



AGENDA

REGULAR MEETING OF
THE PLANNING COMMISSION
APRIL 15, 2021 AT 6:00 PM
ATTEND VIRTUALLY

SPECIAL PROCEDURES FOR VIRTUAL ATTENDANCE AND PUBLIC COMMENT

Attendance: In response to the State’s declaration of a Public Health Emergency, the Mayor’s Proclamation of Emergency, and the ban on public gatherings of more than five (5) people, the Planning Commission meeting will be conducted using Zoom.

Viewing on YouTube: Members of the public may stream the meeting live on the City of Santa Fe’s YouTube channel at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most computers, mobile devices, or smartphones. A video recording of the meeting will be posted on YouTube and available for viewing after the meeting.

Attending on Zoom: Members of the public may attend the Zoom meeting on a computer, mobile device, or phone. The video conference link and teleconference number will be posted at <https://santafe.primegov.com/public/portal> at least seventy-two (72) hours before the meeting: <https://www.santafenm.gov/events>. The direct Zoom link is: <https://us02web.zoom.us/j/83138050511?pwd=UlhueHUwd2VLUG5JM1c4RURFZ1NKdz09> and use password: 349362.

Attending Zoom by Phone: Members of the public can attend the Zoom meeting by phone by dialing:

US: 1 346 248 7799 or 1 669 900 6833 or 1 253 215 8782 or 1 312 626 6799 or 1 929 205 6099 or 1 301 715 8592

Webinar ID: 831 3805 0511

Public Comment:

- By video: A person attending the Zoom meeting by using a computer, mobile device, or smart phone may provide public comment during the meeting. Attendees should use the “Raise Hand” function to be recognized by the chair to speak at the appropriate time.
- By phone: A person attending the Zoom meeting by phone may provide public comment during the meeting but **must** provide advance notice to City staff. Please



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contact Noah Berke (505-490-5930, nlberke@santafenm.gov) at least seventy-two (72) hours in advance of the meeting and provide your **full name, address, and the phone number** you will be using to call in to the teleconference. Without your phone number, the chair will not be able to recognize you to speak at the meeting.

- In writing: A person may submit written public comments in at least seventy-two (72) hours in advance of the meeting via the virtual comment “button” at <https://santafe.primegov.com/public/portal>.

- A. ROLL CALL
- B. PLEDGE OF ALLEGIANCE
- C. APPROVAL OF AGENDA
- D. APPROVAL OF CONSENT AGENDA
- E. APPROVAL OF MINUTES:
- F. APPROVAL OF FINDINGS/CONCLUSIONS
- G. CONSENT

Case #2021-3327. Cerro Del Norte Subdivision Time Extension. Jennifer Jenkins of JenkinsGavin, Inc., Agent for Cerro del Norte, LLC, Owner, requests a time extension for the final subdivision plat for 32 single-family lots on approximately 7.44 acres of land. The property is located between Fifth Street and the Rail Trail, north of the Casa del Cerro subdivision, and is zoned R-5 (Residential-five dwelling units per acre). (Donna Wynant, AICP, Case Manager, djwynant@santafenm.gov, 955-6325).

Case #2021-3413. 4149 Fairly Road Special Use Permit and Development Plan Time Extension. Fredrick Lucas, Agent, for ZZYZX Corporation, Owner, requests a time extension for the Special Use Permit for an Urban Farm Ground Level, greater than one acre, and Development Plan on four separate parcels that total approximately 9.8 acres of land. The properties are located at 4149 Fairly Road and are zoned R-5 (Residential – five dwelling units per acre) and R-1 (Residential – one dwelling



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unit per acre). (Lee Logston, Case Manager, lrlogston@santafenm.gov, 955-6136).
(WITHDRAWN)

H. OLD BUSINESS

1. **Case #2020-2999. 4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan.** JenkinsGavin, Inc., Agent, for Santa Fe Mall Property, LLC, Owner, requests approval of Development Plan to construct a 161,433 square foot residential structure for 141 dwelling units. The property is approximately 3.25 acres and is zoned SC3 (Regional Shopping Center District). (Dan Esquibel, Case Manager, daesquibel@santafenm.gov, 955-6587)

I. NEW BUSINESS

J. STAFF COMMUNICATIONS

1. **Informational Presentation:**
 - **Achieving and Maintaining a Resilient Water Supply for Santa Fe's Current and Future Needs** (William Schneider, Water Resource Coordinator, Public Utilities)
 - **Water Budget** (Alan Hook, Water Resources Coordinator Assistant and Patricio Pacheco, Water Resources Analyst, Public Utilities)

K. MATTERS FROM THE COMMISSION

L. ADJOURNMENT

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

City of Santa Fe, New Mexico

memo

DATE: April 6, 2021

TO: Planning Commission

VIA: Elias Isaacson, Director, Land Use Department *ESI*
Noah Berke, Planner Manager, Current Planning Division

FROM: Donna Wynant, Senior Planner, Current Planning Division *DW*

Case #2021-3327. Cerro del Norte Subdivision Time Extension. Jennifer Jenkins of JenkinsGavin, Inc., Agent, for Cerro del Norte, LLC, Owner, requests a time extension for the final subdivision plat for 32 single-family lots on approximately 7.44 acres of land. The property is located between Fifth Street and the Rail Trail, north of the Casa del Cerro subdivision, and is zoned R-5 (Residential-five dwelling units per acre). (Donna Wynant, AICP, Case Manager, djwynant@santafenm.gov, 955-6325).

I. RECOMMENDATION

The Land Use Director recommends **APPROVAL** of the Applicant's request for a one-year time extension. This approval is being reported to the Planning Commission in accordance with SFCC Section 14-3.19(C).

II. APPLICATION OVERVIEW

The Cerro del Norte Final Subdivision Plat was approved by the Planning Commission per their approval of the Findings of Fact and Conclusions of Law on May 9, 2018. The expiration date of the approval was May 9, 2021, and this will extend the expiration date to May 9, 2022.

The approval consisted of a Final Subdivision Plat for 32 residential lots on approximately 7.44 acres. The Agent for the Owner of the property is requesting the one-year extension of the Final Subdivision Plat. (See Exhibit B).

As stated in the approval criteria, the administrative extension may not approve revisions to the development approvals or amendments to the conditions of approval. If any amendment, or change to the conditions of approval were requested, those requests would need to be considered by the Planning Commission through the full public hearing process, including the requirement of an Early Neighborhood Notification (ENN) meeting.

III. APPROVAL CRITERIA

Section 14-3.19(C) SFCC 1987 Time Extensions

- (2) Administrative Extensions
- (a) The land use director may approve two consecutive extensions to the time limits for an approved development, each not to exceed one year. Approval shall be based on review of the findings and conditions of approval of the original final action and a finding by the land use director that no substantive changes have occurred to the regulations or policies that apply to the development or to the circumstances affecting the site and its vicinity. The administrative extension shall not approve revisions to the development or amendments to the conditions of approval, and no early neighborhood notification is required.
- (b) Administration time extensions approved by the land use director, pursuant to this Subsection 14-3.19(C)(2), for development approvals that were granted by the planning commission or the governing body, are subject to review by the planning commission. The land use director shall identify the action taken and place it on a consent agenda for the planning commission. The land use director shall provide the planning commission with the applicant's written application and the land use director's written proposal. The planning commission may accept, reject or modify the proposal.

IV. ATTACHMENTS:

EXHIBIT A: Land Use Director Letter of Approval of One Year Time Extension

EXHIBIT B: Applicant Materials

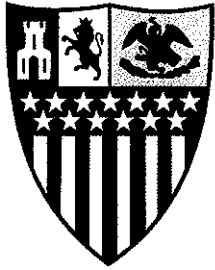
- Time Extension Application
- Letter of Application- includes the following:
 - Staff Report
 - Findings of Fact and Conclusions of Law
 - Letter of Owner Authorization
 - Deed
 - Lot of Record Deed
- Approved Subdivision Plat

City of Santa Fe, New Mexico

Planning Commission

Exhibit A

Land Use Director Letter of Approval of One Year Time Extension



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909
www.santafenm.gov

Alan Webber, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, District 1
Renee Villarreal, District 1
Michael J. Garcia, District 2
Carol Romero-Wirth, District 2
Roman "Tiger" Abeyta, District 3
Chris Rivera, District 3
Jamie Cassutt-Sanchez, District 4
JoAnne Vigil Coppler, District 4

April 7, 2021

Jennifer Jenkins
JenkinsGavin, Inc.
130 Grant Avenue, Suite 101
Santa Fe, NM 87501

**RE: Request for Time Extension of Development Approval(s) per §14-3.19(C) SFCC
1987 for Cerro del Norte Final Subdivision Plat**

Dear Ms. Jenkins,

I have reviewed the request you submitted on March 5, 2021 for a 1-year time extension of the following subdivision approval:

Case #2021-3327. Cerro del Norte Subdivision Time Extension. Jennifer Jenkins of JenkinsGavin, Inc., Agent, for Cerro del Norte, LLC, Owner, requests a time extension for the final subdivision plat for 32 single-family lots on approximately 7.44 acres of land. The property is located between Fifth Street and the Rail Trail, north of the Casa del Cerro subdivision, and is zoned R-5 (Residential-five dwelling units per acre).

I have determined that no substantive changes have occurred to the regulations or policies that apply to the previous approvals, to the proposed development, or to the circumstances that apply to the site and vicinity, since the Planning Commission granted approval on May 9, 2018. Therefore, in accordance with SFCC 1987 Section 14-3.19, one-year time extension is approved for the Cerro del Norte Final Subdivision Plat, subject to the original conditions of approval as approved by the Planning Commission of the City of Santa Fe on May 9, 2018.

The time extension will allow the plat to be recorded prior to the extended deadline, as provided in SFCC Section 14-3.19. The approvals will expire if you do not record the plat prior to April 15, 2022. SFCC Section 14-3.19 requires that the grant of this time extension be reported to the Planning Commission by placement on the Commission's consent Agenda. The Planning Commission may accept, reject or modify this approval.

Feel free to contact me at 505-955-6830 if you have questions regarding this matter.

Sincerely,

Elias Isaacson

Elias Isaacson
Land Use Department Director

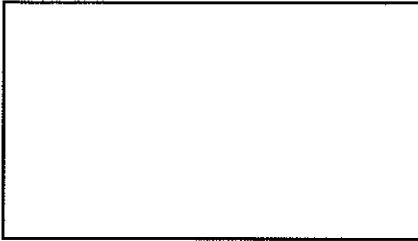
Cc: Project File

City of Santa Fe, New Mexico

Planning Commission

Exhibit B

- **Time Extension Application**
- **Letter of Application- includes the following:**
 - **Staff Report**
 - **Findings of Fact and Conclusions of Law**
 - **Letter of Owner Authorization**
 - **Deed**
 - **Lot of Record Deed**
- **Approved Subdivision Plat**



PLAN OR PLAT AMENDMENT TIME EXTENSION REQUEST

Parcel Information

Project Name: Cerro del Norte, LLC

Address: 7.44 acres on Fifth Street (between Fifth St. & the Rail Trail) Zoning: R-5

Previous Approvals: #2018-19: Final Sub Plat Purpose of Amendment: TIME EXTENSION

Property Owner Information

Company Name: Cerro del Norte, LLC

Name: Yeomans Vicki

Last *First* *M.I.*

Address: 1711 Sempronius Road

Street Address *Suite/Unit #*

Chapell Hill Texas 77426

City *State* *ZIP Code*

Phone: _____ E-mail Address: _____

Applicant/Agent Information (if different from owner)

Company Name: JenkinsGavin

Name: Jenkins Jennifer

Last *First* *M.I.*

Address: 130 Grant Avenue Suite 101

Street Address *Suite/Unit #*

Santa Fe NM 87501

City *State* *ZIP Code*

Phone: (505) 820-7444 E-mail Address: jennifer@jenkinsgavin.com

Correspondence Directed to: Owner Applicant Both

Agent Authorization (if applicable)

I am/We are the owner(s) and record title holder(s) of the property located at: _____

I/We authorize See attached letter of authorization to act as my/our agent to execute this application.

Signed: _____ Date: _____

Signed: _____ Date: _____

Signature

I hereby certify that the documents submitted for review and consideration by the City of Santa Fe have been prepared to meet the minimum standards outlined in the Land Development Code, Chapter 14 SFCC 2001. Failure to meet these standards may result in the rejection of my application. I also certify that I have met with the City's Current Planning staff in a preapplication meeting to verify that the attached proposal is in compliance with the City's zoning and annexation requirements.

Signature: Jennifer Jenkins Date: 3/12/2021



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

March 5, 2021

Noah Berke, Planner Manager
Current Planning Division
City of Santa Fe Land Use Department
200 Lincoln Ave.
Santa Fe, NM 87501

**RE: Cerro del Norte Subdivision, Case #2018-19
Time Extension Request**

Dear Noah:

This letter is submitted on behalf of Cerro del Norte, LLC in request for a time extension of the Cerro del Norte Subdivision approval in accordance with SFCC §14-3.19(C). A Final Subdivision Plat for 32 residential lots on 7.44 ± acres was approved by the Planning Commission on April 5, 2018, and the Findings of Fact and Conclusions of Law were adopted on May 9, 2018. The original Staff Report and Findings of Fact are included for your reference. Following the approval, the previous property owner decided not to move forward with the project and the property was sold to a new owner/developer. A 12-month extension on the expiration of the plat approval is requested to allow for additional time for the new owner to finalize the plat recordation process and proceed with the infrastructure, which is projected to begin this summer. In support of this request, the following documents are submitted herewith:

1. Staff Report
2. Findings of Fact and Conclusions of Law
3. Letter of Owner Authorization
4. Deed
5. Lot of Record Deed
6. Approved Subdivision Plat

Please do not hesitate to contact me with any questions. Thank you for your consideration.

Sincerely,

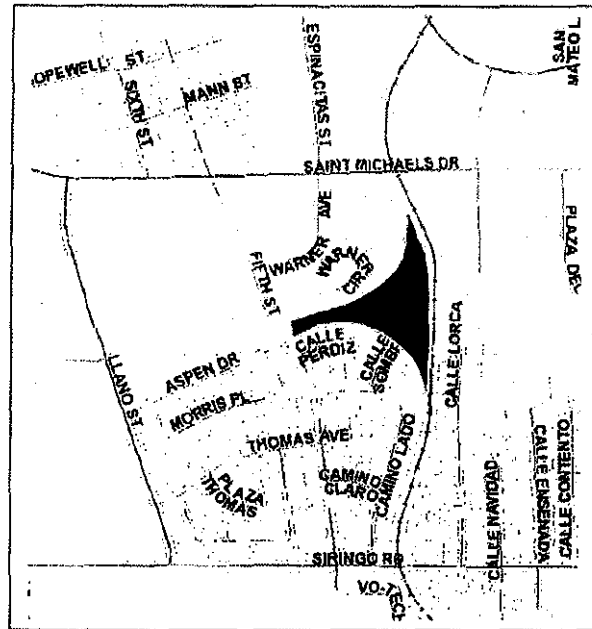
Jennifer Jenkins

cc: Donna Wynant, Senior Planner



Land Use Department Planning Commission Staff Report

Case No:	2018-19
PC Hearing:	April 5, 2018
Applicant:	Summit Business Group, LLC
Agent:	Jennifer Jenkins, JenkinsGavin, Inc.
Request:	Final Subdivision Plat
Location:	Fifth Street
Case Mgr.:	Donna Wynant, AICP
Zoning:	R-5 (Residential-five dwelling units per acre)
Overlay:	None
Pre-app.:	June 29, 2017
ENN Mtg.:	August 8, 2017
Proposal:	Final subdivision plat of 7.44 acres to create a 32-lot subdivision.



Case #2018-19: Cerro del Norte Final Subdivision Plat. JenkinsGavin, Inc., Agent for Summit Business Group, LLC, Owner, requests approval of a final subdivision plat for 32 residential lots on approximately 7.44 acres. The property is located between Fifth Street and the Rail Trail, north of the Casa del Cerro subdivision. The property is zoned R-5 (Residential-five dwelling units per acre). (Donna Wynant, AICP, Case Manager)

I. RECOMMENDATION

The Land Use Department recommends **APPROVAL** of the final subdivision plat subject to the recommended conditions of approval and all technical corrections in Exhibit A:

One motion will be required in this case:

- **APPROVE** final subdivision plat subject to conditions of approval and technical corrections recommended by staff.

II. CONDITIONS OF APPROVAL

The following are the staff-recommended conditions of approval for this project:

#	Condition of Approval	Dept/Division	To be completed by:
1	Provisions for maintenance of walls within R-O-W shall be included in CC&R's. Provide CC&R's for review.	City Engineer	Prior to Recordation

2	Water conservation and storm water management shall guide landscape and site planning. Indicate how water conservation techniques will reduce landscape water usage. As per Subsection 14-8.4(E)	Landscape Review	Prior to Recordation
3	1 An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for these lots to obtain water service. A water plan must be submitted directly to the Water Division and approved prior to obtaining an ACD.	Water	Prior to obtaining water services.

Should the Commission determine that the final subdivision plat is consistent with the preliminary plat, including conditions of approval, and meets all applicable code requirements, the Applicant will submit the plat and improvement plans for staff review. The plat will be recorded and infrastructure improvements will be constructed prior to the construction of any residences on the newly created lots. All conditions of the final plat approval shall be completed within three years of recording the plat. The Planning Commission approval shall expire three years after final action approving it unless the plat is filed for record with the County Clerk.

III. EXECUTIVE SUMMARY

The Planning Commission approved a preliminary subdivision plat with conditions at its January 4, 2018 meeting (Case #2017-113). The Planning Commission also approved an innovative street design. The Findings of Fact and Conclusions of Law were adopted at the subsequent meeting on February 1, 2017.

Analysis regarding the specific components of the subdivision and overall subdivision design was completed at the time of preliminary subdivision plat approval. The final subdivision plat is in substantial conformance with the preliminary subdivision plat approved by the Planning Commission. The final plat has been reviewed by the Development Review Team (DRT), whose conditions of approval are listed above and technical review comments included as Exhibit B.

The applicant proposes the development be revised to include two phases, as shown on the final subdivision plat and site plan. Phase I comprises Lots 17-32, located southeast of the arroyo that bisects the property. Phase II comprises Lots 1-16, located northwest of the arroyo.

IV. BACKGROUND

The applicant, Summit Business Group, LLC, proposes a 32-lot subdivision for single family homes on the subject 7.44± acre tract, located between Fifth Street and the Rail Trail. The site is north of the Casa del Cerro subdivision and is zoned R-5 (Residential- Five Dwelling Units per Acre). The lots range in size from 4,274 square feet to 10,672 square feet. Six of the lots (20%) will be developed with affordable homes in compliance with the Santa Fe Homes Program requirements. The Planning Commission's approval of the preliminary

subdivision plat request included an innovative street design for a 38-foot right-of-way instead of a 42-foot right-of-way for the proposed Calle Sombre extension and the proposed Cerro del Norte Lane (now Rail Line Road) as well as a sidewalk on the south side of Cerro del Norte instead of sidewalks on both sides of that street.

The proposed 32 lots are within the density allowed for the developable site (factoring out any floodplain) of 5 dwelling units per acre and meets the minimum lot size for the R-5 district. The proposed subdivision is directly accessible from Fifth Street and Calle Sombre. Cerro del Norte Lane will provide access to Lots 1-16 from Fifth Street and Calle Sombra will be extended into the development from the Casa del Cerro neighborhood to the south to give access to Lots 17-32. The applicant proposes both streets to be improved to a Lane standard per SFCC

V. FINAL SUBDIVISION PLAT

Section 14-3.7 governs the authority, procedures and restrictions for the division of land. Subsection 14-3.7(B)(3)(d) states that "The planning commission shall review the final plat and other materials submitted for conformity to this article, consider the land use director report and recommendations and require any changes deemed advisable and the kind and extent of improvements to be made by the subdivider. The planning commission shall approve or deny the application." The following documents the status of the approval criteria:

Status of Approval Criteria for a Final Subdivision:

<p>Criterion 1: In all subdivisions, due regard shall be shown for all natural features such as vegetation, water courses, historical sites and structures, and similar community assets that, if preserved, will add attractiveness and value to the area or to Santa Fe.</p>	<p>Criterion Met: (Yes/No/Conditional/N/A) YES</p>
<p>No known historical sites or structures exist on the subject property. As the Project is located in the Suburban Archaeological District, no archaeological survey is required. The Project shows due regard for natural features and enhancement of community assets through the measures detailed below.</p> <p>The existing arroyo bisecting the property will remain undisturbed as a natural riparian corridor. The parcels adjacent to the arroyo will be subject to additional setbacks as shown on the Site Plan.</p> <p>The Project will provide two trail connections to the adjacent Rail Trail, as well as interior pedestrian connectivity, to preserve the historic use of the property as a popular pedestrian destination.</p> <p>Approximately 1.84 acres of open space will be provided.</p>	
<p>Criterion 2: The planning commission shall give due regard to the opinions of public agencies and shall not approve the plat if it determines that in the best interest of the public health, safety or welfare the land is not suitable for platting and development purposes of the kind proposed. Land subject to flooding and land deemed to be topographically unsuited for building, or for other reasons uninhabitable, shall not be platted for residential occupancy, nor for other</p>	<p>Criterion Met: (Yes/No/Conditional/N/A) YES</p>

<p>uses that may increase danger to health, safety or welfare or aggravate erosion or flood hazard. Such land shall be set aside within the plat for uses that will not be endangered by periodic or occasional inundation or produce unsatisfactory living conditions. See also Section 14-5.9 (Ecological Resource Protection Overlay District) and Section 14-8.3 (Flood Regulations).</p>	
<p>The arroyo bisecting the property lies within the 100-year flood zone. As shown on the subdivision plat and site plan, the arroyo is designated a "No Build Zone." The parcels adjacent to the arroyo will be subject to the requisite flood zone setbacks in accordance with subsection 14-8.2(D)(4)(e). The remainder of the property is suitable for development.</p>	
<p>Criterion 3: All plats shall comply with the standards of Chapter 14, Article 9 (Infrastructure Design, Improvements and Dedication Standards).</p>	<p>Criterion Met: (Yes/No/Conditional/N/A) YES</p>
<p>The Subdivision Plat complies with the standards of Chapter 14, Article 9.</p>	
<p>Criterion 4: A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with the provisions of Chapter 14 unless a variance is approved concurrently with the plat.</p>	<p>Criterion Met: (Yes/No/Conditional/N/A) YES</p>
<p>The property does not contain any existing nonconformities. The proposed Subdivision Plat will not create any new nonconformities.</p>	
<p>Criterion 5: A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with applicable provisions of other chapters of the Santa Fe City Code unless an exception is approved pursuant to the procedures provided in that chapter prior to approval of the plat.</p>	<p>Criterion Met: (Yes/No/Conditional/N/A) YES</p>
<p>The plat will not create a nonconformity with other chapters of the Santa Fe City Code.</p>	

VI. EARLY NEIGHBORHOOD NOTIFICATION

A Early Neighborhood Notification Meeting is not required for final subdivision plat approval. An Early Neighborhood Notification (ENN) meeting regarding the proposed subdivision plat was held on August 8, 2017 for the preliminary subdivision plat. The 28 neighbors who were in attendance raised questions regarding traffic on Calle Sombra and Fifth Street access, drainage, pedestrian connectivity, and lighting. (See Exhibit C-2: ENN materials.)

VII. EXPIRATION

Approval of a final subdivision plat shall expire three years after final action. If approved, the final subdivision plat shall expire May 3, 2020.

VIII. EXHIBITS

EXHIBIT A: Technical Corrections

EXHIBIT B: City Staff Memoranda

1. City Engineer, RB Zaxus
2. Landscaping, Martin Gabaldon
3. Wastewater Division, Stan Holland
4. Fire Department, Reynaldo Gonzales
5. Water Division, Dee Beingessner
6. Traffic Engineering, James Martinez

EXHIBIT C: Early Neighborhood Notification

1. Guidelines
2. Meeting Notes

EXHIBIT D: Maps and Photos

1. Future Land Use Map
2. Zoning Map
3. Aerial Photo
4. Street Views

EXHIBIT E: Miscellaneous

1. Affordable Housing Agreement

EXHIBIT F: Planning Commission Approvals

1. Findings of Fact and Conclusions of Law, approved February 1, 2018
2. Planning Commission Minutes, January 4, 2018

EXHIBIT G: Applicant Submittals*

1. Final Subdivision Plat Report
2. Final Subdivision Plat and Plat Drawings

* Maps and other exhibits are reproduced and archived separately from this staff report. File copies are available for review at the Land Use Department office at 200 Lincoln Avenue, West Wing.

APPROVED:

Title	Name	Initials
Land Use Department Director	Lisa Martinez	LMB for LDM
Land Use Current Planning Planner Manager	Noah Berke	NB
Land Use Department Planner Senior	Donna Wynant, AICP	DW

City of Santa Fe, New Mexico

Planning Commission

Exhibit A

Technical Corrections

TECHNICAL CORRECTIONS
Cerro del Norte Final Subdivision Plat

The following are the staff-technical corrections for this project.

#	TECHNICAL CORRECTIONS	Dept/ Division	To be completed by:
1	Indicate/provide curb cuts for passive watering of landscape features.	Landscape Review	Upon Development
2	Open space landscaping shall be distributed throughout open space, not just in ponds or clustered in single areas.	Landscape Review	Upon Development
3	Irrigation systems shall be designed to prevent water waste & planting beds shall be swaled, sloped or recessed below grade. 14-8.4(E) Provide planting details.	Landscape Review	Upon Development
4	Fire Department shall have 150 feet distance to any portion of the building on any new construction. (IFC 2009 section 503.1.1)	Fire Marshal	Prior to Final Subdivision
5	Fire apparatus access shall have an unobstructed width of not less than 20 feet exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches. (IFC 2009 Section 503.2.1)	Fire Marshal	Prior to Final Subdivision
6	Shall Comply with Section 507.5. Fire hydrant system. Complying with Sections 507.501-507.5.6	Fire Marshal	Prior to Final Subdivision
7	Shall have water supply that meets fire flow requirements as per IFC. (Appendix B)	Fire Marshal	Prior to Final Subdivision
8	Shall comply with Section D102.1 Access and Loading. (75,000 lbs.)	Fire Marshal	Prior to Final Subdivision
9	Shall meet the 150 feet driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided. (Appendix D Table D103.4)	Fire Marshal	Prior to Final Subdivision
10	Shall comply with IFC 2009 Section D103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.	Fire Marshal	Prior to Final Subdivision
11	Shall meet the IFC code requirements 2009 edition or the most current edition the governing body has adopted at the time of permitting.	Fire Marshal	Prior to Final Subdivision
12	Show sewer line curve data on all sewer plan sheets.	Public Utilities/Waste-water	Final Plat
13	On sheet 15B, delete existing note show at the existing tie in manhole and replace with note indicating that the existing sewer manhole invert bench shall be reconstructed to match the spring lines of the sewer lines.	Public Utilities/Waste-water	Final Plat

14	Locate manhole 2 equidistance between manholes 1 and 3.	Public Utilities/Waste-water	Final Plat
15	The Typical Underground Utilities Relative Location detail show on sheets 13 A&B and 14 A&B need to be corrected to show proper dimensions and correlate with the street sections shown.	Public Utilities/Waste-water	Final Plat
16	On the grading plan sheet 11C, show the sewer line and the existing manhole where the new 12 inch sewer line connects. There may be a conflict with the location of the storm water culvert and the sewer manhole and line.	Public Utilities/Waste-water	Final Plat

City of Santa Fe, New Mexico

Planning Commission

Exhibit B

DRT Memos

1. City Engineer, RB Zaxus
2. Landscaping, Martin Gabaldon
3. Wastewater Division, Stan Holland
4. Fire Department, Geronimo Griego
5. Water Division, Dee Beingessner
6. Traffic Engineering, James Martinez

Development Review Team Comment Form

Date: March 13, 2018
 From: Risana "RB" Zaxus, City Engineer
 Dept/Div: Land Use, Technical Review Division
 Case: Case #2018-19, Cerro del Norte Final Subdivision Plat
 Case Mgr: Donna Wynant

Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval :

Must be completed by:

1 Provisions for maintenance of walls within R-O-W shall be included in C,C&R's. Provide C,C&R's for review.	Recordation
2	
3	
4	

Technical Corrections*:

Must be completed by:

1	
2	
3	
4	

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. Meet all conditions for building permit if development is to occur.

Explanation of Conditions or Corrections (if needed):

Development Review Team

Comment Form

Date: March 13, 2018
From: Martin Gabaldon
Dept/Div: Land Use, Technical Review Division (Landscape)
Case: Case # 2018-19, Cerro del Norte Preliminary Subdivision Plat
Case Mgr: Donna Wynant



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval :

Must be completed by:

1. <i>Water conservation and storm water management shall guide landscape and site planning. Indicate how water conservation techniques will reduce landscape water usage. 14-8.4(E)</i>	<i>Final Development Plan</i>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------

Technical Corrections*:

Must be completed by:

1. <i>Indicate/provide curb cuts for passive watering of landscape features.</i>	<i>Upon Development</i>
2. <i>Open space landscaping shall be distributed throughout open space, not just in ponds or clustered in single areas.</i>	<i>Upon Development</i>
3. <i>Irrigation systems shall be designed to prevent water waste & planting beds shall be swaled, sloped or recessed below grade. 14-8.4(E) Provide planting details.</i>	<i>Upon Development</i>

*Must be made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

Comply with all requirements of Article 14-8.2, Terrain Management

Explanation of Conditions or Corrections (if needed):

Accommodate

Development Review Team

Comment Form

Date: March 1, 2018

Staff person: Stan Holland, Engineer

Dept/Div: Public Utilities/Wastewater

Case: Case #2018-19, Cerro del Norte Final Subdivision Plat

Case Mgr: Donna Wynant, Case Manager



The subject properties are accessible to the City public sewer system. Accessible is defined as within 200 feet of a public sewer line.

Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:

Must be completed by:

1. None.	
----------	--

Technical Corrections*:

Must be completed by:

1. Show sewer line curve data on all sewer plan sheets	
2. On sheet 15B, delete existing note show at the existing tie in manhole and replace with note indicating that the existing sewer manhole invert bench shall be reconstructed to match the spring lines of the sewer lines	
3. Locate manhole 2 equidistance between manholes 1 and 3	
4. The Typical Underground Utilities Relative Location detail show on sheets 13 A&B and 14 A&B need to be corrected to show proper dimensions and correlate with the street sections shown	
5. On the grading plan sheet 11C, show the sewer line and the existing manhole where the new 12 inch sewer line connects. There may be a conflict with the location of the storm water culvert and the sewer manhole and line	

*Must made prior to recording and/or permit issuance

Development Review Team

Comment Form

Date: 02/26/2018
Staff person: Geronimo Griego
Dept/Div: Fire
Case: 2018-19 Cerro Del Norte Final Subdivision Plat
Case Mgr: Donna Wynant



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:
by:

Must be completed

	Prior to planning commission.
--	-------------------------------

Technical Corrections*:

Must be completed by:

<ol style="list-style-type: none">1. Fire Department shall have 150 feet distance to any portion of the building on any new construction. (IFC 2009 section 503.1.1)2. Fire apparatus access shall have an unobstructed width of not less than 20 feet exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches (IFC 2009 Section 503.2.1)3. Shall Comply with Section 507.5. Fire hydrant system. Complying with Sections 507.501-507.5.64. Shall have water supply that meets fire flow requirements as per IFC (Appendix B)5. Shall comply with Section D102.1 Access and Loading (75,000 lbs).6. Shall meet the 150 feet driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided. (Appendix D Table D103.4)7. Shall comply with IFC 2009 Section D103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.8. Shall meet the IFC code requirements 2009 edition or the most current edition the governing body has adopted at the time of permitting.	Prior to any new construction or remodel.
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------

Development Review Team

Comment Form

Date: 3/13/18
 Staff person: Dee Beingessner
 Dept/Div: Public Utilities/Water
 Case: Case #2018-19. Cerro Del Norte Final Subdivision Plat
 Case Mgr: Donna Wynant



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval :	Must be completed by:
1 An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for these lots to obtain water service. A water plan must be submitted directly to the Water Division and approved prior to obtaining an ACD.	Prior to obtaining water service
2	
3	
4	

Technical Corrections*:	Must be completed by:
1	
2	
3	
4	

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- Explanation of Conditions or Corrections (if needed):

City of Santa Fe, New Mexico

memo

DATE: March 12, 2018

TO: Donna Wynant, Senior Planner
Current Planning Division, Land Use Department

VIA: John Romero, Engineering Division Director, Public Works Department *JR*

FROM: James A. Martinez Jr., P.E., Traffic Engineer *JAM.*
Engineering Division, Public Works Department

CASE: 2018-19: Cerro del Norte Final Subdivision Plat

CASE CAPTION:

JenkinsGavin, Inc., agent for Summit Business Group, LLC, requests approval of a final subdivision plat for 32 residential lots on approximately 7.44 acres. The property is located between Fifth Street and the Rail Trail, north of the Casa del Cerro subdivision. The application includes an innovative street design that was approved with the preliminary plat. The property is zoned R-5 (Residential- five dwelling units per acre).

RECOMMENDED ACTION:

Review comments are based on submittals received on February 22, 2018.

CONDITIONS OF APPROVAL:

MUST BE COMPLETED BY:

1	None	N.A.
---	------	------

TECHNICAL CORRECTIONS:

#	SHEET	CORRECTION	MUST BE COMPLETED BY:
1		NONE	N.A.

If you have any questions or need any more information, feel free to contact me at (505) 955-6697. Thank you.

City of Santa Fe, New Mexico

Planning Commission

Exhibit C

Early Neighborhood Notification Materials

1. Sign-In Sheets
2. Meeting Notes
3. Guidelines



City of Santa Fe Early Neighborhood Notification Meeting Sign-In Sheet

Project Name: Cerro del Norte Meeting Date: August 8, 2017
 Meeting Place: Higher Education Center Meeting Time: 5:30 p.m.

Applicant or Representative Check Box below

	Name	Address	Phone #	Email
<input checked="" type="checkbox"/>	1. Hillary Welles	130 Grant Ave # 101 87501	505-820-7444	hillary@rentinsgain.com
<input checked="" type="checkbox"/>	2. Jennifer Jenkins	" "	" "	jennifer@ " "
<input checked="" type="checkbox"/>	3. Jim Trujillo	1901 MORRIS PLACE	505-433-8810	jimtrujillo@msn.com
<input type="checkbox"/>	4. KALSA N L	2067 CALLE SOMBRER#	505 1603-8888	Kalung@cs.com
<input type="checkbox"/>	5. Eric W. Case	1500 Jefferson	505-798-7889	ericw@bkins.com
<input type="checkbox"/>	6. Paul L. Serrano	2070 Calle Sombrer#	505-471-8877	" "
<input type="checkbox"/>	7. Joe Padilla	2109 W. 1st (circle)	(505) 699-0997	jpad@saute-detaile.com
<input type="checkbox"/>	8. Carol Turner	1906 Morris Pl	505 770-2615	carolturner204@gmail.com
<input type="checkbox"/>	9. Dave Padilla	2021 Calle Padilla	217-232-2368	m.dave.godol@comcast.com
<input type="checkbox"/>	10. DARREN AVILA	1912 Thomas Ave	577-3236	darren@gmail.com
<input type="checkbox"/>	11. SALLY MARSH	2065 Camino Lado	505-913-1230	SAMSAY@CYPARAMASH.COM
<input type="checkbox"/>	12.			

For City use: I hereby certify that the ENN meeting for the above named project took place at the time and place indicated.

Donna Wynant

Printed Name of City Staff in Attendance


Signature of City Staff in Attendance

8/8/17
Date

This sign-in sheet is public record and shall not be used for commercial purposes.



City of Santa Fe Early Neighborhood Notification Meeting Sign-In Sheet

Project Name: Cerro del Norte

Meeting Date: August 8, 2017

Meeting Place: Higher Education Center

Meeting Time: 5:30 p.m.

Applicant or Representative Check Box below

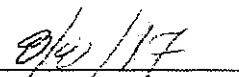
↓	Name	Address	Phone #	Email
<input type="checkbox"/>	1 ALAN F. HILL	2020 CALLE PERDIZ	505-471-0366	ALANHILL.GEO@YAHOO.COM
<input type="checkbox"/>	2 Eliza Casullano	2069 Calle Sombra	920 3538	Casullano123@gmail.com
<input type="checkbox"/>	3 Robert REESING	2073 CAMINO LADO	505) 470-1211	REESING@CYBERMESA.COM
<input type="checkbox"/>	4 Floyd Gonzales	2069 Camino Lado	505-471-8050	rambotia@Comcast.net
<input type="checkbox"/>	5 Leslie Campbell	2064 Calle Sombra	505-521-2467	leslievcampbell@gmail.com
<input type="checkbox"/>	6 James Campbell	2064 Calle Sombra		
<input type="checkbox"/>	7 Joe Lutz	2042 Calle Lorit	505-470-5321	joelutz@jms.com
<input type="checkbox"/>	8 LINDA HALL	1964 Thomas Ave	505-699-7166	LMA27@CYBERMESA.COM
<input type="checkbox"/>	9 ADA MEDINA	2062 CAMINO LADO	505-699-6470	
<input type="checkbox"/>	10 Bruce Basson	660 Camino Lado	987 8501	
<input type="checkbox"/>	11 Ben + Ele Ardenas	1906 Thomas Ave	471-8170	
<input type="checkbox"/>	12			

For City use: I hereby certify that the ENN meeting for the above named project took place at the time and place indicated.

Donna Wynant

Printed Name of City Staff in Attendance


 Signature of City Staff in Attendance


 Date

This sign-in sheet is public record and shall not be used for commercial purposes.



City of Santa Fe Early Neighborhood Notification Meeting Sign-In Sheet

Project Name: Cerro del Norte **Meeting Date:** August 8, 2017
Meeting Place: Higher Education Center **Meeting Time:** 5:30 p.m.

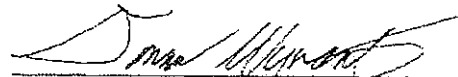
Applicant or Representative Check Box below

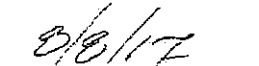
↓	Name	Address	Phone #	Email
<input type="checkbox"/>	1 Martin Lobato	2019 Calle Perdiz SF 87505	505 473 4649	mllobato@aol.com
<input type="checkbox"/>	2 Portia + David Blackman	2024 Calle Perdiz SF	505-471-8447	Portia1049@aol.com and dblackman@davos.us
<input type="checkbox"/>	3			
<input type="checkbox"/>	4 ROBERT HAKE +	2068 Calle Sombra	505 473 5226	RWHAKE@AOL.COM
<input type="checkbox"/>	5 (CARLA RAMIRO)			
<input type="checkbox"/>	6 Mike + Sandra Mares	2054 Camino Lado	505 438 3728	MJmares@msn.com
<input type="checkbox"/>	7 ROY BANTON	1896 Lorca DRIVE	699-9384	
<input type="checkbox"/>	8 Sharon Guzman	2062 Camino Lado	699-2818	sharonguzman@comcast.net
<input checked="" type="checkbox"/>	9 GARY HALL	1800 Cordova Pl	505 941 9611	gary, red horse & g marks
<input type="checkbox"/>	10 Michelle Wurth	2074 Camino Lado 87505	801.597.3384	mwurtheholmeil.com
<input type="checkbox"/>	11			
<input type="checkbox"/>	12			

For City use: I hereby certify that the ENN meeting for the above named project took place at the time and place indicated.

Donna Wynant

Printed Name of City Staff in Attendance


 Signature of City Staff in Attendance


 Date

This sign-in sheet is public record and shall not be used for commercial purposes.



City of Santa Fe Land Use Department Early Neighborhood Notification Meeting Notes

<i>Project Name</i>	Cerro del Norte
<i>Project Location</i>	Located between Fifth Street and the Rail Trail on Fifth Street
<i>Project Description</i>	32 lot subdivision on 7.44 acres
<i>Applicant / Owner</i>	Sonar, LLC
<i>Agent</i>	JenkinsGavin
<i>Pre-App Meeting Date</i>	June 29, 2017
<i>ENN Meeting Date</i>	August 8, 2017
<i>ENN Meeting Location</i>	Higher Education Center (HEC) , Room 157
<i>Application Type</i>	Preliminary Subdivision
<i>Land Use Staff</i>	Donna Wynant, Current Planning Div, Senior Planner
<i>Other Staff</i>	N/A
<i>Attendance</i>	28 neighbors, city staff , and 4 people on the agent/applicant team.

Notes/Comments:

Ms. Jenkins started the meeting at 5:30 by making introductions. Ms. Wynant gave an overview of the ENN process and the overall public review process.

Development plan was approved in 2009 for a condo development for 40 townhomes. Property is zoned R-5. The property is now for 32 single family subdivision lots.

Ms. Jenkins pointed out the ingress/egress to the site. Both Calle Sombra and Cerro del Norte Lane are designed as public streets with sidewalks. The streets however will not connect except by way of a lane providing emergency and pedestrian access.

Calle Sombre was designed to reduce the number of cars as it extends into the exiting Calle Sombre to the south.

Lot sizes will range from 4,000 sq. ft. to 8,000 sq. ft.

Application for a preliminary plat approval with a variance will be made to the City in the next 60 days followed by the final plat approval. The TIA doesn't really need to be done, but they'll do one anyway.

Neighbor: Could do this development differently: noise pollution from railyard, police substation on first lot, protection of arroyo is good.

Neighbor: The owner of Santa Fe Trails has a lot of dogs barking which has become a real problem.

Neighbor: Traffic will also go down Camino Lado to Syringo. Cars zoom around the curve.

Neighbor: Traffic backs onto Fifth Street. There's a problem with noise and traffic and traffic speed.

Neighbor: Arroyo is heart of the neighborhood.

Neighbor: Could the Santa Fe water association work with you?

Neighbor: Impact on nature with there being a lot of bird activity.

Neighbor: Who will the architect will be?

Jenkins: We will be drawing from tradition vernacular: Pueblo and/or Territorial.

Neighbor: Loves seeing land being developed since it's been plagued with litter, junk and personal items. But she has to access her property from the subject property.

Price of homes?

Jenkins: Will sell from around the high \$200 thousands to high \$300 thousands.

Neighbor: Radon along the berm?

Jenkins: The soil has been tested. Some dirt has to come out, some to come in.

Neighbor: Any decision with Chili Line people? Any sign/marker on the property?

Neighbor: Lighting plan? Concerned about lighting onto the SF Trails.

Neighbor: Will City maintain the green space.

HOA will maintain the green space. Can't add any water to the arroyo.

Neighbor: Water pressure (from St. Michael's Well?) would this be impacted?

Jenkins: Water division often runs a model of water (demand) storage tank at the St. Michael's – concerned about water pressure.

Neighbor: Can you move road to south property line

Jenkins: can't do double frontage lots (per code)

Neighbor: Will utilities be above or below ground?

Jenkins: below ground.

Neighbor: This layout is very palatable. Do this this plan, but don't increase number of homes. Give us something we can embrace.

Neighbor: Neighborhood's been robbed heavily. People know each other/ don't need a neighborhood watch.

Ms. Jenkins gave an overview of the Prelim/Final plat schedule and installation of infrastructure.

Meeting adjourned at 6:50.



Submit by Email

Print Form

Early Neighborhood Notification (ENN) Guidelines

Section 14-3.1(F)(5) SFCC 1987, as Amended

Please address each of the criteria below. Each criterion is based on the Early Neighborhood Notification (ENN) guidelines for meetings, and can be found in Section 14-3.1(F)(5) SFCC 1987, as amended, of the Santa Fe City Code. A short narrative should address each criterion (if applicable) in order to facilitate discussion of the project at the ENN meeting. These guidelines should be submitted with the application for an ENN meeting to enable staff enough time to distribute to the interested parties. For additional detail about each criterion, consult the Land Development Code.

(a) EFFECT ON CHARACTER AND APPEARANCE OF THE SURROUNDING NEIGHBORHOODS *For example: number of stories, average setbacks, mass and scale, architectural style, landscaping, lighting, access to public places, open spaces and trails. (Ord. No. 2008-29 § 3)*

The 7.44 acre subject property is zoned R-5. The applicant is proposing a 34-lot residential subdivision comprised of single family lots, which will serve to continue the neighborhood pattern of single family residences to the south.

(b) EFFECT ON PROTECTION OF THE PHYSICAL ENVIRONMENT *For example: trees, open space, rivers, arroyos, floodplains, rock outcroppings, escarpments, trash generation, fire risk, hazardous materials, easements, etc.*

All terrain management regulations will be met. Furthermore, the existing arroyo will be preserved and restored through erosion control measures and native plantings.

(c) IMPACTS ON ANY PREHISTORIC, HISTORIC, ARCHAEOLOGICAL OR CULTURAL SITES OR STRUCTURES, INCLUDING ACEQUIAS AND THE HISTORIC DOWNTOWN *For example: the project's compatibility with historic or cultural sites located on the property where the project is proposed.*

The subject property is located within the Suburban Archaeological Review District. As the parcel comprises less than 10 acres, no archaeological survey is required. No known archaeological sites exist on the property.

(d) RELATIONSHIP TO EXISTING DENSITY AND LAND USE WITHIN THE SURROUNDING AREA AND WITH LAND USES AND DENSITIES PROPOSED BY THE CITY GENERAL PLAN *For example: how are existing City Code requirements for annexation and rezoning, the Historic Districts, and the General Plan and other policies being met.*

The surrounding area is a mix of residential and commercial uses. The proposed residential subdivision is congruent with the property's R-5 zoning. Development of this currently vacant property is in concordance with the General Plan's policy of infill development. Furthermore, the property is adjacent to the newly created Midtown LINC overlay district and is in alignment with the district's intent to encourage "a mix of housing including a range of densities and mixed uses."

(e) EFFECTS UPON PARKING, TRAFFIC PATTERNS, CONGESTION, PEDESTRIAN SAFETY, IMPACTS OF THE PROJECT ON THE FLOW OF PEDESTRIAN OR VEHICULAR TRAFFIC AND PROVISION OF ACCESS FOR THE DISABLED, CHILDREN, LOW-INCOME AND ELDERLY TO SERVICES *For example: increased access to public transportation, alternate transportation modes; traffic mitigation, cumulative traffic impacts, pedestrian access to destinations and new or improved pedestrian trails.*

Access to the western half of the site will be provided from Fifth Street with proposed left-in, right-in, and right-out access. In addition, access to the eastern half of the subdivision will be via Calle Sombra. The project gained Development Plan approval in 2009 for a 40 townhomes; this approval has expired. A Traffic Impact Analysis was performed at that time and found no significant traffic impact. With the reduction in the amount of dwelling units, any potential impact will be further reduced. A new Traffic Impact Analysis will be submitted with this application. Adequate off-street parking is provided in compliance with City Code. There is no anticipated effect on access to services. The project offers pedestrian connectivity for the subdivision, as well as for the residential neighborhood to the south, via trail connections to the Rail Trail and across the Arroyo de los Pinos. Internal sidewalks will also be provided.

(f) IMPACT ON THE ECONOMIC BASE OF SANTA FE *For example: availability of jobs to Santa Fe residents; market impacts on local businesses; and how the project supports economic development efforts to improve living standards of neighborhoods and their businesses.*

Initially, the Project will create jobs in the construction and real estate industries. After the project is built, residents will support nearby local businesses, as they are within walking distance to the St. Michael's Drive corridor.

(g) EFFECT ON THE AVAILABILITY OF AFFORDABLE HOUSING AND AVAILABILITY OF HOUSING CHOICES FOR ALL SANTA FE RESIDENTS
For example: creation, retention or improvement of affordable housing; how the project contributes to serving different ages, incomes and family sizes; the creation or retention of affordable business space. (Ord. No. 2005-30(A) S 4)

Twenty percent of the lots will be developed with affordable homes in compliance with the Santa Fe Homes Program requirements.

(h) EFFECT UPON PUBLIC SERVICES SUCH AS FIRE, POLICE PROTECTION, SCHOOL SERVICES AND OTHER PUBLIC SERVICES OR INFRASTRUCTURE ELEMENTS SUCH AS WATER, POWER, SEWER, COMMUNICATIONS, BUS SYSTEMS, COMMUTER OR OTHER SERVICES OR FACILITIES *For example: whether or how the project maximizes the efficient use or improvement of existing infrastructure; and whether the project will contribute to the improvement of existing public infrastructure and services.*

There is currently adequate fire and police protection. The Project will be served by existing utility infrastructure, which is available adjacent to or on the site. The Project will be served with public transportation via existing bus stops along St. Michael's Drive. The site is situated between the Alta Vista and Zia Rail Runner stops, both of which are accessible via the adjacent Rail Trail.

(i) IMPACTS UPON WATER SUPPLY, AVAILABILITY AND CONSERVATION METHODS *For example: conservation and mitigation measures; efficient use of distribution lines and resources; effect of construction or use of the project on water quality and supplies.*

The Project will comply with the City's water offset ordinance, thereby offsetting any increased demand on the water system, as well as with applicable City regulations governing landscaping and water conservation.

(j) EFFECT ON THE OPPORTUNITIES FOR COMMUNITY INTEGRATION AND SOCIAL BALANCE THROUGH MIXED LAND USE, PEDESTRIAN ORIENTED DESIGN, AND LINKAGES AMONG NEIGHBORHOODS AND RECREATIONAL ACTIVITY AND EMPLOYMENT CENTERS *For example: how the project improves opportunities for community integration and balance through mixed land uses, neighborhood centers and/or pedestrian-oriented design.*

The Project will promote community integration through its pedestrian oriented design, which includes on-site trails, internal sidewalks, a connection between the east and west sides of the arroyo, and a connection to the adjacent Rail Trail. The residential subdivision will serve as a link between the existing residential neighborhoods to the south and commercial uses to the north.

(k) EFFECT UPON SANTA FE'S URBAN FORM *For example: how are policies of the existing City General Plan being met? Does the project promote a compact urban form through appropriate infill development? The project's effect on intra-city travel; and between employment and residential centers.*

The Project is consistent with the City's policies regarding infill, which support a compact urban form. As stated above, the residential subdivision will serve as a link between the existing residential neighborhoods to the south and commercial uses to the north.

ADDITIONAL COMMENTS (Optional)



Santa Fe Public Schools

Property & Asset Management

Residential Development Impact Information Form

School Notification as required by City Ordinance 14-8.18 AFCC 1987

1. Project Name: Cerro del Norte
2. Location of Property: Between 5th St, Rail Trail @ St. Michael's Dr.
3. Owner/Agent Name: Jenkins/Gavin, Inc.
- Mailing Address: 130 Grant Ave, Ste 101, Santa Fe, NM 87501
- Phone & Fax: 505-820-7444
4. Unit Matrix

PROJECT EFFECT ON STUDENT POPULATION		
Unit Type	Unit Quantity	Average Price
Single Family (detached)	30-34	\$ 300K
Single Family (attached)		
Townhome/ Apartment		
Multi-Family		
Commercial		

5. Elementary School Zone for Proposed Development: Chaparral
6. Middle School Zone for Proposed Development: Milagro
7. High School Zone for Proposed Development: Santa Fe High
8. Build out Rates (Year/s; #/yr):

<u>2018 - 8</u>
<u>2019 - 8</u>
<u>2020 - 8</u>
<u>2021 - 10</u>

Educational Services Center
 610 Alta Vista
 Santa Fe, NM 87505
 Telephone (505) 467-2000
 www.sfps.info

For questions & submittal, contact:
 Santa Fe Public Schools, Property & Asset Management,
 2195 Zia Road, Santa Fe NM 87505
 505 467 3400

City of Santa Fe, New Mexico

Planning Commission

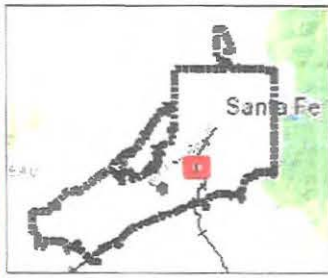
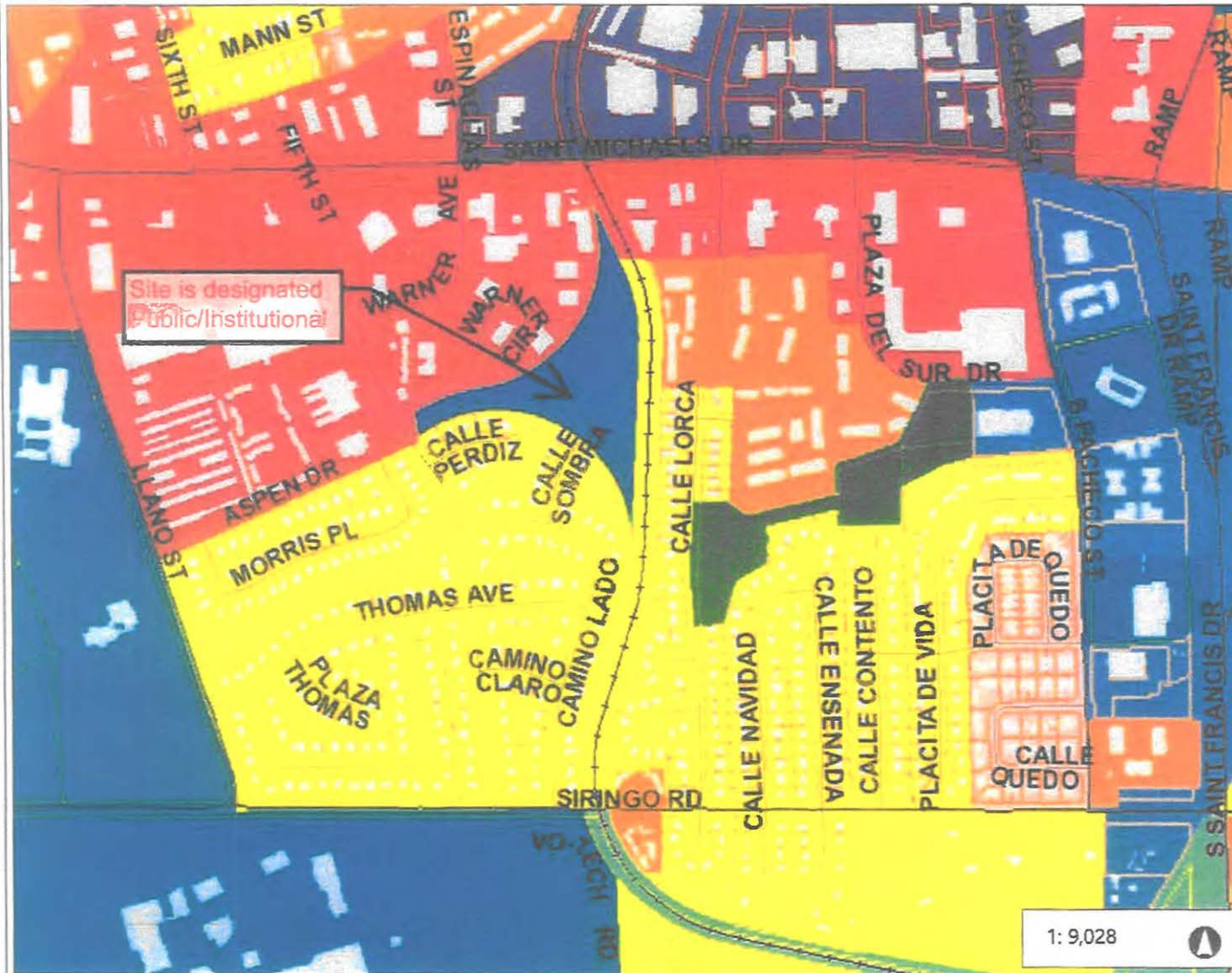
Exhibit D

Maps and Photos

1. Future Land Use Map
2. Current Zoning Map
3. Aerial Photo
4. Street View



City of Santa Fe
Mapping the City Different

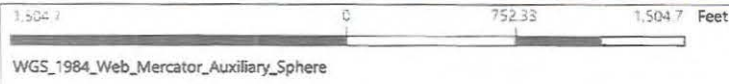


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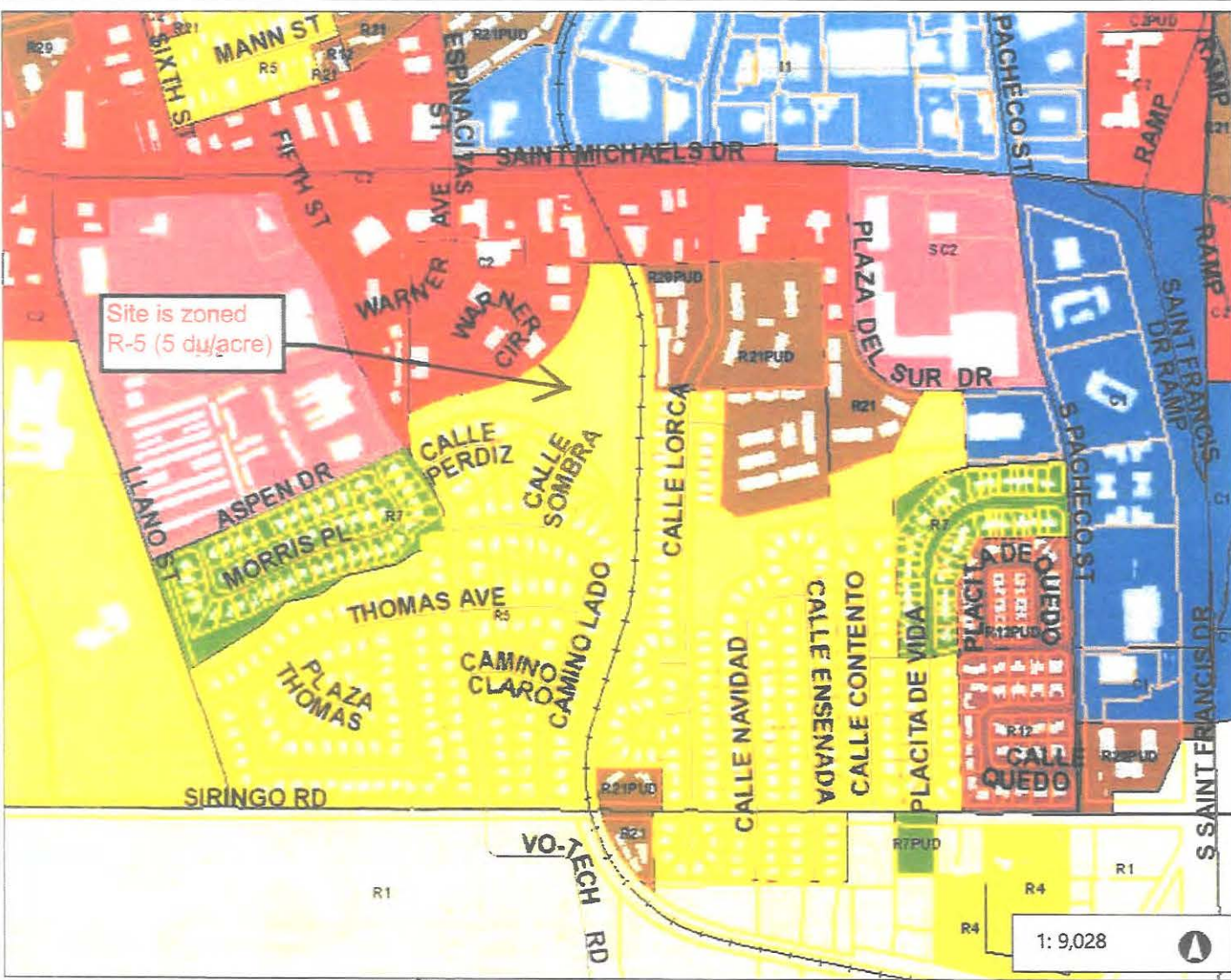
- City Limits
- Address Points
- Building Footprint
- Roads
- Major Roads
- Santa Fe County Parcels
- Santa Fe River
- Rail Road
- Future Land Use
 - 1 dwelling per acre
 - 1-3 dwellings per acre
 - 3-7 dwellings per acre
 - 7-9 dwellings per acre
 - 7-12 dwellings per acre
 - 12-29 dwellings per acre
 - Regional Commercial
 - Community Commercial
 - Neighborhood Center
 - Transitional Mixed Use
 - Business Park
 - Office
 - Industrial
 - Public/Institutional
 - Open Space
 - Parks

1: 9,028

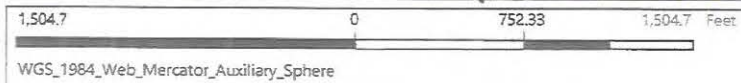
Notes
© Latitude Geographics Group Ltd.



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THIS MAP IS NOT TO BE USED FOR NAVIGATION



- Legend**
- City Limits
 - Address Points
 - Building Footprint
 - Roads
 - Major Roads
 - Santa Fe County Parcels
 - Santa Fe River
 - Rail Road
- Zoning**
- RR Rural Residential
 - R1. (PUD) Single - Family 1du/ac.
 - R2. (DT), (PUD),(AC) Single - Family
 - R3. (PUD) Single - Family 3du/ac
 - R4 Single - Family 4du/ac
 - R5. (DT), (PUD), (AC), R6. (PUD) 5
 - R7. (I), (PUD), R8 Single - Family 7
 - RC5, RC5AC Compound 5du/ac
 - RC8, RC8AC Compound 8du/ac
 - R10 (PUD) Multiple - Family 10du/a
 - R12. (PUD) Multiple - Family 12du/a
 - R21. (PUD) Multiple - Family 21du/a
 - R28. (PUD),(AC) Multiple - Family 2
 - RAC Residential Arts & Crafts
 - MHP Mobile Home Park
 - C1. (PUD) Office and Related Com
 - C2. (PUD) General Commercial



1: 9,028

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes
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Case #2018-19: Cerro del Norte- Google Street Views



Figure 3: View of the site, looking east from the Rail Trail.



Figure 4: Internal view of the development site looking east, where previous tracks split off.

City of Santa Fe, New Mexico

Planning Commission

Exhibit E

Miscellaneous
Affordable Housing Agreement

**City of Santa Fe
SANTA FE HOMES PROGRAM
P R O P O S A L
"Cerro del Norte"
Fifth Street, Santa Fe, New Mexico**

This Santa Fe Homes Program Proposal ("SFHP Proposal") is made this ___ day of _____, 2018 by **Summit Business Group, LLC** ("SFHP Developer").

RECITALS

- A. SFHP Developer is the developer of **Cerro del Norte** hereinafter referred to as the "Property".
- B. SFHP Developer desires to **subdivide and develop** the Property.
- C. It is understood that all representations made herein are material to the City and that the City will rely upon these representations in permitting or approving development of the Property.

PROPOSAL

SFHP Developer proposes to comply with the SFHP requirements as follows:

- A. **DEVELOPMENT REQUEST.** SFHP Developer seeks **preliminary and final development plan** approval.
- B. **SFHP PLAN.** The project has an area of approximately **7.44** acres, zoned **R-5** permitting up to **5** dwelling units per acres. SFHP Developer proposes to build **32** dwelling units. Developer agrees to comply with the Santa Fe Homes Program ordinance. SFHP which requires that 20% of these homes are affordably-priced, resulting in **6** affordable homes and payment of fee for the remaining fraction (0.4), as per Exhibit 2. The SFHP Plan shall include the number of bedrooms and bathrooms, the minimum square footage and the minimum household size, the income range to be served and the current

SFHP Home price for each SFHP Home as set forth in Section 8.2 of the SFHP Administrative Procedures. If the development is constructed in phases, a SFHP Plan for each phase shall be reviewed and approved by the City and recorded at the County Clerk's office prior to issuance of a building permit by the City for that phase.

The SFHP Developer agrees to make a payment of \$26,300 for the fractional portion of a SFHP Home, as calculated pursuant to SFHP. The payment shall be made to the City of Santa Fe Affordable Housing Trust Fund (AHTF) for affordable housing.

C. SUCCESSORS IN TITLE. SFHP Developer proposes to develop the Property consistent with this SFHP Proposal. In the event that SFHP Developer sells, assigns, leases, conveys, mortgages, or encumbers the Property to any third party, the third party shall be required to execute a SFHP Agreement consistent with this Proposal prior to obtaining any City approvals.

D. MONITORING. SFHP Developer proposes to provide such information and documentation as the City may reasonably require in order to ensure that the actual sales were in compliance with the SFHP Agreement.

E. DEVELOPMENT INCENTIVES. SFHP Developer **does** request a density bonus (15%) and other fee waivers and reduced fees for the affordable units as per SFCC 14.8.11(G)(2), including: Impact Fees, Wastewater UECs and Building, Electrical, Plumbing & Mechanical Permit Fees. Water UECs (not including the construction costs associated with installation) are REDUCED.

E. REVISIONS, MODIFICATIONS AND SUPPLEMENTATION OF THIS PROPOSAL. In the event that the SFHP Developer or the City make material modifications, including modifications to the number of lots or units or the area covered by the Proposal, a revised SFHP Proposal shall be promptly submitted to the Office of Affordable Housing in order to

provide a SFHP Proposal that is current and reflects the intended development.

IN WITNESS WHEREOF, this Proposal is made the day and year first written above.

SFHP DEVELOPER:

Gary T. Hall
{Signature}

Gary Hall, Summit Group, LLC

STATE OF NEW MEXICO)

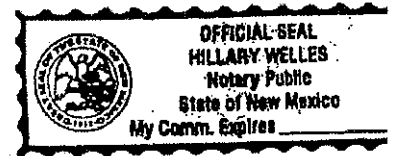
)ss.

COUNTY OF SANTA FE)

ACKNOWLEDGEMENT

The foregoing instrument was acknowledged before me this 21st day of March, 2018, by Gary T. Hall, the {title} _____ of {entity} Summit Group, LLC.

Hillary Welles
NOTARY PUBLIC



My Commission Expires:

10/26/2019

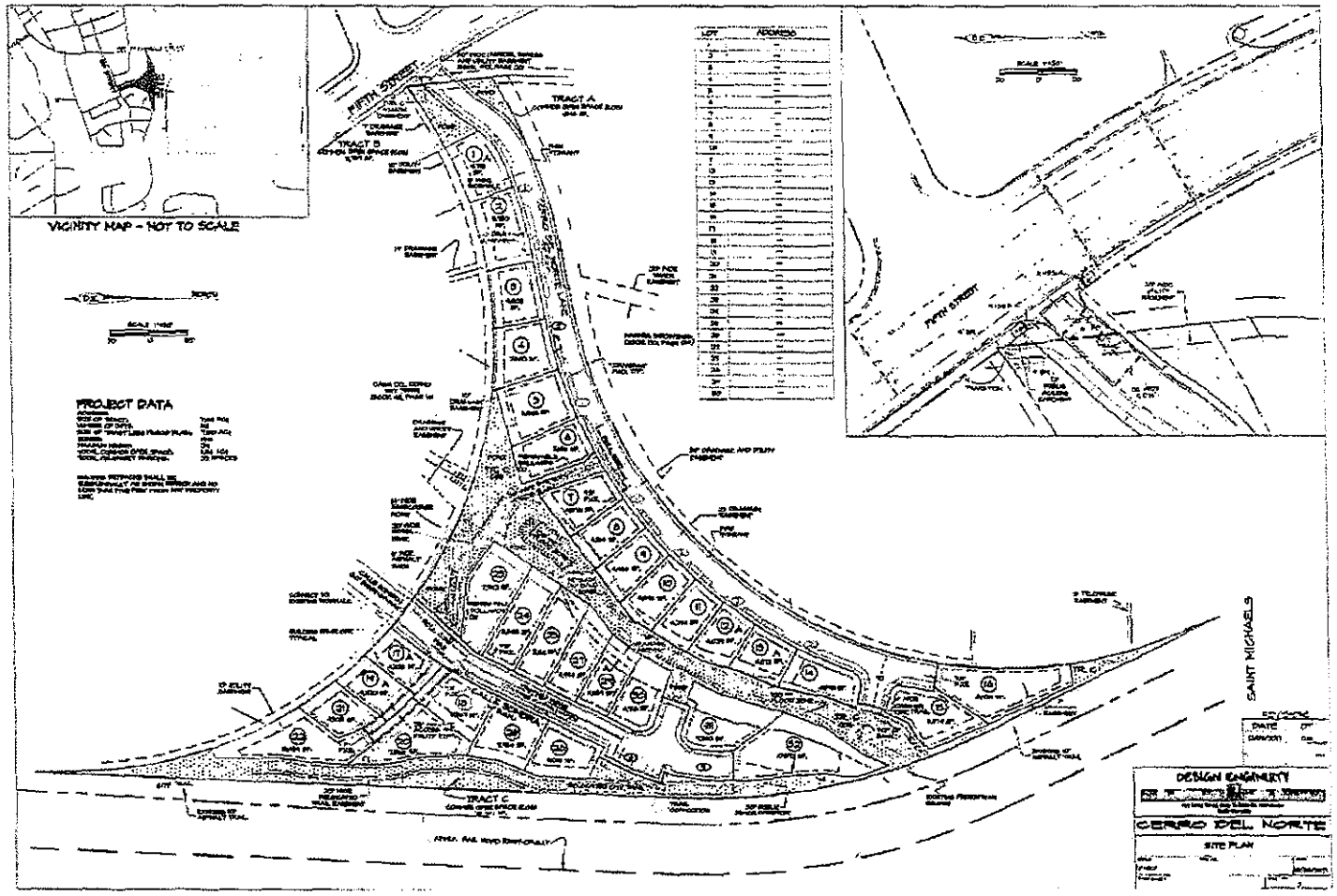
REVIEWED BY:

OFFICE OF AFFORDABLE HOUSING
Alexandra Ladd, Director

DATE

Attach: Exhibit 1 - Subdivision layout (proposed)
Exhibit 2 - Pricing Schedule

EXHIBIT I



**SANTA FE HOMES PROGRAM
HOME SALES PRICING SCHEDULE
Effective June 1, 2017***

The unit size and type of the affordable units shall be proportional to the mix of market rate units. Prices reflect 2017 HUD median incomes for Santa Fe. Refer to Section 26-1.16 (B) of the SFCC and Section 13.2 of the SFHP Administrative Procedures. For specific requirements contact The Office of Affordable Housing.

<i>Income Range</i>	<i>Two Bedrooms 1-2 person HH (900 sq ft min)</i>	<i>Three Bedrooms 3-4 person HH (1,150 sq ft min)</i>	<i>Four Bedrooms 4-5 person HH (1,250 sq ft min)</i>
1 (<50% AMI)	<i>Rental Pricing Tier (not applicable)</i>		
2 (50-65%AMI)	Max. Price: \$116,750 # Units	Max. Price: \$131,500 1 Units	Max. Price: \$146,000 0 Units
3 (65-80%AMI)	Max. Price: \$151,750 # Units	Max. Price: \$171,000 2 Units	Max. Price: \$189,750 2 Units
4 (80-100%AMI)	Max. Price: \$186,750 # Units	Max. Price: \$210,250 1 Units	Max. Price: \$233,500 0 Units

**AFFORDABILITY CALCULATION
Single Family Building Lots**

The project has an area of approximately 7.44 acres, zoned R-5, permitting up to 5 homes per acre. The project proposes **32 lots** for development as single family homes. The required number of SFHP units is 20% of the total units, 5% each in Income Ranges 2 and 4 and 10% in Income Range 2.

CALCULATION for the SFHP requirement:
 = Total number of units multiplied by (0.2) = # of Units Required
 = **32 total units** x 0.2 = **6.4 SFHP unit(s)** are required
 = **6 units** delivered and a fractional fee paid for **0.4***

CALCULATION for the fractional fee:
 = 1/2 price of 3 BR, Tier 2 Home* X Unit Fraction
 = \$65,750 X **0.4**
 = **\$26,300 fractional fee**

*NOTE: The home prices and fractional fee schedule are modified by the City according to Section 8.7.3 of the SFHP Administrative Procedures to reflect annual changes in the median income levels. The SFHP Home prices shown in this SFHP Agreement are the prices in effect at the time this Agreement is made. The actual SFHP Home Price and/or amount of fractional fee that is in effect at the time the SFHP Home is made available for sale or the fractional fees are paid, determines the sales price or amount of the fee. The prices are updated annually.

City of Santa Fe, New Mexico

Planning Commission

Exhibit F

Planning Commission Approvals

1. Findings of Fact and Conclusions of Law,
approved February 1, 2018
2. Planning Commission Minutes, January 4, 2018

City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law

Case #2017-113

Cerro del Norte Preliminary Subdivision Plat
Owners' Names- Summit Business Group LLC
Agent's Name – JenkinsGavin, Inc.

THIS MATTER came before the Planning Commission (Commission) for hearing on January 4, 2017, upon the application (Application) of Jennifer Jenkins of JenkinsGavin, Inc. as agent for Summit Business Group LLC (Applicant).

The Applicant requests approval of a preliminary subdivision plat for 32 residential lots on 7.44± acres (Project). The property is located between Fifth Street and the Rail Tail, north of the Casa del Cerro subdivision, and is zoned R-5 (Residential – five dwelling units per acre). The Applicant also seeks approval of innovative street design for the two access roads created allowing a 38 foot right of way with on road having a sidewalk on only one side. After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. The Commission heard reports from staff and received testimony and evidence from the Applicant and six members of the public that offered public comment.
2. Pursuant to Code § 14-2.3(C)(1), the Commission has the authority to review and approve or disapprove subdivision plats.
3. Pursuant to Code § 14-3.7(A)(1)(b) subdivision of land must be approved by the Commission.
4. Code § 14-3.7(B)(1) requires applicants for preliminary plat approval to comply with the pre-application conference procedures of Code § 14-3.1(E).
5. Pursuant to Code § 14-3.1(E)(1)(a)(ii), pre-application conferences are required prior to submission of applications for subdivisions unless waived.
6. A pre-application conference was held on June 29, 2017 in accordance with the procedures for subdivisions set out in Code §§ 14-3.1(E)(2)(a) and (c).
7. Code § 14-3.7(B)(2) requires compliance with the early neighborhood notification (ENN) requirements of Code § 14-3.1(F) for preliminary subdivision plats and provides for notice and conduct of public hearings pursuant to the provisions of Code §§ 14-3.1 (H), and (I) respectively.
8. Code §§ 14-3.1(F)(4) and (5) establish procedures for the ENN.
9. The Applicant conducted an ENN meeting on August 8, 2017 at the Higher Education Center in Santa Fe, New Mexico in accordance with the notice requirement of Code § 14-3.1(H).

10. The ENN meeting was attended by the Applicant and City staff; there were 28 members of the public in attendance and questions were raised regarding traffic on Calle Sombre and Fifth Street, drainage, pedestrian connectivity, and lighting.
11. Factoring out floodplain restrictions limiting developable area, the proposed 32 lots falls within the maximum density and minimum lot size requirements for the R-5 zoning district.
12. The Application proposes the creation of Cerro del Norte Lane to provide access to proposed Lots 1-16 from Fifth Street, and further proposes to extend Calle Sombre from the Casa del Cerro neighborhood to provide access to proposed Lots 17-32.
13. Both the proposed Calle Sombre extension and the proposed Cerro del Norte Lane would terminate in hammerhead turnarounds near the Rail Trail.
14. Given the proposed siting of Cerro del Norte Lane along the northern boundary of the tract, the Application proposes to provide a five foot sidewalk on only the south side of Cerro del Norte Lane, adjacent to Lots 1-16.

Innovative Street Design Approval

15. Code § 14-9.2(B)(3) provides that the Commission may consider and approve innovative street designs that are not included among the street types and street sections shown or described in Section 14-9.2 if they provide adequate pedestrian and bicycle facilities as well as necessary transit facilities.
16. The Applicant seeks approval for an innovative street design to include 38 foot right-of-ways instead of 42-foot right-of-ways for the proposed Calle Sombre extension and the proposed Cerro del Norte Lane, as well as for a sidewalk on only the south side of Cerro del Norte instead of sidewalks on both sides of that street.
17. Both the proposed extension of Calle Sombre and the proposed Cerro del Norte Lane will provide pedestrian and bicycle access to the Santa Fe Rail Trail, which runs along the eastern and southern boundaries of the tract.
18. The proposed innovative street design provides adequate pedestrian and bicycle facilities as well as necessary transit facilities, and meets the intent of Code § 14-9.2.

Preliminary Subdivision Approval

19. Code § 14-3.7(C) sets out certain findings that must be made by the Commission to approve a preliminary subdivision plat.
20. The Commission finds the following facts:
 - a. *In all subdivisions, due regard shall be shown for all natural features such as vegetation, water courses, historical sites and structures, and similar community assets that, if preserved, will add attractiveness and value to the area or to Santa Fe.*
 - i. No known historical sites or structures exist on the subject property, with the exception of two abandoned rail spurs associated with the former Bruns Army Hospital. The Rail spurs will need to be recorded on a Historic Cultural Properties Inventory form in accordance with the New Mexico Cultural Properties Act, NMSA 1978, §§18-6-1 through 17, and NMAC 4.10.12.
 - ii. The Project is located in the Suburban Archeological District and is less than 10 acres, therefore no archeological survey is required. However, the Project is

- subject to compliance with the Suburban Archeological District requirement that 550 feet or more of utility trenching requires archeological monitoring.
- iii. The Project shows due regard for natural features and the enhancement of community assets. The existing arroyo bisecting the property will remain undisturbed as a riparian corridor. The parcels adjacent to the arroyo will be subject to additional setbacks as shown on the Site Plan. Two trail connections will be created for access to the Rail Trail, and 1.84 acres of open space will be provided.
- b. *The Planning Commission shall give due regard to the opinions of public agencies and shall not approve the plat if it determines that in the best interest of the public health, safety or welfare the land is not suitable for platting and development purposes of the kind proposed.* The arroyo is designated a “no build zone” on the Subdivision Plat and Site Plan. The parcels adjacent to the arroyo will be subject to the requisite flood zone setbacks in accordance with Code §14-8.2(D)(4)(e).
- c. *All plats shall comply with the standards of Chapter 14, Article 9 (Infrastructure Design, Improvements and Dedication Standards).* The Subdivision Plat complies with the requirements of Chapter 14, Article 9.
- d. *A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with the provisions of Chapter 14 unless a variance is approved concurrently with the plat.* There are no existing nonconformities on the property and no nonconformities with the requirements of Chapter 14 are being created with the Subdivision Plat.
- e. *A plat shall be not approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with the applicable provisions of other chapters of the Santa Fe City Code unless an exception is approved pursuant to the procedures provided in that chapter prior to approval of the plat.* There are no existing nonconformities on the property and the proposed plat will not create a nonconformity with any other chapter of the Santa Fe City Code.
21. Code § 14-3.7(B)(3)(b) requires the Applicant to submit a preliminary plat prepared by a professional land surveyor, together with improvement plans and other specified supplementary material and in conformance with the standards of Code § 14-9 (collectively, the Applicable Requirements).
22. City Land Use Department staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Code requirements and provided the Commission with a written report of its findings (Staff Report) together with a recommendation that the preliminary subdivision plat be approved, subject to certain conditions (the Conditions) set out in such report.
23. The information contained in the Staff Report, along with conditions in Staff’s Exhibit, is sufficient to establish that the Applicable Requirements have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

1. The proposed preliminary subdivision plat was properly and sufficiently noticed via mail, publication, and posting of signs in accordance with Code requirements.
2. The Applicant has complied with the applicable pre-application conference and ENN procedure requirements of the Code.

Preliminary Subdivision Approval

1. The Commission has the authority to review and approve the proposed innovative street design.
2. The applicable requirements for approval of the proposed innovative street design have been met.
3. The Commission has the authority to review and approve the preliminary subdivision plat subject to the conditions contained in the Staff Report.
4. The applicable requirements for approval of the proposed preliminary subdivision plat have been met, subject to the conditions contained in the Staff Report.

WHEREFORE, IT IS ORDERED ON THE ___ OF FEBRUARY 2018 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

1. That the Applicant's request for approval of an innovative street design is **granted**.
2. That the Applicant's request for a preliminary subdivision plat is **approved**, subject to Staff Conditions.

John B. Hiatt
Chair

Date:

FILED:

Yolanda Y. Vigil
City Clerk

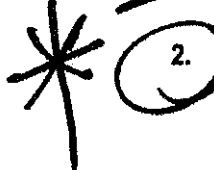
Date:

APPROVED AS TO FORM:

Richard B. Word
Assistant City Attorney

Date:

Commissioner Hiatt moved in Case #2017-105, Las Soleras Tract 9A-1A Preliminary Subdivision Plat, to approve subject to conditions recommended by Staff and technical corrections. Commissioner Faulkner seconded the motion and it passed by unanimous roll call vote with Commissioners Faulkner, Hogan, Hiatt, Propst, Gutierrez and Garcia voting in the affirmative and none voting against.

- 
2. Case 2017-113, Cerro del Norte Preliminary Subdivision Plat. JenkinsGavin, Inc., agent for Summit Business Group, LLC, requests approval of a preliminary subdivision plat for 32 residential lots on approximately 7.44 acres. The property is located between Fifth Street and the Rail Trail, north of the Casa del Cerro subdivision. The applicant requests approval of an innovative street design for Cerro del Norte to include the proposed 38-foot right-of-way. The property is zoned R-5 (Residential- five dwelling units per acre). (Donna Wynant, AICP, Case Manager) (POSTPONED FROM DECEMBER 7, 2017)

Staff Report

Mr. Berke asked for a time limit on public comment for this case.

Ms. Martínez, when asked about the lot line adjustment, said it was done administratively.

Ms. Wynant presented the Staff report for this case. It has 32 residential lots on 7.44 acres. They are within the allowed density. Six are Affordable Housing lots, and it will have two streets at 42' wide for public streets and have a hammerhead turnaround. Staff reviewed the street layout and recommended approval of the innovative street design with full access to 4th street and a 30' wide easement for access from Cerro del Norte to the site. This is the third proposal for this site.

She commented that this has been challenging and neighbors asked all kinds of questions. They seemed to like the way it was laid out. Staff found the criteria are met and evaluated in the report. Staff recommended approval with the innovative street layout. Two motions required - one for street design and the other for the preliminary subdivision plat.

Applicant's Presentation

Ms. Jennifer Jenkins, JenkinsGavin, 130 Grant Avenue, Suite 101, was sworn. She introduced the engineering team with Orallynn Guerrerortiz and Ray Ortiz. She noted this site has a long and storied history back to 1942. She pointed out the railroad and associated trail. It is an odd shaped property. The reason is that a railroad went all the way over to the Santa Fe College campus in WWII with built up berms on one side.

Because of the rail trail moving through, it has much pedestrian access through it and bisected by Arroyo Cañones. We started working on it in 2007; the condo project was approved in 2009 but the recession caused it to never be built. It was on the market for a long time. It has a new owner now with a single-family subdivision proposed. It is zoned R-5 and consistent with the south neighbor and all to the north is commercial. There is a shopping center at K Mart and office users in the area. So it is a diverse mixed-use area. This property is not part of the Re-Mike overlay, but this is a good opportunity for housing and a very walkable development with the Rail Trail, access to services, and a dynamic community.

She explained the color codes in the aerial of the area. Calle Sombra dead ends at the southern boundary. The site plan shows full access at 5th Street and a hammer head turnaround. It is a single loaded street. Calle Sombra is also terminating with a hammer head and double loaded street plus a small driveway for six lots. There is lots of communication with the City on connecting the two streets. The previous plan had that a connection, but this design is intentional to minimize impact of traffic to the south neighbors. They had a special opportunity with the new design to mitigate traffic impact - which is minimal and only half of the 32 will go through the neighborhood. The rest is from 5th Street and will connect them by a pedestrian trail, going over the arroyo with a culvert for emergency crossing, and incorporate pedestrians and bikers there.

Regarding the innovative street design, there are unique constraints from the arroyo. So they designed the streets to public standards and would make the lots as generous as possible and some are unusual, but they are also designing homes to fit those lots. There is no sidewalk on one side. From Staff comments, they will revisit the street trees and address the deficit. On the non-sidewalk side has only four feet but it can have the 5' planting strip and she explained how it would work.

There are also a couple of direct connections to the Rail Trail. Coming in on Calle Sombra is a guest parking area up against the trail, and on the other side of the arroyo, at the end of the hammer head is a direct connection with a 4'-wide, crusher fines trail. But Staff wanted 8' there so they will make it an 8' asphalt trail with connections at both ends.

She talked with Mr. Rogers about the bicycle connections and decided to eliminate the last parking space, so cyclists can reach the street there. That will be refined for final for trail connections.

Ms. Jenkins said when the original plan was submitted, Staff requested a connection at the south end. We were willing to consider that but found a huge grade change there. Mr. Wilson, James Martinez, and Ms. Wynant agreed to eliminate it, since it would not be ADA compliant. So she is formalizing the trail access with neighbors. They worked diligently over the years to keep it cleaned up. It will make that portion of the trail safer.

Regarding access to 5th Street, they have a 30' easement to connect. That is why there is no sidewalk on one side. There is an existing median to accommodate a left turn lane into offices and they will modify the left turn lane design to access the property. A TIA was done and included in the packet. All levels of service are A and B - except one at D level during a peak hour. So there is minimal impact for traffic.

Public Comment

Mr. Jeff Pawley, 1919 5th Street, was sworn. He noted regarding the easement, that in 2009, they granted a 30' easement for the last subdivision as egress only. We knew it was not a guarantee but very concerned with the statement of minimal traffic impact. There is Aspen School, the Social Security Office and increased parking on Aspen Street has constrained it. Coming up 5th Street is a major entrance to Santa Fe High. There have been near misses at Social Security and CYFD. NMDOT said it would need remodeling of the intersection. He just wants to make sure that is addressed.

Mr. Paul Senna, 2070 Calle Sombra, was sworn. He has been a resident there for 40 years. That street has always been closed. When they tried the last development, we fought it and we still don't feel it should be done. Have they done an assessment on the old Brunn Hospital? How they are going to clean that up. The street was never opened and that was the reason I bought that house.

Mr. Joseph Padilla, 2109 Padilla Circle, was sworn. He owns a business and was not opposed to this, but it might affect his business that cares for dogs. He said the business causes noise and he didn't know of anyone who would want to be right there. "We house 80 dogs there 365 days a year."

Mr. Tim Rogers, 411 Cortez Place, and-Trail Manager for Santa Fe Trust, was sworn. He showed slides of the Brunn Army Hospital rail line which he had done for Re Mike. Regarding trail connections, the area was really designed as pedestrian connections and having read the technical corrections, he was happy they will accommodate bikes.

He said he wrote the MPO Bike Master Plan and participated in the Re-Mike event. While it is private, and owners have a right to develop, it has been a unique green space there. It has critical trail connections and a historic background. So he was disappointed since it was an important green space and part of the trail plan. He apologized that he didn't do more to preserve it as public open space. He completely supports urban infill, but it is in a historic place and he would rather see infill at a parking lot. In the event it does not move forward, perhaps we can work together on a land swap to acquire it. TPL, and other entities would like to work with the City to preserve it.

Mr. Ernie Romero, 2011 Botolph Road, was sworn. He owns property on Warner Street and this has been a no man's land, with historic significance. For the business to the north, we've experienced a lot of vandalism and copper theft. We are in full support of this project.

Mr. Robert Hicek was sworn and said he lives on Calle Sombra. This is an important property that is going to be stepped on. It was originally designed for houses and he liked the innovative street design and the trail and layout. But, on Calle Sombra, this is a taking - a sacrifice. "And you should be ashamed." Nothing has been done there to protect the neighborhood from vandalism. Also, it is a bad intersection and is going to fail. Regarding density, the lots on the south side will be land locked. There is a perfect access to the Rail Trail on the south that will be closed.

There were no other speakers from the public regarding this case and the public hearing portion was closed.

Commission Discussion

Commissioner Propst wanted more response on the trails, the width and quality and connections, for which Ms. Jenkins said progress can be made.

Ms. Jenkins said it is a ten-foot wide asphalt trail and 20' easement. We propose a connection at the parking area. There is a sidewalk that wraps around it and is close to the trail, so it will be seamless. On the last parking space is to have an asphalt ramp to get cyclists to the street there.

On the other side of the arroyo at the end of the hammerhead is surrounded by sidewalk and will have an 8' path to the rail trail and the path with base course that is quite generous and can separate pedestrians from bikers. 5' plus to 5/5 base course shoulders.

Commissioner Hogan asked if the parking at the end of Calle Sombra is dedicated for trail head use.

Ms. Jenkins said it is parking but can serve as a trail head - guest parking on street.

Commissioner Gutierrez asked how many parking spaces are provided.

Ms. Jenkins said there are 22 spaces overall. There is no requirement above the two per lot. The Commission can require extra guest parking. We liked it and it was estimated at 16 at 1/2 per lot and we propose 22.

We want to make sure we have adequate street trees. And we expect to be above 16.

Commissioner Gutierrez asked how many spaces will be at that parking lot.

Ms. Jenkins said it is 7 now.

Commissioner Hogan noted that the back yards to Sombra and Del Norte Lane open to the arroyo. He asked if there will be mass grading or fences.

Ms. Jenkins said there will be some retaining walls, but they are staying out of the flood plain and will flatten out the buildable site a little higher than the arroyo. They integrate on the other side. We have a balanced site and will keep everything integrated. It is more seamless on the east side.

Commissioner Hogan agreed with Tim Rogers about the open space. It was just a shame that it could not be accommodated.

Vice-Chair Kapin asked if access at pedestrian bridges is possible.

Ms. Jenkins agreed, and they would facilitate that. Great idea. When we reach the railroad tracks - as you cross them is a little flood plain. As you go to the north, to preserve some of it as open and a natural amenity to take your dog down there on that path is a great idea.

Vice-Chair Kapin asked about the sidewalk on Calle Sombra.

Ms. Jenkins said they would be on both sides of Calle Sombra. The trees will be on the lot frontage and homeowners will still maintain them.

Vice-Chair Kapin asked if the little road has a name.

Ms. Jenkins said they will find out if they need to name it, but homes will have Calle Sombra addresses.

Commissioner Propst thought the left turn lane on 5th Street looks really tight.

Ms. Jenkins said they have storage there in the turn lane for one and a half cars. Our traffic engineer analyzed it and, since there are only 16 houses, it is enough. We had to analyze it carefully and that is adequate storage.

Commissioner Gutierrez said with 7 parking spaces at the end, he was okay with innovative street design and wanted to avoid stacking on Calle Sombra by this development.

Ms. Jenkins understood and added that they have adequate off-street parking.

Action of the Commission

Commissioner Hiatt moved in Case 2017-113 - Cerro del Norte Preliminary Subdivision Plat, to approve the innovative street design as presented. Commissioner Propst seconded the motion and it passed by unanimous roll call vote with Commissioners Faulkner, Hogan, Hiatt, Propst, Gutierrez and Garcia voting in the affirmative and none voting against.

Commissioner Hiatt moved in Case 2017-113 - Cerro del Norte Preliminary Subdivision Plat to approve the preliminary subdivision plat, subject to Staff conditions of approval. Commissioner Propst seconded the motion and it passed by unanimous roll call vote with Commissioners Faulkner, Hogan, Hiatt, Propst, Gutierrez and Garcia voting in the affirmative and none voting against.

- 4. Case #2017-123, Estancias del Norte Preliminary Subdivision Plat and Variance Request. James Siebert & Associates, Inc, agent for HPR Properties, LLC, requests preliminary subdivision plat approval for 49 lots on approximately 40.47 acres. The property (Tract) is part of Phase of Estancias Primera and is located at 702 Hyde Park Road. The applicant requests a variance to Subsection 14-9.2(C)(6)(I)(ii) to exceed the 10 percent maximum grade of a sub-collector road to 12 percent for 500 feet of roadway. The applicant is also requesting approval of an innovative street design and the removal of neighborhood commercial use from 1981 Estancia Primera Master Plan at Hyde North Road and Calle Mirasol. The property is zoned PRC (Planned Residential Community). (Donna Wynant, AICP, Case Manager)**

City of Santa Fe, New Mexico

Planning Commission

Exhibit G

Applicant Submittals

1. Final Subdivision Plat Report
2. Final Subdivision Plat and Plat Drawings*
(*Full plan set included in the
Planning Commissioners' Binder)



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

February 19, 2018

Donna Wynant, Senior Planner
City of Santa Fe Current Planning Division
200 Lincoln Ave.
Santa Fe, NM 87501

**RE: Letter of Application
Cerro del Norte Final Subdivision Plat**

Dear Donna:

This letter is respectfully submitted on behalf of Summit Business Group, LLC in application for Final Subdivision Plat approval for a 32-lot residential subdivision, for consideration by the Planning Commission at their meeting of April 5, 2018. The Preliminary Plat was approved by the Planning Commission on January 4, 2018.

Project Summary

The ±7.44-acre subject property is located between Fifth Street and the Rail Trail, north of the Casa del Cerro subdivision, and is zoned R-5. The proposed subdivision (“the Project”) comprises 32 single family residential lots, ranging in size from 4,274 s.f. to 10,672 s.f. Six of the lots (20%) will be developed with affordable homes in compliance with the Santa Fe Homes Program requirements. The Project has been revised to include two phases as shown on the subdivision plat and Site Plan. Phase 1 comprises Lots 17 – 32, located southeast of the arroyo that bisects the property. Phase II comprises Lots 1 – 16, located northeast of the arroyo.

Our responses to the Subdivision Approval Criteria are outlined below.

Subdivision Approval Criteria

(1) In all subdivisions, due regard shall be shown for all natural features such as vegetation, water courses, historical sites and structures, and similar community assets that, if preserved, will add attractiveness and value to the area or to Santa Fe.

No known historical sites or structures exist on the subject property. As the Project is located in the Suburban Archaeological District, no archaeological survey is required. The Project shows due regard for natural features and enhancement of community assets through the measures detailed below.

- **The existing arroyo bisecting the property will remain undisturbed as a natural riparian corridor. The parcels adjacent to the arroyo will be subject to additional setbacks as shown on the Site Plan.**
- **The Project will provide two trail connections to the adjacent Rail Trail, as well as interior pedestrian connectivity, to preserve the historic use of the property as a popular pedestrian destination.**
- **1.84 acres of open space will be provided.**

(2) The planning commission shall give due regard to the opinions of public agencies and shall not approve the plat if it determines that in the best interest of the public health, safety or welfare the land is not suitable for platting and development purposes of the kind proposed. Land subject to flooding and land deemed to be topographically unsuited for building, or for other reasons uninhabitable, shall not be platted for residential occupancy, nor for other uses that may increase danger to health, safety or welfare or aggravate erosion or flood hazard. Such land shall be set aside within the plat for uses that will not be endangered by periodic or occasional inundation or produce unsatisfactory living conditions. See also Section 14-5.9 (Ecological Resource Protection Overlay District) and Section 14-8.3 (Flood Regulations).

The arroyo bisecting the property lies within the 100-year flood zone. As shown on the Subdivision Plat and Site Plan, the arroyo is designated a "No Build Zone." The parcels adjacent to the arroyo will be subject to the requisite flood zone setbacks. The remainder of the property is suitable for development.

(3) All plats shall comply with the standards of Chapter 14, Article 9 (Infrastructure Design, Improvements and Dedication Standards).

The Subdivision Plat complies with the standards of Chapter 14, Article 9.

(4) A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with the provisions of Chapter 14 unless a variance is approved concurrently with the plat.

The property contains no existing nonconformity. No nonconformity is being created with this Subdivision Plat.

(5) A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with applicable provisions of other chapters of the Santa Fe City Code unless an exception is approved pursuant to the procedures provided in that chapter prior to approval of the plat.

Please refer to the answer to (4) above.

Access and Traffic

The northwestern portion of the Project will have full access from Fifth Street via Rail Line Road (formerly Cerro del Norte Lane), a 38' public right of way. The southeastern portion of the Project will be accessed via an extension of Calle Sombra within a 38' public right of way. Both streets will be constructed as public streets terminating in hammerhead turnarounds and will be improved to a Lane standard per SFCC Table 14-9.2-1: Design Criteria for Street Types. At the Preliminary Plat hearing, the Planning Commission approved an "innovative street design" that included a reduction in right-of-way from 42 feet to 38 feet and a sidewalk on only one side of Rail Line Road. Lots 17 – 22 will be accessed via Sombrita Lane, a Lot Access Driveway, as shown on the Site Plan.

A Traffic Impact Analysis ("TIA") was submitted with the Preliminary Subdivision application. The TIA demonstrates that all studied intersections will maintain adequate levels of service. Emergency access between Rail Line Road and Calle Sombra will be provided via a 20' wide emergency access road with bollards at each end. The emergency access road will also serve as an 8-foot asphalt pedestrian trail connecting the two sides of the development.

Per the requirements of SFCC Table 14-8.6-1: Parking and Loading Requirements, a minimum of two off-street parking spaces will be provided for each dwelling unit. In addition, 22 on-street parking spaces are provided.

Pedestrian access along Calle Sombra will be provided via an extension of the existing sidewalks. In addition, trail connections at the end of Rail Line Road and Calle Sombra will provide pedestrian access to the existing Rail Trail along the eastern property boundary. Per the request of the Public Works Department, the three trail connections will be constructed as 8-foot wide asphalt trail connections with ramps to accommodate cyclists for easy access from the trail to the street.

Terrain Management

All terrain management regulations will be met. Requisite drainage easements are created with this plat. The Project will be mass graded to remove the berms and drainage swales associated with the old railroad turnaround. Retaining walls will be constructed along the north and south boundaries of select Rail Line Road lots. The Project will be served with six detention ponds; therefore, on-lot ponding will not be required. Some manmade 30% slopes will be disturbed. Slopes will include 2:1 engineered fill slopes and 1:1 cut slopes with rock plating.

Landscaping & Lighting

Landscaping will be provided via street trees and plantings in the ponding areas. Standard City streetlights will be installed at the end of each hammerhead. In accordance with Condition of Approval #6 from the Preliminary Plat Staff Report, street trees have been added to the plan in

compliance with Code requirements. Per Condition #3, the planting strip in the northwest side of Rail Line Road has been increased in width from 4' to 5'. Per Condition #7, open space calculations have been provided. Please refer to the Open Space Plan.

Water and Wastewater

The Project will be served with City water and sewer. Water will be delivered via two separate connections in Fifth Street and in Calle Sombra. Fire hydrants will be provided in Rail Line Road at Lot 1 and between Lots 10 and 11, and in Calle Sombra at Lot 18. An existing 10" sewer line running across the center of the property will be abandoned and the easement vacated, and a new 12" line will be constructed in Calle Sombra. An additional sewer connection will be made to an existing 20' sewer easement at Lot 3.

Solid Waste

The proposed subdivision will be served by the City of Santa Fe Solid Waste Management Division.

Archaeology

The Project is located in the Suburban Archaeological District. As the property comprises less than 10 acres, an archaeological survey is not required.

Santa Fe Homes Program

In accordance with the current provisions of the Santa Fe Homes Program ("SFHP"), the Project will provide six affordable lots (20% of the lot total). The affordable lots are identified on the Site Plan and Subdivision Plat. Please refer to the attached SFHP Proposal.

Early Neighborhood Notification

An Early Neighborhood Notification meeting was held on August 8, 2017. Twenty-eight neighbors were in attendance. Discussion included an explanation of the differences between the proposed subdivision and the previous Development Plan approval, questions about increased traffic on Calle Sombra and Fifth Street access, drainage, pedestrian connectivity, and lighting.

In support of these requests, the following documentation is submitted herewith for your review and consideration:

- Subdivision Application
- Letter of Owner Authorization
- Warranty Deed & Lot of Record Deed
- SFHP Proposal
- Drainage Report (2)
- Subdivision Plans (6) + CD

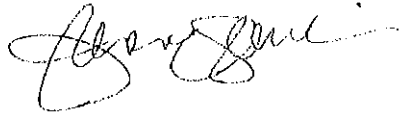
- Application fees in the amount of $\$5,200 + \90 for 3 posters
 $\$5,290.00$ (26 market lots x $\$200 =$

Please let us know if you have any questions or need additional information.

Thank you.

Sincerely,

JENKINS GAVIN INC.

A handwritten signature in black ink, appearing to read "Jennifer Jenkins", written in a cursive style.

Jennifer Jenkins

ITEM # 18-0466

City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law

Case #2018-19

Cerro del Norte Final Subdivision Plat

Owner/Applicant's Name- Carole Brito

Agents' Names – JenkinsGavin, Inc., and Summit Business Group LLC

THIS MATTER came before the Planning Commission (Commission) for hearing on April 5, 2018, upon the application (Application) of Jennifer Jenkins of JenkinsGavin, Inc., and Summit Business Group LLC as agents for Carole Brito (Applicant).

The Applicant requests approval of a final subdivision plat for 32 residential lots on 7.44± acres (Project). The property is located between Fifth Street and the Rail Tail, north of the Casa del Cerro subdivision, and is zoned R-5 (Residential – five dwelling units per acre). The Applicant also seeks approval of innovative street design for the two access roads created allowing a 38 foot right of way with road having a sidewalk on only one side. After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. The Commission heard reports from staff and received testimony and evidence from the Applicant and seven members of the public that offered public comment.
2. Pursuant to Code § 14-2.3(C)(1), the Commission has the authority to review and approve or disapprove subdivision plats.
3. Pursuant to Code § 14-3.7(A)(1)(b) subdivision of land must be approved by the Commission.
4. Code § 14-3.7(B)(1) requires applicants for preliminary plat approval to comply with the pre-application conference procedures of Code § 14-3.1(E).
5. Pursuant to Code § 14-3.1(E)(1)(a)(ii), pre-application conferences are required prior to submission of applications for subdivisions unless waived.
6. A pre-application conference was held on June 29, 2017 in accordance with the procedures for subdivisions set out in Code §§ 14-3.1(E)(2)(a) and (c).
7. Code § 14-3.7(B)(2) requires compliance with the early neighborhood notification (ENN) requirements of Code § 14-3.1(F) for final subdivision plats and provides for notice and conduct of public hearings pursuant to the provisions of Code §§ 14-3.1 (H), and (I) respectively.
8. Code §§ 14-3.1(F)(4) and (5) establish procedures for the ENN.
9. The Applicant conducted an ENN meeting on August 8, 2017 at the Higher Education Center in Santa Fe, New Mexico in accordance with the notice requirement of Code § 14-3.1(H).
10. The ENN meeting was attended by the Applicant and City staff; there were 28 members of the public in attendance and questions were raised regarding traffic on Calle Sombre and Fifth Street, drainage, pedestrian connectivity, and lighting.

11. Factoring out floodplain restrictions limiting developable area, the proposed 32 lots falls within the maximum density and minimum lot size requirements for the R-5 zoning district.
12. The Application proposes the creation of Cerro del Norte Lane to provide access to proposed Lots 1-16 from Fifth Street, and further proposes to extend Calle Sombre from the Casa del Cerro neighborhood to provide access to proposed Lots 17-32.
13. Both the proposed Calle Sombre extension and the proposed Cerro del Norte Lane would terminate in hammerhead turnarounds near the Rail Trail.
14. Given the proposed siting of Cerro del Norte Lane along the northern boundary of the tract, the Application proposes to provide a five foot sidewalk on only the south side of Cerro del Norte Lane, adjacent to Lots 1-16.
15. On January 4, 2018 the Commission approved the preliminary subdivision plan as well as the request for an innovative street design to allow 38 foot right-of ways for both the Calle Sombre extension and the proposed Rail Line Road, and to allow for sidewalks on only the south side of Rail Line Road for this project.
16. The proposed final subdivision plat substantially conforms to the approved preliminary subdivision plat.
17. Code § 14-3.7(C) sets out certain findings that must be made by the Commission to approve a final subdivision plat.
18. The Commission finds the following facts:
 - a. *In all subdivisions, due regard shall be shown for all natural features such as vegetation, water courses, historical sites and structures, and similar community assets that, if preserved, will add attractiveness and value to the area or to Santa Fe.*
 - i. No known historical sites or structures exist on the subject property, with the exception of two abandoned rail spurs associated with the former Bruns Army Hospital. The Rail spurs will need to be recorded on a Historic Cultural Properties Inventory form in accordance with the New Mexico Cultural Properties Act, NMSA 1978, §§18-6-1 through 17, and NMAC 4.10.12.
 - ii. The Project is located in the Suburban Archeological District and is less than 10 acres, therefore no archeological survey is required. However, the Project is subject to compliance with the Suburban Archeological District requirement that 550 feet or more of utility trenching requires archeological monitoring.
 - iii. The Project shows due regard for natural features and the enhancement of community assets. The existing arroyo bisecting the property will remain undisturbed as a riparian corridor. The parcels adjacent to the arroyo will be subject to additional setbacks as shown on the Site Plan. Two trail connections will be created for access to the Rail Trail, and 1.84 acres of open space will be provided.
 - b. *The Planning Commission shall give due regard to the opinions of public agencies and shall not approve the plat if it determines that in the best interest of the public health, safety or welfare the land is not suitable for platting and development purposes of the kind proposed.* The arroyo is designated a “no build zone” on the Subdivision Plat and Site Plan. The parcels adjacent to the arroyo will be subject to the requisite flood zone setbacks in accordance with Code §14-8.2(D)(4)(e). The remainder of the property is suitable for development.

- c. *All plats shall comply with the standards of Chapter 14, Article 9 (Infrastructure Design, Improvements and Dedication Standards). The Subdivision Plat complies with the requirements of Chapter 14, Article 9.*
 - d. *A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with the provisions of Chapter 14 unless a variance is approved concurrently with the plat. There are no existing nonconformities on the property and no nonconformities with the requirements of Chapter 14 are being created with the Subdivision Plat.*
 - e. *A plat shall be not approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with the applicable provisions of other chapters of the Santa Fe City Code unless an exception is approved pursuant to the procedures provided in that chapter prior to approval of the plat. There are no existing nonconformities on the property and the proposed plat will not create a nonconformity with any other chapter of the Santa Fe City Code.*
19. Code § 14-3.7(B)(3)(b) requires the Applicant to submit a subdivision plat prepared by a professional land surveyor, together with improvement plans and other specified supplementary material and in conformance with the standards of Code § 14-9 (collectively, the Applicable Requirements).
 20. City Land Use Department staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Code requirements and provided the Commission with a written report of its findings (Staff Report) together with a recommendation that the final subdivision plat be approved, subject to certain conditions (the Conditions) set out in such report.
 21. The information contained in the Staff Report, along with conditions and recommended technical corrections in Staff's Exhibit, with the exception of Condition No. 2, is sufficient to establish that the Applicable Requirements have been met.
 22. The Applicant agrees to all recommended Conditions and Technical Corrections with the exception of Technical Correction No. 2.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

1. The proposed final subdivision plat was properly and sufficiently noticed via mail, publication, and posting of signs in accordance with Code requirements.
2. The Applicant has complied with the applicable pre-application conference and ENN procedure requirements of the Code.

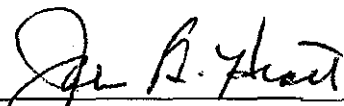
The Final Subdivision Plat

3. The Commission has the authority to review and approve the final subdivision plat subject to the conditions contained in the Staff Report.

4. The applicable requirements for approval of the proposed final subdivision plat have been met, subject to the conditions contained in the Staff Report.

WHEREFORE, IT IS ORDERED ON THE ___ OF MAY 2018 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

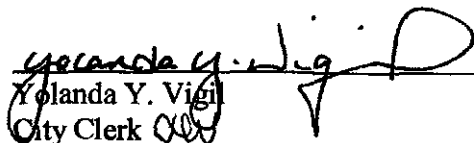
1. That the Applicant's request for approval of its proposed final subdivision plat is **approved**, subject to Staff Conditions and Technical Corrections.



John B. Hiatt
Chair

5.9.18
Date:


FILED:



Yolanda Y. Vigil
City Clerk

5/9/18
Date:

APPROVED AS TO FORM:



Richard B. Word
Assistant City Attorney

5/9/18
Date:

WARRANTY DEED


CAROLE BRITO, a married woman as her separate property, for consideration paid, grants to CERRO DEL NORTE PARTNERS, LLC, a Texas limited liability company, whose address is 1711 Sempronius Rd., Chapel Hill, TX, 77426-3711 the following described real estate in Santa Fe County, New Mexico:

All that tract of land as shown on plat entitled "Plat of Boundary Survey for Sonar, LLC a New Mexico limited liability company A tract of land situate within Sections 34 & 35, T 17 N., R9E., N.M.P.M. ...", filed for record in the office of the County Clerk, Santa Fe County, New Mexico on October 15, 2007 in Plat Book 666, page 042, as Instrument No. 1502937.

SUBJECT TO: Restrictions, reservations and easements of record.

with warranty covenants.

WITNESS my hand and seal this 30th day of October, 2020.

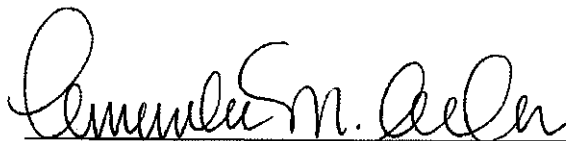

Carole Brito

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF SANTA FE)

This instrument was acknowledged before me on the 30th day of October, 2020, by Carole Brito.



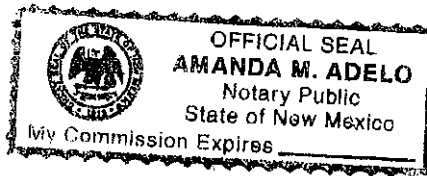

Notary Public
My Commission Expires: 4-26-23

COUNTY OF SANTA FE } WARRANTY DEED
STATE OF NEW MEXICO } ss PAGES: 1

I Hereby Certify That This Instrument Was e-Recorded for Record On The 30TH Day Of October, A.D., 2020 at 12:07:32 PM And Was Duly Recorded as Instrument # 1932926 Of The Records Of Santa Fe County

Witness My Hand And Seal Of Office
Geraldine Salazar
County Clerk, Santa Fe, NM

Deputy - KVAUGHN



e-Recorded 1932926 10/30/20 SFC

DEED WITHOUT WARRANTY
(DEFERRED USE)

STATE OF TEXAS |
COUNTY OF DALLAS |

KNOW ALL MEN BY THESE PRESENTS:

THIS INSTRUMENT is, made this 29th day of April, 1960,

by and between the United States of America, acting by and through the Secretary of Health, Education, and Welfare by the Regional Director, Region VII, Department of Health, Education, and Welfare, under and pursuant to the powers and authority contained in the Federal Property and Administrative Services Act of 1949, Public Law 152, 81st Congress (53 Stat. 377), as amended (40 U.S.C.A. 471 et seq.), hereinafter referred to as the Act, and Reorganization Plan No. 1 of 1953, Public Law 13, 83rd Congress, GUANTOR, and the Board of Education of the City of Santa Fe, New Mexico, a tax exempt educational agency of the State of New Mexico, GRANTEE;

WITNESSETH:

1. WHEREAS, by letter dated January 20, 1960, certain surplus real property, hereinafter more fully described, was assigned by the Administrator of General Services to the Department of Health, Education, and Welfare for disposal upon the recommendation of the Department of Health, Education, and Welfare that the property was needed for educational purposes in accordance with the provisions of the Act; and
2. WHEREAS, the Grantee has made application to purchase said property under the Deferred Payment Plan, which application states that although the property cannot be utilized immediately, a need for it can be reasonably anticipated within eight years from the date of this instrument, and the Secretary of Health, Education, and Welfare has approved the application dated November 19, 1959, which is made a part hereof by reference; and
3. WHEREAS, the Grantee submitted with its application the attached opinion from the Attorney General of the State of New Mexico, which opinion states that the Grantee has the authority to purchase said tract of land under the Deferred Payment Plan; and

4. WHEREAS, the fair market value of said property, containing approximately 17.854 acres is determined to be \$6,250.00; and

5. WHEREAS, the Administrator of General Services has advised that no objection will be interposed to the transfer of the property to the Grantee;

NOW, THEREFORE, the Grantor, for and in consideration of certain annual cash payments, hereinafter more fully set forth, and the observance and performance by the Grantee, its successors and assigns, of the covenants, conditions, reservations, and restrictions hereinafter set forth and other valuable considerations, does hereby BARGAIN, SELL, GRANT and CONVEY, but without warranty, express or implied, and under and subject to the exceptions and reservations, conditions and covenants hereinafter set forth, unto the Grantee, its successors and assigns, the following described property situate, lying, and being in the County of Santa Fe, State of New Mexico, to-wit:

TRACT B

BEING all that certain piece or parcel of land and real estate, lying and being situate in Ward Number Two, of the City of Santa Fe, County of Santa Fe, State of New Mexico, and being more particularly described as follows, to-wit: Beginning at an iron stake set on the south boundary of the Santa Fe Grant, and the south side of a woven wire fence, from which an iron post with brass cap marked and set by the General Land Office for the first one half mile corner easterly from the southwest corner of the Santa Fe Grant, bears S. 89° 50' W., 168.5 feet distant; thence from the said beginning corner and running N. 89° 50' E., 604.3 feet, along the south boundary of the Santa Fe Grant, and the south side of a woven wire fence, to an iron stake; thence, leaving the south boundary of the Santa Fe Grant, and running N. 00° 26' W., 431.3 feet to an iron stake set 50 feet from the center line of the Spur Track; and along the east side of a woven wire fence; thence below then 973.49 feet around a curve to the left, whose radius is 2914.9 feet, and

which subtends a chord N. 61° 37' E., 973.93 feet; thence N. 52° 00' E., 1067.2 feet to a point; *from above; thence along a line parallel to, and 50.0 feet from the center line of the Spur Track and continuing as follows, (continue from "same below") thence 1201.92 feet around a curve to the right having a radius of 553.8 feet, and which subtends a chord S. 65° 49.5' E., 979.54 feet; thence S. 1° 51' E., 84.2 feet to a point 50.0 feet from the center line of the main track; thence running along a line parallel to and 50.0 feet from the center line of the main track as follows, N. 2° 14' E., 845.0 feet; thence 396.91 feet around a curve to the left the radius of which is 794.22 feet, and which subtends a chord N. 12° 05' N., 392.79 feet; thence N. 25° 24' W., 350.4 feet to a point, thence, leaving the main line track, and running on a line, 50.0 feet from and parallel to the center line of the spur track, as follows, S. 23° 06' E., 84.2 feet to a point; thence 982.17 feet around a curve to the right, whose radius is 569.0 feet, and which subtends a chord S. 29° 04' W., 864.7 feet to a point thence S. 78° 31' W., 85.75 feet to a point; thence 311.52 feet around a curve to the left, whose radius is 653.8 feet, and which subtends a chord, S. 65° 39' W., 308.58 feet to a point; thence S. 52° 00' W., 1067.2 feet to a point; thence 1532.43 feet around a curve to the right, whose radius is 2814.9 feet, and which subtends a chord S. 67° 36' W., 1513.52 feet; thence S. 0° 26' E., 398.1 feet, crossing the spur track, to the point and place of beginning. Containing 17.854 acres of land. All as delineated upon that certain plat entitled, "LANDS IN SANTA FE SURVEYED FOR SANTA FE MUNICIPAL BOARD OF EDUCATION SANTA FE COUNTY NEW MEXICO", the surveys for which were completed in the field February 16, 1960, under the direction of Walter O. Turley registered professional engineer and land surveyor No. 95

LESS and EXCEPT all existing railroad trackage, consisting of ties, rails and equipment, located in and upon the above-described tract of land,

which trackage is hereby ~~RESERVED~~ to the United States of America, together with the right of ingress and egress to remove said railroad trackage. It being understood and agreed that said right of ingress and egress easement will continue in full force and effect until all of the aforesaid trackage is removed from the said tract of land. The United States of America further ~~RESERVES~~ the right to sell and/or dispose of said railroad trackage for removal from said tract of land, and in which event the right of ingress and egress hereby reserved shall extend to the purchaser of said tracks, etc. In the event of the reversion of the title to the trackage to the United States of America under a conditional sale said easement shall continue in favor of the Government so long as it shall have interest, reversionary or otherwise, in the tract of land; and

Together with all and singular the tenements, hereditaments, appurtenances, and improvements thereunto belonging or in anywise appertaining, PROVIDED, that the aforementioned annual cash payments shall be made as follows:

1. Until such time as the facilities contemplated in the approved program and plan contained in the above-referenced application of the Grantee, have been constructed and placed in use in conformance with the said program and plan, the Grantee shall pay to the Department of Health, Education, and Welfare on the 29th day of April, 1961, and annually thereafter on the anniversary date thereof, Three Hundred Twelve Dollars and Fifty Cents (\$312.50), such sum being equal to five (5) per cent of Six Thousand Two Hundred and Fifty Dollars (\$6,250.00), the fair value of the premises hereby conveyed, together with interest at the rate of five and three-fourths (5 3/4) per cent upon the unpaid balance of such fair value.

2. At such time as the said facilities shall have been constructed and placed into use as contemplated by the said plan and application, which may be prior to but not later than eight years from the date of this conveyance, the Grantee shall cease to make annual payments as above-described, and shall be entitled to a public benefit allowance of one hundred (100) per cent on the unpaid balance of the above stated fair value,

such balance being computed by deducting from the said fair value the total amount of the annual principal payments theretofore made by the Grantee to the Grantor.

IT IS EXPRESSLY AGREED and UNDERSTOOD that during the period of restricted use, all revenues or the reasonable value, as determined by the Grantor, of benefits to the Grantee deriving directly or indirectly from any and all mineral leases and/or royalties shall be considered to have been received and held in trust by the Grantee for the United States and shall be subject to direction and control of the Grantor; and

IT IS FURTHER UNDERSTOOD that the Grantor hereby RESERVES, at its option, the right to revert title to any and all mineral interests hereby conveyed at any time during the period of restricted use.

I DO HAVE AND DO HOLD, the foregoing described premises unto the Grantee, its successors and assigns forever; PROVIDED, that this deed is made and accepted upon each of the following conditions subsequent, which shall be binding upon, and enforceable against, the Grantee, its successors and assigns, and each of them as follows:

1. That the Grantee will make annual payments of principal and interest as hereinabove provided.
2. That for a period of twenty (20) years from the date of this deed the above-described property herein conveyed shall be utilized continuously in the manner and for the purposes set forth in the approved program and plan contained in the application of the Grantee dated the 19th day of November, 1959, and for no other purpose.
3. That no later than eight years from the date of this deed the Grantee shall have completed construction of the proposed facilities and shall commence utilization of the same for the educational purposes set forth in the aforesaid program and plan.
4. That during the aforesaid period of twenty (20) years, the Grantee will resell, lease, mortgage, or encumber, or otherwise dispose of the above-described property or any part thereof or interest therein only as the Department of Health, Education, and Welfare or its successor in function, in accordance with its existing regulations, may authorize in writing.

5. That one year from the date of this deed and annually thereafter for the aforesaid period of twenty (20) years unless the Department of Health, Education, and Welfare or its successor in function otherwise directs, the Grantee will file with the Department of Health, Education, and Welfare or its successor in function reports on the operation and maintenance of the above-described property and will furnish, as requested, such other pertinent data evidencing such continuous use of the property herein conveyed for the purposes specified in the above identified application.

In the event of a breach of any of the conditions set forth above whether caused by the legal or other inability of the Grantee, its successors and assigns, to perform any of the obligations herein set forth, and the failure or refusal of the said Grantee, its successors and assigns, to remedy such breach or to comply with the said conditions within 90 days after receipt of written notice from the Department of Health, Education, and Welfare or its successor in function, of such default or non-compliance, then, and in such event, all right, title and interest in and to the above described property shall, at its option, revert to and become the property of the United States of America, which shall have an immediate right of entry thereon, and the Grantee, its successors and assigns, shall forfeit all right, title, and interest in and to the above-described property and in any and all of the tenements, hereditaments, and appurtenances thereunto belonging, and in and to any and all payments, whether of principal or interest, theretofore made by the grantee to the grantor; PROVIDED HOWEVER, that the failure of the Department of Health, Education, and Welfare, or its successor in function, to insist in any one or more instances upon complete performance of any of the said conditions shall not be construed as a waiver or a relinquishment of the future performance of any such conditions, but the obligations with respect to such future performance shall continue in full force and effect; PROVIDED FURTHER that in the event the UNITED STATES OF AMERICA fails to exercise its option to re-enter the premises for any such breach of said conditions within twenty-one (21) years from the date of this conveyance, the conditions set forth above together with all rights of the UNITED STATES OF AMERICA to re-enter as in

the paragraph provided, shall, as of that date, terminate and be extinguished.

In the event title to the above-described premises is reverted to the UNITED STATES OF AMERICA for non-compliance or voluntarily reconveyed in lieu of reverter, the Grantee at the option of the Department of Health, Education, and Welfare, or its successor in function, shall be responsible and shall be required to reimburse the UNITED STATES OF AMERICA for the decreased value of the above-described property not due to reasonable wear and tear, acts of God, and alterations and conversions made by the Grantee to adapt the property to the educational use for which the property was acquired. The UNITED STATES OF AMERICA shall, in addition thereto, be reimbursed for such damages including such costs as may be incurred in recovering title to or possession of the above-described property as it may sustain as a result of the non-compliance.

After the proposed facilities have been constructed and placed into use as contemplated in the above-identified application, the Grantee may secure abrogation of the conditions numbered 1, 2, 3, 4 and 5 herein by:

- a. Obtaining the consent of the Department of Health, Education, and Welfare, or its successor in function; and
- b. Payment to the Department of Health, Education, and Welfare, or its successor in function, of an amount equal to that part of the fair value covered by the public benefit allowance granted, less a credit for each 12 months of operation in conformance with the above-identified program and plan of the Grantee, each such unit of credit to be the quotient of that part of the fair value covered by the public benefit allowance granted, divided by the number of years of the above-mentioned twenty (20) year period of restrictions which are remaining as of the date of the application of the public benefit allowance, provided that the first of such units of credit shall be allowable for the 12 month period beginning as of the anniversary of the date of this deed next preceding the commencement of utilization and grant of public benefit allowance.


The Grantee by the acceptance of this deed, covenants and agrees, for itself, its successors and assigns, that in the event the property conveyed hereby is sold, leased, mortgaged, encumbered, or otherwise disposed of, or is used for purposes other than those set forth in the above-identified program and plan without the consent of the Department of Health, Education, and Welfare, all revenues or the reasonable value, as determined by the Department of Health, Education, and Welfare, of benefits to the Grantee deriving directly or indirectly from such sale, lease, mortgage, encumbrance, disposal, or use shall be considered to have been received and held in trust by the Grantee for the Grantor and shall be subject to the direction and control of the Department of Health, Education, and Welfare.

The Grantee, by the acceptance of this deed, further covenants and agrees, for itself, its successors and assigns that the Grantor shall have the right during any period of emergency declared by the President of the United States or by the Congress of the United States to the full unrestricted possession, control and use of the property hereby conveyed, or of any portion thereof, including any additions or improvements thereto made subsequent to this conveyance. Prior to the expiration or termination of the period of restricted use by the Grantee, such use may be either exclusive or nonexclusive and shall not impose any obligation upon the Government to pay rent or any other fees or charges during the period of emergency, except that the Government shall (i) bear the entire cost of maintenance of such portion of the property used by it exclusively or over which it may have exclusive possession or control, (ii) pay the fair share, commensurate with the use, of the cost of maintenance of such of the property as it may use nonexclusively or over which it may have exclusive possession or control, (iii) pay a fair rental for the use of improvements or additions to the premises made by the Grantee without Government aid, and (iv) be responsible for any damage to the property caused by its use, reasonable wear and tear, and acts of God and the common enemy excepted.

IN WITNESS WHEREOF, the parties hereto have caused this instrument
to be executed as of the day and year first above written.

UNITED STATES OF AMERICA
Acting by and through the
Secretary of Health, Education,
and Welfare

By



J. A. Bond, Regional Director,
Region VII, Department of Health,
Education, and Welfare
Dallas, Texas

ACKNOWLEDGMENT

THE STATE OF TEXAS |
COUNTY OF DALLAS |

BEFORE ME, a Notary Public in and for said County, State of Texas, on this day personally appeared J. H. Bond, Regional Director, Region VII, Department of Health, Education, and Welfare, acting for the UNITED STATES OF AMERICA and the Secretary of Health, Education, and Welfare, known to me to be the person whose name is subscribed in the foregoing instrument and acknowledged to me that he executed the same voluntarily for the purposes and considerations therein expressed and with full authority and as the act and deed of the UNITED STATES OF AMERICA and the Secretary of Health, Education, and Welfare.

GIVEN under my hand and seal of office this 22nd day of

April, 1960.

Earlene Hanson EARLENE HANSON
Notary Public in and for Dallas County,
Texas

My Commission Expires:

1st day of June, 1961.

ACCEPTANCE

THE STATE OF NEW MEXICO |
COUNTY OF SANTA FE |

BY THE ACCEPTANCE of this instrument, the Board of Education of the City of Santa Fe, New Mexico hereby accepts and agrees to all of the terms, conditions, restrictions, and reservations contained herein. It is understood and agreed that said Junior High School is to be constructed and the facilities utilized as indicated herein within eight years from the date hereof.

IN WITNESS WHEREOF, said Board of Education of the City of Santa

Fe, County of Santa Fe, State of New Mexico aforesaid has caused these presents to be signed by Irvin P. Murphy, Superintendent of Schools, or his successor in office, thereunto authorized by Resolution of said Board of Education of said City, dated March 28, 1960 a copy of which is hereto annexed.

Board of Education
City of Santa Fe, New Mexico

By Irvin P. Murphy
Irvin P. Murphy, Superintendent of
Schools, Santa Fe, New Mexico

ACKNOWLEDGEMENT

THE STATE OF NEW MEXICO |
COUNTY OF SANTA FE |

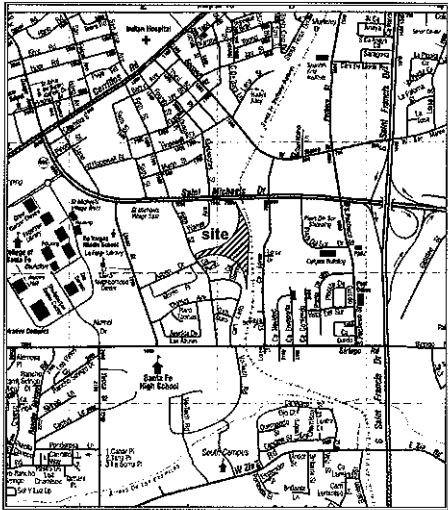
BEFORE ME, a Notary Public in and for said County of Santa Fe, State of New Mexico, on this day personally appeared Irvin P. Murphy, Superintendent of Schools of the City of Santa Fe, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same voluntarily and as the act and deed of the Board of Education of the City of Santa Fe, an instrumentality of the State of New Mexico organized and existing under the laws thereof, and as Superintendent of said schools, and for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 29th day
of April, 19 60.

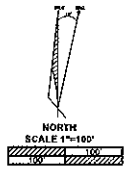
Richard Daniels
Notary Public in and for
State of N. Mex.
Co. of Santa Fe

My Commission Expires:

14th day of Oct
19 62.



VICINITY MAP (NTS)



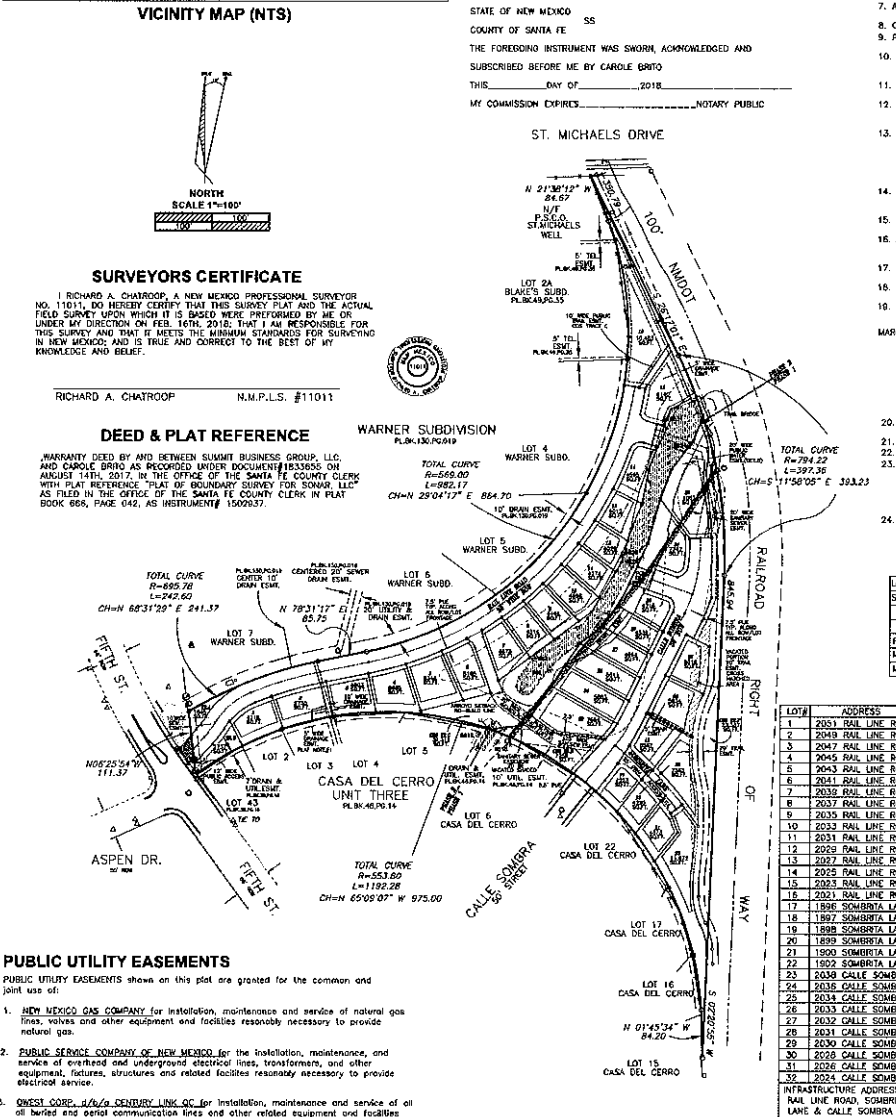
SURVEYORS CERTIFICATE

I, RICHARD A. CHATROOP, A NEW MEXICO PROFESSIONAL SURVEYOR NO. 11011, DO HEREBY CERTIFY THAT THIS SURVEY PLAT AND THE ACTUAL FIELD SURVEY UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECTION ON FEB. 16TH, 2012; THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT IT MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

RICHARD A. CHATROOP N.M.P.L.S. #11011

DEED & PLAT REFERENCE

WARRANTY DEED BY AND BETWEEN SUMMIT BUSINESS GROUP, LLC, AND CAROLE BRITO AS RECORDED UNDER DOCUMENT 1833856 ON AUGUST 14TH, 2012, IN THE OFFICE OF THE SANTA FE COUNTY CLERK WITH PLAT REFERENCE "PLAT OF BOUNDARY SURVEY FOR SOMBRÍA, LLC" AS FILED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 668, PAGE 042, AS INSTRUMENT# 1500237.



DEDICATION AND AFFIDAVIT

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS, HAVE CAUSED TO BE SUBMITTED THOSE LANDS SHOWN HEREON THIS SUBDIVISION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF SAID OWNERS. UTILITY EASEMENTS ARE GRANTED AS SHOWN AND FOR EXISTING UTILITIES, OTHER EASEMENTS ARE GRANTED AS SHOWN. SLOPE/CONST. EASEMENTS ARE GRANTED WHERE NEEDED FOR INFRASTRUCTURE IMPROVEMENTS AND SLOPE STABILIZATION. ALL PUBLIC UTILITY EASEMENTS (INCL. SANITARY SEWER EASEMENTS) AND INDICATED ARE GRANTED TO THE CITY OF SANTA FE FOR THE PURPOSE OF INSTALLING, OPERATING AND MAINTAINING SUCH PUBLIC UTILITIES AND THE RIGHT OF ACCESS TO SUCH UTILITIES. THE RIGHT OF INGRESS AND EGRESS (BOTH SURFACE AND SUBSURFACE) FOR CREEPS AND MACHINERY AND THE RIGHT TO TRIM OR REMOVE OBSTRUCTIONS, AND THE RIGHT OF ACCESS TO SUCH UTILITIES, ARE GRANTED TO THE CITY OF SANTA FE. PUBLIC TRAIL EASEMENTS ARE GRANTED TO THE CERRO DEL NORTE HOA AS OPEN SPACE. PUBLIC TRAIL EASEMENTS ARE GRANTED TO THE CITY OF SANTA FE THE RIGHTS OF WAY FOR "RAIL LINE ROAD" AND "CALLE SOMBRÍA" ARE GRANTED IN PERPETUITY BUT WILL NOT BE MAINTAINED BY THE CITY UNTIL FULLY CONSTRUCTED AND FORMALLY ACCEPTED BY LAND USE OFFICIALS.

THE SUBDIVISION CONTAINS 3.73 AC± (PHASE 1), AND 3.71 AC± (PHASE 2), AND LIES WITHIN THE PLANNING AND PLATING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO.

by CAROLE BRITO

STORMWATER AGREEMENT
PROPERTY OWNER(S) HEREBY AGREE THAT ALL STORMWATER EASEMENTS AND ANY OTHER DRAINAGE IMPROVEMENTS OF PRIVATE PROPERTY WILL BE MAINTAINED AND KEPT FULLY FUNCTIONAL AS ORIGINALLY DESIGNED AND CONSTRUCTED WITH PRIVATE PROPERTY OWNERS. THE CITY HAS THE RIGHT OF ACCESS FOR INSPECTION OF DRAINAGE IMPROVEMENTS; THE CITY HAS THE RIGHT IN THE EVENT OF DRAINAGE FACILITY MAINTENANCE DEFICIENCY AND AFTER TEN (10) DAYS WRITTEN NOTICE TO THE RESPECTIVE PROPERTY OWNER, TO ENTER AND RESTORE TO FULL FUNCTIONAL CAPACITY OF THE DRAINAGE IMPROVEMENTS; AND TO LEND THE PROPERTY FOR BOTH DIRECT AND INDIRECT COSTS ASSOCIATED WITH SUCH WORK. BY SIGNATURE AFFIXED TO THIS INSTRUMENT, THE PROPERTY OWNER(S) APPROVE AND ACKNOWLEDGE THIS AGREEMENT IS BINDING PERPETUALLY, RUNNING WITH THE LAND, ON PRESENT AND FUTURE OWNERS, HEIRS, AND ASSIGNS.

by CAROLE BRITO

STATE OF NEW MEXICO
COUNTY OF SANTA FE SS
THE FOREGOING INSTRUMENT WAS SWORN, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY CAROLE BRITO
THIS _____ DAY OF _____, 2012.
MY COMMISSION EXPIRES _____, NOTARY PUBLIC

SANTA FE CITY APPROVAL, NOTES AND CONDITIONS:

APPROVED BY THE SANTA FE PLANNING COMMISSION AT THEIR MEETING OF _____, 20____, AS CASE NO. _____

PLANNING COMMISSION CHAIRPERSON _____ DATE _____

PLANNING COMMISSION SECRETARY _____ DATE _____
APPROVED BY THE CITY OF SANTA FE CURRENT PLANNING DIVISION (SEE AFFIDAVIT OF THE LAND DEVELOPMENT CODE, ARTICLE 14-3(B)(7)).

CITY PLANNER _____ DATE _____

CITY ENGINEER FOR LAND USE _____ DATE _____

THE CITY OF SANTA FE WASTE WATER DIVISION DIRECTOR ACKNOWLEDGES SEWER ALIGNMENT OF THE LAND DEVELOPMENT CODE, ARTICLE 14-3(B)(7).
CITY WASTEWATER DIVISION DIRECTOR _____ DATE _____

SANTA FE COUNTY

SANTA FE COUNTY TREASURER _____ DATE _____

- THIS PLAT IS SUBJECT TO THE CERRO DEL NORTE HOMEOWNERS ASSOCIATION COVENANTS.
- ALL DRAINAGE FACILITIES, & OPEN SPACE SHALL BE MAINTAINED BY THE CERRO DEL NORTE HOMEOWNERS ASSOCIATION. ALL EMERGENCY ACCESS AND TRAIL EASEMENTS SHALL BE MAINTAINED BY THE CITY OF SANTA FE.
- COMPLIANCE WITH GUNNISON'S PRARIE DOG ORDINANCE SHALL BE COMPLETED PRIOR TO GRADING OPERATIONS.
- FENCES, WALLS OR OTHER OBSTRUCTIONS SHALL NOT BE PLACED OR CONSTRUCTED ACROSS PUBLIC SANITARY SEWER EASEMENTS.
- UTILITY EXPANSION CHARGES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION FOR EACH LOT. CONTACT THE CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION TO PAY THESE CHARGES.
- EACH UNIT SHALL BE SERVED THROUGH A SEPARATE SEWER AND WATER SERVICE.
- ALL PROPOSED CHANGES TO THE APPROVED IMPROVEMENT PLANS SHALL RECEIVE PRIOR APPROVAL BY THE CITY OF SANTA FE.
- COMPLY WITH THE CURRENT COEF WATER CONSERVATION STAGE.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF COEF ORDINANCE NO. 2008-02 (WAPES FEES).
- PROPERTY DEVELOPMENT, BOTH PUBLIC AND PRIVATE OWNERSHIP, SHALL COMPLY WITH THE COEF ORDINANCE NO. 2002-20 (TERMINAL AND STORMWATER MANAGEMENT) AT THE TIME OF BUILDING PERMIT APPLICATION.
- BUILDING SETBACKS SHALL APPLY TO ALL PERMANENT STRUCTURES, INCLUDING ACCESSORY STRUCTURES.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCO 1987 AND SUBSEQUENT AMENDMENTS.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH APPLICABLE CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO FINAL PLAT RECORDING WITH THE COUNTY CLERK OF SUBMITTA, WITH BUILDING PERMIT APPLICATION THAT ADDRESSES ANY PROVISIONS OF REQUIREMENTS CALLED FOR IN CHAPTER 14, LAND DEVELOPMENT CODE, SFCO 1987 AND SUBSEQUENT AMENDMENTS.
- PROPERTY DEVELOPMENT IS SUBJECT TO THE PROVISIONS OF SECTION 14-8.4.07 (S), "PLANT MATERIAL STANDARDS", WHEREIN PRESERVATION OF SIGNIFICANT TREES IS REQUIRED.
- ERE DEPARTMENT ACCESS SHALL BE MAINTAINED THROUGHOUT ALL DEVELOPMENT CONSTRUCTION PHASES AS PER IFC 1410.1.
- AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE AS PER IFC 1412.1.
- PERMANENT TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER APPROVED PLAN BY THE DEVELOPER.
- IN ACCORDANCE WITH THE SANTA FE HOMES PROGRAM, 6 LOTS WILL BE DEVELOPED WITH AFFORDABLE HOMES.
- DRAINAGE FACILITY MAINTENANCE SCHEDULE (±30 DAYS) SHALL BE AS FOLLOWS:
MARCH 15TH, SEPTEMBER 15TH, AND AFTER STORMS OF 1-INCH OR GREATER
a. FLUSH ALL DRAINAGE AND PATH DRAINS TO REMOVE SEDIMENT AND VEGETATION.
b. IF SEDIMENT IN POND IS DEEPER THAN 3-INCHES, REMOVE AND RESEED WITH NATIVE GRASSES. ALL OTHER POUNDS SHALL BE CLEARED OF EXCESS SEDIMENT ANNUALLY.
c. CHECK POND DRAINS AND RIP-RAP INTEGRITY. REPAIR IF NECESSARY.
d. CHECK FOR SOIL EROSION IN ALL SWALES, FILL SLOPES, CUT SLOPES, AND ALONG THE APPROVED BANK AND RETAINING WALLS. UNSTABILIZED SOILS SHALL BE STABILIZED BY VEGETATION, ROCK PLATING OR EROSION MATS.
- ALL LOT DEVELOPMENT IS SUBJECT TO THE PROVISIONS OF THE CERRO DEL NORTE RESTRICTIVE COVENANTS.
- ONE-LOT STORMWATER PONDING IS NOT REQUIRED.
- SEWER BACKWATER VALVES ARE REQUIRED FOR EACH DWELLING.
- CERRO DEL NORTE HOMEOWNERS ASSOCIATION (HOA), ITS SUCCESSORS AND ASSIGNS ARE GRANTED A RIGHT TO PLACE RETAINING WALLS WITHIN THE NORTHERLY BOUNDARY OF THE "RAIL LINE ROAD" RIGHT OF WAY AND THE HOA AND ITS SUCCESSORS SHALL BE RESPONSIBLE FOR MAINTENANCE AND ANY OTHER ISSUES ASSOCIATED THEREWITH AND SHALL INDEMNIFY THE CITY OF SANTA FE FROM ANY LOSS OR CAUSE OF ACTION.
- "SOMBRÍA LANE IS A PRIVATE STREET TO BE MAINTAINED BY THE HOA.

R-5 DEVELOPMENT STANDARDS:

Lot Coverage	40%	50% if private open space provided per §14-7.1(B)(1)(d)
Setbacks:	Front 7'	20' for garage doors
	Side 5'	
	Rear 15'	
Parking	2 spaces per dwelling off street; 0.6 spaces on street.	
Min. Lot Size	4,000 s.f.	
Maximum Height	24'	

LOT#	ADDRESS
1	2031 RAIL LINE ROAD
2	2049 RAIL LINE ROAD
3	2047 RAIL LINE ROAD
4	2045 RAIL LINE ROAD
5	2043 RAIL LINE ROAD
6	2041 RAIL LINE ROAD
7	2039 RAIL LINE ROAD
8	2037 RAIL LINE ROAD
9	2035 RAIL LINE ROAD
10	2033 RAIL LINE ROAD
11	2031 RAIL LINE ROAD
12	2029 RAIL LINE ROAD
13	2027 RAIL LINE ROAD
14	2025 RAIL LINE ROAD
15	2023 RAIL LINE ROAD
16	2021 RAIL LINE ROAD
17	1926 SOMBRÍA LANE
18	1897 SOMBRÍA LANE
19	1809 SOMBRÍA LANE
20	1529 SOMBRÍA LANE
21	1502 SOMBRÍA LANE
22	1502 SOMBRÍA LANE
23	2030 CALLE SOMBRÍA
24	2036 CALLE SOMBRÍA
25	2034 CALLE SOMBRÍA
26	2033 CALLE SOMBRÍA
27	2032 CALLE SOMBRÍA
28	2031 CALLE SOMBRÍA
29	2030 CALLE SOMBRÍA
30	2029 CALLE SOMBRÍA
31	2028 CALLE SOMBRÍA
32	2024 CALLE SOMBRÍA

COUNTY OF SANTA FE, STATE OF NEW MEXICO, I, _____, do hereby certify that this instrument was filed for record in the _____ day of _____, A.D. 20____, and was duly recorded in Book _____ of the records of Santa Fe County, New Mexico, at _____ o'clock _____ P.M. on the _____ day of _____, 20____.

FINAL SUBDIVISION PLAT FOR CERRO DEL NORTE

LYING WITHIN PRD., SECTION 34, T17N, R9E, NMPM, CITY AND COUNTY OF SANTA FE, NM.

RICK CHATROOP
PROFESSIONAL LAND SURVEYOR
NEW MEXICO REGISTRATION NO. 11011
(505) 470-0037 110 MIGNON TRAIL DR., CERRILLOS, NM. 87019

PREPARED BY: CAROLE BRITO
DATE: 1-05-2012 09:51-14
LOCATION: LYING WITHIN SECTION 34, T17N, R9E, NMPM, CITY AND COUNTY OF SANTA FE, NM.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- NEW MEXICO GAS COMPANY** for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- PUBLIC SERVICE COMPANY OF NEW MEXICO** for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- QUEST CORP. 4160 CENTURY LINK QC** for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to show ground pedestals and closures. This plat has been approved for recording purposes only. The signing of this plat does not in any way guarantee telephone services to the subdivision.
- COMCAST** for the installation, maintenance, and service of such lines, cables and other related equipment and facilities reasonably necessary to provide Cable TV services. Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from, and over said right of way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantor, and to trim and remove trees, shrubs or bushes which interfere with the purpose set forth herein. No building, sign, pole (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon.

Disclaimer:
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGCO) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGCO do not waive or release any easement or easement rights which may have been granted by prior plat, record or other document and which are not shown on this plat.

UTILITIES APPROVAL

NEW MEXICO GAS COMPANY _____ DATE _____

PNM ELECTRIC SERVICES _____ DATE _____

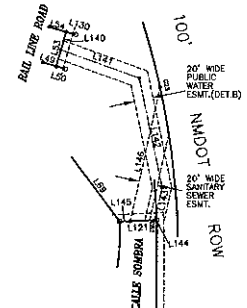
QUEST CORP. 4160 CENTURY LINK QC _____ DATE _____

COMCAST _____ DATE _____

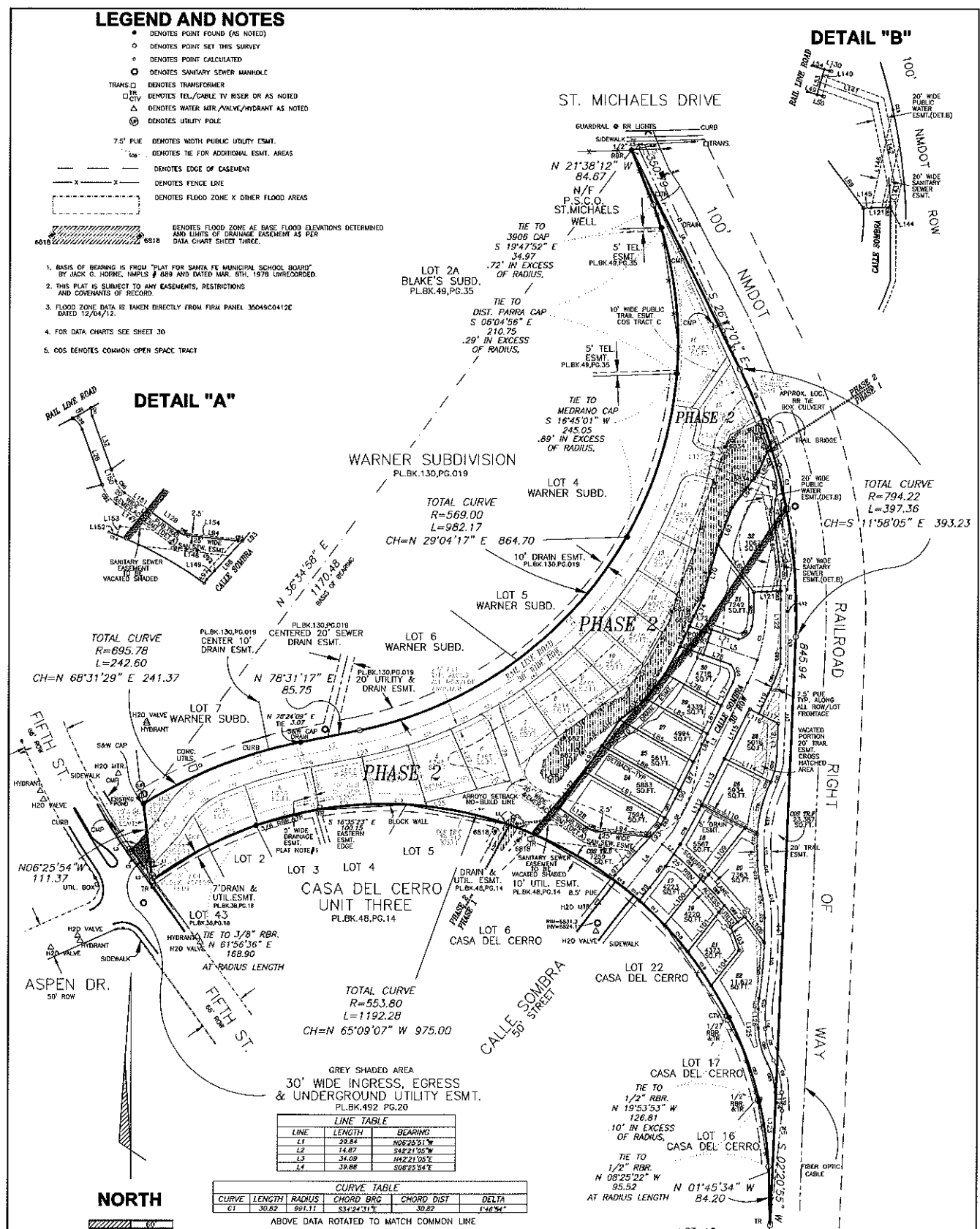
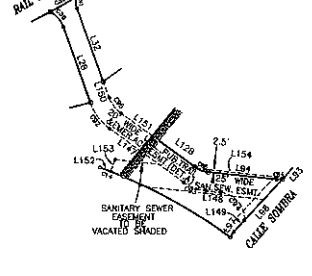
LEGEND AND NOTES

- DENOTES POINT FOUND (AS NOTED)
 - DENOTES POINT SET THIS SURVEY
 - DENOTES POINT CALCULATED
 - DENOTES SANITARY SEWER MANHOLE
 - TRANSFORMER
 - DENOTES TEL./CABLE TV RISER OR AS NOTED
 - △ DENOTES WATER MTR./VALVE/HYDRANT AS NOTED
 - ⊕ DENOTES UTILITY POLE
 - 7.5' PUE DENOTES WIDTH PUBLIC UTILITY ESMT.
 - DENOTES THE FOR ADDITIONAL ESMT. AREAS
 - DENOTES EDGE OF EASEMENT
 - x-x- DENOTES FENCE LINE
 - DENOTES FLOOD ZONE X OTHER FLOOD AREAS
 - 6818 DENOTES FLOOD ZONE AS BASE FLOOD ELEVATIONS DETERMINED AND LIMITS OF DRAINAGE EASEMENT AS PER DATA CHART SHEET THREE.
1. BASIS OF BEARING IS FROM "PLAT FOR SANTA FE MUNICIPAL SCHOOL BOARD" BY JACK C. HORME, MAPS 1 & 2 AND DATED MAR. 07th, 1978 UNRECORDED.
 2. THIS PLAT IS SUBJECT TO ANY EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.
 3. FLOOD ZONE DATA IS TAKEN DIRECTLY FROM FIRM PANEL 3064500412C DATED 12/04/12.
 4. FOR DATA CHARTS SEE SHEET 30.
 5. COS DENOTES COMMON OPEN SPACE TRACT

DETAIL "B"



DETAIL "A"



GREY SHADED AREA
30' WIDE INGRESS, EGRESS
& UNDERGROUND UTILITY ESMT.
PL.BK.492 PG.20

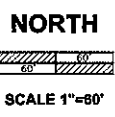
LINE TABLE

LINE	LENGTH	BEARING
L1	29.84	N08°25'54" W
L2	14.07	S82°21'05" W
L3	34.09	N42°21'05" E
L4	39.88	S08°25'54" E

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BRG	CHORD DIST	DELTA
G1	30.82	891.13	S34°24'11" E	30.82	146°54"

ABOVE DATA ROTATED TO MATCH COMMON LINE



FINAL SUBDIVISION PLAT FOR CERRO DEL NORTE PHASE 1

LYING WITHIN PROJ. SECTION 34, T17N, R8E, MAP 10, CITY AND COUNTY OF SANTA FE, NM.

RICK CHATROOP
PROFESSIONAL LAND SURVEYOR
NEW MEXICO REGISTRATION NO. 11011
(505) 470-0637 110 WAGON TRAIL RD.

INDEXING INFORMATION FOR THE COUNTY CLERK
OWNER: CAROLE BRITO
BOOK: 1-052-057-314-141
LOCATION: LYING WITHIN SECTION 34, T17N, R8E, MAP 10, CITY AND COUNTY OF SANTA FE, NM.

COUNTY OF SANTA FE, N.M.
STATE OF NEW MEXICO
I hereby certify that this instrument was filed for record on this _____ day of _____, A.D. 20____ at _____ o'clock _____ P.M. and was duly received in book _____ of the records of the County of Santa Fe County.
Witness my hand and Seal of Office on this _____ day of _____, A.D. 20____.
County Clerk, Santa Fe County, N.M.

Deputy

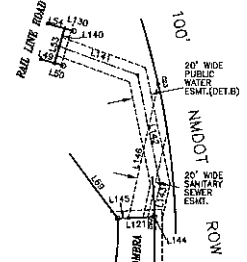
5287 48

LEGEND AND NOTES

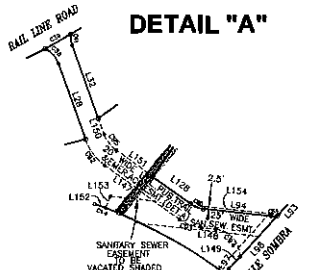
- DEMOTES POINT FOUND (AS NOTED)
- DEMOTES POINT SET THIS SURVEY
- DEMOTES POINT CALCULATED
- DEMOTES SANITARY SEWER MANHOLE
- TRANS. □ DEMOTES TRANSFORMER
- DEMOTES TEL./CABLE TV RISER OR AS NOTED
- △ DEMOTES WATER MTR./VALVE/HYDRANT AS NOTED
- ⊙ DEMOTES UTILITY POLE
- 7.5' PUE DEMOTES WIDTH PUBLIC UTILITY ESMT.
- DEMOTES TIE FOR ADDITIONAL ESMT. AREAS
- DEMOTES EDGE OF EASEMENT
- X-X- DEMOTES FENCE LINE
- DEMOTES FLOOD ZONE X OTHER FLOOD AREAS
- DEMOTES FLOOD ZONE AS BASE FLOOD ELEVATIONS DETERMINED AND LIMITS OF DRAINAGE CASADANT AS PER DATA CHART SHEET THREE.

1. BASIS OF BEARING IS FROM "PLAT FOR SANTA FE MUNICIPAL SCHOOL BOARD" BY JACK C. MORSE, N.M.P.L.S. # 689 AND DATED MAR. 8TH, 1978 UNRECORDED.
2. THIS PLAT IS SUBJECT TO ANY EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.
3. FLOOD ZONE DATA IS TAKEN DIRECTLY FROM FIRN PANEL 3304500412Z DATED 12/04/12.
4. FOR DATA CHARTS SEE SHEET 3D.
5. COS DEMOTES COMMON OPEN SPACE TRACT

DETAIL "B"



DETAIL "A"



TOTAL CURVE
R=695.78
L=242.60
CH=N 68°31'29" E 241.37

WARNER SUBDIVISION
PL.BK.130,PG.019

TOTAL CURVE
R=569.00
L=982.17
CH=N 29°04'17" E 864.70

TOTAL CURVE
R=794.22
L=397.36
CH=S 11°58'05" E 393.23

TOTAL CURVE
R=553.80
L=1192.28
CH=N 65°09'07" W 975.00

GREY SHADED AREA
30' WIDE INGRESS, EGRESS
& UNDERGROUND UTILITY ESMT.
PL.BK.492 PG.20

LINE	LENGTH	BEARING
L1	28.88	N06°25'51" W
L2	74.67	S42°21'08" W
L3	34.09	N42°12'02" E
L4	38.88	S02°25'54" E

CURVE	LENGTH	RADIUS	CHORD BRG	CHORD DIST	DELTA
CT	30.82	897.11	S34°24'31" E	30.82	148°54"

ABOVE DATA ROTATED TO MATCH COMMON LINE

NORTH
SCALE 1"=60'

ST. MICHAELS DRIVE

WARNER SUBDIVISION
PL.BK.130,PG.019

CASA DEL CERRO
UNIT THREE
PL.BK.48,PG.14

PHASE 1

FINAL SUBDIVISION PLAT FOR
CERRO DEL NORTE
PHASE 2

LYING WITHIN PROJ. SECTION 34, T17N. R9E,
N.M.P.M. CITY AND COUNTY OF SANTA FE, N.M.

RICK CHATROOP
PROFESSIONAL LAND SURVEYOR
NEW MEXICO REGISTRATION NO. 11011
(609) 470-0087 110 WAGON TRAIL RD.

COUNTY OF SANTA FE, N.M.
STATE OF NEW MEXICO
I hereby certify that the instrument was filed
for record on the _____ day of _____ A.D.
20____ at _____ o'clock _____
and was duly recorded in book _____ of the records of
Santo Fe County,
Gravette Subdiv.
County Clerk, Santa Fe County, N.M.
Witness my hand and Seal of Office
County Clerk, Santa Fe County, N.M.

MISSIONS INFORMATION FOR THE COUNTY CLERK:
OWNER: CAROLE BRITO
ORDER: 1-052-067-514-141
LOCATION: LYING WITHIN SECTION 34, T17N, R9E,
N.M.P.M. CITY AND COUNTY OF SANTA FE, N.M.

DATA CHARTS

Table with columns: LINE, LENGTH, BEARING, CURVE, ARC, RADIUS, CHORD, LENGTH, DELTA. Contains detailed survey data for various line segments and curves.

FLOOD ZONE AE DATA

Table with columns: CURVE, ARC, RADIUS, CHORD, LENGTH, DELTA. Lists flood zone data for various curve segments.

Table with columns: LINE, LENGTH, BEARING. Lists line segment data for flood zone AE.

BOUNDARY & 20' WIDE CITY TRAIL EASEMENT DATA

Table with columns: CURVE, ARC, RADIUS, CHORD, LENGTH, DELTA and LINE, LENGTH, BEARING. Provides boundary and trail easement data.

FINAL SUBDIVISION PLAT FOR CERRO DEL NORTE LYING WITHIN PROJ. SECTION 34, 117N. R6E, NMPCL CITY AND COUNTY OF SANTA FE, NM.

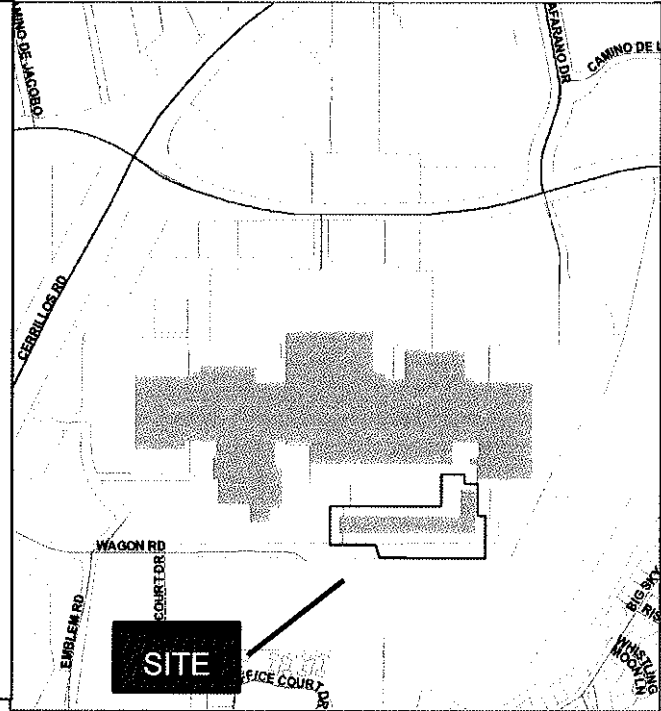
RICK CHATROOP PROFESSIONAL LAND SURVEYOR NEW MEXICO REGISTRATION NO. 11011 (505) 470-0597 110 WAGON TRAIL RD.

RECORDING INFORMATION FOR THE COUNTY CLERK: OFFICE: CARLOS BRITO, DATE: 1-20-20, 09:27:51-141, LOCATION: LYING WITHIN PROJ. SECTION 34, 117N. R6E, NMPCL CITY AND COUNTY OF SANTA FE, NM.



Land Use Department Planning Commission Update Report

Case No: 2020-2999
Hearing Date: April 1, 2021
Applicant: Santa Fe Mall Property, LLC.
Request: Development Plan
Location: 4250 Cerrillos Road
Case Mgr.: Daniel A. Esquibel
Zoning: SC3 (Regional Shopping Center District)
Overlay: Suburban Archaeological Review District
Pre-app. Mtg.: October 8, 2020
ENN Mtg.: December 2, 2020
Proposal: Development Plan to construct a 161,433 square foot residential structure for 141 dwelling units. The property is approximately 3.25 acres.



Case #2020-2999, 4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan. JenkinsGavin, Inc., Agent, for Santa Fe Mall Property, LLC, Owner, requests approval of Development Plan to construct a 161,433 square foot residential structure for 141 dwelling units. The property is approximately 3.25 acres and is zoned SC3 (Regional Shopping Center District).

I. RECOMMENDATION

The Land Use Department recommends **APPROVAL** with the conditions of approval as outlined in this report.

Three motions will be required in this case:

- Approve or deny the Development Plan subject to the conditions of approval and technical corrections recommended by staff.
- Approve or deny the shared parking plan, showing the 40 off-site designated parking spaces, as shown on Exhibit G.
- Approve or deny the Findings of Facts and Conclusions of Law for Case #2020-2999 as shown in Exhibit B.

II. CONDITIONS OF APPROVAL

Staff recommends the following conditions of approval:

Table 1 Conditions of Approval

#	Condition of approval	Dept/Division	Completed By:
1	Final Architectural points shall be submitted	Land Use Current Planning Division	The Time of Construction Permit
2	A note on the Development Plan shall include that all wall mounted lighting be shielded.		Prior to Recordation of the Development Plan
3	The project shall comply with the Santa Fe Place Mall Sign Plan: " <i>Variance from SFCC §14-8.10(G)(8)(c) allowing up to two wall mounted signs for each "Pad Site" building up to a maximum of 80 sf. in accordance with the approved Design Standards</i> ".		
4	All required parking shall be designated and marked for the residential component and shall be located adjacent to the apartment complex. This may be shown on the Mall Parking Plan.		
5	Shall obtain Affordable Housing approval.		
6	Eliminate the 4 parking spaces on the west that are adjacent to the turnout intersecting the ring road.	Traffic Engineering Division (Wilson & Co.)	Prior to recordation of the Development Plan
7	At the South Bound Mall Entrance off Rodeo Road add a stop here for pedestrians sign.	MPO Division	Prior to Signature Sheet Process
8	Construct east/west sidewalks along the north and south sides of the building to make a continuous sidewalk loop.		
9	Water rights proposed to be transferred to the city's water system for dedication to development, shall be tendered to the city attorney at whichever review stage is applicable and occurs first in the review of a particular development, according to the following requirement:	Water Division	Not later than sixty (60) days after the final Planning Commission approval of the development plan

The project will also be subject to the technical requirements listed in Exhibit A.

III. EXECUTIVE SUMMARY

The Planning Commission (Commission) heard and acted upon this case on March 4, 2021. The decision of the Commission was to deny Case #2020-2999 (Case). This Case is being presented for reconsideration. The Applicant has agreed with all conditions of approval and technical corrections, including the following (reference Exhibit D):

- 1) *Provision of sidewalks along the north and south sides of the proposed apartment building,*

as recommended by the Santa Fe MPO; and

- 2) Designation of reserved and dedicated parking in close proximity to the proposed apartment building, to accommodate the balance of 40 spaces needed, after the provision of 135 spaces in the podium parking and 9 new surface spaces being created by the development (total of 184 spaces).

Santa Fe Mall Property, LLC (Applicant) requests approval of a Development Plan to construct a forty-five-foot high, 4-story, 141 multi-family apartment complex, totaling 161,433 square feet.

The "Santa Fe Place Mall Subdivision" was approved by the Planning Commission on December 3, 2019. The Applicant is requesting a lot line adjustment/consolidation plat, which will be processed administratively, as part of the proposal. The lot line adjustment/consolidation affects Lots 1-A5 (subject lot, approximately 2.86 acres), Lot 1-A (approximately 17.72 acres) and Lot 1-B (approximately 6.91 acres) of the "Santa Fe Place Mall Subdivision". The new lot configurations will increase lot 1-A5 to approximately 3.25 acres, and decreases Lots 1-A and 1-B to approximately 6.74 and 17.36 acres, respectively.

The March 4, 2021 Staff report and packet material is included in Exhibit C.

The Applicant has complied with 14-3.1(E) "Pre-Application Conferences", 14-3.1(F) "Early Neighborhood Notification Procedures" and 14-3.1(H) "Notice Requirements".

Staff's analysis finds that the Applicant has addressed the necessary findings per 14-3.8(D) "Approval Criteria and Conditions" and recommends **APPROVAL** subject to conditions identified in Section II "Conditions of Approval" of this Memorandum.

IV. EXPIRATION:

Development Plans may expire as per Subsection 14-3.19(B)(4) "Approval of a final development plan, or any development plan for which no preliminary development plan was required, shall expire three years after final action approving it unless actual development of the site or offsite improvements has begun and is continued pursuant to Subsection 14-3.19(B)(6)."

Should the Commission approve the Development Plan and the Findings of Fact and Conclusions of Law, the expiration date would be April 1, 2024.

V. EXHIBITS:

EXHIBIT A: Technical Conditions

EXHIBIT B: Findings of Fact and Conclusions of Law

EXHIBIT C: March 4, 2021 Report and Packet Material

EXHIBIT D: Applicant's Additional Submittals
1) Applicant Correspondence

APPROVED AS TO FORM:

Title	Name	Initials
Land Use Department Director	Elias Isaacson, AICP	<i>ESI</i>
Land Use Current Planning Planner Manager	Noah Berke, AICP	<i>NLB</i>
Land Use Department Case Manager	Dan Esquibel	<i>DAE</i>

**April 01, 2021
Planning Commission
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall
Apartments
Development Plan**

EXHIBIT A

Technical Corrections

EXHIBIT A1
Technical Corrections
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

	Technical Corrections of approval	Department	To be completed by:
1	Include a note on the plat stating that on-lot ponding is required for each lot.	Technical Review Division	Prior to recordation
2	Include discussion in drainage report of pond volume required. This was only found in the plans but wasn't evident in the report.		
3	HOA documents shall state in section 3.16 that owners must maintain swales and ponding areas on each property provided for ponding/retention of storm water. Section 8.2 shall include the entire attached Drainage Facilities Maintenance note.		
4	Orient all drawings so the North arrow is either up on the page or to the right side of the page.		
5	This Development shall comply with the most current requirements of the American with Disabilities Act (ADA). Place a note on the Plan to reflect this condition		Building Permit Process
6	Other comments will be provided on these plans at the time of the building permit and changes may be required during permitting process		
7	In accordance with Article 14-8.4(F)(2)(e), "storm water detention ponds and retention ponds shall be planted... with a minimum of one tree and three shrubs per 500 SF of required ponding area."		

EXHIBIT A1
Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

DRAINAGE FACILITIES MAINTENANCE NOTE

ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY ALL PROPERTY OWNERS.

INSPECTIONS SHALL BE CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO OR OTHER QUALIFIED PERSON. INSPECTIONS SHALL BE CONDUCTED ON THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. MAINTENANCE OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED AND DOCUMENTED BY THE ENGINEER AND THE OWNER. THE OWNER SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE ENGINEER'S RECOMMENDATIONS, AND SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:

- A. FLUSH ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND VEGETATION THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURE(S).
- B. REMOVE SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH, AND IF NECESSARY, RESEED WITH NATIVE GRASSES AND INSTALL FILTER FABRIC AND 3 TO 4 INCH COBBLE AS DIRECTED BY THE ENGINEER.
- C. INSPECT FOR SEDIMENTATION IN ALL SWALES, DITCHES, DRAINAGE PONDS AND REMOVE AND STABILIZE AS NECESSARY.

EXHIBIT A1
 Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

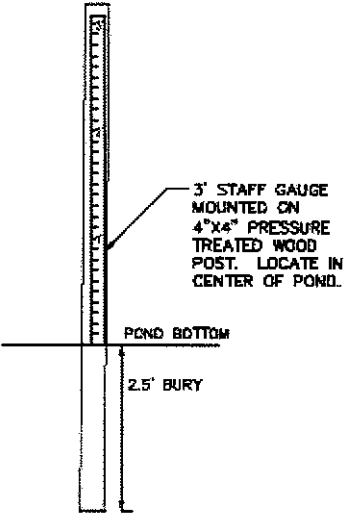
	<p>D. INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS, CUT AND FILL SLOPES, AND REPAIR OR STABILIZE ACCORDINGLY.</p> <p>E. INSPECT THE STRUCTURAL INTEGRITY OF DRAINAGE PONDS, SLOPES, RIP-RAP, GABIONS, DROP INLETS, CULVERTS, ENERGY DISSIPATORS, AND RETAINING WALLS, ROCK PLATING, EROSION CONTROL MATS OR BLANKETS, AND REPAIR OR STABILIZE ACCORDINGLY.</p>  <p>POST & STAFF GAUGE NTS</p>		
8	<p>City of Santa Fe Fire Dept. has expressed concerns over street tree canopies interfering with trucks and equipment. Please revisit the street tree list and consider columnar and vase shaped varieties at areas of narrowing streets.</p>	<p>Technical Review Division Landscaping</p>	<p>Building Permit Process</p>

EXHIBIT A1
Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

9	<p>Provide irrigation to all revegetation native seed areas. [Per COSF Code 14-8.2 D(5)(c)] Add a heat treated compost material one inch (1") to all seeded areas. Test soil: Contractor shall have seeded areas soil tested for nutrient deficiencies and amend soil according to testing lab recommendations. Seeded areas shall be graded two inches (2") below top of concrete curbs and sidewalks.</p>		
10	<p>Provide details of backflow preventer in a Hotbox, master valve, controller, electric drip valve, valve box assembly, end flush cap, and emitter placement. Following COSF code in 14-8.4 (E)(4) and Landscape Irrigation Design Standards City of Santa Fe, New Mexico.</p>		
11	<p>14-8.4(E)(4)(H) irrigation systems shall be zoned by levels of water use. For the most efficient water use, plant with similar water use requirements shall be grouped together. Separate zones are required for permanent and temporary irrigation lines.</p>		
12	<p>Provide a list of zones with type of irrigation, i.e. Drip, Bubbler, and Popup etc. In addition, provide the plant materials irrigated, i.e. Tree, Shrub, Native Seeding, etc.</p>		
13	<p>City staff respectfully requests the use of a gravel mulch that is washed and screened.</p>		
14	<p>Dead end sidewalks within the subdivision shown with no provision for continuous accessible route (Festival Place & Tradition Place). Provide for continuous ADA accessible path of travel route within the subdivision. (Provide signage at closest intersection with accessible connection indicating "Accessible Route Ends Ahead" or "No Accessible Route" and provide detour at any temporary inaccessible routes.) PROW connections, temporary cul-de-sacs, hammer heads, temporary and permanent</p>		

EXHIBIT A1
 Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

	dead ends and paved roads leading to construction and emergency access roads shall be surrounded by continuous sidewalk, or another accessible connection method shall be provided to ensure continuity of interim and final accessible routes.		
15	Dead end sidewalks along Entrada de Milago within the subdivision shown with no provision for continuous accessible route. Provide signage at Fairly Road intersection at sidewalks leaving the subdivision heading east indicating "Accessible Route Ends Ahead" or "No Accessible Route Ahead".		
16	Dead end sidewalks extending from the subdivision along Fairly Road toward Airport Road shown with no provision for continuous accessible route. Provide signage at northern subdivision boundary at sidewalks leaving the subdivision heading north indicating "Accessible Route Ends Ahead" or "No Accessible Route Ahead".	ADA Site Review	Prior to recordation.
17	Provide (1) on-street van accessible parking space, aisle and signage grouped with other provided on-street parking spaces on the west side of Fairly Road with an accessible ramp to the adjacent sidewalk. Striped on-street guest parking is be subject to the following provisions: 2010 ADA Standards - 208.2.3 Residential Facilities. Parking spaces provided to serve residential facilities shall comply with 208.2.3. 208.2.3.3 Parking for Guests, Employees, and Other Non-Residents. Where parking spaces are provided for persons other than residents, parking shall be provided in accordance with Table 208.2. Provision for ADA parking, signage and sidewalk access at striped and/or metered on-street parking spaces is recommended and may be required for public infrastructure. See State Proposed PROWAG On-Street parking scoping requirements for details.		

EXHIBIT A1
Technical Corrections
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4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

18	Provide fine grading notation at sidewalks and other accessible features, and spot elevations at curb ramps, gutters, etc. indicating accessible slopes.	ADA Site Review	Prior to recordation.
19	Provide Design Professional Seal and signature with date signed on all drawing sheets.		
<p>The applicant is notified that the following code provisions or other requirements shall apply to approved current phase(s) of development of this project and future phases shall be subject to current code at the time of subsequent phase approvals:</p> <p>On-Site General ADA Site Compliance Requirements as applicable:</p> <p>Accessible path(s) of travel route shall be provided from the Public Right-of-Way and accessible parking aisle(s) to accessible building entrance(s) and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. Ensure accessible route(s) from the Public Right- of-Way and accessible parking space aisle(s) to building entrance(s) are provided and maintained. Provide detectable warning surfaces at curb ramps and transitions to driveway crossings along the accessible paths of travel as applicable.</p> <p>IBC 1104.1 Site arrival points: At least one (firm, stable, slip resistant) accessible route within the site shall be provided from: public transportation stops, accessible parking, accessible passenger loading zones, and public streets or sidewalks to the accessible building entrance served.</p> <p>Accessibility feature design within the Site shall comply with NMDOT Pedestrian Access Route Details (Serial 608) or demonstrate compliance with applicable ADA regulations by other means as provided in the permitted Construction Documents.</p> <p>All walk surfaces along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.</p>			

EXHIBIT A1
Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

<p>All walk surfaces along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes. Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.</p> <p>Vertical clearance: Provide and maintain 80" of vertical clearance for the full width of all sidewalks/pedestrian routes. Rails or other barriers shall be provided where the vertical clearance is less than 80". The leading edge of such rails or barrier shall be located 27" max. above the floor. (307.4)</p> <p>Provide and maintain 98" vertical clearance at van parking spaces and access aisles, and accessible routes. (502.6) At Passenger Loading Zones, provide and maintain 114" min. vertical clearance at the exterior vehicular route and access aisles serving the vehicle pull-up space. (503.5)</p> <p>Ramps within the site shall have 1:12 (8.33%) running slope and 1:48 (2%) cross slope max. With a max. rise of 30" and with 5' clear length landings where straight. Changes in direction shall comply with 304.3. Landing typical slope is 1.5% and shall not exceed 2% running and cross slope. Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.</p> <p>ADA parking signage shall comply with the New Mexico Accessible Parking Checklist, latest publication. Accessible Signage Detail - Signage with required language per the NM Accessible Parking Checklist is required at ALL ADA Parking spaces. Parking signage height shall be 84" above the floor of the parking space, measured to the bottom of the R7-8 sign in the Public right-of-way, accessible path of travel, pedestrian way or path of the means of egress. Locate Van Accessible Parking signs immediately below the reserved parking sign at wall mounted or other locations not in the pedestrian way. At Van Accessible signs located in</p>		
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EXHIBIT A1
Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

<p>the pedestrian way, the R7-8A Van Accessible sign shall be mounted at 84" to bottom of the sign. Wall mounted signs and signs not mounted in the public way shall be 60" (84" is preferred) minimum above the floor of the parking space, measured to the bottom of the sign.</p> <p>Per the 2015 NM Accessible Parking Checklist, Section 9 (NMBC-1111 Section 1.4 through 1.4.3) the ADA parking space access aisle shall be clearly marked by diagonal pavement striping. "NO PARKING" lettering shall be stenciled in 1 foot high min. and 2 inches wide min. strokes, and located at the drive end of the striped access aisle. The International Symbol of Accessibility (ISA) shall be stenciled at all parking spaces, centered on the space and aligned with the drive end of the parking space striping. All pavement striping and markings shall be stenciled with pavement paint; blue on concrete paving or white on asphalt paving.</p> <p>Accessible parking spaces and access aisles shall not exceed 2% slope in any direction. 1%-1.5% is the preferred target slope.</p> <p>Ensure ADA Accessible parking spaces are located in close physical proximity to any adjacent Accessible housing units and other accessible entrances (60% of all entrances shall be accessible), with the shortest path of travel available from the parking area to the unit(s) and accessible entrances. Ensure accessible routes from Accessible parking space aisle(s) to building entrance are provided/maintained.</p> <p>Wheel stops are encouraged at all ADA accessible parking spaces to help ensure required clearance along the accessible path of travel is maintained.</p> <p>New bicycle racks shall comply with Santa Fe Chapter 14 Appendix Exhibit D for bicycle rack standards and dimensions.</p> <p>At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-S and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.</p> <p>Off-Site PROW ADA Site Compliance Requirements as applicable:</p> <p>Accessibility feature design within the Public Right-of-Way shall comply with NMDOT Pedestrian Access Route Details (Serial 608).</p> <p>Driveway and intersection crossings shall not exceed 2% cross slope, shall have a level maneuvering space, shall have 1/4" max. vertical deflections, and 10% max. flare slope.</p> <p>Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running</p>		
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EXHIBIT A1
Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

<p>slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.</p> <p>All walk surface along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.</p> <p>All walk surfaces along the accessible path of travel shall be firm, stable and slip resistant. Sidewalks and Walkways along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.</p> <p>Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.</p> <p>At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.</p>		
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**April 01, 2021
Planning Commission
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall
Apartments
Development Plan**

EXHIBIT B

Findings of Fact and Conclusions of Law

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2020-2999

4250 Cerrillos Road; Santa Fe Place Mall Apartments Development Plan

Applicant's Name – Santa Fe Mall Property, LLC

Agent's Name – JenkinsGavin, Inc.

THIS MATTER came before the Planning Commission (Commission) for hearing on April 1, 2021, upon the Application (Application) of JenkinsGavin, Inc., agent for Santa Fe Mall Property, LLC (Applicant).

The Applicant seeks the Commission's approval of a Development Plan to construct a 161,433 square foot residential structure for 141 dwelling units (Project). The property is approximately 3.25 acres, is zoned SC-3 (Regional Shopping Center District), and is located within the Suburban Archaeological Review District (Property).

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. Under the Santa Fe City Code (SFCC) Section 14-3.8(B)(3)(a), a development plan is required for proposed development with a “gross floor area of thirty thousand square feet or more and is located within any zoning district of the city.”
2. SFCC Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC § 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC § 14-3.1(F)(2)(a)(iv)]; and (c) compliance with notice and public hearing requirements [SFCC § 14-3.1(H)-(I)].
3. A pre-application conference was held on October 8, 2020 in accordance with SFCC Section 14-3.1(E)(1).
4. Pursuant to SFCC Section 14-3.1(H), notice of the ENN meeting was properly given.
5. The Applicant conducted a virtual ENN meeting on December 2, 2020. No members of the public attended.
6. Code Section 14-3.8(C)(1) requires applicants for development plan approval to submit certain plans and other documentation that show compliance with applicable provisions of the Code (Submittal Requirements).
7. City Land Use Department staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Code requirements and provided the Commission with a written report of its findings (Staff Report).
8. Staff recommended that the Commission approve the Development Plan, subject to certain conditions of approval and technical corrections set forth in the Staff Report and attached exhibits.

9. The information contained in the Staff Report and exhibits is sufficient to establish that the Submittal Requirements have been met.
10. SFCC Section 14-3.8 establishes certain procedures for development plan approval including, without limitation, a public hearing by the Commission and a decision based on the criteria set out in SFCC Section 14-3.8(D).
11. At the Hearing, the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
12. SFCC Section 14-3.8(D)(1) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before a development plan may be approved.
13. Pursuant to SFCC Section 14-3.8(D)(1)(a), the Commission finds that it is empowered to approve the development plan under SFCC Sections 14-2.3(C)(1) and 14-3.8(B)(4).
14. Pursuant to SFCC Section 14-3.8(D)(1)(b), the Commission finds that approving the development plan for the Project, subject to the conditions and technical corrections in the staff report, will not adversely affect the public interest.
15. Pursuant to SFCC Section 14-3.8(D)(1)(c), the Commission finds that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the Project. The size and scale of the existing buildings are compatible with surrounding properties. The proposed buildings provide a transitional buffer to the Nava Ade Subdivision to the East and Southeast while providing a synergetic compatibility for the Santa Fe Place Mall to the north and business park to the south. The mix of architecture in the area along with proposed building architecture is a range of territorial/contemporary vernacular with similar attributes found throughout the area.
16. Under SFCC Section 14-3.8(D)(2), the Commission is authorized to specify conditions of approval for a development plan that are necessary to accomplish the proper development of the area and to implement the policies of the general plan.
17. The Commission finds that the conditions and technical corrections set out in the Staff Report and exhibits are well founded and are necessary to accomplish the proper development of the area and to implement the policies of the general plan.
18. Under SFCC Section 14-3.8(A), approving the proposed Development Plan furthers the purpose and intent of providing plans for development, ensuring compliance with Chapter 14, and facilitating the documentation of future compliance with the approved plans.

CONCLUSIONS OF LAW

Under the circumstances, and given the evidence and testimony submitted during the public hearing, the Commission CONCLUDES as follows:

1. The Commission has the authority under Chapter 14 of the SFCC to review and approve the Applicant's proposed Development Plan subject to conditions.
2. The Applicant has complied with the Submittal Requirements.
3. The Applicant is able to comply with the Conditions.

4. The development plan should be approved subject to the conditions recommended by staff because all applicable code requirements and criteria for development plan approval have been met.

WHEREFORE, IT IS ORDERED ON THE 1th DAY OF APRIL 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

The Development Plan for the Project is approved, subject to the conditions of approval and technical corrections set forth in the Staff Report and exhibits. The Development Plan shall expire three years after issuance of this final action unless actual development of the site or off-site improvements has begun and is continued pursuant to SFCC Subsection 14-3.19(B)(6) or a time extension is granted pursuant to SFCC Section 14-3.19(C).

Brian Gutierrez
Chairperson

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Sally A. Paez
Assistant City Attorney

Date

**April 0, 2021
Planning Commission
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall
Apartments
Development Plan**

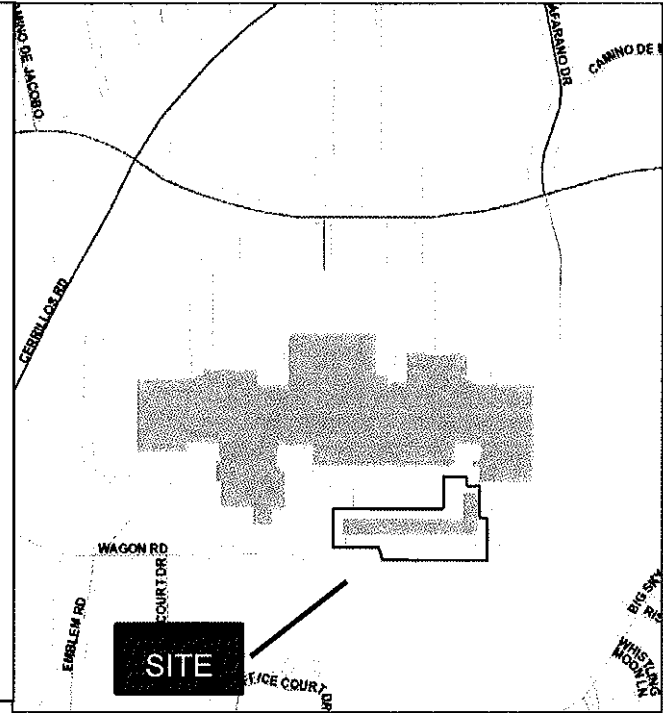
EXHIBIT C

March 4, 2021 Report and Packet Material



Land Use Department Planning Commission Staff Report

Case No: 2020-2999
Hearing Date: March 4, 2021
Applicant: Santa Fe Mall Property, LLC.
Request: Development Plan
Location: 4250 Cerrillos Road
Case Mgr.: Daniel A. Esquibel
Zoning: SC3 (Regional Shopping Center District)
Overlay: Suburban Archaeological Review District
Pre-app. Mtg.: October 8, 2020
ENN Mtg.: December 2, 2020
Proposal: Development Plan to construct a 161,433 square foot residential structure for 141 dwelling units. The property is approximately 3.25 acres.



Case #2020-2999. 4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan. JenkinsGavin, Inc., Agent, for Santa Fe Mall Property, LLC, Owner, requests approval of Development Plan to construct a 161,433 square foot residential structure for 141 dwelling units. The property is approximately 3.25 acres and is zoned SC3 (Regional Shopping Center District).

I. RECOMMENDATION

The Land Use Department recommends **APPROVAL** with the conditions of approval as outlined in this report.

Three motions will be required in this case:

- Approve or deny the Development Plan subject to the conditions of approval and technical corrections recommended by staff.
- Approve or deny the shared parking plan, showing the 40 off-site spaces, as shown on Exhibit G.
- Approve or deny the Findings of Facts and Conclusions of Law for Case #2020-2999 as shown in Exhibit B.

II. CONDITIONS OF APPROVAL

Staff recommends the following conditions of approval:

Table 1 Conditions of Approval

#	Condition of approval	Dept/Division	Completed By:
1	Final Architectural points shall be submitted	Land Use Current Planning Division	The Time of Construction Permit
2	A note on the Development Plan shall include that all wall mounted lighting be shielded.		Prior to Recordation of the Development Plan
3	The project shall comply with the Santa Fe Place Mall Sign Plan: " <i>Variance from SFCC §14-8.10(G)(8)(c) allowing up to two wall mounted signs for each "Pad Site" building up to a maximum of 80 sf. in accordance with the approved Design Standards</i> ".		
4	All required parking shall be designated and marked for the residential component and shall be located adjacent to the apartment complex. This may be shown on the Mall Parking Plan.		
5	Shall obtain Affordable Housing approval.		
6	Eliminate the 4 parking spaces on the west that are adjacent to the turnout intersecting the ring road.	Traffic Engineering Division (Wilson & Co.)	Prior to recordation of the Development Plan
7	At the South Bound Mall Entrance off Rodeo Road add a stop here for pedestrians sign.	MPO Division	Prior to Signature Sheet Process
8	Construct east/west sidewalks along the north and south sides of the building to make a continuous sidewalk loop.		
9	Water rights proposed to be transferred to the city's water system for dedication to development, shall be tendered to the city attorney at whichever review stage is applicable and occurs first in the review of a particular development, according to the following requirement:	Water Division	Not later than sixty (60) days after the final Planning Commission approval of the development plan

The project will also be subject to the technical requirements listed in Exhibit A.

III. EXECUTIVE SUMMARY

Santa Fe Mall Property, LLC (Applicant) requests approval of a Development Plan to construct a forty-five-foot high, 4-story, 141 multi-family apartment complex, totaling 161,433 square feet.

The "*Santa Fe Place Mall Subdivision*" was approved by the Planning Commission on December 3, 2019. The Applicant is requesting a lot line adjustment/consolidation plat, which will be processed administratively, as part of the proposal. The lot line adjustment/consolidation affects Lots 1-A5 (subject

lot, approximately 2.86 acres), Lot 1-A (approximately 17.72 acres) and Lot 1-B (approximately 6.91 acres) of the "Santa Fe Place Mall Subdivision". The new lot configurations will increase lot 1-A5 to approximately 3.25 acres, and decreases Lots 1-A and 1-B to approximately 6.74 and 17.36 acres, respectively.

The Applicant has complied with 14-3.1(E) "Pre-Application Conferences", 14-3.1(F) "Early Neighborhood Notification Procedures" and 14-3.1(H) "Notice Requirements".

Staff's analysis finds that the Applicant has addressed the necessary findings per 14-3.8(D) "Approval Criteria and Conditions" and recommends **APPROVAL** subject to conditions identified in Section II "Conditions of Approval" of this Memorandum.

IV. SITE ANALYSIS

The property is located at southeast of the Santa Fe Place Mall and borders Wagon Road. The site will total approximately 3.25 acres, and is zoned SC3 (Regional Shopping Center District).

Lot 1-A5 is vacant, but has served as parking for the Santa Fe Place Mall.

A. Adjacent Properties

Table 2 Adjacent Zoning

Direction	Zoning
North	SC3 - Regional Shopping Center District (Santa Fe Place Mall)
South	R-21PUD – Residential 21 dwellings units per acre with a Planned Unit Development (Turquesa Apartment)
Southeast	PRC (Planned Residential Community) Arroyo de los Chamisos/Nava Ade Residential Subdivision
Southwest	I-1 - Light Industrial (Santa Fe Wine Storage)

B. Use Details

The apartment complex comprises the following:

Table 3 Apartment Amenities

Use	Number	Unit Size	Total Gross Sq. Ft.
Lobby	1	-	2,170
Office	1	-	291
Fitness Center	1	-	948
Ground level courtyard	1	-	14,000
Rooftop terraces	3	-	3449
Lounge space	7	-	2956
Studio Units	38	504 each	19,152
One-bedroom units	75	672 each	50,400
Two-bedroom units	28	948 each	26,544

C. Parking

Table 4 Proposed Parking

Category	Specific Use	Standard	Proposed DUs	Required Parking Spaces	Proposed Onsite Parking	Shared Offsite
Household Living	Attached dwelling unit (over 5 units): Less than 800 square feet of heated floor area	1 assigned space and 0.25 unassigned space per dwelling unit	38	184	144	40
	Attached dwelling unit (over 5 units): 800–1,200 square feet of heated floor area	1 assigned space and 0.5 unassigned space per dwelling unit	75			
	Attached dwelling unit (over 5 units): More than 1,200 square feet of heated floor area	1 assigned space and 1 unassigned space per dwelling unit	28			
The lobby, office, fitness center, residential lounge and terrace area are not included in the parking counts and are considered as ancillary uses to the primary use.						

The proposal includes 40 parking spaces as shared parking with the Santa Fe Place Mall. There are several factors that must be met for approval of shared parking:

Subsection 14-7.6(B)(4) Combined Uses; Shared Parking (Ord. No. 2016-39 § 5)

- (a) Combined uses on the same premises shall provide the combined total number of spaces required for each use separately, unless a shared parking plan is approved.
- (b) Uses on premises comprising more than one legal lot of record may provide shared parking in accordance with an approved shared parking plan.
- (c) Parking required for uses located on adjoining lots in RAC, C, BCD, BIP, MU, SC or I districts, for institutional uses located on adjoining lots in residential districts, or for a qualifying project within the Midtown LINC Overlay District, may be provided on a joint basis. **Within the joint parking areas, the spaces required for each of the participating uses shall be marked on the parking plan and maintained as allocated to the individual use, unless a shared parking plan is approved. (Ord. No. 2013-16 §**

50)

- (d) *Cumulative parking space requirements for mixed-use occupancies or adjoining mixed uses may be reduced if the applicant demonstrates that the peak requirements of the several occupancies occur at different times, such as mid-day for office uses and evening for residential uses, as supported by a parking demand study.*

The parking for the Santa Fe Place Mall Shopping Center District (SCD), address the parking needs, in aggregate, for uses within the district. However, the subdivision initiates a shared parking environment to maintain the SC parking requirements. The existing parking provides a symbiotic relationship that creates a parking synergy, supporting the commercial uses on the premises. The introduction of residential use adds a new component, changing the commercial environment to a mixed-use environment. The parking proposal allows 40 required parking spaces to be absorbed within the SC shared parking area. The parking standards state:

Subsection 14-5.6(B)(f)

[I]f they are required parking spaces, they shall be available at all times for parking the personal vehicles of employees and customers or residents and guests for which the spaces are required.

The apartment lot and building take up approximately one of the available parking for commercial uses within the mall's south parking area. The parking intensity would displace the required residential 40 parking spaces throughout the SC parking area, increasing large parking distances between guests and residents of the apartment complex. The Applicant's parking assumptions standardize tenant work schedules, advocating a shared component that operates at different times of the day.

[P]eak commercial use is during the day and peak residential use is at night, the apartment residents will be permitted access to ample parking in the adjacent parking areas. This shared parking arrangement is consistent with the Operating and Reciprocal Easement Agreement that governs the use of the Mall premises.

The Application did not include a parking study. However, on October 3, 2019, the Planning Commission approved a parking reduction as part of Santa Fe Place Mall Development Plan Amendment. The following analysis was taken from that Staff Report¹ and the parking study was included in Exhibit F. It should be noted that the parking study identified a higher number of residential units than currently proposed:

There were two calculations that established mall parking in 1984: gross leasable area (GLA) at a ratio of five parking spaces for every one-thousand square feet (5:1000 Sq. Ft.) and theater parking at a ratio of one space for every four seats (1:4 seats). In 1984 the gross leasable area (GLA) for the Mall was 567,007 square feet and the theater parking identified 1,160 seats. The total parking required for the Mall lot was 3,126 parking spaces and the theater required 290 parking spaces. The total parking required in 1984 was 3,126 parking spaces and the Mall provided 3,170 parking spaces, a difference of 44 parking spaces.

Continued changes with development plan amendments and tenant occupancy such closures of the United Artist Theaters in 2011 and the recent opening of the Regal Theater, Bed Bath and Beyond and

¹ Table numbering was change for appropriate report consistency.

World Market among others, have increased the GFA (now referred to as net leasable area [NLA]) which affected parking demand. Additionally, Reserve Lot 9 originally a separate development lot requiring Planning Commission Review and Approval was consolidated into Lot A-1 in 1996, adding potential NLA onto the Mall property. Amendment #3 estimated a 26,000 square foot building that would have been allowed on Reserve Lot 9 and divided that square footage into pad sites within Lot A1 and Lot 11.

- Pad site 1 was located on Lot 1-A (now Lot 1-A1 owned by the Outback Steak House [6,280 square feet),
- pad site 2 remained in place as the original pad site (building size of 12,000 square feet), and
- pad site 3 was located on Lot 11 (Pad 3, building size of 7,000 square feet).

The new pad sites within Lot 1-A and Lot 11 eliminated approximately 100 parking spaces. However, with the downsizing of theaters and theater seating (amendment #2 from 1,160 seats to 876 seats) and again in 2019 down to one theater with 295 seats, required parking also went down from 219 required parking spaces to 73 parking spaces, a difference of 146 parking spaces.

The Development Plan amendment (#5) proposes a reduction in parking and identifies the new lot configuration and proposed off-site sign location (if approved). The parking study submitted address the global parking for the Mall premises including new pad on proposed lots. The study identified the NLA of the Mall, existing pad sites and possible future uses for the proposed subdivision lots as follows:

Table 5 Applicants NLA

BUILDINGS	Gross Floor Area (GFA)	NLA	Residential	Theater Parking
<i>Existing</i>				
Mall Proper	649,039	519,231		
Regal Theater - 295 seats	16,118	Not Applicable		73
Outback	6,280	5,966		
<i>Proposed</i>				
Lot 11 - Retail/Restaurant (per DPA #3)	7,000	6,650		
Lot 1A-2 - Retail/Restaurant	24,000	21,600		
Lot 1A-4 - Retail/Restaurant	18,000	16,200		
Lot 1A-5 - Multifamily	150,000	Not Applicable		
			206 (150+/- units)	
<i>Total</i>	<i>870,437</i>	<i>569,647</i>		

The required parking at 5:1000 requires 2,969 parking spaces (including the theater parking and 5% Transit Reduction). The proposed Parking ratio at 4:1000 requires 2,429 parking spaces (including the theater parking 5% Transit Reduction) a difference of 540 parking spaces. The applicant is providing 2,500 parking spaces.

Table 6 Parking Calculation

NLA	Parking Ratio 5:1000	Theater Parking 1:4 seats	Res. Parking	5% Transit Parking Reduction	Total
568,983	2845	74	206	156	2,969

NLA	Parking Ratio 4:1000	Theater Parking 1:4 seats	Res. Parking	5% Transit Parking Reduction	Total
568,983	2276	74	206	127	2,429

Table 5 below is an excerpt from the Applicant's study which compares parking minimums for shopping centers and multi-family parking to help address a parking reduction for the Santa Fe Place Mall. Staff concurs with the Applicant's parking study. The required parking requirements of five parking spaces for every one-thousand square feet (5:1000 Sq. Ft.), while following standard practices at the time, today, creates excessive parking needs for the Mall, based on known parking use.

Table 7 Parking Comparisons

City	Population (2017)	Shopping Center Parking Minimum per 1000 SF NLA	Multi-family Parking Minimum			
			Studio	1 Bed	2 Bed	3Bed
Albuquerque, NM	558,545	4 spaces	1.5 spaces/unit 1 space/unit in "Urban Centers, Main Streets, and Premium Transit areas"			
Boulder, CO	107,125	4 spaces	1/unit	1/unit	1/unit	1.5/unit
Columbus, OH	879,170	3.6 spaces	1.5 spaces/unit			
Burlington, VT	42,239	0-3 spaces	1 space/unit for Shared Use or Downtown 2 spaces/unit for Neighborhood Districts			
Houston, TX	2.3 million	4 spaces	1.25/unit	1.33/unit	1.6/unit	2/unit
Iowa City, IA	75,798	4 spaces	1/unit	1/unit	2/unit	2/unit
Las Cruces, NM	101,712	2.85 spaces	1.5 spaces/unit			
Madison, WI	52,932	2.5 spaces	1 space/unit			
Palm Desert, CA	52,932	4 spaces	2 spaces/unit			
Rio Rancho, NM	96,159	5 spaces	1.5/unit	1.5/unit J	1.75/unit J	2/unit
San Luis Obispo, CA	47,541	4spaces	0.75 space per bedroom (no less than 1 space) plus 1 guest parking space per 5 units			
Santa Fe, NM	83,776	5 spaces	1.25/unit for < 800 SF 1.5/unit for 800-1,200 SF 2/unit for > 1,200 SF			

Salt Lake City, UT	200, 544	2 spaces	0.5/unit	1/unit	2/unit	2/unit
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The parking reduction presented in the applicants parking study adequately shows that a reduction in parking standards to four parking spaces for every one-thousand square feet (4:1000 Sq. Ft.) can provided current and future parking demand for the Mall. The Applicant is including a 5% parking reduction for a transit presence on the Mall property. However, the transit hub located on the Mall property, south of the Mall building, is slated to move to a location within the Valdez Industrial Business Park.

The Mall has expressed an interest in maintaining a transit presence on the Mall property, though no formal agreement is in place. If the City were to remove all bus services to the mall, the Applicant shall be required to adjust new development parking to account for the 5% parking transit reduction.

The Applicant's shared parking assumptions did not provide the conflicts between commercial and residential parking, given multi-vehicle tenants with differing work schedules and holidays. While the parking proposal addresses the technical aspects of the parking given the SC parking numbers in aggregate, staff does not support the scattering of required residential parking throughout the mall premises as a parking solution for residential parking. Staff recommends the required parking for the residential component adjacent to the apartment complex be designated and marked.

D. Bicycle Parking

Six bicycle parking racks resulting in 12 bicycle parking spaces are proposed. The bicycle parking plan complies with Chapter 14, Exhibit C - Off-Street Bicycle Parking, Tables 14-8.6-3, and Exhibit D - Bicycle Rack Standards and Dimensions.

E. Access and Traffic

The apartment complex is situated within the Santa Fe Place Mall premises. There are four established access points into the Mall premises.

- Two driveways directly off Rodeo Road
 - Directly across Zafarano Road (lighted intersection - 120' wide driveway)
 - 918+/- feet east of the Cerrillos Road/Rodeo Road intersection (not a lighted intersection)
- One driveway off Cerrillos Road
 - 1,100+/- feet south of the Cerrillos Road/Rodeo Road intersection (right in right out driveway – 60' wide driveway)
- Direct access off of Wagon Road (50' wide public easement)

The Applicant's report states that short duration failures exist at Rodeo/Zafarano "including the southbound left-turn in the AM and PM peak hours and the northbound right-turn in the PM peak hour" but are not the result from the proposal.

The TIA indicates that there are existing short duration failures at Rodeo/Zafarano, including the southbound left-turn in the AM and PM peak hours and the northbound right-turn in the PM peak hour.

The Applicant also provided a possible solution for the city to implement stating that:

[T]hese conditions could be addressed with a modification of the signal timing based on a synchronization study of the Rodeo Road corridor.

There will be two proposed entrances into the podium parking of the apartment complex. These entrances are located at both the east and west ends of the structure. The proposal includes a redesign of the parking area to maintain flow of traffic along the ring road.

The Applicant submitted a traffic impact analysis (TIA) to the City's for review. The TIA was review by Wilson & Company, Inc., Engineers & Architects for the City. Two conditions were submitted to the city:

- 1) Eliminate the 4 parking spaces on the west that are adjacent to the turnout intersecting Ring Road, and
- 2) At the South Bound Mall Entrance off Rodeo Road add a stop here for pedestrians sign.

The Applicant has agreed to both conditions requested by the engineer.

Wilson & Company, Inc., Engineers & Architects comments can be found in Exhibit C.

F. Trails

No new trails are being created by this proposal. The Applicant will connect a pedestrian path from the apartment complex to the existing Arroyo Chamiso Trail and adjacent Villa Linda Park, along with a pathway around the complex providing pedestrian traffic from the Chamiso Trail south of the complex to the Santa Fe Place Mall.

Comments and conditions from the City MPO Division have been received requesting an additional pedestrian connection *"east/west along the north and south sides of the building to make a continuous sidewalk loop."*

MPO comments can be found in Exhibit C.

G. Terrain Management

The property slopes from north to south with 8-foot grade change. Stormwater drainage will be directed to landscape areas and storm drains.

There were no concerns raised from the Technical Review Division fir terrain Management. Comments can be found in Exhibit C.

H. Open Space and Landscaping

The Applicant proposes 26,857square feet of open space:

Table 8 Open Space

Common Open Space	
Roof Terrace	3,419 square feet
Ground-level courtyard	14,000 square feet

Private Open Space	
Balconies	9456 square feet

Landscaping of the project includes replacement of trees removed during construction, in the parking area and along the Ring Road². Vegetation includes deciduous and evergreen trees, shrubs, groundcover, ornamental grasses, and boulder for accents.

Chapter 14 does not require residential open space in SC Districts. The Applicant has exceeded the requirement for open space. A tree inventory for significant trees was included.

The proposed landscape plan complies with the requirements of Subsection 14-8.4 “*Landscape and Site Design.*” Technical corrections are required by the City Technical Review Division prior to permit review.

Technical Review Division comments for landscaping can be found in Exhibit C.

I. Utilities

The proposed development will connect to city services for water and sewer. Dry utilities are accessible off Wagon Road.

The annual water budget proposed for the project is 17.00-acre feet. The Applicant will be required to acquire water rights to offset water demand at the time of building permit. Comments received from the City water division require:

[W]ater rights proposed to be transferred to the city's water system for dedication to development shall be tendered to the city attorney at whichever review stage is applicable and occurs first in the review of a particular development, according to the following requirement:

Not later than sixty (60) days after the final land use approval of the final development plan by the planning and land use department, the planning commission, or the governing body.

Water Division and Wastewater Division comments can be found in Exhibit B.

J. Fire

There are four existing fire hydrants located near the proposed building. Fire Department has reviewed the project for fire protections and access.

The Fire Marshal has provided standard comments, which can be found in Exhibit C.

K. Affordable Housing

The Applicant is proposing to pay a fee-in-lieu of to comply with the Santa Fe Homes Program. However, at the time of this writing Affordable House comments state that “*When they get final entitlements, the fee will be updated to reflect 2021.*”

² The ring road circles around the Santa Fe Place Mall.

V. DEVELOPMENT PLAN APPROVAL CRITERIA

Chapter 14 requires the Planning Commission to make the following findings to approve a development plan:

Approval Criteria– Necessary Findings (Section 14-3.8(D))

<p>§14-3.8(D)(1)(a)- that it is empowered to approve the plan under the section of Chapter 14 described in the application;</p>	<p>Criterion Met: (Yes/No/conditional/N/A) YES</p>
<p>Santa Fe City Code (SFCC) Subsection 14-2.3(D)(1) authorizes the Planning Commission to review and approve or disapprove development plans and subdivision plats. Subsection 14-3.8(B) requires approval of a development plan for projects with a gross floor area of thirty thousand feet or more. The City’s Development Review Team has reviewed the application requiring minor technical correction prior to a filing. The application complies with City Code subject to conditions and technical corrections.</p>	
<p>§14-3.8(D)(1)(b)- that approving the development plan will not adversely affect the public interest</p>	<p>Criterion Met: (Yes/No/conditional/N/A) YES</p>
<p>The term “Public Interest” is not specifically defined in Chapter 14; however, the Governing Body has implemented the General Plan as stated in Subsection Section 14-1.3 (General Purposes). The resulting ordinances establish minimum standards for health, safety and welfare affecting land uses and developments as a means to protect the public interest from within the municipality. Staff has reviewed the proposed development plan application in accordance with these ordinances. Subject to staff recommended conditions of approval, the proposed development plan application complies with minimum standards of Chapter 14 SFCC and would not adversely affect the public interest.</p>	
<p>14-3.8(D)(1)(c)- that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the premises under consideration.</p>	<p>Criterion Met: (Yes/No/conditional/N/A) YES</p>
<p>The proposed buildings provide a transitional buffer to the Nava Ade’ Subdivision to the East and Southeast while providing a synergetic compatibility for the Santa Fe Place Mall to the north and business park to the south. The mix of architecture in the area along with proposed building architecture is a range of territorial/contemporary vernacular with similar attributes found throughout the area.</p>	

VI. EARLY NEIGHBORHOOD NOTIFICATION

The Applicant conducted a virtual ENN meeting on December 2, 2020. No members of the public attended.

VII. EXPIRATION:

Development Plans may expire as per Subsection 14-3.19(B)(4) “Approval of a final development plan, or any development plan for which no preliminary development plan was required, shall expire three years after final action approving it unless actual development of the site or offsite improvements has

begun and is continued pursuant to Subsection 14-3.19(B)(6).”

Should the Commission approve the Development Plan and the Findings of Fact and Conclusions of Law, the expiration date would be March 4, 2024.

VIII. EXHIBITS:

EXHIBIT A: Technical Conditions

EXHIBIT B: Findings of Fact and Conclusions of Law

EXHIBIT C: Development Review Team (DRT)

- 1) Traffic Engineering, Wilson & Company, Inc., Engineers & Architects
- 2) Metropolitan Planning Organization (MPO), Leah Yngve
- 3) Technical Review Division (Landscaping), Lawrence Rivera
- 4) Water Division, Brian Snyder
- 5) Water Division (water Budget), Alan Hook
- 6) Wastewater Division, Stan Holland
- 7) Fire Department, Geronimo Griego
- 8) City Subdivision Engineer, Dee Beingsner
- 9) ADA Site Review, Jason M. Kluck

EXHIBIT D: Early Neighborhood Notification

- 1) Applicant’s ENN Request

EXHIBIT E: Maps and Photos

- 1) Current Zoning Map
- 2) Aerial Photo

EXHIBIT F: Referenced Material and Development Plans

- 1) Santa Fe Place Mall Development Plan
- 2) Santa Fe Place Mall Sign Plan
- 3) Santa Fe Place Mall Subdivision
- 4) Bohannon Huston Parking Study

EXHIBIT G: Applicant Submittals

- 1) Application
- 2) Proposed Development Plan

APPROVED AS TO FORM:

Title	Name	Initials
Land Use Department Director	Elias Isaacson, AICP	ESI
Land Use Current Planning Planner Manager	Noah Berke, AICP	NLB
Land Use Department Case Manager	Dan Esquibel	DAE

**March 04, 2021
Planning Commission
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall
Apartments
Development Plan**

EXHIBIT A

Technical Corrections

EXHIBIT A1
 Technical Corrections
Case #2020-2999
 4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

	Technical Corrections of approval	Department	To be completed by:
1	Include a note on the plat stating that on-lot ponding is required for each lot.	Technical Review Division	Prior to recordation
2	Include discussion in drainage report of pond volume required. This was only found in the plans but wasn't evident in the report.		
3	HOA documents shall state in section 3.16 that owners must maintain swales and ponding areas on each property provided for ponding/retention of storm water. Section 8.2 shall include the entire attached Drainage Facilities Maintenance note.		
4	Orient all drawings so the North arrow is either up on the page or to the right side of the page.		
5	This Development shall comply with the most current requirements of the American with Disabilities Act (ADA). Place a note on the Plan to reflect this condition		Building Permit Process
6	Other comments will be provided on these plans at the time of the building permit and changes may be required during permitting process		
7	In accordance with Article 14-8.4(F)(2)(e), "storm water detention ponds and retention ponds shall be planted... with a minimum of one tree and three shrubs per 500 SF of required ponding area."		

EXHIBIT A1
Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

DRAINAGE FACILITIES MAINTENANCE NOTE

ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY ALL PROPERTY OWNERS.

INSPECTIONS SHALL BE CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO OR OTHER QUALIFIED PERSON. INSPECTIONS SHALL BE CONDUCTED ON THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. MAINTENANCE OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED AND DOCUMENTED BY THE ENGINEER AND THE OWNER. THE OWNER SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE ENGINEER'S RECOMMENDATIONS, AND SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:

- A. FLUSH ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND VEGETATION THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURE(S).
- B. REMOVE SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH, AND IF NECESSARY, RESEED WITH NATIVE GRASSES AND INSTALL FILTER FABRIC AND 3 TO 4 INCH COBBLE AS DIRECTED BY THE ENGINEER.
- C. INSPECT FOR SEDIMENTATION IN ALL SWALES, DITCHES, DRAINAGE PONDS AND REMOVE AND STABILIZE AS NECESSARY.

EXHIBIT A1
Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

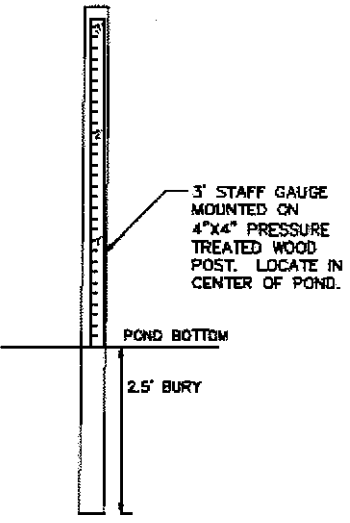
	<p>D. INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS, CUT AND FILL SLOPES, AND REPAIR OR STABILIZE ACCORDINGLY.</p> <p>E. INSPECT THE STRUCTURAL INTEGRITY OF DRAINAGE PONDS, SLOPES, RIP-RAP, GABIONS, DROP INLETS, CULVERTS, ENERGY DISSIPATORS, AND RETAINING WALLS, ROCK PLATING, EROSION CONTROL MATS OR BLANKETS, AND REPAIR OR STABILIZE ACCORDINGLY.</p>  <p>3' STAFF GAUGE MOUNTED ON 4"x4" PRESSURE TREATED WOOD POST. LOCATE IN CENTER OF POND.</p> <p>POND BOTTOM</p> <p>2.5' BURY</p> <p>POST & STAFF GAUGE NTS</p>		
8	<p>City of Santa Fe Fire Dept. has expressed concerns over street tree canopies interfering with trucks and equipment. Please revisit the street tree list and consider columnar and vase shaped varieties at areas of narrowing streets.</p>	<p>Technical Review Division Landscaping</p>	<p>Building Permit Process</p>

EXHIBIT A1
Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

9	Provide irrigation to all revegetation native seed areas. [Per COSF Code 14-8.2 D(5)(c)] Add a heat treated compost material one inch (1") to all seeded areas. Test soil: Contractor shall have seeded areas soil tested for nutrient deficiencies and amend soil according to testing lab recommendations. Seeded areas shall be graded two inches (2") below top of concrete curbs and sidewalks.		
10	Provide details of backflow preventer in a Hotbox, master valve, controller, electric drip valve, valve box assembly, end flush cap, and emitter placement. Following COSF code in 14-8.4 (E)(4) and Landscape Irrigation Design Standards City of Santa Fe, New Mexico.		
11	14-8.4(E)(4)(H) irrigation systems shall be zoned by levels of water use. For the most efficient water use, plant with similar water use requirements shall be grouped together. Separate zones are required for permanent and temporary irrigation lines.		
12	Provide a list of zones with type of irrigation, i.e. Drip, Bubbler, and Popup etc. In addition, provide the plant materials irrigated, i.e. Tree, Shrub, Native Seeding, etc.		
13	City staff respectfully requests the use of a gravel mulch that is washed and screened.		
14	Dead end sidewalks within the subdivision shown with no provision for continuous accessible route (Festival Place & Tradition Place). Provide for continuous ADA accessible path of travel route within the subdivision. (Provide signage at closest intersection with accessible connection indicating "Accessible Route Ends Ahead" or "No Accessible Route" and provide detour at any temporary inaccessible routes.) PROW connections, temporary cul-de-sacs, hammer heads, temporary and permanent		

EXHIBIT A1
Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

	dead ends and paved roads leading to construction and emergency access roads shall be surrounded by continuous sidewalk, or another accessible connection method shall be provided to ensure continuity of interim and final accessible routes.		
15	Dead end sidewalks along Entrada de Milago within the subdivision shown with no provision for continuous accessible route. Provide signage at Fairly Road intersection at sidewalks leaving the subdivision heading east indicating "Accessible Route Ends Ahead" or "No Accessible Route Ahead".		
16	Dead end sidewalks extending from the subdivision along Fairly Road toward Airport Road shown with no provision for continuous accessible route. Provide signage at northern subdivision boundary at sidewalks leaving the subdivision heading north indicating "Accessible Route Ends Ahead" or "No Accessible Route Ahead".	ADA Site Review	Prior to recordation.
17	Provide (1) on-street van accessible parking space, aisle and signage grouped with other provided on-street parking spaces on the west side of Fairly Road with an accessible ramp to the adjacent sidewalk. Striped on-street guest parking is be subject to the following provisions: 2010 ADA Standards - 208.2.3 Residential Facilities. Parking spaces provided to serve residential facilities shall comply with 208.2.3. 208.2.3.3 Parking for Guests, Employees, and Other Non-Residents. Where parking spaces are provided for persons other than residents, parking shall be provided in accordance with Table 208.2. Provision for ADA parking, signage and sidewalk access at striped and/or metered on-street parking spaces is recommended and may be required for public infrastructure. See State Proposed PROWAG On-Street parking scoping requirements for details.		

EXHIBIT A1
Technical Corrections
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4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

18	Provide fine grading notation at sidewalks and other accessible features, and spot elevations at curb ramps, gutters, etc. indicating accessible slopes.	ADA Site Review	Prior to recordation.
19	Provide Design Professional Seal and signature with date signed on all drawing sheets.		
	<p>The applicant is notified that the following code provisions or other requirements shall apply to approved current phase(s) of development of this project and future phases shall be subject to current code at the time of subsequent phase approvals:</p> <p>On-Site General ADA Site Compliance Requirements as applicable:</p> <p>Accessible path(s) of travel route shall be provided from the Public Right-of-Way and accessible parking aisle(s) to accessible building entrance(s) and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. Ensure accessible route(s) from the Public Right- of-Way and accessible parking space aisle(s) to building entrance(s) are provided and maintained. Provide detectable warning surfaces at curb ramps and transitions to driveway crossings along the accessible paths of travel as applicable.</p> <p>IBC 1104.1 Site arrival points: At least one (firm, stable, slip resistant) accessible route within the site shall be provided from: public transportation stops, accessible parking, accessible passenger loading zones, and public streets or sidewalks to the accessible building entrance served.</p> <p>Accessibility feature design within the Site shall comply with NMDOT Pedestrian Access Route Details (Serial 608) or demonstrate compliance with applicable ADA regulations by other means as provided in the permitted Construction Documents.</p> <p>All walk surfaces along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.</p>		

EXHIBIT A1
Technical Corrections
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4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

<p>All walk surfaces along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes. Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.</p> <p>Vertical clearance: Provide and maintain 80" of vertical clearance for the full width of all sidewalks/pedestrian routes. Rails or other barriers shall be provided where the vertical clearance is less than 80". The leading edge of such rails or barrier shall be located 27" max. above the floor. (307.4)</p> <p>Provide and maintain 98" vertical clearance at van parking spaces and access aisles, and accessible routes. (502.6) At Passenger Loading Zones, provide and maintain 114" min. vertical clearance at the exterior vehicular route and access aisles serving the vehicle pull-up space. (503.5)</p> <p>Ramps within the site shall have 1:12 (8.33%) running slope and 1:48 (2%) cross slope max. With a max. rise of 30" and with 5' clear length landings where straight. Changes in direction shall comply with 304.3. Landing typical slope is 1.5% and shall not exceed 2% running and cross slope. Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.</p> <p>ADA parking signage shall comply with the New Mexico Accessible Parking Checklist, latest publication. Accessible Signage Detail - Signage with required language per the NM Accessible Parking Checklist is required at ALL ADA Parking spaces. Parking signage height shall be 84" above the floor of the parking space, measured to the bottom of the R7-8 sign in the Public right-of-way, accessible path of travel, pedestrian way or path of the means of egress. Locate Van Accessible Parking signs immediately below the reserved parking sign at wall mounted or other locations not in the pedestrian way. At Van Accessible signs located in</p>		
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EXHIBIT A1
Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

<p>the pedestrian way, the R7-8A Van Accessible sign shall be mounted at 84" to bottom of the sign. Wall mounted signs and signs not mounted in the public way shall be 60" (84" is preferred) minimum above the floor of the parking space, measured to the bottom of the sign.</p> <p>Per the 2015 NM Accessible Parking Checklist, Section 9 (NMBC-1111 Section 1.4 through 1.4.3) the ADA parking space access aisle shall be clearly marked by diagonal pavement striping. "NO PARKING" lettering shall be stenciled in 1 foot high min. and 2 inches wide min. strokes, and located at the drive end of the striped access aisle. The International Symbol of Accessibility (ISA) shall be stenciled at all parking spaces, centered on the space and aligned with the drive end of the parking space striping. All pavement striping and markings shall be stenciled with pavement paint; blue on concrete paving or white on asphalt paving. Accessible parking spaces and access aisles shall not exceed 2% slope in any direction. 1%-1.5% is the preferred target slope.</p> <p>Ensure ADA Accessible parking spaces are located in close physical proximity to any adjacent Accessible housing units and other accessible entrances (60% of all entrances shall be accessible), with the shortest path of travel available from the parking area to the unit(s) and accessible entrances. Ensure accessible routes from Accessible parking space aisle(s) to building entrance are provided/maintained.</p> <p>Wheel stops are encouraged at all ADA accessible parking spaces to help ensure required clearance along the accessible path of travel is maintained.</p> <p>New bicycle racks shall comply with Santa Fe Chapter 14 Appendix Exhibit D for bicycle rack standards and dimensions.</p> <p>At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.</p> <p>Off-Site PROW ADA Site Compliance Requirements as applicable:</p> <p>Accessibility feature design within the Public Right-of-Way shall comply with NMDOT Pedestrian Access Route Details (Serial 608).</p> <p>Driveway and intersection crossings shall not exceed 2% cross slope, shall have a level maneuvering space, shall have 1/4" max. vertical deflections, and 10% max. flare slope.</p> <p>Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running</p>		
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EXHIBIT A1
Technical Corrections
Case #2020-2999

4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

<p>slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.</p> <p>All walk surface along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.</p> <p>All walk surfaces along the accessible path of travel shall be firm, stable and slip resistant. Sidewalks and Walkways along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.</p> <p>Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.</p> <p>At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.</p>		
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**March 04, 2021
Planning Commission
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall
Apartments
Development Plan**

EXHIBIT B

Findings of Fact and Conclusions of Law

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2020-2999

4250 Cerrillos Road; Santa Fe Place Mall Apartments Development Plan

Applicant's Name – Santa Fe Mall Property, LLC

Agent's Name – JenkinsGavin, Inc.

THIS MATTER came before the Planning Commission (Commission) for hearing on March 4, 2021, upon the Application (Application) of JenkinsGavin, Inc., agent for Santa Fe Mall Property, LLC (Applicant).

The Applicant seeks the Commission's approval of a Development Plan to construct a 161,433 square foot residential structure for 141 dwelling units (Project). The property is approximately 3.25 acres, is zoned SC-3 (Regional Shopping Center District), and is located within the Suburban Archaeological Review District (Property).

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. Under the Santa Fe City Code (SFCC) Section 14-3.8(B)(3)(a), a development plan is required for proposed development with a "gross floor area of thirty thousand square feet or more and is located within any zoning district of the city."
2. SFCC Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC § 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC § 14-3.1(F)(2)(a)(iv)]; and (c) compliance with notice and public hearing requirements [SFCC § 14-3.1(H)-(I)].
3. A pre-application conference was held on October 8, 2020 in accordance with SFCC Section 14-3.1(E)(1).
4. Pursuant to SFCC Section 14-3.1(H), notice of the ENN meeting was properly given.
5. The Applicant conducted a virtual ENN meeting on December 2, 2020. No members of the public attended.
6. Code Section 14-3.8(C)(1) requires applicants for development plan approval to submit certain plans and other documentation that show compliance with applicable provisions of the Code (Submittal Requirements).
7. City Land Use Department staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Code requirements and provided the Commission with a written report of its findings (Staff Report).
8. Staff recommended that the Commission approve the Development Plan, subject to certain conditions of approval and technical corrections set forth in the Staff Report and attached exhibits.

9. The information contained in the Staff Report and exhibits is sufficient to establish that the Submittal Requirements have been met.
10. SFCC Section 14-3.8 establishes certain procedures for development plan approval including, without limitation, a public hearing by the Commission and a decision based on the criteria set out in SFCC Section 14-3.8(D).
11. At the Hearing, the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
12. SFCC Section 14-3.8(D)(1) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before a development plan may be approved.
13. Pursuant to SFCC Section 14-3.8(D)(1)(a), the Commission finds that it is empowered to approve the development plan under SFCC Sections 14-2.3(C)(1) and 14-3.8(B)(4).
14. Pursuant to SFCC Section 14-3.8(D)(1)(b), the Commission finds that approving the development plan for the Project, subject to the conditions and technical corrections in the staff report, will not adversely affect the public interest.
15. Pursuant to SFCC Section 14-3.8(D)(1)(c), the Commission finds that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the Project. The size and scale of the existing buildings are compatible with surrounding properties. The proposed buildings provide a transitional buffer to the Nava Ade Subdivision to the East and Southeast while providing a synergetic compatibility for the Santa Fe Place Mall to the north and business park to the south. The mix of architecture in the area along with proposed building architecture is a range of territorial/contemporary vernacular with similar attributes found throughout the area.
16. Under SFCC Section 14-3.8(D)(2), the Commission is authorized to specify conditions of approval for a development plan that are necessary to accomplish the proper development of the area and to implement the policies of the general plan.
17. The Commission finds that the conditions and technical corrections set out in the Staff Report and exhibits are well founded and are necessary to accomplish the proper development of the area and to implement the policies of the general plan.
18. Under SFCC Section 14-3.8(A), approving the proposed Development Plan furthers the purpose and intent of providing plans for development, ensuring compliance with Chapter 14, and facilitating the documentation of future compliance with the approved plans.

CONCLUSIONS OF LAW

Under the circumstances, and given the evidence and testimony submitted during the public hearing, the Commission CONCLUDES as follows:

1. The Commission has the authority under Chapter 14 of the SFCC to review and approve the Applicant's proposed Development Plan subject to conditions.
2. The Applicant has complied with the Submittal Requirements.
3. The Applicant is able to comply with the Conditions.

4. The development plan should be approved subject to the conditions recommended by staff because all applicable code requirements and criteria for development plan approval have been met.

WHEREFORE, IT IS ORDERED ON THE 4th DAY OF MARCH 2021 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

The Development Plan for the Project is approved, subject to the conditions of approval and technical corrections set forth in the Staff Report and exhibits. The Development Plan shall expire three years after issuance of this final action unless actual development of the site or off-site improvements has begun and is continued pursuant to SFCC Subsection 14-3.19(B)(6) or a time extension is granted pursuant to SFCC Section 14-3.19(C).

Brian Gutierrez
Chairperson

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Sally A. Paez
Assistant City Attorney

Date

**March 04, 2021
Planning Commission
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall
Apartments
Development Plan**

EXHIBIT C

Development Review Team (DRT)

Comment No.	Page No.	Comment	Initial Disposition	Response / Clarification	Final Disposition	Response By	Date	Verified
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By signing below, I verify that all review comments submitted for this review are resolved.

Reviewer: _____

Designer: _____

Date: _____

Date: _____

Development Review Team

Comment Form

Date: 1/11/21

Staff person: Leah Yngve

Dept/Div: Land Use/Metropolitan Planning Organization

Case: Case #2020-2999. 4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

Case Mgr: Dan Esquibel



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval :

Must be completed by:

1 Add east/west sidewalks along the north and south sides of the building to make a continuous sidewalk loop.

Prior to Signature Sheet Process

Technical Corrections*:

Must be completed by:

1 On page A-100, 4 and 5 from the Key Notes are missing on the map.

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*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

Explanation of Conditions or Corrections (if needed):

Sidewalk addition: The additional sidewalk is requested due to the important access to the Arroyo Chamiso Trail Spur located south of the development. Pedestrians may want to access this trail from the western side of the mall, or use the trail to access the western side of the mall. Additional sidewalks will provide this connection.

Though no formal connection exists now, pedestrians would have an easier time accessing this trail by crossing the existing parking lot than they would with the proposed parking garage.

Pedestrian connectivity is essential for pedestrian safety and accessibility. Extra sidewalks are supported by the MPO Pedestrian Master Plan:

- Page 1, Executive Summary - Improving the pedestrian environment and pedestrian experience is vital to providing a safe, convenient and direct pedestrian network; reducing dependency on the automobile; benefitting the environment; and encouraging community interaction
- Page 13, Goals –

- land use and site design: Employ land use planning and site design requirements that are conducive to pedestrian travel and result in a mode shift away from automobile trips to walking trips.
- safety: Improve pedestrian safety through well-designed facilities along and across roadways, and by promoting safe driving, walking, and bicycling behaviors.
- equity: Provide accessible pedestrian facilities for all through equity in public engagement, service delivery, and capital investment.
- Page 67, Figure 4.2 Pedestrian Network Connectivity – Sidewalks
 - Sidewalks in New Development
 - Require sidewalks in new developments to follow the recommended sidewalk design standards for total width and minimum width of the Walking Zone and the Furnishing Zone.
 - Promote sustainable development practices for new sidewalks through the use of permeable sidewalk surfaces and plantings in the Furnishing Zone.
 - Establish standards for pedestrian facilities within parking lots.
- Page 69, Livability and Health:
 - People prefer to walk to destinations in locations with visual interest, a sense of security and protection, and easy access to adjacent buildings.
 - Provide multiple entry points from sidewalks into new developments and create connections between existing developments and area destinations
- Page 75, People with Disabilities: People with disabilities need carefully designed facilities that eliminate barriers and address mobility needs based on the particular disability. Many of these barriers are identified as part of the ADA Transition Plan, currently underway in Santa Fe.

Additional support is in the Santa Fe General Plan (quoted in Pedestrian Master Plan):

The City of Santa Fe’s currently adopted 1999 General Plan contains basic pedestrian requirements and a section on “pedestrian circulation,” within the Transportation chapter. The Transportation chapter establishes policies and standards to provide a multimodal transportation system that encourages alternatives to automobile travel. Two of the established themes within the Transportation chapter of the Santa Fe General Plan are quality of life and transportation alternatives. Walking is an encouraged mode of transportation. The Plan recommends that new development increase the number of access points and pedestrian/ bicycle connections to the neighborhood network. Neighborhood layouts encourage walking, facilitate movement choice, and allow for alternative routes to enter and exit the neighborhood. The Plan points out that malls and other large commercial developments, as they are now designed, do not foster an environment conducive to walking.

Finally, the Sustainable Santa Fe 25-Year Plan also states:

Page V: City of Santa Fe Elements, Objectives, and Targets

Transportation Plan for and invest in a safe, modernized transportation system that supports low-emission, active, and equitable mobility options for all users.

- A. Achieve annual reductions in daily vehicle miles traveled (DVMT).
- B. Achieve annual increases in the total miles of sidewalks, on-road bicycle lanes and multi-use paths.
- C. Increase public transit ridership annually.

- D. Increase the proportion of low and zero emissions City fleet vehicles.
- E. Increase the proportion of low and zero emissions vehicles used in the community.

Page 50 Built Environment (Goals)

The vision of a sustainable built environment in Santa Fe features efficient land use patterns that support transit, walking, and biking as safe and convenient modes of transportation.

Page 54 Transportation Implementation Strategies

T2: Promote healthy and active transportation modes*^Promote healthy and active modes of transportation, such as walking and bicycling, throughout the community.

Development Review Team

Comment Form

Date: 01/06/2020

Staff person: Lawrence Rivera

Dept. /Div.: Land Use/Terrain Management – Landscape, Irrigation, and
Outdoor Lighting Review

Case: Case #2020-2999. 4250 Cerrillos Road Santa Fe Place Mall Apartments

Case Mgr.: Dan Esquibel, Planner Senior



Review by this division/department **of the 12/18/2020 plan set** has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:

Must be completed by:

Technical Corrections*:

Must be completed by:

	Prior to permit review
1. Provide an outdoor lighting plan per 14-8.9	
2. Provide a professional landscape irrigation design with details of backflow preventer in a Hotbox, controller, electric drip valve, valve box assembly, end flush cap, and emitter placement. Following COSF code in 14-8.4 (E) (4) and Landscape Irrigation Design Standards City of Santa Fe, New Mexico.	
3. COSF Code 3.19.1 requires landscape irrigation plans for large projects not to exceed 20 scale, 1 inch equals 20 feet.	
4. Where systems have master valve assemblies, provide an isolation valve in the valve manifold upstream of the master valve , the recommendation is a ball valve.	
5. Include in all valve manifolds schedule 80 PVC unions downstream of each control valve for easy removal and repair, per COSF Irrigation Design Standards.	
6. Provide landscape upgrades to the existing landscape South of Ring Road with in the property line.	
6. Base course shall be natural and untreated.	
7.	
8.	

9.	
10	

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]

Explanation of Conditions or Corrections (if needed):

Development Review Team Comment Form

Date: 01/06/2021
 Staff person: Brian Snyder
 Dept/Div: Public Utilities/Water
 Case: Case #2020-2999, 4250 Cerrillos Road Santa Fe Place Mall Apartments
 Development Plan.
 Case Mgr: Dan Esquibel



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:	Must be completed by:
1 An approved Water Plan from the Water Division will be required. Comments on the Water Plan will be provided to the design engineer.	Prior to final plat approval.
2	
3	
4	

Technical Corrections*:	Must be completed by:
1	
2	
3	
4	

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- Explanation of Conditions or Corrections (if needed):

FW: Escarpa Apartment Homes at Santa Fe Place Mall**SNYDER, BRIAN K.** <bksnyder@santafenm.gov>

Fri 1/29/2021 8:21 AM

To: ESQUIBEL, DANIEL A. <daesquibel@santafenm.gov>**Cc:** Jennifer Jenkins (jennifer@jenkinsgavin.com) <jennifer@jenkinsgavin.com>; Eric Cornelius <Eric@SantaFeEngineering.com> 1 attachments (496 KB)

2021-01-12 Escarpa Apartment Homes Water Plan - Comments.pdf;

Good morning Dan,

I understand the Escarpa project is headed to Planning Commission on February 18th so I'm reaching out to let you know the status of the Water Plan review for the project. The Water Plan is right where it needs to be at this stage of the development plan review process. There are only minor comments that I've spoken with Eric and Jennifer about that are being addressed. Enjoy your day, Brian

From: SNYDER, BRIAN K.**Sent:** Wednesday, January 13, 2021 7:57 AM**To:** Eric Cornelius <Eric@SantaFeEngineering.com>**Cc:** Jennifer Jenkins <Jennifer@jenkinsgavin.com>**Subject:** RE: Escarpa Apartment Homes at Santa Fe Place Mall

Good morning Eric,

The Water Plan looks like a good start, I've attached some minor comments as you work on fixture counts, fire flows, etc. Thanks, Brian

From: Eric Cornelius <Eric@SantaFeEngineering.com>**Sent:** Tuesday, January 12, 2021 11:36 AM**To:** SNYDER, BRIAN K. <bksnyder@santafenm.gov>**Cc:** Jennifer Jenkins <Jennifer@jenkinsgavin.com>**Subject:** Escarpa Apartment Homes at Santa Fe Place Mall

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Brian,

Attached is a water plan for your review for Escarpa Apartment Homes at Santa Fe Place Mall. We don't have fixture counts or fire flows calculated just yet, but this should give you an idea of the design intent. Please let me know if you have any questions.

Thanks,

Eric Cornelius, P.E., C.F.M.Santa Fe Engineering Consultants, LLC.

1599 S. St. Francis Drive, Suite B

Santa Fe, NM 87505

(505) 982-2845

Confidentiality Notice: This e-mail is for the sole use of the intended recipient(s) and may contain

2/3/2021

Mail - ESQUIBEL, DANIEL A. - Outlook

confidential and privileged information. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

RE: Planning Commission Case #2020-2999

HOOK, ALAN G. <aghook@santafenm.gov>

Mon 1/11/2021 11:28 AM

To: ESQUIBEL, DANIEL A. <daesquibel@santafenm.gov>

Cc: BERKE, NOAH L. <nberke@santafenm.gov>; GURULE, GERALDINE A. <gagurule@santafenm.gov>; Jennifer Jenkins (jennifer@jenkinsgavin.com) <jennifer@jenkinsgavin.com>; PACHECO, PATRICIO M. <pmpacheco@santafenm.gov>

 1 attachments (11 KB)

9-Water Budget.pdf;

Dan,

The Escarpa Apartment Homes Development Water Budget, Case #2020-2999, looks good to me; however, please remind the developer the 17.00 afy of water rights per Chapter 25-12.4:

Tender of water rights.

- A. Water rights proposed to be transferred to the city's water system for dedication to a development shall be tendered to the city attorney at whichever review stage is applicable and occurs first in the review of a particular development, according to the following requirements:
- (2) Not later than sixty (60) days after the final land use approval of the final development plan by the planning and land use department, the planning commission or the governing body

Thank you,

Alan G. Hook**From:** ESQUIBEL, DANIEL A. <daesquibel@santafenm.gov>**Sent:** Tuesday, December 29, 2020 4:35 PM

To: "SCHWAB <"SCHWAB>, "SCHWAB>; DANIEL N. <dnschwab@santafenm.gov>, \ BORDEGARAY <"BORDEGARAY>, "BORDEGARAY>; ANGELA S. <asbordegaray@santafenm.gov>, \ SNYDER <"SNYDER>, "SNYDER>; BRIAN K. <bksnyder@santafenm.gov>, \ HOOK <"HOOK>, "HOOK>; ALAN G. <aghook@santafenm.gov>, \ PACHECO <"PACHECO>, "PACHECO>; PATRICIO M. <pmpacheco@santafenm.gov>, \ HOLLAND <"HOLLAND>, "HOLLAND>; TOWNSEND S. <tsholland@santafenm.gov>, GRIEGO; GERONIMO G. <gggriego@santafenm.gov>, \ BEINGESSNER <"BEINGESSNER>, "BEINGESSNER>; DEE <dabeingessner@santafenm.gov>, \ RIVERA <"RIVERA>, "RIVERA>; WILLIAM L. <wlriviera@santafenm.gov>

Cc: BERKE, NOAH L. <nberke@santafenm.gov>; GURULE, GERALDINE A. <gagurule@santafenm.gov>; Jennifer Jenkins (jennifer@jenkinsgavin.com) <jennifer@jenkinsgavin.com>

Subject: Planning Commission DRT Case #2020-2998 and Case #2020-2999

Submission Date: December 21, 2020**DRT Request for Additional Material: December 30, 2020****Final Comments Due: January 11, 2021****Planning Commission Meeting: February 4, 2021****Development Review Team:**

1) Archaeological Clearance – (Case #2020-2999. 4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan)

Daniel Shwab

Angela Bordegaray

2) Water Engineering Division

Brian Snyder, P.E.

3) Water Conservation

Alan Hook

Patricio Pacheco

4) Wastewater Division

Stan Holland, P.E.

5) Fire

Geronimo Griego

6) Technical Review

Dee Beingessner P.E. (TM)

Willian Rivera (Landscaping)

7) ADA

Jason Kluck

8) Affordable Housing

Alexandrea Ladd

9) City Traffic Consultant

Via Noah Berke

Agent:

Jennifer Jenkins

JenkinsGavin Design & Development

E-Mail: jennifer@jenkinsgavin.com

Office: (505) 820-7444

Cell: (505) 930-6149

cases

- 1. **Case #2020-2998. 4193 A and B Fairly Rd & 6450 Camino Rojo Final Subdivision.** JenkinsGavin, Inc., Agent, for Homewise, Inc., Owner, requests approval of a Final subdivision plat for fifty-six single family lots. The proper ~~is~~ five dwelling units per acre). (Dan Esquibel, Case Manager, daesquibel@santafenm.gov, 955-6587)

[\\file-svr-1\Public\\$\Land Use Department\2020-2998 4193B Fairly Rd & 6450 Camino Rojo Final Plat](\\file-svr-1\Public$\Land Use Department\2020-2998 4193B Fairly Rd & 6450 Camino Rojo Final Plat)

Download from Applicant:

<https://www.dropbox.com/sh/3vkerrvsph9p1go/AAC7j9pMisFENCAAFvssIJX7a?dl=1>

2. **Case #2020-2999. 4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan.** JenkinsGavin, Inc., Agent, for Santa Fe Mall Property, LLC, Owner, requests approval of Development Plan to construct a 161,433 square foot residen and is zoned SC3 (Regional Shopping Center District). (Dan Esquibel, Case Manager, daesquibel@santafenm.gov, 955-6587)

[\\file-svr-1\Public\\$\Land Use Department\2020-2999 Escarpa Apartment Development Plan](\\file-svr-1\Public$\Land Use Department\2020-2999 Escarpa Apartment Development Plan)

Download from Applicant:

<https://www.dropbox.com/s/4d1izgfu6155nxt/13-Development%20Plans%20Escarpa%20at%20Santa%20Fe%20Place%20-%202020-12-21.pdf?dl=1>

Dan Esquibel
Planner Senior
Land Use Dept., Current Planning Division
Office: 505-955-6587
Email: daesquibel@santafenm.gov

Development Review Team

Comment Form

Date: February 3, 2021

Staff person: Stan Holland, Engineer

Dept/Div: Public Utilities/Wastewater

Case: Case #2020-2999 Escarpa Apartment Development Plan

Case Mgr: Dan Esquibel, Case Manager



The subject properties are accessible to the City public sewer system. Accessible is defined as within 200 feet of a public sewer line.

Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:

Must be completed by:

1. None	Prior to Sign Off for Final Subdivision Plat.
---------	-----------------------------------------------

Technical Corrections*:

Must be completed by:

1. Identify all sewer pipe as SCH 40 PVC 2. An Industrial Pretreatment Sampling Port (IPSP) is required 3. The existing sewer line this project is connecting to is private and not maintained by the City Wastewater Division. As such, the Wastewater Division is not able to verify the condition and adequacy of this sewer line to serve this project.	Prior to Sign Off for Final Development Plan.
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*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [None]

Development Review Team

Comment Form

Date: 01/28/2021

Staff person: Geronimo Griego

Dept/Div: Fire Prevention

Case: 2021-2999. 4250 Cerrillos Road Santa Fe Place Mall Apartments Development Plan

Case Mgr: Dan Esquibel



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:
by:

Must be completed

	Prior to planning commission.
--	-------------------------------

Technical Corrections*:

Must be completed by:

<ol style="list-style-type: none">1. Fire apparatus access shall have an unobstructed width of not less than 20 feet exclusive of shoulders and an unobstructed vertical clearance of not less than 13 feet 6 inches (IFC 2015 Section 503.2.1)2. Shall meet the 150 feet driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided. (Appendix D Table D103.4)3. Shall comply with table D103.4 Requirements for Dead-End Fire Apparatus Access Roads.4. Fire Department shall have 150 feet distance to any portion of the building on any new construction. (IFC 2015 section 503.1.1)5. 507.5 Fire hydrant systems. Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6. 507.5.1 Where required. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building.6. Shall have water supply that meets fire flow requirements as per IFC (Appendix B)	At the time of any new construction or remodel.
--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------

<ol style="list-style-type: none">7. Shall comply with Section D102.1 Access and Loading (75,000 lbs).8. Shall meet the 150 foot driveway requirements must be met as per IFC, or an emergency turn-around that meets the IFC requirements shall be provided. (Appendix D Table D103.4)9. Shall comply with IFC 2015 Section D103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.10. Shall comply with IFC 2015 Section D103.5 Fire apparatus access road gates.11. Shall comply with IFC 2015, Appendix D, Aerial Fire Apparatus Access Roads.12. Shall comply with Section D106 Multiple-Family Residential Developments.13. Shall meet the IFC code requirements 2015 edition or the most current edition the governing body has adopted at the time of permitting.	
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*Must made prior to recording and/or permit issuance

From: BEINGESSNER, DEE
Sent: Wednesday, January 6, 2021 6:14 PM
To: ESQUIBEL, DANIEL A. <daesquibel@santafenm.gov>
Subject: RE: Planning Commission DRT Case #2020-2998 and Case #2020-2999

Hey Dan,

Attached are my comments for the first case.

I did not have any comments on the Escarpa mall apartments.

Dee

DEVELOPMENT REVIEW TEAM
COMMENT FORM



Date: 12/27/2020

Staff person: Jason M. Kluck

Dept/Div: Land Use – ADA Site Review

Case: **Case #2020-2999 Escarpa Apartments - Development Plan
Santa Fe Place Mall ring driveway**

Case Mgr: Dan Esquibel

Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:

Must be completed by:

1. See Technical Corrections and General ADA Site Compliance Requirements below.	Prior to Building Permit application.
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Technical Corrections*:

Must be completed by:

1. Provide clarification on note 9, C100. Apparent non-ADA accessible dead end crosswalk is extending from the apartment complex across the Mall ring driveway with no provision for continuous ADA accessible route.
2. Provide pedestrian ADA accessible path of travel route from at least (1) one adjacent public street frontage to accessible entrances (60% of all entrances shall be accessible).

Accessible path(s) of travel route shall be provided from the Public Right-of-Way and accessible parking aisle(s) to accessible building entrance(s) and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. Ensure accessible route(s) from the Public Right- of-Way and accessible parking space aisle(s) to building entrance(s) are provided and maintained. Provide detectable warning surfaces at curb ramps and transitions to driveway crossings along the accessible paths of travel as applicable.

IBC 1104.1 Site arrival points: At least one (firm, stable, slip resistant) accessible route within the site shall be provided from: public transportation stops, accessible parking, accessible passenger loading zones, and public streets or sidewalks to the accessible building entrance served.

3. Elevator at west end of the building appears to be have discontinuous non-ADA accessible path of travel route. Please provide clarification.
4. Stairwell door at west end of building appears to lack required approach/exit clearance and a discontinuous non-ADA accessible path of travel route. Please provide clarification.
5. Provide clarification regarding ADA access from the exterior ADA accessible path of travel route and driveway to the mid-block "atrium" space entrance(s)
6. Provide fine grading notation at ADA parking spaces, aisles, ramps, sidewalks and other accessible features, and spot elevations at curb ramps, gutters, etc. indicating accessible slopes.
7. Provide Design Professional Seal and signature with date signed on all drawing sheets.

Prior to recordation.

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

On-Site General ADA Site Compliance Requirements as applicable:

Accessible path(s) of travel route shall be provided from the Public Right-of-Way and accessible parking aisle(s) to accessible building entrance(s) and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. Ensure accessible route(s) from the Public Right-of-Way and accessible parking space aisle(s) to building entrance(s) are provided and maintained. Provide detectable warning surfaces at curb ramps and transitions to driveway crossings along the accessible paths of travel as applicable.

IBC 1104.1 Site arrival points: At least one (firm, stable, slip resistant) accessible route within the site shall be provided from: public transportation stops, accessible parking, accessible passenger loading zones, and public streets or sidewalks to the accessible building entrance served.

Accessibility feature design within the Site shall comply with NMDOT Pedestrian Access Route Details (Serial 608) or demonstrate compliance with applicable ADA regulations by other means as provided in the permitted Construction Documents.

All walk surfaces along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.

All walk surfaces along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.

Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

Vertical clearance: Provide and maintain 80" of vertical clearance for the full width of all sidewalks/pedestrian routes. Rails or other barriers shall be provided where the vertical clearance is less than 80". The leading edge of such rails or barrier shall be located 27" max. above the floor. (307.4)

Provide and maintain 98" vertical clearance at van parking spaces and access aisles, and accessible routes. (502.6) At Passenger Loading Zones, provide and maintain 114" min. vertical clearance at the exterior vehicular route and access aisles serving the vehicle pull-up space. (503.5)

Ramps within the site shall have 1:12 (8.33%) running slope and 1:48 (2%) cross slope max. With a max.

rise of 30" and with 5' clear length landings where straight. Changes in direction shall comply with 304.3. Landing typical slope is 1.5% and shall not exceed 2% running and cross slope.

Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.

ADA parking signage shall comply with the New Mexico Accessible Parking Checklist, latest publication. Accessible Signage Detail - Signage with required language per the NM Accessible Parking Checklist is required at ALL ADA Parking spaces. Parking signage height shall be 84" above the floor of the parking space, measured to the bottom of the R7-8 sign in the Public right-of-way, accessible path of travel, pedestrian way or path of the means of egress. Locate Van Accessible Parking signs immediately below the reserved parking sign at wall mounted or other locations not in the pedestrian way. At Van Accessible signs located in the pedestrian way, the R7-8A Van Accessible sign shall be mounted at 84" to bottom of the sign. Wall mounted signs and signs not mounted in the public way shall be 60" (84" is preferred) minimum above the floor of the parking space, measured to the bottom of the sign.

Per the 2015 NM Accessible Parking Checklist, Section 9 (NMBC-1111 Section 1.4 through 1.4.3) the ADA parking space access aisle shall be clearly marked by diagonal pavement striping. "NO PARKING" lettering shall be stenciled in 1 foot high min. and 2 inches wide min. strokes, and located at the drive end of the striped access aisle. The International Symbol of Accessibility (ISA) shall be stenciled at all parking spaces, centered on the space and aligned with the drive end of the parking space striping. All pavement striping and markings shall be stenciled with pavement paint; blue on concrete paving or white on asphalt paving.

Accessible parking spaces and access aisles shall not exceed 2% slope in any direction. 1%-1.5% is the preferred target slope.

Ensure ADA Accessible parking spaces are located in close physical proximity to any adjacent Accessible housing units and other accessible entrances (60% of all entrances shall be accessible), with the shortest path of travel available from the parking area to the unit(s) and accessible entrances. Ensure accessible routes from Accessible parking space aisle(s) to building entrance are provided/maintained.

Wheel stops are encouraged at all ADA accessible parking spaces to help ensure required clearance along the accessible path of travel is maintained.

New bicycle racks shall comply with Santa Fe Chapter 14 Appendix Exhibit D for bicycle rack standards and dimensions.

At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.

Off-Site PROW ADA Site Compliance Requirements as applicable:

Accessibility feature design within the Public Right-of-Way shall comply with NMDOT Pedestrian Access Route Details (Serial 608).

Driveway and intersection crossings shall not exceed 2% cross slope, shall have a level maneuvering space, shall have 1/4" max. vertical deflections, and 10% max. flare slope.

Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.

All walk surface along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.

All walk surfaces along the accessible path of travel shall be firm, stable and slip resistant. Sidewalks and Walkways along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.

Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.

**March 04, 2021
Planning Commission
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall
Apartments
Development Plan**

EXHIBIT D

ENN



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

NOTICE OF EARLY NEIGHBORHOOD NOTIFICATION MEETING

November 17, 2020

Dear Neighbor:

This letter is being sent as notice of a neighborhood meeting to discuss a pending Development Plan application to the City of Santa Fe for a proposed 140-unit multi-family project to be developed on the south side of the Santa Fe Place Mall. The 2.8-acre subject parcel is zoned Shopping Center-3, which permits commercial and residential uses. Please refer to the attached Vicinity Map and Site Plan for additional information.

In accordance with the requirements of the City of Santa Fe's Early Neighborhood Notification regulations, this is to inform you that a meeting is scheduled for **Wednesday, December 2, 2020 at 5:30 pm.**

Please join my meeting from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/861297589>

You can also dial in using your phone: (646) 749-3122, Access Code: 861-297-589

One-touch: <tel:+16467493122,861297589>

New to GoToMeeting? Get the app now and be ready when your first meeting starts:

<https://global.gotomeeting.com/install/861297589>

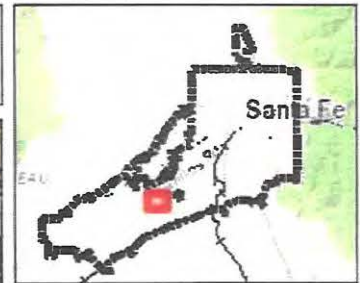
Early Neighborhood Notification is intended to provide for an exchange of information between prospective applicants for development projects and the project's neighbors before plans become too firm to respond meaningfully to community input. If you have any questions or comments, please contact Jennifer Jenkins at 505-820-7444 or jennifer@jenkinsgavin.com. Persons with disabilities in need of special accommodations, or the hearing impaired needing an interpreter, please contact the City Clerk's Office (955-6520) 5 days prior to the meeting date.

Sincerely,

Jennifer Jenkins

Attachments: Vicinity map & Site Plan

Vicinity Map



Legend

- City Limits
- Address Points
- Roads
- Major Roads
- Santa Fe County Parcels
- Santa Fe River
- Rail Road

1: 9,028



1,504.7 0 752.33 1,504.7 Feet

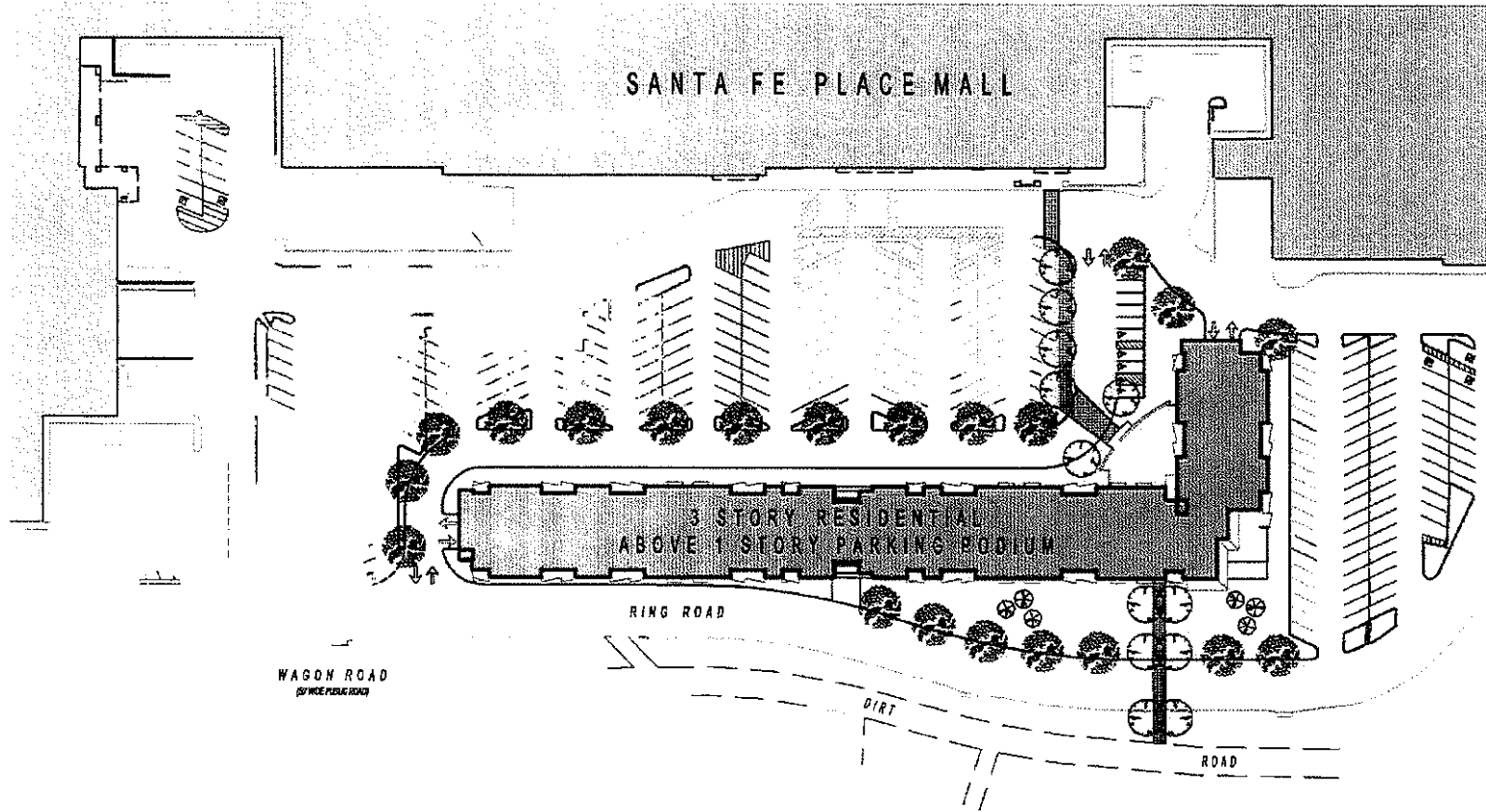
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

© Latitude Geographics Group Ltd.



1A

SITE PLAN

25 50 100



EARLY NEIGHBORHOOD NOTIFICATION MEETING

Request for Staff Attendance

Project Information	
Project Name:	Santa Fe Place Multifamily Development
Address:	4250 Cerrillos Road Parcel Size: 2.8 acres
Zoning:	SC-3 Future Land Use: Multifamily Residential
Preapplication Conference Date:	October 8, 2020
Detailed Project Description:	Proposed 140-unit apartment building (49 dwellings/acre)
Property Owner Information	
Name:	Santa Fe Mall Property Owner LLC
Address:	112 Northern Concourse, Syracuse, NY 13212
Phone:	E-mail Address:
Applicant/Agent Information (if different from owner):	
Name:	JenkinsGavin, Inc.
Address:	130 Grant Avenue, Suite 101, Santa Fe, NM 87501
Phone:	505-820-7444 E-mail Address: jennifer@jenkinsgavin.com
Agent Authorization (if applicable):	
I am/We are the owner(s) and record title holder(s) of the property located at: _____	
I/We authorize	See attached letter of authorization. to act as my/our agent to execute this application.
Signed: _____	Date: _____
Signed: _____	Date: _____

Proposed ENN Meeting Dates:		
Provide 2 options:	Preferred Option	Alternative
DATE:	December 2, 2020	
TIME:	5:30 p.m.	
LOCATION:	Please join my meeting from your computer, tablet or smartphone. https://global.gotomeeting.com/join/861297589	Phone Dial In: US: +1 (646) 749-3122 One-touch: tel:+16467493122..861297589# Access Code: 861-297-589



Submit by Email

Print Form

Early Neighborhood Notification (ENN) Guidelines

Section 14-3.1(F)(5) SFCC 1987, as Amended

Please address each of the criteria below. Each criterion is based on the Early Neighborhood Notification (ENN) guidelines for meetings, and can be found in Section 14-3.1(F)(5) SFCC 1987, as amended, of the Santa Fe City Code. A short narrative should address each criterion (if applicable) in order to facilitate discussion of the project at the ENN meeting. These guidelines should be submitted with the application for an ENN meeting to enable staff enough time to distribute to the interested parties. For additional detail about each criterion, consult the Land Development Code.

(a) EFFECT ON CHARACTER AND APPEARANCE OF THE SURROUNDING NEIGHBORHOODS *For example: number of stories, average setbacks, mass and scale, architectural style, landscaping, lighting, access to public places, open spaces and trails. (Ord. No. 2008-29 § 3)*

The proposed four story multi-family building is consistent with the scale of the adjacent Santa Fe Place Mall, as well as the Turquesa Apartments under construction to the south. The project will have direct access to the Arroyo Chamiso Urban Trail and the City park to the east.

(b) EFFECT ON PROTECTION OF THE PHYSICAL ENVIRONMENT *For example: trees, open space, rivers, arroyos, floodplains, rock outcroppings, escarpments, trash generation, fire risk, hazardous materials, easements, etc.*

The 2.8-acre subject parcel is already developed as a parking lot, so there will be no disturbance of existing natural ground. New landscaped areas are included in the project design, which will enhance the natural environment.

(c) IMPACTS ON ANY PREHISTORIC, HISTORIC, ARCHAEOLOGICAL OR CULTURAL SITES OR STRUCTURES, INCLUDING ACEQUIAS AND THE HISTORIC DOWNTOWN *For example: the project's compatibility with historic or cultural sites located on the property where the project is proposed.*

The property is located in the Suburban Archaeological District and since it is less than 10 acres, an archaeological clearance permit is not required.

(d) RELATIONSHIP TO EXISTING DENSITY AND LAND USE WITHIN THE SURROUNDING AREA AND WITH LAND USES AND DENSITIES PROPOSED BY THE CITY GENERAL PLAN *For example: how are existing City Code requirements for annexation and rezoning, the Historic Districts, and the General Plan and other policies being met.*

The subject parcel is part of the Santa Fe Place Mall premises and is zoned SC-3. Multi-family residential is permissible in this zoning district and there is no maximum permissible density. The surrounding area is a mix of uses, including commercial, multi-family, and low density residential. The proposed 140-unit apartment building (49 dwellings/acre) serves as an appropriate transition from the Mall to the 240-unit Turquesa apartment community to the south.

Incorporating residential into the Mall development complies with the General Plan policies regarding mixed-use and providing a variety of housing types in all parts of the City. With access to commercial services, entertainment, employment, and multi-modal transportation options (urban trail and bus service), the Mall is an ideal mixed-use environment.

(e) EFFECTS UPON PARKING, TRAFFIC PATTERNS, CONGESTION, PEDESTRIAN SAFETY, IMPACTS OF THE PROJECT ON THE FLOW OF PEDESTRIAN OR VEHICULAR TRAFFIC AND PROVISION OF ACCESS FOR THE DISABLED, CHILDREN, LOW-INCOME AND ELDERLY TO SERVICES *For example: increased access to public transportation, alternate transportation modes; traffic mitigation, cumulative traffic impacts, pedestrian access to destinations and new or improved pedestrian trails.*

As described above, the new residential community will have direct access to the Arroyo Chamiso Urban Trail and Santa Fe Trails bus service. Resident parking will be provided in a ground floor podium structure, as well as in the adjacent surface parking areas. Access to the site will be via the Mall loop road, which connects to the adjacent roadway network at the Rodeo Rd./Zafarano Rd. and Cerrillos Rd./Wagon Rd. intersections. A Traffic Study will be submitted with the Development Plan Application.

(f) IMPACT ON THE ECONOMIC BASE OF SANTA FE *For example: availability of jobs to Santa Fe residents; market impacts on local businesses; and how the project supports economic development efforts to improve living standards of neighborhoods and their businesses.*

Increasing the availability of housing is key to Santa Fe's economic vitality. Nearby businesses will be supported by the new residents that will be within easy walking distance to the surrounding shops and restaurants.

(g) EFFECT ON THE AVAILABILITY OF AFFORDABLE HOUSING AND AVAILABILITY OF HOUSING CHOICES FOR ALL SANTA FE RESIDENTS
For example: creation, retention or improvement of affordable housing; how the project contributes to serving different ages, incomes and family sizes; the creation or retention of affordable business space. (Ord. No. 2005-30(A) § 4)

The project will comply with the Santa Fe Homes Program with the payment of a fee-in-lieu to the Affordable Housing Trust Fund that that supports affordable housing initiatives throughout the City.

(h) EFFECT UPON PUBLIC SERVICES SUCH AS FIRE, POLICE PROTECTION, SCHOOL SERVICES AND OTHER PUBLIC SERVICES OR INFRASTRUCTURE ELEMENTS SUCH AS WATER, POWER, SEWER, COMMUNICATIONS, BUS SYSTEMS, COMMUTER OR OTHER SERVICES OR FACILITIES *For example: whether or how the project maximizes the efficient use or improvement of existing infrastructure; and whether the project will contribute to the improvement of existing public infrastructure and services.*

The project is being developed on an infill site that served by all utilities, public roads, trails, parks, and bus service.

(I) IMPACTS UPON WATER SUPPLY, AVAILABILITY AND CONSERVATION METHODS *For example: conservation and mitigation measures; efficient use of distribution lines and resources; effect of construction or use of the project on water quality and supplies.*

The project will provide water rights to the City to offset its water demand. Water service will be efficiently provided via an existing public water main on the Mall property. The project will include water conserving fixtures, drought tolerant landscaping, and drip irrigation.

(J) EFFECT ON THE OPPORTUNITIES FOR COMMUNITY INTEGRATION AND SOCIAL BALANCE THROUGH MIXED LAND USE, PEDESTRIAN ORIENTED DESIGN, AND LINKAGES AMONG NEIGHBORHOODS AND RECREATIONAL ACTIVITY AND EMPLOYMENT CENTERS *For example: how the project improves opportunities for community integration and balance through mixed land uses, neighborhood centers and/or pedestrian-oriented design.*

This project accomplishes all of these goals - mixed land use, pedestrian oriented design, access to employment, and linkages with adjacent neighborhoods and open space via the Arroyo Chamiso Urban Trail.

(k) EFFECT UPON SANTA FE'S URBAN FORM *For example: how are policies of the existing City General Plan being met? Does the project promote a compact urban form through appropriate infill development? The project's effect on intra-city travel; and between employment and residential centers.*

This infill project promotes a compact urban form and satisfies General Plan policies regarding infill, mixed-use, multi-modal transportation, and the provision of a variety of housing options in all parts of the City.

ADDITIONAL COMMENTS (Optional)



COUNTY OF SANTA FE } STATE OF NEW MEXICO } ss	SPECIAL WARRANTY DEED PAGES: 7
I Hereby Certify That This Instrument Was Filed for Record On The 26TH Day Of November, A.D., 2014 at 09:16:06 AM And Was Duty Recorded as Instrument # 1751759 Of The Records Of Santa Fe County	
Deputy - EFMARTINEZ	Witness My Hand And Seal Of Office Geraldine Salazar County Clerk, Santa Fe, NM

e-Recorded 1751759 11/26/14 SFC

PREPARED BY, AND UPON RECORDING RETURN TO:

Lane Law PLLC
1400 Crossroads Building
2 State Street
Rochester, NY 14614
Attn: Gregory W. Lane, Esq.

SPECIAL WARRANTY DEED

LSREF SUMMER REO TRUST 2009, a Delaware statutory trust ("Grantor"), for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other valuable consideration, the receipt and sufficiency of which consideration are hereby acknowledged, hereby grants to SANTA FE MALL PROPERTY OWNER LLC, a Delaware limited liability company ("Grantee"), having an address of 112 Northern Concourse, N. Syracuse, New York 13212, (i) all that real property situated in the County of Santa Fe, State of New Mexico, and more particularly described on Exhibit A attached hereto and made a part hereof for all purposes, (ii) together with all improvements and related amenities located in and on such real property, (iii) easements, if any, benefiting such real property, and (iv) all rights and appurtenances, if any, pertaining to such real property, including any right, title and interest of Grantor in and to adjacent streets, alleys or rights-of-way, with SPECIAL WARRANTY COVENANTS, subject to the matters set forth in Exhibit B attached hereto and made a part hereof for all purposes.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, Grantor has executed this Deed to be effective as of the ___ day of November, 2014.

GRANTOR:

LSREF SUMMER REO TRUST 2009,
a Delaware statutory trust

By: Hudson Americas LLC,
its Administrator

By: Monica Knake
Name: Monica Knake
Title: Assistant Vice President

STATE OF TEXAS §
 §
COUNTY OF DALLAS §

Before me the undersigned, a Notary Public in and for said County and State, on this day personally appeared Monica Knake, the Assistant Vice President of Hudson Americas LLC, the Administrator of LSREF SUMMER REO TRUST 2009, a Delaware statutory trust, known to me to be the person whose name is subscribed to the foregoing instrument, and thereupon she acknowledged that she was authorized to execute the within instrument on behalf of said limited liability company, as Administrator of said trust, and that she executed said instrument as the voluntary act of the said limited liability company, as Administrator of said trust, and for the purposes and consideration expressed therein and in the capacity stated therein.

Given under my hand and seal of office this 20 day of November, A.D., 2014.

(Seal)

Jannie L. Callahan, Notary Public
(signature of Notary Public)

My Commission Expires: 12-31-2014

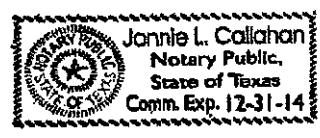


EXHIBIT A

Legal Description

TRACT 1:

Lots 1-A and 1-B, of the Villa Linda Mall, City of Santa Fe, all as shown on that plat of survey entitled, "CLASS A ALTA/ACSM Land Title Survey Prepared for Babcock & Brown Real Estate Investments LLC Covering Lot 1-A, as Shown on a Plat Recorded in Plat Book 343, Pages 014-016, and Lot 1-B, as Shown on a Plat Recorded in Plat Book 182, Page 040, within Sections 7 & 8, T16N, R9E, NMPM, City and County of Santa Fe, NM", filed on August 17, 2007, as Instrument No. 1496136, in Plat Book 662, pages 041 - 044 Records of Santa Fe County, New Mexico.

TRACT 2:

The easements and other real property rights and interests that benefit any other land described in this Schedule A that are created by or pursuant to that certain Restated Operating Agreement dated September 27, 1985 and recorded October 4, 1985, in Book 532, Page 270 as amended by First Amendment to Restated Operating Agreement dated November 1, 1986 and recorded February 9, 1987, in Book 573, Page 589, over and with respect to the properties known as Lots 2, 3 and 11 of Villa Linda Mall, as shown on the plat of survey entitled "Villa Linda Mall Site ALTA-ASCM Land Title Survey", recorded December 13, 1999, in Plat Book 430, Pages 037-040; as assigned and assumed by Assignment and Assumption and Assumption of Operating Agreement dated October 22, 2004, and recorded as Document No. 1351709, in the records of Santa Fe County, New Mexico.

TRACT 3:

Real Property situated in the County of Santa Fe, State of New Mexico, and described as follows:

Lot 2, as shown on plat entitled "Villa Linda Mall Site", within Sections 7 and 8, T.16 N., R.9 E., N.M.P.M., filed in the office of the County Clerk, Santa Fe County, New Mexico, on July 2, 1985, in Plat Book 153, page 040, as Document No. 570,838.

Together with easements and other real property rights and interests that are created by or pursuant to that certain Restated Operating Agreement, recorded in Book 592, page 270, First Amendment to Restated Operating Agreement, recorded in Book 573, page 589, Assignment and Assumption of Operating Agreements, recorded as Instrument No. 1347696, Declaration of Restrictions, recorded in Book 1296, page 997, Assignment of Reciprocal Easement Agreement, recorded in Book 1310, page 529 and in the Declaration of Restrictions, recorded in Book 481, page 674, First Amendment to Declaration of Restrictions, recorded in Book 537, page 668, Second Amendment to Declaration of Restrictions, recorded in Book 600, page 521, Third Amendment to Declaration of Restrictions, recorded in Book 667, page 237, and the Fourth Amendment to Declaration of Restrictions, recorded in Book 1305, page 732, filed in the office of the County Clerk, Santa Fe County, New Mexico.

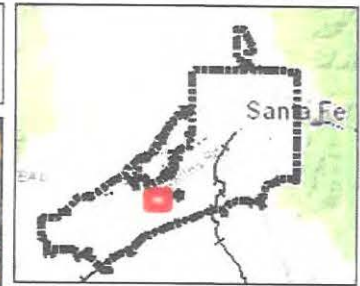
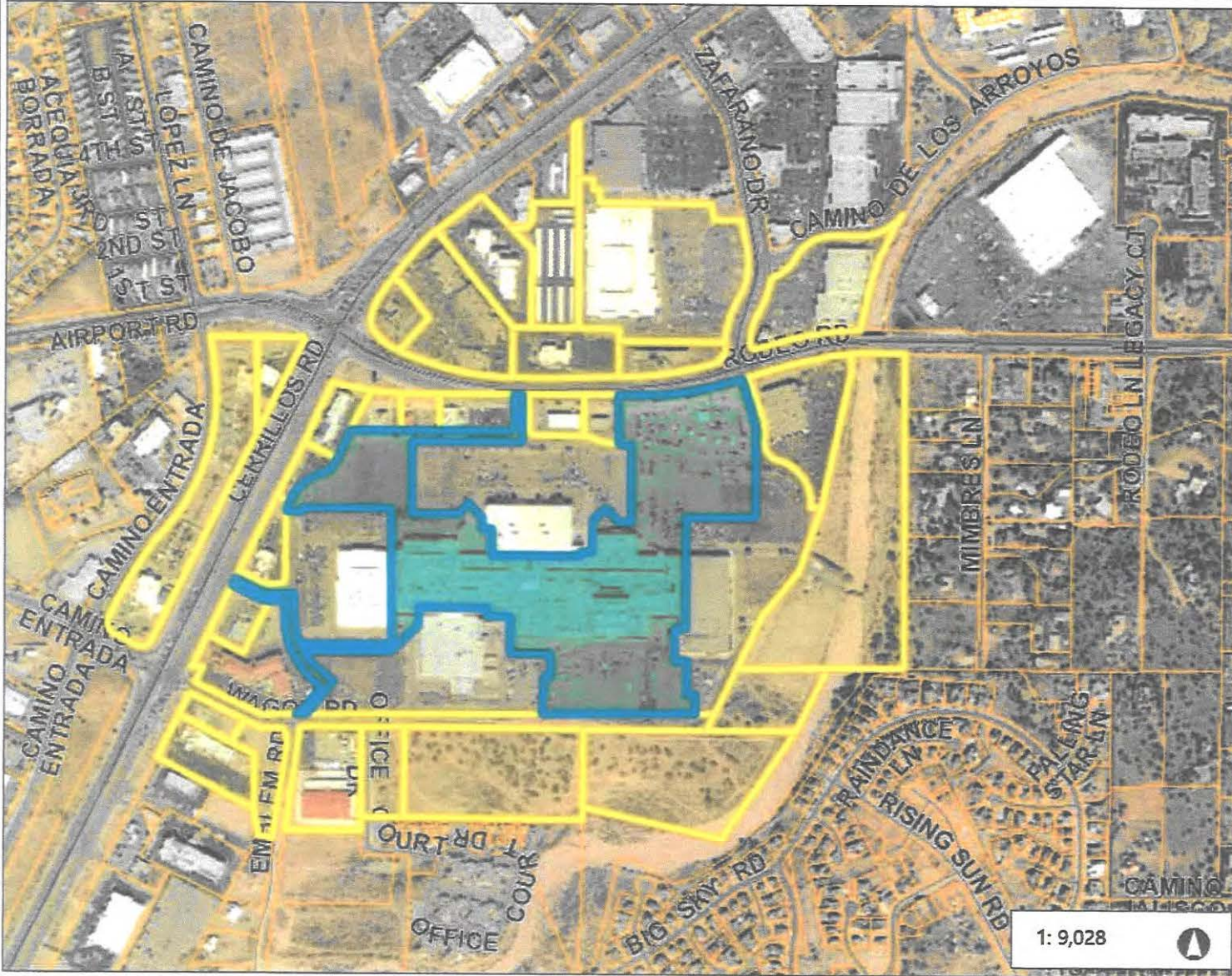
EXHIBIT B**Permitted Exceptions**

1. Standby fees, taxes and assessments by any taxing authority for the year 2014, and for subsequent years.
2. Rights of tenants, as tenants only, pursuant to unrecorded leases or rental agreements, without rights or options to purchase the Property.
3. Water rights, claims or title to water.
4. Sewer maintenance and garbage disposal assessments for the year 2015 and thereafter.
5. Reservations contained in Patent from United States of America recorded in Book C of Patents, Page 194 as Document No. 87873, Book B of Patents, Page 114 as Document No. 47837, re-recorded in Book C of Patents, Page 229 as Document No. 90354 ½, Book B of Patents, Page 371 as Document No. 51547 and Book C of Patents, Page 70 as Document No. 70952, records of Santa Fe County, New Mexico.
6. Reservations contained in Patent from the State of New Mexico, recorded in Book 16 of Deeds, Page 99 as Document No. 56289 and in Book Misc. 16, Page 221 as Document No. 57104, records of Santa Fe County, New Mexico.
7. Easements described in Quit Claim Deed filed May 3, 1935, recorded in Book W of Deeds, Page 503 as Document No. 48640, records of Santa Fe County, New Mexico.
8. Easement filed August 22, 1930, recorded in Book Misc. X, Page 86 as Document No. 40327, records of Santa Fe County, New Mexico.
9. Easement filed September 10, 1968, recorded in Book Misc. 259, Page 713, records of Santa Fe County, New Mexico.
10. Easement filed January 5, 1973, recorded in Book Misc 297, Page 74 and Quitclaim Deed Assigning Easement filed July 1, 1985, recorded in Book Misc. 524, Page 869, records of Santa Fe County, New Mexico.
11. Deed for Easement Of Way filed January 19, 1979, recorded in Book Misc. 374, Page 780, records of Santa Fe County, New Mexico.
12. Grant of Way Grant and Easement Agreement filed October 1, 1984, recorded in Book Misc. 501, Page 830, records of Santa Fe County, New Mexico.
13. Grant of Easement Waterline filed July 1, 1985, recorded in Book Misc. 525, Page 109, records of Santa Fe County, New Mexico.
14. Right of Way Easement filed July 1, 1985, recorded in Book Misc. 525, Page 117, records of Santa Fe County, New Mexico.

15. Right of Way and Easement for Underground Gas Lines filed July 1, 1985, recorded in Book Misc. 525, Page 121, records of Santa Fe County, New Mexico.
16. Grant of Easement Sanitary Sewer filed July 1, 1985, recorded in book Misc. 525, Page 128, records of Santa Fe County, New Mexico.
17. Easement Electric Power Line filed July 1, 1985, recorded in Book Misc. 525, Page 135 and Amendment to Easement Electric Power Line recorded in Book Misc. 567, Page 508 and Amendment to Easement Electric Power Line recorded in Book Misc. 568, Page 894 and Amendment to Easement Electric Power Line recorded in Book Misc. 574, Page 777, records of Santa Fe County, New Mexico.
18. Grant of Easement Cable Television Line filed September 10, 1985, recorded in Book Misc. 530, Page 162, records of Santa Fe County, New Mexico.
19. Easement Agreement filed October 8, 1985, recorded in Book Misc. 532, Page 768, records of Santa Fe County, New Mexico.
20. Covenants, conditions, restrictions, terms, provisions, assessments, liens, levies and easements in Declaration of Restrictions, recorded in Book Misc. 481, Page 674 and First Amendment to Declaration of Restrictions, recorded in Book Misc. 537, Page 668 and Second Amendment to Declaration of Restrictions, recorded in Book Misc. 600, Page 521 and Third Amendment to Declaration of Restrictions, recorded in Book 667, Page 237 and Fourth Amendment to Declaration of Restrictions, recorded in Book 1305, Page 732, records of Santa Fe County, New Mexico.
21. Restated Operating Agreement filed October 4, 1985, recorded in Book Misc. 532, Page 270 and First Amendment to Restated Operating Agreement recorded in Book Misc. 573, Page 589 and Declaration of Restrictions recorded in Book 1296, Page 997 and Assignment and Assumption of Restated Operating Agreement recorded in Book 1299, Page 867 and Assignment and Assumption of Restated Operating Agreement recorded in Book 1299, Page 871 and Assignment of Reciprocal Easement Agreement recorded in Book 1310, Page 520 and Assignment of Reciprocal Easement Agreement recorded in Book 1310, Page 529 and Assignment of Anchor Agreements (REA) recorded in Book 1717, Page 723 and Assignment and Assumption of Operating Agreements recorded as Instrument No. 1347696 and Assignment and Assumption of Operating Agreement recorded as Instrument No. 1351709 and Assignment and Assumption of Reciprocal Easement Agreements recorded as Instrument No. 1496160 and Assignment and Assumption of Reciprocal Easement Agreements recorded as Instrument No. 1599655, records of Santa Fe County, New Mexico.
22. Covenants, conditions, restrictions, terms, provisions, assessments, liens, levies and easements in Special Warranty Deed recorded in Book 667, Page 245, records of Santa Fe County, New Mexico.
23. Grant of Easement filed February 3, 2010, recorded in Instrument No. 1590104, records of Santa Fe County, New Mexico.

- 24. Notes, conditions, easements, utilities and all matters shown on plat recorded in Plat Book 153, Page 040, records of Santa Fe County, New Mexico.
- 25. Notes, conditions, easements, utilities and all matters shown on plat recorded in Plat Book 182, Page 040, records of Santa Fe County, New Mexico.
- 26. Notes, conditions, easements, utilities and all matters shown on plat recorded in Plat Book 343, Page 014-016, records of Santa Fe County, New Mexico.
- 27. Notes, conditions, easements, utilities and all matters shown on plat recorded in Plat Book 430, Page 037-040, records of Santa Fe County, New Mexico.
- 28. Notes, conditions, easements, utilities and all matters shown on plat recorded in Plat Book 662, Page 041-044, records of Santa Fe County, New Mexico.
- 29. Rights of easement, if any, relating to the sanitary sewer lines with manholes, storm drains and utilities, as shown on the survey by Dawson Surveys Inc., dated _____.
- 30. Encroachment by buildings onto easements as shown on ALTA/ACSM Land Title Survey prepared by Dawson Surveys Inc., dated _____.

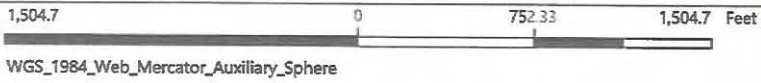
300ft. Buffer Map



Legend

- City Limits
- Address Points
- Roads
- Major Roads
- ▭ Santa Fe County Parcels
- ▭ Santa Fe River
- + Rail Road

1: 9,028



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes
 © Latitude Geographics Group Ltd.

CAPITAL BANK C/O BANK OF

101 N TRYON ST
CHARLOTTE NC 28255

KHUSHI, LLC

4150 CERRILLOS RD
SANTA FE NM 87507

MUTUAL BUILDING & LOAN ASSO

PO BOX 1507

SANTA FE NM 87504

UJAS SANTA FE LLC

751 S WEIR CANYON RD STE 157-380
ANAHEIM CA 92808-1962

BFS RETAIL & COMMERCIAL

535 MARRIOTT DRIVE
NASHVILLE TN 37214

GEORGE MCELROY & ASSOC INC

3131 S VAUGHN WAY #301
AURORA CO 80014

DILLARDS DEPT STORE

4501 N BEACH ST
FORT WORTH TX 76137

PEALE BREWING CO

40035 S LAKE CREST DR
TUCSON AZ 85739

CITY OF SANTA FE

P O BOX 909
SANTA FE NM 87501

SANTA FE PORTFOLIO LLC

PO BOX 908
SANTA FE NM 87504-0908

COTTON BUTANE CO INC

ONE LIBERTY PLAZA
LIBERTY MO 64068

HOUSTON RODEO PROPERTIES LLC

PO BOX 22865
SANTA FE NM 87502

**SANTA FE MALL PROPERTY OWNER
LLC**

112 NORTHERN CONCOURSE
N SYRACUSE NY 13212-4045

528 INVESTORS & VEGAS VERDES

PO BOX 22865
SANTA FE NM 87502-2865

PIZZA HUT INC

924 W COLFAX AVE # 203
DENVER CO 80204

GEORGE MCELROY & ASSOC INC

3131 S VAUGHN WAY #301
AURORA CO 80014

**SANTA FE MALL PROPERTY OWNER
LLC**

112 NORTHERN CONCOURSE
N SYRACUSE NY 13212-4045

ADAMS & MILLER LTD CO

1228 PARKWAY DR SUITE A
SANTA FE NM 87507

TRUZAF LIMITED PARTNERSHIP

13 VEREDA CORTA
SANTA FE NM 87507

CITY OF SANTA FE

P O BOX 909
SANTA FE NM 87504-0909

SENTRY STORAGE, LLC

4824 SAN TIMOTEO AVE SW
ALBUQUERQUE NM 87114

JUNG & MYONG INVESTMENTS, LLC

4300 CERRILLOS ROAD
SANTA FE NM 87505

**SANTA FE MALL PROPERTY OWNER
LLC**

112 NORTHERN CONCOURSE
N SYRACUSE NY 13212-4045

JC PENNY STORE # 2228-3

PO BOX 10001
DALLAS TX 75301

VRAPI & NOBLE, LLC

5931 JEFFERSON ST NE STE A
ALBUQUERQUE NM 87109-3408

BRE/LQ PROPERTIES LLC

909 HIDDEN RIDGE SUITE 600
IRVING TX 75038

CITY OF SANTA FE

200 LINCOLN AVE
SANTA FE NM 875018184

SHIV INVESTMENTS LLC

4312 CERRILLOS RD
SANTA FE NM 87507

TRUZAF LIMITED PARTNERSHIP

PO BOX 460169
HOUSTON TX 77056-8169

WAGON ROAD INVEST LLC

7528 LEW WALLACE DR N E
ALBUQUERQUE NM 87109

RED LOBSTER #0478

PO BOX 6467

ORLANDO FL 32802-6467

AMFP IV TURQUESA LLC

420 LEXINGTON AVE STE 2821

NEW YORK NY 10170-2820

BRE/LQ PROPERTIES LLC

909 HIDDEN RIDGE SUITE 600

IRVING TX 75038

FCPT HOLDINGS LLC

591 REDWOOD HIGHWAY RD STE 1150

MILL VALLEY CA 94941-6007

OWNER OR RESIDENT
1 EMBLEM RD
SANTA FE, NM 87507

OWNER OR RESIDENT
2 EMBLEM RD
SANTA FE, NM 87507

OWNER OR RESIDENT
2511 & 2515 CAMINO ENTRADA
SANTA FE, NM 87507

OWNER OR RESIDENT
3549A ZAFARANO DR
SANTA FE, NM 87507

OWNER OR RESIDENT
3550 ZAFARANO DR
SANTA FE, NM 87507

OWNER OR RESIDENT
3561 ZAFARANO DR
SANTA FE, NM 87507

OWNER OR RESIDENT
3569 ZAFARANO DR
SANTA FE, NM 87507

OWNER OR RESIDENT
4036 CERRILLOS RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4048 CERRILLOS RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4056 CERRILLOS RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4062 CERRILLOS RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4151 CERRILLOS RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4246 CERRILLOS RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4250 CERRILLOS RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4298 CERRILLOS RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4300 CERRILLOS RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4300 RODEO RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4360 RODEO RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4384 RODEO RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4420 RODEO RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4430 RODEO RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4434 RODEO RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4450 RODEO RD
SANTA FE, NM 87507

OWNER OR RESIDENT
4470 RODEO RD
SANTA FE, NM 87507



Santa Fe Public Schools

Property & Asset Management

Residential Development Impact Information Form

School Notification as required by City Ordinance 14-8.18 AFCC 1987

- 1. Project Name: Santa Fe Plaza Multifamily Development
- 2. Location of Property: 4250 Cerrillos Rd
- 3. Owner/Agent Name: JENNIFER JENKINS / JENKINS GAVIN
Mailing Address: 130 Grant Ave Suite 101 Santa Fe NM 87501
Phone & Fax: 505.820.7444

4. Unit Matrix

PROJECT EFFECT ON STUDENT POPULATION		
Unit Type	Unit Quantity	Average Price
Single Family (detached) Single Family (attached) Townhome/ Apartment <u>Multi-Family</u> Commercial	140	1,200.00

- 5. Elementary School Zone for Proposed Development: Pinon Elementary
- 6. Middle School Zone for Proposed Development: Milagro Middle School
- 7. High School Zone for Proposed Development: Santa Fe High School
- 8. Build out Rates (Year/s; #/yr): Completion anticipated 2023

Educational Services Center
810 Alta Vista
Santa Fe, NM 87505
Telephone (505) 467-2000
www.sfps.info

For questions & submittal, contact:
Santa Fe Public Schools, Property & Asset Management,
2195 Zia Road, Santa Fe NM 87505
505 467 3400

**March 04, 2021
Planning Commission
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall
Apartments
Development Plan**

EXHIBIT E

Maps and Photos

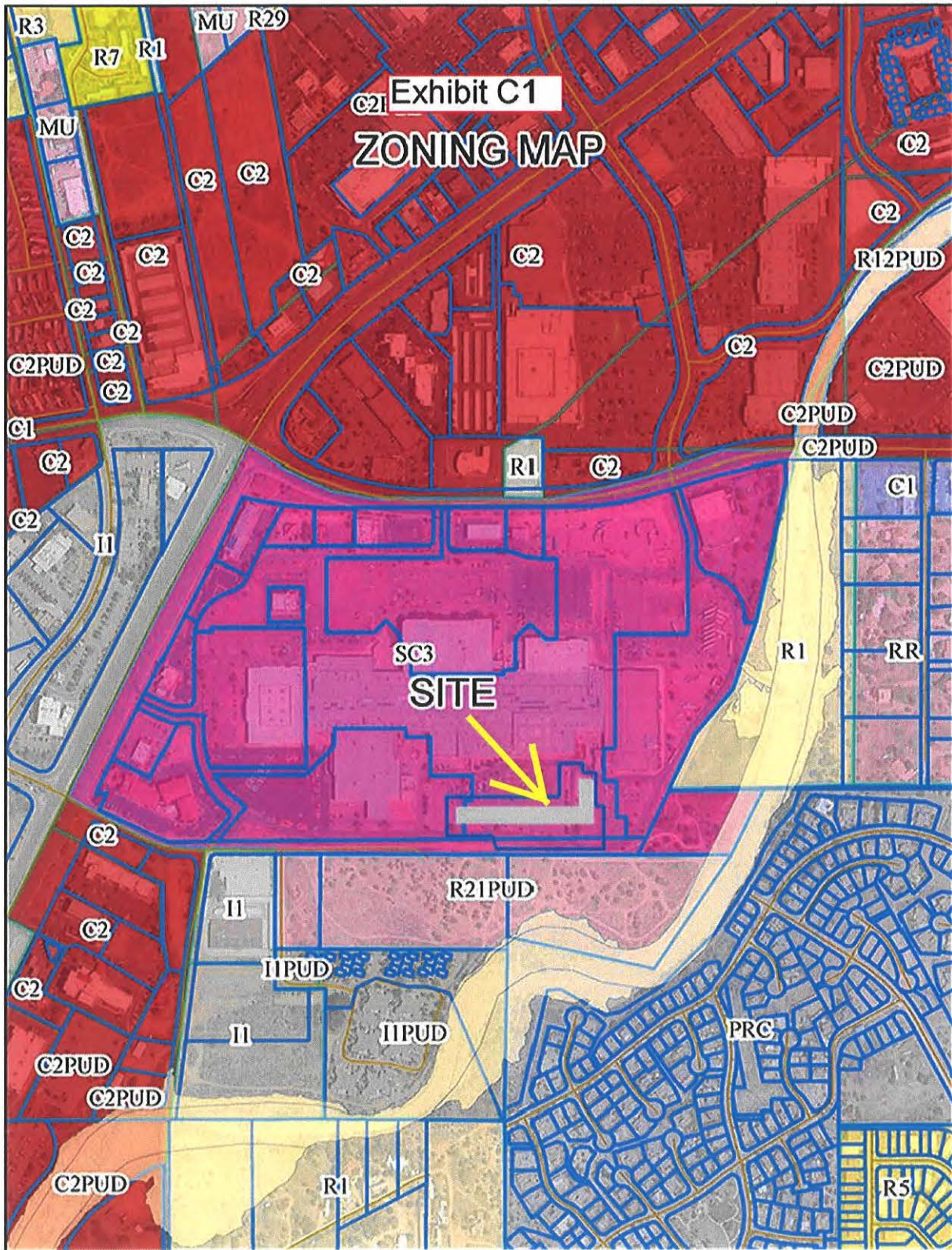
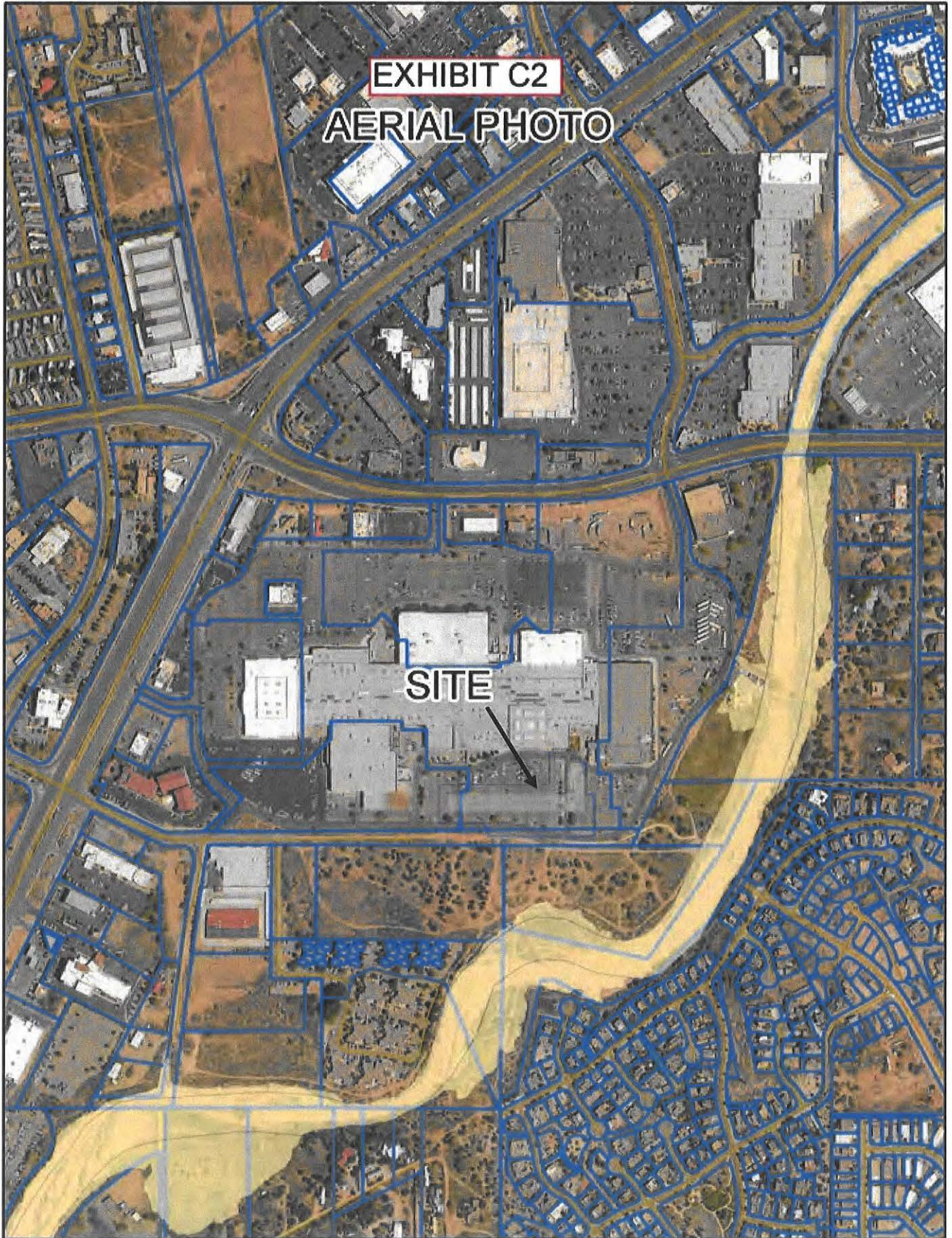


EXHIBIT C2
AERIAL PHOTO



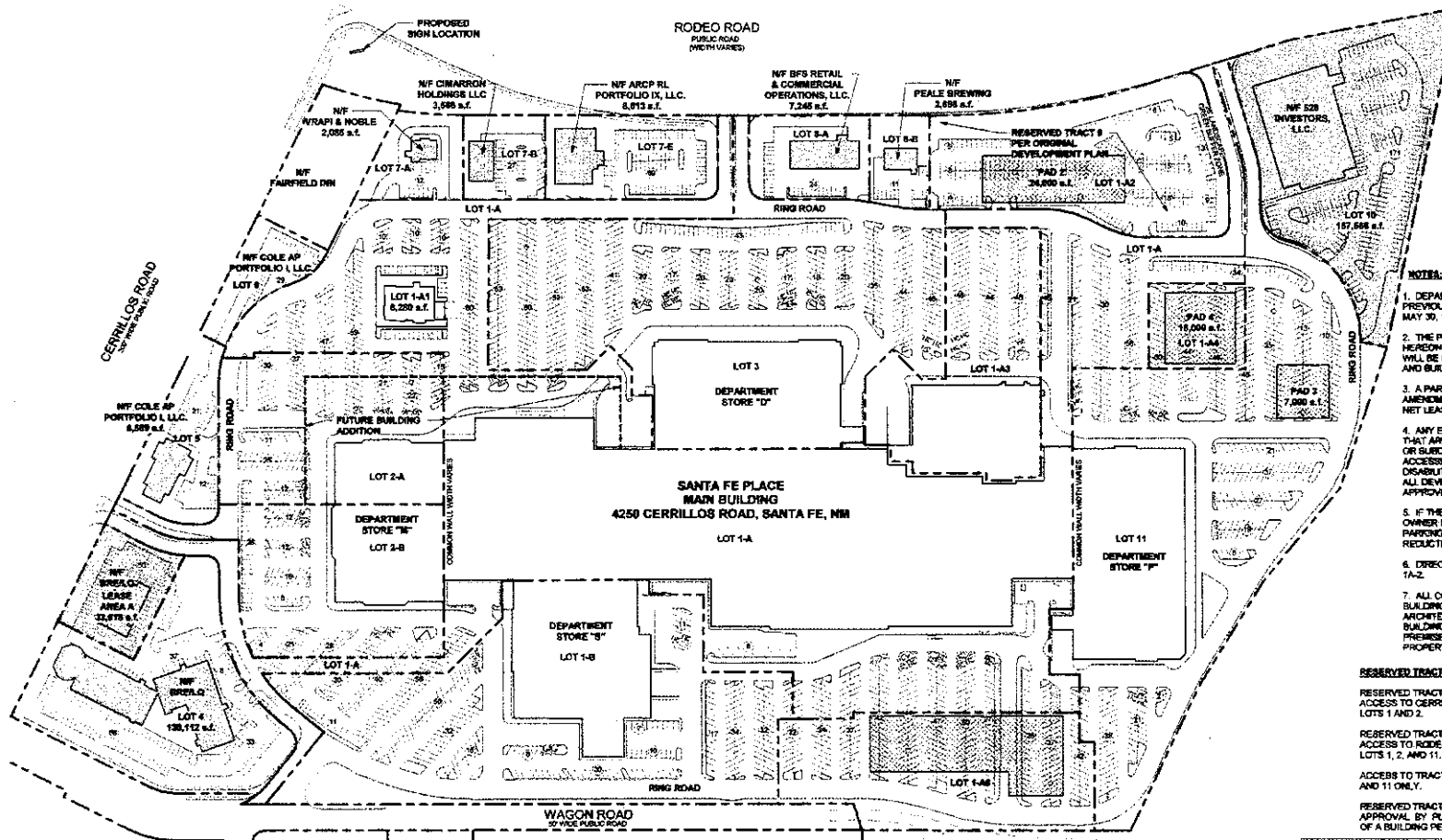
SITE

**March 04, 2021
Planning Commission
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall
Apartments
Development Plan**

EXHIBIT F

Referenced Material and Development Plans

Santa Fe Place Final Subdivision & Development Plan Amendment #5
4250 Cerrillos Road, Santa Fe, N.M.



- NOTES:**
1. DEPARTMENT STORE 'D' FUTURE EXPANSION: 29,014 s.f. AS PREVIOUSLY APPROVED PER DEVELOPMENT PLAN DATED MAY 30, 1994.
 2. THE PAD SITES AND FUTURE BUILDING ADDITION SHOWN HEREON ARE CONCEPTUAL. FINAL SIZE AND CONFIGURATION WILL BE DETERMINED DURING THE DEVELOPMENT REVIEW AND BUILDING PERMIT PROCESS.
 3. A PARKING REDUCTION IS APPROVED WITH THIS AMENDMENT PERMITTING A RATIO OF 1 SPACE PER 250 SF OF NET LEASABLE AREA.
 4. ANY EXISTING ELEMENTS, FEATURES, OR COMMON AREAS THAT ARE ALTERED AS A RESULT OF THIS DEVELOPMENT PLAN OR SUBDIVISION PLAN SHALL COMPLY WITH THE CURRENT ACCESSIBILITY REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). ADA PLANS SHALL BE SUBMITTED WITH ALL DEVELOPMENT/BUILDING PLANS TO BE REVIEWED AND APPROVED BY CITY STAFF.
 5. IF THE CITY REMOVES ALL BUS SERVICE TO THE MALL, THE OWNER SHALL BE REQUIRED TO ADJUST NEW DEVELOPMENT PARKING TO ACCOUNT FOR THE 1% TRANSIT PARKING REDUCTION.
 6. DIRECT ACCESS TO RODEO ROAD IS PROHIBITED FOR LOT 1A-2.
 7. ALL CONSTRUCTION OF NEW BUILDINGS QUALIFYING FOR A BUILDING PERMIT SHALL BE DESIGNED IN A MANNER THAT IS ARCHITECTURALLY COMPATIBLE WITH AND ADAPTIBLE TO BUILDINGS, STRUCTURES, AND USES BOTH WITHIN THE MALL PREMISES AND ON ADJUTING PROPERTY AND OTHER PROPERTIES IN THE VICINITY.

RESERVED TRACTS, NOTES, ACCESS AND RESTRICTIONS:

RESERVED TRACTS 4, 5, AND 8 SHALL NOT BE PERMITTED DRIVEWAY ACCESS TO CERRILLOS ROAD AND ONLY TO ON-SITE ROADWAYS WITHIN LOTS 1 AND 2.

RESERVED TRACTS 7, 8, 9, AND 10 SHALL NOT BE PERMITTED DRIVEWAY ACCESS TO RODEO ROAD AND ONLY TO ON-SITE ROADWAYS WITHIN LOTS 1, 2, AND 11.

ACCESS TO TRACTS 4, 5, 6, 7, 8, 9 AND 10 WILL BE THROUGH LOTS 1, 2, 3, AND 11 ONLY.

RESERVED TRACT 9 IS SUBJECT TO FINAL DEVELOPMENT PLAN APPROVAL BY PLANNING COMMISSION PRIOR TO ISSUANCE OF A BUILDING PERMIT.

NET AREA

COMBINE 9C-2

EXISTING LOT AREAS	AREA
LOT 1-A	37.73 ac. ±
LOT 1-A-1	2,453 ac. ±
LOT 1-A-2	2,588 ac. ±
LOT 1-A-3	2,579 ac. ±
LOT 1-A-4	6,492 ac. ±
LOT 1-A-5	2,838 ac. ±
LOT 1-A-6	6,854 ac. ±
LOT 1-A-7	3,388 ac. ±
LOT 1-A-8	2,374 ac. ±
LOT 1-A-9	7,480 ac. ±
LOT 1-A-10	2,582 ac. ±
Lot 1-A-11 (Remainder from 9C-1)	0.771 ac. ±
LOT 1-B	0.977 ac. ±
LOT 1-C	0.547 ac. ±
LOT 1-D	0.439 ac. ±
LOT 1-E	0.528 ac. ±
LOT 1-F	1.238 ac. ±
LOT 1-G	0.813 ac. ±
LOT 1-H	0.950 ac. ±
LOT 1-I	1.131 ac. ±
LOT 1-J	4.378 ac. ±

*Refer to lots under separate ownership.
PROPOSED RESERVED AREA: 77,942 s.f.
PROPOSED 10% OVERHEAD: 34,276 s.f.

Category	Area	Area	Proposed Parking Ratio	Required Parking	Excess
Total Existing Parking - 1988 Program	1,410	1,410			
1.410 per ACFT per 200' Area on 1988 Plan	1,410	1,410			
Current Required Parking	24,235	24,235		24,235	
Reg'd Through - 295 min.	36,137	36,137	1 per 4 units	74	74
Out-lot	3,281	3,282			
NET TOTAL	67,427	67,427			
Proposed Development/Total Units/Proposed Ratio	24,235	24,235			
Current Parking Ratio/Current	198	198			
Proposed Parking Supply at 1:250 of 24,235 with 5.0% Transit Reduction	23,441				
Excess Parking	794				
Proposed Parking Ratio/Current	71				

Category	Area	Area	Proposed Parking Ratio	Required Parking	Excess
Parking					
1988 Program	1,410	1,410			
Reg'd Through - 295 min.	36,137	36,137	1 per 4 units	74	74
Out-lot	3,281	3,282			
Subtotal Existing	40,828	40,829			
Proposed					
Lot 1-A - Rem/Restoration (per 9C-1)	3,275	4,235	74	74	74
Lot 1-A-1 - Rem/Restoration	34,890	21,490	75	81	81
Lot 1-A-2 - Rem/Restoration	34,025	34,025	75	75	75
Lot 1-A-3 - Rem/Restoration	125,000	674	1,175	76	76
Subtotal Proposed	77,200	46,424		230	230
Total	47,828	47,829		230	230
Proposed Excess/Current Ratio/Current	336				
Proposed Parking	336				
100% Construction of all proposed buildings					

Revision Schedule

Num	Date	Desc



Development Plan Amendment #5

Scale: 1" = 100'-0"

Signage Plan



santa fe place

4250 Cerrillos Rd., Santa Fe, N.M.

OWNER:



112 Northern Concourse
N. Syracuse, NY 13212
(T) 315.425.1000

SHEET INDEX:

- 1 COVER
- 2 SIGNAGE PLAN

CITY APPROVAL:

Rigona Zaxud 09/02/16
CITY ENGINEER DATE

Greg Smith 9/12/2016
CITY PLANNER DATE

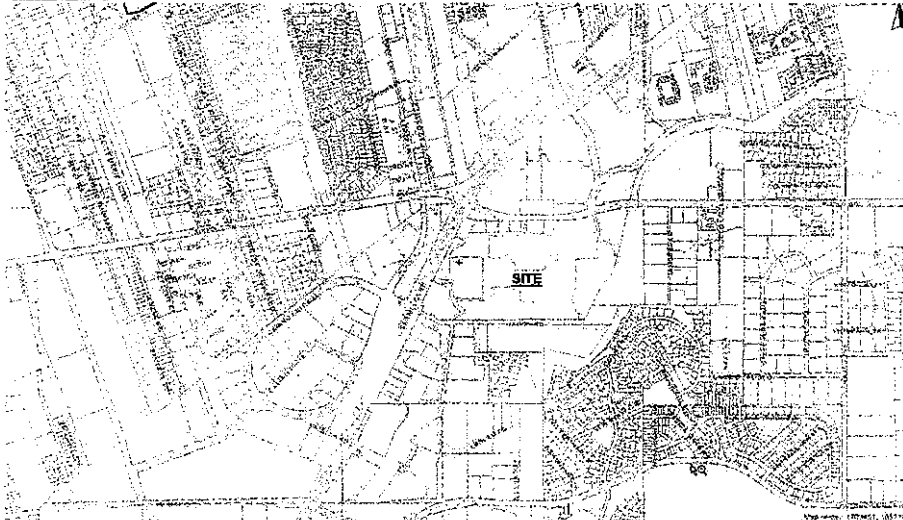
Approved by the Planning Commission at their meeting of May 5, 2016 as case # 2016 - 37

Chal [Signature] 9.1.16 Date
Joe B. Hunt 9.1.16 Date
Secretary Date

OWNER'S CONSLNT:

Carmen Spinoso 7/27/16
Carmen Spinoso DATE

VICINITY MAP:



COUNTY OF SANTA FE)
STATE OF NEW MEXICO) INST # 180446

I hereby certify that this instrument was filed for record on the 14th day of September A.D. 2016 at 1:43 o'clock P.M. and was duly recorded in Book 873 Page 03718 of the records of Santa Fe County.

Witness my hand and Seal of Office
County Clerk, Santa Fe County, NM
[Signature]
County Clerk



State of New Mexico)
County of Santa Fe) ss

The foregoing instrument was acknowledged before me this 27 day of July, 2016 by Carmen Spinoso

R. Sciore
Notary Public

11

007037

Santa Fe Place
Signage Plan
4250 Cerrillos Road, Santa Fe, N.M.

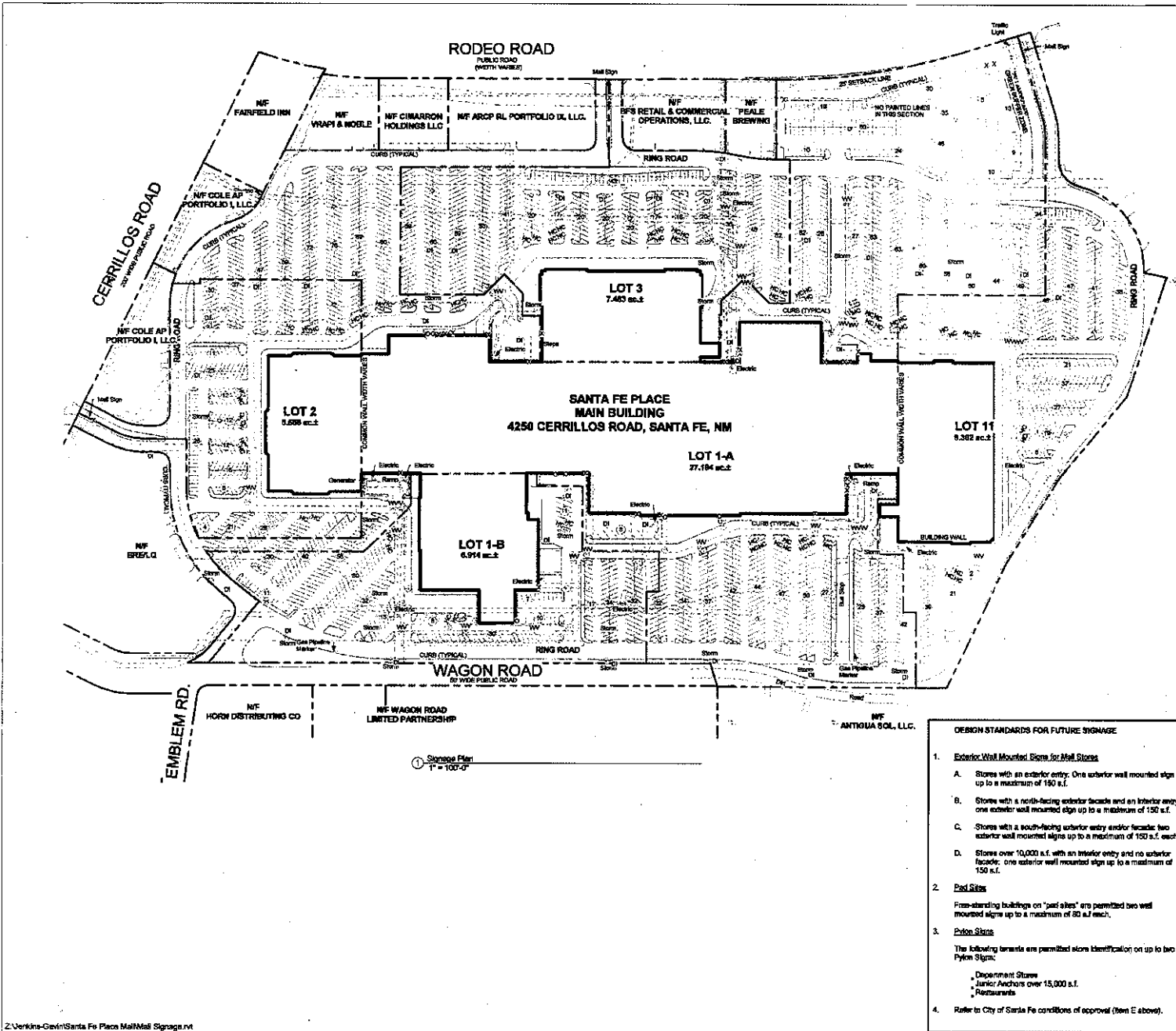
Revision Schedule		
Num	Desc	Date

Date
Drawn by
Checked by



Cover
Scale

1 of 2



A. The following existing Mail Identification signs are hereby ratified:

- Sign P-1:** 31' High x 14' Long x 2.1' Wide = 443.3 s.f.
Sign P-2: 31' High x 7.4' Long x 2.1' Wide = 226.4 s.f.
Sign P-3: 31' High x 7.4' Long x 2.1' Wide = 226.4 s.f.
- The faces of the signs may be modified with the approval of a sign permit.
- Wall Mounted Signs**
Sign M-1: 129.5 s.f.
Sign M-2: 129.5 s.f.
Sign M-3: 117.7 s.f.
- Each wall mounted Mail Identification sign may remain or be replaced up to a maximum of 150 s.f.

B. The following existing, nonconforming store identification signs may remain or be replaced with a sign that is less than or equal to the existing square footage:

- Design**
D-1: 338.7 s.f.
D-2: 340.3 s.f.
D-3: 340.3 s.f.
- JC Pylon**
J-1: 179.8 s.f.
J-2: 178.8 s.f.
J-3: 178.8 s.f.
- Signs**
S-1: 22.0 s.f.
S-2: 17.9 s.f.
S-3: 134.9 s.f.
S-4: 71.4 s.f.
S-5: 71.4 s.f.
S-6: 134.8 s.f.

C. Existing Sign Variances

- Shops Atchafalaya**
 Case #2017-02, approved by the Planning Commission on June 7, 2012. Variance for 800 s.f. wall sign on the west elevation and 700 s.f. wall sign on the south elevation. The approved square footage includes the red background of the sign.
 SA-1: West Elevation 158.4 s.f.
 SA-2: South Elevation 147.9 s.f.
- Red Bath & Beyond**
 Case #2015-04, approved by the Planning Commission on July 2, 2015. Variance for 109 s.f. wall sign.
 B-1: 109 s.f.
- Cost Plus World Market**
 Case #2015-05, approved by the Planning Commission on July 2, 2015. Variance for 136 s.f. wall sign.
 C-1: 136 s.f.

D. Variances Approved as part of this Signage Plan

- Variance from SFCC §14-8-10 (C)(7) allowing an off-site monument sign in the City of Santa Fe right-of-way at the corner of Cerrillos Road and Rodeo Road, subject to approval of a Licensing Agreement by the City of Santa Fe.
- Variance from SFCC §14-8-10(C)(6)(a) allowing up to two wall mounted signs per Mail Store up to a maximum of 150 s.f. in accordance with the approved Design Standards identified herein.
- Variance from SFCC §14-8-10(C)(6)(c) allowing up to two wall mounted signs for each "Pied Site" building up to a maximum of 80 s.f. in accordance with the approved Design Standards identified herein.

E. City of Santa Fe Conditions of Approval

- Total area of wall signs not to exceed 4,500 square feet.
- No wall sign to exceed 150 square feet.
- Maximum 150 square feet of total signage per tenant.
- Maximum two wall signs per tenant.
- Three existing pylon shopping center identification signs they remain.

DESIGN STANDARDS FOR FUTURE SIGNAGE

- Exterior Wall Mounted Signs for Mail Stores**
 - Stores with an exterior entry. One exterior wall mounted sign up to a maximum of 150 s.f.
 - Stores with a north-facing exterior facade and an interior entry. One exterior wall mounted sign up to a maximum of 150 s.f.
 - Stores with a south-facing exterior entry and/or facade. Two exterior wall mounted signs up to a maximum of 150 s.f. each.
 - Stores over 10,000 s.f. with an interior entry and no exterior facade. One exterior wall mounted sign up to a maximum of 150 s.f.
- Pad Sites**
 Free-standing buildings on "pad sites" are permitted two wall mounted signs up to a maximum of 80 s.f. each.
- Pylon Signs**
 The following tenants are permitted store identification on up to two Pylon Signs:
 • Department Stores
 • Junior Anchors over 15,000 s.f.
 • Restaurants
- Refer to City of Santa Fe conditions of approval (Item E above).

3077038

**Santa Fe Place
Signage Plan
4250 Cerrillos Road, Santa Fe, N.M.**

Revision Schedule		
Num	Desc	Date

Date: _____
 Drawn by: _____
 Checked by: _____



130 Grant Avenue, Suite 101
Santa Fe, New Mexico 87501

Signage Plan

Scale: 1" = 100'-0"

2 of 2

FINAL SUBDIVISION PLAT
SANTA FE PLACE MALL
4250 CERRILLOS Rd., SANTA FE, N.M.
PURPOSE: THE PURPOSE OF THIS REPLAT IS TO CREATE SEVEN COMMERCIAL LOTS WITHIN THE EXISTING LOT 1-A AND LOT 2.

DEDICATION AND AFFIDAVIT:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED TO BE PLAT THESE LANDS SHOWN HEREON TO CREATE 7 COMMERCIAL LOTS WITHIN THE EXISTING LOT 1-A AND LOT 2 ALL AS SHOWN HEREON. THIS REPLAT CONTAINS 32.75 ACRES AND IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS.

THIS PROPERTY LIES WITHIN THE PLATTING JURISDICTION OF THE CITY OF SANTA FE.
OWNER: SANTA FE PROPERTY MALL OWNER LLC

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY SANTA FE MALL PROPERTY OWNER LLC. THIS DATE 04/28/2020.

NOTARY PUBLIC, MY COMMISSION EXPIRES: 04/28/2022

UTILITY COMPANIES:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE FOR NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

DIRECT CORPORATION, D/B/A CENTURY LINK OC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF FIBER OPTIC CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT, CHANGE, REMOVE, REPLACE, MODIFY, REPAIR, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER AND UNDER, WITH THE RIGHTS AND PRIVILEGES OF GOING UPON, OVER AND ACROSS ADJACENT LANDS OF GRANTEE FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRICAL TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, GARAGE, DRIVEWAY OR SUBSURFACE, HOT TUB, CONCRETE OR WOOD POOL, DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEAR, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMERS/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

UTILITIES:

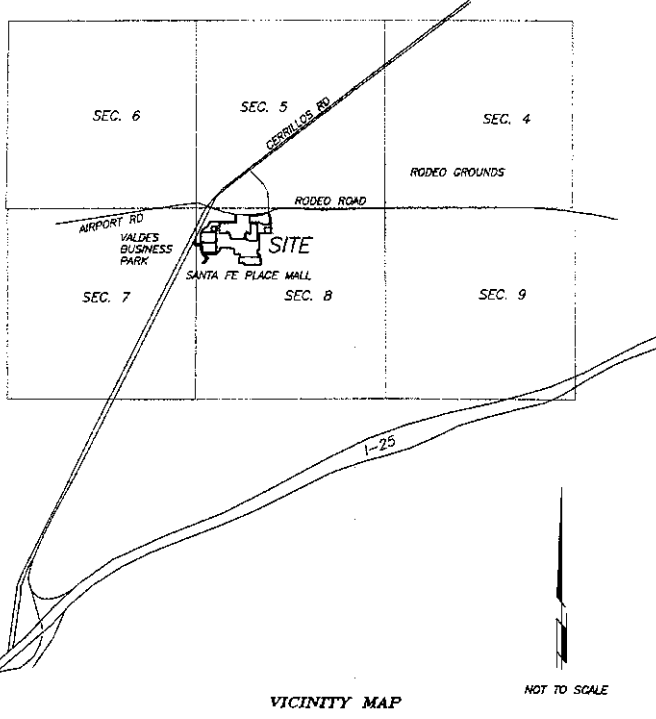
David R. Aiken 04-26-2020
CONCRETE

IN APPROVING THIS PLAT, PNM PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMG) DO NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMG DO NOT WAIVE NOR RELEASE ANY EASEMENT OR EXISTENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.

PNM ELECTRIC SERVICE 5/4/2020
NEW GAS COMPANY 5/4/2020

CENTURY LINK DISCLAIMER: THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE RELIABLE SERVICE TO THE SUBSCRIBER.

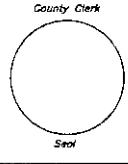
Dave Dale 4/28/2020
DIRECT CORPORATION, D/B/A CENTURY LINK OC



VICINITY MAP NOT TO SCALE

COUNTY OF SANTA FE, SS
STATE OF NEW MEXICO
I hereby certify that this instrument was filed for record on the 20th day of 04/2020, A.D. at 0'clock, and was duly recorded in book page(s) of the records of Santa Fe County.

Witness my Hand and Seal of office
GERALDINE SALAZAR
County Clerk, Santa Fe County, N.M.



SANTA FE CITY APPROVAL:

APPROVED BY THE PLANNING COMMISSION THEIR MEETING OF 12/03/2019
AS CASE NO. 2019-1144
PLANNING COMMISSION CHAIRPERSON DATE
SANTA FE COUNTY TREASURER DATE

APPROVED BY THE CITY OF SANTA FE CURRENT PLANNING DIVISION UNDER AUTHORITY OF THE LAND DEVELOPMENT CODE, ARTICLE 14-3.8(7)
CITY ENGINEER FOR LAND USE DATE
CITY PLANNER DATE

LOT 1-43 IS PROHIBITED FROM ACCESSING RODEO ROAD DIRECTLY AND SHALL ACCESS ONLY THE EXISTING LOOP ROAD OF THE MALL.
THE PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE COMMISSION'S POND COO ORDINANCE (ARTICLE 14-6, 12).

DRAINAGE FACILITIES MAINTENANCE: THE DRAINAGE FACILITIES ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS.

INSPECTIONS OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER, THE OWNERS SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

THE REMEDIAL ACTION SHALL CONSIST OF (1) REMOVAL AND DISPOSAL OF SEDIMENT IN POUNDS THAT IS GREATER THAN 6-INCHES IN DEPTH, (2) FLUSHING ALL COLLECTOR DRAIN PIPES AND DRAINAGE PIPES TO REMOVE SEDIMENT AND POLLUTANTS THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURES; AND, (3) INSPECT FOR SOIL EROSION AT ALL DRAINAGE PIPES AND INSPECT FOR THE STRUCTURAL INTEGRITY OF ALL APPROPRIATE DRAINAGE STRUCTURES AND REPAIR OR STABILIZE ACCORDINGLY.

SURVEYORS CERTIFICATE:

I HEREBY CERTIFY THAT THIS PLAT IS A TRUE REPRODUCTION OF A SURVEY COMPLETED UNDER MY PERSONAL SUPERVISION ON THE 10th DAY OF JUNE, 2019, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAT ARE CORRECT, TRUE AND MEET THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO.

EDWARD M. BRULLO 4-21-2020
DATE



TITLE AND INDEXING INFORMATION FOR COUNTY CLERK
CURRENT OWNER: SANTA FE MALL PROPERTY OWNER LLC
LOT 1-A: 1-050-095-135-419
LOT 2: 1-050-095-034-430
LOT OF RECORD: LOT 1-A AND LOT 2, ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR SANTA FE MALL PROPERTY OWNER, RECORDED IN BOOK 781 PAGE 14-17.
PLSS LOCATION: LYING WITHIN SEC. 7 & 8, T16N, R16E, N4PM
CITY: SANTA FE SHEET 1 OF 6
COUNTY: SANTA FE
STATE: NEW MEXICO
DAWSON SURVEYS INC.
PROFESSIONAL LAND SURVEYORS
2550 S GRAND AVENUE
SANTA FE, N.M. 87507
PHONE 1035-5308 DATE: 04/21/2020

V-100

1704-E

LOT 2 DESCRIPTIONS

DESCRIPTION OF LOT 2, SHOWN ON A PLAT RECORDED IN PLAT BOOK 430, RANGE 037-040, TOWNSHIP 16 NORTH, RANGE 8 EAST, NMPM, SANTA FE COUNTY, NEW MEXICO ALL THAT PORTION OF SECTION 8, TOWNSHIP 16 NORTH, RANGE 8 EAST, NMPM, SANTA FE COUNTY, NEW MEXICO PORTION MAY BE MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE EAST OF SAID LOT 2, SAID POINT BEING S 48°47'51" E 675.50 FEET FROM THE GPS BASE STATION "TOWNSHIP 2";

- THENCE S89°54'56.7" E 61.66 FEET;
- THENCE N00°02'42.7" E 9.99 FEET;
- THENCE S89°48'18.7" E 359.82 FEET;
- THENCE S09°01'57.2" E 513.89 FEET;
- THENCE S89°58'21.7" W 363.81 FEET;
- THENCE CLOSURE 112.50 FEET ON A CURVE HAVING A RADIUS OF 200.50 FEET AND A CHORD OF 113.0379 W, 112.50 FEET;
- THENCE N89°39'15.7" W 93.04 FEET;
- THENCE CLOSURE 74.98 FEET ON A CURVE HAVING A RADIUS OF 158.98 FEET AND A CHORD OF 176.0720 W, 74.29 FEET;
- THENCE N02°01'09.7" W 88.99 FEET;
- THENCE N02°07'57.7" E 28.73 FEET;
- THENCE S67°57'56.7" E 88.86 FEET;
- THENCE COUNTERCLOSURE 80.19 FEET ON A CURVE HAVING A RADIUS OF 131.50 FEET AND A CHORD OF 37.7501 S, 29.64 FEET;
- THENCE S89°54'56.7" E 24.62 FEET;
- THENCE COUNTERCLOSURE 44.26 FEET ON A CURVE HAVING A RADIUS OF 29.50 FEET AND A CHORD OF 144.8754 E, 41.65 FEET;
- THENCE N89°01'19.7" W 235.45 FEET;
- THENCE CLOSURE 23.43 FEET ON A CURVE HAVING A RADIUS OF 200.50 FEET AND A CHORD OF 167.0853 E, 23.49 FEET;

HERE OR LESS TO THE FRONT OF CONFORMANCE CONTAINING A COMBINED TOTAL OF 5.558 ACRES, MORE OR LESS, ALL AS SHOWN HEREON.

NOTES:

1. THIS PLAT SUBJECT TO RESTRICTIONS AND EASEMENTS OF RECORD AS SHOWN ON PLAT RECORDED IN BOOK 781, PAGE 14-17.
2. THIS PLAT SUBJECT TO VALID RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD AND ANY OTHER VALID FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE, ONLY THE RECORD DOCUMENTS NOTED HEREON WERE PROVIDED TO OR DISCOVERED BY DAWSON SURVEYS INC. AND AUSTIN; CURRENT TITLE COMMITMENT NOT OTHER RECORDED TITLE DOCUMENTATION WAS PROVIDED TO DAWSON SURVEYS INC.
3. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 16, LAND DEVELOPMENT CODE, SFCD 2001 AND SUBSEQUENT AMENDMENTS.
4. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIED ANY PROVISION OF CHAPTER 16, LAND DEVELOPMENT CODE, SFCD 1987 AND SUBSEQUENT AMENDMENTS.
5. PRIOR TO ANY NEW CONSTRUCTION PLAT WILL BE SUBMITTED TO FIRE DEPARTMENT FOR COMPLIANCE WITH INTERNATIONAL FIRE CODE.
6. ALL NEW DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE CURRENT LAND DEVELOPMENT CODE.
7. ALL FIRE DEPARTMENT ACCESS SHALL BE NO GREATER THAN A 10% GRADE THROUGHOUT.
8. FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20 FEET WIDE TO ANY NEW/MODEL CONSTRUCTION.
9. SHALL MEET THE 150 FOOT DISTANCE TO ANY PORTION OF THE BUILDING ON ANY NEW CONSTRUCTION.
10. SHALL PROVIDE WATER SUPPLY THAT MEETS FIRE FLOW REQUIREMENTS AS PER IFC AT TIME OF CONSTRUCTION.

REFERENCE DOCUMENTS:

ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR SANTA FE MALL PROPERTY OWNER LLC, RECORDED NOVEMBER 25, 2014, IN BOOK 781, PAGE 14-17.

FLOOD ZONE:

THIS PROPERTY LIES WITHIN ZONE "X OTHER AREAS" DETERMINED TO BE OUTSIDE THE 100-YEAR FLOODPLAIN, AS SHOWN ON F.I.R.M. DRAWN, 3/20/08/08, DATED JUNE 17, 2008.

**SUBDIVISION PLAT
WITHIN LOT 1-A AND LOT 2
AS SHOWN ON ALTA/ACSM LAND TITLE SURVEY
RECORDED IN BOOK 781 PAGE 14-17.
PREPARED FOR
SANTA FE MALL PROPERTY OWNER LLC.
ALL WITHIN SECTION 7 & 8, T17N, R9E, NMPM
CITY AND COUNTY OF SANTA FE NM**

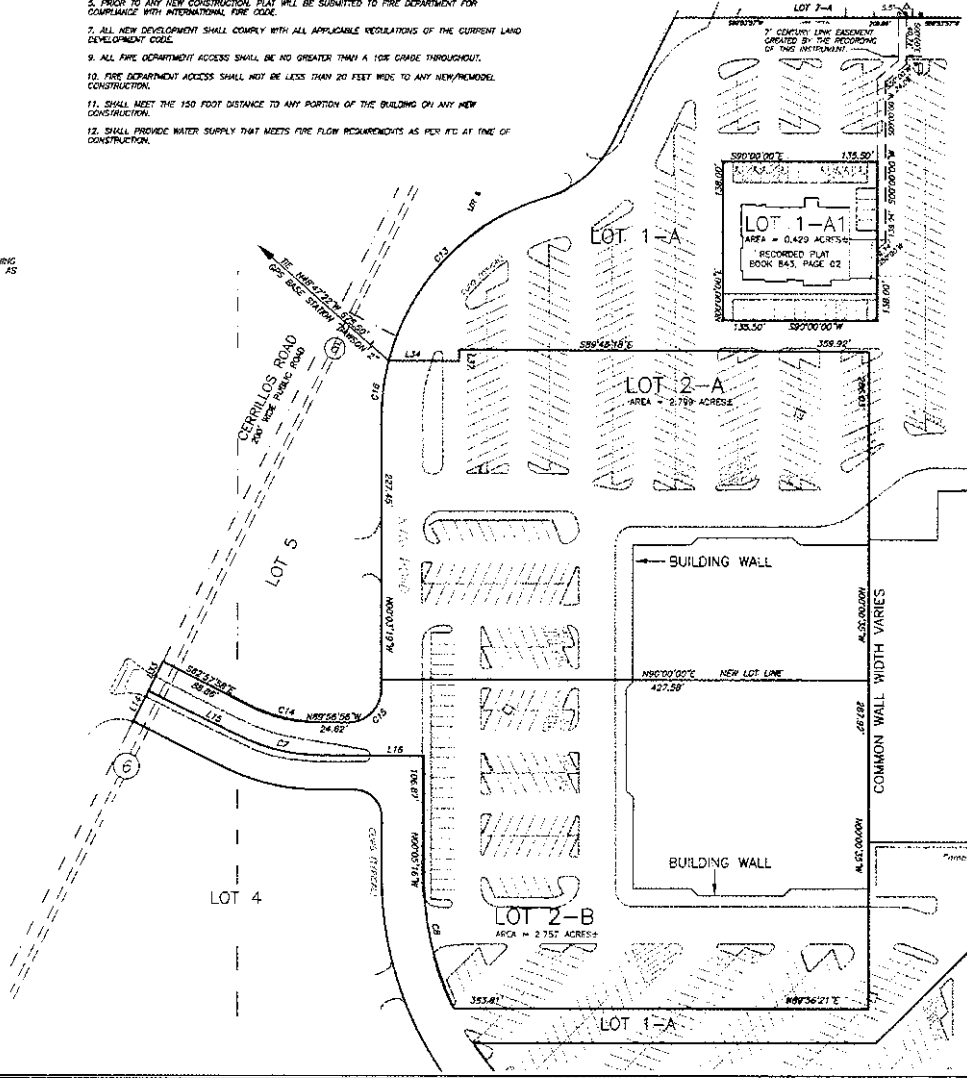
LEGEND:

BASED ON BEARINGS IS CLASS A ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR BRIDGEMAN & BROWN REAL ESTATE INVESTMENT LLC, RECORDED AUG. 17, 2007 IN PLAT 81-862, PG. 41 OFFICE OF THE SANTA FE COUNTY CLERK.

- UD DENOTES URBAN, OR AS SHOWN FOUND
- DB DENOTES DEED, OR AS SHOWN SET
- OC DENOTES CALCULATED POINT NOT SET
- DF DENOTES FIRE HYDRANT
- CS DENOTES CATCH BASIN SEWER MANHOLE UNLESS OTHERWISE NOTED
- CD DENOTES CLEAN OUT
- DM DENOTES DRAIN MANHOLE
- LS DENOTES LAMP STANDARD
- HL DENOTES HANDICAP PARKING
- HC DENOTES BOUNDARY OF LANDS DEALT WITH BY THIS PLAT

CONTROL REFERENCE:

BEARINGS ARE REFERRED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM (NAD83) CONTROL ZONE. DISTANCES SHOWN ARE REFERRED TO 6800' HWSL TO CONVERT TO GRID DISTANCES MULTIPLY BY A SCALE FACTOR OF 0.999963983



Edward M. Trullillo
EDWARD M. TRULLILLO 11/09/12153 4-21-2022 DATE



139	S29°52'50.7" W	29.97
140	N89°00'00.0" E	33.41
141	N20°00'00.0" W	3.28
142	N20°00'00.0" E	60.34
143	S20°00'00.0" E	15.87
144	S20°00'00.0" E	21.80
145	N20°00'00.0" E	41.42
146	S20°00'00.0" W	37.31

147	S20°00'00.0" W	37.31
148	N20°00'00.0" E	41.42
149	S20°00'00.0" E	21.80
150	S20°00'00.0" E	15.87
151	N20°00'00.0" W	3.28
152	N89°00'00.0" E	33.41
153	S29°52'50.7" W	29.97

1904E

NOTES:

1. THIS PLAT SUBJECT TO RESTRICTIONS AND EASEMENTS OF RECORD AS SHOWN ON PLAT RECORDED IN BOOK 781, PAGE 14-17.
2. THIS PLAT SUBJECT TO WAIVER RESTRICTIONS, COMMENTS AND EASEMENTS OF RECORD AND ANY OTHER WAIVER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY UNCOVER. ONLY THE RECORD DOCUMENTS NOTED HEREON WERE PROVIDED TO OR DISCOVERED BY DAWSON SURVEYS INC. NO ABSTRACT CURRENT TITLE COMMITMENT WORK GROUP RECORDED TITLE DOCUMENTATION WAS PROVIDED TO DAWSON SURVEYS INC.
3. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCD 2001 AND SUBSEQUENT AMENDMENTS.
4. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND/OR DEVELOPMENT PLAN RESUBMITTING WITH THE COUNTY CLERK OF SUBMITTER FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCD 1987 AND SUBSEQUENT AMENDMENTS.
5. PRIOR TO ANY NEW CONSTRUCTION, PLAT WILL BE SUBMITTED TO FIRE DEPARTMENT FOR COMPLIANCE WITH INTERNATIONAL FIRE CODE.
7. ALL NEW DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE CURRENT LAND DEVELOPMENT CODE.
9. ALL FIRE DEPARTMENT ACCESS SHALL BE NO GREATER THAN A 10% GRADE THROUGHOUT.
10. FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20 FEET WIDE TO ANY NEW/REWORKED CONSTRUCTION.
11. SHALL MEET THE 150 FOOT DISTANCE TO ANY PORTION OF THE BUILDING ON ANY NEW CONSTRUCTION.
12. SHALL PROVIDE WATER SUPPLY THAT MEETS FIRE FLOW REQUIREMENTS AS PER IFC AT TIME OF CONSTRUCTION.

REFERENCE DOCUMENTS:

ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR SANTA FE MALL PROPERTY OWNER LLC, RECORDED NOVEMBER 23, 2014, IN BOOK 781, PAGE 14-17.

ALL PLATS AND DOCUMENTS NOTED HEREON.

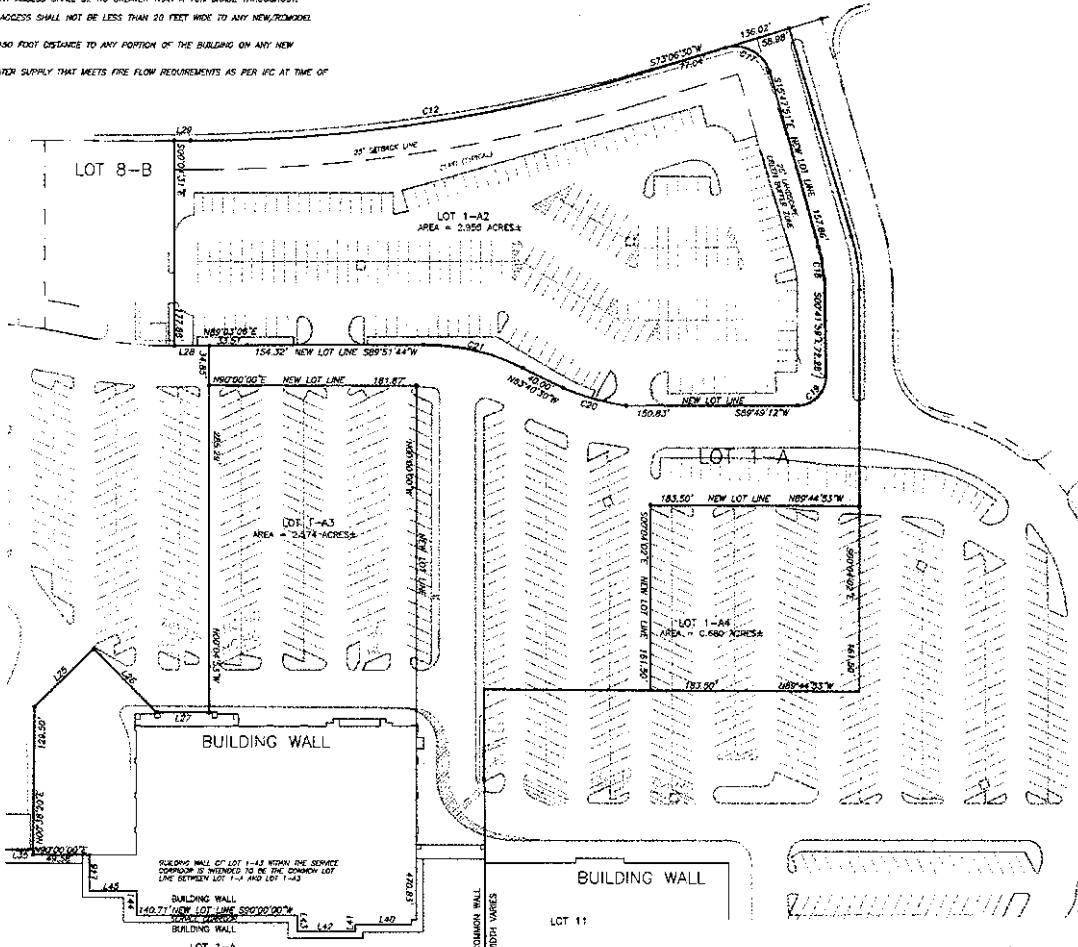
CONTROL REFERENCE:

BEARINGS ARE REFERRED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, NAD83 CENTER ZONE. DISTANCES SHOWN ARE REFERRED TO 8800' AMSL TO CORRECT TO GRID DISTANCES MULTIPLY BY A SCALE FACTOR OF 0.99999885.

FLOOD ZONE:

THIS PROPERTY LIES WITHIN ZONE "X" OTHER AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON F.I.R.M. PANEL 32049C03940, DATED JUNE 17, 2005.

SUBDIVISION PLAT
WITHIN LOT 1-A AND LOT 2
AS SHOWN ON ALTA/ACSM LAND TITLE SURVEY
RECORDED IN BOOK 781 PAGE 14-17.
PREPARED FOR
SANTA FE MALL PROPERTY OWNER LLC.
ALL WITHIN SECTION 7 & 8, T17N, R9E, NMPM
CITY AND COUNTY OF SANTA FE NM



LEGEND:

BASED ON BEARINGS IS CLASS A ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR BUDDOCK & BROWN REAL ESTATE INVESTMENT LLC, RECORDED AUG. 17, 2007 IN PLAT 84,662, P4-41 OFFICE OF THE SANTA FE COUNTY CLERK.

UTILITY SYMBOLS SHOWN LARGER THAN ACTUAL SIZE FOR VIEWING PURPOSES.

- DENOTES REBAR, OR AS SHOWN FOLLO
 - DENOTES REBAR, OR AS SHOWN SET
 - DENOTES CALCULATED POINT NOT SET
 - DENOTES FIRE HYDRANT
 - DENOTES SANITARY SEWER MANHOLE UNLESS OTHERWISE NOTED
 - DENOTES CLEAN OUT
 - DENOTES DRAIN PILEY
 - DENOTES LAMP STANDARD
 - DENOTES MANHOLE PILING
 - DENOTES BOUNDARY OF LANDS DEALT WITH BY THIS PLAT
- INFORMATION OUTSIDE OF THIS BOUNDARY IS BACKGROUND INFORMATION ONLY, NOT NEEDED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

1-A3	S22°37'50"W	29.57
CAG	N40°00'00"E	53.01
L41	N52°00'00"W	8.98
L42	N50°00'00"E	50.54
L43	S00°00'00"E	13.83
L44	S00°00'00"E	21.09



Edward M. Trujillo
 EDWARD M. TRUJILLO, NMS#12252 4-21-2020 DATE

SHEET 4 OF 6

V-103
 DAWSON SURVEYS INC.
 PROFESSIONAL LAND SURVEYORS
 2302 S CAMPUS ENTRADA
 SANTA FE, NM 87507
 P. 505.958.8100 F. 505.958.8101
 1701-E

NOTES:

1. THIS PLAT SUBJECT TO RESTRICTIONS AND EASEMENTS OF RECORD AS SHOWN ON PLAT RECORDED IN BOOK 781, PAGE 14-17.
2. THIS PLAT SUBJECT TO VALID RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD AND ANY OTHER VALID FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. ONLY THE INTERESTS ACCURATELY NOTED HEREON WERE PROVIDED TO OR DISCLOSED BY DAWSON SURVEYS INC. NO ABSTRACT, CURRENT TITLE COMMITMENT NOR OTHER RECORDED TITLE DOCUMENTATION WAS PROVIDED TO DAWSON SURVEYS INC.
3. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SPCC 2001 AND SUBSEQUENT AMENDMENTS.
4. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND OR DEVELOPMENT PLAN RECORDS WITH THE COUNTY CLERK OR SUFFICIENT TOP A BUILDING POINT APPROXIMATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SPCC 1987 AND SUBSEQUENT AMENDMENTS.
5. PRIOR TO ANY NEW CONSTRUCTION, PLAT WILL BE SUBMITTED TO FIRE DEPARTMENT FOR COMPLIANCE WITH INTERNATIONAL FIRE CODE.
6. ALL NEW DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE CURRENT LAND DEVELOPMENT CODE.
7. ALL FIRE DEPARTMENT ACCESS SHALL BE NO GREATER THAN A 10% GRADE THROUGHOUT.
8. FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20 FEET WIDE TO ANY NEW/REMODEL CONSTRUCTION.
9. SHALL MEET THE 156 FOOT DISTANCE TO ANY PORTION OF THE BUILDING ON ANY NEW CONSTRUCTION.
10. SHALL PROVIDE WATER SUPPLY THAT MEETS FIRE FLOW REQUIREMENTS AS PER IFC AT TIME OF CONSTRUCTION.

REFERENCE DOCUMENTS:

ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR SANTA FE MALL PROPERTY OWNER LLC, RECORDED NOVEMBER 23, 2014, IN BOOK 781, PAGE 14-17.
ALL PLATS AND DOCUMENTS NOTED HEREON.

CONTROL REFERENCE:

BEARINGS ARE REFERRED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, NAD83 CENTRAL ZONE. DISTANCES SHOWN ARE REFERRED TO 6800' AXIS. TO CONVERT TO GRID DISTANCES MULTIPLY BY A SCALE FACTOR OF 0.999993053.

FLOOD ZONE:

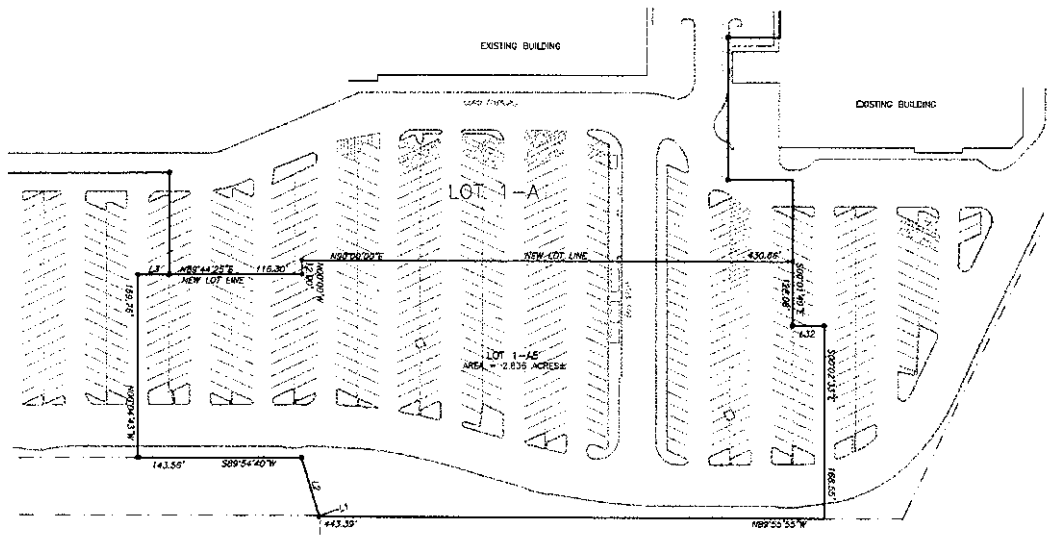
THIS PROPERTY LIES WITHIN ZONE "X" OTHER AREAS" DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON F.I.R.M. PANEL 3308000220A, DATED JUNE 17, 2006.

LEGEND:

BASED ON BEARINGS IS CLASS A ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR BARON & BROWN REAL ESTATE INVESTMENT LLC, RECORDED AUG. 17, 2007 IN PLAT 04.062, P.041 OFFICE OF THE SANTA FE COUNTY CLERK.
UTILITY SYMBOLS SHOWN LARGER THEN ACTUAL SIZE FOR VIEWING PURPOSES.

- DENOTES REBAR OR AS SHOWN FOUND
- DENOTES REBAR OR AS SHOWN SET
- DENOTES CALCULATED POINT NOT SET
- DENOTES FIRE HYDRANT
- DENOTES SANITARY SEWER MANHOLE UNLESS OTHERWISE NOTED
- DENOTES CLEAN OUT
- DENOTES DRAIN INLET
- DENOTES JUMP STANDARD
- DENOTES HANGAR PARKING
- DENOTES BOUNDARY OF LANDS DEALT WITH BY THIS PLAT INFORMATION OUTSIDE OF THIS BOUNDARY IS BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

SUBDIVISION PLAT
WITHIN LOT 1-A AND LOT 2
AS SHOWN ON ALTA/ACSM LAND TITLE SURVEY
RECORDED IN BOOK 781 PAGE 14-17.
PREPARED FOR
SANTA FE MALL PROPERTY OWNER LLC.
ALL WITHIN SECTION 7 & 8, T17N, R9E, NMPW
CITY AND COUNTY OF SANTA FE, NM



L40	87233.90' W	29.57'
L40	100700.00' E	27.41'
L41	100700.00' W	3.38'
L42	100700.00' E	80.20'
L43	500700.00' E	15.81'
L44	500700.00' E	27.62'

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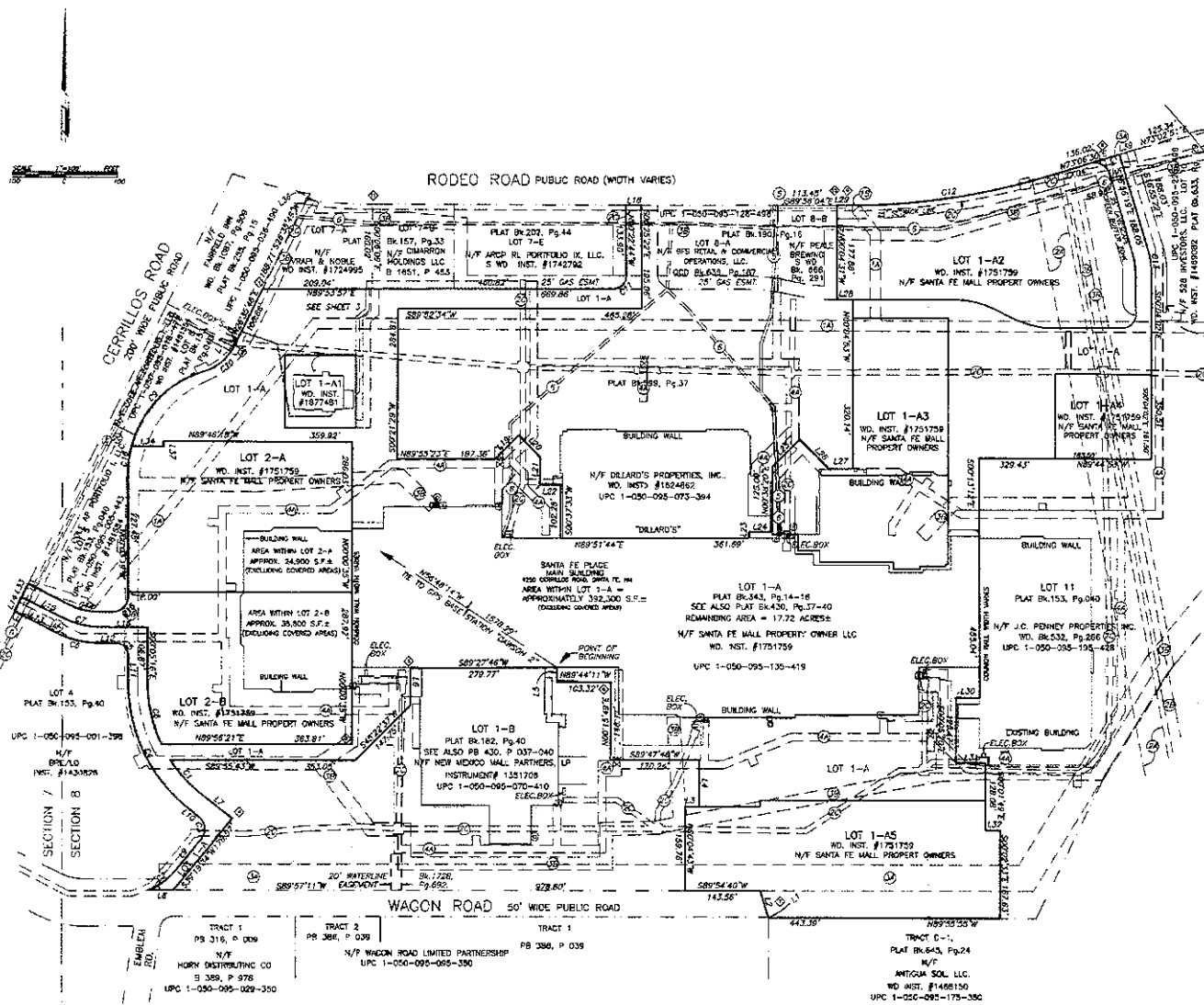
Edward M. Trullala
EDWARD M. TRULLALA 4-21-2020 DATE
NMPW 12382



DAWSON SURVEYS INC.
PROFESSIONAL LAND SURVEYORS
2300 N. GARDEN AVENUE
SANTA FE, N.M. 87507
P. 505-834-5100 DATE: 04/21/20

104-E

SUBDIVISION PLAT
WITHIN LOT 1-A AND LOT 2
AS SHOWN ON ALTA/ACSM LAND TITLE SURVEY
RECORDED IN BOOK 781 PAGE 14-17.
PREPARED FOR
SANTA FE MALL PROPERTY OWNER LLC.
ALL WITHIN SECTION 7 & 8, T17N, R9E, NMPM
CITY AND COUNTY OF SANTA FE NM



- MONUMENTATION NOTES:**
- ◇ FOUND REBAR N81°27'42"E, 2.27' FROM CORNER
 - ◇ FOUND REBAR N81°33'54"E, 3.24' FROM CORNER
 - ◇ FOUND 7" IN CONCRETE IN CORNER
 - ◇ FOUND REBAR S47°46'28"E, 1.10' FROM CORNER
 - ◇ FOUND WAL AND WISHER N85°26'52"E, 0.75' FROM CORNER
 - ◇ FOUND 7" IN CONCRETE IN CORNER
 - ◇ FOUND 7" IN CONCRETE W16°45'N, 2.87' FROM CORNER
 - ◇ FOUND WAL N14°40'07"E, 2.37' FROM CORNER
 - ◇ FOUND WAL AND WISHER N74°15'03"E, 1.37' FROM CORNER
 - ◇ FOUND REBAR N80°40'19"W, 0.34' FROM CORNER
 - ◇ FOUND 7" IN CONCRETE N55°18'17"E, 0.54' FROM CORNER
 - ◇ FOUND 7" IN CONCRETE N57°14'34"W, 4.57' FROM CORNER
 - ◇ FOUND REBAR IN CORNER
 - ◇ FOUND REBAR S10°25'47"E, 3.85' FROM CORNER
 - ◇ FOUND REBAR S89°42'59"E, 3.85' FROM CORNER

- EASEMENT LEGEND:**
1. 20' WIDE POWERLINE EASEMENT RECORDED IN BK.254, PG.713 DESIGNATOR (28)
 2. 20' WIDE POWERLINE RECORDED IN BK.207, PG.74, DENTLAW DEED ASSIGNMENT RECORDED IN BK.254, PG.859 DESIGNATOR (2A)
 3. 15' WIDE SEWER EASEMENT BK.374, PG.790, DESIGNATOR (18)
 4. 50' WIDE GASLINE EASEMENT RECORDED IN BK.501, PG.830 DESIGNATOR (2A)
 5. 15' WIDE WATERLINE EASEMENT RECORDED IN BK.225, PG.109 DESIGNATOR (1A)
 6. 5' WIDE UNDERGROUND TELEPHONE EASEMENT RECORDED IN BK.225, PG.117 DESIGNATOR (1)
 7. 25' WIDE GASLINE EASEMENT RECORDED IN BK.529, PG.121 DESIGNATOR (38)
 8. 20' WIDE SEWER EASEMENT RECORDED IN BK.225, PG.123 DESIGNATOR (1A)
 9. VARYING WIDTH UNDERGROUND ELECTRIC EASEMENT RECORDED IN BK.225, PG.113 AND AMENDED BY BK.557, PG.808, BK.389, PG.824 AND BK.574, PG.777 DESIGNATOR (2C)
 10. 5' WIDE CABLE TELEVISION LINE RECORDED IN BK.330, PG.152 DESIGNATOR (3)
 11. ACCESS EASEMENT RECORDED IN BK.532, PG.768 DESIGNATOR (7)

Edward M. Trullio
EDWARD M. TRULLIO, NPS#12352 4-21-2020 DATE



TRACT 1 PB 316, P. 009 N/F HORN DISTRIBUTING CO B 389, P. 378 UPC 1-050-095-029-350

TRACT 2 PR 386, P. 039 N/F WAGON ROAD LIMITED PARTNERSHIP UPC 1-050-095-095-390

TRACT 1 PB 386, P. 039

TRACT 0-1 PLAT BK.643, PG.24 N/F ANTIQUA SOL, LLC WD. INST. #1466150 UPC 1-050-095-179-390

Bohannon  Huston



JENKINS GAVIN
LAND USE PROJECT MANAGEMENT



SANTA FE PLACE

PARKING DEMAND
STUDY



AUGUST
2019

Santa Fe Place Mall Redevelopment Parking Demand Study

August 2019

Prepared for:
City of Santa Fe

Prepared by:
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

Bohannon  Huston



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INTRODUCTION

This study considers parking needs associated with the proposed redevelopment of the Santa Fe Place Mall, a regional shopping center located in southwest Santa Fe, NM. The proposed development would increase the leasable square footage of the shopping center, add multi-family housing, and reduce the size and amount of the site dedicated to surface parking lots. A parking structure is also being considered for the site that would be used by multi-family tenants.

Site location, types of users, available transportation options, and many other issues can all influence the level of parking demand at a given site. The purpose of this study is to consider the factors influencing parking demand and their applicability to the site, as well as the appropriateness of developing the Santa Fe Place Mall site with fewer parking spaces than typically required by the City Code. The study also considers some of the secondary or co-benefits associated with the proposed redevelopment.

The site is currently zoned as a SC-3 regional shopping center, which requires 5 spaces per 1,000 square feet (SF) of net leasable area (NLA). The site currently contains 2,959 parking spaces and 537,150 SF NLA, making the current site over-parked by 408 spaces under the City Code. A critical finding of this study is that the requirements imposed by the Santa Fe City Code are greater than cities of comparable size and transportation characteristics. If one were to apply a rate of 4 spaces per 1000 SF NLA as the new baseline, as proposed by the developer, a total of 2,386 spaces would be required for current retail use. This study demonstrates that the proposed parking levels are appropriate for the site, while redevelopment would support a number of positive urban planning and policy goals. Further, the transportation access to the site – the mall is well-served by transit and is within walking distance of a surprising number of nearby residents – make it reasonable to assume a growing number of trips will be taken by non-auto modes.

This study addresses four sets of impacts associated with the site and establishes that the resulting available parking after those impacts is appropriate. The impacts to parking supply at the Santa Fe Place Mall include:

1. Two new retail/restaurant sites
2. 150-unit multi-family housing development
3. Reduced parking supply due to redevelopment of surface lots
4. Addition of a parking garage with 208 reserved spaces for residential use

TABLE 1: PARKING SUPPLY FOR EXISTING CONDITIONS AND PROPOSED DEVELOPMENT SCENARIO

	Existing Conditions	Proposed Development
Available Parking Spaces	2,959	2,500-2,708*
Net Leasable Area	537,150 SF	576,350 SF
Parking Rate	5 spaces per 1,000 SF net leasable area	4 spaces per 1,000 SF net leasable area
Required Parking[^]	2,551	2,933 using current City Code 2,386 using proposed parking rate

*Dependent upon construction of parking structure

[^]Includes 5% parking reduction due to presence of transit center

SHOPPING MALL REDEVELOPMENT AND PARKING TRENDS

The redevelopment of the Santa Fe Place Mall is part of a movement toward “greyfield” development in which vast and underutilized parking lots are redeveloped to reenergize existing sites and create more walkable mixed-use shopping centers. As one of its *10 Principles for Re-Thinking the Mall*,¹ the Urban Land Institute suggests that developers design parking as “more than a ratio” in order to reduce the land area devoted to parking and allow buildings to be closer together and more tightly integrated. The authors contend that “too much parking makes an environment less pedestrian-friendly and wastes space that could be used for development.” To better utilize the available development potential, and increase the customer satisfaction at the mall, the Urban Land Institute provides a range of suggestions for developers, including:

- *Size prime parking lots and structures for reasonable demand; provide for peak parking in overflow areas.*
- *Use parking and building configurations that provide convenience and avoid visual blight.*
- *Create parking within the context of a carefully designed landscape.*
- *Use structured parking (when it is justified by higher land prices) to provide a more urban configuration and to make more land available for development.*
- *Consider bicycle parking and make the pedestrian experience more interesting by encouraging activities and uses at ground level around parking garages and lots.*
- *Implement a shared parking plan that will serve different uses at different times.*

CASE STUDY: DURHAM, NORTH CAROLINA

The Streets at Southpoint in Durham, NC, is a regional, enclosed shopping center that opened in 2002. In 2017, Brookfield Retail Properties sought to develop underused parking areas into retail space through a multi-phase master plan. According to one of the principal planners in the project, the plan “connects the already strong vehicular and pedestrian routes with new routes, linking the entire property and its new uses together into a whole greater than the sum of its parts.”¹ By reducing the amount of space dedicated surface parking in favor of usable space, and through potential on-site improvements, the Santa Fe Place Mall redevelopment could address similar goals of improved connectivity and walkability to those set forth in contemporary redevelopments like the Streets at Southpoint.

¹ Beyard, Corrigan, Kramer, Pawlukiewicz, and Bach. 2006. *10 Principles for Re-Thinking the Mall*. Urban Land Institute.

CURRENT PARKING UTILIZATION

Because of the highly variable rates of parking by time of the year, day of the week, and time of day, tracking parking rates at large shopping malls can be challenging except as a large-scale and longitudinal research undertaking. Anecdotally, and based on reviews of satellite imagery over time, the parking supply at the Santa Fe Place Mall appears to greatly (and consistently) exceed demand. A satellite image capture from Google Earth illustrates a typical level of parking utilization at mid-day on a Saturday in 2017, typically the busiest day of the week for shopping malls (see **Figure 1**). Historical satellite imagery showcases a similar pattern of underutilization of parking dating back to 2009 (**Appendix A**).

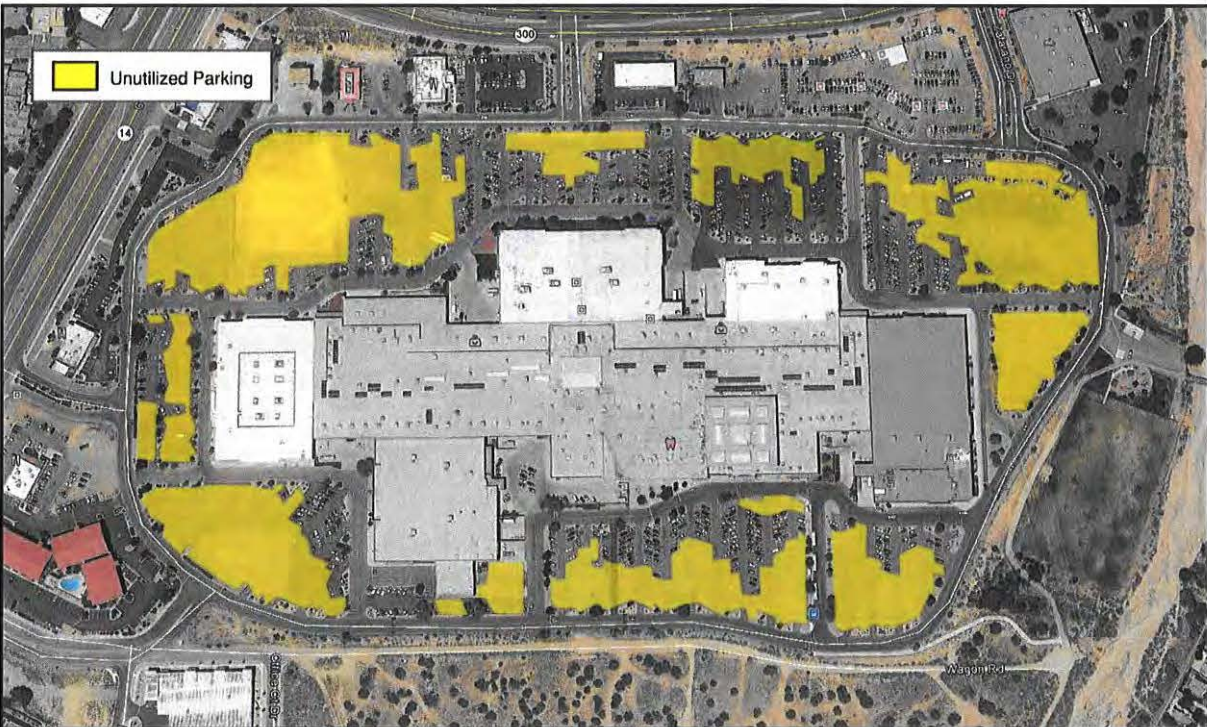


FIGURE 1: SANTA FE PLACE MALL PARKING UTILIZATION (SATURDAY, JUNE 10, 2017)

REDEVELOPMENT CHARACTERISTICS

The proposed Santa Fe Place Mall redevelopment will promote infill development on existing parking sites within the mall property boundary. In addition to the existing uses, new retail/restaurant space and a multi-family apartment complex will be added to the site. A parking structure is under consideration

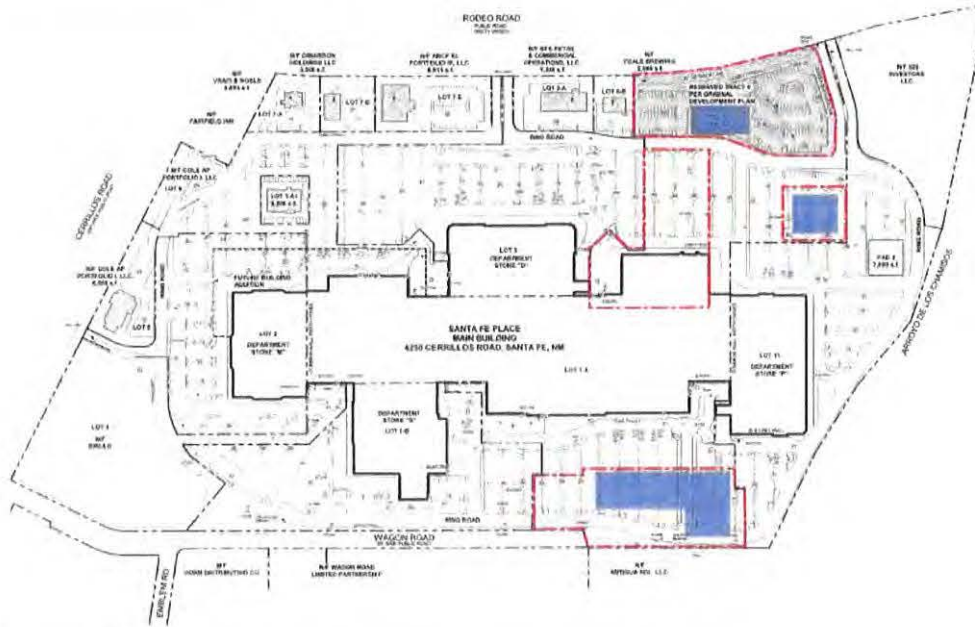


FIGURE 2: SANTA FE PLACE MALL PARKING UTILIZATION (SATURDAY, JUNE 10, 2017)

ADDITIONAL RETAIL/RESTAURANTS

The proposed Santa Fe Place Mall redevelopment will provide two new retail/restaurant spaces within the site. The larger of the developments will be on Lot 1A-2 and will have 24,000 SF of GFA and 19,200 SF of NLA. The smaller development on Lot 1A-4 will have 18,000 SF GFA and 14,400 SF NLA. At current parking requirements of 5 spaces per 1,000 SF NLA, these developments would require 96 spaces for Lot 1A-2, and 72 spaces for Lot 1A-4, totaling 168 spaces. However, at a reduced parking rate of 4 spaces per 1,000 SF NLA, lot 1A-2 would require 77 parking spaces while lot 1A-4 would require 77 parking spaces, totaling 134 spaces (34 less than currently required).

An additional pad site (Lot 11) is an established use and may be subject to development. The site is not part of the current proposal but is considered part of the study as its development would impact both parking supply and demand. Lot 11 is anticipated to include 5,600 SF NLA and require 28 spaces under the current City Code. Including Lot 11, all new retail/restaurant developments would increase the parking demand by 196 spaces under the current City Code and reduce the available supply by 223 spaces.

TABLE 2: CURRENT AND PROPOSED PARKING REQUIREMENTS FOR SANTA FE PLACE MALL DEVELOPMENT SITES

Lot	Purpose	Gross Leasable Area (SF)	Net Leasable Area (SF)	Required Parking (Current Code)	Current Parking Required	Proposed Parking Ratio	Proposed Parking Amount	Difference (Current versus Proposed)	Parking Spaces Removed
11*	Retail / Restaurant	7,500	5,600	5 spaces / 1,000 SF NLA	28	4 spaces / 1,000 SF NLA	22	-6	40
1A-2	Retail / Restaurant	24,000	19,200	5 spaces / 1,000 SF NLA	96	4 spaces / 1,000 SF NLA	77	-19	87
1A-4	Retail / Restaurant	18,000	14,400	5 spaces / 1,000 SF NLA	72	4 spaces / 1,000 SF NLA	58	-14	96
1A-5	Housing	150 units		1.375/unit	206	1.375 spaces / unit	206	0	236
Total					402		363	-39	459

*Note: Lot 11 is a currently established use, though it is undeveloped.

MULTI-FAMILY APARTMENT COMPLEX

The proposed Santa Fe Place Mall redevelopment will also include a new 150-unit multi-family housing complex on Lot 1A-5. Though the exact mix of units has not yet been determined, the developer anticipates a mixture of studio, 1-bedroom, and 2-bedroom units, including some units over 800 SF. The square footage of proposed units influences parking requirements; the Santa Fe City Code requires 1.25 parking spaces per unit under 800 square feet of heated floor area, with 1.5 spaces required for units from 800-1200 SF and 2 spaces for units greater than 1200 SF. Assuming an average of 1.375 spaces per unit – or an equal number of apartments below and above 800 SF – the apartment complex would require 206 dedicated parking spaces.

To ensure a sufficient supply of parking, the developer is considering a four-story structured parking with 208 spaces. The concept at the time of this study is that the spaces would be reserved for multi-family tenants. The garage would have a footprint of approximately 21,500 SF footprint and would provide 52 spaces per floor. Additional parking demand associated with the housing development, if any, could reasonably be supplied by non-reserved spaces at the Santa Fe Place Mall and would have no impact on surrounding properties.

The multi-family development is itself a prime candidate for reduced levels of parking, due to its proximity to amenities, transit, and employment. Further, the co-location of housing with a shopping center offers potential shared parking benefits as the peak demand for shopping malls (i.e. during the day) is the opposite of peak parking demand for housing (i.e. overnight). While no reduction in parking is necessary for the multi-family portion of the development under the proposed development scenario, it is important to note that the presence of the multi-family development will likely have little spillover into the mall’s parking supply.

TOTAL CHANGES TO EXISTING PARKING SUPPLY

Redevelopment using the proposed build-out scenario would result in a net change of 459 spaces removed and converted into productive use. Overall, the Santa Fe Place Mall would have a total of 2,500 parking spaces available for retail/commercial users and residents. Table 3 depicts the current and proposed parking levels under the current City Code requirements (i.e. 5 spaces per 1,000 SF NLA) and for the levels proposed by the developer (i.e. 4 spaces per 1,000 SF NLA). The values provided below do not include the proposed parking garage, which could add 208 spaces based on the current conceptual design. Although the development would require 434 more parking spaces than would be available under the current City Code, the providing parking at the proposed rate would result in a parking overage of 114 spaces.

TABLE 3: CHANGES TO EXISTING PARKING SUPPLY AND FINAL PARKING AMOUNTS

	Current Requirements	Proposed Requirements
Current Required Parking Supply	2,552	2,042
Total Existing Parking Available	2,959	2,959
Impacts to Parking Supply	-459	-459
Total Available Supply	2,500	2,500
Additional Required Supply	402	363
Transit Parking Reduction (5%)	20	18
Total Required Supply After Development	2,934	2,386
Difference between Supply and Required Levels	-434	114

PROPOSED SUPPLY VERSUS CODE REQUIREMENTS

Under current City Code requirements of 5 spaces per 1,000 SF NLA, and once the 5% reduction for the transit center is accounted for, the Santa Fe Place Mall redevelopment would require 2,933 spaces to meet current and proposed commercial and residential needs. However, the redevelopment provides parking at levels comparable or above the requirements of other communities. At a reduced parking ratio of 4 spaces per 1,000 SF NLA, as proposed by the developer, the site would only necessitate 2,386 parking spaces following construction of the retail sites and the multi-family housing complex.

PARKING OVERAGE AND POTENTIAL DEVELOPMENT OPPORTUNITIES

Another way to conceive of the parking supply issue is to evaluate the excess parking available if one were to apply the both the existing and the proposed parking rates to the current NLA for the Santa Fe Place Mall. At present there are 408 more spaces than required. Under the proposed rate, the current parking overage would be 918 spaces. However, this overage would be decreased by the loss of surface parking from development (i.e. 459 spaces) plus the added demand for commercial and residential needs.

STUDIES AND POLICIES SUPPORTING REDUCED PARKING SUPPLIES

Parking is consistently oversupplied throughout the United States, largely due to overly-excessive minimum parking requirements. The provision of high levels of parking regularly results in inefficient use of land, and parking lots that are rarely, if ever, full. (Researchers at the University of California at Berkeley's Department of Civil and Environmental Engineering found that there are nearly four parking spaces for every American.²) This phenomenon can be observed in cities and towns of all sizes. According to a study which examined 27 mixed-use districts in small towns, suburbs, and cities, 65 percent of parking had an oversupply of greater than 15 percent of spaces open. The study also found that parking was oversupplied even in areas where there is a perceived shortage of parking, and that "better parking management could be a more effective tool for mitigating perceived shortages than would an increased supply [of parking]."³

RETAIL/COMMERCIAL PARKING

The Institute of Transportation Engineers (ITE) *Parking Generation Manual* provides the average parking demand for shopping centers on both weekdays and Saturdays, the busiest mall day of the week. The ITE manual identified an average parking demand of 2.55 spaces per 1000 SF GLA for weekdays, and 2.87 spaces per 1,000 SF GLA on Saturdays. The manual also reports 85th percentile utilization rates of 3.16 spaces per 1,000 SF GLA on weekdays and 3.4 spaces per 1,000 SF GLA on Saturdays.⁴ This parking demand study converts the (see Table 4). ITE rates provided by GFA to NFA based on an assumption that 80% of the GFA is equal to the NFA.

If the observed Saturday 85th percentile parking demand rate of 2.73 spaces per 1,000 SF NLA (or 1 space per 366.3 SF NLA) were applied to the Santa Fe Place Mall, the mall could effectively operate today with only 1,466 spaces, or less than half of the current supply of 2,959. Applying the 85th percentile rate provided by the ITE Parking Generation Manual to the proposed development, the commercial demands equal 1,573 parking spaces. Table 4 summarizes the parking generation estimates and parking demand projections based on the 4th edition of the ITE Parking Generation Manual. It is important to note that the ITE shopping center land use code includes restaurants and outparcels in its assumptions. Thus, separate calculations by land use code are not applicable or necessary for shared parking between uses and consideration for shared parking uses is already accounted for in the overall shopping center rate.

² Mikhail Chester, Arpad Horvath and Samer Madanat. (2010). "Parking infrastructure: energy, emissions, and automobile life-cycle environmental accounting." *Environmental Research Letters*, Volume 5 (3).

³ Weinberger and Karlin-Resnick. (2014). *Parking in Mixed-Use U.S. Districts: Oversupplied No Matter How You Slice the Pie*.

⁴ An 85th percentile utilization rate refers to a high demand scenario in which only 15% of days have higher parking demand.

TABLE 4: ITE PARKING GENERATION – 4TH EDITION – SHOPPING CENTER PARKING DEMAND AND PROJECTIONS

Development Status	Time Period	Santa Fe Place Mall Net Leasable Area	Average Peak Parking Demand Rate (Spaces / 1,000 SF GLA)	85 th Percentile Parking Demand (Spaces / 1,000 SF GLA)	Adjusted Average Peak Parking Demand Rate* (Spaces / 1,000 SF NLA)	Adjusted 85 th Percentile Parking Demand Rate (Spaces / 1,000 SF NLA)	Projected Parking Needed Based on Adjusted ITE 85 th Percentile Parking Demand Rate
Current	Weekday	537,150 SF	2.55	3.16	2.04	2.53	1,359
	Saturday		2.87	3.40	2.30	2.73	1,466
Proposed	Weekday	576,350 SF	2.55	3.16	2.04	2.53	1,458
	Saturday		2.87	3.40	2.30	2.73	1,573

*The ITE currently provides parking demand data in number of spaces per SF GLA rather than spaces per SF NLA as required by Santa Fe City Code. To account for this discrepancy, an adjustment factor of 0.8 was applied to the ITE Parking Demand Rates to generate parking rates in units of NLA.

ITE also conducted a survey of shopping centers at the strip, neighborhood, community, regional and super regional level in mostly suburban areas and found that the amount of parking needed for shopping centers varied drastically between December and non-December months. Specifically, 37% less parking was occupied in the non-December months than in December.⁵ The study illustrates that the majority of parking minimums are designed to account for peak levels of demand, which only occurs in one month of the year, and results in mostly empty parking lots for the remaining 11 months of the year.

MULTI-FAMILY PARKING

As with commercial parking, parking minimums for multi-family housing are largely higher than the demand observed by researchers. A study of over 50 multi-family housing developments in Madison, WI found that an average of “30 percent of the parking spaces are vacant during peak demand hours.”⁶ This oversupply of parking observed in Madison is especially notable, as it occurs even though the city’s parking minimums for multi-family housing are currently lower than those required in Santa Fe (1 space/unit in Madison vs. 1.25–2 spaces/unit in Santa Fe). If the same average of 30% vacancy were applied to the 150-unit multi-family housing complex which will be added to the Santa Fe Place Mall site, the required amount of parking spaces could be reduced from the 206 currently required by city codes to only 144 spaces.

⁵ Parking Code Analysis - Regional Shopping Malls. Town of Hempstead.

⁶ Daniel Handel. (2016). Insights into Multifamily Residential Parking Demand for Madison, WI.

CASE STUDY: HEMPSTEAD, NY

In an effort to validate the ITE manual, the City of Hempstead, NY commissioned parking studies of two regional shopping centers: Green Acres Mall and Roosevelt Field Mall. On a typical Saturday in July, surveys found peak parking utilization to be 3.73 spaces per 1,000 SF GLA at Roosevelt Field Mall and 1.86 spaces per 1,000 SF GLA at Green Acres Mall (equal to 2.98 and 1.49 spaces respectively per 1000 SF NLA – assuming a standard 20% lower square footage associated with NLA than GLA.)

From aerial photography of “Black Friday,” the researchers also concluded that peak demand for Roosevelt Field Mall was 4.6 spaces per 1,000 SF GLA (3.7 spaces per 1000 SF NLA). Ultimately, the report concluded that shopping centers with a GLA of 400,000 – 599,000 SF, such as the Santa Fe Place Mall, should utilize a sliding scale of 4.0-4.5 spaces per 1,000 SF GLA (3.2-3.6 spaces per 1000 SF NLA) to determine their minimum parking requirements. Following the recommendations provided in the report, the Santa Fe Place Redevelopment’s proposed parking supply of 4 spaces per 1,000 SF NLA is greater than the range suggested by the City of Hempstead.

Source: *Parking Code Analysis - Regional Shopping Malls*. Town of Hempstead.

SHARED PARKING

One reason shopping malls can support reduced rates of parking relative to other retail sites is the efficiency that comes from shared parking, a parking strategy in which a singular parking facility serves multiple users. According to the Victoria Transport Policy Institute (VTPI), parking can often be shared among multiple destinations, such as an office building and a restaurant or theater, “since peak demand for offices occurs during weekdays and on weekend evenings for restaurants and theaters.” The VTPI goes on to note that shared parking is most successful if users and destinations have off-set peak periods, with 20-40% reductions often possible depending on the differences in peak demands between land uses.⁷ By their nature, shopping malls utilize shared parking for the collection of stores, entertainment, and restaurants, and same spaces can be used for development adjacent to the mall or within the mall parking lot itself. If the observed parking reduction of 20% observed by the VTPI is applied to the current required parking supply of 2,686 spaces, the site could still operate today with 2,149 spaces.

The impacts of the housing component of the development on overall parking demand for the Santa Fe Place Mall will also be mitigated by the benefits shared parking. In particular, the peak demand period for housing is after 7 PM, whereas the peak demand for retail and shopping malls is during daytime hours.

⁷ Todd Litman. *Parking Management: Comprehensive Implementation Guide*. Victoria Transportation Policy Institute. March 28, 2019.

PRIVATE SECTOR TRENDS IN PARKING SUPPLY

Large-scale retailers have also begun reevaluating their models for parking supply. Walmart, the largest retailer in the US, is known for its sprawling parking lots as much as its vast selection of products. However, beginning in 2018, Walmart has begun the process of adding “town-center-style retail buildings to a dozen or more of its U.S. properties as part of its Walmart Reimagined campaign, which is aimed at reutilizing excess parking space and boosting store traffic.” In addition to Walmart, Kohl’s is working to “develop parking acreage at some 300 stores, while Macy’s points to about 50 of its stores that it thinks may be conducive to such parking-lot repurposing.”⁸ This is illustrative of the private sector responding to the same trends and research which are currently leading municipal governments across the country to reduce parking supply and to favor productive uses of land rather than rigid parking minimums.

RESPONSES TO PARKING OVERSUPPLY

In response to parking oversupply, some cities are moving to eliminate mandatory minimum parking requirements altogether as part of their efforts to reduce dependency on single-occupancy vehicles, lower vehicle miles traveled, and simultaneously increase housing supply while lowering housing costs. The recently-approved *Minneapolis 2040 Plan* eliminates the requirement for off-street parking minimums throughout the city. The 2040 Plan acknowledges that “demand for parking will still result in new supply being built.” However, that supply is at the discretion of the developer and subject to the preferences of the consumer.⁹

Other cities that have eliminated parking requirements in their city include Buffalo, NY, Hartford, CT, Fayetteville, AR, and San Francisco, CA, while cities like Albuquerque, NM have recently taken steps to significantly reduce their parking requirements. Figure 2 shows a crowdsourced map by the organization Strong Towns identifies cities throughout North America that have either reduced or eliminated their parking requirements.¹⁰

⁸ Steve McLinden. December 6, 2018. *Inside Walmart’s plans to convert parking lots into ‘town centers’*. International Council of Shopping Centers.

⁹ City of Minneapolis Department of Community Planning and Economic Development. (2018). *Minneapolis 2040*.

¹⁰ StrongTowns. 2015. A Map of Cities That Got Rid of Parking Minimums. Retrieved from: <https://www.strongtowns.org/journal/2015/11/18/a-map-of-cities-that-got-rid-of-parking-minimums>. Accessed July 10, 2019

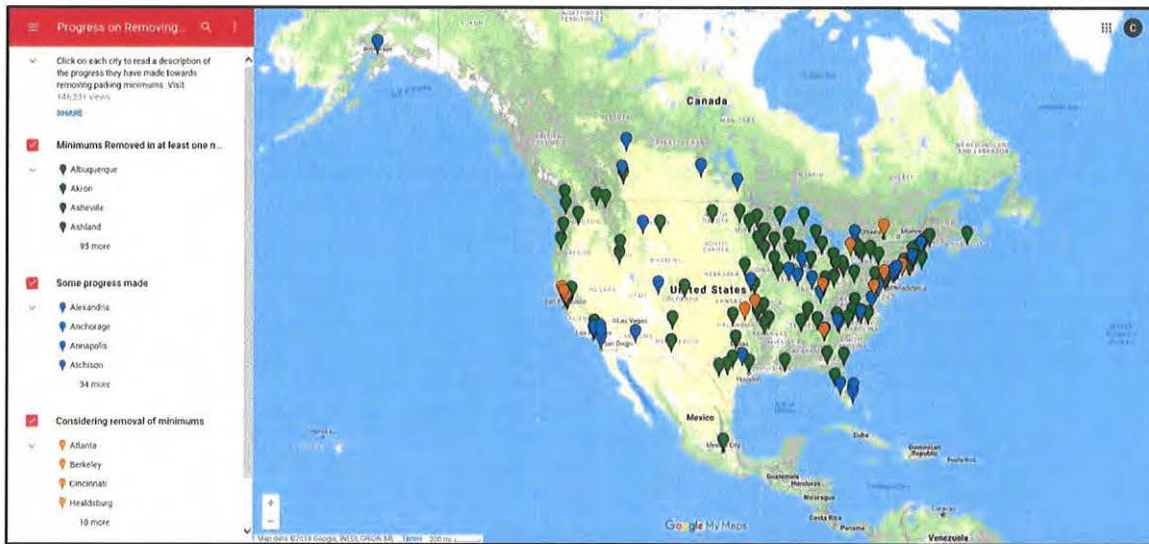


FIGURE 3: STRONGTOWNS CROWDSOURCED MAP OF REDUCED PARKING MINIMUMS

COMPARISON OF SANTA FE'S PARKING MINIMUMS TO OTHER CITIES

When compared to cities of various sizes throughout the country, Santa Fe's minimum parking requirements are high, even when compared to cities that have not lowered their minimum parking requirements in recent years. Table 5 shows a comparison of the minimum parking requirements for shopping centers and studio, 1, 2, and 3-bedroom multi-family dwelling units from a selection of cities throughout the country, as assembled by BHI. Santa Fe's requirement of 5 spaces per 1,000 SF NLA for shopping centers is the highest of the 13 cities selected for analysis, along with car-centric, suburban Rio Rancho. Santa Fe's multi-family parking minimums, while closer to average when compared to other cities, are more in line with those found in Houston, TX, one of the largest and most car-dependent cities in the nation, rather than a similar city like Boulder, CO, which only requires 1 parking space per unit for studio, 1, and 2 bedroom apartments and 1.5 spaces per unit for 3 bedrooms.

Table 5: Selected Parking Minimums for Shopping Centers and Multi-family Parking

City	Population (2017)	Shopping Center Parking Minimum per 1000 SF NLA	Multi-family Parking Minimum			
			Studio	1 Bed	2 Bed	3 Bed
Albuquerque, NM	558,545	4 spaces	1.5 spaces/unit 1 space/unit in "Urban Centers, Main Streets, and Premium Transit areas"			
Boulder, CO	107,125	4 spaces	1/unit	1/unit	1/unit	1.5/unit
Columbus, OH	879,170	3.6 spaces	1.5 spaces/unit			
Burlington, VT	42,239	0 – 3 spaces	1 space/unit for Shared Use or Downtown 2 spaces/unit for Neighborhood Districts			
Houston, TX	2.3 million	4 spaces	1.25/unit	1.33/unit	1.6/unit	2/unit
Iowa City, IA	75,798	4 spaces	1/ unit	1/unit	2/unit	2/unit

Las Cruces, NM	101,712	2.85 spaces	1.5 spaces/unit			
Madison, WI	52,932	2.5 spaces	1 space/unit			
Palm Desert, CA	52,932	4 spaces	2 spaces/unit			
Rio Rancho, NM	96,159	5 spaces	1.5/ unit	1.5/ unit	1.75/unit	2/unit
San Luis Obispo, CA	47,541	4 spaces	0.75 space per bedroom (no less than 1 space) plus 1 guest parking space per 5 units			
Santa Fe, NM	83,776	5 spaces	1.25/unit for < 800 SF 1.5/unit for 800-1,200 SF 2/unit for > 1,200 SF			
Salt Lake City, UT	200,544	2 spaces	0.5/unit	1/unit	2/unit	2/unit

Reducing parking minimums is not a novel idea for Santa Fe, as the city has already identified parking demand management as a key goal for development within the city moving forward. According to the *City of Santa Fe Land Use & Urban Design Plan*, “One of the biggest contributors to sprawl and poor land management can be found in the amount of land devoted to massive parking lots that are rarely, if ever, full.” The Plan further contends that the City should review and amend its parking requirements in the Land Development Code.¹¹ Through redevelopments like the Santa Fe Place Mall, the City of Santa Fe can begin to put the ideas laid out in this plan into action.

SITE CHARACTERISTICS AND LOCATION BENEFITS

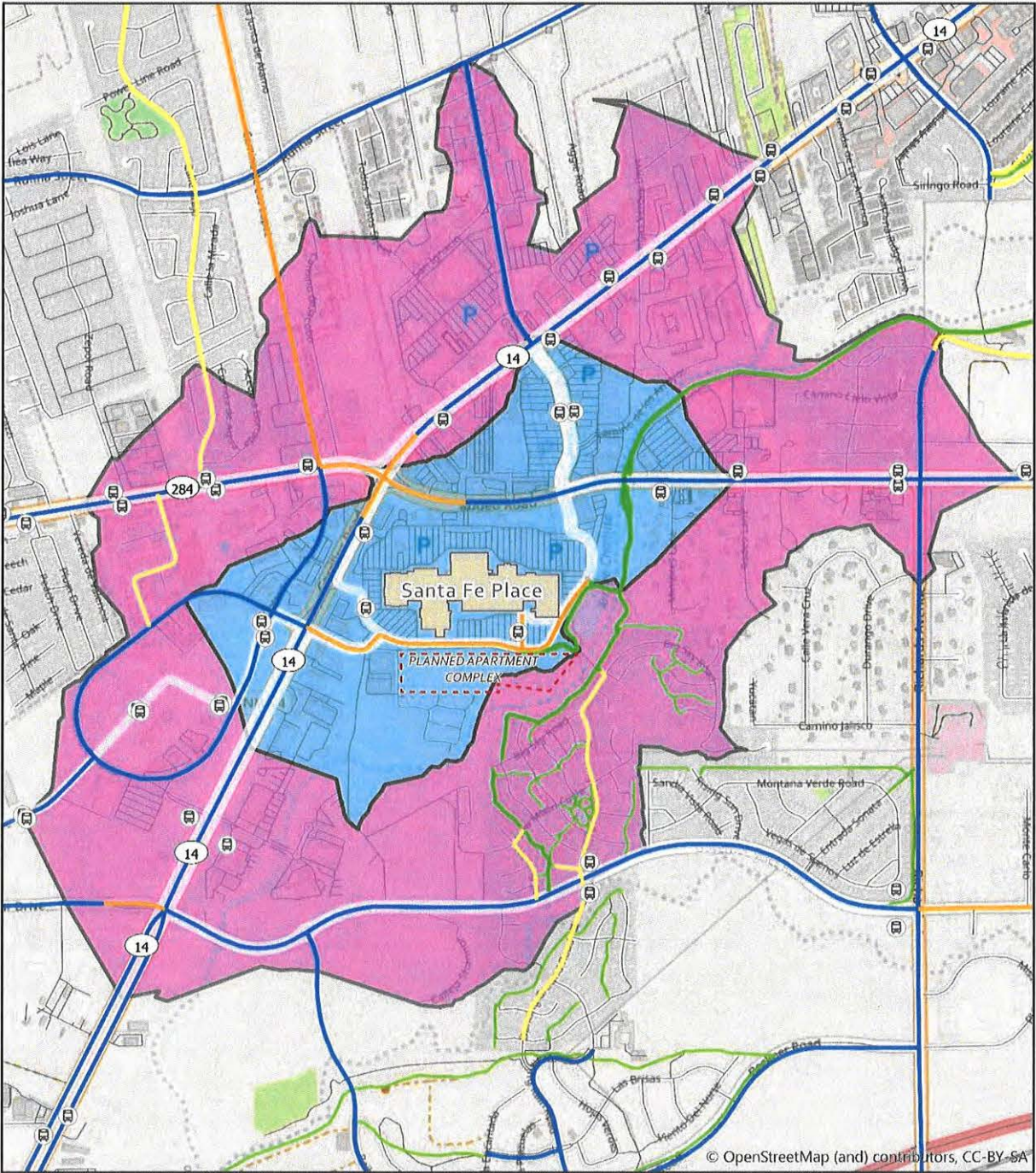
As one of the main hubs of activity in Santa Fe, the Santa Fe Place Mall is also a significant employment center in the region. This section describes the location benefits associated with additional development at the Santa Fe Place Mall in terms of access via alternative modes of transportation and the growing number of housing units in close proximity to retail and employment sites.

TRANSPORTATION ACCESS

The Santa Fe Place Mall is well-connected to the larger city of Santa Fe via public transit and bikeways. **Figure 3** depicts the Santa Fe Place Mall site in relation to nearby transportation facilities and major landmarks. These regional connections provide opportunities for patrons of the mall to access the site without a private vehicle, while allowing future residents of the multi-family housing the chance to commute to and access a wider set of destinations across the region. The figure also depicts the destinations that could be accessed within a 10-minute and 20-minute walk, utilizing the road and trail networks and assuming a standard walking speed of 3 MPH.

Transit service is available through the Santa Fe Place Transit Center, which is located at the southern end of the mall parking lot. The Transit Center functions as a transfer point, informal park and ride, and serves eight of the city’s bus routes, including high frequency service along Cerrillos Rd and connections to the New Mexico Rail Runner Express NM 599 station. See **Table 6** for transit routes and service frequencies.

¹¹ City of Santa Fe Long Range Planning Division. City of Santa Fe Land Use & Urban Design Plan.



- 10 Minute Walking Distance
- 20 Minute Walking Distance
- Santa Fe Place Mall
- Planned Apartment Complex

- Bus Stops
- Road Network
- City Bus System

- Onroad Bikeways**
- Bike Lane/Shoulder
 - Shared-Lower Traffic/Speed
 - Shared-Higher Traffic/Speed

- Trails**
- Paved - Major
 - Paved - Minor
 - Unpaved - Narrow

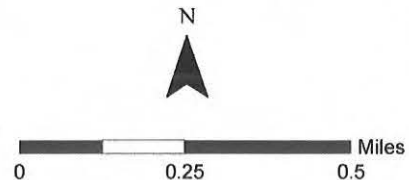


FIGURE 4: SANTA FE PLACE TRANSPORTATION AND TRANSIT SYSTEM

The Santa Fe Rail Trail, a multi-use trail which connects with many of the city’s other bike trails, is accessible directly to the east of the site (see Figure 3). Connections to the city’s on-street bike network are possible through Rodeo Rd and Camino Entrada.

TABLE 6: SANTA FE PLACE MALL TRANSIT CENTER ROUTES SERVICED

Route Number	Route Name	Frequency
1	Agua Fria	30 Minutes
2	Cerrillos	15 Minutes
4	Southside	30 Minutes
6	Rodeo Road	1 Hour
21	SF Community College	1 Hour 10 Minutes
22	Rancho Viejo/IAIA/SFCC	1 Hour
24	Country Club	35 Minutes
26	HSD / SF Fashion Outlets	1 Hour 10 Minutes

EMPLOYMENT AND HOUSING

The Santa Fe Place Mall already serves as a major employment center with an estimated 1,190 retail jobs associated with the mall proper.¹² Overall, the Santa Fe Place Mall site and the surrounding area is home to over 2,800 jobs within the immediate vicinity – as measured by a 10-minute walk from the edge of the mall building – and more than 5,700 total jobs within a 20-minute walking radius of the mall (Fig. 4). The commercial activity as part of the mall redevelopment will provide additional job sites and retail/shopping opportunities for nearby residents.

The redevelopment project is particularly noteworthy in creating additional housing opportunities in the area and increasing the number of residents within to access job sites, as well as retail and entertainment opportunities, without the use of a private vehicle. At the same time, additional housing means that employers in the area can draw from a growing nearby labor pool. In addition to the 150 multi-family housing units, the recently-approved Turquesa Apartments will add 240 units to the parcel immediately south of the Santa Fe Place Mall. (See the co-benefits section and discussion of jobs-housing balance for additional information.)

TABLE 7: HOUSING AND EMPLOYMENT CHARACTERISTICS WITHIN WALKING RADIUS OF SANTA FE PLACE MALL*

Walking Contour	Housing Units	Population	Employment
10-Minute	9	39	2,812
20-Minute	1,258	2,516	5,720

*employment totals include estimated jobs at the Santa Fe Place Mall

¹² This estimate is based on a rate of one job per 500 SF of NLA of retail, as calculated by the Mid-Region Council of Governments. That rate was validated against employment totals for malls of similar size in Albuquerque. It is likely that the majority of jobs associated with the Santa Fe Place Mall are part-time.

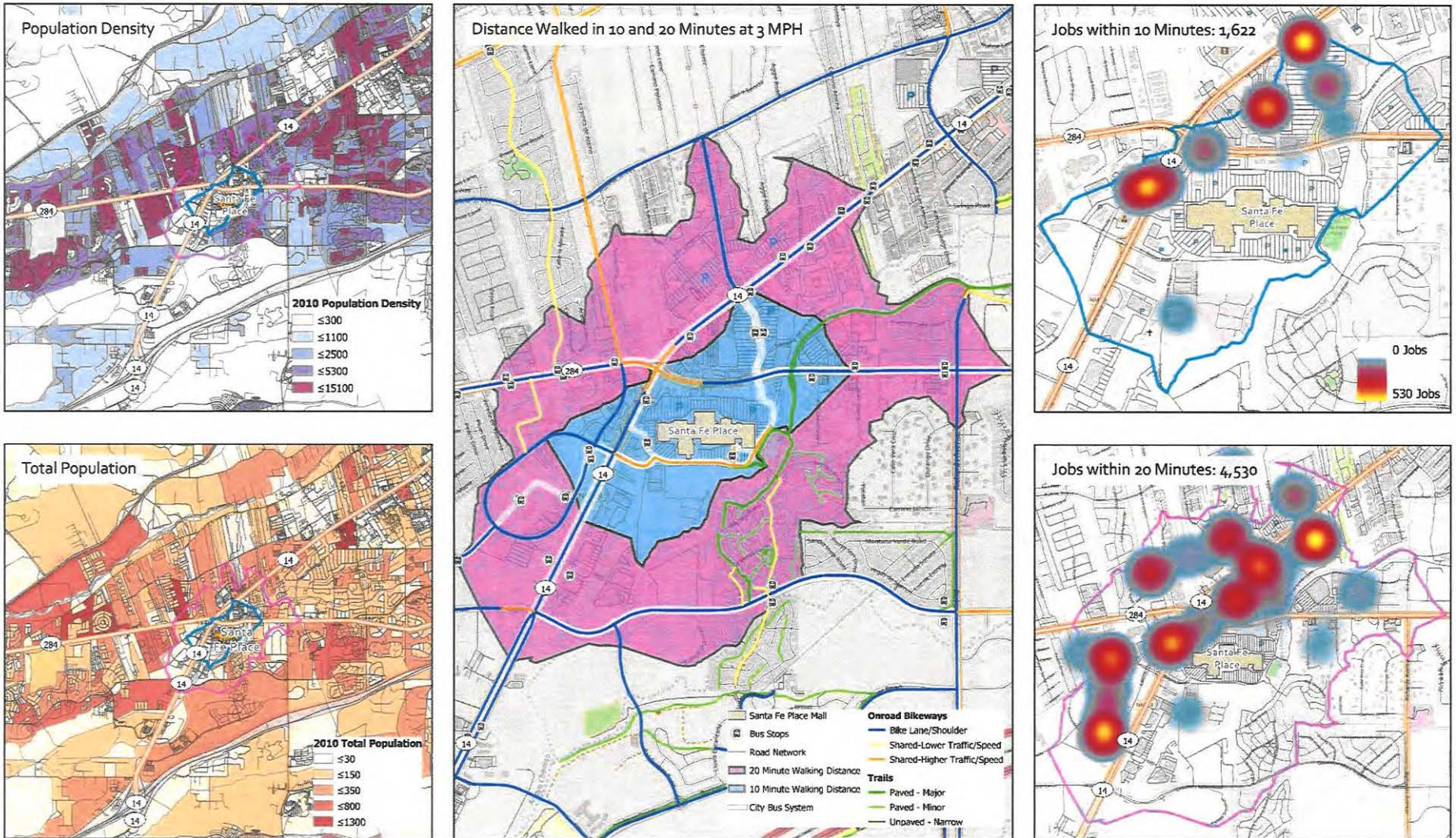


FIGURE 5: SANTA FE PLACE MALL POPULATION AND JOBS

CO-BENEFITS

This section introduces a series of co-benefits associated with the redevelopment of Santa Fe Place Mall. These co-benefits are generally consistent with planning and land use policies put forward by the City of Santa Fe.

INFILL/GREYFIELD DEVELOPMENT AND SMART GROWTH

A “greyfield” area is defined as an underutilized retail mall, often located in older, inner ring suburban areas, named after the grey color of the single-story buildings and the “sea of parking lots that surround them.”¹³ As shopping center parking minimums were largely designed to accommodate a handful of peak shopping days, mall parking lots are empty nearly every day of the year. These vast, empty parking lots create environments that are not conducive to pedestrians, detract from the urban form of the city, and minimize the revenue potential for the city. As a result, greyfield malls offer prime opportunity for infill development on their parking lots that can provide new uses to attract visitors to the site, generate value for other property owners, and increase tax revenue for the city. Additional benefits include more pedestrian-friendly environments as improved connections are typically provided as part of site development.

Greyfield development is part of a growing development trend known as “smart growth,” which is an approach to development that encourages a mix of building types and uses, diverse housing and transportation options, development within existing neighborhoods, and community engagement. The advocacy group Smart Growth America, as one of its 10 principles for smart growth, states that smart growth development should “take advantage of compact design” and favor infill development, which can “attract more people to the jobs, homes, and businesses already there while also making the most of public investments in things like water and sewer lines, roads, and emergency services.”¹⁴

As part of Smart Growth America’s ongoing research into smart growth, the group published a study entitled ***Building Better Budgets: A National Examination of the Fiscal Benefits of Smart Growth Development***.¹⁵ The report looks at the costs associated with both smart growth development and conventional suburban development from the perspective of private developers and public agencies, as well as the revenue potential associated with both development approaches. The report asserts:

¹³ Amy Merritt. (2006). *Redeveloping Greyfields: Definitions, Opportunities and Barriers*. Massachusetts Institute of Technology. Retrieved from: <https://dspace.mit.edu/bitstream/handle/1721.1/37428/123195867-MIT.pdf?sequence=2&isAllowed=y>

¹⁴ Smart Growth America. (2019). “What is Smart Growth?” Retrieved from: <https://smartgrowthamerica.org/our-vision/what-is-smart-growth/>

¹⁵ Smart Growth America. (May 2013). *Building Better Budgets: A National Examination of the Fiscal Benefits of Smart Growth Development*. Retrieved from: <https://smartgrowthamerica.org/resources/building-better-budgets-a-national-examination-of-the-fiscal-benefits-of-smart-growth-development/>

- *Smart growth development costs one-third less for upfront infrastructure.*
- *Smart growth development saves an average of 38 percent on upfront costs for new construction of roads, sewers, water lines and other infrastructure. Many studies have concluded that this number is as high as 50 percent.*
- *Smart growth development saves an average of 10 percent on ongoing delivery of services.*
- *Smart growth development saves municipalities an average of 10 percent on police, ambulance and fire service costs.*
- *Smart growth development generates 10 times more tax revenue per acre than conventional suburban development.*
- *On an average per-acre basis, smart growth development produces 10 times more tax revenue than conventional suburban development.*

A publication for the Congress for New Urbanism – *Greyfields Into Goldfields: Greyfield Mall Characteristics Revitalization Success Stories* – further asserts that shopping mall redevelopment projects are “unique opportunities to reverse urban sprawl by creating real neighborhoods amidst spread-out suburbs and gap-toothed cities.” Among the benefits offered by shopping mall sites include:

Big enough sites. *Many development sites in existing cities and towns are too small to justify the increased costs and risks of infill development. They are also too small to accommodate development projects of sufficient scale to offer real community benefits. Larger properties such as greyfield mall sites spread site development costs and enable projects that embrace the full range of new urbanist principles.*

Transit accessibility. *Civic leaders and neighbors are interested in the development of transit-oriented communities that include housing, stores, jobs, and schools. Many greyfields are on transit lines, and some even have existing bus hubs on site. More fundamentally, the development of new activity centers on greyfield sites concentrates origins and destinations built at densities high enough to support transit service.*

Mixed-income housing. *Housing affordability is a major problem in many metropolitan areas. However, developing higher density mixed-income housing in existing neighborhoods is often difficult, as neighbors resist projects and sites are usually too small for significant construction. Greyfield sites are large enough to accommodate a neighborhood built from the ground up — providing an opportunity to develop quality mixed-income housing that benefits its surroundings.*

Civic space. *Accommodating, attractive public space is sadly missing from many suburbs. New urbanist development provides public space for those important times when people are neither at home nor at work. These spaces help give new urbanism its reputation as “the architecture of community.”¹⁶*

¹⁶ Congress for the New Urbanism. (2001). *Greyfields Into Goldfields: Greyfield Mall Characteristics Revitalization Success Stories*.

REDUCED ENVIRONMENTAL IMPACTS OF PARKING

In addition to consuming the land available for greenspace or other, more productive development, excessive amounts of parking also come with several negative environmental impacts. Construction of unnecessary impervious surfaces increases the impacts of stormwater runoff, on both the storm sewer system and the surrounding land, and paved surfaces can also “result in water pollution and flooding, resulting in a decline in adjacent property values.”¹⁷ Unnecessary parking also contributes to creating urban heat islands, which occur when cities replace natural land cover with dense concentrations of pavement, buildings, and other surfaces that absorb and retain heat. This effect “increases energy costs (e.g., for air conditioning), air pollution levels, and heat-related illness and mortality,” according to the EPA.¹⁸

Providing more parking than necessary, and at artificially low prices, also contributes to a multitude of harmful environmental impacts related to automobile dependency. Primarily, the subsidy of automobile use leads directly to excess driving, resulting in increased air pollution, crashes, and congestion. As well as reducing the ability for residents to walk and bike safely.

JOBS-HOUSING BALANCE AND REGIONAL SITE BENEFITS

Regional policy documents such as the *Santa Fe MPO Metropolitan Transportation Plan 2015-2040* express a desire for the development of housing near employment centers to promote the usage of alternative modes of transportation for commuting and to reduce dependency on single-occupancy vehicles. Per noted transportation scholar Robert Cervero, one of the greatest contributors to regional congestion and excessive auto use – and their resulting costs to residents – is an imbalance of jobs to housing in a given area (a ratio of 1:1 is desired). Cervero has found that workers in areas with a job surplus average “longer duration commutes, more [vehicle miles traveled] per person, and higher rates of solo-commuting.”¹⁹ Providing housing near employment has the clearest benefits in terms of reduced rates of driving, as opposed to the more traditional approach of bringing additional employment to residential areas, which does not have a discernible impact on transportation patterns. Additionally,

¹⁷ Forinash, Millard-Ball, Dougherty and Tumlin. (2003). *Smart Growth Alternatives to Minimum Parking Requirements*. Transportation Research Board.

¹⁸ Environmental Protection Agency. (2019). “Reduce Urban Heat island Effect.”

¹⁹ Robert Cervero (1996): “Jobs-Housing Balance Revisited: Trends and Impacts in the San Francisco Bay Area,” *Journal of the American Planning Association*, Volume 62 (4), 492-511. In another recent study which explores the jobs-housing balance and commute times in the Atlanta metro area, the authors conclude that the “imbalance between the location of jobs and housing is the most important determinant for longer commuting.” They then go on to suggest that “higher quality housing growth close to the job-rich communities may benefit the workers to economize the commuting time.” Selima Sultana. 2002. “Job/Housing Imbalance and Commuting Time in the Atlanta Metropolitan Area: Exploration of Causes of Longer Commuting Time.” *Urban Geography*.

locations with high levels of jobs have high concentrations of services by nature, meaning there is less of a need for nearby residents to drive long distances to access basic necessities.

The research of Cervero and others has direct implications for the Santa Fe Place Mall redevelopment. The proposed 150-unit multi-family development, along with the planned 240-unit development to the south of Santa Fe Place Mall, mark a significant contribution to achieving better balance in a job-rich area and will likely contribute to reduced vehicle miles traveled and emissions and can help address transportation costs by bringing residents closer to their destinations.

HOUSING SUPPLY AND AFFORDABILITY IN SANTA FE

Santa Fe is confronted by a need for additional housing of all types, including multi-family apartment complexes. One estimate in 2018 identified a need for 6,800 additional apartment units in Santa Fe.²⁰ CBRE Group, a commercial real estate group that monitors Santa Fe's multi-family housing market, indicates that. Driven largely by a lack of supply, the city's occupancy rate has been at "95 percent or above since May 2014."²¹ At the same time, housing costs are increasing; the *Santa Fe Affordable Housing Plan* notes that the median rent in Santa Fe increased from \$767 to \$872 between 2010 and 2014, while homeownership declined from 61 percent to 59 percent. Affordability issues are even more pronounced when one considers transportation costs. According to the Center for Neighborhood Technology's Housing + Transportation Affordability Index, the average combined housing and transportation costs in Santa Fe equal 50% of median household income (anything over 45% is considered a financial burden). The combination of declining homeownership rates and increasing rents reflects the need for additional housing throughout Santa Fe, such as the Santa Fe Place Redevelopment.

Recent scholarship indicates that building market rate housing increases affordability through a process known as "filtering" in which higher income residents move into more expensive units and over time making more affordable units available for lower income residents. In a study titled *The Effect of New Luxury Housing on Regional Housing Affordability*, economist Evan Mast looked at 802 new multi-family developments across 12 central cities, from suburban Dallas to luxury high-rises in New York City, and concluded that building market-price apartments causes a chain of migration as households move into new units. This analysis indicates that for every 100 new market-rate units built, approximately 65 units are freed up in existing buildings, accommodating up to 48 moderate- and low-income families.²²

²⁰ Andy Stiny. "Apartment complex planned near Santa Fe Place mall." *Santa Fe New Mexican*. October 22, 2018.

²¹ Matt Grubbs. "Building Up or Tearing Down? Solving Santa Fe's housing crisis starts with rentals as community advocates also call for quality of life." *Santa Fe Reporter*. July 10, 2018.

²² Evan Mast. (March 19, 2019). *The Effect of New Luxury Housing on Regional Housing Affordability*. W.E. Upjohn Institute for Employment Research.

NATIONAL DRIVING TRENDS AND IMPLICATIONS FOR PARKING

Automobile usage rates are an important consideration in parking generation, as young adults demonstrate lower licensure and vehicle ownership rates than other generations. Overall vehicle ownership rates have fallen by 4.4 percent from peak levels in the 2000s, with decreased rates of vehicle use are most acute among young adults.²³ Nationwide vehicle licensure rates among individuals age 16-44 has also dropped from 92 percent in 1983 to 77 percent in 2014.²⁴ Lower vehicle use rates are part of a trend among young adult and zero-children households for more walkable, urban housing options.²⁵ Emerging research on the impacts of ridesharing services such as Uber and Lyft also indicates that vehicle ownership rates decline as these services become more widely available.²⁶ If these trends hold true, then parking demand will only continue to diminish, and unless parking supplies match this diminished demand, parking oversupply will only be exacerbated along with its negative side-effects.

CONCLUSION

The Santa Fe Place Mall is currently designed with 2,959 parking spaces, or 408 more spaces than are required to meet a parking ratio of 5 spaces per 1,000 SF NLA. However, current utilization rates, scholarship, and contemporary city policies show that the mandated parking minimums exceed the actual amount necessary for the site to operate effectively. By utilizing a reduced parking supply ratio of 4 spaces per 1,000 SF NLA, the proposed redevelopment can increase the productive uses at the Santa Fe Place Mall, including increased housing supply, while bringing the city in-line with contemporary best practices in parking policy. Principal findings of this study include the following:

Shopping center parking requirements: Observed parking demand at shopping centers is consistently lower than what is required by city codes, due in part to excessive requirements and a failure to consider the benefits associated with shared parking practices. The ITE Parking Generation Manual identifies an 85th percentile (i.e. high demand scenario) parking utilization rate of 2.53 spaces per 1,000 SF NLA on weekdays and 2.73 spaces per 1,000 SF NLA on Saturdays. Applying these rates to the Santa Fe Place Mall would result in parking levels at or below 50% of the current supply. In addition to the fact that parking requirements for malls are generally too high, the City of Santa Fe requires that parking be supplied at a higher rate than peer cities (Santa Fe requires 5 spaces per 1,000 SF NLA whereas many peer cities require 4 spaces per 1,000 SF NLA or fewer).

²³ Michael Sivak. (2018). Has Motorization in the U.S. Peaked? Part 10: Vehicle Ownership and Distance Driven, 1984 to 2016. University of Michigan Sustainable Worldwide Transportation.

²⁴ Sivak and Schoettle. (January 2018). Recent Decreases in the Proportion of Persons with a Driving License Across all Age Groups, University of Michigan Transportation Research Institute.

²⁵ M. Leanne Lachman and Deborah L. Brett. (2015). Gen Y and Housing. Urban Land Institute.

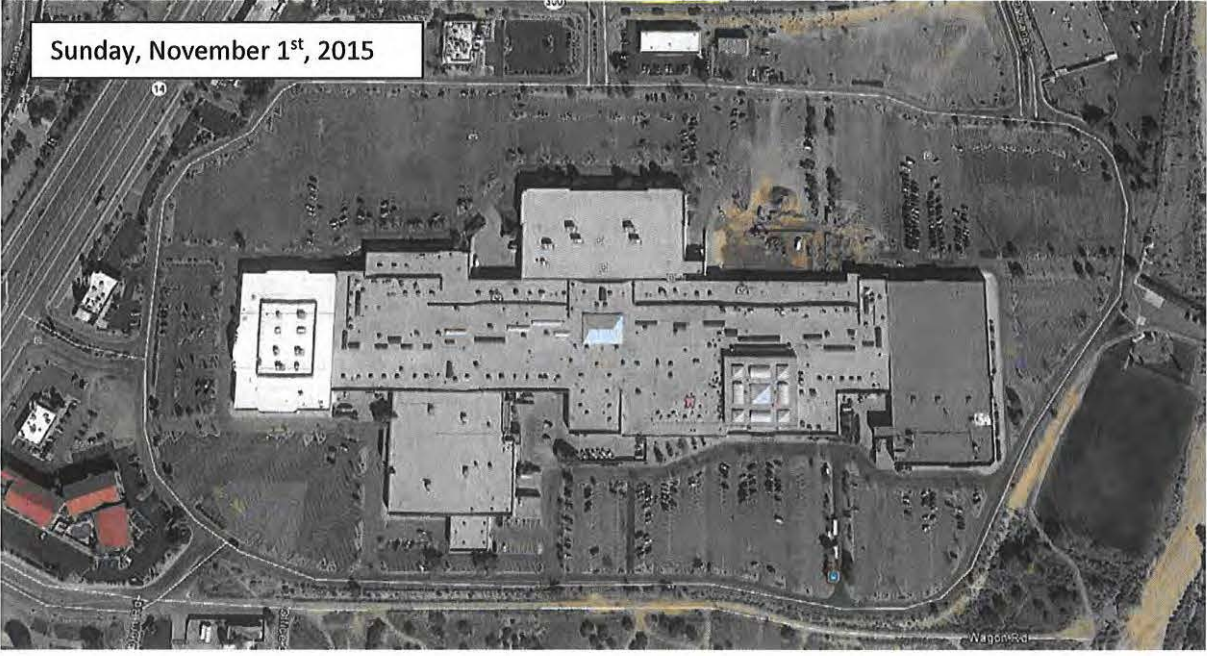
²⁶ Hampshire, et al. (May 31, 2017) "Measuring the Impact of an Unanticipated Disruption of Uber/Lyft in Austin, TX," University of Michigan Transportation Research Institute.

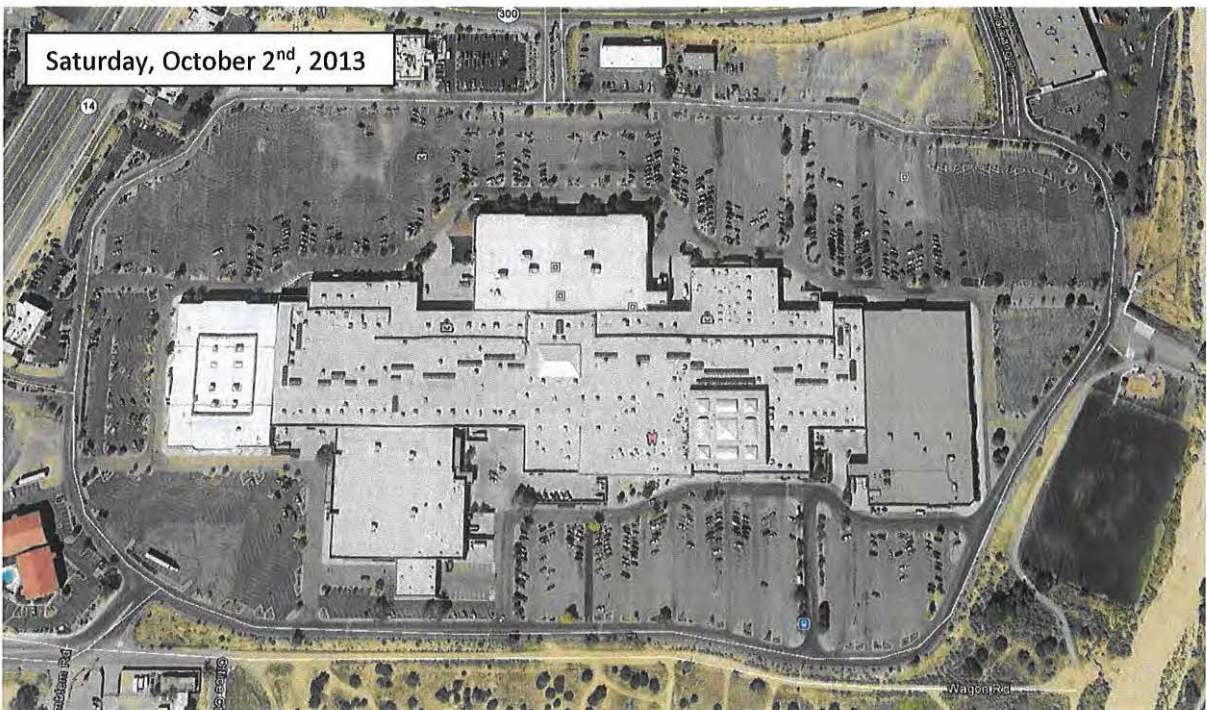
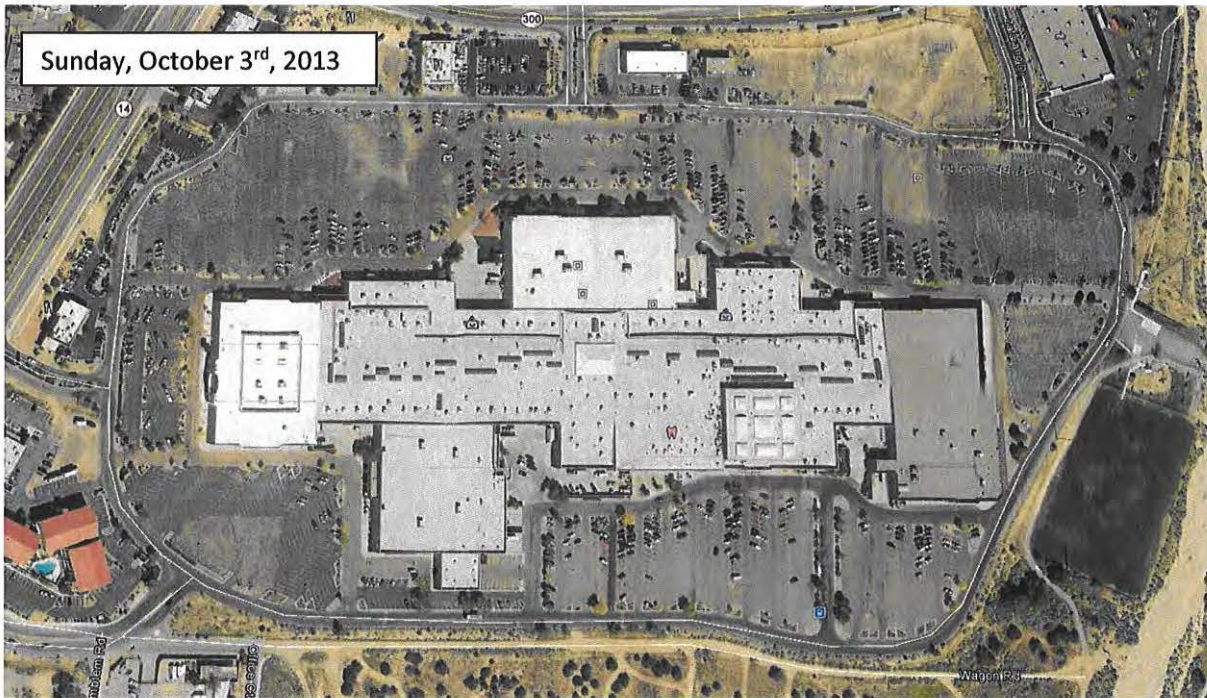
Site location benefits: The Santa Fe Place Mall features one of the city’s main transit hubs, which provides service for eight of the city’s transit lines, and is well connected by trails and bikeways. While the presence of a transit center allows for a 5% parking reduction, per the City Code, the area also features a high number of jobs within a 20-minute walking radius (including jobs located at the mall itself) and a growing number of residential units. These conditions make it plausible for future residents, shoppers, and mall employees to access the site and travel across Santa Fe without using a private vehicle. These site location benefits make it appropriate for parking to be supplied at rates below the current City Code.

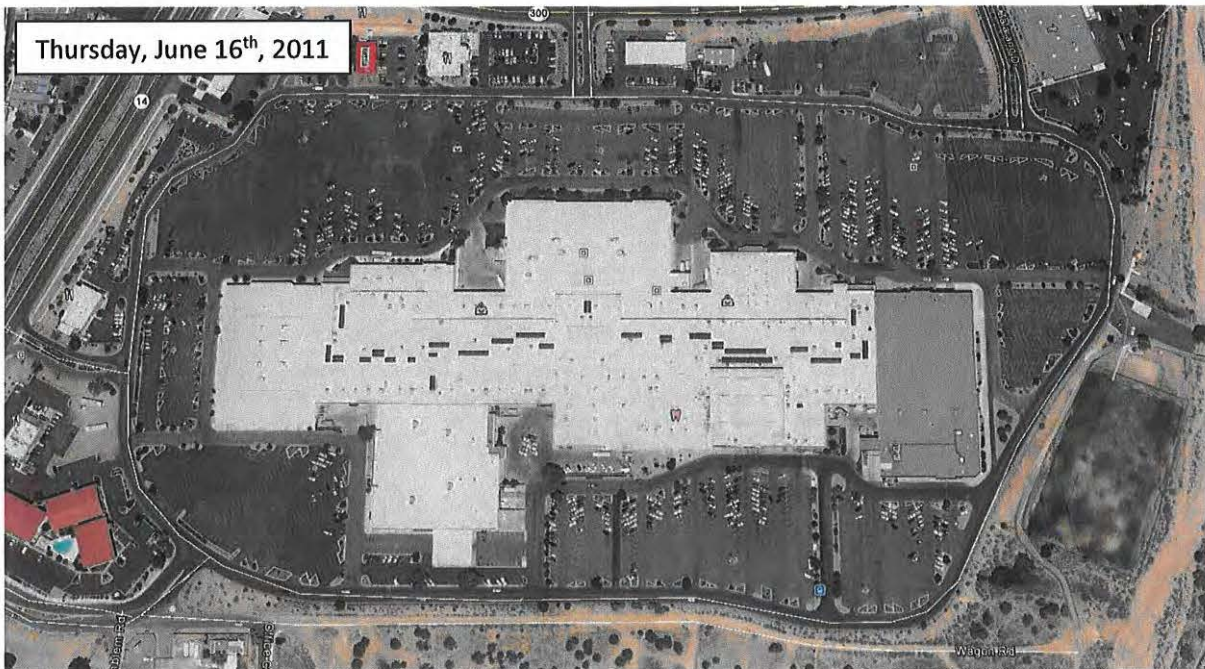
Co-benefits: The Santa Fe Place Mall redevelopment will provide a number of co-benefits beyond those directly supplied by the site. By promoting infill development on a greyfield site, the city is supporting “smart growth” within Santa Fe. Reducing the amount of pavement dedicated towards parking also provides environmental benefits, such as limiting the negative effects of increased stormwater runoff as a result of reduced impermeable surfaces, reduced heat island effects, and reduced emissions associated with vehicular travel. Providing additional housing in the area will also improve the jobs-housing balance of the area, which can further reduce the vehicle miles traveled for those in the area.

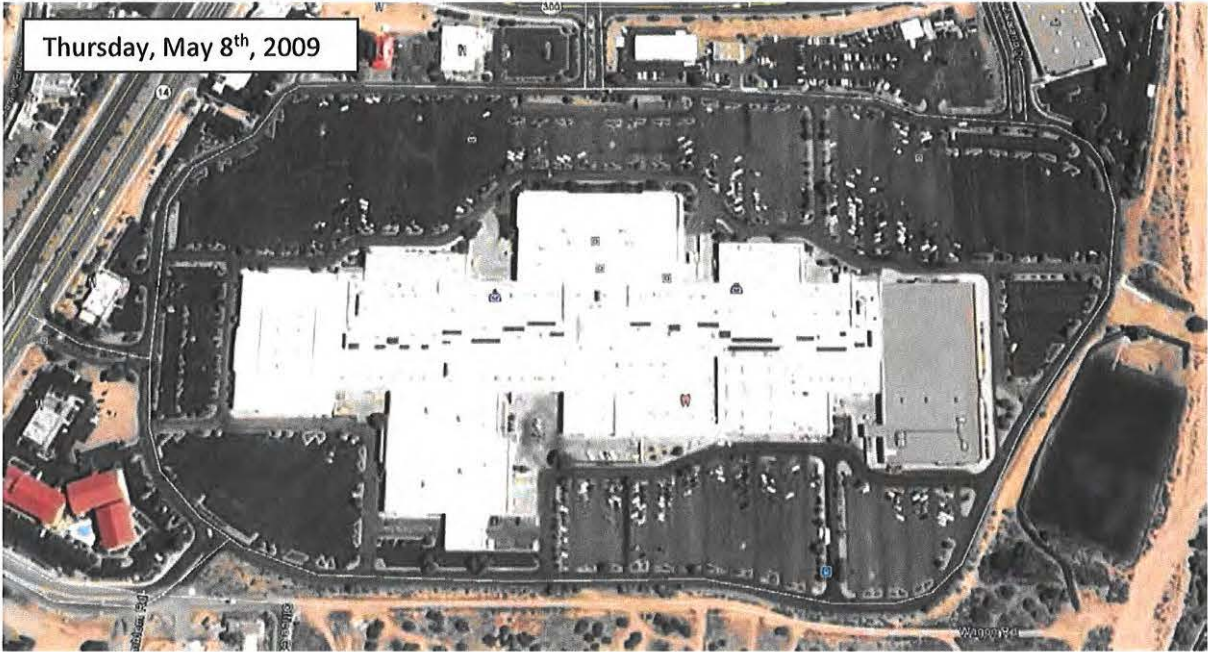
Finally, the difference between the supplied parking and the amount required by City Code may be considered against the real and urgent need for additional housing, as well as Santa Fe City policies that are not reflected in the Code, including stated desire for infill development, increasing the housing supply near employment and transportation, and reducing the amount of space within the city dedicated to parking. Ultimately, the proposed development helps to further the city’s development objectives and reinvigorates a site that is currently underutilized.

APPENDIX A: HISTORICAL SATELLITE IMAGERY









**March 04, 2021
Planning Commission
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall
Apartments
Development Plan**

EXHIBIT G

Applicant Submittals



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

December 21, 2020

Daniel Esquibel, Senior Planner
Current Planning Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

**RE: Escarpa Apartment Homes at Santa Fe Place
Development Plan and Lot Line Adjustment Application**

Dear Dan:

This letter is respectfully submitted on behalf of Santa Fe Mall Property Owner LLC in application for Development Plan and Lot Line Adjustment approval for a 141-unit multi-family project (the "Project"), for consideration by the Planning Commission at their meeting of February 4, 2021. The subject property comprises Lot 1-A5 (± 2.836 acres), located within the Santa Fe Place Mall Development Plan area and currently developed as paved parking associated with the Santa Fe Place Mall. The property is zoned SC-3 (Planned Shopping Center), in which multi-family residential is a permissible use with no maximum density.

Background

The Santa Fe Place Mall (the "Mall") is located at 4250 Cerrillos Road. Originally called the Villa Linda Mall, the Mall suffered attrition due to several factors including lack of investment by previous ownership, maintaining a vital tenant mix, and the financial downturn, and has since been purchased by the Applicant. In keeping with national trends in mall redevelopment, the Applicant has been actively revitalizing the Mall for the last several years and attracting nationally known anchor tenants such as Cost Plus World Market, Bed, Bath & Beyond, Hobby Lobby, the Outback Restaurant, and the Regal Theater.

The Mall is comprised of numerous lots under various ownership, as is typical in shopping center development. On December 5, 2019, the Planning Commission approved a Subdivision Plat and Development Plan Amendment No. 5 (Case no. 2019-1144), which included an overall parking reduction for the Mall premises, to be calculated at 1 space per 250 s.f. NLA. At that time, as part of the continued redevelopment of the Mall and in an effort to create a more vibrant, mixed-use environment, Lot 1-A5 was created and a 150-unit multi-family apartment building was contemplated. Now, the Applicant proposes a Development Plan for a 141-unit multi-family apartment building and an associated lot line adjustment to accommodate the proposed layout.

Project Description

The Project is bordered by the Santa Fe Place Mall main building to the north and west, Turquesa multi-family apartment community (currently under construction) to the south, Villa Linda Park and Arroyo Chamiso Trailhead to the east, and the Nava Adé single-family residential neighborhood beyond the park to the southeast. The proposed apartment building will serve as a transitional use between the intensive commercial nature of the Mall and the Turquesa multi-family apartment community to the south. The proposed apartments are housed in a single building, with a lobby, leasing office, and parking podium on the ground floor and three levels of dwelling units above. The Project comprises the following mix of unit types:

Studio units:	38
One-bedroom units:	75
<u>Two-bedroom units:</u>	<u>28</u>
Total units:	141

Community amenities include indoor resident lounge spaces on every floor, a fitness center, multiple outdoor resident rooftop terraces, an outdoor ground-level resident courtyard, as well as a new connection to the existing Arroyo Chamiso Trail and adjacent Villa Linda Park. The site design seeks to accommodate as much of the required parking as possible on the ground floor of the structure while enhancing the multi-modal environment of the Mall and surrounding areas by providing ample bicycle parking and by connecting with the Arroyo Chamiso Trail and nearby transit.

Lot Line Adjustment

The subject parcel (Lot 1-A5, ± 2.836 acres), which was established via Subdivision approval in 2019, is being adjusted to accommodate the site design of the proposed apartment building. Accordingly, the adjacent Lots 1-B to the west and 1-A to the north are also being modified. The resulting Lot 1-A5 is ± 3.257 acres, and the resulting Lots 1-B and 1-A are ± 6.747 acres and ± 17.366 acres, respectively. For more information, please refer to the Lot Line Adjustment Plat.

Zoning Compliance

The Property is zoned SC-3 (Planned Shopping Center), as it is included within the Santa Fe Place Mall Development Plan area. The total acreage of the Project, with the lot line adjustment, is ± 3.257 acres (adjusted parcel size), and the total acreage for the Santa Fe Place Mall Development Plan area is ± 63.123 acres. With 141 units proposed for Lot 1-A5, the proposed density is 43 dwelling units/acre, which is permissible as there is no specified maximum density for SC-3 zoning nor in the Santa Fe Place Mall Development Plan. The proposed density represents an appropriate transition from the intensity of commercial use at the Mall to the density of 19.8 units/acre at the Turquesa multi-family apartment community to the south.

The Project is comprised of a single four-story, L-shaped building element, which complement the Project's inherent position as a transition between the Santa Fe Place Mall to the north whose buildings range from 28 to 45 feet in height and the two and three-story elements in the Turquesa development to the south whose buildings range from 25 to 36 feet in height. Per SFCC §14-7.3

(A), the maximum allowable height for SC-3 is 45 feet, and the proposed apartment building will not exceed that height.

Market Analysis

As stated in a January 2019 study by CBRE, a global commercial real estate company that surveys Albuquerque and Santa Fe's rental markets, "All indicators continue to show that Santa Fe is one of the tightest rental markets in the country." The CBRE study reports that combined market-rate and affordable rental housing occupancy in Santa Fe was 97.69% in 2019 (a 1% increase from the prior year). Between 1993 and 2018, only 176 market rate apartment units had been constructed in Santa Fe. During that time, Santa Fe's population increased by 14,000 people, with an associated addition of 13,000 jobs. Lack of rental housing supply drives up rental rates, significantly impacting the availability of moderately-priced housing for Santa Fe's workforce. The 2019 CBRE study indicates that market-rate rents saw an increase of 13.66% compared with the previous year. Since 2018, it is estimated that over 1,200 market-rate apartments have been built. However, although the recent push to meet housing market demand has been significant, it is projected that up to 3,000 units of rental housing are still needed in Santa Fe to fully meet the need. According to recent estimates, over 30,000 people commute to Santa Fe every day for work, which translates to an annual loss of \$300 million to the City. It is critical to Santa Fe's economy and quality of life to provide quality rental housing in adequate supply to meet local demand.

The proposed project not only contributes to meeting Santa Fe's sizable rental housing demand but also aligns with the growing national trend of redeveloping malls as mixed-use centers. According to an October 2019 article in *Public Square: A CNU Journal*, "Malls-to-Mixed Use Centers" have an increasingly successful track record. The Santa Fe Place Mall has demonstrated recent success in retaining and attracting stable anchor tenants, while also responding to market demands. The move to diversify the mix of uses at the Mall is responsive to the local housing market as well as to shifting community needs and preferences.

Access and Traffic

Access to the project is provided via the Ring Road that runs around the outer perimeter of the Mall. A Traffic Impact Analysis ("TIA") was performed by Santa Fe Engineering, which analyzed the following intersections: Cerrillos Road/Wagon Road/Camino Entrada, Wagon Road/Mall Entrance, and Zafarano Road/Rodeo Road/Mall Entrance. The TIA indicates that there are existing short duration failures at Rodeo/Zafarano, including the southbound left-turn in the AM and PM peak hours and the northbound right-turn in the PM peak hour. These existing conditions are not the result of the proposed project. As discussed in the TIA, these conditions could be addressed with a modification of the signal timing based on a synchronization study of the Rodeo Road corridor. Please refer to the attached TIA for further information.

There will be vehicular entrances to the ground-level podium parking from both the west and east ends of the building. Access to these entrances will be gained from re-designed drive aisles off the Ring Road, which will maintain the flow of traffic along Ring Road and its lateral drive

aisles, while also ensuring ease of access into the podium parking for residents. Please refer to the attached Plans for more information about circulation improvements.

Parking

The majority of required parking (135 spaces) will be provided in the podium parking that comprises the ground floor of the proposed apartment building. In addition, there will be 9 new surface spaces located near the main pedestrian entrance to the building and shared parking for 40 spaces with the adjacent Mall. In accordance with SFCC §14-8.6, the parking requirements for the Project are as follows:

38 studio units < 800 sf	1.25 spaces/unit =	47.50 spaces
75 one-bedroom units < 800 sf	1.25 spaces/unit =	93.75 spaces
<u>28 two-bedroom units <1,200 sf</u>	<u>1.50 spaces/unit =</u>	<u>42.00 spaces</u>
Total Required Parking	1.305 spaces/unit =	184 spaces
Total New Podium Parking		135 spaces
Total New Surface Parking		9 spaces
<u>Total Shared Parking</u>		<u>40 spaces</u>
Total Provided Parking		184 spaces

The provided parking will include 8 accessible spaces (2 of which will be van accessible). Twelve exterior bicycle spaces will be provided onsite in accordance with the provisions of Table 14-8.6-3, in addition to 30 interior bike parking spaces for resident use only.

Required parking has been evaluated within the context of the total parking program for the Santa Fe Place Mall Development Plan area. The total existing parking for the Mall premises is 2,959 spaces (3,169 per ALTA, less 108 due to Bed, Bath & Beyond / Cost Plus World Market and less 102 due to Outback). Upon build-out of all planned outparcels, the total parking supply on the Mall premises will be 2,600 spaces (calculated at a ratio of 1 space per 250 sf of net leasable area with a 5% parking reduction for transit, as previously approved in the 2019 Subdivision and Development Plan Amendment). The total required parking for the Mall premises is calculated to be 2,407 spaces (accounting for net parking loss as a result of planned development and utilizing a 5% parking reduction for transit), resulting in a parking overage of 193 spaces once all planned buildings are constructed. Please see attached Parking Table for additional detail.

Shared Parking Plan

A Shared Parking Plan is proposed in accordance with SFCC §14-8.6(B)(4)(b), which states, *“Uses on premises comprising more than one legal lot of record may provide shared parking in accordance with an approved shared parking plan.”* As stated above, the Mall premises as a whole is over-parked by 193 spaces, leaving ample overage to make up for the 40 spaces that the residential use lacks. Since the peak commercial use is during the day and peak residential use is at night, the apartment residents will be permitted access to ample parking in the adjacent

parking areas. This shared parking arrangement is consistent with the Operating and Reciprocal Easement Agreement that governs the use of the Mall premises.

Terrain Management and Water Harvesting

The Project's terrain slopes from north to south toward the Ring Road, with an overall grade change of approximately 8 feet. These slopes are entirely disturbed, as the site is presently developed and paved for its current use as a parking lot. The proposed multi-family apartment building will not increase the impervious surface of the site. Stormwater will be retained onsite in landscaped areas and directed to existing and relocated stormdrains. Please refer the Irrigation and Water Harvesting Plan and Grading Plan for further details.

Water & Sewer

The Project will connect to the City water system via an existing on-site water line that runs along the north side of Lot 1-A5 within the existing parking area for the Santa Fe Place Mall. The waterlines will be looped per the requirements of the Sangre de Cristo Water Division. Per the attached Water Budget, the Project's annual water demand is as follows:

141 dwelling units x 0.11 afy/unit =	15.48 afy
<u>9.8% Contingency per SFCC §14-8.13(E)(1) =</u>	<u>1.52 afy</u>
Total Annual Water Budget	17.00 afy

In accordance with the requirements of SFCC §14-8.13, Development Water Budgets, water rights will be acquired to offset the Project's water demand.

The Project will be served by a new private sanitary sewer line to tie in with existing private sanitary sewer lines associated with the Mall at the west end of the Project. Please refer to the Utility Plan for further details.

Landscaping and Open Space

Although neither SC-3 zoning nor the Santa Fe Place Mall Development Plan require minimum open space provision, the Project includes the following common and private open space for the benefit of its residents:

<u>Common Open Space:</u>	
Roof terraces	3,419 s.f.
<u>Ground-level courtyard</u>	<u>14,000 s.f.</u>
Total Common Open Space	17,419 s.f.
 <u>Private Open Space:</u>	
Balconies	9,456 s.f.

Landscaping is being provided in accordance with City Code requirements. All of the 8 existing parking lot trees will be replaced with new trees in new planting areas that abut the Mall parking,

and the Project will include 14 additional trees in the parking areas (1 tree per 90 s.f. of landscaped area and 10 s.f. of landscaped area per parking space). Additionally, 11 trees will be planted along the Ring Road. Plantings include a combination of deciduous and evergreen trees, shrubs, groundcover, ornamental grasses, and boulder accents. Please refer to the attached Landscape Plan for further details.

Fire Protection and Emergency Access

Emergency access requirements are satisfied by the two provided access points. Four fire hydrants are provided in close proximity on the north side of the proposed building, and there is a proposed fire service (6" or 8") to tie in with the existing water line at the northeast corner of the building. Additionally, the Project proposes a remote FDC on the south side of the building. All buildings will be equipped with automatic fire suppression in accordance with IFC requirements, and the Ring Road on the south side of the building as well as the drive aisles around the other sides of the building are at least 26 feet wide to serve as fire lanes in compliance with fire code. Please refer to the Fire Access Plan for more information.

Santa Fe Homes Program

In accordance with the provisions of Ordinance 2016-9, in lieu of constructing affordable units, the developer will pay a fee in the amount of \$157,341.60 to the Affordable Housing Trust Fund. The Santa Fe Homes Program Proposal is submitted herewith for your reference.

Archaeology

The Project is located within the Suburban Archaeological District. Because the Project site is less than 10 acres in size, archaeological clearance is not required.

Early Neighborhood Notification

An Early Neighborhood Notification Meeting was held on December 2, 2020. Although, no neighbors attended this meeting, the applicant followed all proper noticing procedures and was prepared to present a slide show that featured conceptual project plans and other relevant information and hold a question and answer session.

In support of this request, the following documentation is submitted herewith for your reference:

1. Development Plan Application
2. Lot Line Adjustment Application
3. Architectural Points Checklist
4. Letter of Owner Authorization
5. Warranty Deed
6. Lot of Record Plat and Development Plan Amendment #5
7. Parking Table
8. Utility Service Application
9. Water Budget

Water Budget for Escarpa at Santa Fe Place Mall

December 21, 2020

141 dwelling units
1.5 residents per dwelling unit

Usage Per Unit

4 FLUSHES/DAY @ 1.26 GAL EACH	2,759.4	GPY		
SHOWER - 10 MINUTES/DAY @ 1.5 GPM	8,212.5	GPY		
BATHROOM SINK - 5 MIN/DAY @ 2.5 GPM	6,843.8	GPY		
LAUNDRY - 0.3 LOADS /DAY @ 20 GAL/LOAD	3,650.0	GPY		
DISHWASHER - 0.3 LOADS/DAY @ 13 GAL/LOAD	2,135.3	GPY		
KITCHEN SINK - 7 MIN/DAY @ 2.0 GPM	7,665.0	GPY		
CLEANING - 3.0 GAL/WEEK	156.0	GPY		
<u>SUBTOTAL PER UNIT</u>	31,421.9	GPY	0.096	AFY
TOTAL USAGE FOR 141 UNITS	4,430,487.9	GPY	13.60	AFY
LEASING OFFICE & FITNESS	488,776.5	GPY	1.50	AFY
LANDSCAPE IRRIGATION	124,817.0	GPY	0.38	AFY
ANNUAL WATER BUDGET			15.48	AFY
9.8% Contingency per SFCC §14-8.13(E)(1)			1.52	AFY
<u>TOTAL</u>			17.00	AFY
ANNUAL WATER USE PER DWELLING UNIT			0.110	AFY

TABLE 14-8.7-2: Architectural Design Standards and Point Allocations (See Note 1)

Architectural Design Standards		Points ¹
WALLS		
Predominant Exterior Surface Material	Stucco, adobe	30
	Brick, natural stone, and integrally colored unit masonry	0
	Concrete and non-integrally colored unit masonry	0
	Metal siding, glass curtainwall systems, glass block, wood siding, and simulated materials	0
	Mirrored glass curtainwall systems	0
Color of Predominant Exterior Surface Material	Earhtones, creams, and pastels of earthtone hues including but not necessarily limited to rose, peach, and terra cotta colors	30
	Pastel colors of non-earthtone hues, whites, grays, and grayish greens	0
	High-intensity colors	0
	Metallic colors, glass and black	0

TABLE 14-8.7-2: Architectural Design Standards and Point Allocations (See Note 1)

Architectural Design Standards		Points ¹
Exterior Surface Treatment	(A) Wall surfaces appear monolithic with at least 75 percent of the total wall area one material and one color. Differing shades of the same general hue shall not be considered different colors. Non-solar fenestration, window and door awnings, applied trim, and accent materials, colors, and decorative bands, with the exception of stucco, masonry or concrete control joints, are used in such a way that they do not give a panelized or prefabricated appearance, produce striped or checkerboard patterns, or exceed 25 percent of the surface area of any façade. Fenestration and/or accent colors on wall surfaces under portals or canopies having a horizontal depth of at least six feet shall be exempt from area calculations	10
	(B) Wall surfaces do not meet the criteria set forth in paragraph (A) above	0
ROOFS		
Form	(A) Flat roof surfaces entirely concealed from public view by parapets	20
	(B) Flat roof surfaces not entirely concealed from public view by parapets, uniformly sloping roofs, or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with greater than or equal to four feet of vertical rise for every 12 feet of horizontal run and less than or equal to 12 feet of vertical rise for every 12 feet of horizontal run	0

TABLE 14-8.7-2: Architectural Design Standards and Point Allocations (See Note 1)		
Architectural Design Standards		Points ¹
	(C) Uniformly sloping roofs or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with less than four feet of vertical rise for every 12 feet of horizontal run or having a slope with greater than 12 feet of vertical rise for every 12 feet of horizontal run	0
	(D) Any type of sloping roof having a height, from springline to peak, that exceeds the average height of the supporting walls; non-uniformly sloping roofs; or any combination of flat and non-uniformly sloping roofs	0
Predominant Material	(A) All surfaces are concealed from public view	20
	(B) Standing, flat, or batten seam metal roofing, or membrane, asphalt or gravel surfaces exposed to public view	0
	(C) Flat tiles of clay, concrete or slate	0
	(D) Barrel tiles of clay, concrete, or slate; and asphalt shingles	0
	(E) Wood shingles or shakes and other materials including but not necessarily limited to plastic, fiberglass or metal roof tiles	0
Predominant Color	(A) All surfaces are concealed from public view	15
	(B) Dark reds, browns, and earthtones, and natural metals including aluminum, zinc, tin, and lead	0
	(C) Low-intensity colors other than those stated above	0

TABLE 14-8.7-2: Architectural Design Standards and Point Allocations (See Note 1)		
Architectural Design Standards		Points ¹
	(D) White	0
	(E) Bright, non-fading, high-intensity colors and any use of multiple colors	0
BUILDING FORM		
Massing	(A) One-story buildings with over 10,000 square feet of gross floor area and multi-story buildings with over 20,000 square feet of gross floor area which are designed with wall plane projections or setbacks on each publicly visible façade having a depth of at least three percent of the length of the façade and extending at least 20 percent of the length of the façade	0
	(B) One-story buildings with less than or equal to 10,000 square feet of gross floor area and multi-story buildings with less than or equal to 20,000 square feet of gross floor area which are designed with either offsetting wall planes or upper story setbacks of at least four horizontal feet, or a recessed entry space or projecting canopy or portal having a depth of at least six horizontal feet, on at least one publicly visible façade	0
	(C) Buildings not utilizing the massing techniques described in paragraphs (A) or (B) above	0
DOORS AND WINDOWS		

TABLE 14-8.7-2: Architectural Design Standards and Point Allocations (See Note 1)

Architectural Design Standards		Points ¹
Treatment	(A) More than 50 percent of doors, windows and glazed surfaces, which are not located under portales or canopies having a horizontal depth of at least six feet, have either frames recessed a minimum of two inches, are cased with trim, have divided lites, or have exposed or otherwise articulated lintels	20
	(B) More than 50 percent of doors, windows and glazed surfaces do not meet the requirements set forth in paragraph (A) above	0
Area	(A) All wall surfaces which are not located under portales or canopies having a horizontal depth of at least six feet, and which do not include solar fenestration, have less than or equal to 50 percent openings consisting of doors, windows, glazing and other penetrations	20
	(B) Wall surfaces do not meet the requirements as set forth in paragraph (A) above	0
Location	(A) All doors, windows and glazed surfaces, on structures having a gross floor area greater than 150 square feet, are located at least two feet from outside building corners	20
	(B) All doors, windows and glazed surfaces, on structures having a gross floor area less than or equal to 150 square feet, have at least a two inch mullion at inside and outside building corners	0
Glazing	(A) All glazing is clear or tinted neutral gray	10

TABLE 14-8.7-2: Architectural Design Standards and Point Allocations (See Note 1)		
Architectural Design Standards		Points ¹
	(B) Any use of colored glazing	0
	(C) Any use of mirrored glazing	
EQUIPMENT		
Screening	(A) All roof and wall mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, are screened from public view by parapets, walls, fences, dense evergreen foliage, or by other means	10
	(B) All building mounted equipment set forth in paragraph (A) above is either screened; and/or painted to match visually adjacent surfaces	5
	(C) All building mounted equipment set forth in paragraph (A) above is not screened and/or painted to match visually adjacent surfaces	0
NOTES:		
1. Point values denoted by an asterisk (*) apply within the Midtown LINC Overlay District.		

TOTAL POINTS PLANNED: 210

10. Santa Fe Homes Program Proposal
11. Drainage Report
12. Traffic Impact Analysis
13. Development Plans

The application fees are calculated as follows”

Development Plan – \$20,000.00; Lot Line Adjustment - \$200.00; 3 Posters – \$90.00
Total: \$20,290.00

Please contact us should you have any questions or require additional information.

Thank you for your consideration.

Sincerely,

JENKINS GAVIN, INC.

A handwritten signature in black ink, appearing to read "Jennifer Jenkins", written in a cursive style.

Jennifer Jenkins

SANTA FE HOMES PROGRAM

RENTAL PROPOSAL

“Santa Fe Place Mall Multifamily”
4250 Cerrillos Road, Lot 1-A5, Santa Fe, New Mexico

This Santa Fe Homes Program Proposal (“SFHP Proposal”) is made this __ day of _____, 2020 by Santa Fe Mall Property Owner, LLC (“SFHP Developer”).

RECITALS

- A. SFHP Developer is the developer of 4250 Cerrillos Road, Lot 1-A5 hereinafter referred to as the “Property”.
- B. SFHP Developer desires to develop the Property.
- C. It is understood that all representations made herein are material to the City and that the City will rely upon these representations in permitting or approving development of the Property.

PROPOSAL

SFHP Developer proposes to comply with the SFHP requirements as follows:

- A. DEVELOPMENT REQUEST.
 - 1. SFHP Developer seeks **Development Plan** approval.
 - 2. The Property is to be developed as 141 rental units.
- B. SFHP PLAN. SFHP Developer proposes to build **141** rental units. Developer agrees to comply with the Santa Fe Homes Program ordinance through the payment of a fee, established on an “affordability gap” measure as per SFHP Administrative Procedures. The fee revenues will be used to provide tenant based, scattered site rental assistance to income-qualified renters or to provide capital support for an off-site affordable rental housing project. The fee for this project is **\$157,341.60**

C. SUCCESSORS IN TITLE. SFHP Developer proposes to develop the Property consistent with this SFHP Proposal. In the event that SFHP Developer sells, assigns, leases, conveys, mortgages, or encumbers the Property to any third party, the third party shall be required to execute a SFHP Agreement consistent with this Proposal prior to obtaining any City approvals. SFHP Developer proposes to record applicable regulatory agreements or liens in the public records that will ensure long-term affordability of the SFHP units or fulfillment of the proposed alternate compliance.

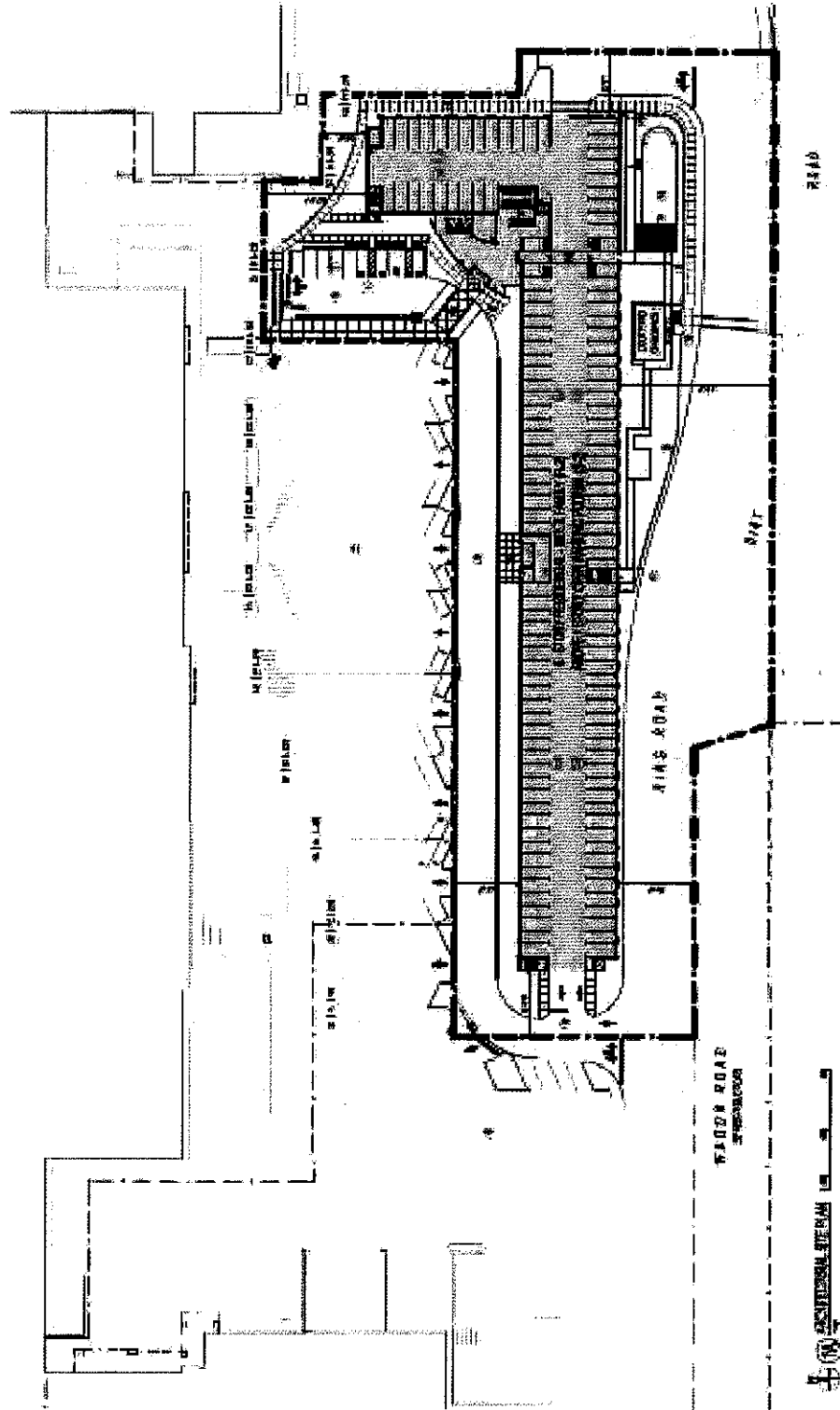
D. MONITORING. SFHP Developer proposes to provide such information and documentation as the City may reasonably require in order to ensure that the actual rental agreements were in compliance with the SFHP Agreement.

E. REVISIONS, MODIFICATIONS AND SUPPLEMENTATION OF THIS PROPOSAL. In the event that the SFHP Developer or the City make material modifications, including modifications to the number of lots or units or the area covered by the Proposal, a revised SFHP Proposal shall be promptly submitted to the Office of Affordable Housing in order to provide a SFHP Proposal that is current and reflects the intended development.

F. ACCESS. SFHP Developer proposes to grant access to the City or its agent to inspect the records of SFHP Developer for the SFHP units in order to determine compliance with the SFHP Ordinance and the SFHP Agreement.

IN WITNESS WHEREOF, this Proposal is made the day and year first written above.

Site Plan/Location Map



SFHP RENTAL UNIT CALCULATION WORKSHEET

The project is in a **SC-3** zoning district, permitting ***no maximum number of*** units per acre. The project has an area of approximately 3.257 acres. The project is proposing **141** rental homes; **38** studio, **75** one-bedroom units, and **28** two-bedroom units. There are not additional land use requirements for this site.

The SFHP requirement is calculated below:

Total number of units multiplied by (0.15) = the number of SFHP rental units required
 = 141 total units x 0.15 = 21 SFHP unit(s) is/are required.

In lieu of providing affordable rental units, the Developer proposes to comply with SFHP through the payment of a fee as per Ordinance 2016-09.

2020 Affordability Gap Voucher

	HUD FMR	SFHP Avg	Fee/Unit	20% Increase*	Voucher/Unit
Studio	\$ 802	\$ 643	\$ 159	\$ 190	\$ 4,752
1 BR	\$ 928	\$ 643	\$ 285	\$ 342	\$ 6,336
2 BR	\$ 1,057	\$ 735	\$ 322	\$ 387	\$ 8,664
3 BR	\$ 1,376	\$ 837	\$ 539	\$ 647	\$ 14,328
4 BR	\$ 1,534	\$ 947	\$ 587	\$ 705	\$ 15,240

*As of July 1, 2020, fees increased by 20%

Proposed Project

Unit Type	% of Total	# of Units
Studio	26.95%	38
1 BR	53.19%	75
2 BR	19.86%	28
3 BR	0%	0
	100%	141

Steps for Calculation

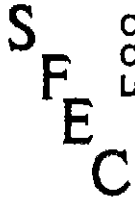
1. enter # of each unit type
2. multiply # of units by 15%
3. multiply # of affordable units by fee/unit/month
4. multiply fee/month by 24 (months) = Project Fee
5. Sum Project Fee to get Total Project Fee

2020 Affordability Gap Voucher Calculation

Bedrooms	# Units	Aff'd Units	Fee/Unit	Total Fee
0	38	5.7	\$ 190	\$25,992
1	75	11.25	\$ 342	\$92,340
2	28	4.2	\$ 387	\$39,009.60
3	0	0	\$ 647	\$0
TOTAL	141	21.15		\$157,341.60

NOTE: The rents and fee schedule are modified by the City according to Section 8.7.3 of the SFHP Administrative Procedures to reflect annual changes in the median income levels. The current schedule in effect at the time the fees are paid, determines the amount of the fee. The prices are updated annually.

Santa Fe Engineering Consultants, LLC



Civil and Traffic Engineering
Construction Management
Land Development

1599 St Francis Drive, Suite B
Santa Fe, N. M. 87505
(505) 982-2845 Fax (505) 982-2641

December 21, 2020

Ms. Dee Beingessner, P.E.
City Subdivision Engineer
City of Santa Fe
Post Office Box 909
Santa Fe, New Mexico 87501

**RE: CITY OF SANTA FE TERRAIN MANAGEMENT REPORT FOR THE
ESCARPA APARTMENT HOMES AT SANTA FE PLACE**

Dear Ms. Beingessner:

The purpose of this letter is to evaluate soils and drainage conditions and to provide recommendations for site grading and runoff control to meet City of Santa Fe Terrain Management Regulations for the development of the Escarpa Apartment Homes at Santa Fe Place. The project consists of a podium style three story 141-unit apartment building. All three stories will be elevated above the ground floor parking area. The Vicinity Map is presented in Figure 1, Appendix A. The Development Plan is presented in Figure 2, Appendix A.

I. EXISTING CONDITIONS

The site is located on Lot 1-A5 of the Santa Fe Place Mall subdivision. The Santa Fe Place Mall borders the site on the north; the Turquesa Apartments (currently under construction) to the south; La Quinta Inn to the west; and Villa Linda Park to the east. The Subdivision Plat is presented as Figures 3 and 4, Appendix A.

The property is currently fully developed as a paved parking lot with a portion of the property serving as the City of Santa Fe Transit Division's (also known as the Santa Fe Trails) transit center. The Santa Fe Place Transit Center is scheduled to be decommissioned as a new transit center will soon be built near Camino Entrada and Cerrillos Road. The Existing Conditions Map is presented in Figure 5, Appendix A.

Soil classifications were obtained from the "Web Soil Survey" by the Natural Resources Conservation Service (NRCS), Version 12, updated June 2020. The survey in this area is the result of a high intensity soil survey. The Soils Map is presented in Figure 6, Appendix A. The following soils are to be found in the drainage area:

Map Unit Symbol	Soils Name
207	Urban Land

Soil Classification 207 – Urban Land does not have a detailed description from the NRCS as these are fully developed areas with little to no soil drainage opportunities.

The vast majority of the property is developed urban land that will be modeled as impervious paved surfaces. However, there are several small parking islands that are landscaped. These areas will be modeled as open space in fair condition.

II. DRAINAGE

The site is a moderately sloped parking lot flowing from north to south. Roof drainage from the main mall structure discharges via various methods, either directly to the parking lot as surface flow from downspouts or via internal roof drainage systems that discharge to an underground storm drainage system beneath the parking lot. Surface drainage generally sheet flows along the parking lot from north to south, concentrates along curb and gutter on the south side of Ring Road, and is then collected in a series of drop inlets that drain back to the parking lot's underground storm drainage system. This storm drainage system discharges into a channel east of the site just beyond Ring Road. The channel flows east beneath the Arroyo Chamiso Trail via a series of culverts and then into the Arroyo de Los Chamisos.

Storm drainage computations for existing conditions for the have been calculated using topographic information provided by Dawson Surveys dated 8/21/20. The Certified Topographic Map is presented in Figure 7, Appendix A.

A. Existing Conditions

Drainage areas were delineated on the on-site topographic maps. Drainage area and channel lengths were measured several times and average numbers used for this report. The Existing Conditions Drainage Map is presented in Figure 8, Appendix A. The drainages that impact the site are presented in Table 1.

TABLE 1 EXISTING DRAINAGE BASIN CHARACTERISTICS		
Basin	Description	Acres
Q1	Onsite basin draining the west portion of the site	3.16
Q2	Onsite basin draining the central portion of the site	6.45
Q3	Onsite basin draining the east portion of the site	1.49

According to maps prepared by the United States Department of Commerce, presented in NOAA Atlas 14 Volume 1, Version 5, the following precipitation data in Table 2 should be used for the project:

TABLE 2 PRECIPITATION DATA		
FREQUENCY	DURATION	PRECIPITATION
100 Year	24 Hour	3.20"
50 Year	24 Hour	2.89"
25 Year	24 Hour	2.58"
2 Year	24 Hour	1.51"

The WINTR-55, Version 1.00.10 was used to calculate weighted runoff number, time of concentration, and peak flow for the onsite basins. The 25, 50, and 100-year frequency storms were calculated. The graphical discharge method was used. Existing Conditions Drainage Calculations are presented in Appendix B. The Calculated Peak Flows are presented in Table 3.

TABLE 3 PEAK FLOW QUANTITIES EXISTING CONDITIONS					
Basin	Description	CN	Q25 (CFS)	Q50 (CFS)	Q100 (CFS)
Q1	Onsite basin draining the west portion of the site	98	10.00	11.24	12.52
Q2	Onsite basin draining the central portion of the site	98	20.21	22.71	25.31
Q3	Onsite basin draining the east portion of the site	97	4.74	5.35	5.98

B. Developed Conditions

The site is mostly impervious surfacing. The proposed development will have a minimal impact with respect to the stormwater runoff as it will result in a decrease in impervious surfacing. New landscaped parking islands are proposed at the end of each parking aisle. These islands will have strategically placed curb cuts to allow for passive water harvesting and infiltration by intercepting some of the parking lot's sheet flow from the north. Landscaped areas are proposed around the perimeter of the proposed structure. A moderately sized outdoor amenity and landscaped area south of the proposed building allows for additional water harvesting and infiltration, further helping to reduce stormwater runoff. Additionally, roof drains will either be directed to landscaped areas or will be routed to a new storm drain system north of the building thus increasing stormwater travel time and helping to attenuate peak flows.

The proposed development and on-site grading will alter the existing local drainage patterns. The on-site basins are impacted by the development of the project. The Developed Conditions Drainage Map is presented in Figure 9, Appendix A. The Irrigation and Water Harvesting Plan is presented in Figure 10, Appendix A. The developed drainage basin characteristics are presented in Table 4.

Basin	Description	Acres
QD1	Onsite basin draining the west portion of the site	2.43
QD2	Onsite basin draining the south portion of the site	1.08
QD3	Onsite basin draining the east portion of the site	1.82
QD4	Onsite basin draining the northeast portion of the site	1.51
QD5	Onsite basin draining the north portion of the site	2.54
QD6	Onsite basin draining the north portion of the site	1.53
QD7	Onsite basin draining the north portion of the site	0.19

The WINTR-55, Version 1.00.10 was used to calculate weighted runoff number, time of concentration, and peak flow for the other basins. The 25, 50, and 100-year frequency storms were calculated. The graphical discharge method was used. Developed Conditions Drainage Calculations are presented in Appendix C. The Calculated Peak Flows are presented in Table 5.

Basin	Description	CN	Q25 (CFS)	Q50 (CFS)	Q100 (CFS)
QD1	Onsite basin draining the west portion of the site	97	7.43	8.38	9.36
QD2	Onsite basin draining the south portion of the site	94	2.91	3.34	3.77
QD3	Onsite basin draining the east portion of the site	97	5.78	6.52	7.28
QD4	Onsite basin draining the northeast portion of the site	97	4.80	5.41	6.05
QD5	Onsite basin draining the north portion of the site	97	8.08	9.11	10.18
QD6	Onsite basin draining the north portion of the site	97	4.86	5.48	6.13
QD7	Onsite basin draining the north portion of the site	96	0.59	0.67	0.75

A comparison between the existing conditions and developed conditions peak flows exiting the site shows that there is a slight decrease in flows exiting the site, 43.81 CFS existing and 43.52 CFS developed for the 100-year peak flow. The difference between these conditions represents the reduction in impervious surfaces while allowing opportunities for water harvesting and infiltration. This reduction in peak stormwater runoff is in compliance with the City of Santa Fe Terrain Management requirements.

C. Flood Plains

The flooding situation in the City of Santa Fe has been investigated by the Federal Insurance Administration. Their studies are contained in a report titled "Flood Insurance Study, Santa Fe County, New Mexico and Incorporated Areas." The latest effective FEMA Flood Plain Map Number 35049C0394D dated June 17, 2008 indicates that for this section of the City, all development is outside of the 1% Annual Chance Flood of being equaled or exceeded in any given year (base flood). There were no changes to this map in FEMA 2012 revisions. This map is presented in Figure 11, Appendix A.

III. GRADING AND EROSION CONTROL PLAN

Grading plans have been prepared for this development. Included within these plans are road profiles and site cross-sections. Roadway construction methods to be utilized for this development will be pursuant to New Mexico State Department of Transportation Standard Specifications for Highway and Bridge Construction, latest edition.

The grading activity at the site will require cut and fill operations. Utility installation will be scheduled to coincide with roadway grading and will be located with the roadway section and parkway.

The following plans will be utilized for controlling erosion and drainage through construction:

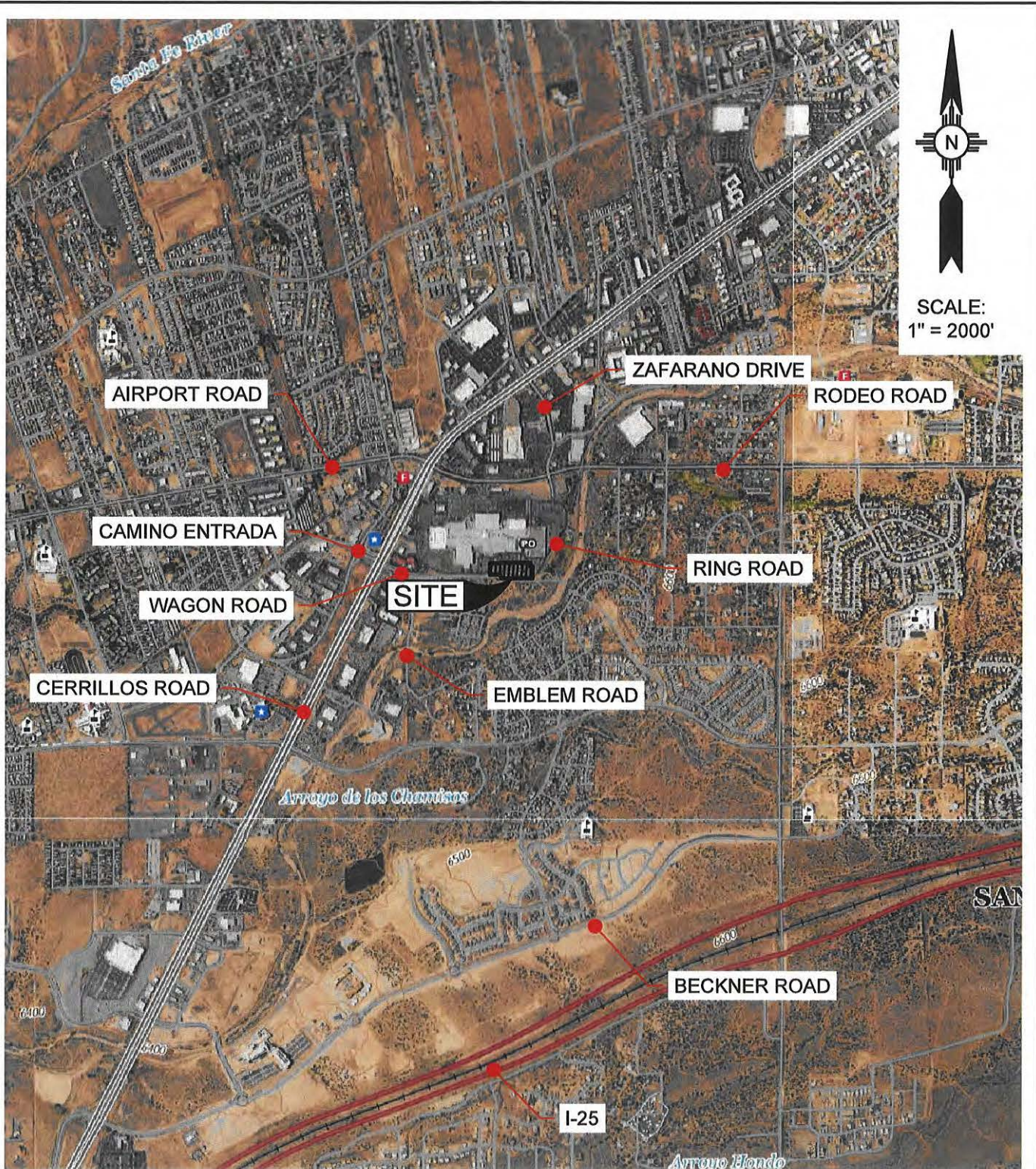
- A. The limits of construction will be clearly delineated to avoid unnecessary disturbance of adjacent areas prior to construction.
- B. Cut and fill slopes will be as follows:
Fills - 1 vertical on 3 horizontal maximum.
Cuts - 1 vertical on 2 horizontal maximum.
- C. Roadway drainage structures (culverts, brow ditches, and channel) will be constructed in conjunction with grading. No changes in the drainage ways or flood plain will be permitted except as shown on the Drainage Plans.
- D. Stabilization of cut or fills will begin soon after construction at the optimum time for plant survival, according to an approved landscaping plan
- F. The project will be inspected on a regular basis and additional measures such as mulch socks, inlet protection, etc., will be utilized as required to meet field conditions and to control erosion.

If you have any questions or need additional data, please do not hesitate to contact me.

Sincerely,

Eric Cornelius, P.E., C.F.M.
Santa Fe Engineering Consultants, LLC.

APPENDIX A
FIGURES



SCALE: 1" = 2000'

REFERENCE:
 U.S.G.S. QUADRANGLE MAPS TITLED "SANTA FE, NM",
 "AGUA FRIA, NM", "SETON VILLAGE, NM", AND
 "TURQUOISE HILL, NM" ALL DATED 2020

VICINITY MAP
 FIGURE 1

PROJECT DATA

APARTMENT AREA		APARTMENT TYPE	APARTMENT DESCRIPTION	APARTMENT AREA (SQ FT)	NUMBER OF APARTMENTS	TOTAL APARTMENT AREA (SQ FT)	BALCONY AREA (SQ FT)	PRIVATE OPEN SPACE (SQ FT)	TOTAL PRIVATE OPEN SPACE (SQ FT)
STUDIO	0	0	0	0	0	0	0	0	0
1 BEDROOM	1	1	1	1	1	1	1	1	1
2 BEDROOM	2	2	2	2	2	2	2	2	2
APARTMENT TOTALS				141	141	141	141	141	141

APARTMENT BUILDING AREA		BUILDING AREA (SQ FT)	COMMON OPEN SPACE (BUILDING FOOTPRINT AREA)
LEVEL 1 (PODOLAN)		17,872	0
LEVEL 2		18,011	0
LEVEL 3		18,150	0
LEVEL 4		18,289	0
BUILDING TOTALS		72,322	0

DIMENSIONAL STANDARDS

EXISTING DIMENSION	MAXIMUM PERMITTED DIMENSION
LOT AREA	100%
LOT COVERAGE PERMITTED	100%
TOTAL BUILDING COVERAGE	40% OF LOT AREA
PROPOSED LOT COVERAGE	40%
OPEN SPACE REQUIREMENTS	NONE
OPEN SPACE PROVISIONS	NONE
COMMON OPEN SPACE	NONE
PRIVATE OPEN SPACE	NONE
STREET FRONT SETBACK	10 FT
STREET SIDE SETBACK	10 FT
REAR SETBACK	10 FT

PARKING REQUIREMENTS

VEHICLE TYPE	REQUIREMENTS
STANDARD	1.5 SPACES PER UNIT
ACCESSIBLE	1.5 SPACES PER UNIT
TOTAL	2.25 SPACES PER UNIT
TOTAL UNITS	141
TOTAL SPACES REQUIRED	315
TOTAL SPACES PROVIDED	315
ACCESSIBLE SPACES PROVIDED	14
ADDITIONAL SPACES PROVIDED	0
TOTAL SPACES PROVIDED	315

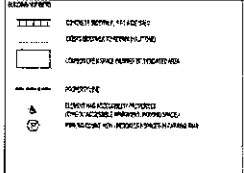
- KEY NOTES**
1. ALL SPACES SHALL BE PAVED WITH PERMEABLE PAVING.
 2. ALL SPACES SHALL BE ACCESSIBLE TO HANDICAPPED PERSONS.
 3. ALL SPACES SHALL BE MAINTAINED AND KEPT OPEN AT ALL TIMES.
 4. ALL SPACES SHALL BE FENCED AND GATED TO PREVENT UNAUTHORIZED ACCESS.
 5. ALL SPACES SHALL BE LIGHTED AT ALL TIMES.
 6. ALL SPACES SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
 7. ALL SPACES SHALL BE KEPT FREE OF DEBRIS.
 8. ALL SPACES SHALL BE KEPT FREE OF VEHICLES.
 9. ALL SPACES SHALL BE KEPT FREE OF OTHER OBSTRUCTIONS.
 10. ALL SPACES SHALL BE KEPT FREE OF OTHER OBSTRUCTIONS.

- GENERAL NOTES**
1. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE STATE OF COLORADO.
 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE STATE OF COLORADO.
 3. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE STATE OF COLORADO.
 4. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE STATE OF COLORADO.
 5. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE STATE OF COLORADO.
 6. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE STATE OF COLORADO.
 7. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE STATE OF COLORADO.
 8. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE STATE OF COLORADO.
 9. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE STATE OF COLORADO.
 10. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE STATE OF COLORADO.

LEGAL DESCRIPTION

LOT 100, SECTION 10, T4S, R10W, S1000100, CITY AND COUNTY OF DENVER, COLORADO. THE ENTIRE INTEREST OF SAID LOT AS SHOWN ON THE PLAT OF SAID LOT AND AS SHOWN ON THE PLAT OF SAID LOT AND AS SHOWN ON THE PLAT OF SAID LOT.

SITE LEGEND



STORMWATER AGREEMENT

THE CITY OF DENVER HEREBY AGREES THAT ALL DEVELOPERS AND OWNERS OF ANY PROPERTY IN THE CITY OF DENVER SHALL BE RESPONSIBLE FOR THE PROVISION AND MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES ON THEIR PROPERTY. THE CITY OF DENVER SHALL BE RESPONSIBLE FOR THE PROVISION AND MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES ON THE PUBLIC RIGHT-OF-WAY.

OWNER'S SIGNATURE: _____ DATE: _____

THE FOREGOING AGREEMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2008 (OFFICIAL)

NOTARY PUBLIC: _____ NOTARY COMMISSION NO. _____

SIGNATURE BLOCK

APPROVED BY THE CITY OF DENVER: _____ DATE: _____

PLANNING COMMISSIONER: _____ DATE: _____

PLANNING COMMISSION DEPUTY: _____ DATE: _____

APPROVED BY THE CITY OF DENVER: _____ DATE: _____

CITY CLERK: _____ DATE: _____

CITY ENGINEER: _____ DATE: _____

NOT FOR CONSTRUCTION

NO.	REVISION	DATE

ESCARPA
Apartment Homes at Sava Fe Place

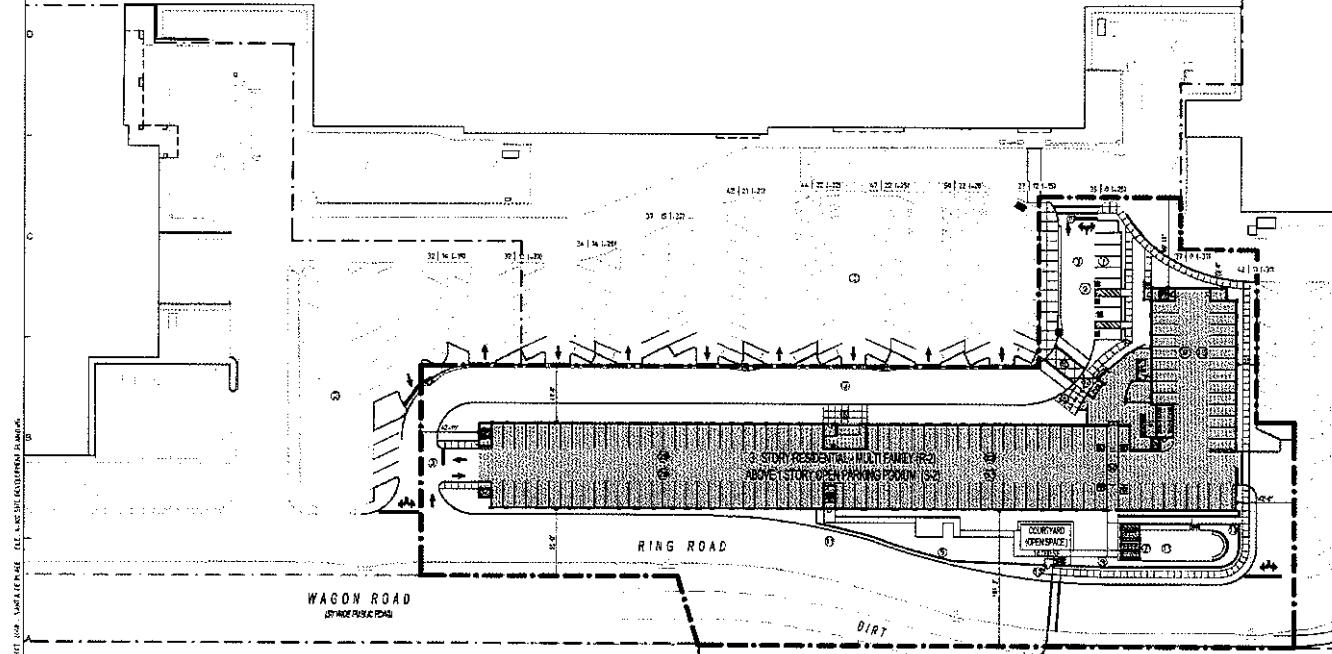
DEVELOPMENT PLAN
SCHEDULE NOT USED

SITE DEVELOPMENT PLAN

FIGURE 2

City of Denver
Current Planning Division Case File No. _____
Project Number: 2008
Date: DECEMBER 2008

A-100



NOT FOR CONSTRUCTION - PROJECT ROAD - VARIOUS DATE - SEE ALSO SITE DEVELOPMENT PLANNING

NOTES:

1. THIS PLAN RELIES TO RESTRICTIONS AND EASEMENTS AS SHOWN ON PLAT RECORDED IN BOOK 781, PAGE 14-17.
2. THIS PLAN SUBJECT TO VALID RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD AND ANY OTHER SUCH FACTS WHICH AN ASSAULT AND EJECTMENT TITLE SEARCH MAY DISCLOSE. ONLY THE RECORD DOCUMENTS NOTED HEREON WERE PROVIDED TO SA CONSULTANTS BY DANIELA GONZALEZ INC. NO ADDITIONAL CURRENT TITLE COMMITMENT NOR OTHER RECORDED TITLE DOCUMENTATION WAS PROVIDED BY DANIELA GONZALEZ INC.
3. FUTURE DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14 LAND DEVELOPMENT CODE, SPEC 2021 AND SUBSEQUENT AMENDMENTS.
4. FUTURE DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE, APPLICABLE PRIOR TO THAT DATE OF DEVELOPMENT, PLAN PRELIMINARY WITH THE COUNTY CLERK OF SANTIAGO FOR A BUILDING PERMIT APPLICATION THAT INCURRS ANY PENALTY OF CHAPTER 14 LAND DEVELOPMENT CODE, SPEC 2021 AND SUBSEQUENT AMENDMENTS.
5. PRIOR TO ANY NEW CONSTRUCTION THAT WILL BE SUBMITTED TO FIRE DEPARTMENT FOR COMPLIANCE WITH INTERNATIONAL FIRE CODE.
6. ALL NEW DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE CURRENT LAND DEVELOPMENT CODE.
7. ALL FIRE DEPARTMENT ACCESS SHALL BE NO GREATER THAN A 10% GRADE THRESHOLD.
8. FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20 FEET WIDE TO ANY NEW/EXISTING CONSTRUCTION.
9. SHALL MEET THE 100 FOOT DISTANCE TO ANY PORTION OF THE ROADWAY ON ANY NEW CONSTRUCTION.
10. SHALL PROVIDE WATER SUPPLY THAT MEETS FLOW REQUIREMENTS AS PER IFC AT THE OF CONSTRUCTION.

REFERENCE DOCUMENTS:

ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR SANTA FE LAND PROPERTY OWNER LLC, RECORDING INSTRUMENT 24, 2024, IN BOOK 781, PAGE 14-17.
 ALL PLATS AND RECORDS NOTED HEREON.

CONTROL REFERENCE:

MEASUREMENTS ARE REFERRED TO THE NEW MEXICO STATE PLANNING COMMISSION CENTER MOUNTAIN CONTROL. DISTANCES SHOWN ARE REFERRED TO EACH END TO CONVERT TO GRID COORDINATE MEASUREMENT BY A SCALE FACTOR OF 0.9999981.

FLOOD ZONE:

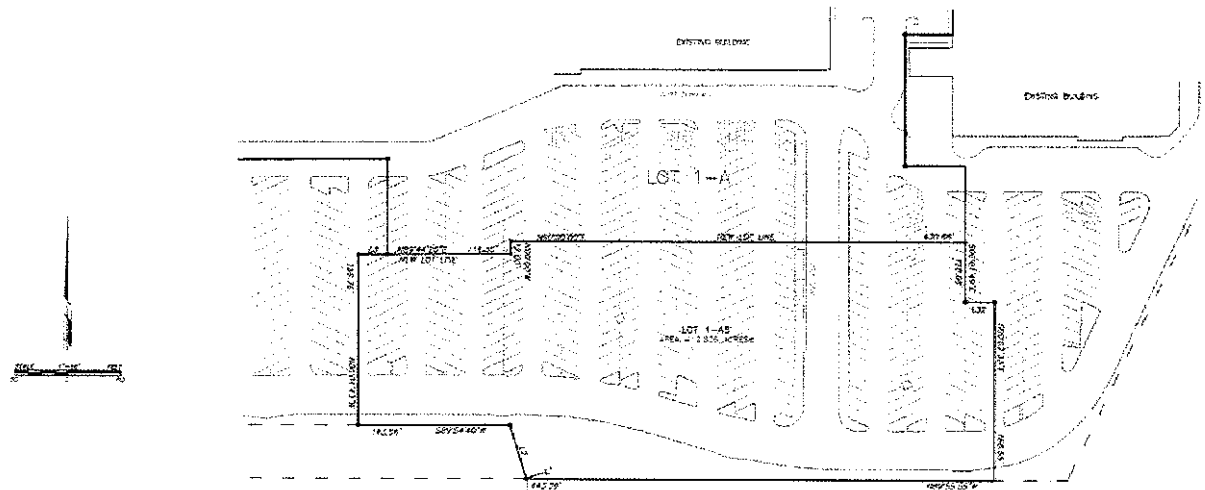
THIS PROPERTY LIES WITHIN ZONE "X" OTHER AREAS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD ELEVATION AS SHOWN ON FEMA MAPS DATED 06/17/2020.

LEGEND:

BOUNDARY OF BOUNDARY IN CLASS A ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR DANIELA GONZALEZ REAL ESTATE INVESTMENT LLC, RECORDING INSTRUMENT 17, 2022 IN PLAT IN BOOK 781, PAGE 14-17, COUNTY CLERK.
 UTILITY SYMBOLS SHOWN LARGER THAN ACTUAL SIZE FOR VISIBILITY PURPOSES.

- EXISTING PERMITS OR AS SHOWN PLANS
- EXISTING PERMITS OR AS SHOWN PLANS
- PERMITS CALCULATED PERMITS SET
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE UNLESS OTHERWISE NOTED
- EXISTING CULVERT
- EXISTING DRAINAGE
- EXISTING CAMP DRAINAGE
- EXISTING WOODCHIP PAVING
- EXISTING BOUNDARY OF LANDS DEPT. WITH BY THIS PLAT INFORMATION OUTSIDE OF THIS DOCUMENT IS BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

SUBDIVISION PLAT
WITHIN LOT 1-A AND LOT 2
AS SHOWN ON ALTA/ACSM LAND TITLE SURVEY
RECORDED IN BOOK 781 PAGE 14-17.
PREPARED FOR
SANTA FE MALL PROPERTY OWNER LLC.
ALL WITHIN SECTION 7 & 9, T17N, R25E, NMPM
CITY AND COUNTY OF SANTA FE NM



LINE	LENGTH	AREA
1-10	372.0000'	1.2547
1-11	372.0000'	1.2547
1-12	372.0000'	1.2547
1-13	372.0000'	1.2547
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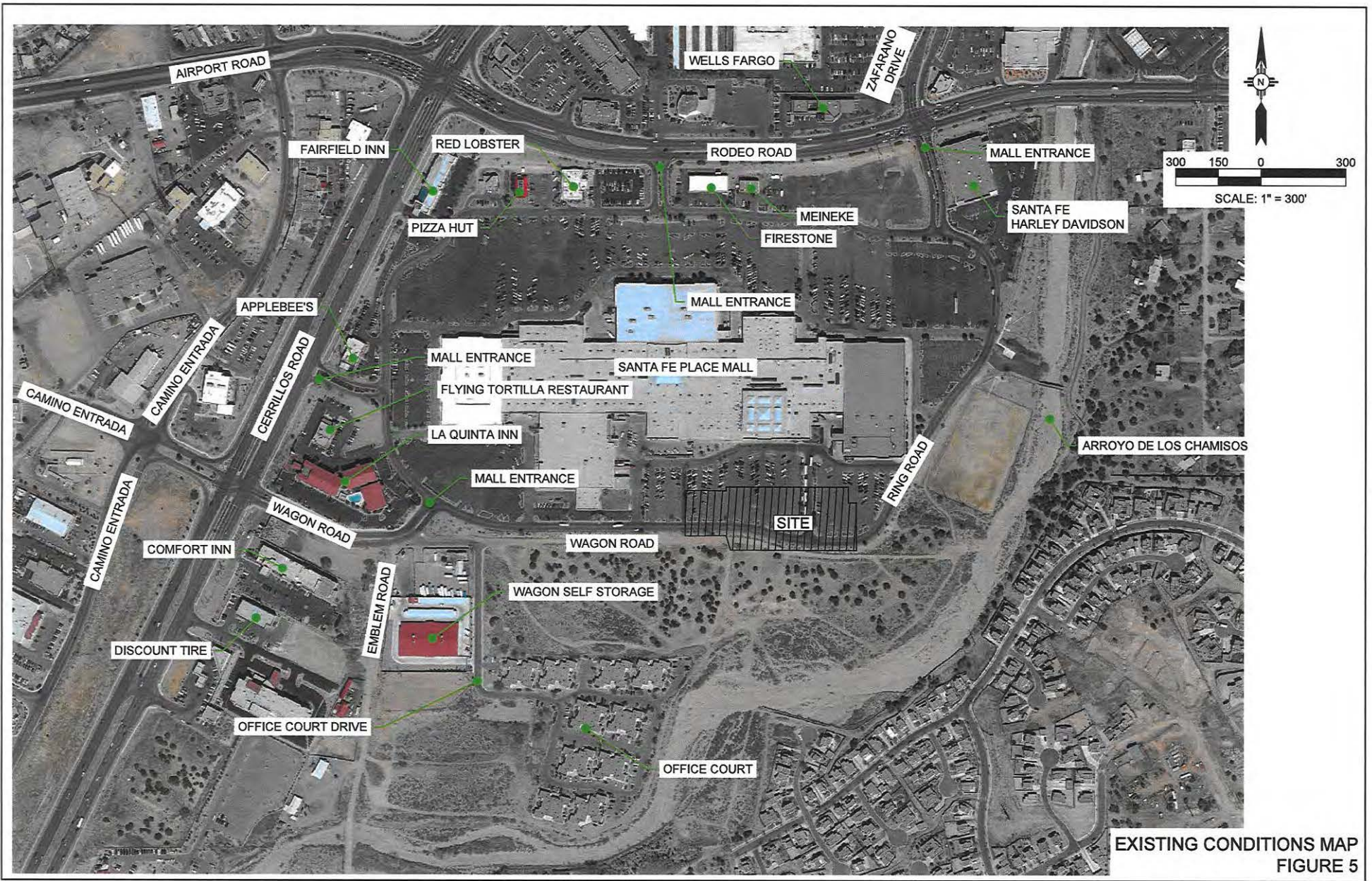
LINE	LENGTH	AREA
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1-199	372.0000'	1.2547
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Edward M. Zumbardo
 SURVEYOR
 4-27-2020
 DATE



FIGURE 4
SHEET 5 OF 6

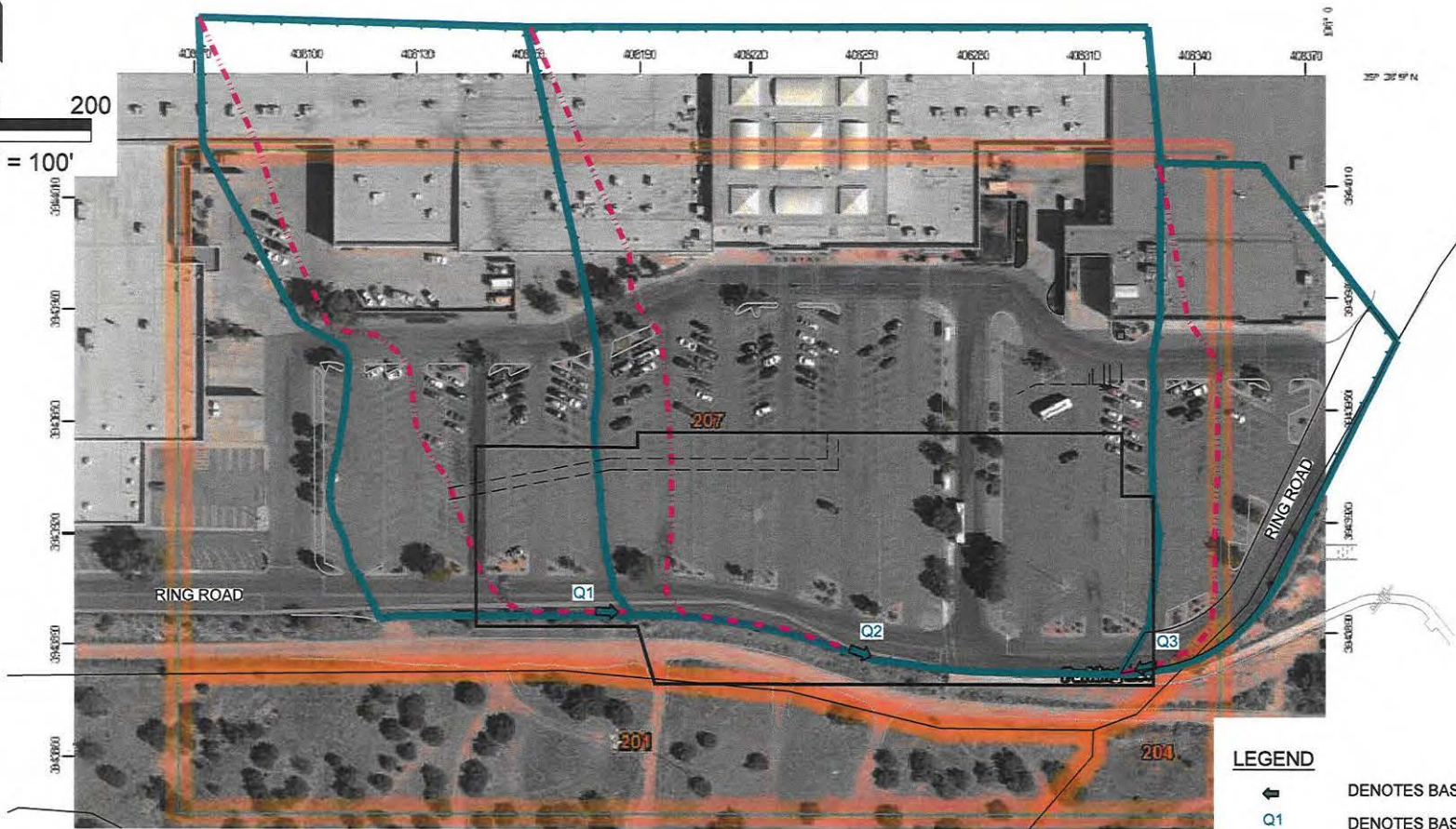
DANIELA GONZALEZ INC.
 PROFESSIONAL LAND SURVEYORS
 5000 S. SANTA FE AVENUE
 SUITE 100, SANTA FE, NM 87507
 P: 505.825.1100 FAX: 505.825.1101



EXISTING CONDITIONS MAP
FIGURE 5



0 50 100 200
SCALE: 1" = 100'



LEGEND

- ← DENOTES BASIN OUTFALL
- Q1 DENOTES BASIN DESIGNATION
- DENOTES BASIN
- - - DENOTES BASIN FLOWLINE

LEGEND		
SOIL ID #	SOIL NAME	HYDROLOGIC SOIL GROUP
207	URBAN LAND	

REFERENCE:
USDA National Resources Conservation Service
Custom Soil Resource Report for Santa Fe County Area, New Mexico
Survey Area Data: Version 12, Jun 8, 2020

SOILS MAP
FIGURE 6

LEGEND:

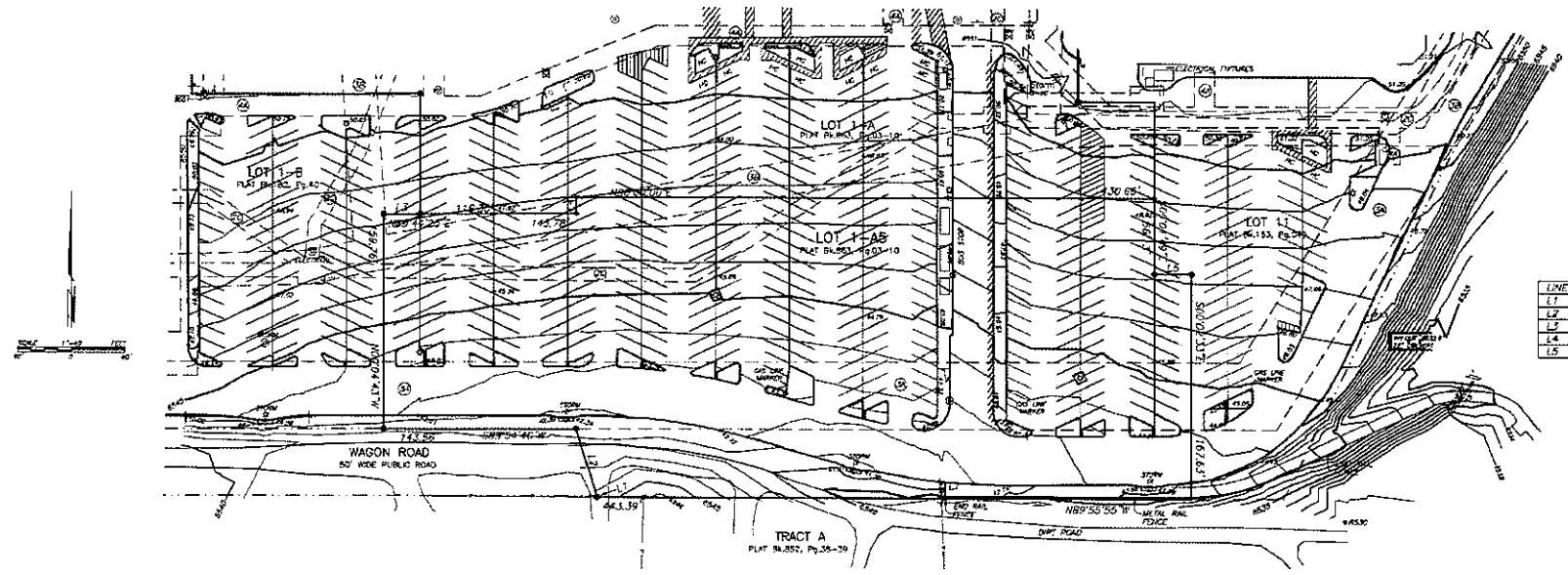
SYMBOLS MAY BE SHOWN LARGER THAN ACTUAL SIZE FOR VIEWING PURPOSES
 ELEVATIONS SHOWN AT PAVING ISLANDS ARE AT THE BACK OF CURB TYPICAL ISLAND
 CURB HEIGHT IS 0.5' ABOVE GUTTER.

- DENOTES CONSPICUOUS MONUMENT
- DENOTES LIGHT POLE
- DENOTES MANHOLE
- DENOTES GROUND PILE
- DENOTES WATER VALVE
- DENOTES FIRE HYDRANT
- DENOTES TRAFFIC SIGN
- DENOTES 1' CONTOUR INTERVAL
- DENOTES 5' CONTOUR INTERVAL

**TOPOGRAPHIC MAP
 OF LOT 1-A5 AND A PORTION OF LOT 1-A & LOT 11
 AS SHOWN ON FINAL SUBDIVISION PLAT &
 DEVELOPMENT PLAN AMENDMENT #5
 RECORDED IN BOOK 863 PAGE 03-10.
 PREPARED FOR
 SANTA FE MALL PROPERTY OWNER LLC.
 ALL WITHIN SECTION 7 & 8, T17N, R9E, NMPM
 CITY AND COUNTY OF SANTA FE NM**

EASEMENT LEGEND:

1. 50' WIDE GASLINE EASEMENT RECORDED IN BK-501, PL-630 DESIGNATOR (34).
2. 15' WIDE WATERLINE EASEMENT RECORDED IN BK-525, PG.109 DESIGNATOR (44).
3. 25' WIDE GASLINE EASEMENT RECORDED IN BK-525, PG.121 DESIGNATOR (38).
4. MAPPING WITH UNDERGROUND ELECTRIC EASEMENT RECORDED IN BK-525, PG.130 AND AMENDED IN BK-567, PG.508, PG.508, PG.624 AND BK-272, PG.777 DESIGNATOR (20).



NOTE:

THIS IS NOT A BOUNDARY SURVEY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREIN AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES.

THIS PROPERTY SUBJECT TO ALL VALID COVENANTS, EASEMENTS AND RESTRICTIONS OF RECORD. A TITLE SEARCH OF THE SUBJECT LOTS HAS NOT BEEN DONE.

THERE ARE NO BUILDINGS WITHIN THE TOPOGRAPHIC LIMITS SHOWN HEREON.

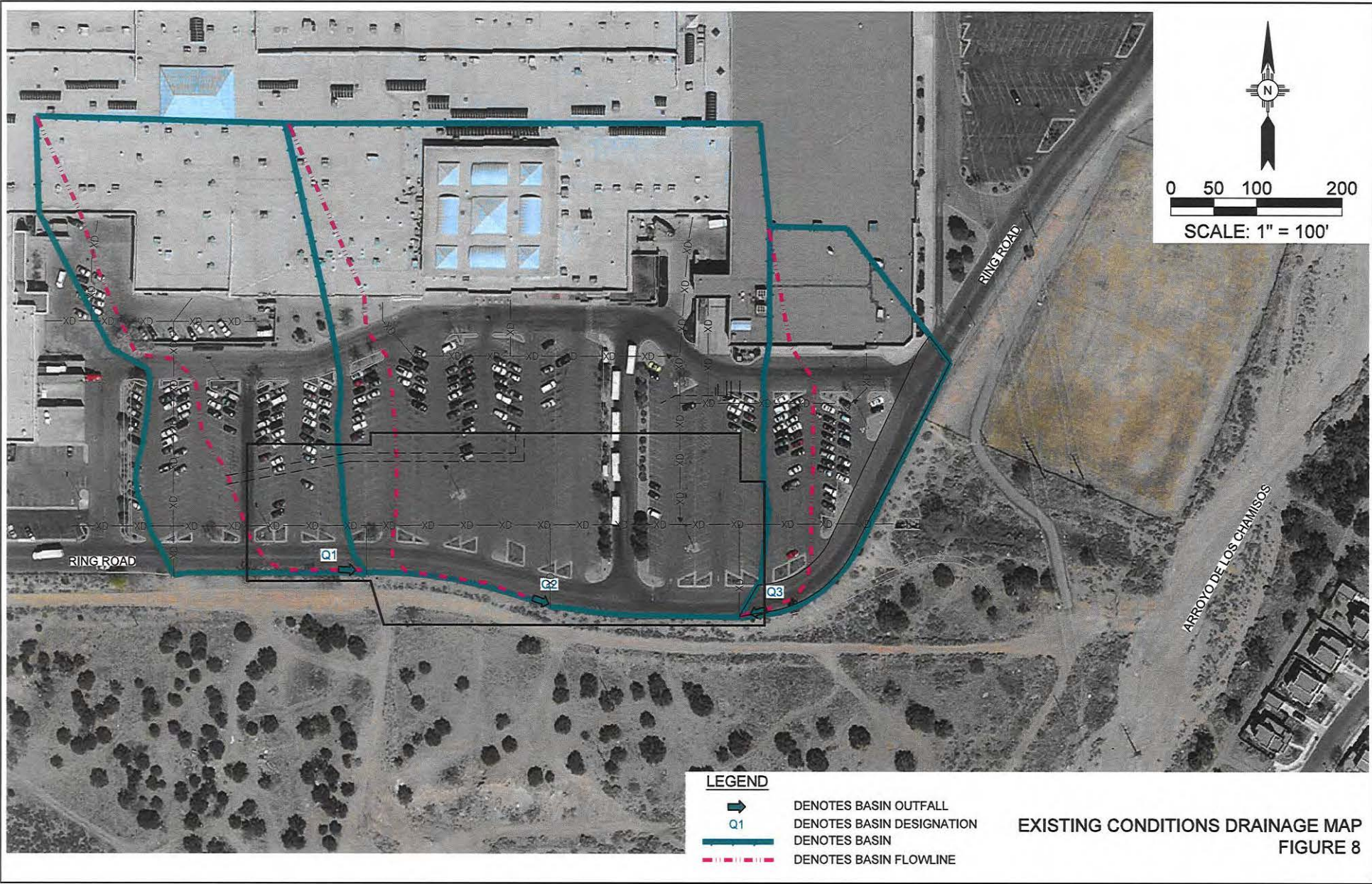
SURVEYORS CERTIFICATE:

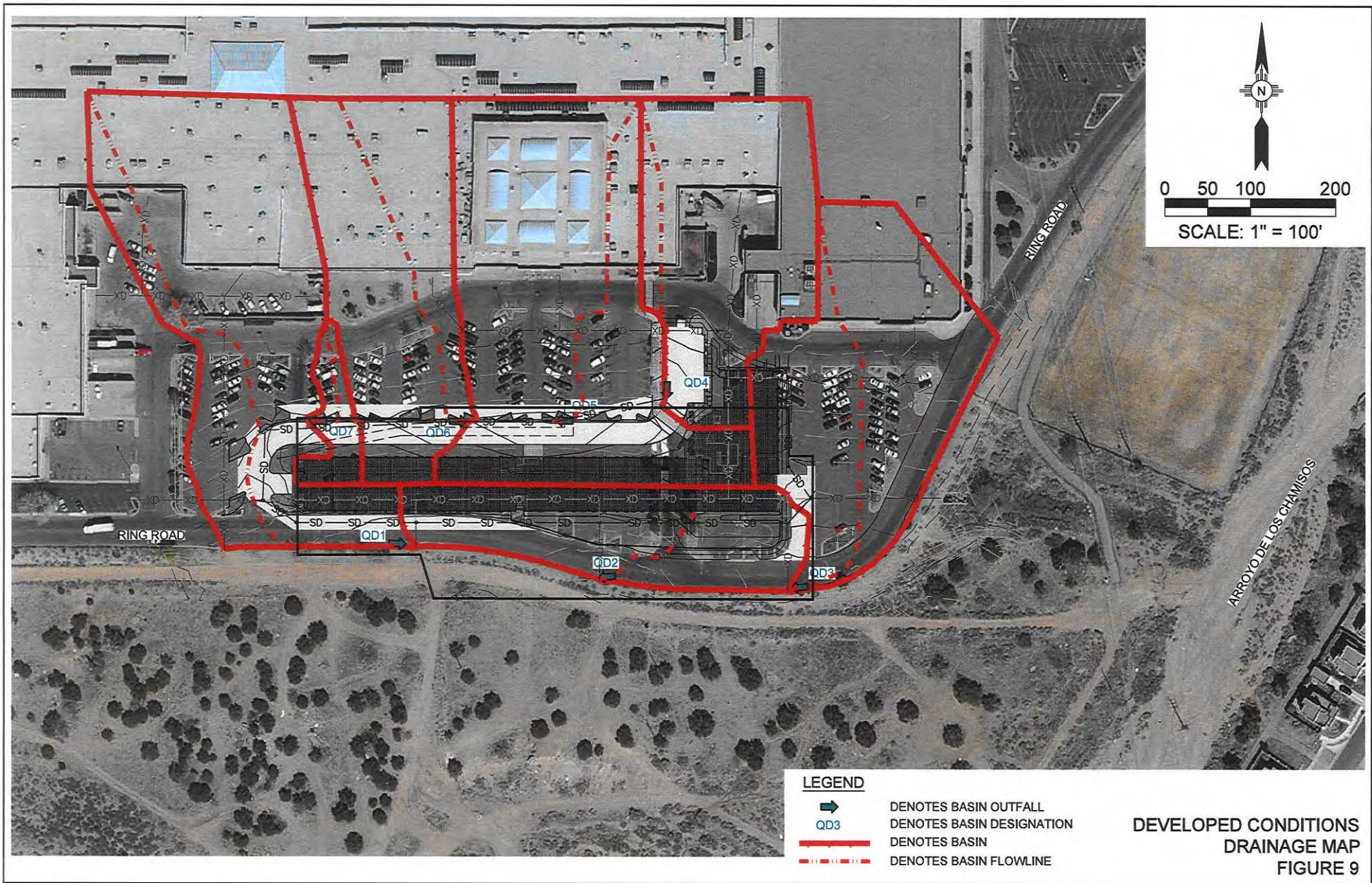
I HEREBY CERTIFY THAT THIS MAP IS A TRUE REPRESENTATION OF A TOPOGRAPHIC SURVEY COMPLETED UNDER MY PERSONAL SUPERVISION IN AUGUST OF 2020. THE SURVEY AND DRAWING ARE TRUE AND CORRECT, TO THE BEST OF MY KNOWLEDGE, AND MEET THE MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS IN NEW MEXICO.

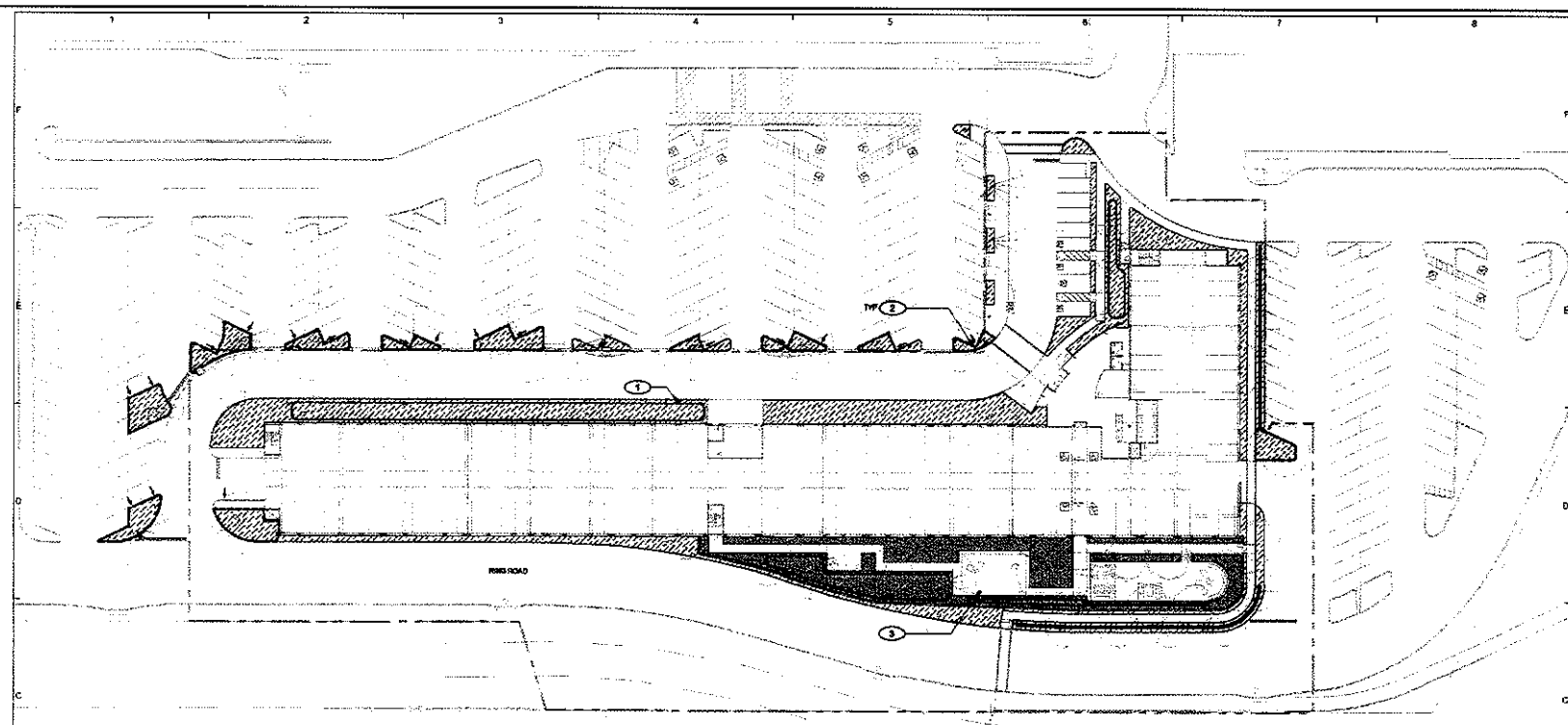
EDWARD M. TRUJILLO, N.M.P.L.S. #12352

FIGURE 7

DAWSON SURVEYS INC.
 PROFESSIONAL LAND SURVEYORS
 2002 B SHAWARD DRIVE
 SANTA FE, NM, 87507
 1 FILE 162815-10P0 DATE:08/24/2020







WATER BUDGET (ESTIMATED)

Area	Area (sq ft)	Planting Density	Planting Species	Planting Quantity	Planting Cost
Planting Area A	10,000	100	100%	100	100
Planting Area B	2,000	50	50%	100	100
Planting Area C	1,000	25	25%	50	50
Total	13,000	175	175%	250	250

Area	Area (sq ft)	Planting Density	Planting Species	Planting Quantity	Planting Cost
Planting Area D	15,000	150	150%	150	150
Planting Area E	3,000	75	75%	150	150
Planting Area F	1,500	37.5	37.5%	75	75
Total	19,500	262.5	262.5%	375	375

Area	Area (sq ft)	Planting Density	Planting Species	Planting Quantity	Planting Cost
Planting Area G	20,000	200	200%	200	200
Planting Area H	4,000	100	100%	200	200
Planting Area I	2,000	50	50%	100	100
Total	26,000	350	350%	500	500

Area	Area (sq ft)	Planting Density	Planting Species	Planting Quantity	Planting Cost
Planting Area J	25,000	250	250%	250	250
Planting Area K	5,000	125	125%	250	250
Planting Area L	2,500	62.5	62.5%	125	125
Total	32,500	437.5	437.5%	625	625

Planting Area A (Highly visible, high traffic) 100 plants per acre (1000 plants)

Planting Area B (Medium visibility, medium traffic) 50 plants per acre (500 plants)

Planting Area C (Low visibility, low traffic) 25 plants per acre (250 plants)

Planting Area D (Highly visible, high traffic) 150 plants per acre (1500 plants)

Planting Area E (Medium visibility, medium traffic) 75 plants per acre (750 plants)

Planting Area F (Low visibility, low traffic) 37.5 plants per acre (375 plants)

Planting Area G (Highly visible, high traffic) 200 plants per acre (2000 plants)

Planting Area H (Medium visibility, medium traffic) 100 plants per acre (1000 plants)

Planting Area I (Low visibility, low traffic) 50 plants per acre (500 plants)

Planting Area J (Highly visible, high traffic) 250 plants per acre (2500 plants)

Planting Area K (Medium visibility, medium traffic) 125 plants per acre (1250 plants)

Planting Area L (Low visibility, low traffic) 62.5 plants per acre (625 plants)

WATER HARVESTING KEYED NOTES

PROJECT WATER HARVESTING STRATEGIES INCLUDE: ALLOWING IMPERMEABLE SURFACES TO LANDSCAPE AREAS FOR RAINWATER HARVESTING, PERMEABLE SURFACES FOR SURFACE WATER HARVESTING, INSTALLING CURB CUTS AT PARKING MEDIALS TO DIVERT WATER TO PLANTING AREAS, AND DIRECTING RAINWATER FROM ROOF CHARLES DOWNSPUTS TO ADJACENT PLANTING AREAS.

- 1 WATER HARVESTING SWALE, TYP., CENTER IN LANDSCAPE AREA, COORDINATE WITH CIVIL GRADING PLANS.
- 2 CURB CUT, APPROPRIATE LOCATION, SEE CIVIL PLANS, COORDINATE FINAL LOCATION WITH GRADING PLANS.
- 3 SLOPE HARVESTING AREAS TO ADJACENT LANDSCAPE PLANTING AREAS, TYP.

LANDSCAPE IRRIGATION

IRRIGATION TO BE PROVIDED AS FOLLOWS:

- DEEP IRRIGATION TO TREES AND PLANTING AREAS WITH SWIRLS / PERMEABLE PERMANENT ZONES FOR TREES.
- IRRIGATION ZONES TO BE ORGANIZED BY HYDROZONE.
- IRRIGATION SYSTEM TO BE A PRESSURE COMPENSATING SYSTEM WITH A SMART CONTROLLER AND A WEATHER SENSOR, IRRIGATION SYSTEM TO MEET CITY OF SANTA FE CODE REQUIREMENTS.
- IRRIGATION SYSTEM TO BE INSTALLED BENEATH LANDSCAPE SURFACES.

LEGEND

- PROPERTY BOUNDARY
 - IRRIGATION AREAS
 - WATER HARVESTING AREAS
 - DRIP (MEDIUM DENSITY PLANTING)
 - DRIP (LOW DENSITY PLANTING)
 - PARKING LOT COLLECTION AREA
 - SURFACE SWALE
 - CURB CUT
- NOTE: ALL LANDSCAPE PLANTING AREAS ARE INTENDED TO SERVE AS LOCATIONS FOR STORMWATER INFILTRATION.

PRELIMINARY
NOT FOR CONSTRUCTION

autotroph
landscape architecture & design

No.	Description	Date

ESCARPA
Landscape Architecture & Design, P.A.

DEVELOPMENT PLAN

SANTA FE, NEW MEXICO

IRRIGATION +
WATER HARVESTING PLAN

100% Final Plan
Current Planning District Ord. No. 14-10

Project Number: 2008
Date: December 17, 2020

L102

FIGURE 10
design office
1300 LARSEN AVENUE, SUITE 24, SANTA FE, NM 87505
1.505.965.1415 www.do-designoffice.com

AUTOTROPH LANDSCAPE ARCHITECTURE & DESIGN, P.A. 100% FINAL PLAN

**APPENDIX B
EXISTING CONDITIONS
DRAINAGE CALCULATIONS**

WinTR-55 Current Data Description

--- Identification Data ---

User: CPC Date: 12/14/2020
 Project: SANTA FE PLACE MALL APARTMENTS Units: English
 SubTitle: Q1 EXISTING Areal Units: Acres
 State: New Mexico
 County: SANTA FE
 Filename: K:\SANTA FE PLACE MALL APARTMENTS\Drainage\TR55\Q1 EXISTING.w55

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
Q1		Outlet	3.16	98	.116

Total area: 3.16 (ac)

--- Storm Data --

Rainfall Depth by Rainfall Return Period

2-Yr (in)	-Yr (in)	-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	-Yr (in)
1.52	.0	.0	2.58	2.89	3.21	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period		
	25-Yr (cfs)	50-Yr (cfs)	100-Yr (cfs)
SUBAREAS			
Q1	10.00	11.24	12.52
REACHES			
OUTLET	10.00	11.24	12.52

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period		
	25-Yr (cfs) (hr)	50-Yr (cfs) (hr)	100-Yr (cfs) (hr)
SUBAREAS			
Q1	10.00 11.94	11.24 11.93	12.52 11.93
REACHES			
OUTLET	10.00	11.24	12.52

CPC

SANTA FE PLACE MALL APARTMENTS
Q1 EXISTING
SANTA FE County, New Mexico

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
Q1	3.16	0.116	98	Outlet	
Total Area: 3.16 (ac)					

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
Q1							
SHEET	100	0.0050	0.011				0.051
SHALLOW	27	0.0050	0.025				0.005
SHALLOW	594	0.0185	0.025				0.060
Time of Concentration							.116
							=====

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
Q1	Open space; grass cover 50% to 75% (fair)	C	.06	79
	Paved parking lots, roofs, driveways	C	2.92	98
	Paved; curbs and storm sewers	C	.18	98
Total Area / Weighted Curve Number			3.16	98
			====	==

WinTR-55 Current Data Description

--- Identification Data ---

User: CPC Date: 12/14/2020
 Project: SANTA FE PLACE MALL APARTMENTS Units: English
 SubTitle: Q2 EXISTING Areal Units: Acres
 State: New Mexico
 County: SANTA FE
 Filename: K:\SANTA FE PLACE MALL APARTMENTS\Drainage\TR55\Q2 EXISTING.w55

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
Q2		Outlet	6.45	98	.122

Total area: 6.45 (ac)

--- Storm Data --

Rainfall Depth by Rainfall Return Period

2-Yr (in)	-Yr (in)	-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	-Yr (in)
1.52	.0	.0	2.58	2.89	3.21	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period		
	25-Yr (cfs)	50-Yr (cfs)	100-Yr (cfs)
SUBAREAS			
Q2	20.21	22.71	25.31
REACHES			
OUTLET	20.21	22.71	25.31

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period		
	25-Yr (cfs) (hr)	50-Yr (cfs) (hr)	100-Yr (cfs) (hr)
SUBAREAS			
Q2	20.21 11.94	22.71 11.94	25.31 11.94
REACHES			
OUTLET	20.21	22.71	25.31

CPC

SANTA FE PLACE MALL APARTMENTS
Q2 EXISTING
SANTA FE County, New Mexico

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
Q2	6.45	0.122	98	Outlet	

Total Area: 6.45 (ac)

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
Q2							
SHEET	100	0.0050	0.011				0.051
SHALLOW	127	0.0050	0.025				0.025
SHALLOW	497	0.0222	0.025				0.046

Time of Concentration .122
=====

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
Q2	Open space; grass cover 50% to 75% (fair)	C	.15	79
	Paved parking lots, roofs, driveways	C	5.93	98
	Paved; curbs and storm sewers	C	.37	98
	Total Area / Weighted Curve Number		6.45	98
			====	==

WinTR-55 Current Data Description

--- Identification Data ---

User: CPC Date: 12/14/2020
 Project: SANTA FE PLACE MALL APARTMENTS Units: English
 SubTitle: Q3 EXISTING Areal Units: Acres
 State: New Mexico
 County: SANTA FE
 Filename: K:\SANTA FE PLACE MALL APARTMENTS\Drainage\TR55\Q3 EXISTING.w55

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
Q3		Outlet	1.49	97	0.1

Total area: 1.49 (ac)

--- Storm Data --

Rainfall Depth by Rainfall Return Period

2-Yr (in)	-Yr (in)	-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	-Yr (in)
1.52	.0	.0	2.58	2.89	3.21	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period		
	25-Yr (cfs)	50-Yr (cfs)	100-Yr (cfs)
SUBAREAS			
Q3	4.74	5.35	5.98
REACHES			
OUTLET	4.74	5.35	5.98

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period		
	25-Yr (cfs) (hr)	50-Yr (cfs) (hr)	100-Yr (cfs) (hr)
SUBAREAS			
Q3	4.74 11.93	5.35 11.93	5.98 11.93
REACHES			
OUTLET	4.74	5.35	5.98

CPC

SANTA FE PLACE MALL APARTMENTS
Q3 EXISTING
SANTA FE County, New Mexico

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
Q3	1.49	0.100	97	Outlet	

Total Area: 1.49 (ac)

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
Q3							
SHEET	100	0.0050	0.011				0.051
SHALLOW	38	0.0050	0.025				0.007
SHALLOW	374	0.0191	0.025				0.037

Time of Concentration 0.1
=====

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
Q3	Open space; grass cover 50% to 75% (fair)	C	.05	79
	Paved parking lots, roofs, driveways	C	1.14	98
	Paved; curbs and storm sewers	C	.3	98
	Total Area / Weighted Curve Number		1.49	97
			====	==

APPENDIX C
DEVELOPED CONDITIONS
DRAINAGE CALCULATIONS

WinTR-55 Current Data Description

--- Identification Data ---

User: CPC Date: 12/18/2020
 Project: SANTA FE PLACE MALL APARTMENTS Units: English
 SubTitle: QD1 DEVELOPED CONDITION Areal Units: Acres
 State: New Mexico
 County: SANTA FE
 Filename: K:\SANTA FE PLACE MALL APARTMENTS\Drainage\TR55\QD1 DEVELOPED.w55

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
QD1		Outlet	2.43	97	.124

Total area: 2.43 (ac)

--- Storm Data --

Rainfall Depth by Rainfall Return Period

2-Yr (in)	-Yr (in)	-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	-Yr (in)
1.52	.0	.0	2.58	2.89	3.21	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period		
	25-Yr (cfs)	50-Yr (cfs)	100-Yr (cfs)
SUBAREAS			
QD1	7.43	8.38	9.36
REACHES			
OUTLET	7.43	8.38	9.36

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period		
	25-Yr (cfs) (hr)	50-Yr (cfs) (hr)	100-Yr (cfs) (hr)
SUBAREAS			
QD1	7.43 11.94	8.38 11.94	9.36 11.94
REACHES			
OUTLET	7.43	8.38	9.36

CPC

SANTA FE PLACE MALL APARTMENTS
QD1 DEVELOPED CONDITION
SANTA FE County, New Mexico

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
QD1	2.43	0.124	97	Outlet	
Total Area: 2.43 (ac)					

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
QD1							
SHEET	100	0.0050	0.011				0.051
SHALLOW	27	0.0050	0.025				0.005
SHALLOW	646	0.0170	0.025				0.068
Time of Concentration							.124
							=====

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
QD1	Open space; grass cover 50% to 75% (fair)	C	.09	79
	Paved parking lots, roofs, driveways	C	2.16	98
	Paved; curbs and storm sewers	C	.18	98
Total Area / Weighted Curve Number			2.43	97
			=====	==

WinTR-55 Current Data Description

--- Identification Data ---

User: CPC Date: 12/18/2020
 Project: SANTA FE PLACE MALL APARTMENTS Units: English
 SubTitle: QD2 DEVELOPED CONDITION Areal Units: Acres
 State: New Mexico
 County: SANTA FE
 Filename: K:\SANTA FE PLACE MALL APARTMENTS\Drainage\TR55\QD2 DEVELOPED.w55

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
QD2		Outlet	1.08	94	.144

Total area: 1.08 (ac)

--- Storm Data ---

Rainfall Depth by Rainfall Return Period

2-Yr (in)	-Yr (in)	-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	-Yr (in)
1.52	.0	.0	2.58	2.89	3.21	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period		
	25-Yr (cfs)	50-Yr (cfs)	100-Yr (cfs)
SUBAREAS			
QD2	2.91	3.34	3.77
REACHES			
OUTLET	2.91	3.34	3.77

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period		
	25-Yr (cfs) (hr)	50-Yr (cfs) (hr)	100-Yr (cfs) (hr)
SUBAREAS			
QD2	2.91 11.95	3.34 11.95	3.77 11.96
REACHES			
OUTLET	2.91	3.34	3.77

CPC

SANTA FE PLACE MALL APARTMENTS
QD2 DEVELOPED CONDITION
SANTA FE County, New Mexico

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
QD2	1.08	0.144	94	Outlet	
Total Area: 1.08 (ac)					

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
QD2							
SHEET	35	0.0100	0.150				0.135
SHALLOW	29	0.1359	0.025				0.001
SHALLOW	87	0.0201	0.025				0.008
Time of Concentration							.144
							=====

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
QD2	Open space; grass cover 50% to 75% (fair)	C	.22	79
	Paved parking lots, roofs, driveways	C	.49	98
	Paved; curbs and storm sewers	C	.37	98
Total Area / Weighted Curve Number			1.08	94
			=====	==

WinTR-55 Current Data Description

--- Identification Data ---

User: CPC Date: 12/18/2020
 Project: SANTA FE PLACE MALL APARTMENTS Units: English
 SubTitle: QD3 DEVELOPED CONDITION Areal Units: Acres
 State: New Mexico
 County: SANTA FE
 Filename: K:\SANTA FE PLACE MALL APARTMENTS\Drainage\TR55\QD3 DEVELOPED.w55

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
QD3		Outlet	1.82	97	0.1

Total area: 1.82 (ac)

--- Storm Data ---

Rainfall Depth by Rainfall Return Period

2-Yr (in)	-Yr (in)	-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	-Yr (in)
1.52	.0	.0	2.58	2.89	3.21	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period		
	25-Yr (cfs)	50-Yr (cfs)	100-Yr (cfs)
SUBAREAS			
QD3	5.78	6.52	7.28
REACHES			
OUTLET	5.78	6.52	7.28

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period		
	25-Yr (cfs) (hr)	50-Yr (cfs) (hr)	100-Yr (cfs) (hr)
SUBAREAS			
QD3	5.78 11.93	6.52 11.93	7.28 11.93
REACHES			
OUTLET	5.78	6.52	7.28

CPC

SANTA FE PLACE MALL APARTMENTS
QD3 DEVELOPED CONDITION
SANTA FE County, New Mexico

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
QD3	1.82	0.100	97	Outlet	
Total Area: 1.82 (ac)					

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
QD3							
SHEET	100	0.0050	0.011				0.051
SHALLOW	38	0.0050	0.025				0.007
SHALLOW	374	0.0191	0.025				0.037
Time of Concentration							0.1
							=====

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
QD3	Open space; grass cover 50% to 75% (fair)	C	.09	79
	Paved parking lots, roofs, driveways	C	1.43	98
	Paved; curbs and storm sewers	C	.3	98
Total Area / Weighted Curve Number			1.82	97
			====	==

WinTR-55 Current Data Description

--- Identification Data ---

User: CPC Date: 12/18/2020
 Project: SANTA FE PLACE MALL APARTMENTS Units: English
 SubTitle: QD4 DEVELOPED CONDITION Areal Units: Acres
 State: New Mexico
 County: SANTA FE
 Filename: K:\SANTA FE PLACE MALL APARTMENTS\Drainage\TR55\QD4 DEVELOPED.w55

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
QD4		Outlet	1.51	97	0.1

Total area: 1.51 (ac)

--- Storm Data --

Rainfall Depth by Rainfall Return Period

2-Yr (in)	5-Yr (in)	10-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	200-Yr (in)
1.52	.0	.0	2.58	2.89	3.21	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period		
	25-Yr (cfs)	50-Yr (cfs)	100-Yr (cfs)
SUBAREAS			
QD4	4.80	5.41	6.05
REACHES			
OUTLET	4.80	5.41	6.05

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period		
	25-Yr (cfs) (hr)	50-Yr (cfs) (hr)	100-Yr (cfs) (hr)
SUBAREAS			
QD4	4.80 11.93	5.41 11.93	6.05 11.93
REACHES			
OUTLET	4.80	5.41	6.05

CPC

SANTA FE PLACE MALL APARTMENTS
QD4 DEVELOPED CONDITION
SANTA FE County, New Mexico

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
QD4	1.51	0.100	97	Outlet	

Total Area: 1.51 (ac)

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
QD4							
SHEET	100	0.0050	0.011				0.051
SHALLOW	97	0.0050	0.025				0.019
SHALLOW	156	0.0260	0.025				0.013

Time of Concentration 0.1
=====

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
QD4	Open space; grass cover 50% to 75% (fair)	C	.07	79
	Paved parking lots, roofs, driveways	C	1.44	98
	Total Area / Weighted Curve Number		1.51	97
			====	==

WinTR-55 Current Data Description

--- Identification Data ---

User: CPC Date: 12/18/2020
 Project: SANTA FE PLACE MALL APARTMENTS Units: English
 SubTitle: QD5 DEVELOPED CONDITION Areal Units: Acres
 State: New Mexico
 County: SANTA FE
 Filename: K:\SANTA FE PLACE MALL APARTMENTS\Drainage\TR55\QD5 DEVELOPED.w55

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
QD5		Outlet	2.54	97	0.1

Total area: 2.54 (ac)

--- Storm Data --

Rainfall Depth by Rainfall Return Period

2-Yr (in)	-Yr (in)	-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	-Yr (in)
1.52	.0	.0	2.58	2.89	3.21	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period		
	25-Yr (cfs)	50-Yr (cfs)	100-Yr (cfs)
SUBAREAS			
QD5	8.08	9.11	10.18
REACHES			
OUTLET	8.08	9.11	10.18

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period		
	25-Yr (cfs) (hr)	50-Yr (cfs) (hr)	100-Yr (cfs) (hr)
SUBAREAS			
QD5	8.08 11.93	9.11 11.93	10.18 11.93
REACHES			
OUTLET	8.08	9.11	10.18

CPC

SANTA FE PLACE MALL APARTMENTS
QD5 DEVELOPED CONDITION
SANTA FE County, New Mexico

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
QD5	2.54	0.100	97	Outlet	
Total Area:		2.54 (ac)			

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
QD5							
SHEET	100	0.0050	0.011				0.051
SHALLOW	104	0.0050	0.025				0.020
SHALLOW	236	0.0369	0.025				0.017
Time of Concentration							0.1
							=====

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
QD5	Open space; grass cover 50% to 75% (fair)	C	.11	79
	Paved parking lots, roofs, driveways	C	2.43	98
Total Area / Weighted Curve Number			2.54	97
			====	==

WinTR-55 Current Data Description

--- Identification Data ---

User: CPC Date: 12/18/2020
 Project: SANTA FE PLACE MALL APARTMENTS Units: English
 SubTitle: QD6 DEVELOPED CONDITION Areal Units: Acres
 State: New Mexico
 County: SANTA FE
 Filename: K:\SANTA FE PLACE MALL APARTMENTS\Drainage\TR55\QD6 DEVELOPED.w55

--- Sub-Area Data ---

Name	Description	Reach	Area (ac)	RCN	Tc
QD6		Outlet	1.53	97	0.1

Total area: 1.53 (ac)

--- Storm Data --

Rainfall Depth by Rainfall Return Period

2-Yr (in)	-Yr (in)	-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	-Yr (in)
1.52	.0	.0	2.58	2.89	3.21	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period		
	25-Yr (cfs)	50-Yr (cfs)	100-Yr (cfs)
SUBAREAS			
QD6	4.86	5.48	6.13
REACHES			
OUTLET	4.86	5.48	6.13

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period		
	25-Yr (cfs) (hr)	50-Yr (cfs) (hr)	100-Yr (cfs) (hr)
SUBAREAS			
QD6	4.86 11.93	5.48 11.93	6.13 11.93
REACHES			
OUTLET	4.86	5.48	6.13

CPC

SANTA FE PLACE MALL APARTMENTS
QD6 DEVELOPED CONDITION
SANTA FE County, New Mexico

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
QD6	1.53	0.100	97	Outlet	

Total Area: 1.53 (ac)

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
QD6							
SHEET	100	0.0050	0.011				0.051
SHALLOW	117	0.0050	0.025				0.023
SHALLOW	204	0.0246	0.025				0.018

Time of Concentration 0.1
=====

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
QD6	Open space; grass cover 50% to 75% (fair)	C	.07	79
	Paved parking lots, roofs, driveways	C	1.46	98
	Total Area / Weighted Curve Number		1.53	97
			====	==

WinTR-55 Current Data Description

--- Identification Data ---

User: CPC Date: 12/18/2020
 Project: SANTA FE PLACE MALL APARTMENTS Units: English
 SubTitle: QD7 DEVELOPED CONDITION Areal Units: Acres
 State: New Mexico
 County: SANTA FE
 Filename: K:\SANTA FE PLACE MALL APARTMENTS\Drainage\TR55\QD7 DEVELOPED.w55

--- Sub-Area Data ---

Name	Description	Reach	Area(ac)	RCN	Tc
QD7		Outlet	0.19	96	0.1

Total area: .19 (ac)

--- Storm Data --

Rainfall Depth by Rainfall Return Period

2-Yr (in)	-Yr (in)	-Yr (in)	25-Yr (in)	50-Yr (in)	100-Yr (in)	-Yr (in)
1.52	.0	.0	2.58	2.89	3.21	.0

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

Watershed Peak Table

Sub-Area or Reach Identifier	Peak Flow by Rainfall Return Period		
	25-Yr (cfs)	50-Yr (cfs)	100-Yr (cfs)
SUBAREAS			
QD7	0.59	0.67	0.75
REACHES			
OUTLET	0.59	0.67	0.75

Hydrograph Peak/Peak Time Table

Sub-Area or Reach Identifier	Peak Flow and Peak Time (hr) by Rainfall Return Period		
	25-Yr (cfs) (hr)	50-Yr (cfs) (hr)	100-Yr (cfs) (hr)
SUBAREAS			
QD7	0.59 11.93	0.67 11.93	0.75 11.93
REACHES			
OUTLET	0.59	0.67	0.75

CPC

SANTA FE PLACE MALL APARTMENTS
QD7 DEVELOPED CONDITION
SANTA FE County, New Mexico

Sub-Area Summary Table

Sub-Area Identifier	Drainage Area (ac)	Time of Concentration (hr)	Curve Number	Receiving Reach	Sub-Area Description
QD7	.19	0.100	96	Outlet	
Total Area: .19 (ac)					

Sub-Area Time of Concentration Details

Sub-Area Identifier/	Flow Length (ft)	Slope (ft/ft)	Mannings's n	End Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/sec)	Travel Time (hr)
QD7							
SHEET	100	0.0266	0.011				0.026
SHALLOW	61	0.0211	0.025				0.006
Time of Concentration							0.1
							=====

Sub-Area Land Use and Curve Number Details

Sub-Area Identifier	Land Use	Hydrologic Soil Group	Sub-Area Area (ac)	Curve Number
QD7	Open space; grass cover 50% to 75% (fair)	C	.02	79
	Paved parking lots, roofs, driveways	C	.17	98
Total Area / Weighted Curve Number			.19	96
			===	==

**Santa
Fe
Engineering
Consultants, LLC**

Civil and Traffic Engineering

Construction Management

Land Development

**TRAFFIC IMPACT ANALYSIS
FOR THE ESCARPA APARTMENT HOMES AT SANTA FE PLACE
SANTA FE, NEW MEXICO**

Prepared For:

**Santa Fe Place Mall Property Owner, LLC
4250 Cerrillos Road
Santa Fe, NM 87507**

Prepared By:

**Santa Fe Engineering Consultants, LLC.
1599 S. St. Francis Drive, Suite B
Santa Fe, New Mexico 87505**

December 2020

**TRAFFIC IMPACT ANALYSIS
FOR THE ESCARPA APARTMENT HOMES AT SANTA FE PLACE
SANTA FE, NEW MEXICO**

EXECUTIVE SUMMARY

Santa Fe Place Mall Property Owner, LLC is proposing to construct a new apartment complex named Escarpa Apartment Homes to be located at the Santa Fe Place Mall. The site is located on the south side of the mall, north of Ring Road and Wagon Road, in Santa Fe, NM.

A scoping meeting was conducted on September 29, 2020 with Mr. John Romero, City of Santa Fe Traffic Engineer to discuss the scope of the Traffic Impact Analysis (TIA) and to determine the intersections to be analyzed. Based upon the scoping meeting, the study area consists of the intersections of Cerrillos Road / Wagon Road / Camino Entrada, Rodeo Road / Zafarano Drive / Santa Fe Place Mall Entrance, Ring Road / Santa Fe Place Mall Entrance Road.

The project will be completed in one phase. It is anticipated that the development will begin construction in 2021 and be completed and rented by 2023. Access to the site is provided by Ring Road and the Santa Fe Place Mall parking lot.

The COVID-19 pandemic has made traffic counts problematic. The NMDOT State Traffic Engineer issued a memo on May 1, 2020 that states that traffic data for the “previous years (up to 4 years)” may be used. The TIA for the Turquesa Apartments, which studied some of the same intersections as this analysis, is within the year limit and was reviewed and approved by City of Santa Fe Traffic Department in 2018.

On October 5, 2020, the NMDOT State Traffic Engineer issued alternative methods for traffic counts. The suggested methods are as follows:

- Method 1: Use Recent Turning Movement Counts (TMC), with a growth rate if available.
- Method 2: Use current “Big Data” with Tube Count Data, for calibration if available.
- Method 3: Use “Big Data” Only and Current COVID-19 TMC Volumes, if no other data is available.

“Big Data” refers to location records or data points created by smart phones, apps, and vehicles equipped with GPS. “Big Data” is used to identify origins and destinations based on a series of pings or data points that occur from the beginning to the end of a trip.

Site-specific peak hour traffic counts at the intersection of Cerrillos Road / Wagon Road / Camino Entrada had been conducted in 2018. These traffic counts are within the four-year limit and do provide actual turning movement counts in 15-minute increments.

Site-specific peak hour traffic counts at the intersection of Rodeo Road / Zafarano Drive are not available. There are two count stations on Rodeo Road and one on Zafarano Drive. According to the

NMDOT memo dated October 5, 2020, Method 2 using “Big Data” can be used to approximate raw pre-COVID-19 TMC and can be calibrated using pre-COVID-19 tube count data.

Recent turning movement counts with growth rates or tube count data are not available for Ring Road. Method 3, “Big Data” only will be utilized to determine existing traffic volumes at the intersection of Wagon Road / Ring Road.

The existing conditions analysis indicates that the intersection of Cerrillos Road / Wagon Road / Camino Entrada and the intersection of Ring Road / Mall Entrance have adequate capacity for the existing conditions. However, the intersection of Rodeo Road / Zafarano Drive has failures on the southbound left movement in the AM. There are also failures on the southbound left and northbound thru/right movements in the PM. The existing condition fails. Adjusting the signal timing to improve the operation of this signal cannot be done without taking into account the entire network. This intersection is on the Rodeo Road coordinated signal system. The system starts at Zafarano Drive and extends east to Yucca Street. There are eight (8) signals on this system. The system has not been updated for a significant time period. However, it is beyond the scope of this TIA to synchronize the system. It appears it is possible to make adjustments to obtain adequate levels of service.

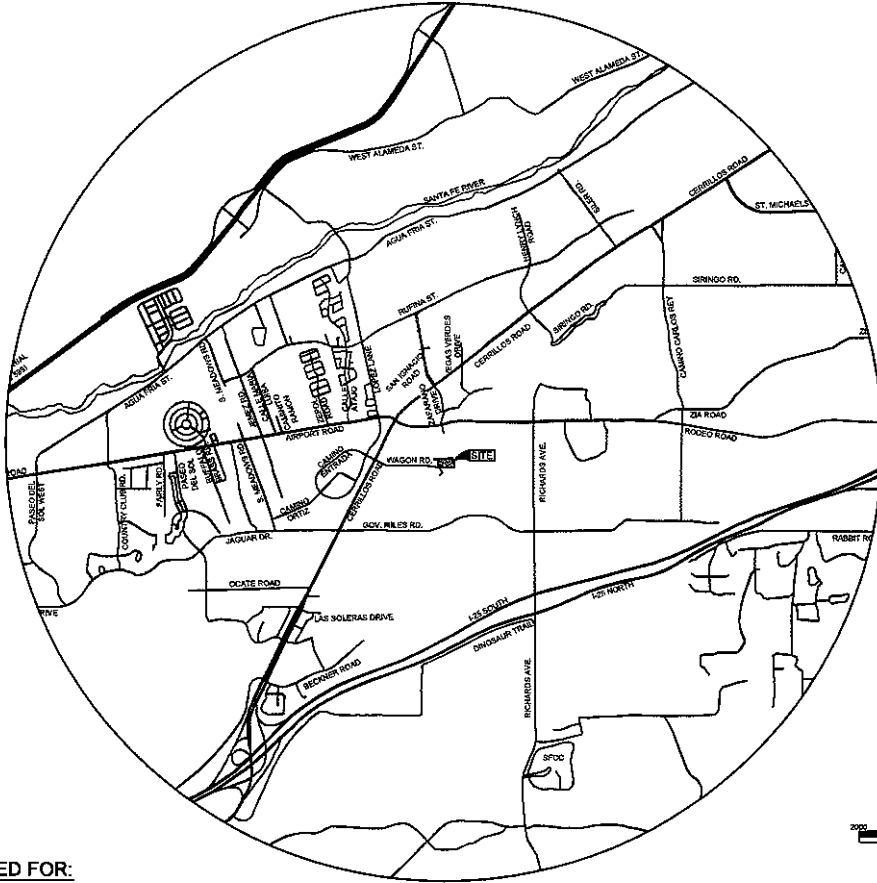
Crash data for the intersection of Cerrillos Road / Wagon Road / Camino Entrada was obtained from the NMDOT for the years 2015 through 2019. The data shows that in the five-year period from 2015 to 2019, there were a total of 63 crashes at the intersection of Cerrillos Road / Wagon Road / Camino Entrada. The crashes per year vary from a high of 14 in 2017 to a low of 11 in 2018. The yearly crash rates appear to be relatively constant. There were no crashes that involved fatalities.

Crash data for the intersection of Rodeo Road / Zafarano Drive was obtained from the NMDOT for the years 2015 through 2019. The data shows that in the five-year period from 2015 to 2019, there were a total of 77 crashes at the intersection of Rodeo Road / Zafarano Drive. The crashes per year vary from a high of 17 in 2015 to a low of 14 in 2018. The yearly crash rates appear to be relatively constant. There were no crashes that involved fatalities.

In the implementation year the intersection of Rodeo Road / Zafarano Drive has failures on the southbound left movement in the AM. There are also failures on the southbound left and northbound thru/right movements in the PM. All the other intersections have adequate capacity for the implementation year conditions. Additional traffic studies for the Rodeo Road signal system could be performed to determine if a more efficient timing plan would fix the existing and implementation year conditions. Improvements for the northbound approach could be constructed. A northbound right turn lane would provide the additional capacity to mitigate the northbound failing movement. Capacity analysis was performed with the proposed right turn lane. It provides improved performance of the intersection but does not address timing issues. The capacity calculations are presented in Appendix G, but with no changes to the City timing.

In the horizon year the intersection of Rodeo Road / Zafarano Drive has failures on the southbound left movement in the AM. There are also failures on the southbound left and northbound thru/right movements in the PM. All the other intersections have adequate capacity for the horizon year conditions.

DEVELOPMENT PLAN
SUBMITTAL FOR
ESCARPA
APARTMENT HOMES AT SANTA FE PLACE



PREPARED FOR:
 SANTA FE MALL PROPERTY OWNER LLC
 4250 CERRILLOS ROAD
 SANTA FE, NM 87507

DECEMBER
2020

CITY OF SANTA FE, NEW MEXICO
SECTIONS 7 & 8, TOWNSHIP 17N, RANGE 9E

CASE # _____

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BUILDING PERMIT No's: (GRADING) _____ (LANDSCAPE/UTILITIES) _____
 INFRASTRUCTURE CONSTRUCTION ADDRESS _____

PROPERTY DEVELOPMENT MUST COMPLY WITH SECTION 144.12 (RELOCATION OF GUANACO'S PRAIRIE DOGS)



CITY OF SANTA FE DRAINAGE NOTES:

- SUBJECT TO THE APPROVAL OF CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION/SEDIMENT CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF EACH SEGMENT OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- MAINTENANCE OF PRIVATE DRAINAGE FACILITIES AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER. THE CITY OF SANTA FE IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THESE FACILITIES AND DRAINAGE FACILITIES AT THE DISCRETION OF THE CITY. THE OWNER AGREES TO INDEMNIFY AND TO HOLD HARMLESS FROM ALL DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTION RIGHT.

ENGINEER'S STORMWATER INFRASTRUCTURE CERTIFICATION
 I, UNDERSIGNED, BEING A PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE RECORD INFORMATION SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND VISUAL INSPECTIONS PERFORMED BY MYSELF OR UNDER MY DIRECT SUPERVISION.

I FURTHER CERTIFY THAT THE RECORD CONDITION OF THE SITE AS OF _____ IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN PREPARED BY _____, DATED _____.

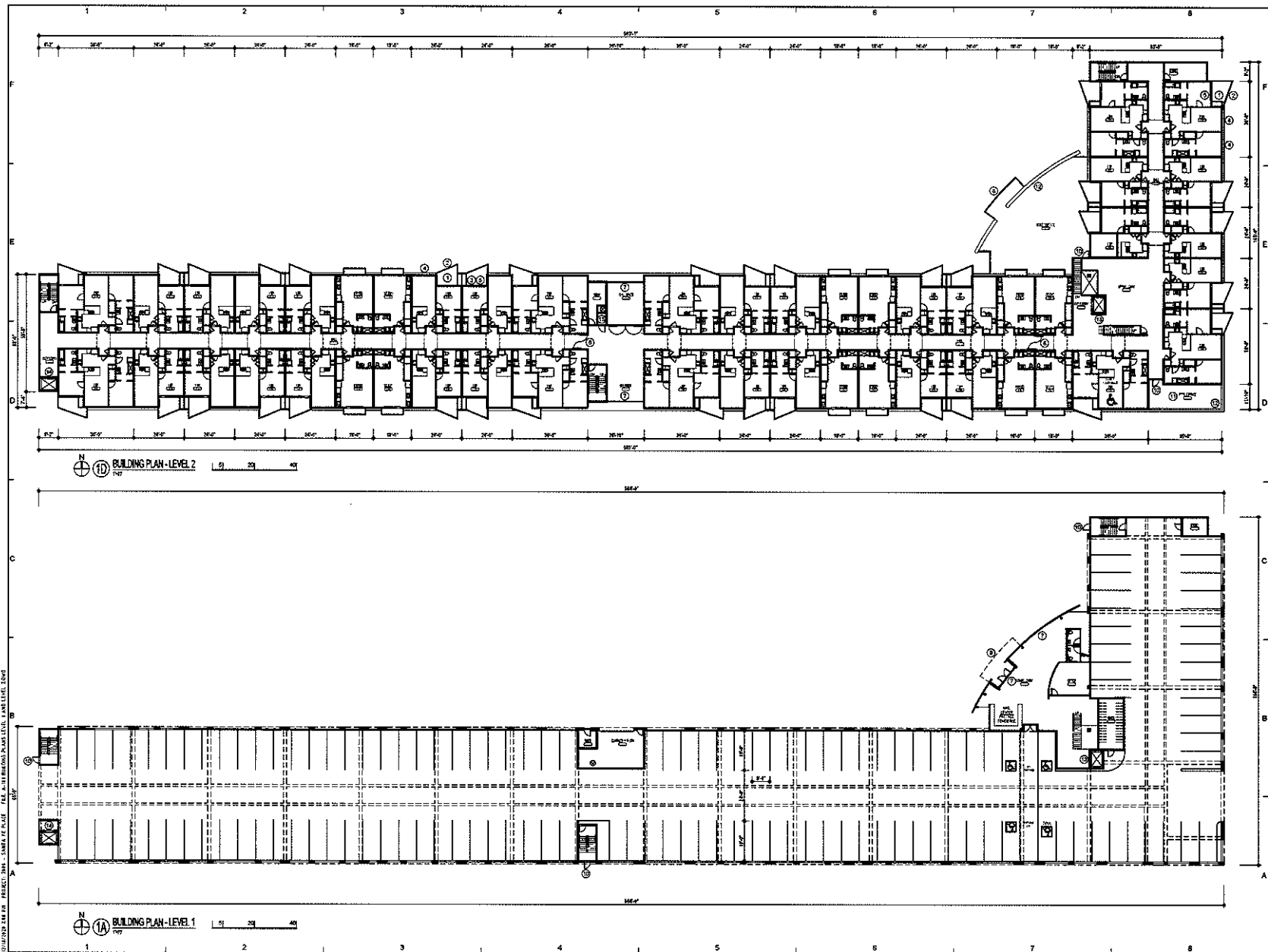
PRINTED NAME, NIMPE NO. _____ DATE _____

REV.	SHEETS	CITY ENGR.	DATE	REV.	SHEETS	CITY ENGR.	DATE
APPROVAL OF REVISIONS							

CITY OF SANTA FE		APPROVED FOR CONSTRUCTION
CITY ENGINEER		DATE
COVER SHEET AND INDEX OF SHEETS	SHEET G-100	



SFE C Santa Fe Engineering Consultants, LLC
 1559 St. Francis Drive, Suite B
 Santa Fe, N. M. 87505
 (505) 982-2645 Fax: (505) 982-2641
 http://www.SFENGR.com



- KEY NOTES**
- ① BALCONY - PRIVATE OPEN SPACE (177)
 - ② CORTEN CORROSIVETED METAL PANEL CLAUSTRAL (177)
 - ③ EXTERIOR STORAGE CLOSET (177)
 - ④ COMPOSITE WINDOW (177)
 - ⑤ COMPOSITE PARTO DOOR (177)
 - ⑥ SELF-CLOSING HINGE DOOR - HORIZONTAL, DIT
 - ⑦ GLAZED ALUMINUM STOREFRONT
 - ⑧ ENTRANCE CANOPY
 - ⑨ LINE OF ENTRANCE CANOPY ABOVE DOORHEAD
 - ⑩ FULL GLASS/FULLOW METAL INSULATED DOOR
 - ⑪ ROOF TERRACE - COMMON OPEN SPACE
 - ⑫ STUCCO PARAPET CURLED
 - ⑬ ELEVATOR
 - ⑭ PRIMARY SECONDARY ELEVATOR
 - ⑮ REFURB RECYCLING CANTE

- NOTES**
1. ALL GLAZING SHALL BE CLEAR AND NON-REFLECTIVE
 2. ALL WINDOWS, ENTRANCES AND STOREFRONT FRAMING SHALL BE RECEIVED IF PROMINENT FACE OF STUCCO
 3. ALL WINDOWS SHALL BE WHITE, TAIL END GRAY OR BLACK IN COLOR
 4. SEE ELEVATIONS AND PERSPECTIVE VIEWS FOR VARIABLE APERTURE WINDOW ARRANGEMENTS
 5. ALL ALUMINUM STOREFRONT FRAMING, ENTRANCES AND WINDOWS SHALL BE CLEAR ANODIZED
 6. YELLOW METAL SURFACES FIRST FLOOR SHALL BE PAINTED TO MATCH HIGHEST WALL MATERIAL

NOT FOR CONSTRUCTION

No.	Description	Date

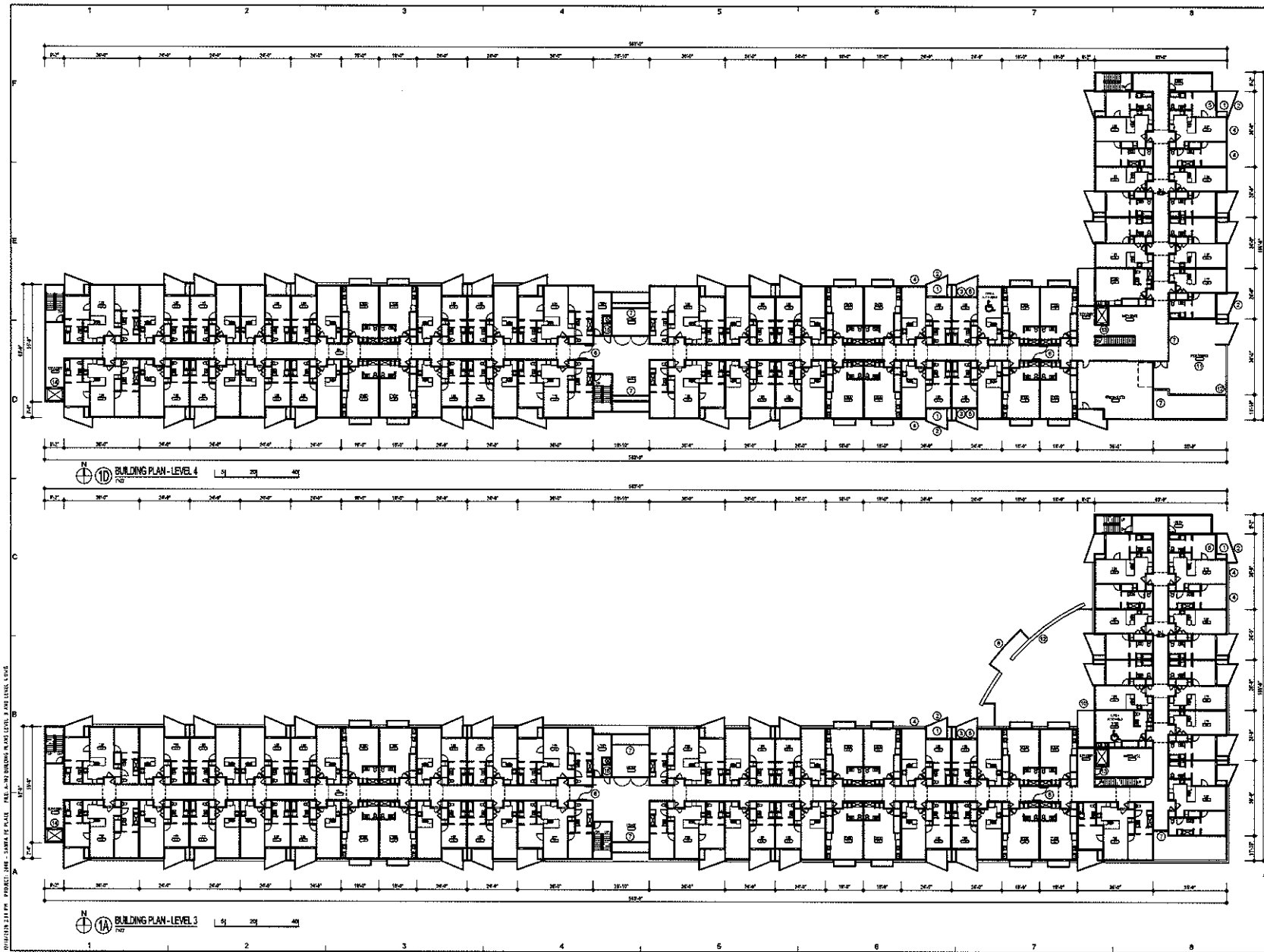
ESCARPA
 Apartment Homes at Santa Fe Place
DEVELOPMENT PLAN
 SANTA FE, NEW MEXICO

BUILDING PLANS
 LEVEL 1 AND LEVEL 2

City of Santa Fe
 Current Planning Division Case File No. _____
 Project Number _____ 2018
 Date _____ DECEMBER 2022

A-101

QUALIFIED ENGINEER OR ARCHITECT - SANTA FE PLACE - FILE WITH BEHNS PLANS LEVEL 1 AND LEVEL 2



KEY NOTES

- ① BALCONY - PRIVATE OPENSPACE (TYP)
- ② CORTEX COGNATE METAL PANEL COMPOUND (TYP)
- ③ COVERED STORAGE GARAGE (TYP)
- ④ COMPOSITE WINDOW (TYP)
- ⑤ COMPOSITE PANE DOOR (TYP)
- ⑥ SELF-CLOSING FIRE DOOR - HORIZONTAL EXIT
- ⑦ ENTRANCE CANOPY
- ⑧ GLASS ALUMINUM STOREFRONT
- ⑨ LINE OF ENCASEMENT CAVITY ABOVE GLASS
- ⑩ FULL GLASS HULL ON METAL INSULATED DOOR
- ⑪ ROOF TERRACE - COMMON OPENSPACE
- ⑫ STUCCO PARAPET CURB
- ⑬ ELEVATOR
- ⑭ PRIMARY SECURITY ELEVATOR
- ⑮ REUSE/RECYCLING CHUTE

NOTES

1. ALL GLAZING SHALL BE CLEAR AND NON-REFLECTIVE.
2. ALL WINDOWS, ENTRANCES AND STOREFRONT FRAMING SHALL BE FINISHED 2" PROFINEMER FINE OF STUCCO.
3. ALL WINDOWS SHALL BE WHITE, T&G DARK BROWN OR BLACK IN COLOR.
4. SEE ELEVATIONS AND PERSPECTIVE VIEWS FOR VARIABLE PARTITION WINDOW REQUIREMENTS.
5. ALL ALUMINUM STOREFRONT FRAMING, ENTRANCES AND WINDOWS SHALL BE CLEAR FINISHED.
6. YELLOW METAL SERVICE FOOT BOARD SHALL BE PAINTED TO MATCH ADJACENT WALL MATERIAL.

NOT FOR CONSTRUCTION



Description	Date

ESCARPA
Apartment Homes at Santa Fe Place
DEVELOPMENT PLAN
SANTA FE, NEWMEXICO

BUILDING PLANS
LEVEL 3 AND LEVEL 4

City of Santa Fe
Current Planning Division Case File No. _____
Project Number _____ 2008
Date _____ DECEMBER 2020

A-102

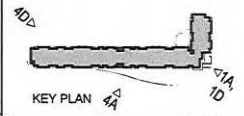


1D NORTHWEST PERSPECTIVE

4D SOUTHEAST PERSPECTIVE

1A NORTHWEST AERIAL

4A NORTHEAST PERSPECTIVE



NOT FOR CONSTRUCTION
 autotroph
 ARCHITECTURE & INTERIOR DESIGN

No.	Description	Date

ESCARPA
 Apartment Homes at Santa Fe Place
 DEVELOPMENT PLAN
 SANTA FE, NEW MEXICO

ARCHITECTURAL RENDERINGS

City of Santa Fe
 Current Planning Division Case File No. _____
 Project Number 2008
 Date DECEMBER 2020

A-301

1/1/2020 10:11 PM PROJECT: 2008 - SANTA FE PLACE FILE: A-301 ARCHITECTURAL_RENDERINGS.rvt

11/15/2018 10:54 AM PROJECT: 2008 - SANTA FE PLACE FILE: A-302 ARCHITECTURAL RENDERINGS.DWG



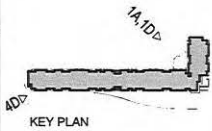
1D SOUTHEAST AERIAL



4D NORTHEAST PERSPECTIVE



1A SOUTHEAST PERSPECTIVE



KEY PLAN

NOT FOR CONSTRUCTION

PLANNING CONSULTANTS & ENGINEERS, INC. 10000 N. GARDEN AVENUE, SUITE 100, DENVER, CO 80231

No.	Description	Date

ESCARPA
 Apartment Homes at Santa Fe Place
DEVELOPMENT PLAN
 SANTA FE, NEW MEXICO

ARCHITECTURAL RENDERINGS

City of Santa Fe
 Current Planning Division Case File No. _____
 Project Number 2008
 Date DECEMBER 2020

A-302



- CAST METAL CHARACTERS (HOUSE NUMBER)
- FONT: FUTURA MEDIUM
- 2" HIGH, 1/2" THICK
- BRUSHED ALUMINUM FINISH
- ATTACH THROUGH ENTRANCE CANOPY FACIA INTO SOLID BACKING WITH 1" STANDOFFS
- 3000K LED BACK LIGHT

####

ESCARPA at santa fe place

3C BUILDING MOUNTED WALL SIGNAGE - ENTRY CANOPY

- CAST METAL CHARACTERS
- FONT: FUTURA MEDIUM
- 2" HIGH, 1/2" THICK
- BRUSHED ALUMINUM FINISH
- ATTACH THROUGH CANOPY FACIA INTO SOLID BACKING WITH 1" STANDOFFS
- 3000K LED BACK LIGHT

- 12" ALUMINUM CANOPY FACIA
- CAST METAL CHARACTERS
- FONT: UNTERS (MATCH SANTA FE PLACE MALL GRAPHIC STANDOFFS)
- 2" HIGH, 1" THICK
- BRUSHED ALUMINUM FINISH
- ATTACH THROUGH ENTRANCE CANOPY FACIA INTO SOLID BACKING WITH 1" STANDOFFS
- 3000K LED BACK LIGHT

14-6.10 (E) PERMANENT SIGNS

(5) WALL SIGNS

(A) SHALL NOT PROJECT MORE THAN ONE (1) FOOT FROM THE WALL ON WHICH THEY ARE DISPLAYED. WALL SIGNS SHALL NOT PROJECT OVER PUBLIC PROPERTY EXCEPT WHERE THE BUILDING WALL IS LESS THAN ONE (1) FOOT FROM THE PROPERTY LINE. IN THIS CASE, THE SIGN MAY PROJECT UP TO ONE (1) FOOT FROM THE BUILDING WALL PROVIDED THAT IT DOES NOT IMPEDE OR ENDANGER PEDESTRIAN OR VEHICULAR TRAFFIC.

(B) SHALL, IN NO CASE, EXCEED TWENTY PERCENT OF THE AREA OF THE WALL ON WHICH THEY ARE DISPLAYED OR EIGHTY (80) SQUARE FEET IN SIGN AREA, WHICHEVER IS LESS, EVEN IF THE DISTRICT PERMITS A LARGER TOTAL SIGN AREA.

ESCARPA
at santa fe place
street address

- CAST METAL CHARACTERS
- FONT: FUTURA MEDIUM
- 2" HIGH, 1/2" THICK
- BRUSHED ALUMINUM FINISH
- ATTACH THROUGH CORRUGATED SIGNING INTO SOLID BACKING WITH 1" STANDOFFS
- 3000K LED BACK LIGHT

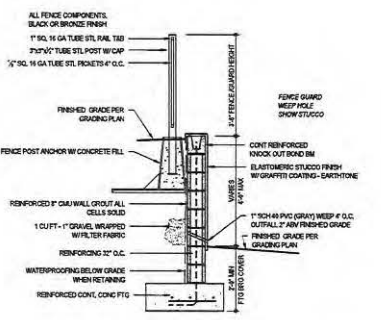
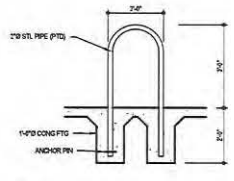


- CAST METAL CHARACTERS
- FONT: UNTERS (MATCH SANTA FE PLACE MALL GRAPHIC STANDOFFS)
- 2" HIGH, 1" THICK
- BRUSHED ALUMINUM FINISH
- ATTACH THROUGH CORRUGATED SIGNING INTO SOLID BACKING WITH 1" STANDOFFS
- 3000K LED BACK LIGHT

- CAST METAL CHARACTERS
- FONT: UNTERS (MATCH SANTA FE PLACE MALL GRAPHIC STANDOFFS)
- 2" HIGH, 1" THICK
- BRUSHED ALUMINUM FINISH
- ATTACH THROUGH CORRUGATED SIGNING INTO SOLID BACKING WITH 1" STANDOFFS
- 3000K LED BACK LIGHT

3C BUILDING MOUNTED WALL SIGNAGE - WEST ELEVATION

3A BIKE RACK



3A RETAINING YARD WALL

NOT FOR CONSTRUCTION

artif troph
ARCHITECTURE & INTERIOR DESIGN

No.	Description	Date

ESCARPA
Apartment Homes at Santa Fe Place

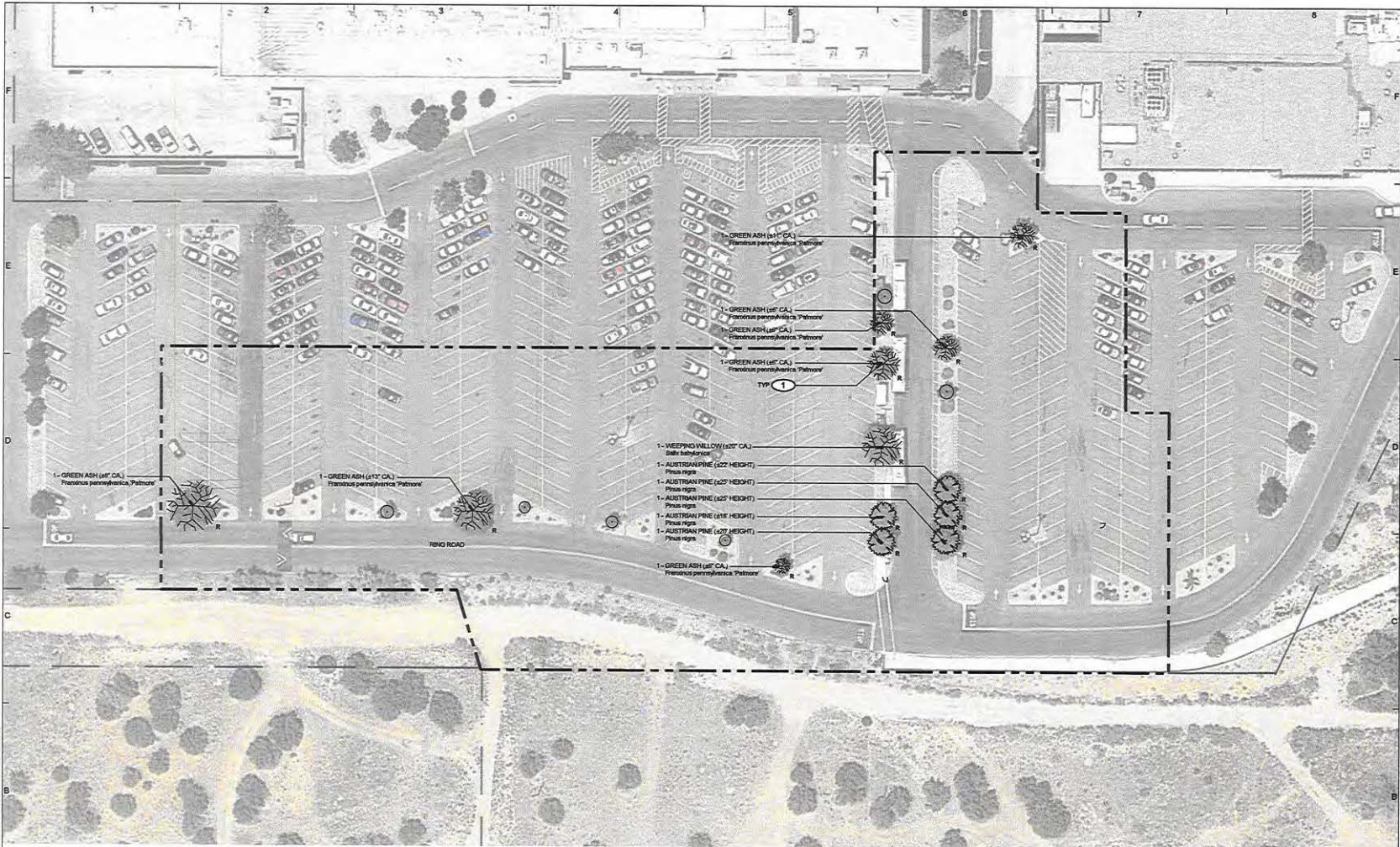
DEVELOPMENT PLAN
SANTA FE, NEW MEXICO

SITE DETAILS

City of Santa Fe
Current Planning Division Case File No. _____
Project Number _____ 2008
Date _____ DECEMBER 2020

A-501

10/19/20 1:31 PM PROJECT: 2018 - SANTA FE PLACE - PRELIMINARY SITE DETAILS.dwg



TREE INVENTORY LEGEND

- PROPERTY BOUNDARY
- TREE, SIGNIFICANT EVERGREEN (>8' HEIGHT)
- TREE, SIGNIFICANT DECIDUOUS (>6" CALIPER)
- TREE, NOT SIGNIFICANT
- TREE, REMOVAL

SIGNIFICANT TREES

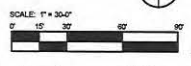
THE PROPERTY INCLUDES 13 SIGNIFICANT TREES AS DEFINED BY CITY OF SANTA FE LAND USE CODE 14-4-4 (F)(5).¹ PROJECTED DISTURBANCE FROM GRADING OPERATIONS AND NEW CONSTRUCTION WILL IMPACT A TOTAL OF 8 SIGNIFICANT DECIDUOUS AND 5 EVERGREEN SIGNIFICANT TREES.

EXISTING CONDITIONS	EXISTING	PROPOSED PRESERVATION / REPLACEMENT		TOTAL	REQUIRED (MIN.)
		PRESERVED	REPLACEMENT		
SIGNIFICANT TREES					
DECIDUOUS (> 6" DIA)	8	0	8	SEE L101	8
EVERGREEN (> 8' HEIGHT)	5	0	5	SEE L101	5
PINON (> 8' HEIGHT)	0	0	0	-	0
INDIGENOUS SPECIES (> 12" DIA.)	0	0	0	-	0
TOTAL	13	0	13	SEE L101	13

¹ PER SECTION 14-4-4 (F)(5)(b), EXISTING DECIDUOUS TREES WITH A 6" CALIPER OR GREATER OR EVERGREEN TREE OVER 8' SHALL BE REPLACED. A MINIMUM OF 13 TREES WILL BE REPLACED.
² REPLACEMENT TREES WILL BE A COMBINATION OF DECIDUOUS TREES (> 2" CAL) AND EVERGREEN TREES (> 8' HEIGHT), SEE LANDSCAPE PLAN.

TREE PRESERVATION PLAN KEYED NOTES

- 1** TREE TO BE REMOVED. TYP. LANDSCAPE ARCHITECT TO CONFORM TREES TO BE REMOVED, CONTRACTOR TO REMOVE TREE INCLUDING FULL DEPTH OF ROOT STRUCTURE.



design office
 LANDSCAPE PLANNING & DESIGN
 1300 LUNA DRIVE, SUITE 24 SANTA FE, NM 87505
 1.905.983.1415 www.do-designoffice.com

PRELIMINARY
 NOT FOR CONSTRUCTION



No.	Description	Date

ESCARPA
 Apartment Homes at Santa Fe Place

DEVELOPMENT PLAN
 SANTA FE, NEW MEXICO

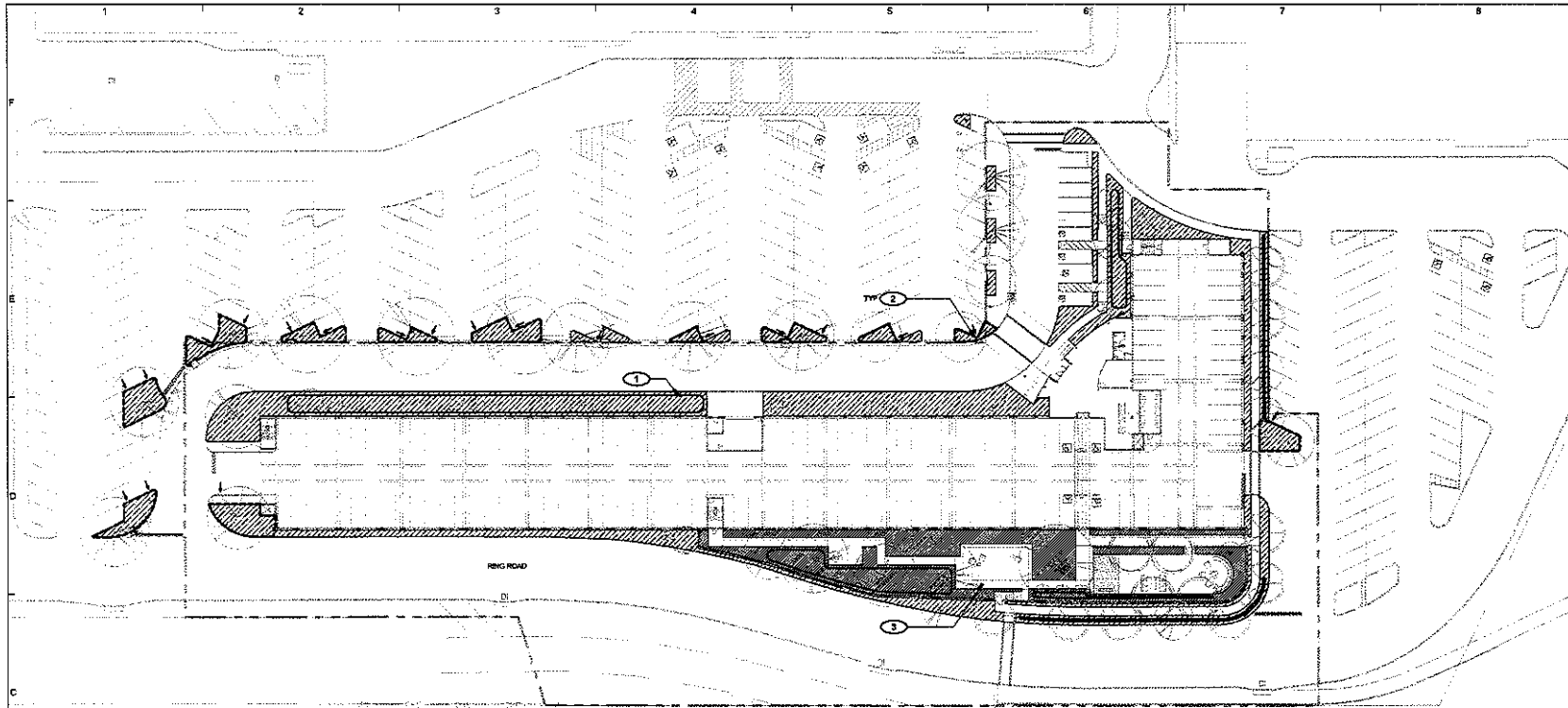
TREE PRESRVATION PLAN

City of Santa Fe
 Current Planning Division Case File No. _____

Project Number: 2008
 Date: December 18, 2020

L100

01/2020 10.9.20 PROJECT: 2008 - SANTA FE PLACE TREE PRESERVATION PLAN



WATER BUDGET (ESTIMATED)

Category	Area (sq ft)	Rate (gpm/sq ft)	Flow (gpm)
Planting Area A (see landscape plan)	18,000	0.02	360
Planting Area B (see landscape plan)	18,000	0.02	360
Planting Area C (see landscape plan)	18,000	0.02	360
Planting Area D (see landscape plan)	18,000	0.02	360
Planting Area E (see landscape plan)	18,000	0.02	360
Planting Area F (see landscape plan)	18,000	0.02	360
Total	108,000	0.02	2,160

Category	Area (sq ft)	Rate (gpm/sq ft)	Flow (gpm)
Planting Area A (see landscape plan)	18,000	0.02	360
Planting Area B (see landscape plan)	18,000	0.02	360
Planting Area C (see landscape plan)	18,000	0.02	360
Planting Area D (see landscape plan)	18,000	0.02	360
Planting Area E (see landscape plan)	18,000	0.02	360
Planting Area F (see landscape plan)	18,000	0.02	360
Total	108,000	0.02	2,160

Year	Planting Area A	Planting Area B	Planting Area C	Planting Area D	Planting Area E	Planting Area F	Total
Year 1	360	360	360	360	360	360	2,160
Year 2	360	360	360	360	360	360	2,160
Year 3	360	360	360	360	360	360	2,160
Year 4	360	360	360	360	360	360	2,160
Year 5	360	360	360	360	360	360	2,160
Year 6	360	360	360	360	360	360	2,160
Year 7	360	360	360	360	360	360	2,160
Year 8	360	360	360	360	360	360	2,160
Year 9	360	360	360	360	360	360	2,160
Year 10	360	360	360	360	360	360	2,160
Total	3,600	3,600	3,600	3,600	3,600	3,600	21,600

Year	Planting Area A	Planting Area B	Planting Area C	Planting Area D	Planting Area E	Planting Area F	Total
Year 1	360	360	360	360	360	360	2,160
Year 2	360	360	360	360	360	360	2,160
Year 3	360	360	360	360	360	360	2,160
Year 4	360	360	360	360	360	360	2,160
Year 5	360	360	360	360	360	360	2,160
Year 6	360	360	360	360	360	360	2,160
Year 7	360	360	360	360	360	360	2,160
Year 8	360	360	360	360	360	360	2,160
Year 9	360	360	360	360	360	360	2,160
Year 10	360	360	360	360	360	360	2,160
Total	3,600	3,600	3,600	3,600	3,600	3,600	21,600

Planting Area A (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Planting Area B (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Planting Area C (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Planting Area D (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Planting Area E (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Planting Area F (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Total 0.02 gpm per sq ft of plants (10000)
Planting Area A (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Planting Area B (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Planting Area C (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Planting Area D (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Planting Area E (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Planting Area F (see landscape plan) 0.02 gpm per sq ft of plants (10000)
Total 0.02 gpm per sq ft of plants (10000)

WATER HARVESTING KEYED NOTES

PROJECT WATER HARVESTING STRATEGIES INCLUDE: SLOPING IMPERMEABLE SURFACES TO LANDSCAPE AREAS FOR PASSIVE WATER HARVESTING, THE GRADING SWALES FOR SURFACE WATER HARVESTING, INSTALLING CURB CUTS AT PARKING MEDANS TO DIVERT WATER TO PLANTER AREAS, AND DIRECTING RAINWATER FROM ROOF CANALES / DOWNPOUTS TO ADJACENT PLANTER AREAS.

- 1 WATER HARVESTING SWALE, TYP. CENTER IN LANDSCAPED AREA, COORDINATE WITH CIVIL GRADING PLANS.
- 2 CURB CUT, APPROXIMATE LOCATION: SEE CIVIL PLANS, COORDINATE FINAL LOCATION WITH GRADING PLANS.
- 3 SLOPE HARDCAPE AREAS TO ADJACENT LANDSCAPED PLANTING AREAS, TYP.

LANDSCAPE IRRIGATION

IRRIGATION TO BE PROVIDED AS FOLLOWS:
 - Drip irrigation to trees and planter areas with shrubs / perennials (separate zones for trees).
 - Irrigation system to be a pressure compensating system with a smart controller and a weather sensor; irrigation system to meet city of san rafael code requirements.
 - Irrigation sleeves to be installed beneath hardwood surfaces.

LEGEND

- PROPERTY BOUNDARY
- IRRIGATION AREAS
- DRIP (MEDIUM DENSITY PLANTING)
- DRIP (LOW DENSITY PLANTING)
- WATER HARVESTING AREAS
- PARKING LOT COLLECTION AREA
- SURFACE SWALE
- CURB CUT

NOTE: ALL LANDSCAPE PLANTING AREAS ARE INTENDED TO SERVE AS LOCATIONS FOR STORMWATER INFILTRATION

PRELIMINARY
NOT FOR CONSTRUCTION

autotroph
environmental planning • landscape design • sustainability

No.	Description	Date

ESCARPA
Approved Name in Santa Fe Public

DEVELOPMENT PLAN
SANTA FE, NEW MEXICO

IRRIGATION + WATER HARVESTING PLAN

City of Santa Fe
 General Planning Division, Case No. 19-00000
 Project Number: 2903
 Date: December 18, 2020

design office
 landscape planning • urbanism
 1300 LUNA STREET, SUITE 24, SANTA FE, NM 87505
 T.505.983.1415 www.do-designoffice.com

L102

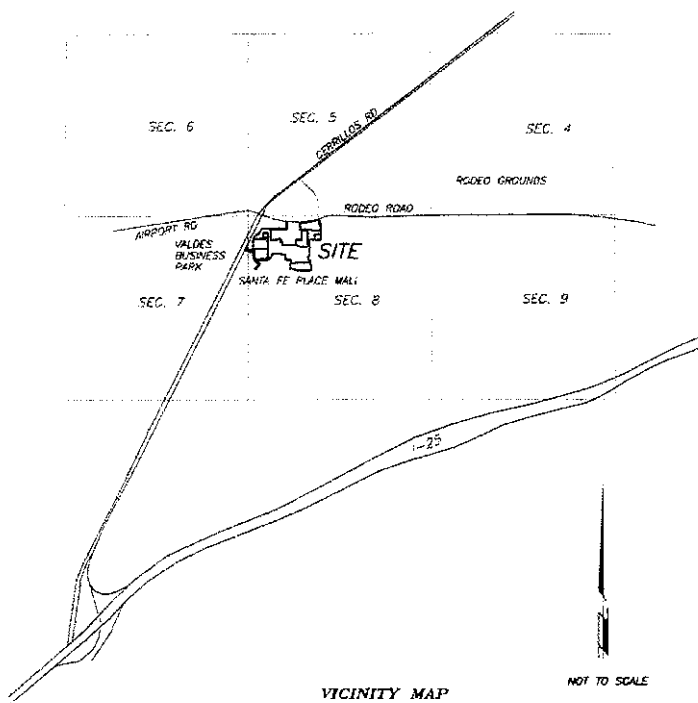
AUTOTROPH HAS AN PROJECT: 2021 - SANTA FE PLAZA - PARKING AND PLAZA GRADING/WATER MANAGEMENT

FINAL SUBDIVISION PLAT
SANTA FE PLACE MALL
4250 CERRILLOS Rd., SANTA FE, N.M.
PURPOSE: THE PURPOSE OF THIS REPLAT IS TO CREATE SEVEN
COMMERCIAL LOTS WITHIN THE EXISTING LOT 1-A AND LOT 2.

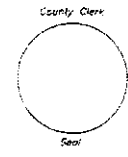
DEDICATION AND AFFIDAVIT
KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED TO BE PLAT THESE LANDS SHOWN HEREON TO CREATE 7 COMMERCIAL LOTS WITHIN THE EXISTING LOT 1-A AND LOT 2 ALL AS SHOWN HEREON. THIS REPLAT COVERS 13.78 ACRES AND IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS.
THIS PROPERTY LIES WITHIN THE PLATTING JURISDICTION OF THE CITY OF SANTA FE.
OWNERS: [Signature] SANTA FE PROPERTY MALL OWNER LLC
STATE OF NEW MEXICO
COUNTY OF BERNALILLO

UTILITY COMPANIES:
PUBLIC UTILITY ELEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE FOR NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
QUEST COMMUNICATIONS (QUEST) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
CONTRACT FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.
INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT, CHANGE PERMITS, REPAIR, MODIFY, REMOVE, DEMOLISH AND MAINTAIN FACILITIES FOR SERVICES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJACENT LANDS OF OWNERS FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF SERVICES WILLINGLY SUFFERING SUFFICIENT BURNING AREA SPACE FOR ELECTRICAL TRANSFORMERS WITH THE RIGHT AND PRIVILEGE TO TRAVEL AND REMOVE TOOLS, SERVICES OF TOOLS WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POLE, OR OVERHEADLINE OR APPURTENANCE, NOT FOR CONCRETE OR WOOD POLE ERECTIONS, ON OTHER STRUCTURES SHALL BE PLACED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL OR DRILLED OR UNDRILLED WELL, PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DRIVING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.
EASEMENTS FOR ELECTRIC TRANSFORMERS, SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT BY TRANSFORMERS/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

UTILITIES:
David R. Arkin 04-26-2020
NEW MEXICO GAS COMPANY (NMGC) FOR NEW CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT HAVE NOR RELEASE ANY EASEMENT OR EASEMENTS FROM WHICH ANY RIGHTS GRANTED BY THIS PLAT, REPEAT, OR OTHER DOCUMENTS MAY BE DERIVED OR SHOWN ON THIS PLAT.
PNM ELECTRIC SERVICE 5/14/2020
PUE COMPANY 4/16/2020
CENTURY LAW DISCLAIMER:
THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE TELEPHONE SERVICE TO THE SUBDIVISION.
Doug Dale 4/28/2020



COUNTY OF SANTA FE, N.M.
STATE OF NEW MEXICO
I hereby certify that this instrument was filed for record on the _____ day of _____, 20____ A.D. at _____ o'clock _____ and was duly recorded in book _____ page(s) _____ of the records of Santa Fe County.
Witness my Hand and Seal of office
Geraldine Salazar
County Clerk, Santa Fe County, N.M.



SANTA FE CITY APPROVAL:
APPROVED BY THE PLANNING COMMISSION THEIR MEETING OF 12/23/2019
AS CASE NO. 2019-1144
[Signature] 5-26-20
PLANNING COMMISSION CHAIRPERSON DATE
[Signature] 5-15-20
SANTA FE COUNTY TREASURER DATE
APPROVED BY THE CITY OF SANTA FE CURRENT PLANNING DIVISION UNDER AUTHORITY OF THE LAND DEVELOPMENT CODE, ARTICLE 14-1.6(C)
[Signature] 5/27/20
CITY ENGINEER FOR LAND USE DATE
[Signature] 5/28/20
CITY PLANNER DATE

LOT 1-A2 IS PROHIBITED FROM ACCESSING RODEO ROAD DIRECTLY AND SHALL ACCESS ONLY THE EXISTING LOOP ROAD OF THE MALL.
THE PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE QUADRAINS' REARY DOG ORDINANCE (ARTICLE 14-8.12).

DRAINAGE FACILITIES MAINTENANCE: THE DRAINAGE FACILITIES ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS.
INSTRUCTIONS OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
BY OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. THE OWNERS SHALL MAINTAIN A FILE OF THE INSTRUCTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.
THE REMEDIAL ACTION SHALL CONSIST OF (1) REMOVAL AND DISPOSAL OF SEDIMENT IN PONDS THAT IS DEEPER THAN 6-INCHES IN DEPTH; (2) FLOWING ALL COLLECTED DIRT, WILDS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND POLLUTANTS THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURES; AND (3) INSPECT THE SOLE DRAINAGE AT ALL DRAINAGE PIPES AND INSPECT FOR THE STRUCTURAL INTEGRITY OF ALL APPOINTMENT DRAINAGE STRUCTURES AND REPAIR OR STABILIZE AS NECESSARY.

SURVEYORS CERTIFICATE:
I HEREBY CERTIFY THAT THIS PLAT IS A TRUE REPRESENTATION OF A SURVEY COMPLETED UNDER MY PERSONAL SUPERVISION ON THE 13th DAY OF JUNE, 2019, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAT ARE CORRECT, TRUE AND MEET THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO.
Edward J. Smith 4-21-2020
ENGINEER IN TRAINING, NUMBER 12333



TITLE AND INDEXING INFORMATION FOR COUNTY CLERK:
CURRENT OWNER: SANTA FE MALL PROPERTY OWNER LLC
LOT 1-A: 1-020-025-130-410
LOT 2: 1-020-025-034-430
LOT OF RECORD: LOT 1-A AND LOT 2, ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR SANTA FE MALL PROPERTY OWNER, RECORDED IN BOOK 781 PAGE 14-17.
PLSS LOCATION: LYING WITHIN SEC 7 & 8, T18N, R9E, M3PM
CITY: SANTA FE
COUNTY: SANTA FE
STATE: NEW MEXICO
DANSON SURVEYS INC.
PROFESSIONAL LAND SURVEYORS
2500 S. CAHILL STREET
SANTA FE, N.M. 87507
PLAT 10334-SUB DATE 04/21/20

V-100

1904-E

NOTES:

1. THIS PLAT SUBJECT TO RESTRICTIONS AND EASEMENTS OF RECORD AS SHOWN ON PLAT RECORDED IN BOOK 781, PAGE 14-17.
2. THIS PLAT SUBJECT TO VALID RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD AND ANY OTHER VALID INSTRUMENTS WHICH ARE CORRECTLY FILED. ONLY THE RECORD DOCUMENTS NOTED HEREON WERE PROVIDED TO OR DISCOVERED BY DANSON SURVEY, INC. AN ACCIDENT CURRENT TITLE COMMITMENT FOR SIMILAR RECORDS FILE DISSEMINATION WAS PROVIDED TO DANSON SURVEY, INC.
3. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14 LAND DEVELOPMENT CODE, SPEC 2007 AND SUBSEQUENT AMENDMENTS.
4. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE APPLICABLE TO PLAT AND/OR DEVELOPMENT PLAN REGARDING WITH THE COUNTY CLERK OF SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MONITOR ANY PROVISIONS OF CHAPTER 14 LAND DEVELOPMENT CODE, SPEC 2007 AND SUBSEQUENT AMENDMENTS.
5. PRIOR TO ANY NEW CONSTRUCTION, PLAT WILL BE SUBMITTED TO FIRE DEPARTMENT FOR COMPLIANCE WITH INTERNATIONAL FIRE CODE.
6. ALL NEW DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE CURRENT LAND DEVELOPMENT CODE.
7. ALL FIRE DEPARTMENT ACCESS SHALL BE NO GREATER THAN A 10% GRADE THROUGHOUT.
8. FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20 FEET WIDE TO ANY REPAIR/REMODEL CONSTRUCTION.
9. SHALL MEET THE 100 FOOT DISTANCE TO ANY PORTION OF THE BUILDING ON ANY NEW CONSTRUCTION.
10. SHALL PROVIDE WATER SUPPLY THAT MEETS FLOW REQUIREMENTS AS FOR IFC AT THE TIME OF CONSTRUCTION.

REFERENCE DOCUMENTS:

ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR SANTA FE MALL PROPERTY OWNER LLC, RECORDED NOVEMBER 20, 2014, IN BOOK 781, PAGE 14-17.

ALL PLATS AND DOCUMENTS NOTED HEREON.

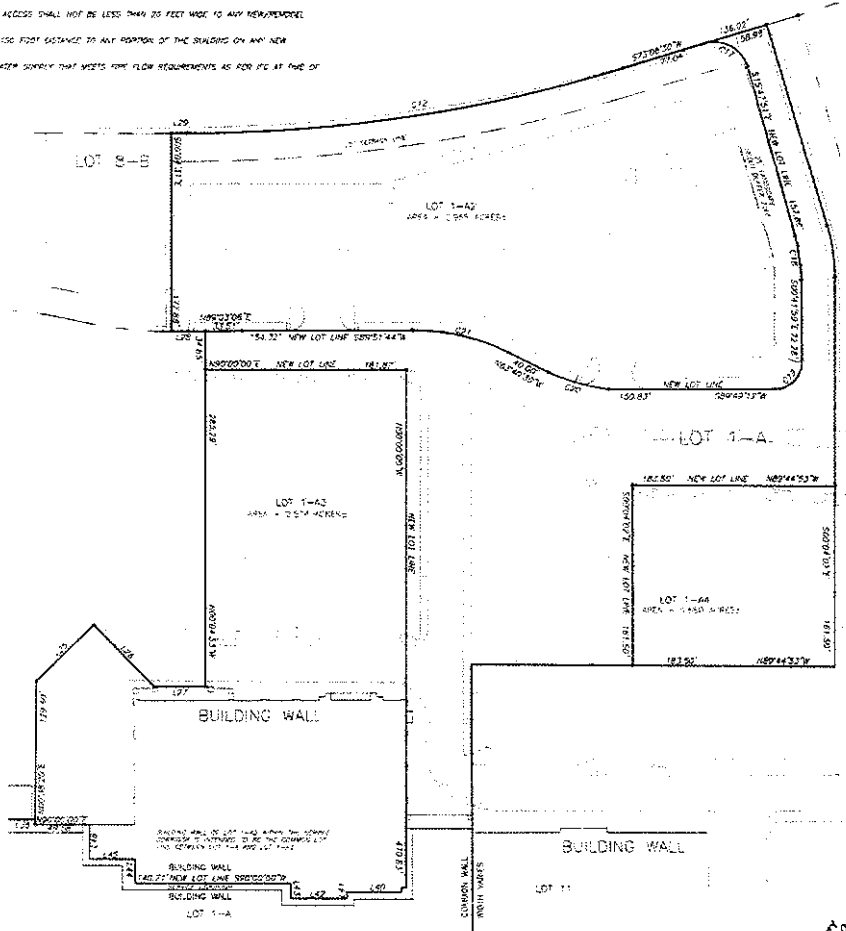
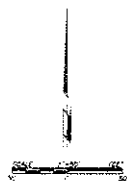
CONTROL REFERENCE:

MARKINGS ARE REFERRED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, NAD83 CONTROL. SOME DISTANCES SHOWN ARE REFERRED TO 4960' NAD83 TO CORRECT TO ONE DISTANCE MAINLY BY A SCALE FACTOR OF 0.99998833.

FLOOD ZONE:

THIS PROPERTY LIES WITHIN ZONE "A" OTHER AERIAL DETERMINATION TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON F.I.P.M. PANEL 15030301240, DATED JUNE 17, 2006.

SUBDIVISION PLAT
WITHIN LOT 1-A AND LOT 2
AS SHOWN ON ALTA/ACSM LAND TITLE SURVEY
RECORDED IN BOOK 781 PAGE 14-17.
PREPARED FOR
SANTA FE MALL PROPERTY OWNER LLC.
ALL WITHIN SECTION 7 & 8, T17N, R9E, NMPM
CITY AND COUNTY OF SANTA FE NM



LEGEND:

BASED ON BEARING'S 13 CLASS A ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR BARBORA & BRODIE REAL ESTATE INVESTMENT LLC, RECORDED AUG. 17, 2007 IN PLAT 68,662, P.41 OFFICE OF THE SANTA FE COUNTY CLERK.

UTILITY SYMBOLS SHOWN LARGER THAN ACTUAL SIZE FOR VIEWING PURPOSES.

- DENOTES REBAR OR AS SHOWN FOUND
 - DENOTES REBAR OR AS SHOWN SET
 - DENOTES CALCULATED POINT NOT SET
 - DENOTES CURB MARKING
 - DENOTES SANITARY SEWER MANHOLE UNLESS OTHERWISE NOTED
 - DENOTES CLEAN OUT
 - DENOTES DRAIN W/EL
 - DENOTES LAMP STANDARD
 - DENOTES HANDICAP PARKING
- FOUNDED BOUNDARY OF LANDS DEALT WITH BY THIS PLAT. INFORMATION OUTSIDE OF THIS BOUNDARY IS BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

1.01	100.000000	1.00
1.02	100.000000	1.00
1.03	100.000000	1.00
1.04	100.000000	1.00
1.05	100.000000	1.00
1.06	100.000000	1.00
1.07	100.000000	1.00
1.08	100.000000	1.00
1.09	100.000000	1.00
1.10	100.000000	1.00
1.11	100.000000	1.00
1.12	100.000000	1.00
1.13	100.000000	1.00
1.14	100.000000	1.00
1.15	100.000000	1.00
1.16	100.000000	1.00
1.17	100.000000	1.00
1.18	100.000000	1.00
1.19	100.000000	1.00
1.20	100.000000	1.00
1.21	100.000000	1.00
1.22	100.000000	1.00
1.23	100.000000	1.00
1.24	100.000000	1.00
1.25	100.000000	1.00
1.26	100.000000	1.00
1.27	100.000000	1.00
1.28	100.000000	1.00
1.29	100.000000	1.00
1.30	100.000000	1.00
1.31	100.000000	1.00
1.32	100.000000	1.00
1.33	100.000000	1.00
1.34	100.000000	1.00
1.35	100.000000	1.00
1.36	100.000000	1.00
1.37	100.000000	1.00
1.38	100.000000	1.00
1.39	100.000000	1.00
1.40	100.000000	1.00
1.41	100.000000	1.00
1.42	100.000000	1.00
1.43	100.000000	1.00
1.44	100.000000	1.00
1.45	100.000000	1.00
1.46	100.000000	1.00
1.47	100.000000	1.00
1.48	100.000000	1.00
1.49	100.000000	1.00
1.50	100.000000	1.00
1.51	100.000000	1.00
1.52	100.000000	1.00
1.53	100.000000	1.00
1.54	100.000000	1.00
1.55	100.000000	1.00
1.56	100.000000	1.00
1.57	100.000000	1.00
1.58	100.000000	1.00
1.59	100.000000	1.00
1.60	100.000000	1.00
1.61	100.000000	1.00
1.62	100.000000	1.00
1.63	100.000000	1.00
1.64	100.000000	1.00
1.65	100.000000	1.00
1.66	100.000000	1.00
1.67	100.000000	1.00
1.68	100.000000	1.00
1.69	100.000000	1.00
1.70	100.000000	1.00
1.71	100.000000	1.00
1.72	100.000000	1.00
1.73	100.000000	1.00
1.74	100.000000	1.00
1.75	100.000000	1.00
1.76	100.000000	1.00
1.77	100.000000	1.00
1.78	100.000000	1.00
1.79	100.000000	1.00
1.80	100.000000	1.00
1.81	100.000000	1.00
1.82	100.000000	1.00
1.83	100.000000	1.00
1.84	100.000000	1.00
1.85	100.000000	1.00
1.86	100.000000	1.00
1.87	100.000000	1.00
1.88	100.000000	1.00
1.89	100.000000	1.00
1.90	100.000000	1.00
1.91	100.000000	1.00
1.92	100.000000	1.00
1.93	100.000000	1.00
1.94	100.000000	1.00
1.95	100.000000	1.00
1.96	100.000000	1.00
1.97	100.000000	1.00
1.98	100.000000	1.00
1.99	100.000000	1.00
2.00	100.000000	1.00

Edward M. Truller
 EDWARD M. TRULLER
 LMS#12252
 4-21-2020
 DATE



SHEET 4 OF 6

V-103

DANSON SURVEYS, INC.
 PROFESSIONAL LAND SURVEYORS
 2927 B. CAVANAUGH ENTRADA
 SANTA FE, N.M. 87507
 505.984.5154 FAX 505.984.5155 DATE 04/21/2020

1984E

NOTES:

- THIS PLAT SUBJECT TO RESTRICTIONS AND EASEMENTS OF RECORD AS SHOWN ON PLAT RECORDED IN BOOK 781, PAGE 14-17.
- THIS PLAT SUBJECT TO VALID RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD AND ANY OTHER VALID FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. ONLY THE RECORDED DOCUMENTS NOTED HEREON WERE PROVIDED TO US FOR REVIEW BY JAWSON SURVEYS, INC. NO ASSURANCE OR WARRANTY IS GIVEN OTHER THAN RECORDED TITLE DOCUMENTATION WAS PROVIDED TO JAWSON SURVEYS, INC.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 24 LAND DEVELOPMENT CODE, 2000 2001 AND SUBSEQUENT AMENDMENTS.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND/OR DEVELOPMENT PLAN INCLUDING WITH THE COUNTY ZONING OR SUBDIVISION, FOR A RELEVANT ZONING APPLICATION THAT UPDATES ANY PROVISION OF CHAPTER 24, LAND DEVELOPMENT CODE, 2000 2001 AND SUBSEQUENT AMENDMENTS.
- ORDER TO BUY NEW CONSTRUCTION PLAT WILL BE SUBMITTED TO FIRE DEPARTMENT FOR COMPLIANCE WITH INTERNATIONAL FIRE CODE.
- ALL NEW DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE CURRENT LAND DEVELOPMENT CODE.
- ALL FIRE DEPARTMENT ACCESS SHALL BE NO GREATER THAN A 10% GRADE THROUGHOUT.
- FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20 FEET WIDE TO ANY NEW/EXISTING CONSTRUCTION.
- SHALL MEET THE 100 FOOT DISTANCE TO ANY PORTION OF THE BUILDING ON ANY NEW CONSTRUCTION.
- SHALL PROVIDE WATER SUPPLY THAT MEETS FIRE FLOW REQUIREMENTS AS PER IFC AT THE OF THE CONSTRUCTION.

REFERENCE DOCUMENTS:

ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR SANTA FE MALL PROPERTY OWNER LLC., RECORDED NUMBER 23, 2774, IN BOOK 781, PAGE 14-17
 ALL PLATS AND COVENANTS NOTED HEREON

CONTROL REFERENCE:

USARMS ARE REFERRED TO THE 1983 NAD 83 STATE PLANE COORDINATE SYSTEM NAD83 CENTRAL ZONE DISTANCES SHOWN ARE REFERRED TO FOOT AND TO QUARTER TO ONE DISTANCES INDICATED BY A SCALE FACTOR OF 0.99983322

FLOOD ZONE:

THIS PROPERTY LIES WITHIN ZONE "X OTHER AREAS" DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD PANEL 1524P0030AD, DATED JUNE 17, 2008.

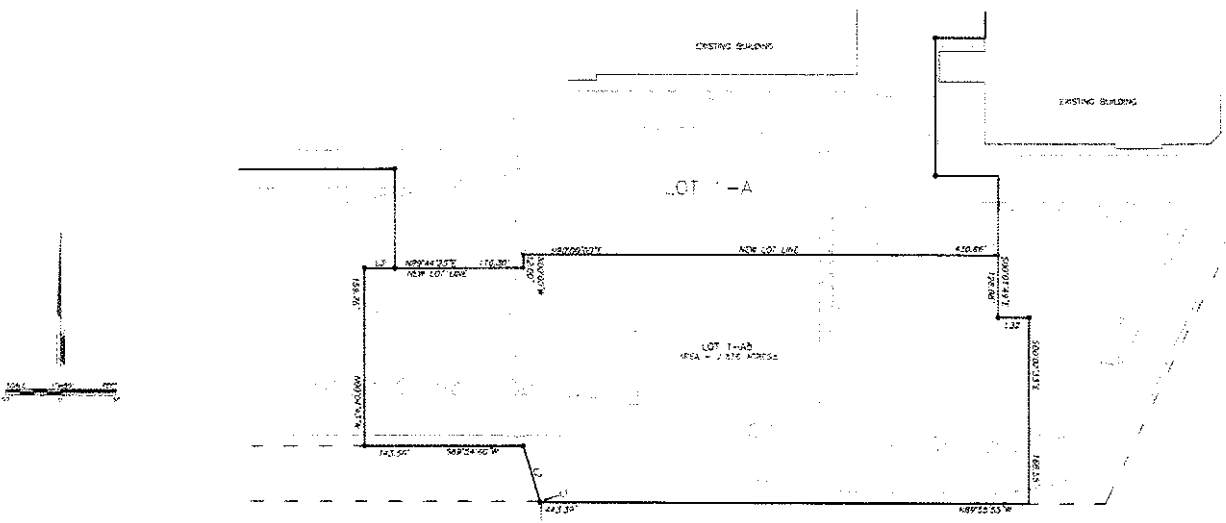
LEGEND:

SETS OF BEARINGS IS CLASS 8 ALTA/ACSM LAND TITLE SURVEY, PREPARED FOR BARBOSCO & BROEN REAL ESTATE INVESTMENT LLC, RECORDED AUG. 17, 2007 IN PLAT (B.M.A. 2) 41 OFFICE OF THE SANTA FE COUNTY CLERK.

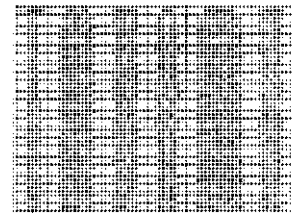
UTILITY SYMBOLS SHOWN LARGER THAN ACTUAL SIZE FOR VIEWING PURPOSES.

- DENOTES POB/M OR AS SHOWN FOUND
 - DENOTES PERM OR AS SHOWN SET
 - DENOTES CALCULATED POINT NOT SET
 - DENOTES CURV. HYDROG.
 - DENOTES SANITARY SEWER MANHOLE UNLESS OTHERWISE NOTED
 - DENOTES CLEAN OUT
 - DENOTES DRAIN PILE
 - DENOTES LAWN STANDING
 - DENOTES HANDICAP PARKING
 - DENOTES BOUNDARY OF LAIDS SEALT WITH BY THIS PLAT
- INFORMATION OUTSIDE OF THIS BOUNDARY IS BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

SUBDIVISION PLAT
WITHIN LOT 1-A AND LOT 2
AS SHOWN ON ALTA/ACSM LAND TITLE SURVEY
RECORDED IN BOOK 781 PAGE 14-17.
PREPARED FOR
SANTA FE MALL PROPERTY OWNER LLC.
ALL WITHIN SECTION 7 & 8, T17N, R9E, NMPM
CITY AND COUNTY OF SANTA FE NM



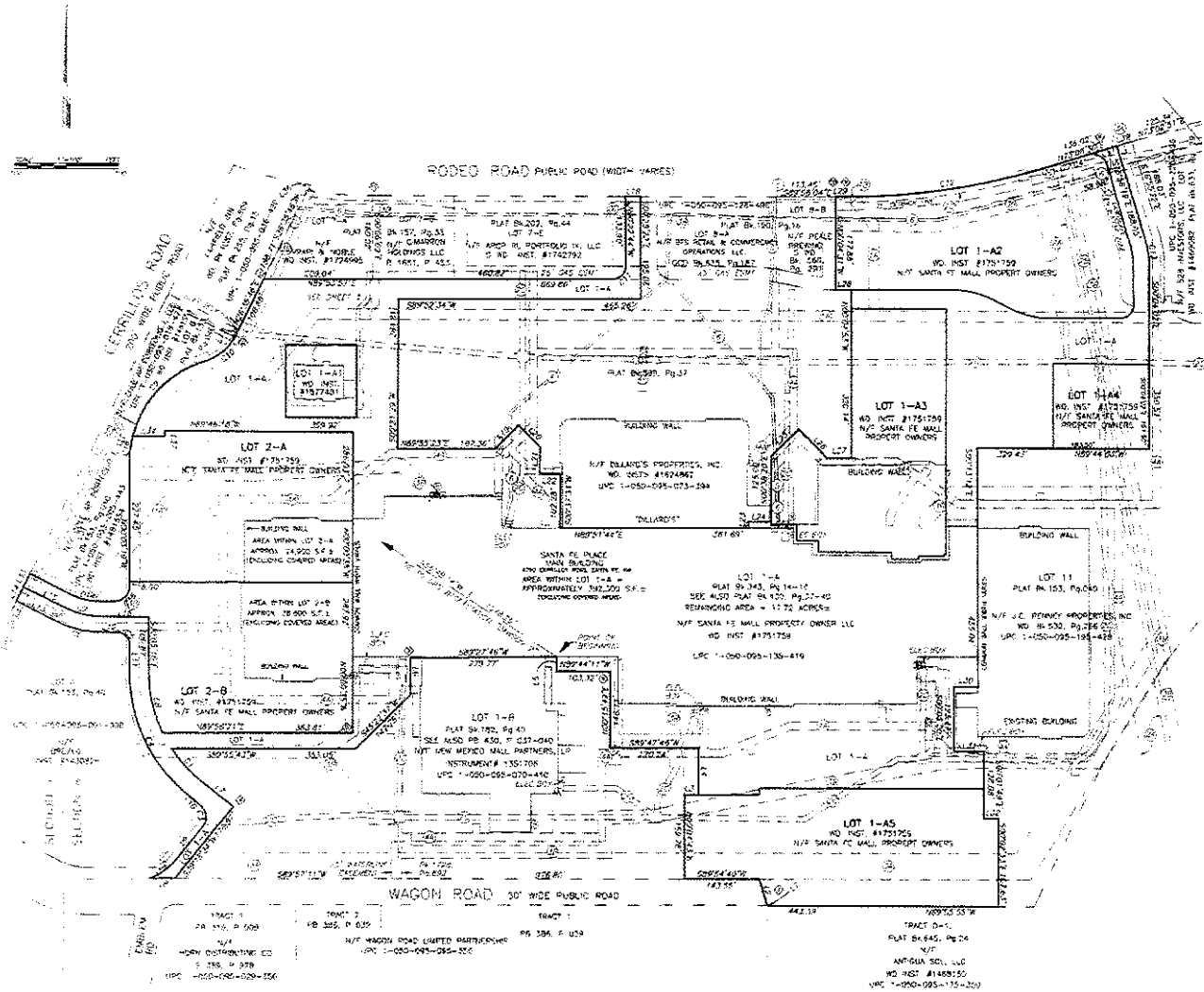
1.26	157°27'40.00\"	70.53'
1.27	100°00'00.00\"	5.41'
1.27	100°00'00.00\"	5.88'
1.27	100°00'00.00\"	56.84'
1.23	100°00'00.00\"	71.83'
1.44	100°00'00.00\"	71.60'



Edward M. Swilla
 EDWARD M. SWILLA
 4-21-2009
 SURV



SUBDIVISION PLAT
WITHIN LOT 1-A AND LOT 2
AS SHOWN ON ALTA/ACSM LAND TITLE SURVEY
RECORDED IN BOOK 781 PAGE 14-17.
PREPARED FOR
SANTA FE MALL PROPERTY OWNER LLC.
ALL WITHIN SECTION 7 & 8, T17N, R9E, NMPM
CITY AND COUNTY OF SANTA FE NM



MONUMENTATION NOTES:

- ① FOUND REBAR MONUMENTS 2.50' FROM CORNER
- ② FOUND REBAR MONUMENTS 2.50' FROM CORNER
- ③ FOUND 1" IN CONCRETE AT CORNER
- ④ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑤ FOUND 1" IN CONCRETE AT CORNER
- ⑥ FOUND 1" IN CONCRETE MONUMENTS 1.00' FROM CORNER
- ⑦ FOUND 1" IN CONCRETE MONUMENTS 1.00' FROM CORNER
- ⑧ FOUND 1" IN CONCRETE MONUMENTS 1.00' FROM CORNER
- ⑨ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑩ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑪ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑫ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑬ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑭ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑮ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑯ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑰ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑱ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑲ FOUND REBAR MONUMENTS 1.00' FROM CORNER
- ⑳ FOUND REBAR MONUMENTS 1.00' FROM CORNER

EASEMENT LEGEND:

1. 30' WIDE EASEMENT AS SHOWN IN PLAT 103, PG. 103
2. 30' WIDE EASEMENT AS SHOWN IN PLAT 103, PG. 103
3. 15' WIDE EASEMENT AS SHOWN IN PLAT 103, PG. 103
4. 15' WIDE EASEMENT AS SHOWN IN PLAT 103, PG. 103
5. 15' WIDE EASEMENT AS SHOWN IN PLAT 103, PG. 103
6. 8' WIDE EASEMENT AS SHOWN IN PLAT 103, PG. 103
7. 25' WIDE EASEMENT AS SHOWN IN PLAT 103, PG. 103
8. 20' WIDE EASEMENT AS SHOWN IN PLAT 103, PG. 103
9. 15' WIDE EASEMENT AS SHOWN IN PLAT 103, PG. 103
10. 15' WIDE EASEMENT AS SHOWN IN PLAT 103, PG. 103
11. ACCESS EASEMENT AS SHOWN IN PLAT 103, PG. 103

Edward J. Smith
DRAWN BY: EDWARD J. SMITH
DATE: 1-2-2022



LEGEND:

SYMBOLS MAY BE SHOWN LARGER THAN ACTUAL SIZE FOR VIEWING PURPOSES.

ELEVATIONS SHOWN AT PARKING ISLANDS ARE AT THE BACK OF CURB TYPICAL ISLAND CURB HEIGHT IS 0.5' ABOVE CUTTER.

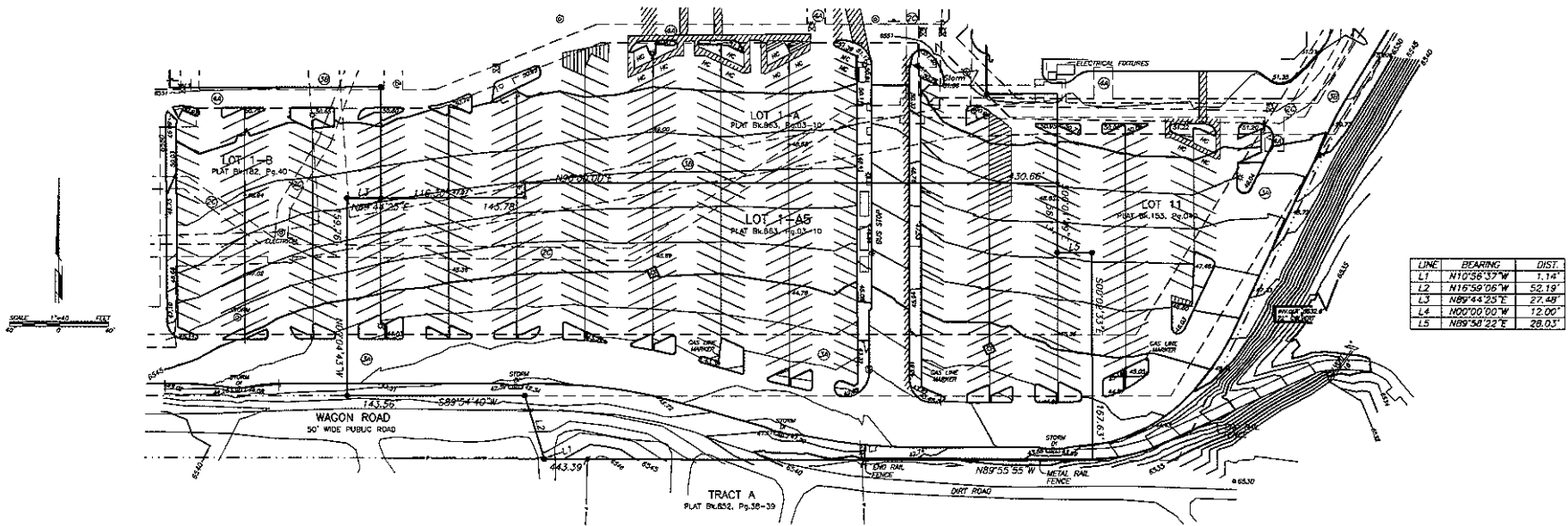
- DENOTES CORNER MONUMENT
- DENOTES LIGHT POLE
- ⊙ DENOTES MANHOLE
- ⊕ DENOTES DROPPED INLET
- ⊖ DENOTES WATER VALVE
- ⊗ DENOTES FIRE HYDRANT
- ⊘ DENOTES STAKE SIGN
- ~ DENOTES 1' CONTIGUOUS INTERNAL
- ~ DENOTES 5' CONTIGUOUS INTERNAL

**TOPOGRAPHIC MAP
OF LOT 1-A5 AND A PORTION OF LOT 1-A & LOT 11
AS SHOWN ON FINAL SUBDIVISION PLAT &
DEVELOPMENT PLAN AMENDMENT #5
RECORDED IN BOOK 863 PAGE 03-10.**

PREPARED FOR
SANTA FE MALL PROPERTY OWNER LLC.
ALL WITHIN SECTION 7 & 8, T17N, R9E, NMPM
CITY AND COUNTY OF SANTA FE NM

EASEMENT LEGEND:

1. 50' WIDE GASLINE EASEMENT RECORDED IN BK.501, Pg.850 DESIGNATOR (34).
2. 15' WIDE WATERLINE EASEMENT RECORDED IN BK.525, Pg.109 DESIGNATOR (44).
3. 25' WIDE GASLINE EASEMENT RECORDED IN BK.525, PG.121 DESIGNATOR (38).
4. VARYING WIDTH UNDERGROUND ELECTRIC EASEMENT RECORDED IN BK.525, PG.135 AND AMENDED IN BK.687, PG.808, BK.586, PG.894 AND BK.574, PG.777 DESIGNATOR (70).



NOTE:

THIS IS NOT A BOUNDARY SURVEY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREIN AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES.

THIS PROPERTY SUBJECT TO ALL VALID COVENANTS, EASEMENTS AND RESTRICTIONS OF RECORD. A TITLE SEARCH OF THE SUBJECT LOTS HAS NOT BEEN DONE.

THERE ARE NO BUILDINGS WITHIN THE TOPOGRAPHIC LIMITS SHOWN HEREON.

SURVEYORS CERTIFICATE:

I HEREBY CERTIFY THAT THIS MAP IS A TRUE REPRESENTATION OF A TOPOGRAPHIC SURVEY COMPLETED UNDER MY PERSONAL SUPERVISION IN AUGUST OF 2020. THE SURVEY AND DRAWING ARE TRUE AND CORRECT, TO THE BEST OF MY KNOWLEDGE, AND MEET THE MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS IN NEW MEXICO.

EDWARD M. TRUJILLO,

N.M.P.L.S. #12352

V-106

DAWSON SURVEYS INC.
PROFESSIONAL LAND SURVEYORS
2902 S. CAMINO ENTRADA
SANTA FE, N.M., 87507
FILE# 1035413-1099, DATE: 08/24/2020

**LOT LINE ADJUSTMENT PLAT
BETWEEN LOT 1-A & LOT 1-A5
AS SHOWN ON FINAL SUBDIVISION PLAT &
DEVELOPMENT PLAN AMENDMENT #5
RECORDED IN BOOK 863 PAGE 03-10.
PREPARED FOR
SPINOSO REAL ESTATE GROUP.
WITHIN SECTION 7 & 8, T17N, R9E, NMPM
CITY AND COUNTY OF SANTA FE NM**

PURPOSE: THE PURPOSE OF ADJUST LOT LINES BETWEEN
LOT 1-A AND LOT 1-A5.

DEDICATION AND AFFIDAVIT:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED TO ADJUST THE LOT LINES BETWEEN LOT 1-A, LOT 1-A5 AND LOT 1-B SHOWN HEREON. THERE ARE NO NEW EASEMENTS CREATED BY THIS PLAT, THIS PLAT CONTAINS 27,370 ACRES MORE OR LESS AND IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS.

THIS PROPERTY LIES WITHIN THE PLATING JURISDICTION OF THE CITY OF SANTA FE.

OWNER:

BY: _____, SANTA FE PROPERTY MALL OWNER, LLC.

STATE OF _____)
COUNTY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY _____, SANTA FE MALL PROPERTY OWNER, LLC, THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC, MY COMMISSION EXPIRES _____.

CONTROL REFERENCE:

BEARINGS ARE REFERRED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, NAD83, CENTRAL ZONE. DISTANCES SHOWN ARE REFERRED TO ROAD ANGL. TO CONVERT TO GRID DISTANCES MULTIPLY BY A SCALE FACTOR OF 0.999563883.

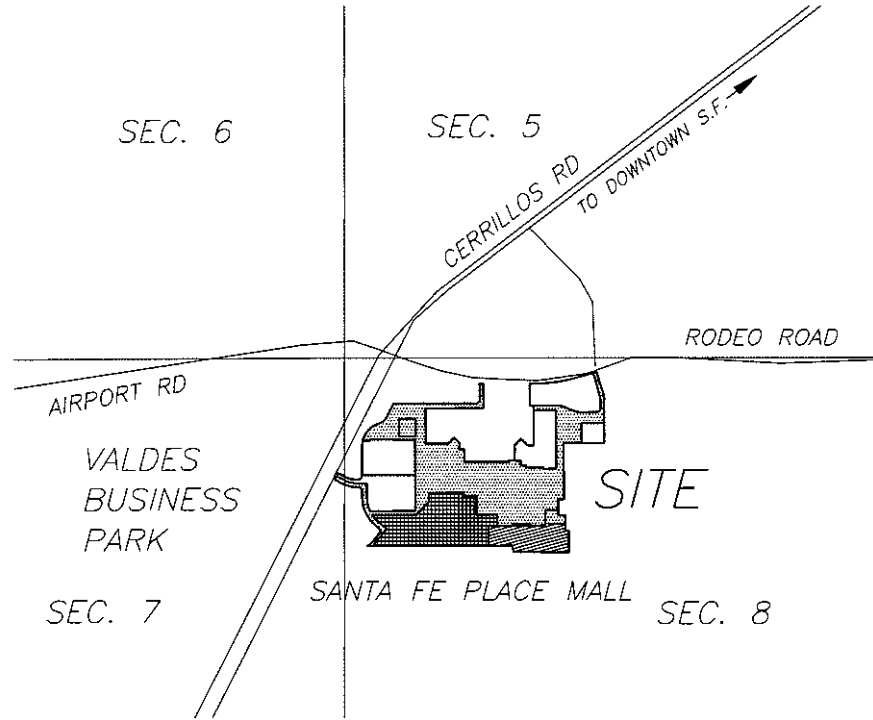


REFERENCE DOCUMENTS:

1. FINAL SUBDIVISION PLAT & DEVELOPMENT PLAN AMENDMENT #5, PREPARED FOR THE SPINOSO REAL ESTATE GROUP, RECORDED JUNE 3, 2020 IN BOOK 863, PAGE 03-10, OFFICE OF THE SANTA FE COUNTY CLERK.
2. ALL PLATS AND DOCUMENTS NOTED HEREON.

FLOOD ZONE:

THIS PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD AS SHOWN ON FIRM PANEL 304900304D EFFECTIVE DATE OF JUNE 17, 2008.



SANTA FE CITY APPROVAL:

APPROVED BY THE PLANNING COMMISSION THEIR MEETING OF _____
AS CASE NO. _____

PLANNING COMMISSION CHAIRPERSON DATE _____ PLANNING COMMISSION SECRETARY DATE _____

SANTA FE COUNTY TREASURER DATE _____

APPROVED BY THE CITY OF SANTA FE CURRENT PLANNING DIVISION UNDER
AUTHORITY OF THE LAND DEVELOPMENT CODE, ARTICLE 14-3(B7)

CITY ENGINEER FOR LAND USE DATE _____ CITY PLANNER DATE _____

CONDITIONS OF APPROVAL:

1. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFDC 2007 AND SUBSEQUENT AMENDMENTS.
2. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND OR DEVELOPMENT PLAN RECEIVING WITH THE COUNTY CLERK OR SUFFICIENT FOR A BUILDING PERMIT APPLICATION THAT ADOPTS ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SFDC 1987 AND SUBSEQUENT AMENDMENTS.
3. PRIOR TO ANY NEW CONSTRUCTION PLAT WILL BE SUBMITTED TO FIRE DEPARTMENT FOR COMPLIANCE WITH INTERNATIONAL FIRE CODE.
4. ALL NEW DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE CURRENT LAND DEVELOPMENT CODE.
5. ALL FIRE DEPARTMENT ACCESS SHALL BE NO GREATER THAN A 10% GRADE THROUGHOUT.
6. FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20 FEET WIDE TO ANY NEW/REMODEL CONSTRUCTION.
7. SHALL MEET THE 150 FOOT DISTANCE TO ANY PORTION OF THE BUILDING ON ANY NEW CONSTRUCTION.
8. SHALL PROVIDE WATER SUPPLY THAT MEETS FIRE FLOW REQUIREMENTS AS PER IFC AT TIME OF CONSTRUCTION.
9. THE PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE CHAIRMAN'S PRIME DOG ORDINANCE (ARTICLE 14-8, 12).

DRAINAGE FACILITIES MAINTENANCE: THE DRAINAGE FACILITIES ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS.

INSPECTIONS OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER, THE OWNERS SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

THE REMEDIAL ACTION SHALL CONSIST OF (1) REMOVAL AND DISPOSAL OF SEDIMENT IN PONDS THAT IS GREATER THAN 8-INCHES IN DEPTH; (2) FLUSHING ALL CULVERTS, DRAIN INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND POLLUTANTS THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURES; AND (3) INSPECT FOR SOIL CROSSING AT ALL DRAINAGE PONDS AND INSPECT FOR THE STRUCTURAL INTEGRITY OF ALL APPURTENANT DRAINAGE STRUCTURES AND REPAIR OR STABILIZE ACCORDINGLY.

SURVEYORS CERTIFICATE:

I HEREBY CERTIFY THAT THIS PLAT IS A TRUE REPRESENTATION OF A SURVEY COMPLETED UNDER MY PERSONAL SUPERVISION ON THE 08th DAY OF OCTOBER, 2020, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAT ARE CORRECT, TRUE AND MEET THE MODERN STANDARDS FOR LAND SURVEYS IN NEW MEXICO.

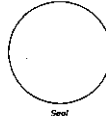
EDWARD M. TRULLIO, NMS&12353

12-XX-2020

DATE

COUNTY OF SANTA FE } SS
STATE OF NEW MEXICO }
I hereby certify that this instrument
was filed for record on this _____ day of
_____, 20____ A.D. at
o'clock _____, and was duly recorded in
book _____, page(s) _____ of the
records of Santa Fe County.
Witness my Hand and Seal of office
CECILINE SALAZAR
County Clerk, Santa Fe County, N.M.

County Clerk



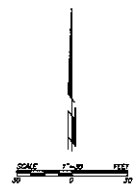
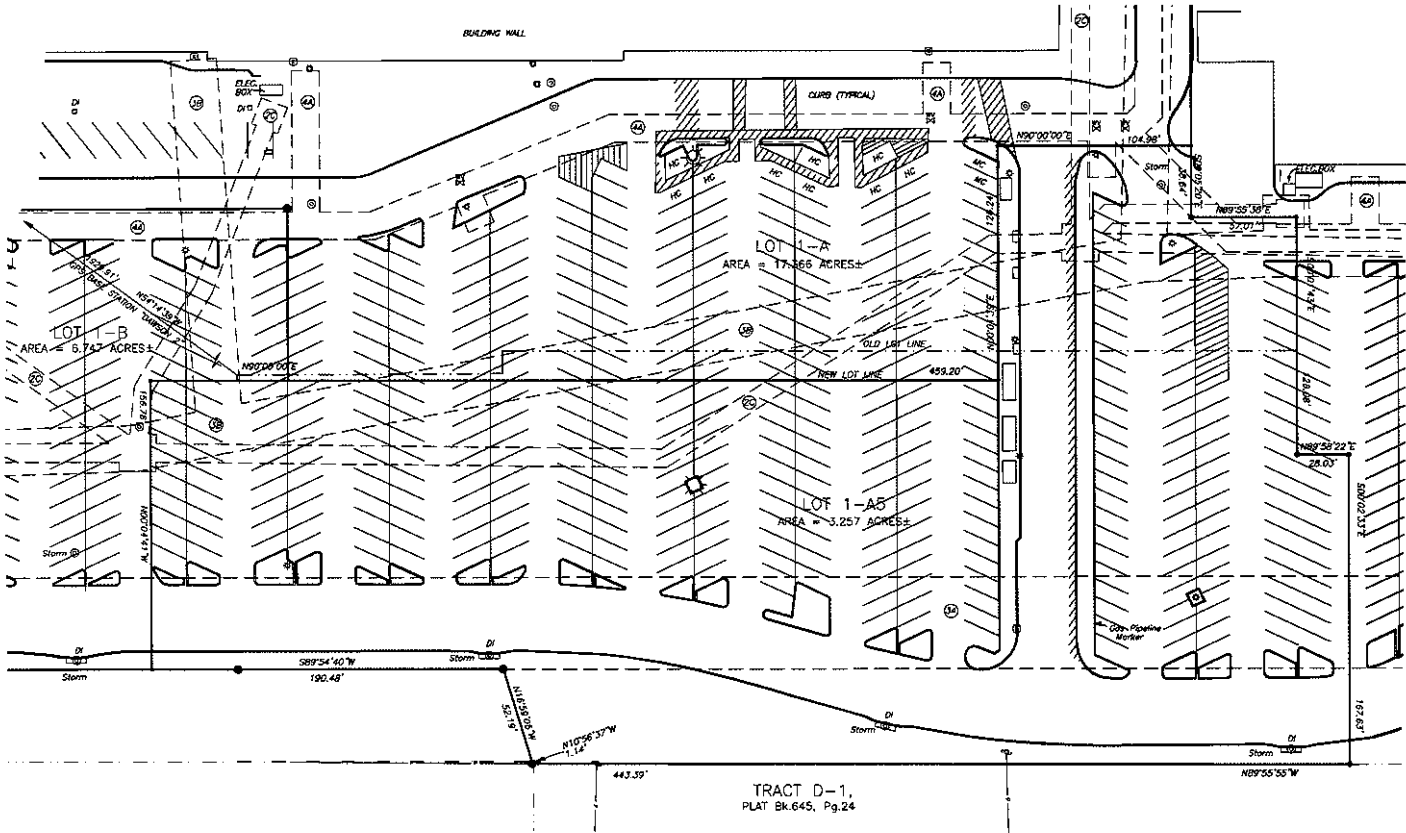
Deputy

Seal

DAWSON SURVEYS INC.
PROFESSIONAL LAND SURVEYORS
7508 WALLACE WAY SUITE A
SANTA FE, N.M. 875-477-8880
FILE# 1035412400 DATE: 12/17/2020

V-107

**LOT LINE ADJUSTMENT PLAT
 BETWEEN LOT 1-A & LOT 1-A5
 AS SHOWN ON FINAL SUBDIVISION PLAT &
 DEVELOPMENT PLAN AMENDMENT #5
 RECORDED IN BOOK 863 PAGE 03-10.
 PREPARED FOR
 SPINOSO REAL ESTATE GROUP.
 WITHIN SECTION 7 & 8, T17N, R9E, NMPM
 CITY AND COUNTY OF SANTA FE NM**



LEGEND:
 DATES OF REVISIONS TO FINAL SUBDIVISION PLAT & DEVELOPMENT PLAN AMENDMENT #5 SANTA FE PLACE, PREPARED FOR SPINOSO REAL ESTATE GROUP, LLC, RECORDED JUNE 3, 2020 IN PLAT BK.863, PG.03-10 OFFICE OF THE SANTA FE COUNTY CLERK.

SYMBOLS MAY BE SHOWN LARGER THAN ACTUAL SIZE FOR VIEWING PURPOSES.

- RF DENOTES REBAR, OR AS SHOWN FOUND
- RD DENOTES REBAR, OR AS SHOWN SET
- SC DENOTES CALCULATED POINT NOT SET
- FD DENOTES FIRE HYDRANT
- SM DENOTES SANITARY SEWER MANHOLE UNLESS OTHERWISE NOTED
- CL DENOTES CLEAN OUT
- DI DENOTES DRAIN INLET
- LS DENOTES LAMP STANDARD
- HP DENOTES HANDICAP PARKING

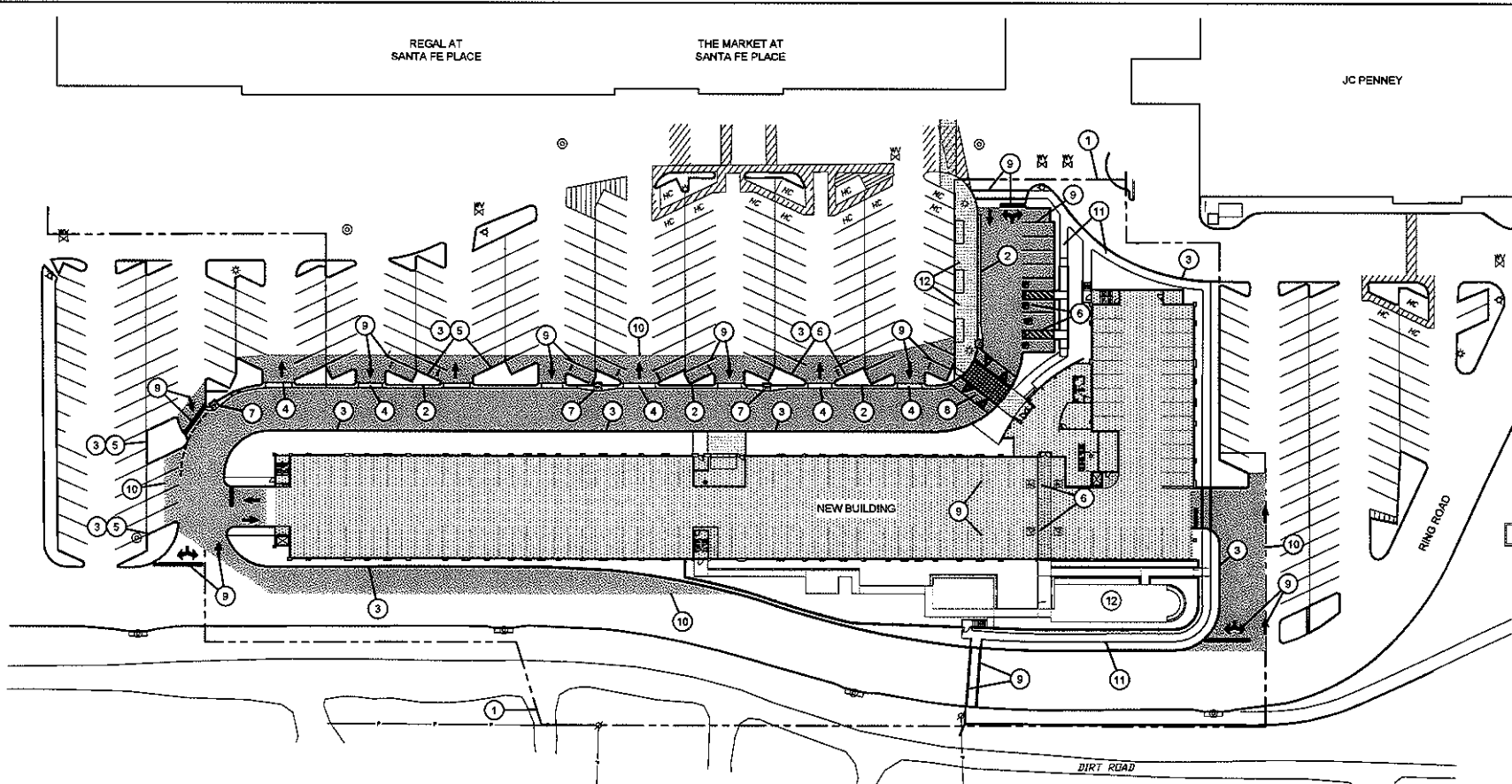
DENOTES BOUNDARY OF LANDS DEALT WITH BY THIS PLAT. INFORMATION OUTSIDE OF THIS BOUNDARY IS UNCORROBORATED INFORMATION ONLY, NOT NEEDED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

TRACT D-1,
 PLAT Bk.645, Pg.24

EDWARD M TRUJILLO HMP#12152 DATE 12-XX-2020

DAWSON SURVEYS INC.
 PROFESSIONAL LAND SURVEYORS
 7005 HALLARD WAY SUITE A
 SANTA FE, N.M. 505-471-8660
 FILE# 10334(LLAD) DATE: 12/17/2020

V-108



KEYNOTES

- | | |
|----------------------------------------|-------------------------------------|
| ① PROPERTY LINE | ⑦ NEW DROP INLET, SEE SHEET C-500 |
| ② 24" CURB AND GUTTER, SEE SHEET C-201 | ⑧ RAISED CROSSWALK, SEE SHEET C-201 |
| ③ 6" STAND UP CURB, SEE SHEET C-201 | ⑨ NEW STRIPING, SEE SHEET C-700 |
| ④ 36" VALLEY GUTTER, SEE SHEET C-201 | ⑩ LIMITS OF NEW PAVING |
| ⑤ NEW ISLAND | ⑪ NEW SIDEWALK |
| ⑥ ADA PARKING, SEE SHEET C-700 | ⑫ NEW FLATWORK, SEE LANDSCAPE |

LEGEND

- NEW ASPHALT
- NEW BUILDING, SEE ARCH
- FLATWORK, SEE LANDSCAPE



0 15 30 60
SCALE: 1" = 30'

CIVIL SITE PLAN
SCALE: 1" = 30'

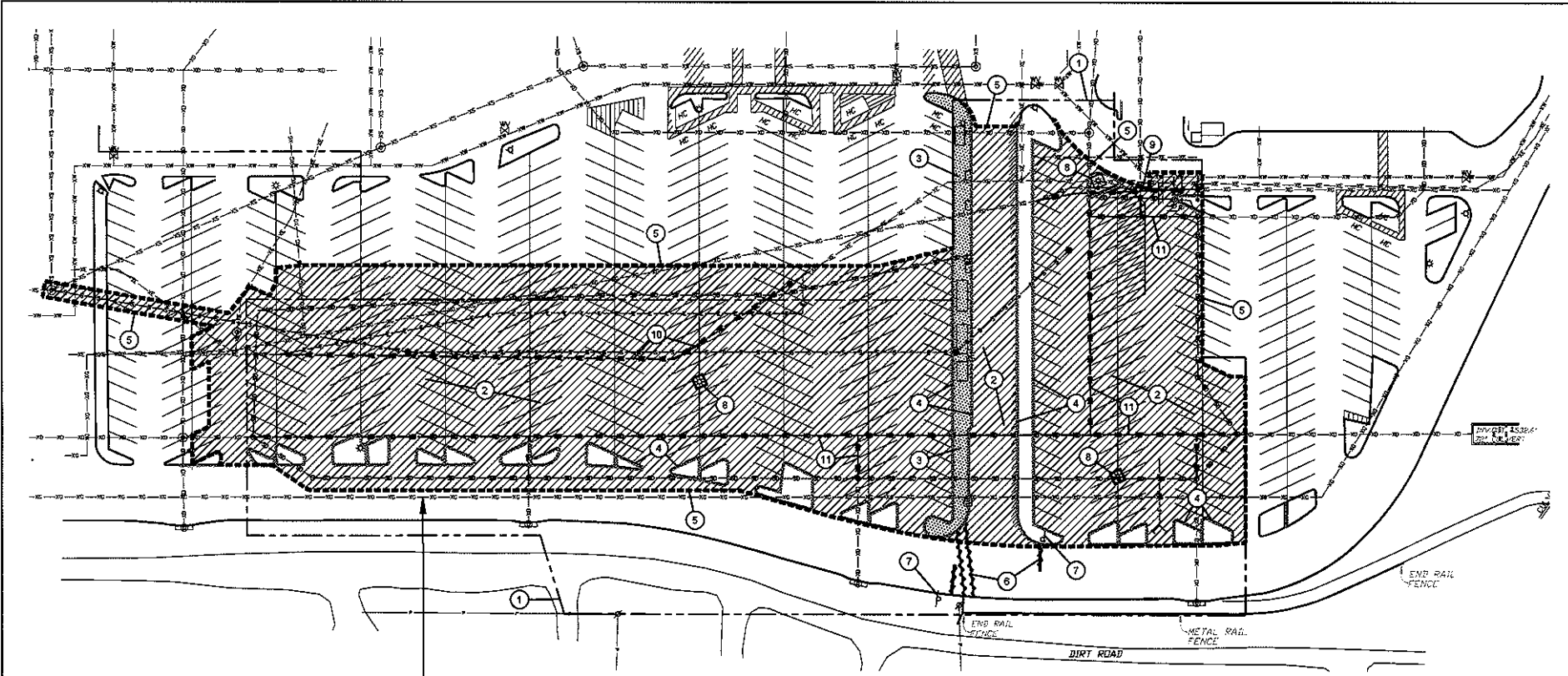
SFE C
Santa Fe Engineering Consultants, LLC
 1599 St. Francis Drive, Suite B
 Santa Fe, N.M. 87505
 (505) 882-2845 Fax: (505) 882-2641
<http://www.SFENGR.com>

DEVELOPMENT PLAN
 SUBMITTAL FOR
 ESCARPA
 APARTMENT HOMES AT SANTA FE PLACE

CIVIL SITE PLAN

DATE DECEMBER 2020	SCALE 1" = 30'	SHEET C-100
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ENGINEER'S SEAL	
DATE	
REVISIONS	



EXTREME CAUTION

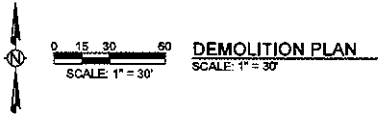
EXTREME CAUTION IS TO BE USED WHEN WORKING NEAR EXISTING GAS LINES, CONTRACTOR TO VERIFY LOCATION IN FIELD PRIOR TO ANY EXCAVATION OR DEMOLITION. CONTRACTOR TO PROTECT LINES DURING ALL PHASES OF CONSTRUCTION.

EXTREME CAUTION

- LEGEND**
- ASPHALT REMOVAL
 - SIDEWALK REMOVAL
 - CURB AND GUTTER REMOVAL
 - SAWCUT
 - OBLITERATE STRIPE

SHEET KEYNOTES

- ① PROPERTY LINE
- ② REMOVE ASPHALT
- ③ REMOVE SIDEWALK
- ④ REMOVE CURB AND GUTTER
- ⑤ SAWCUT SEE DETAIL SHEET C-201
- ⑥ OBLITERATE EXISTING STRIPING
- ⑦ REMOVE EXISTING STOP SIGN
- ⑧ REMOVE EXISTING LUMINAIRE
- ⑨ REMOVE EXISTING GAS LINE SEE SHEET C-401
- ⑩ REMOVE EXISTING ELECTRIC LINE SEE SHEET C-401
- ⑪ REMOVE EXISTING STORM DRAIN SEE SHEET C-500



SFE C Santa Fe Engineering Consultants, LLC
 1589 St. Francis Drive, Suite B
 Santa Fe, N.M. 87505
 (505) 892-2845 Fax: (505) 892-2841
<http://www.SFENGR.com>

DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA APARTMENT HOMES AT SANTA FE PLACE	
DEMOLITION PLAN	
DATE DECEMBER 2020	SCALE 1" = 30'
SHEET: C-102	

ENGINEER'S SEAL	
DATE	
REVISIONS	

CITY OF SANTA FE PUBLIC INFRASTRUCTURE GENERAL CONSTRUCTION NOTES

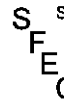
1. All construction shall conform to the requirements of City of Santa Fe Standard Drawings and Specifications as applicable.
2. Utility construction shall conform to applicable sections of the APWA's "New Mexico Standard Specifications for Public Works Construction, 2006 edition including latest published amendments.
3. Infrastructure construction shall conform to applicable sections of the New Mexico Department of Transportation's "Standard Specifications for Highway and Bridge Construction, latest Edition (SSHBC).
4. The order of precedence shall be, listed in order of highest precedence, the project specifications, plans, City of Santa Fe Standard Drawings, SSHBC, and APWA.
5. In the case of conflicts between plans and specifications resolution shall be by using the more restrictive requirement as determined by the project engineer and approved by the City.
6. The project plans shall be approved for construction by the City prior to any construction activity and scheduling a pre-construction meeting.
7. The construction Project Engineer shall be a New Mexico licensed Professional Engineer in the appropriate category for the type of work represented by the project plans. The Project Engineer shall arrange for a pre-construction meeting prior to the start of construction or mobilization of equipment on-site and after receipt of the financial guaranty. At the pre-construction meeting, the Project Engineer shall submit a letter providing the name(s) of specific individuals who will be performing what type of inspections and respective telephone contact number(s); this includes preparation of the record drawings. The pre-construction meeting shall be scheduled a minimum of 10 calendar days in advance of the meeting date.
8. Attendance at the pre-construction meeting is mandatory.
9. The Contractor shall provide a list of contact personnel responsible for site construction including position, telephone numbers, and at least one emergency telephone number active on a 24 hour basis.
10. If an EPA Notice of Intent (NOI) is applicable, a copy of the mailed permit application shall be presented at the pre-construction meeting along with a written statement giving the mailing date.
11. The Contractor shall be responsible for maintaining the integrity of all underground utilities during the course of work regardless of any location shown on the plans or other field evidence, or lack thereof. Notification to New Mexico One Call at 1-800-321-2537 for utility locates a minimum of 48 hours in advance of any excavation is required. Maintenance of utility locates shall be continued throughout the project life.
12. The Owner shall be responsible for all changes in construction deemed necessary for any reason and shall have appropriate plans and/or specifications, including applicable design criteria, prepared by a New Mexico Professional Engineer and submitted to the City for approval. Upon approval, said changes may be incorporated into the project.
13. Final Record Drawings, reflecting substantial changes to the original design drawings, shall be submitted by the Contractor's Surveyor for approval to the Engineer. Said plans shall be approved by applicable City Divisions prior to final acceptance of project work for maintenance responsibility and the beginning of the warranty period. Under no circumstances will partial acceptance and/or warranty commencement begin for any component of project scope be provided.
14. All Contractor work activity shall be confined to the construction limits of the project. There shall be no encroachment onto adjacent properties, either construction or marshaling yard(s) unless legal easement(s)/agreement(s) is/are executed and approved by the Engineering Supervisor.
15. Grading shall be completed under the authority of a Building Permit, the application of which shall show the type of work as "Other" with the notation of Grading, Landscaping, and infrastructure shown thereon. Call 505-955-6945 for permit information.
16. All cut and fill slopes, including setback requirements, shall conform to the requirements of:
 - a. Santa Fe City Code's Article 14-6 (Development and Design Standards);
 - b. Chapter 33 of the Uniform Building Code, 1997 edition unless otherwise noted on the approved construction plans; and
 - c. In the case of conflict between these two specifications, City Code shall prevail.
17. The Contractor is responsible for any damage caused by construction activities to public or private property, including utilities.
18. Material quality testing shall be completed by the Contractor, through a recognized testing laboratory. The laboratory shall be under the auspices of a New Mexico Professional Engineer.
19. All material quality test reports shall be provided directly to the City Planning Department, attention Permits and Development Review Division at P.O. Box 909, Santa Fe, New Mexico 87504-0909 within seven (7) calendar days after laboratory material testing is complete unless otherwise directed during the pre-construction meeting. Field test reports shall be provided directly to the P&DR staff at the time of field testing. In the case of P&DR staff absence, the reports shall be faxed to 505-955-6829. In each case, all test reports and other communication shall carry the applicable P&DR Case and Building Permit project numbers which will be provided at the pre-construction meeting if not noted on the approved project plans.
20. Compaction testing of soil and similar materials, including optimum moisture-density relationships, shall be performed in accordance with the referenced specifications and/or plans. Unless specified in individual project plans, the frequency of compaction testing shall be one (1) test per 1.5 vertical feet of fill or backfill of similar material; within two (2) horizontal feet of structures; for each 500 linear feet of trench backfill or each days compactive effort, whichever results in the greatest quantity of tests; or for each 500 cubic yards of fill of similar material; or as directed by the Engineer.
21. Portland cement concrete (Pcc) proposed to be used for the project shall conform to a mix design prepared by a New Mexico Professional Engineer. The design shall be provided to P&DR staff for approval a minimum of 14 calendar days prior to scheduling the initial casting operation or, alternatively, the project plans shall define a specific mix having a prior approval by P&DR. Each mix shall have the following minimum properties:
 - a. Compressive strength of 4,000 psi in 28 calendar days
 - b. Seven (7) bags of cementitious material per cubic yard of concrete
 - c. Twenty (20) percent or less of flyash material substitution for cement
 - d. Maximum aggregate size of 3/8"
 - e. Air entrainment content ranging between 4.0 and 7.0 percent at the point of concrete delivery into forms
22. Concrete sample set shall consist of a minimum of three (3) cylinders. One sample set shall be obtained for each 500 linear feet cast, 50 cast cubic yards, or one (1) set per calendar day, whichever is greatest; or as directed by the Engineer. Cylinders shall be tested at 7, 28, and 56 day intervals; the 56 day interval need not be tested if any previous test result exceeds the design value.

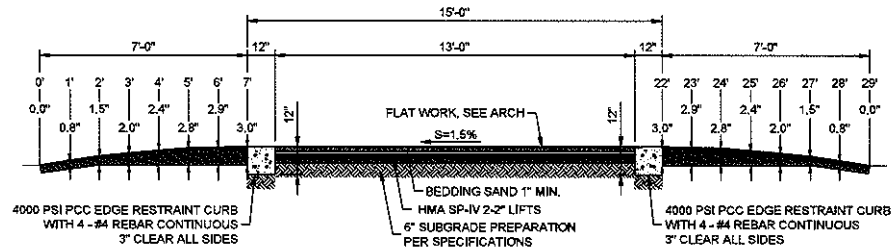
23. Traffic control devices, as per approved plan, shall be installed, maintained, and removed by the Contractor. Said devices shall conform to the latest published edition of the Manual of Uniform Traffic Control Devices and to written directions from the City Traffic Engineer who may be reached at 505-955-8619.
24. Site erosion and/or sediment control, as per approved plan, shall be installed, maintained, and removed by the Contractor. The Contractor's attention is directed to the SSHBC's Section 603 for other requirements relating to dust abatement and similar issues.
25. Utility lines must be bored under all existing street Pcc street appurtenances. A minimum of 12" separation must be maintained between utility lines. Any curb, gutter, or other damage must be repaired before final inspection will be given.
26. Each City utility division shall provide a letter of completed installation, not necessarily accepted for warranty, at the Contractor's request. Said letters shall be provided to the P&DR staff and received written staff acceptance prior to scheduling either TV inspection of SAS; and Storm Sewer lines or placement of roadway pavement material.
27. ASTM, ASHTO, or independent laboratory certificates of material compliance are to be provided to P&DR staff prior to bringing applicable material on site.
28. Aggregate base course material shall conform to the SSHBC's Section 303 using Gradation I.
29. Hot Mix Asphalt (HMA) proposed to be used for the project shall conform to a mix design prepared by a New Mexico Professional Engineer conforming to SSHBC's Section 423 using Aggregated Classification(s) called for in the project plans. The design shall be provided to P&DR staff for approval a minimum of 14 calendar days prior to scheduling the initial paving operation or, alternatively, the project plans shall define a specific mix having a prior approval by P&DR.
30. Compaction testing of subgrade, aggregate base course, and each lift of HMA material shall be completed for every 100 linear feet of roadway length excepting for HMA material in which case provide one (1) test for every 100 linear feet of laydown machine pass; or as directed by the Engineer.
31. HMA material quality test samples (wet) shall be obtained and tested for every 500 tons or fraction thereof or one (1) sample per day.
32. Utility appurtenances such as telephone pedestals, electrical transformers, gas, and cable TV pedestals shall be placed outside the public right-of-way and within utility easements. The Owner is responsible for relocating mis-placed utility structures prior to requesting a pre-final inspection. Water meter boxes and fire hydrants may be placed between the sidewalk and curb. Water valve and meter boxes are not to be placed within maintenance areas of semi-improved (gravel or equal) roads.
33. Construction debris and/or excess material shall be stored in an on-site area and appropriately contained. Said debris shall not be a nuisance to the surrounding neighborhood. Disposal of debris shall be either within the city limits under separate grading permit or at a designated NMED approved disposal site. The Contractor shall provide written notice as to proposed debris disposal site location(s). All debris and/or excess material shall be removed from the site prior to scheduling a pre-final inspection with P&DR staff.
34. Interim terrain and stormwater management inspections shall be arranged for at the following events:
 - a. Completion of temporary erosion control best management installations and prior to any earthwork (clearing, grubbing, etc.)
 - b. Final stormwater management features are constructed
 - c. Final site restoration measures are completed
 - d. Further construction or issuance of any permit(s) shall not occur until written approval by P&DR staff for each of the above inspections has been obtained. Inspections shall be scheduled by calling 505-955-6846.
35. The Contractor shall make written request for a pre-final inspection of terrain management and infrastructure works a minimum of 14 calendar days in advance with P&DR staff. At this inspection, applicable city division staff will review the final work product. Any deficiencies will be noted in a "punchlist" and provided to the Contractor for correction. When all punchlist items are completed the Contractor shall file a written statement to that effect and a final inspection will be held by P&DR staff. Upon acceptance, an acceptance letter will be provided wherein all work will be accepted for maintenance by the City and the commencement of the warranty period initiated.
36. All surveys to be performed under the supervision of a Professional Land Surveyor, licensed in the State of New Mexico.

ADDITIONAL CONSTRUCTION NOTES

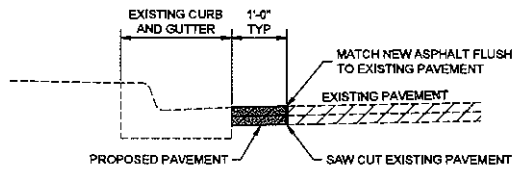
1. The contractors surveyor shall coordinate with Dawson Surveys Inc. The contractors surveyor shall verify proposed grades, invert elevations, flow lines, Alignments, Property lines, Right of Way, Setbacks, and topography prior to construction. Any deviations shall be reported to the engineer.
2. The contractor shall maintain existing fencing, or build new fencing to insure that the site is secure at all times.
3. It is solely the contractors responsibility to meet OSHA requirements and to maintain a safe working condition.
4. Santa Fe Engineering Consultants, Inc. waives any and all responsibility and is not liable for problems which arise from failure to follow these plans, Specifications and the design intent they convey or for problems which arise from failure to obtain and/or follow SFECC guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts.
5. Television inspection to be provided by private contractor, not the City.
6. Pot holing, construction water, T.V. inspections, flushing and cleaning of sanitary sewer lines or storm sewers are incidental to the work and no separate payment will be made.
7. The existing utility locations shown on these plans have been compiled from multiple sources, including utility locates, and field surveys. It is the contractor's responsibility to verify and pothole any potential utility conflicts. The contractor is responsible for any damage caused by construction activities to public or private property, including utilities.

ENGINEER'S SEAL	DATE								
	REVISIONS								

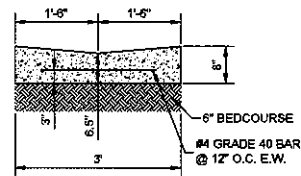
 Santa Fe Engineering Consultants, LLC 1599 St. Francis Drive, Suite B Santa Fe, N. M. 87505 (505) 982-2845 Fax: (505) 982-2641 http://www.SFENGR.com	DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA APARTMENT HOMES AT SANTA FE PLACE	
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	DATE DECEMBER 2020	SCALE N.T.S.



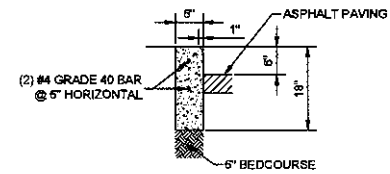
RAISED CROSSWALK SECTION



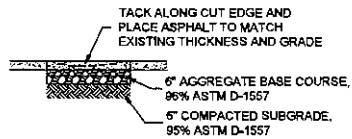
TYPICAL SAW CUT DETAIL



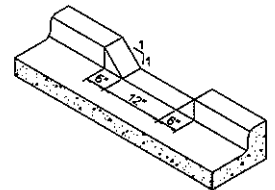
3' VALLEY GUTTER



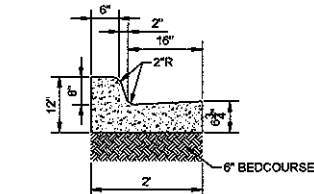
6' STAND-UP CURB



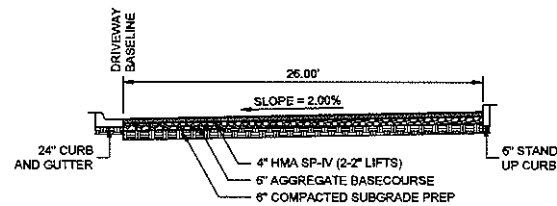
TYPICAL PAVEMENT PATCHING DETAIL



LOCATE CURB OPENING AS SHOWN ON PLANS. SEE LANDSCAPE AND GRADING PLANS. CURB OPENING DETAIL



STANDARD 2' CURB AND GUTTER



TYPICAL DRIVEWAY SECTION

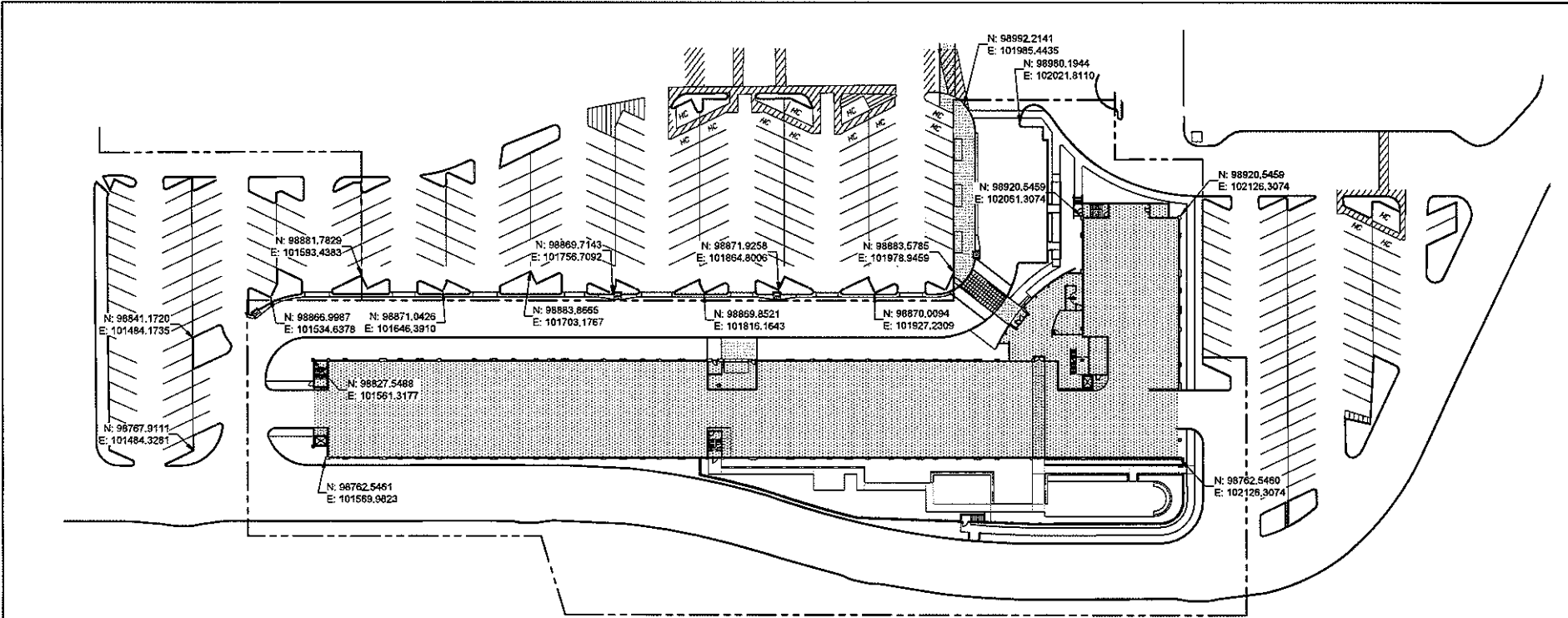
REVISIONS	DATE	ENGINEER'S SEAL

SFE C Santa Fe Engineering Consultants, LLC
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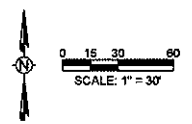
TYPICAL SECTION AND DETAILS

DATE DECEMBER 2020	SCALE N.T.S.	SHEET C-201
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- NOTES:
1. AN AUTOCAD DRAWING WILL BE PROVIDED TO THE CONTRACTOR FOR DETAILED GEOMETRICS AND GRADING.
 2. UNLESS OTHERWISE NOTED, ALL GEOMETRICS ARE TAKEN FROM BUILDING CORNERS OR BACK OF CURB
 3. SEE DRIVEWAY PLAN AND PROFILE, SHEET C-600, FOR ADDITIONAL GEOMETRICS

ENGINEERS SEAL	
DATE	
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GEOMETRICS PLAN
SCALE: 1" = 30'

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GEOMETRICS PLAN

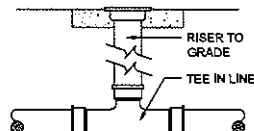
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DECEMBER 2000	1" = 30'	C-300

CITY OF SANTA FE WASTEWATER MANAGEMENT DIVISION GENERAL NOTES

- PRIOR TO THE WASTEWATER MANAGEMENT DIVISION APPROVAL OF THE PLAN SET, A LETTER WILL BE REQUIRED FROM THE PROJECT ENGINEER INDICATING THEY ARE PROVIDING THE INSPECTION AND RECORD DRAWING SERVICES FOR THE PROJECT.
- THE CONTRACTOR MUST OBTAIN ALL SEWER HOOKUP PERMITS FROM THE CITY'S BUILDING PERMITS SECTION (SEWER LINES) PRIOR TO COMMENCING ANY SEWER LINE CONSTRUCTION. A COPY OF THE PERMIT MUST BE KEPT AT THE CONSTRUCTION SITE.
- ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD MANHOLE DETAIL SHEET" SHOWN ON THE CITY STANDARD DRAWINGS.
- A COPY OF THE APPROVED PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES DURING WORKING HOURS.
- ALL MODIFICATIONS TO THE SANITARY SEWER PLANS MUST BE REVIEWED AND APPROVED BY THE CITY'S WASTEWATER MANAGEMENT DIVISION PRIOR TO CONSTRUCTION.
- ADDITIONAL GENERAL NOTES ARE CONTAINED IN THE STANDARD CITY DETAIL SHEETS FOR SANITARY SEWER CONSTRUCTION.
- ALL PUBLIC GRAVITY SEWER LINES SHALL BE A MINIMUM 8 INCH DIAMETER WITH A MINIMUM CLASS C BEDDING (2006 NEW MEXICO AMERICAN PUBLIC WORKS ASSOCIATION).
- ALL 4 INCH AND 6 INCH DIAMETER GRAVITY SEWER PIPE SHALL BE PRIVATE. NO PRIVATE SEWER SYSTEM SHALL USE LARGER THAN A 6 INCH DIAMETER PIPE. NO PUBLIC GRAVITY SEWER LINE TO BE ACCEPTED BY THE CITY OF SANTA FE FOR PERMANENT MAINTENANCE SHALL BE LESS THAN 8 INCHES DIAMETER.
- NO CONCRETE ENCASEMENT OF NEW OR EXISTING PUBLIC SEWER PIPE WILL BE ALLOWED UNLESS APPROVED BY THE CITY OF SANTA FE WASTEWATER MANAGEMENT DIVISION.
- CORE DRILLING IS REQUIRED FOR ALL NEW CONNECTIONS TO AN EXISTING MANHOLE.
- NO PUBLIC SEWER MAIN LINE OR MANHOLE WILL BE ALLOWED UNDER OR WITHIN A STORM WATER DETENTION/RETENTION POND.
- PRIOR TO PAVING OVER ANY SANITARY SEWER LINES, SUBMIT T.V.TAPES AND LOGS, PRESSURE TESTS, AND THE ENGINEER'S CERTIFICATION TO THE CITY'S WASTEWATER MANAGEMENT DIVISION. AFTER THE WASTEWATER MANAGEMENT DIVISION REVIEWS THE ABOVE LISTED INFORMATION, A PRELIMINARY MANHOLE INSPECTION WILL BE CONDUCTED. WHEN ALL THE ITEMS LISTED ABOVE ARE COMPLETED TO MEET THE STANDARDS OF THE WASTEWATER MANAGEMENT DIVISION, A LETTER APPROVING PAVING WILL BE ISSUED IN RELATION TO THE SANITARY SEWER. NOTE: A FINAL MANHOLE INSPECTION WILL BE CONDUCTED AFTER THE FINAL PAVING IS COMPLETED.
- ALL SEWER MANHOLES WITH SEWER LINES 12 INCHES IN DIAMETER AND LARGER ARE REQUIRED TO HAVE APPROVED VENTED AND LOCKING MANHOLE COVERS.
- LOCATE WIRES SHALL BE INSTALLED FOR ALL SANITARY SEWERS (GRAVITY/FORCE MAINS). THE LOCATE WIRE MUST BE VISIBLE IN THE MANHOLE OR ACCESS STRUCTURE. THIS WILL BE VERIFIED DURING THE PRELIMINARY MANHOLE INSPECTION PRIOR TO PAVING. THE LOCATE WIRE IS TO BE A CONTINUOUS, 12 GAUGE, SOLID STRAND INSULATED COPPER WIRE.
- OFF-ROAD PUBLIC SEWER ACCESS WILL BE PROVIDED FOR ALL PUBLIC SEWER LINES AND MANHOLES. ACCESS ROADS ARE TO BE A MINIMUM 12 FEET WIDE WITH A DRIVING SURFACE OF 6 INCHES OF COMPACTED BASE COURSE. NO ACCESS ROAD SHALL HAVE A GRADE GREATER THAN 15%. MANHOLES ARE TO BE ALIGNED WITH THE CENTER LINE OF THE ACCESS ROAD, SEWER EASEMENTS ARE TO BE A MINIMUM OF 20 FEET IN WIDTH.
- OFF ROAD SANITARY SEWER - CALL THE WASTEWATER MANAGEMENT DIVISION AT 955-4851 FOR A FIELD REVIEW OF THE GRADING OF ALL OFF ROAD SANITARY SEWER TO ENSURE THAT THE CITY'S MAINTENANCE VEHICLES CAN ACCESS ALL MANHOLES. THE GRADES MAY BE REQUIRED TO BE ADJUSTED BASED UPON THIS INSPECTION. ADDITIONAL BANK PROTECTION MAY BE REQUIRED BASED UPON A FINAL INSPECTION BY THE WASTEWATER MANAGEMENT DIVISION AND THE PROJECT ENGINEER.
- FOR RECORD DRAWINGS, THE MANHOLE TO A CITY OF SANTA FE SURVEY MONUMENT AS PART OF THE FINAL RECORD DRAWINGS, SHOW CORRECTED AS-BUILT BEARING AND DISTANCES, SLOPES, RIM AND INVERT ELEVATIONS AND SEWER SERVICES ALONG THE HORIZONTAL ALIGNMENT OF THE SANITARY SEWER. FOR RECORD DRAWINGS, A SEPARATE SUMMARY TABLE ADDED TO THE EXISTING PLAN SHEETS OR AS AN ADDITIONAL SHEET SHALL BE REQUIRED. THE SUMMARY SHEET SHALL LIST DATA FOR THE SEWER LINE SEGMENTS BETWEEN MANHOLES SHOWING THE UPSTREAM AND DOWNSTREAM MANHOLE WITH THE DESIGN SEGMENT LENGTHS, SLOPES AND BEARINGS AND THE AS-BUILT SEGMENT LENGTHS, SLOPES AND BEARINGS. THE SUMMARY SHEET SHALL INDICATE THE TOTAL NUMBER OF NEW PUBLIC MANHOLES CONSTRUCTED, THE TOTAL NUMBER OF CONNECTIONS TO EXISTING PUBLIC MANHOLES, THE TIE TO A CITY CONTROL MONUMENT AND THE TOTAL LENGTH OF AS-BUILT PUBLIC SEWER LINE CONSTRUCTED BY SIZE.

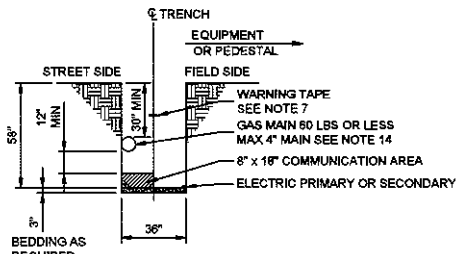
- THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIRING AND LOCATING THE SEWER SYSTEM UNTIL CITY ACCEPTANCE FOR MAINTENANCE. DAMAGES RESULTING FROM A STOPPAGE IN ANY GRAVITY AND/OR PRESSURE SEWER SYSTEM WILL BE THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER UNTIL A FINAL ACCEPTANCE LETTER FOR PERMANENT MAINTENANCE HAS BEEN ISSUED BY THE WASTEWATER MANAGEMENT DIVISION.
- WATER METERS WILL NOT BE PLACED UNTIL A FINAL ACCEPTANCE LETTER HAS BEEN ISSUED BY THE WASTEWATER DIVISION FOR ALL ON-SITE SANITARY SEWER NEEDED IN ORDER FOR THE PROJECT TO CONNECT TO THE SANITARY SEWER SYSTEM.
- 20 FOOT WIDE ACCESS GATES SHALL BE PROVIDED AT ALL FENCES, WALLS OR OTHER OBSTRUCTIONS THAT CROSS A PUBLIC SEWER LINE. ACCESS GATES TO BE LOCATED WITHIN THE SANITARY SEWER EASEMENT.
- THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR LOCATING EACH SEWER SERVICE AT THE TIME EACH LOT IS READY TO CONNECT TO THE SEWER. IT IS SUGGESTED THAT THE OWNER/ DEVELOPER RETAIN A COPY OF THE TELEVISION INSPECTION VIDEO ALONG WITH THE VIDEO LOGS. EACH SERVICE SHALL BE CLEARLY MARKED FOR EACH LOT AT POINT OF CONNECTION. ALL CALLS RECEIVED BY THIS DIVISION REGARDING THE LOCATION OF SERVICE WILL BE FORWARDED TO THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL CALL THE WASTEWATER MANAGEMENT DIVISION (DOUGLAS FLORES AT TELEPHONE # 955-4813) FOR A FINAL MANHOLE INSPECTION. THIS INSPECTION WILL BE ISOLATED TO THE MANHOLES. THE CITY'S PLUMBING AND MECHANICAL INSPECTORS WILL CONDUCT ALL OTHER NECESSARY PLUMBING INSPECTIONS. NOTE: THE CITY'S PLUMBING AND MECHANICAL INSPECTORS WILL INSPECT THE INDIVIDUAL SEWER SERVICE TAPS AND LATERALS, WHICH CONNECT TO THE PUBLIC SANITARY SEWER.
- THE EXISTING SANITARY SEWER LINE MUST BE T.V. TAPED PRIOR TO A NEW SERVICE CONNECTION BEING PLACED AS WELL AS TAPED AFTER THE SERVICES HAVE BEEN COMPLETED. THIS IS TO ENSURE THAT THE EXISTING SANITARY SEWER LINE IS NOT DAMAGED AND THE NEW SERVICE IS INSTALLED CORRECTLY.
- ALL COSTS ASSOCIATED WITH THE OPERATION, MAINTENANCE AND REPLACEMENT OF GRINDER PUMPS FOR INDIVIDUAL LOTS SHALL BE THE RESPONSIBILITY OF THE LOT OWNER AND/OR OWNERS ASSOCIATION. FOR GRINDER PUMPS THAT CONNECT TO A PRESSURE SEWER MAIN, THE GRINDER PUMP SHALL BE A MODEL MANUFACTURED BY ENVIRONMENT ONE OR A TYPE APPROVED BY THE CITY OF SANTA FE WASTEWATER MANAGEMENT DIVISION. FOR GRINDER PUMPS THAT CONNECT TO A GRAVITY MAIN, THE GRINDER PUMP SHALL BE OF A TYPE APPROVED BY THE CITY OF SANTA FE PLUMBING CODE.
- A MINIMUM 12 INCHES OF VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN THE SEWER LINE AND ANY STORM DRAIN PIPING.
- ALL PRESSURE SEWER SYSTEMS SHALL BE AIR OR HYDROSTATICALLY PRESSURE TESTED @ 120 PSI FOR 2 HOURS MINIMUM. THE TEST IS TO BE WITNESSED AND CERTIFIED BY THE PROJECT ENGINEER. PRIOR TO BEING PUT INTO SERVICE AND ACCEPTANCE BY THE CITY OF SANTA FE, ALL PRESSURE SEWER SYSTEM MAIN LINES WILL BE FILLED WITH WATER.
- NO PUBLIC PRESSURE SEWER SYSTEM PIPING MAY BE INSTALLED IN A COMMON TRENCH WITH OTHER UTILITIES.
- SEWER BACKFLOW CHECK VALVES WILL BE REQUIRED FOR ALL SEWER SERVICE LATERAL CONNECTIONS TO SEWER MAINS 12 INCHES OR GREATER IN DIAMETER. THE SEWER SERVICE CONNECTION MUST BE MADE AT AN EXISTING OR NEW MANHOLE. SEWER SERVICE CONNECTIONS TO SEWER MAINS WITH PIPE SIZE DIAMETER OF 12 INCHES AND GREATER WILL NOT BE MADE WITHOUT APPROVAL FROM THE WASTEWATER MANAGEMENT DIVISION.
- SEWER BACKFLOW CHECK VALVES SHALL BE REQUIRED ON PRIVATE SEWER SERVICE LATERALS PER THE CITY OF SANTA FE PLUMBING CODE.
- ALL PVC SEWER PIPES THAT ARE INSTALLED AT A DEPTH OF TEN (10) FEET OR GREATER OR AT A SLOPE OF ONE PERCENT (1%) OR LESS SHALL BE SOR 26 PVC PIPE.
- ALL AS-BUILT SEWER LINE AND MANHOLE DATA SHALL BE OBTAINED AND CERTIFIED BY A LICENSED SURVEYOR OR ENGINEER. AS-BUILT DATA SUPPLIED BY OTHER THAN A LICENSED SURVEYOR OR ENGINEER SHALL NOT BE VALID FOR FINAL AS-BUILTS.
- ALL EXISTING AND NEW PUBLIC MANHOLES WITHIN A PROJECT SHALL HAVE ACCESS FOR CITY SEWER MAINTENANCE EQUIPMENT. ALL ACCESS IS SUBJECT TO FIELD VERIFICATION AND PHOTOGRAPHY AS REQUIRED BY THE WASTEWATER DIVISION PRIOR TO FINAL PROJECT CLOSE OUT WITH THE CITY OF SANTA FE.
- ALL SEWER LINE CROSSINGS OF RIVERS, STREAMS, ARROYOS, DRAINAGE CHANNELS, ETC. SHALL REQUIRE A BASIS OF DESIGN ANALYSIS PREPARED BY A LICENSED ENGINEER.
- AN APPROVED BACKFLOW VALVE AND ISOLATION VALVE ARE REQUIRED ON ALL LOW PRESSURE SEWER SERVICE LINES AS PER THE CITY OF SANTA FE STANDARD SEWER SPECIFICATIONS.

- TERMINAL FLUSHING CONNECTIONS AND IN-LINE FLUSHING CONNECTIONS ARE REQUIRED ON ALL LOW PRESSURE SEWER SYSTEMS. THE MAXIMUM SPACING BETWEEN IN-LINE FLUSHING CONNECTIONS SHALL BE 500 FEET. DISTANCES GREATER THAN 500 FEET BETWEEN LOW PRESSURE SEWER IN-LINE FLUSHING CONNECTIONS SHALL BE APPROVED BY THE WASTEWATER DIVISION.
- ALL SANITARY SEWER MANHOLES FIFTEEN (15) FEET IN DEPTH OR GREATER SHALL BE SIX (6) FOOT DIAMETER.
- PVC SEWER PIPE SHALL BE RUN CONTINUOUS THROUGH MANHOLES WHEN PIPE OF APPROXIMATE EQUAL SLOPES ARE ENTERING AND LEAVING THE MANHOLES.
- ALL NEW CONNECTIONS TO AN EXISTING SANITARY SEWER MANHOLE SHALL INCLUDE THE REHABILITATION REQUIRED TO MEET CITY OF SANTA FE WASTEWATER DIVISION STANDARD CONSTRUCTION DETAILS.



NOTES:
IPSP REQUIRED AT ALL SANITARY SEWER SERVICE CONNECTIONS TO BUILDING
LOCATE SAMPLING POINT OUT OF TRAFFIC BEHIND CURB

INDUSTRIAL PRE-TREATMENT SAMPLING PORT



TYPICAL JOINT TRENCH DETAIL

JOINT TRENCH NOTES:

- Compaction in city or state right-of-ways shall meet or exceed minimum specified requirements.
- Shading and bedding materials to be type IV, Class 1 for direct buried cable and Type IV, Class 2 for cable in conduit. Type III material is suitable for either type of installation. Refer to DS-10-12.4 for fill material requirements.
- If trench-run material meets back fill material type requirements, 3" bedding may be omitted provided the trench bottom is smooth, flat and without surface irregularities.
- Maximum change in the trench bottom elevation shall not exceed 2" over a 10' length.
- Spot pile shall be placed on the field side a minimum of 2' from the trench edge.
- Latest OSHA trench safety requirements shall be strictly observed.
- Warning tape shall be placed a minimum of 12" above gas line.
- When bringing cables to pedestals, 12" separation must be maintained from the gas line.
- PNM owned or maintained street lights may be installed in trench, next to electric cable.
- Private area lighting or private streetlight circuits must maintain 12" separation from all other joint occupants.
- Gas service must be 12" away from where it will pass equipment or pedestals.
- All parties agree that 12" separation between electric and communication may not be met when transitioning up to transformers and/or pedestals.
- Typical subdivision where property line is 9' from back of curb and 10' Public Utility Easements (PUE).
- Depth of gas measured from final grade.

REFERENCES

- NESC rule 352, 353, 354

WASTEWATER NOTES:
WASTEWATER LEC CHARGES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION.

SANITARY SEWER NOTE:
NO FENCES, WALLS, OR OTHER STRUCTURES SHALL BE CONSTRUCTED WITHIN OR ACROSS SANITARY SEWER EASEMENTS

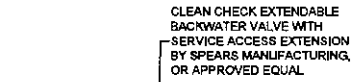
STREET LIGHTING NOTE:
PROPOSED LUMINAIRES SHALL BE METERED AND INCLUDE LED TYPE FIXTURES EQUIVALENT TO CONVENTIONAL 250 HIGH PRESSURE SODIUM. THE DESIGN AND FIXTURE TYPES SHALL BE REVIEWED AND APPROVED BY THE CITY OF SANTA FE TRAFFIC ENGINEERING DIVISION.

DESIGN NOTES:
GAS SERVICES AND METERS TO BE DESIGNED BY NEW MEXICO GAS COMPANY.

WATER SERVICES TO BE DESIGNED BY BANGRE DE CRISTO WATER COMPANY.

ELECTRIC TRANSFORMERS AND SERVICES TO BE DESIGNED BY PUBLIC SERVICE COMPANY OF NEW MEXICO.

CABLE TELEVISION SERVICE TO BE DESIGNED BY COMCAST.



NOTE:
BACKWATER VALVES ARE NOT NEEDED WHEN FINISHED FLOOR IS GREATER THAN ONE (1) FOOT HIGHER THAN THE UPSTREAM MANHOLE FOR ALL UNITS.

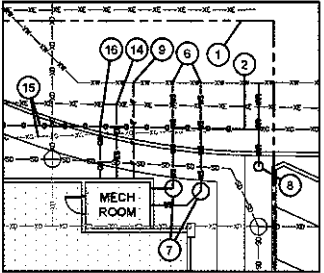
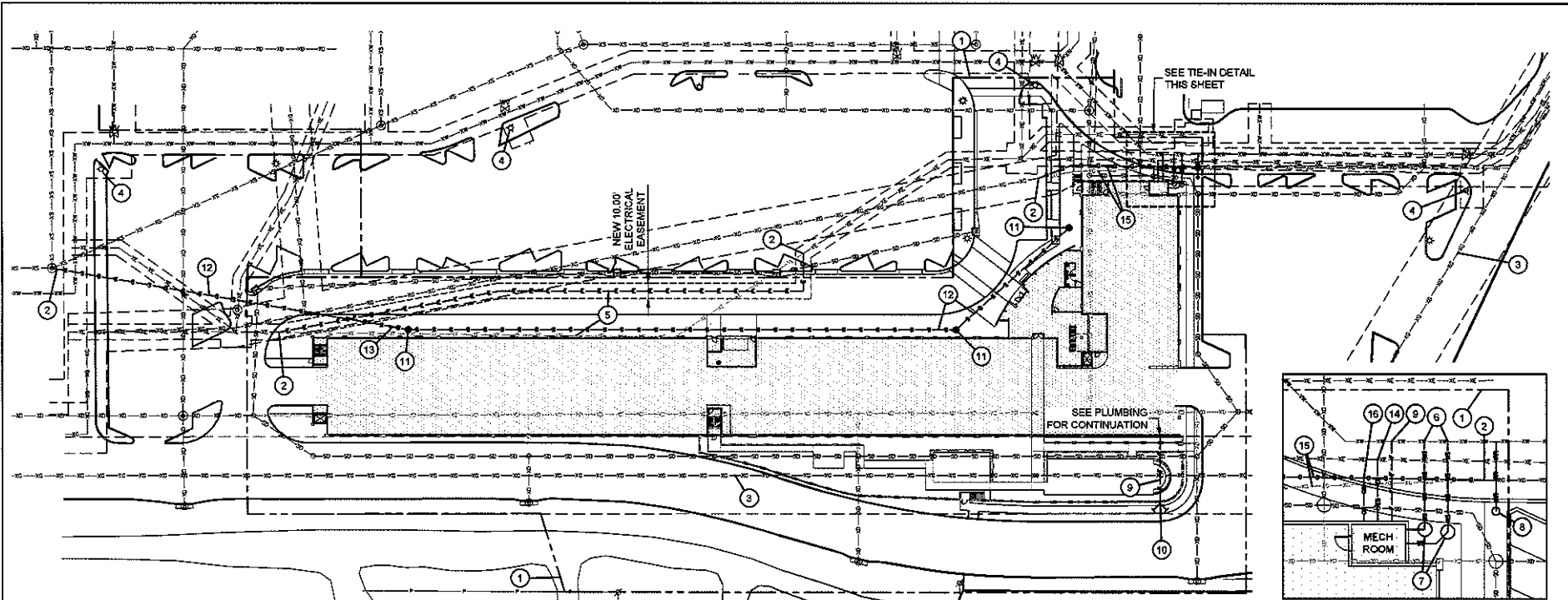
CLEANOUT ASSEMBLY WITH BACKWATER VALVE DETAIL
SCALE: N.T.S.


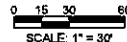
ENGINEER'S SEAL									
DATE									
REVISIONS									


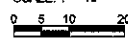
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DEVELOPMENT PLAN
SUBMITTAL FOR
APARTMENT HOMES AT SANTA FE PLACE
UTILITY NOTES AND DETAILS

DATE	SCALE	SHEET
DECEMBER 2020	N.T.S.	04/20





MASTER UTILITY PLAN
 SCALE: 1" = 30'



TIE-IN DETAIL
 SCALE: 1" = 10'

UTILITY CONTACT INFORMATION		
COMPANY	CONTACT	PHONE NUMBER
PNM	AMANDA MONTANO	(505) 473-3341
CENTURY LINK	DOUG DALE	(505) 473-2184
COMCAST	DAVID AJKIN	(505) 438-1930
NM GAS COMPANY	FRANK ARAGON	(505) 470-0668
SANGRE DE CRISTO WATER COMPANY	BRIAN SNYDER, P.E.	(505) 955-4277
CITY OF SANTA FE WASTE WATER DIVISION	STAN HOLLAND, P.E.	(505) 955-4637

- * NOTES:**
1. THE ONSITE SANITARY SEWER SYSTEM IS TO BE PRIVATE, SEE SHEET C-600 FOR DETAILS.
 2. BOTH DOMESTIC WATER SERVICE SIZES ARE 2", IRRIGATION SERVICE IS 3/4". SEE PLUMBING AND LANDSCAPE PLANS FOR ADDITIONAL DETAILS.
 3. SEE ELECTRICAL PLANS FOR TRANSFORMER, SWITCHGEAR, AND SITE LIGHTING LAYOUTS AND DETAILS.
 4. FIRE SERVICE LINES TO BE 8" PVC C-600, 8" DUCTILE IRON, OR APPROVED EQUAL. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ARCHITECT AND PLUMBING ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

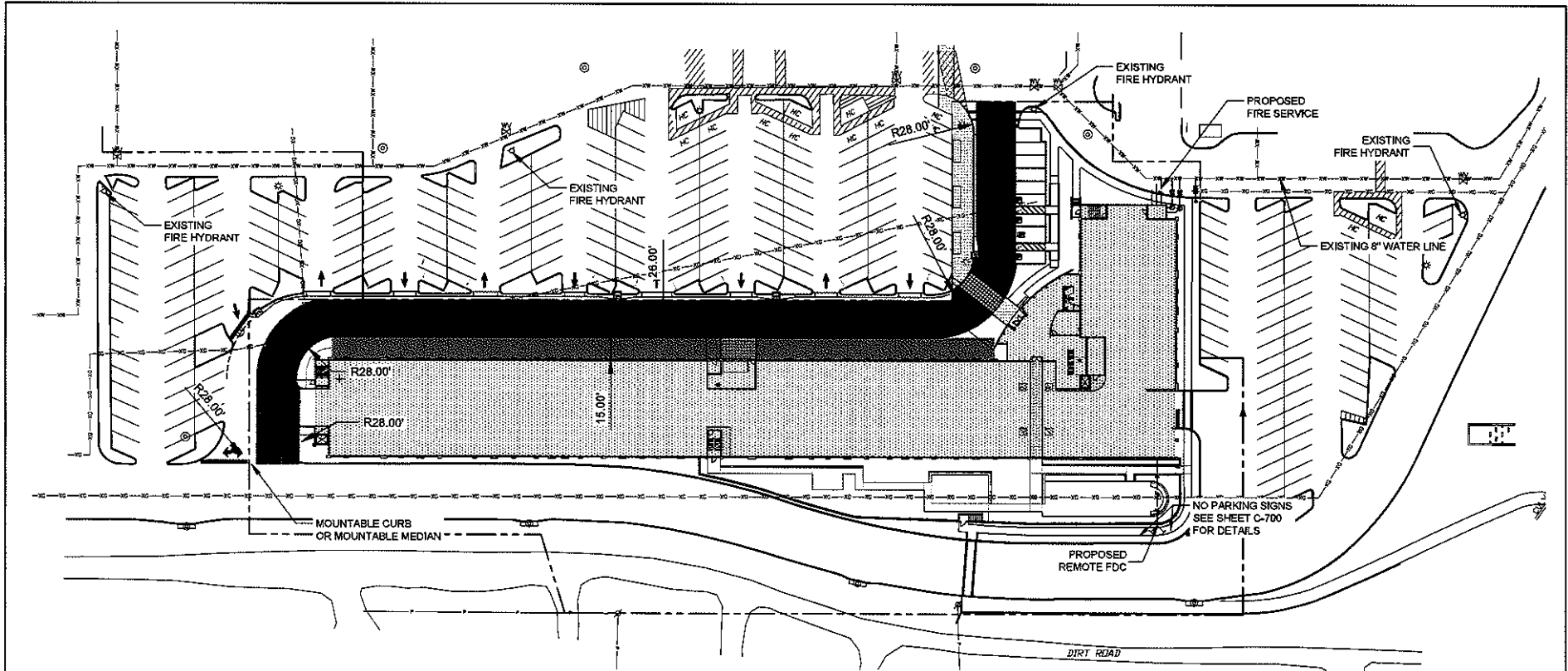
- KEYNOTES**
- 1 PROPERTY LINE
 - 2 TIE TO EXISTING
 - 3 EXISTING 12" HP GAS LINE
 - 4 EXISTING FIRE HYDRANT
 - 5 RELOCATE PORTION OF ELECTRIC LINE, ADJUST EASEMENT AS SHOWN
 - 6 PROPOSED WATER SERVICE *
 - 7 PROPOSED WATER METER *
 - 8 PROPOSED IRRIGATION METER*
 - 9 PROPOSED FIRE SERVICE *
 - 10 PROPOSED REMOTE FDC
 - 11 PROPOSED PRIVATE SANITARY SEWER MANHOLE WITH PRIVATE MANHOLE LID
 - 12 PROPOSED 6" PRIVATE SANITARY SEWER LINE
 - 13 PROPOSED IPSP, SEE SHEET C-400
 - 14 PROPOSED ELECTRIC SERVICE, SEE ELEC. PLANS FOR SIZING AND CONTINUATION.
 - 15 RELOCATE PORTION OF EXISTING GAS LINE
 - 16 PROPOSED GAS SERVICE, SEE MECH. PLANS FOR SIZING AND CONTINUATION.

- LEGEND**
- LOT LINE
 - - - - - EASEMENTS
 - EXISTING UTILITIES**
 - - - - - EXISTING WATER LINE
 - - - - - EXISTING GAS LINE
 - - - - - EXISTING ELECTRIC LINE
 - - - - - EXISTING STORM DRAIN
 - - - - - EXISTING SANITARY SEWER
 - PROPOSED UTILITIES**
 - - - - - PROPOSED WATER SERVICE LINE
 - - - - - PROPOSED FIRE SERVICE LINE
 - - - - - PROPOSED SANITARY SEWER
 - - - - - PROPOSED STORM SEWER
 - - - - - PROPOSED IRRIGATION SERVICE
 - - - - - PROPOSED ELECTRIC LINE
 - - - - - PROPOSED GAS LINE
 - - - - - PROPOSED REMOTE FDC
 - - - - - PROPOSED SANITARY SEWER MANHOLE
 - - - - - PROPOSED STORM SEWER MANHOLE

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DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA APARTMENT HOMES AT SANTA FE PLACE		
UTILITY PLAN		
DATE DECEMBER 2020	SCALE AS NOTED	SHEET C-01

ENGINEER'S SEAL	DATE	
	REVISIONS	



FIRE APPARATUS ACCESS NOTES:

2008 INTERNATIONAL FIRE CODE

D103.6 FIRE LANE SIGNS

WHERE REQUIRED BY THE FIRE CODE OFFICIAL FIRE APPARATUS ACCESS ROADS SHALL BE MARKED WITH PERMANENT NO PARKING "FIRE LANE SIGNS" COMPLYING WITH FIGURE D103.6. SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES (305 MM) WIDE BY 18 INCHES (457 MM) HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. SIGNS SHALL BE POSTED ON ONE OR BOTH SIDES OF THE FIRE APPARATUS ROAD AS REQUIRED BY SECTION D103.6.1 OR D103.6.2.

D103.6.1 ROADS 20 TO 26 IN WIDTH

FIRE APPARATUS ACCESS ROAD 20 TO 26 FEET WIDE (6096 TO 7925 MM) SHALL BE POSTED ON BOTH SIDES AS A FIRE LANE.

SECTION D105

AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 WHERE REQUIRED, BUILDINGS OR PORTIONS OF BUILDINGS OR FACILITIES EXCEEDING 30 FEET (9144 MM) IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS SHALL BE PROVIDED WITH APPROVED FIRE APPARATUS ACCESS ROADS CAPABLE OF ACCOMMODATING FIRE DEPARTMENT AERIAL APPARATUS. OVERHEAD UTILITY AND POWER LINES SHALL NOT BE LOCATED WITHIN THE AERIAL FIRE APPARATUS ACCESS ROADWAY.




D105.2 WIDTH. AERIAL FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET (7925 MM), EXCLUSIVE OF SHOULDERS, IN THE IMMEDIATE VICINITY OF ANY BUILDING OR PORTION OF BUILDING MORE THAN 30 FEET (9144 MM) IN HEIGHT.

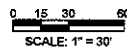
D105.3 PROXIMITY TO BUILDING. AT LEAST ONE OF THE REQUIRED ACCESS ROUTES MEETING THIS CONDITION SHALL BE LOCATED WITHIN A MINIMUM OF 15 FEET (4572 MM) AND A MAXIMUM OF 30 FEET (9144 MM) FROM THE BUILDING, AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING.

NOTE:

THIS PLAN SHOWS PROXIMITY OF FIRE APPARATUS LANES TO BUILDINGS AND LOCATIONS OF FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS AS COORDINATED WITH THE CITY OF SANTA FE FIRE DEPARTMENT AND THE CITY OF SANTA FE WATER DIVISION.

LEGEND:

-  INDICATES 26 FT. WIDE FIRE APPARATUS ACCESS ROAD (D105.2)
-  INDICATES BUILDING GREATER THAN 30 FT. IN HEIGHT (D105.1)
-  INDICATES 15 FT. MIN. AND 30 FT. MAX. PROXIMITY TO AT LEAST ONE SIDE OF THE BUILDING (D105.3)



FIRE ACCESS PLAN
SCALE: 1" = 30'

ENGINEER'S SEAL	
DATE	
REVISIONS	

SFE Santa Fe Engineering Consultants, LLC 1599 St. Francis Drive, Suite B Santa Fe, N.M. 87505 (505) 982-2845 Fax: (505) 982-2841 http://www.SFENGR.com	DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA APARTMENT HOMES AT SANTA FE PLACE	
	FIRE ACCESS PLAN	
DATE DECEMBER 2020	SCALE 1" = 30'	SHEET C-402

CITY OF SANTA FE DRAINAGE NOTES

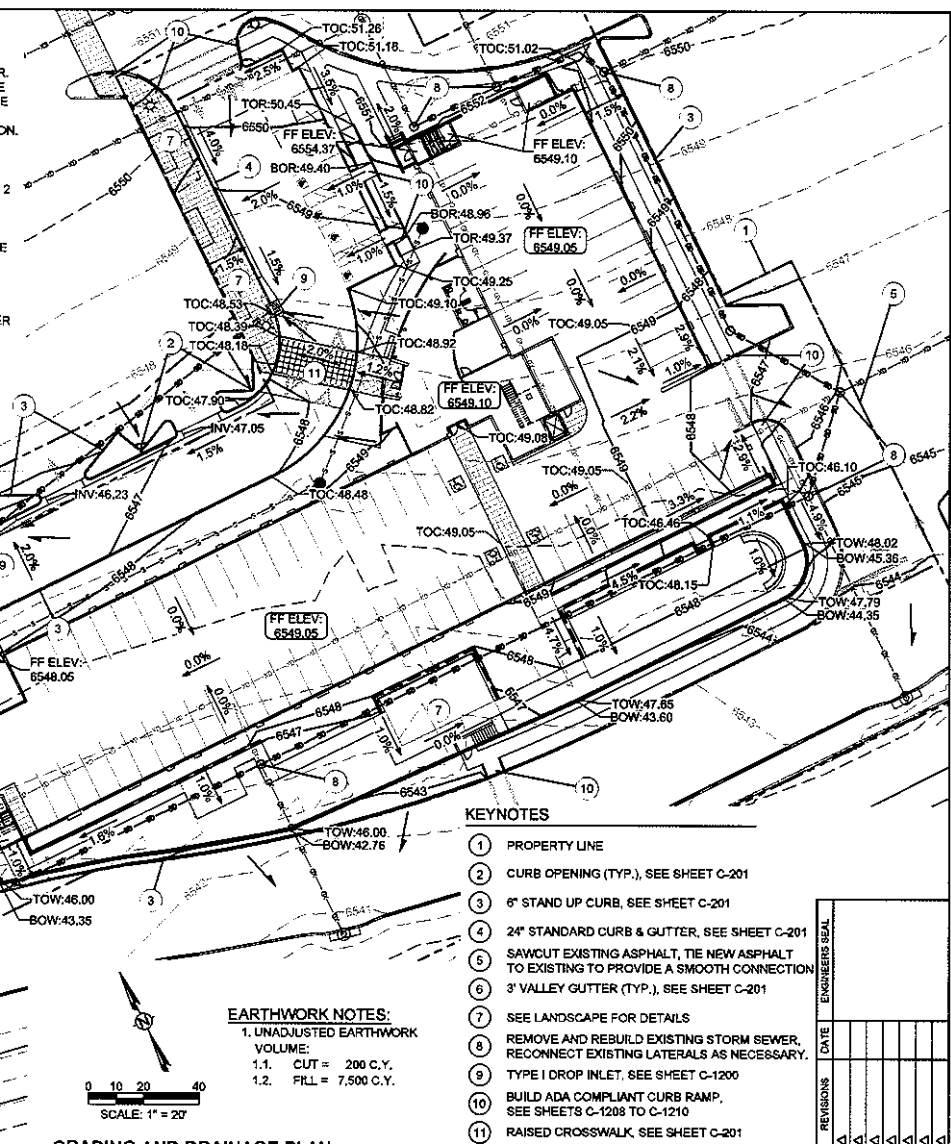
1. SUBJECT TO THE APPROVAL OF CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION/SEDIMENT CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF EACH SEGMENT OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR INDIVIDUAL BUILDINGS.
2. MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE PROPERTY OWNER. THE CITY OF SANTA FE IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THESE EASEMENTS AND DRAINAGE FACILITIES AT THE DISCRETION OF THE CITY. THE OWNER AGREES TO HOLD HARMLESS FROM ALL DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTION RIGHT.
3. SEE TEMPORARY EROSION AND SEDIMENT CONTROL PLAN FOR ADDITIONAL DUST CONTROL NOTES, SHEET C-1101.

I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE PROJECT WAS BUILT IN ACCORDANCE WITH THE SPECIFICATIONS AND THAT THESE RECORD DRAWINGS ARE TRUE AND CORRECT TO THE BEST OF MY BELIEF.

ERIC A. CORNELIUS, N.M.P.E. NO. 22789
SANTA FE ENGINEERING CONSULTANTS, LLC.

GRADING NOTES

1. THE LIMITS OF CONSTRUCTION AND LOCATIONS OF THE CONTRACTORS STAGING AREAS SHALL BE IDENTIFIED BY THE CONTRACTOR AND APPROVED BY THE OWNER. THE LIMITS OF CONSTRUCTION SHALL BE CLEARLY DELINEATED AND SHALL BE THE MINIMUM REQUIRED TO MAINTAIN ALL WORKERS IN A SAFE CONDITION, TO PROVIDE ACCESS, AND TO MEET C.S.H.A. REGULATIONS.
2. CONTRACTOR IS REQUIRED TO PROVIDE DUST AND EROSION CONTROL PROTECTION. GRADING SETBACKS TO EXTERIOR PROPERTY LINES ARE AS FOLLOWS:
TOP OF VERTICAL SLOPE = ONE FIFTH THE VERTICAL HEIGHT OF CUT WITH A MINIMUM OF 2 FEET AND A MAXIMUM OF 15 FEET.
TOE OF FILL SLOPE = ONE HALF THE HEIGHT OF THE SLOPE WITH A MINIMUM OF 2 FEET AND A MAXIMUM OF 15 FEET.
3. THE SURVEYOR SHALL VERIFY SETBACKS, TIE IN ELEVATIONS, AND TOPOGRAPHY WHEN STAKING PROJECT.
4. THE SURVEYOR SHALL VERIFY SETBACKS, TIE IN ELEVATIONS, AND TOPOGRAPHY WHEN STAKING PROJECT.
5. UNSUITABLE MATERIAL FROM SITE GRADING AND REMOVAL OPERATIONS, SHALL BE DISPOSED OF AT AN APPROVED LANDFILL.
6. ALL DISTURBED AREAS SHALL BE REVEGETATED AND COORDINATED WITH THE LANDSCAPING PLAN.
7. ALL FILL MATERIAL SHALL MEET THE REQUIREMENTS OF THE N.M.D.O.T. OR SITE SPECIFIC GEOTECHNICAL SPECIFICATIONS. THE FILL SHALL BE COMPACTED AS PER N.M.D.O.T. SPECIFICATIONS.
8. PROPERTY DEVELOPMENT MUST COMPLY WITH SECTION 14-8.12 (RELOCATION OF GUNNISON'S PRAIRIE DOGS.)



- KEYNOTES**
- 1 PROPERTY LINE
 - 2 CURB OPENING (TYP.), SEE SHEET C-201
 - 3 6" STAND UP CURB, SEE SHEET C-201
 - 4 24" STANDARD CURB & GUTTER, SEE SHEET C-201
 - 5 SAWCUT EXISTING ASPHALT, TIE NEW ASPHALT TO EXISTING TO PROVIDE A SMOOTH CONNECTION
 - 6 3' VALLEY GUTTER (TYP.), SEE SHEET C-201
 - 7 SEE LANDSCAPE FOR DETAILS
 - 8 REMOVE AND REBUILD EXISTING STORM SEWER, RECONNECT EXISTING LATERALS AS NECESSARY.
 - 9 TYPE I DROP INLET, SEE SHEET C-1200
 - 10 BUILD ADA COMPLIANT CURB RAMP, SEE SHEETS C-1208 TO C-1210
 - 11 RAISED CROSSWALK, SEE SHEET C-201

EARTHWORK NOTES:
1. UNADJUSTED EARTHWORK VOLUME:
1.1. CUT = 200 C.Y.
1.2. FILL = 7,500 C.Y.

GRADING AND DRAINAGE PLAN
SCALE: 1" = 20'

LEGEND

	FINISHED CONTOUR		FF ELEV: FINISHED FLOOR ELEVATION
	EXISTING CONTOUR		TOC: TOP OF CURB / CONCRETE ELEVATION
	DIRECTION OF FLOW		TOR / BOR: TOP / BOTTOM OF RAMP ELEVATION
	RETAINING WALL		TOW / BOW: TOP BOTTOM OF WALL ELEVATION
	GRADING LIMITS		INV: INVERT / FLOWLINE ELEVATION

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DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA APARTMENT HOMES AT SANTA FE PLACE		
GRADING AND DRAINAGE PLAN		
DATE: DECEMBER 2020	SCALE: 1" = 20'	SHEET: C-500

ENGINEER'S SEAL	DATE	REVISIONS

**CITY OF SANTA FE
SIGNING AND STRIPING NOTES:**

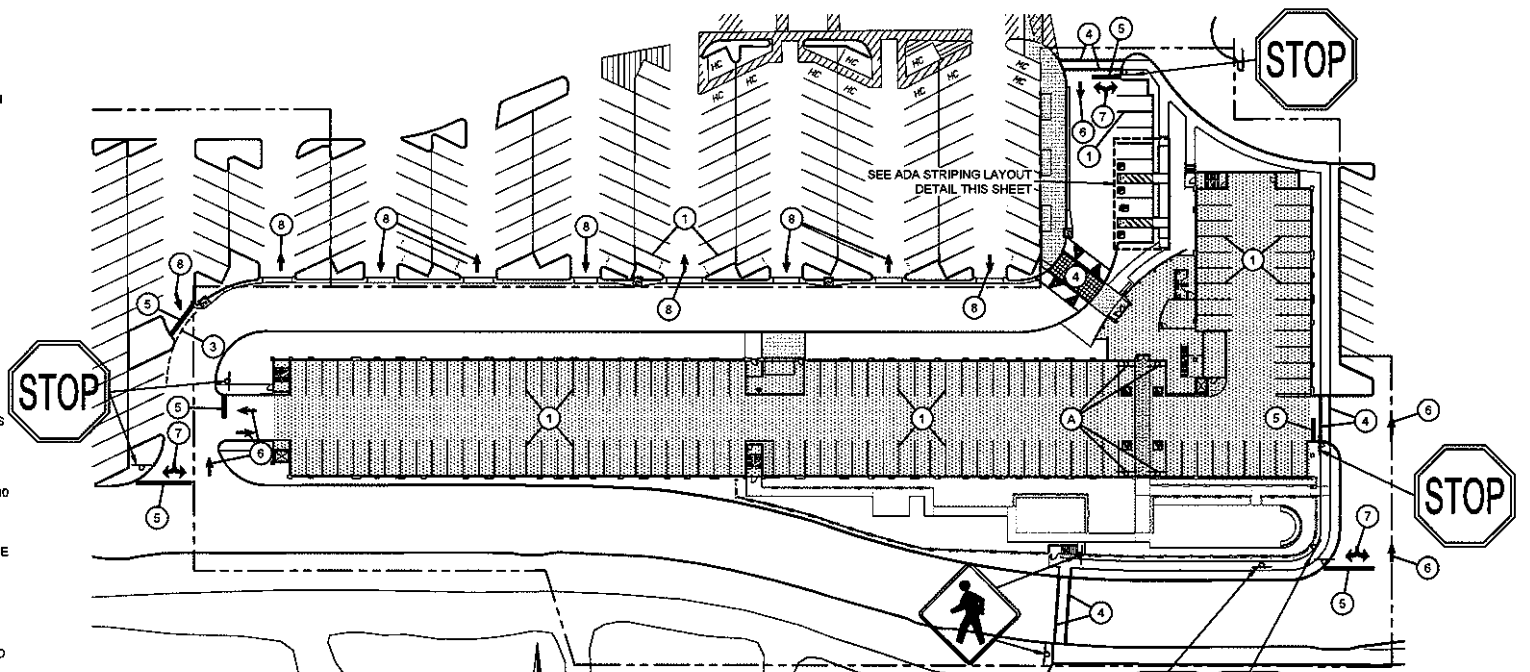
SIGN AND POST REQUIREMENTS

1. ALL ALUMINUM PANEL SIGNING AND STEEL POSTS SHALL COMPLY WITH THE NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT); CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (SSHBC).
2. ALL SIGNING SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) - CURRENT EDITION.
3. SIGNPOSTS WITH APPROVED BREAKAWAY DEVICE SHALL BE "MARION" BRAND 4 LB. / FT. U CHANNEL - BLACK; NO SUBSTITUTES ALLOWED.
4. SIGN SHEETING SHALL BE "3M" BRAND HIGH INTENSITY; NO SUBSTITUTIONS ALLOWED. SIGN HEIGHT SHALL BE A MINIMUM OF 7' HIGH FROM THE BOTTOM OF THE LOWEST SIGN ABOVE THE TOP OF CURB, UNLESS OTHERWISE NOTED, AND SHALL BE PLACED IN ACCORDANCE WITH NMDOT STANDARD DRAWINGS AND SPECIFICATIONS.
5. STREET NAME LETTERING SHALL COMPLY WITH THE STANDARDS IN THE CURRENT EDITION OF THE MUTCD; THAT IS THE LETTERING SHALL BE LOWER CASE LETTERS WITH UPPERCASE INITIAL LETTERS.

STRIPING AND PAINT NOTES

1. ALL RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT STRIPE SHALL BE 380 IES BY "3M"; NO SUBSTITUTIONS.
2. STOP BARS SHALL BE A MINIMUM 12" WIDE; WHITE RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT STRIPE, AND SHALL BE 380 IES BY "3M"; NO SUBSTITUTIONS.
3. CROSSWALK STRIPES SHALL BE 12" WIDE; WHITE RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT STRIPE, ARRANGED IN A CONTINENTAL PATTERN, THAT IS, LONGITUDINAL LINES PARALLEL TO THE FLOW OF TRAFFIC AND ARRANGED TO AVOID WHEEL PATHS, (MUTCD P. 384, SECTION 3B.18); AND SHALL BE 380 IES BY "3M"; NO SUBSTITUTIONS.
4. ALL RETROREFLECTIVE PREFORMED PATTERNED PAVEMENT MARKINGS (WORD OR SYMBOL) SHALL BE 380 IES BY "3M"; NO SUBSTITUTIONS.
5. RETRO-REFLECTORIZED PAINTED PAVEMENT MARKING STRIPES - FOR HIGH-BUILT PAINT, USE TWO COATS AND FOR REGULAR PAINT USE THREE COATS. (DOUBLE APPLICATION TO BE APPLIED WITHIN 14 DAYS.)
6. ALL STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) - CURRENT EDITION, AND THE NMDOT SSHBC.

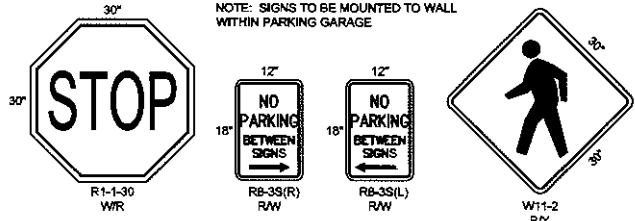
STRIPING KEY	
1	4" WHITE STRIPE [PAINT] DOUBLE APPLICATION AFTER 14 DAYS
2	4" BLUE STRIPE [PAINT] DOUBLE APPLICATION AFTER 14 DAYS
3	4" WHITE DASHED STRIPE [PAINT] DOUBLE APPLICATION AFTER 14 DAYS
4	12" WHITE RETROREFLECTIVE PREFORMED PAVEMENT STRIPE
5	24" WHITE RETROREFLECTIVE PREFORMED PAVEMENT STRIPE
6	WHITE THRU ARROW SYMBOL
7	WHITE LEFT/RIGHT ARROW SYMBOL
8	YELLOW THRU ARROW SYMBOL



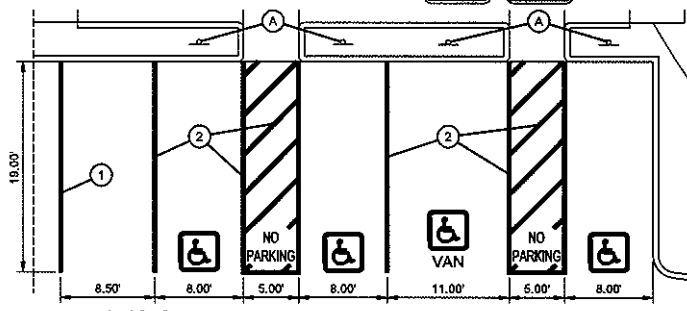
SIGNING AND STRIPING PLAN
SCALE: 1" = 30'



ACCESSIBLE SIGN DETAIL
SCALE: N.T.S.



SIGN FACE DETAILS
SCALE: N.T.S.



ADA STRIPING LAYOUT
SCALE: 1" = 5'

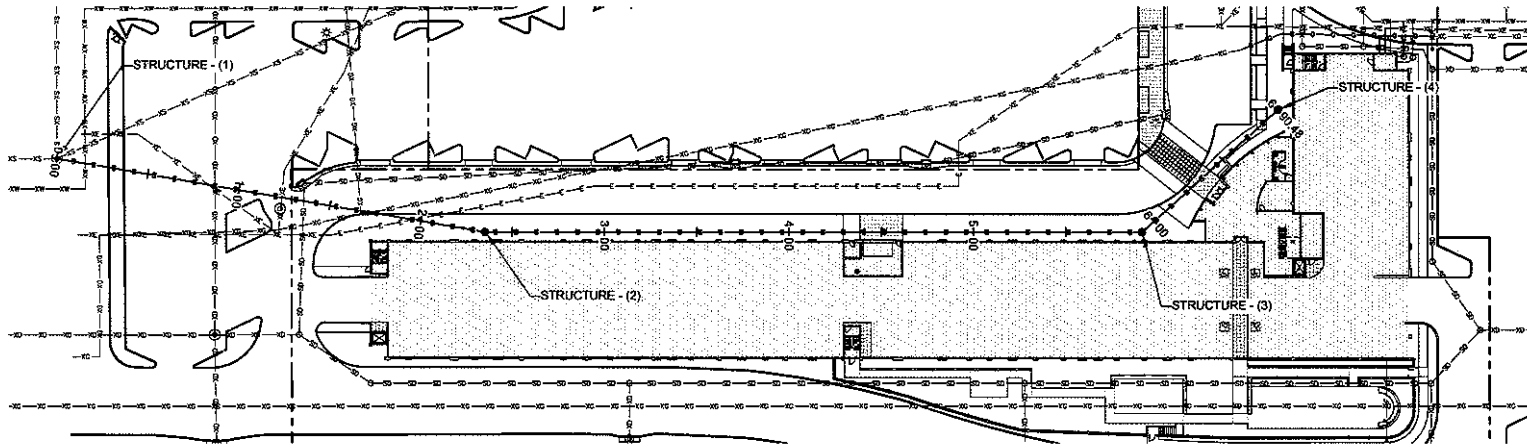
DATE	REVISIONS	ENGINEER'S SEAL

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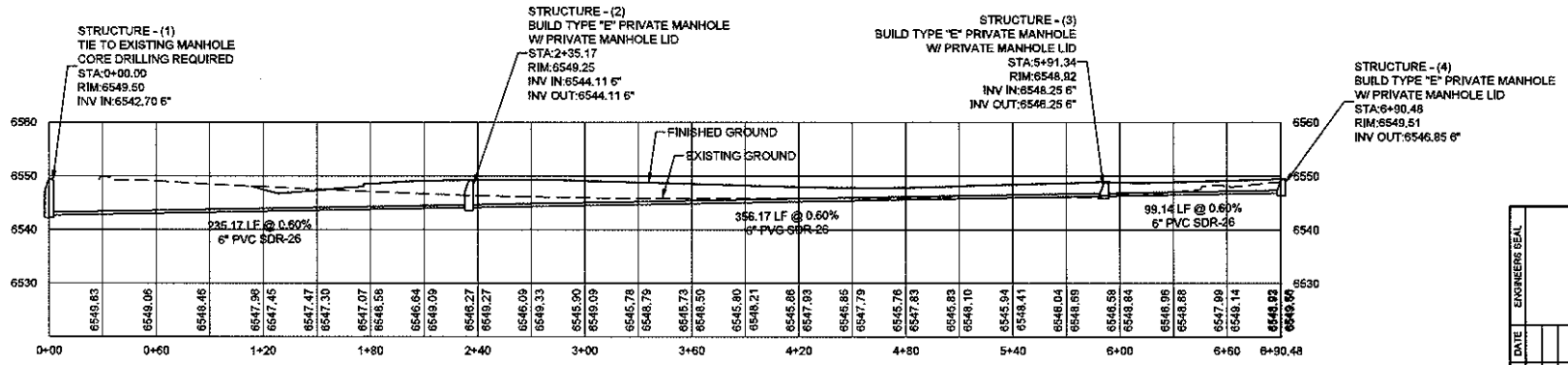
DEVELOPMENT PLAN
SUBMITTAL FOR
ESCARPA
APARTMENT HOMES AT SANTA FE PLACE

SIGNING AND STRIPING PLAN

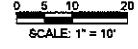
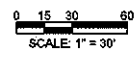
DATE: DECEMBER 2020
SCALE: AS NOTED
SHEET: C-700



PROPOSED SANITARY SEWER LINE -PLAN VIEW
SCALE: 1" = 30'



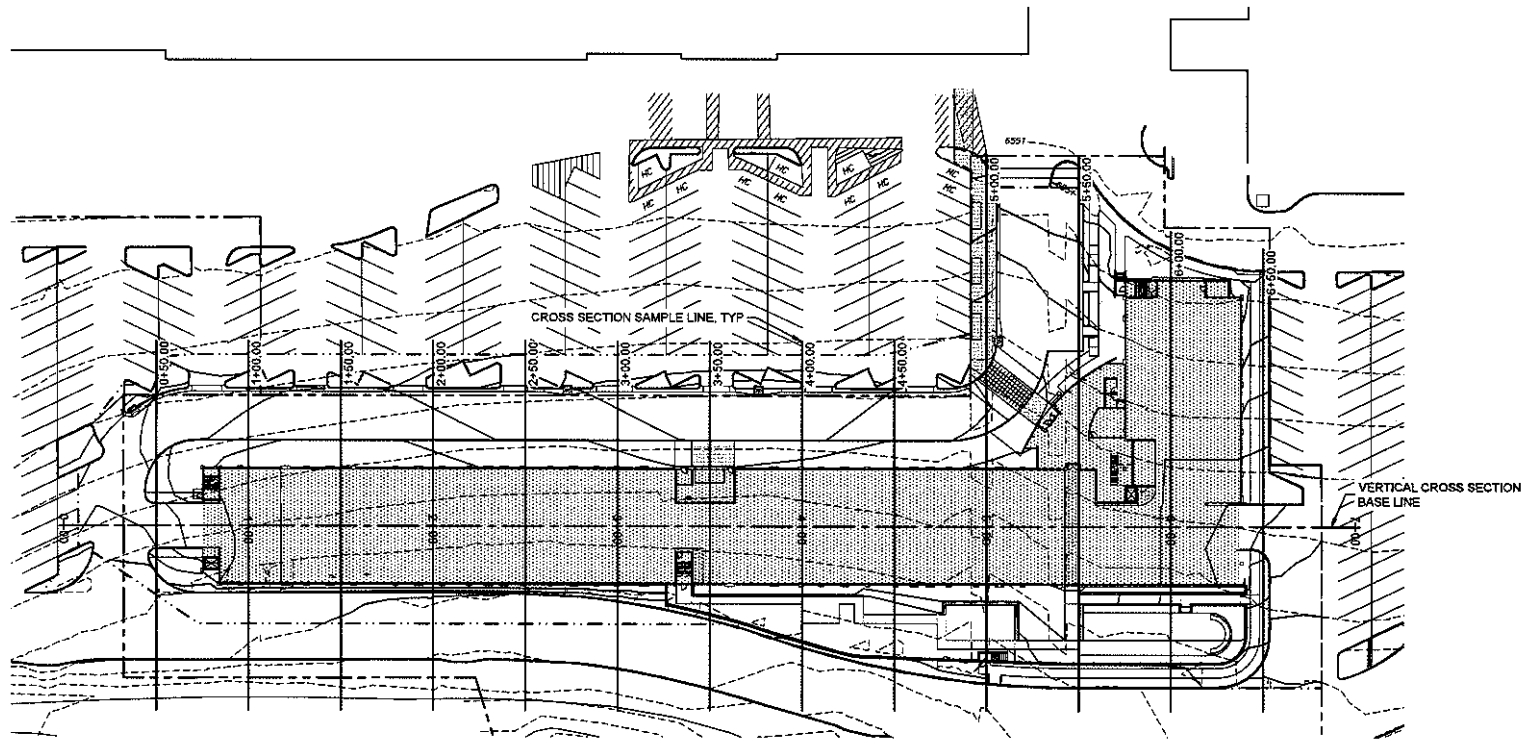
PROPOSED SANITARY SEWER LINE -PROFILE VIEW
SCALE HORIZ: 1" = 30'
SCALE VERT: 1" = 10'



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DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA APARTMENT HOMES AT SANTA FE PLACE		
SANITARY SEWER PLAN AND PROFILE		
DATE: DECEMBER 2020	SCALE: 1" = 30'	SHEET: C-800

REVISIONS	DATE	ENGINEERS SEAL



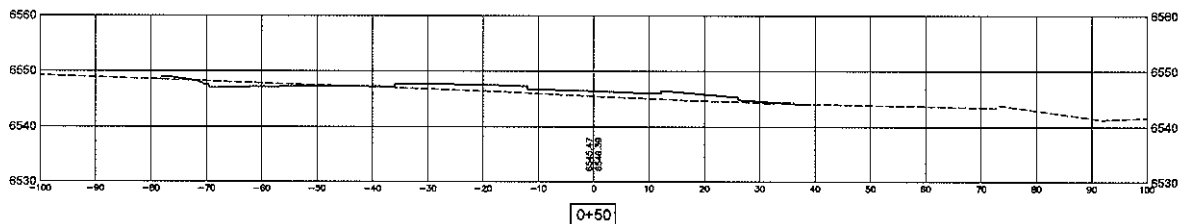
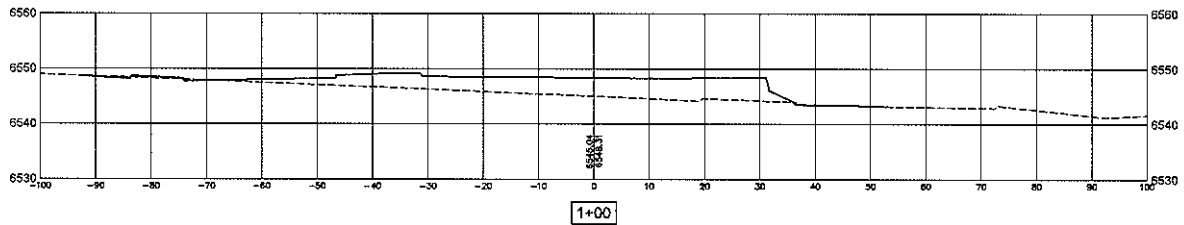
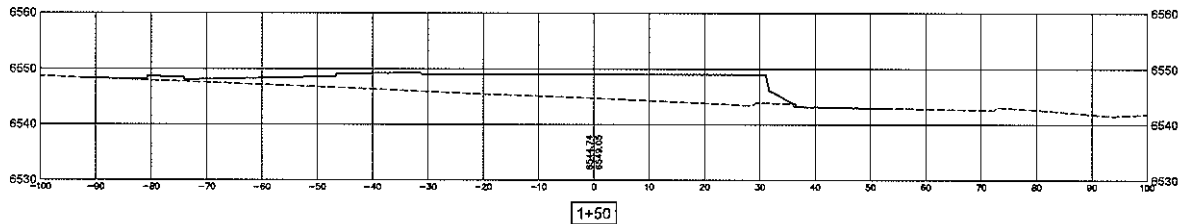
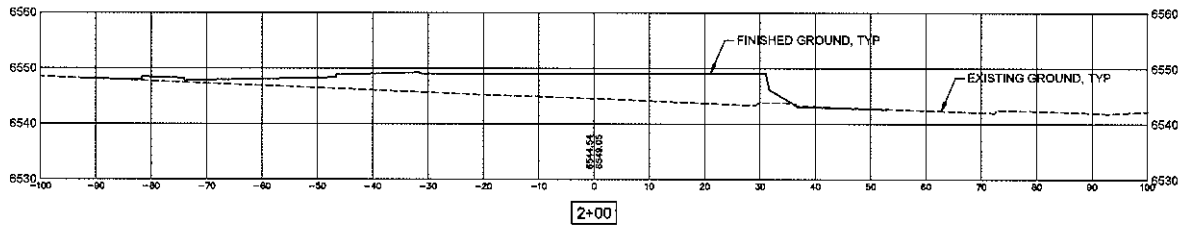
0 15 30 60
SCALE: 1" = 30'

VERTICAL SITE CROSS SECTION LOCATION PLAN
SCALE: 1" = 30'

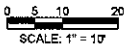
REVISIONS	DATE	ENGINEER'S SEAL

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DEVELOPMENT PLAN
 SUBMITTAL FOR
 ESCARPA
 APARTMENT HOMES AT SANTA FE PLACE
**VERTICAL SITE CROSS SECTION
 LOCATION PLAN**
 DATE: DECEMBER 2020 SCALE: 1" = 30' SHEET: C-1000



REVISIONS	DATE	ENGINEER'S SEAL

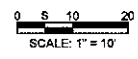
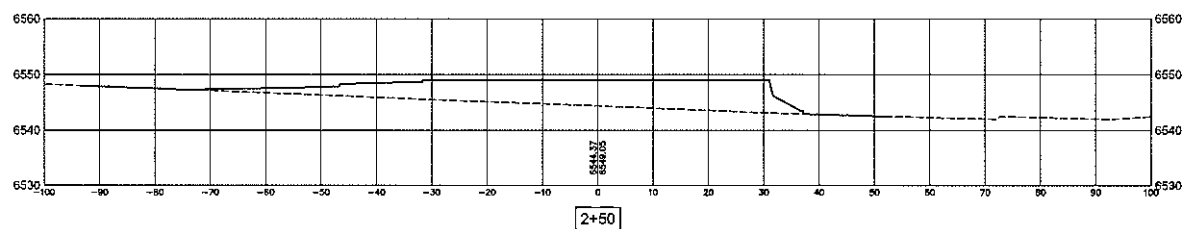
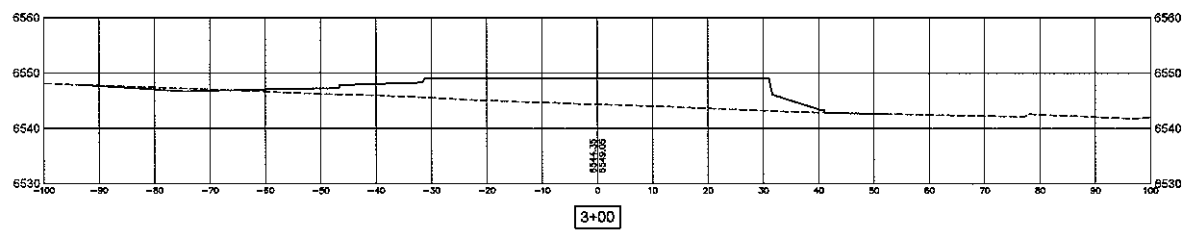
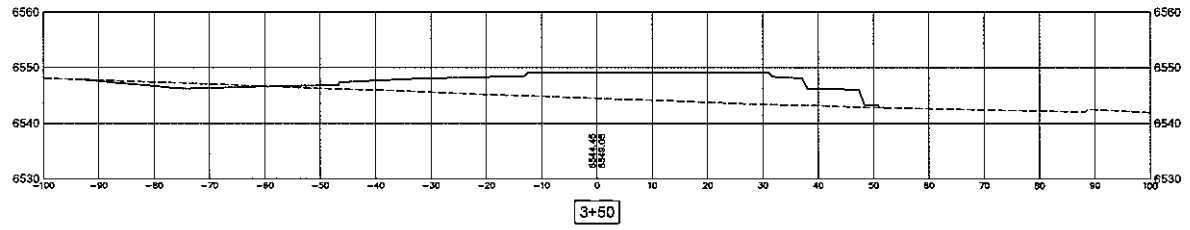
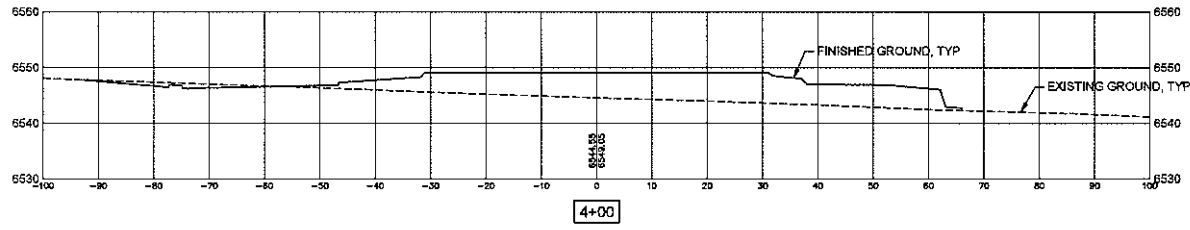


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DEVELOPMENT PLAN
 SUBMITTAL FOR
 ESCARPA
 APARTMENT HOMES AT SANTA FE PLACE

VERTICAL SITE CROSS SECTIONS

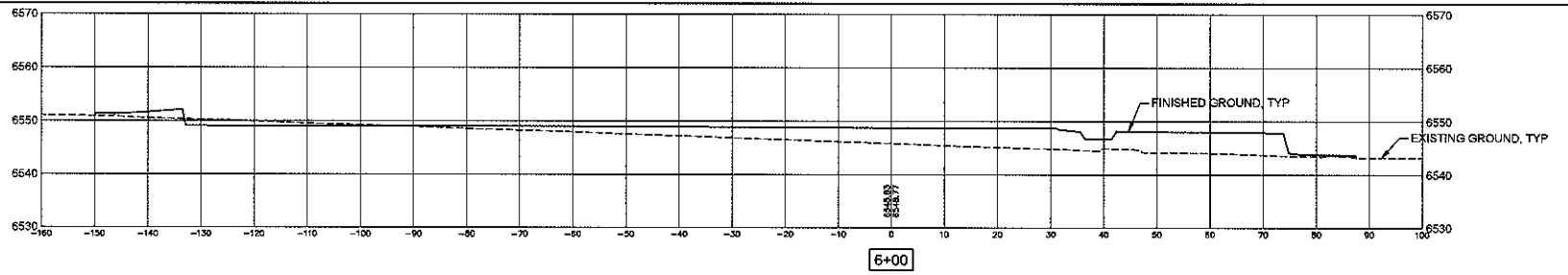
DATE	SCALE	SHEET
DECEMBER 2020	1" = 10'	C-1001



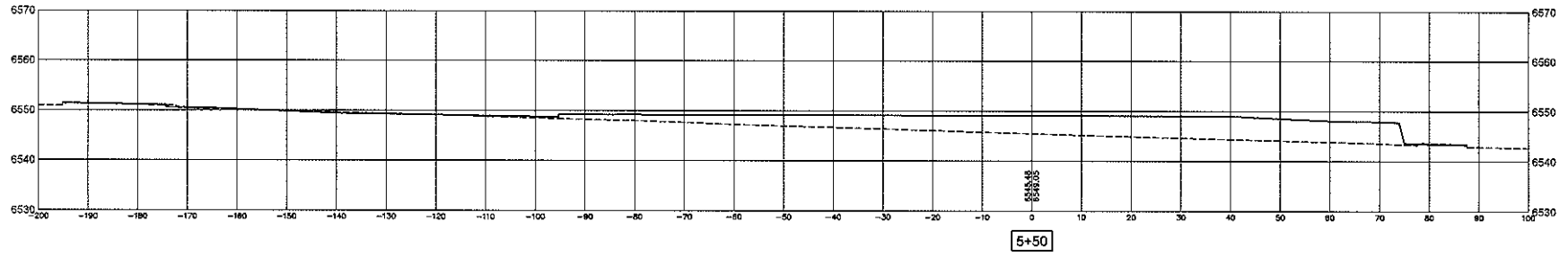
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DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA	
APARTMENT HOMES AT SANTA FE PLACE	
VERTICAL SITE CROSS SECTIONS	
DATE DECEMBER 2020	SHEET C-1002

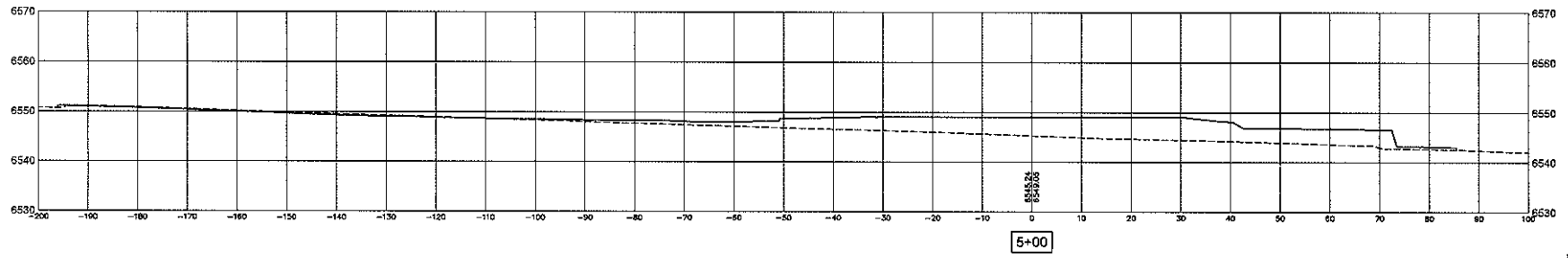
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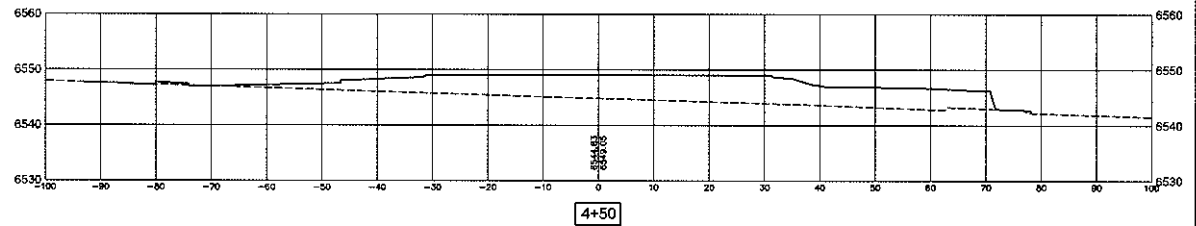
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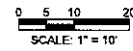
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5+00



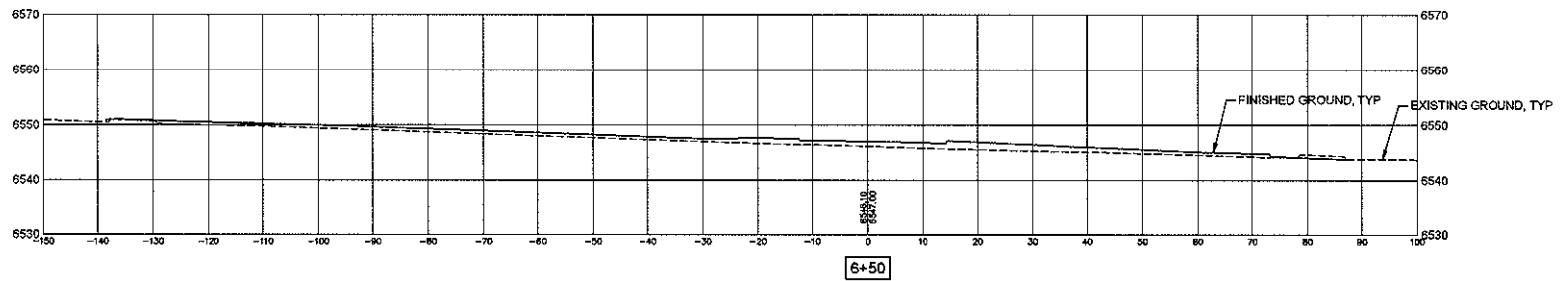
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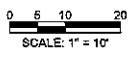
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DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA		ENGINEER'S SEAL
APARTMENT HOMES AT SANTA FE PLACE		
VERTICAL SITE CROSS SECTIONS		
DATE DECEMBER 2020	SCALE 1" = 10'	SHEET C-1003

REVISIONS	DATE	ENGINEER'S SEAL



REVISIONS	DATE	ENGINEER'S SEAL

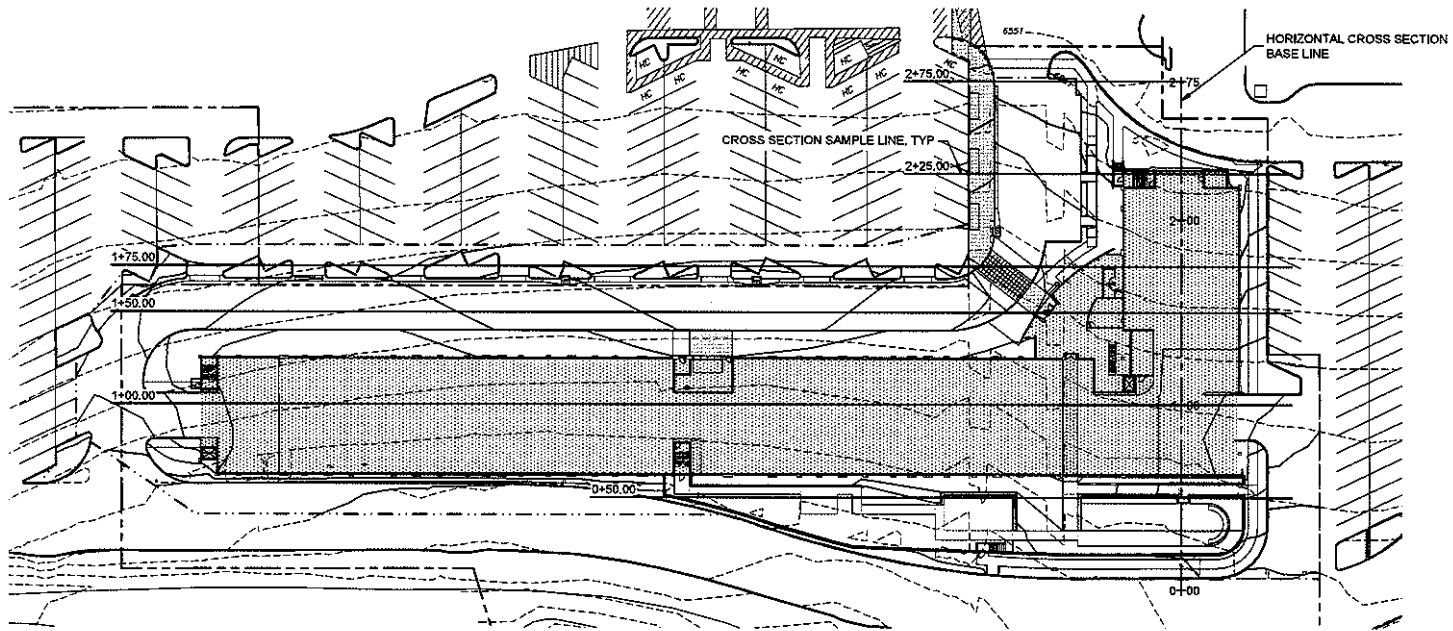


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DEVELOPMENT PLAN
 SUBMITTAL FOR
 ESCARPA
 APARTMENT HOMES AT SANTA FE PLACE

VERTICAL SITE CROSS SECTIONS

DATE: DECEMBER 2020 SCALE: 1" = 10' SHEET: C-1004



0 15 30 60
SCALE: 1" = 30'

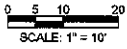
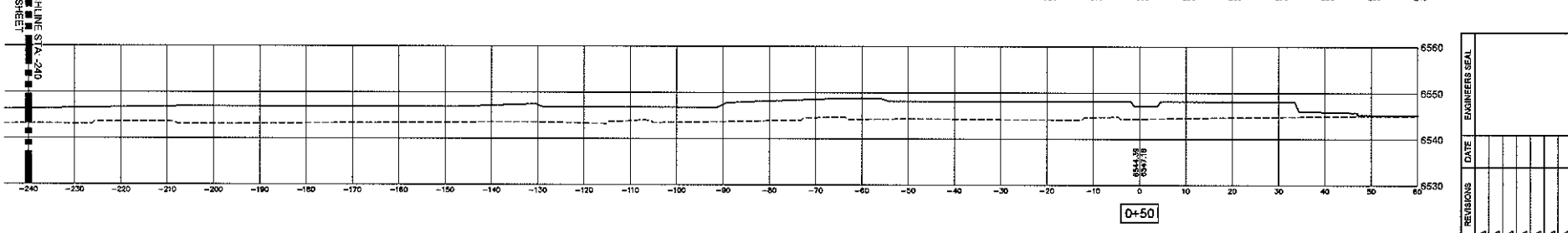
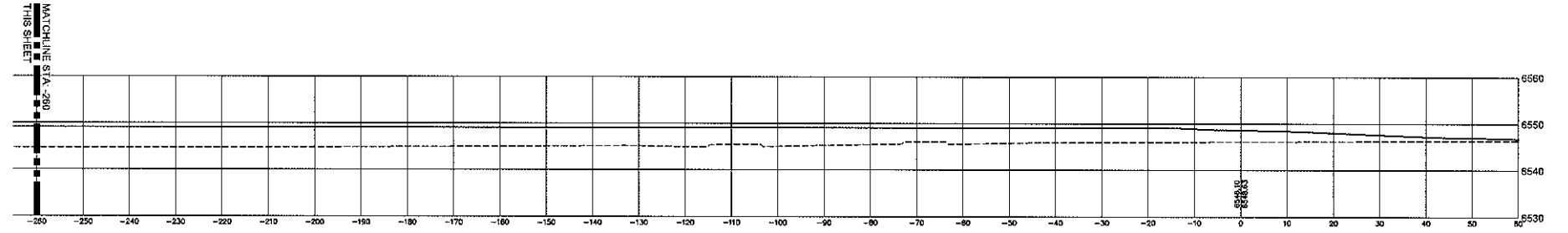
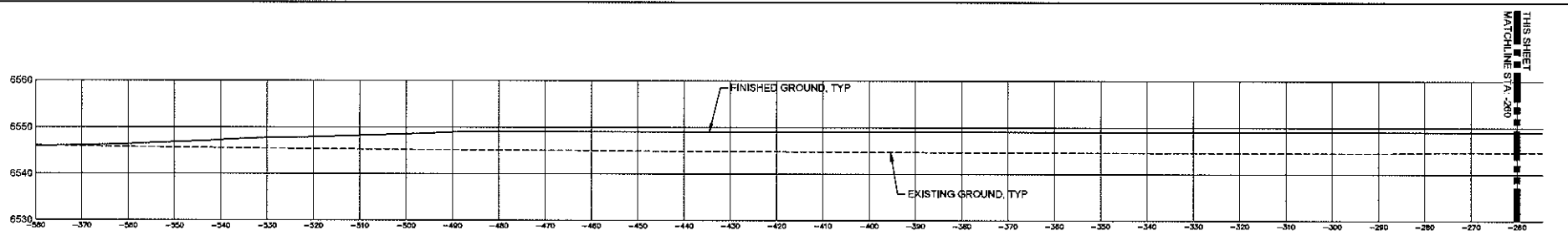
HORIZONTAL SITE CROSS SECTION LOCATION PLAN
SCALE: 1" = 30'

ENGINEER'S SEAL	
DATE	
REVISIONS	

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DEVELOPMENT PLAN
 SUBMITTAL FOR
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 APARTMENT HOMES AT SANTA FE PLACE
**HORIZONTAL SITE CROSS SECTION
 LOCATION PLAN**

DATE DECEMBER 2020	SCALE 1" = 30'	SHEET C-1006
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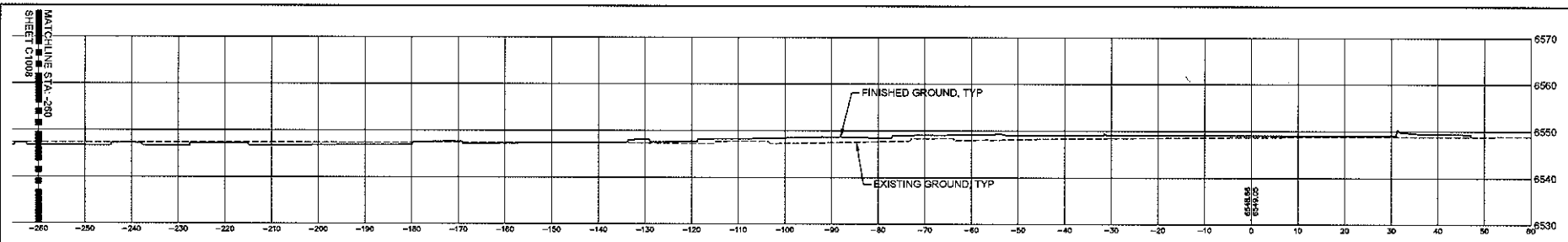
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DEVELOPMENT PLAN
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 APARTMENT HOMES AT SANTA FE PLACE

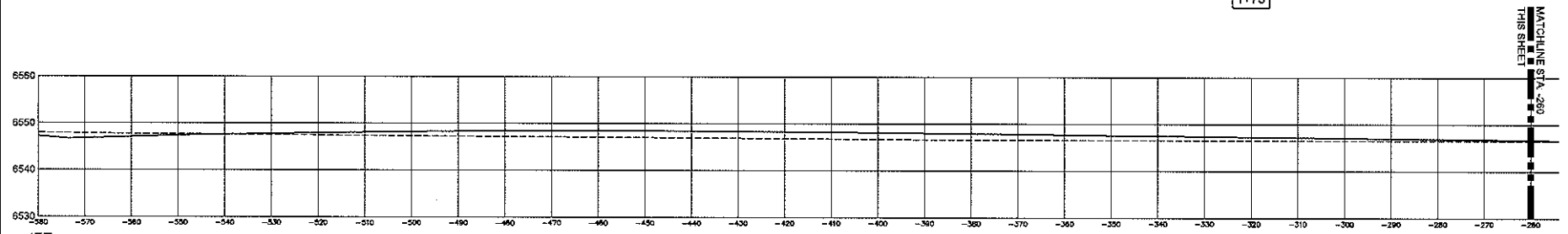
**HORIZONTAL SITE CROSS
 SECTIONS**

DATE: DECEMBER 2020 SCALE: 1" = 10' SHEET: C-1026

REVISIONS	DATE	ENGINEER'S SEAL

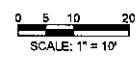


1+75



1+50

ENGINEERS SEAL	
DATE	
REVISIONS	

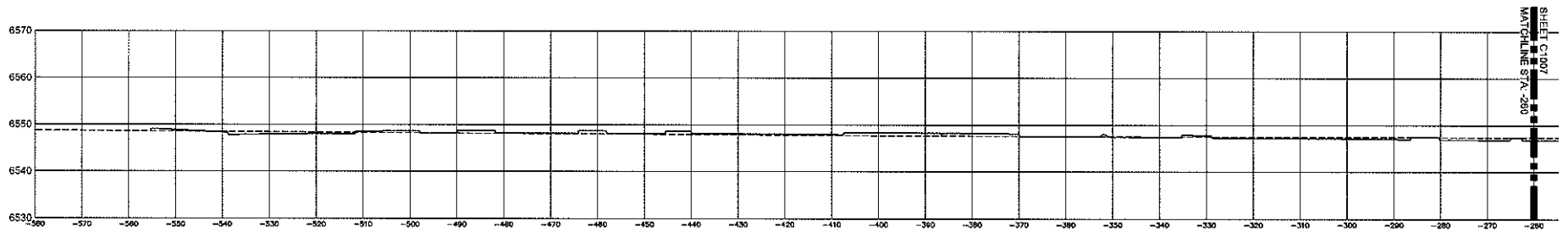
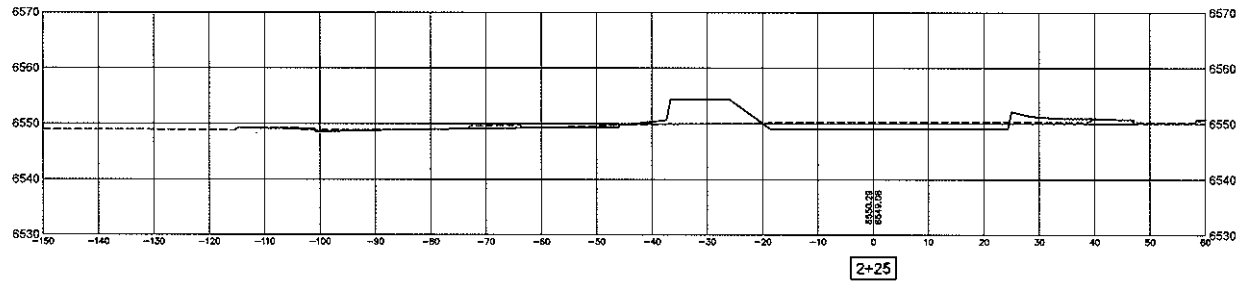
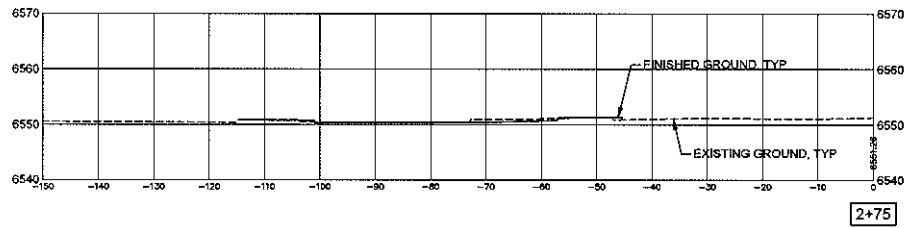


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DEVELOPMENT PLAN
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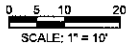
HORIZONTAL SITE CROSS SECTIONS

DATE DECEMBER 2020	SCALE 1" = 10'	SHEET C-1007
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SHEET C-1002
 MATCHLINE STA. 260

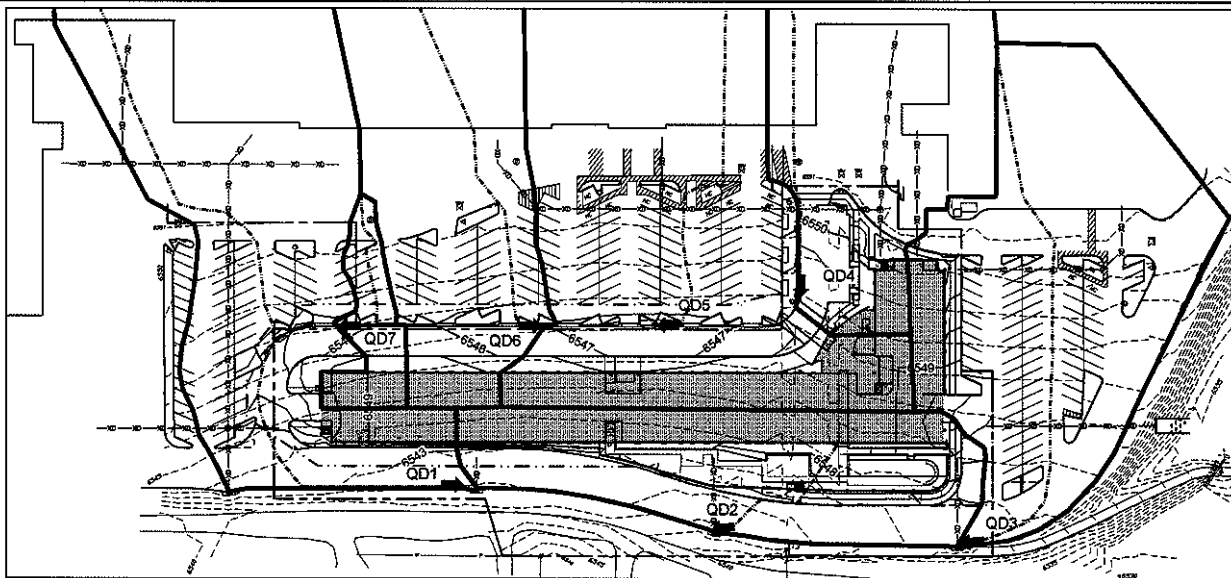
REVISIONS	DATE	ENGINEER'S SEAL



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DEVELOPMENT PLAN
 SUBMITTAL FOR
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 APARTMENT HOMES AT SANTA FE PLACE
**HORIZONTAL SITE CROSS
 SECTIONS**

DATE DECEMBER 2020	SCALE 1" = 10'	SHEET C-1002
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DRAINAGE MAP
SCALE: 1" = 50'

NOTE:
THE CITY OF SANTA FE TERRAIN MANAGEMENT REGULATIONS REQUIRE THAT PEAK DISCHARGE AFTER DEVELOPMENT MUST NOT EXCEED PEAK DISCHARGE BEFORE DEVELOPMENT. EXCESS RUNOFF FROM NEW IMPERVIOUS AREAS (ROOFS, SIDEWALKS, ROADS, PATIOS, ETC.) WILL BE MITIGATED BY TEMPORARY DETENTION IN LANDSCAPED PONDING AREAS WITH CONTROLLED RELEASE. CALCULATIONS ARE PRESENTED IN "TERRAIN MANAGEMENT REPORT SOILS, DRAINAGE, AND GRADING FOR DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA APARTMENT HOMES AT SANTA FE PLACE, SANTA FE, NM" PREPARED BY SANTA FE ENGINEERING CONSULTANTS, LLC., DATED DECEMBER 2020.

**STORM WATER POLLUTION PREVENTION PLAN
ESCARPA APARTMENT HOMES AT SANTA FE PLACE
SANTA FE, NEW MEXICO**

1. SITE AND PROJECT DESCRIPTION

The project site for:

SANTA FE MALL PROPERTY OWNER LLC
4250 CERRILLOS ROAD
SANTA FE, NM 87507

1.1 Owner Operator:

Construction Operator (Separate NPDES Permit needed):

Telephone: _____

Fax: _____

1.2 Location of the site:

The site is located in Township 17 North, Range 9 East, Section 7 & 8 in Santa Fe, New Mexico.

The latitude and longitude are as follows:

Latitude: 35°58'05" N

Longitude: 105°44'41" W

1.3 The total area of the site:

3.21 ± acres

1.4 The area of the site that is expected to be disturbed:

3.66 ± acres

1.5 Disturbed Species:

Based on the information provided by the EPA Compliance Assurance and Enforcement Division Water Enforcement Branch, Region 6 Storm Water Region 6 NPDES General Permit for Storm Water Discharge from Construction Activity, there are no endangered or threatened species, or designated critical habitat, which are likely to be adversely affected by the construction activity's storm water discharge or storm water discharge related activities.

1.6 Intended sequence of major construction activities:

1. Install Erosion Management Practices (EMPs). The contractor shall minimize soil disturbance and ensure the proper functioning of EMPs.

2. Site Grading. The contractor shall use site-specific controls as shown on the

Temporary Erosion Control Plans and Grading and Drainage Plans. Soil disturbance shall be minimized.

3. Stabilization. The contractor shall use site-specific controls as shown on the Permanent Erosion Control Plans.

1.7 The following maps have been prepared:

1.7.1 Vicinity Map

See General Sheets.

1.7.2 Drainage patterns:

See Grading and Drainage Plan, See C-509 Series.

1.7.3 Approximate slopes after major grading.

See Permanent Erosion Control, Sheet C-1102.

1.7.4 Outline area of disturbance:

See Permanent Erosion Control, Sheet C-1102.

1.7.5 Outline of areas which won't be disturbed:

See Permanent Erosion Control, Sheet C-1102.

1.7.6 Location of major structural and non-structural concrete:

See Temporary Erosion Control Plan, Sheet C-1101.

1.7.7 Areas where stabilization practices are expected to occur:

See Permanent Erosion Control Plan, Sheet C-1101.

2. DESCRIPTION OF CONTROLS

2.1 Posting Requirements:

The Contractor will post conspicuously near the entrance to the site the following items:

Copies of NPDES

Name and telephone number of contact persons.

2.2 "Good Housekeeping":

The contractor shall practice "Good Housekeeping." This includes the proper disposal of construction and demolition debris on a daily basis, proper wash-down methods of construction vehicles, the proper stockpiling of materials. The construction site shall be kept in a neat and orderly manner and enclosures of materials from water will be maintained to the extent practicable.

2.3 Concrete Washout

Concrete washout is a process wastewater and must be controlled in a designated area (e.g. binned pit) and disposed of properly and noted on the Temporary Erosion Control Plans.

2.4 Minimize Disturbance and Preserve Natural Vegetation:

The Contractor shall minimize disturbance. The limits of construction shall be clearly defined and enforced. Special attention will be given to protecting established vegetation. The contractor will be responsible for replanting vegetation that is unnecessarily disturbed.

2.5 Inspections:

Disturbed areas, stabilization and structural control measures shall be inspected as required and at least once every two weeks, and within 24 hours of the next working day of the end of a storm event. If a portion of the site has been finally or temporarily stabilized, and runoff is limited due to winter conditions, or during seasonal site periods, inspections shall be conducted on a monthly basis.

Inspections shall be documented on the inspection and maintenance forms. Inspections shall be continued by the Owner and final stabilization of an area is achieved under the Notice of Termination is submitted.

2.6 Record Keeping:

A copy of the SWPPP Plan will be maintained onsite for the use of all Operators and those identified in the SWPPP Plan as having on-site responsibilities. Items that will be maintained and attached to the SWPPP include:

Inspection Reports. The inspection reports shall be signed by a qualified inspector assigned by the Contractor. The SWPPP pictures and reports shall be available to EPA representatives at all times during construction.

Land Disturbance Log containing: dates when major soil disturbing activities occur, dates when construction activities cease permanently (back on a portion of the site, and dates when stabilization measures are initiated).

2.7 Plan Amendment:

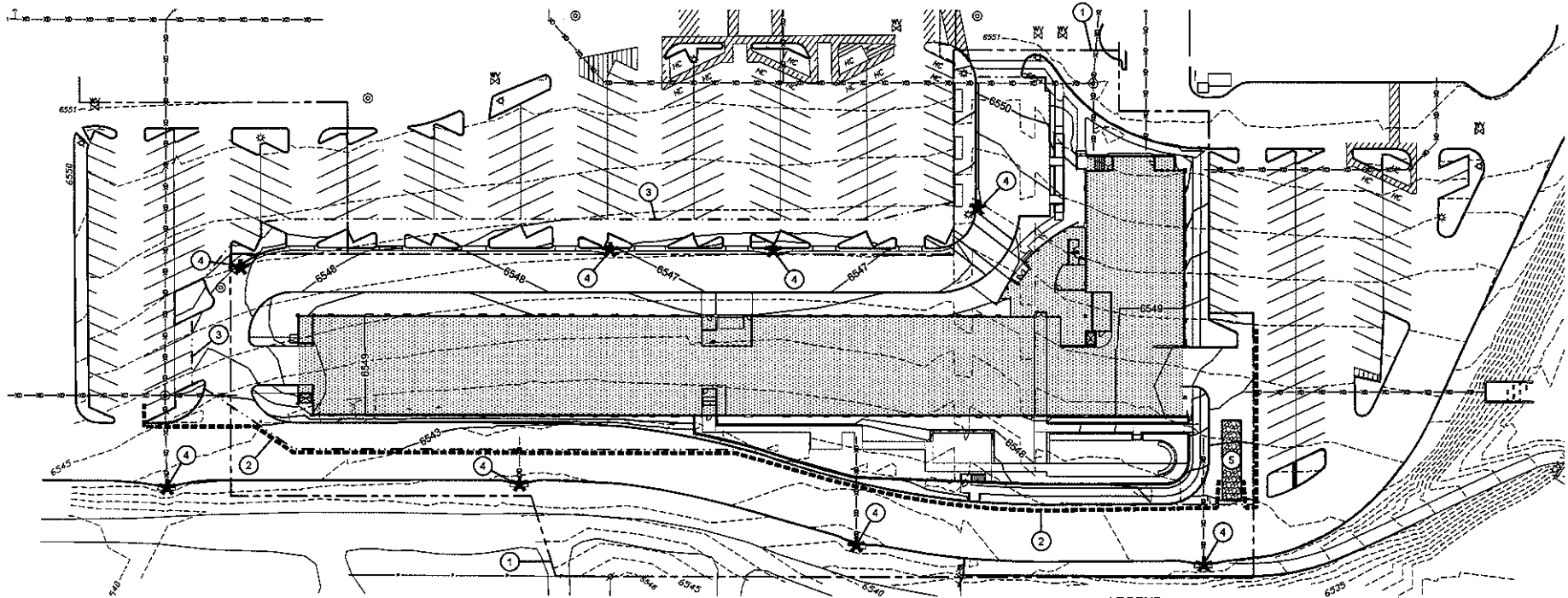
This SWPPP Plan will be amended when:

There is a change in design, construction, operation, or maintenance.

If the inspection report identifies problems or inadequacies with the current SWPPP, the SWPPP Plan shall be modified as necessary to include additional or modified EMPs designed to correct the problems.

REVISIONS	DATE	ENGINEER'S SEAL

<p>Santa Fe Engineering Consultants, LLC 1598 SL Francis Drive, Suite B Santa Fe, N.M. 87505 (505) 882-2645 Fax (505) 982-2641 http://www.SFENGR.com</p>	<p>DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA APARTMENT HOMES AT SANTA FE PLACE</p>	
	<p>STORM WATER POLLUTION PREVENTION PLANS</p>	
DATE: DECEMBER 2020	SCALE: 1" = 50'	SHEET: C-1100



BEST MANAGEMENT PRACTICES - NOTES

1. DISTURBED AREAS SHALL BE PROTECTED FROM EROSION DURING CONSTRUCTION BY MEANS ADEQUATE TO RETAIN SOIL ON SITE.
2. EXCEPT AS NECESSARY TO INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES, LAND SHALL NOT BE GRADED OR CLEARED UNTIL ALL SUCH TEMPORARY DEVICES HAVE BEEN PROPERLY INSTALLED AND INSPECTED. CONTROL DEVICES SHALL BE KEPT IN PLACE AND USED UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
3. SIGNIFICANT TREES, AREAS WITH SUBSTANTIAL GRASS COVERAGE, AND DRAINAGE WAYS THAT ARE TO REMAIN UNDISTURBED SHALL BE FENCED OFF PRIOR TO THE USE OF ANY HEAVY MACHINERY ON-SITE AND DURING THE ENTIRE CONSTRUCTION PROCESS. FENCING SHALL BE PLACED FIVE FEET TO THE OUTSIDE OF THE DRIP LINE OF SIGNIFICANT TREES. THERE ARE NO SIGNIFICANT TREES.
4. SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION THROUGHOUT CONSTRUCTION BY USING APPROPRIATE EROSION CONTROL TECHNIQUES. STAGING AND SOIL STOCKPILE AREAS SHALL BE CLEARLY DESIGNED ON THE SITE. ALL TOPSOIL SHALL BE KEPT ON SITE WITHIN THE DISTURBANCE ZONE OF CONSTRUCTION, AND REINTRODUCED IN TO PLANTING AREAS TO THE EXTENT POSSIBLE. THERE ARE NO SOIL STOCKPILES ASSOCIATED WITH THIS PROJECT.
5. WATERING DOWN EXPOSED AREAS IS REQUIRED TO PREVENT THE BLOWING OF DUST OR SEDIMENT.
6. PROTECTION FOR STORM DRAIN INLETS SHALL BE PROVIDED TO PREVENT THE ENTRY OF SEDIMENT WHILE STILL ALLOWING THE ENTRY OF STORM WATER.
7. EROSION AND SEDIMENT CONTROL SHALL BE ACCOMPLISHED BY WATERING AND/OR FIBER MULCH WITH TACKIFIER.
8. ALL CONSTRUCTION TRAFFIC SHALL USE TIRE WASHES.

MAINTENANCE RESPONSIBILITIES AND INSPECTIONS

1. DISTURBED AREAS, STABILIZATION AND STRUCTURAL CONTROL MEASURES SHALL BE INSPECTED AS REQUIRED AND AT LEAST ONCE EVERY TWO WEEKS, AND WITHIN 24 HOURS OR THE NEXT WORKING DAY OF THE END OF A STORM EVENT. IF A PORTION OF THE SITE HAS BEEN FINALLY OR TEMPORARILY STABILIZED, AND RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS, OR DURING SEASONAL AND PERIODS, INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. THE CITY OR ITS AUTHORIZED AGENT MAY ENTER UPON THE PROPERTY. AT REASONABLE TIMES ALL STORMWATER FACILITIES SHALL BE MAINTAINED BY THE CONTRACTOR.
3. THE STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN GOOD CONDITION AND PROMPTLY REPAIRED.
4. TO ENSURE THAT THE SYSTEM IS MAINTAINED IN PROPER WORKING CONDITION.
5. IF AFTER NOTICE BY THE CITY TO CORRECT A VIOLATION REQUIRING MAINTENANCE WORK, SATISFACTORY CORRECTIONS ARE NOT MADE WITHIN A REASONABLE PERIOD OF TIME, THE CITY MAY PERFORM ALL NECESSARY WORK TO PLACE THE FACILITY IN PROPER WORKING CONDITION. THE OWNERS OR RESPONSIBLE PARTY OF THE FACILITY SHALL BE ASSESSED THE ASSOCIATED COSTS OF THE WORK.

DUST CONTROL:

All on-site soil disturbing construction activities shall be addressed and provide measures to mitigate or control dust from being transported off-site and polluting neighboring properties.

Any person, owner, contractor, or operator who conducts earthmoving and/or dust generating activities is responsible for implementing Best Management Practices (BMPs) in order to mitigate off-property transport of fugitive dust emissions.

A plan, or storm water prevention plan (SWPPP) when applicable, being the Best Management Practices (BMPs), shall be provided to the City Engineer or his designee for review and approval. The approved BMPs shall be applied to the graded and/or disturbed soil in order to stabilize the silt.

The initial BMP shall address how the Contractor will minimize the amount of dislodged soil and how the Contractor will stabilize the disturbed surface area exposed to wind or vehicle traffic during construction.

Some BMPs shall include:

- The reduction of vehicle speeds; establish a maximum speed limit or install traffic calming devices to reduce speeds to a rate to mitigate off-property transport of dust entrained by vehicles.
- The minimization of drop height. Drivers and operators shall unload truck beds and loaders or excavator buckets slowly and minimize drop heights of materials to the lowest height possible, including screening operations.
- High wind restriction: temporarily halt work activities during high wind events greater than 30 mph if operations would result in off-property transport.
- Reselect access: restrict access to the work area to only authorized vehicles and personnel.

In the event the above practices are ineffective to prevent off-property transport, the contractor, owner, or operator shall use at least one of more of the following Best Management Practices (BMPs):

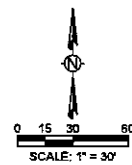
- Wet suppression: apply water to disturbed soil surfaces, backfill materials, screenings, and other dust generating operations as necessary and appropriate considering current weather conditions, and prevent water used for dust control from entering any public right-of-way, storm water drainage facility, or watercourse.
- Wind barrier: construct a fence or other type of wind barrier to prevent wind erosion of the graded or disturbed surface.
- Vegetation: plant vegetation appropriate for retaining soils or creating a wind break.
- Surface roughening: stabilize an active construction area during periods of inactivity or when vegetation cannot be immediately established.
- Cover: install cover materials such as tackifiers, erosion control blankets, gravel, vegetation (when appropriate), co-sinterings, etc., during periods of inactivity and properly anchor the cover.
- Soil retention: stabilize disturbed or exposed soil surface areas that will be inactive for more than 30 days or while vegetation is being established.

LEGEND

- EPA APPROVED BMP SEE SHEETS C-1206 & C-1207 FOR DETAILS
- - - GRADING LIMITS
- DRAINAGE FLOW ARROW
- * INLET PROTECTION SEE SHEETS C-1206 & C-1207 FOR DETAILS
- EXISTING STORM DRAIN
- NEW STORM DRAIN

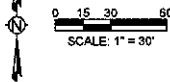
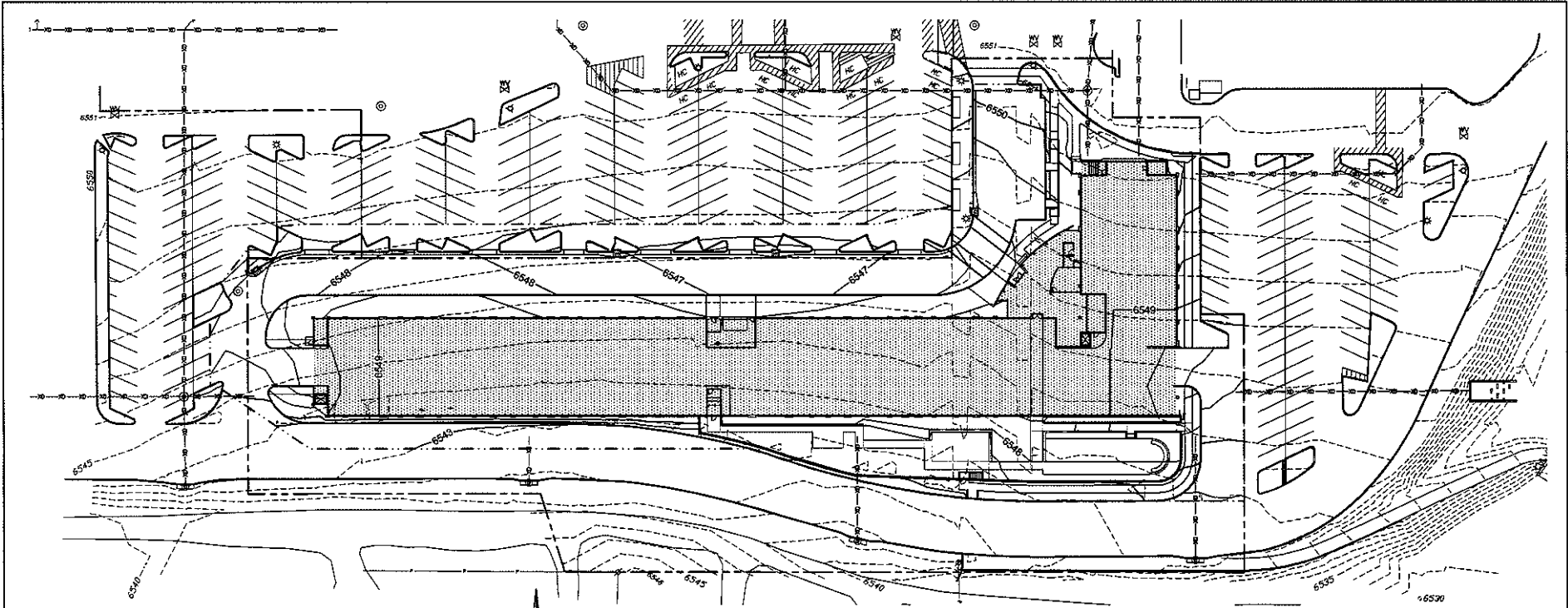
SHEET KEYNOTES

- ① PROPERTY LINE
- ② EPA APPROVED BMP
- ③ GRADING LIMITS
- ④ INLET PROTECTION
- ⑤ DRY TIRE WASH, SEE SHEET C-1103 FOR DETAILS



TEMPORARY EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 30'

S F E C	Santa Fe Engineering Consultants, LLC 1529 St. Francis Drive, Suite B Santa Fe, N. M. 87505 (505) 992-2645 Fax: (505) 992-2641 http://www.SFENGAR.com	DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA APARTMENT HOMES AT SANTA FE PLACE TEMPORARY EROSION AND SEDIMENT CONTROL PLAN	
	DATE: DECEMBER 2020	SCALE: 1" = 30'	SHEET: C-1101
	REVISIONS:		



PERMANENT EROSION AND SEDIMENT CONTROL PLAN **LEGEND**

--- GRADING LIMITS

DRAINAGE FACILITIES MAINTENANCE SCHEDULE

SPRING MAINTENANCE:	MARCH 15th	CLEARING AND MAINTENANCE FOR ALL STORMWATER MANAGEMENT FACILITIES SHALL OCCUR WITHIN 30 DAYS OF DATE REMOVE SEDIMENT BUILD UP IN ALL PONDS AND RESEED.
FALL MAINTENANCE:	SEPTEMBER 15th	CLEARING AND MAINTENANCE FOR ALL STORMWATER MANAGEMENT FACILITIES SHALL OCCUR WITHIN 30 DAYS OF DATE.
PERIODIC MAINTENANCE:	AFTER SIGNIFICANT STORMS (1" OR GREATER)	CLEARING AND MAINTENANCE FOR ALL STORMWATER MANAGEMENT FACILITIES SHALL OCCUR WITHIN 30 DAYS OF STORM.

SFCC 13-2 PROHIBITS THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, VEGETATION, SLURRIES, MUD, PLASTERS, CONCRETE RINSATES AND ANY CONSTRUCTION MATERIALS, WASTES AND GARBAGE, ETC. TO THE STORM DRAIN SYSTEM. THE STORM DRAIN SYSTEM INCLUDES ROADS, STREETS, CURBS, GUTTERS, DROP INLETS, PIPED STORM DRAINS, CULVERTS, RETENTION AND DETENTION BASINS, NATURAL AND MAN-MADE DRAINAGE CHANNELS, ARROYOS, RIVERS, AND ANY FACILITY AND APPURTENANCE BY WHICH STORMWATER IS COLLECTED AND/OR CONVEYED. CULVERT AND DRAIN FLUSHING SHALL BE CAREFULLY DONE, POLLUTANTS AND DEBRIS SHALL BE CAREFULLY REMOVED AND DISPOSED OF AT THE LANDFILL.

LONG TERM MAINTENANCE RESPONSIBILITIES AND INSPECTIONS

1. ALL STORM WATER FACILITIES SHALL BE MAINTAINED BY THE OWNER.
2. THE STORM WATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN GOOD CONDITION AND PROMPTLY REPAIRED.
3. THE CITY OR ITS AUTHORIZED AGENT MAY ENTER UPON THE PROPERTY, AT REASONABLE TIMES TO ENSURE THAT THE SYSTEM IS MAINTAINED IN PROPER WORKING CONDITION.
4. IF AFTER NOTICE BY THE CITY TO CORRECT A VIOLATION REQUIRING MAINTENANCE WORK, SATISFACTORY CORRECTIONS ARE NOT MADE WITHIN A REASONABLE PERIOD OF TIME, THE CITY MAY PERFORM ALL NECESSARY WORK TO PLACE THE FACILITY IN PROPER WORKING CONDITION. THE OWNER(S) OR RESPONSIBLE PARTY OF THE FACILITY SHALL BE ASSESSED THE ASSOCIATED COSTS OF THE WORK.

INSPECTIONS AND VIOLATIONS DURING CONSTRUCTION PROCESS

1. INSPECTIONS BY CITY ARE DUE WHEN STORM WATER MANAGEMENT MEASURES ARE COMPLETED AND WHEN THE FINAL SITE RESTORATION MEASURES ARE COMPLETED. HOWEVER, IF FINAL SITE RESTORATION MEASURES ARE BEING DELAYED DUE TO THE SEASON, THE CITY SHALL BE NOTIFIED WHEN TEMPORARY EROSION CONTROL MEASURES FOR USE UNTIL RESTORATION IS COMPLETE, IN PLACE AND READY FOR INSPECTION.
2. FURTHER CONSTRUCTION OR ISSUANCE OF ANY PERMITS SHALL NOT OCCUR UNTIL WRITTEN APPROVAL HAS BEEN GRANTED BY THE CITY.

DRAINAGE FACILITIES MAINTENANCE

1. THE DRAINAGE FACILITIES ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS.
2. INSPECTIONS OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. THE OWNERS SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.
3. THE REMEDIAL ACTION SHALL CONSIST OF (1) REMOVAL AND DISPOSAL OF SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH; (2) FLUSHING ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND POLLUTANTS THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURES; AND, (3) INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS AND INSPECT FOR THE STRUCTURAL INTEGRITY OF ALL APPURTENANT DRAINAGE STRUCTURES AND REPAIR OR STABILIZE ACCORDINGLY.

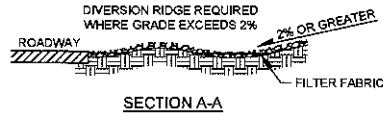
ENGINEER'S SEAL	DATE					
	REVISIONS					

S F E C Santa Fe Engineering Consultants, LLC
 1699 St. Francis Drive, Suite B
 Santa Fe, N. M. 87505
 (505) 982-2845 Fax (505) 982-2841
 http://www.SFENGR.com

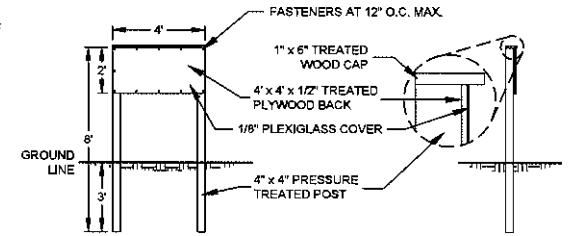
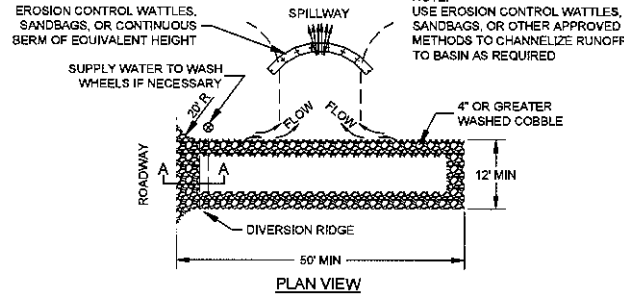
DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA
 APARTMENT HOMES AT SANTA FE PLACE
PERMANENT EROSION CONTROL PLAN
 DATE: DECEMBER 2020 SCALE: 1" = 30' SHEET: C-1102

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL MINIMIZE SEDIMENT TRACKING OR TRANSPORT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE ADDING ADDITIONAL LAYERS OF GRAVEL, REPAIR AND/OR CLEANOUT OF MEASURE USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC ROADWAYS.
3. VEHICLE WASHING SHALL BE CONDUCTED IN A STABILIZED AREA WITH APPROPRIATE STORM WATER CONTROLS IN PLACE.



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE / EXIT



N.P.D.E.S. PERMIT POSTING BOARD (LOCATED AT MAIN ENTRANCE)

CITY OF SANTA FE NPDES STORMWATER MANAGEMENT NOTES

1. DEVELOPMENT IS SUBJECT TO THE REQUIREMENTS OF THE SFCC CHAPTER XIII STORMWATER UTILITY INCLUDING THE STORMWATER UTILITY SERVICE CHARGE AND STORMWATER ILLICIT DISCHARGE CONTROL REQUIREMENTS.
2. DEVELOPMENT IS SUBJECT TO THE REQUIREMENTS OF NPDES GENERAL MS4 DISCHARGE PERMIT NO. NMR040000 AND NPDES CONSTRUCTION GENERAL PERMIT NO. NMR 100000.
3. **CONSTRUCTION GENERAL DISCHARGE PERMIT NO. NMR100000-** A STORMWATER POLLUTION PREVENTION PLAN MUST BE PREPARED BY A QUALIFIED PROFESSIONAL AND A NOTICE OF INTENT (NOI) FOR COVERAGE MUST BE FILED WITH THE EPA. CONSTRUCTION STORMWATER DISCHARGES ARE NOT PERMITTED UNTIL A MINIMUM OF SEVEN (7) CALENDAR DAYS AFTER EPA ACKNOWLEDGEMENT OF A COMPLETE NOI.
4. **CITY OF SANTA FE STORMWATER ILLICIT DISCHARGE CONTROL-** SFCC 13-2 PROHIBITS THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, SLURRIES, MUD, PLASTERS, CONCRETE RINSATES AND ANY CONSTRUCTION MATERIALS, WASTES AND GARBAGE, ETC. TO THE STORM DRAIN SYSTEM. THE STORM DRAIN SYSTEM INCLUDES ROADS, STREETS, CURBS, GUTTERS, DROP INLETS, PIPED STORM DRAINS, CULVERTS, RETENTION AND DETENTION BASINS, NATURAL AND MAN-MADE DRAINAGE CHANNELS, ARROYOS, RIVERS AND ANY FACILITY AND APPURTENANCE BY WHICH STORMWATER IS COLLECTED AND/OR CONVEYED.
5. **CITY OF SANTA FE TERRAIN AND STORMWATER REGULATIONS-** SFCC 14-8.2 REQUIRES THAT CONSTRUCTION DISTURBED AREA SHALL BE PROTECTED AGAINST EROSION. SEDIMENT MUST BE CONTAINED ON THE DISTURBED AREA BY THE USE OF TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES SUCH AS SILT FENCING, SWALES, BERMS, GEOTEXTILES, SEDIMENT BASINS AND TRAPS. PROTECTION FOR STORM DRAIN INLETS SHALL BE PROVIDED TO PREVENT THE ENTRY OF SEDIMENT FROM THE SITE WHILE STILL ALLOWING THE ENTRY OF STORMWATER. CONTROL DEVICES SHALL BE KEPT IN PLACE AND USED UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
6. THE CONTRACTOR SHALL NOT REMOVE SILT FENCE AND MULCH SOCKS OR OTHER TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES UNTIL DISTURBED AREAS ARE STABILIZED. SOIL STABILIZATION AND EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER COMPLETION OF CONSTRUCTION OR OTHER SOIL DISTURBANCE ACTIVITIES ON THE SITE. IF THE TIME OF YEAR IS NOT CONDUCTIVE TO PLANTING, THEN PLANTING MAY BE DELAYED UNTIL THE NEXT APPROPRIATE PLANTING SEASON PROVIDED THAT ALL TEMPORARY EROSION CONTROL MEASURES ARE MAINTAINED UNTIL PERMANENT EROSION CONTROL MEASURES ARE IMPLEMENTED. TEMPORARY EROSION CONTROL MEASURES SHALL BE SELECTED, DESIGNED AND INSTALLED WITH AN APPROPRIATE SEED BASE TO PROVIDE EROSION CONTROL FOR AT LEAST THREE YEARS WITHOUT ACTIVE MAINTENANCE. TEMPORARY EROSION CONTROL MEASURES SHALL BE SELECTED, DESIGNED AND INSTALLED TO ACHIEVE 70 PERCENT VEGETATIVE COVER WITHIN THREE YEARS.

SWPP Plan Inspection Report

Project Name: _____

Purpose of Inspection: _____ Date: _____

Inspector: _____

Weather Information: Type, Time, Amount, and Duration of Each Storm Event since Last Inspection. List Dates and Location for Storm Events:

Location of NPDES Notice of Permit Coverage Posting: _____

Has Land Disturbance Log been maintained? [] Yes [] No [] N/A

Does the site map reflect current BMPs and Site Characteristics? [] Yes [] No

Does the site map reflect current BMPs and Site Characteristics? [] Yes [] No

Comments: _____

Evidence of Discharges of Sediment or other Pollutants from the Site (Describe Below): [] Yes [] No

Evidence of Spills or Leaks (Describe Below): [] Yes [] No

Evidence of Offsite Sediment Tracking (Describe Below): [] Yes [] No

Comments: _____

Is Facility in Compliance with SWPP Plan and Permit? [] Yes [] No

Incidents of Non-Compliance with SWPP Plan: _____

Land Disturbance Log, Including Location and Date of Soil Disturbance, Activities and Stabilization Initiated:

SWPP Plan Inspection Report (Continued)

Certification Statement:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowingly violating.

(Signature) _____

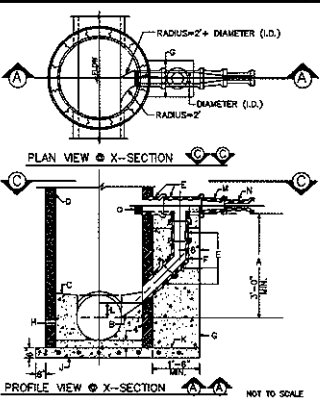
(Please Print Name, Title) _____

ENGINEER'S SEAL	
DATE	
REVISIONS	

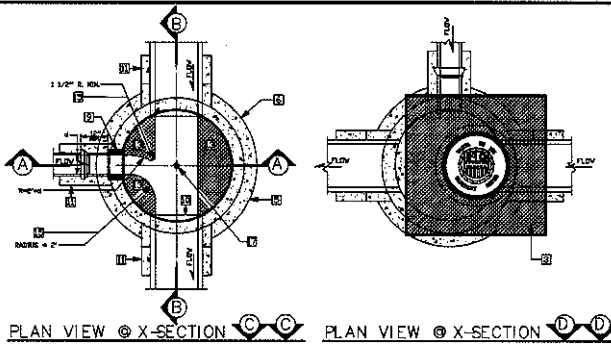
	Santa Fe Engineering Consultants, LLC 1599 St. Francis Drive, Suite B Santa Fe, N.M. 87505 (505) 852-2845 Fax: (505) 852-2841 http://www.SFENGR.com	DEVELOPMENT PLAN SUBMITTAL FOR ESCARPA APARTMENT HOMES AT SANTA FE PLACE
	STORM WATER CONTROL DETAILS	
	DATE: DECEMBER 2020	SCALE: N.T.S.

LEGEND

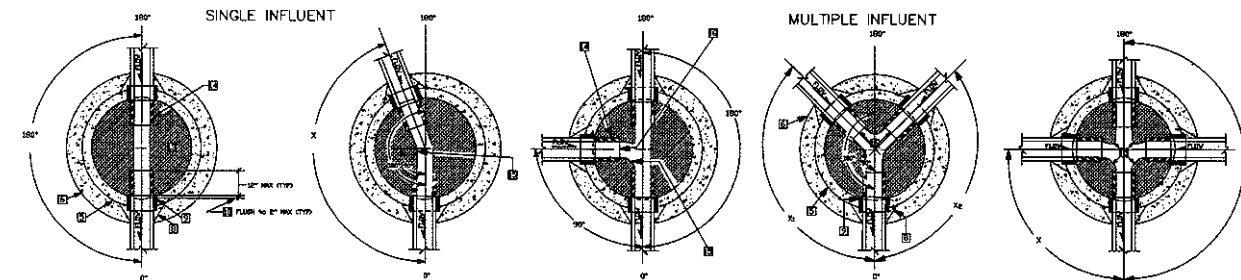
ITEM	DESCRIPTION
1	MANHOLE FRAME & COVER, refer to manhole frame and cover detail Dwg. No. SAS-4
2	CONCRETE ADJUSTMENT RINGS or CONCRETE BRICK, refer to concrete adjustment detail Dwg. No. SAS-5
3	CONCRETE COLLAR, refer to concrete collar detail Dwg. No. SAS-6
4	PRECAST REINFORCED CONCRETE RISER, CONE or FLAT TOP, with 5"(in) wall thickness, refer to general note CM-2
5	PRECAST REINFORCED CONCRETE BASE RISER, with suitable sized openings, refer to general note CM-2A
6	CONCRETE BASE, refer to concrete base detail Dwg. No. SAS-7
7	SEWER PIPE, refer to general note CM-1
8	6"(in) GROUPT FILLET, on upper half of pipe and around base
9	ADAPTER, MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
10	PIPE PENETRATION INTO MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
11	PIPE SUPPORT, CONCRETE, shall extend outside of manhole a maximum of 18"(in) to left of first joint and shall grade pipe half pipe
12	CONCRETE FILL, 3000 p.s.i., refer to general note CR-6
13	SHELF, to be 9"(in) minimum width with 1"(in) per 1'-0" slope, from crown of pipe
14	CUT UPPER HALF OF PIPE, after manhole has been completed and inspected by authority
15	HAND FORMED CHANNELS, shall be on a uniform radius and shall not hold water
16	INVERT ELEVATIONS OF LATERAL LINES, shall be the same as the springline elevation of the sewer main, where possible
17	CHANGE SLOPE OF PIPE, at center of manhole
18	APPROVED WATER STOP, to be with type of pipe



DROP MANHOLE DETAIL DWG. #: SAS-1



MANHOLE TYPE "E" DETAIL/DWG # SAS-2 (See Dwg. # SAS-14 for Type "C" Flat Top)



PLAN VIEW OF MANHOLE BASE CONNECTION/DWG. # SAS-3

GENERAL NOTES

CONSTRUCTION REQUIREMENTS	INSTALLATION
<p>CM-1 MATERIALS AND WORK: CONCRETE SHALL BE CAST TO THE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (California 94.10) AND SHALL BE WITH INSPECTION NOTED BY THE CITY OF SANTA FE.</p> <p>CM-2 APPROVED PLANS: ALL PLANS SHALL BE THE ORIGINAL STAMP OF THE DESIGN ENGINEER AND SHALL BE THE APPROVAL SIGNATURE OF THE CITY ENGINEER. ALL CHANGES SHALL BE APPROVED BY THE CITY ENGINEER. CONSTRUCTION PROCEED WITHOUT APPROVED PLANS WILL BE PROSECUTED.</p> <p>CM-3 SEWER RISE-UP PIPES: SEWER RISE-UP PIPES SHALL BE INSTALLED BEFORE CONSTRUCTION OF THE MANHOLE. ALL SEWER RISE-UP PIPES SHALL BE INSTALLED BEFORE CONSTRUCTION OF THE MANHOLE. ALL SEWER RISE-UP PIPES SHALL BE INSTALLED BEFORE CONSTRUCTION OF THE MANHOLE. ALL SEWER RISE-UP PIPES SHALL BE INSTALLED BEFORE CONSTRUCTION OF THE MANHOLE.</p> <p>CM-4 SUBSTITUTIONS OR CHANGES: ALL SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE CITY ENGINEER. ALL SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE CITY ENGINEER. ALL SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE CITY ENGINEER.</p> <p>CM-5 MANUFACTURER'S CERTIFICATE: MANUFACTURER'S CERTIFICATE AND TEST REPORTS ARE REQUIRED FOR ALL MATERIALS. MANUFACTURER'S CERTIFICATE AND TEST REPORTS ARE REQUIRED FOR ALL MATERIALS. MANUFACTURER'S CERTIFICATE AND TEST REPORTS ARE REQUIRED FOR ALL MATERIALS.</p> <p>CM-6 CONTRACTOR REQUIREMENTS: CONTRACTOR SHALL BE A LICENSED UTILITY CONTRACTOR.</p>	<p>M-1 LAYING PIPE: ALL PIPE SECTIONS SHALL BE LAYED AS SHOWN AND SHALL BE FULLY SUPPORTED AND NOT SUPPORTED BY THE CITY OF SANTA FE.</p> <p>M-2 MANHOLE CONSTRUCTION: MANHOLE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR MANHOLE CONSTRUCTION.</p> <p>M-3 EXPANSION AND CONTRACTION: EXPANSION AND CONTRACTION SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR MANHOLE CONSTRUCTION.</p>

CONSTRUCTION MATERIALS	FIELD QUALITY CONTROL
<p>CM-1 SEWER PIPE (CERTIFICATED REQUIRED): ALL SEWER PIPE SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR SEWER PIPE.</p> <p>CM-2 MANHOLE: ALL MANHOLES SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR MANHOLE CONSTRUCTION.</p> <p>CM-3 CONCRETE: ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR CONCRETE.</p> <p>CM-4 ADAPTER: ALL ADAPTERS SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR ADAPTERS.</p> <p>CM-5 PIPE PENETRATION: ALL PIPE PENETRATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR PIPE PENETRATIONS.</p> <p>CM-6 FRAMES AND COVERS: ALL FRAMES AND COVERS SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR FRAMES AND COVERS.</p>	<p>FOC-1 TESTING AND INSPECTION: TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR TESTING AND INSPECTION.</p> <p>FOC-2 LINE AND GRADE: ALL LINE AND GRADE SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR LINE AND GRADE.</p> <p>FOC-3 LEAKAGE TEST: ALL LEAKAGE TESTS SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR LEAKAGE TESTS.</p> <p>FOC-4 RECORDS: ALL RECORDS SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR RECORDS.</p> <p>FOC-5 ALL CONDITIONS TO FIXING MANHOLES INCLUDES: ALL CONDITIONS TO FIXING MANHOLES INCLUDES SHALL BE IN ACCORDANCE WITH THE CITY OF SANTA FE SPECIFICATIONS FOR CONDITIONS TO FIXING MANHOLES.</p>

CITY OF SANTA FE WATER QUALITY DIVISION

TITLE: SANITARY SEWER STANDARD CONSTRUCTION DETAILS

DATE: 01/15/00

DESIGNED BY: J. G. CHAVEZ

CHECKED BY: J. G. CHAVEZ

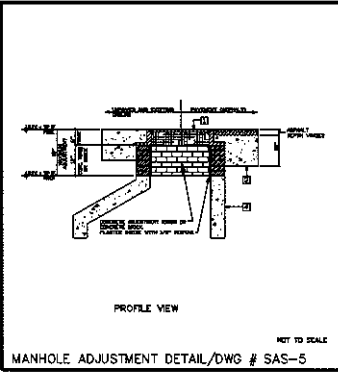
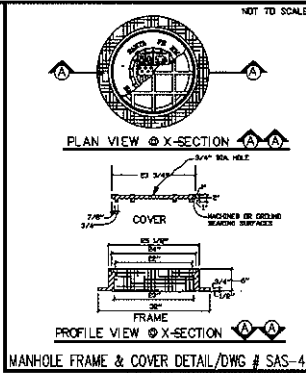
APPROVED BY: J. G. CHAVEZ

REVISION: A 01-15-00

THE # & DATE/DESCRIPTION: 1 SHEET 0-1201

LEGEND

ITEM	DESCRIPTION
1	MANHOLE FRAME & COVER, refer to manhole frame and cover detail Dwg. No. SAS-4
2	CONCRETE ADJUSTMENT RINGS or CONCRETE BRICK, refer to manhole adjustment detail Dwg. No. SAS-5
3	CONCRETE COLLAR, refer to concrete collar detail Dwg. No. SAS-6
4	PRECAST REINFORCED CONCRETE RISER, CONE or FLAT TOP, with 5/8" wall thickness, refer to general note CM-2
5	PRECAST REINFORCED CONCRETE BASE RISER, with suitable sized openings, refer to general note CM-2A
6	CONCRETE BASE, refer to concrete base detail Dwg. No. SAS-7
7	SEWER PIPE, refer to general note CM-1
8	3/4" GROUT FILL, on upper half of pipe and around base
9	ADAPTER, MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
10	PIPE PENETRATION INTO MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
11	PIPE SUPPORT, CONCRETE, steel rod set out side of manhole a maximum of 18"(6) to ball of first joint and shall grade pipe half pipe
12	CONCRETE DILL, 3000 p.s.i., refer to general note CR-3
13	SNIEL, to be 3/4" (in) minimum width with 1" (in) per 1'-0" slope, from crown of pipe
14	CUT UPPER HALF OF PIPE, after manhole has been completed and inspected by engineer
15	HARD FORMED CHANNELS, shall be on a uniform radius and shall not hold water
16	INVERT ELEVATIONS OF LATERAL LINES, shall be the same as the springline elevation of the sewer main, where possible
17	CHANGE SLOPE OF PIPE, at center of manhole
18	APPROVED WATER STOP, to be with type of pipe



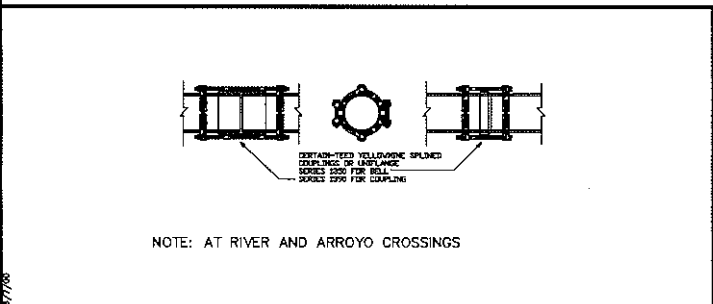
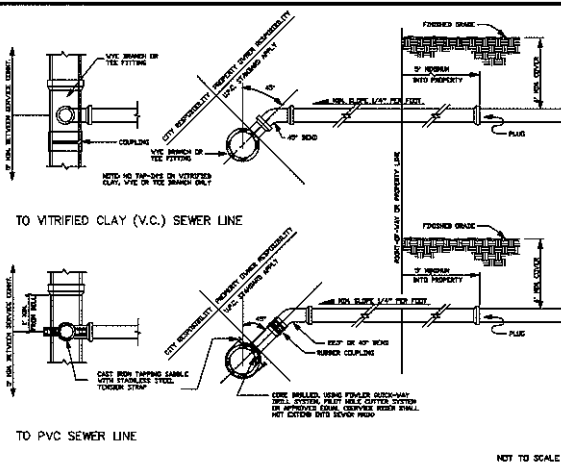
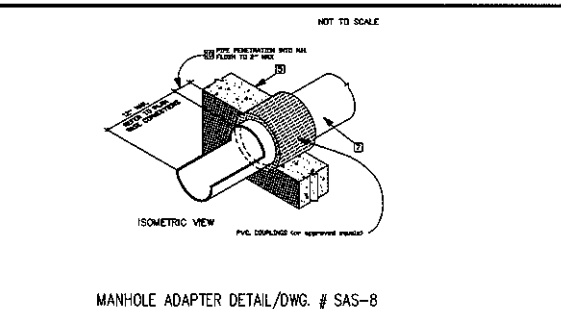
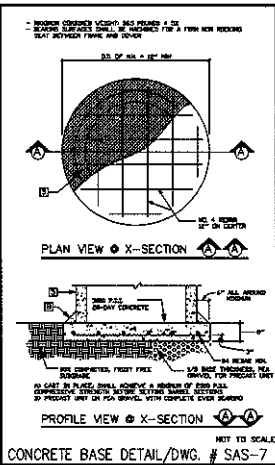
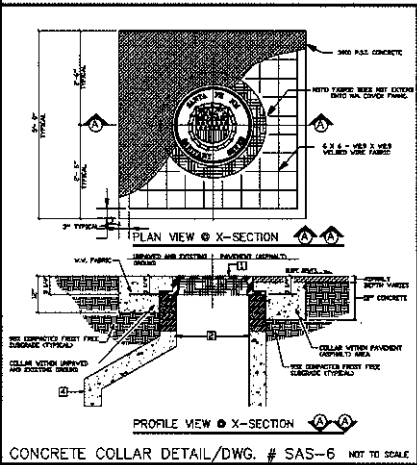
GENERAL NOTES

CONSTRUCTION REQUIREMENTS

- CM-1 MATERIALS AND WORK: ALL SUBMITTALS AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (approved in the 1992) shall conform to the specifications of the City of Santa Fe.
- CM-2 APPROVED PLANS: THE PLANS BEING THE OFFICIAL BASIS OF THE WORK. CONTRACTORS SHALL OBTAIN THE APPROVAL OF THE CITY ENGINEER BEFORE ANY CONSTRUCTION BEGINS WITHOUT APPROVED PLANS BEING IN EFFECT.
- CM-3 SEWER SLOPE-UP RINGS: ALL SEWER SLOPE-UP RINGS SHALL BE CAST IN PLACE CONCRETE WITHOUT GROUTING. ALL JOINTS SHALL BE PROTECTED WITHOUT GROUTING. ALL JOINTS SHALL BE PROTECTED WITHOUT GROUTING. ALL JOINTS SHALL BE PROTECTED WITHOUT GROUTING.
- CM-4 SUBSTITUTIONS OR CHANGES: NO SUBSTITUTIONS OR CHANGES SHALL BE MADE WITHOUT THE APPROVAL OF THE CITY ENGINEER. ALL SUBSTITUTIONS OR CHANGES MUST BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL. SUBSTITUTIONS MUST INCLUDE INFORMATION ON THE EQUIVALENCY OF THE MATERIALS AND METHODS PROPOSED OR THE DATA TO JUSTIFY SUBSTITUTION OR CHANGE. BEFORE CHANGES SHALL BE MADE THE CONTRACTOR SHALL OBTAIN THE APPROVAL OF THE CITY ENGINEER.
- CM-5 MANUFACTURER'S CERTIFICATE: WHEN CONTRACTORS OF COMPLIANCE AND TEST REPORTS ARE REQUIRED FOR MATERIALS, CONTRACTORS SHALL OBTAIN THE CERTIFICATE OF COMPLIANCE AND TEST REPORTS FROM THE MANUFACTURER OF THE MATERIALS TO BE USED IN THE WORK.
- CM-6 CONTRACTOR'S OBLIGATION: CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES UNDERGROUND AND ABOVEGROUND.

INSTALLATION

- I-1 LAYERS: ALL LAYERS SHALL BE PLACED AND COMPACTED AS SHOWN ON THE PLANS. ALL LAYERS SHALL BE PLACED AND COMPACTED AS SHOWN ON THE PLANS. ALL LAYERS SHALL BE PLACED AND COMPACTED AS SHOWN ON THE PLANS.
- I-2 MANHOLE CONSTRUCTION: ALL MANHOLES SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS. ALL MANHOLES SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS. ALL MANHOLES SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS.
- I-3 EXCAVATION AND BACKFILL: ALL EXCAVATION SHALL BE DONE AS SHOWN ON THE PLANS. ALL EXCAVATION SHALL BE DONE AS SHOWN ON THE PLANS. ALL EXCAVATION SHALL BE DONE AS SHOWN ON THE PLANS.



CONSTRUCTION MATERIALS

- CM-1 SEWER PIPE (CONCRETE REQUIRED): ALL SEWER PIPE SHALL BE CAST IN PLACE CONCRETE WITHOUT GROUTING. ALL JOINTS SHALL BE PROTECTED WITHOUT GROUTING. ALL JOINTS SHALL BE PROTECTED WITHOUT GROUTING.
- CM-2 APPROVED PLANS: THE PLANS BEING THE OFFICIAL BASIS OF THE WORK. CONTRACTORS SHALL OBTAIN THE APPROVAL OF THE CITY ENGINEER BEFORE ANY CONSTRUCTION BEGINS WITHOUT APPROVED PLANS BEING IN EFFECT.
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- CM-6 CONTRACTOR'S OBLIGATION: CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES UNDERGROUND AND ABOVEGROUND.

FIELD QUALITY CONTROL

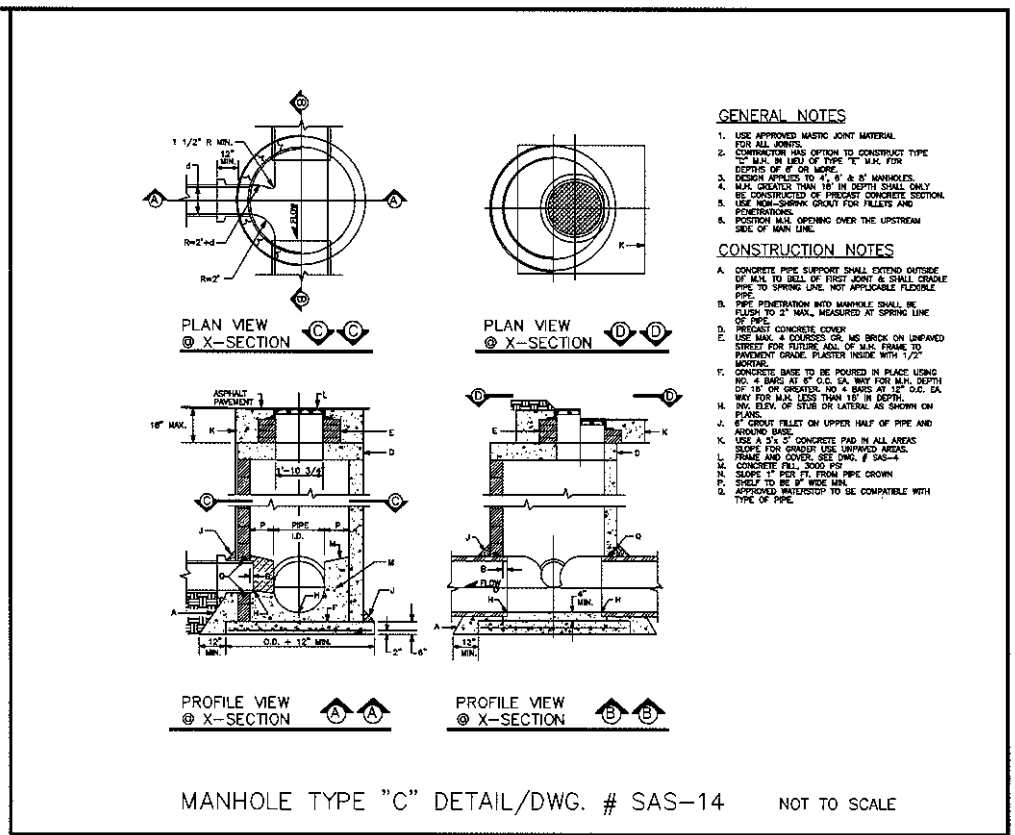
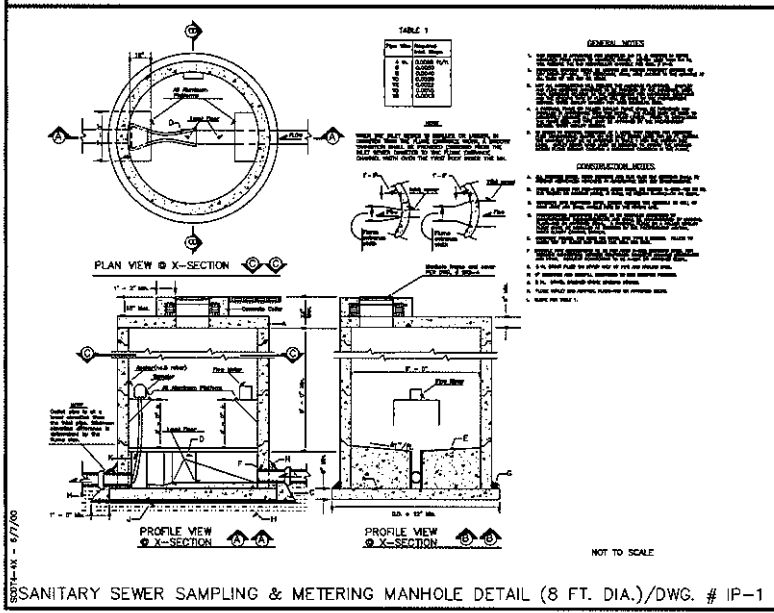
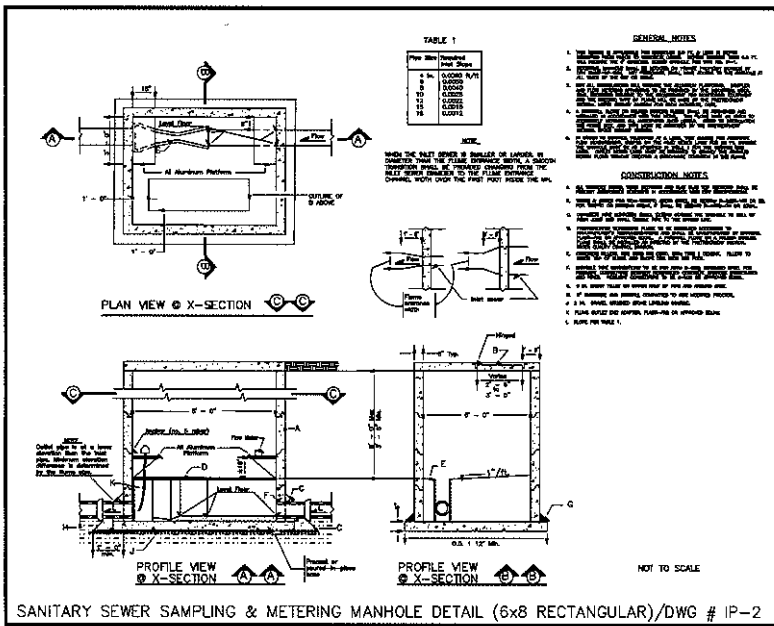
- FQ-1 TESTING AND REPORTS: ALL MATERIALS SHALL BE TESTED AND REPORTED AS SHOWN ON THE PLANS. ALL MATERIALS SHALL BE TESTED AND REPORTED AS SHOWN ON THE PLANS. ALL MATERIALS SHALL BE TESTED AND REPORTED AS SHOWN ON THE PLANS.
- FQ-2 INSPECTION: ALL WORK SHALL BE INSPECTED AS SHOWN ON THE PLANS. ALL WORK SHALL BE INSPECTED AS SHOWN ON THE PLANS. ALL WORK SHALL BE INSPECTED AS SHOWN ON THE PLANS.
- FQ-3 RECORDS: ALL RECORDS SHALL BE MAINTAINED AS SHOWN ON THE PLANS. ALL RECORDS SHALL BE MAINTAINED AS SHOWN ON THE PLANS. ALL RECORDS SHALL BE MAINTAINED AS SHOWN ON THE PLANS.

CITY OF SANTA FE WATER QUALITY DIVISION

TITLE: SANITARY SEWER STANDARD CONSTRUCTION DETAILS

DATE: 10/1/99
 DRAWN BY: J. BROWN
 CHECKED BY: J. BROWN
 APPROVED BY: J. BROWN

SHEET C-102



SIP-14-N-87/00

	CITY OF SANTA FE WATER QUALITY DIVISION	
	TITLE: SANITARY SEWER STANDARD CONSTRUCTION DETAILS	
	DATE: 01/15/00	BY: J. S. BERRY
	DRAWN BY: J. S. BERRY	CHECKED BY: J. S. BERRY

SHEET C-1204

CLASS	CLASS 1		CLASS 2		CLASS 3		CLASS 4	
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74	15	11	12	8	12	8	12	8
76	15	11	12	8	12	8	12	8
78	15	11	12	8	12	8	12	8
80	15	11	12	8	12	8	12	8
82	15	11	12	8	12	8	12	8
84	15	11	12	8	12	8	12	8
86	15	11	12	8	12	8	12	8
88	15	11	12	8	12	8	12	8
90	15	11	12	8	12	8	12	8
92	15	11	12	8	12	8	12	8
94	15	11	12	8	12	8	12	8
96	15	11	12	8	12	8	12	8
98	15	11	12	8	12	8	12	8
100	15	11	12	8	12	8	12	8

INSTALLATION TYPE	SECTION	FINISHING AND FINISHING	LOWER
TYPE 1	TOP 6" MINIMUM	TOP 6" MINIMUM	TOP 6" MINIMUM
	REST OF SECTION	REST OF SECTION	REST OF SECTION
TYPE 2	TOP 6" MINIMUM	TOP 6" MINIMUM	TOP 6" MINIMUM
	REST OF SECTION	REST OF SECTION	REST OF SECTION
TYPE 3	TOP 6" MINIMUM	TOP 6" MINIMUM	TOP 6" MINIMUM
	REST OF SECTION	REST OF SECTION	REST OF SECTION

GENERAL NOTES:

1. THERE SHALL BE NO CHANGE OF CROSS SECTION WITHIN EACH SECTION UNLESS INDICATED OTHERWISE BY THE CONTRACTOR.
2. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.
3. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.
4. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.
5. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.
6. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.
7. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.
8. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.
9. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.
10. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.

DESIGN DATA:

SECTION APPROVED BY THE ARCHITECT INTO RECORD. (DATE) (PROJECT NUMBER) (SHEET NUMBER)

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

CONCRETE PIPE CULVERTS

Sheet 206-01

GENERAL NOTES:

1. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.
2. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.
3. THE FINISH SURFACE SHALL BE TO THE TOP OF THE ROADWAY UNLESS OTHERWISE SPECIFIED.
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DESIGN DATA:

SECTION APPROVED BY THE ARCHITECT INTO RECORD. (DATE) (PROJECT NUMBER) (SHEET NUMBER)

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

CONCRETE PIPE CULVERTS

Sheet 206-02

DEPTH (FEET)	MINIMUM WALL THICKNESS (INCHES)	MINIMUM CORRUPTION (INCHES)
12	0.040	0.040
14	0.040	0.040
16	0.040	0.040
18	0.040	0.040
20	0.040	0.040
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46	0.040	0.040
48	0.040	0.040
50	0.040	0.040
52	0.040	0.040
54	0.040	0.040
56	0.040	0.040
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60	0.040	0.040
62	0.040	0.040
64	0.040	0.040
66	0.040	0.040
68	0.040	0.040
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86	0.040	0.040
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100	0.040	0.040

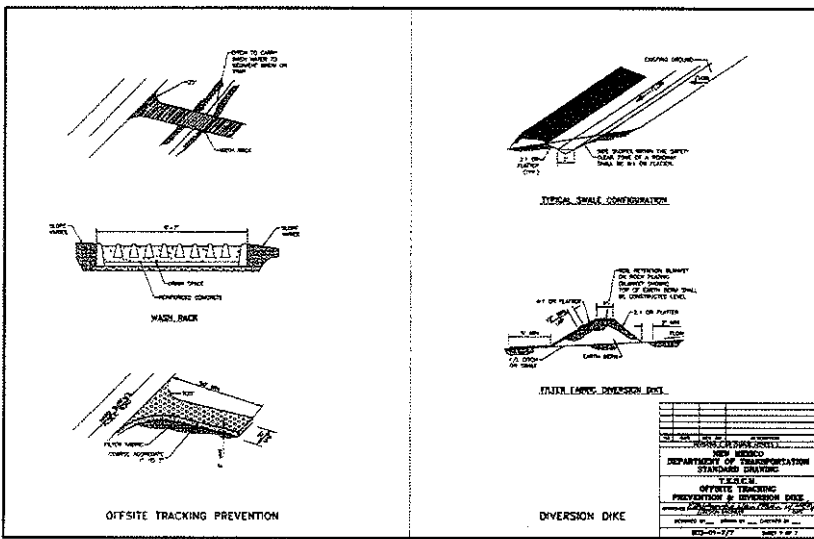
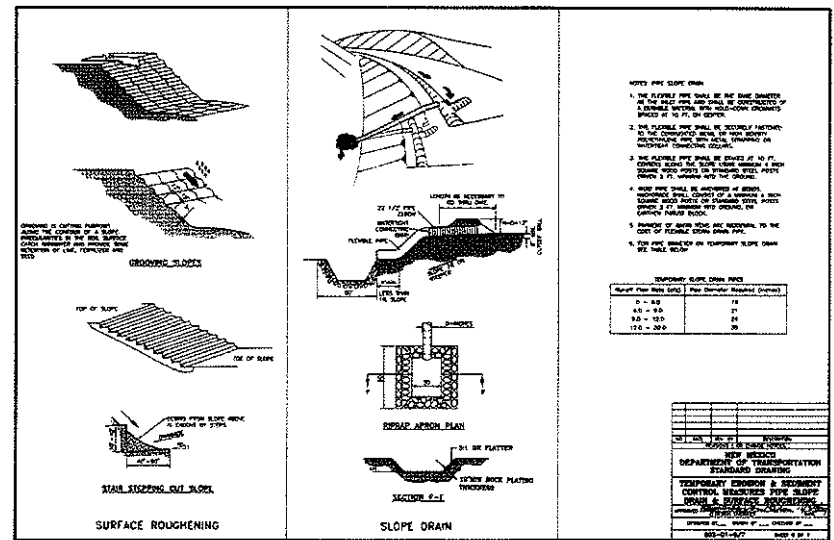
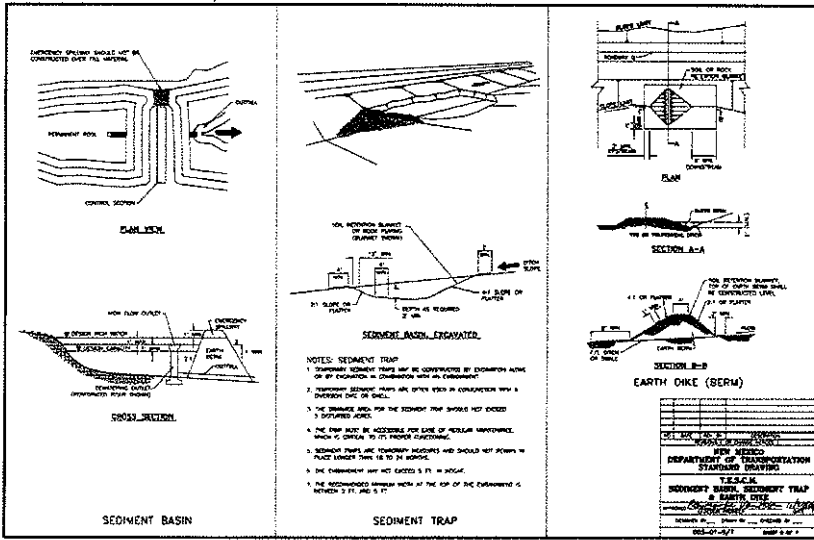
DEPTH (FEET)	MINIMUM WALL THICKNESS (INCHES)	MINIMUM CORRUPTION (INCHES)
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14	0.040	0.040
16	0.040	0.040
18	0.040	0.040
20	0.040	0.040
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26	0.040	0.040
28	0.040	0.040
30	0.040	0.040
32	0.040	0.040
34	0.040	0.040
36	0.040	0.040
38	0.040	0.040
40	0.040	0.040
42	0.040	0.040
44	0.040	0.040
46	0.040	0.040
48	0.040	0.040
50	0.040	0.040
52	0.040	0.040
54	0.040	0.040
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64	0.040	0.040
66	0.040	0.040
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74	0.040	0.040
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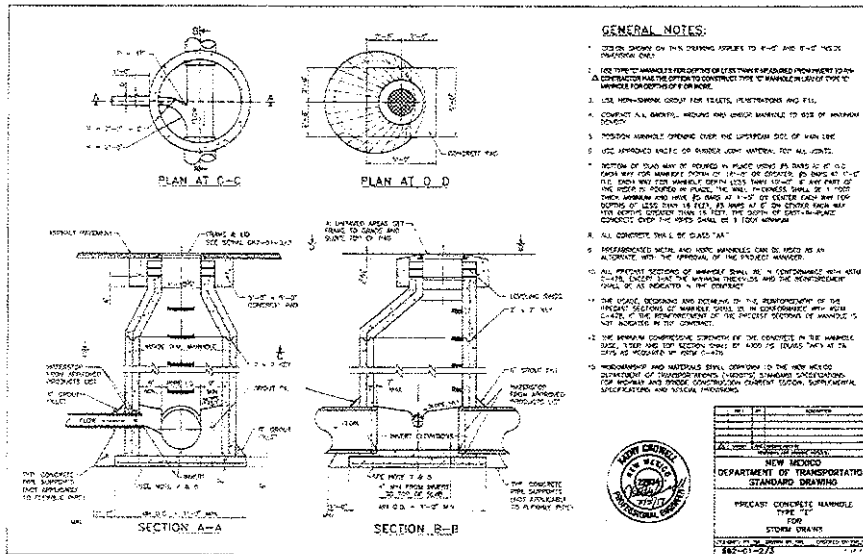
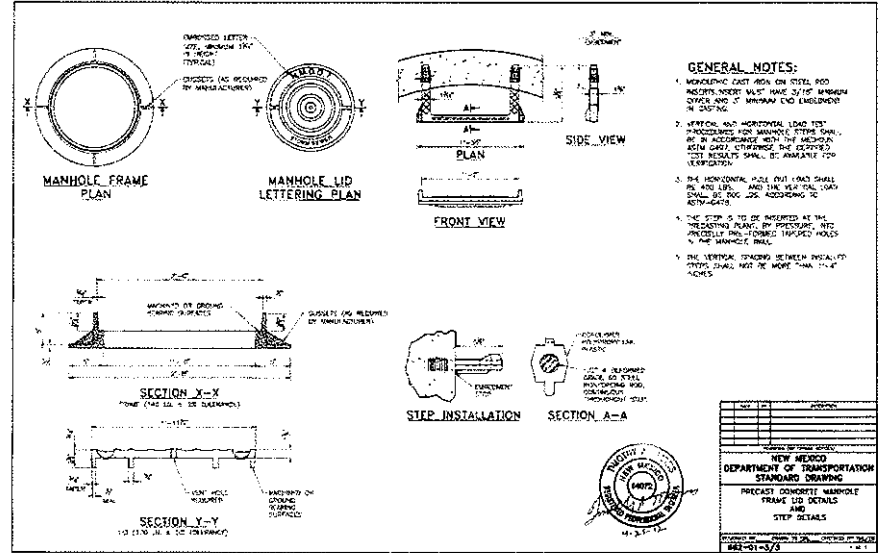
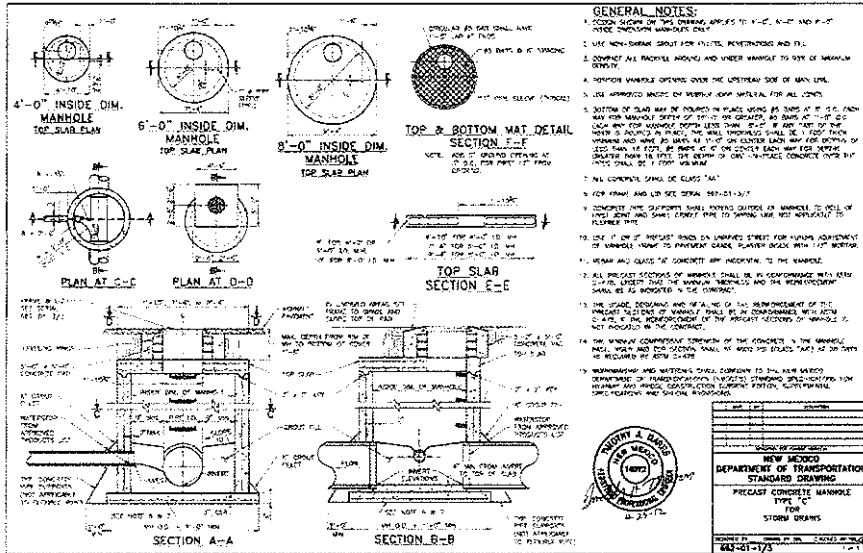
DEPTH (FEET)	MINIMUM WALL THICKNESS (INCHES)	MINIMUM CORRUPTION (INCHES)
12	0.040	0.040
14	0.040	0.040
16	0.040	0.040
18	0.040	0.040
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42	0.040	0.040
44	0.040	0.040
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56	0.040	0.040
58	0.040	0.040
60	0.040	0.040
62	0.040	0.040
64	0.040	0.040
66	0.040	0.040
68	0.040	0.040
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72	0.040	0.040
74	0.040	0.040
76	0.040	0.040
78	0.040	0.040
80	0.040	0.040
82	0.040	0.040
84	0.040	0.040
86	0.040	0.040
88	0.040	0.040
90	0.040	0.040
92	0.040	0.040
94	0.040	0.040
96	0.040	0.040
98	0.040	0.040
100	0.040	0.040

DEPTH (FEET)	MINIMUM WALL THICKNESS (INCHES)	MINIMUM CORRUPTION (INCHES)
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20	0.040	0.040
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26	0.040	0.040
28	0.040	0.040
30	0.040	0.040
32	0.040	0.040
34	0.040	0.040
36	0.040	0.040
38	0.040	0.040
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64	0.040	0.040
66	0.040	0.040
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72	0.040	0.040
74	0.040	0.040
76	0.040	0.040
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94	0.040	0.040
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100	0.040	0.040

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26	0.040	0.040
28	0.040	0.040
30	0.040	0.040
32	0.040	0.040
34	0.040	0.040
36	0.040	0.040
38	0.040	0.040
40	0.040	0.040
42	0.040	0.040
44	0.040	0.040
46	0.040	0.040
48	0.040	0.040
50	0.040	0.040
52	0.040	0.040
54	0.040	0.040
56	0.040	0.040
58	0.040	0.040
60	0.040	0.040
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66	0.040	0.040
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76	0.040	0.040
78	0.040	0.040
80	0.040	0.040
82	0.040	0.040
84	0.040	0.040
86	0.040	0.040
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90	0.040	0.040
92	0.040	0.040
94	0.040	0.040
96	0.040	0.040
98	0.040	0.040
100	0.040	0.040

DEPTH (FEET)	MINIMUM WALL THICKNESS (INCHES)	MINIMUM CORRUPTION (INCHES)
12	0.040	0.040
14	0.040	0.040





Sheet 682-02

**April 01, 2021
Planning Commission
Case #2020-2999
4250 Cerrillos Road Santa Fe Place Mall
Apartments
Development Plan**

EXHIBIT G

Applicant Additional Submittals



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

March 22, 2021

Daniel Esquibel, Senior Planner
Current Planning Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

**RE: Escarpa Apartment Homes at Santa Fe Place (Case #2020-2999)
Development Plan and Lot Line Adjustment Application**

Dear Dan:

This letter is respectfully submitted on behalf of Santa Fe Mall Property Owner LLC in reference to the application for Development Plan and Lot Line Adjustment for a 141-unit multi-family project (the "Project"), which the Planning Commission heard at their meeting of March 4, 2021. After further discussion and consideration, our clients are prepared to agree with conditions of approval, as recommended by staff. These include:

- 1) Provision of sidewalks along the north and south sides of the proposed apartment building, as recommended by the Santa Fe MPO; and
- 2) Designation of reserved parking in close proximity to the proposed apartment building, to accommodate the balance of 40 spaces needed, after the provision of 135 spaces in the podium parking and 9 new surface spaces being created by the development (total of 184 spaces).

Please contact us should you have any questions or require additional information.

Thank you for your consideration.

Sincerely,

JENKINSGAVIN, INC.

Jennifer Jenkins



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

March 22, 2021

Daniel Esquibel, Senior Planner
Current Planning Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

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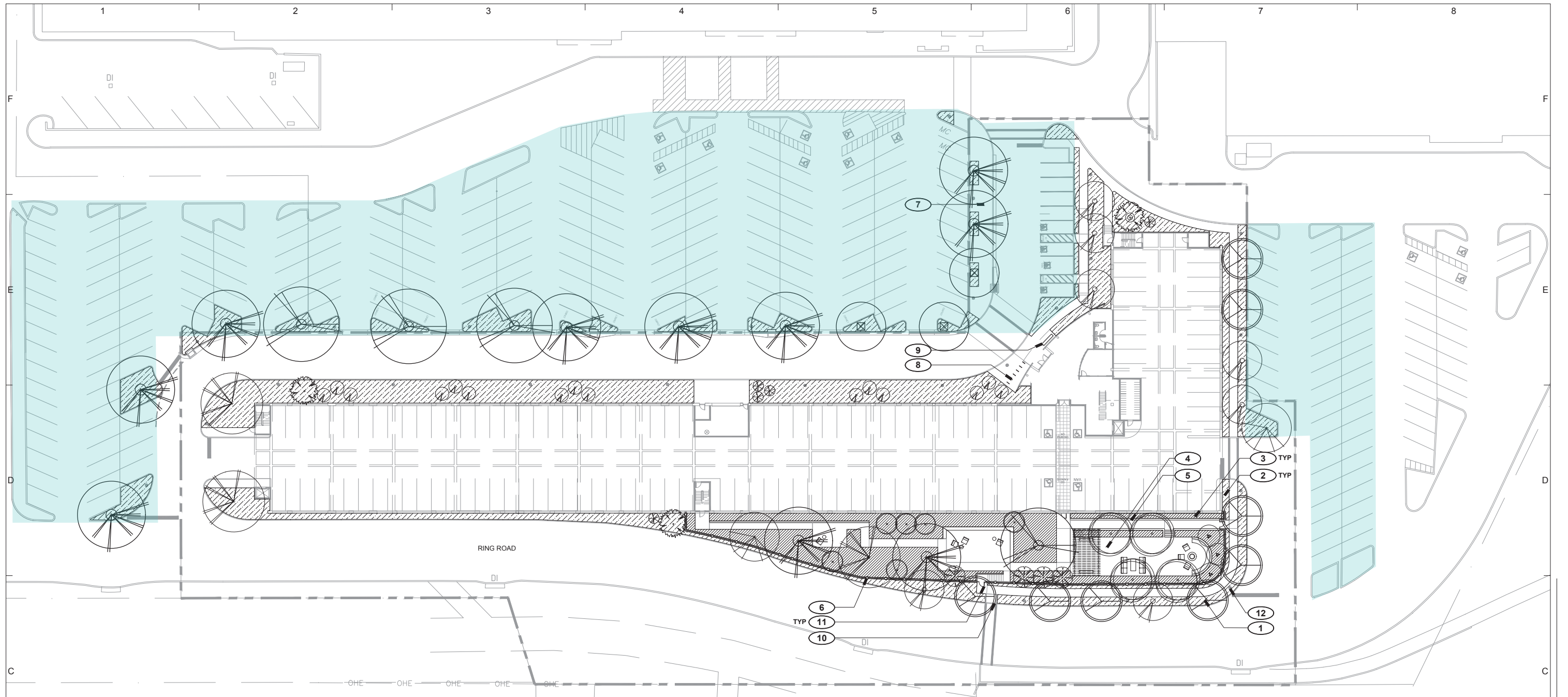
Thank you for your consideration.

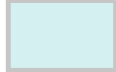
Sincerely,

JENKINSGAVIN, INC.

Jennifer Jenkins

ESCARPA AT SANTA FE PLACE



 49 Parking spaces will be designated for the apartments within these areas.

ESCARPA
Apartment Homes at Santa Fe Place
Proposed Sidewalk Revisions 3.9.2021

