105	43	81	5	228	99	5	5
Future Vol, veh/h	5	173	52	99	105	43	81	5	228	99	5	5
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	5	188	57	108	114	47	88	5	248	108	5	5
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	12.1	12.7	13.3	10.8
HCM LOS	B	B	B	B

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	26%	2%	40%	91%
Vol Thru, %	2%	75%	43%	5%
Vol Right, %	73%	23%	17%	5%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	314	230	247	109
LT Vol	81	5	99	99
Through Vol	5	173	105	5
RT Vol	228	52	43	5
Lane Flow Rate	341	250	268	118
Geometry Grp	1	1	1	1
Degree of Util (X)	0.495	0.385	0.419	0.202
Departure Headway (Hd)	5.22	5.55	5.619	6.141
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	686	645	636	581
Service Time	3.279	3.615	3.682	4.219
HCM Lane V/C Ratio	0.497	0.388	0.421	0.203
HCM Control Delay	13.3	12.1	12.7	10.8
HCM Lane LOS	B	B	B	B
HCM 95th-tile Q	2.8	1.8	2.1	0.7

Intersection	
Intersection Delay, s/veh	12.2
Intersection LOS	B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	5	140	63	167	147	76	44	5	110	50	5	5
Future Vol, veh/h	5	140	63	167	147	76	44	5	110	50	5	5
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	5	152	68	182	160	83	48	5	120	54	5	5
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	10.3	14.5	10.2	9.8
HCM LOS	B	B	B	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	28%	2%	43%	83%
Vol Thru, %	3%	67%	38%	8%
Vol Right, %	69%	30%	19%	8%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	159	208	390	60
LT Vol	44	5	167	50
Through Vol	5	140	147	5
RT Vol	110	63	76	5
Lane Flow Rate	173	226	424	65
Geometry Grp	1	1	1	1
Degree of Util (X)	0.255	0.314	0.579	0.109
Departure Headway (Hd)	5.308	5.006	4.917	5.99
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	676	717	738	597
Service Time	3.346	3.039	2.917	4.034
HCM Lane V/C Ratio	0.256	0.315	0.575	0.109
HCM Control Delay	10.2	10.3	14.5	9.8
HCM Lane LOS	B	B	B	A
HCM 95th-tile Q	1	1.3	3.8	0.4

Intersection	
Intersection Delay, s/veh	15.1
Intersection LOS	C

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	5	198	58	106	124	44	91	5	258	111	5	5
Future Vol, veh/h	5	198	58	106	124	44	91	5	258	111	5	5
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	5	215	63	115	135	48	99	5	280	121	5	5
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	14.3	15.1	16.8	11.9
HCM LOS	B	C	C	B

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	26%	2%	39%	92%
Vol Thru, %	1%	76%	45%	4%
Vol Right, %	73%	22%	16%	4%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	354	261	274	121
LT Vol	91	5	106	111
Through Vol	5	198	124	5
RT Vol	258	58	44	5
Lane Flow Rate	385	284	298	132
Geometry Grp	1	1	1	1
Degree of Util (X)	0.602	0.471	0.503	0.244
Departure Headway (Hd)	5.631	5.983	6.077	6.678
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	643	601	593	537
Service Time	3.649	4.035	4.105	4.737
HCM Lane V/C Ratio	0.599	0.473	0.503	0.246
HCM Control Delay	16.8	14.3	15.1	11.9
HCM Lane LOS	C	B	C	B
HCM 95th-tile Q	4	2.5	2.8	1

Intersection	
Intersection Delay, s/veh	13.9
Intersection LOS	B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	5	173	80	188	172	44	52	5	134	60	5	5
Future Vol, veh/h	5	173	80	188	172	44	52	5	134	60	5	5
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	5	188	87	204	187	48	57	5	146	65	5	5
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	11.9	17	11.3	10.4
HCM LOS	B	C	B	B

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	27%	2%	47%	86%
Vol Thru, %	3%	67%	43%	7%
Vol Right, %	70%	31%	11%	7%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	191	258	404	70
LT Vol	52	5	188	60
Through Vol	5	173	172	5
RT Vol	134	80	44	5
Lane Flow Rate	208	280	439	76
Geometry Grp	1	1	1	1
Degree of Util (X)	0.322	0.409	0.637	0.134
Departure Headway (Hd)	5.581	5.248	5.223	6.361
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	642	684	689	561
Service Time	3.638	3.297	3.265	4.432
HCM Lane V/C Ratio	0.324	0.409	0.637	0.135
HCM Control Delay	11.3	11.9	17	10.4
HCM Lane LOS	B	B	C	B
HCM 95th-tile Q	1.4	2	4.6	0.5

EXHIBIT G3

CITY OF SANTA FE ARCHAEOLOGICAL CLEARANCE PERMIT AND APPROVAL*

Case File Number AR-02-199A Date Application Submitted 1/26/94

District: DT _____; R&T - Regular _____; Santa Fe Trail _____; SUB X

Building Sq. Ft./ Development Acreage PHASE ONE - 162 ACRES

Property Owner: TIERRA CONTENTA CORPORATION

Site Address S.W. of AIRPORT & CERRILLOS ROADS

Applicant Information: Name: STEVE BRUGGER



Function: PROJECT MANAGER Phone No.: 984-6889

SUBMITTAL CHECK LIST

RECONNAISSANCE REPORT

Reports by Matthew F. Schmander
Mark E. Harder

7/20/07
5/2/00

1. ___ Archaeologist's Resume
2. ___ Site & Development Description
3. ___ Vicinity Map
4. ___ Description of research design & techniques
5. ___ Descriptive summary of cultural remains
6. ___ List of sources
7. ___ Site map
8. ___ Photographs
9. ___ NM site inventory form
10. ___ Overview of previous findings
11. ___ Assessment of development's impact
12. ___ Recommended significance status

13. ___ Archival research
 - ___ Historic maps and aerial photos
 - ___ ARMS files
 - ___ General Land Office (BLM) surveys or land grant plats
 - ___ Santa Fe Acequia Systems Report
 - ___ National Register nominations & historic photos
 - ___ Deed research

TREATMENT REPORT

1. ___ Description of collection
2. ___ Description of field procedures
3. ___ Description of archival research
4. ___ Summary of findings
5. ___ Disposition of site
6. ___ Disposition of artifacts

PERMIT APPROVED: James O'Farrell
Committee Chairperson

3/3/94
Date

*APPROVAL GIVEN: _____
Committee Chairperson

Date

* for unexpected discoveries



CITY OF SANTA FE

ARCHAEOLOGICAL SUBMITTAL CHECKLIST/CLEARANCE PERMIT AND APPROVAL



Case File Number AR-7-1998 Date Application Submitted 6/26/98

District: Historic Downtown District; River & Trails-Regular; Santa Fe Trail; Suburban X

Building Sq. Ft. _____ Development Acreage 175

Project Description: Final Treatment Report

Site Address/Location: Tierra Contenta - Phase 1B Property Owner: Tierra Contenta Corp.

Permit: Grading; Development; Building

Applicant Information: Name: Tierra Contenta Corporation

Mailing Address: 369 Montezuma #220, SF, NM 87501 Phone No.: (505) 471-4551

Archaeological Consultant: Rio Grande Consultants, 2639 Pajarito Rd. SW, Albuquerque, NM 87105

PLEASE PROVIDE A COPY OF THIS PERMIT WITH YOUR BUILDING PERMIT APPLICATION Phone No.: (505) 471-4551

RECONNAISSANCE REPORT

- 1. ___ Project Archaeologist's Resume
- 2. ___ Vicinity Map
- 3. ___ Project Site Description
- 4. ___ Development Project Description
- 5. ___ Outline of Research & Methodology
- 6. ___ Site Map or Aerial Photograph at a Minimum of 1"=200' for Downtown Dist. & 1"=400' for other Districts
- 7. ___ Archival Research
 - a. ___ Historic Maps & Aerial Photos
 - b. ___ ARMS Files & Archaeological Reports
 - c. ___ General Land Office (BLM) Surveys or Land Grant Plats
 - d. ___ 1917 Hydrological Survey and Santa Fe Acequia System Report (needed if acequia present or nearby)
 - e. ___ National and State Register Nominations (needed if in Historic Downtown District or near Historic Structure)
- f. ___ Historic Photos (needed if in Historic Downtown District)
- g. ___ Information from Title Abstract (if available)
- 8. ___ 2% Testing (Historic Downtown District Only)
- 9. ___ Description of Prehistoric & Historic Occupation & Land Use
- 10. ___ Description of Cultural Remains Discovered and Significance
- 11. ___ NM Site Inventory Forms and Other Documentation
- 12. ___ Recommended Site Significance
- 13. ___ Assessment of Development's Impact on Cultural Remains
- 14. ___ Recommended Treatment for Site
- 15. ___ Listing of Sources, i.e. historic maps, aeriels, reports, etc.

ARC APPROVAL: MEETING DATE: _____

Special Conditions: ___ Yes (see attachment) ___ No

TREATMENT PLAN REQUIRED:

Yes: ___ No: ___

TREATMENT PLAN ARC APPROVAL: MEETING DATE: _____

Special Conditions: ___ Yes (see attachment) ___ No

PRELIMINARY TREATMENT REPORT

- ___ a. Research Design Outline
- ___ b. Site Map of Excavations
- ___ c. Other Documentation: Photographs and New Mexico Site Inventory Forms; if applicable
- ___ d. Description of Cultural Remains Discovered
- ___ e. Description of Prehistoric and Historic Occupation and Land Use
- ___ f. Listing of Sources

TREATMENT REPORT ARC APPROVAL: MEETING DATE: _____

Special Conditions: ___ Yes (see attachment) ___ No

FINAL TREATMENT REPORT

Date Final Report Due 6/26/98 Date Final Report Received 3/3/99

Permit Approved: _____ Date: _____

Archaeological Review Committee Chairperson

PRELIMINARY WAS APPROVED w/ CLEARANCE FOR THE PROJECT 3/3/99



**CITY OF SANTA FE
ARCHAEOLOGICAL SUBMITTAL CHECKLIST/CLEARANCE PERMIT AND APPROVAL**



Case File Number ARC 71999 Date Application Submitted _____

District: Historic Downtown District; River & Trails-Regular _____; Santa Fe Trail _____; Suburban X

Building Sq. Ft. _____ Development Acreage _____

Project Description: TERRA CONGENA SUBDIVISION

Site Address/Location: PHASES I & II Property Owner: _____

Permit: Grading _____; Development _____; Building _____

Applicant Information: Name: _____

Mailing Address: _____

Phone No.: _____

Archaeological Consultant: MATTHEW F. SCHMADER

RECONNAISSANCE REPORT

- 1. ___ Project Archaeologist's Resume
- 2. ___ Vicinity Map
- 3. ___ Project Site Description
- 4. ___ Development Project Description
- 5. ___ Outline of Research & Methodology
- 6. ___ Site Map or Aerial Photograph at a Minimum of 1"=200' for Downtown Dist. & 1"=400' for other Districts
- 7. ___ Archival Research
 - a. ___ Historic Maps & Aerial Photos
 - b. ___ ARMS Files & Archaeological Reports
 - c. ___ General Land Office (BLM) Surveys or Land Grant Plats
 - d. ___ 1917 Hydrological Survey and Santa Fe Acequia System Report (needed if acequia present or nearby)
 - e. ___ National and State Register Nominations (needed if in Historic Downtown District or near Historic Structure)

- f. ___ Historic Photos (needed if in Historic Downtown District)
- g. ___ Information from Title Abstract (if available)
- 8. ___ 2% Testing (Historic Downtown District Only)
- 9. ___ Description of Prehistoric & Historic Occupation & Land Use
- 10. ___ Description of Cultural Remains Discovered and Significance
- 11. ___ NM Site Inventory Forms and Other Documentation
- 12. ___ Recommended Site Significance
- 13. ___ Assessment of Development's Impact on Cultural Remains
- 14. ___ Recommended Treatment for Site
- 15. ___ Listing of Sources, i.e. historic maps, aerials, reports, etc.

ARC APPROVAL: MEETING DATE: _____
Special Conditions: ___ Yes (see attachment) ___ No

TREATMENT PLAN REQUIRED:

Yes: ___ No: ___
TREATMENT PLAN ARC APPROVAL: MEETING DATE: _____
Special Conditions: ___ Yes (see attachment) ___ No

PRELIMINARY TREATMENT REPORT

- ___ a. Research Design Outline
- ___ b. Site Map of Excavations
- ___ c. Other Documentation: Photographs and New Mexico Site Inventory Forms; if applicable
- ___ d. Description of Cultural Remains Discovered
- ___ e. Description of Prehistoric and Historic Occupation and Land Use
- ___ f. Listing of Sources

TREATMENT REPORT ARC APPROVAL: MEETING DATE: 3 SEPTEMBER 1998
Special Conditions: ___ Yes (see attachment) ___ No

FINAL TREATMENT REPORT

_____ Date Final Report Due 3 SEPTEMBER 1998 Date Final Report Received

Permit Approved: PERMIT WAS APPROVED BY Date: 9/3/98
Archaeological Review Committee Chairperson
ARC FOR ALL PHASES AD 11/7/01

EXHIBIT G4

RESTATED ANNEXATION AGREEMENT TIERRA CONTENTA, WOLGAMOOD SUBDIVISION AND CONTIGUOUS LANDS (EAST)

1122756

This Restated Annexation Agreement ("Agreement") is made and entered into by and between the City of Santa Fe, New Mexico, a New Mexico municipal corporation ("City"), Tierra Contenta Corporation, a New Mexico non-profit corporation, ("Tierra"), Elisia Partnership, a New Mexico general partnership ("Elisia"), Kenneth Prater ("Prater"), New Mexico School for the Deaf ("School for the Deaf"), Santa Fe Board of Education ("Board of Education"), Herrera Associates, a New Mexico general partnership ("Herrera"), and Dr. Joe L. Hernandez, ("Hernandez"). Tierra, Elisia, Prater, School for the Deaf, Board of Education, Herrera and Hernandez, are hereinafter sometimes collectively referred to as "Landowners." This Agreement shall be effective as of the date set forth in paragraph 27 ("Effective Date").

RECITALS

- A. Landowners are the collective owner of certain real property in Santa Fe County, New Mexico consisting of approximately 1,421 acres of land situate in Township 16 North, Ranges 8E and 9E, as more fully described on Exhibit 1 attached (the "Property").
- B. On November 1985, the Governing Body adopted Resolution No. 1985-107 amending the Santa Fe Urban Area General Plan pursuant to Case # 1985-32 and Ordinance No. 1985-58, thereby annexing the Property to the City under the terms and conditions of an annexation agreement ("Original Annexation Agreement"). The Original Annexation Agreement, dated November 5, 1985, was approved by the Landowners and the City and filed for record in Book 544 at page 530, records of Santa Fe County, New Mexico.
- C. Pursuant to Ordinance No. 1985-59, approximately 1,391 acres of the Property owned by Tierra, School for the Deaf, Santa Fe Board of Education, Elisia and Prater were rezoned from a "R-1 Residential District" ("R-1") to "PRC Planned Residential Community" ("PRC"), now governed by §14-31 SFCC (1987), pursuant to a master plan ("Original Master Plan") approved by the City and the Landowners.
- D. Those portions of the Property owned by Herrera and Hernandez ("Adjoining Owners") remained zoned as R-1 and are now governed by §14-17 SFCC (1987). An application for rezoning is concurrently under consideration by the City, and, prior to the Effective Date of this Agreement these properties may have been rezoned by the City.
- E. It is the intention of the parties to this Agreement that the Original Annexation Agreement and Original Master Plan shall be superseded in their entirety and that this Agreement and attached exhibits shall substituted therefor, and further, that the Original Annexation Agreement and Original Master Plan shall be deemed to be of no further force and effect and shall not be binding upon any owner of any portion of the Property.

F. Certain provisions of this Agreement shall apply only to the properties owned by Tierra, Elisia, Prater, Board of Education, and the successors and assigns of the School for the Deaf, excluding any successor or assign that is a state or local governmental entity or agency governed by restrictions set forth in the New Mexico Constitution ("NMSD Assigns"). Collectively Tierra, Elisia, Prater, the Board of Education and NMSD Assigns are identified as the "PRC Owners".

1122757

G. The City approved this Agreement in a duly called meeting on February 23, 1994.

AGREEMENTS

NOW, THEREFORE, in consideration of the premises, the following agreements and undertakings, the parties incorporate the foregoing recitals and further agree as follows:

1. **ANNEXATION PLAT.** The Property, previously annexed to the City, is fully described on the annexation plat titled *Annexation Plat for Tracts 1 Thru 9, Tierra Contenta, Wolgamood Subdivision and Contiguous Lands (East) within Township 16 North, Ranges 8 & 9 East, New Mexico Principal Meridian, Santa Fe County, New Mexico, June 1985*, ("Annexation Plat") a true and correct copy of said Annexation Plat is attached hereto as Exhibit 1. The Annexation Plat complies with §14-9.6(D) SFCC (1987).

2. **THE MASTER PLAN.** Landowners have approved a revised master plan for uses of the Property and as described on the plat of survey titled *Master Plan PRC and Annexation* (the "Master Plan"). Landowners have further approved a revised phasing plan as described on the plat of survey titled *Phasing Master Plan* (the "Phasing Plan"). Both the Master Plan and Phasing Plan comply with §§14-9.6(D) SFCC (1987). True and correct copies of the Master Plan and Phasing Plan are attached as Exhibit 2.

3. **CITY APPROVAL OF MASTER PLAN AND PHASING PLAN; SUBSEQUENT APPROVALS.** The Master Plan and Phasing Plan contemplate a variety of housing types and additional commercial, institutional, industrial, and recreational land uses for the Property. The City hereby approves the Master Plan and Phasing Plan and agree that each comply with the SFCC (1987). The City agrees to approve rezonings, preliminary development plans and preliminary subdivision plats for individual tracts within the Property, provided such rezonings plats and plans conform to the Master Plan and Phasing Plan, the SFCC 1987, as amended, and the provisions of this Agreement. The City agrees to approve final development plans and final subdivision plats that substantially conform to previously approved preliminary plats and plans.

4. **MODIFICATION OF URBAN AREA GENERAL PLAN; MODIFICATION OF MASTER PLAN.**

A. The Master Plan, including its designations of the PRC district, shall become part of the Santa Fe Urban Area General Plan. Modifications of the Master Plan, including, without limitation, relocations or modifications of improvements as shown on the Master Plan, must be approved by the City, as provided below.

B. Minor relocations and modifications, such as relocation of utility lines, roadways and minor variations of the Phasing Plan, otherwise consistent with the general intent of the Master Plan, shall be approved administratively by the director of the technical review division of the City or such other division later charged with the authority to review development proposals ("Technical Review Division") 1122758

C. Major modifications and relocations shall be approved by the development review committee or such other committee delegated the authority by the governing body of the City to grant final approval of final subdivision plats and final development plans ("Development Review Committee"). The determination as to whether any proposed modification is "major" or "minor" shall be made by the members of the "Development Review Team", comprised of members of City staff and the interdepartmental team charged with the responsibility to review development projects. Only major modifications to the Master Plan shall require an amendment to the Master Plan and approval by the Development Review Committee.

D. Notwithstanding the foregoing, any increase in the number of dwelling units or area of commercial use must be reviewed first by the Development Review Committee and thereafter, the Committee shall forward its recommendations to the Governing Body.

5. **DEVELOPMENT OF THE PROPERTY.**

A. The Property shall be developed in accordance with the Master Plan.

B. The Master Plan includes the following categories of land uses:

(1) Those portions of the Property owned by the PRC Owners, currently zoned as PRC, shall be developed in accordance with the PRC zoning ordinance outlined in §14-31 SFCC (1987). To the extent then required by the Santa Fe City Code, specific developments within these properties shall meet the standards for all individual tract development as required under §14-31.7 SFCC (1987), and if applicable, any ordinance governing approval of final subdivisions plats. In lieu of standards set forth in the PRC Zoning Ordinance, specific development standards that vary from the PRC Zoning Ordinance may be proposed by any PRC Owner for individual tract development within the PRC district as part of any application for preliminary and final subdivision plat approval or preliminary and final development plan approval to the Development Review Committee. Should any development standards be proposed that materially vary from the PRC development standards, the PRC Owner shall comply with the procedures for notification prior to adoption of specific design standards for each phase as set forth in Section 14-5.4(C)(2), SFCC 1987.

(2) Property currently zoned PRC and owned by the PRC Owners that is proposed on the Master Plan for a village center and office/business incubator uses shall be rezoned to a zoning district or districts that will permit use of the lands for such other uses.

(3) The use of the Adjoining Owners' properties for uses other than R-1 permitted uses shall require rezoning from R-1 to appropriate zoning districts that will permit use of these properties for the multi-family, commercial and industrial uses as such sites are shown on the Master Plan.

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C. Prior to any development of any portion of the Property owned by the PRC Owners, all preliminary and final subdivision plats and preliminary and final development plans shall conform to the Master Plan, this Agreement, and the Santa Fe City Code. If such plats and plans conform to the Master Plan, this Agreement, and the Santa Fe City Code the plats and plans of the PRC Owners shall be approved by the Development Review Committee.

D. The Adjoining Owners shall develop their property in accordance with this Agreement, the Master Plan, the Santa Fe City Code, and any conditions of rezoning.

6. **PHASING.**

A. The phases currently scheduled for development of the Property by PRC Owners are set forth in the Phasing Plan. Only those portions of the Property owned by PRC Owners and subject to the PRC zoning designation are governed by the Phasing Plan. Changes in the phasing timetable may be reviewed and revised from time to time as conditions change.

B. The Schedule of Improvements for PRC Owners and Adjoining Owners is attached hereto as Exhibit 3.

C. The designated improvements for water, sanitary sewers, storm drainage, streets, dedication of parks and other items as set forth in the Master Plan shall be substantially completed by a PRC Owner, to the satisfaction of the City, for each phase within the Phasing Plan before the construction of such improvements in succeeding phases may be commenced. However, two phases may be undertaken concurrently provided that the PRC Owner can demonstrate to the City a satisfactory timetable for completion of required improvements.

D. At such time as a PRC Owner proposes a particular phase for construction, the City shall determine which improvements for water, sanitary sewers, storm water drainage, streets and dedication of parks and open space are required for that particular phase. Any PRC Owner proposing a phase to be developed shall be required to present a plan to the City which shall include plans for completion of the required improvements in that phase.

E. Any approvals required under this paragraph 6 shall be obtained as provided in paragraph 4.

7. AFFORDABLE HOUSING.

A. Tierra shall develop approximately forty percent (40%) of the 3,700 lots or units planned for Tierra's property for families earning at or below eighty percent (80%) of the median family income of the City and for single person households earning under one hundred percent (100%) of the City median household income. The minimum sizes and types of these affordable units in the PRC will be determined by the City and Tierra by separate agreement.

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B. Affordable units in the below eighty percent (80%) of median family income category are exempt from impact fees as set forth in this Agreement.

C. The provision of affordable units shall be reviewed on a phase-by-phase basis by the City.

8. LAND DEDICATED TO THE CITY BY TIERRA.

A. Tierra agrees to dedicate parcels totalling approximately two hundred fourteen (214) acres of land to the City for City use as parks. The land shall be dedicated according to the Phasing Plan.

B. In addition, an estimated one hundred fourteen (114) acres will be dedicated by Tierra to the City for roadways and drainage, and 2.8 acres for community use. These dedications will occur consecutively with development and upon acceptance by the City.

C. These dedications completely fulfill and satisfy the required land dedication for parks and open space of the Santa Fe City Code and this Agreement for all development of the Tierra property.

9. PARKS, OPEN SPACE AND OTHER DEDICATIONS.

A. Concurrently with approval of any final development plan and prior to any development of the Property, each Landowner agrees to dedicate park land and open space to the City as shown on the Master Plan.

B. Such dedications shall be made under the following Schedule:

(1) Tierra will dedicate to the City an estimated 214 acres for parks and open space according to the Phasing Plan.

(2) Elisia agrees to dedicate to the City no less than forty-five (45) acres for park and open space the same being all of the land in the open space system and the neighborhood park (Tract 27) on the Elisia property, at the time Elisia obtains its approval of a Phase 1 final subdivision plat.

(3) The School for the Deaf, or if applicable, NMSD Assigns, agrees to dedicate to the City no less than sixty (60) acres, for park and open space, such land being described as part of the open space system during Phase 2. Such dedication will occur after the City has acquired right-of-ways for the construction of the Arroyo Chamiso bike and pedestrian trail system through the PRC Owners' properties.

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(4) The Adjoining Owners agree to dedicate to the City no less than ten (10) acres in Arroyo Chamiso for park and open space, such land being described as part of the open space system. Such dedication will occur after the City has acquired right-of-ways for the construction of the Arroyo Chamiso bike and pedestrian trail system through the PRC Owners' properties or application for a final development permit, whichever occurs first.

(5) The dedications described in this paragraph 9 will completely fulfill and satisfy the required land dedication for parks and open space of the Santa Fe City Code and this Agreement for all development of the School for the Deaf property, if applicable, the NMSD Assigns' property, the Elisia' property, and the Adjoining Owners' property.

C. Concurrently with submission of any preliminary development plan by a PRC Owner or in the case of an Adjoining Owner, a final development plan, and prior to development, the PRC Owner or Adjoining Owner shall contribute to the cost of the multipurpose trail system in the urban park as shown on the Master Plan. The contribution shall be based on the number of residential units approved for that owner's respective property. The cost per residential unit shall be computed by dividing the total cost of the trail system by the total number of residential units approved in the Master Plan. Each contribution for the trail system may be proportionately reduced in the event the City receives City, State or Federal funds for the development of the trail system. The reduction of each contribution shall be in proportion to the ratio of government funds received to total cost of the trail system.

D. At the time of development, the Board of Education shall develop ball fields and/or soccer fields on the two (2) elementary school sites shown on the Master Plan. These fields shall be open for public use subject to the scheduling of school related events by the Board of Education. The City shall maintain these fields according to a separate agreement between the City and the Board of Education.

E. At the time of development, each of the PRC Owners and Adjoining Owners shall be solely responsible for tree plantings, enhanced medians and other landscaping areas along the major roads shown on the Master Plan within each owner's property. The landscape areas and enhanced medians shall be dedicated to the City, after which the City shall maintain these areas.

F. At the time of development, each PRC Owner and Adjoining Owner of any portion of the Property shall develop the park plazas on their respective property as shown on the Master Plan, if any.

G. All parks, trail systems, and open space dedicated to the City shall thereafter be maintained by the City.

10. **CITY SERVICES.**

A. **Fire and Police Protection.** Fire and police protection for development of the Property will be provided by City Police and Fire Department facilities and personnel.

B. **Refuse.** Refuse collection and disposal services within the Property shall be provided by the City or its agents in accordance with the Santa Fe City Code.

C. **Water Service.**

(1) As a condition of development of the Property, each PRC Owner and Adjoining Owner shall connect the proposed development to the Sangre de Cristo Water Company water delivery system using dedicated easements and right-of-way which shall allow extension of water mains through the Property as required by the Sangre de Cristo Water Company and the City. Individual PRC Owners and Adjoining Owners shall dedicate easements or rights-of-way through their portions of the Property as shown on the final subdivision plat to insure the water lines can be built accordingly through the Property.

(2) Each PRC Owner and Adjoining Owner shall construct water lines, as shown on the Master Plan, that run through or adjacent to their property. Each PRC Owner and Adjoining Owner is responsible for constructing the entire water line across that owner's property. In the event that a water line, as shown in the Master Plan, runs adjacent to two or more property boundary lines, then each adjacent PRC Owner or Adjoining Owner will share proportionately in the cost, according to the ratio of each owner's lineal foot frontage adjacent to the water line.

(3) In the event a Landowner constructs a water line on property other than that owner's property, the City will require reimbursement be paid to the owner constructing the line from the property owner across whose property the water line was built prior to any development on that property. Upon completion of improvements for which reimbursement is required, the party constructing the improvements shall file a certified schedule of actual costs reasonably incurred in installing the improvements dedicated to the City ("Reimbursement Schedule") with the Technical Review Division.

(4) Reimbursement shall include payment of interest at a rate corresponding to the increase, if any, in the U.S. Bureau of Labor Statistics, All-Urban Consumer Price Index (CPI-U) for all items (the composite of all CPI components) published for the U.S. City Average, West Region, using the index base of the 1982-1984 = 100 or its succeeding index ("CPI") computed by using the CPI as of the month of the date of delivery of the Reimbursement Schedule to the City, as the base figure ("Base Month") compared with the CPI for the same Base Month in the year reimbursement is due ("CPI Interest Rate"). For example: If a Reimbursement Schedule is delivered to

the City in December, 1994 and the CPI for December, 1994 was 150.0 and the reimbursement is due in December 1995, and the CPI for December, 1995 is 157.5, the increase in the CPI would be five percent (5%) resulting in an annual interest rate of five (5%). Notwithstanding the foregoing, the annual CPI Interest Rate shall not be greater than eight percent (8%).

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(5) In exchange for receiving water service, no well shall be drilled on any property owned by the PRC Owners or Adjoining Owners after the Effective Date of this Agreement. No water rights shall be transferred to permit a diversion of water from the properties of PRC Owners and Adjoining Owners.

D. Wastewater Collection and Sewer Service.

(1) Wastewater improvements are specified in the Schedule of Improvements attached as Exhibit 3.

(2) It is understood by the parties that the City intends to construct wastewater improvements within the Property that will provide service to areas located outside of the boundary of the Property.

(3) The City and each PRC Owner and Adjoining Owner will contribute a proportionate share of the cost of the south branch Arroyo Chamiso sewer line constructed to serve development within the Property. Such proportionate share shall be based on the cost of an eight inch (8") line and shall be a fraction based on the total developable acreage in the specific tract served by the sewer line, divided by the total developable acreage of all properties served by the sewer line, or such other equitable means of cost distribution as agreed to by each PRC Owner and Adjoining Owner. Payment to the City shall be made at the earlier of recordation of a final subdivisions plat or final development plan ("Sewer Construction Assessment").

(4) Only one Sewer Construction Assessment for construction of the sewer line within the Property shall be levied against any PRC Owner and Adjoining Owner.

(5) In lieu of the procedure set forth in subparagraph 10.D.(3) above, the City and PRC Owners and Adjoining Owners may agree to establish an assessment district for construction of storm water, wastewater collection and sewer service improvements to serve the Property.

(6) Each PRC Owner and Adjoining Owner shall dedicate sewer easements on that owner's tract of the property as shown on a final subdivision plat or final development plan if not already dedicated under paragraph 14. The School for the Deaf will make such dedication of sewer easements as provided in paragraph 14.

(7) The City agrees to complete the engineering and construction of the south branch of the Arroyo Chamiso sewer line, as shown in the Master Plan, within three (3) years from the Effective Date of this Agreement.

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(8) The PRC Owners and Adjoining Owners shall construct and pay for all sewer lines on their property other than the Arroyo Chamiso Line.

(9) In the event a Landowner constructs a sanitary sewer line on property other than that Landowner's property, the City will require reimbursement be paid to the owner constructing the line from the property owner across whose property the sewer line was built prior to any development on that property. Upon completion of improvements for which reimbursement is required, the party constructing the improvements shall file a Reimbursement Schedule of actual costs reasonably incurred with the Technical Review Division of the City. Reimbursement shall include payment of interest at the CPI Interest Rate as described in paragraph 10.C.(4).

E. Streets and Other Rights of Way.

(1) All streets and roads built by PRC Owners and Adjoining Owners will be designed and constructed in accordance with the Santa Fe City Code (1987).

(2) The PRC Owners and Adjoining Owners shall construct off-site roadway improvements as specified below (a) through (e) related to development of the Property as established by the Master Plan and the detailed Traffic Impact Analysis prepared for the Property pursuant to paragraph 10.F of this Agreement (the "TIA"). The offsite roadway improvements shall exclusively consist of:

(a) three intersections with Airport Road, exclusive of South Meadows Road;

(b) Three intersections with Cerrillos Road;

(c) one at-grade intersection with the Santa Fe By-Pass;

(d) Ocate Road from the Hernandez property to Cerrillos Road;
and

(e) Country Club Road From Elisia property to Airport Road.

The roadway improvements listed under subparagraphs (a) through (e) above are shown on Exhibit 2 attached hereto and incorporated herein as if fully set out.

(3) The PRC Owners and Adjoining Owners shall contribute a proportionate share of the cost of building the offsite roadway improvements specified above 2 (a) through (e) based upon the traffic contribution established by the TIA as provided in this paragraph 10.E.

(4) Tierra will be entirely responsible for the cost of the at-grade intersection and signalization at Academy and the Santa Fe Bypass and the cost of two intersection improvements at Airport Road and Paseo del Sol and Golf Club Road, not including the intersection of Airport and Country Club Road.

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(5) Elisia and Tierra will be jointly responsible for the construction of Country Club Road and its intersection with Airport Road. NMSD Assigns and Tierra will be jointly responsible for the intersection of Academy Road with Cerrillos Road.

(6) The relative responsibilities for financing these improvements will be determined by the TIA prepared as part of the Phase I preliminary plat submittal and as approved by the Landowners or their then assigns.

(7) The road known as "Ocate Road" commencing at the School for the Deaf's property and running through the Hernandez property to Cerrillos Road and this road's intersection with Cerrillos Road will be the responsibility of NMSD Assigns and the Adjoining Owners although other owners along Ocate Road may also be asked to contribute. Cost sharing among these owners will be determined through separate agreement among these owners and based upon the TIA and an allocation of "service units" to each property based upon the developable acreage within each owner's property and the permitted use of the property. The term "service unit" shall mean a standardized measure of consumption, use, or generation attributable to an individual unit of development calculated in accordance with generally accepted engineering or planning standards for a road improvements and based upon use of the properties benefitted by the road, that is, single family residential, multifamily, commercial or industrial uses.

(8) Herrera will be responsible for the cost of intersection improvements and signalization which will serve the Property at the intersection of the south bound lane of Cerrillos Road and the road which runs across the Herrera property south of Ocate Road to be known as "Herrera Road".

(9) All roadway rights-of-way within the Property which are shown on the Master Plan shall be dedicated to and maintained by the City.

(10) Other road network improvements for a north/south street extending north of Airport Road to connect with either Alameda or Rufina and for one east/west street extending across Cerrillos Road to Richards Avenue and Academy Road from South Meadows to Cerrillos Road are the responsibility of the City.

F. **Traffic Impact Analysis.** Concurrent with the submittal of the Phase 1 preliminary subdivision plat, the City shall prepare the TIA for the Property and shall allocate service units for each proposed development as provided in subparagraphs 10.E.(7) above. The TIA shall address the traffic impacts which will be generated by each proposed phase of development under consideration. The TIA shall be conducted according to the City of Santa Fe Public Works Department traffic analysis standards and shall be approved by the Landowners, or their assigns.

G. **Schedule of Improvements.** The Schedule of Road Improvements is attached hereto as Exhibit 3.

H. **Financial Guarantees.**

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(1) Prior to recordation of a final subdivision plat or any phase thereof, or a final development plan with the County Clerk of Santa Fe County, the PRC Owners or Adjoining Owners shall provide a letter of credit or other financial guarantee acceptable to the City for the required improvements. The amount of the financial guarantee shall be based on a certified engineer estimate acceptable to the director of the Technical Review Division.

(2) All improvements required in any final subdivision plat or final development plan must be constructed by PRC Owners or Adjoining Owners in accordance with the Santa Fe City Code, and when completed to the satisfaction of the City, said improvements may be dedicated to and thereafter maintained by the City.

I. The provisions of this paragraph 10 do not apply to developments or improvements by the School for the Deaf as a state agency or any other federal and state governments and their political subdivisions. If the School for the Deaf elects to develop any portion of its property and to connect to any portion of the City services described in this paragraph 10, or to have the right under this Agreement to use any portion of the roads described in this paragraph 10 (collectively "Improvements"), the School for the Deaf shall be entitled to do so upon payment of the proportional sums otherwise required to be paid by NMSD Assigns for such Improvements. Any duty of the New Mexico School for the Deaf to pay any funds or consideration required by or resulting from the terms of this Agreement shall be contingent upon and subject to prior sufficient appropriations and authorization by the New Mexico Legislature for such development, including proportional payments due for such Improvements, and funding of such legislative appropriation. In the event sufficient funds are not so appropriated, authorized or available, then the corresponding duty of the School for the Deaf to make payments will automatically abate upon written notice from the School for the Deaf to the City and the affected Landowners. Likewise any right provided under this Agreement to use the Improvements shall abate until sufficient appropriation or funding can be obtained by the School for the Deaf.

11. **ARCHAEOLOGICAL REVIEW ORDINANCE.** Prior to approval of any final development plan or subdivision plat proposed by PRC Owners and Adjoining Owners, an Archaeological Clearance Permit ("Clearance Permit") shall be obtained from the City's Archaeological Review Committee, as required in §14-75 of the SFCC, 1987. These Clearance Permits may be obtained for each phase of development.

12. **UTILITIES.** The Property shall be served only with underground utilities.

13. **IMPACT FEES.** Subject to the enforceability of any City ordinance under the provisions of the Development Fee Act, §§5-8-1 *et seq.* NMSA, 1978, and after offsetting any fee with the contributions and offsite improvements made or to be by any PRC Owners or Adjoining Owners, the PRC Owners and Adjoining Owners shall pay impact fees as required by Santa Fe City Code (1987), as amended.

14. **EASEMENTS AND RIGHTS-OF-WAY.** Each Landowner, its then assigns, including NMSD Assigns shall dedicate all required access and utility easements and rights-of-way to the City within corridors shown on the Master Plan to allow orderly development of all tracts within the Property. Tierra in cooperation with the Landowners will prepare a dedication plat of survey in conjunction with Tierra's final subdivision plat or final development plan for Phase I as shown on the Phasing Plan. The Landowners and their then assigns, including NMSD Assigns, and the City agree to approve the Dedication Plat if it substantially conforms to the Master Plan. In the case of PRC Owners and Adjoining Owners, such dedication shall be in compliance with the Santa Fe City Code.

15. **CONFORMANCE WITH TERRAIN MANAGEMENT AND DRAINAGE STANDARDS.** Prior to development of Property, the PRC Owners and Adjoining Owners shall demonstrate compliance with the Terrain Management provisions of Santa Fe City Code. Dip sections shall not be allowed on designated arroyos without prior administrative approval of the director of the Technical Review Division of the City.

16. **ASSIGNMENTS.** Each Landowner shall be entitled to sell, transfer or assign all or any portion of that Landowner's rights and obligations under this Agreement provided the Landowner or the Landowner's assignee delivers to the City an agreement executed by Landowner and Landowner's assignee, acknowledging such assignment, describing the portion of the real property to which the assignment applies, and evidencing the assignee's acceptance of the rights and obligation under this Agreement. Such agreement shall be deemed effective as of recordation with the Clerk of Santa Fe County, New Mexico. Any assignee shall have the same rights and obligations under this Agreement as that of the Landowner as to that portion of the Property described in any assignment.

17. **CAPTIONS.** The captions and paragraph headings of this Agreement are not necessarily descriptive, or intended or represented to be descriptive, of all the provisions thereunder, and in no manner shall such captions and paragraph headings be deemed or interpreted to limit the provisions of this Agreement.

18. **EXECUTION OF DOCUMENTS.** The parties agree to execute all documents contemplated expressly or impliedly by this Agreement or necessary to effectuate the terms of this Agreement.

19. **SEVERABILITY.** If any provision of this Agreement, or the application of such provisions to any person or circumstances, shall be held invalid, the remainder of this

Agreement, or the application of such provisions to persons or circumstances other than those to which it is held invalid, shall not be affected thereby.

1122767

20. **WAIVER.** No waiver of a breach of any of the covenants contained in this Agreement shall be construed to be a waiver of any succeeding breach of the same or any other covenant.

21. **CONSENT AND OBLIGATIONS.** Wherever the approval or consent of the City is required by this Agreement, it is understood that such approval or consent shall not be unreasonably withheld. Whenever it is stated in this Agreement that the Landowners or any individual Landowner shall undertake any particular act or be responsible for a particular reimbursement, cost, contribution or assessment, it shall be understood to mean that each Landowner shall be responsible only for that owner's undertaking as set forth in the Landowner's development plan or subdivision plat presented to the City. It shall be understood that the obligations of any Landowner under this Agreement arise only to the extent that a Landowner applies to the City for approval of a final subdivision plat or final development plan for that portion of the Property owned by a particular Landowner. No obligations arise in the absence of such application or development.

22. **GOVERNING LAW.** This Agreement and the rights of the parties hereunder shall be governed by and interpreted in accordance with the laws of the State of New Mexico. Notwithstanding the inclusion of the School for the Deaf and the Board of Education as "Landowners" in the recitals of this Agreement, no covenant or agreement contained in this Agreement, whether referring specifically to the Landowners or not, shall be applicable to, binding on or enforceable against the School for the Deaf or the Board of Education, their respective property within the Property, their respective Board members, the State of New Mexico or any of their successors or assigns, unless a City Ordinance containing said covenant or agreement would be enforceable against the State of New Mexico, the School for the Deaf or the Board of Education under New Mexico law. Nothing in this Agreement shall enlarge the authority of the City to regulate the use or development of land now owned by the School for the Deaf or the Board of Education within the Property beyond the authority granted to or residing in the City under the existing laws and constitution of the State of New Mexico.

23. **NUMBERS AND GENDERS.** Whenever used herein, unless the context shall otherwise provide, the singular number shall include the plural, the plural the singular, and the use of any gender shall include all genders.

24. **BINDING EFFECT.** This Agreement shall be binding upon, and inure to the benefit of, the parties and their respective heirs, successors and assigns.

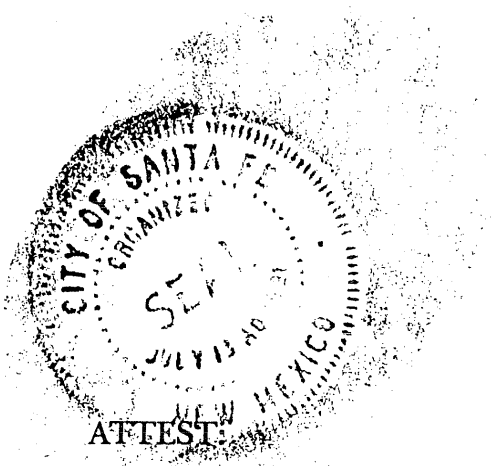
25. **AGREEMENT.** This Agreement states the entire agreement of the parties. The provisions of this Agreement shall be severable and may be modified only in a subsequent amendment duly approved as provided in paragraph 26. This Agreement shall not relieve the owners from complying with present or future City ordinances, resolutions or regulations.

26. **AMENDMENTS.** This Agreement may be amended with the consent of the City and the Landowners, or their then successors and assigns. Any amendments to this Agreement shall be reviewed by the Development Review Committee, thereafter, the Committee shall forward its recommendations to the Governing Body. Each amendment, to be effective, must be in writing, executed in the manner of this Agreement and filed for record with the Clerk of Santa Fe County, New Mexico.

27. **EFFECTIVE DATE.** This Agreement is effective as of the date of recordation of this Agreement in the land records of Santa Fe County, New Mexico.

CITY OF SANTA FE, a New Mexico municipal corporation

By *Sam Pick*
SAM PICK, MAYOR



Frances C. Romero
FRANCES C. ROMERO, CITY CLERK



APPROVED AS TO FORM:

Dianne DeLayo
DIANNE DeLAYO, DEPUTY CITY ATTORNEY

888,260
COUNTY OF SANTA FE)
STATE OF NEW MEXICO)SS
I hereby certify that this instrument was filed
for record on the 13 day of Dec A.D.
19 91, at 11:50 o'clock A m
and was duly recorded in book 1122
page 756-786 of the records of
Santa Fe County.
Witness my Hand and Seal of Office
Jona G. Armijo
County Clerk, Santa Fe County, N.M.
Jona G. Armijo
Deputy

LANDOWNERS:

1122769

Tierra Contenta Corporation,
a New Mexico non-profit
corporation

By *[Signature]*
~~Henry C. [Signature]~~ its President
(name printed) (title)

New Mexico School for the Deaf

By *Mitzi Baker-Garland*
Mitzi Baker-Garland, its president
(name printed) (title)
[Signature] Asst. Supt.

Elisia Partnership, a New Mexico
general partnership *[Signature]* HENRY PICK

By _____
_____, its general partner
(name printed)

Herrera Associates, a New Mexico
general partnership

By *William R. Herrera*
WILLIAM R. HERRERA, its general partner
(name printed)

Santa Fe Board of Education

By *[Signature]*
MIKE MIER, its Asst. Supt
(name printed) (title)

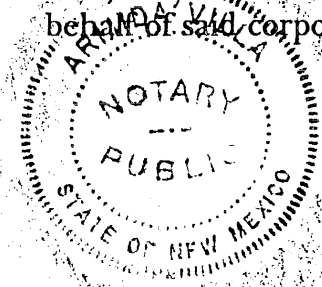
Joe L. Hernandez
Dr. Joe L. Hernandez

Kenneth Prater
Kenneth Prater

ACKNOWLEDGMENTS

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

This instrument was acknowledged before me on March 7, 1994, by Sam Pick, Mayor of the City of Santa Fe, a New Mexico municipal corporation, for and on behalf of said corporation.



Aracida Villa
Notary Public
My commission expires: 9-16-96

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

This instrument was acknowledged before me on April 18, 1994, by Patricio C. Larragante, of Tierra Contenta Corporation, a New Mexico non-profit corporation, for and on behalf of said corporation.



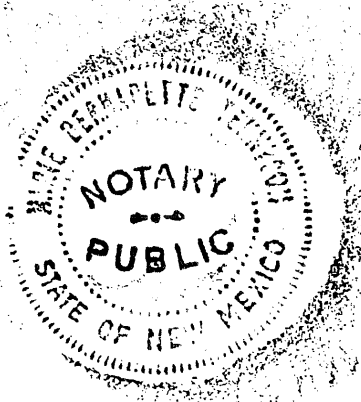
OFFICIAL SEAL

Elizabeth M. Fresquez
ELIZABETH M. FRESQUEZ
NOTARY PUBLIC - NEW MEXICO
NOTARY BOND FILED WITH SECRETARY OF STATE
My Commission Expires 4/6/95

Elizabeth M. Fresquez
Notary Public
My commission expires: 4/6/95

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

This instrument was acknowledged before me on May 11, 1994, by Mitzy Baker-Barland, Gilbert R. Melgodo of New Mexico School for the Deaf.



Marie Bernadette Stumpo
Notary Public
My commission expires: 11/14/95

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

This instrument was acknowledged before me on August 4, 1994, by Henry Pick of Elisia Partnership, a New Mexico general partnership, for and on behalf of said partnership.



OFFICIAL SEAL

Elizabeth M. Fresquez
ELIZABETH M. FRESQUEZ

NOTARY PUBLIC - NEW MEXICO
BOND FILED WITH SECRETARY OF STATE

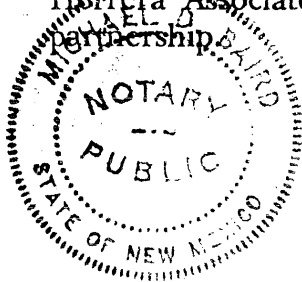
My Commission Expires 4/6/95

Elizabeth M. Fresquez
Notary Public

My commission expires: April 6, 1995

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

This instrument was acknowledged before me on April 21, 1994, by William R. Herrera of Herrera Associates, a New Mexico general partnership, for and on behalf of said partnership.

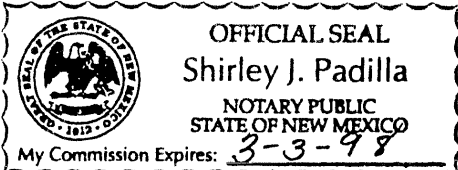


Michael D Baird
Notary Public

My commission expires: 9-15-95

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

This instrument was acknowledged before me on October 24, 1994, by Mike Mier of Santa Fe Board of Education.



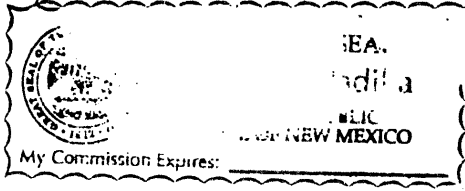
OFFICIAL SEAL
Shirley J. Padilla

NOTARY PUBLIC
STATE OF NEW MEXICO

My Commission Expires: 3-3-98

Shirley J. Padilla
Notary Public

My commission expires: 3-3-98



My Commission Expires:

1122772

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

This instrument was acknowledged before me on July 19, 1994, by Dr. Joe L. Hernandez.



OFFICIAL SEAL

Elizabeth M. Fresquez
ELIZABETH M. FRESQUEZ
NOTARY PUBLIC - NEW MEXICO
NOTARY BOND FILED WITH SECRETARY OF STATE
My Commission Expires 4/6/95

Elizabeth M. Fresquez
Notary Public
My commission expires: April 6, 1995

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

This instrument was acknowledged before me on May 13, 1994, by Kenneth Prater.



OFFICIAL SEAL

Elizabeth M. Fresquez
ELIZABETH M. FRESQUEZ
NOTARY PUBLIC - NEW MEXICO
NOTARY BOND FILED WITH SECRETARY OF STATE
My Commission Expires 4/6/95

Elizabeth M. Fresquez
Notary Public
My commission expires: April 6, 1995

Exhibit 1
Annexation Plat

1122773

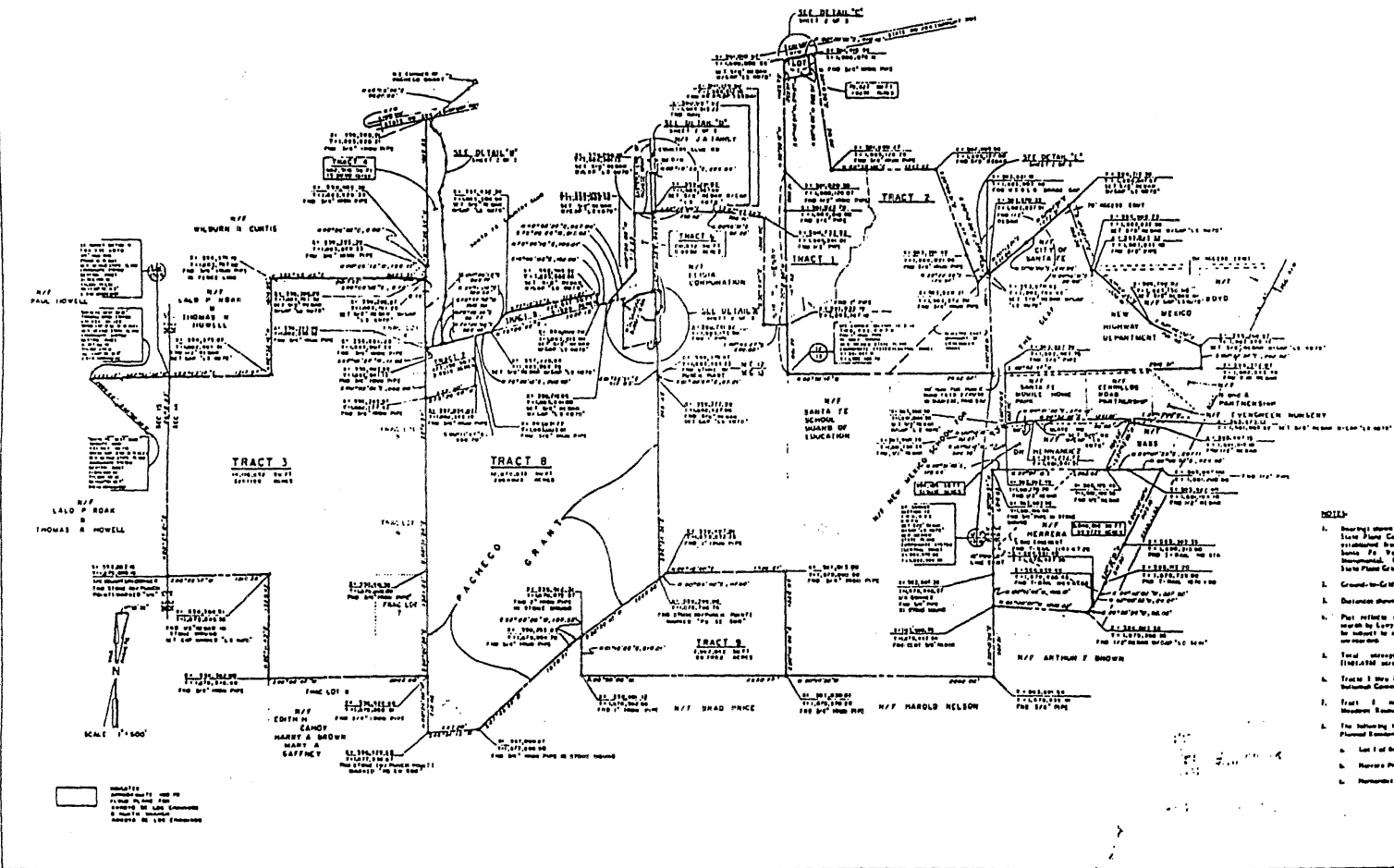
Exhibit 2
Master Plan (single Sheet) and Phasing Plan (single sheet)

Exhibit 3
Master Plan for the annexed area and the PRC district
Schedule of Road Improvements

1122775

EXHIBIT 1

ANNEXATION PLAN
 FOR
 TRACTS 1 THRU 9
 TIERRA CONTENTA,
 WOLGAMOOD SUBDIVISION
 AND
 CONTIGUOUS LANDS (EAST)
 WITHIN
 TOWNSHIP 15 NORTH, RANGES 8 & 9 EAST, NEW MEXICO PRINCIPAL MERIDIAN
 SANTA FE COUNTY, NEW MEXICO
 JUNE 1988



- NOTES:**
1. Bearings shown hereon are based on the True Meridian. State Plane Coordinate System Central Zone is established from "Santa Fe True Meridian" (USGS Map No. 1500, 1500, 1500). Coordinates shown are True Meridian State Plane Grid.
 2. Ground-to-Ground dimensions for lot 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
 3. Distances shown are ground distances.
 4. Plat refers to documents as indicated by a SIM number by Surveyor Title of Santa Fe, Inc. and may be subject to special instrument encumbrances recorded and unrecorded.
 5. Total acreage is 14,214.21 square feet (LITERALLY) acres.
 6. Tracts 1 thru 9 and 8 are or formerly owned by National Community Development.
 7. Tract 8 now or formerly owned by Mountain Builders, Inc.
 8. The following is not proposed to be added to the Planned Residential Community (PRC) District:
 - a. Lot 1 of National Community Development
 - b. Owner's Property
 - c. National Property

1122776

1122777

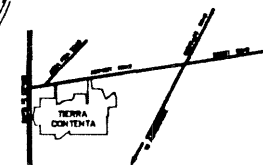
EXHIBIT 2

LEGEND

- 1 UNIT/ACRE
- 2-3 UNITS/ACRE
- 4-5 UNITS/ACRE
- 6-8 UNITS/ACRE
- 9-10 UNITS/ACRE
- 11-12 UNITS/ACRE
- 13-15 UNITS/ACRE
- 16-18 UNITS/ACRE
- 19-20 UNITS/ACRE
- 21-24 UNITS/ACRE
- 25-30 UNITS/ACRE
- 31-36 UNITS/ACRE
- 37-42 UNITS/ACRE
- 43-48 UNITS/ACRE
- 49-54 UNITS/ACRE
- 55-60 UNITS/ACRE
- 61-66 UNITS/ACRE
- 67-72 UNITS/ACRE
- 73-78 UNITS/ACRE
- 79-84 UNITS/ACRE
- 85-90 UNITS/ACRE
- 91-96 UNITS/ACRE
- 97-100 UNITS/ACRE
- WELLBORN INDUSTRIAL
- INDUSTRIAL COMMERCIAL
- OFFICE/RESEARCH/DEVELOPMENT
- COMMUNITY
- RESIDENTIAL
- PARK AND OPEN SPACE
- WATER SHAPED

TOTAL ACERAGE

1861.80 ACERAGE



VICINITY MAP

APPROVED BY THE CITY COUNCIL
ON FEBRUARY 23, 1984.

Arthur J. ... 12/6/84
Mayor Date
Yvonne ... 12/6/84
City Clerk Date
Joanna ... 12/6/84
City Planner Date



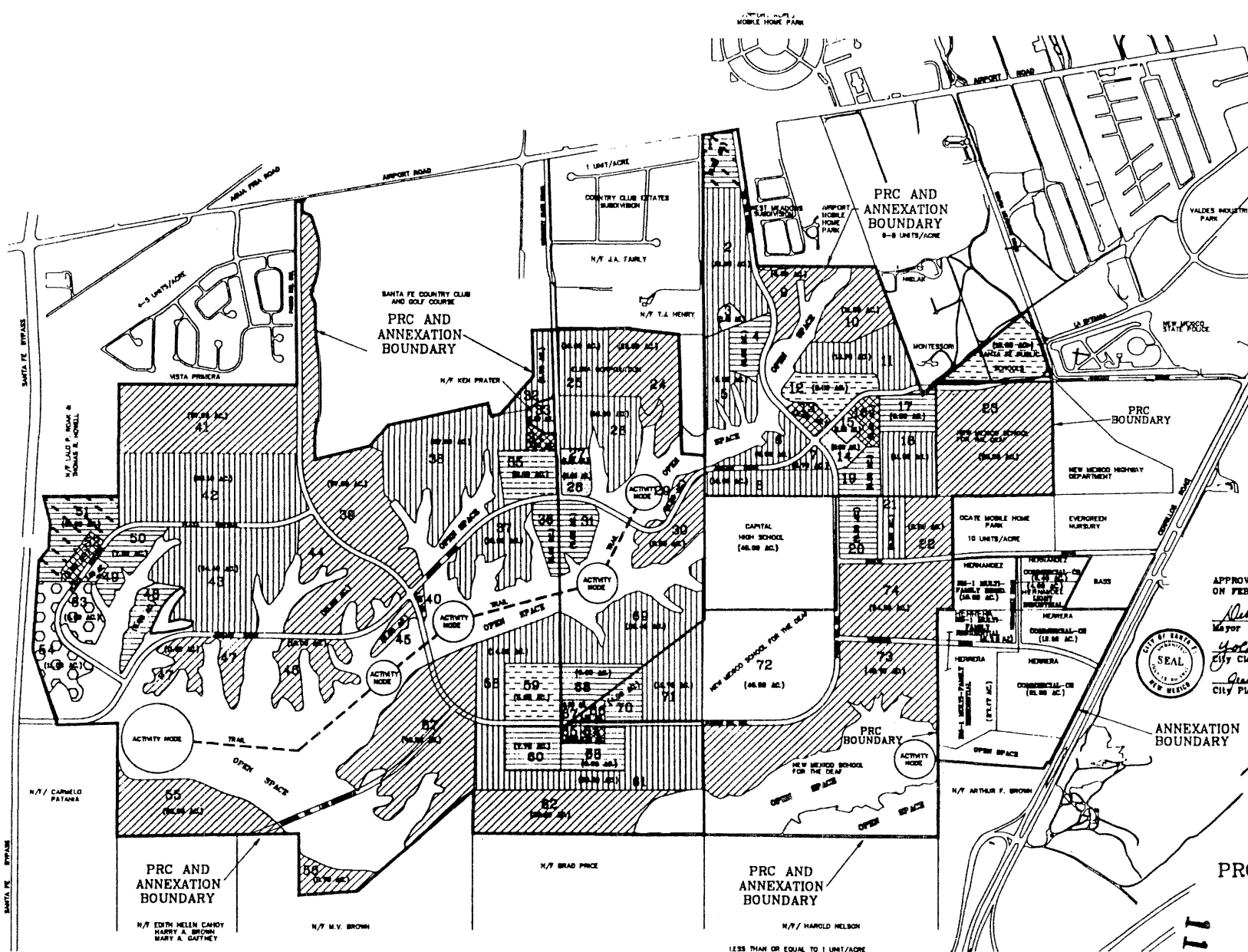
ANNEXATION BOUNDARY

Martin Associates, Inc.
The Flansburg Company
Calhoun Associates
Jorge Gonzalez & Associates
Campbell Urban Planning Associates, Inc.
The Enterprise Foundation

REVISED MASTER PLAN PRC AND ANNEXATION

1/8" = 1" SCALE
TIERRA CONTENTA
SANTA FE, NEW MEXICO
SHEET ... OF ... 28 ...

1122778



STIMULUS - 6/2/84

NO.	DATE	DESCRIPTION	BY
1	12-23-83	ISSUE APPROVED	AWM
2	1-3-84	CITY APPROVED/GENERAL	AWM

LESS THAN OR EQUAL TO 1 UNIT/ACRE

LESS THAN OR EQUAL TO 1 UNIT/ACRE

PHASE 1 DEVELOPMENT PROGRAM AND TRACT DATA

TRACT	LAND USE	NET ACRES	NO. OF UNITS	OWNER
1	Office / Business Incubator	3.0		
2	Residential (6-9 du/acre)	21.6	162	City / TCC
3	Park	1.5		City / TCC
4	Residential (10-20 du/acre)	6.5	111	City / TCC
5	Residential (6-9 du/acre)	9.3	70	City / TCC
6	Residential (6-9 du/acre)	6.0	45	City / TCC
7	Residential (6-9 du/acre)	2.7	24	City / TCC
8	High School Expansion	10.0		City / TCC
9	Residential (1-5 du/acre)	8.0	36	City / TCC
10	Residential (1-5 du/acre)	11.5	57	City / TCC
11	Residential (6-9 du/acre)	13.7	103	City / TCC
12	Elementary School	8.2		City / TCC
13	Community	2.6		City / TCC
14	Neighborhood Commercial	1.0		City / TCC
15	Park	1.6		City / TCC
16	Community	3.4		City / TCC
17	Residential (10-20 du/acre)	6.2	105	City / TCC
18	Residential (6-9 du/acre)	11.3	85	City / TCC
19	Residential (10-20 du/acre)	5.3	90	City / TCC
20	Residential (10-20 du/acre)	6.0	96	SFD
21	Residential (6-9 du/acre)	5.2	36	SFD
22	Residential (1-5 du/acre)	8.8	35	SFD
23	Residential (1-5 du/acre)	39.5	108	SFD
24	Residential (1-5 du/acre)	20.0	90	Elisia
25	Residential (6-9 du/acre)	10.0	75	Elisia
26	Residential (6-9 du/acre)	16.0	120	Elisia
27	Residential (1-5 du/acre)	2.0	9	Elisia
28	Residential (1-5 du/acre)	9.2	41	Elisia
29	Residential (6-9 du/acre)	5.7	43	City / TCC
30	Residential (6-9 du/acre)	2.3	15	Prater
31	Community	1.5		City / TCC
PHASE 1 TOTALS		261.8	1601	

PHASE 2 DEVELOPMENT PROGRAM AND TRACT DATA

TRACT	LAND USE	NET ACRES	NO. OF UNITS	OWNER
27	Park	1.3		Elisia
28	Neighborhood Commercial	2.0		Elisia
31	Residential (10-20 du/acre)	7.0	126	Elisia
35	Elementary School	8.0		City / TCC
36	Residential (10-20 du/acre)	5.0	85	City / TCC
37	Residential (6-9 du/acre)	13.0	98	City / TCC
38	Residential (6-9 du/acre)	37.0	178	City / TCC
39	Residential (1-5 du/acre)	37.0	167	City / TCC
40	Residential (1-5 du/acre)	1.0	5	City / TCC
41	Residential (1-5 du/acre)	37.6	169	City / TCC
42	Residential (6-9 du/acre)	38.1	296	City / TCC
43	Residential (6-9 du/acre)	34.4	258	City / TCC
44	Residential (1-5 du/acre)	21.0	95	City / TCC
45	Residential (1-5 du/acre)	2.6	12	City / TCC
46	Residential (1-5 du/acre)	10.0	43	City / TCC
47	Residential (1-5 du/acre)	11.0	30	City / TCC
48	Residential (10-20 du/acre)	5.8	99	City / TCC
49	Park	1.5		City / TCC
50	Residential (10-20 du/acre)	7.3	124	City / TCC
51	Office / Business Incubator	12.6		City / TCC
52	Community	2.8		City / TCC
53	Village Commercial	5.5		City / TCC
54	Village Commercial	11.0		City / TCC
74	Residential (1-5 du/acre)	24.2	97	SFD
PHASE 2 TOTALS		336.7	1994	

PHASE 3 DEVELOPMENT PROGRAM AND TRACT DATA

TRACT	LAND USE	NET ACRES	NO. OF UNITS	OWNER
55	Residential (1-5 du/acre)	22.8	103	City / TCC
56	Residential (1-5 du/acre)	5.7	26	City / TCC
57	Residential (1-5 du/acre)	43.2	194	City / TCC
58	Residential (6-9 du/acre)	14.8	111	City / TCC
59	Private School	8.0		City / TCC
60	Residential (10-20 du/acre)	7.7	131	City / TCC
61	Residential (6-9 du/acre)	29.3	220	City / TCC
62	Residential (1-5 du/acre)	23.2	104	City / TCC
63	Residential (10-20 du/acre)	6.0	102	City / TCC
64	Community	1.3		City / TCC
65	Park	1.0		City / TCC
66	Neighborhood Commercial	1.1		SFD
67	Neighborhood Commercial	1.6		Elisia
68	Residential (10-20 du/acre)	6.6	119	Elisia
69	Residential (6-9 du/acre)	22.4	168	Elisia
70	Residential (10-20 du/acre)	4.5	72	SFD
71	Residential (6-9 du/acre)	13.7	96	SFD
72	School for the Deaf Campus	40.5		SFD
73	Residential (1-5 du/acre)	43.7	175	SFD
PHASE 3 TOTALS		297.1	1621	

CITY DE SANTA FE / TCC	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (1-5 du/acre)	1058	28.7	234.6
Residential (6-9 du/acre)	1783	48.3	236.9
Residential (10-20 du/acre)	847	23.0	49.8
Neighborhood Commercial			3.0
Community			11.6
Office / Business Incubator			15.6
Village Commercial			16.5
Schools			21.2
Park / Open Space			213.4
Major Roads			44.4
CITY DE SANTA FE / TCC TOTAL	3688	100.0	860.0

ELISIA PARTNERSHIP	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (1-5 du/acre)	140	18.7	31.2
Residential (6-9 du/acre)	363	48.5	48.4
Residential (10-20 du/acre)	245	32.0	13.6
Neighborhood Commercial			3.6
Park / Open Space			48.9
Major Roads			4.3
ELISIA PARTNERSHIP TOTAL	748	100.0	150.0

SCHOOL FOR THE DEAF	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (1-5 du/acre)	465	68.8	116.2
Residential (6-9 du/acre)	132	17.2	18.9
Residential (10-20 du/acre)	168	22.0	10.5
Neighborhood Commercial			1.1
School			40.5
Park / Open Space			61.9
Major Roads			11.9
SCHOOL FOR THE DEAF TOTAL	765	100.0	261.0

PRATER	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (6-9 du/acre)	15	100.0	2.5
PRATER TOTAL	15	100.0	2.5

SANTA FE PUBLIC SCHOOLS	UNITS	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Schools				57.8
SANTA FE PUBLIC SCHOOLS TOTAL				57.8

PRC AREA	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (1-5 du/acre)	1663	31.9	389.0
Residential (6-9 du/acre)	2293	44.0	306.7
Residential (10-20 du/acre)	1260	24.0	73.9
Neighborhood Commercial			7.7
Community			11.6
Office / Business Incubator			15.6
Village Commercial			16.5
Schools			132.5
Park / Open Space			324.2
Major Roads			60.6
PRC TOTAL	5216	100.0	1331.3
Park / Open Space acreage per dwelling unit 0.62			

HERRERA ASSOCIATES * (not included in PRC request)	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Multifamily Residential (RM-1)	390	100.0	35.5
General Commercial (C-2)			34.5
Park / Open Space			#
Major Roads			#
SEE NOTE # 2			
HERRERA ASSOCIATES TOTAL	390	100.0	70.0

DR. HERNANDEZ * (not included in PRC request)	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Multifamily Residential (RM-1)	200	100.0	10.0
General Commercial (C-2)			5.4
Light Industrial (I-1)			4.6
Park / Open Space			#
Major Roads			#
SEE NOTE # 3			
DR. HERNANDEZ TOTAL	200	100.0	20.0

ANNEXATION AREA	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (1-5 du/acre)	1663	28.7	382.0
Residential (6-9 du/acre)	2293	39.5	306.7
Residential (10-20 du/acre)	1850	31.8	73.9
Neighborhood Commercial			7.7
Community			11.6
Office / Business Incubator			15.6
Village Commercial			16.5
Multifamily Residential (RM-1)			45.5
General Commercial (C-2)			34.5
Light Industrial (I-1)			4.6
Schools			132.5
Park / Open Space			324.2
Major Roads			60.6
ANNEXATION AREA TOTAL	5806	100.0	1421.3
Gross Density of Annexation Area 4.1 du/acre			

NOTES:

- LOTS FRONTING ON CERRILLOS ROAD SHALL COMPLY WITH THE CERRILLOS ROAD HIGHWAY CORRIDOR.
- FOR PHASING PLAN AND DEVELOPMENT PROGRAM SEE ABOVE. SET ALSO RESIATED ANNEXATION AGREEMENT ENTITLED "TIERRA CONTENTA, WOLGAMOOX) SUBDIVISION AND CONTIGUOUS LAND (EAST)" FOR CONDITIONS OF DEVELOPMENT.
- AT THE TIME OF APPLICATION FOR PLAT OR REZONING, A SYSTEM OF APPROPRIATELY SCALED LOCAL ROADS SHALL BE ESTABLISHED WHICH CONNECT OR ARE SUBMITTED OUT TO PERMIT LATER CONNECTION TO ADJOINING LOCAL ROADS OR PROJECTS WITHIN OR NEXT TO TIERRA CONTENTA.
- ON A PHASE BY PHASE BASIS, SUBSEQUENT PLATS SHALL ILLUSTRATE STORM WATER MANAGEMENT SYSTEMS ACCEPTABLE TO THE CITY WHICH INCLUDE FACILITY DESIGN AND MAINTENANCE PROGRAMS.
- FOR EACH PHASE OF DEVELOPMENT, BUFFERS ACCEPTABLE TO THE PLANNING COMMISSION SHALL BE PROVIDED TO ADJACENT COUNTY RESIDENTIAL USES.
- FOR FINAL SUBDIVISION PLATS OR DEVELOPMENT PLANS (IN THE CASE OF MULTI-FAMILY), THE DISPOSITION OF LANDS OVER 30% THAT ARE NOT LOCATED IN THE PUBLIC OPEN SPACE SYSTEM SHALL BE CLARIFIED. LANDS OUTSIDE THE OPEN SPACE SYSTEM THAT ARE OVER 30% SHALL BE IDENTIFIED AS REMAINING UNDISTURBED FOR THE CITY CODE OR AS REQUIRING A VARIANCE.
- SUBMITTALS SHALL BE PREPARED ON A PHASE BY PHASE BASIS FOR IMPROVEMENT PLANS, ANNEXATION PLANS (INCLUDING USE OF NATIVE PLANTS) AND IRRIGATION PLANS, (INCLUDING RENOVATION AND USE OF EFFLUENT WATER) IN PARKS, OPEN SPACE, WALKWAYS, DRAINAGE, AND COMMUNITY FACILITIES. THE CITY PARKS AND PUBLIC WORKS DEPARTMENTS SHALL REVIEW THE SUBMITTALS TO DETERMINE ACCEPTABLE PLANS.
- THERE SHALL BE ENTRANCE WAYS OR TRAIL HEADS TO PROVIDE CONVENIENT ACCESS TO THE NEIGHBORHOOD AND COMMUNITY PARKS LOCATED WITHIN THE URBAN PARK.

- ON A PHASE BY PHASE BASIS, THE CITY PARKS DEPARTMENT SHALL RECOMMEND SIZE AND DEVELOPMENT CRITERIA FOR PARK IMPROVEMENTS.
- ROADS WILL BE CONSTRUCTED CONSISTENT WITH CITY CODE OR VARIANCES FROM THE CITY CODE SHALL BE OBTAINED FROM CITY HALL.
- FOR AMENDED MASTER PLAN SEE SHEET 4 OF 20. SEE ALSO RESIATED ANNEXATION AGREEMENT ENTITLED "TIERRA CONTENTA, WOLGAMOOX) SUBDIVISION AND CONTIGUOUS LAND (EAST)" FOR CONDITIONS OF DEVELOPMENT.
- HERRERA PROPERTIES: FOR CONDITIONS OF APPROVAL SEE CASE ZAI993-32 AND ZAI993-33, APPROVED BY THE CITY COUNCIL ON FEB. 23, 1994, AND RESTATED AGREEMENT.
- HERNANDEZ PROPERTIES FOR CONDITIONS OF APPROVAL SEE CASE ZAI993-29 AND ZAI993-31, APPROVED BY THE CITY COUNCIL ON FEB. 23, 1994, AND RESTATED AGREEMENT.
- FOR THE PHASING PLAN TIME PERIOD, SEE THE ANNEXATION AGREEMENT FOR THE FOLLOWING: TIME PERIOD FOR PHASING PLAN, SCHEDULE OF IMPROVEMENTS AND THE SCHEDULE OF LAND TO BE DEDICATED TO THE CITY OF SANTA FE.
- DEVELOPMENT WITHIN THE PRC SHALL COMPLY WITH THE APPROVED DESIGN CONDITIONS. (PHASE 1A APPROVED BY THE CITY COUNCIL ON NOVEMBER 9, 1994.)



APPROVED BY THE CITY COUNCIL
ON FEBRUARY 23, 1994.

Arthur J. Jimenez Mayor Date 1/16/94
Yolanda J. Niguel City Clerk Date 1/16/94
Genevieve Price City Planner Date 1/16/94

1122779

REVISED
DEVELOPMENT PROGRAM

TIERRA CONTENTA
SANTA FE, NEW MEXICO
SHEET 5 OF 20

1122780

EXHIBIT 3

EXHIBIT 3
 SCHEDULE OF IMPROVEMENTS FOR PHASE ONE

PROJECT DESCRIPTION	TYPE*	FUNDING SOURCE
<u>Phase One - Roads</u>		
Academy Road; improve from Tierra Contenta property line to Cerrillos Rd with intersection improvements at South Meadows and Cerrillos; approx. 3,500'	SR	City; Tierra; NMSD Assigns;
Academy Road; improve from Paseo del Sol to Tierra Contenta east property line; approx. 1,700'	OP	Tierra;
Academy Road; improve from Paseo del Sol to TCC west property line; approx. 1,350'	OP	Tierra;
Academy Road from TCC property line to Country Club Road; approx. 2,150'	OP	Elisia;
Country Club Road from Airport Road to Academy Road; 3,900'	SR & OP	Tierra; Elisia;
<u>Phase One - Water</u>		
12" water line along Academy Road from Paseo del Sol to TCC west property line; app. 1,350'	OP	Tierra;
12" water line along Academy Road from TCC property line to Country Club Road; approx 2,150'	OP	Elisia;
<u>Phase One - Sewer</u>		
8" line extending down Country Club Road, from Elisia prop to 36" trunk sewer; 1,700'	SR & OP	Tierra; Elisia;
<u>Phase One - Parks</u>		
Multipurpose play field and park development on elementary school site	OP	Board of Education;

Plaza park development
in Village Center

OP Tierra;1122782

Neighborhood park
development

OP City;

* SR indicates major infrastructure improvements which are site related but are not physically located on the property.

OP indicates required spine infrastructure improvements which are located on the property.

EXHIBIT 3 (Cont)
SCHEDULE OF IMPROVEMENTS FOR PHASE TWO

PROJECT DESCRIPTION	TYPE*	FUNDING SOURCE
<u>Phase Two - Roads</u>		
Academy Road; from Country Club Rd to Bypass, with an at-grade intersection; 7,200'	OP	Tierra;
Golf Club Road from Airport Rd to Academy Road; 5,200'	OP	Tierra;
Plaza Central road, from Golf Club to Academy; 4,900'	OP	Tierra;
**Ocate Road from Paseo del Sol to Cerrillos Rd; 3,700'	SR & OP	Hernandez; Herrera; NMSD Assigns;
Extension of Academy Rd east of Cerrillos to an intersection with Richards Ave.	OS	City;
South Meadows Rd extension from Airport Road north to Rufina;	OS	City;
Rufina Street Extension	OS	City;
<u>Phase Two - Water</u>		
12" water line along Academy from Country Club to Golf Club	OP	Tierra;
12" water line along Golf Club Road from Airport to Academy	OP	Tierra;
12' water line loop along Plaza Central road, 8,400'	OP	Tierra;
<u>Phase Two - Sewer</u>		
8" line along Academy Road from Country Club to Golf Club	OP	Tierra;
8" line along Golf Club Rd from Airport Rd to Academy; approx 4,800'	OP	Tierra;
8" line along Plaza Central road; approx 3,400'	OP	Tierra;

Phase Two - Parks

Neighborhood park development	OP	City;
Community park development	OP	City;
Plaza park development in Village Center;	OP	Elisia;
Plaza park development in Town Center	OP	Tierra;
Bike Trail and Pedestrian Path System (North and South Branches - to Cerrillos Rd)	SR & OP	Tierra; State of New Mexico; City; Elisia; Herrera; Hernandez; NMSD Assigns;

* SR indicates major infrastructure improvements which are site related but are not physically located on the property.

OP indicates required spine infrastructure improvements which are located on the property.

OS indicates road improvements which are off-site, but are system-side improvements which will carry some of the traffic generated by Tierra Contenta.

** Timing of Ocate Road construction is dependent upon development of the adjoining properties, both of which are not subject to the phasing plan. Consequently, road construction could occur in any of the three phases.

EXHIBIT 3 (Cont)
 SCHEDULE OF IMPROVEMENTS FOR PHASE THREE

PROJECT DESCRIPTION	TYPE*	FUNDING SOURCE
<u>Phase Three - Roads</u>		
Paseo del Sol Loop from Ocate Rd to Academy Rd; 7,100'	OP	Tierra; Elisia; NMSD Assigns;
**Herrera Rd from Cerrillos Rd to Paseo del Sol Loop; 3,100'	OP	Herrera; NMSD Assigns;
<u>Phase Three - Water</u>		
**12" water line along Herrera Rd to Paseo del Sol	OP	Herrera; NMSD Assigns;
12" water line along Paseo del Sol Loop, from Ocate to Academy Rd	OP	Tierra; Elisia; NMSD Assigns;
***Water tank construction and line extension from locations east Cerrillos Road to TC property	OS	City; Other owners east of property;
<u>Phase Three - Sewer</u>		
***16" trunk sewer line along south branch of Arroyo Chamiso from Cerrillos to Bypass	SR & OP	City; Herrera; Hernandez; Tierra; Elisia; NMSD Assigns; Other owners south of the property;
***24" trunk sewer line from location east of Cerrillos Rd to TC property line	OS	City; Other owners east of the property;
8" sewer line along Paseo del Sol Loop, from Ocate to Academy	OP	Tierra; Elisia; NMSD Assigns;
<u>Phase Three - Parks</u>		
Multipurpose play field and park development on elementary school site	OP	Board of Education;
Plaza park development		

1122786

in Village Center;

OP Tierra;

Neighborhood park
development

OP City;

* SR indicates major infrastructure improvements which are site related but are not physically located on the property.

OP indicates required spine infrastructure improvements which are located on the property.

OS indicates road improvements which are off-site, but are system-wide improvements which will carry some of the traffic generated by Tierra Contenta.

** Timing of Herrera Road construction and related water system improvements are dependent upon the development of the adjoining property. This property is not subject to the phasing plan. Consequently, these improvements could occur in any of the three phases.

*** Timing of the major water and sewer system improvements may be accelerated due to City sponsored policy initiatives. Consequently, actual improvements could occur in any of the three phases.

TIERRA CONTENTA PHASE 3A MASTER PLAN AMENDMENT #1

SANTA FE, NM 87507
SECTION 13 & 14, T 16 N, R 8 E, N.M.P.M.

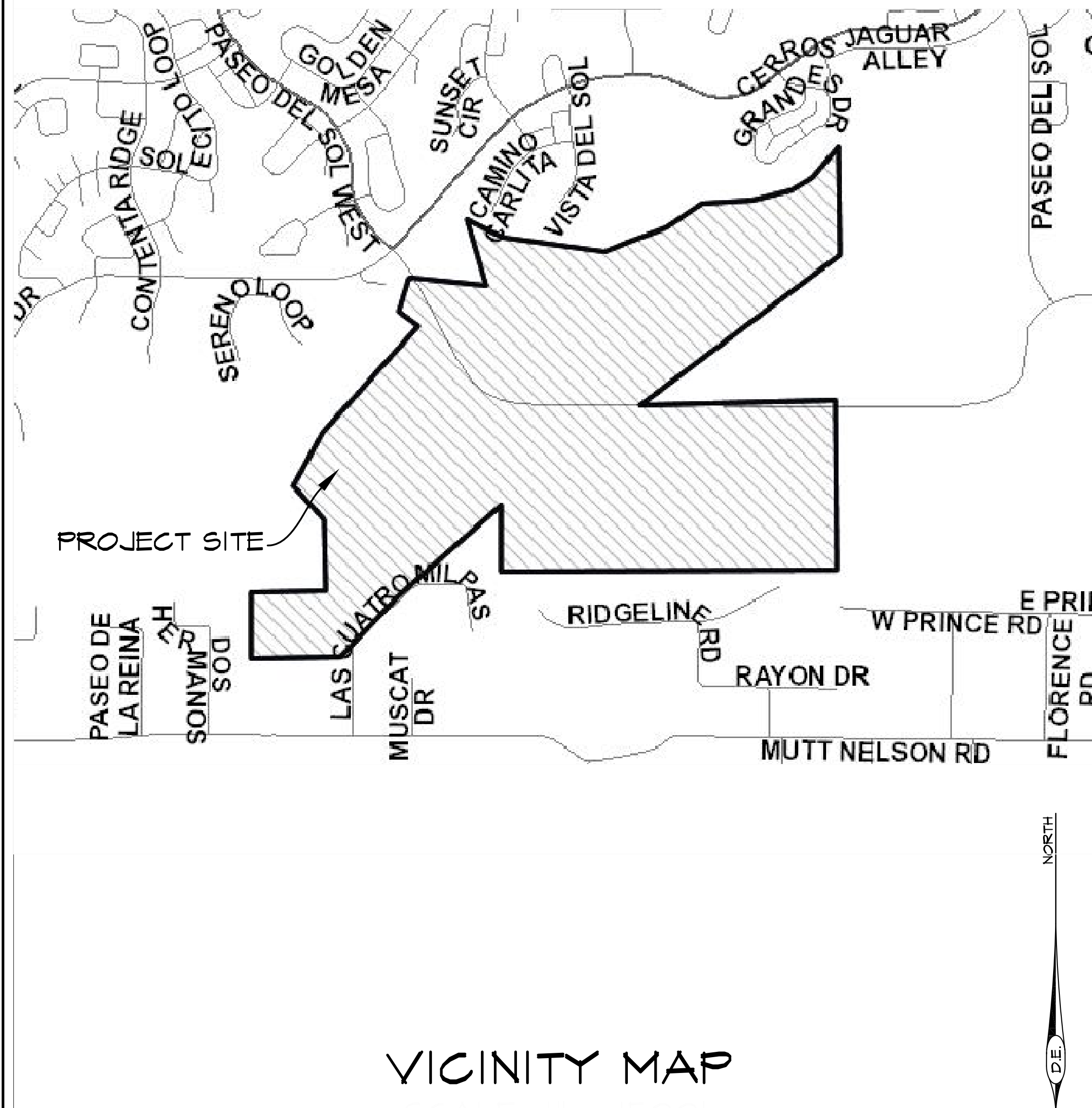


EXHIBIT G5

SHEET LIST

1	COVER SHEET
2 - 5	EXISTING CONDITIONS/TOPOGRAPHY
6A - 6B	APPROVED MASTER PLAN
7A - 7B	MASTER PLAN AMENDMENT #1, PHASE 3A
8	ROADWAY SECTIONS
9	WATER AND SANITARY SEWER MASTER PLAN

OWNERS:

Tierra Contenta
TIERRA CONTENTA CORPORATION
PMB #220 369 MONTEZUMA
SANTA FE, NEW MEXICO 87501

CIVIL ENGINEERING:

DESIGN ENGINEITY



LAND PLANNING:



PLANNING:



SURVEYING:

SANTA FE SURVEYING COMPANY
P.O. BOX 2919, SANTA FE, N.M. 87504, 1210 LUISA ST. SUITE 8
PHONE (505)-992-3211, MOBILE (505)-660-2659, FAX (505)-992-9905

JUNE 21, 2021
REVISIONS

DATE	BY	DATE	BY

DEVELOPMENT/INFRASTRUCTURE BUILDING PERMIT ADDRESS:

TIERRA CONTENTA PHASE 3A - MASTER PLAN AMENDMENT #1

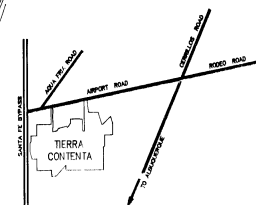
LEGEND

292036

- AREA = 73.90 AC. [Pattern] RESIDENTIAL - 10-20 DU/AC. (AVERAGE 17 DU/AC.)
- AREA = 304.70 AC. [Pattern] RESIDENTIAL - 6-9 DU/AC. (AVERAGE 7.40 DU/AC.)
- AREA = 362.00 AC. [Pattern] RESIDENTIAL - 1-5 DU/AC. (AVERAGE 4.50 DU/AC.)
- AREA = 16.00 AC. [Pattern] VILLAGE COMMERCIAL
- AREA = 7.70 AC. [Pattern] NEIGHBORHOOD COMMERCIAL
- AREA = 16.00 AC. [Pattern] OFFICE/BUSINESS INCUBATOR
- AREA = 11.00 AC. [Pattern] COMMUNITY
- AREA = 132.00 AC. [Pattern] SCHOOL
- AREA = 324.20 AC. [Pattern] PARK AND OPEN SPACE
- AREA = 60.60 AC. [Pattern] MAJOR ROADWAYS

TOTAL ACREAGE

1331.30 ACRES±



VICINITY MAP
NOT TO SCALE

APPROVED BY THE CITY COUNCIL
ON FEBRUARY 23, 1994.

Robbie Jimenez 12/6/94
Mayor Date
Yolanda y Vigil 12/6/94
City Clerk Date
Glance Price 12/6/94
City Planner Date



Mazria Associates, Inc.
The Flance Company
Calthorpe Associates
Jorge Gonzalez & Associates
Campbell Okuma Perkins Associates, Inc.
Housing Support Inc.
The Enterprise Foundation

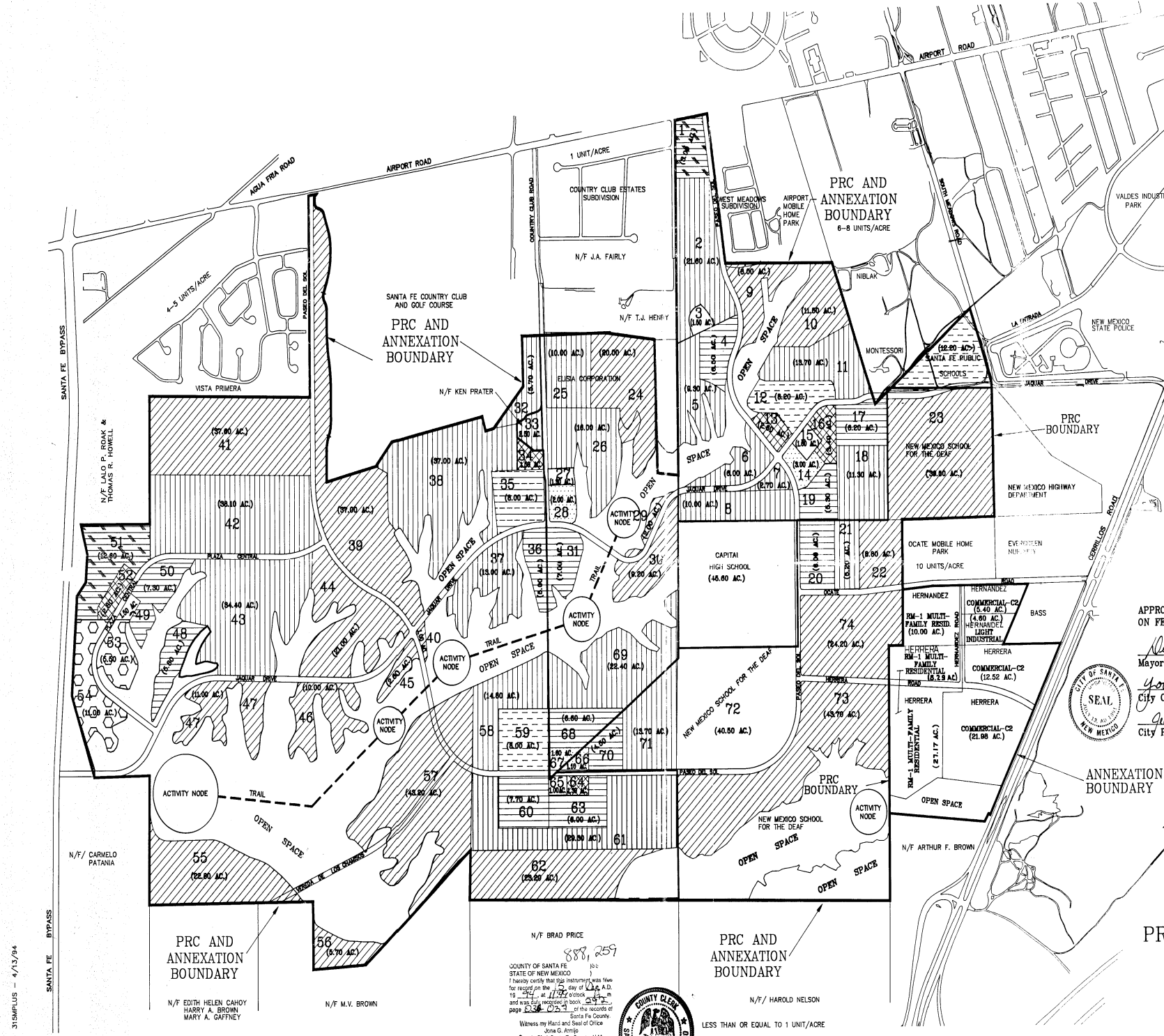
REVISED MASTER PLAN PRC AND ANNEXATION



250 0 500 1000
1/8 MILE

TIERRA CONTENTA
SANTA FE, NEW MEXICO

SHEET 6A



888,259
COUNTY OF SANTA FE
STATE OF NEW MEXICO
I hereby certify that this instrument was filed for record on the 23 day of February, A.D. 1994 at 11:42 o'clock AM and recorded in book 3572, page 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



NO.	DATE	REVISION	BY
1	12-20-93	MAZRIA ADDITIONS	JGBA
2	1-5-94	CTY ADDITIONS(PORTER)	JGBA

LESS THAN OR EQUAL TO 1 UNIT/ACRE

LESS THAN OR EQUAL TO 1 UNIT/ACRE

315 SUPPLIS - 4/13/94

PHASE 1 DEVELOPMENT PROGRAM AND TRACT DATA

TRACT	LAND USE	NET ACREAGE	NO. OF UNITS	OWNER
1	Office / Business Incubator	3.0		City / TCC
2	Residential (6-9 du/acre)	21.6	162	City / TCC
3	Park	1.5		City / TCC
4	Residential (10-20 du/acre)	6.5	111	City / TCC
5	Residential (6-9 du/acre)	9.3	70	City / TCC
6	Residential (6-9 du/acre)	6.0	45	City / TCC
7	Residential (6-9 du/acre)	2.7	24	City / TCC
8	High School Expansion	10.0	36	City / TCC
9	Residential (1-5 du/acre)	8.0	52	City / TCC
10	Residential (1-5 du/acre)	11.5	96	City / TCC
11	Residential (6-9 du/acre)	13.7	103	City / TCC
12	Elementary School	8.2		City / TCC
13	Community	2.6		City / TCC
14	Neighborhood Commercial	3.0		City / TCC
15	Park	1.6		City / TCC
16	Community	3.4		City / TCC
17	Residential (10-20 du/acre)	6.2	105	City / TCC
18	Residential (6-9 du/acre)	11.3	85	City / TCC
19	Residential (10-20 du/acre)	5.3	90	City / TCC
20	Residential (10-20 du/acre)	6.0	96	SFD
21	Residential (6-9 du/acre)	5.2	36	SFD
22	Residential (1-5 du/acre)	8.8	35	SFD
23	Residential (1-5 du/acre)	39.5	158	SFD
24	Residential (1-5 du/acre)	20.0	90	Elisia
25	Residential (6-9 du/acre)	10.0	75	Elisia
26	Residential (6-9 du/acre)	16.0	120	Elisia
29	Residential (1-5 du/acre)	2.0	9	Elisia
30	Residential (1-5 du/acre)	9.2	41	Elisia
32	Residential (6-9 du/acre)	5.7	43	City / TCC
33	Residential (6-9 du/acre)	2.5	15	Prater
34	Community	1.5		City / TCC

PHASE 1 TOTALS 261.8 1601

PHASE 2 DEVELOPMENT PROGRAM AND TRACT DATA

TRACT	LAND USE	NET ACREAGE	NO. OF UNITS	OWNER
27	Park	1.3		Elisia
28	Neighborhood Commercial	2.0		Elisia
31	Residential (10-20 du/acre)	7.0	126	Elisia
35	Elementary School	8.0		City / TCC
36	Residential (10-20 du/acre)	5.0	85	City / TCC
37	Residential (6-9 du/acre)	13.0	98	City / TCC
38	Residential (6-9 du/acre)	37.0	278	City / TCC
39	Residential (1-5 du/acre)	37.0	167	City / TCC
40	Residential (1-5 du/acre)	1.0	5	City / TCC
41	Residential (1-5 du/acre)	37.6	169	City / TCC
42	Residential (6-9 du/acre)	38.1	286	City / TCC
43	Residential (6-9 du/acre)	34.4	258	City / TCC
44	Residential (1-5 du/acre)	21.0	95	City / TCC
45	Residential (1-5 du/acre)	2.6	12	City / TCC
46	Residential (1-5 du/acre)	10.0	45	City / TCC
47	Residential (1-5 du/acre)	11.0	50	City / TCC
48	Residential (10-20 du/acre)	5.8	99	City / TCC
49	Park	1.5		City / TCC
50	Residential (10-20 du/acre)	7.3	124	City / TCC
51	Office / Business Incubator	12.6		City / TCC
52	Community	2.8		City / TCC
53	Village Commercial	5.5		City / TCC
54	Village Commercial	11.0		City / TCC
74	Residential (1-5 du/acre)	24.2	97	SFD

PHASE 2 TOTALS 336.7 1994

PHASE 3 DEVELOPMENT PROGRAM AND TRACT DATA

TRACT	LAND USE	NET ACREAGE	NO. OF UNITS	OWNER
55	Residential (1-5 du/acre)	22.8	103	City / TCC
56	Residential (1-5 du/acre)	5.7	26	City / TCC
57	Residential (1-5 du/acre)	43.2	194	City / TCC
58	Residential (6-9 du/acre)	14.8	111	City / TCC
59	Private School	8.0		City / TCC
60	Residential (10-20 du/acre)	7.7	131	City / TCC
61	Residential (6-9 du/acre)	29.3	220	City / TCC
62	Residential (1-5 du/acre)	23.2	104	City / TCC
63	Residential (10-20 du/acre)	6.0	102	City / TCC
64	Community	1.3		City / TCC
65	Park	1.0		City / TCC
66	Neighborhood Commercial	1.1		SFD
67	Neighborhood Commercial	1.6		Elisia
68	Residential (10-20 du/acre)	6.6	119	Elisia
69	Residential (6-9 du/acre)	22.4	168	Elisia
70	Residential (10-20 du/acre)	4.5	72	SFD
71	Residential (6-9 du/acre)	13.7	96	SFD
72	School for the Deaf Campus	40.5		SFD
73	Residential (1-5 du/acre)	43.7	175	SFD

PHASE 3 TOTALS 297.1 1621

CITY OF SANTA FE/TCC	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (1-5 du/acre)	1058	28.7	234.6
Residential (6-19 du/acre)	1783	48.3	236.9
Residential (10-20 du/acre)	847	23.0	49.8
Neighborhood Commercial			3.0
Community			11.6
Office / Business Incubator			15.6
Village Commercial			16.5
Schools			34.2
Park / Open Space			213.4
Major Roads			44.4
CITY OF SANTA FE / TCC TOTAL	3688	100.0	860.0

ELISIA PARTNERSHIP	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (1-5 du/acre)	140	18.7	31.2
Residential (6-19 du/acre)	363	48.5	48.4
Residential (10-20 du/acre)	245	32.8	13.6
Neighborhood Commercial			3.6
Park / Open Space			48.9
Major Roads			4.3
ELISIA PARTNERSHIP TOTAL	748	100.0	150.0

SCHOOL FOR THE DEAF	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (1-5 du/acre)	465	60.8	116.2
Residential (6-19 du/acre)	132	17.2	18.9
Residential (10-20 du/acre)	168	22.0	10.5
Neighborhood Commercial			1.1
School			40.5
Park / Open Space			61.9
Major Roads			11.9
SCHOOL FOR THE DEAF TOTAL	765	100.0	261.0

PRATER	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (6-19 du/acre)	15	100.0	2.5
PRATER TOTAL	15	100.0	2.5

SANTA FE PUBLIC SCHOOLS	UNITS	NO. OF UNITS	% TOTAL ACREAGE
Schools			57.8
SANTA FE PUBLIC SCHOOLS TOTAL			57.8

PRC AREA	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (1-5 du/acre)	1663	31.9	382.0
Residential (6-19 du/acre)	2293	44.0	306.7
Residential (10-20 du/acre)	1260	24.0	73.9
Neighborhood Commercial			7.7
Community			11.6
Office / Business Incubator			15.6
Village Commercial			16.5
Schools			132.5
Park / Open Space			324.2
Major Roads			60.6
PRC TOTAL	5216	100.0	1331.3

HERRERA ASSOCIATES *	NO. OF UNITS	% TOTAL UNITS	ACREAGE
(not included in PRC request)			
Multifamily Residential (RM-1)	390	100.0	35.5
General Commercial (C-2)			34.5
Park / Open Space			*
Major Roads			*
HERRERA ASSOCIATES TOTAL	390	100.0	70.0

DR. HERNANDEZ *	NO. OF UNITS	% TOTAL UNITS	ACREAGE
(not included in PRC request)			
Multifamily Residential (RM-1)	200	100.0	10.0
General Commercial (C-2)			5.4
Light Industrial (I-1)			4.6
Park / Open Space			*
Major Roads			*
DR. HERNANDEZ TOTAL	200	100.0	20.0

ANNEXATION AREA	NO. OF UNITS	% TOTAL UNITS	ACREAGE
Residential (1-5 du/acre)	1663	28.7	382.0
Residential (6-19 du/acre)	2293	39.5	306.7
Residential (10-20 du/acre)	1850	31.8	73.9
Neighborhood Commercial			7.7
Community			11.6
Office / Business Incubator			15.6
Village Commercial			16.5
Multifamily Residential (RM-1)			45.5
General Commercial (C-2)			34.5
Light Industrial (I-1)			4.6
Schools			132.5
Park / Open Space			324.2
Major Roads			60.6
ANNEXATION AREA TOTAL	5806	100.0	1421.3

Gross Density of Annexation Area 4.1 du/acre

NOTES:

- LOTS FRONTING ON CERRILLOS ROAD SHALL COMPLY WITH THE CERRILLOS ROAD HIGHWAY CORRIDOR.
- FOR PHASING PLAN AND DEVELOPMENT PROGRAM SEE ABOVE. SEE ALSO RESTATED ANNEXATION AGREEMENT ENTITLED "TIERRA CONTENTA, WOLGAMOOD SUBDIVISION AND CONTIGUOUS LAND (EAST)" FOR CONDITIONS OF DEVELOPMENT.
- AT THE TIME OF APPLICATION FOR PLAT OR REZONING, A SYSTEM OF APPROPRIATELY SCALED LOCAL ROADS SHALL BE ESTABLISHED WHICH CONNECT OR ARE STUBBED OUT TO PERMIT LATER CONNECTION TO ADJOINING LOCAL ROADS ON PROPERTIES WITHIN OR NEXT TO TIERRA CONTENTA.
- ON A PHASE BY PHASE BASIS, SUBSEQUENT PLATS SHALL ILLUSTRATE STORM WATER MANAGEMENT SYSTEMS ACCEPTABLE TO THE CITY WHICH INCLUDE FACILITY DESIGN AND MAINTENANCE PROGRAMS.
- FOR EACH PHASE OF DEVELOPMENT, BUFFERS ACCEPTABLE TO THE PLANNING COMMISSION SHALL BE PROVIDED TO ADJACENT COUNTY RESIDENTIAL USES.
- FOR FINAL SUBDIVISION PLATS OR DEVELOPMENT PLANS (IN THE CASE OF MULTI-FAMILY), THE DISPOSITION OF LANDS OVER 30% THAT ARE NOT LOCATED IN THE PUBLIC OPEN SPACE SYSTEM SHALL BE CLARIFIED. LANDS OUTSIDE THE OPEN SPACE SYSTEM THAT ARE OVER 30% SHALL BE IDENTIFIED AS REMAINING UNDISTURBED PER THE CITY CODE OR AS REQUIRING A VARIANCE.
- SUBMITTALS SHALL BE PREPARED ON A PHASE BY PHASE BASIS FOR IMPROVEMENT PLANS, VEGETATION PLANS (INCLUDING USE OF NATIVE PLANTS) AND IRRIGATION PLANS (INCLUDING XERISCAPE AND USE OF EFFLUENT WATER) IN PARKS, OPEN SPACE, ROADWAYS, DRAINAGES, AND COMMUNITY FACILITIES. THE CITY PARKS AND PUBLIC WORKS DEPARTMENTS SHALL REVIEW THE SUBMITTALS TO DETERMINE ACCEPTABLE PLANS.
- THERE SHALL BE ENTRANCE WAYS OR TRAIL HEADS TO PROVIDE CONVENIENT ACCESS TO THE NEIGHBORHOOD AND COMMUNITY PARKS LOCATED WITHIN THE URBAN PARK.

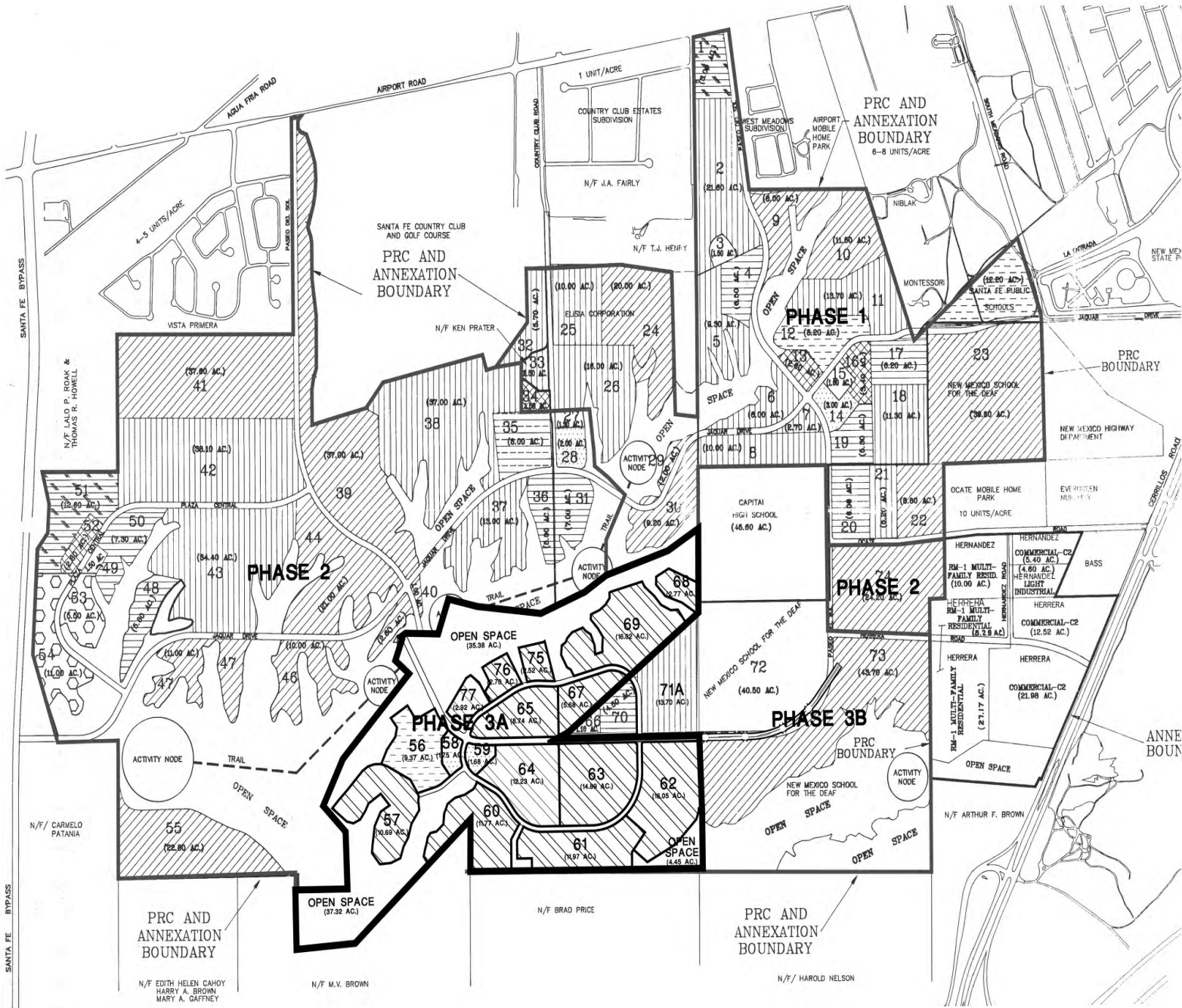
- ON A PHASE BY PHASE BASIS, THE CITY PARKS DEPARTMENT SHALL RECOMMEND SIZE AND DEVELOPMENT CRITERIA FOR PARK IMPROVEMENTS.
- ROADS WILL BE CONSTRUCTED CONSISTENT WITH CITY CODE OR VARIANCES FROM THE CITY CODE SHALL BE OBTAINED FROM CITY HALL.
- FOR AMENDED MASTER PLAN SEE SHEET 4 OF 20. SEE ALSO RESTATED ANNEXATION AGREEMENT ENTITLED "TIERRA CONTENTA, WOLGAMOOD SUBDIVISION AND CONTIGUOUS LAND (EAST)" FOR CONDITIONS OF DEVELOPMENT.
- HERRERA PROPERTIES: FOR CONDITIONS OF APPROVAL SEE CASE ZA1993-32 AND ZA1993-33, APPROVED BY THE CITY COUNCIL ON FEB. 23, 1994, AND RESTATED AGREEMENT.
- HERNANDEZ PROPERTIES FOR CONDITIONS OF APPROVAL SEE CASE ZA1993-29 AND ZA1993-31, APPROVED BY THE CITY COUNCIL ON FEB. 23, 1994, AND RESTATED AGREEMENT.
- FOR THE PHASING PLAN TIME PERIOD, SEE THE ANNEXATION AGREEMENT FOR THE FOLLOWING: TIME PERIOD FOR PHASING PLAN, SCHEDULE OF IMPROVEMENTS AND THE SCHEDULE OF LAND TO BE DEDICATED TO THE CITY OF SANTA FE.
- DEVELOPMENT WITHIN THE PRC SHALL COMPLY WITH THE APPROVED DESIGN GUIDELINES. (PHASE IA APPROVED BY THE CITY COUNCIL ON NOVEMBER 9, 1994.)

APPROVED BY THE CITY COUNCIL ON FEBRUARY 23, 1994.














Arthur Jaramilla 12/16/94
Mayor Date
Yolanda J. Nigro 12/16/94
City Clerk Date
Joanna Piro 12/16/94
City Planner Date

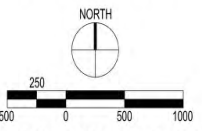
REVISED
DEVELOPMENT PROGRAM
North
250 0 500 1000
1/8 MILE
TIERRA CONTENTA
SANTA FE, NEW MEXICO
SHEET 6B



LEGEND

-  MIXED RESIDENTIAL
-  RESIDENTIAL - 10-20 DU/AC. (AVERAGE 17 DU/AC.)
-  RESIDENTIAL - 6-9 DU/AC. (AVERAGE 7.40 DU/AC.)
-  RESIDENTIAL - 1-5 DU/AC. (AVERAGE 4.50 DU/AC.)
-  VILLAGE COMMERCIAL
-  NEIGHBORHOOD COMMERCIAL
-  OFFICE/BUSINESS INCUBATOR
-  COMMUNITY
-  SCHOOL
-  PARK AND OPEN SPACE
-  MAJOR ROADWAYS

MASTER PLAN AMENDMENT #1 OVERVIEW



**TIERRA CONTENTA
PHASE 3A
SANTA FE, NEW MEXICO
SHEET 7A**








REVISION BOX

NO.	DATE	REVISION	BY
1	12-20-93	MAZRIA ADDITIONS	JG&A
2	1-5-94	CITY ADDITIONS(PORTER)	JG&A

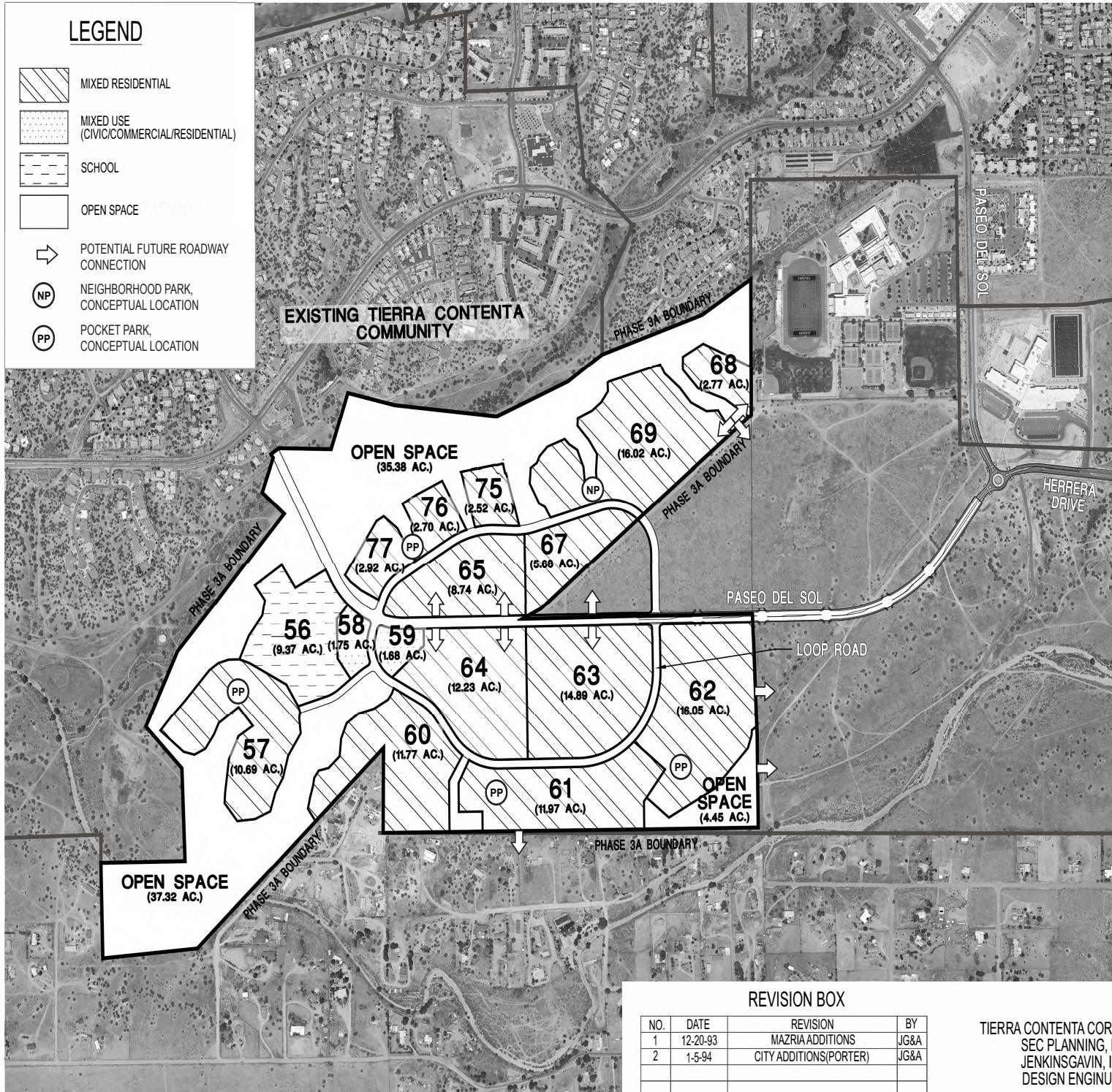
PURPOSE STATEMENT: THE PURPOSE OF TIERRA CONTENTA MASTER PLAN AMENDMENT #1 IS TO ALTER LAND USES AND RESIDENTIAL DENSITIES IN PHASE 3A ONLY.

TIERRA CONTENTA CORPORATION
SEC PLANNING, LLC
JENKINS GAVIN, INC.
DESIGN ENGINEITY

LEGEND

-  MIXED RESIDENTIAL
-  MIXED USE (CIVIC/COMMERCIAL/RESIDENTIAL)
-  SCHOOL
-  OPEN SPACE
-  POTENTIAL FUTURE ROADWAY CONNECTION
-  NEIGHBORHOOD PARK, CONCEPTUAL LOCATION
-  POCKET PARK, CONCEPTUAL LOCATION

EXISTING TIERRA CONTENTA COMMUNITY



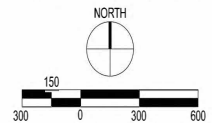
NOTES:

1. FOR DEVELOPMENT PROGRAM, SEE BELOW. SEE ALSO RESTATED ANNEXATION AGREEMENT ENTITLED "TIERRA CONTENTA, WOLMAGOOD SUBDIVISION AND CONTIGUOUS LAND (EAST)" FOR CONDITIONS OF DEVELOPMENT.
2. AT THE TIME OF APPLICATION FOR PLAT, A SYSTEM OF APPROPRIATELY SCALED LOCAL ROADS SHALL BE ESTABLISHED WHICH CONNECT OR ARE STUBBED OUT TO PERMIT LATER CONNECTION TO ADJOINING LOCAL ROADS ON PROPERTIES WITHIN OR NEXT TO TIERRA CONTENTA.
3. SUBSEQUENT PLATS SHALL ILLUSTRATE STORM WATER MANAGEMENT SYSTEMS ACCEPTABLE TO THE CITY, WHICH INCLUDE FACILITY DESIGN AND MAINTENANCE PROGRAMS.
4. FOR FINAL SUBDIVISION PLATS OR DEVELOPMENT PLANS (IN THE CASE OF MULTI-FAMILY), THE DISPOSITION OF LANDS OVER 30% SLOPE THAT ARE NOT LOCATED IN THE PUBLIC OPEN SPACE SYSTEM SHALL BE CLARIFIED. LANDS OUTSIDE THE OPEN SPACE SYSTEM THAT ARE OVER 30% SLOPE SHALL BE IDENTIFIED AS REMAINING UNDISTURBED PER THE CITY CODE OR AS REQUIRING A VARIANCE.
5. SUBMITTALS SHALL BE PREPARED ON A TRACT BY TRACT BASIS FOR IMPROVEMENT PLANS, VEGETATION PLANS (INCLUDING USE OF NATIVE PLANTS) AND IRRIGATION PLANS (INCLUDING XERISCAPE AND USE OF EFFLUENT WATER) IN PARKS, OPEN SPACE, ROADWAYS, DRAINAGES, AND COMMUNITY FACILITIES. THE CITY PARKS AND PUBLIC WORKS DEPARTMENTS SHALL REVIEW THE SUBMITTALS TO DETERMINE ACCEPTABLE PLANS.
6. THE CITY PARKS DEPARTMENT SHALL RECOMMEND SIZE AND DEVELOPMENT CRITERIA FOR PARK IMPROVEMENTS.
7. ROADS WILL BE CONSTRUCTED CONSISTENT WITH CITY CODE OR VARIANCES FROM THE CITY CODE SHALL BE OBTAINED.
8. DEVELOPMENT WITHIN THE PRC SHALL COMPLY WITH THE APPROVED DESIGN GUIDELINES.

PHASE 3A DEVELOPMENT PROGRAM AND TRACT DATA

TRACT	LAND USE	NET ACREAGE	UNITS	DU/ACRE
56	School	9.37	0	0
57	Mixed Residential	10.69	49	4.6
58	Mixed Use (Civic/Commercial/Residential)	1.75	21	12.0
59	Mixed Use (Civic/Commercial/Residential)	1.68	21	12.5
60	Mixed Residential	11.77	60	5.1
61	Mixed Residential	11.97	73	6.1
62	Mixed Residential	16.05	107	6.7
63	Mixed Residential	14.89	275	18.5
64	Mixed Residential	12.23	225	18.4
65	Mixed Residential	8.74	150	17.2
67	Mixed Residential	5.68	40	7.0
68	Mixed Residential	2.77	12	4.3
69	Mixed Residential	16.02	85	5.3
75	Mixed Residential	2.52	11	4.4
76	Mixed Residential	2.70	12	4.4
77	Mixed Residential	2.92	34	11.6
	Open Space	91.09	0	0
PHASE 3A TOTALS		222.84	1175	5.3
MAXIMUM PERMISSIBLE UNITS			1500	6.7

MASTER PLAN AMENDMENT #1



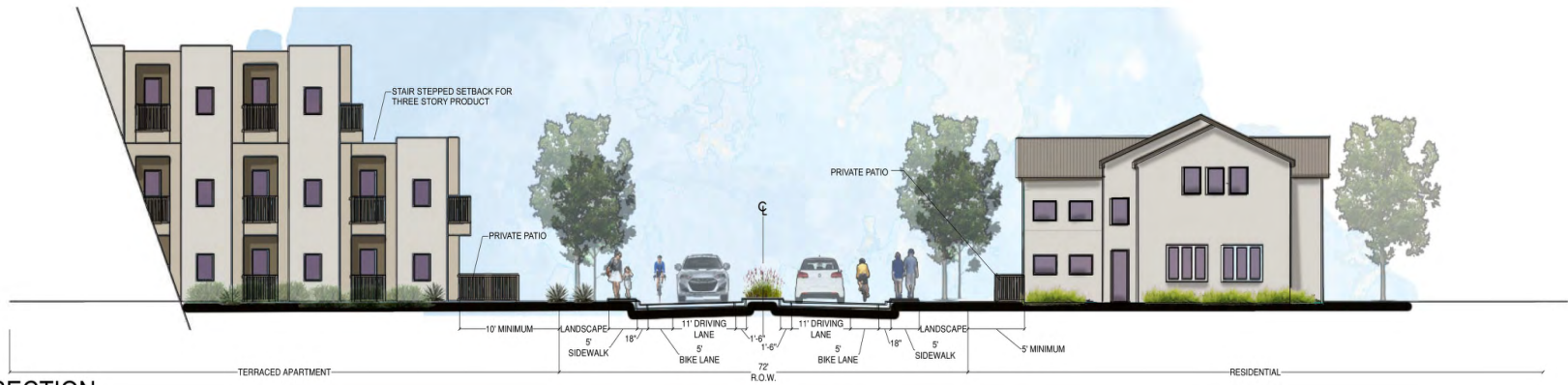
TIERRA CONTENTA
PHASE 3A
SANTA FE, NEW MEXICO

SHEET 7B

REVISION BOX

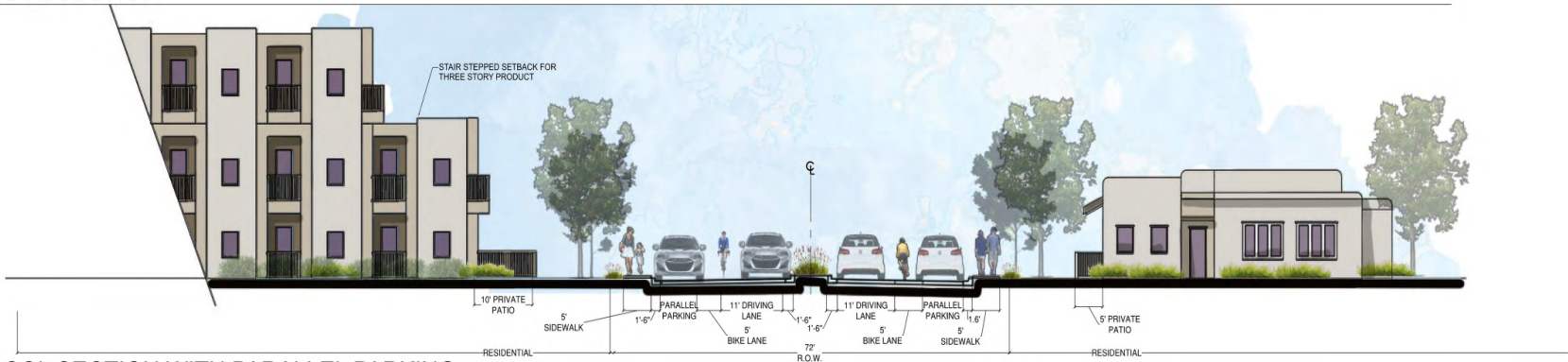
NO.	DATE	REVISION	BY
1	12-20-93	MAZRIA ADDITIONS	JG&A
2	1-5-94	CITY ADDITIONS (PORTER)	JG&A

TIERRA CONTENTA CORPORATION
SEC PLANNING, LLC
JENKINS GAVIN, INC.
DESIGN ENGINEITY



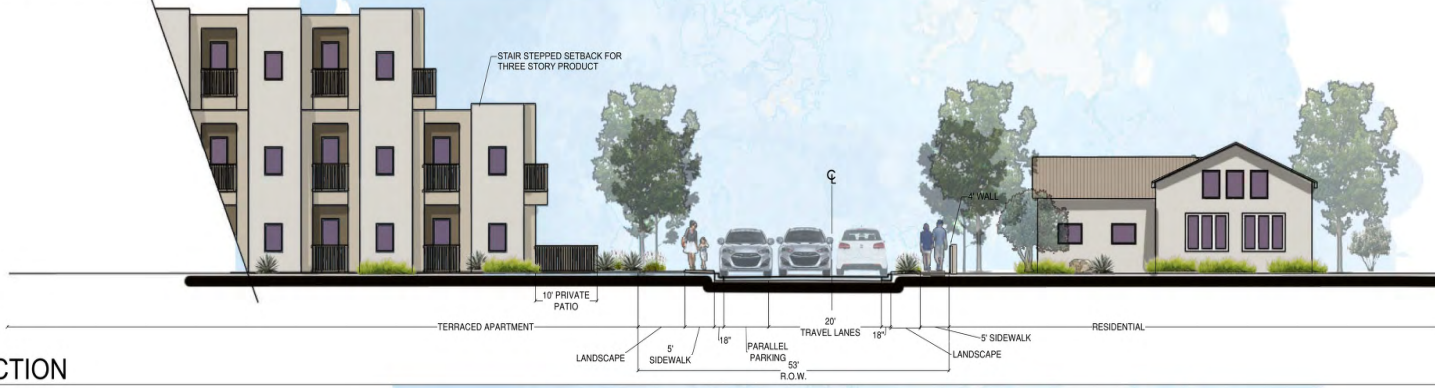
PASEO DEL SOL SECTION

Scale: 1" = 10'-0"



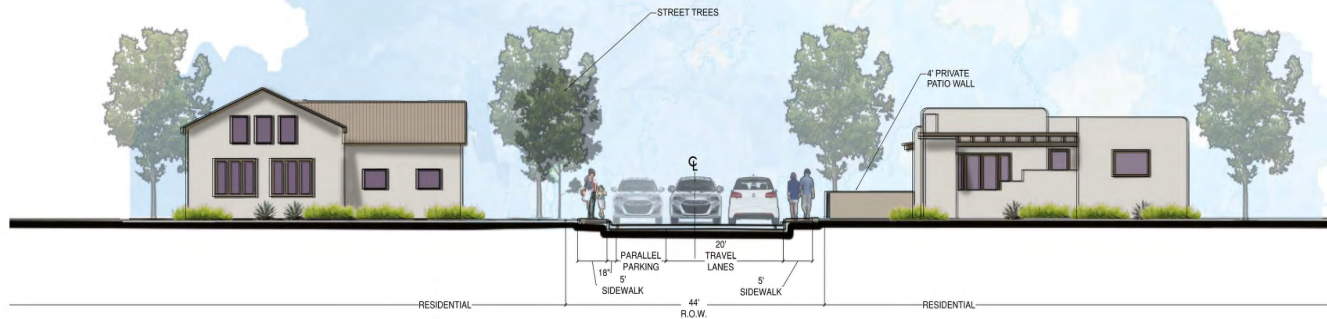
PASEO DEL SOL SECTION WITH PARALLEL PARKING

Scale: 1" = 10'-0"



LOOP ROAD SECTION

Scale: 1" = 10'-0"

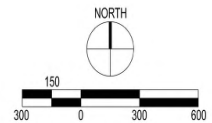


LOCAL STREET SECTION

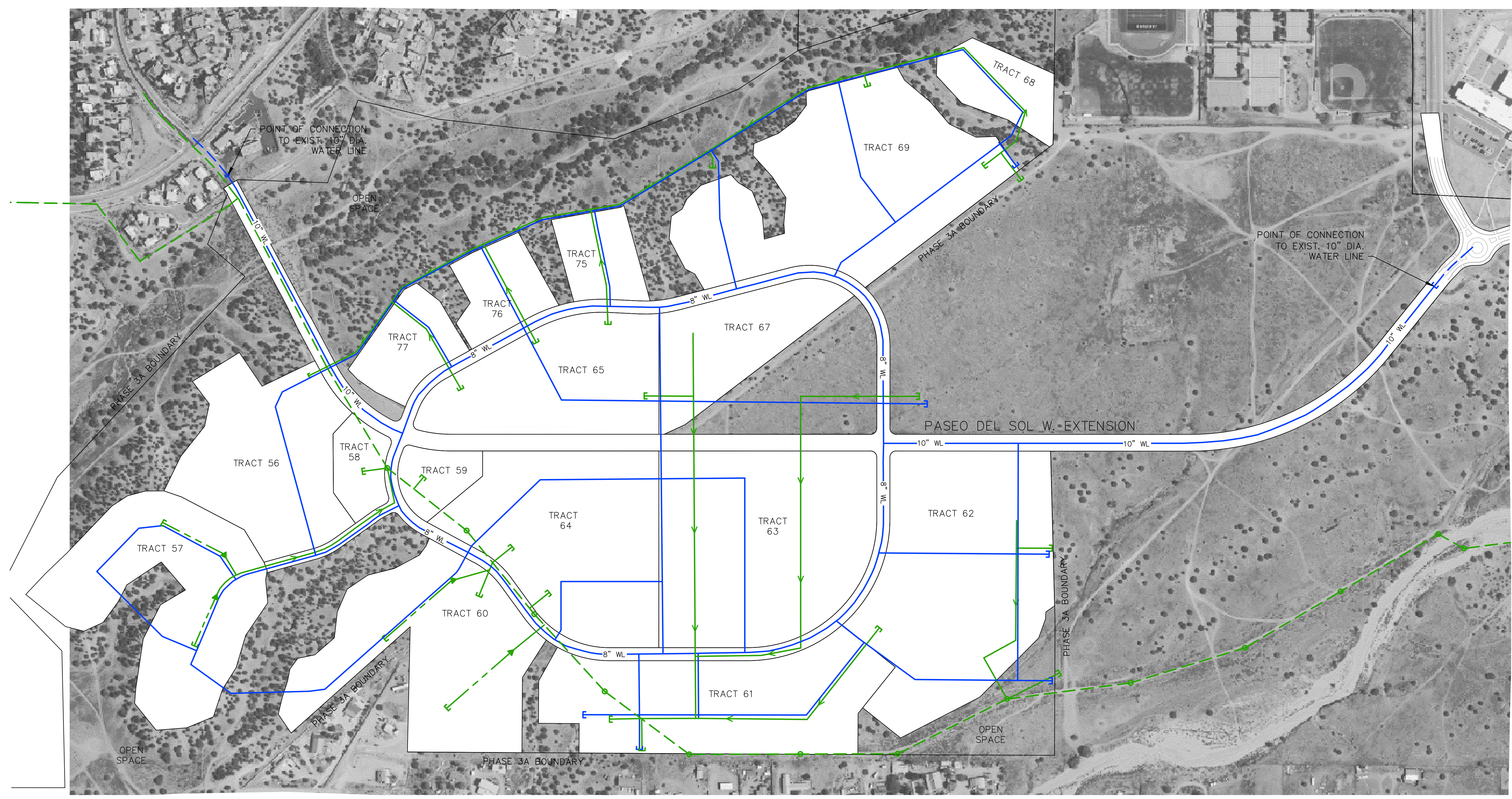
Scale: 1" = 10'-0"

TIERRA CONTENTA CORPORATION
SEC PLANNING, LLC
JENKINS GAVIN, INC.
DESIGN ENGINEITY

**MASTER PLAN
AMENDMENT #1
ROAD SECTIONS**



**TIERRA CONTENTA
PHASE 3A
SANTA FE, NEW MEXICO**

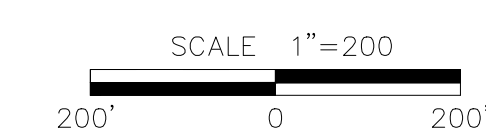


NOTES

1. FINAL WATER LOOP AND SANITARY SEWER COLLECTOR LINE SIZES AND LOCATIONS OUTSIDE OF SHOWN ROAD ALIGNMENTS WILL BE DETERMINED ALONG WITH THE FINAL DEVELOPMENT CONFIGURATION ON EACH PARCEL.
2. FIRE HYDRANT LOCATIONS SHALL BE DETERMINED IN COMPLIANCE WITH APPLICABLE CODES AND FIRE MARSHAL RECOMMENDATIONS DURING THE DESIGN OF PARCEL DEVELOPMENT.
3. PORTIONS OF TRACT 57 AND TRACT 60 WILL REQUIRE LOW PRESSURE SANITARY SEWERS.

KEY

- EXIST. SANITARY SEWER LINE, (ACI)
- PROP. 8" DIAMETER SANITARY SEWER LINE(GRAVITY)
- PROP. LOW-PRESSURE SANITARY SEWER LINE (SIZE TBD)
- EXIST. 10" DIAMETER WATER LINE
- PROP. WATER LINE AS NOTED
- EXIST. SANITARY SEWER MANHOLE
- CAPPED STUB-OUT EXTENSION (FOR FUTURE CONNECTION)
- LOW PRESSURE/GRAVITY FLOW TRANSITION



REVISIONS	
DATE	BY

DESIGN ENGINEITY

1421 LUISA STREET, SUITE C
SANTA FE, NEW MEXICO 87505
(505) 494-9521

**TIERRA CONTENTA—PHASE 3A
MASTER PLAN AMENDMENT**

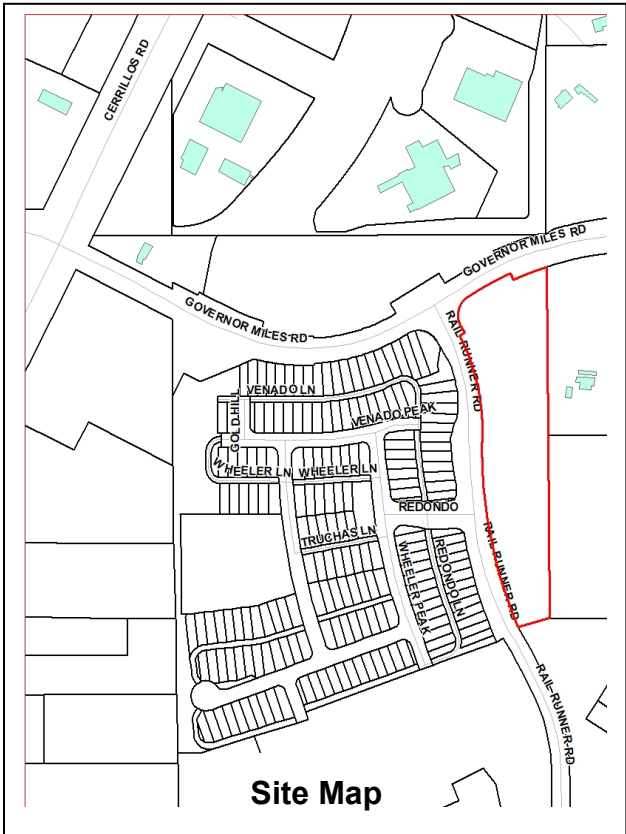
WATER & SANITARY SEWER MASTER PLAN

SCALE	DWG. NO.	DATE
1"=200'		06/21/2021
SHEET NO.		9



Land Use Department Planning Commission Staff Report

Case No:	2021-3811, 2021-3814, 2021-3815, 2021-3816, and 2021-3817
Hearing Date:	August 19, 2021
Applicant:	Pulte Group of New Mexico
Request:	Las Soleras Master Plan Amendments, General Plan Amendment, R-10 Rezoning, Preliminary Development Plan, and Preliminary Subdivision
Location:	Las Soleras Master Plan Tract 13 (4601 Rail Runner Road)
Case Mgr.:	Lee Logston
Zoning:	R-6 (Residential- six dwelling units per acre)
Master Plan:	Las Soleras Master Plan
Pre-app Mtg:	March 25, 2021
ENN Mtg:	April 14, 2021
Proposal:	44 single-family residential lots on approximately 6.8 acres



Case #2021-3811. Villas de Las Soleras Unit 3 Master Plan Amendment. James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of an Amendment to the Las Soleras Master Plan to request a rezoning for Tract 13 from R-6 (Residential- six dwelling units per acre) to R-10 (Residential- ten dwelling units per acre) for approximately 6.8 acres at 4601 Rail Runner Road. The property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136).

Case #2021-3814. Villas de Las Soleras Unit 3 General Plan Amendment. James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of a General Plan Amendment to amend the existing General Plan Future Land Use classification for approximately 6.8 acres from Low Density Residential (3 to 7 dwelling units per acre) to Medium Density Residential (7 to 12 dwelling units per acre) at 4601 Rail Runner Road. The property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136).

Case #2021-3815. Villas de Las Soleras Unit 3 Rezoning. James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests a rezoning from R-6 (Residential- six dwelling unit per acre) to R-10 (Residential- ten dwelling unit per acre) for a property located at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136).

Case #2021-3816. Villas de Las Soleras Unit 3 Preliminary Development Plan. James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests preliminary development plan approval for a 44-lot single-family home subdivision at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136).

Case #2021-3817. Villas de Las Soleras Unit 3 Preliminary Subdivision. James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of a preliminary subdivision plat for 44 single-family residential lots located at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136).

I. RECOMMENDATION:

The Commission should **RECOMMEND APPROVAL BY THE GOVERNING BODY** of the Las Soleras Master Plan Amendment (Case #2021-3811).

The Commission should **RECOMMEND APPROVAL BY THE GOVERNING BODY** of the General Plan Amendment (Case #2021-3814).

The Commission should **RECOMMEND APPROVAL BY THE GOVERNING BODY** of the rezoning to R-10 (Case #2021-3815)

Staff recommends **APPROVAL** of the preliminary development plan (Case #2021-3816), subject to conditions of approval and technical corrections outlined in this report, and Governing Body approval of all other Applicant requests.

Staff recommends **APPROVAL** of the preliminary subdivision plat for Case #2020-2915, with the conditions of approval and technical corrections listed in this report, and Governing Body approval of all other Applicant requests.

A recommendation for **denial** of the Las Soleras Master Plan Amendment, the General Plan Amendment, and/or the rezoning request would render the proposed preliminary development plan and preliminary subdivision infeasible, in which case a **recommendation for denial of the preliminary development plan and preliminary subdivision would be appropriate.**

Ten motions will be required, in the following order, for this case:

- Recommend the Governing Body approve or deny the Las Soleras Master Plan Amendment for (Case #2021-3811).
- Recommend the Governing Body approve or deny the General Plan Amendment (Case #2021-3814).
- Recommend the Governing Body approve or deny the Rezoning (Case #2021-3815).
- Approve or deny the Preliminary Development Plan (Case #2021-3816), subject to the conditions of approval and technical corrections recommended by staff.
- Approve or deny the Preliminary Subdivision (Case #2021-3817), subject to the conditions of approval and technical corrections recommended by staff.
- Approve or deny the Findings of Fact and Conclusions of Law for Case #2021-3811 (Exhibit A(1)).
- Approve or deny the Findings of Fact and Conclusions of Law for Case #2021-3814 (Exhibit A(2)).
- Approve or deny the Findings of Fact and Conclusions of Law for Case #2021-3815 (Exhibit A(3)).
- Approve or deny the Findings of Fact and Conclusions of Law for Case #2021-3816 (Exhibit A(4)).
- Approve or deny the Findings of Fact and Conclusions of Law for Case #2021-3817 (Exhibit A(5)).

II. CONDITIONS OF APPROVAL

Staff recommends the following conditions of approval to **the preliminary development plan** (Case #2021-3816) and **the preliminary subdivision** (Case #2021-3817)

#	Condition of Approval	Dept. or Division	To be completed:
1	Clarify access to Lots 1 and 2. Access easement stops short of driveways.	Land Use/ADA Site and Current Planning	Prior to Final Development Plan
2	Development Plan and subdivision approval is dependent on Governing Body approval of all other aspects of the Applicant's request.	Land Use/Current Planning	Prior to Final Development Plan
3	Expand the sidewalk on Governor Miles to a 10-foot multiuse trail as a section of the planned Arroyo Chamiso Trail. (2021-3816)	Land Use/MPO	Prior to Final Development Plan Recordation
4	Add a pedestrian connection from Governor Miles to the cul-de-sac through the drainage easement. (2021-3816)	Land Use/MPO	Prior to Final Development Plan Recordation
5	Plat note 11 states no on lot ponding is required. Please state up to how many square feet of impervious surface is allowed on each lot before on-lot ponding is required. Drainage report should clearly show how much impervious surface on each lot was used for hydraulic	Land Use/Terrain Management	Prior to Final Subdivision Submittal

	calculations.		
6	Drainage report discussion must include pond volume required and pond volume provided for the site.	Land Use/Terrain Management	Prior to Final Subdivision Submittal
7	An approved Water Plan from the Water Division will be required. Water Plan comments will be submitted to the design engineer.	Public Utilities/Water	Prior to Final Subdivision Recordation
8	Add a signature line to the final development plan for the City of Santa Fe Wastewater Division.	Public Utilities/Wastewater	Prior to Final Development Plan

Following standard practice, redline comments will be provided to the surveyor who shall make any necessary changes to comply with technical corrections, and submit the corrected plat in Mylar. The “technical corrections” that must be made to the development plan and preliminary subdivision plat prior to recordation are listed in Exhibit B(1).

III. EXECUTIVE SUMMARY:

The Applicant seeks to develop a 44-lot single-family home subdivision on Tract 13 of the Las Soleras Master Plan. The Applicant is requesting several development requests associated with the development of this property, consisting of the following:

1. An amendment to the Las Soleras Master Plan to request a rezoning for Tract 13 from R-6 (Residential- six dwelling units per acre) to R-10 (Residential- ten dwelling units per acre);
2. An amendment to the General Plan Future Land Use classification from Low Density Residential (3 to 7 dwelling units per acre) to Medium Density Residential (7 to 12 dwelling units per acre);
3. A rezoning request from R-6 (Residential- six dwelling unit per acre) to R-10 (Residential- ten dwelling unit per acre);
4. Preliminary development plan approval for a 44-lot single-family home subdivision; and
5. Preliminary subdivision approval for a 44-lot single family subdivision.

The Master Plan Amendment, General Plan Amendment, and R-10 rezoning are necessary to develop the property at the proposed density. The development plan will establish development standards, including allowing for 24' (two-story) homes at 5' side setbacks.

IV. EXISTING CONDITIONS

The property to the west is zoned R-12 (Residential- twelve dwellings per acre) and makes up Unit 1 and 2 of Villas de Las Soleras (formally Ross’s Peak). Pulte has completed approximately one-quarter of the dwellings that will be constructed on this land along with the majority of the improvements for the park that serves Units 1-3. The subdivision is bounded on the north by Governor Miles Road. The property on the north side of Governor Miles Road is zoned C-2 (General Commercial). A development plan for a business park was approved for this property in 2008 (Case #2008-04, Ord. 2008-39), but the approval

has since expired. The property on the east side consists of low density, single-family residential zoned R-3 (Residential- three dwelling units per acre).

VII. LAS SOLERAS MASTER PLAN AMENDMENT

On February 11, 2009, the Governing Body approved the Las Soleras Master Plan. The Las Soleras Master Plan comprises approximately 550 acres of land forming a rough triangle running east from the Santa Fe Premium Outlets between Cerrillos Road on the north, I-25 on the south and Richards Avenue on the east. The Property is bounded on the south by the I-25 corridor; on the west by the Santa Fe Premium Outlets, a hotel, and a mix of developing commercial properties on the opposite side of Cerrillos Road; on the north by Nava Adé, including the Monte del Sol Charter School, a mix of residential and commercial tracts adjacent to Governor Miles Road and by the Beaty South residential subdivision.

The Governing Body approved an amendment to the Las Soleras Master Plan on September 9, 2015. This amendment realigned roads, reconfigured open space and trails, and amended land uses and zoning boundaries. The 2015 amendment increased the extent of low-density residential development, and decreased the extent of mixed-use development and open space

The requested increase in residential density requires an amendment to the Las Soleras Master Plan. The requested Master Plan amendment would increase the residential density from a maximum of 6 dwelling units per acre to 10 dwelling units per acre. This is consistent with the built density on the west side of Rail Runner Road. The requested amendment applies only to Tract 13, consisting of 6.8 acres from the original plat submitted for the Las Soleras Master Plan/Plats and subsequent amendments

Master Plans can be amended, subject to meeting the approval criteria in SFCC Section 14-3.9(D)(1):

Criterion 1: the master plan is consistent with the general plan;	Criterion Met: (Yes/No) YES
The Master Plan was first amended in 1997 to provide for a mixed of commercial and residential uses. This master plan proposed - dwelling units on approximately 550 acres. Commercial uses dominated the corridor along Cerrillos Road and 1-25. In 2016 a master plan amendment was submitted and approved that reduced the residential density for the larger area south of the Nava Ade development. This area is currently built out. Of the 2,087 units permitted by the Master Plan, 613 are built or planned to be built. The residential density remains below that approved on the Master Plan.	
Criterion 2: the master plan is consistent with the purpose and intent of the zoning districts that apply to, or will apply to, the master plan area, and with the applicable use regulations and development standards of those districts;	Criterion Met: (Yes/No) YES
R-6 zoning on the 6.8-acre Tract 13 would permit 40 dwellings. A density bonus for affordable housing is available at 1.15 for an allowed density of 46 lots/dwellings. R-10 zoning allows the Planning Commission to approve a development plan that would establish setbacks. R-6 zoning does not have the flexibility of the submitting a development plan that would allow the Planning Commission to approve the proposed 5-foot side setbacks with 24-foot height.	
Criterion 3: development of the master plan area will contribute to the	Criterion Met:

coordinated and efficient development of the community; and	(Yes/No) YES
<p>As a master planned area, Las Soleras was intended to provide housing as well as mixed-use and commercial development. The utilities and roads were planned and designed to accommodate higher residential densities than the density that has actually been built to date. The design that is proposed for Tract 13 takes advantage of the infrastructure that is in place. A bus route is planned for Governor Miles Road augmenting public transportation in the area. Ultimately the bike trail that has been completed for Units 1 and 2 of the development will connect to the Arroyo Chamiso bike trail allowing for bicycle access to downtown. Currently it is possible to connect to the bike and hike trails in Nava Ade which in turn connect to the Arroyo Chamiso trail system.</p>	
Criterion 4: the existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the planned development.	Criterion Met: (Yes/No) YES
<p>The Las Soleras Master Plan was designed to accommodate a density greater than exists today. The sewer, water, electric and gas is sized to satisfy the loads that are requested for this area. Pulte has developed a neighborhood park in Unit 1 that serves Units, 1, 2 and 3. The Las Soleras master developer has dedicated land for a regional park and has developed the first phase of this park and is beginning the second phase of the park currently.</p>	

V. GENERAL PLAN AMENDMENT – Low Density to Medium Density Residential

A request is submitted for an amendment to the City General Plan Future Land Use Map designation from Low Density Residential (3-7 dwellings per Acre) to Medium Density Residential (7-12 dwellings per acre) in order to match the requested Master Plan Amendment. While R-10 zoning is requested, the proposed density is approximately 6.8 dwelling units per acre.

The General Plan can be amended, subject to meeting the approval criteria in SFCC Section 14-3.2(E):

Criterion 1 [14-3.2(E)(1)(a)]: consistency with growth projections for Santa Fe, economic development goals as set forth in a comprehensive economic development plan for Santa Fe and existing land use conditions such as access and availability of infrastructure;	Criterion Met: (Yes/No) YES
<p>The growth projections from the general plan are over 20 years old and are no longer relevant to Santa Fe's projected growth. City annexation of land in 2009 resulted in an increase of population that the 1999 General Plan did not anticipate. The City's "Population Change 2000-2010" map identifies population growth in Tierra Contenta for that 10-year period at 162 percent, and population growth in Las Soleras at 155 percent. Las Soleras is the fastest growing area in Santa Fe and housing will continue to be needed to provide for the anticipated demand for this sector of Santa Fe.</p> <p>The road network in Las Soleras was master planned to accommodate the uses and densities for the sector. Las Soleras is accessed by three signalized intersections on Cerrillos Road, an interim signal on Richards Avenue and a roundabout at Governor Miles Road and Rail Runner Road. The principal developer of Las Soleras has invested 10 million dollars in the road backbone for the development.</p>	

The utility infrastructure has been designed to accommodate the intensity of development that is anticipated for Las Soleras.	
Criterion 2 [14-3.2(E)(1)(b)]: Consistency with other parts of the General Plan;	Criterion Met: (Yes/No) YES
<p>The general plan was amended in 2009 to allow for the road alignments and land uses proposed in the Las Soleras Master Plan. The general plan was amended again in 2016 to reflect a reduction in residential density and allowance for modified development standards. Chapter 3 of the General Plan calls for infill development of existing vacant parcels within neighborhoods, promotion of "compact urban form" through "sensitive and compatible infill development". The proposed project will promote compact urban form and contribute to infill housing that is consistent with development of the surrounding area.</p> <ul style="list-style-type: none"> Guiding Policy 3-G-3: There shall be infill development at densities that support the construction of affordable housing ... to address residential growth throughout the Urban Area. 	
Criterion 3 [14-3.2(E)(1)(c)]: the amendment does not: (i) allow uses or a change that is significantly different from or inconsistent with the prevailing use and character in the area; or (ii) affect an area of less than two acres, except when adjusting boundaries between districts; or (iii) benefit one or a few landowners at the expense of the surrounding landowners or the general public	Criterion Met: (Yes/No/N/A) YES
<p>(i) The city has already approved Villas de Las Soleras Units 1 and 2 (totaling 182 residential lots) across Rail Runner Road from the proposed project. Unit 3 homes proposed for Tract 13 are based on the same home design, maintaining the prevailing use and character of the area. The residential density for all three Units will be consistent at slightly greater than six dwelling units per acre.</p> <p>(ii) The proposed development is approximately 6.8 acres, well over the two-acre minimum required for a General Plan Amendment.</p> <p>(iii) Approval of the General Plan Amendment and zoning will allow for the purchase of 44 homes at a lower price point than the single family homes sold by Pulte in the area south of Nava Ade.</p>	
Criterion 4 [14-3.2(E)(1)(d)]: an amendment is not required to conform with Subsection 14-3.2(E)(1)(c) [Criterion 1(c) above] if it promotes the general welfare or has other adequate public advantage or justification;	Criterion Met: (Yes/No) YES
The construction of the proposed housing product promotes the general welfare by enabling the purchase of dwellings with a proven demand and favorable price point for the Santa Fe market.	
Criterion 5 [14-3.2(E)(1)(e)]: compliance with extraterritorial zoning ordinances and extraterritorial plans;	Criterion Met: (Yes/No/N/A) N/A
N/A. The extraterritorial bodies that in the past heard rezoning and subdivision cases no longer applies to cases inside the city limits.	

<p>Criterion 6 [14-3.2(E)(1)(f)]: contribution to a coordinated, adjusted and harmonious development of Santa Fe that in accordance with existing and future needs best promotes health, safety, morals, order, convenience, prosperity or the general welfare, as well as efficiency and economy in the process of development; and</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>This request contributes to the coordinated and harmonious development of Santa Fe by providing for an identical building product that is identical to homes in Villas de Las Soleras Units 1 and 2. The development of residential uses on Tract 13 is tied to the development of Tract 12 through the participation in the same Home Owners Association and contribution to maintenance of the neighborhood park. The provision of the neighborhood park in Unit 1 of Villas de Las Soleras contribute to the health, convenience, and general welfare of all residents in Villas de Las Soleras.</p>	
<p>Criterion 7 [14-3.2(E)(1)(g)]: consideration of conformity with other city policies, including land use policies, ordinances, regulations and plans.</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>No variances are requested with this application. The request is in compliance with city zoning regulations. Construction of roads and sewer and water infrastructure will be in conformance with infrastructure standards in Chapter 14.</p>	
<p>Criterion 8 [14-3.2(E)(2)]: In addition to complying with the general criteria set forth in Subsection 14-3.2(E)(1), amendments to the land use policies section of the General Plan shall be made only if evidence shows that the effect of the proposed change in land use shown on the future land use map of the General Plan will not have a negative impact on the surrounding properties. The proposed change in land use must be related to the character of the surrounding area or a provision must be made to separate the proposed change in use from adjacent properties by a setback, landscaping, or other means, and a finding must be made that:</p> <p>(a) the growth and economic projections contained within the General Plan are erroneous or have changed;</p> <p>(b) no reasonable locations have been provided for certain land uses for which there is a demonstrated need; or</p> <p>(c) conditions affecting the location or land area requirements of the proposed land use have changed, for example the cost of land space requirements, consumer acceptance, market or building technology.</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>(a) The general plan included this area of Las Soleras as Phase 1 for future development.</p> <p>(b) There are few areas in Santa Fe with R-10 or R-12 zoning districts that would allow for the proposed housing product. There are even fewer of these zoning districts that satisfy the existing city access standards and have the existing utility infrastructure capable of serving a higher density residential development.</p> <p>(c) There is a surge in apartment development in Santa Fe. R-21, C-1 and C-2 zoning districts allow for residential densities in the range or 18-21 dwelling units per acre. Land zoned for these districts that would allow for higher density residential development, especially meeting the access and utility requirements, is being utilized for apartment construction. It is difficult for developers</p>	

constructing single family homes at 6-10 dwellings per acre to compete against the price of land associated with apartment development.

VI. REZONE APPROVAL CRITERIA – R-6 to R-10

This rezoning is across the street from Villas de Las Soleras Units 1 and 2. Units 1 and 2 consist of the same townhouse design that are proposed for Unit 3. The zoning for Units 1 and 2 is R-12. The proposed R-10 zoning allows more flexibility in design of the home relative to lot lines if approval of the setbacks via the preliminary development plan is secured from the Planning Commission. The proposed density is approximately seven units per acre.

The Planning Commission and the Governing Body shall review all rezoning proposals on the basis of the criteria provided in this section, and the Planning Commission and the Governing Body must make complete findings of fact sufficient to show that these criteria have been met before recommending or approving any rezoning:

<p>Criterion 1 [14-3.5(C)(1)(a)]: one or more of the following conditions exist:</p> <ul style="list-style-type: none"> (i) there was a mistake in the original zoning; (ii) there has been a change in the surrounding area, altering the character of the neighborhood to such an extent as to justify changing the zoning; (iii) a different use category is more advantageous to the community, as articulated in the General Plan or other adopted city plans; 	<p>Criterion Met: (Yes/No) YES</p>
<ul style="list-style-type: none"> (i) N/A (ii) The zoning for Las Soleras Tract 12 (the land west of Rail Runner Road) was established at R-12 with the intent to provide for either apartments or higher density townhouse dwellings. Tract 12 was developed as attached duplex units with garages at the back of the lot accessed from alleys. This design resulted in a density in the order of six dwelling units per acre. The R-12 zoning allowed for the modification to building setbacks through Planning Commission approval of a development plan. At the time the zoning was approved for this area of Las Soleras, there was not a clear concept of what type of building product would best fit the area. The focus of the master plan was to optimize the carrying capacity of the road system and make sure the water and sewer was designed to serve the proposed master plan designated density, be it commercial or residential. The housing product and density on Tract 12 (Villas de Las Soleras Units 1 and 2) has been successful and the proposed product on the east side of Rail Runner Road will be compatible. (iii) Implementing Policy 4-4-I-6 of the Santa Fe General Plan states the following: <i>The target density for new infill residential development, in order to address affordable housing goals, is a minimum of five units per acre (net) with seven units per acre (net) preferred. The actual net density proposed for an infill site should be in keeping with the density range shown for the property in Future Land Use ... and should propose a reasonable increase in density</i> 	

<p><i>over the surrounding neighborhood. The design of the infill project must reflect the character of the surrounding neighborhoods, while maintaining a balance between land use and the traffic carrying capacity of existing streets.</i></p> <p>All of Las Soleras is within in the Stage 1 infill area as identified on Figure 4-5 of the 1999 General Plan. Three hundred single family units were developed at a density of slightly less than 3 dwellings per acre. Pulte is currently developing homes at a density slightly greater than 6 dwellings per acre. The average of those two housing areas is well within recommended residential density of 7 dwelling per net acre.</p> <p>It has been 24 years since that was written and the definition of what is considered affordable has changed significantly. Nonetheless a higher density does allow for a more moderately priced dwelling. Estancias de las Soleras homes have a density slightly less than 3 dwelling units per acre and are 30 to 40 percent greater in cost than Villas de Las Soleras Units 1 & 2 dwellings at 6 dwellings per acre on tract 12.</p>	
<p>Criterion 2 [14-3.5(C)(1)(b)]: all the rezoning requirements of Chapter 14 have been met;</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>The Applicants have met the Chapter 14 procedural requirements for re-zoning, including holding an Early Neighborhood Notification Meeting, posting and mailing of notification requirements, and submitting required application submittals including a Traffic Impact Analysis. The Applicant is not requesting any variances.</p>	
<p>Criterion 3 [14-3.5(C)(1)(c)]: the rezoning is consistent with the applicable policies of the General Plan, including the future land use map;</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>A request has been included in the application for an amendment to the general plan Future Land Use Map from low density residential (3-7 dwelling units per acre) to medium density residential (7-12 dwelling units per acre). If the Governing Body approves both requests, this brings the general plan recommendation into conformance with the proposed zoning application.</p>	
<p>Criterion 4 [14-3.5(C)(1)(d)]: the amount of land proposed for rezoning and the proposed use for the land is consistent with city policies regarding the provision of urban land sufficient to meet the amount, rate and geographic location of the growth of the city;</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>The lack of housing in Santa Fe has been well documented. This is an unusual housing product that is best suited to a higher density residential zoning such as R-10 or R-12. There is a limited supply of land in Santa Fe that is zoned for that residential density.</p>	
<p>Criterion 5 [14-3.5(C)(1)(e)]: the existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the proposed development.</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>The Las Soleras Master Plan was designed to accommodate greater residential density than exists today. The sewer, water, electric and gas lines are sized to satisfy the loads that are requested for this area. Pulte has developed a neighborhood park in Villas de Las Soleras Unit 1 that serves Units, 1, 2 and 3. The Las Soleras master developer has dedicated land for a regional park and has developed the first phase of this park.</p>	

<p>Criterion 6 [14-3.5(C)(2)]: Unless the proposed change is consistent with applicable General Plan policies, the planning commission and the governing body shall not recommend or approve any rezoning, the practical effect of which is to:</p> <ul style="list-style-type: none"> (a) allow uses or a change in character significantly different from or inconsistent with the prevailing use and character in the area; (b) affect an area of less than two acres, unless adjusting boundaries between districts; (c) or benefit one or a few landowners at the expense of the surrounding landowners or general public. 	<p>Criterion Met: (Yes/No) YES</p>
<ul style="list-style-type: none"> (a) The character of the area has changed significantly since the zoning was applied to this tract in 2009. The property to the north of Governor Miles Road is zoned C-2, General Commercial and the land to the west of Rail Runner Road has developed in an identical manner to what is proposed for the tract east of Rail Runner Road. (b) At 6.8 acres, the proposed rezoning is well over the two acre threshold. (c) The beneficiaries will be the purchasers of housing with a lower price point than other single family areas of Las Soleras. 	
<p>Criterion 7 [14-3.5(D)(1)]: If the impacts of the proposed development or rezoning cannot be accommodated by the existing infrastructure and public facilities, the city may require the developer to participate wholly or in part in the cost of construction of off-site facilities in conformance with any applicable city ordinances, regulations or policies;</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>The infrastructure within Las Soleras was designed to accommodate greater residential density than exists today.</p>	
<p>Criterion 8 [14-3.5(D)(2)]: If the proposed rezoning creates a need for additional streets, sidewalks or curbs necessitated by and attributable to the new development, the city may require the developer to contribute a proportional fair share of the cost of the expansion in addition to impact fees that may be required pursuant to Section 14-8.14.</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>The infrastructure within Las Soleras was designed to accommodate greater residential density than exists today.</p>	

VII. PROJECT ANALYSIS: PRELIMINARY DEVELOPMENT PLAN AND SUBDIVISION

Project Description

The Applicant proposes a 44-lot subdivision that will be built as two-story, duplex townhomes. The average lot size is 0.10 acre (approximately 4,300 square feet). Homes will have standard front and rear setbacks of 20 feet and 15 feet respectively, but side yards are proposed to be 5 feet at two-story (24 foot) height, which the Planning Commission can approve via development plan. The majority of homes front the primary access road that runs through the development, but some lots at the east side of the development and the southern end are accessed via private access easements. A secondary access

easement to the development exists at the norther end. A CMU perimeter wall with pilasters is planned to surround the development.

Phasing

There are three phases to the Villas de Las Soleras project. Phases 1 and 2 are under construction now, and this proposal is Phase 3. The description of the phasing as presented in the 2017 Preliminary Subdivision Report is provided in Appendix F of the Siebert & Associates Project Report (Exhibit D(1)).

Access and Traffic

A traffic study was submitted to the City in 2015 for all three phases of the future development of Villas de Las Soleras, including Unit 3. The recommended improvements to Governor Miles Road, consisting of removal of the sidewalk and construction of a 10 foot wide city trail, and completion of Rail Runner Road to Governor Miles Road have been completed. The completion of the road system as shown on the Las Soleras Master Plan would provide for multiple points of access to Cerrillos Road and Richards Avenue from this project. There is only one road remaining to complete the Las Soleras road system described on the Master Plan and that is the connection of Las Soleras Road across the Arroyo de los Chamisos.

All roads shown on the plans for Tract 13 will be dedicated to the City with the exception of the private alleys that serve the duplex lots. The private alleys will be maintained by the Villas de Las Soleras Homeowners Association. The primary road within the subdivision will be a 50' ROW sub-collector with parking on one side. This 30' wide paved surface provides an unobstructed 20' wide travel lane while providing a total of 17 on-street parking spaces on the east side. An additional 12 off street parking spaces are provided on private access drives: four are provided on the access to lots 35 and 36 on the north end, and eight are provided on the access to lots 1 through 6 on the south end. In total, 29 "off-lot" spaces are provided, which approximates to 1.5 off-lot parking spaces per unit.

Pedestrian and Bicycle Connectivity and Trails

Rail Runner Road and Governor Miles Road serve as the primary access for this subdivision. Governor Miles Road connects to the signalized intersection at Cerrillos and Richards Ave. Rail Runner Road also intersects with Beckner Road to the south creating a secondary east-west connection. A traffic study was prepared for Ross's Peak (now known as Villas de Las Soleras) that indicated a deficient operational level for the eastbound right turn lane of the Jaguar Road and Cerrillos Road intersection. As part of the Ross's Peak (now known as Villas de Las Soleras) development, Pulte paid their fair share to the improvement to enhance the operational capacity of the Jaguar Roar and Cerrillos Road intersection by adding an eastbound right tum lane. A left turn holding bay for southbound traffic on Rail Runner Road, creating a protected access to Unit 3, was constructed as part of the improvements for Rail Runner Road.

There is a public bus route (Community College Route) that uses Governor Miles Road to access the Community College. A concrete pad was constructed by Pulte to accommodate a bus stop bench. This bus stop is within one-quarter mile of the homes in Unit 3. There is an existing sidewalk on the south side of Governor Miles Road. All public roads planned for this development will have sidewalks. The City is planning the extension of the Arroyo de los Chamisos trail to Cerrillos Road from its current terminus south of the park on the east side of the Santa Fe Place Mall. Pulte has constructed a city trail on the

west side of Units 1 and 2 from Cerrillos Road to the Las Soleras Regional Park. There is also a 10-foot City trail along the west side of Rail Runner Road connecting Beckner Road to the Regional Park.

Grading and Drainage/Terrain Management

There is no FEMA designated flood plain on this property. The major drainage to the south is not a FEMA flood plain, although this drainage has been reinforced due to the major flooding that occurred in 2018.

There are no natural slopes on the property that exceed 30 percent or slopes of 20-30 percent that require standards for placement of the house on slopes of this category. The contractor for Pulte was granted approval by the City to grade a portion of Unit 3 for an effluent water pond storage and staging of materials for the construction of Units 1 and 2, immediately across the street.

The entire site slopes to the south with the natural drainage flowing to the drainage that passes under Rail Runner Road and intersects further downstream at the Arroyo de los Chamisos. There are two 24-inch culverts that carry storm water under Rail Runner Road to this tract. This is historic flow and the storm water exiting the pipes is routed through the subdivision with storm drainpipes. A storm water pond sized to the runoff from this development is located at the south end of the subdivision. This pond discharges into the adjoining drainage.

A storm water pollution protection plan (SWPPP) has been prepared as part of the Application materials for the project. A Notice of Intent (NOI) will be submitted to the Environmental Protection Agency (EPA) prior to the commencement of any grading that may occur on site. The contractor for the project will be required to implement various measures to reduce dust leaving the site. This will include chain link fence with fabric to catch the dirt before it leaves the site and the watering of areas disturbed during the grading of the site.

Landscaping and Open Space

While the proposed R-10 zoning would allow for a minimum lot size of 3,000 square feet, the average proposed lot size is approximately 4,300 square feet. While no off-setting common open space is required to satisfy the minimum lot size requirements for this development, there is approximately one-half acre of land which is a shared area for the residents. Part of that consists of a storm water pond at the far south end of the project.

The lot owners in Unit 3 will have the right to use the park constructed in Unit 1, since Unit 3 will be included in the homeowners association for Villas de Las Soleras. An extensive park has been constructed by Pulte for the use of residents in Units 1, 2, and 3.

The neighborhood park requirement for Villas de Las Soleras Units 1, 2 and 3 is 1.356 acres (226 dwellings x 0.006 acre per dwelling). As part of Units 1 and 2, 5.3 acres of land was dedicated to park, trails and open space. Pulte also participated in the cost of improvements to the regional park adjacent to Unit 2 and within walking distance for Units 1 and 2 of the Pulte project. These participations eliminate the need to contribute additional land or pay for additional improvements to the park.

Fire

A looped water line connecting to the 10-inch line in Rail Runner Road will provide sufficient flow for fire and domestic purposes. Fire hydrants will be installed at intervals and locations deemed appropriate by the Fire Marshall. There is already an existing hydrant at corner of Rail Runner Road and Governor Miles Road. The closest fire substation to the property is located north of Rodeo Road within the Genoveva Chavez Community Center complex approximately 2.6 miles from this site.

Since the project is greater than 29 lots, a secondary emergency access is required. The secondary, 20-foot wide access is located at the northern end of the property between lots 26 and 27/28/29.

Water, Sewer, and Dry Utilities

There is a 10-inch water line on Rail Runner Road that serves as the source of water to this subdivision. An eight inch loop line begins at the intersection with Rail Runner Road goes through the public road and loops back to the 10-inch line on the emergency access. This 8-inch line in the subdivision is sufficient to provide fire flow for the project.

The connection to City sewer will take place at the south end of tract 13. A sewer line was stubbed across Rail Runner Road to serve this development. The 8-inch line has capacity to serve the 44 lots in the subdivision.

There is a supply gas line in Rail Runner Road. The design for the gas line by the Gas Company of New Mexico does not take place until the final subdivision plat is approved. It is assumed that a two inch line will be connected to the main line in Rail Runner Road and will be extended throughout the entire subdivision.

Electric is available Rail Runner Road. A switch gear was installed to serve Units 1 and 2. The design of the electric system by PNM does not commence until the final plat is approved. There appears to be sufficient existing infrastructure available to serve the projected build-out of the subdivision.

Telephone cable is available in Rail Runner Road. Since Ross' Peak is located within the urban service area of Santa Fe it is the responsibility of Century Link to bring in additional service lines at no cost to the development if it becomes necessary and it is assumed that will not be the case. Century Link is dependent on PNM Electric to establish the design for the communication system.

Comcast cable was installed to serve Units 1 and 2. There should be no issue to pull additional cable into the proposed subdivision. Comcast cable generally shares the same trench with the telephone cable.

Water Budget

Of the 44 proposed lots, 36 are market rate and are subject to the water offset requirements of the city. All lots are less than 6,000 square feet and the water offset requirement is .15 acre feet per dwelling unit plus the annual landscape requirement and the .098 percent required for system line loss. The total water requirement is:

0.15 acre feet (less than 6,000 sf lot) x 36 lots =	5.40 acre feet/year
<u>Landscaping =</u>	<u>0.47 acre feet/year</u>
Total	5.87 acre feet/year
<u>+ 9.8% Contingency =</u>	<u>0.58 acre feet/year</u>
Total Water Budget =	6.45 acre feet/year

Water rights instead of water credits are required since this is part of a three phase project and the sum of the water use for the three phases exceeds 10 acre feet. Pulte has sufficient water in the city water bank to allocate water to the city of this project.

The developers of Las Soleras had the entire area of Las Soleras surveyed for sites of archaeological and historical significance. The city Archaeological Review Committee issued a clearance for all of Las Soleras. Tract 13 is located within the area that was surveyed and released by the city. The archaeological clearance is found in Appendix D of the Siebert Project Report (Exhibit D(1)). The site will be assessed for Gunnison's prairie dogs and any colonies will be relocated prior to issuance of construction permits.

Impact on Schools

Several public, private, and charter schools that serve the district where this project is proposed:

- Pinon - Elementary School - 2921 Camino de Los Caballos (public)
- Milagro - Middle School - 1720 Llano Street (public)
- Santa Fe High - High School - 2100 Yucca Street (public)
- Santo Nino Catholic School - kindergarten through grade six - 23 College Avenue
- Monte Del Sol Charter School - grades seven through twelve - 4157 Walking Rain Road
- The Academy for Technology and the Classics Charter School - grades seven through twelve - 74 A Van Nu Po Road

A report was submitted to the Santa Fe Public Schools (SFPS) as provided for per Ordinance #2008-32. SFPS has reviewed the development and does not find any issues that would conflict with their planning processes. The response from Santa Fe Public Schools is enclosed in Appendix E of the Siebert Project Report (Exhibit D(1)).

Santa Fe HOMES Program

The Project will comply with current Santa Fe Homes Program ("SFHP") regulations per SFCC 26-1.8(A). A total of 8.8 dwellings are required to satisfy the affordable housing requirements of the city. The Applicant will enter into a contract with The City of Santa Fe Housing Opportunity Program. Pursuant to the provisions of the SFHP, 8 lots (20%) will be affordable, with a fractional fee paid for the 0.8 unit. The location of the affordable units is shown on the Development Plan. The signed SFHP proposal is found in Exhibit D(2).

Homeowners Association and Private Covenants

Articles of Incorporation, Bylaws, and Homeowners Association Restrictions and Covenants will be reviewed by City Staff and the City Attorney's Office. Per SFCC 14-9.5(A)(2) and 14-8.2(K)(1), Homeowners Association Covenants will be reviewed by City Staff and the City Attorney's Office to

assure that each lot owner understands the requirement to maintain landscape easements and storm water ponds which remain under the ownership of the homeowners association.

VIII. DEVELOPMENT PLAN APPROVAL CRITERIA SECTION 14-3.8(D)(1)

The proposed development plan seeks to establish a permitted height of 24 feet at 5 foot side setbacks. SFCC Section 14-3.8 governs the authority, procedures, and restrictions for development plans. The Criteria for approval of Development Plans are detailed below:

<p>Criterion 1: that the Planning Commission has the authority and is empowered to approve the development plan under the section of Chapter 14 described in the application;</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>Santa Fe City Code (SFCC) Subsection 14-3.8(B)(2) requires a development plan for rezoning applications. Subsection 14-2.3(C)(1) authorizes the Planning Commission to review and approve or disapprove development plans.</p>	
<p>Criterion 2: that approving the development plan will not adversely affect the public interest; and</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>The Governing Body has implemented the General Plan and ordinances in order to establish minimum standards for health, safety and welfare affecting land uses and developments as a means to protect the public interest. Subject to staff recommended conditions of approval, the proposed development plan complies with SFCC Chapter 14 and would not adversely affect the public interest.</p> <p>The development plan and form of housing product that is proposed is consistent with the product approved and being built in Villas de Las Soleras Units 1 and 2. The total number of dwellings allowed by the Las Soleras Master Plan is within the allowed number of dwellings approved by the City Council. There is no environmental detrimental affect caused by this project, including-100 year flood plains, steep slopes or rock outcroppings. All utilities are in place to serve this development and capable of adequately serving the project. The public transportation system is nearby and the street system is designed to accommodate this project in combination with other Las Soleras developments.</p>	
<p>Criterion 3: that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the premises under consideration.</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>The land immediately to the west is comprised of the same housing product that is proposed for this property. The land to the north is zoned C-2 which allows for higher lot coverage and heights of 45 feet, which is considerably higher than the 24 feet permitted for the proposed zoning. The property to the east is rural, low density. It is anticipated that at some point in the future it will be developed at densities not too much different from what is proposed for the adjoining land to the west.</p>	

IX. PRELIMINARY SUBDIVISION PLAT

SFCC Section 14-3.7 governs the authority, procedures and restrictions for the division of land. SFCC Subsection 14-3.7(B)(3)(d) states that “The Planning Commission shall review the preliminary plat and other materials submitted for conformity to this article, consider the Land Use Director report and

recommendations and require any changes deemed advisable and the kind and extent of improvements to be made by the subdivider.”

The criteria for approval of a Preliminary Subdivision are detailed below:

<p>Criterion 1: In all subdivisions, due regard shall be shown for all natural features such as vegetation, water courses, historical sites and structures, and similar community assets that, if preserved, will add attractiveness and value to the area or to Santa Fe.</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>An archaeological report has been prepared for this section of Las Soleras. No sites of historical significance were found within any of the tracts that are included within the existing or future platted areas of this project. There are a very few "significant trees" on the property with the principal vegetation being native grasses and one-seed juniper trees. Landscaping will replace the existing vegetation on the property, and will provide for a greater diversity of vegetation and will offer shade for pedestrians and cyclists that doesn't exist today.</p>	
<p>Criterion 2: The planning commission shall give due regard to the opinions of public agencies and shall not approve the plat if it determines that in the best interest of the public health, safety or welfare the land is not suitable for platting and development purposes of the kind proposed. Land subject to flooding and land deemed to be topographically unsuited for building, or for other reasons uninhabitable, shall not be platted for residential occupancy, nor for other uses that may increase danger to health, safety or welfare or aggravate erosion or flood hazard. Such land shall be set aside within the plat for uses that will not be endangered by periodic or occasional inundation or produce unsatisfactory living conditions. See also Section 14-5.9 (Ecological Resource Protection Overlay District) and Section 14-8.3 (Flood Regulations).</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>This land is part of an approved master plan and there are no conditions that make this land unsuitable for residential use. The various divisions of the City will comment on the plans that are submitted as part of the development review process. Conditions of approval and technical corrections must be addressed as part of the review by City staff. This land is exceptionally developable with a major road adjoining the property and utilities either adjacent to the property or in close proximity to the property. No residential dwellings will be located within the area of shallow flooding.</p>	
<p>Criterion 3: All plats shall comply with the standards of Chapter 14, Article 9 (Infrastructure Design, Improvements and Dedication Standards).</p>	<p>Criterion Met: (Yes/No) YES</p>
<p>The Development Review Team (DRT) has reviewed the Applicant's proposed subdivision design. The DRT includes the following City Divisions: Traffic, Terrain Management, Water, Sewer, Fire and Land Use. Review comments and conditions from the DRT provide necessary changes to the proposal to conform to the City Code in order to meet standards for public health, safety or welfare. The engineering design for terrain management, roads and utilities complies with all requirements of Chapter 14, Article 9.</p>	
<p>Criterion 4: A plat shall not be approved that creates nonconformity or increases the extent or degree of an existing nonconformity with the provisions of Chapter 14 unless a variance is approved concurrently with</p>	<p>Criterion Met: (Yes/No) YES</p>

the plat.	
The master plan amendment, general plan amendment and rezoning, if approved will bring the density and the design of the dwelling into conformance with the provisions of Chapter 14. No existing nonconformities are increased, nor are any nonconformities created by the approval of this subdivision. The Applicant is not requesting any variances with this proposal.	
Criterion 5: A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with applicable provisions of other chapters of the Santa Fe City Code unless an exception is approved pursuant to the procedures provided in that chapter prior to approval of the plat.	Criterion Met: (Yes/No) YES
The rezoning of the property from R-6 to R-10 is dependent on the approval of the general plan amendment and amendment to the Las Soleras Master Plan. With approval of both of those the rezoning would be consistent with the procedures provided in Chapter 14 of the city code. The preliminary plat can only be approved if the city council approves the rezoning along with the two amendments. No existing nonconformities are increased, nor are any nonconformities created by the approval of this subdivision. The Applicant is not requesting any exceptions with this proposal.	

X. EARLY NEIGHBORHOOD NOTIFICATION

An ENN meeting was held on April 14, 2021. The meeting was conducted virtually beginning at 5:30. People in attendance included residents from Villas de Las Soleras Unit 1 and residents of Estancias de Las Soleras. Minutes of the meeting found in Appendix C of the Siebert project report.

XI. EXPIRATION

The Master Plan amendment, the General Plan amendment, the rezoning, if approved by the Governing Body, will run with the land, are transferrable, and will not expire.

Per SFCC Section 14-3.19(B)(4) “Approval of a final development plan, or any development plan for which no preliminary development plan was required, shall expire three years after final action approving it unless actual development of the site or offsite improvements has begun and is continued pursuant to Subsection 14-3.19(B)(6).” Therefore, should the Commission approve the preliminary development plan and adopt Findings of Fact and Conclusions of Law at this hearing, the expiration date would be August 19, 2024.

According to SFCC Subsection 14-3.19(B)(2) “Approval of a preliminary subdivision plat ... shall expire three years after final action approving it unless the final plat ... is approved.” Should the Commission approve the preliminary subdivision plat and adopt the recommended Findings of Fact and Conclusions of Law at this hearing, the expiration date would be August 19, 2024.

XII. ATTACHMENTS:

EXHIBIT A: Draft Findings of Fact and Conclusions of Law

- 1. Case #2021-3811
- 2. Case #2021-3814
- 3. Case #2021-3815
- 4. Case #2021-3816
- 5. Case #2021-3817

EXHIBIT B: Development Review Team Memoranda

- 1. Compiled Technical Corrections
- 2. ADA Site Review
- 3. MPO Review
- 4. Fire Prevention Review
- 5. Terrain Management Review
- 6. Landscape Review
- 7. Wastewater Review

EXHIBIT C: Maps and Photos

- 1. Future Land Use – Master Plan
- 2. Current Zoning
- 3. Aerial
- 4. Street Views

EXHIBIT D: Applicant Materials

- 1. Siebert Project Report
- 2. Santa Fe Homes Proposal
- 3. Proposed Development Plan & Subdivision

APPROVED BY:

Title	Name	Initials
Acting Planning and Land Use Director	Jason Kluck	<i>jmk</i>
Land Use Planner Manager	Noah Berke, AICP	NLB
Land Use Department Case Manager	Lee Logston, AICP	<i>LL</i>

City of Santa Fe, New Mexico

**Case #2021-3816 3817
Villas de Las Soleras Unit 3 Preliminary
Development Plan and Preliminary Subdivision
Planning Commission
August 19, 2021**

Exhibit A

Draft Findings of Fact and Conclusions of Law

- 1. Case #2021-3811 Master Plan Amendment**
- 2. Case #2021-3814 General Plan Amendment**
- 3. Case #2021-3815 Rezoning**
- 4. Case #2021-3816 Preliminary Development Plan**
- 5. Case #2021-3817 Preliminary Subdivision**

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2021-3811

4601 Rail Runner Drive; Villas de Las Soleras Unit 3 Las Soleras Master Plan Amendment

Owner's/Applicant's Name – Ross's Peak Holdings, LTD., Co.

Agent's Name – James W. Siebert and Associates, Inc.

THIS MATTER came before the Planning Commission (Commission) for public hearing on August 19, 2021 (Hearing) upon the application (Application) of James W. Siebert and Associates, Inc., as agent for Ross's Peak Holdings, LTD., Co. (Applicant).

I. INTRODUCTION

The Application pertains to a property located at 4601 Rail Runner Road totaling approximately 6.8 acres (Property). The Applicant requests an amendment to the Las Soleras Master Plan in order to request a rezoning in related Case #2021-3815 from R-6 (Residential- six dwelling units per acre) to R-10 (Residential- ten dwelling units per acre) for a property located at 4601 Rail Runner Road.

In related Case #2021-3814, the Applicant requests a general plan amendment to change the Future Land Use Designation from Low Density Residential (3 to 7 dwelling units per acre) to Medium Density Residential (7 to 12 dwelling units per acre) for a property located at 4601 Rail Runner Road.

Additionally, in related Case #2021-3815, the Applicant requests a rezoning from R-6 (Residential- six dwelling units per acre) R-10 (Residential- ten dwelling units per acre) for a property located at 4601 Rail Runner Road.

Additionally, in related Case #2021-3816, the Applicant requests preliminary development plan approval for a 44-lot single family subdivision for a property located at 4601 Rail Runner Road.

Finally, in related Case #2021-3817, the Applicant requests preliminary subdivision plat approval for 44 single-family residential lots for a property located at 4601 Rail Runner Road.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

II. FINDINGS OF FACT

General

1. Santa Fe City Code (SFCC) Section 14-3.9(B)(1) provides that an application for amendments to a master plan may be considered concurrently with an application for rezoning.

2. SFCC Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC § 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC § 14-3.1(F)(2)(a)(xii)]; and (c) compliance with notice and public hearing requirements [SFCC § 14-3.1(H)-(I)].
3. A pre-application conference was held on March 25, 2021 in accordance with SFCC Section 14-3.1(E)(1).
4. Pursuant to SFCC Section 14-3.1(H), notice of the ENN meeting was properly given.
5. Pursuant to SFCC Section 14-3.1(F), a virtual ENN meeting was held on the Application on April 14, 2021. The ENN meeting was attended by the Project team, members of City staff, and approximately 8 members of the public. Residents voiced concerns about construction impacts, dust, building height and visual impacts to the skyline, and lack of off-lot parking in previous phases.
6. City staff reviewed the master plan amendment Application, and the related materials and information submitted by the Applicant, for conformity with applicable SFCC requirements (Submittal Requirements) and provided the Planning Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
7. Staff recommended that the Commission recommend approval of the amendment to the Las Soleras Master Plan to the Governing Body.

Master Plan Amendment from Low Density to Medium Density Residential

8. Pursuant to SFCC Section 14-3.9(C)(4), the Commission has the authority to review and make recommendations to the Governing Body regarding amendments to master plans.
9. At the Hearing, the Commission considered the Application in this case concurrently with the applications in Case Nos. 2021-3814, 2021-3815, 2021-3816, and 2021-3817; and the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
10. Pursuant to SFCC Section 14-3.9(B), a master plan is required for applications requesting a rezoning.
11. In this case, the Applicant seeks an amendment to the Las Soleras Master Plan future land use designation from Low Density Residential to Medium Density Residential.
12. Under the general plan, "Medium Density Residential" permits residential zoning of seven to twelve units per acre.
13. SFCC Section 14-3.9 sets out certain procedures for amendments to a master plan, including, without limitation, submittal of an application for review, a public hearing by the Commission, and a recommendation to the Governing Body based upon the criteria set out in SFCC Section 14-3.9(D).
14. SFCC Section 14-3.9(D)(1) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before recommending approval of an amendment to a master plan to the Governing Body.
15. Based on the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Commission finds that all applicable criteria in SFCC 14-3.9(D)(1) have been met.
16. Pursuant to SFCC 14-3.9(D)(1)(a), the Commission finds that the proposed master plan amendment is consistent with the general plan, provided that the Governing Body also

approves the general plan amendment. The original Las Soleras Master Plan anticipated more housing than has been built.

17. Pursuant to SFCC 14-3.9(D)(1)(b), the Commission finds that the proposed master plan amendment is consistent with the purpose and intent of the zoning districts that apply to, or will apply to, the master plan area, and with the applicable use regulations and development standards of those districts. The requested density is equivalent to that which would be allowed using the affordable housing density bonus under current zoning.
18. Pursuant to SFCC 14-3.9(D)(1)(c), the Commission finds that the proposed amendment to the master plan will contribute to the coordinated and efficient development of the community. Las Soleras was master planned to provide for a mix of land uses and residential densities, with sufficient infrastructure to accommodate both.
19. Pursuant to SFCC Section 14-3.9(D)(1)(d), the Commission finds that the existing and proposed infrastructure, such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the planned development. The Las Soleras Master Plan was designed to accommodate greater residential densities. Utility infrastructure will be able to accommodate the planned development.

III. CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

1. Pursuant to SFCC Section 14-3.1, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.

Master Plan Amendment

2. The Applicant has the right under the SFCC to propose an amendment to a master plan.
3. The Commission has the power and authority at law and under the SFCC to review the proposed amendment to the master plan and to make recommendations regarding the proposed amendment to the master plan to the Governing Body.
4. The Applicant met the applicable Submittal Requirements.
5. The Commission should recommend approval of the requested master plan amendment because all applicable code requirements and criteria for recommendation of approval of the proposed amendment to the master plan have been met.

WHEREFORE, IT IS ORDERED ON THE 19th DAY OF AUGUST 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission recommends that the Governing Body approve the master plan amendment, as requested in the Application for Case #2021-3811. Per SFCC Section 14-3.19(B)(1), the master plan amendment shall expire five years after all applicable appeal periods, and any appeals of the final action approving it, unless approval is granted for a development plan or subdivision plat within the master plan boundaries, or actual development of the site or off-site improvements is begun and is continued pursuant to Subsection 14-3.19(B)(6).

Brian Gutierrez, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Kyle Hibner
Assistant City Attorney

Date

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2021-3814

4601 Rail Runner Drive; Villas de Las Soleras Unit 3 General Plan Amendment

Owner's/Applicant's Name – Ross's Peak Holdings, LTD., Co.

Agent's Name – James W. Siebert and Associates, Inc.

THIS MATTER came before the Planning Commission (Commission) for public hearing on August 19, 2021 (Hearing) upon the application (Application) of James W. Siebert and Associates, Inc., as agent for Ross's Peak Holdings, LTD., Co. (Applicant).

The Application pertains to a property located at 4601 Rail Runner Road totaling approximately 6.8 acres (Property). The Applicant requests a general plan amendment to change the Future Land Use Designation from Low Density Residential (3 to 7 dwelling units per acre) to Medium Density Residential (7 to 12 dwelling units per acre). The Property is zoned R-6 (Residential- six dwelling unit per acre).

In related Case #2021-3811, the Applicant requests an amendment to the Las Soleras Master Plan, in order to request a rezoning in related Case #2021-3815 from R-6 (Residential- six dwelling units per acre) to R-10 (Residential- ten dwelling units per acre) for a property located at 4601 Rail Runner Road.

Additionally, in related Case #2021-3815, the Applicant requests a rezoning from R-6 (Residential- six dwelling units per acre) R-10 (Residential- ten dwelling units per acre) for a property located at 4601 Rail Runner Road.

Additionally, in related Case #2021-3816, the Applicant requests preliminary development plan approval for a 44-lot single family subdivision for a property located at 4601 Rail Runner Road.

Finally, in related Case #2021-3817, the Applicant requests preliminary subdivision plat approval for 44 single-family residential lots for a property located at 4601 Rail Runner Road.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

General

1. Santa Fe City Code (SFCC) Section 14-3.2(D)(1) provides that an application for amendments to the general plan may be considered concurrently with an application for rezoning.
2. SFCC Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC § 14-3.1(E)]; (b) an Early

- Neighborhood Notification (ENN) meeting [SFCC § 14-3.1(F)(2)(a)(xii)]; and (c) compliance with notice and public hearing requirements [SFCC § 14-3.1(H)-(I)].
3. A pre-application conference was held on March 25, 2021 in accordance with SFCC Section 14-3.1(E)(1).
 4. Pursuant to SFCC Section 14-3.1(H), notice of the ENN meeting was properly given.
 5. Pursuant to SFCC Section 14-3.1(F), a virtual ENN meeting was held on the Application on April 14, 2021. The ENN meeting was attended the Project team, members of City staff, and approximately 8 members of the public. Residents voiced concerns about construction impacts, dust, building height and visual impacts to the skyline, and lack of off-lot parking in previous phases.
 6. City staff reviewed the general plan amendment Application, and the related materials and information submitted by the Applicant, for conformity with applicable SFCC requirements (Submittal Requirements) and provided the Planning Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
 7. Staff recommended that the Commission recommend approval of the amendment to the general plan to Governing Body.

General Plan Amendment from Low Density to High Density Residential

8. Pursuant to SFCC Sections 14-2.3(C)(7)(a) and 14-3.2(D)(2), the Commission has the authority to review and make recommendations to the Governing Body regarding amendments to the general plan.
9. At the Hearing, the Commission considered the Application in this case concurrently with the applications in Case Nos. 2021-3811, 2021-3815, 2021-3816, and 2021-3817; and the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
10. Pursuant to SFCC Section 14-3.2(B), the general plan must be amended before new zoning regulations establishing new land use classifications may be approved.
11. In this case, the Applicant seeks an amendment of the future land use designation from Low Density Residential to Medium Density Residential.
12. Under the general plan, “Medium Density Residential” permits residential zoning of seven to twelve units per acre.
13. SFCC Section 14-3.2 sets out certain procedures for amendments to the general plan, including, without limitation, submittal of an application for review, a public hearing by the Commission, and a recommendation to the Governing Body based upon the criteria set out in SFCC Section 14-3.2(E).
14. SFCC Section 14-3.2(E)(1) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before recommending approval of an amendment to the general plan to the Governing Body.
15. Based on the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Commission finds that all applicable criteria in SFCC 14-3.2(E)(1) have been met.
16. Pursuant to SFCC 14-3.2(E)(1)(a), the Commission finds that the proposal is consistent with growth projections for Santa Fe, economic development goals as set forth in a comprehensive economic development plan for Santa Fe and existing land use conditions such as access and availability of infrastructure. An adequate supply of housing to support the workforce is

important for economic development. The road network in Las Soleras was master planned to accommodate the uses and densities for the sector. Las Soleras is accessed by three signalized intersections on Cerrillos Road, an interim signal on Richards Avenue and a roundabout at Governor Miles Road and Rail Runner Road.

17. Pursuant to SFCC 14-3.2(E)(1)(b), the Commission finds that the proposal is consistent with other parts of the general plan, including Guiding Policies regarding infill development at densities that support the construction of affordable housing to address residential growth throughout the Urban Area.
18. Pursuant to SFCC 14-3.2(E)(1)(c), the Commission finds that the proposed use is not inconsistent with the prevailing use and character in the area considering that similar densities and housing product have already been approved for the area, that the Property is well over the two-acre minimum required for a general plan amendment, and that the project will not benefit one or a few landowners at the expense of the surrounding landowners or the general public because it will allow for the construction and purchase of 44 homes at a lower price point than the single family homes sold in the area.
19. Pursuant to SFCC 14-3.2(E)(1)(d), the Commission finds that the construction of the proposed housing product promotes the general welfare by enabling the purchase of dwellings with a proven demand and favorable price point for the Santa Fe market.
20. The Commission finds that the criterion in SFCC 14-3.2(E)(1)(e) is not applicable to this case.
21. Pursuant to SFCC 14-3.2(E)(1)(f), the Commission finds that approving a proposal for housing on the Property promotes the general welfare and contribute to the harmonious development of Santa Fe by creating homes of similar design and density to previous phases of the development.
22. Pursuant to SFCC 14-3.2(E)(1)(g), the Commission has considered conformity with other city policies, including land use policies, ordinances, regulations, and plans. No variances are requested with this application. The request is in compliance with city zoning regulations. Construction of roads and sewer and water infrastructure will be in conformance with infrastructure standards in Chapter 14.
23. The Commission finds that the additional criteria in SFCC 14-3.2(E)(2) are not applicable to this case because the proposal would not amend the land use policies section of the general plan.
24. The Commission finds that the additional criteria in SFCC 14-3.2(E)(3) are not applicable to this case because the proposal does not involve the adoption of a neighborhood plan.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

1. Pursuant to SFCC Section 14-3.1, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.

General Plan Amendment

2. The Applicant has the right under the SFCC to propose an amendment to the general plan.

3. The Commission has the power and authority at law and under the SFCC to review the proposed amendment to the general plan and to make recommendations regarding the proposed amendment to the general plan to the Governing Body.
4. The Applicant met the applicable Submittal Requirements.
5. The Commission should recommend approval of the requested general plan amendment because all applicable code requirements and criteria for recommendation of approval of the proposed amendment to the general plan have been met.

WHEREFORE, IT IS ORDERED ON THE 19th DAY OF AUGUST 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission recommends that the Governing Body approve the general plan amendment, as requested in the Application for Case #2021-3814.

Brian Gutierrez, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Kyle Hibner
Assistant City Attorney

Date

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2021-3815

4601 Rail Runner Drive; Villas de Las Soleras Unit 3 Rezoning

Owner's/Applicant's Name- Ross's Peak Holdings, LTD., Co.

Agent's Name- James W. Siebert and Associates, Inc.

THIS MATTER came before the Planning Commission (Commission) for public hearing on August 19, 2021 (Hearing) upon the application (Application) of James W. Siebert and Associates, Inc., as agent for Ross's Peak Holdings, LTD., Co. (Applicant).

The Application pertains to a property located at 4601 Rail Runner Road totaling approximately 6.8 acres (Property). The Applicant requests a rezoning from R-6 (Residential- six dwelling units per acre) to R-10 (Residential- ten dwelling units per acre) for a property located at 4601 Rail Runner Road. The Property is zoned R-6 (Residential-six dwelling units per acre).

In related Case #2021-3811, the Applicant requests an amendment to the Las Soleras Master Plan, in order to request a rezoning in related Case #2021-3815 from R-6 (Residential- six dwelling units per acre) to R-10 (Residential- ten dwelling units per acre) for a property located at 4601 Rail Runner Road.

Additionally, in related Case #2021-3814, the Applicant requests a general plan amendment to change the Future Land Use Designation from Low Density Residential (3 to 7 dwelling units per acre) to Medium Density Residential (7 to 12 dwelling units per acre) for a property located at 4601 Rail Runner Road.

Additionally, in related Case #2021-3816, the Applicant requests preliminary development plan approval for a 44-lot single family subdivision for a property located at 4601 Rail Runner Road.

Finally, in related Case #2021-3817, the Applicant requests preliminary subdivision plat approval for 44 single-family residential lots for a property located at 4601 Rail Runner Road.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

General

1. Santa Fe City Code (SFCC) Section 14-3.2(D)(1) provides that an application for amendments to the general plan may be considered concurrently with an application for rezoning.
2. SFCC Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC §14-3.1(E)]; (b) an Early

- Neighborhood Notification (ENN) meeting [SFCC §14-3.1(F)(2)(a)(iii)]; and (c) compliance with notice and public hearing requirements [SFCC §14-3.1(H)-(I)].
3. A pre-application conference was held on March 25, 2021 in accordance with SFCC Section 14-3.1(E)(1).
 4. Pursuant to SFCC Section 14-3.1(H), notice of the ENN meeting was properly given.
 5. Pursuant to SFCC Section 14-3.1(F), a virtual ENN meeting was held on the Application on April 14, 2021. The ENN meeting was attended the Project team, members of City staff, and approximately 8 members of the public. Residents voiced concerns about construction impacts, dust, building height and visual impacts to the skyline, and lack of off-lot parking in previous phases.
 6. City staff reviewed the rezoning Application, and the related materials and information submitted by the Applicant, for conformity with applicable SFCC requirements and provided the Planning Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
 7. Staff recommended that the Commission recommend approval of the rezoning to the Governing Body.

Rezoning

1. Pursuant to SFCC Section 14-2.3(C)(7)(c) and Section 14-3.5(B)(1), the Commission has the authority to review and make recommendations to the Governing Body regarding rezonings.
2. At the Hearing, the Commission considered the Application in this case concurrently with the applications in Case Nos. 2021-3811, 2021-3814, 2021-3816, and 2021-3817; and the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
3. Pursuant to SFCC Section 14-3.5(A)(1)(d), any person may submit a written request for rezoning, along with all submissions required by the SFCC Chapter 14 and any other information requested by the land use director as reasonably necessary to determine compliance with Chapter 14 (Submittal Requirements).
4. In this case, the Applicant seeks a rezoning from R-6 (Residential-six dwelling units per acre) to R-10 (Residential-ten dwelling units per acre).
5. SFCC Section 14-3.5(B) sets out procedures for rezoning and requires the Commission to hold a public hearing, review the Application, and make a recommendation to the Governing Body.
6. SFCC Section 14-3.5(C) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before recommending a rezoning.
7. Pursuant to SFCC Section 14-3.5(C)(1)(a)(i), the Commission finds that the criterion is not applicable.
8. Pursuant to SFCC Section 14-3.5(C)(1)(a)(ii), the Commission finds that the rezoning is justified because the zoning for the adjacent Villas de Las Soleras Units 1 and 2 was established at R-12 (Residential- twelve dwelling units per acre).
9. Pursuant to SFCC Section 14-3.5(C)(1)(a)(iii), the Commission finds that the rezoning will be more advantageous to the community because General Plan Guiding Policy 4-4-1-6 states that target density for infill housing should be a minimum of five units per acre with a target density of seven units per acre.

10. Pursuant to SFCC Section 14-3.5(C)(1)(b), the Commission finds that all the rezoning requirements of Chapter 14 have been met.
11. Pursuant to SFCC Section 14-3.5(C)(1)(c), the Commission finds that the proposed rezoning is consistent with the applicable policies of the general plan in that the Applicant is requesting required amendments to the Future Land Use Map of the General Plan concurrently with this Application.
12. Pursuant to SFCC Section 14-3.5(C)(1)(d), the Commission finds that the property is of sufficient size for rezoning and the proposed use for the land is consistent with city policies regarding the provision of urban land sufficient to meet the amount, rate and geographic location of the growth of the city.
13. Pursuant to SFCC Section 14-3.5(C)(1)(e), the Commission finds that the existing and proposed infrastructure can be modified to accommodate the impacts of the proposed development. The Las Soleras Master Plan was designed to accommodate this level of residential density.
14. Pursuant to SFCC Section 14-3.5(C)(2)(a), the Commission finds that the proposed zoning amendment will enable the construction of housing product similar to the adjacent Villas de Las Soleras Units 1 and 2.
15. Pursuant to SFCC Section 14-3.5(C)(2)(b), the Commission finds that at 6.8 acres, the proposed rezoning is well over the two acre threshold.
16. Pursuant to SFCC Section 14-3.5(C)(2)(c), the Commission finds that the proposed rezoning will not benefit one or a few landowners at the expense of the surrounding landowners or the general public, in housing product at a lower price point than other housing in Las Soleras can be built.
17. Pursuant to SFCC Section 14-3.5(D)(1) & (2), the Commission finds that the proposed rezoning and density can be accommodated by the road and other infrastructure improvements planned for in the Las Soleras Master Plan.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

1. Pursuant to SFCC Section 14-3.1, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.

Rezoning

1. The Applicant has the right under the SFCC to propose the rezoning of the Property.
2. The Commission has the power and authority at law and under the SFCC to review the proposed rezoning of the Property and to make recommendations regarding the proposed rezoning to the Governing Body.
3. The Applicant met the applicable Submittal Requirements.
4. The Commission should recommend approval of the requested rezoning because all applicable code requirements and criteria for recommendation of approval of the proposed rezoning have been met.

WHEREFORE, IT IS ORDERED ON THE 19th DAY OF AUGUST 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission recommends that the Governing Body approve the rezoning, as requested in the Application for Case #2021-3815.

Brian Gutierrez, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Kyle Hibner
Assistant City Attorney

Date

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2021-3816

4601 Rail Runner Drive; Villas de Las Soleras Unit 3 Preliminary Development Plan

Owner's/Applicant's Name- Ross's Peak Holdings, LTD., Co.

Agent's Name- James W. Siebert and Associates, Inc.

THIS MATTER came before the Planning Commission (Commission) for public hearing on August 19, 2021 (Hearing) upon the application (Application) of James W. Siebert and Associates, Inc., as agent for Ross's Peak Holdings, LTD., Co. (Applicant).

The Application pertains to a property located at 4601 Rail Runner Road totaling approximately 6.8 acres (Property). The Applicant requests approval of a preliminary development plan for 44 residential lots (Project). The Property is zoned R-6 (Residential-six dwelling units per acre).

In related Case #2021-3811, the Applicant requests an amendment to the Las Soleras Master Plan, in order to request a rezoning in related Case #2021-3815 from R-6 (Residential- six dwelling units per acre) to R-10 (Residential- ten dwelling units per acre) for a property located at 4601 Rail Runner Road.

Additionally, in related Case #2021-3814, the Applicant requests a general plan amendment to change the Future Land Use Designation from Low Density Residential (3 to 7 dwelling units per acre) to Medium Density Residential (7 to 12 dwelling units per acre) for a property located at 4601 Rail Runner Road.

Additionally, in related Case #2021-3815, the Applicant requests a rezoning from R-6 (Residential- six dwelling units per acre) R-10 (Residential- ten dwelling units per acre) for a property located at 4601 Rail Runner Road.

Finally, in related Case #2021-3817, the Applicant requests preliminary subdivision plat approval for 44 single-family residential lots for a property located at 4601 Rail Runner Road.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

General

1. SFCC Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC § 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC § 14-3.1(F)(2)(a)(iv)]; and (c) compliance with notice and public hearing requirements [SFCC § 14-3.1(H)-(I)].

2. A pre-application conference was held on March 25, 2021 in accordance with SFCC Section 14-3.1(E)(1).
3. Pursuant to SFCC Section 14-3.1(H), notice of the ENN meeting was properly given.
4. Pursuant to SFCC Section 14-3.1(F), a virtual ENN meeting was held on the Application on April 14, 2021. The ENN meeting was attended the Project team, members of City staff, and approximately 8 members of the public. Residents voiced concerns about construction impacts, dust, building height and visual impacts to the skyline, and lack of off-lot parking in previous phases.
5. City staff reviewed the preliminary development plan Application, and the related materials and information submitted by the Applicant, for conformity with applicable SFCC requirements and provided the Planning Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
6. Staff recommended that the Commission recommend approval by the Governing Body of the preliminary development plan, subject to Conditions and the technical corrections set forth in the Staff Report and exhibits.

Development Plan

7. Pursuant to SFCC Section 14-2.3(C)(1) and Section 14-3.8(B)(4), the Commission has the authority to review and approve development plans.
8. At the Hearing, the Commission considered the Application in this case concurrently with the applications in Case Nos. 2021-3811, 2021-3814, 2021-3815, and 2021-3817; and the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
9. Under SFCC Section 14-3.8(B)(3)(a), a new development with a gross floor area of thirty thousand (30,000) square feet or more requires approval of a development plan by the Commission.
10. In this case, the Applicant wishes to establish side yard setbacks of five feet at 24 foot height through the development plan.
11. SFCC Section 14-3.8 establishes certain procedures for development plan approval including, without limitation, a public hearing by the Commission and a decision based on the criteria set out in SFCC Section 14-3.8(D).
12. SFCC Section 14-3.8(C)(1) requires the Applicant to submit plans and other documentation that demonstrates conformance with applicable provisions of the SFCC (Submittal Requirements).
13. The information contained in the Staff Report and exhibits is sufficient to establish that the Submittal Requirements have been met.
14. SFCC Section 14-3.8(D)(1) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before approving a development plan.
15. Pursuant to SFCC Section 14-3.8(D)(1)(a), the Commission finds that it has the authority to review the development plan under SFCC Sections 14-2.3(C)(1), 14-3.8(B)(4), and Table 14-2.1-1.
16. Pursuant to SFCC Section 14-3.8(D)(1)(b), the Commission finds that the development plan will not adversely affect the public interest. The Governing Body has implemented the General Plan and ordinances to establish minimum standards for health, safety and welfare

affecting land uses and developments as a means to protect the public interest. This project serves the public interest through the provision of much-needed housing.

17. Pursuant to SFCC Section 14-3.8(D)(1)(c), the Commission finds that the use and any associated buildings are compatible with and adaptable to buildings, structures, and uses of the abutting property and other properties in the vicinity of the premises under consideration. The subject property is located in a master planned area designed to accommodate housing of this density.
18. Pursuant to SFCC Section 14-3.8(D)(2), the Commission “may specify conditions of approval that are necessary to accomplish the proper development of the area and to implement the policies of the general plan.”
19. The Commission finds that the Conditions and technical corrections set forth in the Staff Report and exhibits are necessary to accomplish the proper development of the area and to implement the policies of the general plan.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

1. Pursuant to SFCC Section 14-3.1, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.

Development Plan

2. The Commission has the authority to review and approve the preliminary development plan, subject to conditions.
3. The Applicant met the applicable Submittal Requirements.
4. The Commission approves the preliminary development plan subject to the conditions and technical corrections recommended by staff because all applicable code requirements and criteria for preliminary development plan approval have been met.

WHEREFORE, IT IS ORDERED ON THE 19th DAY OF AUGUST 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission approves the preliminary development plan for the Property, as requested in the Application for Case #2021-3816, subject to the Conditions and the technical corrections set forth in the Staff Report and exhibits. The preliminary development plan shall expire three years after issuance of this final action unless the final development plan is approved pursuant to SFCC Section 14-3.19(B)(2).

Brian Gutierrez, Chair

Date

FILED:

Case #2021-3816

4601 Rail Runner Drive; Villas de Las Soleras Unit 3 Preliminary Development Plan

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Kyle Hibner
Assistant City Attorney

Date

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2021-3817

4601 Rail Runner Drive; Villas de Las Soleras Unit 3 Preliminary Subdivision Plat

Owner's/Applicant's Name- Ross's Peak Holdings, LTD., Co.

Agent's Name- James W. Siebert and Associates, Inc.

THIS MATTER came before the Planning Commission (Commission) for public hearing on August 19, 2021 (Hearing) upon the application (Application) of James W. Siebert and Associates, Inc., as agent for Ross's Peak Holdings, LTD., Co. (Applicant).

The Application pertains to a property located at 4601 Rail Runner Road totaling approximately 6.8 acres (Property). The Applicant requests approval of a preliminary subdivision plat for 44 residential lots (Project). The Property is zoned R-6 (Residential-six dwelling units per acre).

In related Case #2021-3811, the Applicant requests an amendment to the Las Soleras Master Plan, in order to request a rezoning in related Case #2021-3815 from R-6 (Residential- six dwelling units per acre) to R-10 (Residential- ten dwelling units per acre) for a property located at 4601 Rail Runner Road.

Additionally, in related Case #2021-3814, the Applicant requests a general plan amendment to change the Future Land Use Designation from Low Density Residential (3 to 7 dwelling units per acre) to Medium Density Residential (7 to 12 dwelling units per acre) for a property located at 4601 Rail Runner Road.

Additionally, in related Case #2021-3815, the Applicant requests a rezoning from R-6 (Residential- six dwelling units per acre) R-10 (Residential- ten dwelling units per acre) for a property located at 4601 Rail Runner Road.

Finally, in related Case #2021-3816, the Applicant requests preliminary development plan approval for a 44-lot single family subdivision for a property located at 4601 Rail Runner Road.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

General

1. Santa Fe City Code (SFCC) Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC Section 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC Section 14-

- 3.1(F)(2)(a)(v)]; and (c) compliance with notice and public hearing requirements [SFCC Section 14-3.1(H)-(I)].
2. A pre-application conference was held on March 25, 2021 in accordance with SFCC Section 14-3.1(E).
 3. Pursuant to SFCC Section 14-3.1(H)(1), notice of the ENN meeting was properly given.
 4. Pursuant to SFCC Section 14-3.1(F), a virtual ENN meeting was held on the Application on April 14, 2021. The ENN meeting was attended the Project team, members of City staff, and approximately 8 members of the public. Residents voiced concerns about construction impacts, dust, building height and visual impacts to the skyline, and lack of off-lot parking in previous phases.
 5. City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
 6. Staff recommended that the Commission should approve the preliminary subdivision plat, subject to certain conditions (the Conditions) and technical corrections set out in the Staff Report and exhibits.

Preliminary Subdivision Plat

7. Pursuant to SFCC Sections 14-2.3(C)(1) and 14-3.7(B)(3)(d), the Commission has the authority to review and approve or disapprove preliminary subdivision plats.
8. At the Hearing, the Commission considered the Application in this case concurrently with the applications in Case Nos. 2021-3811, 2021-3814, 2021-3815, and 2021-3816; and the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
9. SFCC Section 14-3.7(B) establishes certain procedures for preliminary subdivision plat approval including, without limitation, a public hearing by the Commission, review of the preliminary plat, and a decision based on the criteria set out in SFCC Section 14-3.7(C).
10. SFCC Section 14-3.7(B)(3)(b) requires the Applicant to submit a preliminary plat prepared by a professional land surveyor, together with improvement plans and other specified supplementary material that demonstrates conformance with the standards of SFCC Section 14-9 (Submittal Requirements).
11. SFCC Section 14-3.7(C) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before approving a preliminary subdivision.
12. Pursuant to SFCC Section 14-3.7(C)(1), the Commission finds that due regard has been shown for all natural features, as there is minimal vegetation on the site, and there are no significant natural features, water courses, historical sites and structures, or similar community assets. Archaeological clearance for this project was obtained. There are no historical sites.
13. Pursuant to SFCC Section 14-3.7(C)(2), the Commission finds that the land is suitable for platting and development purposes of the kind proposed. The land is suitable for residential development of similar density to surrounding neighborhoods with a major road adjoining the property and utilities either adjacent to the property or in close proximity to the property.
14. Pursuant to SFCC Section 14-3.7(C)(3), the Commission finds that the plat complies with the infrastructure design, improvement, and dedication standards set forth in SFCC Section 14-9.

15. Pursuant to SFCC Section 14-3.7(C)(4)-(5), the Commission finds that no existing nonconformities are increased, nor are any nonconformities created by the approval of this subdivision. The Applicant is not requesting any variances with this proposal.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

- 1. Pursuant to SFCC Section 14-3.1, all procedures regarding the pre-application conference, ENN meeting, notice, and public hearing requirements have been followed.

Preliminary Subdivision

- 2. The Commission has the authority to review and approve the preliminary subdivision plat subject to conditions.
- 3. The Applicant met the applicable Submittal Requirements.
- 4. The preliminary subdivision plat should be approved, subject to the Conditions and technical corrections set forth in the Staff Report because all applicable code requirements and criteria for preliminary subdivision plat approval have been met.

WHEREFORE, IT IS ORDERED ON THE 19th DAY OF AUGUST 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission approves the preliminary subdivision plat for the Project, subject to the Conditions and the technical corrections set forth in the Staff Report and exhibits. The preliminary subdivision plat shall expire three years after issuance of this final action unless an extension is granted or a final subdivision plat is approved pursuant to SFCC Section 14-3.19(C).

Brian Gutierrez, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Kyle Hibner
Assistant City Attorney

Date

City of Santa Fe, New Mexico

Case #2021-3816 3817

**Villas de Las Soleras Unit 3 Preliminary
Development Plan and Preliminary Subdivision
Planning Commission
August 19, 2021**

Exhibit B

Development Review Team

- 1. Compiled Technical Corrections**
- 2. ADA Site Review**
- 3. MPO Review**
- 4. Fire Prevention Review**
- 5. Terrain Management Review**
- 6. Landscape Review**
- 7. Wastewater Review**

EXHIBIT B1
 Technical Corrections
 Case #2021-3816 3817
 Villas de Las Soleras Unit 3 Preliminary Development Plan & Preliminary Subdivision

TECHNICAL CORRECTIONS	Department	Staff
<ol style="list-style-type: none"> 1. Dust Control Note Shall be placed on the Development Plan or construction plans (see attached). 2. Gunnison's Prairie dog note shall be placed on the Development Plan or construction plans (see attached). 3. Drainage Facilities Maintenance note shall be placed on the Plat or Development Plan (see attached). 4. Include Pond Measuring device in pond if pond will be proposed (example included below). 5. Perimeter Wall Detail on C-102 shows 6'0" max height on the wall, but the height is not shown to the finished grade on one side of the wall. The maximum wall height is 6'0" to the finish grade on either side of the wall. 6. Sheets C-117 thru C-120 incorrectly show the sewer and the storm drain under the structures. Correct the drawings. 7. Show pond volume on plan. Pond details are required. Pond depth of 4 feet will require perimeter safety fencing. 8. Provide concrete valley gutter for alley drainage. 9. This Development shall comply with the most current requirements of the American with Disabilities Act (ADA). Place a note on the Plan to reflect this condition. 10. Other comments will be provided on these plans at the time of the building permit and changes may be required during permitting process. 11. Include engineer's storm water infrastructure certification below. 	<p style="text-align: center;">Technical Review Division/Terrain Management</p>	<p style="text-align: center;">Dee Beingessner</p>
<ol style="list-style-type: none"> 1. Due to the Emerald Ash Beetle, please replace the Ash trees with another approved tree variety from the City of Santa Fe plant list. 2. Street Trees: Identify each species, location and quantity. 3. Provide a professional landscape irrigation design with details of backflow preventer in a Hotbox, controller, electric drip valve, valve box assembly, end flush cap, and emitter placement. Following COSF code in 14-8.4(E)(4) and Landscape Irrigation Design Standards City of Santa Fe. 4. COSF Code 3.19.1 requires landscape irrigation plans for large projects not to exceed 20 scale, 1 inch equals 20 feet. 5. Reduce the number of Pinon Pine by four and add four Austrian Pine. 6. Complete the Landscape plan. 7. Note on plan: "All disturbed areas shall be restored per COSF Code 14-8.2(D)(5)". 8. Provide an outdoor lighting plan with photometric data per 14-8.9(C) COSF code. 9. Provide landscape and irrigation at North East drainage easement. 10. Remove street trees at Fire Access Road and Rail Runner. 	<p style="text-align: center;">Technical Review Division/Landscape</p>	<p style="text-align: center;">Lawrence Rivera</p>

EXHIBIT B1
 Technical Corrections
 Case #2021-3816 3817
 Villas de Las Soleras Unit 3 Preliminary Development Plan & Preliminary Subdivision

<p>11. Staff reserves the right to require additional submittals upon receiving revisions.</p>		
<p>1. Sidewalk placement and widths are not specified – 5ft minimum.</p> <p>1. All public sewer line sewer pipe shall be SDR 26 PVC.</p> <p>2. No portion of the public sewer line and the associated 20-foot easement shall be located within a pond or pond embankment area.</p> <p>3. A 20 foot wide, 6 inch thick base course driving or asphalt surface is required up to sewer manholes 5 and 6 for vactor truck access.</p> <p>4. Remove sheet C-507 from the plan set.</p> <p>5. Identify the sewer manhole numbers in the plan view.</p> <p>6. Need to identify the water and storm drain lines in the sewer plan and profile sheets for these lines when they cross or run parallel with the public sewer.</p> <p>7. Need to identify a minimum 20 foot sewer easement for the portion of the public sewer line going from Lot 7, around the detention pond and connecting to the existing public sewer main.</p> <p>8. In the cul de sac area near lots 31 &32, the clearances between the water, sewer and storm lines and manholes is not clear. It is preferred to keep the sewer line within the road and also not to have the sewer line going under side walks.</p>	<p style="text-align: center;">MPO</p> <p style="text-align: center;">Public Utilities/Wastewater</p>	<p style="text-align: center;">Leah Yngve</p> <p style="text-align: center;">Stan Holland</p>
<p>1. Fire apparatus access shall have an unobstructed width of not less than 20 feet exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches (IFC 2009 Section 503.2.1).</p> <p>2. 150 feet driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided (Appendix D Table D103.4).</p> <p>3. Fire Department shall have 150 feet distance to any portion of the building on any new construction. (IFC 2009 section 503.1.1).</p> <p>4. Shall comply with table D103.4 Requirements for Dead-End Fire Apparatus Access Roads.</p> <p>5. 507.5 Fire hydrant systems: Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6, 507.5.1 where required: Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building.</p> <p>6. Shall have water supply that meets fire flow requirements as per IFC (Appendix B).</p> <p>7. Shall comply with Section D102.1: Access and Loading (75,000 lbs).</p> <p>8. Shall comply with IFC 2009 Section D103.2 Grade: Fire apparatus access roads shall not exceed 10 percent in grade.</p> <p>9. Shall comply with IFC 2009 Section D103.5 Fire apparatus access road gates.</p>	<p style="text-align: center;">Fire Prevention</p>	<p style="text-align: center;">Geronimo Griego</p>

EXHIBIT B1
Technical Corrections
Case #2021-3816 3817
Villas de Las Soleras Unit 3 Preliminary Development Plan & Preliminary Subdivision

10. Shall comply with Section D106 Multiple-Family Residential Developments.		
11. Shall meet the IFC code requirements 2015 edition or the most current edition the governing body has adopted at the time of permitting.		

From: [KLUCK, JASON M.](#)
To: [LOGSTON, LEE R.](#)
Cc: [BERKE, NOAH L.](#); [BEINGESSNER, DEE](#)
Subject: Vistas de las Soleras Unit 3
Date: Sunday, July 4, 2021 10:59:44 AM

Hi Lee,

I would like to request additional information regarding the street connection to Lots 1&2 (as discussed in the meeting) in order to complete this review. If they can provide this and update the submittal to reflect all required sidewalks and ADA accommodation at the head-in parking, I can most likely offer approval without technical corrections.

Thanks,

Jason

Jason M. Kluck

Interim Planning & Land Use Director
City of Santa Fe, Land Use Department
200 Lincoln Avenue
Santa Fe, NM 87504
O: (505)955-6729
C: (505)795-2347
E: jmkluck@santafenm.gov

***Please email or text me in lieu of a phone call or VM whenever possible to help ensure a more timely response.
Thank you!***

Please follow the links below for additional contacts and information regarding current operations.

Land Use landing page: https://www.santafenm.gov/land_use

Building Permits: https://www.santafenm.gov/building_permits

Inspections & Enforcement: https://www.santafenm.gov/inspections_and_enforcement

Engineering: https://www.santafenm.gov/technical_review

Current Planning: https://www.santafenm.gov/current_planning

Historic Preservation: https://www.santafenm.gov/historic_preservation

Development Review Team

Comment Form

Date: 07/14/2021

Staff person: Geronimo Griego

Dept/Div: Fire Prevention

Case: 2021-3816 3817 Villas de Las Soleras Unit 3

Case Mgr: Lee Logston



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:
by:

Must be completed

	Prior to planning commission.
--	-------------------------------

Technical Corrections*:

Must be completed by:

<ol style="list-style-type: none">1. Fire apparatus access shall have an unobstructed width of not less than 20 feet exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches (IFC 2015 Section 503.2.1)2. Shall meet the 150 foot driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided. (Appendix D Table D103.4)3. Shall comply with table D103.4 Requirements for Dead-End Fire Apparatus Access Roads.4. Fire Department shall have 150 feet distance to any portion of the building on any new construction. (IFC 2015 section 503.1.1)5. 507.5 Fire hydrant systems. Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6. 507.5.1 Where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building.6. Shall have water supply that meets fire flow requirements as per IFC (Appendix B)	At the time of any new construction or remodel.
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<ol style="list-style-type: none">7. Shall comply with Section D102.1 Access and Loading (75,000 lbs).8. Shall comply with IFC 2015 Section D103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.9. Shall comply with IFC 2015 Section D103.5 Fire apparatus access road gates.10. Shall comply with Section D106 Multiple-Family Residential Developments.11. Shall meet the IFC code requirements 2015 edition or the most current edition the governing body has adopted at the time of permitting.	
--	--

*Must made prior to recording and/or permit issuance

Development Review Team

Comment Form

Date: 7/13/21

Staff person: Leah Yngve

Dept/Div: Land Use/MPO



Case: **Case #2021-3816. Villas de Las Soleras Unit 3 Preliminary Development Plan**

Case Mgr: Lee Logston

Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval :	Must be completed by:
1 Expand the sidewalk on Governor Miles to a 10 ft multiuse trail as a section of the planned Arroyo Chamiso Trail	Prior to Signature Sheet Process
2 Add a pedestrian connection from Governor Miles to the cul-de-sac through the drainage easement	Prior to Signature Sheet Process

Technical Corrections*:	Must be completed by:
1 Sidewalk placement and widths are not specified – 5ft minimum	

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]

Explanation of Conditions or Corrections (if needed):

1. Sidewalk Expansion

The Arroyo Chamiso Trail has been planned in Santa Fe for over a decade. Due to property constraints, the natural alignment north and south of Governor Miles may not be possible, therefore an alternate alignment has been planned along Emblem Road since the 2012 Santa Fe Bicycle Master Plan. This alignment will reach Governor Miles from the north just east of Villas de las Soleras. A multiuse trail along Governor Miles will provide the connection from the Arroyo Chamiso Trail to the existing Rail Runner side path/trail.

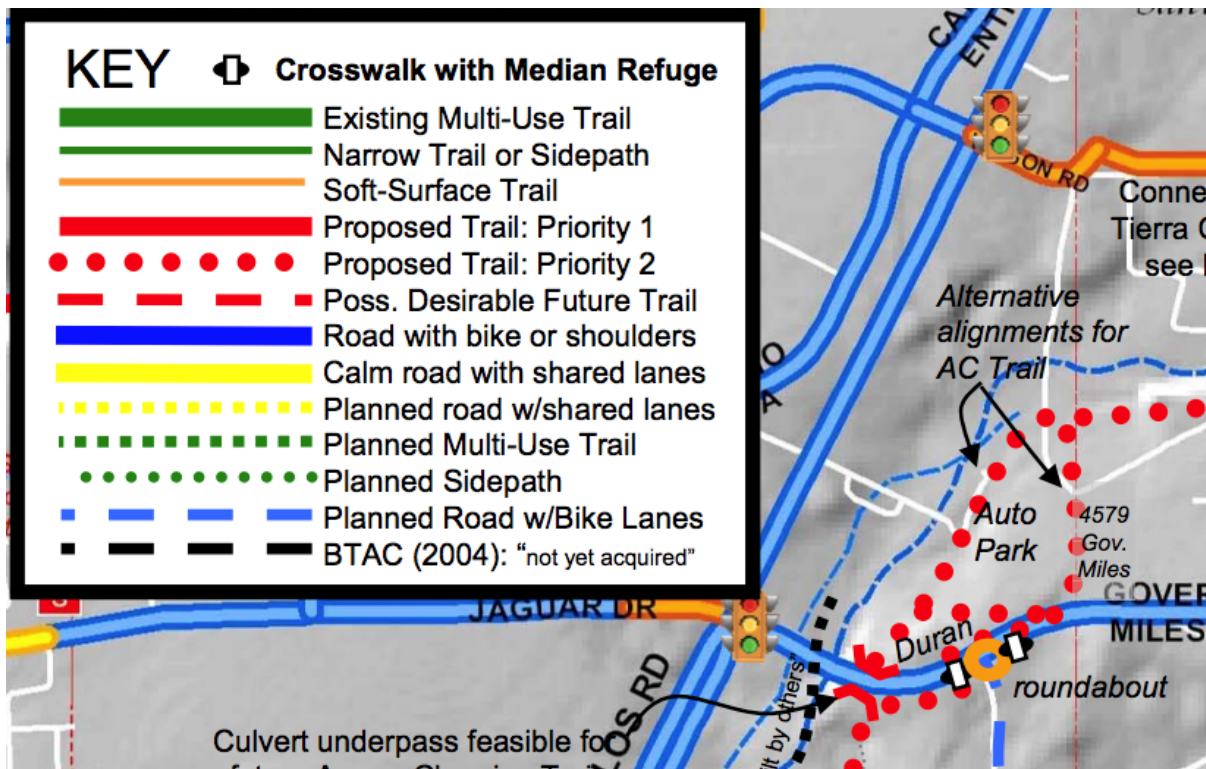
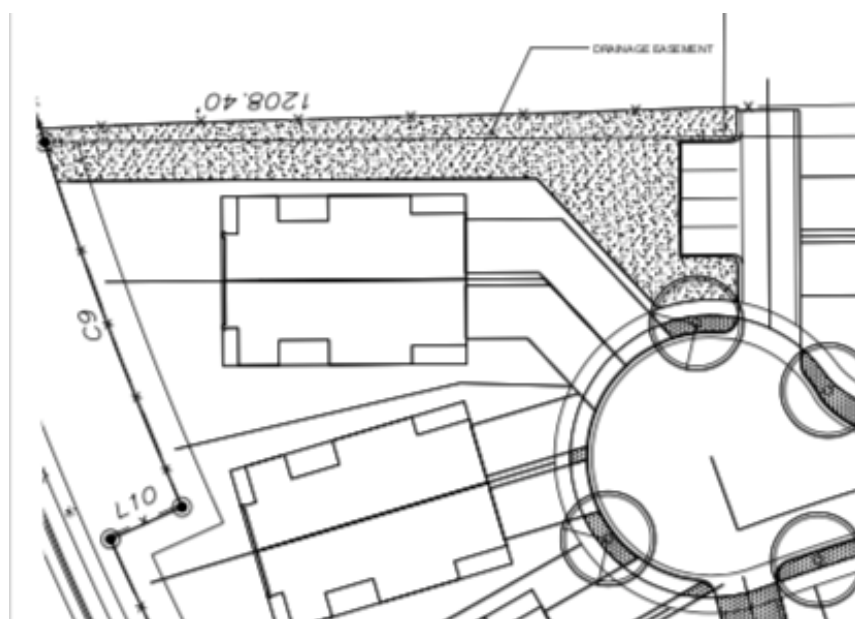


Diagram from the Bikeways Mapping Project: https://santafemipo.org/wp-content/uploads/2011/02/Bikeways-Mapping-Project_Vignettes-Apr-2012.pdf

2. Pedestrian connection

A pedestrian connection through the below drainage easement from Governor Miles to the cul-de-sac will increase the permeability and walkability of the neighborhood. With transit and trail access off of Governor Miles to the east, residents may need to go that direction on foot or bicycle and will appreciate a shorter route to reach these amenities. The Santa Fe Pedestrian Master Plan identifies poor connectivity as a key barrier to people walking and improving connectivity as an important component of improving walkability.



3. Sidewalk specifications

The plans did not clearly identify where sidewalks will be built. All roads require 5ft minimum sidewalks.

Table 14-9.2-1: Design Criteria for Street Types

(Ord. No. 2013-16 § 59)

TABLE 14-9.2-1: Design Criteria for Street Types									
See also Chapter 12 Fire Prevention and Protection — International Fire Code Appendix D Fire Apparatus Access Roads (as amended) for mandatory standards for roadway width, steepness, dead end/turnarounds, number of access points and fire lane signage									
Criteria	Major Arterial (6-Lane)	Major Arterial (4-Lane)	Secondary Arterial	Collector	Collector Mixed-Use	Subcollector		Lane	Lot Access Driveway Note 1
						No Parking	With Parking		
Average Daily Traffic	Up to 60,000	Up to 40,000	5,000-15,000	1,000—5,000	1,000—5,000	300—1,000	300—1,000	0—300	Minimum
Dwelling Unit Access						30—100	30—100	0—30	(0—8)
Minimum Right-of-way Width	120	98	70	52	50	42	50 or 56	38 or 42	NA
Slope/Grading Easement (conditional upon staff review)	0—30	0—30	0—30	0—30	0—30	0—30	0—30	0—30	NR
Number of Auto Lanes	6—7 Note 2	4—5 Note 2	2—3 Note 2	2	2	2	2	2	1
Width of Driving Lanes	11	11	11	10	10	9	10	9	10
Median/Turn Lane Width	18	18	14	NR	NR	NR	NR	NR	NR
Minimum Bikeway Width	5	5	5	4	NR	NR	NR	NR	NR
On-Street Parking Width	NA	NA	NA	NA	6 Note 3	NA	6 Note 4	NA	NA
Curb & Gutter	2	2	2	2	2	2	2	2	NR
Minimum Sidewalk Setback	5	5	5	5	NR	5	5	0 or 5 Note 1	NR
Minimum Sidewalk Width	6	6	5	5	7	5	5	5	NR

Notes:
 NA - Not Applicable
 NR - Not Required
 1. Refer to Subsection 14-9.2(C)(8) for additional standards for lanes and lot access driveways. Lot access driveway standard applicable to access from street to not more than eight single family lots.
 2. Includes Median/Turn Lane
 3. Parking required on both sides of street, except no parking on that side of a street adjoining the plaza.
 4. Parking may be on one side or both sides of the street; parking lane should not be continuous.()
 All measurements in feet, unless otherwise noted.

Development Review Team Comment Form

Date: 7/20/21
 Staff person: Dee Beingessner
 Dept/Div: Land Use/Terrain Management
 Case: **Case #2021-3811 thru 3817 Villas de Las Soleras Unit 3**
 Case Mgr: Lee Logston



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval :	Must be completed by:
1 Plat note 11 states no on lot ponding is required. Please state up to how many square feet of impervious surface is allowed on each lot before on-lot ponding is required. Drainage report should clearly show how much impervious surface on each lot was used for hydraulic calculations.	Prior to recording plat
2 Drainage report discussion must include pond volume required and pond volume provided for the site.	

Technical Corrections*:	Must be completed by:
1 Dust Control Note Shall be placed on the Development Plan or construction plans (see attached)	Prior to recordation or permitting
2 Gunnison's Prairie dog note shall be placed on the Development Plan or construction plans (see attached)	Prior to recordation or permitting
3 Drainage Facilities Maintenance note shall be placed on the Plat or Development Plan (see attached)	Prior to recordation or permitting
4 Include Pond Measuring device in pond if pond will be proposed (example included below)	Prior to permitting
5 Perimeter Wall Detail on C-102 shows 6'0" max height on the wall, but the height is not shown to the finished grade on one side of the wall. The maximum wall height is 6'0" to the finish grade on either side of the wall.	Prior to permitting
6 Sheets C-117 thru C-120 incorrectly show the sewer and the storm drain under the structures. Correct the drawings.	Prior to permitting
7 Show pond volume on plan. Pond details are required. Pond depth of 4 feet will require perimeter safety fencing.	Prior to permitting
8 Provide concrete valley gutter for alley drainage.	Prior to permitting
9 This Development shall comply with the most current requirements of the American with Disabilities Act (ADA). Place a note on the Plan to reflect this condition	Prior to permitting
10 Other comments will be provided on these plans at the time of the building permit and changes may be required during permitting process	Prior to permitting
11 Include engineer's stormwater infrastructure certification below.	Prior to permitting

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]

Explanation of Conditions or Corrections (if needed): (see following pages for notes required)

DRAINAGE FACILITIES MAINTENANCE NOTE

ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY ALL PROPERTY OWNERS. THE PROPERTY OWNERS SHALL ALSO HAVE THE RESPONSIBILITY FOR MAINTENANCE OF THE PUBLIC DRAINAGE EASEMENT.

INSPECTIONS SHALL BE CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO OR OTHER QUALIFIED PERSON. INSPECTIONS SHALL BE CONDUCTED ON THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. MAINTENANCE OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED AND DOCUMENTED BY THE ENGINEER OR QUALIFIED PERSON AND THE OWNER. THE OWNER SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE ENGINEER'S RECOMMENDATIONS, AND SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:

A. FLUSH ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND VEGETATION THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURE(S).

B. REMOVE SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH, AND IF NECESSARY, RESEED WITH NATIVE GRASSES AND INSTALL FILTER FABRIC AND 3 TO 4 INCH COBBLE AS DIRECTED BY THE ENGINEER.

C. INSPECT FOR SEDIMENTATION IN ALL SWALES, DITCHES, DRAINAGE PONDS AND REMOVE AND STABILIZE AS NECESSARY.

D. INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS, CUT AND FILL SLOPES, AND REPAIR OR STABILIZE ACCORDINGLY.

E. INSPECT THE STRUCTURAL INTEGRITY OF DRAINAGE PONDS, SLOPES, RIP-RAP, GABIONS, DROP INLETS, CULVERTS, ENERGY DISSIPATORS, AND RETAINING WALLS, ROCK PLATING, EROSION CONTROL MATS OR BLANKETS, AND REPAIR OR STABILIZE ACCORDINGLY.

GUNNISON'S PRAIRIE DOG NOTE

THE PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE GUNNISON'S PRAIRIE DOG ORDINANCE (ARTICLE 14-8.12).

DUST CONTROL NOTE

All on-site soil disturbing construction activities shall be addressed and provide measures to mitigate or control dust from being transported offsite and polluting neighboring properties.

Any person, owner, contractor or operator who conducts earthmoving and/or dust generating activities is responsible for implementing Best Management Practices (BMPs) in order to mitigate off-property transport of fugitive dust emissions.

A plan, or storm water prevention plan (SWPPP) when applicable, listing the Best Management Practices (BMPs), shall be provided to the City Engineer, or their designee for review and approval. The approved BMPs shall be applied to the graded and/or disturbed soil in order to stabilize the site.

The initial BMP shall address how the Contractor will minimize the amount of disturbed soil, and how the Contractor will stabilize the disturbed surface area exposed to wind or vehicle traffic during construction.

Some BMPs shall include:

- The reduction of vehicle speeds: establish a maximum speed limit or install traffic calming devices to reduce speeds to a rate to mitigate off-property transport of dust entrained by vehicles.
- The minimization of drop height: Drivers and operators shall unload truck beds and loader or excavator buckets slowly, and minimize drop height of materials to the lowest height possible, including screening operations.
- High winds restriction: temporarily halt work activities during high wind events greater than 30 mph if operations would result in off-property transport.
- Restrict access: restrict access to the work area to only authorized vehicles and personnel.

In the event the above practices are ineffective to prevent off property transport, the owner or operator shall use at one or more of the following Best Management Practices (BMPs):

- Wet suppression: apply water to disturbed soil surfaces, backfill materials, screenings, and other dust generating operations as necessary and appropriate considering current weather conditions, and prevent water used for dust control from entering any public right-of-way, storm water drainage facility, or watercourse.
- Wind barrier: construct a fence or other type of wind barrier to prevent wind erosion of the graded or disturbed surface.
- Vegetation: plant vegetation appropriate for retaining soils or creating a wind break.
- Surface roughening: stabilize an active construction area during periods of inactivity or when vegetation cannot be immediately established.

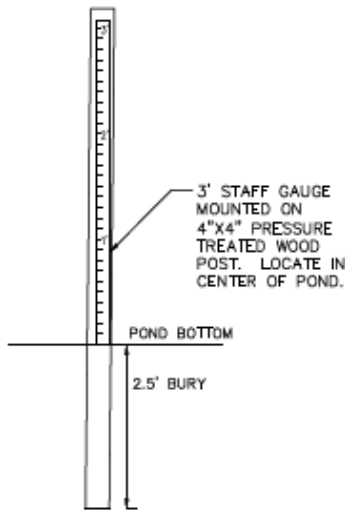
- Cover: install cover materials such as tackifiers, erosion control blankets, gravel, vegetation (when appropriate), cold-millings, etc. during periods of inactivity and properly anchor the cover.
- Soil retention: stabilize disturbed or exposed soil surface areas that will be inactive for more than 30 days or while vegetation is being established.

ENGINEER’S STORMWATER INFRASTRUCTURE CERTIFICATION

I, the undersigned professional engineer in the State of New Mexico, do hereby certify that the record information shown hereon is based on actual field measurements and visual inspections performed by myself or under my direct supervision. I further certify that the record condition as of _____ is in substantial compliance with the approved grading and drainage plan prepared by _____, dated _____.

Signature _____ NMPE # _____ Date _____

Example for pond measurement post



POST & STAFF GAUGE
NTS

Development Review Team

Comment Form

Date: 7/21/21

Staff person: Lawrence Rivera

Dept/Div: Land Use/Terrain Management – Landscape/Irrigation Review

Case #2021-3816 3817. Villas de Las Soleras Unit 3 Master Plan Amendment.

Case Manager: Lee Logston, llogston@santafenm.gov, 955-6136



Review by this division/department of the Preliminary Development plan set has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:	Must be completed by:

Technical Corrections*:	Must be completed by:
1. Due to the Emerald Ash Beetle, please replace the Ash trees with another approved tree variety from the City of Santa Fe plant list.	Prior to permit review
2. Street Trees: Identify each species, location and quantity.	Prior to permit review
3. Provide a professional landscape irrigation design with details of backflow preventer in a Hotbox, controller, electric drip valve, valve box assembly, end flush cap, and emitter placement. Following COSF code in 14-8.4 (E) (4) and Landscape Irrigation Design Standards City of Santa Fe.	Prior to permit review
4. COSF Code 3.19.1 requires landscape irrigation plans for large projects not to exceed 20 scale, 1 inch equals 20 feet.	Prior to permit review
5. Reduce the number of Pinon Pine by four and add four Austrian Pine.	Prior to permit review
6. Complete the Landscape plan.	Prior to permit review
7. Note on plan: "All disturbed areas shall be restored per COSF Code 14-8.2(D)(5)".	Prior to permit review
8. Provide an outdoor lighting plan with photometric data per 14-8.9(C) COSF code.	Prior to permit review
9. Provide landscape and irrigation at North East drainage easement.	Prior to permit review
10. Remove street trees at Fire Access Road and Rail Runner.	Prior to permit review
Staff reserves the right to require additional submittals upon receiving revisions.	

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]

Explanation of Conditions or Corrections (if needed):

Development Review Team

Comment Form

Date: July 26, 2021

Staff person: Stan Holland, Engineer

Dept/Div: Public Utilities/Wastewater

Case: Case #2021-3816 & 3817 Villas de Las Soleras Unit 3

Case Mgr: Lee Logston, Case Manager



The subject properties are accessible to the City public sewer system. Accessible is defined as within 200 feet of a public sewer line.

Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:

Must be completed by:

	Prior to Sign Off for Final Subdivision Plan.
--	---

Technical Corrections*:

Must be completed by:

<ol style="list-style-type: none">1. All public sewer line sewer pipe shall be SDR 26 PVC2. No portion of the public sewer line and the associated 20-foot easement shall be located within a pond or pond embankment area.3. A 20 foot wide, 6 inch thick base course driving or asphalt surface is required up to sewer manholes 5 and 6 for vector truck access4. Remove sheet C-507 from the plan set5. Identify the sewer manhole numbers in the plan view6. Need to identify the water and storm drain lines in the sewer plan and profile sheets for these lines when they cross or run parallel with the public sewer7. Need to identify a minimum 20 foot sewer easement for the portion of the public sewer line going from Lot 7, around the detention pond and connecting to the existing public sewer main.8. In the cul de sac area near lots 31 &32, the clearances between the water, sewer and storm lines and manholes is not clear. It is preferred to keep the sewer line within the road and also not to have the sewer line going under side walks	Prior to Sign Off for Final Subdivision Plan.
---	---

*Must made prior to recording and/or permit issuance

City of Santa Fe, New Mexico

**Case #2021-3816 3817
Villas de Las Soleras Unit 3 Preliminary
Development Plan and Preliminary Subdivision
Planning Commission
August 19, 2021**

Exhibit C

Maps and Photos

- 1. Future Land Use**
- 2. Current Zoning**
- 3. Aerial Photo**
- 4. Street View**

Exhibit C1: Future Land Use Map

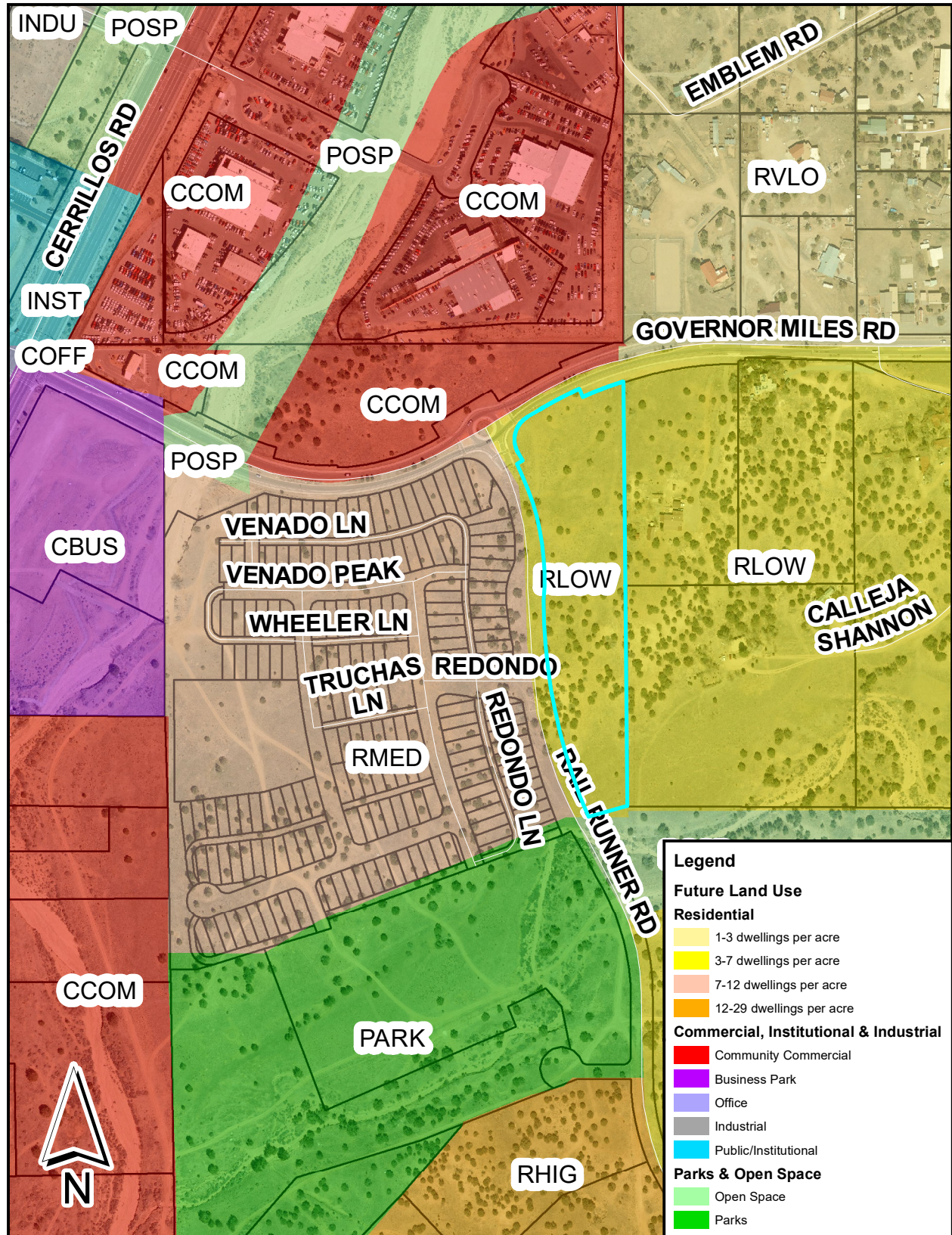


Exhibit C2: Current Zoning Map

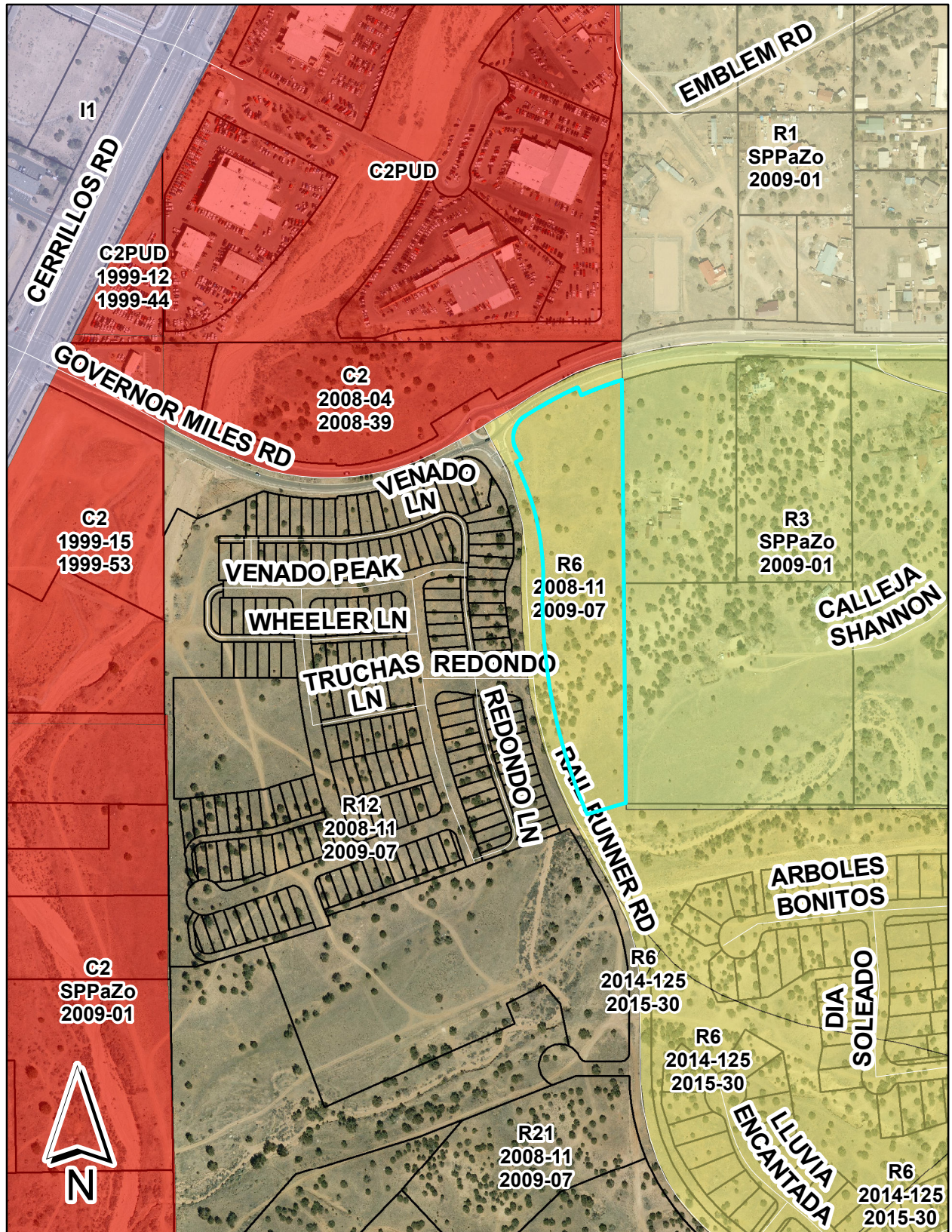


Exhibit C3: Google Aerial



Exhibit C4: Google Street View

Looking southeast from roundabout at Governor Miles



City of Santa Fe, New Mexico

Case #2021-3816 3817

**Villas de Las Soleras Unit 3 Preliminary
Development Plan and Preliminary Subdivision
Planning Commission
August 19, 2021**

Exhibit D

Applicant Materials

- 1. Siebert & Associates Project Report**
- 2. Santa Fe Homes Proposal**
- 3. Proposed Development Plan & Subdivision**

**VILLAS DE LAS SOLERAS, UNIT 3
LAS SOLERAS MASTER PLAN AMENDMENT
GENERAL PLAN AMENDMENT
REZONING R-6 TO R-10
DEVELOPMENT PLAN
PRELIMINARY SUBDIVISION PLAT**

**PREPARED FOR
PULTE GROUP OF NEW MEXICO, INC**

**PREPARED BY
JAMES W. SIEBERT & ASSOCIATES, INC**

JUNE, 2021

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APPENDICES

Appendix A	Warranty Deed
Appendix B	Reduction of Legal Lot of Record Plat
Appendix C	ENN Guidelines
Appendix D	Archaeological and Historic Clearance
Appendix E	Response from SFPS
Appendix F	Phasing Description from 2017

FIGURES

Figure 1: Vicinity Map

BACKGROUND INFORMATION

Relationship to Las Soleras Master Plan and Existing Zoning

A request is submitted for an amendment to the Las Soleras Master Plan changing the zoning on Tract 13 from R-6, six dwellings per acre to R-10 ten dwellings per acre. The purpose of this request is discussed in the section of the report addressing the “rezoning criteria” required by City Code.

Relationship to the City General Plan

A request is submitted for an amendment to the City General Plan from Low Density Residential 3-7 dwellings per acre to Medium Density 7-12 dwellings per acre. The purpose of this request is discussed in the section of the report addressing the “general plan criteria” required by the City Code.

PROJECT OWNERSHIP

The subject site is owned by Ross’ Peak LTD., CO., a Limited Liability Company registered in Montana. The recorded warranty deed is included in the report as Appendix A. Ross’ Peak LTD., CO., has signed the application form and Pulte Homes of New Mexico, Inc will perform all the processing of the development applications to the city and purchase the property with certain entitlements.

LEGAL LOT OF RECORD

The legal lot of record was created by a plat entitled “Lot Line Adjustment Plat Prepared for, Beckner Road Equities, Inc., and is recorded in Plat Book 714 Pages 018 to 020. A reduction of the plat is found in Appendix B. The parcel of land is referred to as Tract 13 on this plat of record.

PROJECT LOCATION

The 6.792-acre tract is located east of Rail Runner Road and south of Governor Miles Road. The vicinity map for the subject development requests is shown on Figure 1.

EXISTING CONDITIONS

Estancias de Las Soleras Units 1 and 2 have both been approved by the City for infrastructure construction. Units 1 and 2 will be built concurrently with Unit 1 having the majority of houses under construction.

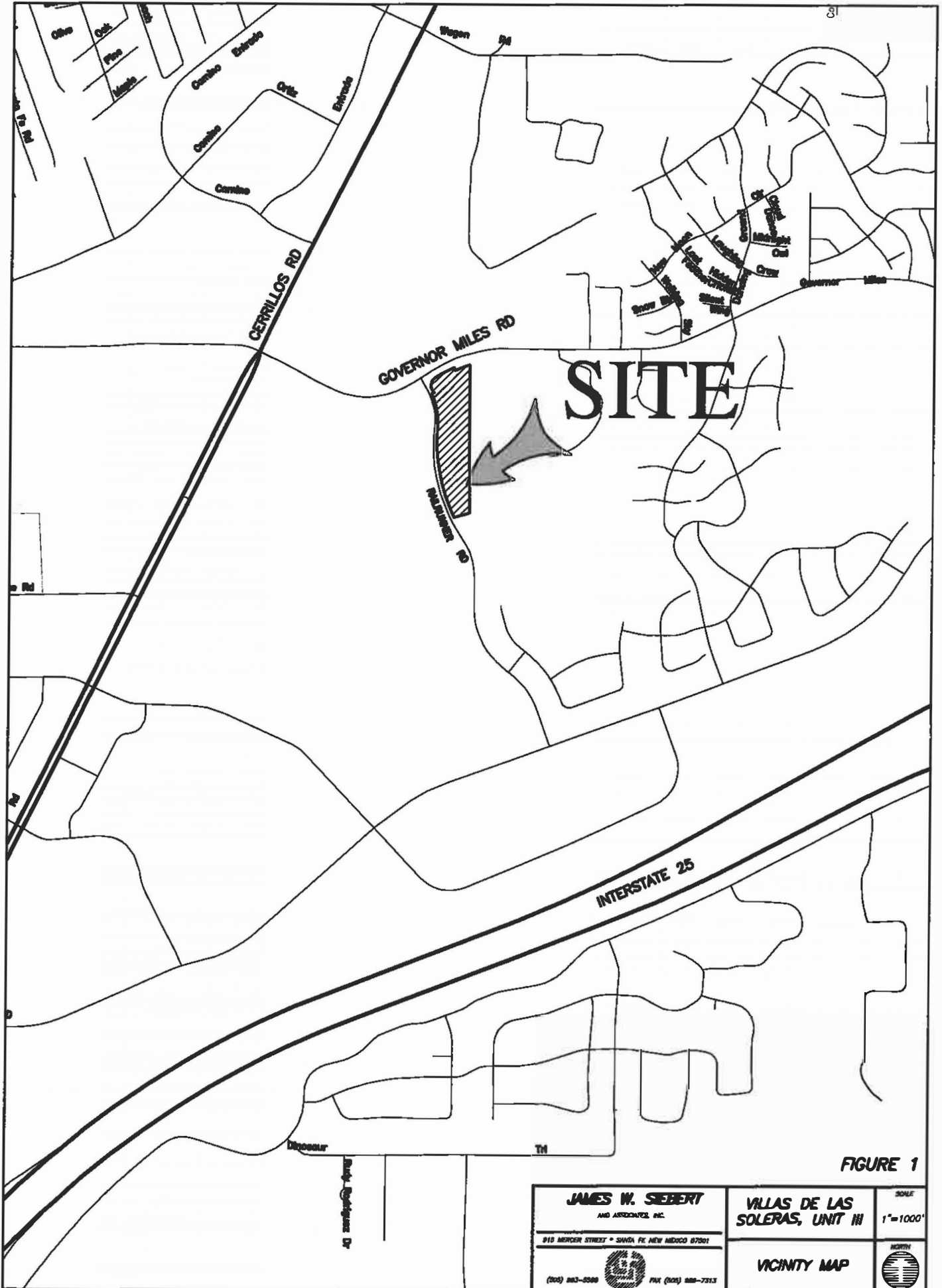


FIGURE 1

<p>JAMES W. SEBERT AND ASSOCIATES, INC.</p>	<p>VILLAS DE LAS SOLERAS, UNIT III</p>	<p>SCALE 1" = 1000'</p>
<p>810 MERCER STREET • SANTA FE, NEW MEXICO 87501</p> <p>(505) 883-5000</p>	<p>VICINITY MAP</p>	<p>NORTH</p> 

DEVELOPMENT REQUESTS

The developer is requesting several development requests associated with the development of this property, consisting of the following.

Las Soleras Master Plan Amendment

The increase in residential density requires an amendment to the Las Soleras Master Plan. This amendment applies only to Tract 13, consisting of 6.792 acres from the original plat submitted for the Las Soleras Master Plan/Plats and subsequent amendments. The amendment is to increase the residential density from a maximum of 6 dwelling per acre to 10 dwellings per acre to allow for the R-10 zoning proposed for the property. This amendment also would allow for 5 foot side yards and 24 foot heights for the side yards. This is consistent with the dwellings on the west side of Rail Runner Road.

General Plan Amendment

This is an increase in the City General Plan Future Land Use designation from lower density residential (3-7 Dwellings per Acre) to medium density residential (7-9 Dwellings per Acre) While the zoning is R-10 the actual density is 7 dwellings per acre.

Rezoning from R-6 to R-10

This rezoning is across the street from Villas de Las Soleras, Units 1 and 2. Units 1 and 2 consist of the same townhouse design that are proposed for Unit 3. The zoning for Units 1 and 2 is R-12. The R-10 zoning allows more flexibility in design of the home relative to the lot if approval of the setbacks is secured from the Planning Commission.

Preliminary Subdivision Plat

A preliminary subdivision plat for 44 lots is submitted along with the other development requests. Assuming all the development requests are approved, a final subdivision plat would be submitted for review and action by the Planning Commission.

EARLY NEIGHBORHOOD NOTIFICATION MEETING

A ENN meeting was held on April 14, 2021. The meeting was conducted virtually beginning at 5:30. People in attendance included residents from Villas de Las Soleras Unit 1 and residents of Estancias de Las Soleras. Minutes of the meeting found in Appendix C to the report.

ENVIRONMENTAL REVIEW

Archaeology

The developers of Las Soleras had the entire area of Las Soleras surveyed for sites of archaeological and historical significance. The city Archaeological Review Committee issued a clearance for all of Las Soleras. Tract 13 is located within the area that was surveyed and released by the city. The archaeological clearance is found in Appendix D.

Flood Plain

There is no FEMA designated flood plain on this property. The major drainage to the south is not a FEMA flood plain although this drainage has been reinforced due to the major flooding that occurred in 2018.

Slopes and Terrain Conditions

There are no natural slopes on the property that exceed 30 percent or slopes of 20-30 percent that require standards for placement of the house on slopes of this category. The contractor for Pulte was granted approval by the City to grade a portion of the Unit 3 for an effluent water pond storage and staging of materials for the construction of units 1 and 2, immediately across the street.

Drainage

The entire site slopes to the south with the natural drainage flowing to the drainage that passes under Rail Runner Road and intersects further downstream at the Arroyo de los Chamisos. There are two 24 inch culverts that carry storm water under Rail Runner Road to this tract. This is historic flow and the storm water exiting the pipes is routed through the subdivision with storm drainpipes. A storm water pond sized to the runoff from this development is located at the south end of the subdivision. This pond discharges into the adjoining drainage.

Adjoining and Nearby Land Uses

The property to the west is zoned R-12, single family residential, 12 dwellings per acre. Pulte has completed approximately one-quarter of the dwellings that will be constructed on this land along with the majority of the improvements for the park that serves Units 1-3. The subdivision is bounded on the north by Governor Miles Road. The property on the north side of Governor Miles Road is zoned C-2, General Commercial. A development plan for a business park was approved for this property. The development plan has now expired. The property on the east side consists of low density residential zoned R-1, Single Family Residential, one dwelling per acre. This area was annexed by the city and the R-1 zoning was typically used as a holding zoning for future development at a greater density, requiring a rezoning of the property.

PUBLIC SCHOOLS

The public schools that serve the district where this project is located are listed below:

Pinon - Elementary School – 2921 Camino de Los Caballos
Milagro – Middle School – 1720 Llano Street
Santa Fe High - High School – 2100 Yucca Street

In addition there are several private schools or charter schools located within five miles of this residential development consisting of:

Santo Nino Catholic School grades kindergarten thru 6 located at 23 College Avenue.
Monte Del Sol Charter School, grades 7 thru 12 located at 4157 Walking Rain Road.
The Academy for Technology and the Classics Charter School, grades 7 thru 12 located at 74 A Van Nu Po Road.

Public Schools Report

A report was submitted to the Santa Fe Public Schools as provided for in the City Code. The response from Santa Fe Public Schools is enclosed in Appendix E of this report.

PROJECT DESCRIPTION

Site Data

Tract 13., Unit 3

Existing zoning:	R-6, Residential, 6 dwellings per acre
Size of parcel:	6.792 acres
Total number of lots:	44
Market rate lots:	36
Affordable housing lots:	8 with a .8 remainder
Average density:	6.5 dwellings per acre

Land in pond/
open space: 22,424 square feet

All building lots are larger than 3,000 square feet, therefore, no offsetting common open space is required to satisfy minimum lot size.

TRAFFIC AND PEDESTRIAN CIRCULATION

Traffic Circulation Plan

The completion of the road system as shown on the Las Soleras Master Plan would provide for multiple points of access to Cerrillos Road and Richards Avenue from this project. There is only one road remaining to complete the Las Soleras road system described on the Master Plan and that is the connection of Las Soleras Road across the Arroyo de los Chamisos.

All roads shown on the plans for Tract 13 will be dedicated to the City with the exception of the private alleys that serve the duplex lots. The private alleys will be maintained by the Villas de Las Soleras Homeowners Association.

Pedestrian Circulation and Public Transportation

Rail Runner Road and Governor Miles Road serve as the primary access for this subdivision. Governor Miles Road connects to the signalized intersection at Cerrillos and Richards Ave. Rail Runner Road also intersects with Beckner Road to the south creating a secondary east-west connection. A traffic study was prepared for Ross's Peak indicating a deficient operational level for the eastbound right turn lane of the Jaguar Road and Cerrillos Road intersection. As part of the Ross's Peak (now known as Villas de Las Soleras) development Pulte paid their fair share to the improvement to enhance the operational capacity of the Jaguar Road and Cerrillos Road intersection by adding a eastbound right turn lane. A left turn holding bay for southbound traffic on Rail Runner Road, creating a protected access to Unit 3 was constructed as part of the improvements for Rail Runner Road.

There is a public bus route (Community College Route) that uses Governor Miles Road to access the Community College. A concrete pad was constructed by Pulte to accommodate a bus stop bench. This bus stop is within one-quarter mile of the homes in Unit 3. There is an existing sidewalk on the south side of Governor Miles Road. All public roads planned for this development will have sidewalks. The City is planning the extension of the Arroyo de los Chamisos trail to Cerrillos Road from its current terminus south of the park on the east side of the Santa Fe Place Mall. Pulte has constructed a city trail on the west side of Units 1 and 2 from Cerrillos Road to the Las Soleras Regional park. There is also a 10 foot City trail along the west side of Rail Runner Road connecting Beckner Road to the Regional park.

A traffic study for all of Las Soleras was prepared in 2010 by Terry Brown PE. A traffic study was submitted to the City in 2015 for all three phases of the future development of Villas de Las Soleras, including Unit 3. The improvements to Governor Miles Road, consisting of removal of the sidewalk and construction of a 10 foot wide city trail and completion of Rail Runner Road to Governor Miles Road have been completed.

FIRE PROTECTION

A looped water line is proposed to two points on the 10 inch line that was constructed on Rail Runner Road. The loop line described above and the internal water connection to the loop line provide sufficient flow for fire and domestic purposes.

Fire hydrants will be installed at intervals and locations deemed appropriate by the Fire Department. There is already an existing hydrant at corner of Rail Runner Road and Governor Miles Road. The closest fire substation to the property is located north of Rodeo Road within the Genoveva Chavez Community Center complex. This substation is approximately 2.6 miles from this site.

Since the project is greater than 29 lots a secondary access is required. The secondary access is located at the northern end of the property and per City Code is a minimum 20 foot width. The separation of the main public road into the project and the 20 foot fire access satisfies the International Fire Code requirements.

PHASING OF DEVELOPMENT

There are three phases to this Pulte product. Phases 1 and 2 are under construction. This is phase 3 of the Villas townhouse development. The description of the phasing as presented in the 2017 Preliminary Subdivision Report is provided in Appendix F of the report.

UTILITIES

Water

There is a 10 inch line on Rail Runner Road that serves as the source of water to this subdivision. An eight inch loop line begins at the intersection with Rail Runner Road goes through the public road and loops back to the 10 inch line on the emergency access. This 8 inch line in the subdivision is sufficient to provide fire flow for the project.

Sewer

The connection to City sewer will take place at the south end of tract 13. A sewer line was stubbed across Rail Runner Road to serve this development. The 8 inch line has capacity to serve the 44 lots in the subdivision.

Natural Gas

There is a supply gas line in Rail Runner Road. The design for the gas line by the Gas Company of New Mexico does not take place until the final subdivision plat is approved. It is assumed that a two inch line will be connected to the main line in Rail Runner Road and will be extended throughout the entire subdivision.

Electric

Electric is available Rail Runner Road. A switch gear was installed to serve Units 1 and 2. The design of the electric system by PNM does not commence until the final plat is approved. There appears to be sufficient existing infrastructure available to serve the projected build-out of the subdivision.

Telephone

Telephone cable is available in Rail Runner Road. Since Ross' Peak is located within the urban service area of Santa Fe it is the responsibility of Century Link to bring in additional service lines at no cost to the development if it becomes necessary and it is assumed that will not be the case. Century Link is dependent on PNM Electric to establish the design for the communication system.

Comcast Cable

Comcast cable was installed to serve units 1 and 2. There should be no issue to pull additional cable into the proposed subdivision. Comcast cable generally shares the same trench with the telephone cable.

OPEN SPACE AND PARK LAND

Tract 13 is proposed for zoning to R-10 which allows for a minimum lot size of 3,000 square feet. None of the lots in Villas de LS are below 3,000 square feet. No off-setting common open space is required to satisfy the minimum lot size requirements for this development. There is approximately one-half acre of land which is a shared area for the residents. Part of that consists of a storm water pond at the far south end of the project.

The lot owners in Unit III will have the right to use the park constructed in Unit I, since Unit III will be included in the homeowners association for Villas de Las Soleras.. An extensive park has been constructed by Pulte for the use of residents in Units I, II, and III.

The requirement for neighborhood parks is .006 acre per dwelling. Units I, II and III will consist of 226 dwellings. The park requirement for 226 dwelling is 1.356 acre of land. As part of Units I and II 5.3 acres of land was dedicated to park, trails and open space. Pulte also participated in the cost of improvements to the regional park which is adjacent to Unit II and a walking distance to I and II of the Pulte project. That participations eliminate the need to contribute land or pay for additional improvements to the park.

COMPLIANCE WITH SANTA FE HOMES ORDINANCE

The Santa Fe Homes Ordinance requires that 20 percent of the homes within the project must be constructed and made available to qualifying families based on the mandated standards set forth in the Ordinance. A total of 8.8 dwellings are required to satisfy the affordable housing requirements of the city. Eight affordable dwellings will be provided in this project. It is proposed that a fee be paid for the .8 of a unit required by code. The location of the affordable units is shown on the Development Plan.

TERRAIN MANAGEMENT AND EROSION CONTROL

A storm water pollution protection plan (SWPPP) has been prepared as part of the Application materials for the project. A Notice of Intent (NOI) will be submitted to the Environmental Protection Agency (EPA) prior to the commencement of any grading that may occur on site.

The contractor for the project will be required to implement various measures to reduce dust leaving the site. This will include chain link fence with fabric to catch the dirt before it leaves the site and the watering of areas disturbed during the grading of the site.

WATER BUDGET

Of the 44 lots 36 are market rate and are subject to the water offset requirements of the city. All lots are less than 6,000 square feet and the water offset requirement is .15 acre feet per dwelling unit plus the annual landscape requirement and the .098 percent required for system line loss. The total water requirement is:

$$\begin{array}{l} 36 \text{ dwellings} \times .15 \text{ ac. ft} = 5.40 \text{ ac. ft.} \\ \text{Landscape:} \quad \underline{\quad .47 \text{ ac. ft.} \quad} \\ 5.87 \text{ ac. ft.} \times 1.098 = 6.45 \text{ ac. ft.} \end{array}$$

Water rights instead of water credits are required since this is part of a three phase project and the sum of the water use for the three phases exceeds 10 acre feet. Pulte has sufficient water in the city water bank to allocate water to the city of this project.

SUBDIVISION COVENANTS

Section 14-8.2(K)(1) of the City Code requires that covenants and homeowners documents be submitted for review to assure that each lot owner understands the requirement to maintain landscape easements and storm water ponds and which remain under the ownership of the homeowners association. Restrictive covenants, which includes the provisions to maintain commonly owned facilities is provided in Appendix G to the report.

RESPONSE TO GENERAL PLAN AMENDMENT APPROVAL CRITERIA

General Plan Amendment Approval Criteria

(1) Criteria for All Amendments to the General Plan

The planning commission and the governing body shall review all general plan amendment proposals on the basis of the following criteria, and shall make complete findings of fact sufficient to show that these criteria have been met before recommending or approving any amendment to the general plan :

- (a) consistency with growth projections for Santa Fe, economic development goals as set forth in a comprehensive economic development plan for Santa Fe and existing land use conditions such as access and availability of infrastructure ;*

The growth projections from the general plan are over 20 years old and are no longer relevant to Santa Fe's projected growth. The annexation of land in 2009 resulted in a jump in population that does not recognize the organic or non-resident growth of the community. The city has posted a map on the city web site entitled "Population Change 2000 - 2010". This map identifies Tierra Contenta population growth for that 10 year period at 162 percent and Las Soleras growth at 155 percent. The next significant growth area below Las Soleras is along Rufina Street and that area grew at 27 percent. The point being that Las Soleras is the fastest growing area in Santa Fe and housing will continue to be needed to provide for the anticipated demand for this sector of Santa Fe.

Las Soleras has the most advanced road network of any development in Santa Fe. There is access to three signalized intersections on Cerrillos Road, an interim signal on Richards Ave. and a roundabout at Governor Miles Road and Rail Runner Road. The principal developer of Las Soleras has invested 10 million dollars in the road backbone for the development. The utility infrastructure has been designed to accommodate the intensity of development that is anticipated for Las Soleras.

- (b) consistency with other parts of the general plan ;*

The general plan was amended in 2009 to allow for the road alignments and land uses proposed on the Las Soleras Master Plan. The general plan was again amended in 2016 to reflect a reduction in residential density and allowance for modified development standards. The two changes to the general plan were approved by the Planning Commission and City Council. The Planning Commission expressed a sense of disappointment that the higher density zoning (12 DU/Ac) was being developed at a significantly lower density (3 DU/Ac). This amendment to the general plan for a higher density residential zoning addresses the Planning Commission concern that higher residential densities are appropriate since they have a lower price point.

(c) *the amendment does not:*

(i) *allow uses or a change that is significantly different from or inconsistent with the prevailing use and character in the area; or*

The city has approved a 182-lot subdivision across Rail Runner Road from the requested rezoning that is based on the same home design as proposed for Tract 13 of Las Soleras. The residential density for both sides of the road will be slightly greater than 6 dwellings per acre, which is generally in line with the underlying zoning for tract 13.

(ii) *affect an area of less than two acres, except when adjusting boundaries between districts; or*

Tract 13 is greater than two acres in size.

(iii) *benefit one or a few landowners at the expense of the surrounding landowners or the general public;*

Approval of the zoning will allow for the purchase of 44 homes at a lower price point than happened with the single family homes sold by Pulte in the area south of Nava Ade. The benefit of this general plan amendment action will run to those 44 home buyers.

(c) *an amendment is not required to conform with Subsection 14-3.2(E)(1)(c) if it promotes the general welfare or has other adequate public advantage or justification.*

While the allowance for the proposed housing product does promote the general welfare by providing for a dwelling with a proven demand at the current price point, it is assumed that the definition of "general welfare" in this case is something that serves a higher purpose such as a health clinic for Santa Fe's indigent population. If that is the meaning, this amendment does not satisfy that standard and does require a general plan amendment.

(d) *compliance with extraterritorial zoning ordinances and extraterritorial plans;*

The extraterritorial bodies that in the past heard rezoning and subdivision cases no longer applies to cases inside the city limits.

(e) *contribution to a coordinated, adjusted and harmonious development of Santa Fe that in accordance with existing and future needs best promotes health, safety, morals, order, convenience, prosperity or the general welfare, as well as efficiency and economy in the process of development; and*

This request does contribute to the coordinated and harmonious development of Santa Fe by providing for a building product that is identical to the housing type across Rail Runner Road. The development of residential uses on Tract 13 is tied to the development of Tract 12 through the participation in the same Home Owners Association and contribution to maintenance of the neighborhood park. The provision of the neighborhood park in Unit 1 of Villas de Las Soleras contribute to the health, order and convenience of all residents in Villas de Las Soleras irrespective of which side of Rail Runner Road they are residents.

- (f) *consideration of conformity with other city policies, including land use policies, ordinances, regulations and plans.*

No variances are requested with this application indicating compliance with the city zoning regulations. Policies regarding construction of city roads, sewer and water will be followed in the development of infrastructure for this area.

(2) *Additional Criteria for Amendments to Land Use Policies*

In addition to complying with the general criteria set forth in Subsection 14-3.2(E)(1), amendments to the land use policies section of the general plan shall be made only if evidence shows that the effect of the proposed change in land use shown on the future land use map of the general plan will not have a negative impact on the surrounding properties. The proposed change in land use must be related to the character of the surrounding area or a provision must be made to separate the proposed change in use from adjacent properties by a setback, landscaping or other means, and a finding must be made that:

- (a) *the growth and economic projections contained within the general plan are erroneous or have changed;*

The general plan included this area as phase 1 for future development. Whatever growth or economic projections were provided in the 1999 general plan would represent dated data that does not take into account the circumstances that have taken place over the last 20 plus years of growth in Santa Fe.

- (b) *no reasonable locations have been provided for certain land uses for which there is a demonstrated need; or*

There are few areas in Santa Fe with R-10 or R-12 zoning districts that would allow for a housing product proposed by Pulte. There are even fewer of these zoning districts that satisfy the existing city access standards and have the existing utility infrastructure capable of serving a higher density residential development.

- (c) *conditions affecting the location or land area requirements of the proposed land use have changed, for example, the cost of land space requirements, consumer acceptance, market or building technology.*

There is a surge in apartment development in Santa Fe. The zoning districts that allow for residential densities in the range of 18-21 dwellings per acre, are R-21, C-1 and C-2 zoning districts. Land zoned for these districts that would allow for higher density residential development, especially meeting the access and utility requirements, is being utilized for apartment construction. It is difficult for developers constructing single family homes at 6-10 dwellings per acre to compete against the price of land associated with apartment development.

RESPONSE TO REZONING APPROVAL CRITERIA

The planning commission and the governing body shall review all rezoning proposals on the basis of the criteria provided in this section, and the reviewing entities must make complete findings of fact sufficient to show that these criteria have been met before recommending or approving any rezoning:

(a) one or more of the following conditions exist:

(i) there was a mistake in the original zoning;

(ii) there has been a change in the surrounding area, altering the character of the neighborhood to such an extent as to justify changing the zoning; or

The initial Las Soleras zoning for tract 12 which is the land west of Rail Runner Road was and is zoned R-12. The intent was to provide for either apartments or higher density townhouse dwellings without knowing the particulars of the design. The sale of tract 12 to Pulte resulted in the development of the property for attached duplex units with garages at the back of the lot accessed from alleys. This design resulted in a density more on the order of 6 dwellings per acre. The R-12 zoning did allow for the modification to building setbacks through a development plan process that had to be approved by the Planning Commission in order to be implemented.

At the time the zoning was approved for this area of Las Soleras, where the requested rezoning is proposed, there was not a clear concept on what type of building product would best fit the area. The focus of the master plan was optimizing the carrying capacity of the road system and making sure the water and sewer was designed to serve the designated density, be it commercial or residential, proposed on the master plan.

On tract 12 experience has shown that the housing product and density has turned out to be equally as compatible on the east side of Rail Runner Road as the west side of Rail Runner Road.

(iii) a different use category is more advantageous to the community, as articulated in the general plan or other adopted city plans;

Section 10.1.6 of the Santa Fe General Plan states the following:

“The most important element of planning for affordable housing is higher density. Part of what has made Santa Fe so appealing – neighborhoods with five to nine units per acre – will help achieve affordable housing goals.”

It has been 24 years since that was written and the definition of what is considered affordable has changed significantly. Nonetheless a higher density does allow for a more moderately priced dwelling. The Pulte Estancias de las Soleras homes have a density slightly less than 3 dwellings per acre and are 30 to 40 percent greater in cost than the Pulte dwellings at 6 dwellings per acre on tract 12.

(b) all the rezoning requirements of Chapter 14 have been met;

(c) the rezoning is consistent with the applicable policies of the general plan , including the future land use map;

A request has been included in the application for a modification of the general plan, Future Land Use map from low density residential (3-7 DU's/ Ac) to Medium Density (7-12 DU's/Ac). If approved by the Planning Commission, this brings the general plan recommendation into conformance with the proposed zoning application.

(d) the amount of land proposed for rezoning and the proposed use for the land is consistent with city policies regarding the provision of urban land sufficient to meet the amount, rate and geographic location of the growth of the city; and

The lack of housing in Santa Fe has been well documented in several of the studies prepared for the city. This is an unusual housing product that is best suited to a higher density residential zoning such as R-10 or R-12. There is a limited supply of land in Santa Fe that is zoned for that residential density.

(e) the existing and proposed infrastructure , such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the proposed development.

The Las Soleras Master Plan was designed to accommodate a density greater than exists to today. The sewer, water, electric and gas is sized to satisfy the loads that are requested for this area. Pulte has developed a neighborhood park in Unit 1 that serves Units, 1, 2 and 3. The Las Soleras master developer has dedicated land for a regional park and has developed the first phase of this park.

(2) Unless the proposed change is consistent with applicable general plan policies, the planning commission and the governing body shall not recommend or approve any rezoning, the practical effect of which is to:

(a) allow uses or a change in character significantly different from or inconsistent with the prevailing use and character in the area;

The character of the area has changed significantly since the zoning was applied to this tract in 2009. The property to the north of Governor Miles Road is zoned C-2, General Commercial and the land to the west of Rail Runner Road has developed in an identical manner to what is proposed for the tract east of Rail Runner Road.

(b) affect an area of less than two acres, unless adjusting boundaries between districts; or

The land is greater in size than two acres.

(c) benefit one or a few landowners at the expense of the surrounding.

The beneficiaries will be the purchasers of housing with a lower price point than other single family areas of Las Soleras.

RESPONSE TO MASTER PLAN AMENDMENT CRITERIA

(1) Necessary Findings

(Ord. No. 2014-31 § 5)

Approval or amendment of a master plan requires the following findings:

(a) the master plan is consistent with the general plan;

The general plan was first amended in 1997 to provide for a mixed of commercial and residential uses. This master plan proposed – dwelling units on approximately 550 acres. Commercial uses dominated the corridor along Cerrillos Road and I-25. In 2016 a master plan amendment was submitted and approved that reduced the residential density for the larger area south of the Nava Ade development. This area is currently built out.

Of the 2,087 units permitted by the Master Plan, 613 are built or planned to be built. The residential density remains below that approved on the Master Plan.

(b) the master plan is consistent with the purpose and intent of the zoning districts that apply to, or will apply to, the master plan area, and with the applicable use regulations and development standards of those districts;

For the R-6 zoning the 6.792-acre Tract 13, would permit 40 dwellings. A density bonus for affordable housing is available at 1.15 for an allowed density of 46 lots/dwellings. An R-10 zoning allows for the Planning Commission to approve a development plan with the setbacks established by the development plan. An R-6 zoning does not have the flexibility of the submitting a development plan with the development standards approved by the Planning Commission.

(c) development of the master plan area will contribute to the coordinated and efficient development of the community; and

The utilities and roads were planned and designed to accommodate higher densities than the densities that have evolved in Las Soleras. The design that is proposed for tract 13 takes advantage of the infrastructure that is in place. A bus route is planned for Governor Miles Road augmenting public transportation in the area. Ultimately the bike trail that has been completed for Units 1 and 2 of the development will connect to the Arroyo Chamiso bike trail allowing for bicycle access to downtown. Currently it is possible to connect to the bike and hike trails in Nava Ade which in turn connect to the Arroyo Chamiso trail system.

(d) the existing and proposed infrastructure , such as the streets system, sewer and water lines, and public facilities, such as fire stations and parks, will be able to accommodate the impacts of the planned development.

The Las Soleras Master Plan was designed to accommodate a density greater than exists to today. The sewer, water, electric and gas is sized to satisfy the loads that are requested for this area. Pulte has developed a neighborhood park in Unit 1 that serves Units, 1, 2 and 3. The Las Soleras master developer has dedicated land for a regional park and has developed the first phase of this park and is beginning the second phase of the park currently.

RESPONSE TO DEVELOPMENT PLAN APPROVAL CRITERIA

(1) Necessary Findings

To approve a development plan, the planning commission must make the following findings:

(a) that it is empowered to approve the plan under the section of Chapter 14 described in the application;

Under sections 14-3.8 (B)(3) and 14-2.3(C)(1) of Chapter 14 of the Land Development Code the Planning Commission is granted authority to approve or disapprove a development plan.

(b) that approving the development plan will not adversely affect the public interest; and

The development plan and form of housing product that is proposed is consistent with the 182 dwellings approved adjacent to this tract of land on the west side of Rail Runner Road. The total number of dwellings allowed by the Las Soleras Master Plan is within the allowed number of dwellings approved in the Master Plan by the City Council. There is no environmental detrimental affect caused by this project, including 100 year flood plains, steep slopes or rock outcroppings. All utilities are in place to serve this development and capable of adequately serving the project. The public transportation system is nearby and the street system is designed to accommodate this project in combination with other Las Soleras developments.

(c) that the use and any associated buildings are compatible with and adaptable to buildings , structures and uses of the abutting property and other properties in the vicinity of the premises under

The land immediately to the west is comprised of the same housing product that is proposed for this property. The land to the north is zoned C-2 which allows for high lot coverage and heights of 45 feet, which is considerably higher than the 24 feet permitted for the proposed zoning. The property to the east is rural, low density. It is anticipated that at some point in the future it will be developed at densities not too much different from what is proposed for the adjoining land to the west.

RESPONSE TO SUBDIVISION CRITERIA

Below is the response to the five criteria set forth in 14-3.7(C) of the Santa Fe City Code.

1. *In all subdivisions, due regard shall be shown for all natural features such as vegetation, water courses, historical sites and structures, and similar community assets that, if preserved, will add attractiveness and value to the area or to Santa Fe.*

An archaeological report has been prepared for this section of Las Soleras.

No sites of historical significance were found within any of the tracts that are included within the existing or future platted areas of this project. There are a very few "significant trees" on the property with the principal vegetation being native grasses and one-seed juniper trees. This property is zoned for 12 dwellings per acre. At the density proposed it would be impossible to avoid grading the entire area where housing is proposed. Landscape will replace the existing vegetation on the property. The future landscape will provide for a greater diversity of vegetation and will offer shade for pedestrians and cyclists that doesn't exist today.

2. *The Planning Commission shall give due regard to the opinions of public agencies and shall not approve the plat if it determines that in the best interest of the public health, safety or welfare the land is not suitable for platting and development purposes of the kind proposed. Land subject to flooding and land deemed to be topographically unsuited for building, or for other reasons uninhabitable, shall not be platted for residential occupancy, or for other uses that may increase danger to health, safety or welfare or aggravate erosion or endangered by periodic or occasional inundation or produce unsatisfactory living conditions. See also Section 14-5.9 (Ecological Resource Protection overlay District) and Section 14-8.3 (Flood Regulations.)*

The various divisions of the City will comment on the plans that are submitted as part of the development review process. Conditions of approval and technical corrections must be addressed as part of the review by City staff. This land is exceptionally developable with a major road adjoining the property and utilities either adjacent to the property or in close proximity to the property. No residential dwellings will be located within the area of shallow flooding. This land is part of an approved master plan and there are no conditions that make this land unsuitable for residential living.

3. *All Plats shall comply with the standards of Chapter 14, Article 9 (Infrastructure Design, Improvements, and Dedications Standards).*

Every effort has been made to insure that subdivision of land for Tract 12-A complies with Chapter 14, Article 9. A very limited exception is requested for a few lots where the building area on slopes greater than 20 percent exceeds more than 50 percent of the building area on platted lots.

4. *A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with the provisions of Chapter 14 unless a variance is approved concurrently with the plat.*

This is vacant land and there are not existing non-conformities. The master plan amendments, general plan amendment and rezoning, if approved will bring the density and the design of the dwelling into conformance with the provisions of Chapter 14. No variances have been requested for this property.

5. *A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with applicable provisions of other chapters of the Santa Fe City Code unless an exception is approved pursuant to the procedures provided in that chapter prior to approval of the plat.*

The rezoning of the property from R-6 to R-10 is dependent on the approval of the general plan amendment and amendment to the Las Soleras Master Plan. With approval of both of those the rezoning would be consistent with the procedures provided in Chapter 14 of the city code. The preliminary plat can only be approved if the city council approves the rezoning along with the two amendments.

APPENDIX A

WARRANTY DEED

4

Prima Title, LLC
file# PH-0858




QUITCLAIM DEED

For Value Received, the undersigned hereby quitclaims to Ross's Peak Holding, Ltd.,
Co., a Montana limited liability company, the following real property located in Santa Fe County,
New Mexico, to-wit:

24.92 acres out of a total 50.09 acres as an Undivided Interest in Lot 12 and all of Lot 13,
Las Soleras Subdivision, as shown and delineated on plat of survey entitled "LAS SOLERAS
ANNEXATION, GENERAL PLAN AMENDMENT, REZONING TO MULTIPLE ZONING
DISTRICTS", recorded March 4, 2010 in Plat Book 714, Pages 14-26, #1592455, records of
Santa Fe County, New Mexico.

Witness its hand this 20th day of December, 2012.

LAS SOLERAS OESTE, LTD., CO.
a New Mexico limited liability company


John J. Mahony, Managing Operations Manager

Gordon L. Skarsgard, Managing Member

Randall W. Eakin, Managing Oversight Member

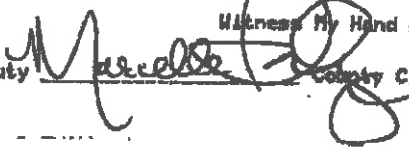
CLERK RECEIVED 12/21/2012



COUNTY OF SANTA FE)
STATE OF NEW MEXICO) ss

QUITCLAIM DEED
PAGES: 2

I Hereby Certify That This Instrument Was Filed for
Record On The 21ST Day Of December, 2012 at 04:27:14 PM
And Was Duly Recorded as Instrument # 1681578
Of The Records Of Santa Fe County

Witness My Hand And Seal Of Office
Valerie Espinoza
Deputy  County Clerk, Santa Fe, NM

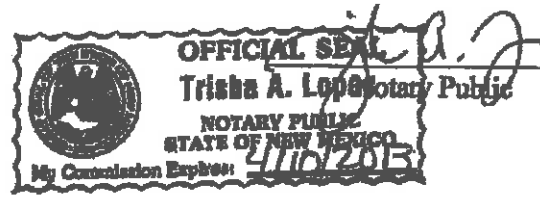
Notary on following page

SEC CLERK RECORDED 12/21/2012

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on December 20, 2012, by Gordon L. Skarsgard as Managing Operations Member of Las Soleras Oeste, Ltd., Co., a New Mexico limited liability company.

My commission expires:
4/10/2013



STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on December 20, 2012, by John J. Mahoney as Managing Operations Member of Las Soleras Oeste, Ltd., Co., a New Mexico limited liability company.

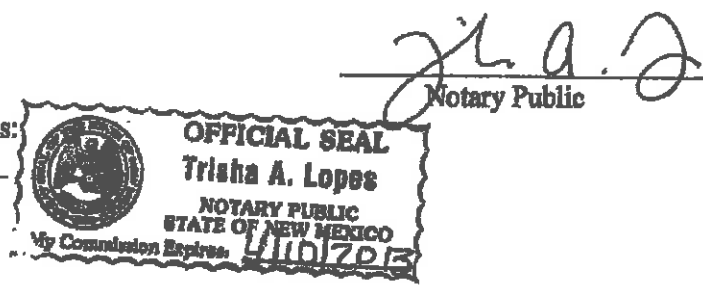
My commission expires:
4/10/2013



STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on December 20, 2012, by Randall W. Eakin as Managing Oversight Member of Las Soleras Oeste, Ltd., Co., a New Mexico limited liability company.

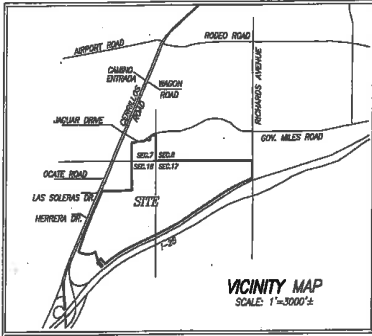
My commission expires:
4/10/2013



Trisha A. Lopes
Notary Public

APPENDIX B

LEGAL LOT OF RECORD PLAT



VICINITY MAP
SCALE: 1"=3000'

NOTES:

- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFDC 1987 AND SUBSEQUENT AMENDMENTS.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH APPLICABLE CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO THE FINAL PLAT AND/OR DEVELOPMENT PLAN. RECORDING WITH THE COUNTY CLERK OR SUBMITTAL WITH A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF REQUIREMENTS CALLED FOR IN CHAPTER 14, LAND DEVELOPMENT CODE, SFDC 1987 AND SUBSEQUENT AMENDMENTS.
- BUILDING SETBACK FOR I-25 HIGHWAY CORRIDOR ESTABLISHED BY EZA ON 6/25/2008 AS SHOWN ON PLAT RECORDED IN BOOK 69, PAGES 029-031 IS WACKED BY ACTION OF THE CITY COUNCIL AT THEIR MEETING OF FEBRUARY 11, 2009 AND REPLACED WITH A BUILDING SETBACK BY APPROVAL OF CASE # M 2008-27, CASE # M 2008-28, AND CASE # ZA 2008-11.

FLOOD ZONE

THIS PROPERTY LIES PARTIALLY WITHIN ZONE "AE", SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (100 YEAR FLOOD) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (F.I.R.M.) #35048C02070 AND 35048C03640, HAVING AN EFFECTIVE DATE OF JUNE 17, 2008. FLOOD PLAN IS RETAINED BY OWNER FOR INSTALLATION OF IMPROVEMENTS. DEDICATION TO OCCUR UPON COMPLETION OF IMPROVEMENTS.

LEGEND

- BOUNDARIES ARE REFERRED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, NAD83 CENTRAL ZONE. DISTANCES SHOWN ARE GROUND LEVEL. REFERRED TO 6800' AMSL DATUM. TO CONVERT DISTANCES TO GRID DISTANCES MULTIPLY BY A SCALE FACTOR OF 0.999988.
- DENOTES BEARING, OR AS SHOWN, PLANO.
- DENOTES 1/2" BEARING WITH CAP 1/14 TO BE SET UPON RECORDING.
- DENOTES CALCULATED POINT, NOT SET.
- DENOTES NEW LOT LINE.
- DENOTES OLD LOT LINE (HEREBY INDICATED).
- ① DENOTES TRACT NUMBER.
- DENOTES BOUNDARY OF LANDS DEALT WITH BY THIS PLAT. INFORMATION OUTSIDE OF THIS BOUNDARY IS BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

REFERENCE DOCUMENTS

ALL DOCUMENTS REFERRED TO (IN THE FACE OF THIS PLAT.

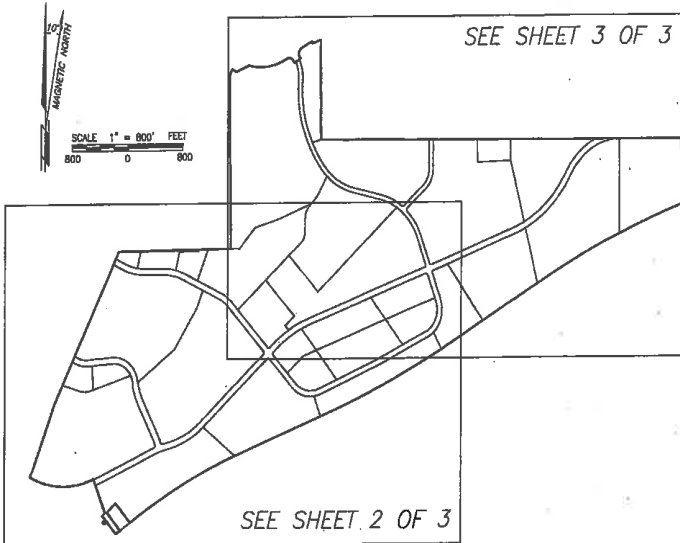
DEDICATION AND AFFIDAVIT

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) HAVE CHOSEN TO BE REPLATED THOSE LANDS SHOWN HEREOF FOR THE PURPOSE OF REPLACING AND UPDATING THE DESCRIPTIONS OF EXISTING DEDICATED ROADS, SHOWING LOTS CREATED BY SAID DEDICATIONS AND ADJUSTING EXISTING LOT LINES, ALL UTILITY EASEMENTS, PRIVATE ACCESS AND UTILITY EASEMENTS, AND PEDESTRIAN, NON-MOTORIZED VEHICLE & PUBLIC UTILITY EXISTINGS CREATED BY PLAT BOOK 592 PAGES 33-34, PLAT BOOK 608 PAGE 43, PLAT BOOK 636 PAGE 5, PLAT BOOK 642 PAGE 28, PLAT BOOK 659 PAGES 46-47, PLAT BOOK 680 PAGE 13, PLAT BOOK 690 PAGES 29-31, AND PLAT BOOK 704 PAGE 22, ARE HEREBY WACKED AND REPLACED WITH THE EASEMENTS SHOWN HEREOF. ALL OTHER RECORDED EASEMENTS, WHETHER OR NOT SHOWN HEREOF, REMAIN UNCHANGED. THE SAID REPLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF SAID OWNER(S). THIS REPLAT CONTAINS 543.21 ACRES, MORE OR LESS. THIS REPLAT LIES WITHIN THE PLATTING JURISDICTION OF THE CITY OF SANTA FE, N.M.

BOARD OF COUNTY COMMISSIONERS
 Michael A. Chavez 10-9-09 DATE
 MICHAEL A. CHAVEZ, CHAIRMAN
 T. Nathan Espinoza 10-9-09 DATE
 ATTEST COUNTY CLERK

REVIEWED BY CITY OF SANTA FE:
 Planner: [Signature] 02-10-10 DATE
 City Engineer: [Signature] 02/22/10 DATE

CITY OF SANTA FE APPROVAL
 APPROVED BY THE CITY COUNCIL AT ITS MEETING OF 2-18-09 DATE AS ORDINANCE # 2008-6
 Mayor: David Coe 2-22-10 DATE
 City Clerk: [Signature] 2-24-10 DATE
 APPROVED BY THE CITY PLANNING COMMISSION AT ITS MEETING OF 12/18/2008 AS CASE # SD-2008-15 DATE
 M-2008-27
 M-2008-28
 ZA-2008-11



- UTILITIES**
- QUEST COMMUNICATIONS, INC. (TELEPHONE) 9-23-09 DATE
 - COMCAST (CABLE TV) 9-23-09 DATE
 - CITY OF SANTA FE WASTEWATER 10-8-09 DATE
 - SANFORD DE CRISTO WATER/SEWER 10-2-09 DATE
 - PUBLIC SERVICE COMPANY OF N.M. (ELECTRIC) 09/04/2009 DATE
 - NEW MEXICO GAS COMPANY 9-23-2009 DATE

LOT	LOT OF RECORD
AMENDED TRACT A1	BOOK 690, PAGES 29-31
TRACT A2	BOOK 638, PAGE 5
AMENDED TRACT A3	BOOK 690, PAGES 29-31
AMENDED TRACT A4	BOOK 690, PAGES 29-31
AMENDED TRACT B1	BOOK 690, PAGES 29-31
AMENDED TRACT B2	BOOK 690, PAGES 29-31
AMENDED TRACT B3	BOOK 690, PAGES 29-31
AMENDED TRACT B4	BOOK 690, PAGES 29-31
TRACT C	BOOK 216, PAGE 42
AMENDED PARCEL A	BOOK 690, PAGES 29-31
AMENDED PARCEL B1	BOOK 690, PAGES 29-31
AMENDED PARCEL C1	BOOK 690, PAGES 29-31
PARCEL D1A	BOOK 690, PAGES 29-31
PARCEL D1B1	BOOK 704, PAGE 22
PARCEL D1B2	BOOK 704, PAGE 22
AMENDED PARCEL E	BOOK 690, PAGES 29-31
AMENDED PARCEL F	BOOK 690, PAGES 29-31
AMENDED PARCEL G	BOOK 690, PAGES 29-31

IN APPROVING THIS PLAT, PINN ELECTRIC AND NEW MEXICO GAS COMPANY DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREOF. CONSEQUENTLY, PINN DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT NOT SHOWN ON THIS PLAT, EXCEPT AS OTHERWISE INDICATED IN THE DEDICATION AND AFFIDAVIT SHOWN ON THIS PLAT.

THE CROSSING, LLC (PARCEL D1A)
 [Signature]
 BY JOHN L. MANONEY, MANAGING MEMBER
 STATE OF NEW MEXICO JSS
 COUNTY OF BERNALILLO)
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY JOHN L. MANONEY, MANAGING MEMBER OF THE CROSSING, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY THIS 4 DAY OF September, 2009.
 [Signature] 4/10/2013
 NOTARY PUBLIC MY COMMISSION EXPIRES 4/10/2013

GERMIND EQUITIES, LLC (AMENDED TRACTS A3, A4)
 [Signature]
 BY: FRED GARDNER, MANAGING MEMBER
 STATE OF NEW MEXICO JSS
 COUNTY OF BERNALILLO)
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY FRED GARDNER, MANAGING MEMBER OF GERMIND EQUITIES, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY THIS 4 DAY OF September, 2009.
 [Signature] 4/10/2013
 NOTARY PUBLIC MY COMMISSION EXPIRES 4/10/2013

BECKNER ROAD EQUITIES, INC. (AMENDED PARCELS A1 B1, E, AND PARCEL D1B2)
 [Signature]
 BY: GORDON L. SVARSGARD, PRESIDENT
 STATE OF NEW MEXICO JSS
 COUNTY OF BERNALILLO)
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY GORDON L. SVARSGARD, PRESIDENT OF BECKNER ROAD EQUITIES, INC., A NEW MEXICO CORPORATION THIS 4 DAY OF September, 2009.
 [Signature] 4/10/2013
 NOTARY PUBLIC MY COMMISSION EXPIRES 4/10/2013

CENTURY BANK (PARCEL D1B1)
 [Signature]
 BY: DON K. PADGETT, PRESIDENT AND CEO
 STATE OF NEW MEXICO JSS
 COUNTY OF SANTA FE)
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY DON K. PADGETT, PRESIDENT AND CEO OF CENTURY BANK, A NEW MEXICO LIMITED LIABILITY COMPANY THIS 23 DAY OF September, 2009.
 [Signature] 01/18/2010
 NOTARY PUBLIC MY COMMISSION EXPIRES 01/18/2010

LAS SOLETRAS DEL SUR, LLC (AMENDED TRACTS B1, B2, B4, AND TRACT C)
 [Signature]
 BY: GORDON L. SVARSGARD, MANAGING MEMBER
 STATE OF NEW MEXICO JSS
 COUNTY OF BERNALILLO)
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY GORDON L. SVARSGARD, MANAGING MEMBER OF LAS SOLETRAS DEL SUR, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY THIS 4 DAY OF September, 2009.
 [Signature] 4/10/2013
 NOTARY PUBLIC MY COMMISSION EXPIRES 4/10/2013

PRESBYTERIAN HEALTHCARE SERVICES, A NEW MEXICO NON-PROFIT CORPORATION (AMENDED PARCEL C-1)
 [Signature]
 BY: DAINE FISHER, SECRETARY
 STATE OF NEW MEXICO JSS
 COUNTY OF BERNALILLO)
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY DAINE FISHER, SECRETARY THIS 11 DAY OF September, 2009.
 [Signature] 01/18/2010
 NOTARY PUBLIC MY COMMISSION EXPIRES 01/18/2010

LAS SOLETRAS COMMUNITY DESIGN, LLC (AMENDED TRACTS A1 & B3)
 [Signature]
 BY: GORDON L. SVARSGARD, MANAGING MEMBER
 STATE OF NEW MEXICO JSS
 COUNTY OF BERNALILLO)
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY GORDON L. SVARSGARD, MANAGING MEMBER OF LAS SOLETRAS COMMUNITY DESIGN, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY THIS 4 DAY OF September, 2009.
 [Signature] 4/10/2013
 NOTARY PUBLIC MY COMMISSION EXPIRES 4/10/2013

LAS SOLETRAS OESTE, LTD. CO. (AMENDED PARCELS F & G)
 [Signature]
 BY: GORDON L. SVARSGARD, MANAGING MEMBER
 STATE OF NEW MEXICO JSS
 COUNTY OF BERNALILLO)
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY GORDON L. SVARSGARD, MANAGING MEMBER OF LAS SOLETRAS OESTE, LTD. CO., A NEW MEXICO LIMITED LIABILITY COMPANY THIS 4 DAY OF September, 2009.
 [Signature] 4/10/2013
 NOTARY PUBLIC MY COMMISSION EXPIRES 4/10/2013

MONTE DEL SOL CHARTER SCHOOL (TRACT A2)
 [Signature]
 BY: KENNETH D. JOSEPH, PRESIDENT OF THE GOVERNING COUNCIL FOR MONTE DEL SOL CHARTER SCHOOL
 STATE OF NEW MEXICO JSS
 COUNTY OF SANTA FE)
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY KENNETH D. JOSEPH, PRESIDENT OF THE GOVERNING COUNCIL FOR MONTE DEL SOL CHARTER SCHOOL THIS 24 DAY OF September, 2009.
 [Signature] 5/23/2011
 NOTARY PUBLIC MY COMMISSION EXPIRES 5/23/2011

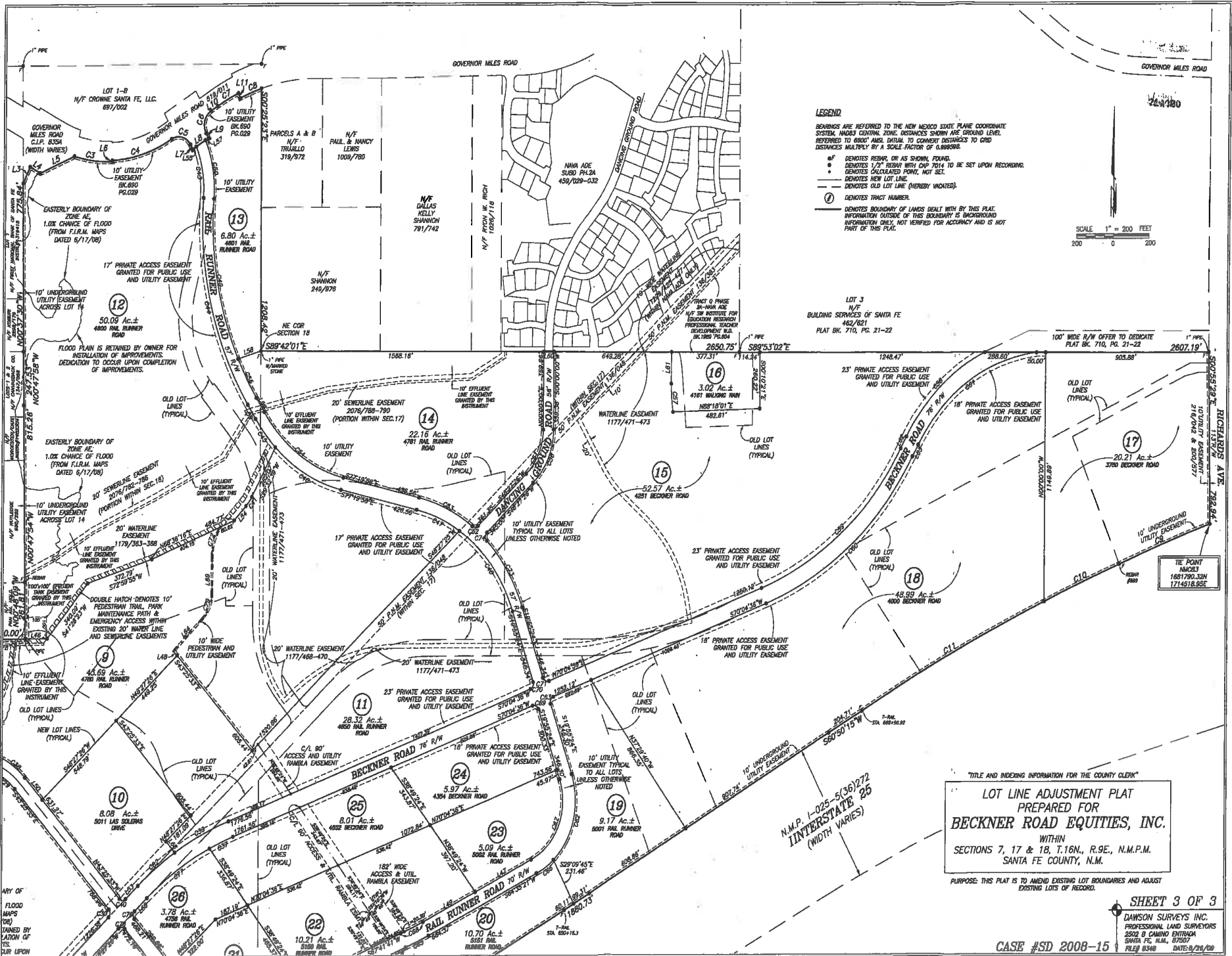
"TITLE AND INDEXING INFORMATION FOR THE COUNTY CLERK"
LOT LINE ADJUSTMENT PLAT
PREPARED FOR
BECKNER ROAD EQUITIES, INC.
 WITHIN
 SECTIONS 7, 17 & 18, T.16N., R.9E., N.M.P.M.
 SANTA FE COUNTY, N.M.
 PURPOSE: THIS PLAT IS TO AMEND EXISTING LOT BOUNDARIES AND ADJUST EXISTING LOTS OF RECORD.

CHAR [Signature] 2-4-10 DATE
 SECRETARY [Signature] 2/4/10 DATE

SURVEYORS CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAT IS A TRUE REPRESENTATION OF A SURVEY COMPLETED UNDER MY PERSONAL SUPERVISION ON THE 26th DAY OF AUGUST, 2009, TO THE BEST OF MY KNOWLEDGE; THE SURVEY AND PLAT ARE CORRECT, TRUE, AND MEET THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO.
 [Signature]
 GARY E. DAWSON, NMS 57014

COUNTY OF SANTA FE JSS 1592455
 STATE OF NEW MEXICO)
 I hereby certify that this instrument was filed for record on the 4 day of September, 2009, at 2:09 P.M. of 2009, a certain and true copy recorded in book 714, page 611, 612, 613 of the records of Santa Fe County.
 Witness my Hand and Seal of office
 VALERIE ESPINOZA
 County Clerk, Santa Fe county, N.M.
 [Signature]
 Deputy

SHEET 1 OF 3
 DAWSON SURVEYS INC.
 PROFESSIONAL LAND SURVEYORS
 2502 B CAMINO ENTRADA
 SANTA FE, N.M. 87507
 CASE #SD 2008-15
 FILE# 8348 DATE: 9/26/09



LEGEND

- BEARINGS ARE REFERRED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, NAD83 CENTRAL ZONE. DISTANCES SHOWN ARE GROUND LEVEL. REFERRED TO 6800' ANGULAR DATUM TO CORRECT DISTANCES TO GRID DISTANCES MULTIPLY BY A SCALE FACTOR OF 0.999988.
- DENOTES REBAR OR AS SHOWN, P.O.A.D.
- DENOTES 1/2" REBAR WITH CAP 7014 TO BE SET UP RECORDING.
- DENOTES CALCULATED POINT, NOT SET.
- DENOTES NEW LOT LINE.
- - - DENOTES OLD LOT LINE (HEREBY WANTED).
- ① DENOTES TRACT NUMBER.
- DENOTES BOUNDARY OF LANDS DEALT WITH BY THIS PLAT. INFORMATION OUTSIDE OF THIS BOUNDARY IS BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

SCALE 1" = 200 FEET
200 0 200

TITLE AND INDEXING INFORMATION FOR THE COUNTY CLERK
LOT LINE ADJUSTMENT PLAT
PREPARED FOR
BECKNER ROAD EQUITIES, INC.
 WITHIN
 SECTIONS 7, 17 & 18, T.16N., R.9E., N.M.P.M.
 SANTA FE COUNTY, N.M.

PURPOSE: THIS PLAT IS TO AMEND EXISTING LOT BOUNDARIES AND ADJUST EXISTING LOTS OF RECORD.

SHEET 3 OF 3
 DAWSON SURVEYS INC.
 PROFESSIONAL LAND SURVEYORS
 2522 B CHANDLER AVENUE
 SANTA FE, N.M. 87507
 FILE# 8348 DATE: 8/26/20

CASE #SD 2008-15

APPENDIX C

ENN MEETING MINUTES

Prepared by
James W. Siebert & Assoc.
April 15, 2021

MINUTES OF ENN MEETING
FOR
VILLAS DE LAS SOLERAS, UNIT 3

The ENN meeting was held virtually on April 14, 2021. The meeting began at 5:35 PM with the following people representing the Pulte project team:

James Siebert – Planning Consultant
Kevin Patton PE – Planning Director for Pulte Group of New Mexico
Sheldon Greer PE – Engineer for RESPEC
Jesus Lopez PE – Engineer for RESPEC

Dan Esquibel – Case worker for the Land Use Department

Eight neighborhood residents attended the meeting.

Mr. Siebert began the presentation with an explanation of how this tract fits into the overall plan for Las Soleras. He went on to explain that the property is currently zoned R-6 and a zoning of R-10 was requested along with an amendment to the Las Soleras Master Plan and an amendment to the city general plan. He pointed out that the R-6 zoning would permit a density of 46 dwellings with a density bonus of 15 percent for the affordable housing that will be provided in the development. The current site plan that was presented at the ENN shows 44 dwellings. The reason for the increase in density is the flexibility in design that is allowed by an R-10 residential district, allowing for attached two story townhouse units.

Sheldon Greer presented the site plan that described 44 dwellings in a duplex townhouse arrangement with some dwellings accessed by an alley to the rear of the dwellings and some accessed directly from the public street. He pointed out the emergency secondary access to Rail Runner Road and the main intersection aligning with the intersection into Units 1 and 2. He explained that detailed engineering had not been prepared for the project and what engineering was shown on the plan was based on his experience with design of residential subdivisions.

Residents from the Estancias de Las Soleras area asked whether the arroyo at the south end of the property would be filled in. The answer was that the arroyo channel would not be disturbed. There was a question on how the dust would be managed during the grading on the site. Kevin Patton responded that a chain link fence with fabric would be installed to reduce dust leaving the site. Residents of Villas de Las Soleras Unit 1 were disappointed that they were not advised of the future development that would take place on the east side of Rail Runner Road. Kevin Patton explained that Pulte did not own the property and did not know if they would put Tract 13 under

contract. Residents were also concerned about the two story height of the dwellings and the impact that would have on their views, especially for those people who had purchased lots on the perimeter of the subdivision. There was also a concern about the lack of off lot parking in the development in Unit 1.

Dan Esquibel explained the role of the City Land Use Department in review of projects submitted for development review. He emphasized that the project is reviewed for compliance with city codes and the Department is an impartial agency in the review process. He provided his contact information to the group.

Residents noted that they had notice of the meeting only by the signs that were posted on the property. Mr. Siebert responded that by law they are required to use the Assessor's records for notice purposes and since they are recent owners they are not yet registered by the Assessor. He said notice would be provided to those people in Unit 1 that had attended the meeting. Mr. Siebert concluded the meeting by explaining the Planning Commission and City Council hearing process and the ability to express public comments at the hearings. The meeting ended at 7:00 PM.

APPENDIX D

ARCHAEOLOGICAL CLEARANCE



CITY OF SANTA FE
ARCHAEOLOGICAL SUBMITTAL CHECKLIST/CLEARANCE PERMIT AND APPROVAL

Case File Number AR#28-08 Date Application Submitted Nov. 26, 2008

District: Historic Downtown District; River & Trails-Regular; Santa Fe Trail; Suburban

Building Sq. Ft. _____ Development Acreage 550 acres

Project Description: _____

Site Address/Location E. of Cerrillos Rd. N. of I-25 Property Owner: Beckner Road

Permit: Grading; Development; Building

Applicant Information: Name: Lone Mountain Archaeological Services

Mailing Address: _____ Phone No.: FEB 04 2009

Archaeological Consultant: Lone Mountain Archaeological Services

RECONNAISSANCE REPORT

- 1. Project Archaeologist's Resume
- 2. Vicinity Map
- 3. Project Site Description
- 4. Development Project Description
- 5. Outline of Research & Methodology
- 6. Site Map or Aerial Photograph at a Minimum of 1"=200' for Downtown Dist. & 1"=400' for other Districts
- 7. Archival Research
 - a. Historic Maps & Aerial Photos
 - b. ARMS Files & Archaeological Reports
 - c. General Land Office (BLM) Surveys or Land Grant Plats
 - d. 1917 Hydrological Survey and Santa Fe Acequia System Report (needed if acequia present or nearby)
 - e. National and State Register Nominations (needed if in Historic Downtown District or near Historic Structure)
- f. Historic Photos (needed if in Historic Downtown District)
- g. Information from Title Abstract (if available)
- 8. 2% Testing (Historic Downtown District Only)
- 9. Description of Prehistoric & Historic Occupation & Land Use
- 10. Description of Cultural Remains Discovered and Significance
- 11. NM Site Inventory Forms and Other Documentation
- 12. Recommended Site Significance
- 13. Assessment of Development's Impact on Cultural Remains
- 14. Recommended Treatment for Site
- 15. Listing of Sources, i.e. historic maps, aerials, reports, etc.

ARC APPROVAL: MEETING DATE: Feb 5, 2009
Special Conditions: Yes (see attachment) No

TREATMENT PLAN REQUIRED:

Yes: _____ No: _____
TREATMENT PLAN ARC APPROVAL: MEETING DATE: _____
Special Conditions: Yes (see attachment) No

PRELIMINARY TREATMENT REPORT

- a. Research Design Outline
- b. Site Map of Excavations
- c. Other Documentation: Photographs and New Mexico Site Inventory Forms; if applicable
- d. Description of Cultural Remains Discovered
- e. Description of Prehistoric and Historic Occupation and Land Use
- f. Listing of Sources

TREATMENT REPORT ARC APPROVAL: MEETING DATE: _____
Special Conditions: Yes (see attachment) No

FINAL TREATMENT REPORT

_____ Date Final Report Due _____ Date Final Report Received

Permit Approved: [Signature]
Archaeological Review Committee Chairperson

Date: 2/5/09

APPENDIX E

SANTA FE PUBLIC SCHOOLS LETTER

June 18, 2021



James W. Siebert & Associates
915 Mercer Street
Santa Fe, NM 87505
Phone (505) 983-5588
Fax (505) 989-7313

By Email: jim@jwsiebert.com

RE: Villas de Las Soleras, Unit 3

Dear Mr. Siebert,

Santa Fe Public Schools has reviewed information received from your firm regarding the above referenced project. Given the estimated build out projections for the development plan, current capacities at assigned schools will be adequate to serve the anticipated student population from this development.

We appreciate your observance of City Ordinance 2008-32 allowing Santa Fe Public Schools to adequately plan for impact to facilities and operations.

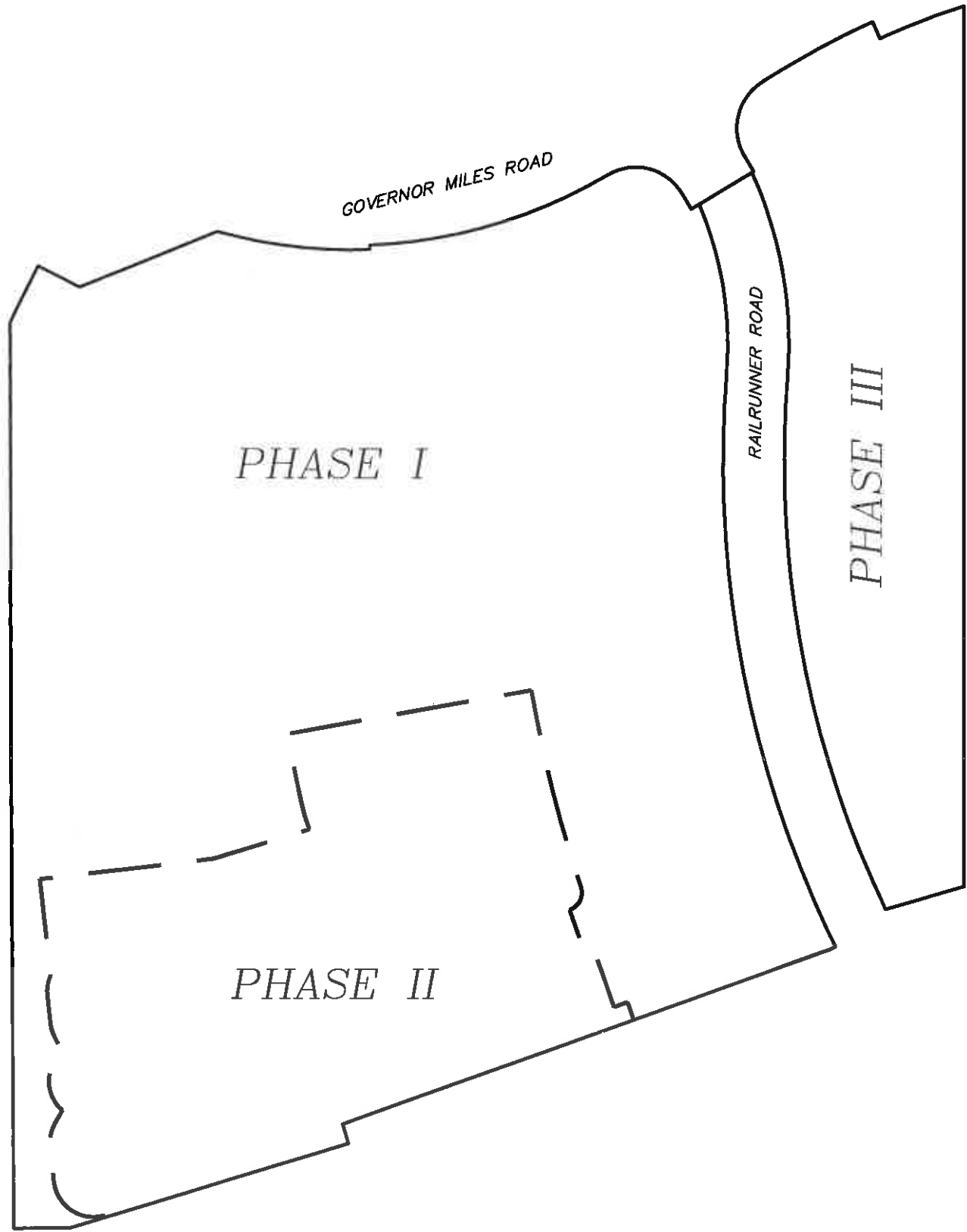
Sincerely,

Gabe D. Romero

Gabe D. Romero
Executive Director of Operations

APPENDIX F

PHASING PLAN





PHASE I

PHASE II

PHASE III

GOVERNOR MILES ROAD

RAILRUNNER ROAD

<p>JAMES W. SIEBERT AND ASSOCIATES, INC.</p>	<p>ROSS'S PEAK</p>	<p>SCALE 1"=200'</p>
<p>815 MERCER STREET • SANTA FE, NEW MEXICO 87501</p>	<p>PHASING PLAN</p>	<p>NORTH</p> 
<p>(505) 863-5588  FAX (505) 868-7313</p>		

City of Santa Fe
SANTA FE HOMES PROGRAM
P R O P O S A L
"Villas de Las Soleras Unit 3"
4601 Rail Runner Road
Santa Fe, New Mexico

This Santa Fe Homes Program Proposal ("SFHP Proposal") is made this ___ day of _____, 2021 by ***Pulte Homes of NM*** ("SFHP Developer").

RECITALS

- A. SFHP Developer is the developer of ***Villas de Las Soleras Unit 3*** hereinafter referred to as the "Property".
- B. SFHP Developer desires to **subdivide and develop** the Property.
- C. It is understood that all representations made herein are material to the City and that the City will rely upon these representations in permitting or approving development of the Property.

PROPOSAL

SFHP Developer proposes to comply with the SFHP requirements as follows:

- A. **DEVELOPMENT REQUEST.** SFHP Developer seeks ***Preliminary plat and development plan*** approval.
- B. **SFHP PLAN.** The project has an area of approximately **6.792** acres, zoned **R-10**, permitting **10** dwelling units per acres. SFHP Developer proposes to build **44 dwelling units**. Developer agrees to comply with the Santa Fe Homes Program ordinance. SFHP which requires that 20% of these homes are affordably-priced, resulting in **8.8 affordable homes** and a fractional fee paid for **0.8 unit**. The SFHP Plan shall include the number of bedrooms and bathrooms, the minimum square footage and the minimum household size, the income range to be served and the current SFHP Home price for each SFHP Home as set forth

in Section 8.2 of the SFHP Administrative Procedures. If the development is constructed in phases, a SFHP Plan for each phase shall be reviewed and approved by the City and recorded at the County Clerk's office prior to issuance of a building permit by the City for that phase. The SFHP Developer agrees to make a payment of **\$66,100** for the fractional portion of a SFHP Home, as calculated pursuant to SFHP. The payment shall be made to the City of Santa Fe Affordable Housing Trust Fund (AHTF) for affordable housing.

C. SUCCESSORS IN TITLE. SFHP Developer proposes to develop the Property consistent with this SFHP Proposal. In the event that SFHP Developer sells, assigns, leases, conveys, mortgages, or encumbers the Property to any third party, the third party shall be required to execute a SFHP Agreement consistent with this Proposal prior to obtaining any City approvals.

D. MONITORING. SFHP Developer proposes to provide such information and documentation as the City may reasonably require in order to ensure that the actual sales were in compliance with the SFHP Agreement.

E. DEVELOPMENT INCENTIVES. SFHP Developer **does request** other fee waivers and reduced fees for the affordable units as per SFCC 14.8.11(G)(2), including: Impact Fees, Wastewater UECs and Building, Electrical, Plumbing & Mechanical Permit Fees. Water UECs (not including the construction costs associated with installation) are REDUCED.

E. REVISIONS, MODIFICATIONS AND SUPPLEMENTATION OF THIS PROPOSAL. In the event that the SFHP Developer or the City make material modifications, including modifications to the number of lots or units or the area covered by the Proposal, a revised SFHP Proposal shall be promptly submitted to the Office of Affordable Housing in order to provide a SFHP Proposal that is current and reflects the intended development.

IN WITNESS WHEREOF, this Proposal is made the day and year first written above.

SFHP DEVELOPER:

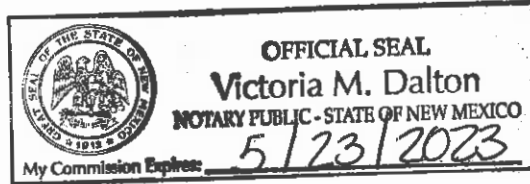
[Signature]
{Signature}

Kevin Patton
{Kevin Patton,
Director of Land Planning &
Entitlements }

STATE OF NEW MEXICO)

)ss.

COUNTY OF SANTA FE)



ACKNOWLEDGEMENT

The foregoing instrument was acknowledged before me this 25 day of June
2021, by Kevin Patton the {title} Director of Land Planning & Entitlements
{entity} Pulte Homes NM

Victoria M. Dalton
NOTARY PUBLIC

My Commission Expires:
5/23/2023

REVIEWED BY:

Alexandra Ladd
OFFICE OF AFFORDABLE HOUSING
Alexandra Ladd, Director

6.28.21
DATE

Attach: Exhibit 1 - Subdivision layout (proposed)
Exhibit 2 - Pricing Schedule

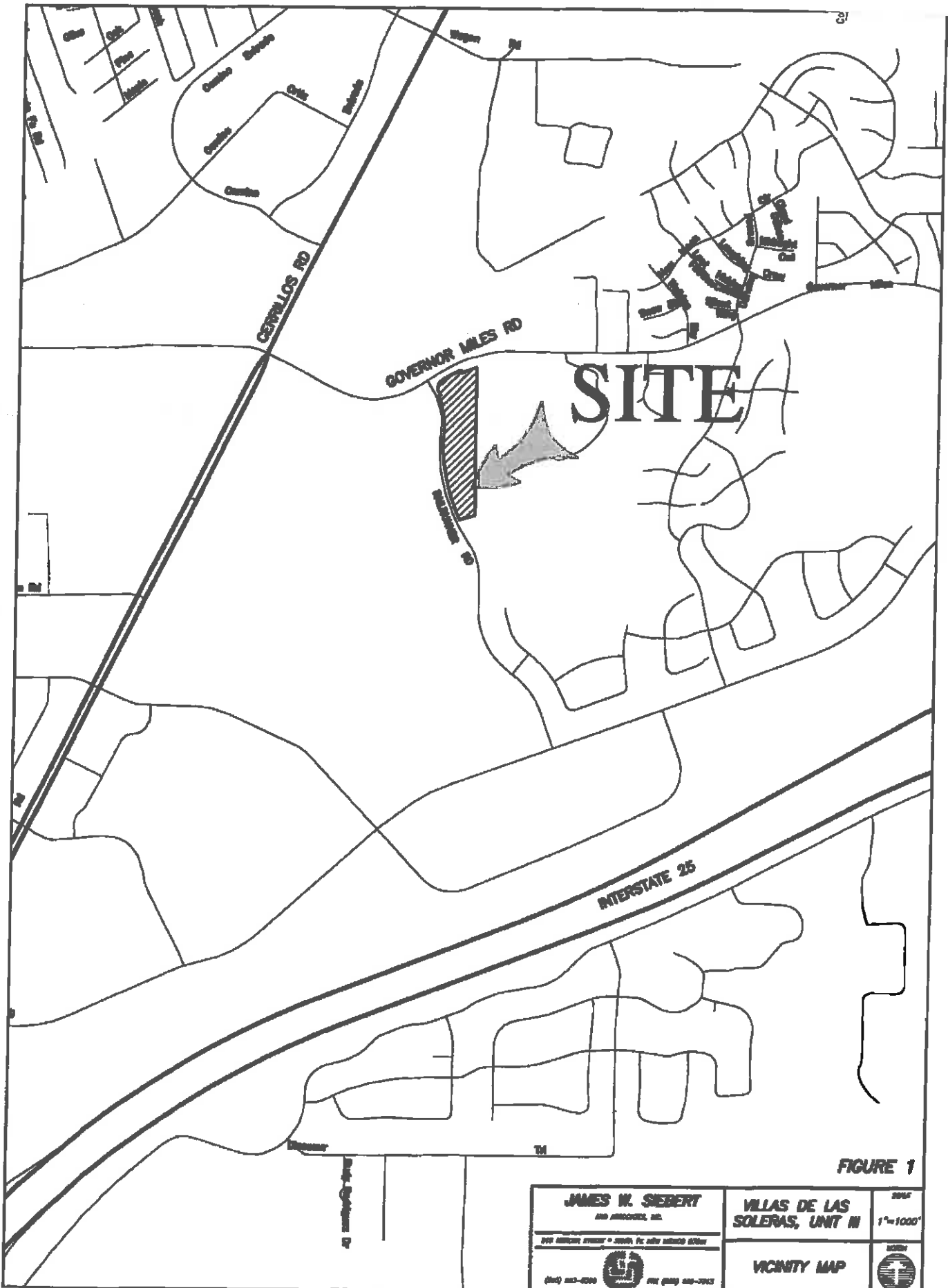


FIGURE 1

JAMES W. SIEBERT AND ASSOCIATES, INC. <small>THE NATIONAL SURVEYING & MAPPING SOCIETY OF AMERICA</small>	VILLAS DE LAS SOLERAS, UNIT III <small>SCALE</small> 1"=1000'
 <small>(505) 343-4500</small>	VICINITY MAP

SANTA FE HOMES PROGRAM
SFHP PLAN AND HOME SALES PRICING SCHEDULE
 Effective April 2021*

<i>Income Range</i>	<i>Two Bedrooms</i> <i>1-2 person HH</i> <i>(900 sq min)</i>	<i>Three Bedrooms</i> <i>3-4 person HH</i> <i>(1,150 sq ft min)</i>	<i>Four Bedrooms</i> <i>4-5 person HH</i> <i>(1,250 sq ft min)</i>
2 (50-65%AMI)	Max. Price \$146,750 0 Units	Max. Price \$165,250 2 Units	Max. Price \$183,250 0 Units
3 (65-80%AMI)	Max. Price \$190,750 0 Units	Max. Price \$214,750 4 Units	Max. Price \$238,250 0 Units
4 (80-100%AMI)	Max. Price \$235,000 0 Units	Max. Price 264,250 2 Units	Max. Price \$293,250 0 Units

Prices reflect April 2021 HUD Area Median Incomes for Santa Fe. Refer to Section 26-1.16 (B) and the SFHP Administrative Procedures. For specific requirements, contact The Office of Affordable Housing.

AFFORDABILITY CALCULATION
Single Family Building Lots

The project has an area of approximately 6.792 acres, zoned at R-10, permitting 10 dwelling homes per acre. The required number of SFHP units is 20% of the total units, 5% each in Income Ranges 2 and 4 and 10% in Income Range 3. The project proposes **44 total lots** for development as single family homes.

CALCULATION for the SFHP requirement:

= Total number of units multiplied by (0.2) = # of Units Required
 = **44** total units x 0.2 = **8.8** SFHP unit(s) are required
 = **8 lots/units** delivered and a fractional fee paid for **0.8** units

CALCULATION for the Fractional Fee:

= ½ price of 3 BR, Tier 2 Home X Unit Fraction
 = \$82,625 X **0.8**
 = **\$66,100 fractional fee**

NOTE: The home prices and fractional fee schedule are modified by the City according to Section 8.7.3 of the SFHP Administrative Procedures to reflect annual changes in the median income levels. The SFHP Home prices shown in this SFHP Agreement are the prices in effect at the time this Agreement is made. The current SFHP prices that are in effect at the time the SFHP Home is made available for sale or the fractional fees are paid, determines the actual SFHP Home Price and/or amount of fractional fee. The prices are updated annually.

VILLAS DE LAS SOLERAS UNIT-III MASTER PLAN AMENDMENT; GENERAL PLAN AMENDMENT; RE-ZONING R-6 TO R-10; DEVELOPMENT PLAN; PRELIMINARY SUBDIVISION PLAT



VICINITY MAP
1" = 1000'

TOWNSHIP 16N, RANGE 9E,
SECTIONS 7 & 18

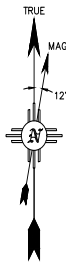
OWNER: PULTE GROUP OF NEW MEXICO, INC.
KEVIN PATTON, VICE-PRESIDENT-LAND DEVELOPMENT
7601 JEFFERSON ST NE
ALBUQUERQUE, NM 87505
(505)473-2090

CONSULTANTS: JESUS LOPEZ
RESPEC ENGINEERING
CIVIL ENGINEER
5971 JEFFERSON ST SUITE 101
ALBUQUERQUE, NM 87109
(505) 253-9718

JAMES W. SIEBERT & ASSOCIATES, INC.
PLANNING CONSULTANT
915 MERCER STREET
SANTA FE, NM 87505
(505) 983-5588

JOHN BRALY
YELLOWSTONE LANDSCAPING
LANDSCAPE ARCHITECT
7525 SECOND ST SW
ALBUQUERQUE, NM 87107
(505) 589-8455

SURV-TEK, INC.
SURVEYOR
9384 VALLEY VIEW DRIVE, NW
ALBUQUERQUE, NM 87114
(505) 897-3366



INDEX TO SHEETS	
LIST OF SHEETS	SHEET NUMBER
PLANNING	
COVER SHEET _____	P-100
DEVELOPMENT PLAN _____	P-200
LANDSCAPE	
LANDSCAPE PLAN _____	81A-81B
SURVEY	
CERTIFIED TOPOGRAPHIC MAP _____	S-100 TO S-300
PLAT _____	S-400 TO S-700
ENGINEERING	
SEE COVER SHEET (0-100) FOR ENGINEERING PLANS.	

STORMWATER AGREEMENT:

PROPERTY OWNER(S) HEREBY AGREE THAT ALL STORM WATER EASEMENTS AND ANY OTHER DRAINAGE IMPROVEMENTS ON PRIVATE PROPERTY WILL BE MAINTAINED AND KEPT FULLY FUNCTIONAL AS ORIGINALLY DESIGNED AND CONSTRUCTED WITHIN PRIVATE PROPERTY BOUNDARIES BY THE PROPERTY OWNER AND SUBSEQUENT HEIRS, ASSIGNS, AND FUTURE OWNERS. THE CITY IS HEREBY GRANTED THE FOLLOWING: (1) ACCESS FOR INSPECTION OF SAID IMPROVEMENTS; (2) IN THE EVENT OF DRAINAGE FACILITY MAINTENANCE DEFICIENCY AND AFTER TEN (10) DAYS WRITTEN NOTICE TO THE RESPECTIVE PROPERTY OWNER, TO ENTER AND RESTORE FULL FUNCTIONAL CAPACITY OF THE DRAINAGE IMPROVEMENTS; AND (3) TO LIEN THE PROPERTY FOR BOTH DIRECT AND INDIRECT COSTS ASSOCIATED WITH SUCH WORK. BY SIGNATURE AFFIXED TO THIS INSTRUMENT, THE PROPERTY OWNER(S) APPROVE AND AGREE THAT THIS AGREEMENT IS BINDING PERPETUALLY, RUNNING WITH THE LAND, ON PRESENT AND FUTURE OWNERS, HEIRS, AND ASSIGNS.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____.

(OWNER) _____ DATE _____

MY COMMISSION EXPIRES _____

STORMWATER MANAGEMENT SYSTEM CERTIFICATION

THE UNDERSIGNED NEW MEXICO PROFESSIONAL ENGINEER HEREBY CERTIFIES THAT THESE RECORD DRAWINGS REFLECT THE CONSTRUCTED DETAILS OF THE HEREIN DESIGNED STORMWATER MANAGEMENT SYSTEM AND COMPLIES WITH SAID PLANS, INCLUDING AUTHORIZED CHANGE ORDERS.

ENGINEER'S STORMWATER INFRASTRUCTURE CERTIFICATION

I, THE UNDERSIGNED NEW MEXICO PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE RECORD INFORMATION SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND VISUAL INSPECTIONS PERFORMED BY MYSELF OR UNDER MY DIRECT SUPERVISION. I FURTHER CERTIFY THAT THE RECORD CONDITION OF THE SITE AS OF _____ (DATE) IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN PREPARED BY _____ DATED _____.

JESUS LOPEZ, N.M.P.E. NO.26361 _____ DATE _____
RESPEC ENGINEERING

APPROVED BY THE SANTA FE PLANNING COMMISSION AT THEIR MEETING OF _____, AS CASE NO.: _____

CITY ENGINEER FOR LAND USE _____ DATE _____

CITY PLANNER _____ DATE _____

COUNTY OF SANTA FE)
STATE OF NEW MEXICO)
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THE _____ DAY OF _____ A.D. 20____ AT _____ O'CLOCK _____ M AND WAS DULY RECORDED IN BOOK _____ PAGE _____ OF THE RECORDS OF SANTA FE COUNTY.

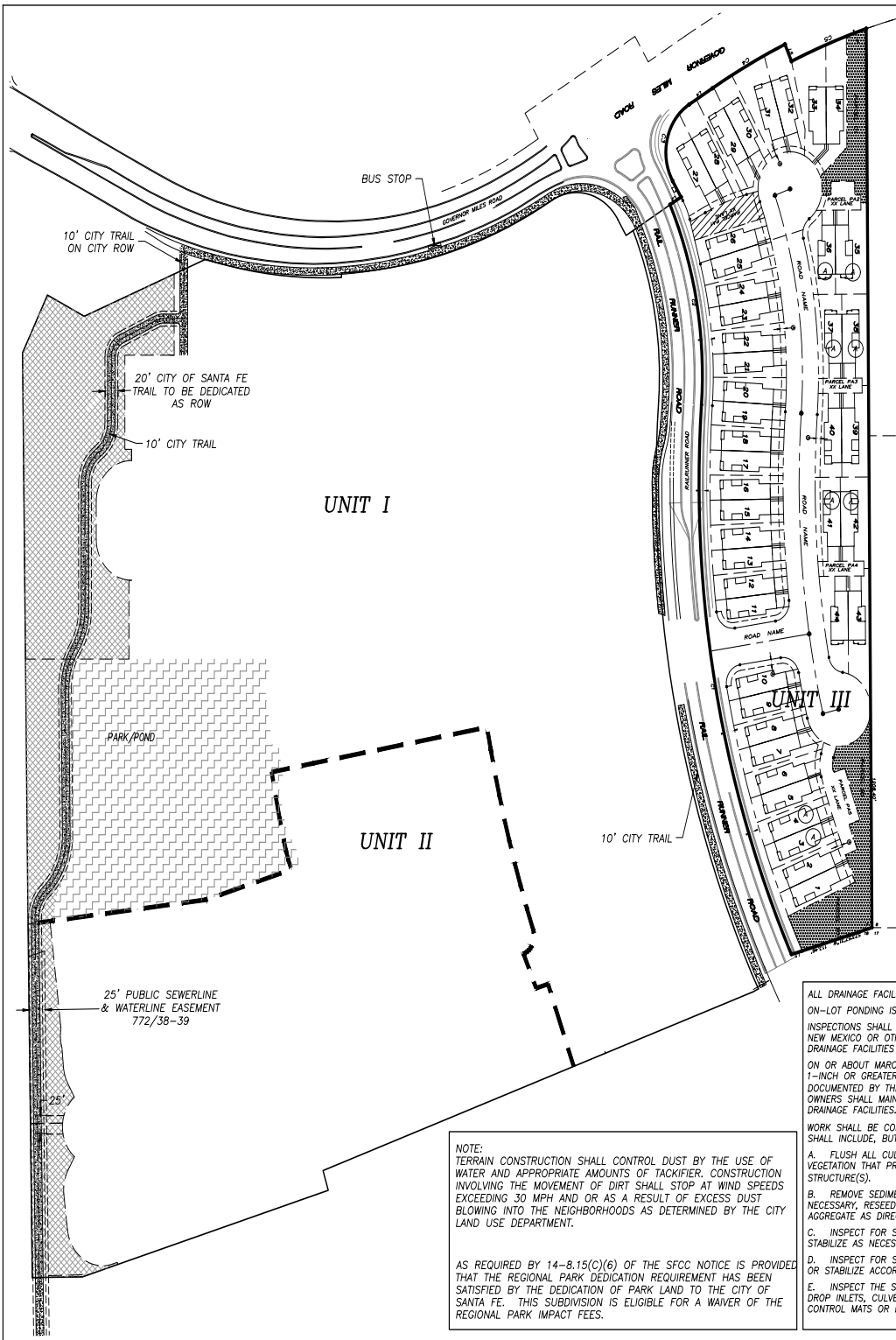
WITNESS MY HAND AND SEAL OF OFFICE
KATHARINE E. CLARK
COUNTY CLERK, SANTA FE COUNTY, N.M.

DEPUTY



JAMES W. SIEBERT
AND ASSOCIATES, INC.
915 MERCER STREET • SANTA FE NEW MEXICO 87505
(505) 983-5588 FAX (505) 989-7313

SCALE: AS SHOWN	DATE: JUNE 2021	
DRAWN BY: AS	CHECKED BY: JWS	
REVISED: 06/16/21	FILE NAME: 2021-06/21/21	SHEET: P-100
COVER SHEET		



APPROVED BY THE SANTA FE PLANNING COMMISSION AT THEIR MEETING OF _____, 2021. AS CASE NO.: _____

PLANNING COMMISSION CHAIRPERSON _____ DATE _____

SECRETARY _____ DATE _____

REVIEWED BY CITY OF SANTA FE

CITY PLANNER _____ DATE _____

CITY ENGINEER _____ DATE _____

OWNER(S)
PULTE HOMES OF NEW MEXICO, INC.
A MICHIGAN CORPORATION

KEVIN PATTON, DIRECTOR OF LAND PLANNING & ENTITLEMENTS _____ DATE _____

STATE OF NEW MEXICO
COUNTY OF SANTA FE

THE FOREGOING INSTRUMENT WAS SWORN, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME

THIS _____ DAY OF _____, 2021

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

COUNTY OF SANTA FE)SS
STATE OF NEW MEXICO
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THE DAY _____ OF _____, 2020 AD, AT _____ O'CLOCK _____, AND WAS DULY RECORDED IN BOOK _____, PAGE(S) _____ OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE
VALERIE ESPINOZA
COUNTY CLERK, SANTA FE COUNTY, N.M.

DEPUTY _____

ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. ON-LOT PONDING IS NOT REQUIRED.

INSPECTIONS SHALL BE CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO OR OTHER QUALIFIED PERSON. INSPECTIONS SHALL BE CONDUCTED ON THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. MAINTENANCE OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED AND DOCUMENTED BY THE ENGINEER AND THE H.O.A./PROPERTY OWNERS. THE H.O.A./PROPERTY OWNERS SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE ENGINEER'S RECOMMENDATIONS, AND SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:

- FLUSH ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND VEGETATION THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURE(S).
- REMOVE SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH, AND IF NECESSARY, RESEED WITH NATIVE GRASSES AND INSTALL FILTER FABRIC AND 3 TO 4 INCH AGGREGATE AS DIRECTED BY THE ENGINEER.
- INSPECT FOR SEDIMENTATION IN ALL SWALES, DITCHES, DRAINAGE PONDS AND REMOVE AND STABILIZE AS NECESSARY.
- INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS, CUT AND FILL SLOPES, AND REPAIR OR STABILIZE ACCORDINGLY.
- INSPECT THE STRUCTURAL INTEGRITY OF DRAINAGE PONDS, SLOPES, RIP-RAP, GABIONS, DROP INLETS, CULVERTS, ENERGY DISSIPATORS, AND RETAINING WALLS, ROCK PLATING, EROSION CONTROL MATS OR BLANKETS, AND REPAIR OR STABILIZE ACCORDINGLY.

NOTE:
TERRAIN CONSTRUCTION SHALL CONTROL DUST BY THE USE OF WATER AND APPROPRIATE AMOUNTS OF TACKIFIER. CONSTRUCTION INVOLVING THE MOVEMENT OF DIRT SHALL STOP AT WIND SPEEDS EXCEEDING 30 MPH AND OR AS A RESULT OF EXCESS DUST BLOWING INTO THE NEIGHBORHOODS AS DETERMINED BY THE CITY LAND USE DEPARTMENT.

AS REQUIRED BY 14-8.15(C)(6) OF THE SFCC NOTICE IS PROVIDED THAT THE REGIONAL PARK DEDICATION REQUIREMENT HAS BEEN SATISFIED BY THE DEDICATION OF PARK LAND TO THE CITY OF SANTA FE. THIS SUBDIVISION IS ELIGIBLE FOR A WAIVER OF THE REGIONAL PARK IMPACT FEES.

SITE DATA:

TRACT 1.3:
UNIT 3 OF VILLAS DE LAS SOLERAS
AREA: 6.792 AC±
ZONING: R-10, MEDIUM DENSITY RESIDENTIAL 10 DU/AC
PERMITTED DENSITY: 6.792 AC X 10 = 67 DU
DWELLING UNITS:
ATTACHED DUPLEX UNITS: 44
GROSS DENSITY: 6.5 DU/AC
OFF LOT PARKING: 29 SPACES

LEGEND:

- COMMON OPEN SPACE—MAINTAINED BY ROSS'S PEAK HOA (0.21 AC±)
- EMERGENCY ACCESS
- ACCESS OR PARKING TO BE MAINTAINED BY VILLAS DE LAS SOLERAS HOA
- PARK/POND TO BE MAINTAINED BY VILLAS DE LAS SOLERAS HOA (INCLUDED IN PHASE I)
- DESIGNATED AFFORDABLE LOT TO COMPLY WITH SANTA FE HOMES PROPOSAL

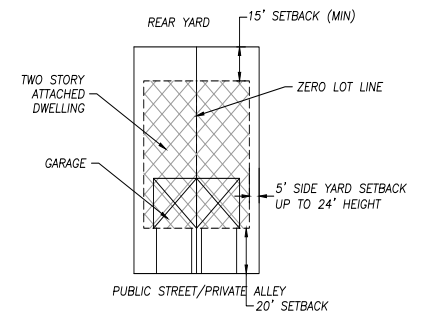
AFFORDABLE HOUSING BY PHASE:

44 x 0.2 = 8.8
8 UNITS PROVIDE, FEE PAID FOR .8 UNITS

NOTE:

NO LOT IS LESS THAN 3,000 SQ. FT.

TYPICAL LOT SETBACK AND LOT COVERAGE



NOTE:
MAXIMUM PERMITTED LOT COVERAGE: 55% WITH PRIVATE OPEN SPACE EXCEEDS 40% LOT COVERAGE EQUAL TO 30% TOTAL BUILDING AREA.

JAMES W. SIEBERT
AND ASSOCIATES, INC.

915 MORNER STREET • SANTA FE, NEW MEXICO 87505



(505) 983-5588 FAX (505) 989-7313

VILLAS DE LAS SOLERAS, UNIT-III

SCALE: 1"=80'
DATE: JUNE 2021

DRAWN BY: AS
CHECKED BY: JWS

REVISED: 00/00/00
WORKED ON: 06/16/21

FILE NAME: 80132-2021-1312-04-UNIT II



SHEET:

P-200

DEVELOPMENT PLAN



Date: 06.19.2021

Revisions:
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 ▲
 ▲
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Drawn by: HA
 Reviewed by: JB

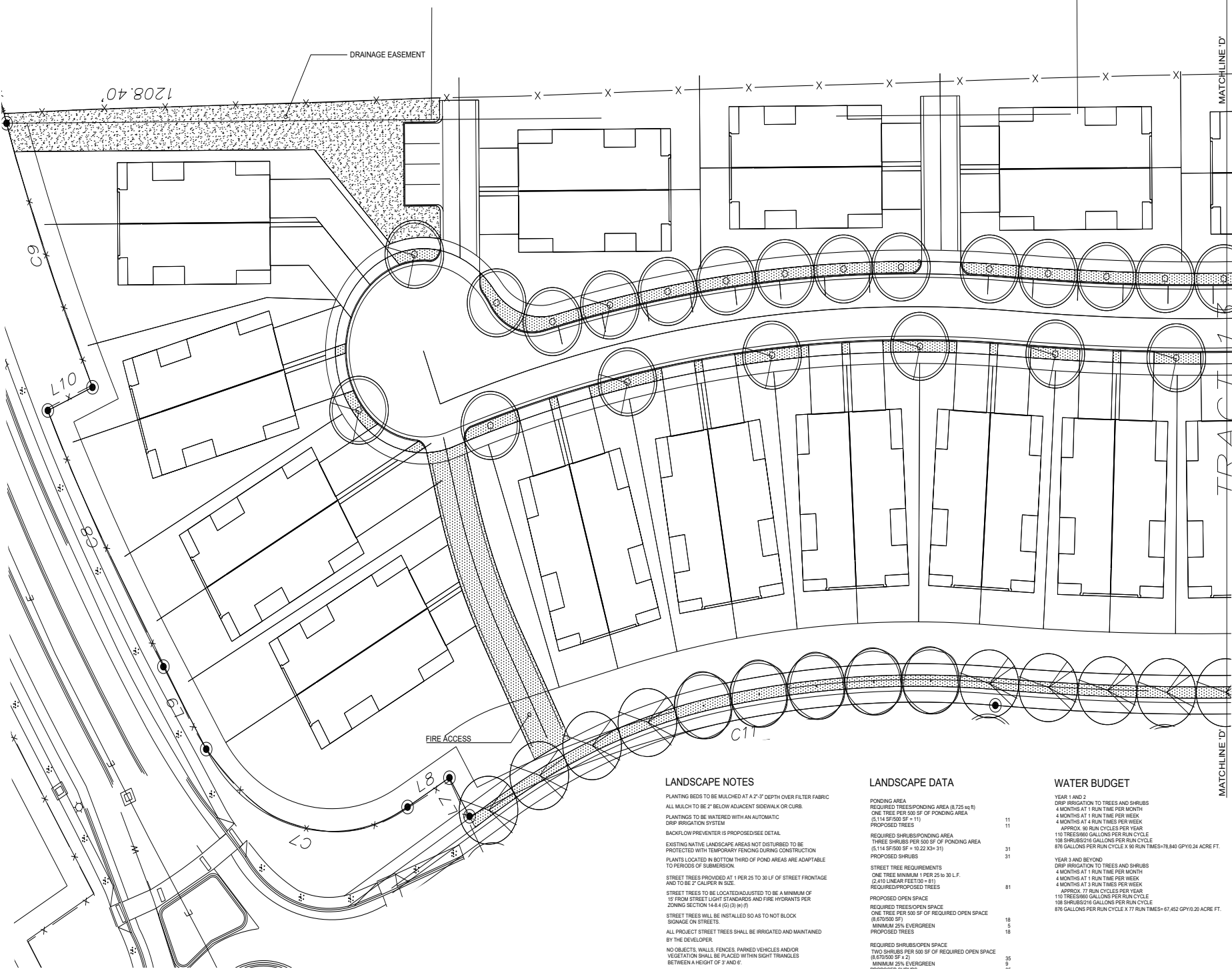
**Villas at Las Soleras
 Unit 3**
 Santa Fe, New Mexico



Scale: 1"=20'-0"
 10' 0 20' 40'

Sheet Title:
**Landscape
 Plan**

Sheet Number:
81A



LANDSCAPE NOTES

PLANTING BEDS TO BE MULCHED AT A 2'-3" DEPTH OVER FILTER FABRIC
 ALL MULCH TO BE 2" BELOW ADJACENT SIDEWALK OR CURB
 PLANTINGS TO BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM
 BACKFLOW PREVENTER IS PROPOSED SEE DETAIL
 EXISTING NATIVE LANDSCAPE AREAS NOT DISTURBED TO BE PROTECTED WITH TEMPORARY FENCING DURING CONSTRUCTION
 PLANTS LOCATED IN BOTTOM THIRD OF POND AREAS ARE ADAPTABLE TO PERIODS OF SUBMERSION
 STREET TREES PROVIDED AT 1 PER 25 TO 30 LF OF STREET FRONTAGE AND TO BE 2" CALIPER IN SIZE
 STREET TREES TO BE LOCATED ADJUSTED TO BE A MINIMUM OF 10' FROM STREET LIGHT STANDARDS AND FIRE HYDRANTS PER ZONING SECTION 16-4-4 (C) (1) (I)
 STREET TREES WILL BE INSTALLED SO AS TO NOT BLOCK SIGNAGE ON STREETS
 ALL PROJECT STREET TREES SHALL BE IRRIGATED AND MAINTAINED BY THE DEVELOPER
 NO OBJECTS, WALLS, FENCES, PARKED VEHICLES AND/OR VEGETATION SHALL BE PLACED WITHIN SIGHT TRIANGLES BETWEEN A HEIGHT OF 3' AND 6'
 THIS LANDSCAPE PLAN COMPLES WITH CITY OF SANTA FE ORDINANCE 16-8-4 LANDSCAPE AND SITE DESIGN
 THIS LANDSCAPE PLAN WILL INCORPORATE ANY PASSIVE WATER HARVESTING TECHNIQUES FOR LANDSCAPE IRRIGATION PURPOSES AS PROPOSED BY THE GRADING & DRAINAGE PLAN. WHENEVER POSSIBLE, DETENTION & RETENTION PONDS WILL BE TREATED AS AN INTEGRATED LANDSCAPE FEATURE RATHER THAN A SINGLE PURPOSE FLOOD CONTROL POND.

LANDSCAPE DATA

PONDING AREA	11
REQUIRED TREES/SPONDING AREA (8,725 sq ft)	11
ONE TREE PER 500 SF OF PONDING AREA (5,114 SF/500 SF = 11)	
PROPOSED TREES	11
REQUIRED SHRUBS/SPONDING AREA	31
THREE SHRUBS PER 500 SF OF PONDING AREA (5,114 SF/500 SF = 10.22 X 3 = 31)	
PROPOSED SHRUBS	31
STREET TREE REQUIREMENTS	81
ONE TREE MINIMUM 1 PER 25 TO 30 LF (2,410 LINEAR FEET/30 = 81)	
REQUIRED/PROPOSED TREES	81
PROPOSED OPEN SPACE	18
REQUIRED TREES/OPEN SPACE (ONE TREE PER 500 SF OF REQUIRED OPEN SPACE (8,670/500 SF))	18
MINIMUM 25% EVERGREEN	5
PROPOSED TREES	18
REQUIRED SHRUBS/OPEN SPACE	35
TWO SHRUBS PER 500 SF OF REQUIRED OPEN SPACE (8,670/500 SF = 2)	35
MINIMUM 25% EVERGREEN	9
PROPOSED SHRUBS	35

WATER BUDGET

YEAR 1 AND 2
 DRIP IRRIGATION TO TREES AND SHRUBS
 4 MONTHS AT 1 RUN TIME PER MONTH
 4 MONTHS AT 1 RUN TIME PER WEEK
 4 MONTHS AT 4 RUN TIMES PER WEEK
 APPROX. 90 RUN CYCLES PER YEAR
 110 TREES/90 GALLONS PER RUN CYCLE
 108 SHRUBS/16 GALLONS PER RUN CYCLE
 876 GALLONS PER RUN CYCLE X 90 RUN TIMES = 78,840 GP/YR.24 ACR FT.

YEAR 3 AND BEYOND
 DRIP IRRIGATION TO TREES AND SHRUBS
 4 MONTHS AT 1 RUN TIME PER MONTH
 4 MONTHS AT 1 RUN TIME PER WEEK
 4 MONTHS AT 4 RUN TIMES PER WEEK
 APPROX. 77 RUN CYCLES PER YEAR
 110 TREES/90 GALLONS PER RUN CYCLE
 108 SHRUBS/16 GALLONS PER RUN CYCLE
 876 GALLONS PER RUN CYCLE X 77 RUN TIMES = 67,452 GP/YR.20 ACR FT.

SECTION 8



growing better Up Heads
 LANDSCAPE CONTRACTORS
 www.headsuplandscape.com

P.O. Box 10597
 Albuquerque, NM 87184
 505.898.9615
 505.898.2105 (fax)
 design@hulc.com



Date: 06.19.2021
 Revisions:

- ▲
- ▲
- ▲
- ▲

Drawn by: HA
 Reviewed by: JB

Villas at Las Soleras
 Unit 3
 Santa Fe, New Mexico

PLANT SCHEDULE UNIT 3

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	5	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24" BOX
	11	ULMUS PROPINQUA 'EMERALD SUNSHINE' / EMERALD SUNSHINE ELM	2" B&B
	14	MALUS / CRABAPPLE	2" B&B
	17	FRAXINUS VELLUTINA 'MODESTO' / MODESTO ASH	2" B&B
	17	GLEDITSIA TRIACANTHOS / HONEYLOCUST	2" B&B
	35	STREET TREE / ELM/LOCUST/ASH/OAK/HOT WINGS' MAPLE	2" B&B

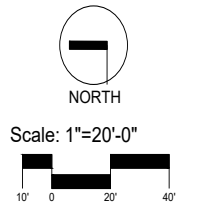
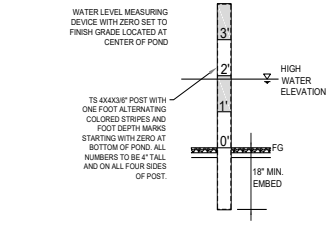
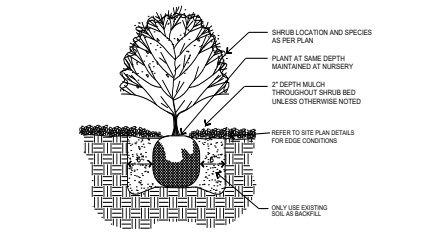
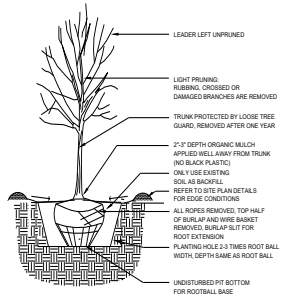
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	13	PINUS CEMBOIODES EDULIS / PINYON PINE	6" B&B

EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	7	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL
	11	ERICAMERIA NAUSEOSA / CHAMISA	5 GAL
	13	FALLUGIA PARADOXA / APACHE PLUME	5 GAL
	7	PINUS MUGO / MUGO PINE	5 GAL
	24	SANTOLINA CHAMAECYPARISSUS / LAVENDER COTTON	1 GAL
	13	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER (FEMALE)	5 GAL

DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	11	NEPETA MUSSAWI GIANT CATMINT	1 GAL
	18	ANDROPOGON LITTLE BLUESTEM	1 GAL

MATERIAL SCHEDULE UNIT 3

SYMBOL	DESCRIPTION	QTY	DETAIL
	7/8" GRAVEL WITH FILTER FABRIC	14,175 SF	
	CRUSHED GRAVEL	15,079 SF	
	24" ANGULAR COBBLE WITH FILTER FABRIC	5,114 SF	



Sheet Title:
Landscape Plan

Sheet Number:
81B

BOUNDARY AND TOPOGRAPHIC SURVEY

TRACT 13
LAS SOLERAS
CITY OF SANTA FE
SANTA FE COUNTY, NEW MEXICO

MAY, 2021



VICINITY MAP
NOT TO SCALE

UTILITY DISCLAIMER

SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

NM 811 LOCATE REQUEST TICKET NUMBER 21AP060221, CREATION DATE: 04/6/21.
THERE MAY BE PRIVATE UNDERGROUND UTILITY LINES NOT WITHIN DOCUMENTED EASEMENTS THAT WERE NOT MARKED OUT BY UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NM811

THIS PROJECT WAS CALLED IN TO NM811 AS A "DESIGN LOCATE". SOME UTILITY LINE-SPOTTING COMPANIES NOTIFIED BY NM811 CONSIDER "DESIGN LOCATE" CALLS AS LOW PRIORITY AND IN SOME CASES DELAY RESPONSE, PARTIALLY COMPLETE OR NOT RESPOND AT ALL.

THE RETAINING OF A PRIVATE UTILITY LINE-SPOTTING COMPANY MAY BE NECESSARY FOR COMPLETE UTILITY LINE-SPOTTING OF A SUBJECT PROPERTY.

PAINT MARKS AND FLAGGING SET ON THE GROUND BY UTILITY COMPANIES AND OTHERS ARE USED TO DESIGNATE UNDERGROUND UTILITIES AS SHOWN HEREON: RED FOR ELECTRIC, BLUE FOR WATER, YELLOW FOR GAS, ORANGE FOR COMMUNICATIONS, GREEN FOR SEWER.

ANY PIPE SIZES OR MATERIAL TYPES SHOWN HEREON WERE DERIVED FROM ASBUILT PLANS AS PROVIDED BY THE VARIOUS UTILITY COMPANIES.

SURV-TEK, INC. MAKES NO REPRESENTATION THAT SAID INFORMATION IS CURRENT OR CORRECT.

ARCHITECT, ENGINEER, AND CONTRACTOR WILL BE RESPONSIBLE FOR VERIFICATION OF SAID INFORMATION DURING THEIR DESIGN PROCESS.

QUALIFIED SUBSURFACE UTILITY ENGINEERING (SUE) SERVICES MAY BE REQUIRED.

UTILITIES LABELED WITH AN ASTERISK (*) ARE DERIVED OR TRANSCRIBED FROM PROVIDED PLANS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.

UTILITIES LABELED WITH AN POUND SIGN (#) ARE ASSUMED UTILITY LOCATIONS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY.

NOTE: SANTA FE WATER, PNM AND CENTURYLINK FAILED TO RESPOND TO THE REQUEST FOR LINE SPOTTING ALONG OR WITHIN RAIL RUNNER ROAD R/W. ALL UTILITIES SHOULD BE NOTIFIED BY NM ONE CALL FOR LINE SPOTTING AND VERIFICATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

LEGAL DESCRIPTION

LOT 13, LAS SOLERAS SUBDIVISION, AS SHOWN ON PLAT ENTITLED "LAS SOLERAS ANNEXATION, GENERAL PLAN AMENDMENT, REZONING TO MULTIPLE ZONING DISTRICTS" FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO ON MARCH 4, 2010 IN PLAT BOOK 714, PAGES 014-026, AS INSTRUMENT NO. 1592455.

FLOOD ZONE DETERMINATION

A westerly portion of the subject property (as shown hereon) appears to lie within a Zone AE (Base Flood elevations determined) and the majority of the subject property appears to lie within Zone "X" (areas determined to be outside 0.2% annual chance floodplain) in accordance with the National Flood Insurance Program Rate Map Numbers 35049003940 and 35049003970, Effective Date 12-4-2012.

GENERAL NOTES

1. BEARINGS ARE GRID AND BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD83).
2. DISTANCES ARE GROUND. TO CONVERT TO GRID DISTANCES, MULTIPLY BY COMBINED FACTOR OF 0.99958460.
3. DISTANCES ALONG CURVED LINES ARE ARC LENGTHS.
4. RECORD PLAT OR DEED BEARINGS AND DISTANCES, WHERE THEY DIFFER FROM THOSE ESTABLISHED BY THIS FIELD SURVEY, ARE SHOWN IN PARENTHESIS ().
5. ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" UNLESS OTHERWISE INDICATED HEREON.
6. ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 9750" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750" UNLESS OTHERWISE INDICATED HEREON.
7. VERTICAL DATUM IS BASED UPON CITY OF SANTA FE/SANTA FE COUNTY CONTROL SURVEY MONUMENT "B 439", ELEVATION= 6585.94 FEET (NAVD 88).
8. FIELD SURVEYS WERE PERFORMED DURING THE MONTH OF MAY, 2021.
9. THE WORD CERTIFY OR CERTIFICATION AS USED HEREIN IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, BASED UPON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH, AND DOES NOT CONSTITUTE A GUARANTEE, NOR A WARRANTY, EXPRESSED OR IMPLIED.

DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY

LOT LINE ADJUSTMENT PLAT PREPARED FOR BECKNER ROAD EQUITIES, INC. BY GARY E. DAWSON, NMLS 7014. PLAT RECORDED AS INSTRUMENT NUMBER 1592455 ON THE 4TH DAY OF MARCH, 2010 AND PLAT BOOK 714 PAGES 14-26, IN THE SANTA FE COUNTY CLERKS OFFICE.

PLAT ENTITLED "LOT SPLIT SURVEY PLAT PREPARED FOR LAS SOLERAS OESTE LTD., CO. AND ROSS'S PEAK HOLDING LTD, CO." BY DIEGO SISNEROS, NMLS 13986. PLAT RECORDED AS INSTRUMENT NUMBER 772038 ON THE 6TH DAY OF MAY, 2015 IN PLAT BOOK 772 PAGES 38 AND 39, IN THE SANTA FE COUNTY CLERKS OFFICE.

PLAT ENTITLED "LOT LINE ADJUSTMENT PLAT PREPARED FOR LAS SOLERAS CENTER, LLC AND LAS SOLERAS OESTE, LTD., CO. PREPARED BY RUSS P. HUGG NMPS NUMBER 9750, PLAT RECORDED AS INSTRUMENT NUMBER 1778342 ON THE 29TH DAY OF OCTOBER, 2015 IN PLAT BOOK 794 PAGES 7-13, IN THE SANTA FE COUNTY CLERKS OFFICE.

PLAT ENTITLED "LOT SPLIT SURVEY PLAT PREPARED FOR LAS SOLERAS CENTER, LLC AND LAS SOLERAS OESTE, LTD., CO." PREPARED BY RUSS P. HUGG NMPS NUMBER 9750, PLAT RECORDED AS INSTRUMENT NUMBER 1783594 ON THE 8TH DAY OF JANUARY, 2016 IN PLAT BOOK 797, PAGES 1-2, IN THE SANTA FE COUNTY CLERKS OFFICE.

ALL OTHER REFERENCE DOCUMENTS AS NOTED HEREON.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this Boundary and Topographic Survey Plat was prepared from an actual ground survey performed by me or under my supervision; that I am responsible for this survey; that this survey is true and correct to the best of my knowledge and belief; and that this Boundary and Topographic Survey Plat and the field survey upon which it is based meet the Minimum Standards for Surveying in New Mexico; and that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a Survey Plat of one existing lot.

IN WITNESS WHEREOF, this certificate is executed at Albuquerque, New Mexico, on this 8th day of May, 2021.

Russ P. Hugg
NMPS No. 9750

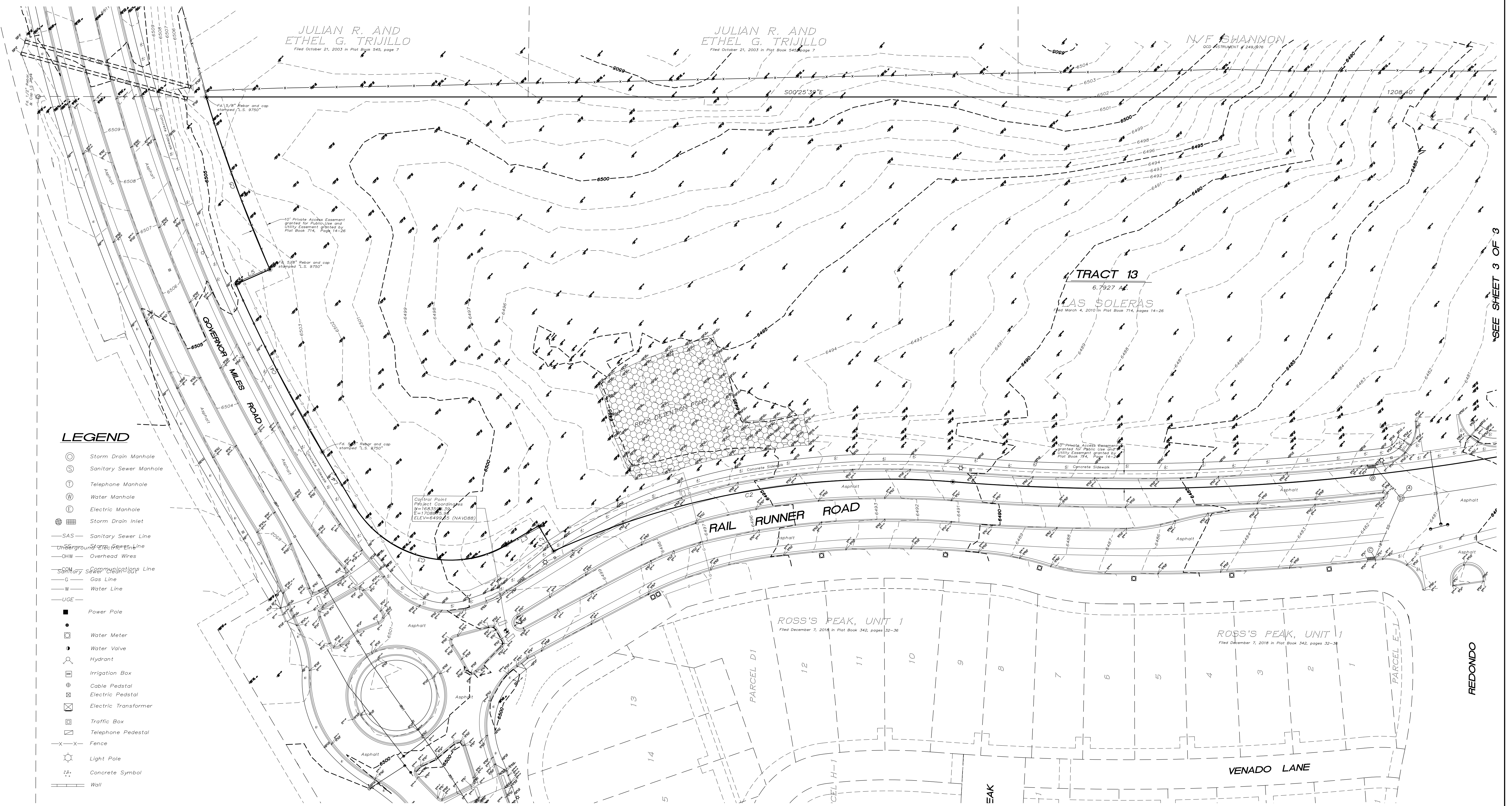
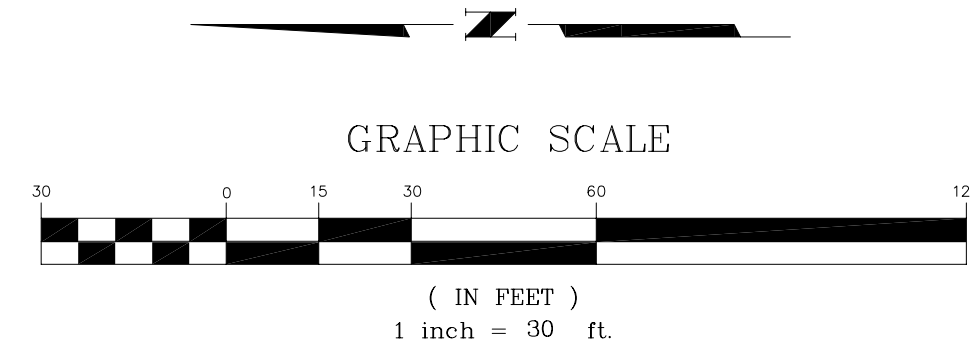


SHEET S-100

TRACT 13 LAS SOLERAS

CITY OF SANTA FE
SANTA FE COUNTY, NEW MEXICO

MAY, 2021



LEGEND

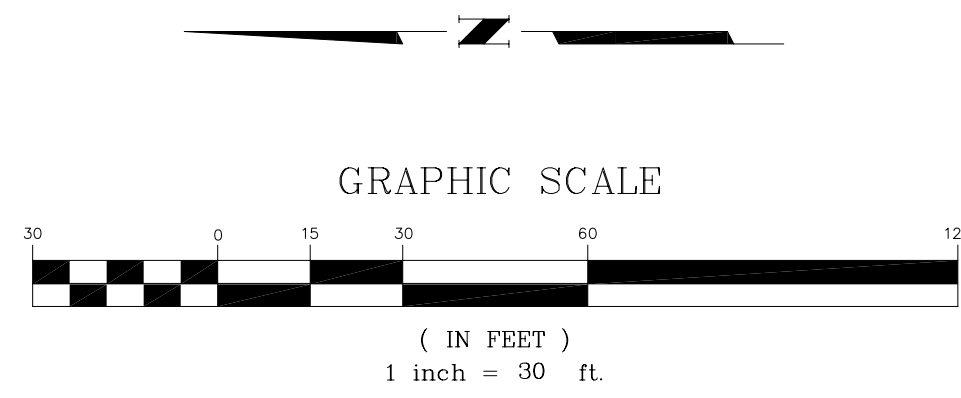
- Storm Drain Manhole
- ⊙ Sanitary Sewer Manhole
- ⊕ Telephone Manhole
- ⊖ Water Manhole
- ⊕ Electric Manhole
- ⊕ Storm Drain Inlet
- SAS — Sanitary Sewer Line
- UG — Underground Utility Line
- OHW — Overhead Wires
- SAN — Sanitary Sewer Manhole
- G — Gas Line
- W — Water Line
- UGE —
- Power Pole
- ⊕ Water Meter
- ⊕ Water Valve
- ⊕ Hydrant
- ⊕ Irrigation Box
- ⊕ Cable Pedestal
- ⊕ Electric Pedestal
- ⊕ Electric Transformer
- ⊕ Traffic Box
- ⊕ Telephone Pedestal
- X — Fence
- ⊕ Light Pole
- ⊕ Concrete Symbol
- Wall

SEE SHEET 3 OF 3

REDONDO

TRACT 13
LAS SOLERAS
CITY OF SANTA FE
SANTA FE COUNTY, NEW MEXICO

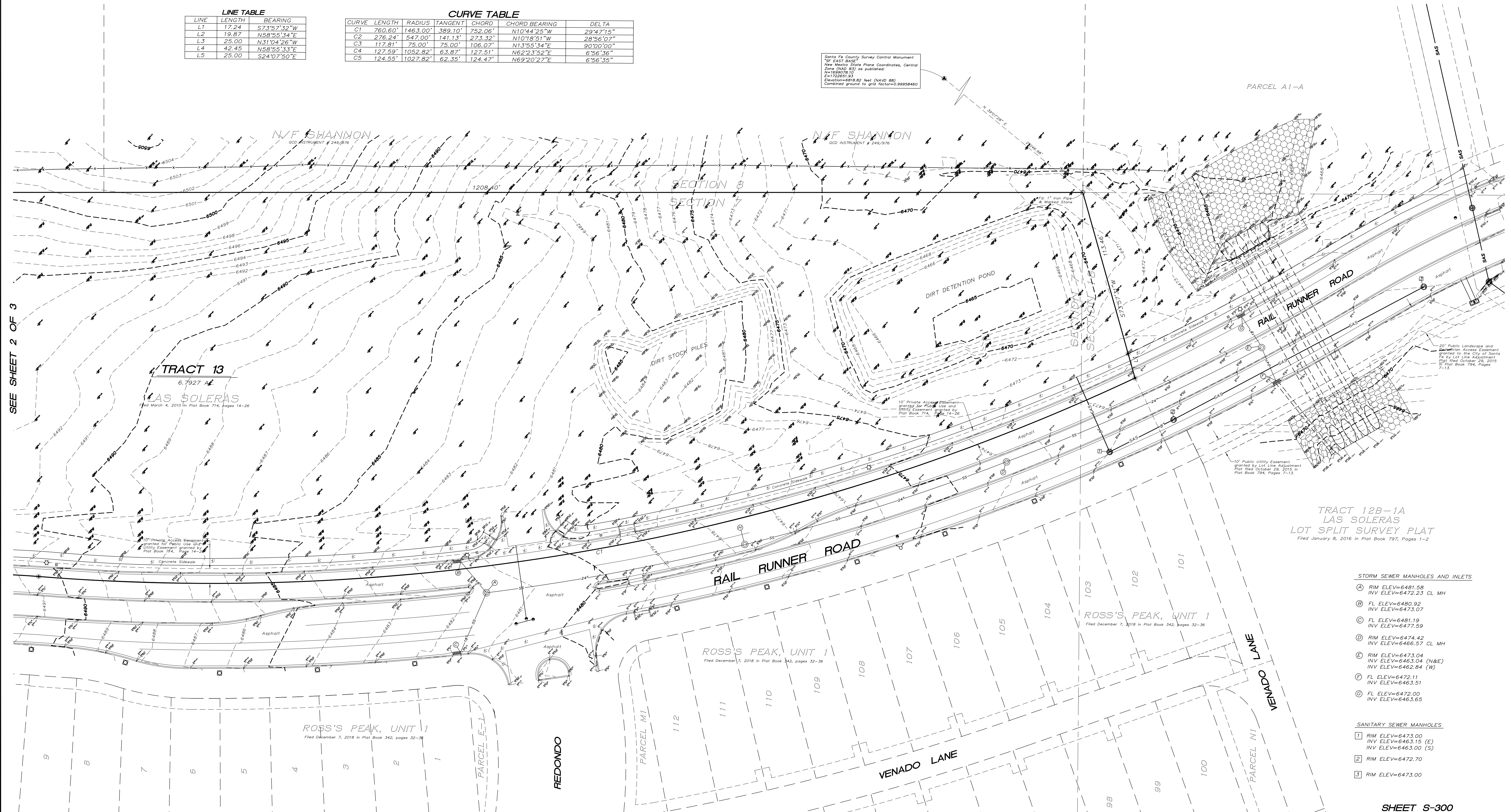
MAY, 2021



LINE	LENGTH	BEARING
L1	17.24	S73°57'32"W
L2	19.87	N58°55'34"E
L3	25.00	N31°04'26"W
L4	42.45	N52°55'33"E
L5	25.00	S24°07'50"E

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	760.60'	1463.00'	389.10'	752.06'	N10°44'25"W	29°47'15"
C2	276.24'	547.00'	141.13'	273.32'	N10°18'51"W	28°56'07"
C3	117.81'	75.00'	75.00'	106.07'	N13°55'34"E	90°00'00"
C4	127.59'	1052.82'	63.87'	127.51'	N62°23'52"E	6°56'36"
C5	124.55'	1027.82'	62.35'	124.47'	N69°20'27"E	6°56'36"

Santa Fe County Survey Control Monument
TOP EAST BASE
New Mexico State Plane Coordinates, Central
Zone (NAD 83) as published:
NAD 83
Elevation=6516.82 feet (NAVD 88)
Combined ground to grid factor=0.9995460



SEE SHEET 2 OF 3

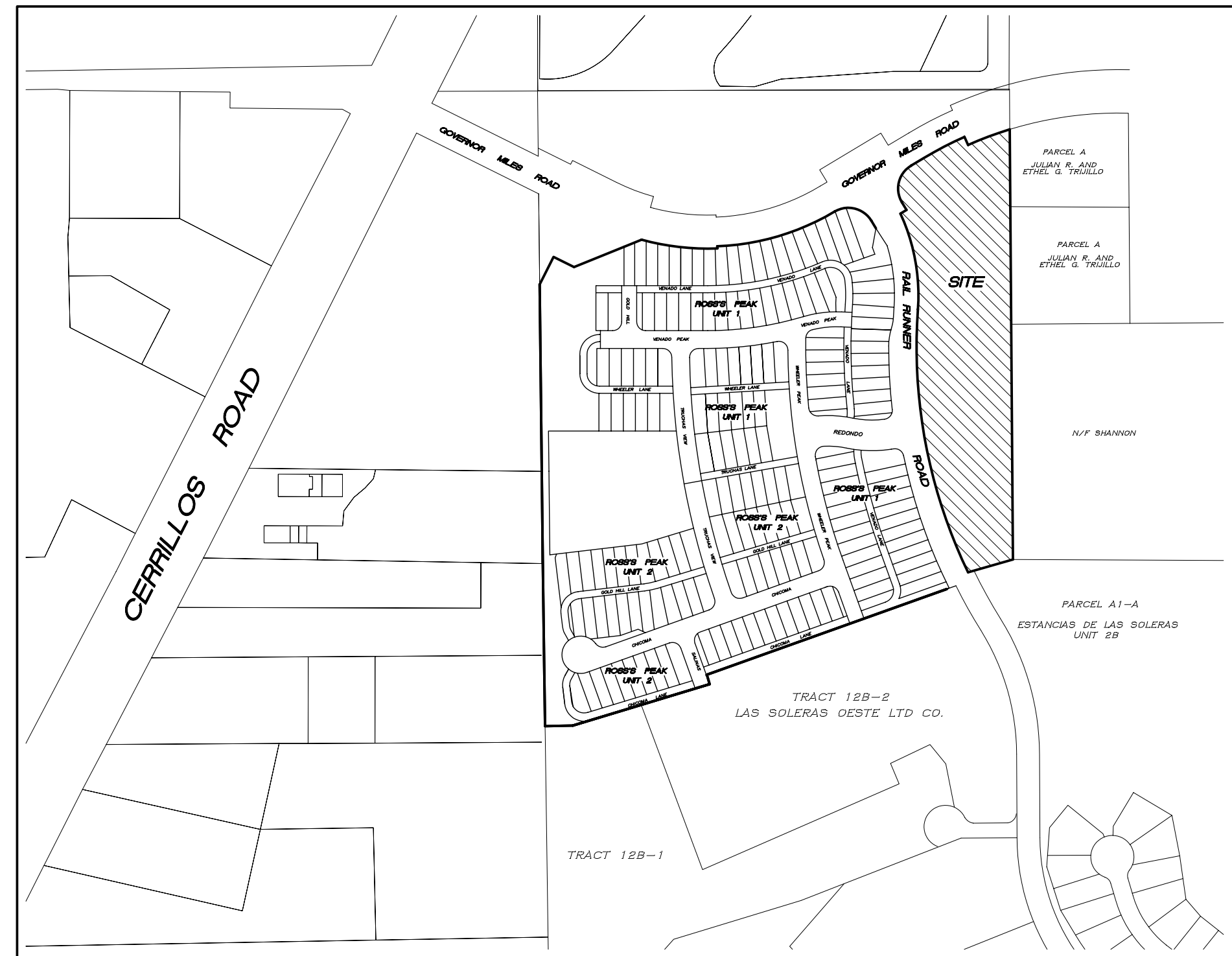
TRACT 13
6.7927 Acre
LAS SOLERAS
Filed March 4, 2010 in Plot Book 714, pages 14-26

SECTION 7
SECTION 8

PARCEL A1-A

TRACT 12B-1A
LAS SOLERAS
LOT SPLIT SURVEY PLAT
Filed January 8, 2016 in Plot Book 797, pages 1-2

- STORM SEWER MANHOLES AND INLETS**
- Ⓐ RIM ELEV=6481.58
INV ELEV=6472.23 CL MH
 - Ⓑ FL ELEV=6480.92
INV ELEV=6473.07
 - Ⓒ FL ELEV=6481.19
INV ELEV=6477.59
 - Ⓓ RIM ELEV=6474.42
INV ELEV=6466.57 CL MH
 - Ⓔ RIM ELEV=6473.04
INV ELEV=6463.04 (N&E)
INV ELEV=6462.84 (W)
 - Ⓕ FL ELEV=6472.11
INV ELEV=6463.51
 - Ⓖ FL ELEV=6472.00
INV ELEV=6463.65
- SANITARY SEWER MANHOLES**
- Ⓛ RIM ELEV=6473.00
INV ELEV=6463.15 (E)
INV ELEV=6463.00 (S)
 - Ⓜ RIM ELEV=6472.70
 - Ⓨ RIM ELEV=6473.00



VICINITY MAP
Not To Scale

GENERAL NOTES

- BEARINGS ARE GRID AND BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD83).
- DISTANCES ARE GROUND. TO CONVERT TO GRID DISTANCES, MULTIPLY BY COMBINED FACTOR OF 0.99958460.
- DISTANCES ALONG CURVED LINES ARE ARC LENGTHS.
- RECORD PLAT OR DEED BEARINGS AND DISTANCES, WHERE THEY DIFFER FROM THOSE ESTABLISHED BY THIS FIELD SURVEY, ARE SHOWN IN PARENTHESIS ().
- ALL CORNERS FOUND IN PLACE AND HELD WERE TAGGED WITH A BRASS DISK STAMPED "HUGG L.S. 9750" UNLESS OTHERWISE INDICATED HEREON.
- ALL CORNERS THAT WERE SET ARE EITHER A 5/8" REBAR WITH CAP STAMPED "HUGG L.S. 9750" OR A CONCRETE NAIL WITH BRASS DISK STAMPED "HUGG L.S. 9750" UNLESS OTHERWISE INDICATED HEREON.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEAR, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

CITY OF SANTA FE NOTES AND CONDITIONS

- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 2001 AND SUBSEQUENT AMENDMENTS.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
- ALL PREVIOUS CONDITIONS OF APPROVAL FOR LAS SOLERAS MASTER PLAN AS AMENDED APPLY, REFER TO CASE NUMBERS: 2008-27, 2008-28, 2008-11, 2008-15 AND 2014-123.
- SHALL MEET THE CITY'S PARK DEDICATION REQUIREMENTS BY DEDICATING PARK LAND AND LANDS FOR TRAILS AS GENERALLY SHOWN ON THE MASTER PLAN AND AMENDED PARK PLAN APPROVED BY CITY PLANNING COMMISSION AND CITY COUNCIL.
- EACH LOT SHALL BE SERVED WITH A SEPARATE SEWER AND WATER SERVICE.
- THESE LOTS SHALL COMPLY WITH INTERNATIONAL FIRE CODE (IFC) 2009 EDITION
- WASTEWATER USE CHARGES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION.
- NO FENCES, WALLS OR OTHER STRUCTURES SHALL BE CONSTRUCTED WITHIN OR ACROSS SANITARY SEWER EASEMENTS.
- NO WALLS/FENCES OR OTHER STRUCTURES THAT WOULD IMPEDE DRAINAGE FLOW SHALL BE PLACED WITHIN DRAINAGE EASEMENTS SHOWN HEREON.
- AN ADA INSPECTION SHALL BE CONDUCTED PRIOR TO APPROVAL OF THE SUBDIVISION INFRASTRUCTURE. THE CONTRACTOR SHALL CONTACT CITY STAFF TO SCHEDULE INSPECTION.
- ON LOT PONDING IS NOT REQUIRED.
- ALL PROVISIONS OF THE INFRASTRUCTURE COMPLETION POLICY OF 1-1-2008 MUST BE FOLLOWED. NO BUILDING PERMITS WILL BE ISSUED UNTIL PARTIAL COMPLETION OF THE INFRASTRUCTURE IS OBTAINED. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL SUBSTANTIAL COMPLETION OF THE INFRASTRUCTURE.

REVIEWED BY CITY OF SANTA FE

CITY ENGINEER FOR LAND USE	DATE
CITY PLANNER	DATE
PUBLIC WORKS	DATE

APPROVED BY THE CITY PLANNING COMMISSION

CASE # 2018-04
AT THEIR MEETING OF MARCH 1, 2018

PLANNING DIVISION CHAIR	DATE
PLANNING COMMISSION SECRETARY	DATE

UTILITY COMPANIES

CITY OF SANTA FE WASTEWATER	DATE
CITY OF SANTA FE WATER DIVISION	DATE
COMCAST	DATE
PUBLIC SERVICE COMPANY OF N.M.	DATE
NM GAS COMPANY	DATE

Qwest Corporation, d/b/a CenturyLink QC DISCLAIMER

THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE TELEPHONE SERVICE TO THE SUBDIVISION.

Qwest Corporation, d/b/a CenturyLink QC	DATE
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LEGAL DESCRIPTION

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN SECTIONS 7 AND 18, TOWNSHIP 16 NORTH, RANGE 9 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO BEING AND COMPRISING ALL OF TRACT 13, LAS SOLERAS SUBDIVISION, AS SHOWN ON PLAT ENTITLED "LAS SOLERAS ANNEXATION, GENERAL PLAN AMENDMENT, REZONING TO MULTIPLE ZONING DISTRICTS" FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO ON MARCH 4, 2010 IN PLAT BOOK 714, PAGES 014-026, AS INSTRUMENT NO. 1592455.

SAID PARCEL CONTAINS 6.7927 ACRES, MORE OR LESS.

DEDICATION AND AFFIDAVIT

KNOW ALL PERSONS BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) HAVE CAUSED TO BE REPLATED THOSE LANDS SHOWN HEREON. THIS SAID REPLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF SAID OWNER(S). THIS REPLAT CONTAINS 6.7927 ACRES, MORE OR LESS. THIS SUBDIVISION LIES WITHIN THE PLATING JURISDICTION OF THE CITY OF SANTA FE, N.M.

UTILITY COMPANIES ARE HEREBY GRANTED EASEMENTS AS SHOWN HEREON FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF UTILITIES INCLUDING BUT NOT LIMITED TO THE RIGHT TO INGRESS & EGRESS, (BOTH SURFACE AND SUBSURFACE) FOR CREWS AND MACHINERY, AND THE RIGHT TO REMOVE OBSTRUCTIONS INTERFERING WITH THE USE OR PURPOSE OF SAID EASEMENT.

NON-MOTORIZED MULTI-USE BICYCLE AND PEDESTRIAN TRAIL EASEMENTS CREATED BY THIS PLAT AND SHOWN HEREON ARE HEREBY GRANTED FOR PUBLIC USE. CITY TRAIL EASEMENTS ARE MAINTAINED BY THE CITY.

STORMWATER AGREEMENT

PROPERTY OWNER(S) HEREBY AGREE THAT ALL STORM WATER EASEMENTS AND ANY OTHER DRAINAGE IMPROVEMENTS ON PRIVATE PROPERTY WILL BE MAINTAINED AND KEPT FULLY FUNCTIONAL AS ORIGINALLY DESIGNED AND CONSTRUCTED WITHIN PRIVATE PROPERTY BOUNDARIES BY THE HOMEOWNERS ASSOCIATION (TO BE FORMED) (OWNER) AND SUBSEQUENT HEIRS, ASSIGNS, AND FUTURE OWNERS. THE CITY IS HEREBY GRANTED THE FOLLOWING: (1) ACCESS FOR INSPECTION OF SAID IMPROVEMENTS; (2) IN THE EVENT OF DRAINAGE FACILITY MAINTENANCE DEFICIENCY AND AFTER TEN (10) DAYS WRITTEN NOTICE TO THE RESPECTIVE PROPERTY OWNER, TO ENTER AND RESTORE FULL FUNCTIONAL CAPACITY OF THE DRAINAGE IMPROVEMENTS; AND (3) TO LIEN THE PROPERTY FOR BOTH DIRECT AND INDIRECT COSTS ASSOCIATED WITH SUCH WORK. BY SIGNATURE AFFIXED TO THIS INSTRUMENT, THE PROPERTY OWNER(S) APPROVE AND AGREE THAT THIS AGREEMENT IS BINDING PERPETUALLY, RUNNING WITH THE LAND, ON PRESENT AND FUTURE OWNERS, HEIRS, AND ASSIGNS.

PUBLIC ROADWAYS SHOWN HEREON, NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE CITY OF SANTA FE FOR PUBLIC USE.

EASEMENTS SHALL BE BINDING UPON THE UNDERSIGNED AND THEIR SUCCESSORS AND ASSIGNS

PARCELS A1 AND B1, UNIT 3 WILL BE DEDICATED TO THE HOMEOWNER'S ASSOCIATION (TO BE FORMED) AS PRIVATE OPEN SPACE. A BLANKET DRAINAGE EASEMENT OVER SAID PARCELS FOR CONVEYANCE OF PRIVATE AND PUBLIC STORM WATER IS HEREBY GRANTED BY THIS PLAT. SAID PARCELS TO BE MAINTAINED BY SAID ASSOCIATION.

PARCELS PA1 THRU PA5, UNIT 3 WILL BE DEDICATED TO THE HOMEOWNER'S ASSOCIATION (TO BE FORMED) AS PRIVATE ALLEYS.

SAID PARCELS TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION (TO BE FORMED).

OWNER(S)

TRACT 13
ROSS'S PEAK HOLDING LTD. CO.
A MONTANA LIMITED LIABILITY COMPANY

LAURA LAGGE, MANAGER

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY LAURA LAGGE, AS MANAGER OF ROSS'S PEAK HOLDING, LTD., CO., A MONTANA LIMITED LIABILITY COMPANY THIS ____ DAY OF _____ 2021.

NOTARY PUBLIC MY COMMISSION EXPIRES

**PRELIMINARY PLAT OF
ROSS'S PEAK UNIT 3**

PREPARED FOR
PULTE HOMES OF NEW MEXICO, INC.
COMPRISING EXISTING TRACT 13, ROSS'S PEAK HOLDING LTD., CO.

SITUATE WITHIN
**SECTIONS 7 AND 18, TOWNSHIP 16 NORTH, RANGE 9 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF SANTA FE
SANTA FE COUNTY, NEW MEXICO**
JUNE, 2021

COUNTY OF SANTA FE)
STATE OF NEW MEXICO)
I hereby certify that this instrument
was filed for record on the ____ day of
_____, 2021 A.D. at _____
o'clock _____, and was duly recorded in
book _____, page(s) _____ of the
records of Santa Fe County.

Witness my Hand and Seal of office
GERALDINE SALAZAR
County Clerk, Santa Fe county, N.M.

Deputy

SANTA FE COUNTY TREASURER DATE

PARK DEDICATION AND PARK IMPACT FEE

PARK LAND DEDICATION AND PARK IMPACT FEES HAVE BEEN SATISFIED BY LAS SOLERAS REGIONAL PARK AND PUBLIC TRAIL EASEMENTS.

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO:

- CREATE A RESIDENTIAL SUBDIVISION CONTAINING 44 RESIDENTIAL LOTS AND 7 HOA PARCELS.
- DEDICATE PUBLIC STREET RIGHT OF WAY AND GRANT PUBLIC AND PRIVATE EASEMENTS AS SHOWN HEREON.

CURRENT ZONING

CURRENT ZONING: R-12

SURVEYORS CERTIFICATION

I, RUSS P. HUGG, NEW MEXICO PROFESSIONAL SURVEYOR NUMBER 9750, HEREBY CERTIFY THAT THIS PLAT OF SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION; THAT IT MEETS THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS; THAT IT SHOWS ALL EASEMENTS OF RECORD WHICH APPEAR ON THE PLAT OF RECORD; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

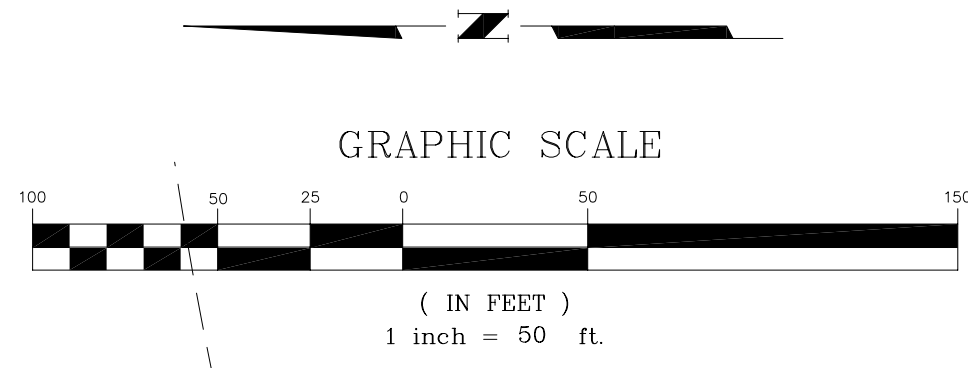
RUSS P. HUGG NMPS NO. 9750
JUNE XX, 2021



"TITLE AND INDEXING INFORMATION FOR COUNTY CLERK"

TRACT 13 UPC: 1-049-095-528-069
PLSS LOCATION: LYING WITHIN SECTIONS 7 AND 18, T.16N, R.9E, N.M.P.M.
CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO

SURVOTEK, INC.
Consulting Surveyors
P.O. BOX 6885, Albuquerque, New Mexico 87114 Phone: 505-300-4738



LINE	LENGTH	BEARING
L1	17.24	S73°57'32"W
L2	19.87	N58°55'34"E
L3	25.00	N11°04'26"W
L4	42.45	N58°55'33"E
L5	25.00	S24°07'50"E

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	760.60'	1483.00'	389.10'	752.06'	N10°44'25"W	29°47'15"
C2	276.24'	547.00'	141.13'	273.39'	N10°18'51"W	28°56'02"
C3	112.81'	75.00'	75.00'	106.07'	N13°55'34"E	90°00'00"
C4	127.59'	1052.82'	63.87'	127.51'	N62°23'52"E	6°56'36"
C5	124.55'	1027.82'	62.35'	124.47'	N69°20'27"E	6°56'35"

Santa Fe County Survey Control Monument
 TOP EAST BASE
 New Mexico State Plane Coordinates, Central
 Zone (NAD 83) as published:
 N=150078.10
 E=172251.93
 Elevation=818.82 feet (NAVD 88)
 Combined ground to grid factor=0.99958460

PARCEL A1-A
 ESTANCIAS DE LAS SOLERAS
 UNIT 2B
 Filed August 16, 2018 in Plat Book 838, Pages 28-33

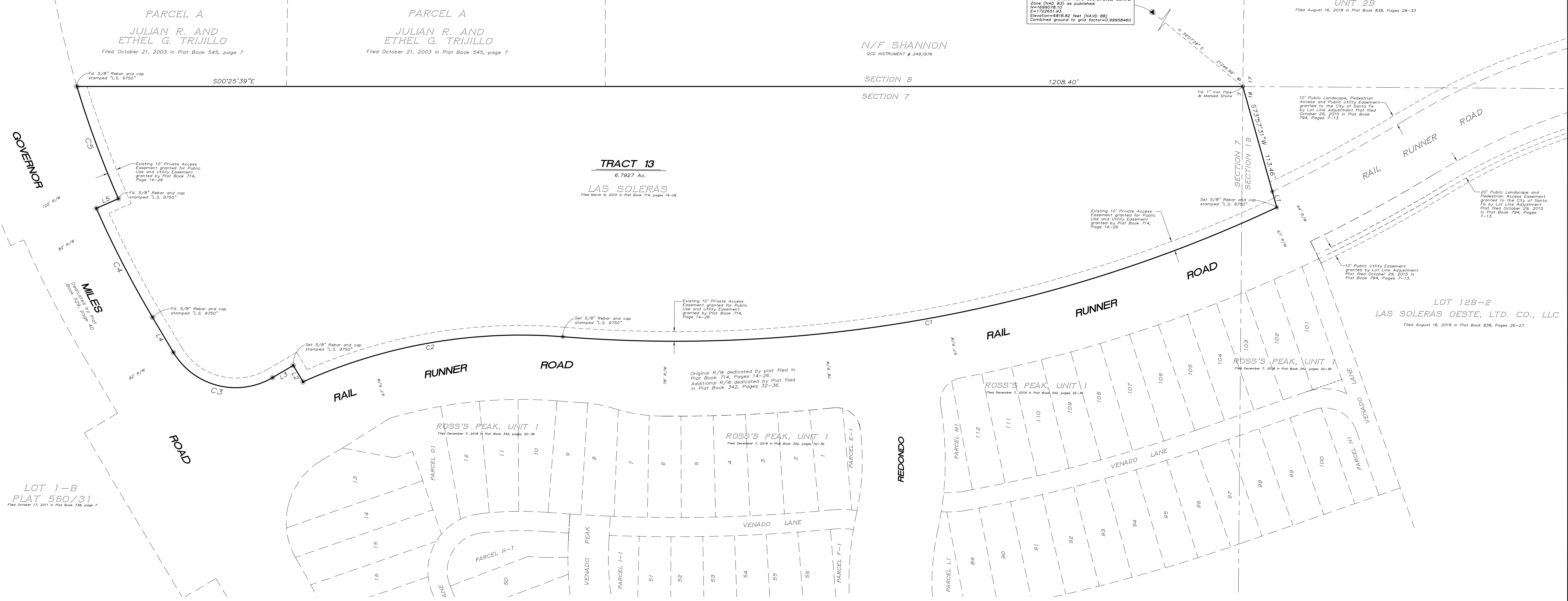
N/F SHANNON
 QDD INSTRUMENT # 249,916
 SECTION 8
 SECTION 7

TRACT 13
 6.7927 Ac.
 LAS SOLERAS
 Filed March 6, 2018 in Plat Book 714, pages 14-26

10' Public Landscape, Pedestrian
 Access and Public Utility Easement
 granted to the City of Santa Fe
 by Lot Line Adjustment Plat filed
 October 29, 2015 in Plat Book
 794, Pages 7-13

20' Public Landscape and
 Pedestrian Access Easement
 granted to the City of Santa Fe
 by Lot Line Adjustment Plat filed
 October 29, 2015 in Plat Book
 794, Pages 7-13

10' Public Utility Easement
 granted by Lot Line Adjustment
 Plat filed October 29, 2015 in
 Plat Book 794, Pages 7-13



REFERENCE DOCUMENTS

LOT LINE ADJUSTMENT PLAT PREPARED FOR BECKNER ROAD EQUITIES, INC. BY GARY E. DAWSON, NMLS 7014. PLAT RECORDED AS INSTRUMENT NUMBER 1592455 ON THE 4TH DAY OF MARCH, 2010 AND PLAT BOOK 714 PAGES 14-26, IN THE SANTA FE COUNTY CLERKS OFFICE.

PLAT ENTITLED "LOT SPLIT SURVEY PLAT PREPARED FOR LAS SOLERAS OESTE LTD., CO. AND ROSS'S PEAK HOLDING LTD, CO." BY DIEGO SISNEROS, NMLS 13986. PLAT RECORDED AS INSTRUMENT NUMBER 772038 ON THE 6TH DAY OF MAY, 2015 IN PLAT BOOK 772 PAGES 38 AND 39, IN THE SANTA FE COUNTY CLERKS OFFICE.

PLAT ENTITLED "LOT LINE ADJUSTMENT PLAT PREPARED FOR LAS SOLERAS CENTER, LLC AND LAS SOLERAS OESTE, LTD., CO. PREPARED BY RUSS P. HUGG NMPS NUMBER 9750. PLAT RECORDED AS INSTRUMENT NUMBER 1778342 ON THE 29TH DAY OF OCTOBER, 2015 IN PLAT BOOK 794 PAGES 7-13, IN THE SANTA FE COUNTY CLERKS OFFICE.

PLAT ENTITLED "LOT SPLIT SURVEY PLAT PREPARED FOR LAS SOLERAS CENTER, LLC AND LAS SOLERAS OESTE, LTD., CO." PREPARED BY RUSS P. HUGG NMPS NUMBER 9750. PLAT RECORDED AS INSTRUMENT NUMBER 1783594 ON THE 6TH DAY OF JANUARY, 2016 IN PLAT BOOK 797, PAGES 1-2, IN THE SANTA FE COUNTY CLERKS OFFICE.

PLAT ENTITLED "LOT LINE ADJUSTMENT PLAT PREPARED FOR ROSS'S PEAK HOLDING LTD., CO. AND LAS SOLERAS OESTE, LTD. CO." PREPARED BY RUSS P. HUGG NMPS NUMBER 9750. PLAT RECORDED AS INSTRUMENT NUMBER 1865285 ON THE 16TH DAY OF AUGUST, 2018 IN PLAT BOOK 838, PAGES 28-33, IN THE SANTA FE COUNTY CLERKS OFFICE.

PLAT ENTITLED "ESTANCIAS DE LAS SOLERAS UNIT 2B", PREPARED BY RUSS P. HUGG NMPS NUMBER 9750. PLAT RECORDED AS INSTRUMENT NUMBER 1874540 ON THE 7TH DAY OF DECEMBER, 2018 IN PLAT BOOK 842, PAGES 32-36, IN THE SANTA FE COUNTY CLERKS OFFICE.

PLAT ENTITLED "ROSS'S PEAK UNIT 1" PREPARED BY RUSS P. HUGG NMPS NUMBER 9750. PLAT RECORDED AS INSTRUMENT NUMBER 1874540 ON THE 7TH DAY OF DECEMBER, 2018 IN PLAT BOOK 842, PAGES 32-36, IN THE SANTA FE COUNTY CLERKS OFFICE.

ALL OTHER REFERENCE DOCUMENTS AS NOTED HEREON.

FLOOD ZONE DETERMINATION

THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NUMBERS 35049003940, EFFECTIVE DATE 6-17-08 AND 35049003076, EFFECTIVE DATE 12-4-2012.

FLOOD ZONE STATEMENT

THE ARROYO DE LOS CHAMISOS IS LOCATED ALONG THE SOUTH EDGE OF ROSS PEAK SUBDIVISION. PER FEMA FIRM PANELS 35049003940 DATED 06/17/2008 AND 35049003076 DATED 12/04/2012 THERE ARE 3 DIFFERENT FLOOD ZONES ON OR ADJOINING THE PROPERTY INCLUDING:

1. SHADED ZONE X INDICATING "AREAS OF 0.2% ANNUAL CHANCE OF FLOOD".
2. ZONE AE INDICATING "AREAS OF 1.0% ANNUAL CHANCE OF FLOOD WHERE BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED".
3. "FLOODWAY INDICATING THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT SO THE THE 1% ANNUAL CHANCE FLOOD CAN BE CARRIED WITHOUT SUBSTANTIAL INCREASE IN FLOOD HEIGHTS."

A PORTION OF THE SHADED ZONE AE ENCROACHES INTO THE PARK, AND SOME OF THE PROPERTY THAT IS DESIGNATED TO BE OPEN SPACE, BUT NO PORTION OF THE PROPOSED DEVELOPMENT WILL ENCRACH INTO THE FLOODWAY. THE ENCROACHMENTS WILL NOT "SUBSTANTIALLY INCREASE FLOOD HEIGHTS" AS ALREADY DEMONSTRATED BY FEMA'S HYDRAULIC ANALYSIS OF THE FLOODWAY AS SUMMARIZED BY SECTION A0 AND A1 IN TABLE 11, PAGE 28 OF THE FEMA FLOOD INSURANCE STUDY "FIS NUMBER 35049CV001 B, OF SANTA FE COUNTY, NEW MEXICO AND INCORPORATED AREAS, VOLUME 1 OF 3.

THE FLOODPLAIN WILL NOT BE MODIFIED BY THIS PROJECT.

**PRELIMINARY PLAT OF
 ROSS'S PEAK UNIT 3**

PREPARED FOR
PULTE HOMES OF NEW MEXICO, INC.
 COMPRISING EXISTING TRACT 13, ROSS'S PEAK HOLDING LTD., CO.
 SITUATE WITHIN
**SECTIONS 7 AND 18, TOWNSHIP 16 NORTH, RANGE 9 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF SANTA FE
 SANTA FE COUNTY, NEW MEXICO**
 JUNE, 2021

SHEET S-500
SURVTEK, INC.
 Consulting Surveyors
 P.O. BOX 66885, Albuquerque, New Mexico 87114 Phone: 505-300-4732

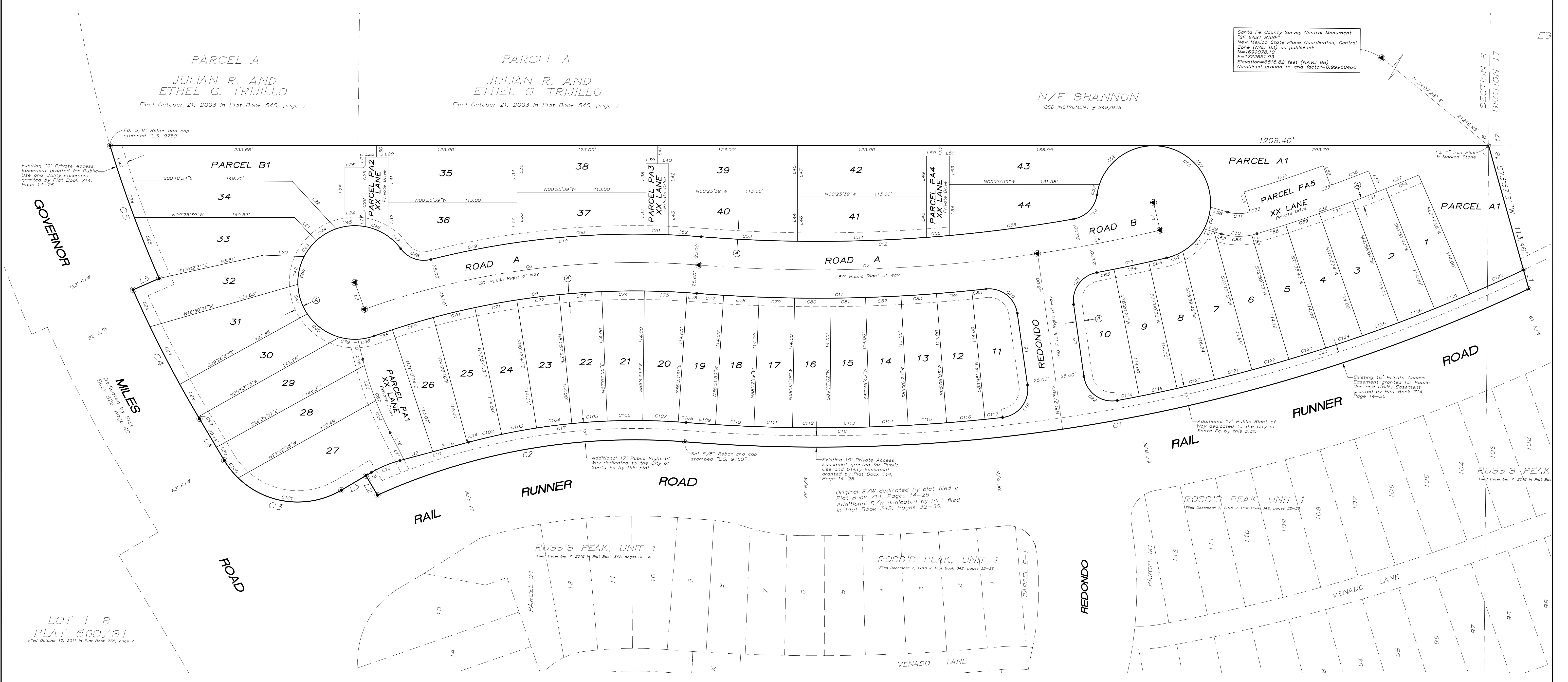
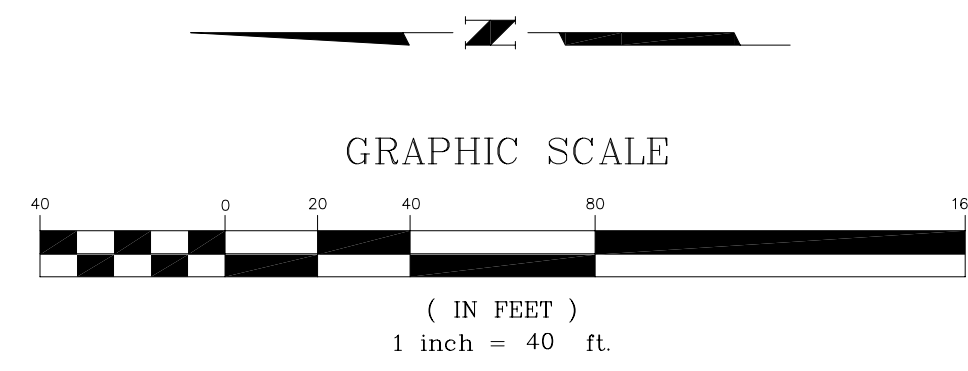
PRELIMINARY PLAT OF
ROSS'S PEAK UNIT 3

PREPARED FOR
PULTE HOMES OF NEW MEXICO, INC.
COMPRISING EXISTING TRACT 13, ROSS'S PEAK HOLDING LTD., CO.

SITUATE WITHIN
SECTIONS 7 AND 18, TOWNSHIP 16 NORTH, RANGE 9 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF SANTA FE
SANTA FE COUNTY, NEW MEXICO
JUNE, 2021

EASEMENTS GRANTED BY THIS PLAT

- (A) = 7.5' Public Utility Easement granted by this plat. (See Sheet 5 for easement lot line detail)
 - (B) = Parcels A1 and B1, Unit 3 will be dedicated to the Homeowners Association (to be formed) as private open space. A blanket drainage easement over said parcels for conveyance of private and public storm water is hereby granted by this plat. Said parcels to be maintained by said Homeowners Association
- Parcels PA1 thru PA5, Unit 3 will be dedicated to the Homeowners Association (to be formed) as Private Alleys for Pedestrian and Vehicular uses. Said parcels to be maintained by said Homeowners Association



Santa Fe County Survey Control Monument
OF EAST BASE
New Mexico State Plane Coordinates, Central
Zone (NAD 83) as published:
N=1699978.10
E=1722851.93
Elevation=6818.82 feet (NAVD 88)
Combined ground to grid factor=0.99958460

SEE SHEET 4 FOR CURVE, LINE AND ACREAGE/ ADDRESS TABLES

SHEET S-600
SURVOTEK, INC.
Consulting Surveyors
P.O. BOX 66685, Albuquerque, New Mexico 87114 Phone: 505-300-4738

LOT 1-B
PLAT 560/31
Filed October 17, 2011 in Plat Book 738, page 7

Original R/W dedicated by plat filed in
Plat Book 714, Pages 14-26.
Additional R/W dedicated by Plat filed
in Plat Book 342, Pages 32-36.

ROSS'S PEAK, UNIT 1
Filed December 7, 2018 in Plat Book 342, pages 32-36

ROSS'S PEAK, UNIT 1
Filed December 7, 2018 in Plat Book 342, pages 32-36

ROSS'S PEAK, UNIT 1
Filed December 7, 2018 in Plat Book 342, pages 32-36

Existing 10' Private Access
Easement granted for Public
Use and Utility Easement
granted by Plat Book 714,
Page 14-26

Additional 17' Public Right of
Way dedicated to the City of
Santa Fe by this plat.

Additional 17' Public Right of
Way dedicated to the City of
Santa Fe by this plat.

Set 5/8" Rebar and cap
stamped "L.S. 9750"

Existing 10' Private Access
Easement granted for Public
Use and Utility Easement
granted by Plat Book 714,
Page 14-26

Filed October 21, 2003 in Plat Book 545, page 7

Filed October 21, 2003 in Plat Book 545, page 7

N/F SHANNON
GCD INSTRUMENT # 249/976

ES

ROSS'S PEAK
Filed December 7, 2018 in Plat Book

PRELIMINARY PLAT OF
ROSS'S PEAK UNIT 3

PREPARED FOR
PULTE HOMES OF NEW MEXICO, INC.
 COMPRISING EXISTING TRACT 13, ROSS'S PEAK HOLDING LTD., CO.

SITUATE WITHIN
SECTIONS 7 AND 18, TOWNSHIP 16 NORTH, RANGE 9 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF SANTA FE
SANTA FE COUNTY, NEW MEXICO
 JUNE, 2021

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	760.60'	1463.00'	389.10'	752.06'	N10°44'25"W	29°47'15"
C2	276.24'	547.00'	141.13'	273.32'	N10°18'51"W	28°56'07"
C3	117.81'	75.00'	75.00'	106.07'	N13°55'34"E	90°00'00"
C4	127.59'	1092.82'	63.87'	127.51'	N62°23'52"E	6°56'36"
C5	124.95'	1027.82'	62.35'	124.47'	N69°20'27"E	6°56'36"
C6	297.89'	703.00'	151.21'	295.66'	N07°59'02"W	10°55'28"
C7	297.67'	1307.00'	149.48'	297.03'	S02°22'14"E	13°02'57"
C8	109.36'	1307.00'	54.71'	109.33'	S11°17'32"E	4°47'39"
C9	287.29'	678.00'	145.84'	285.15'	N07°59'02"W	24°16'42"
C10	238.93'	728.00'	120.55'	237.86'	N05°14'53"W	18°48'16"
C11	253.97'	1332.00'	127.37'	253.59'	S01°18'30"E	10°55'28"
C12	327.83'	1282.00'	164.81'	326.93'	S03°10'18"E	14°39'05"
C13	62.66'	1332.00'	31.34'	62.66'	S12°20'29"E	2°41'44"
C14	30.90'	25.21'	17.73'	29.00'	S45°44'55"E	70°13'56"
C15	217.24'	50.00'	72.83'	82.44'	N41°50'26"E	248°56'26"
C16	27.36'	100.00'	13.77'	27.28'	N23°12'38"W	15°40'42"
C17	192.45'	261.00'	19.17'	191.92'	S05°37'56"W	19°33'49"
C18	277.70'	1446.00'	139.28'	277.27'	S01°20'53"E	11°00'13"
C19	40.08'	25.00'	25.82'	35.92'	S52°46'34"E	91°51'08"
C20	38.50'	25.00'	24.24'	34.81'	N37°20'52"E	88°14'12"
C21	38.20'	25.00'	23.95'	34.59'	N54°45'50"W	87°32'25"
C22	40.29'	25.00'	26.05'	36.07'	S35°17'30"W	92°20'56"
C23	375.15'	1446.00'	188.63'	374.10'	S18°18'55"E	14°51'53"
C24	31.01'	300.00'	15.52'	31.00'	S65°32'21"W	5°55'21"
C25	32.47'	300.00'	16.25'	32.46'	S71°36'05"W	6°12'06"
C26	5.56'	300.00'	2.78'	5.56'	S75°14'00"W	1°03'43"
C27						
C28	3.93'	2.50'	2.50'	3.54'	N44°34'21"E	90°00'00"
C29	3.93'	2.50'	2.50'	3.54'	S45°25'39"E	90°00'00"
C30	31.59'	55.00'	16.24'	31.16'	S00°45'39"E	32°54'34"
C31	17.29'	35.00'	8.82'	17.11'	S01°32'33"W	28°18'11"
C32	4.13'	2.50'	2.71'	3.68'	S59°55'15"E	94°37'24"
C33	3.93'	2.50'	2.51'	3.54'	S24°30'32"W	90°00'00"
C34	73.08'	1293.50'	36.55'	73.07'	S18°49'44"E	31°41'4"
C35	33.29'	1312.00'	16.65'	33.29'	S21°17'01"E	1°27'14"
C36	111.48'	1332.00'	55.77'	111.44'	S19°36'47"E	4°47'43"
C37	39.50'	1332.00'	19.75'	39.50'	S22°51'37"E	1°41'57"
C38	14.63'	50.00'	7.37'	14.58'	S11°44'35"E	16°46'46"
C39	16.10'	50.00'	8.12'	16.03'	S05°51'44"W	16°26'33"
C40	35.77'	50.00'	18.69'	35.01'	S35°34'43"W	40°59'05"
C41	27.64'	50.00'	14.19'	27.29'	S71°54'36"W	31°40'41"
C42	25.24'	50.00'	12.89'	24.97'	N77°47'30"W	28°55'08"
C43	17.62'	50.00'	8.90'	17.53'	N53°14'14"W	20°11'24"
C44	20.58'	50.00'	10.44'	20.43'	N31°21'11"W	21°34'41"
C45	25.81'	50.00'	13.20'	25.53'	N04°46'24"W	29°34'53"
C46	21.90'	50.00'	11.13'	21.73'	N22°33'56"E	25°05'47"
C47	15.75'	50.00'	7.94'	15.69'	N44°08'21"E	18°03'03"
C48	29.59'	25.00'	16.80'	27.89'	S19°15'26"W	67°48'93"
C49	77.06'	728.00'	38.57'	77.03'	N11°37'04"W	6°03'54"
C50	113.35'	728.00'	56.79'	113.24'	N04°27'29"W	8°55'16"
C51	20.01'	728.00'	10.00'	20.01'	N01°07'23"E	1°34'29"
C52	28.51'	728.00'	14.26'	28.51'	N03°01'56"E	2°14'37"
C53	84.65'	1282.00'	42.34'	84.64'	S02°15'44"W	3°47'00"
C54	113.09'	1282.00'	56.58'	113.05'	S02°09'23"E	5°03'16"
C55	10.07'	1282.00'	10.07'	10.07'	S05°27'55"E	20°51'49"
C56	110.02'	1282.00'	55.04'	109.98'	S08°02'20"E	4°55'01"
C57	9.48'	50.00'	4.76'	9.47'	N77°11'50"W	10°51'56"
C58	62.25'	50.00'	35.89'	58.31'	N36°05'51"W	71°20'03"
C59	82.54'	50.00'	54.17'	73.48'	N46°51'48"E	94°35'14"
C60	20.14'	50.00'	10.21'	20.00'	S74°18'22"E	23°04'26"
C61	27.53'	50.00'	14.12'	27.18'	S46°59'47"E	31°33'24"
C62	15.30'	50.00'	7.71'	15.24'	S22°27'24"E	17°32'05"
C63	16.03'	1332.00'	8.02'	16.03'	S13°20'40"E	0°41'23"
C64	31.12'	1332.00'	15.56'	31.12'	S12°19'49"E	1°20'20"
C65	15.51'	1332.00'	7.75'	15.51'	S11°19'38"E	0°40'01"
C66	21.04'	50.00'	67.22'	80.24'	N73°28'48"W	25°31'70"
C67	69.04'	300.00'	34.62'	68.89'	S69°10'16"W	13°11'11"
C68	16.97'	678.00'	8.48'	16.97'	N19°24'27"W	1°26'02"
C69	37.41'	678.00'	18.71'	37.41'	N17°06'35"W	3°09'42"
C70	37.41'	678.00'	18.71'	37.41'	N13°56'52"W	3°09'42"
C71	37.41'	678.00'	18.71'	37.41'	N10°47'10"W	3°09'42"
C72	37.41'	678.00'	18.71'	37.41'	N07°37'28"W	3°09'42"
C73	37.41'	678.00'	18.71'	37.41'	N04°27'46"W	3°09'42"
C74	37.41'	678.00'	18.71'	37.41'	N01°18'04"W	3°09'42"
C75	37.41'	678.00'	18.71'	37.41'	N01°51'38"E	3°09'42"
C76	8.43'	678.00'	4.22'	8.43'	N03°47'52"E	0°42'46"
C77	23.72'	1332.00'	11.86'	23.72'	S03°38'58"W	1°01'14"
C78	31.12'	1332.00'	15.56'	31.12'	S02°27'51"W	1°20'20"
C79	31.12'	1332.00'	15.56'	31.12'	S01°07'32"W	1°20'20"
C80	31.12'	1332.00'	15.56'	31.12'	S00°12'48"E	1°20'20"
C81	31.12'	1332.00'	15.56'	31.12'	S01°33'08"E	1°20'20"
C82	31.12'	1332.00'	15.56'	31.12'	S02°53'27"E	1°20'20"
C83	31.12'	1332.00'	15.56'	31.12'	S04°13'47"E	1°20'20"
C84	31.12'	1332.00'	15.56'	31.12'	S05°34'06"E	1°20'20"
C85	12.38'	1332.00'	6.19'	12.38'	S06°30'15"E	0°31'58"
C86	26.95'	55.00'	13.75'	26.68'	S01°39'30"W	28°04'16"
C87	4.64'	55.00'	2.32'	4.64'	S14°47'47"E	4°50'18"
C88	26.48'	1332.00'	13.24'	26.48'	S13°47'06"E	1°08'21"
C89	11.12'	1332.00'	5.56'	11.12'	S19°01'52"E	1°20'20"
C90	31.12'	1332.00'	15.56'	31.12'	S20°21'46"E	1°20'20"
C91	31.12'	1332.00'	15.56'	31.12'	S21°42'06"E	1°20'20"
C92	31.12'	1332.00'	15.56'	31.12'	S23°02'25"E	1°20'20"
C93	32.49'	1027.82'	16.25'	32.49'	S71°54'24"W	1°48'40"
C94	34.21'	1027.82'	17.11'	34.21'	S70°02'51"W	1°54'26"
C95	57.85'	1027.82'	28.93'	57.84'	S67°28'54"W	3°13'28"
C96	35.72'	1052.82'	17.86'	35.72'	S64°53'50"W	1°56'39"
C97	56.99'	1052.82'	28.50'	56.98'	S62°22'28"W	3°06'05"
C98	32.80'	1052.82'	16.40'	32.80'	S59°55'53"W	1°47'06"
C99	2.07'	1052.82'	1.04'	2.07'	S58°58'57"W	0°06'46"
C100	19.90'	75.00'	10.01'	19.85'	S51°19'23"W	15°12'22"
C101	97.90'	75.00'	57.34'	91.10'	S06°19'23"W	74°47'38"
C102	29.81'	564.00'	14.91'	29.81'	N13°52'58"W	3°01'42"
C103	31.12'	564.00'	15.57'	31.12'	N10°47'16"W	3°09'42"
C104	31.12'	564.00'	15.57'	31.12'	N07°37'34"W	3°09'42"
C105	31.12'	564.00'	15.57'	31.12'	N04°27'52"W	3°09'42"
C106	31.12'	564.00'	15.57'	31.12'	N01°18'10"W	3°09'42"
C107	31.12'	564.00'	15.57'	31.12'	N01°51'32"E	3°09'42"
C108	7.03'	564.00'	3.51'	7.03'	N03°47'48"E	0°42'49"
C109	25.74'	1446.00'	12.87'	25.74'	S03°38'37"W	1°01'12"
C110	33.79'	1446.00'	16.89'	33.79'	S02°27'51"W	1°20'20"
C111	33.79'	1446.00'	16.89'	33.79'	S01°07'32"W	1°20'20"
C112	33.79'	1446.00'	16.89'	33.79'	S00°12'48"E	1°20'20"
C113	33.79'	1446.00'	16.89'	33.79'	S01°33'08"E	1°20'20"
C114	33.79'	1446.00'	16.89'	33.79'	S02°53'27"E	1°20'20"
C115	33.79'	1446.00'	16.89'	33.79'	S04°13'47"E	1°20'20"
C116	33.79'	1446.00'	16.89'	33.79'	S05°34'06"E	1°20'20"
C117	15.45'	1446.00'	7.72'	15.45'	S06°32'38"E	0°36'44"
C118	19.63'	1446.00'	9.82'	19.63'	S11°16'19"E	0°46'40"
C119	33.79'	1446.00'	16.89'	33.79'	S12°19'49"E	1°20'20"
C120	33.79'	1446.00'	16.89'	33.79'	S13°40'08"E	1°20'20"
C121	33.79'	1446.00'	16.89'	33.79'	S15°00'28"E	1°20'20"
C122	33.79'	1446.00'	16.89'	33.79'	S16°20'47"E	1°20'20"
C123	33.79'	1446.00'	16.89'	33.79'	S17°41'07"E	1°20'20"
C124	33.79'	1446.00'	16.89'	33.79'	S19°01'27"E	1°20'20"
C125	33.79'	1446.00'	16.89'	33.79'	S20°21'46"E	1°20'20"
C126	33.79'	1446.00'	16.89'	33.79'	S21°42'06"E	1°20'20"
C127	33.79'	1446.00'	16.89'	33.79'	S23°02'25"E	1°20'20"
C128	51.43'	1446.00'	25.72'	51.43'	S24°43'43"E	2°02'16"

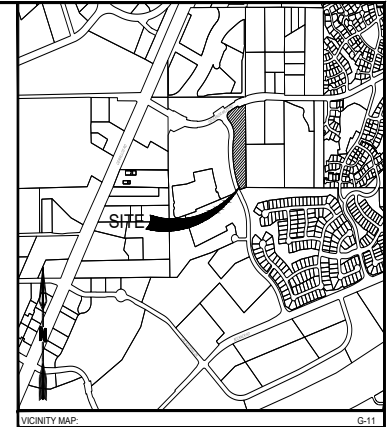
LINE TABLE

LINE	LENGTH	BEARING
L1	17.24	S71°54'32"W
L2	19.87	N58°55'34"E
L3	25.00	N31°04'26"W
L4	42.45	N58°55'33"E
L5	25.00	S24°07'50"E
L6	25.00	N69°52'52"E
L7	25.00	N76°18'39"E
L8	63.96	N81°27'58"E
L9	64.06	N81°27'58"E
L10	62.29	S15°24'04"E
L11	3.49	S15°24'04"E
L12	26.32	S15°24'04"E
L13		
L14	1.31	S15°24'04"E
L15	5.45	S31°04'27"E
L16	26.37	N62°34'41"E
L17		
L18	18.26	N75°45'51"E
L19		
L20	35.52	S01°38'29"W
L21	27.80	S46°51'28"W
L22	56.96	S46°51'28"W
L23	12.19	N89°34'21"E
L24	16.00	N00°25'39"W
L25	37.00	N89°34'21"E
L26	16.00	S00°25'39"E
L27	7.00	N89°34'21"E
L28	10.00	S00°25'39"E
L29	10.00	S00°25'39"E
L30	10.00	N89°34'21"E
L31	40.31	S89°34'21"W
L32	29.37	S89°34'21"W
L33	34.82	N89°34'21"E
L34	50.31	N89°34'21"E
L35	44.29	N89°34'21"E
L36	40.84	N89°34'21"E
L37	36.99	N89°34'21"E
L38	25.00	N89°34'21"E
L39	10.00	S00°25'39"E
L40	10.00	S00°25'39"E
L41	15.84	N89°34'21"E
L42	26.60	S89°34'21"W
L43	35.93	S89°34'21"W
L44	41.62	N89°34'21"E
L45	42.44	N89°34'21"E
L46	39.10	N89°34'21"E
L47	44.97	N89°34'21"E
L48	35.69	N89°34'21"E

VILLAS DE LAS SOLERAS PHASE 3

SANTA FE, NEW MEXICO GRADING, PAVING, AND CITY UTILITIES

JULY 2021



OWNER CONTACT

PULTE GROUP OF NEW MEXICO, INC.
Kevin Patton
Vice President - Land Development
7601 Jefferson St NE
Albuquerque, NM 87109
(505)473-2090

PLANNING CONSULTANT

JAMES W SIEBERT & ASSOCIATES, INC.
915 Mercer St
Santa Fe, NM, 87505
(505)983-5588

CIVIL ENGINEER

RESPEC
Jesus Lopez, PE
5971 Jefferson St NE #101
Albuquerque, NM, 87109
(505)252-0815

SURVEYOR

SURV-TEK, INC.
Russ Hugg
PO Box 68985
Albuquerque, NM, 87114
(505)300-4732

LANDSCAPE ARCHITECT

YELLOWSTONE LANDSCAPE
John Braly, PLA
PO Box 10597
Albuquerque, NM, 87107
(505)480-3452
Email: jbraly@yellowstonelandscape.com

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C-503	Sewer Details
C-504	Sewer Details
C-505	Sewer Details
C-506	Sewer Details
C-507	Sewer Details
C-508	Street & Inlet Details
C-509	Street & Inlet Details

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PRELIMINARY
NOT FOR CONSTRUCTION
7.2021

RESPEC
COMMUNITY DESIGN SOLUTIONS
5971 JEFFERSON STREET SUITE 101
ALBUQUERQUE, NEW MEXICO 87109
WWW.RESPEC.COM PHONE: (505)253-9718

NAME: N:\Projects\104107_Planos\10107_004_Planos\104107_Correo\Nobis.dwg PL OT DATE: Jul 12, 2021 12:28pm

GENERAL NOTES

- ALL WORK SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APWA NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION, AND THE PROJECT CONSTRUCTION CONTRACT DOCUMENTS.
- ALL NEW CONSTRUCTION SHOWN ON THE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS AND DESIGN STANDARDS FOR THE CITY OF SANTA FE UNLESS OTHERWISE SPECIFIED.
- IF A CONFLICT EXISTS BETWEEN THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION AND THE SUBDIVISION REGULATIONS AND DESIGN STANDARDS FOR THE CITY OF SANTA FE, THEN THE LATTER SHALL GOVERN.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ENGINEER AND OWNER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER OR OWNER.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT ONE CALL SYSTEM, INC., 260-1990 AND THE VILLAGE OF LOS LUNAS PUBLIC WORKS DEPARTMENT (865-1377) FOR LOCATION OF EXISTING UTILITIES.
- ALL GAS, ELECTRIC, TELEPHONE LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY RELOCATIONS AND ADJUSTMENTS TO GRADE.
- THE CONTRACTOR SHALL PROTECT AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ADEQUATELY SUPPORT AND PROTECT EXISTING UTILITIES AFFECTED BY THE CONTRACTOR'S TRENCHING ACTIVITY. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED BY THE CONTRACTOR'S OPERATIONS, THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE PROMPT REPAIR BY THE RESPECTIVE UTILITY OWNER AND SHALL BEAR THE COST OF REPAIRS.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- THE CONTRACTOR SHALL EXERCISE REASONABLE CARE DURING CONSTRUCTION TO PREVENT THE MOVEMENT OF SEDIMENT FROM THE SITE ONTO EXISTING STREETS OR ADJUTING PROPERTY. LOOSE SOIL STOCKPILED DURING CONSTRUCTION ACTIVITIES SHALL BE PROMPTLY CLEANED UP OR PROTECTED FROM BEING CARRIED DOWNSTREAM BY FLOWING WATER.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, ASPHALTIC PAVING, CONCRETE CURBS AND SIDEWALKS, WASTE MATERIAL, DEBRIS, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE, DISPOSAL AND HAUL, THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE THEREFOR.
- THE CONTRACTOR WILL BE REQUIRED TO CONFINE HIS WORK WITHIN THE LIMITS OF CONSTRUCTION AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION AND PRIVATE PROPERTY. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE RIGHT-OF-WAY UNLESS THE EQUIPMENT OR MATERIAL IS PROPERLY SHIELDED, UTILIZING CURRENT SAFETY DESIGN AND INSTALLATION METHODS. THERE WILL BE NO DIRECT MEASUREMENT OR PAYMENT FOR THE DESIGN, MATERIALS, INSTALLATION AND REMOVAL OF THE SAFETY BARRIERS.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF SANTA FE A MINIMUM OF 24 HOURS PRIOR TO INITIATING ANY WORK AFFECTING ANY EXISTING PUBLIC OR PRIVATE WATER LINES OR SEWER LINES.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE ENGINEER. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OR ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
- MANHOLE STEPS SHALL BE INSTALLED IN ALL SEWER AND STORM DRAIN MANHOLES, JUNCTION BOXES, AND CATCH BASINS DEEPER THAN 4 FT. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE THEREFOR.
- THE CONTRACTOR SHALL REMOVE AND REPLACE ALL SECTIONS OF EXISTING PAVING, CURB, GUTTER, SIDEWALK, SIGNS, AND/OR STRIPING DAMAGED DURING CONSTRUCTION OF THE PROJECT WHICH ARE OUTSIDE OF THE AREAS DESIGNATED IN THE PLANS TO BE REMOVED AND REPLACED. THIS WORK SHALL BE PERFORMED AT NO COST TO THE OWNER.
- ONLY THOSE PAYMENT ITEMS IDENTIFIED ON THE BID SCHEDULE SHALL CONSTITUTE A BASIS FOR PAYMENT. ALL WORK NOT SPECIFICALLY IDENTIFIED IN THE BID SCHEDULE BUT WHICH CAN BE REASONABLY INFERRED FROM THE PLANS AS NECESSARY TO ACCOMPLISH THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED AS INCLUDED WITHIN THE SCOPE OF IDENTIFIED ITEMS. THIS SHALL INCLUDE CLEANUP AND RESTORATION OF THE SITE TO A CONDITION AT LEAST AS GOOD AS BEFORE THE PROJECT COMMENCED, AND REPAIR OF ANY DAMAGE TO EXISTING FEATURES CAUSED BY THE CONSTRUCTION WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL UTILITIES (WATER SERVICE, ELECTRIC SERVICE, TELEPHONE SERVICE, ETC.) REQUIRED FOR CONSTRUCTION. UTILITIES SHALL BE INCIDENTAL TO CONSTRUCTION AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR.
- ALL TRENCH EXCAVATION AND RELATED WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, STATE, AND LOCAL REGULATIONS, LAWS AND ORDINANCES.
- CONTRACTOR TO VERIFY LOCATION, ELEVATION, SIZE, AND TYPE OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER OF ANY CONFLICTS.

NOTE

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND WATER AND SEWER LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY WATER AND SEWER LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, COUNTY AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

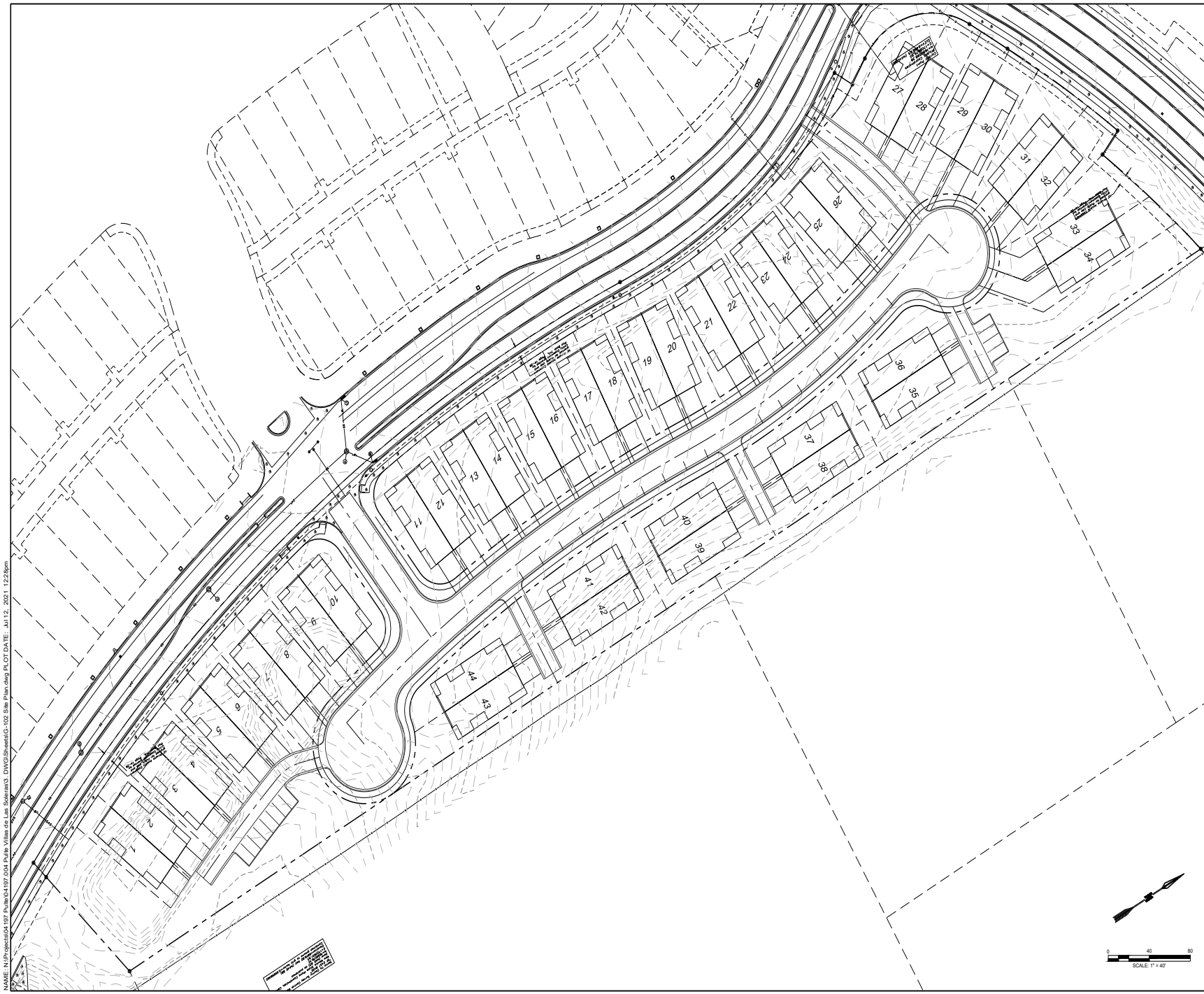
NOTE

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY AND HEALTH WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

NOTE

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF RESPEC. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

DESIGNED BY: J.S.M. DRAWN BY: J.E.M. CHECKED BY: J.E.M. DATE: 7.12.2021	REVISION
RESPEC COMMUNITY DESIGN SOLUTIONS A PROFESSIONAL SERVICE CORPORATION WWW.RESPEC.COM (505)241-9174	
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PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3	
SHEET TITLE: GENERAL NOTES	
SUBMITTED FOR: PRELIMINARY PLAT	
SHEET NUMBER: G-101	



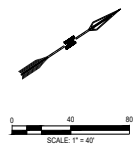
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 www.what'sbelow.com Call before you dig		PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3
SHEET TITLE: SITE PLAN		SUBMITTED FOR: PRELIMINARY PLAT
SHEET NUMBER: G-102		

NAME: N:\Projects\104107_Plan\104107_004_Plan_Village-4c1.mxd; Soleras3_DWG\DWG\C-100_Grading Layout.dwg; PLOT DATE: Jul 12, 2021 12:28pm



LEGEND

- BACKYARD SLOPE (3:1 TYP. U.N.O.)
- DIRECTION OF FLOW
- PROPOSED SPOT ELEVATION
- TOP OF CURB OR FINISHED GROUND ELEVATION
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- RIGHT OF WAY (ROW)
- PROPERTY LINE
- ROADWAY CENTERLINE
- LIMITS OF GRADING
- RETAINING WALL
- RETAINING WALL POINT
- LIMITS OF OVER EXCAVATION



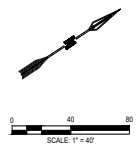
DESIGNED: JS DRAWN: JLM CHECKED: JLM DATE: 7.12.2021	RESPC COMMUNITY DESIGN SOLUTIONS 4000 W. CENTRAL EXPRESSWAY HOUSTON, TEXAS 77055-3713	REVISION _____ _____ _____
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PROJECT NAME:	VILLAS DE LAS SOLERAS PHASE 3	
SHEET TITLE:	GRADING PLAN	
SUBMITTED FOR:	PRELIMINARY PLAT	
SHEET NUMBER:	C-100	

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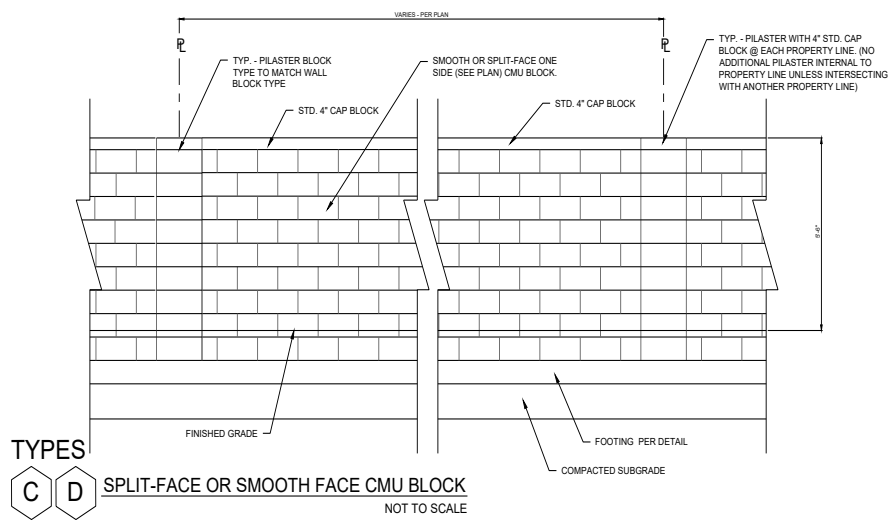
LEGEND

TYPE D WALL (TYPE PER KEYED NOTE)

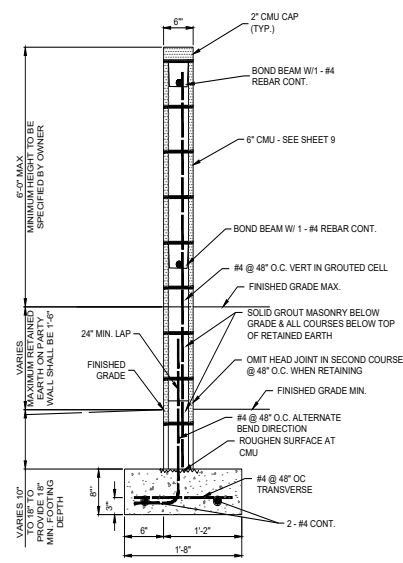


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DRAWN	RESPEC	AS INDICATED BY THE ARCHITECT
CHECKED BY		DATE
DATE	7.12.2021	
REVISION		
STAMP		
<p>PRELIMINARY NOT FOR CONSTRUCTION</p> <p><small>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</small></p>		
PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3		
SHEET TITLE: PERIMETER WALL PLAN		
SUBMITTED FOR: PRELIMINARY PLAT		
SHEET NUMBER: C-101		

NAME: N:\Projects\104107_Pulte\104107_Pulte_Villas.dwg User: Salmor3 DWG: Sheet C-103 Date: 07/12/2021 02:28pm



TYPES
C D SPLIT-FACE OR SMOOTH FACE CMU BLOCK
 NOT TO SCALE



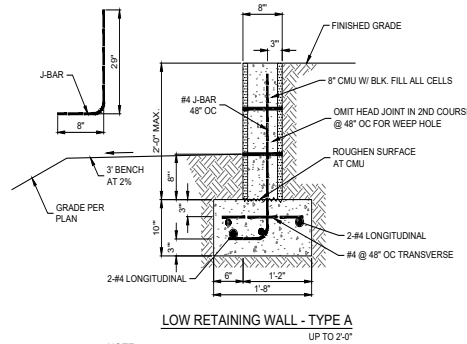
CMU FENCE GENERAL NOTES
 NOT TO SCALE

CMU FENCE GENERAL NOTES

1. COMPACT SUBGRADE TO 95% MIN. RELATIVE DENSITY (12" MIN. DEPTH) PER ASTM D1557. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ENGINEER BEFORE PROCEEDING.
2. COMPACT BACKFILL TO 90% MIN. RELATIVE DENSITY PER ASTM D1557. CONTRACTOR IS RESPONSIBLE FOR METHOD OF PLACEMENT AND COMPACTION OF BACKFILL MATERIAL TO ENSURE THAT LOADS SUFFICIENT TO CAUSE DAMAGE TO WALL ARE NOT EXCEEDED.
3. MAINTAIN 2" MINIMUM CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE, 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.
4. ALL CELLS WITH REBAR AND ALL MASONRY BELOW GRADE ARE TO BE GROUTED SOLID WITH CONCRETE BLOCK FILL.
5. CONCRETE FOR FOOTINGS AND FILLING OF CELLS SHALL MEET OR EXCEED 3,000 P.S.I. AT 28 DAYS, WITH 3/4" MAXIMUM SIZE AGGREGATE, AND A MAXIMUM SLUMP OF 5".
6. MASONRY MORTAR SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C 270, TYPE M.
7. WALL BLOCKS ARE TO BE STANDARD MASONRY UNITS
8. REINFORCING STEEL SPLICES SHALL HAVE 24" MIN. LAPS.
9. THE TOP COURSE OF BLOCK SHALL BE 2" SOLID MASONRY UNIT CAPS UNLESS OTHERWISE SHOWN.
10. DRAIN BLOCKS FOR PARTY WALLS SHALL CONSIST OF STANDARD MASONRY UNITS TURNED FACE DOWN. THEY SHALL BE INSTALLED THROUGH THE PARTY WALL AT LOCATIONS SHOWN ON PLAN AND/OR SPECIFIED BY THE OWNER.
11. ALL WALLS FACING PUBLIC ROW MUST BE SPRAYED WITH ANTI-GRAFFITI COATING. USE PROSOCC DEFACER ERASER OR APPROVED EQUAL (AT OWNERS DIRECTION).
12. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (TO BE SPECIFIED BY OWNER), THEN:
 - A. CONSTRUCT PILASTERS AT 16' ON CENTERS (MAXIMUM), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION.
 - B. PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS OTHERWISE SHOWN.
 - C. PROVIDE 1" J-BAR AND VERTICAL BAR, IF NORMAL SPACING DOES NOT DO SO, OF SPECIFIED SIZE AT EACH PILASTER.
 - D. ALL PILASTER CELLS ARE TO BE GROUTED WITH CONCRETE BLOCK FILL.
13. IF NO PILASTERS ARE TO BE CONSTRUCTED THEN:
 - A. PROVIDE APPROPRIATE EXPANSION/CONTRACTION JOINTS AT 12' O.C. MAXIMUM SPACING.
 - B. PROVIDE J-BAR AND VERTICAL BAR OF SPECIFIED SIZE, IF NORMAL SPACING DOES NOT DO SO, AND GROUT FILL FIRST CELL ON EITHER SIDE OF EXPANSION/CONTRACTION JOINTS.
 - C. DISCONTINUE BOND BEAM AT EXPANSION/CONTRACTION JOINTS.
14. ALL CMU AND MORTAR COLOR SHALL BE AT THE OWNERS DIRECTION UNLESS OTHERWISE SPECIFIED HEREIN.
15. WALL, INCLUDING FOOTING, SHALL NOT EXTEND INTO ANY ADJACENT PROPERTY OWNED BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER.

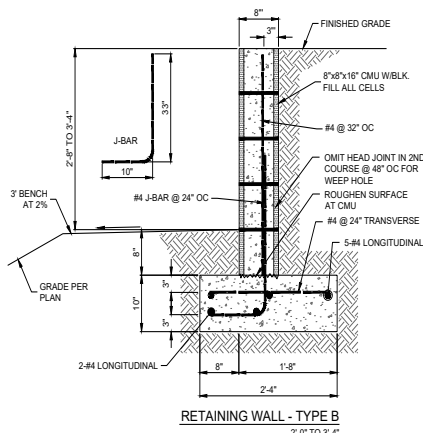
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STAMP 	
PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3	
SHEET TITLE: PERIMETER WALL DETAILS	
SUBMITTED FOR: PRELIMINARY PLAT	
SHEET NUMBER: C-102	

NAME: N:\Projects\104107_Planos\104107_004_Planos_Villas de Las Soleras3_DWG\Sheet\C-103_Detailed_Vill_1.dwg PLO DATE: Jul 12, 2021, 12:28pm



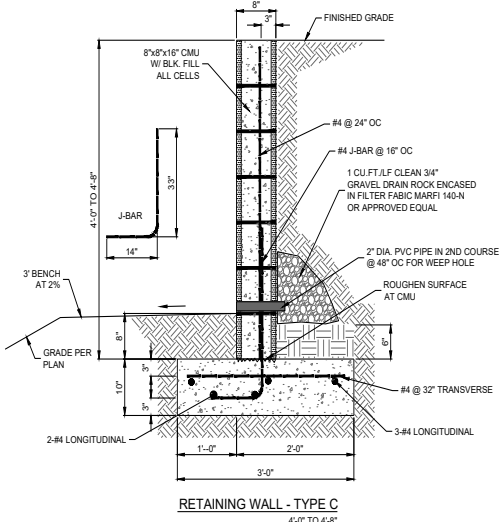
LOW RETAINING WALL - TYPE A
UP TO 2'-0"

NOTE:
FINISHED GRADE SHALL BE LEVEL WITH OR BELOW TOP OF RETAINING PORTION OF WALL, AND NO ADDITIONAL SURFACE LOADS SHALL BE PLACED, WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL TO THE RETAINED EARTH HEIGHT.



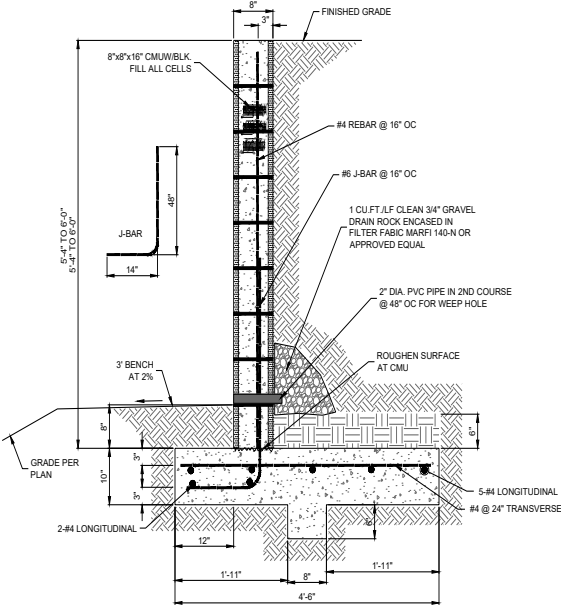
RETAINING WALL - TYPE B
2'-0" TO 3'-4"

NOTE:
FINISHED GRADE SHALL BE LEVEL WITH OR BELOW TOP OF RETAINING PORTION OF WALL, AND NO ADDITIONAL SURFACE LOADS SHALL BE PLACED, WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL TO THE RETAINED EARTH HEIGHT.



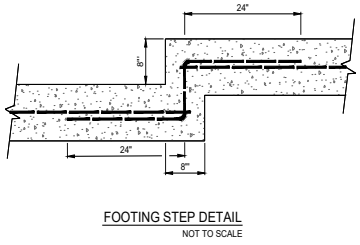
RETAINING WALL - TYPE C
4'-0" TO 4'-8"

NOTE:
FINISHED GRADE SHALL BE LEVEL WITH OR BELOW TOP OF RETAINING PORTION OF WALL, AND NO ADDITIONAL SURFACE LOADS SHALL BE PLACED, WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL TO THE RETAINED EARTH HEIGHT.



RETAINING WALL - TYPE D
5'-4" TO 6'-0"

NOTE:
FINISHED GRADE SHALL BE LEVEL WITH OR BELOW TOP OF RETAINING PORTION OF WALL, AND NO ADDITIONAL SURFACE LOADS SHALL BE PLACED, WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL TO THE RETAINED EARTH HEIGHT.



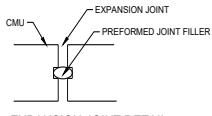
FOOTING STEP DETAIL
NOT TO SCALE

RETAINING WALL GENERAL NOTES

1. COMPACT SUBGRADE TO 95% MIN. RELATIVE DENSITY (12" MIN. DEPTH) PER ASTM D1557. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ENGINEER BEFORE PROCEEDING.
2. COMPACT BACKFILL TO 90% MIN. RELATIVE DENSITY PER ASTM D1557. CONTRACTOR IS RESPONSIBLE FOR METHOD OF PLACEMENT AND COMPACTION OF BACKFILL MATERIAL TO ENSURE THAT LOADS SUFFICIENT TO CAUSE DAMAGE TO WALL ARE NOT EXCEEDED.
3. MAINTAIN 2" MINIMUM CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE. 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.
4. ALL BLOCKS ARE TO BE GROUTED SOLID WITH CONCRETE BLOCK FILL. GROUT SHALL MEET OR EXCEED 2,000 P.S.I. AT 28 DAYS.
5. CONCRETE FOR FOOTINGS SHALL MEET OR EXCEED 3,000 P.S.I. AT 28 DAYS, WITH 3/4" MAXIMUM SIZE AGGREGATE, AND A MAXIMUM SLUMP OF 5".
6. MASONRY MORTAR SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C 270, TYPE M.
7. WALL BLOCKS ARE TO BE STANDARD MASONRY UNITS (8"x8"x16" OR AS OTHERWISE INDICATED) AND SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C90.
8. ALL REINFORCING SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A615, GRADE 40.
9. INSTALL 9 GA. GALV. DURO-WAL (OR APPROVED EQUAL) EVERY OTHER COURSE (16" OC), OR BOND BEAM WITH 2-#4 REBAR EVERY THIRD COURSE (24" OC, MAX.).
10. REINFORCING STEEL SPLICES SHALL HAVE 24" MIN. LAPS.
11. THE TOP COURSE OF BLOCK SHALL USE 2" SOLID MASONRY UNITS AS CAPS, UNLESS A CMU PARTY OR PERIMETER WALL IS TO BE INSTALLED ON TOP OF A RETAINING WALL.
12. DRAIN BLOCKS FOR PARTY WALLS, AT LOCATIONS SHOWN ON THE PLANS AND AS SPECIFIED BY OWNER, SHALL CONSIST OF STANDARD MASONRY UNITS TURNED FACE DOWN. THEY SHALL BE INSTALLED THROUGH THE PARTY WALL ABOVE THE RETAINING WALL SECTION AFTER THE RETAINING WALL SECTION IS COMPLETE AND BACKFILLED.
13. ALL WALLS FACING PUBLIC ROW MUST BE SPRAYED WITH ANTI-GRAFFITI COATING. USE PROSOOD DEFACER ERASER OR APPROVED EQUAL. (AT OWNERS DIRECTION).
14. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (TO BE SPECIFIED BY OWNER), THEN CONSTRUCT PILASTERS AT 16' ON CENTER (MAXIMUM), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION. THE TOP OF PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS CMU PARTY WALL IS TO BE INSTALLED ON TOP OF RETAINING WALL.
15. ALL CMU AND MORTAR COLOR SHALL BE AT THE OWNERS DIRECTION.
16. IF NO PILASTERS ARE TO BE CONSTRUCTED THE APPROPRIATE EXPANSION / CONTRACTION JOINTS SHALL BE PROVIDED AT 12' O.C. MAXIMUM SPACING.
17. ALL WALLS SHOWN HERE ON HAVE BEEN DESIGNED TO ACCEPT A 6' (MAX.) CMU PARTY WALL.
18. FOR LOCATIONS TO INCLUDE PARTY WALLS, EXTEND #4 BARS AT 48" O.C. WITH MINIMUM INBEDMENT OF 24" IN RETENTION WALL.
19. WATERPROOFING SHALL BE HYDROCIDIC LIQUID MEMBRANE HLM 5000 OR APPROVED EQUAL, AND SHALL BE APPLIED FROM FINISHED GRADE TO TOP OF FOUNDATION.
20. PARTY WALL DETAILS NOT INCLUDED, TO BE PROVIDED BY OWNER.
21. WALL, INCLUDING FOOTING, SHALL NOT EXTEND INTO ANY ADJACENT PROPERTY OWNED BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER.

RETAINING WALLS WITH PILASTERS

1. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (TO BE SPECIFIED BY OWNER), THEN CONSTRUCT PILASTER AT 16' ON CENTERS (MAXIMUM), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION.
2. THE TOP OF PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS CMU PARTY WALL IS TO BE INSTALLED ON TOP OF RETAINING WALL.
3. ALL PILASTER CELLS ARE TO BE GROUTED SOLID WITH CONCRETE.
4. PROVIDE ONE J-BAR OF SPECIFIC SIZE FOR EACH.
5. PROVIDE ADDITIONAL BAR(S) AS SPECIFIED FOR WALL AT EACH PILASTER IF NORMAL OPENING DOES NOT DO SO.
6. PROVIDE 2-#4 BARS AT EACH PILASTER WITH MINIMUM INBEDMENT OF 24" IN RETAINING WALL FOR LOCATIONS TO INCLUDE CMU PARTY WALL.



EXPANSION JOINT DETAIL
NOT TO SCALE

DESIGNED BY: [blank] DRAWN BY: [blank] CHECKED BY: [blank] DATE: 7.12.2021	RESP Cammyart Design Solutions 10000 W. 10th Ave. Suite 100 Westminster, CO 80040	REVISION <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>									STAMP PRELIMINARY NOT FOR CONSTRUCTION 2/2021 www.whatsbelow.com Call before you dig.
PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3		SHEET TITLE: RETAINING WALL DETAILS									
SUBMITTED FOR: PRELIMINARY PLAT		SHEET NUMBER: C-103									

CITY OF SANTA FE SIGNING AND STRIPING NOTES:

SIGN AND POST REQUIREMENTS:

1. ALL ALUMINUM PANEL SIGNING AND STEEL POSTS SHALL COMPLY WITH THE NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT), CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (SSHBC).
2. ALL SIGNING SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) - CURRENT EDITION.
3. SIGNPOSTS WITH APPROVED BREAKAWAY DEVICE SHALL BE "MARION" BRAND 4LB / FT. U CHANNEL - BLACK; NO SUBSTITUTES ALLOWED.
4. SIGN SHEETING SHALL BE "3M" BRAND HIGH INTENSITY; NO SUBSTITUTES ALLOWED.
5. SIGN HEIGHT SHALL BE A MINIMUM OF 7' HIGH FROM THE BOTTOM OF THE LOWEST SIGN ABOVE THE TOP OF THE CURB, UNLESS OTHERWISE NOTED, AND SHALL BE PLACED IN ACCORDANCE WITH NMDOT STANDARD DRAWINGS AND SPECIFICATIONS.
6. STREET NAME LETTERING SHALL COMPLY WITH THE STANDARDS IN THE CURRENT EDITION OF THE MUTCD; THAT IS THE LETTERING SHALL BE LOWER CASE LETTERS WITH UPPERCASE INITIAL LETTERS.

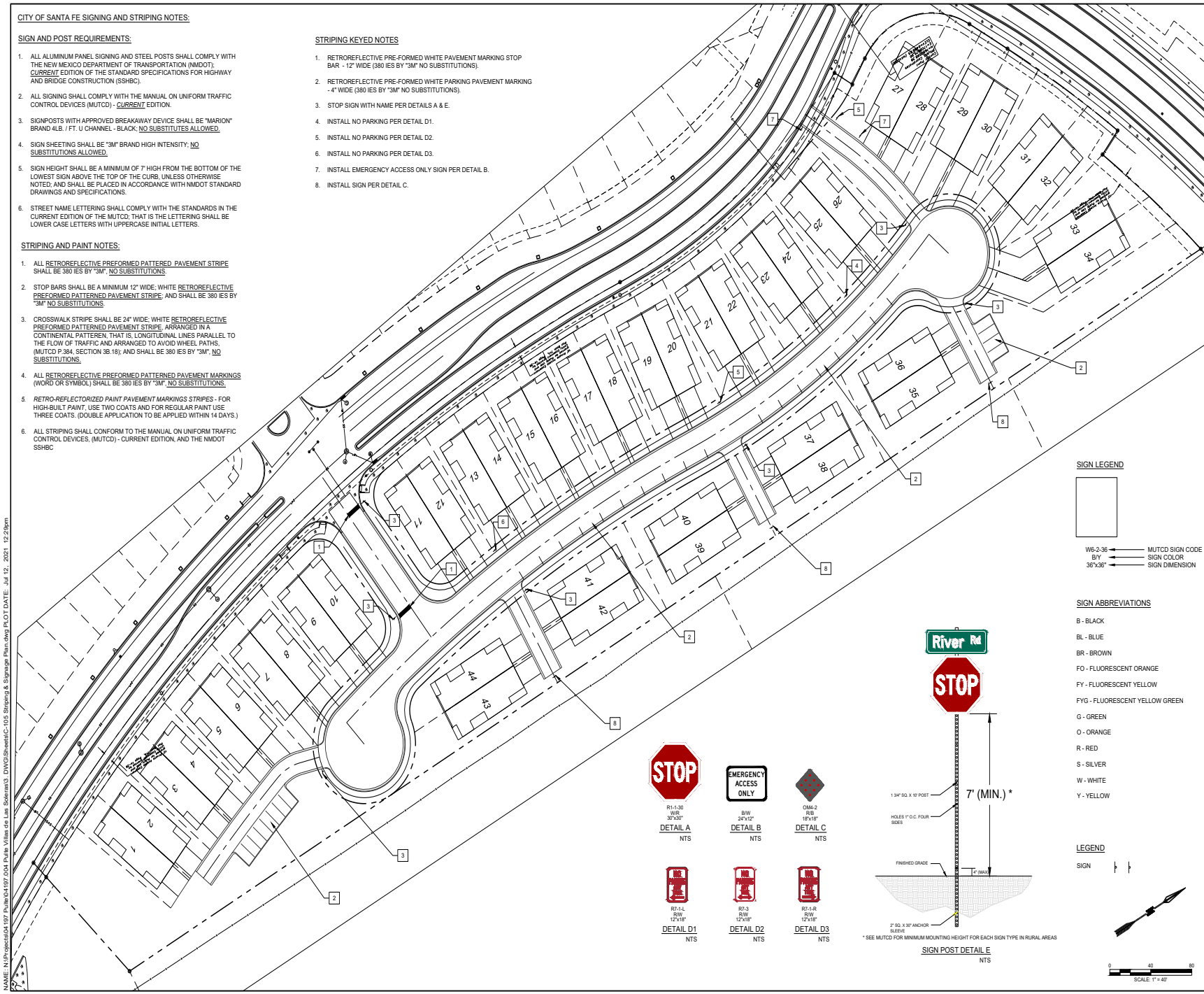
STRIPING AND PAINT NOTES:

1. ALL RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT STRIPE SHALL BE 300 IES BY "3M"; NO SUBSTITUTIONS.
2. STOP BARS SHALL BE A MINIMUM 12" WIDE, WHITE RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT STRIPE; AND SHALL BE 300 IES BY "3M" NO SUBSTITUTIONS.
3. CROSSWALK STRIPE SHALL BE 24" WIDE, WHITE RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT STRIPE, ARRANGED IN A CONTINENTAL PATTERN, THAT IS, LONGITUDINAL LINES PARALLEL TO THE FLOW OF TRAFFIC AND ARRANGED TO AVOID WHEEL PATHS. (MUTCD P.204, SECTION 3B.18); AND SHALL BE 300 IES BY "3M"; NO SUBSTITUTIONS.
4. ALL RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT MARKINGS (WORD OR SYMBOL) SHALL BE 300 IES BY "3M"; NO SUBSTITUTIONS.
5. RETRO-REFLECTORIZED PAINT PAVEMENT MARKINGS STRIPES - FOR HIGH-BUILT PAINT, USE TWO COATS AND FOR REGULAR PAINT USE THREE COATS. (DOUBLE APPLICATION TO BE APPLIED WITHIN 14 DAYS.)
6. ALL STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) - CURRENT EDITION, AND THE NMDOT SSHBC

STRIPING KEYED NOTES

1. RETROREFLECTIVE PRE-FORMED WHITE PAVEMENT MARKING STOP BAR - 12" WIDE (380 IES BY "3M" NO SUBSTITUTIONS).
2. RETROREFLECTIVE PRE-FORMED WHITE PARKING PAVEMENT MARKING - 4" WIDE (380 IES BY "3M" NO SUBSTITUTIONS).
3. STOP SIGN WITH NAME PER DETAILS A & E.
4. INSTALL NO PARKING PER DETAIL D1.
5. INSTALL NO PARKING PER DETAIL D2.
6. INSTALL NO PARKING PER DETAIL D3.
7. INSTALL EMERGENCY ACCESS ONLY SIGN PER DETAIL B.
8. INSTALL SIGN PER DETAIL C.

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SIGN LEGEND



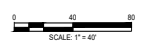
W6-2-36 ← MUTCD SIGN CODE
 BY ← SIGN COLOR
 36"x36" ← SIGN DIMENSION

SIGN ABBREVIATIONS

- B - BLACK
- BL - BLUE
- BR - BROWN
- FO - FLUORESCENT ORANGE
- FY - FLUORESCENT YELLOW
- FIG - FLUORESCENT YELLOW GREEN
- G - GREEN
- O - ORANGE
- R - RED
- S - SILVER
- W - WHITE
- Y - YELLOW

LEGEND

SIGN



DETAIL A
NTS



DETAIL B
NTS



DETAIL C
NTS



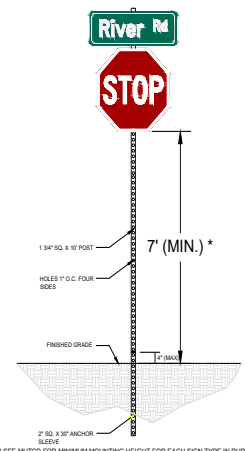
DETAIL D1
NTS



DETAIL D2
NTS



DETAIL D3
NTS

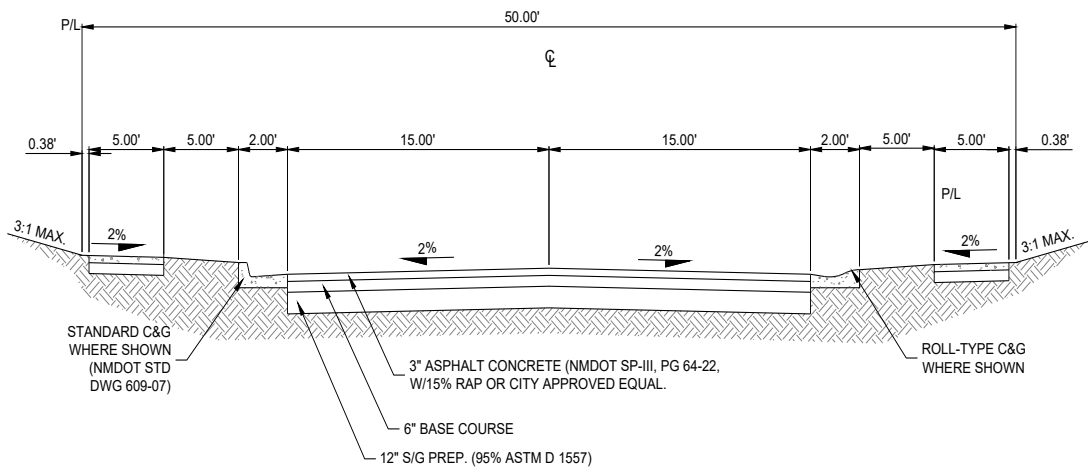


SIGN POST DETAIL E
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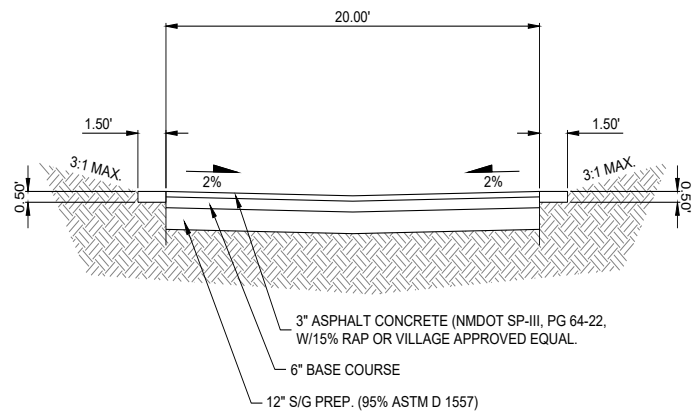
* SEE MUTCD FOR MINIMUM MOUNTING HEIGHT FOR EACH SIGN TYPE IN RURAL AREAS

DESIGNED: JLS DRAWN: JLS CHECKED: JLS DATE: 7.12.2021	<p>COMMUNITY DESIGN SOLUTIONS 400 BALCONGE WAY, SUITE 100 SANTA FE, NM 87505-3913 WWW.RESPONSEDESIGN.COM</p>	STAMP	PRELIMINARY NOT FOR CONSTRUCTION
<p>know what's below. Call before you dig.</p>			
PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3		SHEET TITLE: STRIPING & SIGNAGE PLAN	
SUBMITTED FOR: PRELIMINARY PLAT		SHEET NUMBER: C-105	

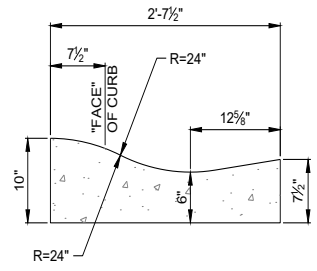
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1
106 TYPICAL STREET SECTION
NOT TO SCALE

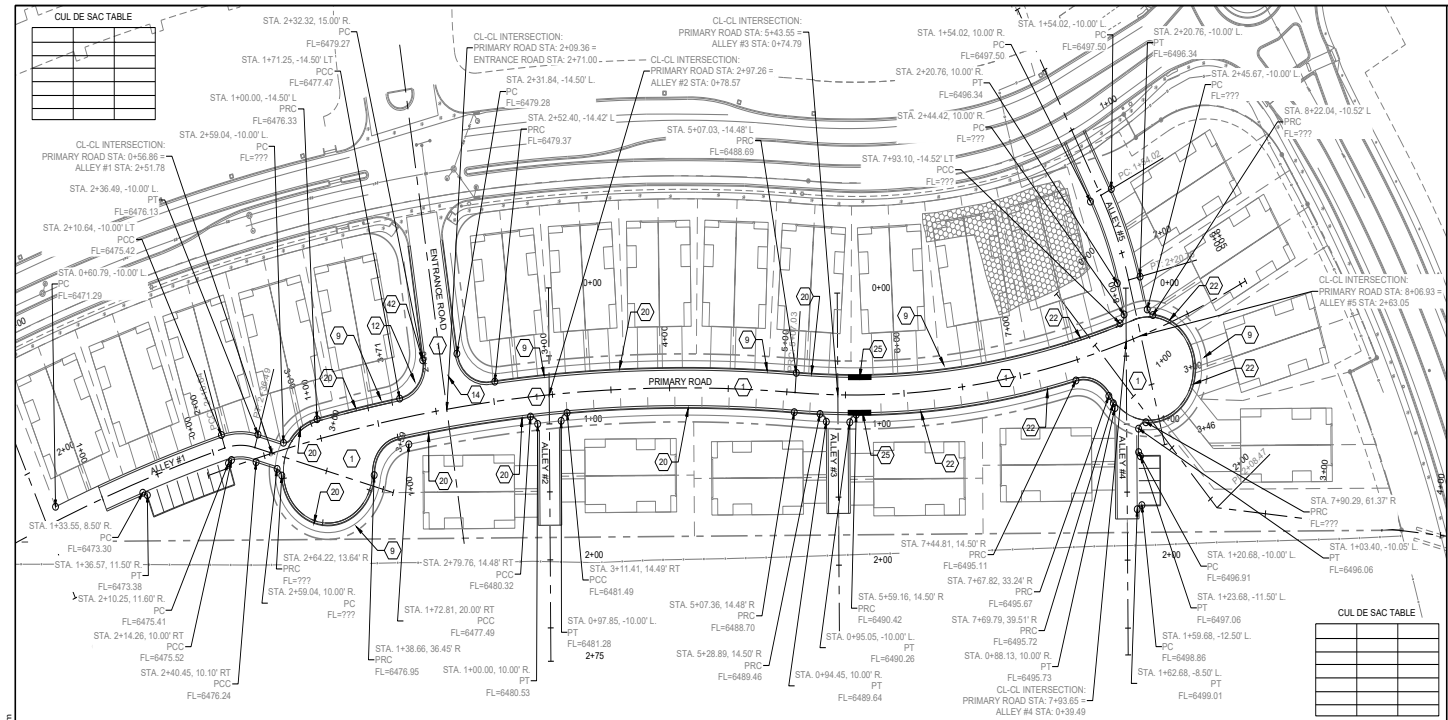


2
106 ALLEY CROSS SECTION
NOT TO SCALE



ROLL-TYPE CURB & GUTTER
NO SCALE

DESIGNED JS DRAWN JLM CHECKED JLM IN CHARGE JLM DATE 7.12.2021	 <small>COMMUNITY DESIGN SOLUTIONS 4000 W. STATE ST. SUITE 100 DENVER, CO 80202</small>	REVISION <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>						
STAMP <div style="border: 1px solid red; padding: 5px; color: red; font-weight: bold;"> PRELIMINARY NOT FOR CONSTRUCTION </div> <p style="font-size: 8px; color: red;">THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p> <p style="font-size: 8px;">www.whatsbelow.com Call before you dig.</p>								
PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3								
SHEET TITLE: ROAD CROSS SECTION								
SUBMITTED FOR: PRELIMINARY PLAT								
SHEET NUMBER: C-106								

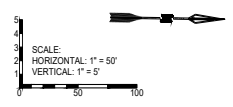
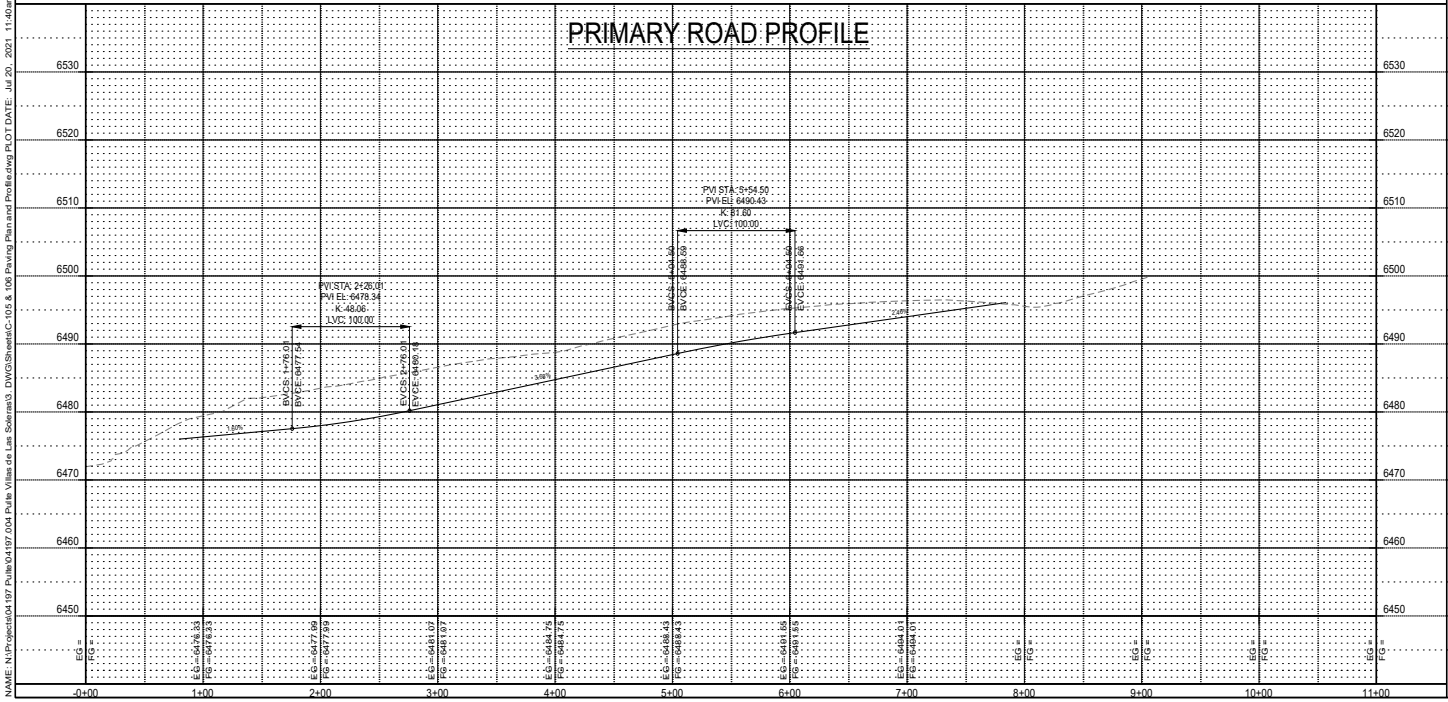


PAVING CONSTRUCTION NOTES

ID#	DESCRIPTION
1	BUILD RESIDENTIAL ASPHALT PAVING, PER TYPICAL SECTION
2	BUILD 8" PCC SIDEWALK, PER NM APWA STD. DTL 2430
3	BUILD 4" PCC SIDEWALK, PER NM APWA STD. DTL 2430 (DEFERRED)
4	BUILD 4" PCC SIDEWALK, PER NM APW ASTD. DTL 2430
5	BUILD PCC WHEELCHAIR RAMP, PER NM APWA STD. DTL 2418
6	BUILD PCC VALLEY GUTTER, PER NM APWA STD. DTL 2420
7	BUILD PCC VALLEY GUTTER, PER NM APWA STD. DTL 2421
8	BUILD PCC STD. CURB AND GUTTER, PER NMDOT STD DWG 623-14
9	BUILD PCC ROLL-TYPE CURB & GUTTER, PER NM APWA STD. DTL 2415
10	BUILD 8" ASPHALT CURB, PER DETAIL (SEE SHEET 09)
11	BUILD TRANSITION FROM STD. TO ROLL-TYPE C&G
12	BUILD PCC CUT-OFF WALL, PER NM APWA STD. DTL 2415
13	EDGE OF ASPHALT
14	BUILD 8" PCC SIDEWALK, PER NM APWA STD. DTL 2430 (DEFERRED)
15	REMOVE EX. CUT-OFF WALL. ENSURE CLEAN PAVEMENT EDGE. SAW-CUT IF NECESSARY.
16	INSTALL TYPE III BARRICADES
17	REMOVE TYPE III BARRICADES
18	INSTALL STOP SIGN AND STREET NAME SIGN PER MUTCD, AT OWNERS DIRECTION

GENERAL NOTES

- ALL CURB RETURNS HAVE 25' RADIUS AT THEORETICAL FACE OF CURB (FLOWLINE) PER NMDOT STD DWG 623-14, UNLESS OTHERWISE INDICATED
- ALL STATIONS AND OFFSETS ARE TO THEORETICAL FACE OF CURB (FLOWLINE) PER NMDOT STD DWG 623-14, UNLESS OTHERWISE INDICATED
- ALL CURB LAYOUT DATA IS AT THEORETICAL FACE OF CURB (FLOWLINE) PER NMDOT STD DWG 623-14, UNLESS OTHERWISE INDICATED. CURB LAYOUT THAT IS A DIRECT OFFSET OF PLATTED BASELINE IS NOT SHOWN.



NAME: N:\Projects\107_Plan\107_Plan\107_Plan.dwg; User: Sarama3; DWG: Sarama3; Plot Date: Jul 20, 2023, 11:40am

DESIGNED BY: [Blank]
 DRAWN BY: [Blank]
 CHECKED BY: [Blank]
 DATE: 7/20/2023

DESIGNED BY: **KESP**
 DRAWN BY: **KESP**
 CHECKED BY: **KESP**
 DATE: 7/20/2023

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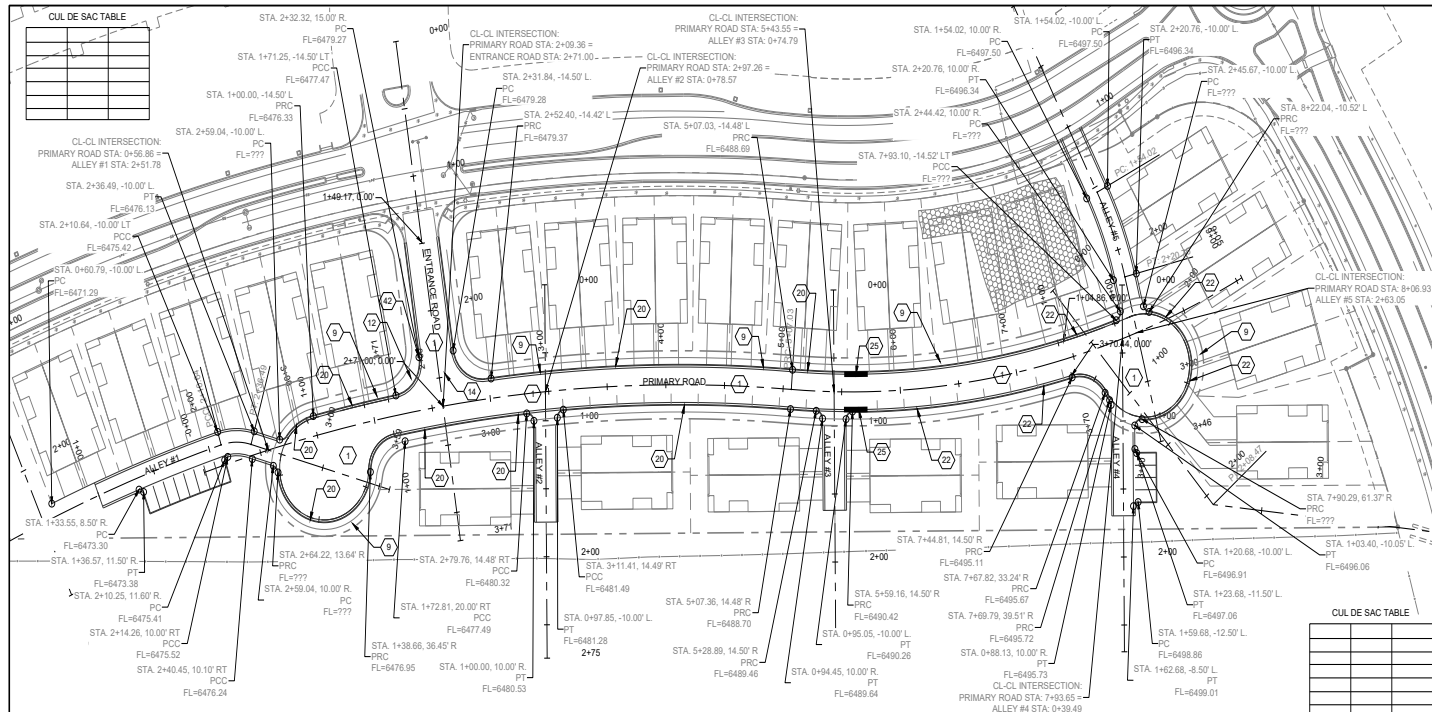
nm811
 Know what's Below.
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PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3

SHEET TITLE: PAVING PLAN AND PROFILE

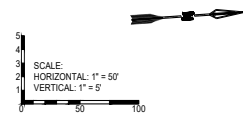
SHEET NUMBER: PRELIMINARY PLAT

SHEET NUMBER: C-107



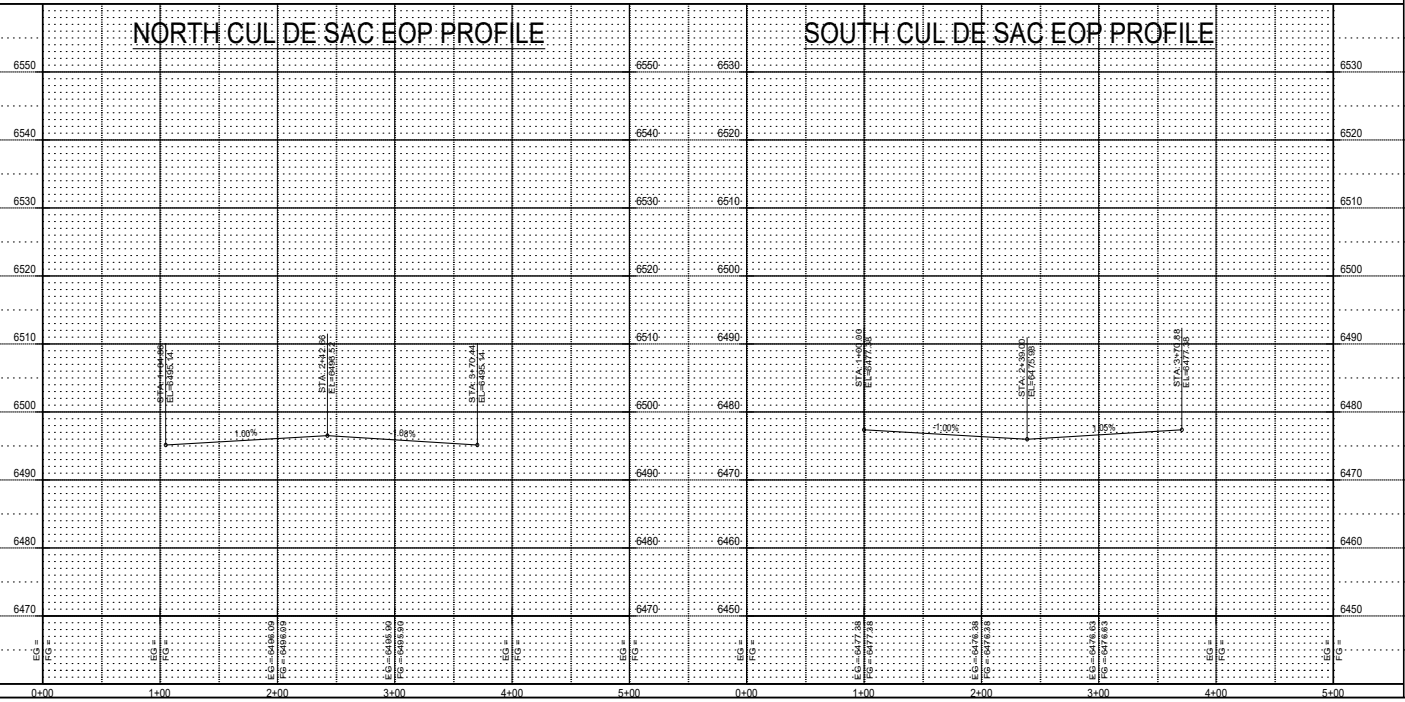
- ### PAVING CONSTRUCTION NOTES
- | ID# | DESCRIPTION |
|-----|--|
| 1 | BUILD RESIDENTIAL ASPHALT PAVING, PER TYPICAL SECTION |
| 2 | BUILD 8" PCC SIDEWALK, PER NM APWA STD. DTL 2430 |
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| 18 | INSTALL STOP SIGN AND STREET NAME SIGN PER MUTCD, AT OWNERS DIRECTION |

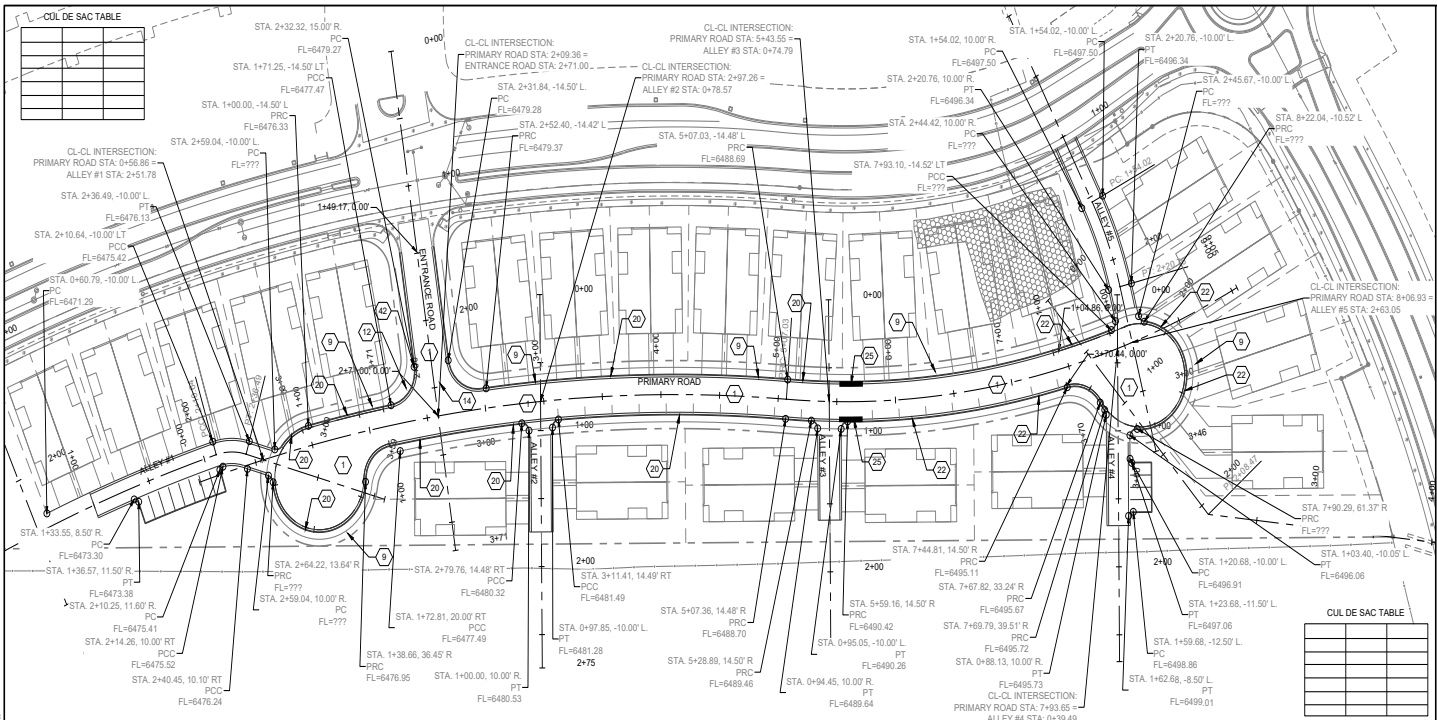
- ### GENERAL NOTES
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DESIGNED BY RESPEC	DRAWN BY [Signature]	CHECKED BY [Signature]	DATE 2.28.2021
CAMMARTY DESIGN SOLUTIONS 4000 W. 10TH AVENUE, SUITE 100 DENVER, CO 80202			
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PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3			
SHEET TITLE: PAVING PLAN AND PROFILE			
SHEET NUMBER: C-108			

NAME: N:\Projects\107_Plan\0107_004_Plan_Villas de las Soleras\3_DWG\SheetC-108 & 109_Paving Plan and Profile.dwg PLOT DATE: Jul 20, 2021 11:40am





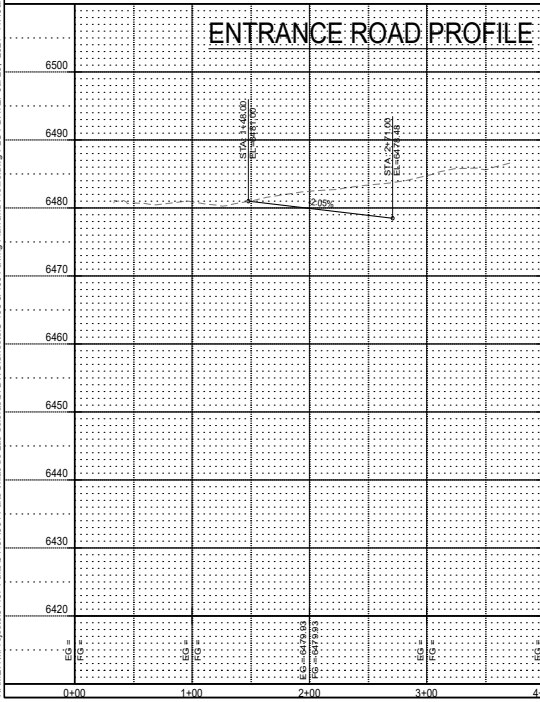
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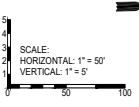
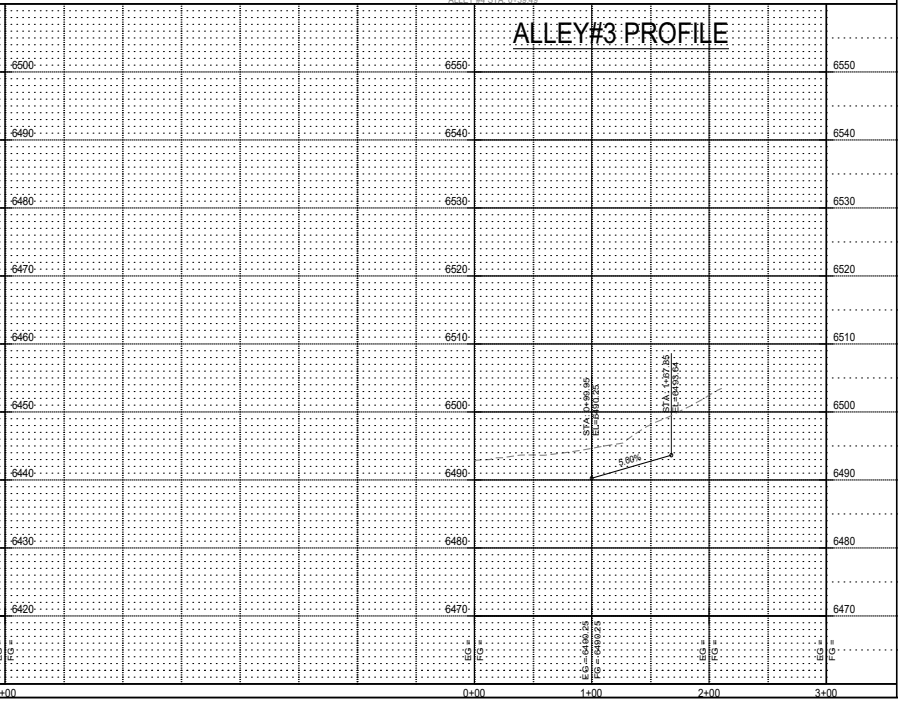
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ENTRANCE ROAD PROFILE



ALLEY#3 PROFILE



DESIGNED BY: [Blank]
 DRAWN BY: [Blank]
 CHECKED BY: [Blank]
 DATE: 2/28/2023

REVISION

STAMP

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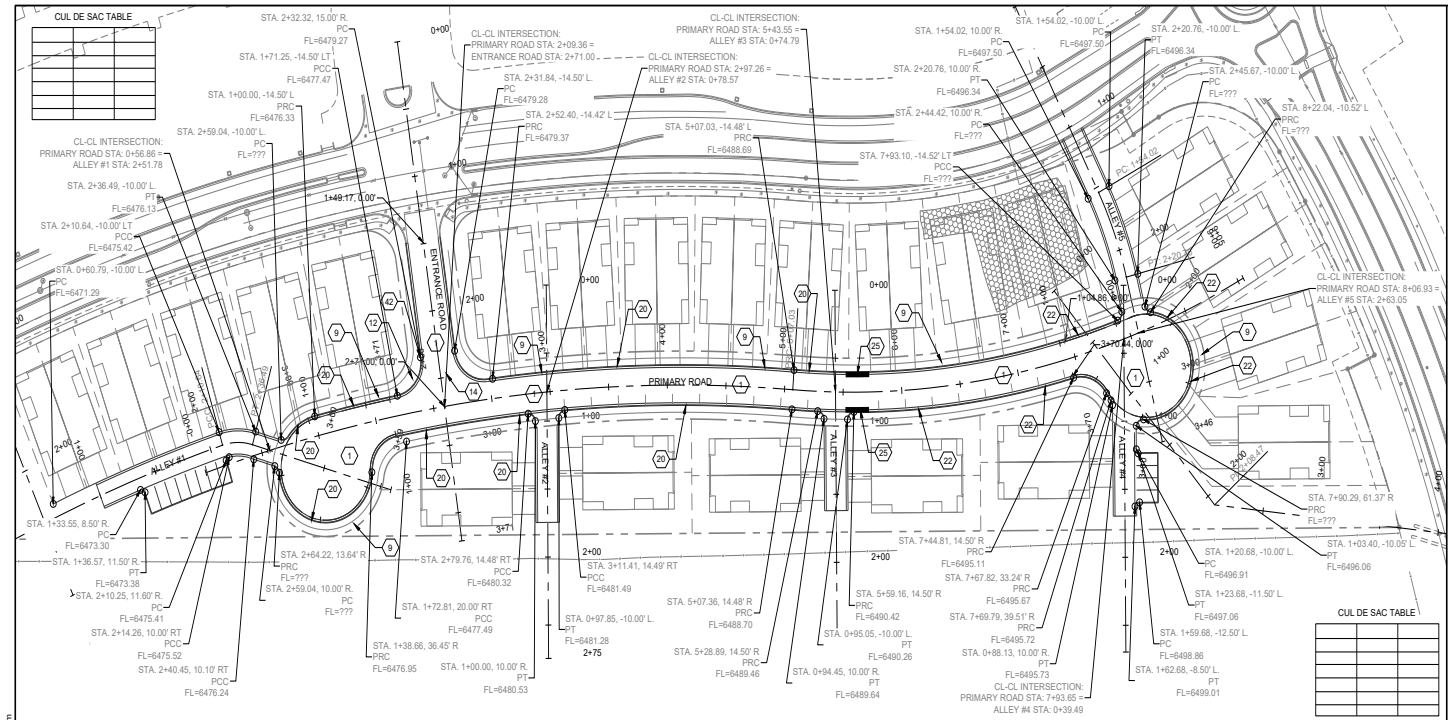
PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3

SHEET TITLE: PAVING PLAN AND PROFILE

PRELIMINARY PLAT

SHEET NUMBER: C-109

NAME: N:\Projects\107_Plan\0107_004_Plan_Villas de las Soleras\3_DWG\Sheet\C-109_Paving Plan and Profile.dwg PLOT DATE: Jul 20, 2023, 11:40am

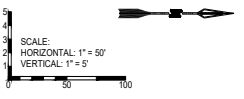
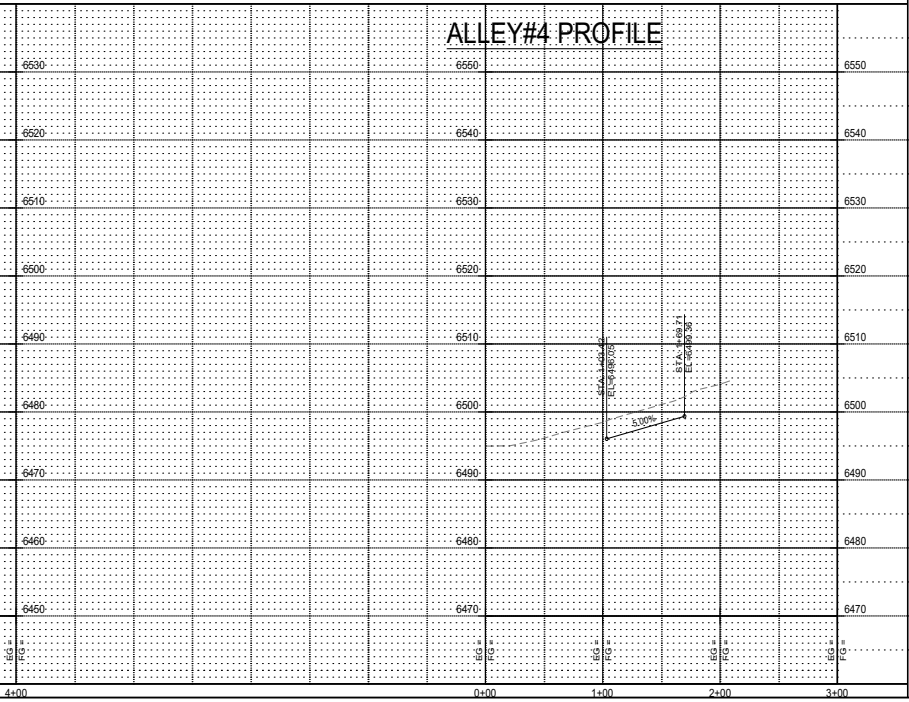
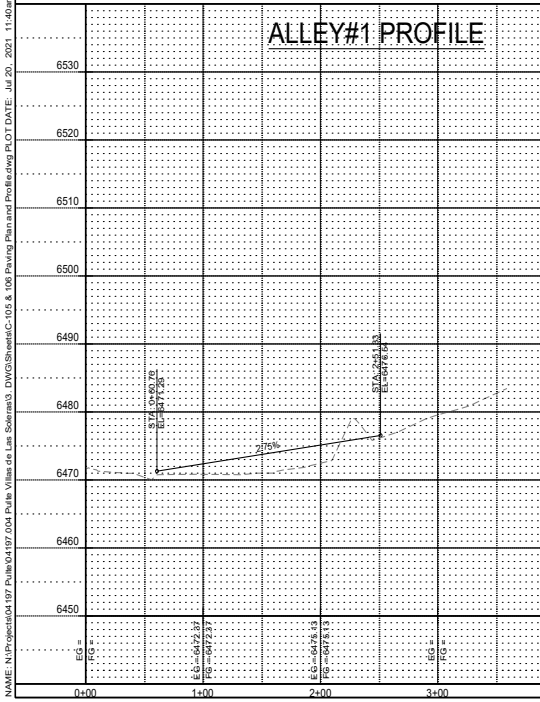


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NAME: N:\Projects\04107_Plan\04107_Plan.dwg User: J. Solares Date: 11/20/2024 11:40am
 DWG: DWG: 04107_Plan.dwg User: J. Solares Date: 11/20/2024 11:40am
 PLOT DATE: 11/20/2024 11:40am

DESIGNED BY: [Blank]
 DRAWN BY: [Blank]
 CHECKED BY: [Blank]
 DATE: 11/20/2024

PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3

SHEET TITLE: PAVING PLAN AND PROFILE

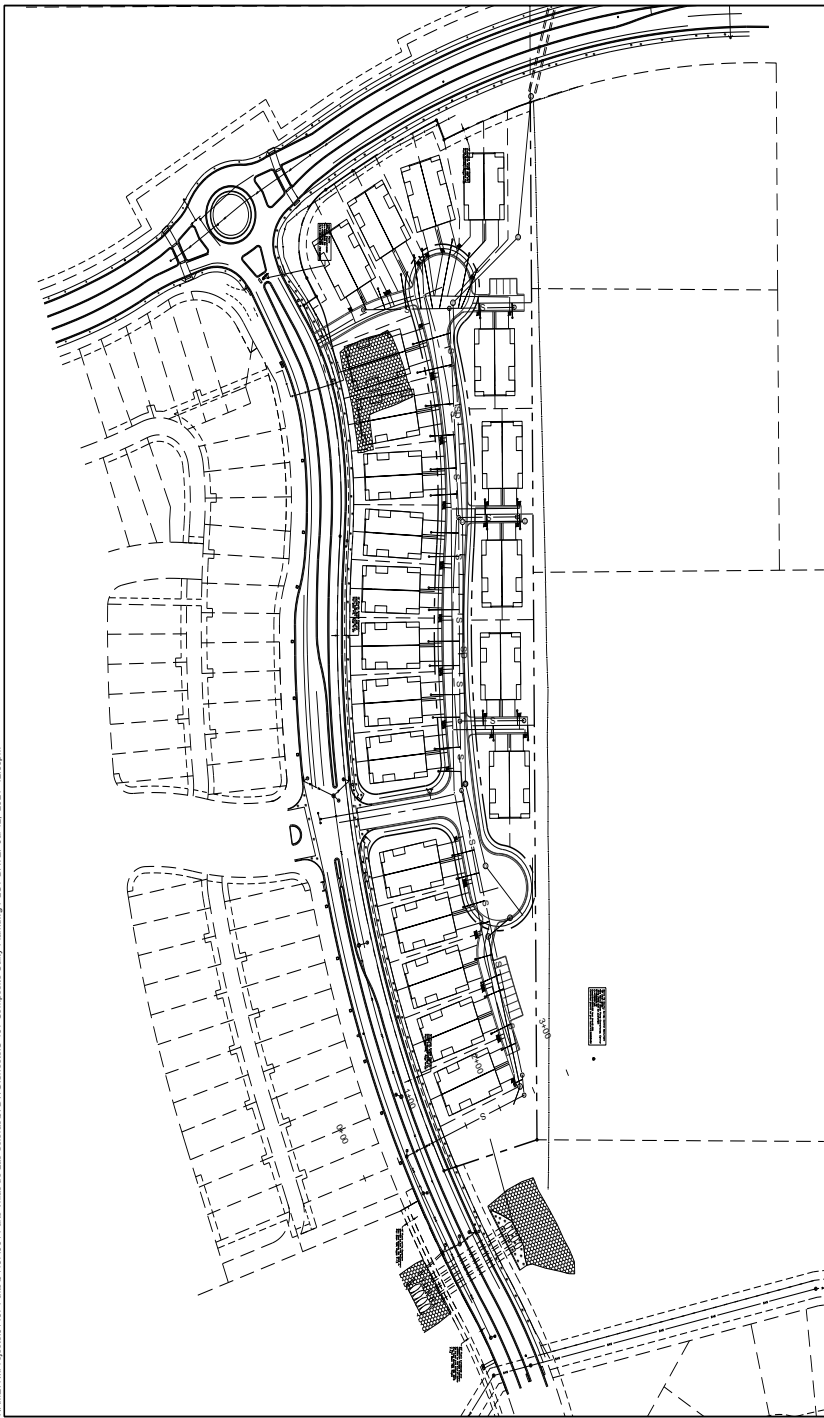
SHEET NUMBER: C-110

PRELIMINARY PLAT

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NAME: N:\Projects\104107_Plan\104107_Plan.dwg DATE: Jul 12, 2021 12:30pm



LEGEND

	NEW	EXISTING
WATERLINE	—W—	—8" W—8" W—
SANITARY SEWER LINE	—SAS—	—8" S—8" S—
STORM DRAIN LINE	—SD—	—SD—SD—
WATER VALVE		
REDUCER		
FIRE HYDRANT		
3/4" SINGLE WATER SERVICE, U.N.O.		
3/4" DOUBLE WATER SERVICE, U.N.O.		
SAS MANHOLE		
STORM DRAIN INLET		
SANITARY SEWER SERVICE		
LIGHT POLE		

THRUST RESTRAINT NOTE:

ALL BURIED VALVES, FITTINGS, AND APPURTENANCES SHALL BE MECHANICAL JOINT-TYPE UTILIZING "MEGA-LUG" STYLE MECHANICAL JOINT RESTRAINTS IN CONJUNCTION WITH "MEGA-LUG" PIPE BELL-HARNES RESTRAINTS WHEN ADEQUATE RESTRAINED LENGTH CAN BE OBTAINED. IN THE EVENT ADEQUATE RESTRAINED LENGTHS CANNOT BE OBTAINED, CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER FOR DETERMINATION OF APPROPRIATE ACTION TO BE TAKEN. THE EBAA IRON "RESTRAINED LENGTH CALCULATION" PROGRAM (VERSION 4.0) HAS BEEN USED TO DETERMINE MINIMUM RESTRAINED LENGTHS SHOWN IN TABLE ABOVE. THE FOLLOWING GENERAL ASSUMPTIONS APPLY TO ALL CALCULATIONS:

TRENCH TYPE 3
SOIL TYPE SM (SILTY SANDS, SAND SILT MIXTURE)
SAFETY FACTOR 1.5 TO 1

TYPICAL BURY DEPTH:
4" THROUGH 8" DIAMETER PIPE 3 FT
12" THROUGH 24" DIAMETER PIPE 4 FT

TYPICAL BURY DEPTHS FOR VERTICAL OFFSETS:
4" THROUGH 8" DIAMETER PIPE 3 FT TO TOP OF UPPER BRANCH
6 FT TO TOP OF LOWER BRANCH
12" THROUGH 24" DIAMETER PIPE 4 FT TO TOP OF UPPER BRANCH
7 FT TO TOP OF LOWER BRANCH

CONTRACTOR MAY SUBSTITUTE REDUCED RESTRAINED JOINT LENGTHS IF SOIL AND DEPTH OF BURY CONDITIONS WARRANT. CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS AND APPROPRIATE CALCULATIONS TO SUPPORT THE LENGTH REDUCTION. SOIL TESTING AND CALCULATIONS SHALL BE PERFORMED AT CONTRACTOR'S SOLE EXPENSE.

GENERAL NOTES:

- ALL SANITARY SEWER MANHOLES SHALL BE 48" DIA. TYPE E UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- ALL SANITARY SEWER SERVICES SHALL EXTEND UNDER THE FULL WIDTH OF THE PUBLIC UTILITY EASEMENTS.
- ALL HYDRANT LEGS SHALL BE VALVED AND HAVE RESTRAINED JOINTS BETWEEN THE MAIN AND THE VALVE.
- UTILITY CONDUIT LOCATIONS TO BE DETERMINED BY OTHERS.
- ALL SEWER AND WATER MAIN LINES SHALL BE 8" IN DIAMETER UNLESS OTHERWISE NOTED.
- ALL SANITARY SEWER MAIN LINES TO BE SDR-35 PVC
- ALL WATER LINE MAIN TO BE C-900 DR-18 PVC.
- ALL WATERLINE INSTALLATION SHALL INCORPORATE THRUST RESTRAINTS CONFORMING TO CITY OF SANTA FE STANDARD DRAWINGS 10A AND 10B.

NOTE:

- ASSUMES MINIMUM DEPTH OF BURY = 3 FT.
- RESTRAINED LENGTH FOR VALVES SHALL BE PROVIDED ON BOTH SIDES OF VALVE.
- WHERE POSSIBLE, CONTRACTOR SHALL INSTALL FULL 20-FT JOINT OF PIPE ON EITHER SIDE OF ALL MECHANICAL JOINT VALVES, FITTINGS, AND APPURTENANCES. FOR ALL CIRCUMSTANCES WHERE A 20-FT JOINT CAN BE UTILIZED AND THE CONTRACTOR ELECTS TO USE A SHORTER PIPE JOINT, CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY JOINT RESTRAINTS REQUIRED BY TABLE ABOVE.

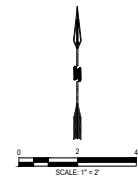
TEST PRESSURE @ 150 PSI
LENGTHS OF PIPE TO BE RESTRAINED - ALL JOINTS WITHIN LENGTH(FEET) MUST BE RESTRAINED (APPLIES TO PVC ONLY)

PIPE SIZE	HORIZONTAL BENDS					FIRE HYDRANT TEE STD. 6-INCH BRANCH LINE
	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND	DEAD END OR VALVE	
4"	18'	8'	4'	2'	39'	FOR ALL PIPE MAIN LINE SIZES, ALL FITTINGS AND PIPE JOINTS FROM TEE TO FIRE HYDRANT FLANGE SHALL BE RESTRAINED
6"	25'	11'	5'	3'	55'	
8"	33'	14'	7'	4'	72'	
10"	39'	16'	8'	4'	87'	
12"	45'	19'	9'	5'	102'	

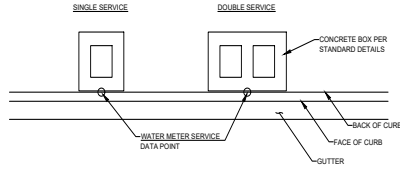
PIPE SIZE	VERTICAL DOWNBEND					
	45°		22 1/2°		11 1/4°	
	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT	UPPER BEND RESTRAINT	LOWER BEND RESTRAINT
4"	16'	4'	8'	2'	4'	1'
6"	23'	5'	11'	3'	5'	1'
8"	30'	7'	14'	3'	7'	2'
10"	36'	8'	17'	4'	8'	2'
12"	42'	10'	20'	5'	10'	2'

TEES	LENGTH ALONG RUN (L)										REDUCERS	L. SIDE
	2"	4"	6"	8"	10"	12"	14"	16"	18"	20"		
6x6x4	29	18	7	1	1	1	1	1	1	1		
6x6x6	48	41	33	26	18	11	4	1	1	1		
8x6x4	25	11	1	1	1	1	1	1	1	1	6x4	28
8x6x6	46	36	25	16	6	1	1	1	1	1	8x4	52
8x8x6	65	57	50	43	35	28	20	13	5	1	8x6	30
10x10x6	21	3	1	1	1	1	1	1	1	1	10x4	70
10x10x8	43	30	18	5	1	1	1	1	1	1	10x6	53
10x10x8	63	53	44	34	25	15	6	1	1	1	10x6	53
10x10x10	79	72	64	56	49	41	34	26	18	11	10x6	29
12x12x6	17	1	1	1	1	1	1	1	1	1	12x4	88
12x12x6	40	25	10	1	1	1	1	1	1	1	12x6	74
12x12x8	63	49	38	25	15	7	1	1	1	1	12x6	54
12x12x10	78	68	59	50	41	32	22	13	4	1	12x6	54
12x12x12	95	87	79	72	64	56	49	41	33	26	12x10	50

RESTRAINED LENGTH ALONG BRANCH (LB)
RESTRAINED LENGTH ON LARGE SIDE ONLY



DESIGNED BY	DRAWN BY	CHECKED BY	DATE
			7.12.2021
RESPICE			
Cammyrty Design Solutions A PROFESSIONAL SERVICE PROVIDER FOR WATER/SEWER/STORM DRAINAGE			
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STAMP			
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PROJ. # : ###			
PRODUCT NAME: VILLAS DE LAS SOLERAS PHASE 3			
SHEET TITLE: COMPOSITE UTILITY PLAN			
SUBMITTED FOR: PRELIMINARY PLAN			
SHEET NUMBER: C-112			



WATER METER SERVICE DETAIL
(NTS)

NOTE
DETAIL FOR INSTALL LOCATION OF WATER METER ONLY. STANDARD DRAWING TO BE USED FOR INSTALL OF WATER METER BOXES AND CONSTRUCTION OF CONCRETE FRAMES.

SHEET NUMBER:

C-113

SUBMITTED FOR:

PRELIMINARY PLAT

SHEET TITLE:

UTILITY SERVICE TABLES

PROJECT NAME:

VILLAS DE LAS SOLERAS PHASE 3

PROJ. #: ###



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

PRELIMINARY
NOT FOR CONSTRUCTION
7/2021

STAMP

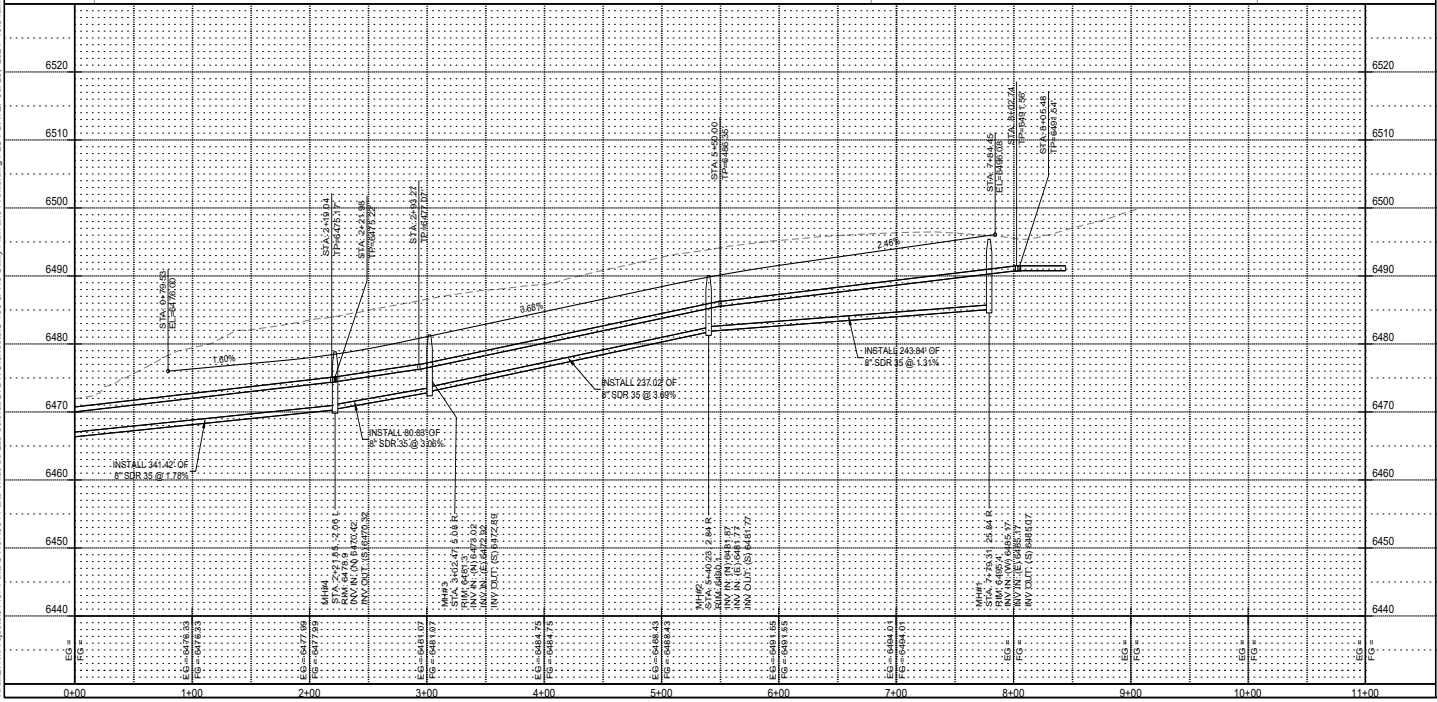
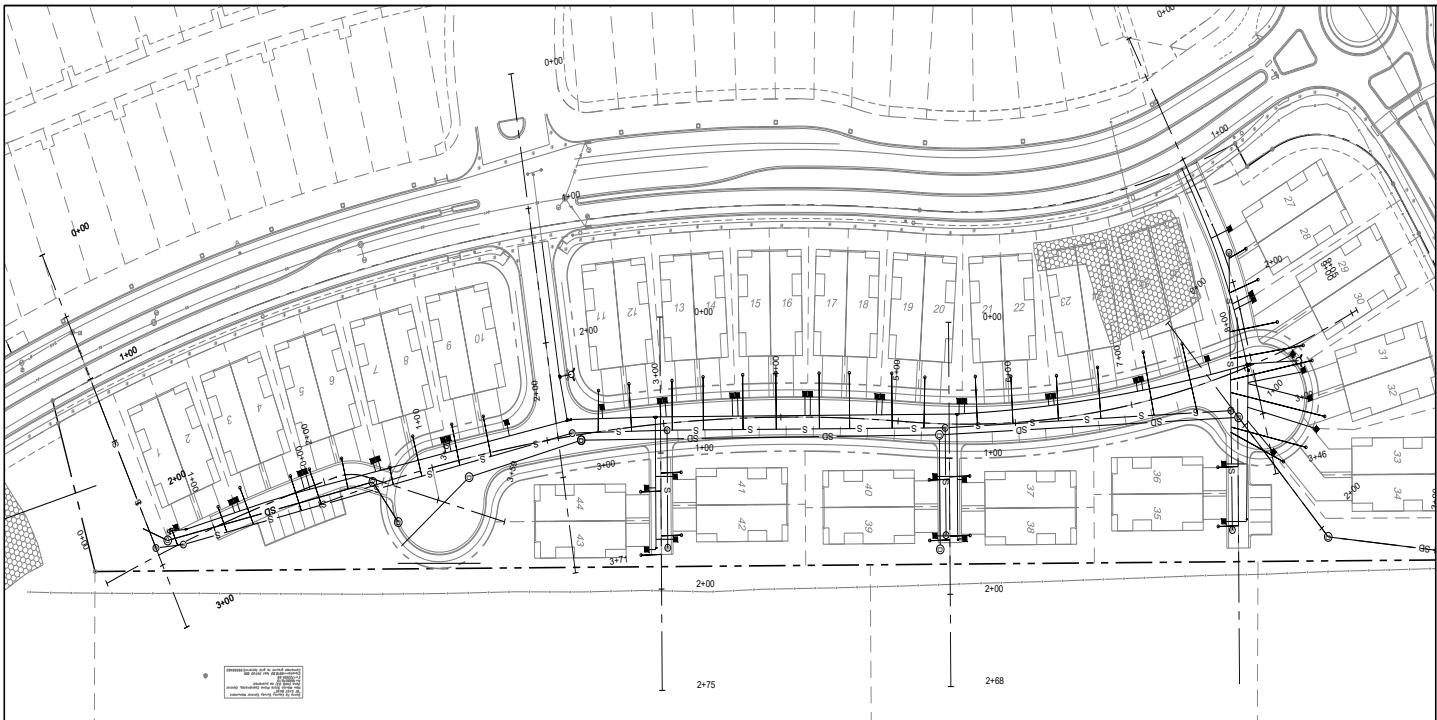


DESIGNED BY: [Blank]
DRAWN BY: [Blank]
CHECKED BY: [Blank]
DATE: 7.12.2021

REVISION

NO.	DESCRIPTION	DATE

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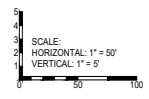


GENERAL NOTES

1. ALL STATIONS AND OFFSETS ARE TO THEORETICAL FACE OF CURB (FLOWLINE) PER COA STD DWG 2415, UNLESS OTHERWISE INDICATED.
2. SEE SHEET 27 FOR SEWER SERVICE INVERT TABLES.

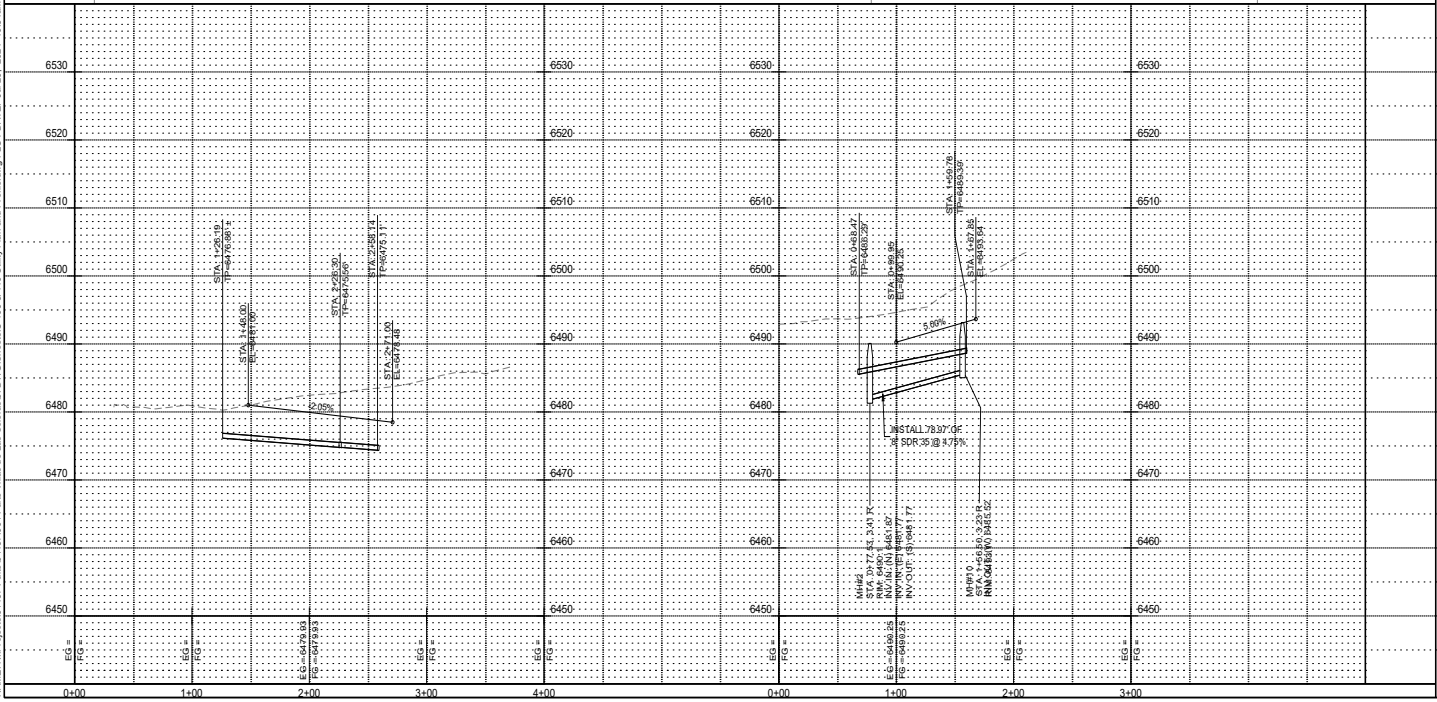
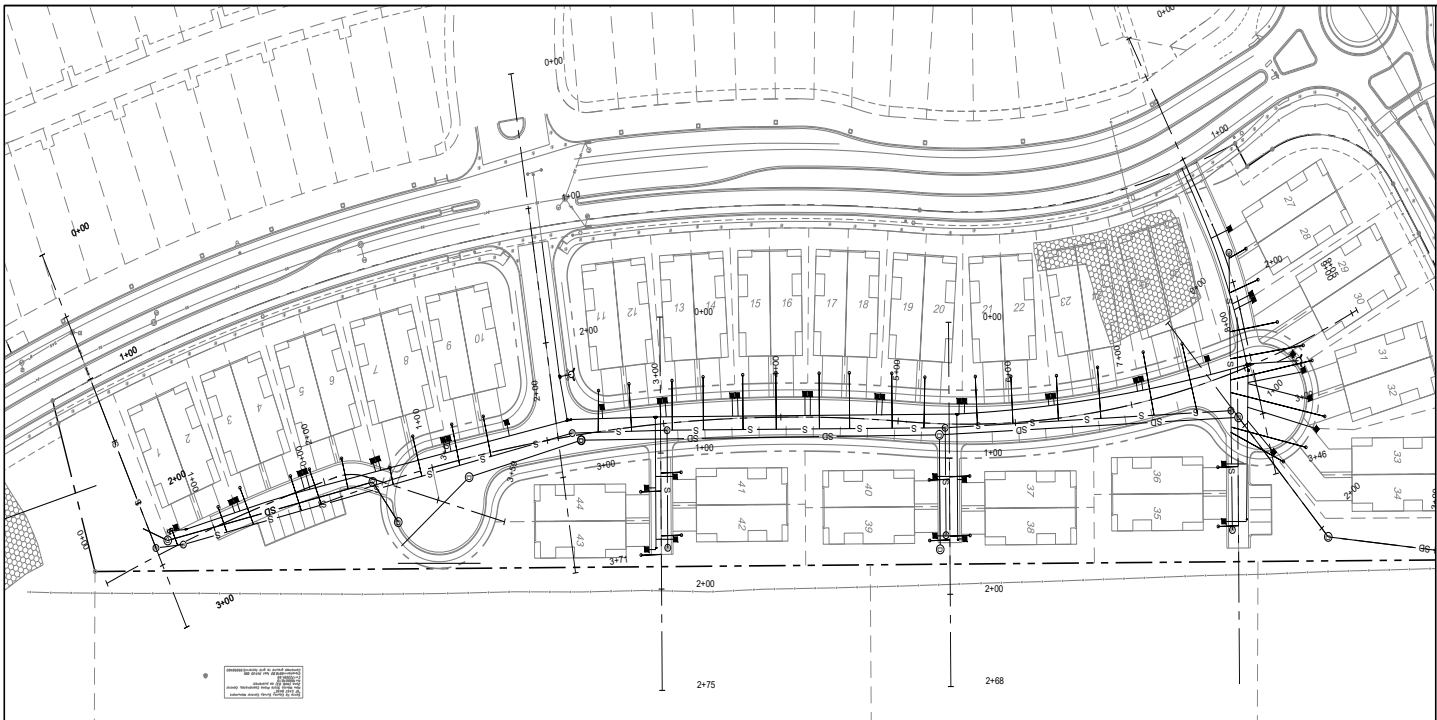
LEGEND

- WATERLINE
- SANITARY SEWER LINE
- STORMDRAIN LINE
- WATER VALVE
- REDUCER
- FIRE HYDRANT
- 3/4\"/>



DESIGNED BY DRAWN BY CHECKED BY DATE	 RESPIC COMMUNITY DESIGN SOLUTIONS 4000 W. 10TH AVENUE, SUITE 100 DENVER, CO 80202	PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3	SHEET TITLE: UTILITY PLAN AND PROFILE	SHEET NUMBER: C-114	REVISION <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>								
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NAME: N:\Projects\104107_Plan\104107_004_Plan_Village.dwg; Soleras3_DWGSheetC-109 & 110_Utility Plan and Profile.dwg; PLOT DATE: Jul 20, 2021 10:25 am

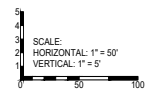


GENERAL NOTES

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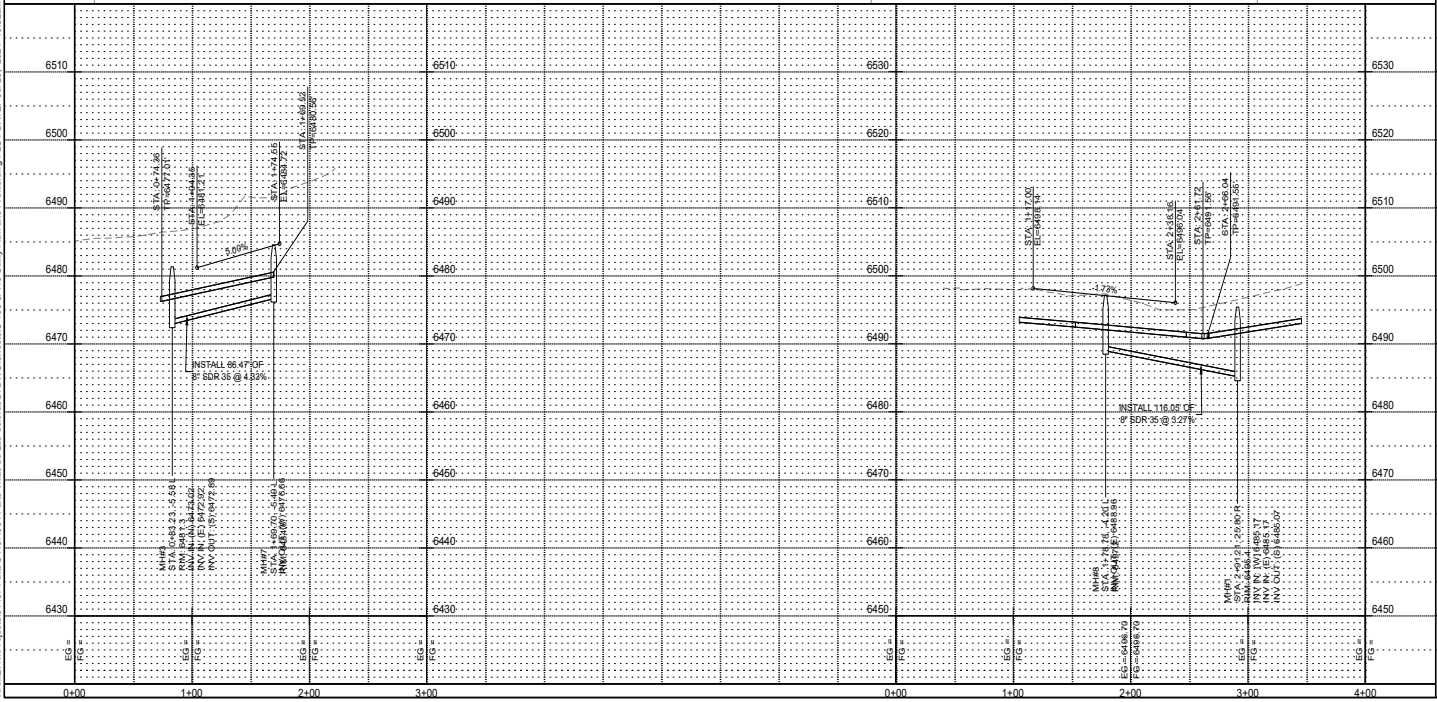
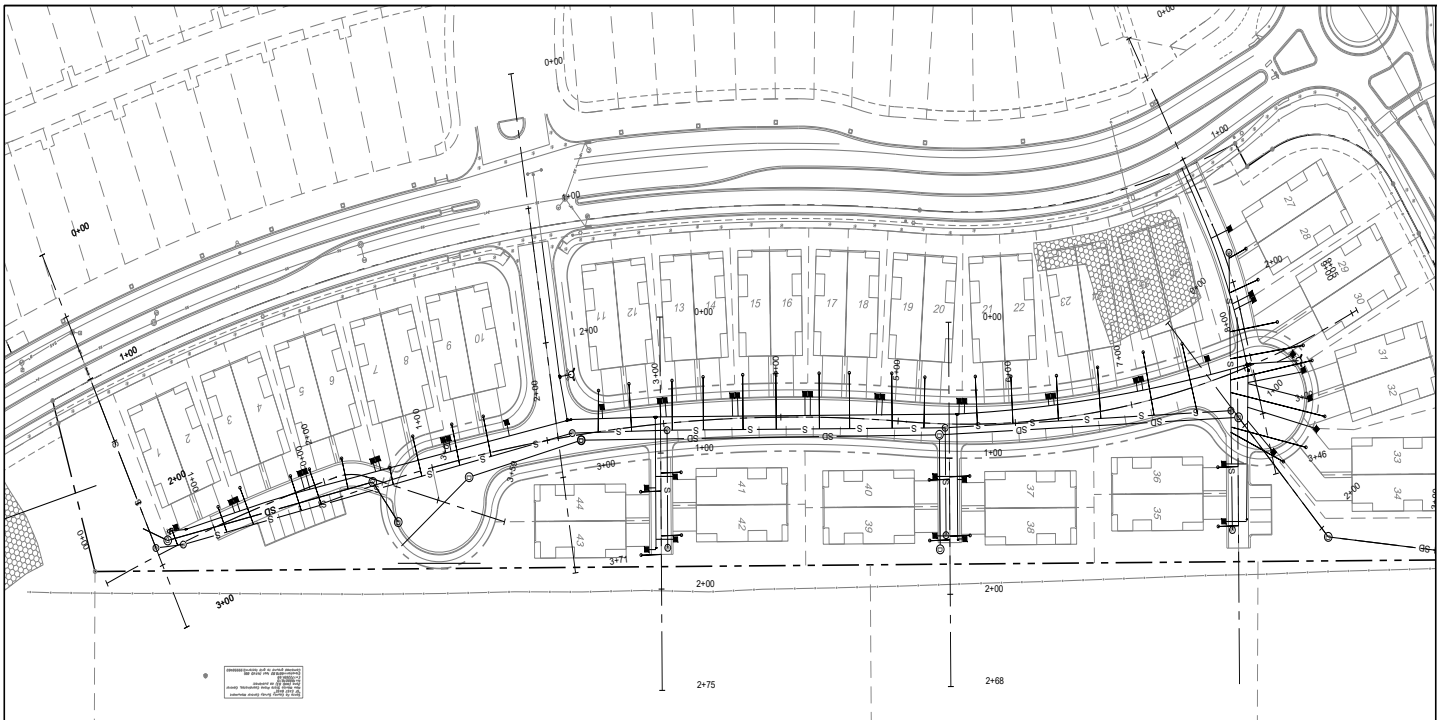
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- WATERLINE — W —
- SANITARY SEWER LINE — S —
- STORMDRAIN LINE — SD —
- WATER VALVE — [Symbol] —
- REDUCER — [Symbol] —
- FIRE HYDRANT — [Symbol] —
- 3/4" SINGLE WATER SERVICE, U.N.O. — [Symbol] —
- 3/4" DOUBLE WATER SERVICE, U.N.O. — [Symbol] —
- SAS MANHOLE — [Symbol] —
- SANITARY SEWER SERVICE — [Symbol] —



DESIGNED BY DRAWN CHECKED BY DATE	 RESPEC COMMUNITY DESIGN SOLUTIONS 4000 W. 10TH AVENUE, SUITE 100 DENVER, CO 80202 WWW.RESPEC.CO	PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3	SHEET TITLE: UTILITY PLAN AND PROFILE	SUBMITTED FOR: PRELIMINARY PLAN	SHEET NUMBER: C-115
STAMP PRELIMINARY NOT FOR CONSTRUCTION 2/2021 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED	 www.what811.com Call before you dig.				

NAME: N:\Projects\104107_Plan\104107_004_Plan.dwg; User: dca; Job: Soleras3; DWG(S)SheetC: 109 & 110; Utility Plan and Profile; Plot DATE: Jul 20, 2021 10:25am

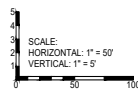


GENERAL NOTES

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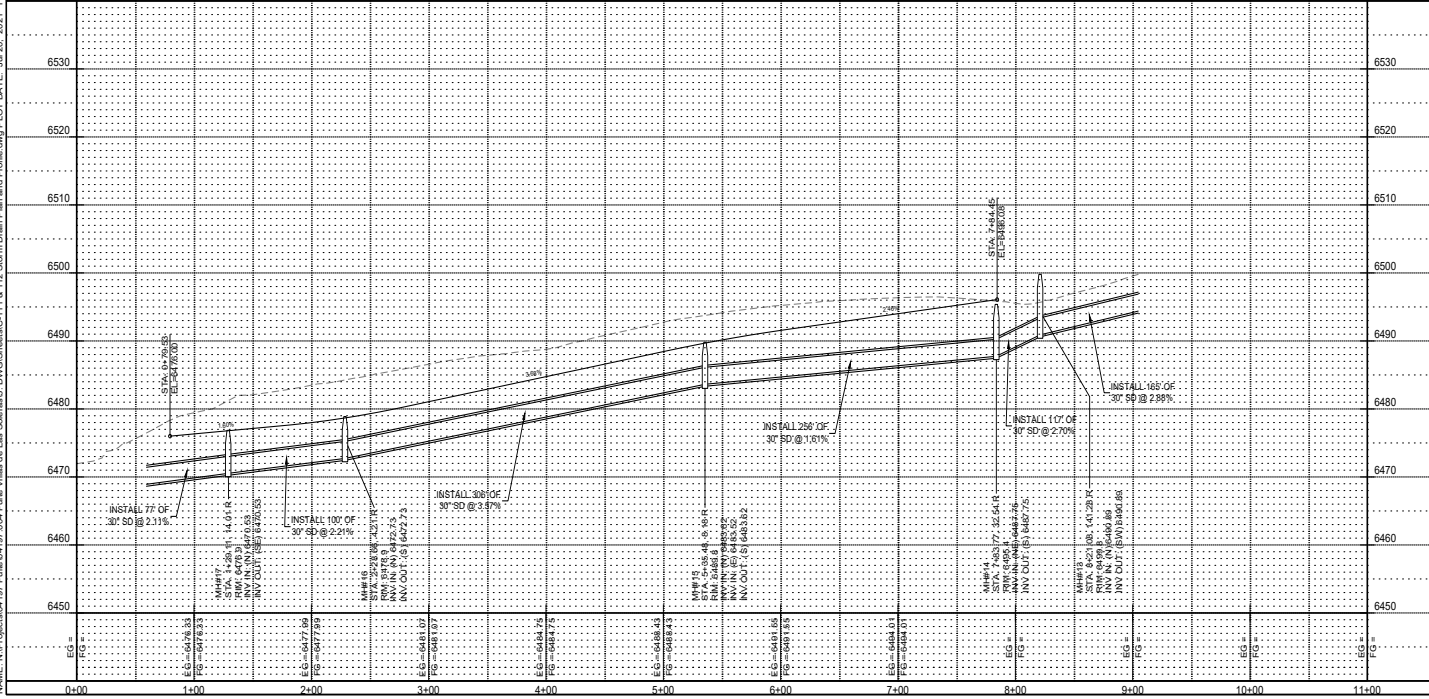
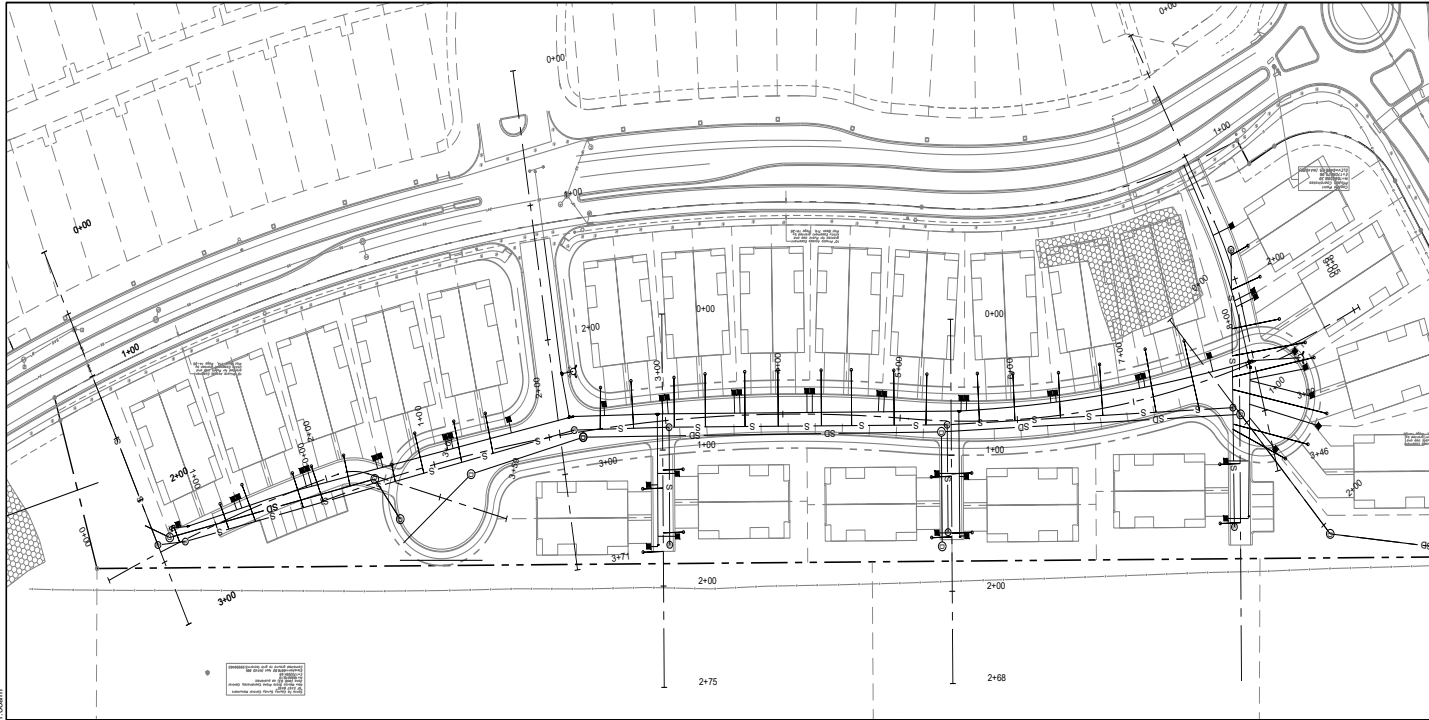
LEGEND

- WATERLINE
- SANITARY SEWER LINE
- STORMDRAIN LINE
- WATER VALVE
- REDUCER
- FIRE HYDRANT
- 3/4" SINGLE WATER SERVICE, U.N.O.
- 3/4" DOUBLE WATER SERVICE, U.N.O.
- SAS MANHOLE
- SANITARY SEWER SERVICE

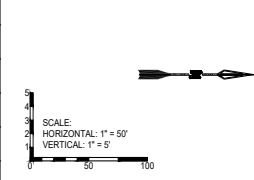
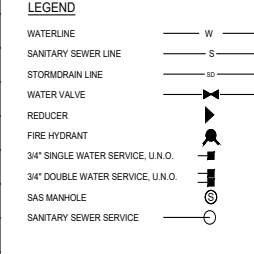


<p>RESPEC COMMUNITY DESIGN SOLUTIONS A BOUTIQUE ARCHITECTURE FIRM WWW.RESPESCFIRM.COM</p>	<p>DESIGNED BY DRAWN BY CHECKED BY DATE</p>	<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>								
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<p>www.what8you.dis Call before you dig.</p>										
<p>PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3</p>										
<p>SHEET TITLE: UTILITY PLAN AND PROFILE</p>										
<p>SUBMITTED FOR: PRELIMINARY PLAT</p>										
<p>SHEET NUMBER: C-117</p>										

NAME: N:\Projects\104107_Plan\104107_004_Plan_Village de Las Soleras3_DWG\Sheet\CC-111 & 112 Storm Drain Plan and Profile.dwg PLOT DATE: Jul 20, 2021 11:08am

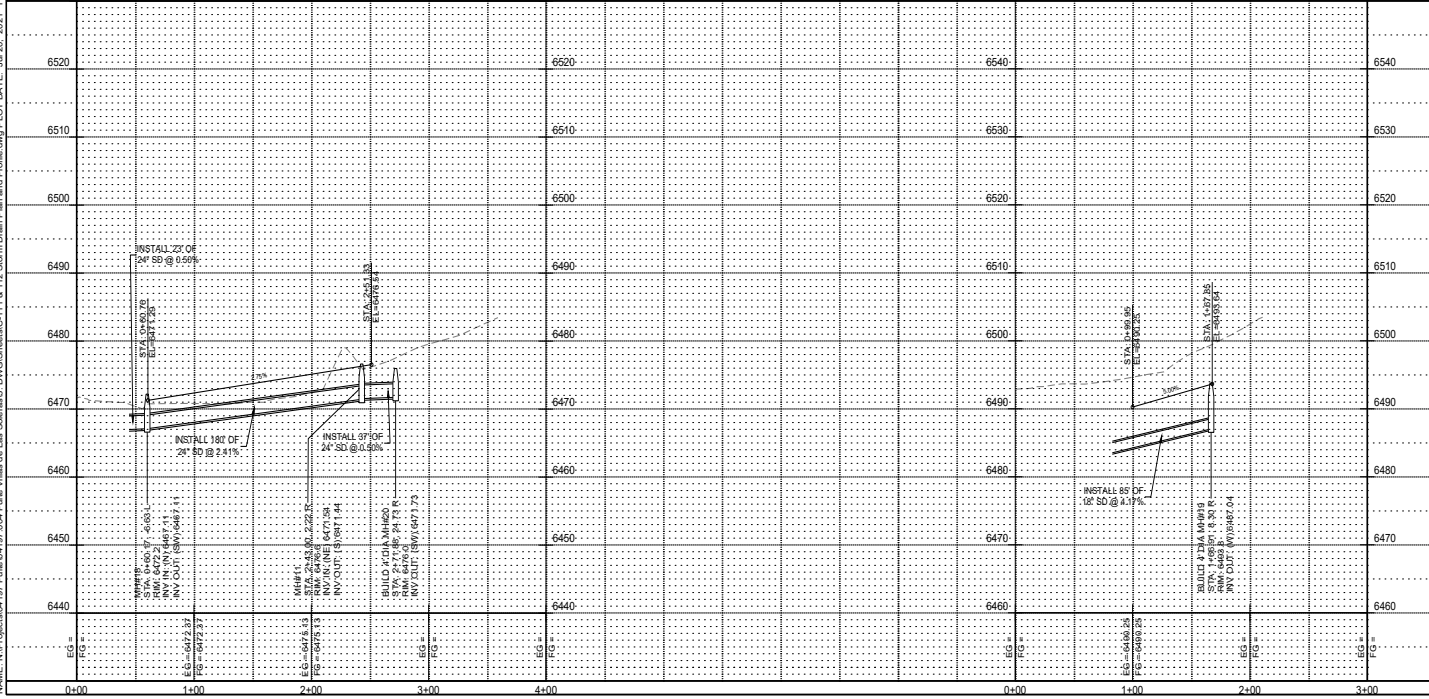
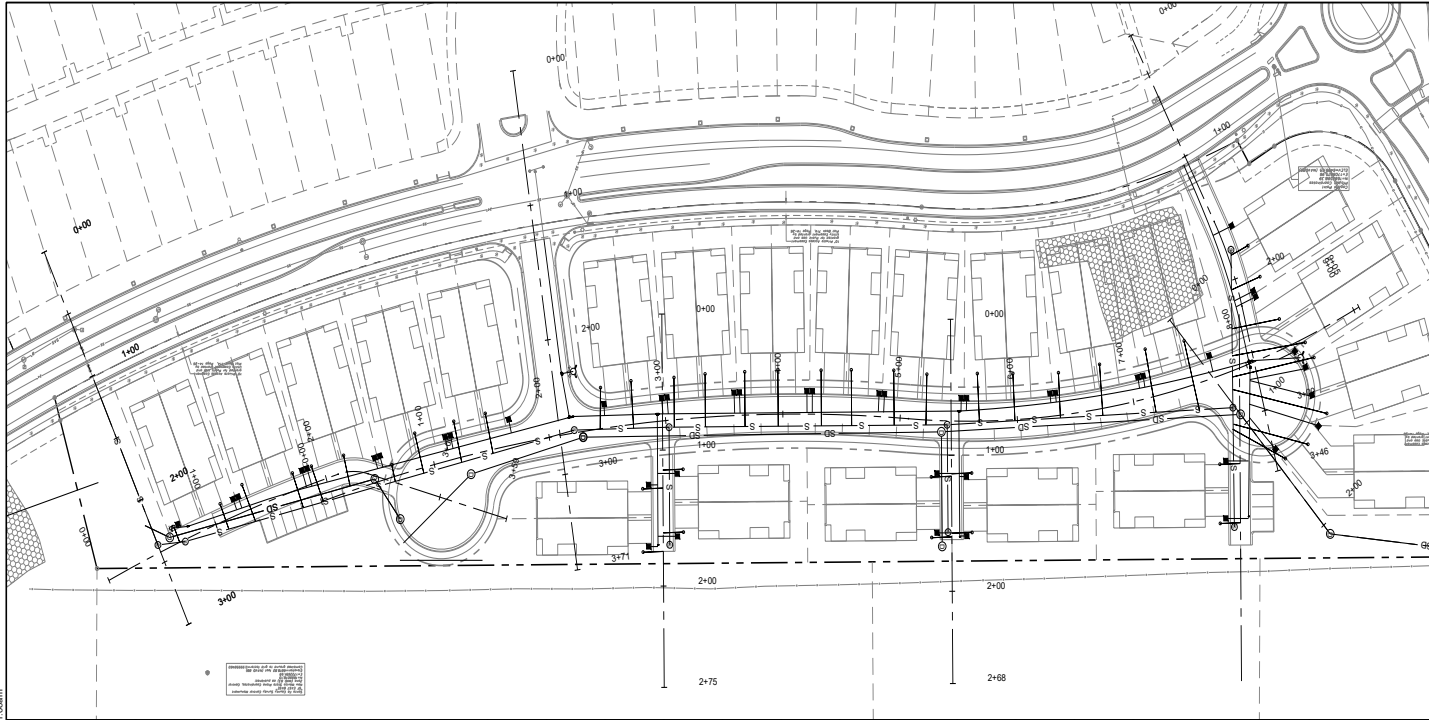


- GENERAL NOTES**
- ALL STATIONS AND OFFSETS ARE TO THEORETICAL FACE OF CURB (FLOWLINE) PER COA STD DWG 2415, UNLESS OTHERWISE INDICATED.
 - SEE SHEET 27 FOR SEWER SERVICE INVERT TABLES.

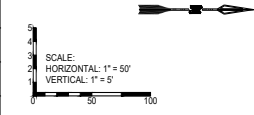
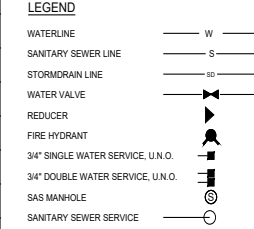


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<p style="text-align: center; font-size: small;">RESPES COMMUNITY DESIGN SOLUTIONS A BOUTIQUE ARCHITECTURE FIRM WWW.RESPES.COM (800)555-9715</p>							
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<p>PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3</p>							
<p>SHEET TITLE: STORM DRAIN PLAN AND PROFILE</p>							
<p>SHEET NUMBER: C-118</p>							

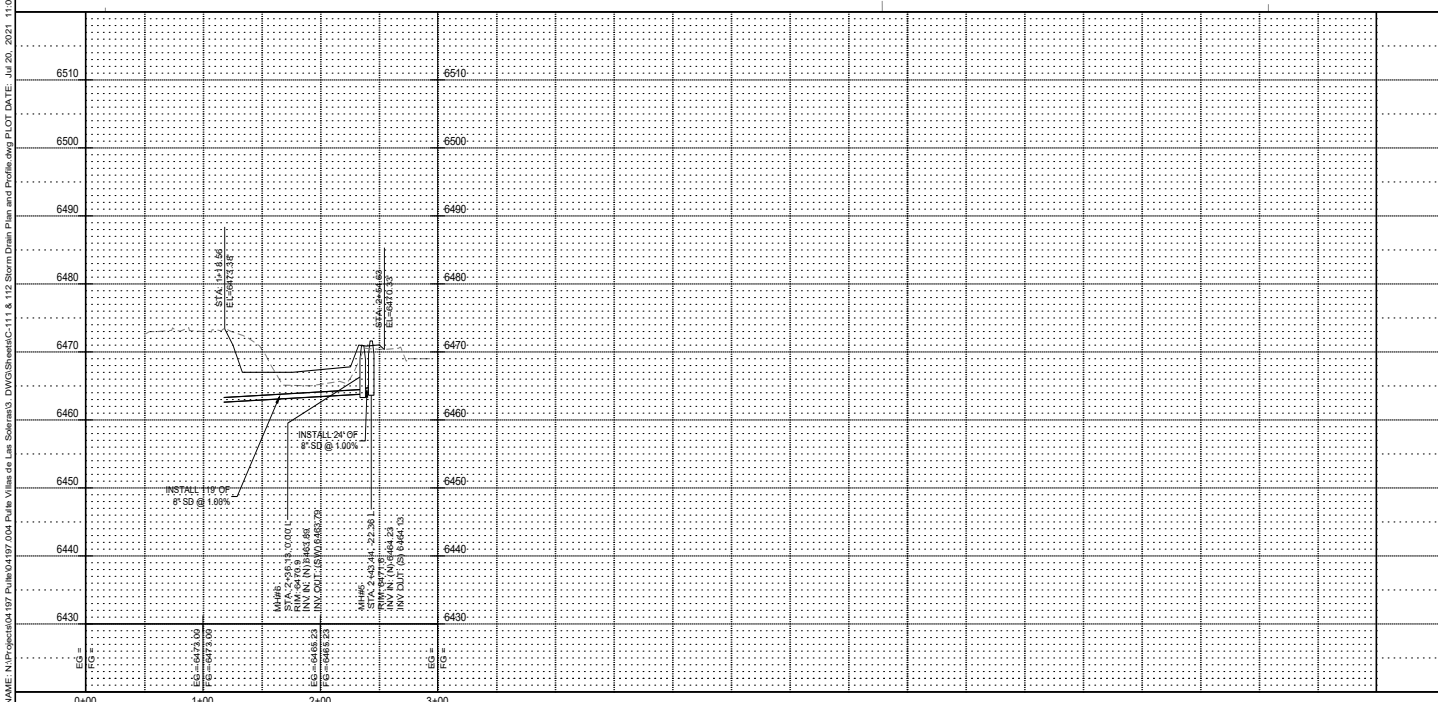
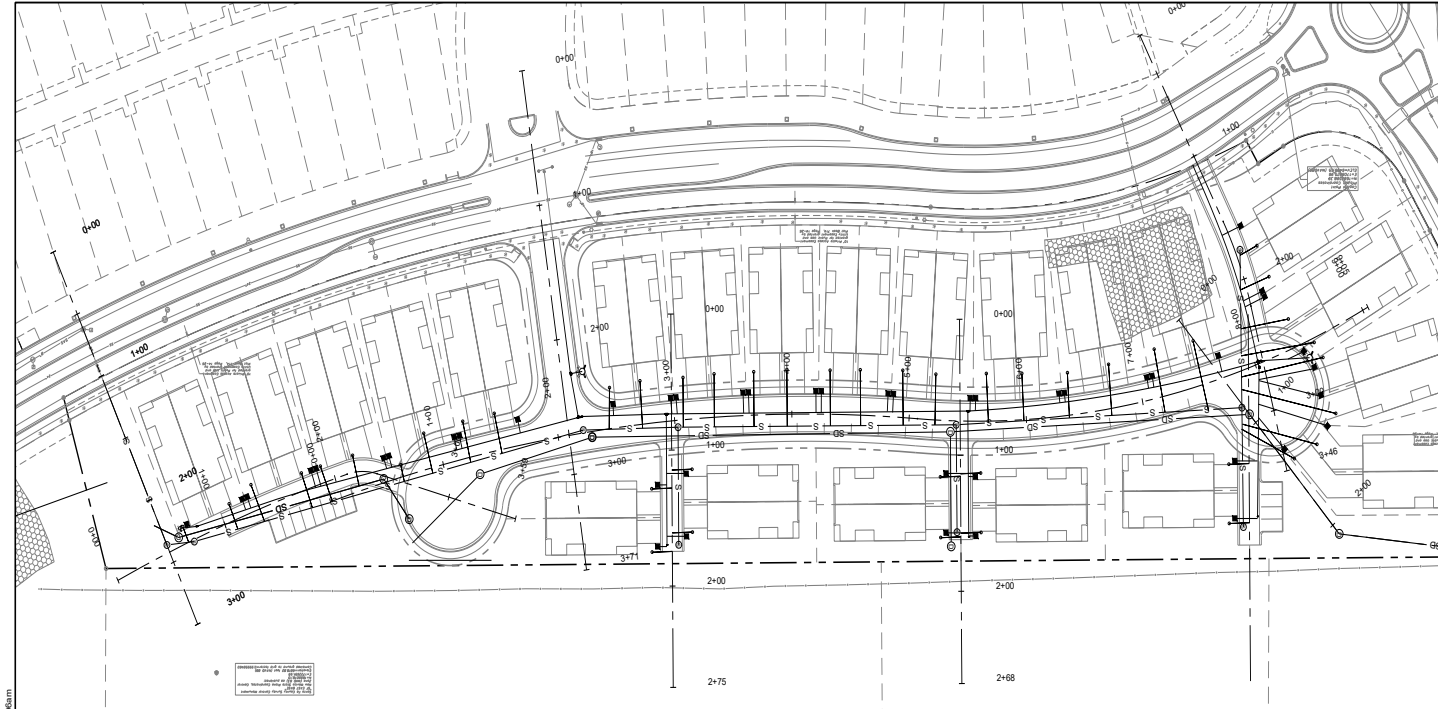
NAME: N:\Projects\104107_Plan\104107_004_Plan_Village de Las Soleras3_DWG\Sheet\CC-111_&112_Storm_Drain_Plan_and_Profile.dwg PLOT DATE: Jul 20, 2021 11:08am



- GENERAL NOTES**
1. ALL STATIONS AND OFFSETS ARE TO THEORETICAL FACE OF CURB (FLOWLINE) PER COA STD DWG 2415, UNLESS OTHERWISE INDICATED.
 2. SEE SHEET 27 FOR SEWER SERVICE INVERT TABLES.



DESIGNED BY DRAWN BY CHECKED BY DATE	 COMMUNITY DESIGN SOLUTIONS ALL MATERIALS AND METHODS TO BE INDICATED ON DRAWING	REVISION _____ _____ _____
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PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3		
SHEET TITLE: STORM DRAIN PLAN AND PROFILE		
SHEET NUMBER: C-119		



NAME: N:\Projects\104107_Plan\104107_004_Plan_Vill-de-Las-Soleras\3_DWG\Sheet\CC-111_&112_Storm_Drain_Plan_and_Profile.dwg PLOT DATE: Jul 20, 2021 11:08am

DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: 7.20.2021

RESPEC
 COMMUNITY DESIGN SOLUTIONS
 ALL MATERIALS AND METHODS TO BE
 APPROVED BY THE LOCAL HEALTH DEPARTMENT

RESPEC

STAMP

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PROJECT NAME: VILLAS DE LAS SOLERAS PHASE
 SHEET NUMBER: 3

STORM DRAIN PLAN
 AND PROFILE

PRELIMINARY PLAN

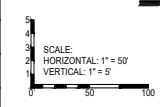
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GENERAL NOTES

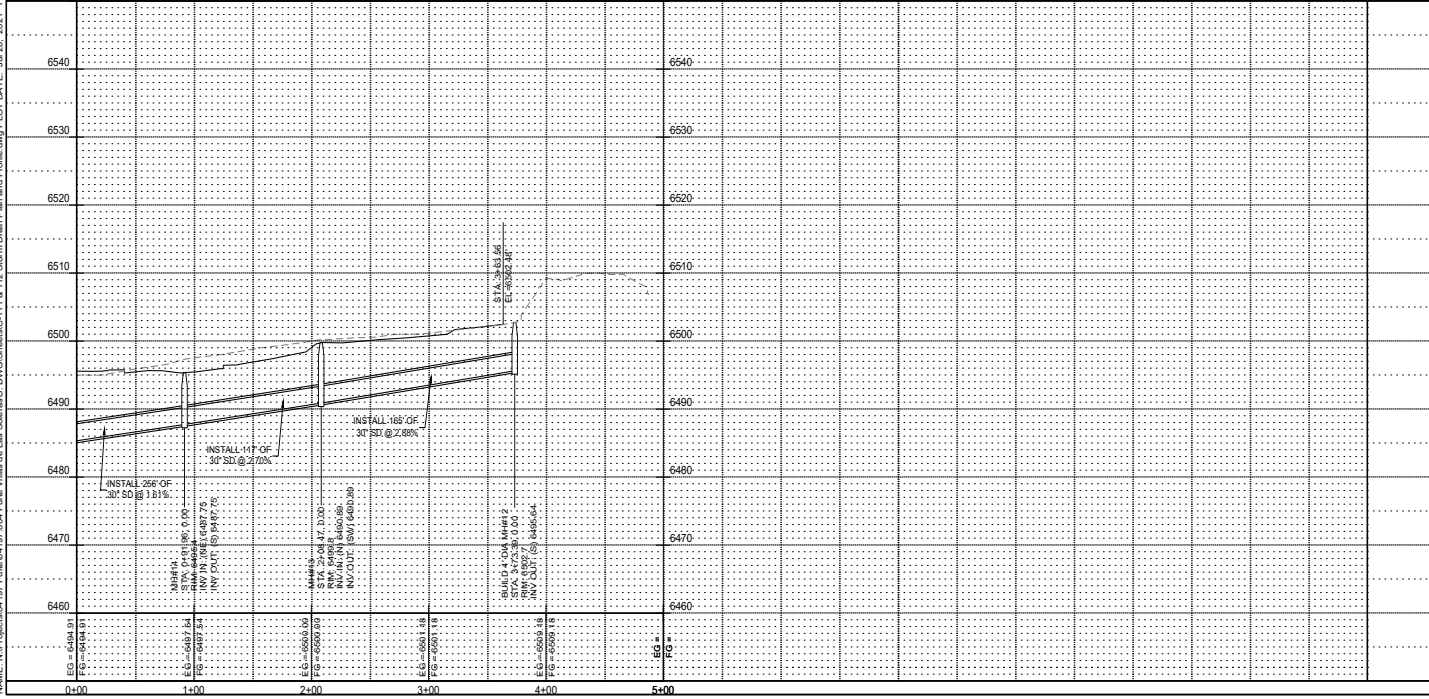
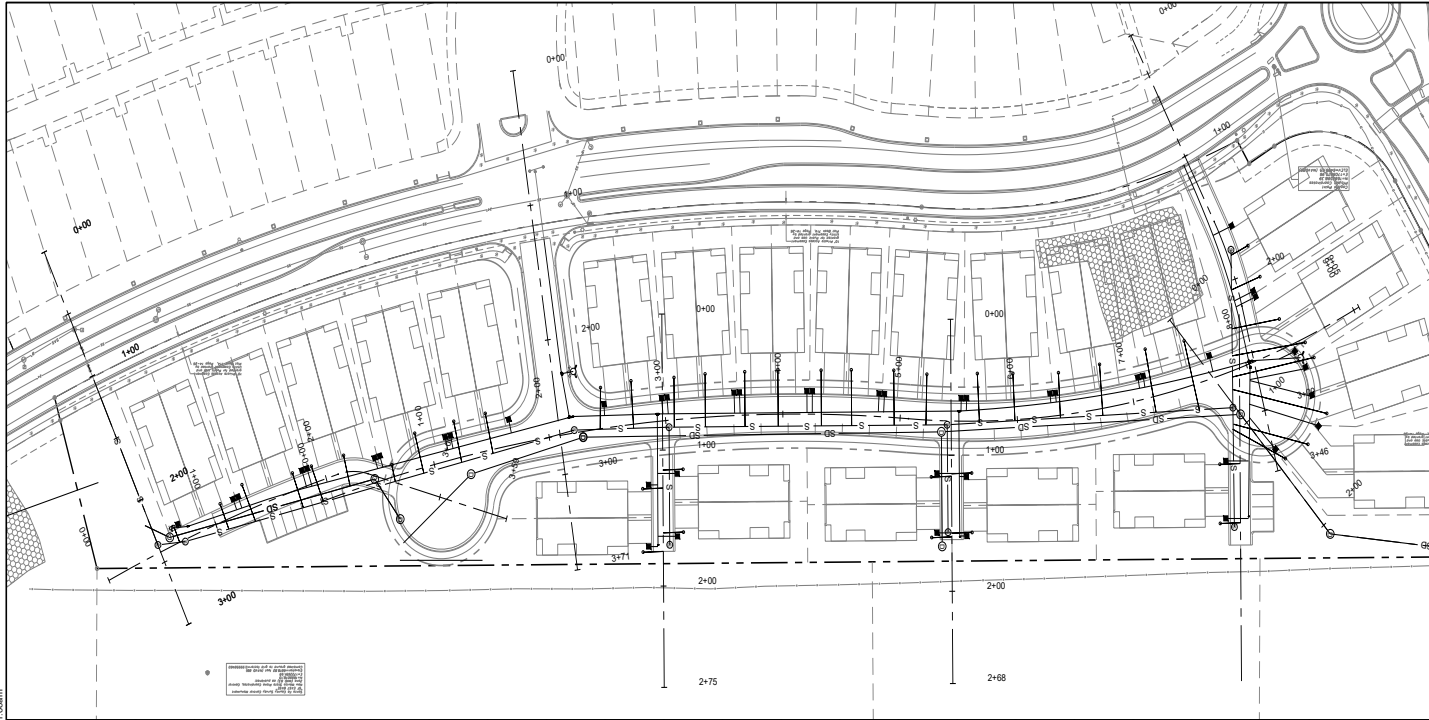
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LEGEND

- WATERLINE — W —
- SANITARY SEWER LINE — S —
- STORM DRAIN LINE — SD —
- WATER VALVE — [Symbol]
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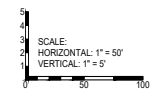
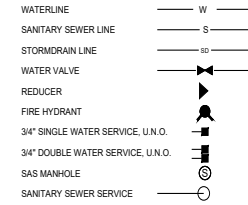
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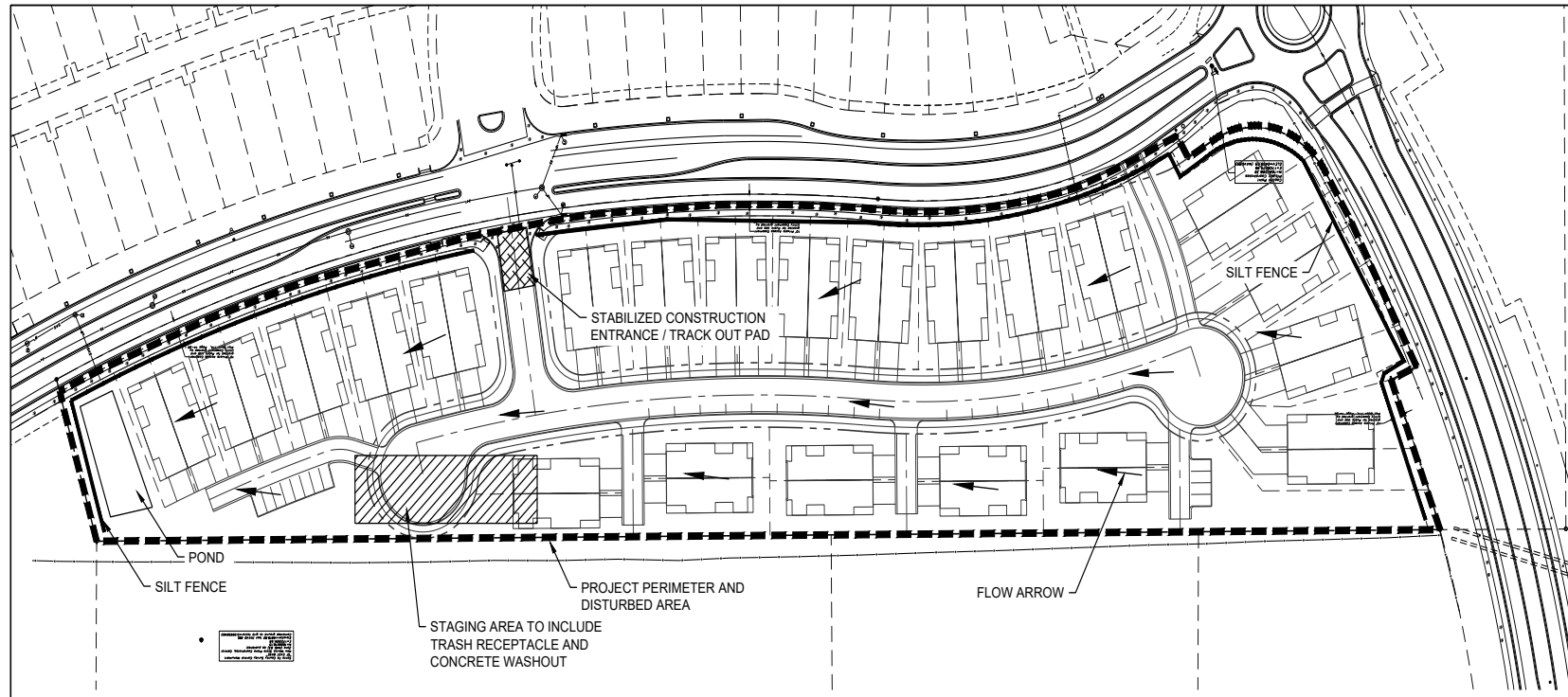
GENERAL NOTES

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2. SEE SHEET 27 FOR SEWER SERVICE INVERT TABLES.

LEGEND



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SHEET TITLE: STORM DRAIN PLAN AND PROFILE									
SUBMITTED FOR: PRELIMINARY PLAT									
SHEET NUMBER: C-121									



**STORM WATER POLLUTION PREVENTION PLAN:
VILLAS DE LASOLERAS PHASE 3
SANTA FE, NEW MEXICO**

SITE AND PROJECT DESCRIPTION
THE EXISTING SITE IS DISTURBED EARTHWORK IN SUPPORT OF THE CONSTRUCTION FOR VILLAS DE LAS SOLERAS PHASES 1 AND 2. THERE IS AN ARROYO SOUTH OF THE SITE.

LOCATION:
TRACT 13, ROSS'S PEAK HOLDING LTD. CO
SECTION 7 AND 18, TOWNSHIP 16 NORTH, RANGE 9 EAST
CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO

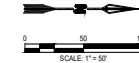
6.79 ACRES

BMP NOTES

1. DISTURBED AREAS SHALL BE PROTECTED FROM EROSION DURING CONSTRUCTION BY MEANS ADEQUATE TO RETAIN SOIL ON SITE.
2. EXCEPT AS NECESSARY TO INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES, LAND SHALL NOT BE GRADED OR CLEARED UNTIL ALL SUCH TEMPORARY DEVICES HAVE BEEN PROPERLY INSTALLED AND INSPECTED. CONTROL DEVICES SHALL BE KEPT IN PLACE AND USED UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
3. SIGNIFICANT TREES, AREAS WITH SUBSTANTIAL GRASS COVERAGE, AND DRAINAGE WAYS THAT RE TO REMAIN UNDISTURBED SHALL BE FENCED OFF PRIOR TO THE USE OF ANY HEAVY MACHINERY ON SITE AND DURING THE ENTIRE CONSTRUCTION PROCESS. FENCING SHALL BE PLACED FIVE FEET TO THE OUTSIDE OF THE DRIP LINE OF SIGNIFICANT TREES.
4. SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION THROUGHOUT CONSTRUCTION BY USING APPROPRIATE EROSION CONTROL TECHNIQUES. STAGING AND SOIL STOCKPILE AREAS SHALL BE CLEARLY DESIGNATED ON THE SITE. ALL TOPSOIL SHALL BE KEPT ON SITE, WITHIN THE DISTURBANCE ZONE OF CONSTRUCTION, AND REINTRODUCED IN TO PLANTING AREAS TO THE EXTENT POSSIBLE. THERE ARE NO SOIL STOCKPILES ASSOCIATED WITH THIS PROJECT.
5. WATER DOWN EXPOSED AREAS IS REQUIRED TO PREVENT THE BLOWING OF DUST OR SEDIMENT.
6. PROTECTION FROM STORM DRAIN INLETS SHALL BE PROVIDED TO PREVENT THE ENTRY OF SEDIMENT WHILE STILL ALLOWING THE ENTRY OF STORM WATER.
7. EROSION AND SEDIMENT CONTROL SHALL BE ACCOMPLISHED BY WATERING AND/OR FIBER MULCH WITH TACKIFIER.
8. ALL CONSTRUCTION TRAFFIC SHALL USE TIRE WASHES.

MAINTENANCE RESPONSIBILITIES AND INSPECTIONS

1. DISTURBED AREAS, STABILIZATION AND STRUCTURAL CONTROL MEASURES SHALL BE INSPECTED AS REQUIRED AND AT LEAST ONCE EVERY TWO WEEKS, AND WITHIN 24 HOURS OR THE NEXT WORKING DAY OF THE END OF A STORM EVENT. IF A PORTION OF THE SITE HAS BEEN FINALLY OR TEMPORARILY STABILIZED, AND RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS, OR DURING SEASONAL ARID PERIODS, INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. THE STORM WATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN GOOD CONDITION AND PROMPTLY REPAIRED TO ENSURE THAT THE SYSTEM IS MAINTAINED IN PROPER WORKING CONDITION.
3. IF AFTER NOTICE BY THE CITY TO CORRECT A VIOLATION REQUIRING MAINTENANCE OF WORK, SATISFACTORY CORRECTIONS ARE NOT MADE WITHIN A REASONABLE PERIOD OF TIME, THE CITY MAY PERFORM ALL NECESSARY WORK TO PLACE THE FACILITY IN PROPER WORKING CONDITION. THE CONTRACTOR SHALL BE ASSESSED THE ASSOCIATED COSTS OF THE WORK.



NAME: N:\Projects\104107_Plan\104107_Plan_Village.dwg User: Saramon3 DWG: Saramon3_C:122 SWPPP.dwg PLOT DATE: Jul 12, 2021 12:32pm

DESIGNED JS DRAWN JLM CHECKED JLM DATE 7.12.2021	 COMMUNITY DESIGN SOLUTIONS 4000 RIVERVIEW DRIVE, SUITE 100 SANTA FE, NM 87505	REVISION <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>								
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 know what's below. Call before you dig.										
PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3		SHEET NUMBER: 3								
SUBMITTED FOR: PRELIMINARY PLAN										
SHEET TITLE: TEMPORARY EROSION CONTROL PLAN										
SHEET NUMBER: C-122										

GENERAL NOTES

1. CONTRACTOR SHALL NOTIFY THE SANGRE DE CRISTO WATER (SDCW) FIVE (5) DAYS PRIOR TO COMMENCEMENT OF WORK.
2. CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE SDCW CONSTRUCTION STANDARDS AND SPECIFICATIONS.
3. ALL EASEMENTS SHALL BE DEDICATED, CLEARED, GRADED AND STAKED PRIOR TO WATER LINE INSTALLATION.
4. ALL STREETS SHALL BE CUT TO WITHIN ±6" OF FINAL GRADE PRIOR TO WATER LINE INSTALLATION.
5. LOT CORNERS SHALL BE STAKED PRIOR TO SERVICE LINE INSTALLATION. CURB, GUTTER AND DRIVEWAY APRON SHALL BE INSTALLED PRIOR TO SERVICE LINE INSTALLATION UNLESS OTHERWISE APPROVED IN WRITING BY SDCW.
6. CONTRACTOR (DEVELOPER) SHALL PROVIDE CONSTRUCTION STAKING UTILIZING THE APPROPRIATE RIGHT-OF-WAY MAPS, SIGNED PLATS AND SDCW DRAWINGS.
7. MATERIAL SUBMITTALS SHALL BE APPROVED BY SDCW PRIOR TO CONSTRUCTION.
8. CONTACT **NEW MEXICO ONE CALL AT 811** TWO (2) WORKING DAYS IN ADVANCE OF CONSTRUCTION FOR UTILITY SPOTS.
9. PRESSURE REGULATORS SHALL BE INSTALLED ON ALL SERVICES DOWNSTREAM FROM THE METER.
10. A MINIMUM OF 4 FEET COVER TO TOP OF PIPE SHALL BE MAINTAINED ON ALL WATER MAINS AND SERVICES.
11. CONTRACTOR SHALL SUBMIT AS-BUILT CONSTRUCTION PACKET WITHIN FIVE (5) DAYS OF COMPLETION OF CONSTRUCTION INCLUDING: VALVE TIES, AS-BUILT DRAWINGS (INCLUDING, BUT NOT LIMITED TO: FITTING-TO-FITTING MEASUREMENTS, SERVICE-TO-SERVICE MEASUREMENTS, CENTER OF MAIN TO CENTER OF SERVICE MEASUREMENTS, LENGTH OF MAIN INSTALLED, FITTINGS INSTALLED, ETC.) AND POTABILITY RESULTS.
12. ALL VALVE BOXES SHALL BE BROUGHT UP TO GRADE AFTER FIRST COURSE OF ASPHALT AND BEFORE FINAL COURSE OF ASPHALT.
13. FIRE HYDRANTS SHALL BE NUMBERED USING REFLECTIVE NUMERALS. THE REFLECTIVE NUMERALS SHALL BE OBTAINED BY THE CONTRACTOR FOR THE SDCW FIELD REPRESENTATIVE AT THE TIME THE NOTICE TO PROCEED (NTP) IS ISSUED. NUMBERS SHALL BE LEGIBLE FROM THE ROAD. PRIOR TO INSTALLING NUMBERS, FIRE HYDRANTS SHALL BE PAINTED.
14. A MECHANICAL RESTRAINT SYSTEM SHALL BE UTILIZED ON FITTINGS AND PIPING FOR THRUST RESTRAINT. CONCRETE THRUST BLOCKING SHALL BE USED ONLY FOR SPECIAL CONDITIONS (E.G. CAPS WHERE MAIN WILL BE EXTENDED IN THE FUTURE) AS SPECIFICALLY APPROVED BY SDCW.
15. ANY FIELD CHANGES TO THESE PLANS REQUIRE APPROVAL OF BOTH THE DESIGN ENGINEER AND SDCW.
16. WORK ON SDCW FACILITIES SHALL NOT BEGIN UNTIL SDCW HAS ISSUED A NTP TO THE APPROVED UTILITY CONTRACTOR.



SANGRE DE CRISTO WATER DIVISION
CITY OF SANTA FE, NEW MEXICO
STANDARD DETAILS

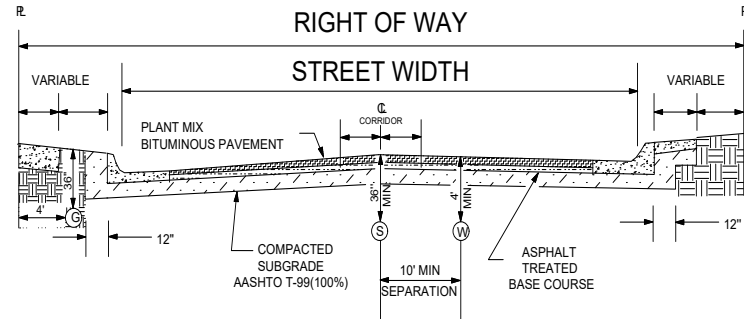


GENERAL NOTES

DRAWN BY:	DATE: 09/2008
CHECKED:	SCALE:
APPROVED:	

01

TYPICAL UTILITIES SEPARATION DETAIL/DWG. # SAS-12



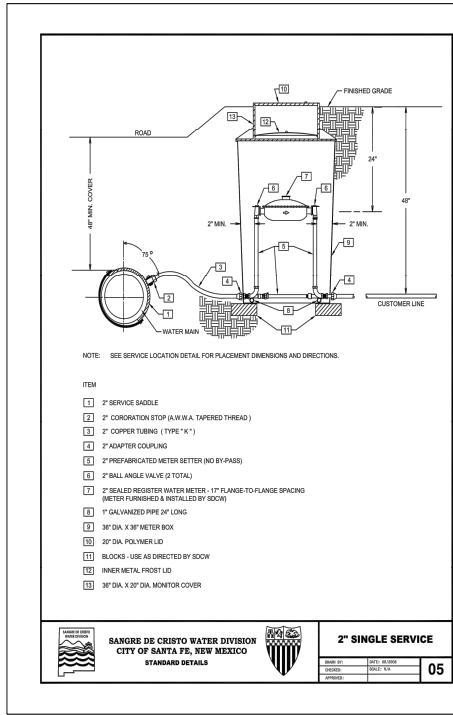
LEGEND

- ⊙ SEWER R PROPERTY LINE
- ⊙ GAS C CENTER LINE
- ⊙ WATER

NOT TO SCALE

DESIGNED BY DRAWN BY CHECKED BY DATE	DESIGNED BY DRAWN BY CHECKED BY DATE	REVISION <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>							STAMP <div style="text-align: center; color: red; font-weight: bold;">PRELIMINARY NOT FOR CONSTRUCTION</div> <p style="font-size: 8pt;">THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p> <p style="font-size: 8pt;">www.whatsbelow.com Call before you dig.</p>
PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3		SHEET TITLE: UTILITIES DETAILS							
SUBMITTED FOR: PRELIMINARY PLAT		SHEET NUMBER: C-500							

NAME: N:\DWGProject\04107_Plan\04107_004_Plan_Water.dwg; User: Sarama3; DWG(S)SheetID: 500; Details; Plot DATE: Jul 12, 2021 12:23pm



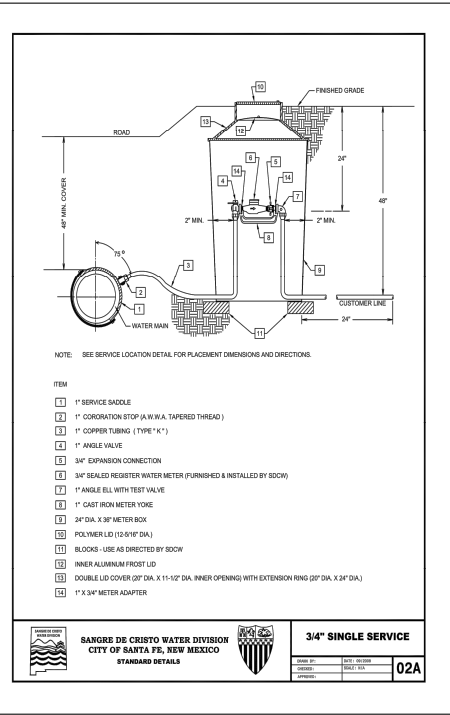
- NOTE: SEE SERVICE LOCATION DETAIL FOR PLACEMENT DIMENSIONS AND DIRECTIONS.
- ITEM
- 1 2" SERVICE SADDLE
 - 2 1" CORPORATION STOP (A/W I.W.A. TAPERED THREAD)
 - 3 2" COPPER TUBING (1" TYPE 'K')
 - 4 2" ADAPTER COUPLING
 - 5 2" PREFABRICATED METER BELL (NO BY-PASS)
 - 6 2" BALL ANGLE VALVE (2 TOTAL)
 - 7 2" SEALED REGISTER WATER METER - 1" FLANGE TO FLANGE SPACING (METER FURNISHED & INSTALLED BY SDCW)
 - 8 1" GALVANIZED PIPE 24" LONG
 - 9 3/4" DIA. X 3/8" METER BOX
 - 10 2" DIA. POLYMER LID
 - 11 BLOCKS - USE AS DIRECTED BY SDCW
 - 12 INNER METAL FRONT LID
 - 13 3/8" DIA. X 3/8" DIA. MONITOR COVER

SANGRE DE CRISTO WATER DIVISION
CITY OF SANTA FE, NEW MEXICO
STANDARD DETAILS

2" SINGLE SERVICE

DATE: 07/12/2021
BY: SARAMA3
CHECKED: SARAMA3
DATE: 07/12/2021

105



- NOTE: SEE SERVICE LOCATION DETAIL FOR PLACEMENT DIMENSIONS AND DIRECTIONS.
- ITEM
- 1 1" SERVICE SADDLE
 - 2 1" CORPORATION STOP (A/W I.W.A. TAPERED THREAD)
 - 3 1" COPPER TUBING (1" TYPE 'K')
 - 4 1" ANGLE VALVE
 - 5 3/4" EXPANSION CONNECTION
 - 6 3/4" SEALED REGISTER WATER METER (FURNISHED & INSTALLED BY SDCW)
 - 7 1" ANGLE BELL WITH TEST VALVE
 - 8 1" CAST IRON METER YOKE
 - 9 3/4" DIA. X 3/8" METER BOX
 - 10 POLYMER LID (12.5" DIA.)
 - 11 BLOCKS - USE AS DIRECTED BY SDCW
 - 12 INNER ALUMINUM FRONT LID
 - 13 DOUBLE END-COVER (3/4" DIA. X 11-1/2" DIA. INNER OPENING) WITH EXTENSION RING (3/4" DIA. X 24" DIA.)
 - 14 1" X 3/4" METER ADAPTER

SANGRE DE CRISTO WATER DIVISION
CITY OF SANTA FE, NEW MEXICO
STANDARD DETAILS

3/4" SINGLE SERVICE

DATE: 07/12/2021
BY: SARAMA3
CHECKED: SARAMA3
DATE: 07/12/2021

102A

SANGRE DE CRISTO WATER DIVISION
CITY OF SANTA FE, NEW MEXICO
STANDARD DETAILS

JOINT RESTRAINT TABLE

DATE: 07/12/2021
BY: SARAMA3
CHECKED: SARAMA3
DATE: 07/12/2021

10A

THRUST RESTRAINT TABLE															
BENDS, TEES, CAPS/VALVES, & REDUCERS															
(RESTRAINED JOINT LENGTHS IN FEET)															
DIAMETER (IN.)	HORIZONTAL BENDS				CAPS / PLUGS / VALVES		SIZE (IN.) / Run X Br.		TEES				REDUCERS		
	L _r	L _r	L _r	L _r	L _r	L _r	L _r	Run	Branch	Run	Branch	Run	Branch	L _r	L _r
4	FJO	2	5	12	34	4 X 4	FJO	28	5	8	10	FJO	N/A		
6	2	3	7	17	47	6 X 6	FJO	42	5	21	10	FJO	N/A		
8	2	4	9	23	62	8 X 8	FJO	26	5	FJO	10	FJO	24		
10	3	5	11	27	75	8 X 8	FJO	57	5	38	10	10	N/A		
12	3	6	13	32	88	8 X 8	FJO	40	5	13	10	FJO	26		
						10 X 4	FJO	23	5	FJO	10	FJO	45		
						10 X 10	FJO	69	5	48	10	21	N/A		
						10 X 8	FJO	55	5	29	10	FJO	25		
						10 X 6	FJO	39	5	4	10	FJO	46		
						10 X 4	FJO	21	5	FJO	10	FJO	61		
4	3/2	7/4	14/8	N/A		12 X 12	FJO	63	5	61	10	34	N/A		
6	5/3	9/6	20/12	N/A		12 X 10	FJO	68	5	42	10	10	43		
8	6/4	12/7	26/15	N/A		12 X 8	FJO	54	5	22	10	FJO	47		
10	7/4	15/9	37/18	N/A		12 X 6	FJO	37	5	FJO	10	FJO	64		
12	9/5	18/10	37/21	N/A		12 X 4	FJO	19	5	FJO	10	FJO	77		

Vertical Bends:

DIAMETER (IN.)	11-1/4"	22-1/2"	48"	90"
L _r	L _r	L _r	L _r	L _r
TOP/BOTTOM	TOP/BOTTOM	TOP/BOTTOM	TOP/BOTTOM	TOP/BOTTOM
4	3/2	7/4	14/8	N/A
6	5/3	9/6	20/12	N/A
8	6/4	12/7	26/15	N/A
10	7/4	15/9	37/18	N/A
12	9/5	18/10	37/21	N/A

Table: This table is based on the CPAA Iron Megajug joint calculations program with the following input criteria: 3.5 ft. depth of bury (conservative), trench type 4, PVC pipe material: 80 and type: 150 psi test pressure; 1.5 safety factor. Specific calculations for restrained lengths are required for conditions not covered by this table.

L_r: Length of restrained pipe, in feet, for each side of the fitting.

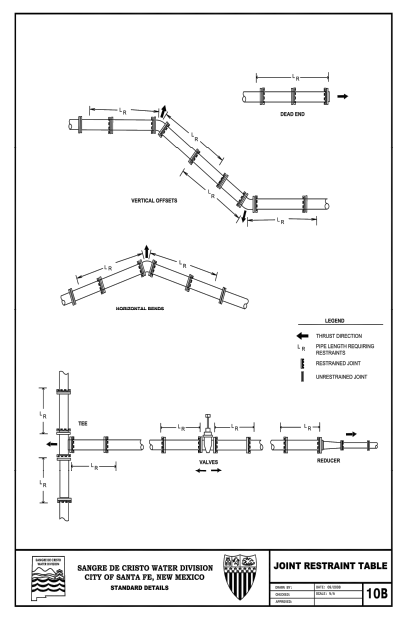
Minimum Restrained Length: A minimum restrained length of 5 ft. from the fitting joint is recommended. Vertical offsets shall be completely restrained between the top vertical fitting and the bottom vertical fitting.

FJO: Fitting Joint Only - This includes at least a 1 ft. length of restrained pipe beyond the fitting joint.

Vertical Offset: Use 11-1/2" bends or 22-1/2" bends wherever possible due to the shorter restrained length requirements.

Caps/Plugs: Concrete blocking may be required by SDCW on a case-by-case basis in addition to mechanical restraint.

Pipe Lengths: Piping shall be laid out to minimize pipe joints near fittings. Wherever possible, full 20 ft pipe lengths shall be utilized when connecting to fittings or valves. No pipe bell joints shall be used where fittings are less than 20 ft. apart.



DESIGNED BY: []
DRAWN BY: []
CHECKED BY: []
DATE: 7.12.2021

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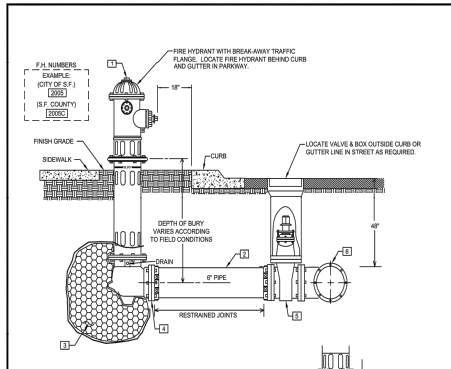
PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3

WATER DETAILS

PRELIMINARY PLAN

SHEET NUMBER: C-501

NAME: N:\Projects\104107_Plan\104107_004_Plan\Water.dwg User: Sstern33 DWG: S:\dwg\104107_004_Plan\104107_004_Plan\104107_004_Plan\104107_004_Plan.dwg PLOT DATE: Jul 12, 2021 12:23pm



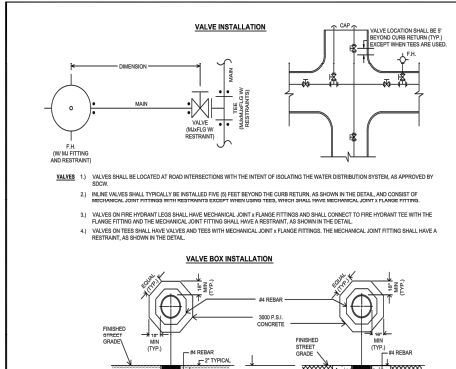
- KEYED NOTES:**
- 1 FIRE HYDRANT
 - 2 6" PIPE
 - 3 1/2 CUBIC YARD 38" GRAVEL DRAIN W/ 10 ML PLASTO SHEET
 - 4 6" MJ RETAINER AND 6" HARNESS (IF REQUIRED)
 - 5 6" MJ FL GATE VALVE & BOX
 - 6 TEE NO RUN W/ 6" FLANGE OUTLET

- CONSTRUCTION NOTES:**
- A. FIRE HYDRANT SHALL NOT BE INSTALLED NEAR ANY STRUCTURES AND SHALL HAVE A MINIMUM 30" CLEAR SPACE IN ALL DIRECTIONS.
 - B. LOCATE HYDRANT 18" BEHIND BACK OF CURB UNLESS OTHERWISE SHOWN ON PLANS OR SPECIFICALLY DIRECTED BY SDCW. HYDRANT TO BE SET PLUMB AND AT PROPER ELEVATION PROVIDED BY DEVELOPER. HYDRANTS INSTALLED AS PART OF A NEW DEVELOPMENT EXTENSION SHALL BE A STANDARD 6" BURY HYDRANT AND SHALL BE SET TO FINISH GRADE WITHOUT THE USE OF HYDRANT EXTENSIONS (IF AN ADJUSTMENT IS REQUIRED, RELAY THE WATER MAIN AND FIRE HYDRANT LEG OR INSTALL RESTRAINED OFFSET AS DIRECTED BY SDCW).
 - C. WEEP HOLE MUST HAVE 1/4" PLEED REMOVED AND BE FREE DRAINING INTO GRAVEL DRAIN. USE FULLY RESTRAINED JOINTS FROM THE FIRE HYDRANT TO THE FLANGED CONNECTION ON VALVE.
 - D. FIRE HYDRANT SHALL BE PAINTED AND REFLECTIVE NUMBERS INSTALLED AFTER INSTALLATION.

SANGRE DE CRISTO WATER DIVISION
CITY OF SANTA FE, NEW MEXICO
STANDARD DETAILS

FIRE HYDRANT

DATE: 01/11/2017	DATE: 06/28/2021	07
DRAWN: SDCW	SCALE: 1/4" = 1'-0"	



- LEGEND:**
- 1 FINAL PAVING COURSE
 - 2 EXISTING PAVEMENT
 - 3 300# S/L CONCRETE
 - 4 1.5" PAVING COURSE
 - 5 SUBGRADE

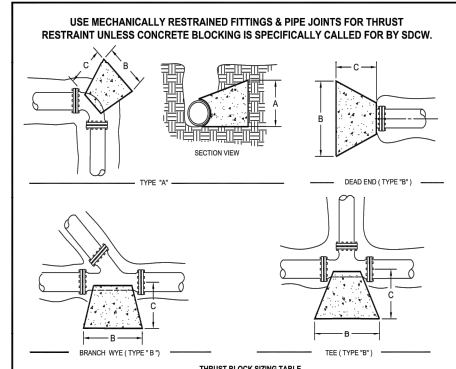
- NEW PAVING:** VALVE BOXES SHALL BE INSTALLED AND RAISED TO GRADE IN THE FOLLOWING MANNER FOR NEW PAVING
1. VALVE BOX SHALL BE INSTALLED OVER VALVE DURING MAIN INSTALLATION. TOP OF VALVE BOX SHALL BE LEFT BELOW THE TOP OF SUBGRADE UNTIL VALVE IS READY TO BE RAISED TO FINAL GRADE.
 2. WHEN THE VALVE BOX IS READY TO BE RAISED, AN ACTION SHAPE SHALL BE CUT OUT AROUND THE VALVE BOX FROM THE FIRST PAVING LIFT (IF WORKING IN SECTIONS). THE VALVE BOX SHALL BE RAISED TO THE FINISHED STREET GRADE. THE SOIL AROUND THE VALVE BOX SHALL BE TROUSLED TO COMPACT IT ACCORDING TO CITY STANDARDS. THE CONCRETE COLLAR CONSTRUCTION SHALL BE 300# PRE-CASTED 18" x 18" REBAR SHALL BE POURED FLUSH WITH THE TOP OF THE FIRST PAVING COURSE (BUT LONGER HAND RIGGING CONNECTION TO REMOVE VOIDS, AND THE VALVE BOX SHALL BE PROTECTED FROM VEHICULAR TRAFFIC FOR 90 DAYS.

- EXISTING PAVING:** INSTALL VALVE BOXES PER NEW PAVING (SEE ABOVE) WITH THE CONCRETE COLLAR POURED FLUSH WITH THE FINISHED GRADE OF THE EXISTING PAVING WITH A SMOOTH TROUSLED FINISH. NOTE: IF REBAR COLLAR IS REQUIRED TO BE RAISED TO ADJUST VALVE BOX TO GRADE, NEW PAVING CONCRETE COLLAR PAVEMENT SHALL BE TROUSLED AS WELL AS ANY NECESSARY FINISH SHALL BE COMPLETE.
- UNPAVED AREAS:** SORT OF GRAVEL CONCRETE TOP OF VALVE BOX AND CONCRETE COLLAR SHALL BE LEFT IN THE STREET GRADE. IN OTHER UNPAVED AREAS, VALVE BOX AND CONCRETE COLLAR SHALL BE LEFT ABOVE FINISHED GRADE AS DIRECTED BY SOCW.
- PROTECTION OF VALVE BOXES:** VALVE BOXES SHALL BE PROTECTED FROM DAMAGE, LOSS AND SHALL NOT BE FILLED WITH DIRT AND DEBRIS. VALVES MUST BE ACCESSIBLE DURING CONSTRUCTION WITH MINIMUM EXCAVATION. VALVES IDENTIFIED BY SOCW AS KEY SHUT OFF VALVES SHALL REMAIN AT GRADE DURING ALL PHASES OF CONSTRUCTION.

SANGRE DE CRISTO WATER DIVISION
CITY OF SANTA FE, NEW MEXICO
STANDARD DETAILS

VALVE & VALVE BOX INSTALLATION

DATE: 01/11/2017	DATE: 06/28/2021	08
DRAWN: SDCW	SCALE: 1/4" = 1'-0"	



THRUST BLOCK SIZING TABLE

PIPE DIAMETER	11-1/4"				22-1/2"				45"				90"				TYPE "B" FITTINGS		
	A	B	C	A	B	C	A	B	C	A	B	C	A	B	C	A	B	C	
4"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
6"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
8"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
10"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
12"	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
14"	12	24	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
16"	18	24	24	24	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
18"	18	30	24	24	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
20"	20	30	24	30	12	12	12	12	12	12	12	12	12	12	12	12	12	12	
24"	24	36	24	36	12	12	12	12	12	12	12	12	12	12	12	12	12	12	

1. TABLE BASED ON 200 P.S.I. (150 P.S.I. WORKING PRESSURE) AND 3000 LB/FT² ALLOWABLE SOIL BEARING PRESSURE.
2. USE TEE OUTLET DIAMETER TO DETERMINE THRUST BLOCK SIZING. USE BRANCH DIAMETER ON WYE TO DETERMINE THRUST BLOCK SIZING.
3. THE "C" DIMENSION LISTED IS A MINIMUM DIMENSION. CONCRETE BLOCKING MUST BE POURED TO THE UNDISTURBED SOIL OF THE TRENCH WALL.

SANGRE DE CRISTO WATER DIVISION
CITY OF SANTA FE, NEW MEXICO
STANDARD DETAILS

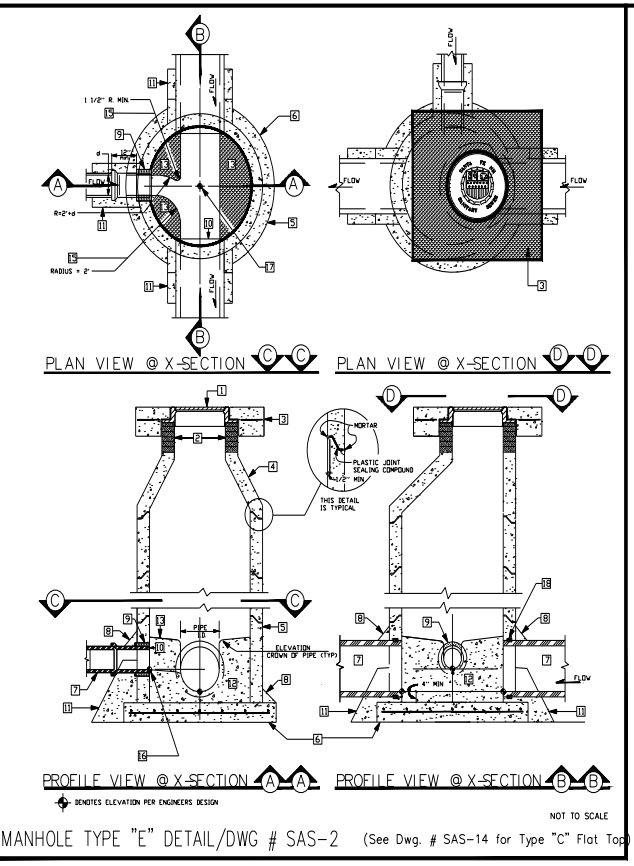
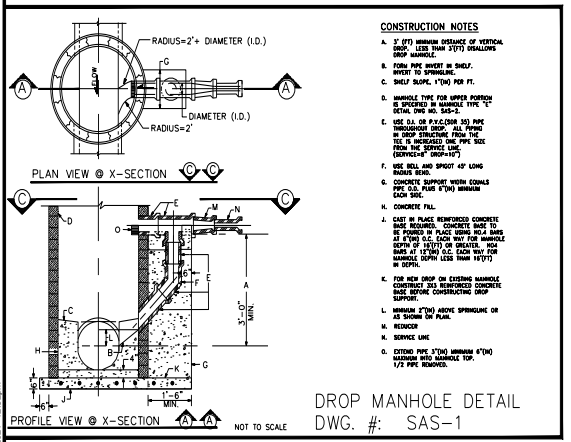
CONCRETE THRUST BLOCKING

DATE: 01/11/2017	DATE: 06/28/2021	13
DRAWN: SDCW	SCALE: 1/4" = 1'-0"	

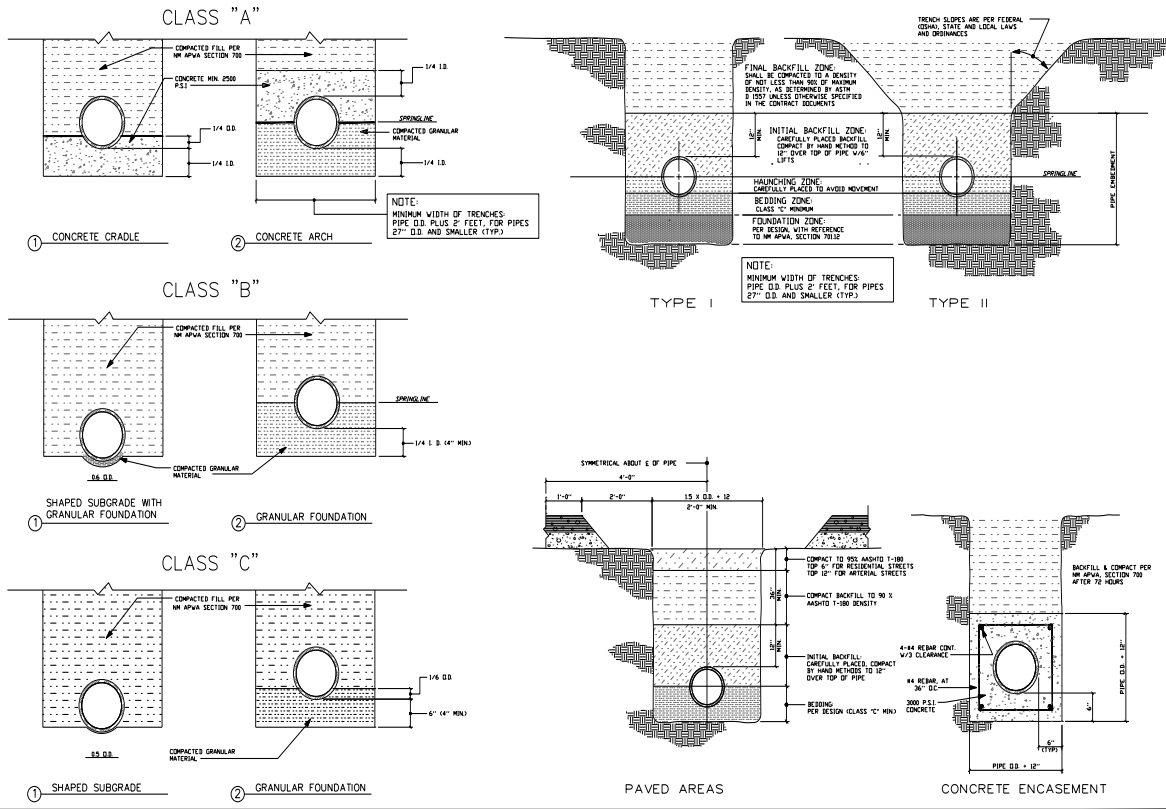
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<p>RESPEC COMMUNITY DESIGN SOLUTIONS A BROTHERS & BROTHERS COMPANY WWW.RESPEC.COM (800)533-9713</p>					
<p>STAMP</p>					
<p>PRELIMINARY NOT FOR CONSTRUCTION 2/2021</p> <p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p> <p>www.whatsbelow. Call before you dig.</p>					
<p>PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3</p>					
<p>SHEET TITLE: WATER DETAILS</p>					
<p>SHEET NUMBER: PRELIMINARY PLAT</p>					
<p>SUBMITTED FOR: C-502</p>					

LEGEND

ITEM	DESCRIPTION
1	MANHOLE FRAME & COVER, refer to manhole frame and cover detail Dwg. No. SAS-4
2	CONCRETE ADJUSTMENT RINGS or CONCRETE BRICK, refer to concrete adjustment detail Dwg. No. SAS-5
3	CONCRETE COLLAR, refer to concrete collar detail Dwg. No. SAS-6
4	PRECAST REINFORCED CONCRETE RISER, CONC. or FLAT TOP, with 5"(in) wall thickness, refer to general note CM-2
5	PRECAST REINFORCED CONCRETE BASE RISER, with suitable sized openings, refer to general note CM-2A
6	CONCRETE BASE, refer to concrete base detail Dwg. No. SAS-7
7	SEWER PIPE, refer to general note CM-1
8	6"(in) GROUT FILLET, on upper half of pipe and around base
9	ADAPTER, MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
10	PIPE PENETRATION INTO MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
11	PIPE SUPPORT CONCRETE, shall extend out-side of manhole a maximum of 18"(in) to bell of first joint and shall crotch pipe half pipe
12	CONCRETE FILL, 3000 p.s.i., refer to general note CR-8
13	SHELF, to be 3"(in) minimum width with 1"(in) per 1'-0" slope, from crown of pipe
14	CUT UPPER HALF OF PIPE, after manhole has been completed and inspected by engineer
15	HAND FORMED CHANNELS, shall be on a uniform radius and shall not hold water
16	INVERT ELEVATIONS OF LATERAL LINES, shall be the same as the springline elevation of the sewer main, where possible
17	CHANGE SLOPE OF PIPE, at center of manhole
18	APPROVED WATER STOP, to be with type of pipe



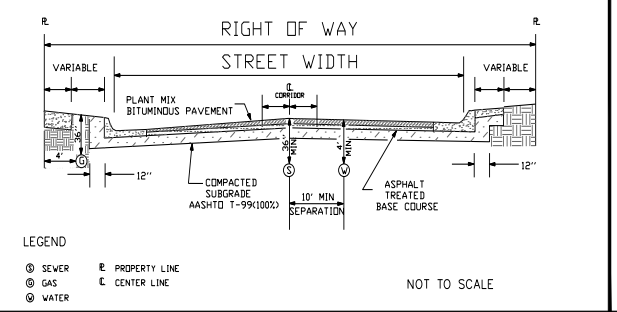
TRENCH BEDDING AND INSTALLATION DETAILS/DWG. # SAS-11



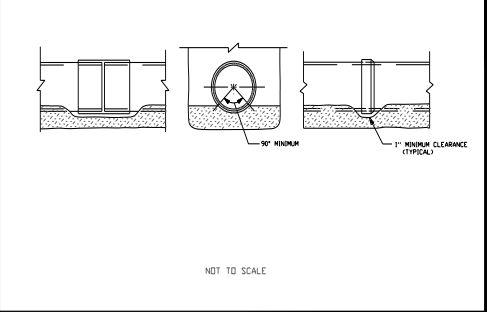
GENERAL NOTES

CONSTRUCTION REQUIREMENTS	INSTALLATION
<p>CR-1 MATERIALS AND WORK: CONCRETE SHALL BE STAMPEDED SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (REFER TO 04 OR 04A APWA) WITH MODIFICATIONS FROM THE CITY OF SANTA FE.</p> <p>CR-2 APPROVED PLANS: USE PLANS BEARING THE OFFICIAL SEAL OF THE DESIGN ENGINEER AND BEARING THE APPROVAL SIGNATURE OF THE CITY WATER QUALITY DIVISION OR APPROVED APPROVED PLANS. CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS WILL BE REJECTED.</p> <p>CR-3 SLOPE MAKE-UP PERMIT: OBTAIN PERMITS FOR THE PROJECT BEFORE COMMENCEMENT AND SLOPE CONSTRUCTION. CONSTRUCTION PERFORMANCE WITHOUT OBTAINED PERMITS SHALL BE REJECTED. IF A CONSTRUCTOR PLANS SHALL INDICATE THE CLASS OF ROAD TO BE USED, CHANGE OF SLOPE MAY OCCUR & CHANGE IN PIPE CLASSIFICATION OR WALL THICKNESS.</p> <p>CR-4 SUBSTITUTIONS OR CHANGES: ALL SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE CITY WATER QUALITY DIVISION OR CITY APPROVED REPRESENTATIVE PRIOR TO CONSTRUCTION. ALL SUBSTITUTIONS OR CHANGES MUST BE SUBMITTED BY THE DESIGN ENGINEER TO THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE. WHERE APPROVED, SUBSTITUTIONS MUST BE MADE IN ACCORDANCE WITH THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE. DESIGN ENGINEER SHALL AUTHORIZE ANY DRAWINGS FOR SUBSTITUTIONS AND CHANGES TO THE CITY WATER QUALITY DIVISION FOR APPROVAL. UNAUTHORIZED SUBSTITUTIONS WILL BE REJECTED.</p> <p>CR-5 MANUFACTURER'S CERTIFICATES: WHEN CERTIFICATES OF COMPLIANCE AND TEST REPORTS ARE REQUIRED FOR MATERIALS, CONTRACTORS SHALL BE RESPONSIBLE FOR THE MATERIALS. CONTRACTORS SHALL BE RESPONSIBLE FOR THE MATERIALS. CONTRACTORS SHALL BE RESPONSIBLE FOR THE MATERIALS.</p> <p>CR-6 CONTRACTOR REQUIREMENTS: CONTRACTOR PERFORMING WORK ON PUBLIC SEWER LINES SHALL BE A LICENSED UTILITY CONTRACTOR.</p>	<p>1-1 LAYING PIPE: AS PER SECTION 902.10, 114 APWA, PIPE SHALL BE PLACED AND SET IN A PROPER FREE TRENCH. GASKET SHALL BE FULLY SEATED AND NOT SURROUNDED BY SOIL. LAP THROUGH MANHOLE LOCATIONS ON STRAIGHT AND UP TO 2 1/2 DEGREE DIVERSIONS.</p> <p>A. IF PIPE TRENCH INSTALLATION CONSIDERATION EXCEEDS THE LIMITS OF 114 APWA STANDARDS, SECTION 700, OR AS SET FORTH ON THE CONSTRUCTION PLANS, THE DESIGN ENGINEER SHALL BE NOTIFIED. THE NEW PIPE CLASSIFICATION OR WALL THICKNESS SHALL BE REJECTED.</p> <p>B. IF TRENCH CONSIDERATION IS NORMALLY USED WHEN TRENCH DEPTHS ARE 10 FT OR LESS, THEN TRENCH CONSIDERATION SHALL BE USED WHEN TRENCH DEPTHS ARE 10 FT AND OVER, DEPENDING ON SOIL CONDITIONS. REFER TO 114 APWA STANDARDS SECTION 700.</p> <p>1-2 MANHOLE CONSTRUCTION:</p> <p>A. MANHOLE: CAST IRON UNDESIGNED PRECAST FREE RISE SURFACE. PRECAST MANHOLE OR POLY GRATEL WITH COMPLETE RING BEARING.</p> <p>B. PRECAST MANHOLE:</p> <ol style="list-style-type: none"> JOINTS: FULLY COMPLETED WITH NON-SURGE GROUT AND TRENCH. MANHOLE ADAPTER: METAL OVER PVC PIPE AND FULL IN PRECASTION WITH NON-SURGE GROUT. CAST IRON RINGS: SHALL MEET A MINIMUM OF 2000 PSI COMPRESSIVE STRENGTH BEFORE SETTING PRECAST MANHOLE SECTIONS. <p>1-3 EXCAVATION AND BACKFILL: ALL APWA SATURATION BY FLOODING OR LETTING METHODS IS NOT PERMITTED WITHOUT A SOILS ENGINEERING REPORT RECOMMENDING THESE METHODS. MECHANICAL OR MANHOLES CONTRACTORS SHALL NOT BE USED ON THE RECORD AND 15% OF INITIAL BACKFILL. CONSTRUCTION SHALL BE OBTAINING PER APPROVED 1-180.</p>
CONSTRUCTION MATERIALS	FIELD QUALITY CONTROL
<p>CR-1 SEWER PIPE (CERTIFICATES REQUIRED):</p> <ol style="list-style-type: none"> 1. 12" DIA. PIPE PER SECTION 125.10, 114 APWA FOR EXTRA STRENGTH PVC. 2. 12" DIA. PIPE PER SECTION 121.10, 114 APWA, AS MODIFIED BY THE CITY OF SANTA FE. 3. 12" DIA. PIPE PER SECTION 121.10, 114 APWA, AS MODIFIED BY THE CITY OF SANTA FE. 4. 12" DIA. PIPE PER SECTION 121.10, 114 APWA, AS MODIFIED BY THE CITY OF SANTA FE. 5. 12" DIA. PIPE PER SECTION 121.10, 114 APWA, AS MODIFIED BY THE CITY OF SANTA FE. 6. 12" DIA. PIPE PER SECTION 121.10, 114 APWA, AS MODIFIED BY THE CITY OF SANTA FE. 7. 12" DIA. PIPE PER SECTION 121.10, 114 APWA, AS MODIFIED BY THE CITY OF SANTA FE. 8. 12" DIA. PIPE PER SECTION 121.10, 114 APWA, AS MODIFIED BY THE CITY OF SANTA FE. 9. 12" DIA. PIPE PER SECTION 121.10, 114 APWA, AS MODIFIED BY THE CITY OF SANTA FE. 10. 12" DIA. PIPE PER SECTION 121.10, 114 APWA, AS MODIFIED BY THE CITY OF SANTA FE. 11. 12" DIA. PIPE PER SECTION 121.10, 114 APWA, AS MODIFIED BY THE CITY OF SANTA FE. 12. 12" DIA. PIPE PER SECTION 121.10, 114 APWA, AS MODIFIED BY THE CITY OF SANTA FE. <p>CR-2 MANHOLES:</p> <ol style="list-style-type: none"> 1. PRECAST MANHOLES: PRECAST REINFORCED CONCRETE MANHOLES BEARING COVER AND ADJUSTMENT RINGS PER SECTION 700.10, 114 APWA. BASES MAY BE FIELD PLACED GROUT (CERTIFICATES REQUIRED). CRACKED OR WORN SECTIONS UNITS WILL BE REJECTED. 2. PIPE PENETRATORS: PRECAST UNITS SHALL HAVE VERTICAL RINGS OPERATED LAST AND BARE AT A PROPER ANGLES FOR PIPE AND MANHOLE ADAPTERS. 3. MANHOLE COVERS: REFER TO SECTION 902.10, 114 APWA. POLYPROPYLENE INDICATED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL. (1.4%) MIN. 18" DIA. 4. MANHOLE COVERS: REFER TO SECTION 902.10, 114 APWA. POLYPROPYLENE INDICATED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL. (1.4%) MIN. 18" DIA. 5. MANHOLE COVERS: REFER TO SECTION 902.10, 114 APWA. POLYPROPYLENE INDICATED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL. (1.4%) MIN. 18" DIA. 6. MANHOLE COVERS: REFER TO SECTION 902.10, 114 APWA. POLYPROPYLENE INDICATED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL. (1.4%) MIN. 18" DIA. 7. MANHOLE COVERS: REFER TO SECTION 902.10, 114 APWA. POLYPROPYLENE INDICATED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL. (1.4%) MIN. 18" DIA. 8. MANHOLE COVERS: REFER TO SECTION 902.10, 114 APWA. POLYPROPYLENE INDICATED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL. (1.4%) MIN. 18" DIA. 9. MANHOLE COVERS: REFER TO SECTION 902.10, 114 APWA. POLYPROPYLENE INDICATED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL. (1.4%) MIN. 18" DIA. 10. MANHOLE COVERS: REFER TO SECTION 902.10, 114 APWA. POLYPROPYLENE INDICATED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL. (1.4%) MIN. 18" DIA. 11. MANHOLE COVERS: REFER TO SECTION 902.10, 114 APWA. POLYPROPYLENE INDICATED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL. (1.4%) MIN. 18" DIA. 12. MANHOLE COVERS: REFER TO SECTION 902.10, 114 APWA. POLYPROPYLENE INDICATED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL. (1.4%) MIN. 18" DIA. 	<p>FOC-1 TESTING AND INSPECTION: SUPERVISOR CONDUCTED BY DESIGN ENGINEER. CERTIFICATION REPORT ENGINEER SHALL CERTIFY THAT THE PROJECT HAS BEEN COMPLETED ACCORDANCE TO PLANS & SPECIFICATIONS AND SHALL SIGNIFY A CERTIFICATE OF COMPLIANCE STATEMENT WITH STAMP AND SIGNATURE. EQUIPMENT AND ASSISTANCE PROVIDED BY CONTRACTOR.</p> <p>FOC-2 LINE AND GRADE: ALLOWABLE TOLERANCE BETWEEN STRUCTURES FROM RECORD.</p> <ol style="list-style-type: none"> A. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. B. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. C. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. D. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. E. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. F. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. G. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. H. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. I. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. J. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. K. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. L. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. M. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. N. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. O. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. P. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. Q. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. R. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. S. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. T. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. U. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. V. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. W. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. X. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. Y. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. Z. GRADE: 0.50 FOOT PIPE SHALL NOT HOLD BACK ANY WATER. <p>FOC-3 LEAKAGE TEST: AIR TEST REQUIRED: REFER TO SECTION 901.7, 114 APWA.</p> <p>FOC-4 TELEVISION INSPECTION: CONTRACTOR SHALL PROVIDE A CERTIFIED CCTV SURVEILLANCE INSPECTION AND RECORD TAPES AT HIS OWN EXPENSE.</p> <p>FOC-5 ALL CONNECTIONS TO EXISTING MANHOLES INCLUDE STANDARD CONSTRUCTION DETAILS.</p>

TYPICAL UTILITIES SEPARATION DETAIL/DWG. # SAS-12



BELL OR COUPLING INSTALLATION DETAIL/DWG. # SAS-13



CITY OF SANTA FE WATER QUALITY DIVISION

TITLE: SANITARY SEWER STANDARD CONSTRUCTION DETAILS

DATE: JULY 2002

DESIGNED BY: C. CHAVEZ

DRAWN BY: C. CHAVEZ

CHECKED BY: C. CHAVEZ

DATE: 7-23-2021

REVISIONS

NO.	DESCRIPTION	DATE	BY
1		8-4-92	JA
2		12-14-92	JA
3		11-16-98	JA

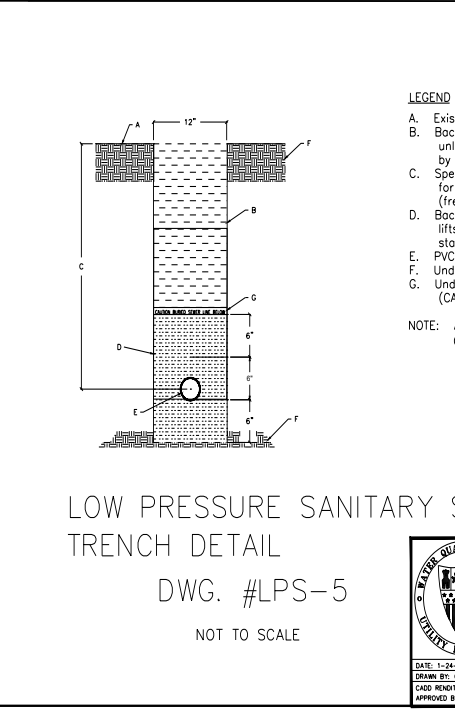
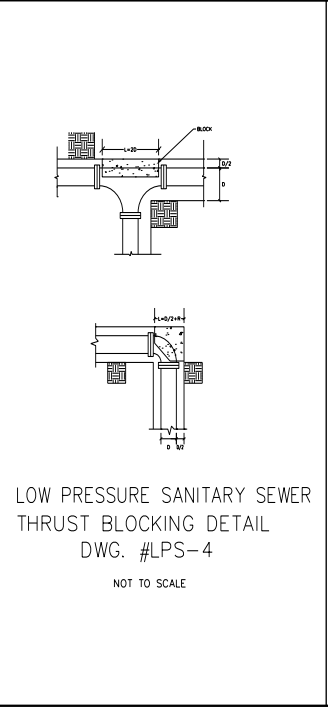
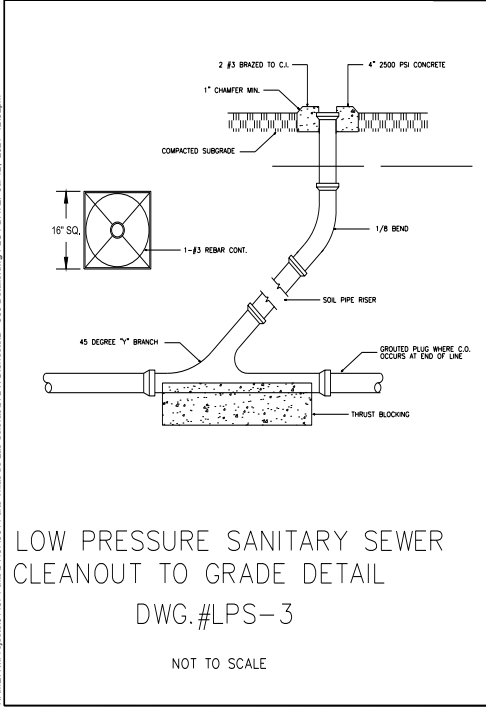
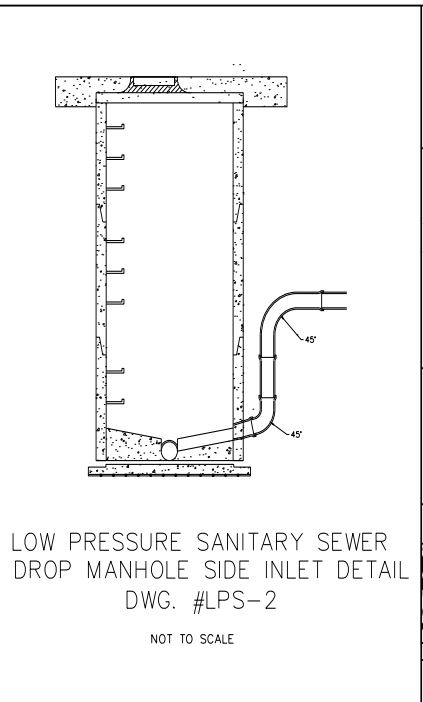
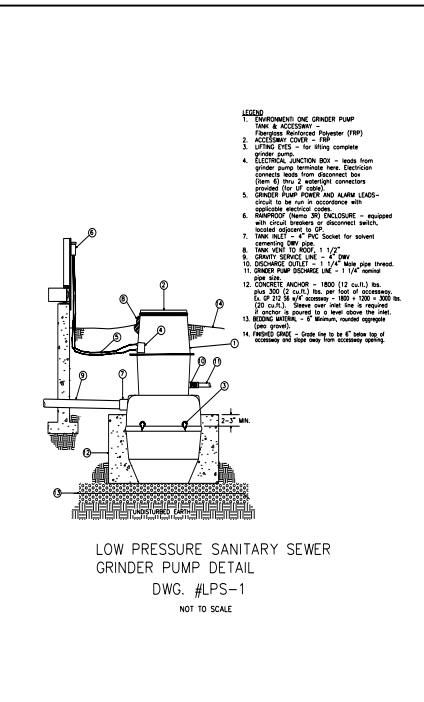
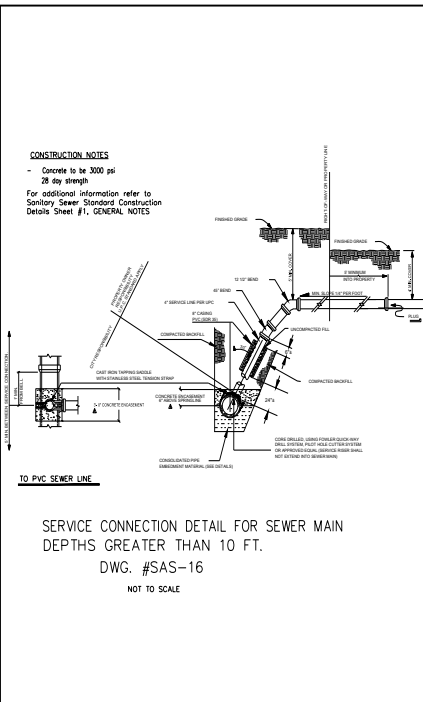
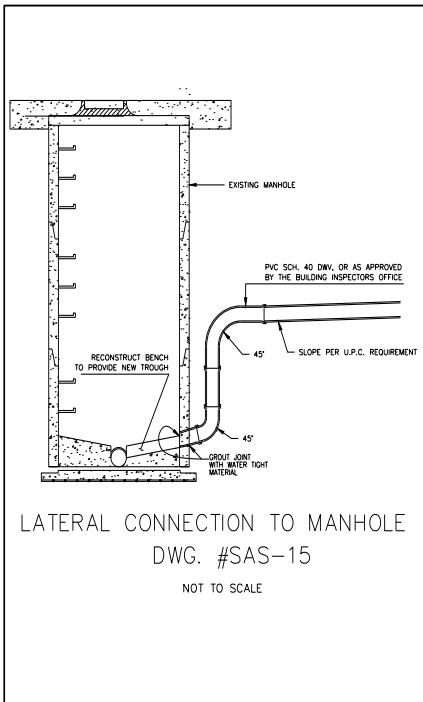
SHEET OF

PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3

SHEET TITLE: PRELIMINARY PLAT

SUBMITTED FOR: PRELIMINARY PLAT

SHEET NUMBER: C-505



VILLAS DE LAS SOLERAS PHASE 3

SEWER DETAILS

PRELIMINARY PLAN

CITY OF SANTA FE
WATER QUALITY CONTROL DIVISION

TITLE: SANITARY SEWER STANDARD CONSTRUCTION DETAILS (SHEET 5 PRELIMINARY)

DATE: 1-24-04
DRAWN BY: G. CHAVEZ
CHECKED BY: G. CHAVEZ
APPROVED BY: E. BROWN

REVISIONS

FILE # SC015

SHEET OF

NAME: N:\Projects\104107_Plan\104107_004_Plan_Villas de las Soleras\3_DWG\Sheet05 - 500 Details.dwg PLOT DATE: Jul 12, 2021 12:23pm

DESIGNED BY: [blank]
DRAWN BY: [blank]
CHECKED BY: [blank]
DATE: 7.12.2021

RESPIC
COMMUNITY DESIGN SOLUTIONS
ALL MATERIALS AND METHODS TO BE USED SHALL BE APPROVED BY THE BUILDING INSPECTOR'S OFFICE.

STAMP

PRELIMINARY
NOT FOR CONSTRUCTION

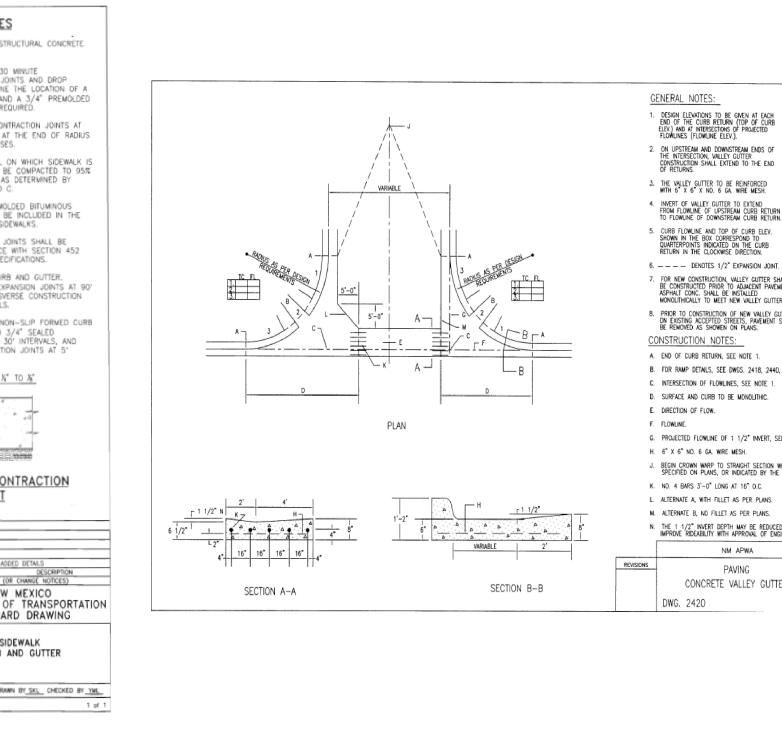
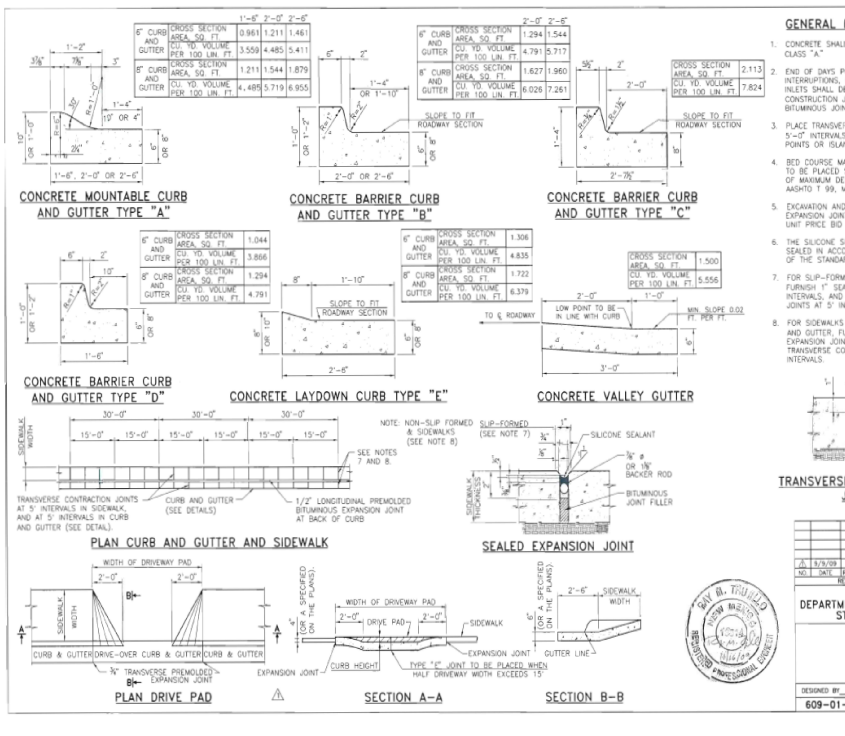
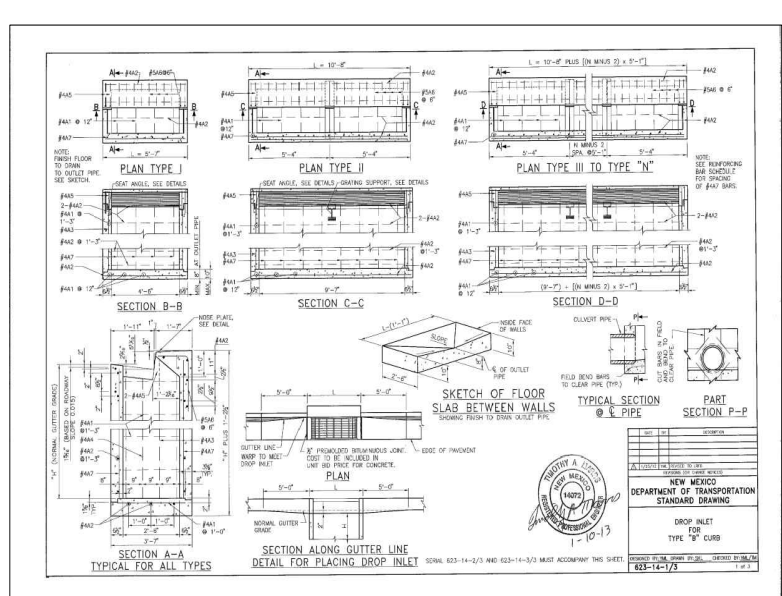
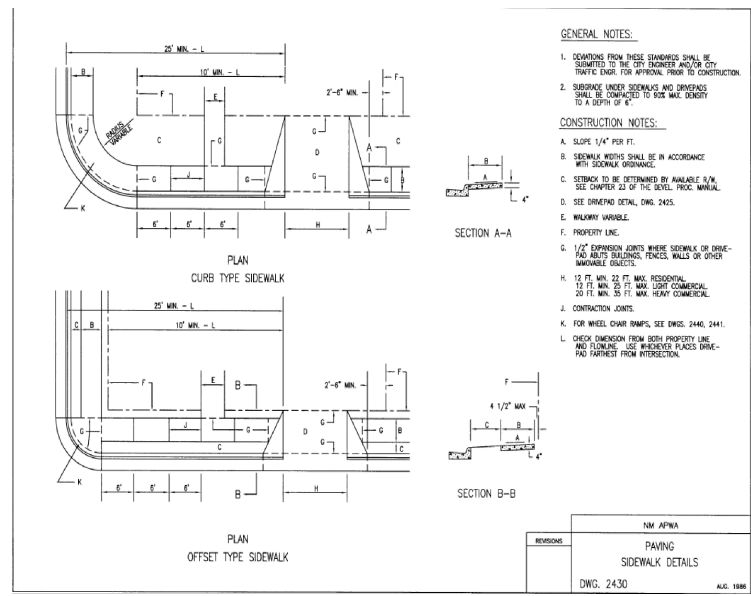
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

www.whatsbelow.com
Call before you dig.

PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3

SHEET NUMBER: C-507

NAME: N:\Projects\04197_Plan\04197.dwg Plot Date: Jul 12, 2021 12:32pm



DESIGNED BY: **RESPECT**
 DRAWN BY: **RESPECT**
 CHECKED BY: **RESPECT**
 DATE: 7.12.2021

PROJECT NAME: **VILLAS DE LAS SOLERAS PHASE 3**

SHEET TITLE: **STREET & INLET DETAILS**

SHEET NUMBER: **C-508**

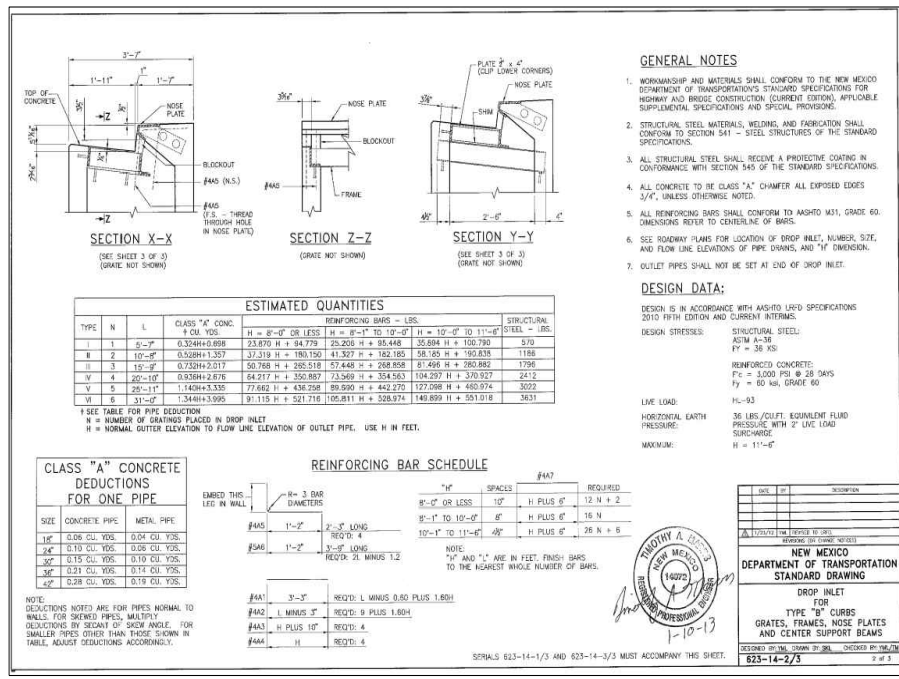
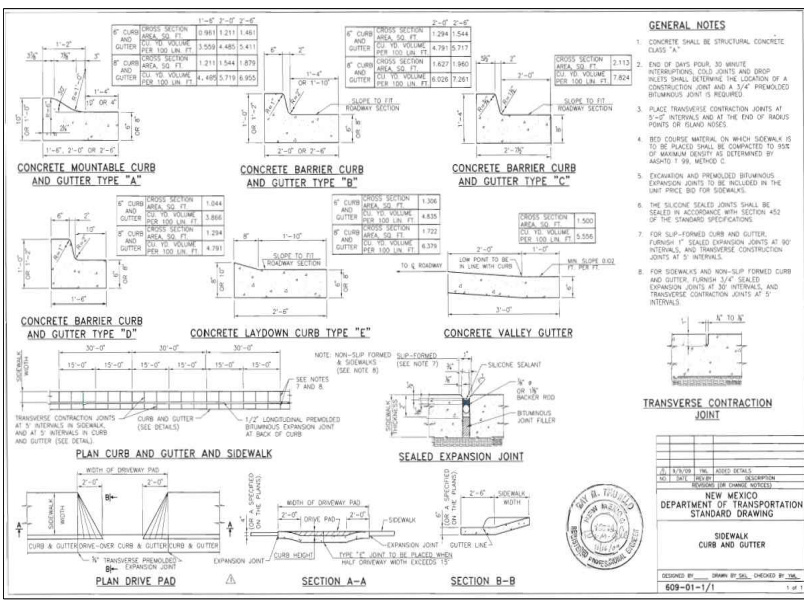
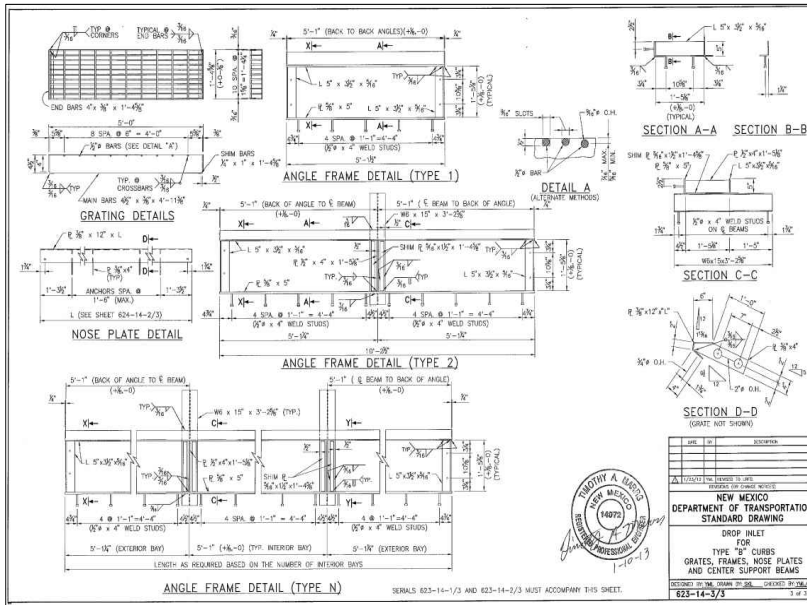
PRELIMINARY NOT FOR CONSTRUCTION 7/20/21

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

PROJ. # : ###

NAME: N:\Projects\041597_P\041597_004_P\Info_Villas de Las Soleras\3_DWG\Details.dwg PLOT DATE: Jul 12, 2021 12:32pm



DESIGNED BY: [Signature] DRAWN BY: [Signature] CHECKED BY: [Signature] DATE: 7-12-2021

REVISION

STAMP

PRELIMINARY NOT FOR CONSTRUCTION

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

am811

PROJECT NAME: VILLAS DE LAS SOLERAS PHASE 3

SHEET TITLE: STREET & INLET DETAILS

SUBMITTED FOR: PRELIMINARY PLAT

SHEET NUMBER: C-509

A. ROLL CALL

B. PLEDGE OF ALLEGIANCE

C. APPROVAL OF AGENDA

D. APPROVAL OF MINUTES:

1. August 19, 2021

E. APPROVAL OF FINDINGS/CONCLUSIONS

F. OLD BUSINESS

1. CONSIDERATION OF BILL NO. 2021-__.

An Ordinance Amending the Land Development Code, Chapter 14 FCC 1987, to Address Zoning Issues Related to Cannabis; Amending Table 14-6.1-1, Table of Permitted Uses, to Clarify Zoning Districts for Various Types of Cannabis Establishments, and to Adopt Operating Times, Density Limitations, and a Minimum Distance Between Cannabis Retail Establishments and Schools or Daycare Centers; Amending Subsection 14-6.2(H), Agricultural Uses, to Address Cannabis Production; Adding a New Subsection 14-6.2(I) to Adopt Use-Specific Standards for Cannabis Establishments, Including Operating Times, Density Limitations, and a Minimum Distance Between Cannabis Retail Establishments and Schools or Daycare Centers; Amending Subsection 14-6.3(B)(2) to Prohibit Commercial Cannabis Establishments as Accessory Uses or Structures on Residentially Zoned Property; Amending Subsection 14-6.3(D)(2) to Prohibit the Conduct of a Cannabis Establishment as a Home Occupation; Amending Section 14-12.1 to Add Definitions for Various Types of Cannabis Establishments; Establishing an Effective Date; and Making Such Other Changes as are Necessary to Carry Out the Purpose of this Ordinance. (Andrea Salazar, Assistant City Attorney: asalazar@santafenm.gov, 955-6303; Noah Berke, Current Planning Manager: nlberke@santafenm.gov, 955-6647) **(POSTPONED FROM AUGUST 19, 2021)**

Committee Review:

Planning Commission: 08/19/21

Planning Commission: 09/02/21

Public Works and Utilities Committee: 09/07/21

Economic Development Advisory Committee: 09/08/21

Governing Body (request to publish): 09/08/21

Quality of Life Committee: 09/15/21

Finance Committee: 09/20/21

Governing Body (public hearing): 09/29/21

2. Case #2021-3818. Tierra Contenta Master Plan Amendment #1 for Phase 3A. JenkinsGavin, Inc., Agent, for Tierra Contenta Corporation, Owner, requests Master Plan Amendment for Phase 3A. The Amendment, which includes modifications to infrastructure, parks, trails, land uses, and density. The property is an undeveloped tract of land located southwest of Capital High School, containing approximately 222.84 acres, and is zoned PRC (Planned Residential Community). (Dan Esquibel,

G. NEW BUSINESS

1. Case #2021-3811. Villas de Las Soleras Unit 3 Master Plan Amendment. James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of an Amendment to the Las Soleras Master Plan to request a rezoning for Tract 13 from R-6 (Residential- six dwelling units per acre) to R-10 (Residential- ten dwelling units per acre) for approximately 6.8 acres at 4601 Rail Runner Road. The property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, llogston@santafenm.gov, 955-6136). (POSTPONED FROM AUGUST 19, 2021)

Name: Edmond Kibel

Comment - 08/27/2021 03:41 PM: (Against)

Re-zoning of site in Las Soleras subdivision Unit 3

Subject: Opposition to Pulte Group's proposed zoning change for the site in the Las Soleras subdivision Unit 3.

Dear Sir/Madam,

We, the residents of Villas de Las Soleras, are writing this letter, with the intent to express our opposition to the proposed zoning change for the site to the east of Rail Runner Rd., in the Las Soleras subdivision Unit 3. Pulte Group is asking for a zoning change (from R-6 to R-10) to build 44 two story townhomes on Rail Runner Rd. across the street from Phases 1 and 2 of the Villas de Las Soleras. This zoning change raises the density of the site from "low" to "medium" and adds 44 units on this narrow plot of land. The site in question was originally allocated for development of low density single family homes. We object to this zoning change for reasons listed below:

1. The subdivision to the east of Rail Runner Rd. is currently a low density area. Changing the single plot of land under question to a medium density zoning would be inconsistent of the current land use to the east of Rail Runner. Moreover, this plot of land is very narrow. A highly dense townhome development in this lot would tarnish the aesthetics of this subdivision.
2. Parking is sorely short in the subdivision and forbidden on both Rail Runner and Governor Miles roads. Those of us facing these streets have only a few parking options behind our homes. The new Phase 3 plan has even fewer parking spots, exacerbating this issue.
3. There are no plans for open spaces or walking trails in the proposed Phase 3 development plan, further blemishing the subdivision.
4. The new development would overburden Rail Runner Rd., which being a narrow street, is already facing traffic problems.

Due to these reasons, we object to the high density residential development on this land and the change of zoning being sought.

Sincerely,

The Residents of Villas de Las Soleras

Name: Edmond Kibel

Comment - 08/30/2021 09:47 AM: (Against)

Photos to accompany neighbor petition

Name: Edmond Kibel

Comment - 08/30/2021 09:48 AM: (Against)

Final photo to accompany neighbor petition

- 2. Case #2021-3814. Villas de Las Soleras Unit 3 General Plan Amendment.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of a General Plan Amendment to amend the existing General Plan Future Land Use classification for approximately 6.8 acres from Low Density Residential (3 to 7 dwelling units per acre) to Medium Density Residential (7 to 12 dwelling units per acre) at 4601 Rail Runner Road. The property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, lrlogston@santafenm.gov, 955-6136). **(POSTPONED FROM AUGUST 19, 2021)**
- 3. Case #2021-3815. Villas de Las Soleras Unit 3 Rezoning.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests a rezoning from R-6 (Residential- six dwelling unit per acre) to R-10 (Residential- ten dwelling unit per acre) for a property located at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, lrlogston@santafenm.gov, 955-6136). **(POSTPONED FROM AUGUST 19, 2021)**
- 4. Case #2021-3816. Villas de Las Soleras Unit 3 Preliminary Development Plan.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests preliminary development plan approval for a 44-lot single-family home subdivision at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, lrlogston@santafenm.gov, 955-6136). **(POSTPONED FROM AUGUST 19, 2021)**
- 5. Case #2021-3817. Villas de Las Soleras Unit 3 Preliminary Subdivision.** James W. Siebert and Associates, Inc., Agent, for Ross's Peak Holding, Ltd., Co., Owner, requests approval of a preliminary subdivision plat for 44 single-family residential lots located at 4601 Rail Runner Road. The 6.8 acre property is zoned R-6 (Residential- six dwelling unit per acre) and is within the Las Soleras Master Plan area. (Lee Logston, Case Manager, lrlogston@santafenm.gov, 955-6136). **(POSTPONED FROM AUGUST 19, 2021)**
- 6. Case #2021-3976. 123 and 135 Grant Avenue Development Plan.** Lorn Tryk Architects, Agent, for 123-135 Grant LLC (on behalf of the Georgia O'Keeffe Museum), Owner, request development plan approval to construct a 54,100 square foot structure for use as a museum. The properties are located at 123 Grant Avenue (consisting of approximately 1.2174 acres) and 135 Grant Avenue (consisting of approximately 0.7670 acres). The project site is zoned BCDMAR (Business Capitol District - Marcy Subdistrict) and within the Historic Downtown Archeological District and Downtown and East Side Historic District. (Dan Esquibel, Case Manager, daesquibel@santafenm.gov 505-955-6587). **(POSTPONED FROM SEPTEMBER 2, 2021)**
- 7. Case #2021-3977. 123 and 135 Grant Avenue Variance to Subsection 14-8.6(C)(2)(b).** Lorn Tryk Architects, Agent, for 123-135 Grant LLC (on behalf of the Georgia O'Keeffe Museum), Owner,

request variance to Subsection 14-8.6(C)(2)(b) to allow off site parking greater than 600 feet from the closest property line. The properties are located at 123 Grant Avenue (consisting of approximately 1.2174 acres) and 135 Grant Avenue (consisting of approximately 0.7670 acres). The project site is zoned BCDMAR (Business Capitol District - Marcy Subdistrict) and within the Historic Downtown Archeological District and Downtown and East Side Historic District. (Dan Esquibel, Case Manager, daesquibel@santafenm.gov, 505-955-6587). **(POSTPONED FROM SEPTEMBER 2, 2021)**

8. Case #2021-3978. 123 and 135 Grant Avenue Variance to Exhibit A - Table 14-8.6-1. Lorn Tryk Architects, Agent, for 123-135 Grant LLC (on behalf of the Georgia O'Keeffe Museum), Owner, request variance to Table 14-8.6-1 "Parking and Loading Requirements" to allow 93 parking spaces where 119 parking spaces are required. The properties are located at 123 Grant Avenue (consisting of approximately 1.2174 acres) and 135 Grant Avenue (consisting of approximately 0.7670 acres). The project site is zoned BCDMAR (Business Capitol District - Marcy Subdistrict) and within the Historic Downtown Archeological District and Downtown and East Side Historic District. (Dan Esquibel, Case Manager, daesquibel@santafenm.gov 505-955-6587). **(POSTPONED FROM SEPTEMBER 2, 2021)**

9. Case #2021-3802. 697 Gonzales Road Variance to Subsection 14-8.2(D)(3)(b). Sommer Karnes & Associates, LLP, Agent for Ramirez Investment Company, LLC, Owner, requests approval of a variance to grading standards related to permissible building slope within SFCC Subsection 14-8.2(D)(3)(b) *Topography*, which states "at least one-half of the area designated as suitable for building and at least one-half of any **building** footprint shall have a natural **slope** of less than twenty percent; the remainder of the area or **building** footprint may have a natural **slope** of twenty percent or greater, but less than thirty percent. The property is zoned R-1 (1 dwelling unit per acre), is partially within the Escarpment Overlay, and is approximately 1.36 acre in size. (John Neunuebel, Case Manager, jcneunuebel@santafenm.gov 955-6656)

10. Case #2021-3803. 697 Gonzales Road Variance to Subsection 14-8.2(D)(3)(d). Sommer Karnes & Associates, LLP, Agent for Ramirez Investment Company, LLC, Owner, requests approval of variance(s) to grading standards related to permissible building slope within SFCC Subsection SFCC 14-8.2(D)(3)(d). *Topography*, which states "A structure shall not be built on a natural slope of thirty percent or greater." The property is zoned R-1 (1 dwelling unit per acre), is partially within the Escarpment Overlay, and is approximately 1.36 acre in size. (John Neunuebel, Case Manager, jcneunuebel@santafenm.gov 955-6656)

H. STAFF COMMUNICATIONS

I. MATTERS FROM THE COMMISSION

J. ADJOURNMENT

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

Re-zoning of site in Las Soleras subdivision Unit 3

Subject: Opposition to PulteGroup's proposed zoning change for the site in the Las Soleras subdivision Unit 3.

Dear Sir/Madam,

We, the residents of Villas de Las Soleras, are writing this letter, with the intent to express our opposition to the proposed zoning change for the site to the east of Rail Runner Rd., in the Las Soleras subdivision Unit 3. PulteGroup is asking for a zoning change (from R-6 to R-10) to build 44 two story townhomes on Rail Runner Rd. across the street from Phases 1 and 2 of the Villas de Las Soleras. This zoning change raises the density of the site from "low" to "medium" and adds 44 units on this narrow plot of land. The site in question was originally allocated for development of low density single family homes. We object to this zoning change for reasons listed below:

1. The subdivision to the east of Rail Runner Rd. is currently a low density area. Changing the single plot of land under question to a medium density zoning would be inconsistent of the current land use to the east of Rail Runner. Moreover, this plot of land is very narrow. A highly dense townhome development in this lot would tarnish the aesthetics of this subdivision.
2. Parking is sorely short in the subdivision and forbidden on both Rail Runner and Governor Miles roads. Those of us facing these streets have only a few parking options behind our homes. The new Phase 3 plan has even fewer parking spots, exacerbating this issue.
3. There are no plans for open spaces or walking trails in the proposed Phase 3 development plan, further blemishing the subdivision.
4. The new development would overburden Rail Runner Rd., which being a narrow street, is already facing traffic problems.

Due to these reasons, we object to the high density residential development on this land and the change of zoning being sought.

Sincerely,

The Residents of Villas de Las Soleras


RE-ZONING PETITION-PULTE VILLAS DE LAS SOLERAS UNIT 3

PRINT NAME	DATE	ADDRESS	SIGNATURE	EMAIL ADDRESS
EDMOND KIBEL	8/15/21	4610 RAILRUNNER SANTA FE 87507	Edmond Kibel	SEKIBEL@GMAIL.COM
SUSAN KIBEL	8/15/21	4610 Rail Runner Rd.	Susan Kibel	↓
Madeline Austmore	8/16/21	4612 Rail Runner Rd	Madeline Austmore	madelinaustmore@gmail.com
USA Teagler	8/16/21	4606 Rail Runner Rd.	J. Teagler	lisa.teagler@gmail.com
Susan Harris	8/16/21	4602 Rail Runner Rd	Susan Harris	shsattafecybeemesa.com
Anna Veas	8/16/21	4616 Rail Runner Rd	Anna Veas	aveas1990@pointloma.edu
Desiree Donald	8/16/21	4620 Rail Runner Rd	Desiree Donald	andantedun@gmail.com
Alonzo Lasras	8/16/21	4624 Rail Runner Rd	Alonzo Lasras	Cortel@rychu.com
Letisha Louisa	8/16/21	464636 Railrunner Rd	Letisha Louisa	ingressaddicted@gmail.com
Buck Schwartz	8/16/21	4636 Rail Runner Rd.	Buck Schwartz	Buck@4left.com
Caitlin Taylor	8/16/21	4640 Rail Runner Rd	Caitlin Taylor	caitlin.taylor13@gmail.com
Felipe Hernandez	8/16/21	4642 Rail Runner Rd	Felipe Hernandez	frd.txs@gmail.com
M. Felix	8/16/21	4641 Rail Runner Rd	M. Felix	Felipe@gmail.com
M. Felix	8/16/21	4646 Rail Runner Rd	M. Felix	riennefelix@gmail.com

PRINT NAME	DATE	ADDRESS	SIGNATURE	EMAIL ADDRESS
Talia Felix	8/16/21	4646 Rail Runner Road		Talia.Felix@gmail.com
Robithy Guedipati	8/16/21	4604 Rail Runner Road		robithyguedipati@gmail.com
Shruthi Kasireddy	8/16/21	4604 Rail Runner Road.		shruthikasireddy@gmail.com
Feodra Teagar	8/16/21	4606 Rail Runner Road		teagrdrii@ekshuall.com
Antonio B. Herrera	8/21/21	4608 Rail Runner Road		antoniaherrera49@gmail.com
Rosa Lopez	8/21/2021	4804 Governor Miles		rlopez9316@yahoo.com
Mario Perez	8/21/2021	4802 Governor Miles		mario.perezdelapana@gmail.com
Bradley Berni	8/21/2021	4808 Governor Miles		bradleybern505@gmail.com
DEBORAH LUCERO LUCERO	8/24/21	4712 Wheeler Park		SPRUE AS BERNI lelucero@gmail.com
Eric Montoya	8/24/21	4705 Wheeler Park		Ericmontoya12@gmail.com
Sincerity Montoya	8/24/21	4708 Wheeler Park		ebmontoy14@gmail.com
Lindy Hallmark	8/25/21	4910 Venado Park		Lindyhallmark1993@gmail.com
Brynn Hallmark	8/25/21	4910 Venado Park		bhallmark@yahoo.com
Jeff Gassie	8/27/21	4738 Wheeler Park		gassieff@gmail.com



Land Use Department Planning Commission Staff Report

<p>Case No(s): 2021-3802/3803 Hearing Date: September 2, 2021 Applicant: Ramirez Investment Co., Owner Request: Two (2) variance request(s) related to the defining of proposed building footprint requiring grading in future construction of a single-family residence that will affect natural slope areas that 1) exceed twenty percent slopes and 2.) exceed thirty percent slopes.</p> <p>Location: 697 Gonzales Road Case Mgr.: John Neunuebel, Planner Senior Zoning: R-1 (Residential 1 Unit Per Acre) Overlay: Escarpment/ Ridgetop Overlay District (Adjacent to Gonzales Rd.) Pre-app Mtg: April 22, 2021 ENN Mtg: June 8, 2021 Proposal: Proposed 3,000 sq. ft. building footprint that includes natural slopes</p>	<p>Site Map</p>  <p>697 Gonzalez Rd.</p>
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Case #2021-3802 697 Gonzales Road; Variance to Subsection 14-8.2(D)(3)(b), Karnes & Associates, LLP, Agent for Ramirez Investment Co., LLC, Owner, requests approval of a variance to grading standards related to permissible building slope within SFCC Subsection 14-8.2(D)(3)(b) *Topography*, which states “at least one-half of the area designated as suitable for building and at least one-half of any building footprint shall have a natural slope of less than twenty percent; the remainder of the area or building footprint may have a natural slope of twenty percent or greater, but less than thirty percent.” The property is zoned R-1 (1 dwelling unit per acre), is partially within the Escarpment/ Ridgetop Overlay, and is approximately 1.36 acres in size. (John Neunuebel, Case Manager, jcneunuebel@santafenm.gov (505) 955-6656)

Case #2021-3803 697 Gonzales Road; Variance to Subsection 14-8.2(D)(3)(d), Karnes & Associates, LLP, Agent for Ramirez Investment Co., LLC, Owner, requests approval of a variance to grading standards regarding permissible building slope within SFCC Subsection 14-8.2(D)(3)(d) *Topography*, which states “A structure shall not be built on a natural slope of thirty percent or greater.” The property is zoned R-1 (1 dwelling unit per acre), is partially within the Escarpment Overlay, and is approximately 1.36 acres in size. (John Neunuebel, Case Manager, jcneunuebel@santafenm.gov (505) 955-6656)

I. RECOMMENDATIONS:

1) Staff is recommending **APPROVAL** of the variance request regarding SFCC Subsection 14-8.2(D)(3)(b) *Topography*, which states “at least one-half of the area designated as suitable for building and at least one-half of any building footprint shall have a natural slope of less than twenty percent; the remainder of the area or building footprint may have a natural slope of twenty percent or greater, but less than thirty percent.” (Case #2021-3802) as provided for in an alternative building pad location, and 2) staff is recommending **DENIAL** of the variance request regarding SFCC Subsection 14-8.2(D)(3)(d) *Topography*, which states “A structure shall not be built on a natural slope of thirty percent or greater.” (Case #2021-3803).

Four motions will be required, in the following order, for these case(s):

- *Approve or deny the Variance to Subsection 14-8.2(D)(3)(b) grading standards for Case #2021-3802;*
- *Approve or deny the Findings of Fact and Conclusions of Law for Case #2021-3802, as proposed in Exhibit A (2).*
- *Approve or deny the Variance Subsection 14-8.2(D)(3)(d) to grading standards for Case #2021-3803;*
- *Approve or deny the Findings of Fact and Conclusions of Law for Case #2021-3803, as proposed in Exhibit A (2).*

Condition of Approval as proposed by Current Planning Division:

- 1) Applicant shall return to the Planning Commission during a future scheduled meeting to obtain approval of revised location of building pad corresponding with Planning Commission approval of variance request Case #2021-3802 as related to SFCC Subsection 14-8.2(D)(3)(b), with City staff preparing associated Findings of Fact and Conclusions of Law at that time.

II. EXECUTIVE SUMMARY

The Applicant is proposing to designate a 3,000 sq. ft. building footprint for construction of a future single-family residence on a presently vacant lot located at 697 Gonzales Road. The proposed building footprint requires variance(s) from the City’s grading standards due to it requiring the footprint to allow for more than fifty percent in slopes exceeding 20-30 percent grade, as well as natural slopes in excess of thirty (30) percent. Specifically; in defining a building footprint for which a future building permit application will be sought, variance(s) are being requested for the following two (2) City of Santa Fe code section(s): **1) Subsection 14-8.2(D)(3)(b)** which states: “At least one-half of the area designated as suitable for building and at least one-half of any building footprint shall have a natural slope of less than twenty percent; the remainder of the area or building footprint may have a natural slope of twenty percent or greater, but less than thirty percent.” **2) Subsection 14-8.2(D) (3) (d)** which states: “A structure shall not be built on a natural slope of thirty percent or greater.” Staff is proposing a single Condition of Approval wherein the applicant shall return to the Planning Commission for final approval of revised building pad location.

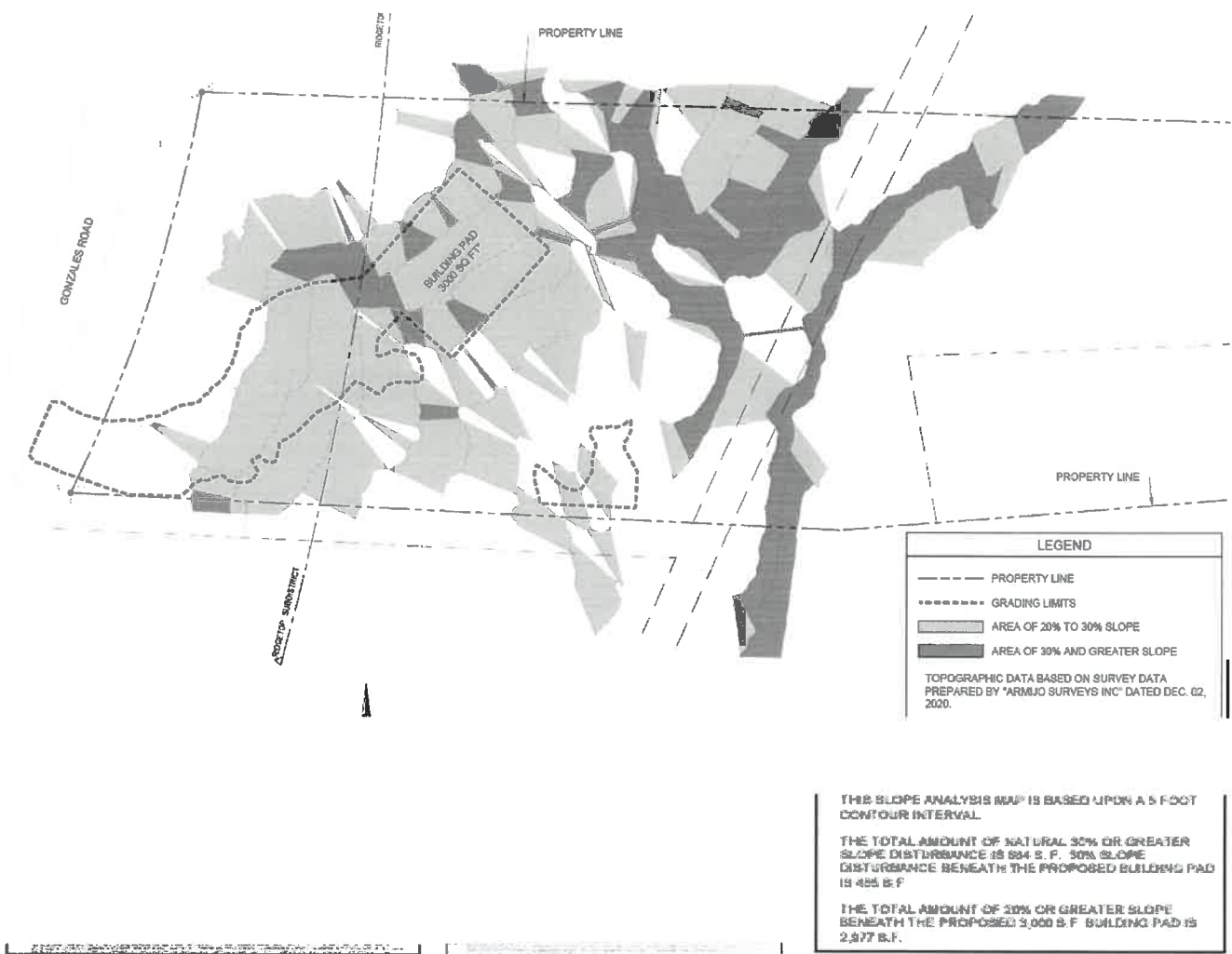
Additionally, in a letter submitted subsequent to the subject Applications (letter dated August 12, 2021), the Applicant proposes that if the Planning Commission were so inclined to consider an alternative

Application wherein a building pad would be proposed for location closer to Gonzales Road coterminous with existing, adjacent homes located within the Escarpment Overlay District/ Ridgetop boundary and outside twenty and thirty percent natural slope areas, the Applicant would so submit a new Application for variance from escarpment/ridgetop overlay locational requirements while placing the subject Application(s) “on hold.”

The Applicant has complied with SFCC Subsections 14-3.1(E) “Pre-Application Conferences” and 14-3.1(H) “Notice Requirements” for Public Hearings.

III. BACKGROUND

The subject property, comprising 1.36 acres, is located at 697 Gonzales Road and was created as part of Valle Lejano Unit 4 Subdivision, which was recorded in 1980. The property includes an approximately 90-foot wide area immediately adjacent to Gonzales Road included within the Escarpment/ Ridgetop Overlay, which prohibits most development, as established by the City of Santa Fe in 1991. The property slopes generally from west to east with flatter, most developable areas located adjacent to Gonzales Road, as well as further to the east and well away from the Gonzales Street frontage. The subject Variance Application(s) are seeking to establish a 3,000 sq. ft. building footprint so as to provide increased certainty to the current or future property owners in obtaining a building permit for the construction of a single-family residence.



VII. VARIANCE APPROVAL CRITERIA

Subsection 14-3.16(A) governs the authority, procedures and restrictions for a Variance and states that "Land Use Boards may approve variances to the provisions of Chapter 14 as provided in Section 14-2 and elsewhere in this chapter and in accordance with this section. Variances may be granted to provisions regulating the size, location and appearance of structures. A variance shall not be granted to provisions that restrict the type or intensity of principal or accessory uses permitted within a district..."

The variance process balances reasonable use of the Applicant's property against compliance with the letter and intent of adopted regulations. The proposal must be consistent with at least one of the circumstances listed in Criteria 1a through 1d, and must be consistent with all of Criteria 2 through 5.

<p>Criterion1: Necessary Findings To grant a Variance, a land use board shall make the following finding per Subsection 14-3.6(C)(1) as follows: One or more of the following special circumstances applies: (a) unusual physical characteristics exist that distinguish the land or structure from others in the vicinity that are subject to the same relevant provisions of Chapter 14, characteristics that existed at the time of the adoption of the regulation from which the variance is sought, or that were created by natural forces or by government action for which no compensation was paid; or (b) the parcel is a legal nonconforming lot created prior to the adoption of the regulation from which the variance is sought, or that was created by government action for which no compensation was paid; or (c) there is an inherent conflict in applicable regulations that cannot be resolved by compliance with the more restrictive provision as provided in Section 14-1-7; or (d) the land or structure is nonconforming and has been designated as a landmark, contributing or significant property pursuant to Section 14-5.2 (Historic Districts).</p>	<p>Criterion Met: (Yes/No) <u>YES</u> for Case 2021-3802 & <u>NO</u> for Case 2021-3803</p>
<p>(a) <u>Applicant Response</u>: The property has buildable area adjacent to Gonzales Road that would not require any terrain management variances. However, that area is non-buildable due to the designated ridgetop subdistrict that runs along the east side of Gonzales Road through the property. Review of the escarpment overlay map shows that there are several houses in the vicinity located within the ridgetop subdistrict, including the house adjacent and to the south. The topography of properties in the vicinity varies and the Property is subject to steep slopes, three arroyos and a designated flood zone, all of which restrict developable areas. Most of the properties along the east side of Gonzales Road are of a similar size, but are more square in nature than the Property, which is rectangular in shape and oriented in an east-west direction, more or less with the slope. The combination of the relatively narrow-north-south dimension of the property, the ridgetop overlay and the need for a driveway meeting applicable code requirements all constrain the building pad location to a greater extent than others in the vicinity, perhaps explaining why this is one of the few remaining vacant properties in the vicinity.</p> <p><u>Staff Response</u>: While there is a sizeable buildable area on the property that is immediately adjacent to Gonzales Road but within the ridgetop subdistrict, there are also buildable areas located outside the subdistrict that include no natural slopes above twenty (20) percent grade. However, the configurations of these areas would significantly limit the size of any future residence and/or require a complexity of building design that would likely not be particularly compatible with the simpler designs of existing structures in the area as required in accommodating intervening areas with natural slopes of between 20 and 30 percent. Thus, <u>staff conclude that allowing grading of some natural slopes of between 20 and 30 percent grade would provide for a building pad that more readily accommodates the size and type of building designs that more closely match those</u></p>	

of existing residences within the area. (The Applicant has provided such an alternative building pad location that would require a revised alignment of the driveway to remain clear of all natural slope in excess of 30 percent, and that may or may not adhere to all of the City's other development standards and requirements.)

Staff also conclude that given the flexibility afforded by significant areas on the property that are relatively flat but include some intervening slopes of between 20 and 30 percent, there appears to be little or no justification for the locating of a building pad within areas of the property that include natural slopes above 30% grade. The preservation of such steeper natural slopes being of particular importance in preserving natural drainage patterns and reduction of soil erosion.

(b) Applicant Response: The property was created as part of Valle Lejano Unit 4 subdivision, which was recorded in ~~4990~~ 1980 and has been zoned for residential development since that time. The property is a legal conforming lot. That said, Section 14-8.2.D was adopted as a new section via Ordinance 2011-37 and the creation date of the Property predates the regulations requested to be varied by more than two decades. Likewise, the City adopted the Escarpment overlay ordinance via Ordinance 2006-55. That ordinance compels the approval of terrain management variances in order to make use of the Property for its planned and zoned single family residential use and avoid an inverse condemnation claim.

(b) Staff Response: Staff concur that the subject property comprises a legal and conforming lot.

- (c) Not Applicable
- (d) Not Applicable

Criterion 2:
The special circumstances make it infeasible, for reasons other than financial cost, to develop the property in compliance with the standards of Chapter 14.

Criterion Met:
 (Yes/No)
YES for Case 2021-3802
&
NO for Case 2021-3803

Applicant Response: As addressed above [in Criterion 1], the existence of the Ridgetop Subdistrict along Gonzales Road, the larger arroyo and flood plain in the eastern portion of the property and the sloping terrain in between render it infeasible to develop a driveway and building pad in compliance with the standards of Chapter 14.

Staff Response: Staff concur that there are significant constraints to development of the property; however, it is the presence of the smaller, intervening slope areas of between 20 and 30 percent within flatter, buildable areas of the property that greatly limit the size and design of single-family residences commensurate with existing structures within the area. Staff concludes that there are no substantive rationale for locating building footprint in areas with natural slopes above 30%.

<p>Criterion 3: The intensity of the development shall not exceed that which is allowed on other properties in the vicinity that are subject to the same relevant provisions of Chapter 14.</p>	<p>Criterion Met: (Yes/No) <u>YES</u> for Case 2021-3802 & <u>YES</u> for Case 2021-3803</p>
<p><u>Applicant Response:</u> The proposed building pad is 3,000 SF in size. Several existing homes in the vicinity are at least this large.</p> <p><u>Staff Response:</u> Staff concur that the question of proposed size of building pad will not exceed the allowed density within this R-1 residential district of 1 unit per acre. However, it is notable that the terrain management section stipulates that a building footprint of 2,000 square feet should be allowed at a minimum in compliance with applicable terrain management regulations.</p>	
<p>Criterion 4: The variance is the minimum variance that will make possible the reasonable use of the land or structure. The following factors shall be considered: (a) whether the property has been or could be used without variances for a different category or lesser intensity of use; and (b): consistency with the purpose and intent of Chapter 14, with the purpose and intent of the articles and sections from which the variance is granted and with the applicable goals and policies of the general plan.</p>	<p>Criterion Met: (Yes/No) <u>YES</u> for Case 2021-3802 & <u>NO</u> for Case 2021-3803</p>
<p>a) <u>Applicant Response:</u> The property is zoned for single-family development and most of the properties in the vicinity were developed with single-family homes many years ago. Due to the constraints addressed above, it is not feasible to develop the Property without variances or for a lesser intensity of use than the planned single-family dwelling.</p> <p>a) <u>Staff Response:</u> Staff conclude and contend that a different category of use or lesser intensity of use due to design constraints imposed on single-family structures by smaller intervening natural slopes of between 20 and 30 percent within flatter developable areas comprise a minimum relief necessary to ensure new construction that is commensurate with nearby existing development, while such a development scenario involving the grading of natural slopes of greater than 30 percent is <u>not</u> required.</p> <p>b) <u>Applicant Response:</u> The variances are necessary in order to achieve construction of a single-family dwelling on the Property, which is the use planned for the Property in the General Plan and the Zoning Map. The building pad has been designed to avoid the designated Ridgetop Subdistrict, while minimizing the amount of land disturbance in light of the sloping nature of the property. Pushing the house farther down the hill to the east would result in greater amount of grading, land disturbance and driveway length, as compared to the building pad included in the Application.</p>	

b) Staff Response: Staff generally concurs with the Applicant's response; however, staff would contend that the requested variance to grading of natural slopes between 20 and 30 percent is sufficient in meeting the stated aims of constructing an appropriate single-family residence as contained within Variance Application Case 2021-3802; while the requested variance to grading of slopes greater than 30 percent as contained within Variance Application Case 2021-3802 may be deemed as unnecessary.

Criterion 5:
The variance is not contrary to the public interest;

Criterion Met:
 (Yes/No)
YES for Case 2021-3802
&
NO for Case 2021-3803

Applicant Response: Development of a single-family home on the property will be consistent with the General Plan land use designation and zoning designation of the Property, will avoid visual impacts protected by the Ridgetop Subdistrict, will minimize the amount of necessary site disturbance and will not be contrary to the public interest.

Staff Response: Staff conclude that the approval of Variance Application Case# 2021-3802 providing for grading of intervening natural slope areas between 20 and 30 percent is justified and may be deemed not contrary to the public interest since it will provide for a simpler building design less encumbered by design constraints necessitated by intervening slope areas interspersed in flatter portions of the property, thus providing for designs more likely to be in character with existing residences in the vicinity. So, too, by providing for a building location that is more commensurate with existing residences located adjacent to Gonzales Road instead of a more removed location to the east, a future residence may be more fully integrated into the fabric of the existing neighborhood. The proposed variance in allowing for grading of natural slopes in excess of 30 percent as contained in Variance Application Case 2021-3803 is not necessary in meeting the applicant's objective of providing for a 3,000 sq. ft. building pad; and, therefore, may be contrary to the public interest given the more intensive impacts resulting from increased grading of natural, steeper slope areas.

Criterion 6:
There may be additional requirements and supplemental or special findings required by other provisions of Chapter 14

Criterion Met:
 (Yes/No)
YES

Staff Response: Current or future property owners will be required to submit Application for Building Permit and obtain building permit prior to construction of new single-family residence.

IV. EARLY NEIGHBORHOOD NOTIFICATION

The Early Neighborhood Notification meeting for both the subject applications was conducted on June 8, 2021, and was attended by 3 area residents plus the Applicants team and city staff. Attendees asked

questions regarding the proposed variances, and did not express concern or opposition to the proposals.

V. EXPIRATION

Per SFCC Section 14-3.19(B) (5), approval of a variance expires if it is not exercised within three years. Should the Commission approve the variance and adopt Findings of Fact at this hearing, the expiration date would be September 2, 2024

VI. ATTACHMENTS:

EXHIBIT A:

- 1. Findings of Fact & Conclusions of Law for Case(s) #2021-3802 & #2021-3803

EXHIBIT B:

- 1. Memo from Land Development Engineer, D. Beingessner


EXHIBIT C: Maps and Photos

- 2. Site Photo

EXHIBIT D: Applicant Materials

- 1. Request for Variance Application
- 2. Early Neighborhood Notification Meeting Summary
- 3. Applicant Letter Received August 12, 2021
- 4. Improvement Plans for Proposed Building Footprint including Site Plan, Topographical Map, Slope Analysis, Grading/Drainage Plan, and ALTERNATIVE LOCATION pursuant to staff request

APPROVED BY:

Title	Name	Initials
Interim Planning and Land Use Director	Jason Kluck	jmk
Land Use Planner Manager	Noah Berke, AICP, CFM	NLB
Land Use Department Case Manager	John Neunuebel, Planner Senior	JCN 

**City of Santa Fe,
New Mexico**

Exhibit A

**Draft(s)
Findings of Fact/Conclusions of
Law**

Case #2021-3802

&

Case #2021-3803

**City of Santa Fe
Board of Adjustment
Findings of Fact and Conclusions of Law**

Case #2021-3802

697 Gonzales Road Variance to Grading Standards

Owners/Applicants – Karnes & Associates, agent for Ramirez Investment Co, owner

THIS MATTER came before the Planning Commission (Commission) for hearing on September 2, 2021 upon the application (Application) by Karnes & Associates, agent for Ramirez Investment Co., LLC, owner of #697 Gonzales Road. The Application pertains to a property located at 697 Gonzales Road totaling approximately 1.36 acres (Property). The Applicant requests a Variance to grading standards related to permissible building slope within Subsection 14-8.2(D)(3)(b), so as to identify and locate a building footprint for which a building permit may be sought in the future for the construction of a single-family residence. (Project).

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. At the hearing, the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public.
2. The Santa Fe City Code (SFCC) Section 14-3.1 sets out certain procedures to be followed on the Application, including a pre-application conference [SFCC § 14-3.1 (E)] and (b) compliance with notice and public hearing requirements [SFCC § 14-3.1(H)-(I)].
3. A pre-application conference was held in April 2021 in accordance with SFCC Section 14-3.1 (E).
4. Pursuant to SFCC Sections 14-2.4(B) and 14-3.16(B)(1), the Board has the authority to hear and decide requests for variances.
5. Within SFCC Subsection 14-8.2(D)(3)(b) *Topography*, which states “at least one-half of the area designated as suitable for building and at least one-half of any building footprint shall have a natural slope of less than twenty percent; the remainder of the area or building footprint may have a natural slope of twenty percent or greater, but less than thirty percent.”
6. The subject property is vacant, and the applicant is seeking to identify and locate a building footprint for which a building permit may be sought in the future for the construction of a single-family residence.
7. City staff reviewed the Application and related materials and information submitted by the Applicants for conformity with applicable SFCC requirements and provided the Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
8. To obtain a variance, the Applicant must demonstrate that all applicable criteria set forth in SFCC Section 14-3.16(C)(1) through (6) have been met.
9. Staff recommended approval of the requested variance because Staff found that the Applicant met all of the variance criteria.

Criterion 1:

10. First, under SFCC Section 14-3.16(C)(1), to grant a variance the Commission must find that “one or more of the following special circumstances applies: (a) unusual physical characteristics exist that distinguish the land or structure from others in the vicinity that are subject to the same relevant provisions of Chapter 14, characteristics that existed at the time of the adoption of the regulation from which the variance is sought, or that were created by natural forces or by government action for which no compensation was paid; or (b) the parcel is a legal nonconforming lot created prior to the adoption of the regulation from which the variance is sought, or that was created by government action for which no compensation was paid; or (c) there is an inherent conflict in applicable regulations that cannot be resolved by compliance with the more restrictive provision as provided in Section 14-1-7; or (d) the land or structure is nonconforming and has been designated as a landmark, contributing or significant property pursuant to Section 14-5.2 (Historic Districts).”
11. The Applicant asserted that the Criterion 1 was met due to the property having an unusual configuration different from other area properties; the presence of the ridgetop subdistrict on the western portion of the property which prohibits construction of most structures; as well as the property including steep slopes, three arroyos and a designated flood zone, all of which restrict developable areas.
12. Staff found that the Applicant met the first criterion due to unique aspects of the property as identified, as well as flatter portions of the property being interspersed with slope areas that would necessitate unusual architectural designs that would not be in keeping with the simpler architectural designs of adjacent residences.
13. The Commission finds, based on the Staff Report and the evidence presented at the hearing, that the Applicant has provided a rationale that meets Criterion 1.

Criterion 2:

14. Second, under SFCC Section 14-3.16(C)(2), to grant a variance the Board must find that “special circumstances make it infeasible, for reasons other than financial cost, to develop the property in compliance with the standards of Chapter 14.”
15. The Applicant reiterated and asserted that the existence of the Ridgetop Subdistrict combined with other unique physical aspects of the property render it infeasible to develop a driveway and building pad in compliance with the standards of Chapter 14.
16. Staff concurred with applicant that there are significant constraints to development of the property, with the presence of smaller, intervening slope areas within flatter developable areas of the property that greatly limit the size and design of single-family residences commensurate with existing structures in the area.
17. The Commission finds, based on the Staff Report and the evidence presented at the hearing, that the Applicant has provided a rationale that meets Criterion 2.

Criterion 3:

18. Third, under SFCC Section 14-3.16(C)(3), to grant a variance the Board must find that the “intensity of the development shall not exceed that which is allowed on other properties in the vicinity that are subject to the same relevant provisions of Chapter 14.”

19. The Applicants stated that the proposed building pad is 3,000 sq. ft. in size, with several existing homes in the vicinity being at least this large.
20. Staff concurred that the Applicant that this Criterion is met, with there being no increase in intensity of development.
21. The Commission finds, based on the Staff Report and the evidence presented at the hearing, that the Applicant has met Criterion 3.

Criterion 4:

22. Fourth, under SFCC Section 14-3.16(C)(4), to grant a variance the Board must find that the “variance is the minimum variance that will make possible the reasonable use of the land or structure. The following factors shall be considered: (a) whether the property has been or could be used without variances for a different category or lesser intensity of use; and (b) consistency with the purpose and intent of Chapter 14, with the purpose and intent of the articles and sections from which the variance is granted and with the applicable goals and policies of the general plan.”
23. The Applicant asserted the following: The property is zoned for single-family development and most of the properties in the vicinity were developed with single-family homes many years ago. Due to the constraints as addressed, it is not feasible to develop the Property without variances or for a lesser intensity of use than the planned single-family dwelling. Further the variances are necessary in order to achieve construction of a single-family dwelling on the Property, which is the use planned for the Property in the General Plan and the Zoning Map. The building pad has been designed to avoid the designated Ridgetop Subdistrict, while minimizing the amount of land disturbance in light of the sloping nature of the property. Pushing the house farther down the hill to the east would result in greater amount of grading, land disturbance and driveway length, as compared to the building pad included in the Application.
24. Staff conclude and contend that a different category of use or lesser intensity of use due to design constraints imposed on single-family structures by smaller intervening natural slopes of between 20 and 30 percent within flatter developable areas comprise a minimum relief necessary to ensure new construction that is commensurate with nearby existing development.
25. The Commission finds, based on the Staff Report and the evidence presented at the hearing, that the Applicant has provided a rationale that meets Criterion 4.

Criterion 5:

26. Fifth, under SFCC Section 14-3.16(C)(5), to grant a variance the Board must find that the “variance is not contrary to the public interest.”
27. The Applicant asserted that development of a single-family home on the property will be consistent with the General Plan land use designation and zoning designation of the Property, will avoid visual impacts protected by the Ridgetop Subdistrict, will minimize the amount of necessary site disturbance and will not be contrary to the public interest.
28. Staff found that the approval of the proposed variance is justified and may be deemed not contrary to the public interest since it will provide for a simpler building design less encumbered by design constraints necessitated by intervening slope areas interspersed in flatter portions of the property, thus providing for designs more likely to be in character with existing residences in the vicinity. So, too, by providing for a building location that is

more commensurate with existing residences located adjacent to Gonzales Road instead of a more removed location to the east, a future residence may be more fully integrated into the fabric of the existing neighborhood.

29. The Commission finds, based on the Staff Report and the evidence presented at the hearing, that the Applicant has provided a rationale that meets Criterion 5.

Criterion 6:

30. Finally, SFCC Section 14-3.16(C)(6) provides, “There may be additional requirements and supplemental or special finding required by other provisions of Chapter 14.”
31. Staff stated that current or future property owners will be required to submit Application for Building Permit and obtain building permit prior to construction of new single-family residence, and the Commission agrees that current or future property owners will need to obtain a building permit for construction of a single-family residence.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the Hearing, the Commission CONCLUDES as follows:

1. The Commission has the authority review and approve or deny the variance requested for the Property.
2. The Applicant complied with the applicable procedural requirements for requesting a variance, including proper and sufficient notice.
3. The request for variance should be approved because the Applicant has demonstrated that all of the variance criteria set forth in SFCC Section 14-3.16(C) have been met.

WHEREFORE, IT IS ORDERED ON THE 2ND DAY OF SEPTEMBER 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

That the application for a variance request regarding SFCC Subsection 14-8.2(D)(3)(b) *Topography*, which states “at least one-half of the area designated as suitable for building and at least one-half of any building footprint shall have a natural slope of less than twenty percent; the remainder of the area or building footprint may have a natural slope of twenty percent or greater, but less than thirty percent” is approved.

Brian Gutierrez
Chairperson

Date:

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date:

APPROVED AS TO FORM:

Patricia Feghali
Assistant City Attorney

Date:

**City of Santa Fe
Board of Adjustment
Findings of Fact and Conclusions of Law**

Case #2021-3803

697 Gonzales Road Variance to Grading Standards

Owners/Applicants – Karnes & Associates, agent for Ramirez Investment Co, owner

THIS MATTER came before the Planning Commission (Commission) for hearing on September 2, 2021 upon the application (Application) by Karnes & Associates, agent for Ramirez Investment Co., LLC, owner of #697 Gonzales Road. The Application pertains to a property located at 697 Gonzales Road totaling approximately 1.36 acres (Property). The Applicant requests a Variance to grading standards related to permissible building slope within Subsection 14-8.2(D)(3)(d), so as to identify and locate a building footprint for which a building permit may be sought in the future for the construction of a single-family residence. (Project).

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. At the hearing, the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public.
2. The Santa Fe City Code (SFCC) Section 14-3.1 sets out certain procedures to be followed on the Application, including a pre-application conference [SFCC § 14-3.1 (E)] and (b) compliance with notice and public hearing requirements [SFCC § 14-3.1(H)-(I)].
3. A pre-application conference was held in April 2021 in accordance with SFCC Section 14-3.1 (E).
4. Pursuant to SFCC Sections 14-2.4(B) and 14-3.16(B)(1), the Commission has the authority to hear and decide requests for variances.
5. Within SFCC Subsection 14-8.2(D)(3)(d) *Topography*, which states “A structure shall not be built on a natural slope of thirty percent or greater.”
6. The subject property is vacant, and the applicant is seeking to identify and locate a building footprint for which a building permit may be sought in the future for the construction of a single-family residence.
7. City staff reviewed the Application and related materials and information submitted by the Applicants for conformity with applicable SFCC requirements and provided the Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
8. To obtain a variance, the Applicant must demonstrate that all applicable criteria set forth in SFCC Section 14-3.16(C)(1) through (6) have been met.
9. Staff recommended denial of the requested variance because Staff found that the Applicant did not meet all of the variance criteria.

Criterion 1:

10. First, under SFCC Section 14-3.16(C)(1), to grant a variance the Commission must find that “[one or more of the following special circumstances applies: (a) unusual physical characteristics exist that distinguish the land or structure from others in the vicinity that are subject to the same relevant provisions of Chapter 14, characteristics that existed at the time of the adoption of the regulation from which the variance is sought, or that were created by natural forces or by government action for which no compensation was paid; or (b) the parcel is a legal nonconforming lot created prior to the adoption of the regulation from which the variance is sought, or that was created by government action for which no compensation was paid; or (c) there is an inherent conflict in applicable regulations that cannot be resolved by compliance with the more restrictive provision as provided in Section 14-1-7; or (d) the land or structure is nonconforming and has been designated as a landmark, contributing or significant property pursuant to Section 14-5.2 (Historic Districts).”
11. The Applicant asserted that the Criterion 1 was met due to the property having an unusual configuration different from other area properties; the presence of the ridgetop subdistrict on the western portion of the property which prohibits construction of most structures; as well as the property including steep slopes, three arroyos and a designated flood zone, all of which restrict developable areas.
12. Staff found that given the flexibility afforded by significant areas on the property that are relatively flat but include some intervening slopes of between 20 and 30 percent, there appears to be little or no justification for the locating of a building pad within areas of the property that include natural slopes above 30% grade. The preservation of such steeper natural slopes being of particular importance in preserving natural drainage patterns and reduction of soil erosion.
13. The Commission finds, based on the Staff Report and the evidence presented at the hearing, that the Applicant has not provided a rationale that meets Criterion 1.

Criterion 2:

14. Second, under SFCC Section 14-3.16(C)(2), to grant a variance the Board must find that “special circumstances make it infeasible, for reasons other than financial cost, to develop the property in compliance with the standards of Chapter 14.”
15. The Applicant reiterated and asserted that the existence of the Ridgetop Subdistrict combined with other unique physical aspects of the property render it infeasible to develop a driveway and building pad in compliance with the standards of Chapter 14.
16. Staff concurred with applicant that there are significant constraints to development of the property; however, staff concludes that there are no substantive rationale for locating building footprint in areas with natural slopes above 30%.
17. The Commission finds, based on the Staff Report and the evidence presented at the hearing, that the Applicant has not provided a rationale that meets Criterion 2.

Criterion 3:

18. Third, under SFCC Section 14-3.16(C)(3), to grant a variance the Board must find that the “intensity of the development shall not exceed that which is allowed on other properties in the vicinity that are subject to the same relevant provisions of Chapter 14.”

19. The Applicants stated that the proposed building pad is 3,000 sq. ft. in size, with several existing homes in the vicinity being at least this large.
20. Staff concurred that the Applicant that this Criterion is met, with there being no increase in intensity of development.
21. The Commission finds, based on the Staff Report and the evidence presented at the hearing, that the Applicant has met Criterion 3.

Criterion 4:

22. Fourth, under SFCC Section 14-3.16(C)(4), to grant a variance the Board must find that the “variance is the minimum variance that will make possible the reasonable use of the land or structure. The following factors shall be considered: (a) whether the property has been or could be used without variances for a different category or lesser intensity of use; and (b) consistency with the purpose and intent of Chapter 14, with the purpose and intent of the articles and sections from which the variance is granted and with the applicable goals and policies of the general plan.”
23. The Applicant asserted the following: The property is zoned for single-family development and most of the properties in the vicinity were developed with single-family homes many years ago. Due to the constraints as addressed, it is not feasible to develop the Property without variances or for a lesser intensity of use than the planned single-family dwelling. Further the variances are necessary in order to achieve construction of a single-family dwelling on the Property, which is the use planned for the Property in the General Plan and the Zoning Map. The building pad has been designed to avoid the designated Ridgetop Subdistrict, while minimizing the amount of land disturbance in light of the sloping nature of the property. Pushing the house farther down the hill to the east would result in greater amount of grading, land disturbance and driveway length, as compared to the building pad included in the Application.
24. Staff concluded that a development scenario involving the grading of natural slopes of greater than 30 percent is not required.
25. The Commission finds, based on the Staff Report and the evidence presented at the hearing, that the Applicant has not provided a rationale that meets Criterion 4.

Criterion 5:

26. Fifth, under SFCC Section 14-3.16(C)(5), to grant a variance the Board must find that the “variance is not contrary to the public interest.”
27. The Applicant asserted that development of a single-family home on the property will be consistent with the General Plan land use designation and zoning designation of the Property, will avoid visual impacts protected by the Ridgetop Subdistrict, will minimize the amount of necessary site disturbance and will not be contrary to the public interest.
28. Staff found that the proposed variance in allowing for grading of natural slopes in excess of 30 percent as contained in Variance Application Case 2021-3803 is not necessary in meeting the applicant’s objective of providing for a 3,000 sq. ft. building pad; and, therefore, may be contrary to the public interest given the more intensive impacts resulting from increased grading of natural, steeper slope areas.
29. The Commission finds, based on the Staff Report and the evidence presented at the hearing, that the Applicant has not provided a rationale that meets Criterion 5.

Criterion 6:

30. Finally, SFCC Section 14-3.16(C)(6) provides, “There may be additional requirements and supplemental or special finding required by other provisions of Chapter 14.”
31. Staff stated that current or future property owners will be required to submit Application for Building Permit and obtain building permit prior to construction of new single-family residence, and the Commission agrees that current or future property owners will need to obtain a building permit for construction of a single-family residence.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the Hearing, the Commission CONCLUDES as follows:

1. The Commission has the authority review and approve or deny the variance requested for the Property.
2. The Applicant complied with the applicable procedural requirements for requesting a variance, including proper and sufficient notice.
3. The request for variance should be denied because the Applicant has not demonstrated that all of the variance criteria set forth in SFCC Section 14-3.16(C) have been met.

WHEREFORE, IT IS ORDERED ON THE 2ND DAY OF SEPTEMBER 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

That the application for a variance request regarding SFCC Subsection 14-8.2(D)(3)(d) *Topography*, which states “A structure shall not be built on a natural slope of thirty percent or greater” is denied.

Brian Gutierrez
Chairperson

Date:

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date:

APPROVED AS TO FORM:

Patricia Feghali
Assistant City Attorney

Date:

City of Santa Fe, New Mexico

Exhibit B

Development Review Team

- 1. Memo from City of Santa Fe Land Development Engineer, D. Beingessner**

Development Review Team

Comment Form

Date: 7/20/21
Staff person: Dee Beingessner
Dept/Div: Land Use/Terrain Management
Case: **Case #2021-2802 2803. 697 Gonzales Road Variances**
Case Mgr: John Neunuebel



Issues:

The applicant is requesting variances to **Subsection 14-8.2(D)(3)(b)** and **14-8.2(D)(3)(d)** of the Escarpment Overlay District Ordinance.

Variations:

- Article 14-8.2(D)(3)(b) states “At least one-half of the area designated as suitable for building and at least one-half of any *building* footprint shall have a natural *slope* of less than twenty percent; the remainder of the area or *building* footprint may have a natural *slope* of twenty percent or greater, but less than thirty percent.”
- Article **14-8.2(D)(3)(d)** states that “A *structure* shall not be built on a natural *slope* of thirty percent or greater.”

Facts:

- A portion of this lot is in the ridgetop subdistrict.
- The applicant requests to establish a buildable area on the lot which would disturb 30% slopes and half of the site is on slopes greater than 20%.
- The preferred site that has been presented is directly adjacent to the viewline.

Staff Recommendation:

Staff reviewed the DRT packet and materials provided. A site visit was conducted by staff on June 30, 2021 to view the possible buildable areas on the property.

The purpose of the Terrain and Stormwater Management section of the ordinance is to minimize destruction of the natural *landscape*, to protect the scenic character of Santa Fe from the visual blight of indiscriminate *cuts* and *fills* and vegetation removal resulting from extensive *grading* and utility scars, and to respect, protect, maintain and restore natural *drainageways*, wetlands, bosques, *floodplains*, steep *slopes*, riparian vegetation and wildlife habitat areas.

The purpose of the Escarpment Overlay District ordinance is to “preserve the natural environment and the distinctive and historic ridgetop and foothills area environment as a visual asset for the benefit for the community and to maintain and encourage the sense of the City as a small community.”

After reviewing the materials provided by the applicant, conducting a site visit, and analyzing the information provided, staff can not recommend approval for the variance requests for the preferred site. Staff does recommend the approval of the alternate site with a variance to Section 14-8.2(D)(3)(b) for one-half of the site to have slopes less than 20%.

In order to comply as closely as possible with City Code, the alternate site is preferred. The alternate site would not require a variance for 30% slope disturbance and allows the buildable area to have less 20-30% slope disturbance. In addition, it meets the intent of the code to build as far from the viewline as possible on the site. The owner’s preferred proposed buildable area is directly adjacent to the viewline. As per City Code 14-5.6 (D)(3) *Structures* shall be sited as far from the *viewline* as possible. By allowing the applicant to build on the preferred site, the visual impact of the residence will be greatly increased.

Therefore given the criteria for variances as listed in Article 14-5.6 (K), staff has determined that granting variances for the preferred site would have the effect of nullifying the intent and purpose of the ordinance relating to Terrain and Stormwater Management and the Escarpment Overlay District.

City of Santa Fe, New Mexico

Exhibit C

Maps and Photos

1. Site Photo



Google

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City of Santa Fe, New Mexico

Exhibit D

Applicant Materials

- 1. Request for Variance Application**
- 2. Early Neighborhood Notification Meeting Summary**
- 3. Applicant Letter Dated August 12, 2021**
- 4. Improvement Plans for Proposed Building Footprint including: Site Plan; Topographical Map; Slope Analysis; Grading/Drainage Plan; and ALTERNATIVE LOCATION of BLDG PAD pursuant to staff request**



PLANNING COMMISSION
VARIANCE APPLICATION

SUBDIVISION OR DEVELOPMENT PLAN STANDARDS

Parcel Information

Project Name: RAMIREZ INVESTMENTS VARIANCE Z- § 14.8.2.D.3(d)

Address: 697 GONZALES RD Property Size: 1.36 AC

Zoning: R-21RUP Proposed Use of Land: SINGLE FAMILY RESIDENTIAL

Does this project have a Final Development Plan approval? YES NO Case Number: _____

Early Neighborhood Notice (ENN) meeting date: 6/18/21 Uniform Parcel Code Number: 105509946717

Preapplication Conference Date: 4/22/21

Property Owner Information

Company Name: RAMIREZ INVESTMENT CO. LLC

Name: _____

Address: 2079 AVENIDA SAN DIEGO
Street Address Suite/Unit # _____
SANTA FE NM 87507-3312
City State ZIP Code _____

Phone: (505) 470-7403 E-mail Address: _____

Applicant/Agent Information (if different from owner)

Company Name: SOMMER KARNES & ASSOCIATES LLP

Name: Joseph KARNES

Address: PO BOX 2476
Street Address Suite/Unit # _____
SANTA FE NM 87504
City State ZIP Code _____

Phone: (505) 989-3800 E-mail Address: Joseph@SommerKARNES.COM

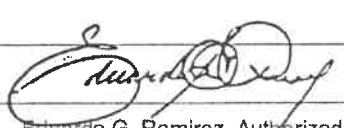
Correspondence Directed to: Owner Applicant Both

Affidavit to Authorize Agent (if applicable)

I am/We are the owner(s) and record title holder(s) of the property located at: 697 GONZALES RD

I/We authorize SOMMER KARNES & ASSOCIATES to act as my/our agent to execute this application.

Signed: _____ Date: _____

Signed:  Date: 06/18/21

Eduardo G. Ramirez, Authorized Agent

3 per John Neunabel

Submittal Checklist

Six (6) 24"x36" plan sets and one (1) CD are required. Please include the following:

<input checked="" type="checkbox"/> Letter of Application (intent, location, acreage)	<input checked="" type="checkbox"/> Statement addressing approval criteria	<input checked="" type="checkbox"/> Legal Lot of Record, Legal Description	<input type="checkbox"/> Development Plan (as defined by Section 14-3.8 SFCC 2001) <i>NA</i>	<input type="checkbox"/> Landscape, Parking and Lighting Plan, Signage Specifications <i>NA</i>
<input checked="" type="checkbox"/> Terrain Management Plans (as required by Section 14-8.2 SFCC 2001)	<input type="checkbox"/> Traffic Impact Analysis (if required) <i>NA</i>	<input type="checkbox"/> Proof of Compliance with Conditions of Annexation Approval (if applicable) <i>NA</i>	<input type="checkbox"/> Sewer and Water Plan (including profiles and details) <i>NA</i>	<input checked="" type="checkbox"/> ENN Meeting Notes
Variations from Subdivision Regulations (Section 14-3.16 (C) SFCC 1987)				

(C) Approval Criteria

Subsections 14-3.16(C)(1) through (5) and, if applicable, Subsection 14-3.15(C)(6), are required to grant a variance.

- (1) One or more of the following special circumstances applies:
 - (a) unusual physical characteristics exist that distinguish the land or *structure* from others in the vicinity that are subject to the same relevant provisions of Chapter 14, characteristics that existed at the time of the adoption of the regulation from which the variance is sought, or that were created by natural forces or by government action for which no compensation was paid;
 - (b) the *parcel* is a *legal nonconforming lot* created prior to the adoption of the regulation from which the variance is sought, or that was created by government action for which no compensation was paid;
 - (c) there is an inherent conflict in applicable regulations that cannot be resolved by compliance with the more-restrictive provision as provided in Section 14-1.7; or
 - (d) the land or *structure* is *nonconforming* and has been designated as a *landmark, contributing or significant property* pursuant to Section 14-5.2 (Historic Districts).
- (2) The special circumstances make it infeasible, for reasons other than financial cost, to develop the *property* in compliance with the standards of Chapter 14.
- (3) The *intensity of development* shall not exceed that which is allowed on other *properties* in the vicinity that are subject to the same relevant provisions of Chapter 14.
- (4) The variance is the minimum variance that will make possible the reasonable use of the land or *structure*. The following factors shall be considered:
 - (a) whether the *property* has been or could be used without variances for a different category or lesser *intensity* of use;
 - (b) consistency with the purpose and intent of Chapter 14, with the purpose and intent of the articles and sections from which the variance is granted and with the applicable goals and policies of the *general plan*.
- (5) The variance is not contrary to the public interest.
- (6) There may be additional requirements and supplemental or special findings required by other provisions of Chapter 14.

Note: If application is being made for Development in Special Flood Hazard Areas, then justification must be provided with the above approval criteria and the criteria found in Section 14-3.10(E) SFCC 1987.

Signature

I hereby certify that the documents submitted for review and consideration by the City of Santa Fe have been prepared to meet the minimum standards outlined in the Land Development Code, Chapter 14 SFCC 2001. Failure to meet these standards may result in the rejection of my application. I also certify that I have met with the City's Current Planning staff in a preapplication meeting to verify that the attached proposal is in compliance with the City's zoning and development plan requirements.

Signature:  Date: 6/21/21

A case manager will be assigned to your project and will notify you within 10 business days if any additional information is needed. After you application has been reviewed by City staff, you will be contacted by us regarding public notice requirements. A packet of information and instructions will be provided regarding the required mailing and sign posting. Thank you, and feel free to contact the Land Use Department staff at (505) 955-6585 with any questions.

SOMMER KARNES & ASSOCIATES LLP

Mailing Address

Post Office Box 2476
Santa Fe, New Mexico 87504-2476

Street Address

125 Lincoln Ave. Suite 221
Santa Fe, New Mexico 87501

Telephone:(505) 989-3800
Facsimile:(505) 288-3601

Karl H. Sommer, Attorney at Law
khs@sommerkarnes.com
Joseph M. Karnes, Attorney at Law
jmk@sommerkarnes.com
Kathleen L. Killoy, Associate
kathleen@sommerkarnes.com

John R. Fox Attorney at Law
johnf@sommerkarnes.com
Of Counsel

June 21, 2021

**Re: 697 Gonzales Road (the "Property") – Application for 2 variances
Ramirez Investment Co. LLC (the "Applicant" and Property Owner)**

Dear Mr. Neunuebel:

On behalf of the Applicant, submitted herewith are two applications requesting that the following Code sections be varied to achieve an approved building pad and driveway access, thereby facilitating design and construction of a single-family dwelling on the Property in a manner consistent with the existing R-2/PUD zoning: section 14-8.2.D.3(b) and (d). This application is limited to the two requested variances and does not include any construction. Should the applications be approved, the Applicant intends that a home be designed on the Property and that a building permit application be submitted for construction.

The vacant 1.36 acre Property is located on the east side of Gonzales Road, north of Lejano Lane and south of Calle Joya. All of the surrounding lots along Gonzales have been developed for single family residential use, except for the lot across the street at 1398 Camino Sin Salida and open space adjacent to and north of that lot.

The western portion of the Property is within the Ridgetop Subdistrict of the Escarpment District, which prohibits construction of structures. The Property slopes downhill to the east and the easterly portion of the Property is within a designated floodplain. Just east of the Ridgetop Subdistrict, there are two arroyos running NW-SE across the Property draining into a larger arroyo running north south through the eastern portion of the Property. The Slope Analysis Map shows that most of the slopes on the Property are less than 30%. The steeper areas are in the northerly portion of the Property west of the larger North-South arroyo. The Slope Analysis Map shows that there are several relatively small, scattered and disconnected areas of slopes within the area planned for the driveway and building pad. The flattest portion of the Property is along Gonzalez Road, where construction of the house is prohibited due to the Ridgetop Subdistrict, which compels the building pad to be located to the east, down the hill.

Due to the existing slopes within the buildable portion of the Property between the east boundary of the Ridgetop Subdistrict and the larger north-south arroyo, variances to the terrain management Code are necessary to achieve the intended use of the Property for a single-family dwelling.

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The project engineer prepared the proposed building pad and access driveway, which has been reviewed and conceptually approved by the Fire Department. Land use staff also requested that the engineer explore other alternatives, with the building pad located farther to the east. Included in this application is an alternative plan showing the engineer's best effort to design a building pad following staff's direction. The alternative plan would require a variance to the 50-50 rule and would also require a variance to section 14-8.2.D.3(c), which requires that on slopes of greater than 20%, that the vertical height between the finished floor elevation and the natural slope be no greater than 5'. The Applicant rejected the alternative plan on the basis that the driveway along the south side of the Property would be longer and would be shaded in winter from existing development on the property to the south, would require a greater amount of land disturbance and would require importation of 1,100 cubic yards of fill.

Fire Department staff reviewed the driveway design for the proposed building pad and provided conceptual approval of the driveway design. The proposed access and building pad represents the best effort to address the site constraints and minimize land disturbance while achieving the long-planned use of the Property by the City General Plan and Zoning Ordinance.

Sincerely,



Joseph M. Karnes

Statement Addressing Approval Criteria

The following addresses the approval criteria for both requested variances.

Approval Criteria

Subsections 14-3.16(C)(1) through (5) and, if applicable, Subsection 14-3.15(C)(6), are required to grant a variance.

(1)

One or more of the following special circumstances applies:

(a)

unusual physical characteristics exist that distinguish the land or structure from others in the vicinity that are subject to the same relevant provisions of Chapter 14, characteristics that existed at the time of the adoption of the regulation from which the variance is sought, or that were created by natural forces or by government action for which no compensation was paid;

Response: The Property has buildable area adjacent to Gonzalez Road that would not require any terrain management variances. However, that area is non-buildable due to the designated Ridgetop Subdistrict that runs along the east side of Gonzales Road through the Property. Review of the escarpment overlay map shows that there are several houses in the vicinity located within the ridgetop subdistrict, including the house adjacent and to the south. The topography of properties in the vicinity varies and the Property is subject to steep slopes, three arroyos and a designated flood zone, all of which restrict developable areas. Most of the properties along the east side of Gonzales Road are of a similar size, but are more square in nature than the Property, which is rectangular in shape and oriented in an east-west direction, more or less with the slope. The combination of the relatively narrow north-south dimension of the property, the ridgetop overlay and the need for a driveway meeting applicable code requirements all constrain the building pad location to a greater extent than others in the vicinity, perhaps explaining why this is one of the few remaining vacant properties in the vicinity.

(b)

the parcel is a legal nonconforming lot created prior to the adoption of the regulation from which the variance is sought, or that was created by government action for which no compensation was paid;

Response: The Property was created as part of the Valle Lejano Unit 4 subdivision, which was recorded in 1980 and has been zoned for residential development since that time. The Property is a legal conforming lot. That said, Section 14-8.2.D was adopted as a new section via Ordinance 2011-37 and the creation date of the Property predates the regulations requested to be varied by more than two decades. Likewise, the City adopted the Escarpment overlay ordinance via

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Ordinance 2006-55. That ordinance compels the approval of terrain management variances in order to make use of the Property for its planned and zoned single family residential use and avoid an inverse condemnation claim.

(c)

there is an inherent conflict in applicable regulations that cannot be resolved by compliance with the more-restrictive provision as provided in Section 14-1.7; or

Response: Not Applicable.

(d)

the land or structure is nonconforming and has been designated as a landmark , contributing or significant property pursuant to Section 14-5.2 (Historic Districts).

Response: Not Applicable.

(2)

The special circumstances make it infeasible, for reasons other than financial cost, to develop the property in compliance with the standards of Chapter 14.

Response: As addressed above, the existence of the Ridgetop Subdistrict along Gonzalez Road, the larger arroyo and flood plain in the eastern portion of the Property and the sloping terrain in between render it infeasible to develop a driveway and building pad in compliance with the standards of Chapter 14.

(3)

The intensity of development shall not exceed that which is allowed on other properties in the vicinity that are subject to the same relevant provisions of Chapter 14.

Response: The proposed building pad is 3,000 SF in size. Several existing homes in the vicinity are at least this large.

(4)

The variance is the minimum variance that will make possible the reasonable use of the land or structure . The following factors shall be considered:

(a)

whether the property has been or could be used without variances for a different category or lesser intensity of use;

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Response: The Property is zoned for single-family development and most of the properties in the vicinity were developed with single-family homes many years ago. Due to the constraints addressed above, it is not feasible to develop the Property without variances or for a lesser intensity of use than the planned single family dwelling.

(b)

consistency with the purpose and intent of Chapter 14, with the purpose and intent of the articles and sections from which the variance is granted and with the applicable goals and policies of the general plan .

Response: The variance are necessary in order to achieve construction of a single family dwelling on the Property, which is the use planned for the Property in the General Plan and the Zoning Map. The building pad has been designed to avoid the designated Ridgetop Subdistrict, while minimizing the amount of land disturbance in light of the sloping nature of the Property. Pushing the house farther down the hill to the east would result in greater amount of grading, land disturbance and driveway length, as compared to the building pad included in the Application.

(5)

The variance is not contrary to the public interest.

Response: Development of a single family home on the Property will be consistent with the General Plan land use designation and zoning designation of the Property, will avoid visual impacts protected by the Ridgetop Subdistrict, will minimize the amount of necessary site disturbance and will not be contrary to the public interest.

(6)

There may be additional requirements and supplemental or special findings required by other provisions of Chapter 14.

SPECIAL WARRANTY DEED

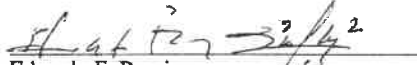
Eduardo F. Ramirez and Maria de Jesus Ramirez, husband and wife, for consideration paid, grants to **Ramirez Investment Company, LLC**, a New Mexico limited liability company, whose address 417 Columbia Street, Santa Fe, New Mexico 87505, the real property in Santa Fe County, New Mexico, described as follows:

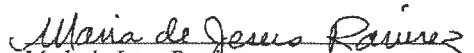
Lot Twenty-four (24), Unit 4, Valle Lejano Subdivision, Santa Fe, New Mexico, as shown on plat filed in the Office of the County Clerk, Santa Fe County, New Mexico on October 21, 1980 as Document No. 466,835.

Subject to: Restrictions, reservations, encumbrances and easements of record,

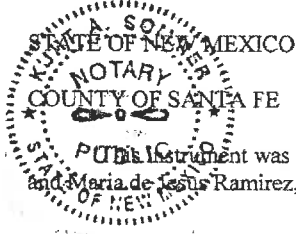
with **special warranty covenants**

Dated: March 29, 2011

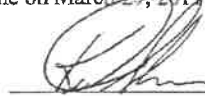

Eduardo F. Ramirez


Maria de Jesus Ramirez

ACKNOWLEDGMENT




This instrument was acknowledged before me on March 29, 2011 by Eduardo F. Ramirez and Maria de Jesus Ramirez, husband and wife.


Notary Public
My commission expires: 6-24-11



COUNTY OF SANTA FE)
STATE OF NEW MEXICO) ss
I Hereby Certify That This Instrument Was Filed for Record On The 30TH Day Of March, 2011 at 02:37:02 PM And Was Duly Recorded as Instrument # 1631040 Of The Records Of Santa Fe County

Witness My Hand And Seal Of Office
Valerie Espinoza
Deputy  County Clerk, Santa Fe, NM

SOMMER KARNES & ASSOCIATES LLP

Mailing Address

Post Office Box 2476
Santa Fe, New Mexico 87504-2476

Street Address

125 Lincoln Ave. Suite 221
Santa Fe, New Mexico 87501

Telephone:(505) 989-3800
Facsimile:(505) 288-3601

Karl H. Sommer, Attorney at Law
khs@sommerkarnes.com
Joseph M. Karnes, Attorney at Law
jmk@sommerkarnes.com
Kathleen L. Killoy, Associate
kathleen@sommerkarnes.com

John R. Fox Attorney at Law
johnf@sommerkarnes.com
Of Counsel

EARLY NEIGHBORHOOD NOTIFICATION MEETING 697 Gonzales Road Variance Application Meeting Held on June 8, 2021

The ENN meeting was held on Zoom and attended by:

Individual	Address	Role
Joseph Karnes		Applicant's Counsel
Eduardo Ramirez		Owner representative
Eric Cornelius		Project Engineer
John Neunuebel		City Planner
Nancy Long	PO Box 5098 Santa Fe NM 87502-5098	Member of public
Ramona Schmidt	1303 Lejano Lane Santa Fe, NM 87501	Member of public
Michael McCormick	719 Gonzales Road Santa Fe, NM 87501	Member of Public

Meeting Summary:

Joseph Karnes made a brief presentation about the process and reviewed details regarding the subject property, City zoning designation, the draft grading plans for the building pad and driveway and anticipated variance application involving terrain management requirements.

Ms. Long did not have any questions or comments.

Ms. Schmidt's one question was whether the area on the east side of the subject property is designated as a flood plain. The project engineer confirmed that it is and that this area is not proposed for development.

Mr. McCormick had questions about the building pad and whether it would likely be on one level or would be split-level. The project engineer explained that the objective is to cut and fill to achieve a single-level pad. Mr. McCormick asked follow up questions about stairs accessing the pad from the parking area and the project engineer explained that

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Page 2 of 2

the house design has not commenced and that it is possible that there may be some stairs.

None of the three public participants stated any opposition to the variance requests.

SOMMER KARNES & ASSOCIATES LLP

Mailing Address

Post Office Box 2476
Santa Fe, New Mexico 87504-2476

Street Address

125 Lincoln Ave. Suite 221
Santa Fe, New Mexico 87501

Telephone:(505) 989-3800
Facsimile:(505) 288-3601

Karl H. Sommer, Attorney at Law
khs@sommerkarnes.com
Joseph M. Karnes, Attorney at Law
jmk@sommerkarnes.com
Kathleen L. Killoy, Associate
kathleen@sommerkarnes.com

John R. Fox Attorney at Law
johnf@sommerkarnes.com
Of Counsel

August 12, 2021

**Re: 697 Gonzales Road (the "Property")
Application for 2 terrain management variances
Ramirez Investment Co. LLC (the "Applicant" and Property Owner)**

Dear Mr. Neunuebel and Members of the Planning Commission:

On behalf of the Ramirez family and Applicant, the following addresses the history and context of the Application to help them achieve the long-planned use of the Property for a single-family home.

Gonzales Road is an exclusively residential area that was planned, zoned, subdivided and substantially developed for single family residential use many years ago. The Property is one of two vacant parcels along the east side of Gonzales Road and has been owned by the Ramirez Family for more than three decades.

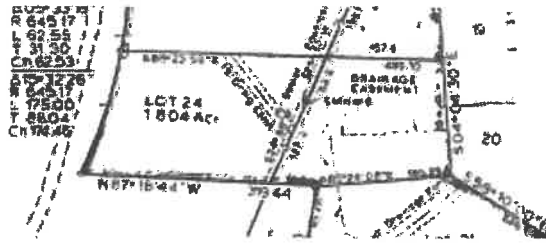
This letter addresses three items: the physical and regulatory development constraints, the proposed size of the building pad and an alternative building pad location, which the Applicant believes would be a superior solution than the proposed location.

A. Physical and Regulatory Constraints

That the Property was not developed long ago is attributable to physical and regulatory constraints; in particular:

1. **Arroyos.** A large north-south arroyo runs through the center of the Property, rendering a building site to the east infeasible. In addition, the plat includes a drainage easement to the west of the arroyo that runs northwest-southeast, which further reduces the developable portion of the Property. Due to these physical constraints, the only potential building sites are in the western portion of the Property.

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2. **Topography.** The westerly portion of the Property, along Gonzales Road, is the highest and flattest area and the land slopes downward to the east. From the high point at the northwest corner of the Property to the central arroyo, the elevation drops 45', from 7,280' to 7,245'. As the topographic slope analysis submitted with the application shows, the western portion of the Property includes substantial areas of slopes between 20-30% slope and scattered areas of slopes greater than 30%. The terrain management provisions prohibiting development on slopes greater than 30% and limiting development on slopes between 20-30% to half of the building pad further reduce the developable area of the Property. The only area where a building pad could be sited without obtaining terrain management variances is in the northern area adjacent to Gonzales Road, which is within the Ridgetop Subdistrict of the Escarpment Overlay.

3. **Escarpment Overlay.** Subsequent to creation of the lot comprising the Property, the City adopted its escarpment overlay, including designation of areas within the Ridgetop Subdistrict, where construction is prohibited (shown in green). Several of the homes along the east side of Gonzales Road were built within the Ridgetop Subdistrict prior to its adoption.



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As a result of these physical and regulatory constraints, the Property cannot be developed for its zoned single-family residential use without approval of variances to the Code. To our knowledge, the City has not approved any variances allowing development within the Ridgetop Subdistrict in recent years and therefore, the Applicant made the decision to locate the building pad outside the Subdistrict, which requires the two terrain management variances requested by the Application.

B. Building Pad Size

Staff has taken the position that the following Code section supports a conclusion that the City is obligated to approve a building pad with a footprint of no more than 2,000 SF.

Each residential lot shall have a buildable site designated as suitable for a building with a footprint of not less than forty percent of the minimum required net lot area or two thousand (2,000) square feet, whichever is less, which can be developed in accordance with the terrain and stormwater management standards and with other applicable development standards, including required setbacks and access requirements. The planning commission or the land use director *for summary plats or resubdivisions*, may approve residential lots with a smaller buildable site to accommodate lot size averaging or within multi-family developments. Section 14-8.2 (D)(3)(a)

This section does not apply to the Application and does not stand for the proposition that the City may impose a limit on the size of a building pad. The section, by its express terms (*italicized above*), applies to creation of new lots, which are required to identify buildable sites in order to demonstrate that they can be feasibly developed for the uses allowed by the applicable zoning district.

In this case, the subdivision plat creating the lot did not identify a buildable site (see section A.1, above) and the reason for this Application is that there is no such buildable site on the Property. Furthermore, the section sets only a minimum size for buildable sites that a subdivider is required to demonstrate and does not state that the City may limit the size of a building pad on its own initiative. The obligation imposed by this section is *only* on a subdivider. Had the City intended to adopt a regulation stating that it could limit the size of buildable sites to 2,000 SF, it could have said so and property owners would have knowledge of such a limitation. However, the City did not do so and this section cannot be read to impose such a draconian limitation.

Further, the development pattern for the area along the east side of Gonzales Road was set in place many years ago, when the rest of the homes were built, and those homes are much larger than the proposed 3,000 SF building pad for a single-story residence. The County Assessor records (Exhibit B) show that the existing homes adjacent to the Property are substantially larger:

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Address	Location	Square Footage
701 Gonzales Rd	Adjacent to north	4,660 SF
693 Gonzales Rd.	Adjacent to south	4,887 SF
2036 Calle Lejano	Adjacent to east	5,642 SF
1309 Lejano Land	Adjacent to east	3,128 SF
1307 Lejano Lane	Adjacent to southeast	3,470 SF
690 Gonzales Road	Adjacent to west	3,403 SF

The proposed building pad would be smaller than **all** of the existing adjacent homes and substantially smaller than half of them. Also, some of these existing homes are two stories, whereas the Applicant is willing to limit the future dwelling on the building pad to one story.

The City Code is not meant to be punitive in nature and is intended to accomplish “a coordinated, adjusted and harmonious development of Santa Fe that will best promote health, safety, order, convenience, prosperity and the general welfare.” (Section 14-1.3) Approval of the Application would accomplish this purpose and would facilitate construction of a home that, while smaller than all of its existing neighbors, would be in harmony with them. A 2,000 SF building pad would not be in harmony with the existing neighborhood and would materially harm the Applicant in a manner not intended by the Code.

C. Alternative Building Pad Location

During the site visit attended by the Case Planner, City Engineer and a representative of the Fire Department, there was discussion about an alternative building pad location within the Ridgetop Subdistrict. As addressed in section A.3, above, it was noted that there are several existing homes adjacent to Gonzales Road within the Ridgetop Subdistrict and that this area is flatter than the portions of the Property to the east and also that the amount of grading and vegetation removal would be reduced with a building pad closer to Gonzales Road and the need for retaining walls would be eliminated.

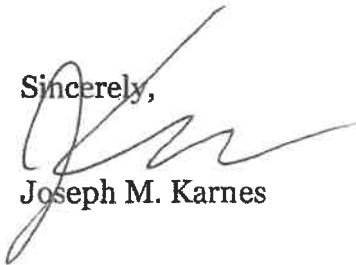
Given the expense and time associated with entitlement applications, along with the lack of approved Ridgetop Subdistrict variances, the Ramirez family decided on the Application as submitted. That said, if the Planning Commission is inclined to positively consider a building pad for a single-story home within the Ridgetop Subdistrict and neighbors do not object, the Ramirez family would consider designing and submitting such an application, which would require only a variance to the Escarpment Overlay district, and putting the pending Application on hold pending a decision on the alternative building pad location. We look forward to addressing this possibility during the Planning Commission hearing.

D. Conclusion

The Ramirez family would prefer to avoid the need for a variance and the associated process and simply apply for a building permit to achieve the permitted use of the Property for a single-family home. Unfortunately, the realities are that the physical and regulatory constraints compel approval of one or more variances to do so (and to avoid inverse condemnation of the Property by the City – a result that would be undesirable to all).

The Ramirez family was pleased that no objections to their proposal were heard during the Early Neighborhood Notification meeting and looks forward to presenting the application at the Planning Commission hearing. Thank you for your consideration.

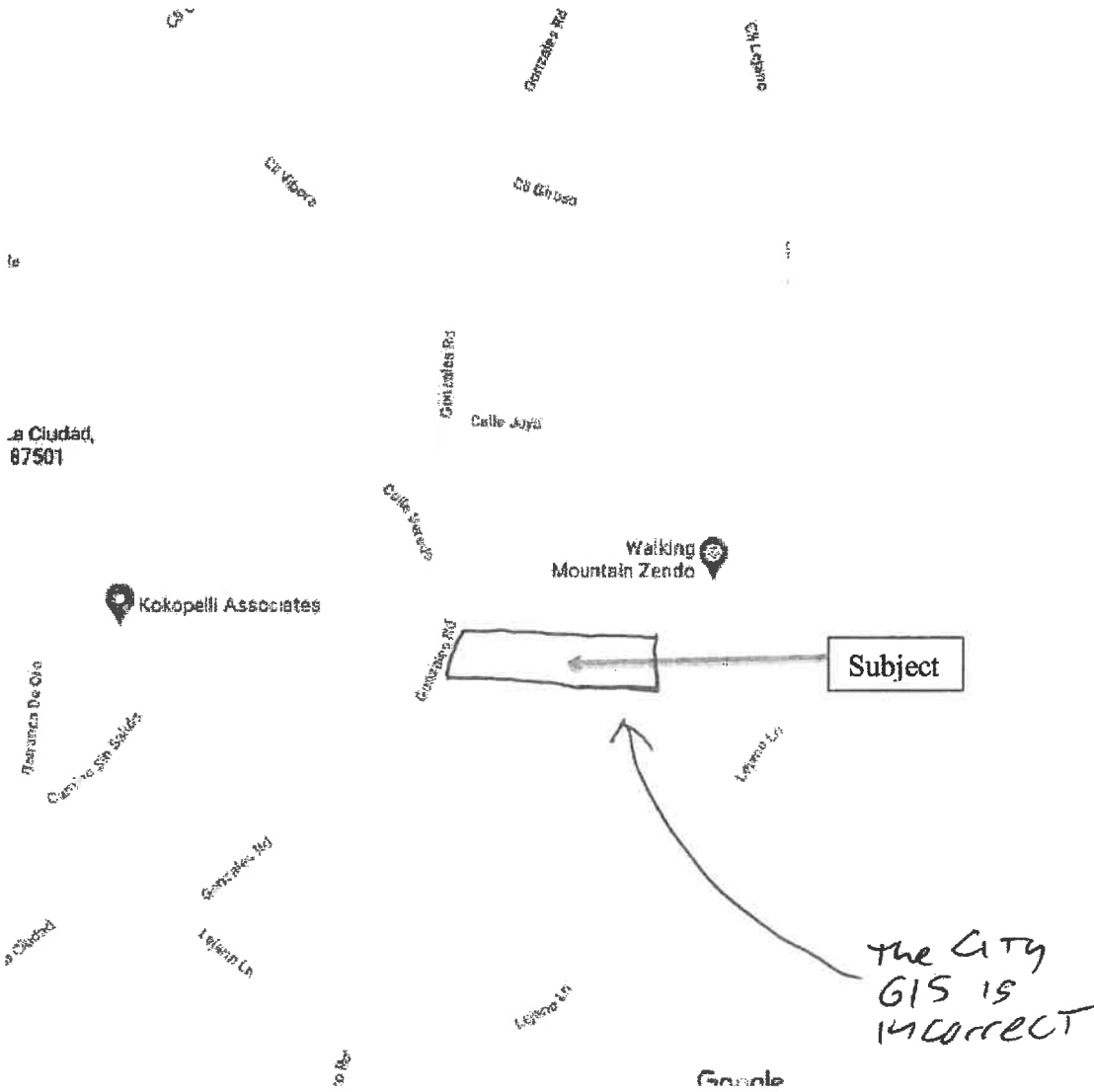
Sincerely,

A handwritten signature in black ink, appearing to read 'J. Karnes', written over the word 'Sincerely,'.

Joseph M. Karnes

SOMMER, KARNES & ASSOCIATES, LLP

EXHIBIT A



Sketch and Property Description

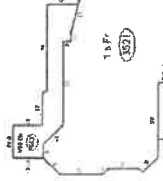
If you are the owner of the property being researched and you believe there is a significant discrepancy in any of the information being shown, please click here to complete a Property Correction Form. Submission instructions are available on the form.

Property Detail and Sketches (below) are current as of Monday, March 15, 2021.

LAND DETAIL

Extension	Line	Type	Square Footage	Acreage
L01	1	Residential	69565.32000000	1.59700000

PRIMARY STRUCTURES DETAIL

Extension ID	Type	Square Footage	Year Built	Bedrooms	Sketch (click image to download)
R01	0	Dwelling	1990	4	
R01	1	Open Frame Porch			
R01	2	Wood Deck			
		Total Square Footage			
		4176			

ADDITIONAL STRUCTURES DETAIL

Extension ID	Type	Square Footage	Year Built	Sketch (click image to download)
R01	G04	Attached Garage	1990	
		494		

Sketch and Property Description

If you are the owner of the property being researched and you believe there is a significant discrepancy in any of the information being shown, please click here to complete a Property Correction Form. Submission instructions are available on the form.

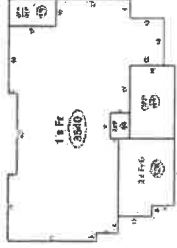
Property Detail and Sketches (below) are current as of Monday, March 15, 2021.

LAND DETAIL

Extension	Line	Type	Square Footage	Acreage
L01	1	Residential	50529.60000000	1.16100000

PRIMARY STRUCTURES DETAIL

Extension	ID	Type	Square Footage	Year Built	Bedrooms	Sketch (click image to download)
R01	0	Dwelling	3540	1989	3	
R01	1	Open Frame Porch	53			
R01	2	Open Frame Porch	416			
R01	3	Open Frame Porch	170			
R01	4	Open Frame Porch	176			
Total Square Footage			4559			



ADDITIONAL STRUCTURES DETAIL

Extension	ID	Type	Square Footage	Year Built	Sketch (click image to download)
R01	G01	Attached Garage	526	1989	

Property Detail and Sketches (below) are current as of Monday, March 16, 2021.

LAND DETAIL

Extension	Line	Type	Square Footage	Assestg
L01	1	Residential	445910.00000000	1.63100000

PRIMARY STRUCTURES DETAIL

Extension	ID	Type	Square Footage	Year Built	Bedrooms	Sketch (click image to download)
R01	D	Dwelling	3364	1979	8	
R01	1	Open Frame Porch	126			
R01	2	Open Frame Porch	126			
R01	3	Open Frame Porch	96			
Total Square Footage			3652			

Extension	ID	Type	Square Footage	Year Built	Bedrooms	Sketch (click image to download)
R02	D	Dwelling	896	2030	2	
R02	1	Open Frame Porch	374			
R02	2	Open Frame Porch	96			
Total Square Footage			1366			

ADDITIONAL STRUCTURES DETAIL

Extension	ID	Type	Square Footage	Year Built
R01	G01	Attached Garage	624	1979

Search and Property Description


If you are the owner of the property being researched and you believe there is a significant discrepancy in any of the information being shown, please click here to complete a Property Construction Form. Submission instructions are available on the form.

Property Detail and Sketches (below) are current as of Monday, March 15, 2021.

LAND DETAIL

Extension	Line	Type	Square Footage	Acresage
L01	1	Residential	46,656.52000000	1.11700000

PRIMARY STRUCTURES DETAIL

Extension	ID	Type	Square Footage	Year Built	Bedrooms	Sketch (click image to download)
R01	D	Dwelling	1989	1979	3	
R01	1	Open Frame Porch	69			
R01	2	Open Frame Porch	65			
Total Square Footage			2034			

ADDITIONAL STRUCTURES DETAIL

Extension	ID	Type	Square Footage	Year Built	Sketch (click image to download)
R01	G01	Attached Garage	506	1979	
R02	01	Detached Garage	336	2014	
R03	01	Detached Garage	252	2017	

Sketch and Property Description

If you are the owner of the property being researched and you believe there is a significant discrepancy in any of the information being shown, please click [here](#) to complete a Property Correction Form. Submission instructions are available on the form.

Property Detail and Sketches (below) are current as of Monday, March 15, 2021.

LAND DETAIL

Extension	Line	Type	Square Footage	Acreage
L01	1	Residential	56899.38000000	1.306900000

PRIMARY STRUCTURES DETAIL

Extension ID	Type	Square Footage	Year Built	Bedrooms	Sketch (click image to download)
R01	D	Dwelling	2810	1985	4
R01	1	Open Masonry Porch	54		
R01	2	Open Masonry Porch	220		
Total Square Footage		2894			



ADDITIONAL STRUCTURES DETAIL

Extension ID	Type	Square Footage	Year Built	Sketch (click image to download)
R01	G01	Attached Garage	1985	

Sketch and Property Description

If you are the owner of the property being researched and you believe there is a significant discrepancy in any of the information being shown, please click here to complete a Property Correction Form. Submission instructions are available on the form.

Property Detail and Sketches (below) are current as of Monday, March 15, 2021.

LAND DETAIL

Extension	Line	Type	Square Footage	Acreage
LOT	1	Residential	14374.80000000	0.33000000

PRIMARY STRUCTURES DETAIL

Extension	ID	Type	Square Footage	Year Built	Bedrooms	Sketch (click image to download)
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RC1	0	Dwelling	2210	1980	3	
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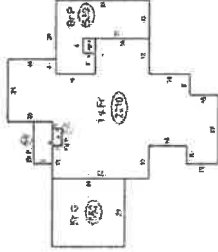
RC1	1	Brick Patio	539			
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RC1	2	Open Frame Porch	18			
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RC1	3	Brick Patio	24			
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Total Square Footage

2851



ADDITIONAL STRUCTURES DETAIL

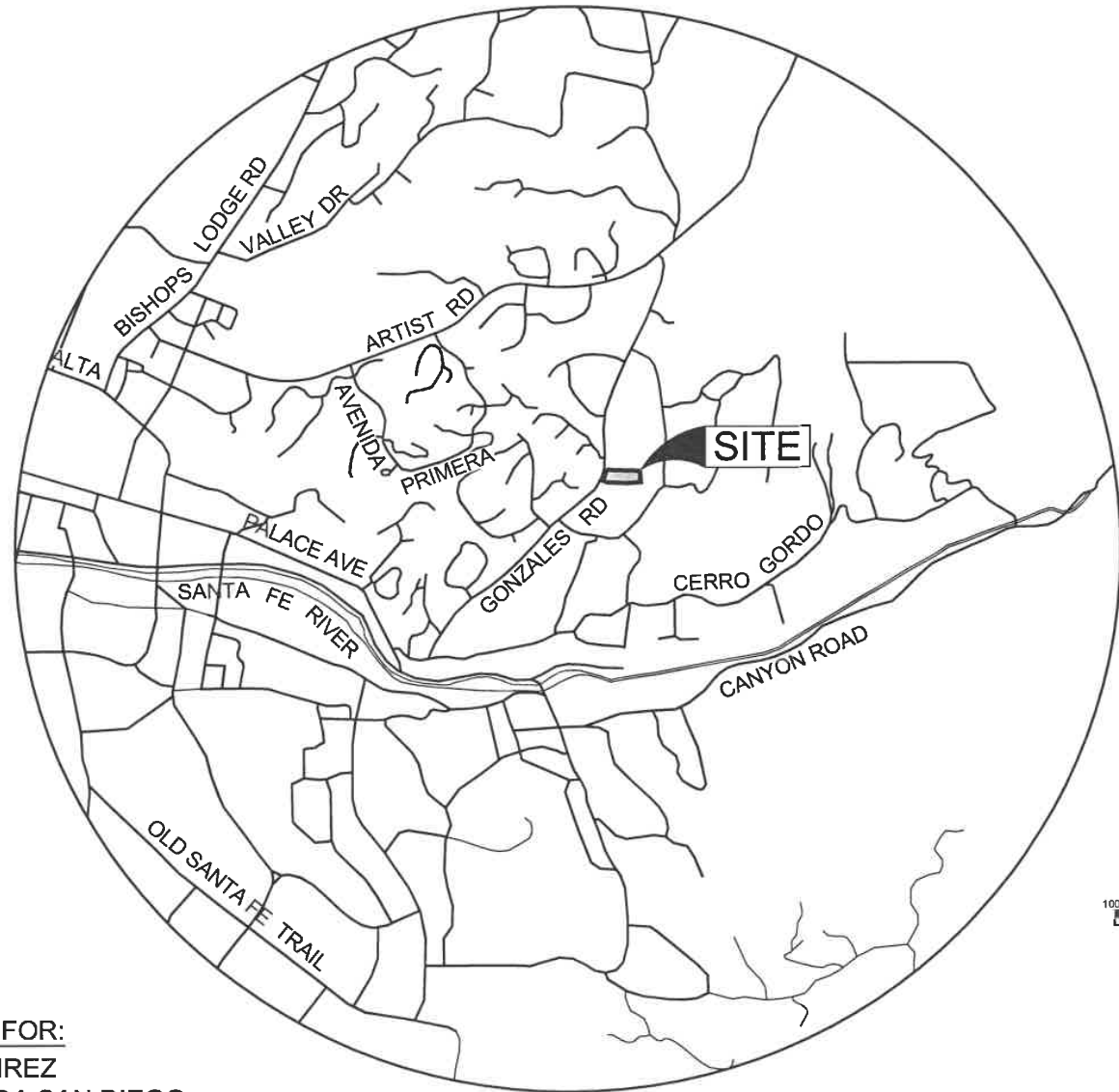
Extension	ID	Type	Square Footage	Year Built	Sketch (click image to download)
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RC1	G01	Attached Garage	552	1980	
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RESIDENTIAL LOT IMPROVEMENTS

FOR 697 GONZALES ROAD

SANTA FE, NEW MEXICO



PREPARED FOR:
 MARIA RAMIREZ
 2079 AVENIDA SAN DIEGO
 SANTA FE, NM 87507

CITY OF SANTA FE, NEW MEXICO
SECTION 19, TOWNSHIP 17N, RANGE 10E

JUNE
2021

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C-701	DRIVEWAY PLAN AND PROFILE
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C-901 TO C-905	STANDARD DRAWINGS AND DETAILS

BUILDING PERMIT No's: (GRADING) _____ (LANDSCAPE/UTILITIES) _____
 INFRASTRUCTURE CONSTRUCTION ADDRESS _____

ENGINEER'S STORMWATER INFRASTRUCTURE CERTIFICATION
 I, UNDERSIGNED, BEING A PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE RECORD INFORMATION SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND VISUAL INSPECTIONS PERFORMED BY MYSELF OR UNDER MY DIRECT SUPERVISION.

I FURTHER CERTIFY THAT THE RECORD CONDITION OF THE SITE AS OF _____ IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN PREPARED BY _____, DATED _____.

PRINTED NAME, NMPE NO., DATE _____

PROPERTY DEVELOPMENT MUST COMPLY WITH SECTION 14-8.12 (RELOCATION OF GUNNISON'S PRAIRIE DOGS.)

CITY OF SANTA FE DRAINAGE NOTES:

- SUBJECT TO THE APPROVAL OF CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION/SEDIMENT CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF EACH SEGMENT OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER. THE CITY OF SANTA FE IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THESE EASEMENTS AND DRAINAGE FACILITIES AT THE DISCRETION OF THE CITY. THE OWNER AGREES TO INDEMNIFY AND TO HOLD HARMLESS FROM ALL DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTION RIGHT.

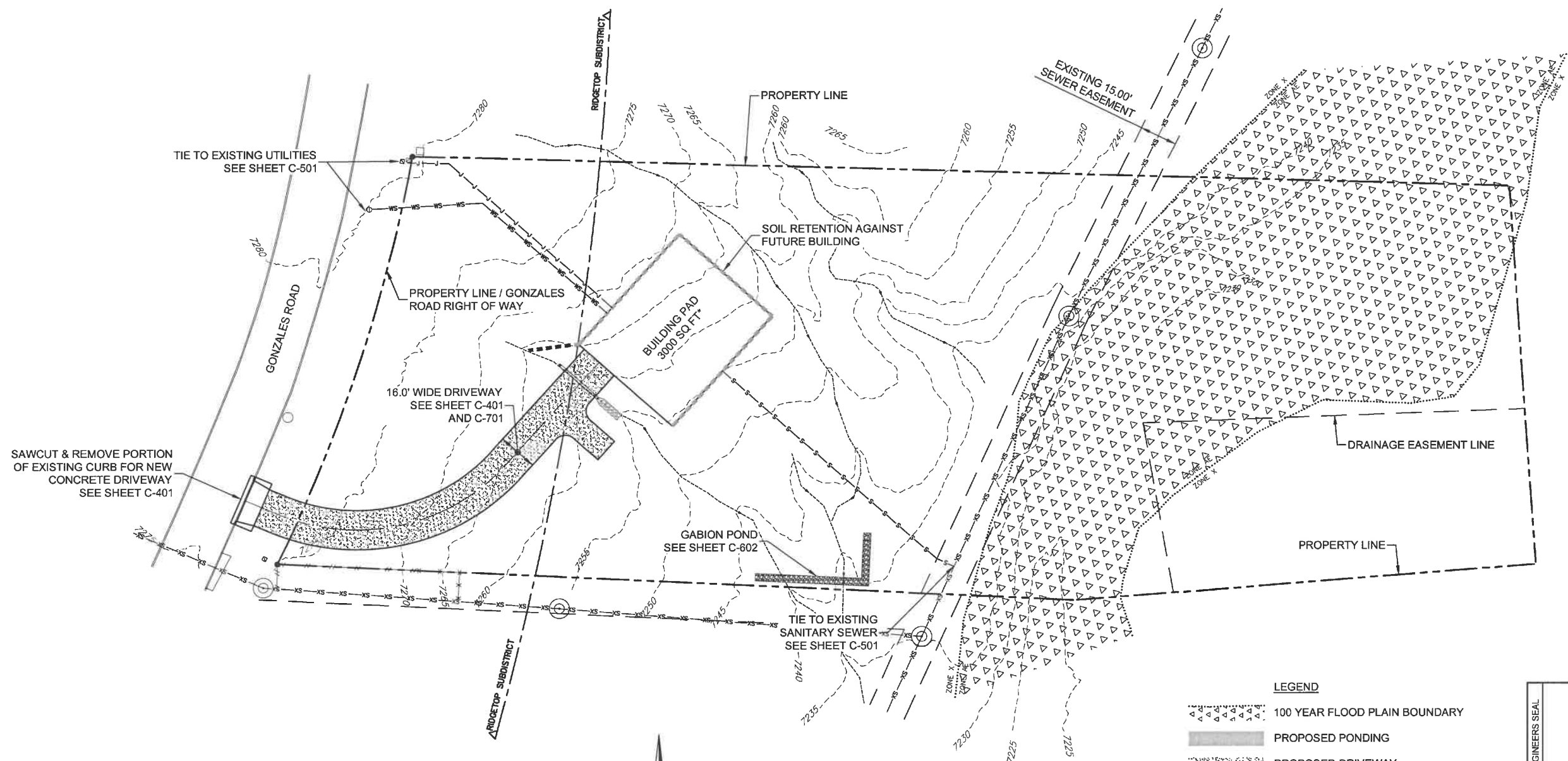
I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE PROJECT WAS BUILT IN ACCORDANCE WITH THE SPECIFICATIONS AND THAT THESE RECORD DRAWINGS ARE TRUE AND CORRECT TO THE BEST OF MY BELIEF.

ERIC A. CORNELIUS, N.M.P.E. NO. 22790
 SANTA FE ENGINEERING CONSULTANTS, LLC.

NOTE:
 THE PURPOSE OF THIS SUBMITTAL IS TO
 APPLY FOR A VARIANCE TO PORTIONS OF
 SANTA FE CITY CODE 14-8.2 - TERRAIN
 AND STORMWATER MANAGEMENT

S
F
E
C

Santa Fe Engineering
 Consultants, LLC
 1599 St. Francis Drive, Suite B
 Santa Fe, NM 87505
 (505) 982-2845 Fax (505) 982-2641
<http://www.SFENGR.com>



SAWCUT & REMOVE PORTION OF EXISTING CURB FOR NEW CONCRETE DRIVEWAY SEE SHEET C-401

TIE TO EXISTING UTILITIES SEE SHEET C-501

PROPERTY LINE / GONZALES ROAD RIGHT OF WAY

16.0' WIDE DRIVEWAY SEE SHEET C-401 AND C-701

BUILDING PAD 3000 SQ FT

GABION POND SEE SHEET C-602

TIE TO EXISTING SANITARY SEWER SEE SHEET C-501

SOIL RETENTION AGAINST FUTURE BUILDING

EXISTING 15.00' SEWER EASEMENT

DRAINAGE EASEMENT LINE

PROPERTY LINE



0 10 20 40
SCALE: 1" = 20'

CIVIL SITE PLAN
SCALE: 1" = 20'

- LEGEND**
- 100 YEAR FLOOD PLAIN BOUNDARY
 - PROPOSED PONDING
 - PROPOSED DRIVEWAY
 - SOIL RETENTION AGAINST FUTURE BUILDING

ENGINEER'S SEAL	
DATE	
REVISIONS	

SFE C
 Santa Fe Engineering
 Consultants, LLC
 1599 St. Francis Drive, Suite B
 Santa Fe, N. M. 87505
 (505) 982-2845 Fax (505) 982-2641
<http://www.SFENGR.com>

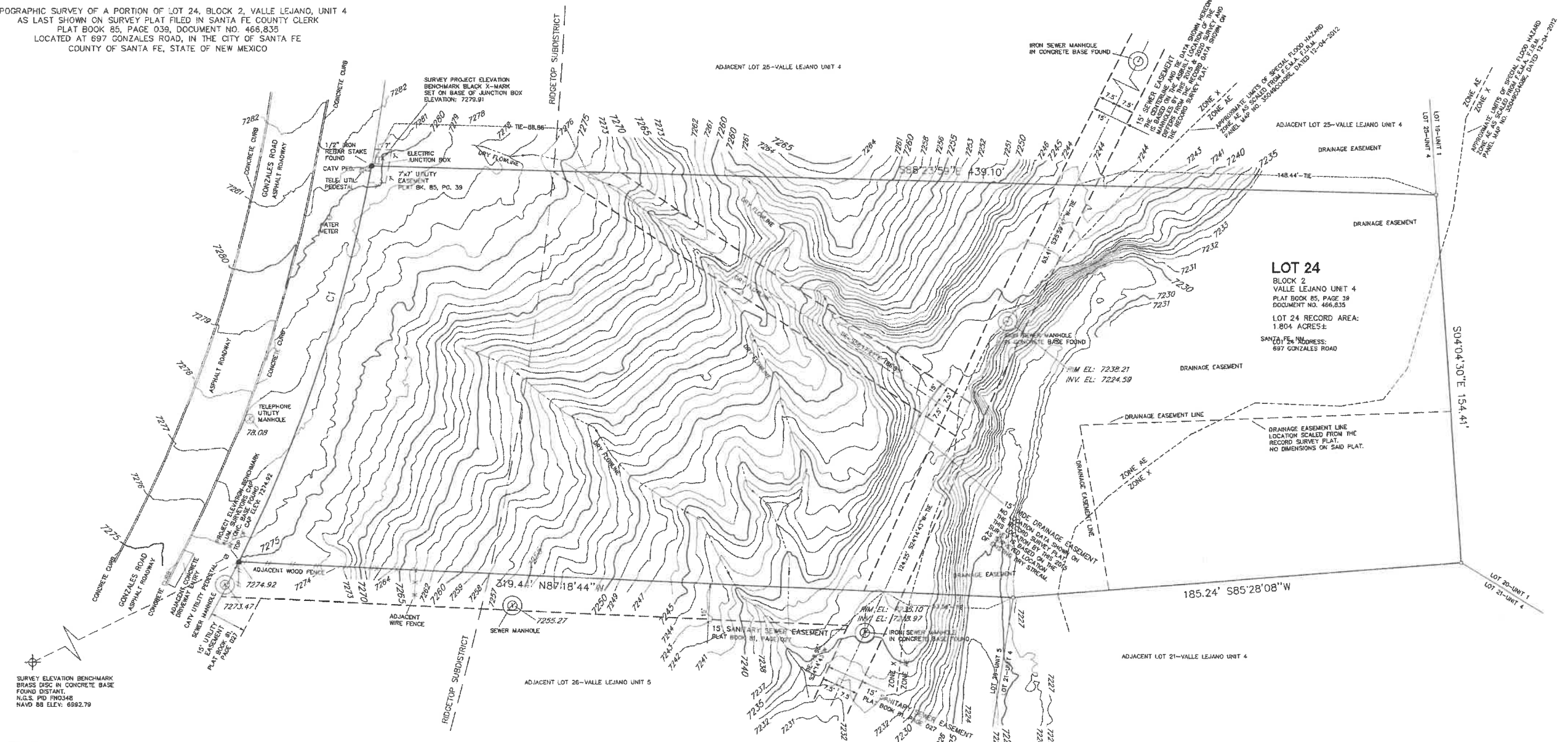
RESIDENTIAL LOT IMPROVEMENTS
 FOR 697 GONZALES ROAD
 SANTA FE, NEW MEXICO

CIVIL SITE PLAN

DATE JUNE 2021	SCALE: 1" = 20'	SHEET: C-102
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**2020 Topographic Survey and Map
prepared for
Ramirez Investment Company, LLC**

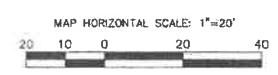
TOPOGRAPHIC SURVEY OF A PORTION OF LOT 24, BLOCK 2, VALLE LEJANO, UNIT 4
AS LAST SHOWN ON SURVEY PLAT FILED IN SANTA FE COUNTY CLERK
PLAT BOOK 85, PAGE 039, DOCUMENT NO. 466,835
LOCATED AT 697 GONZALES ROAD, IN THE CITY OF SANTA FE
COUNTY OF SANTA FE, STATE OF NEW MEXICO



SURVEY ELEVATION BENCHMARK
BRASS DISC IN CONCRETE BASE
FOUND DISTANT.
N.G.S. PID FNO348
NAVD 88 ELEV: 6992.79

SURVEYORS NOTES

- LOT LINE DATA TAKEN FROM SURVEY ENTITLED "VALLE LEJANO UNIT 4" BY R.E. SMITH N.M.P.S. NO. 5837, AS FILED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 85, PAGE 039.
- THE ELEVATION BENCHMARK FOR THIS 2020 SURVEY IS THE ELEVATION TIE TO N.G.S. ELEVATION BENCHMARK P.J.D. FNO348, BRASS DISC IN CONCRETE BASE FOUND WHICH HAS A NAVD 88 ELEVATION OF 6992.79 FEET AS PER THE N.G.S. DATA SHEET, VERTICAL DATUM NAVD 88.
- THE HORIZONTAL DATUM FOR THIS 2020 SURVEY IS WGS 84 BASED ON ON-SITE GPS OBSERVATIONS, LOCAL PROJECT GRID COORDINATES, GROUND DISTANCES REFERENCED TO THE STAKES FOUND ON THE WEST LOT LINE OF LOT 24.
- THE BASIS OF BEARING FOR THIS 20 SURVEY IS THE INVERSE BETWEEN THE SURVEY MONUMENT STAKES FOUND ON THE WESTERLY LOT LINE OF LOT 24. RECORD CHORD LINE DATA: N17°58'44"E 174.46', THE MEASURED DISTANCE BY THIS NEW SURVEY: N17°58'44"W 174.67'.
- THIS 2020 TOPOGRAPHIC SURVEY USES THE FIELD SURVEY OF THE EXISTING TERRAIN CONDUCTED BY ME IN NOV. 2015 AND NOV. 2020 AND ALSO USES LIDAR SURVEY DATA PRODUCED BY THE COUNTY OF SANTA FE WHICH WAS INCORPORATED INTO THIS SURVEY AND FIELD VERIFIED BY THIS 2020 SURVEY.
- DATE OF FIELD SURVEY: NOVEMBER 2015 AND NOVEMBER 20, 2020.



MAP CONTOUR INTERVAL = ONE (1) FOOT

- MAP LEGEND**
- EXISTING SURVEY STAKE FOUND SEE MAP FOR DESCRIPTION
 - ⊕ SURVEY ELEVATION BENCHMARK BRASS DISC IN CONCRETE BASE FOUND, PID FNO348
 - 6912.50' SPOT ELEVATION
 - IRON MANHOLE COVER PLATE
 - - - DRY STREAM--FLOWLINE



CURVE C1
Δ-15°32'28"
R-645.17'
L-175.00'
CHL-174.46'
CHB-N17°58'44"E

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCED HEREON.

SURVEYORS CERTIFICATION

I, PAUL A. ARMUJO, CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED UNDER MY DIRECTION IN NOVEMBER 2020, AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS IS A TOPOGRAPHIC SURVEY PLAT OF A PORTION OF AN EXISTING LOT.

Paul A. Armijo DEC. 09, 2020
PAUL A. ARMUJO, N.M.P.S. NO. 13604

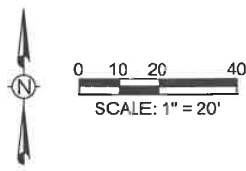


SHEET C-202

ARMUJO SURVEYS, INC.
PAUL A. ARMUJO N.M.P.S. NO. 13604
P.O. BOX 24438, SANTA FE, NM 87502
PH. (505) 471-1935 FAX. (505) 471-1925

2020 TOPOGRAPHIC SURVEY AND MAP
PREPARED FOR
RAMIREZ INVESTMENT COMPANY, LLC

DRAWN BY: P.A.A. DATE: NOV. 2020
SURVEY NO. 2020314 SHEET NO. 1 OF 1



SLOPE ANALYSIS MAP AND CALCULATIONS
SCALE: 1" = 20'

LEGEND

- PROPERTY LINE
- - - - GRADING LIMITS
- AREA OF 20% TO 30% SLOPE
- AREA OF 30% AND GREATER SLOPE

TOPOGRAPHIC DATA BASED ON SURVEY DATA PREPARED BY "ARMIJO SURVEYS INC" DATED DEC. 02, 2020.

THIS SLOPE ANALYSIS MAP IS BASED UPON A 5 FOOT CONTOUR INTERVAL.

THE TOTAL AMOUNT OF NATURAL 30% OR GREATER SLOPE DISTURBANCE IS 684 S. F. 30% SLOPE DISTURBANCE BENEATH THE PROPOSED BUILDING PAD IS 485 S.F.

THE TOTAL AMOUNT OF 20% OR GREATER SLOPE BENEATH THE PROPOSED 3,000 S.F. BUILDING PAD IS 2,977 S.F.

ENGINEER'S SEAL					
	DATE				
REVISIONS					

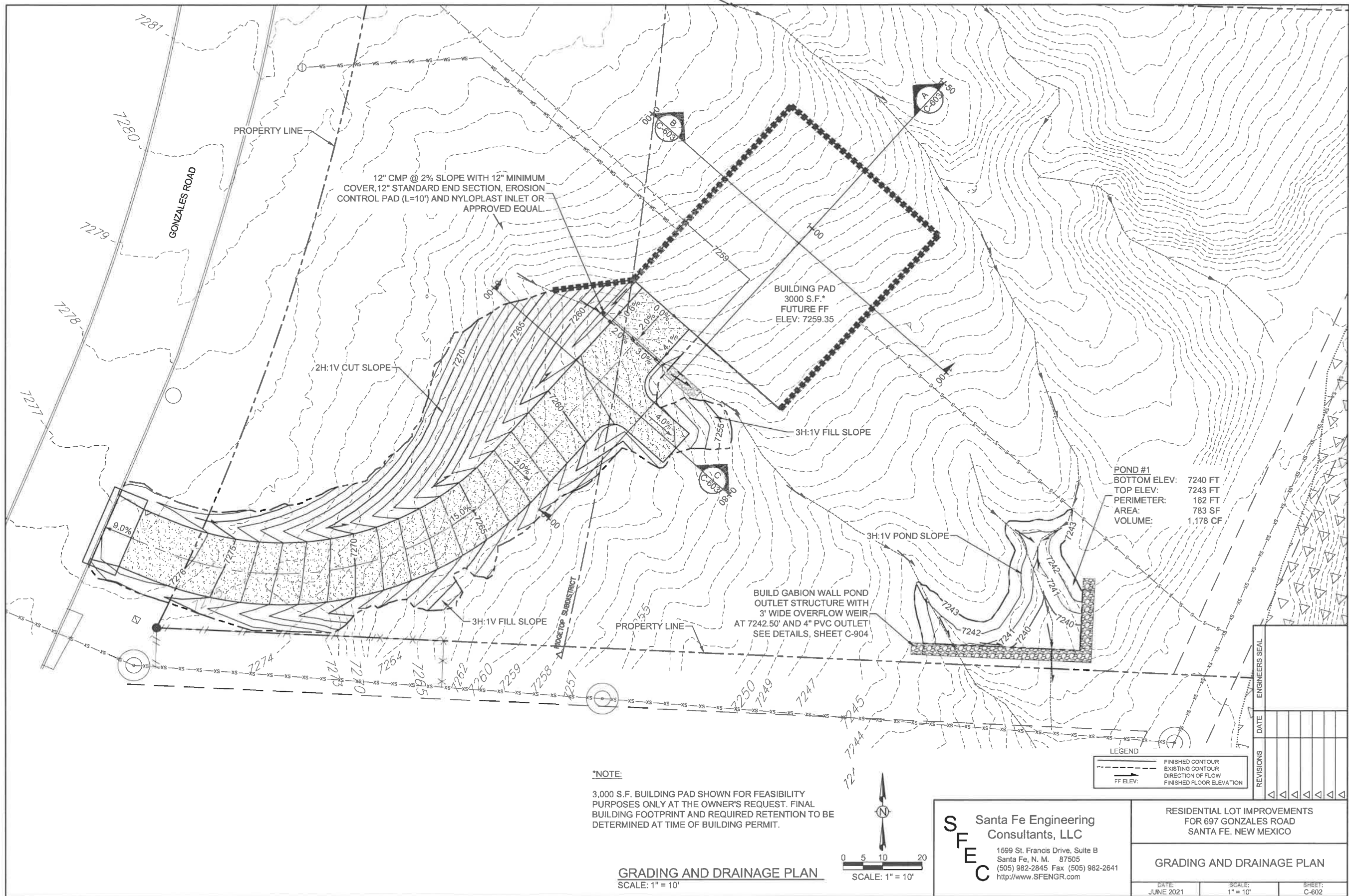
***NOTE:**
3,000 S.F. BUILDING PAD SHOWN FOR FEASIBILITY PURPOSES ONLY AT THE OWNER'S REQUEST. FINAL BUILDING FOOTPRINT AND REQUIRED RETENTION TO BE DETERMINED AT TIME OF BUILDING PERMIT.

SFE C Santa Fe Engineering Consultants, LLC
1599 St. Francis Drive, Suite B
Santa Fe, N. M. 87505
(505) 982-2845 Fax (505) 982-2641
<http://www.SFENGR.com>

RESIDENTIAL LOT IMPROVEMENTS FOR 697 GONZALES ROAD SANTA FE, NEW MEXICO

SLOPE ANALYSIS MAP AND CALCULATIONS

DATE: JUNE 2021	SCALE: 1" = 20'	SHEET: C-301
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12" CMP @ 2% SLOPE WITH 12" MINIMUM COVER, 12" STANDARD END SECTION, EROSION CONTROL PAD (L=10') AND NYLOPLAST INLET OR APPROVED EQUAL.

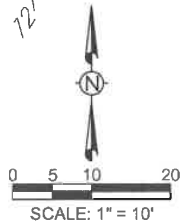
BUILDING PAD
3000 S.F.*
FUTURE FF
ELEV: 7259.35

POND #1
BOTTOM ELEV: 7240 FT
TOP ELEV: 7243 FT
PERIMETER: 162 FT
AREA: 783 SF
VOLUME: 1,178 CF

BUILD GABION WALL
OUTLET STRUCTURE WITH
3' WIDE OVERFLOW WEIR
AT 7242.50' AND 4" PVC OUTLET
SEE DETAILS, SHEET C-904

***NOTE:**
3,000 S.F. BUILDING PAD SHOWN FOR FEASIBILITY PURPOSES ONLY AT THE OWNER'S REQUEST. FINAL BUILDING FOOTPRINT AND REQUIRED RETENTION TO BE DETERMINED AT TIME OF BUILDING PERMIT.

GRADING AND DRAINAGE PLAN
SCALE: 1" = 10'



LEGEND

	FINISHED CONTOUR
	EXISTING CONTOUR
	DIRECTION OF FLOW
	FINISHED FLOOR ELEVATION

ENGINEER'S SEAL	
DATE	
REVISIONS	

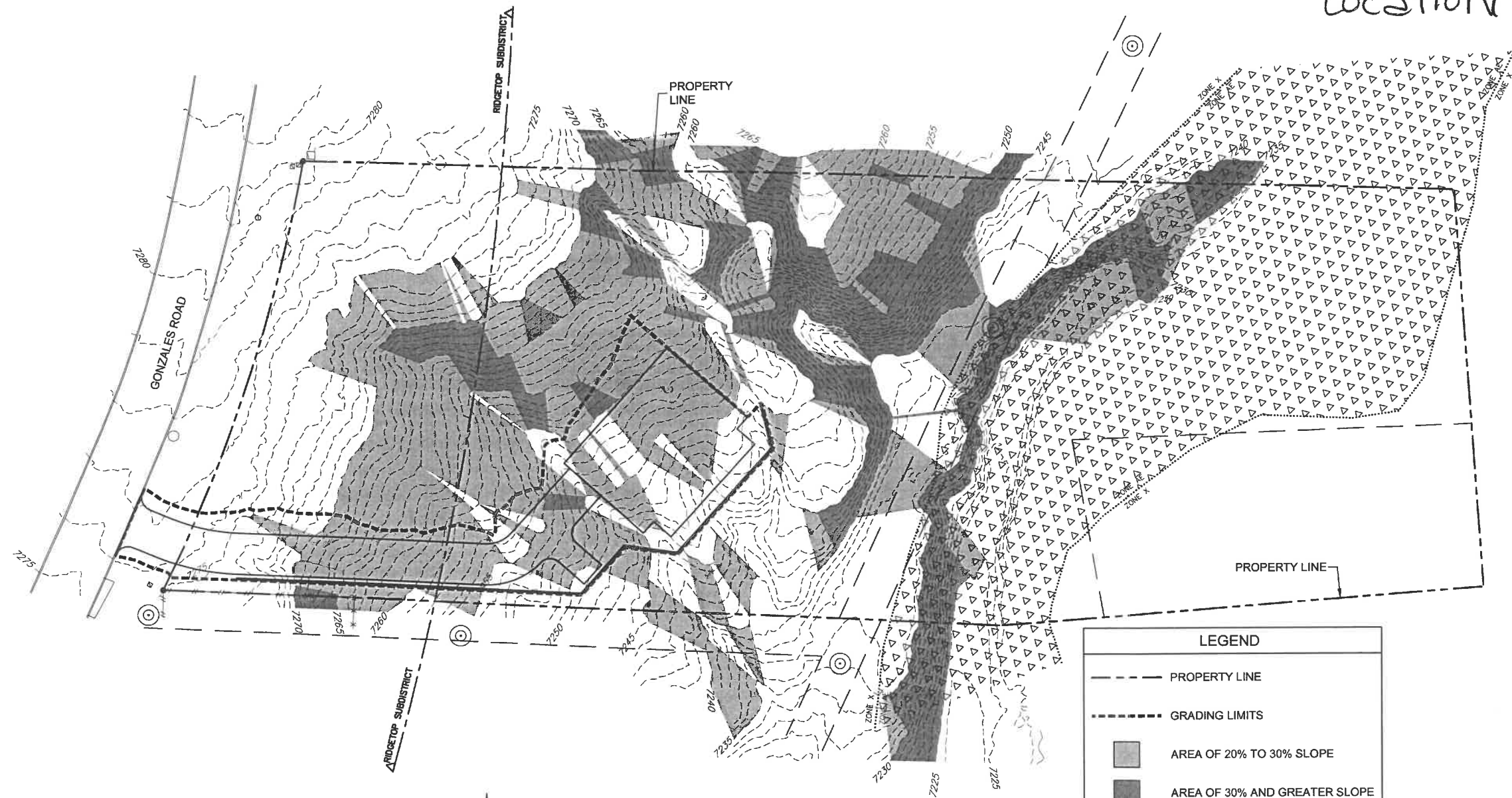
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RESIDENTIAL LOT IMPROVEMENTS
FOR 697 GONZALES ROAD
SANTA FE, NEW MEXICO

GRADING AND DRAINAGE PLAN

DATE: JUNE 2021	SCALE: 1" = 10'	SHEET: C-602
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Alternative Location



0 10 20 40
SCALE: 1" = 20'

SLOPE ANALYSIS MAP AND CALCULATIONS
SCALE: 1" = 20'

LEGEND	
	PROPERTY LINE
	GRADING LIMITS
	AREA OF 20% TO 30% SLOPE
	AREA OF 30% AND GREATER SLOPE

THIS SLOPE ANALYSIS MAP IS BASED UPON A 5 FOOT CONTOUR INTERVAL

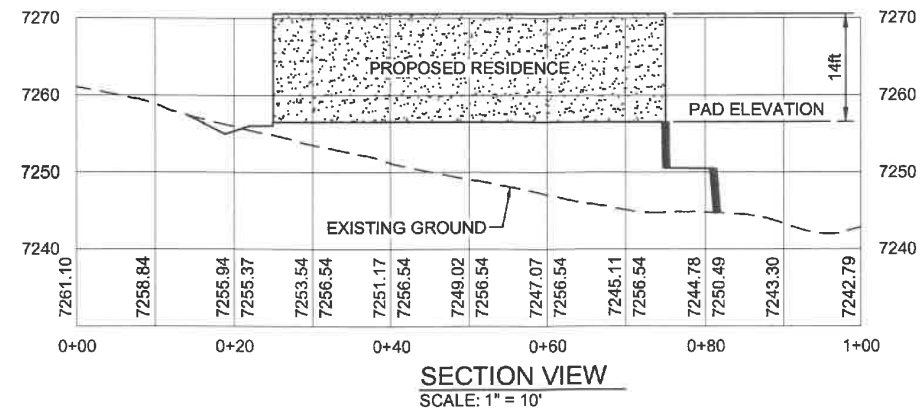
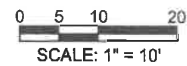
THE TOTAL AMOUNT OF NATURAL 30% OR GREATER SLOPES DISTURBANCE ON THIS PROJECT IS 188.65 SQUARE FEET

NOTE:
TOPOGRAPHIC DATA BASED ON SURVEY DATA PREPARED BY "ARMJO SURVEYS INC" DATED DEC. 02, 2020

Alternative location



PLAN VIEW
SCALE: 1" = 10'



SECTION VIEW
SCALE: 1" = 10'