



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
MARCH 23, 2021
5:30 PM
ATTEND VIRTUALLY

SPECIAL PROCEDURES FOR VIRTUAL ATTENDANCE AND PUBLIC COMMENT:

In response to the State's declaration of a Public Health Emergency, the Mayor's Proclamation of Emergency, and the ban on public gatherings of more than five (5) people, the Historic Districts Review Board meeting will be conducted virtually using Zoom.

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Attending on Zoom: Members of the public may attend the Zoom meeting on a computer, mobile device, or phone. The video conference link and teleconference number will be posted at <https://santafe.primegov.com/public/portal> at least seventy-two (72) hours before the meeting.. The direct Zoom link is: <https://us02web.zoom.us/j/81005072259?pwd=ZkZ6OFp4Z2xRR1dIUzRIMSsvRXVMZz09> and use password: **786484**.

Attending Zoom by Phone: Members of the public can attend the Zoom meeting by phone by dialing:
US: **(253) 215-8782** or **(346) 248-7799** or **(929) 205-6099**
Webinar ID: 810 0507 2259.

Public Comment:

- By video: A person attending the Zoom meeting by video conference (using a computer, mobile device, or smart phone) may provide public comment during the meeting. Attendees should use the "Raise Hand" function to be recognized by the chair to speak at the appropriate time.



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• By phone: A person attending the Zoom meeting by phone may provide public comment during the meeting. Phone attendees should press *9 to use the “Raise Hand” function to be recognized at the appropriate time.

• In writing: A person may submit written public comments by 5pm the Monday prior to the meeting via the virtual comment “button” at

<https://santafe.primegov.com/public/portal>.

A. ROLL CALL

B. APPROVAL OF AGENDA

C. APPROVAL OF MINUTES:

1. February 23, 2021

2. March 9, 2021

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. Case #2020-2975-HDRB. 918 Don Gaspar Avenue.

2. Case #2021-3048-HDRB. 555 San Antonio.

3. Case #2021-3197-HDRB. 555 San Antonio.

4. Case #2021-3185-HDRB. 1299 Canyon Road.

5. Case #2021-3199-HDRB. 1660 ½ D Cerro Gordo.

E. MATTERS FROM THE PUBLIC

F. STAFF COMMUNICATIONS

G. OLD BUSINESS

1. Case #2020-002954-HDRB. 333 Sena Street. Don Gaspar Area Historic District. Duran Enterprises, agent for Robert Gallagher, owner, proposes to demolish a retaining wall and construct a new yard wall. An exception



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to exceed the maximum allowable height of the yard wall per Section 14-5.2(D)(9)(c)(ii)(c) is requested. (Daniel Schwab, 955-6660, DNSchwab@santafenm.gov)

2. Case #2021-003198-HDRB. 100 E. Water Street. Downtown and Eastside Historic District. Curt Temple, agent for the City of Santa Fe Facilities Division, proposes to construct a Santa Fe Tourism kiosk and public restroom facility. (Nicole A. Ramirez Thomas/ Daniel Schwab, 955-6660, dnschwab@santafenm.gov)

H. NEW BUSINESS

1. Case #2021-003284-HDRB. 121 Aviation Drive. MOLZENCORBIN, agents for the City of Santa Fe Regional Airport, propose an 8,000 sq. ft. addition on a landmark structure. An exception is requested to have less than 80% of a publicly visible facade finished with materials not permitted per Part 2.A of Resolution No. 2015-101 and an exception is requested to provisions for landmark structures per 14-5.2(D)(2) *Additions*. (Nicole A. Ramirez Thomas/ Daniel Schwab, 955-6660, DNSchwab@santafenm.gov)
2. Case #2021-003283-HDRB. 827 East Alameda Street. Rachele Griego & Andrew Gough, owners / agents, propose to construct a 335 sq. ft. addition on a contributing structure and a 410 sq. ft. freestanding garage to a height of 13 ft. 8 in. (Daniel Schwab, 955-6660, DNSchwab@santafenm.gov)

I. DISCUSSION ITEMS

2021 Historic Preservation Awards

Land Use Boards Presentation

J. MATTERS FROM THE BOARD

K. NEXT MEETING: Tuesday, April 13, 2021

L. ADJOURN



City of Santa Fe

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Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

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HISTORIC DISTRICTS REVIEW BOARD
February 23, 2021

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1. February 09, 2021	Approved as Amended	2
D. Findings of Fact & Conclusions of Law	Approved	3
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3. Case #2020-001979-HDRB 631 Canyon Road	Approved as submitted	18-21
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L. Adjournment	Adjourned at 10:54 pm	60

**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
February 23, 2021
VIRTUAL HEARING**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:30 p.m. at a virtual meeting held at <https://www.youtube.com/user/cityofsantafe>.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chairwoman
Mr. Frank Katz, Vice Chair
Ms. Jennifer Biedscheid
Mr. John Bienvenu
Ms. Flynn G. Larson
Mr. Buddy Roybal

MEMBERS EXCUSED:

Mr. Anthony Guida

OTHERS PRESENT:

Noah Berke
Ms. Nicole Ramirez Thomas
Mr. Daniel Schwab, Senior Planner
Ms. Angela Bordegaray, Senior Planner
Ms. Sally Paez, Assistant City Attorney
Mr. Carl Boaz, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

Ms. Ramirez Thomas noted 324 Staab Street should be Case #4 under Old Business and Case #2971 at 530 Garcia is on the agenda but was postponed to March 23.

MOTION: Vice Chair Katz moved, seconded by Member Biedscheid to approve the agenda as amended.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Katz, Larson and Roybal voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. February 9, 2021

Member Bienvenu, page 23, second full paragraph reads, "The ordinance calls them nonconforming structures and states you *can* do anything..." should be "you can't do anything."

Ms. Paez, page 5, the next to last line, *victim* should be dictum. She asked that the line be revised and say, "*Here it wasn't relevant to the holding of the case and is what we would normally call dictum.*"

Chair Rios asked on page 49, second paragraph "preserve in amber" is correct. Vice Chair Katz explained amber is a gooey substance from trees that insects are preserved in.

Ms. Bordegaray noted that Member Guida used the word to refer to Historic Preservation and not putting things in amber, meaning *in stone*.

MOTION: Member Katz moved, seconded by Member Larson to approve the HDRB Hearing Minutes of February 9, 2021, as amended.

VOTE: The motion passed by majority (4-0) roll call vote with Members Biedscheid, Bienvenu, Katz, and Larson voting in favor and none voting against. Member Roybal abstained.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. Case #2020-002818-HDRB. 324 McKenzie Street.
2. Case #2020-002983-HDRB. 209 Delgado Street.
3. Case #2021-003048-HDRB. 105 Calle La Pena.
4. Case #2021-003049-HDRB. 555 San Antonio Street.
5. Case #2021-003057-HDRB. 107 South Armijo Lane.
6. Case #2021-003062-HDRB. 350 Garcia Street.
7. Case #2021-003068-HDRB. 1668 Cerro Gordo Road.
8. Case #2021-003058-HDRB. 235 North Guadalupe Street.
9. Case #2021-003084-HDRB. 235 North Guadalupe Street.
10. Case #2020-002954-HDRB. 333 Sena Street.
11. Case #2020-003006-HDRB. 542 Camino del Monte Sol.

MOTION: Vice Chair Katz moved, seconded by Member Biedscheid to approve the Findings of Fact and Conclusions of Law.

VOTE: The motion passed by majority (4-0) roll call vote with Members Biedscheid, Bienvenu, Katz and Larson voting in favor and none voting against. Member Roybal abstained.

E. MATTERS FROM THE PUBLIC

Stephanie Beninato said regarding the house on Monte del Sol before the Commission last week about raising the wall height, that she noticed has a wire fence. Also, it has significant vegetation that makes the wall unscalable. Someone put a wire gate where there was coyote fencing and someone should check that out. She said she wanted to apologize and withdraw her standing objection on the case of Lee vs. Catron. She learned that the Supreme Court does allow the state agencies and public bodies to decide whether laypeople could represent laypeople at administrative hearings.

Paralegals can represent with lawyer supervision, at the federal or state level and lawyers from out of state can have a local lawyer back them. When hired by a state agency they do not need a license.

F. STAFF COMMUNICATIONS

Mr. Schwab noted the coversheet for 630 Canyon Road is incorrect. He will correct that when discussing the actual case.

G. OLD BUSINESS

Chair Rios reminded applicants about the appeal process if they disagree with the Board's decisions. They have 15 days from the approval of Findings of Fact to appeal. She limited public comment to two minutes each at this meeting.

1. **Case #2020-002813-HDRB. 247 Anita Place.** Don Gaspar Area Historic District. Gene Tison, agent/owner, proposes to construct an addition on a contributing residential structure. (Angela Schackel Bordegaray)

STAFF REPORT

Ms. Bordegaray shared her screen and presented the Staff report. 247 Anita Place is a 1,300 sf Mission Revival bungalow built between 1930 and 1936.

Its historic status is Contributing to the Don Gaspar Area Historic District. Its defining features include its red tile roofed tower over the front porch, round arch porch openings, undulating parapet, and its stucco color and texture. Its white stucco has a unique textured pattern that resembles a "Spanish Lite Lace" pattern. Windows are double-hung with a 3/1 lite pattern. The bungalow is one of a few of this architectural style in this neighborhood, where Spanish-Pueblo Revival style buildings and structures dominate the streetscape. The garage at the end of the driveway to the west of the house was constructed at the same time as the house.

The applicant revised his proposal and returns to the Board to address the Board's comments and suggestions. The applicant also has provided stronger drawings of his project.

The applicant proposes to:

1. Construct a 317 sf addition onto the northeast corner of the house. The addition's north elevation has been moved one foot north. The revised height is 14 feet, previously 12', from finished grade and is one foot lower than the existing house. The addition will have a flat roof and undulating parapet that matches the original house.
2. The addition's windows will match the existing 3/1 lite pattern, white aluminum clad.
3. The rear entry door on the west elevation will be wood with 3/1 lite pattern above the wood paneled door to match the window style. Staff notes that the door is depicted as solid wood panel in the proposed west elevation. The rear entry has a 4 x 6 foot landing. The applicant proposes to step the back porch floor level to a landing so that a new set of steps that meet current residential stair code can be built. With the new parapet at 14 feet instead of 12 feet, the addition's floor level will be raised to the level of the new landing at the top of the stairs.
4. Add an overhang of approximately 18 sf over the new entry doorway on the west façade. The overhang will extend three feet over the entrance.
5. There will be a skylight over the bedroom area.
6. The addition will be stuccoed in the same skip trowel pattern as the rest of the house. At the same time, the main house stucco will be repaired and the entire house restuccoed, maintaining the skip trowel texture. The current multiple flaking layers of paint on the house vary from medium tan to creamy white. The stucco color that best matches the primary color is El Rey 106 "Bamboo". Further details on the stucco work are in the attached letter from GMB Construction.

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(H) Don Gaspar Area Historic District standards.

QUESTIONS FOR STAFF

Chair Rios confirmed the proposed addition is on the north façade and is not primary and will be a foot lower than the existing contributing house.

Member Larson asked if the existing windows are wood or aluminum clad.

Ms. Bordegaray replied they are wood and all our original except for three that have been replaced. The proposed windows will be white clad wood.

Chair Rios confirmed the old contributing home could be distinguished from the new proposal.

APPLICANT'S PRESENTATION

Gene Tison, 226 Anita Place, was sworn. He said his son lives in the house at 247 Anita Place. He followed the suggestions from the original presentation. They raised the parapet, redid the floor level and put the steps on the outside to match the front. The window alignment is almost the same across the entire structure. They wanted an overhang at the back for weather protection. It is a common feature on many houses in the neighborhood. So, they added a 3-foot overhang "eyebrow" on the back porch and changed the door to a three-light top and a wooden panel on the bottom. We maintained the undulating parapet and have decided on a stucco color.

Chair Rios said his home is lovely and he did a great job adding the small addition. She understands from reading the report he has lived in the home for 48 years.

Mr. Tison clarified he has lived in his home at 226 for 48 years. His neighbor in the house at 220 Anita had the same builder.

QUESTIONS FOR APPLICANT

Chair Rios asked if correct that the skylight proposed will not be visible.

Mr. Tison replied it will not. The skylight is to have more light, especially in the winter. He didn't want to put in windows because of weather and wants more space in the room.

Vice Chair Katz thanked Mr. Tison for a beautiful job.

Mr. Tison said they have worked on the project for a couple of months and if approved, he will have the architect continue the work and get paid.

PUBLIC HEARING

Stefanie Beninato and John Eddy were sworn in.

Ms. Beninato, PO Box 1601, Santa Fe, thought the design nice in terms of matching the house and still is distinguishable. She was bothered by the blank wall on the north side. Energy-wise more heat will be lost with the skylight than having windows, and windows would alleviate the blank wall. The house has so many nice windows and a blank wall is jarring.

John Eddy, 227 E. Palace, Suite D, said he liked Ms. Beninato's feedback on the massing of the back wall. He agreed a couple of windows would help break up the massing, but it is not a big deal. The shed-brow over the addition, is a clever and creative way to blend the addition to the rest of the house. He commended the applicant and appreciated his willingness to work with the Board.

Chair Rios asked which direction the blank wall faced.

Ms. Bordegaray replied it is facing the backyard on the north.

She added that the applicant mentioned the stucco, which is a unique feature of the house, which had been painted. She wanted to confirm the proposal is for cementitious stucco. The letter stated the contractor wouldn't lath the house but will apply cementitious stucco over the painted portion.

Mr. Tison said that was his understanding. They have used the same contractor for years and he was assured the contractor will maintain the skip-trowel finish that exists.

He said behind the north wall is a large elm tree that shades the area, but nothing can be seen except roofs. The skylights will have insulating shades that can be closed in the winter at night which increases the R value the same as a shade covering a window.

Member Biedscheid asked if the new door on the west elevation was shown correctly and is a 3 over wood door, not a solid wood.

Mr. Tison explained he liked the lights over the top and three wood panels below. it is like other houses in the neighborhood and to his current front door. The drawing shows it correctly.

BOARD DISCUSSION

MOTION: In Case #2020-002813-HDRB, 247 Anita Place, Vice Chair Katz moved to approve the application as submitted. Member Bienvenu seconded the motion.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Katz, Larson and Roybal voting in favor and none voting against.

2. **Case #2020-002916-HDRB. 481 Arroyo Tenorio.** Downtown and Eastside Historic District. D'Angelico Enterprises Inc., agent for David and Anna-Karin Dillard, owners, proposes to construct a greenhouse addition on a non-contributing accessory structure. An exception is requested to Downtown and Eastside Design Standards (14-5.2(E)). (Nicole Ramirez Thomas/Angela Schackel Bordegaray)

Ms. Ramirez Thomas presented the Staff report.

STAFF REPORT

481 Arroyo Tenorio is a single-family residence and garage built in the Territorial Revival style and was designated as non-contributing to the Downtown and Eastside Historic District in 2008 (H-08-028). The main house is believed to have been constructed in the early 1930s and had some minor alterations, which are not specified on the Historic Building Inventory form (dated September 19, 1984), in the 1980s. The property formerly had a guest house with a carport but the guest house is now independently addressed as 491 Arroyo Tenorio. And resolving the violation.

An update to the initial inventory of the property was done in 2006. The photo on the form shows a long (slightly sagging) portal, windows with broad wood trim, wood chamfered square columns with a small capital at the top, brick coping along the parapet of the flat roofs of the house and the portal, and long canales. The exterior of the building is stuccoed. The windows are described as lacking integrity due to replacement with plate glass and likely loss of original wood elements and are likely the reason for a non-contributing status along with the non-historic additions to the house in the 1980s. The garage and guest house were both listed as recent additions in 2006 with no date of construction given, they were however

also part of the non-contributing status designation for the property at the time of the 2008 HDRB case.

The applicant requests the addition of a non-Santa Fe style greenhouse structure to the north elevation of existing 600 square foot garage. An exception is requested. In addition, the applicant is requesting to resolve a Notice of Violation (NOV) for installation of three mini-split units to the main residence and re-roof of the garage.

A river stone wall lines the street front of the property. It has not been evaluated for status, but no change is requested to the wall at this time. The existing vehicle gate for the property was added circa 2008 and the design for the gate was part of the approval for the 2008 case that came to the HDRB. While obscured from view on Arroyo Tenorio because of the river stone wall, the proposed greenhouse structure is considered publicly visible based on previous HDRB discussions about visibility and yard walls and fences.

The applicant proposes the following remodel to the garage:

1. Construct a stem wall and greenhouse structure to the back of the garage (north elevation) to measure 225 square feet for the footprint of the addition and to be built to a height of 11 feet 6 inches.

- a. Construct a stem wall of cinderblock on the west and north sides of the greenhouse. The stem wall will be finished in stucco on the interior and faced with a decorative river rock veneer. The stem wall will be capped with flagstone.
- b. The greenhouse structure, which will sit atop the stem wall, will have a gray powder-coated aluminum frame, glass, and will have two doors (one on the east elevation and the other on the west elevation). It will be attached to the garage at the top of its frame and at the stem wall in an effort to create minimal impact to the garage. The greenhouse will not exceed the existing height of the garage. As with many greenhouses, the design does not comply with the Downtown and Eastside Historic District standards and the applicants request an exception to 14-5.2(E). The relevant code citation and exception responses are provided below.
- c. In response to the Board's comments on the case on January 28, 2021, the applicant redesigned the publicly visible south elevation of the greenhouse. This

elevation will now be a stucco wall with a door and window. In this way, no greenhouse glass is visible from the Arroyo Tenorio streetscape.

2. The applicant wishes to resolve a NOV issued by the Historic Preservation Division and requests approval of the mini-split units on the roof of the main residence and the re-roof of the garage.

- a. The installation of three mini-split units; two on the main house and one on the garage. The units were placed on the roof of the house and garage at the time the property was for sale and prior to the current owner's purchase of the property. No administrative approval was requested for the mini-split unit. The applicant proposes to screen the mini-split units with a stuccoed wood screen. The stucco will match the existing structures.
- b. Re-roof for the garage. A re-roof for the house was approved administratively in 2020 but the request for re-roof of the garage was not requested at that time. The re-roof of the garage was discovered during an inspection for the swimming pool. The swimming pool was approved administratively in 2020. The re-roof included removal of the roof and replacement with a bitumen roof.

No exception for visible roof-top appurtenances was requested, though responses were provided by the applicant. Per 14-5.2(D)(3)(B), an exception is only required for roof top appurtenances for significant and landmark structures. However, it is recognized that in the Downtown and Eastside Historic District concealment of roof top equipment is needed per 14-5.2(E)(1)(D).

3. The applicant requests approval to stucco the courtyard interior. No stucco color was named for the project, but the applicant will provide testimony at the hearing. The current stucco color is El Rey cementitious "Buckskin."

RESPONSES FOR A REQUEST FOR AN EXCEPTION TO THE DOWNTOWN AND EASTSIDE HISTORIC DISTRICTS DESIGN STANDARDS (14-5.2(E)) PER 14-5.2(D)(b) DESIGN STANDARDS AND SIGNAGE

(i) Do not damage the character of the district;

Applicant Response: It is likely that the proposed design of the greenhouse structure may have little to no impact on the district and contains contributing design elements in regard to the Downtown and Eastside Design Standards because of the following:

1. The proposed greenhouse design will include a contributing river rock stem wall that will match the existing historic exterior of the property.
2. The structure will be stuccoed to match the existing stucco in areas where it may be needed in order to create a sense of historic continuity for homeowners to whom it will not be primarily visible to as the location of the proposed greenhouse is planned to sit with-in the inner walled courtyard of the additionally walled off property. The two existing walls will offer almost zero visibility to neighbors and the surrounding public streets.

Staff Response: Staff agrees with the response. The design of the greenhouse does not affect the character of the district.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare;

Applicant Response: Upon the homeowners recent purchase of 481 Arroyo Tenorio, please take into consideration their full application of all that they hope to embrace from what their new location has to offer and how it is now part of their lifestyle, health, and wellbeing. The homeowners wish to expand and supplement their lifestyle of health and wellbeing as sustainably and efficiently as possible by taking advantage of the therapeutic opportunities and activities that the proposed greenhouse will facilitate at this time in their lives. It is likely that, in order to replicate the benefits of having a greenhouse, the homeowners would have to make a significant effort to maintain those therapeutic opportunities elsewhere or may not be able to access those opportunities depending on their availability.

Staff Response: Staff agrees that there are sustainable aspects to a greenhouse structure that can prevent hardship.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Applicant Response: There are no known historic greenhouse design standards for greenhouses to follow. However, greenhouses still currently exist in historic districts.

The exterior design of the proposed greenhouse is specifically designed to accommodate maximum efficiency based on the manufacturer's engineering. However, the design elements that are included that do not compromise the integrity of the engineering have been incorporated to contribute to the historic value of the district. That being,

1. The proposed greenhouse design will include a contributing river rock stem wall that will match the existing historic exterior of the property.
2. The structure will be stuccoed to match the existing stucco in areas where it may be needed in order to create a sense of historic continuity for homeowners to whom it will not be primarily visible to as the location of the proposed greenhouse is planned to sit with-in the inner walled courtyard of the additionally walled off property. The two existing walls will offer almost zero visibility to neighbors and the surrounding public streets.

Staff Response: Staff agrees that specific design of greenhouse structures within the districts is not specifically defined, but greenhouses do contribute to the heterogeneity of that allows people to continue to live in the historic districts. Other designs were not presented but can be discussed by the applicant at the hearing.

RELEVANT CODE CITATIONS

14-5.2(E) Downtown and Eastside Historic District

(1) Old Santa Fe Style

(b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section.

STAFF RECOMMENDATION

Staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for All H Districts and the exception to 14-5.2(E) Downtown and Eastside Historic Design Standards has been met.

QUESTIONS FOR STAFF

Chair Rios asked the distance from the street wall to the proposed greenhouse.

Ms. Ramirez Thomas didn't know. She displayed the site showing locations.

Chair Rios thought it appeared quite a ways from the wall and she would ask the applicant. She asked to confirm from the street you could see a stucco slanted wall. She assumed you could not see any glass.

Ms. Ramirez Thomas said she wouldn't. She displayed the illustration of the greenhouse window and door.

Mr. Roybal thanked the applicant for a great job of meeting the requests of the Board. He applauded the applicant for "an amazing job."

Vice Chair Katz asked if the door to the left is like the other multi-pane doors.

Ms. Ramirez Thomas said all of the doors have divided lights. There is a window that is not 30" on diagonal, but it is not divided lite. The door proposed to be the divided light will go into the garage.

Vice Chair Katz said he wasn't clear from the packet what the stucco would be applied to and he was hoping it wouldn't be plywood.

Ms. Ramirez Thomas suggested the applicant respond. She thought it was a custom design for the greenhouse. It will be a more robust and congruent stucco application.

APPLICANT'S PRESENTATION

John Santos, with Dean Jellico Enterprises, 1718 Cerrillos Road, was sworn.

Chair Rios asked for the distance from the street wall to the greenhouse and another question was what kind of stucco is applied to on the slanted wall.

Mr. Santos explained the distance is 50 feet from the stucco wall to the existing stone wall. The application of the stucco wall will be engineered with the proposed greenhouse. It will be 2x6 plywood sheeting with the normal stucco process of paper, the lath, the brown coat, and stucco. The image shows sharp lines, but he will follow rounded edges that are more consistent with the house.

QUESTIONS FOR APPLICANT

There were no other questions for the applicant.

PUBLIC HEARING

Mr. Eddy, previously sworn, found the sharp angles jarring and a departure from the architecture of the house. The garden wall has a beautiful undulation on both ends of the wall. Creating undulations on the angled wall of the greenhouse to make it similar to the garden wall would make it less jarring. The height of the wall could be raised closer to that of the gate entrance. Possibly, the undulation could be matched on that side as well. He admitted he was obviously redesigning but wondered how others felt about the hardness of the angle.

Ms. Beninato, previously sworn, said she wondered why the applicant didn't do a free-standing greenhouse north of the pool. She agreed about the sharp angle. She asked, since they are doing 2 x 6 construction if there could be a step-down parapet to be more in keeping with other parts of the building. She thought the angle disharmonious with the structure.

Will McDonald, 488 Arroyo Tenorio was sworn. He lives directly across the street and sees the front of the house from his kitchen window. He displayed a photograph that showed the rooftop appurtenances on the garage. He showed a close up of the mini condenser and a satellite dish. He wasn't sure what purpose the satellite dish served, possibly it was for the guest house, but he sees these every day. He would appreciate it if they were removed. The mini-split condenser apparently cools something in the garage, and he would like that addressed.

Chair Rios allowed Mr. McDonald to continue speaking after two minutes.

Mr. McDonald showed photographs of the façade with the greenhouse. He said he could see quite a bit of the greenhouse and didn't feel it had a negative impact. But further west, looking back, he took a photograph from the street and noted you will be able to see the glass of the greenhouse. It is not as invisible as portrayed.

Chair Rios asked how much of the glass could be seen and from where.

Ms. Ramirez Thomas displayed a street view of the greenhouse.

Chair Rios asked the purpose of the satellite dish and mini-split condenser.

Mr. Santos replied he wasn't sure VIYR the purpose of the satellite, possibly it is not being used. He didn't know and couldn't answer.

Chair Rios confirmed if the satellite services are not being used, it could be removed. She asked about the mini-split.

Mr. Santos said the mini split is for cooling. The three options given at the last meeting were to remove, screen, or paint the unit. The most complicated and expensive would be removing the system more than screening. Painting is the most convenient, but the applicant is willing to do what the Board recommends.

Vice Chair Katz followed up on Mr. Eddy's comment about softening the stuccoed wall. He asked if the wall could step down or undulate, so the angle wasn't as sharp.

Mr. Santos replied doing that would be a design challenge because of the pitch. They tried to adjust the pitch as much as possible, considering the sharp angle and nature of the garden wall. There were two approaches, to alter the slope of the greenhouse to match the garden wall, or for the garden wall to match the greenhouse wall. The existing step downs are curved and not extremely angled. But with the garden wall accent on top of the greenhouse wall, you would still have an angled slope. It would look awkward. The slope was left as it was because it seemed less visually distracting.

Mr. Santos said the ceiling of the greenhouse is sloped and also creates an awkward visual for the resident. They tried to accommodate the front that is visible as much as possible. Potentially they could add a subtle accent but wasn't sure that would be effective. The biggest visual conflict is the extreme slope and flat angle of the garden wall. It conflicts in a lot of ways and has been a challenge. Even doing a curved step down it will still put it into an extreme slope.

Mr. Santos said they were open to any recommendations to make this work.

Chair Rios thanked Mr. Santos for his cooperative spirit. She asked the length of the angled wall, corner to corner from the tallest to the lowest part.

Mr. Santos replied it is 15' 6" or so. It will be bigger than the greenhouse. From the other side of the greenhouse there is an envelope extending 6-8 feet.

Member Larson didn't have an issue with the angle on the wall, but the stucco looked squared off in the renderings. It would look nicer if the stucco were rounded. Her suggestion was a parapet rather than being flush with the greenhouse wall that would add more step down to match the yard wall. She realized that having the structure going all the way up to the parapet on the regular house, could be a challenge.

Member Bienvenu agreed with the comments. He found it looked extremely geometric. He thought if this were completely visible from the road it would probably be unacceptable. He was concerned upon learning that more glass will be visible from some places on the road. That might be minimal, but what is visible is just the top portion of the structure. What is proposed will solve the public part if something can be done along the top to mimic the undulating pattern or for a step down pattern on the wall. The challenge then will be to integrate that with the rest of what is not publicly visible.

Member Bienvenu thought making those modifications will fit with what the Board was seeking at the last hearing. He appreciated the applicant's ongoing willingness to accommodate the additional concerns.

He asked Mr. Santos if he knew the cost to put the mini splits on the ground.

Mr. Santos replied it is around \$2,000 for the one on the garage with repairs to the roof, the removal and labor. The residence mini-split is already fully screened and is not visible.

Member Bienvenu felt that was not unreasonable. He believed the Board would have required the condensers be on the ground originally. He was in favor of that as the solution to the issue.

Ms. Paez noted that Ms. Beninato wanted to comment again, and Mr. McDonald had been allowed to speak longer than two minutes.

Chair Rios called on Ms. Beninato.

Ms. Beninato commented that in the photograph she saw you could still see a couple of inches of the mini-split even with the shielding. The request that it be on the ground is appropriate as it was done without approval. If they allow the condenser to be shielded, it should be higher than the condenser to be not visible from the road.

Chair Rios asked if Mr. Santos about his statement that two of the mini-splits were already shielded and there was only one to shield or put on the ground.

Mr. Santos replied the one on the residence is screened and not visible. The one shown in the photograph is on the garage and was inherited by the new owners.

Ms. Ramirez Thomas understood they were installed by the real estate agent . She confirmed two are already screened. The one on the garage has just a bit of the screen closest to the house that can be seen.

ACTION OF THE BOARD

MOTION: In Case #2020-00 2916-HDRB. 481 Arroyo Tenorio, Vice Chair Katz moved to approve the application with the conditions that 1) The roof top appurtenances, the mini-split and satellite dish on the garage be removed to the ground. 2) Effort made to minimize the straight angled line of the greenhouse that will be stuccoed through stepping down at the top, etc. Member Bienvenu seconded the motion.

Member Bienvenu requested a friendly amendment for the radius of the stucco corners visible on the new greenhouse match those on the existing structure. Vice Chair Katz accepted the amendment.

Chair Rios requested the mini-splits visible from any angle on Arroyo Tenorio, be fully screened. Vice Chair Katz accepted the friendly amendment.

Ms. Ramirez Thomas reminded them about the approval of the reroof so the violation is addressed.

Vice Chair Katz added to the motion that the reroof that was done is approved. Member Bienvenu agreed.

VOTE: The motion passed by majority (4-1) roll call vote with Members Biedscheid, Bienvenu, Katz and Larson voting in favor and Member Roybal voting against.

3. **Case #2020-001979-HDRB. 613 Canyon Road.** Downtown and Eastside Historic District. Craig Hoopes and Associates, agent for Canyon Room Holdings, owner, proposes to raise the roof, replace and repair windows and doors, reopen an enclosed portal, and other general maintenance on a contributing residential structure, replace windows and doors, install a courtyard, and stucco a non-contributing residential structure, and demolish all non-contributing structures on the tract A which includes a triplex, 2 storage sheds, and a well house. (Daniel Schwab)

Mr. Schwab presented the report and shared slides of the complex and different structures.

STAFF REPORT

613 Canyon Road is a property with four existing buildings and numerous additional accessory buildings.

Unit B, also known as the Vigil Residence, is designated contributing. It is located in the northeast portion of the property. Unit C1 and C2 (or the Duplex) is also contributing. It is located on the central-east portion of the property, directly south of Unit B. Tract A contains numerous structures that are all non-historic, constructed in the 1970s. Tract A is located in the northwest portion of the property. Unit B is designated contributing. It is known as the Vigil Residence. It is approximately 2000 square feet, mostly from adobe. In case H-18-084-A, the southwestern corner of the structure was designated primary. On the south façade is a cantilevered roof dating from the 1960s and non-historic doors.

Portions of the ceiling of Unit B do not meet IBC code requirements and it is constructed within a setback. The Board of Adjustment has granted the applicant a variance to increase the height and it will be raised to a parapet height of 11 feet. The maximum allowable height is 16 feet. The windows on the primary façades will be repaired. All others will be replaced. They will have divided light patterns and exposed heavy timber lintels. One small window in the rear of the building will be in-filled. The structure will be re-stuccoed using cementitious El-Rey stucco colored "Adobe". A portal that was enclosed in the past to form an entry will be re-established.

Unit C1 and C2 is also contributing. The applicant proposes to replace all windows with metal clad replacements with divided lights. The historic doors will be retained. A small portal matching that on the north elevation will be constructed on the south, non-primary elevation of the structure. It will be then restuccoed in cementitious El Rey "Adobe" and a small courtyard created with CMU walls to a height of 5 feet 6 inches.

The units in Tract A are to be demolished. This includes the triplex, two non-historic wooden accessory sheds and one non-historic well-house built over an abandoned well. It is intended not to propose a new construction for this tract at the present time.

The portal is no longer being applied for because it would require an exception.

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Chair Rios asked the number of buildings proposed for demolition.

Mr. Schwab replied it is the apartment plus the two small outbuildings.

Chair Rios noted that Mr. Schwab indicated the Tract A buildings were built in the 1970's, but she read they were built in the 1980's. She asked to confirm. Mr. Schwab did not know. She said she would ask the applicant.

Member Biedscheid confirmed the historic doors on the east elevation will be retained.

Mr. Schwab said he couldn't remember where he got the information, but he came to the conclusion the doors were possibly historic.

Member Biedscheid said she couldn't tell if the doors are being retained because in the façade drawings they appear different than in the proposed.

Mr. Schwab thought it a non-historic door on the east elevation.

Ms. Ramirez Thomas said she presented the case a few years ago before the Board and the doors were not historic.

APPLICANT'S PRESENTATION

Charles Rosenberg, 333 Montezuma Ave. was sworn and made no presentation.

QUESTIONS FOR APPLICANT

Chair Rios asked if the buildings in Tract A are from the 1970's or '80s.

Mr. Rosenberg said he was before the Board a couple of years ago to confirm status of the buildings. John Murphy did an extensive report, and his research showed the buildings were from the 1970's.

Chair Rios confirmed he did not propose to replace any historic windows or doors on the primary façades.

Member Biedscheid indicated a photograph in the HCPI report with a description saying portal walls are painted white with original rustic wood panel doors. She asked Mr. Rosenberg what would happen with the two doors.

Mr. Rosenberg replied it is difficult to see in the photograph, but they will remove the screen door that is in front of the wooden door, but not the wooden door.

PUBLIC HEARING

Stephanie Beninato asked to clarify whether the portal will or will not be restored. She questioned how the Board of Adjustment does approvals before coming to the HDRB. If nothing is being done to a primary façade and the building is not 50 years old, the Board doesn't have jurisdiction to object to the buildings proposed for demolition.

Chair Rios pointed out if the buildings were built in 1970 so they are now 51 years old.

John Eddy questioned demolition on the apartment on Tract A. The additional sheds built in that area are inconsequential. A lot of his friends had rented these homes at that time and this was a family compound shared with outsiders. He agreed the infill over the portal should disappear. He was curious if the fireplace within the portal will remain and continue to be visible to the public.

Mr. Schwab reported that the plan shows the fireplace is not in the portal, it is in the adjacent office and will be retained.

ACTION OF THE BOARD

MOTION: In Case #2020-001979-HDRB, 613 Canyon Road, Vice Chair Katz moved to approve as submitted. Member Bienvenu seconded the motion.

Member Bienvenu asked Staff if Findings are needed that the standards for demolition were met.

Mr. Schwab replied that wasn't needed.

Ms. Ramirez Thomas disagreed. Member Bienvenu was correct that the Board should affirm the evaluation of the demolition standards.

Member Bienvenu requested a friendly amendment that the motion include that all applicable standards for demolition set forth in Chapter 14.3-14 have been met. Vice Chair Katz accepted the friendly amendment.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Katz, Larson and Roybal voting in favor and none voting against.

4. **Case #2021-003113-HDRB. 324 Staab Street.** Downtown and Eastside Historic District. Will McDonald, agent for Sterling Resource Group, owner proposes to alter the roof style, reconfigure windows, and stucco the residence and yardwall on a contributing residential property. (Angela Schackel Bordegaray)

Ms. Bordegaray provided the Staff report.

STAFF REPORT

324 Staab Street is a contributing structure to the Downtown and Eastside Historic District. The Sandoval House is best described as simplified Spanish-Pueblo Revival style first built in 1930s, with two additions added by 1942, in the common accretion pattern of historic adobe buildings. It has three masses connected: two symmetrical wings and a tall center section. It has a flat roof and rounded corners. A historical feature is its simple nature with no ornamentation. The structure has been a duplex for a long time. It has undergone minor alterations.

Recently, the applicant received H-Board approval to add a shed portal to the front north façade of the house between the building's two wings. Also approved was a re-roof and re-stucco of the entire structure (Case #2020-002535-HDRB).

The current proposal consists of alterations to the rear of the house to both units A and B. The following are changes proposed:

Unit A

1. Replace two windows on the center of the south elevation. New windows will be SierraPacific white aluminum clad casements.
2. Replace door on the southern portion of the west elevation. New door will be whitealuminum clad with glass.
3. Remove existing overhang above the door.
4. Replace window and resize window opening on south elevation. New window will be an awning window smaller than the existing window. The new window will be Sierra Pacific white aluminum clad.
5. Replace window on the southern portion of the east elevation. In its place will be a trioof windows: a center picture window flanked by two casement windows. The new windows will be Sierra Pacific white aluminum clad.
6. Replace window on center portion of east elevation. New window will be Sierra Pacificwhite aluminum clad casement.
7. The applicant proposes to reroof the shed roof of the southeastern corner "Bedroom Two".

Unit B

8. Replace window on south end of west elevation and door on south end of south elevation. New windows will be Sierra Pacific white aluminum clad. The new door willbe white aluminum clad with glass.
9. Applicant proposes to remove existing overhang over the door.

Units A and B (Entire structure)

10. The applicant proposes to refurbish the windows on the primary north façade and windows on the east and west facades. The applicant proposes to paint the windows white to match white cladding of the new windows.
11. Add six skylights located behind parapets.
12. Restucco the entire house with elastomeric El Rey, color “Tumbleweed” similar to the existing El Rey “Suede.” A color swatch is included in the case packet.
13. Restucco front yard wall to match house, El Rey “Tumbleweed.”

Staff notes that the applicant received a temporary permit to demolish the eastern half of the historically contributing concrete masonry yard wall during construction. This permit conditions are that the demolished wall portion that was removed be replaced in-kind with respect to design, materials, style, and height, material, and style.

STAFF RECOMMENDATION

Staff finds that the proposal meets the 14-5.2(D) General Design Standards for all H Districts, and the 14-5.2(E) Downtown and Eastside Historic District Standards. Staff conditions approval of this proposal on replacement of the east side of the front yard wall upon final inspection.

QUESTIONS FOR STAFF

Chair Rios asked to confirm the wall was designated as contributing. She asked if the wall will be rebuilt since they were given permission to demolish.

Ms. Bordegaray said the wall is contributing and it will be rebuilt in-kind in material, color, height, etc.

Chair Rios asked from what street would the proposed alterations be publicly visible.

Ms. Bordegaray said none are visible, it is in the back of the house.

Chair Rios asked if there is a wall or fence in back.

Ms. Bordegaray said the applicant could speak to that. She did not know.

Chair Rios asked to confirm that all of the windows proposed will have divided lights.

Ms. Bordegaray explained there are both divided and undivided. The non divided are on the south elevation where they will remove wooden casements and replace with lights that are not divided.

Chair Rios asked if that would be approved because they are not on a primary façade.

Ms. Bordegaray said they are not primary façades. She thought the applicant could address why the windows would be different

Chair Rios confirmed that the windows would not be visible from a public way.

She noted six skylights are proposed. She assumed they would be low profile and the motion should include they cannot be seen.

Ms. Ramirez Thomas brought up Google to view the back of the land. She displayed the south side of the street and a view of the primary elevations, east, south and west. The backyard had had no public visibility.

Member Larson asked if Ms. Bordegaray if she said some windows on the primary façade had grilles.

Ms. Bordegaray replied there are grilles on the front of the house. She displayed the windows. The date of the windows is unknown, they are non-historic and most likely added in the 1980's.

Member Larson asked if the date of the distinctive paint colors on the steel windows was known.

Ms. Bordegaray didn't know but suggested the applicant may know.

QUESTIONS FOR APPLICANT

Mr. McDonald said he didn't know the date on the windows, but they are old-fashioned casement windows. The concrete sills underneath indicate a previous window was there and he thought steel casement windows were probably

1950's. He did not know the age of the color. They are proposing white, but the windows on the back that will be replaced they would like to keep red. Both sets of windows cannot be seen at once.

He asked to display the south elevations and said on the divided lights, Code in 14-5.2 (D?)1.c, says single panes of glass larger than 30 inches are not permissible except otherwise provided by this section. But in 14-5.2 (E).2 Code says, "*Windows, doors, and portals on publicly visible portions of buildings and walls shall be one of the Old Santa Fe styles.*" And in regard to the light divisions, "*except in buildings which may have larger plate glass areas.*" Because this is not on a publicly visible portion of the building he reads that to mean non divided lights are acceptable. It is a question of cost, but he wouldn't fight it. That will not relate to the casements and doors.

He said the three awnings in a row on the south are 24 inches square. He believed they met minimum diagonal.

Chair Rios said she would guess that the proposed six skylights are low profile.

Mr. McDonald replied yes, and in any case, they have tall parapets on this house. Whatever they put there will not be publicly visible.

Member Larson asked about the paint colors. She finds that defining of the time period of the house. She said it would be ideal if he brought a sample for the Board to see to make a more informed decision on approving a change in color. She thanked Mr. McDonald for being flexible.

Mr. McDonald said he was willing for the color to remain red.

Ms. Ramirez Thomas asked if the stucco is elastomeric.

Mr. McDonald replied it is for the entire house and a matter of keeping the costs down.

Chair Rios confirmed this is a contributing house and the original stucco was cementitious. She said normally the Board encourages applicants continue the original, cementitious.

Mr. McDonald said he could live with that.

Member Biedscheid asked that the concrete sills be preserved and not stuccoed over.

Mr. McDonald explained they are currently stuccoed over from he thought, the installation of the steel casements. It would take some effort to clean them and they would prefer not.

Member Biedscheid said she didn't intend that he remove the stucco. She was hoping that the application of the stucco wouldn't change the general shape.

Mr. McDonald replied no they will add stucco, but it will not change the look. He believed the concrete sill preserves the nature of the historic building.

PUBLIC HEARING

Ms. Beninato (previously sworn) said on the windows on the east and west side, Mr. McDonald indicated at least one of those will be publicly visible. There should be more discussion on how visually compatible a white window and a red window will be. And if there will be a disruption of harmony with the changes to the windows. She preferred divided lite windows on Unit B and agreed Unit A, the window interferes with the view of the façade. She found it ironic they insisted on having a portal. Not just an eyebrow over the primary façade of the front door but one that extended over the entire building. Yet they want to remove the windows on the back. Especially for the window on Unit B it would seem they would keep that for practicality. The floor plan shows that windows, at least from the east side, will be visible from an angle.

John Eddy (previously sworn) appreciated that the stucco should remain cementitious in this district was brought up.

BOARD DISCUSSION

Chair Rios asked to see the east and west elevations.

Mr. McDonald addressed Ms. Beninato's comment that on the end of the proposed east elevation at the south end, it is slightly visible from the street. He agreed now that they have discussed keeping the windows red they should match. Both of those windows will be visible at the same time. All of the windows on that side will be cladding for the new windows matching the red, and the others will be painted. None of the west is visible because the fence is about 3 feet from the

property line. The windows will be refurbished and can be painted the same as the front. Those are probably not visible about half the year because of vegetation and the fence.

Member Biedscheid preferred the windows and doors be the same color. She asked Staff if Code has a provision requiring a single color in this district.

Ms. Ramirez Thomas said there is no provision to require that. She agreed it should have continuity of color in the windows, doors and general style of the house.

Ms. Paez asked they may be thinking about the provision that requires all exterior walls to be painted the same. There isn't one that applies to the windows.

Chair Rios agreed that makes more sense for all windows to be the same color.

Mr. McDonald also agreed and said doing red around the house will be fine.

ACTION OF THE BOARD

MOTION: In Case #2020-00113-HDRB, 324 Staab Street, Member Larson moved to approve the application with the following requirements, 1) All approved windows should match the existing red color of the north façade; 2) Unit B is approved with the matching red color and 3) Units A and B, all items are approved with the condition that the stucco be cementitious instead of elastomeric. Member Biedscheid seconded the motion.

Chair Rios made a friendly amendment that none of the skylights are visible.

Member Larson accepted the friendly amendment as did Member Biedscheid.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Katz, Larson and Roybal voting in favor and none voting against.

H. NEW BUSINESS

1. **Case #2020-002791-HDRB. 530 Garcia Street.** Downtown and Eastside Historic District. Christopher Purvis, agent for Beverly Foust, owner, requests historic status review and primary façade designation, if applicable, for a non-contributing residential structure. (Angela Schackel Bordegaray) ***This Case is postponed.***
2. **Case #2021-003109-HDRB. 128 West Berger Street.** Don Gaspar Area Historic District. David Smith, agent/owner, requests a historic status review of a yardwall on a non-contributing residential property. (Daniel Schwab, 955-6660, dnschwab@santafenm.gov)

Mr. Schwab presented the report.

STAFF REPORT

128 West Berger Street is a property with non-contributing status to the Don Gaspar Area Historic District. The existing shed was already reviewed for status in 2018, but the street-lining yard wall was not designated.

The wall was built in around 1960 of concrete masonry and has been plastered several times since then. There are a number of similarly high walls close to the street in this streetscape.

STAFF RECOMMENDATION 222:31

Staff recommends the historic status of the structure be maintained as non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

Chair Rios reminded the Board members this was only a historic status review of the wall.

QUESTIONS FOR STAFF

None

APPLICANT'S PRESENTATION

David Smith, 142 West Berger Street, was sworn.

Chair Rios confirmed that Mr. Smith agreed with the Staff recommendation to keep the status noncontributing. She said she agreed this should remain noncontributing. She pointed out the walls in the neighborhood were either short or no wall and they keep getting higher.

PUBLIC HEARING

John Eddy said he remembered how short the walls were and if you saw a really high wall it communicated the person probably had more money. It is expensive to build a wall, it doesn't provide a roof, it basically defines your property and gives a modicum of privacy or at least boundary. Shorter walls remind them of a humbler time and why he is taken aback when he sees a really high wall. He knew Chair Rios took a lot of care with this consideration. He encouraged the Board continue to do that as well.

Stefanie Beninato agreed with John Eddy. This is not about privacy but about defining boundaries. Lower walls are more friendly, and it wasn't about keeping people out. High walls are not a deterrent, they allow crime. If someone gets over the wall you can't see what is going on. High walls have made Santa Fe less of a community in terms of interaction with neighbors. She hoped the owner's proposal will keep that in mind.

BOARD DISCUSSION

Chair Rios commented that walls in Santa Fe have been increasing in height for years. Now, often that is how people identify Santa Fe. She has friends visit who are astounded at the number of homes with high walls.

ACTION OF THE BOARD

MOTION: In Case #2021-003109-HDRB, 128 West Berger Street, Member Larson moved to approve per Staff recommendation to keep the status noncontributing. Member Biedscheid seconded the motion.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Katz, Larson and Roybal voting in favor and none voting against.

3. **Case #2021-003110-HDRB. 128 West Berger Street.** Don Gaspar Area Historic District. David Smith, agent/owner, proposes to remove a portion of a non-contributing yardwall and install a vehicle gate to a height of 4 feet 7 inches. (Daniel Schwab, 955-6660, dnschwab@santafenm.gov)

STAFF REPORT

Mr. Schwab presented his report from memory.

128 West Berger Street is a property with non-contributing status with a noncontributing wall in the Don Gaspar Area Historic District. The shed in the back of the lot was designated non-contributing.

The lot was part of a consolidation in 2018 so that no access is currently available from the street. The applicant now proposes to create a 14 foot wide opening to allow access to the lot and the apartments located on it. This will include a gate that will be constructed to a height of 4 feet 7 inches, which is the maximum allowable wall height. It will be a "Sage" green steel frame to match the house with a wood infill with a Cedar wood stain.

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Chair Rios asked if the proposed gate was solid or could be seen through.

Mr. Schwab explained it has a metal frame with wood panels in between and you cannot see through it.

Member Biedscheid confirmed the allowable height is 4'7", the same height of the proposed gate. She thought it looked shorter than the wall. She asked if the wall is nonconforming.

Mr. Schwab replied yes, it exceeds the allowable maximum height.

Member Biedscheid asked if there is an opportunity to remedy the wall exceeding maximum or could it be a consideration in approving the gate.

Mr. Schwab said it is not a consideration. The opening meets the guidelines and the existing is considered a legal nonconformity.

Ms. Ramirez Thomas responded there is an opportunity to remedy that. The construction is happening to the wall on both sides and this would not pass inspection. They will need to lower the height to six feet and the front yardwall to streetscape standards.

Ms. Paez said in her experience, they normally allow nonconformities to remain if more than two thirds is kept. Based on earlier cases, you can't increase the nonconformity but if reducing the height, normally it would be approved by zoning.

Mr. Schwab understood from similar cases that this is not a demolition and rebuilding. It is a change to an existing nonconforming wall. Demolition is considered as destroying two thirds of the wall. This is less and can remain a legal nonconformity. It is not required to come into conformance other than the new portion, and that conforms.

Ms. Ramirez Thomas said she didn't see a PZR in the packet. That would answer their question.

Ms. Paez said the box is checked but she didn't see it in the materials presented.

Chair Rios asked Mr. Schwab the height of the existing wall and what height is allowed.

Mr. Schwab said the height of the proposed gate is 4'7" which is same as the maximum allowable height. The existing is at 6'2 inches.

Member Bienvenu said he wondered about the nonconformity as well. The section addressing legal nonconformity is 14-5.2(A)6 and that has two different provisions. One is nonconforming buildings and the other is nonconforming structures. He assumed the wall is a structure and not a building. The section states that for nonconforming buildings they may not be added to or altered in any way unless the proposed addition / alteration would bring the whole to a degree of conformity acceptable to the Board.

Mr. Bienvenu read, for structures Code states, "*Structures not conforming to the style, standards set forth in this section shall be considered nonconforming. No alteration or repair may be made of any such structure other than its removal.*"

Either of those seem to imply the rest of it has to be made conforming or it has to be taken down.

Mr. Schwab said he based his comments on the 868 East Alameda street yardwall. He was advised by the Division Manager of the Land Use Zoning Division that it is a legal nonconformity. It is not a demolition, and changes could be made to it without the wall being brought into conformance.

Member Bienvenu said this doesn't raise the demolition section of the ordinance as much as the nonconforming section. He felt the same about the South Armijo Lane case that nonconforming. In that case building, it is not to be changed other than to bring it into conformance. He thought that section applies in this case.

Mr. Schwab noted that the section being changed is being brought into conformance.

Member Bienvenu read from the ordinance, *"The proposed addition or alteration will bring the whole to a degree of conformity"* for buildings. And for structures they are to be taken down.

Ms. Paez said she has never seen Staff apply (A)6. She usually uses the chapter on nonconforming structures and nonconforming uses. She thought Member Bienvenu's interpretation was reasonable. She read, *"Structures other than buildings, including signs, not conforming to the architectural style or sign standards."* She said that is where she gets lost. An architectural style isn't missing, it's a height limitation. She continued reading, *"shall be considered nonconforming."* She continued, *"No alteration or repair may be made of any such structure other than its removal."* She said that is pretty straightforward and may be a fair application of this, but she has never seen that done.

Mr. Schwab thought the Code provision that governs this is related to *height*.

Ms. Paez said it can be read as suggested. It is problematic that they don't have a PZR that would have been helpful as a zoning review.

Member Bienvenu said it is important section of the ordinance. First, applies it is under the General Provision standard of the ordinance. It clearly has the intent to recognize there will be nonconforming structures when the ordinance was passed, and they want those brought into conformance.

Member Bienvenu thought the intent was that over time, all of the historic districts would conform to general standards. Those that didn't, without a special reason, would be brought into this compliance.

Vice Chair Katz asked to confirm that the 4'7" height is by historic code and not zoning.

Ms. Ramirez Thomas said that was correct.

Vice Chair Katz thought that supported member Bienvenu's analysis that it is part of the style of the non-building structure and subject to the provision.

Ms. Ramirez Thomas noted that she received an email from Noah Berke with Planning. He stated according to current Planning, only the portion being removed would need to come into conformance. She reiterated that her experience with section (A)6, is as Member Bienvenu read. Regarding the PZR, zoning would have signed off on it and would not worry about the 6'2" in height.

Chair Rios asked if the ordinance trumped that.

Ms. Ramirez Thomas explained it can be more restrictive but not less restrictive. And 4'6" is more restrictive because it is by order of the overlay ordinance.

Chair Rios asked to hear from the applicant.

APPLICANT'S PRESENTATION

Mr. Smith said none of this was brought to his attention. He provided history that the gate is mandated by the City because it is two lots. This lot only has access from the driveway on the right of the adjoining property. The wall, for the most part, represents the whole lot and there is no access by the previous owner. They never needed it. He wouldn't be doing anything to the wall except giving access to the other lot, because it takes it takes too much parking from his home. He doesn't want the wall, but the City will require it. In his consultations with Mr. Schwab and Mr. Berke it was never mentioned that the whole wall would have to be four foot seven.

Ms. Paez offered to have Mr. Berke join the meeting. Chair Rios said she would like to hear from him.

Mr. Berke explained when Mr. Smith first approached him it was on a lot line adjustment. They discussed the wall, the visibility, and access to the site. He asked Mr. Smith to get approval from Engineering for a curb cut and they granted him access. It is shown on the plat but was never reviewed for zoning compliance. That includes a visibility triangle for anything over 30 inches. Potentially the triangle may require Mr. Smith to demonstrate that the gate meets the site requirements for access to the street. Demolition of part of the wall or set back from the property line may be required. His division has not received a PZR request, but they would not require the entire wall be brought down to 6 feet. Only that visibility be maintained, and the new portion of the fence/gate be 6 feet or less.

Chair Rios thanked Mr. Berke. She said she found the discussion interesting.

QUESTIONS FOR APPLICANT

Vice Chair Katz asked Mr. Smith if he would be willing to lower the wall to 4'7 inches.

Mr. Smith replied possibly in the future. They might remodel the shed on the back and build a new house behind the wall. He assumed there would be multiple street changes at the time of adding a new house. But this application is just to come into compliance for a legal lot to provide legal access.

Vice Chair Katz said he understood but that would require the wall be lowered to 4 feet 7 inches.

Mr. Smith asked if that was a fact, or under discussion.

Vice Chair Katz said it is under discussion, but he had never known Member Bienvenu to be wrong on a legal issue.

Ms. Ramirez Thomas noted there is some uncertainty based on the traffic engineer not having reviewed if viable for the curb cut entrance. That is an issue too.

Chair Rios asked if possible the application before them may not be appropriate.

Ms. Ramirez Thomas explained that generally the PZR is part of the application given to the applicant with the packet. The applicant would take that to

Current Planning who provides Staff with an approval. The applicant didn't do that and the PZR was missed. The packet says the PZR was not received by Staff and Mr. Berke indicated that the traffic triangle and curb cut may prevent putting in a driveway there.

Chair Rios thought it sounded like a postponement.

Mr. Smith added there is a curb cut permit and Mr. Berke told him something more might be needed to make the wall compliant with visibility. But Mr. Berke never said this could not be accessed from the street.

Ms. Ramirez Thomas agreed a curb cut could happen, but it hasn't been signed off on by the engineer.

PUBLIC HEARING

Ms. Beninato agreed if not requiring demolition of the wall, conformance with the height is required under the historic overlay ordinance. And in this case is more restrictive. She recalled the wall on Alameda was a contributing wall and even though the traffic engineer recommended part of the wall be taken down for sight lines, City Council upheld the Historic Board decision. They asked the owner to work out something with the Board to maintain as much of the wall is possible. It is not asking too much for the current owner, not someone in the future, to bring the structure into conformity. The ordinance is not ambiguous.

Mr. Eddy agreed. He thought having the legal acuity of Member Bienvenu is helpful. The wall will need to be altered and it was unfortunate the applicant was not correctly informed. He thought the Board could not approve the request.

Mr. Smith asked for direction. It appeared that what was needed first he wasn't told about; to go through traffic to find out about the sight lines. He was advised to go to historic first on the status of the wall and the opening. He asked how to get this before the traffic engineer to find out about sightlines before he makes a design decision.

Chair Rios asked Mr. Berke and Ms. Ramirez Thomas to comment.

Ms. Ramirez Thomas explained the packet Mr. Smith received has the Preliminary Zoning Review Sheet (PZR) standards. Mr. Smith should submit that to Mr. Berke's division and will be routed through Traffic.

Mr. Berke agreed that part of the PZR process which didn't happen was a checkmark showing the traffic engineer sign off. He thought they were talking about two different processes. One is on lot consolidation or lot line adjustment, which is an administrative process through his division. His division would look for access and if a PZR had occurred they would have received a guarantee of sight visibility, and the sight triangle. Most likely that would dictate how the application should move forward. He agreed the more restrictive of the two provisions should be applied and sounds like it will be the historic provision since it is more restrictive.

Mr. Smith asked Mr. Berke the height required for visibility.

Mr. Berke said anything over 30 inches has to be set back from the street. The wall is over 30 inches. The status review might tell them if they can remove more portions of the wall. The driveway currently is too small and will not provide access to both lots. He explained they have gone through the Fire Department and the Zoning Review and he thinks the applicant wished to sell the lot. The new owner will get access and have obtained a permit for access, but what that looks like has not been determined.

Chair Rios thanked Mr. Berke.

Ms. Ramirez Thomas apologized for the confusion. She addressed Mr. Smith and explained for future knowledge, the PZR is standard and is required for HDRB applications.

Mr. Smith said he will proceed in that direction but wasn't sure if better to postpone. It may be a totally new design.

Chair Rios suggested postponement would be better for a new design.

Ms. Ramirez Thomas suggested postponement to March 9 and if Mr. Smith is not ready he could be added to the next available agenda.

ACTION OF THE BOARD

MOTION: In Case #2021-003110-HDRB. 128 West Berger Street, Member Bienvenu moved to postponed to March 9, 2021 for redesign consistent with discussion. Vice Chair Katz seconded the motion.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Katz, Larson and Roybal voting in favor and none voting against.

4. **Case #2021-003111-HDRB. 314 North Guadalupe Street.** Westside-Guadalupe Historic District. Andrew Lyons, agent for Jim Heneghan, owner, proposes to construct a freestanding 2,540 sq. ft. residence to the height of 15'0" where the maximum allowable height is 15'1" and 41" high yardwall and pedestrian gate on a contributing property. (Angela Schackel Bordegaray)

Ms. Bordegaray presented the report.

STAFF REPORT

The applicant wishes to construct a 2,540 square feet single-story Spanish-Pueblo Revival style residence on a rectangular site in the Westside-Guadalupe Historic District. The site fronts North Guadalupe Street on the south side. The proposed house will be situated to the north and in front of a 1920s bungalow style house. The existing bungalow is set to the rear of a large lot that is situated at the corner of North Guadalupe and Jose Streets. The bungalow has a historic status of Contributing to the district.

The proposed house will have nearly flat roofs hidden behind parapets and canales. Its front/north elevation is wall-dominated with two facades varying in height. Its proposed height is 15', close to but below the maximum allowable height for this site at 15'1". The house will have a front entry portal on its north façade that matches the house in architectural style. All exposed wood will be stained with Cabot's "Cordovan Brown", and the stain will be used on the exposed wood portion of the galvanized metal-lined canales as well. The applicant proposes a vintage pair of front entry doors to be stained Valspar's "Classic Mahogany".

All but one of the windows will be aluminum-clad wood units, most of which are casements. There are two double-hung units under the front entry portal, and three awning windows in the garage. A vinyl awning window will be installed in the bathroom on the east elevation. Two sets of French doors are proposed on the east elevation. The window and door cladding will be Sierra Pacific "Brown".

The building will have a one-car garage with a metal garage door to be painted to match the stucco. Exterior lights will be antique bronze and rustic brown.

Proposed skylights will be flat Velux-style units, out of public view. The air conditioning condenser will be ground-mounted and located on the east elevation.

A low 41" yard wall will be erected in front of the house at the sidewalk. It will have river rock bases, pilasters and a pedestrian gate. The yard wall height meets the maximum allowable yard wall for this streetscape. The new gate will be constructed of vertical wood planks, with clavos and be stained similar to the front entry doors, "Classic Mahogany".

The new house will be stuccoed with La Habra's "Suffolk" to match the existing yard walls on the site. The yard wall on the west elevation was recently constructed by the owners of the lot behind/south of this site.

The brick paving of the portal will be red, as will the path leading from the portal to the pedestrian gate at the front of the property along North Guadalupe. Story poles were put up.

STAFF RECOMMENDATION

Staff finds that the proposed construction meets the General Design Standards for all Historic Districts, Section 14-5.2 (D); Height 14-5.2(D)(9), and the Westside-Guadalupe Historic District 14-5.2(I).

QUESTIONS FOR STAFF

Chair Rios confirmed the proposal is right on Guadalupe Street and the height is 15 feet. She asked if the house has step-downs and is more than one level.

Ms. Bordegaray replied it is at one level, but the front elevation has a couple of different façades.

Chair Rios confirmed the house is 2500 square feet. She said she assumes the open space is in compliance.

Ms. Bordegaray explained it was a zoning consideration if referring to lot coverage. This has met been reviewed and met the preliminary zoning review standards.

Chair Rios asked if she was seeing different light patterns on the windows on the west elevation.

Ms. Bordegaray believed they were all the same.

Chair Rios asked if the person sending the letter of concern would speak tonight or if Bordegaray could summarize their concerns in regard to the Board.

Ms. Ramirez Thomas noted that the person is present and intends to comment.

Member Biedscheid asked to clarify that the existing bungalow on the property is the proposed residence.

Ms. Bordegaray explained it is on a separate lot behind this project. She thought there was a lot split.

Member Biedscheid explained she was asking because the bungalow is a contributing structure. Her concern is the impact to the unique setback from Guadalupe of the contributing status of the bungalow. It certainly blocks the view and inhibits its ability to contribute to the streetscape. She wasn't sure how to look at that if separate properties.

APPLICANT'S PRESENTATION

Andrew Lyons, PO Box 8858, was sworn. He clarified that in this zoning district there are no lot coverage restrictions that apply. The lot coverage is 27.8% between the two houses. Secondly, the bungalow is on the same property at the southern end.

Three new houses are being built at same time and will be subdivided at some point. The property beyond is where three new houses are being built. The property was recently subdivided. The site plan shows the existing bungalow to the south and the proposed new house to the north on one lot.

Lastly, the height of the proposed house varies. The portal is the lowest section, there is an enclosed section for a bathroom and closet behind the two windows, and the higher areas are the living room, dining room, and kitchen. Moving south toward the bungalow the structure drops 2 feet over the bedrooms and drops again to the garage.

QUESTIONS FOR APPLICANT

Chair Rios asked if the light patterns on the windows were the same.

Mr. Lyons was not sure what she meant. He noted on the elevation displayed that the two windows in the bedrooms are wider than the window in the living room and the tall skinny French doors. The door has divided lights but is not wide enough for vertical mullion so there are horizontal divisions.

Member Roybal asked if the corners will be rounded because the drawings show sharp corners.

Mr. Lyons replied yes, the intent is to be the classic Pueblo Revival with rounded corners and parapets and a softer look.

PUBLIC HEARING

Ms. Beninato said this property epitomizes greed in Santa Fe. The bungalow house was the sole structure on the property. The back lot was supposed to be two, but the owner put three units. There was a lot of discussion about the wall coming down the driveway and if the garbage pails could be put in front. She recalled one lot. Now the original house will be outsized by the new house.

She thought zoning requirements limited a new structure at 50% or no more than 100% of the existing house. The contributing house will now look like the guest unit. This will obscure the contributing structure which may lead to its downgrade of status. It will no longer be visible unless you're at a certain angle.

She couldn't understand how they can put a house bigger than the original house. This will really change the look of the house and the feel of the lot which had a lot of open spaces and a beautiful back yard. Now it has three structures on it.

Kathy Rivera, PO 363, was sworn. She is a neighbor and familiar with the history of the property and the lot split and the decision to place the new construction in the back. A bungalow with a very large front yard is rare and unique to the area.

The long-term residents are aware of the contributing status of the bungalow. The property was sold as a contributing property confirmed by the Board in June 2019.

The Board has discussed several times in the last few years the construction in the back as well as the surrounding lots. Some of the discussions included matching colors and styles to this bungalow. The new requests put the bungalow at risk of being hidden altogether.

With respect to the senior planner and the language in the description, she suggested another concept. This is not a vacant lot, this is the front yard to the bungalow, and it always has been the front yard. There is not a lot split as confirmed. The lot split was to make the construction in the back.

The new requests will do two things. It will hide the unique house, the bungalow, and keep it hidden from the streetscape and public view. Secondly eliminates the existing front yard, landscape and the two long-standing trees.

She understood the Board's role is a steward of unique properties of the streetscape. She asked them to reject the request. It dramatically changes the existing streetscape of this neighborhood and completely hides the unique contributing building from public view. It is not in keeping with good stewardship of contributing buildings, especially one that makes a statement just by its presence.

Long-term precedent that shows its time and place and use in Santa Fe. We will no longer be able to see the bungalow from the street. This flies in the face of the understanding of the original construction. Concerns was that the construction should be placed in the back so as not to detract from the façade of the contributing building and large front yard.

Mr. Eddy heartily agreed with both speakers. The fact that this is a single lot, and the property is being developed is a deal breaker. If it had been a lot split they would have a different argument. The view of the bungalow in the back will be obliterated. It is again erasure of the cultural fabric of Guadalupe Street. It is the first view many people see coming into Santa Fe from the north. It is worth protecting and earlier speakers made compelling arguments for that.

Chair Rios asked the name of the person who sent the letter of concern.

Ms. Ramirez Thomas stated it was Mr. Raven Wingert who appeared to have left the meeting. She offered to summarize his letter.

She said Mr. Wingert's primary point is that a project is scheduled on North Guadalupe to begin this year which impacts the intersection of North Guadalupe and Jose street. The intersection has been problematic for years. His concern is that this project site and the residential project on 502 José Street proposed for 314 units have not considered that Guadalupe Street modifications will begin soon.

The City's own publications explain the evolution of development of Guadalupe Westside district from family farmlands to subdivisions. The architectural impact was it is a neighborhood of bungalows. Another issue is that while the urban design features retaining trees that are healthy with trunks larger than 6 inches, the tree in the front of the property has a beautiful form in regard to the vegetation.

While the parks project is nearing completion and the Hennigan project will initiate construction. Construction access should not use the single driveway planned for road projects. He worries about congestion by construction in multiple construction projects.

The Guadalupe Westside Historic District bungalows (he attached a diagram of the number of existing in proximity to the subject property), while this is a bungalow it has not been externally modified. The proposed new residence at 2540 sf does not acknowledge the historic existence of bungalows.

The new primary residence does not include any significant sheltered exterior space nor leave any for future owners. There are only two parking spaces for the owners and visitors because of a much larger parking area at the south end of the property. It is more than 200 feet for guests to reach the entrance to the residence and slightly more than 100 feet to the closest parking.

Chair Rios said the letter will be made part of the record of this case.

She asked Mr. Lyons to address the comments from Mr. Wingert.

Mr. Lyons said both he and the owner Jim Henneghan wanted to comment.

Mr. Lyons said regarding the construction access, this driveway is dedicated for both this property and the property in the rear. Mr. Wingert's suggestion for a second driveway would have to go before City Traffic. They already have a driveway. He doubted a second driveway off Guadalupe would be approved when there is already a dedicated driveway. His client, James Henneghan, can address the remaining questions.

Ms. Henneghan, 2321 Calle Calibri, was sworn. She found it unfortunate they are called greedy for the plans they have. We are just trying to build a home for a family of five and have taken care to ensure the project follows codes and laws. They are not asking for any exceptions. They have worked collaboratively with Jay Parks throughout the process to ensure it is both good for the neighborhood and all regulations are followed.

Regarding the comments in the letter. Ms. Henneghan addressed the ingress and parking planned for both properties. Parking exceeds the requirements for in number of spots. The trees on the property have been neglected for at least a decade. They are not as healthy as indicated. Regarding the style of the home with followed guidelines for design in all aspects. She was not aware of any rule governing them to make the design any different. If compared to the others in the area she would reiterate there are homes, restaurants, breweries, a Blakes, and a clinic, so a variety of structures.

She is also a native New Mexican and values the aesthetics of our city. We also want to make Santa Fe a livable city for us. The intent is to live in this neighborhood. There is no greed involved, we just want to build a house our family fits into. She believes the house is aesthetically pleasing and in line with the aesthetics of Santa Fe and complies with the requirements as well.

Chair Rios asked Ms. Henneghan if she was or was not the owner of the bungalow.

Ms. Henneghan said she is the owner.

Chair Rios asked Staff to describe the neighborhood density.

Ms. Ramirez Thomas replied the neighborhood is incredibly dense for Jose Street. There are a significant number of units off and away from Guadalupe Street. At 314, where the property is, is very open in the front with a long yard. It is commercial because it is BCD along Guadalupe. The level of congestion is from the back from Jose Street. The plan is to realign but the intent is to make it more pedestrian friendly and less of a traffic thoroughfare.

Mr. Roybal was concerned that the applicant went through a lot to meet all the requirements to build their home on this lot. There is a mixture of everything on Guadalupe and building this home is not going to affect the district. He is concerned the Board is trying to redirect this when the applicant met the requirements. It will make a wonderful home for a family and is close to downtown and all of the activity on Guadalupe.

He said he is in favor of the project and also the rights of someone who buys a lot to build a home on it. He thought the project should be approved.

Member Larson indicated the public raised valid points, especially regarding the contributing building. This does tell the story of the district with the deep lot. She thought that important to consider. The design of the house is in compliance and done well and she had nothing to add to the design. But it is difficult because the Board is trying to protect character of the district. They couldn't say that nothing can be built there, but they can try to mitigate what would be lost if this is added to the streetscape.

She asked to look at the streetscape on Google Maps. She noted the mature trees on the lot which make it more difficult because they tell the landscape history.

Ms. Ramirez Thomas noted that the Board has no purview regarding vegetation. She said Mr. Berke could comment on the preservation of mature trees.

Member Biedscheid agreed with the members of the public and thanked them for being so forceful in their comments. She sympathized with the applicant who followed the rules on design. But she isn't able to look at the design of the house because of its impact on the contributing bungalow.

She said they sometimes tend to devalue open spaces when making decisions. The description of a vacant lot is not accurate for this project. This is part of the contributing structure and its placement on the lot is important. She read from 14-5.2(D)1(a) on the status of the building, "*The removal of historic materials or alterations of architectural features and spaces that embody the status shall be prohibited.*" She said the space contributing to part of the status here is affected by the proposal.

She said Ms. Beninato pointed out the long conversations the Board has had about the wall and the colors and the impact the development had on the back of this property. To discount the impact of something right on Guadalupe is inconsistent with our discussions when we approved development in the back. It is about the placement on the lot and its impact to the contributing bungalow.

Ms. Ramirez Thomas reviewed the Google map overview noting the bungalow isn't visible. The intersection of Guadalupe and Jose Streets was shown;

across the street is an Alsups with a Martinizing next door. Jose Street has a veterinary office and a small building and there are several properties further back.

Member Bienvenu said he appreciated the applicant's frustration. It is a beautiful project and they have done a great job and are correct that it is designed within the guidelines. In fact, the building is much nicer than most others on Guadalupe. The problem is that it is hiding and dwarfing the contributing structure.

He said the ordinance is very specific if new construction causes a downgrade of an existing structure the Board may deny the application. In this case, he concludes the new construction would downgrade the bungalow because it would become invisible. It almost would make no sense being on the same lot with a structure that is immediately adjacent and in front of it on the street and bears no harmony with it. In this case this particular contributing structure is significant enough that the Board does not want to lose it. Also, the owner of the property could probably predict that they would not be able to expand on the remaining parts of the lot. He was inclined, for those reasons, to believe this would not be approved.

Vice Chair Katz asked where the back line of the property is on the photograph displayed.

Ms. Ramirez Thomas indicated what she believed to be the back of the property, but Mr. Lyons indicated it was further down and directed her to the correct location.

Vice Chair Katz said he agreed with the comments that the new construction was blocking the contributing structure and is harmful to the streetscape.

Mr. Berke explained a lot split was done and is a legal lot of record and shows the lot line. Staff looks at the BCD section of Code which is streetscape section. He pointed out that Code talks about design objectives for the townscape and the BCD Westside Guadalupe. It says to maintain the small scale and residential character and streetscape. After that Staff looks at the BCD guidelines for development, which has no density requirement. There is also no landscape requirement. The surrounding neighborhood directly to the east is high density residential (R-29). The development patterns show many small individual lots and a lot of density. Multiple units are on single parcels sometimes in excess of 10 units. Also, gradually you come to this property with a mix of residential, small residential, as well as commercial development.

There are no landscaping requirements for this property because it is the BCD Westside Guadalupe subdistrict. Also, significant trees of six-inches or greater are only required to be replaced if required as part of a development review, such as screening or part of the streetscape. This project was looked at as a house and a guest house. The bungalow is considered a guest house because the new development will be the primary dwelling unit. It meets all setback requirements and satisfies the streetscape ordinance for the district.

Chair Rios asked for more information on the lot split.

Mr. Berke shared his screen. Ms. Bordegaray indicated it is included in the packet. The applicant submitted the lot split in 2019. The lot line was displayed showing splitting the property into two tracts. Plans were reviewed by Fire and the DRT team. The rear lots with 3 units were shown. This was processed through a formal lot split and the applicant submitted a permit for the three units in the back. The lot split was approved and was publicly noticed and heard by the Summary Committee in 2019.

Chair Rios confirmed that the property being discussed now with a bungalow house is not the lot that is the split lot. The split is further back.

Mr. Lyons added the lot line indicated by Mr. Berke was incorrect and it was actually further north.

Mr. Berke apologized and agreed, it is behind the bungalow.

Mr. Lyons added that when you view the aerial of Google Earth, they can see the lot was all farmland at one point. The lot is an anomaly and is a large lot with vacant land in comparison to the surrounding neighborhood. That was especially the case prior to the lot split and the three new houses in back that were built.

Mr. Lyons said 314 and 314A was all one lot until two years ago. It is not out of character for a house to be built on the forward northern portion of a lot. In fact, it is in keeping with the rest of the surrounding neighborhood.

Ms. Ramirez Thomas wanted to look at the contributing status of the bungalow at the back in depth. She read from Code, (D)1.A, *"The status of a significant, contributing, or landmark structure shall be retained and preserved or proposed alteration, will cause a structure to lose significant contributing or landmark status, the application shall be denied. The removal of historic material*

or alteration or architectural features or spaces that embody the status shall be prohibited.”

She said the challenge with calling on the spaces is that landscaping, yard, etc., cannot be part of the contributing status of the property. It is questionable to interpret yard space as one that embodies the status. Her understanding and experience of code is that refers to more like a courtyard or similar space created by surrounding structure.

Ms. Ramirez Thomas cautioned the Board to consider how the contributing status or any of the primary façades of the actual structure that is contributing, is affected by building a house near or in front of it.

Chair Rios asked Ms. Ramirez Thomas to remind them of the primary façades.

Ms. Ramirez Thomas replied she heard them cited and would have to look at the case where it was designated. She guessed it would be the east and north façades because they are publicly visible.

Chair Rios said it appeared the entrance to the bungalow was on the south elevation. Ms. Ramirez Thomas didn't know.

Chair Rios asked to confirm with Ms. Heneghan.

Ms. Heneghan said the entrance faces Guadalupe.

Mr. Lyons said there is an entrance on both north and south. He explained there is a back door into the bungalow from the garage.

Ms. Heneghan said she wanted to take a moment to reiterate they have been thoughtful about reviewing. They have followed the rules regarding the space versus the structure when it comes to a contributing status. She responded to Member Bienvenu who questioned why we might have the impression we would be allowed to do this. She wants to reiterate that there was nothing to indicate that they would *not* be allowed to do this. They have gone through many milestones. They purchased the lot they subdivided it and got the permits. There were many opportunities to see caveats. The answer to that question is nothing was indicated that they could not move forward in this way.

BOARD DISCUSSION

Member Bienvenu thanked Ms. Heneghan for her explanation. He said he did not mean to suggest that she actually had that knowledge. He was just remarking that the public could have known based on the facts.

ACTION OF THE BOARD

MOTION: In Case 2021-003111-HDRB, 314 North Guadalupe Street. Member Bienvenu moved the application be denied on the basis that the proposed new construction would cause the adjacent structure on the lot to lose its contributing status, per 14-5.2(D)1.b of the ordinance.

VOTE: The motion passed by majority (3-2) roll call vote with Members Biedscheid, Bienvenu and Katz voting in favor and Larson and Roybal voting against.

Chair Rios explained to the applicant the appeal process to City Council and Staff could guide them.

5. **Case #2021-003114-HDRB. 630 Canyon Road.** Downtown and Eastside Historic District. Lorn Tryk Architects, agent for Santa Fe Monthly Meeting of Friends, owner, proposes to construct a 2,085 sq. ft. freestanding non-residential structure to a height of 14' 8" on a significant property. (Daniel Schwab)

Mr. Schwab provided the Staff report.

STAFF REPORT

630 Canyon Road is property with non-residential structure designated Significant to the Downtown and Eastside Historic District. The main structure on the street, known as the Olive Rush House, is a significant structure used by the Santa Fe Monthly Meeting of the Religious Society of Friends.

The Society proposes to construct a new structure behind the main structure, in a location with no public visibility. It will have 1500 square feet of heated space and 585 square feet of portal. The maximum allowable height is 14 feet 9 inches, and the structure will be 14 feet 8 inches in height. The main room will have an octagonal form, with additional rooms on the west, north and south. Portals will

extend in front of the north façade and the southeast corner. The stucco will be El Rey “Buckskin.” The windows and doors will be colored Sierra Pacific “Seawolf” and the wood framing of the portals will be clear stained. All rooftop appurtenances will be screened by parapets and outdoor lighting will be dark sky-compliant sconces with an oil-rubbed bronze finish.

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Chair Rios asked how far back the proposed is from the significant house.

Mr. Schwab did not know. He suggested asking the applicant.

Chair Rios asked what is on the roof of the proposed building.

Mr. Schwab indicated that is the top of the portal. She was seeing the octagonal shape, but the roof is flat and conforms to the design guidelines. It could be seen if standing behind the Society of Friends House but not publicly.

Chair Rios asked if the trees currently existed.

Mr. Schwab said it is similar, but the photograph is doctored.

Member Roybal asked if this is a commercial building being added in a residential area and the front building contributing or significant.

Mr. Schwab explained the front building is significant.

Member Roybal asked if this is the same problem as the prior case that it would be devalued as significant when a new building is added on the same lot.

Mr. Schwab said it is not the same. This is located behind the main structure many feet away with no public visibility. It will not change visibility of the significant structure.

Mr. Roybal said the building sounds more like a commercial building than residential.

Mr. Schwab explained it is a meeting room and community space for the Society of Friends, a religious institution.

APPLICANT'S PRESENTATION

Jan-Willem Jansen was affirmed (sworn). He explained they are a religious Society of Friends, Quakers, located on Canyon Road. He said we have been here many decades and have outgrown our building. We looked for a while for a new meeting space and that led us to look at opportunities for a meeting space /worship hall in the back of the property. The purpose of their application is to have more space for worship and the children, currently tucked away in a small space. This is an opportunity to expand.

Chair Rios asked the distance between the significant house and the proposed building.

Mr. Jansen replied it is about 85-90 feet from the old to the new building.

Mr. Schwab added the architect, Jan Wiesnewski he has been working with also wanted to comment.

Mr. Jan Wiesnewski, PO Box 98, Tesuque, New Mexico was sworn. He thought Mr. Jansen covered most of it. The main reason for the building and the garden is that the Friends want to stay on the property, not sell. Even though it impacts the garden, it is the best choice. The rendering is a realistic rendering of the garden with the new building drawn into it.

He said the main meeting room will be adobe, not only traditional material for the area but works well acoustically and in other ways too. The main octagonal will be adobe with rest wood frame, including the portal. The materials will be traditional, and the design is simple, and the colors will be similar to existing structures.

QUESTIONS FOR APPLICANT

There were no questions for the applicant.

PUBLIC HEARING

Ms. Beninato (previously sworn) said she's very excited that the Friends will stay in that location and have proposed a very innovative structure. This will not impact any façades of the significant structure. The New Mexico Museum Foundation was approved by the Board for a triangular building. This building is in keeping with the Society's needs for a rounded room. They have had a school for children for a long time. This is a very adaptive and good use of a large lot. Regarding concerns of similarity to the previous case, a case on Don Gaspar was far back from the street and they wanted to put up a fence. The Board denied that because of the large setback, and not typical of the lot. She hoped that the Friends would maintain the old meeting room as well.

Bettina Rafael was affirmed.

Bettina Raphael, 611 Cortez Street, said she has lived here 30 years and has functioned as an art conservator and restorer of historic objects. She feels strongly about historic and object preservation. She has been attending the Quaker meeting for at least 15 years and is familiar with the project and the history of Olive Rush.

Ms. Raphael said the Board has not been given background on the importance of this property. She provided history on Olive Rush who came to Santa Fe in 1920 and bought the house. She lived in it until her death in 1966 and in that time was considered the First Lady of the Arts by the art colony. Ms. Rush painted the La Fonda Hotel, taught at the Indian School and her artwork was shown across the country. She was noted for her garden which is where this building is proposed. She was known for soliciting plants from across the city and documenting them and her paintings often reflected her garden.

The back of the property has been neglected for the past 20 years. The front part of the garden between the proposed building and old meeting house was full of vegetables and flowering plants, etc. Ms. Rush was famous for her tea parties that artist of that. Attended. The garden was an intrinsic part of her life and she gave the property to the Friends Society. The agreement was that the property, which she believes includes the garden, and its historic nature be preserved and respected. She thought that was now in question with the proposal to build. The building will consume half of the garden and destroy the remaining in bringing in the building materials. There is no reason to jeopardize the integral history of the property and olive Rush's legacy to construct a 1500 sf building.

Chair Rios asked if she was against the proposed building.

Ms. Raphael said she was and the decision to build is not unified in its approval.

Marilyn Bane, 622 ½ Canyon Road, was sworn. She lives on the other side of the coyote fence from the proposed construction. She has been there 30 years and the ranch house Ms. Raphael referred to was owned by Jose Gonzales and his grandmother and was sold to Ms. Rush. The Friends were good about allowing the neighbors and visitors view the wonderful garden. She was so proud of the garden that she donated an Olive Rush watercolor to the caretaker of the house.

The view in the photograph was where they had vegetables and it has great sentimental value. They would sit on the benches and enjoy the quiet that is very valuable to a lot of people, not just the neighbors. She has received many phone calls that ask her to stress the importance of the garden. She feels the garden is significant.

Her concern is that the garden will not remain. The only solution she sees possible is if the structure could be further back to give more room for the garden. Another concern is whether all of the construction will remove the trees and the heritage flowers and seeds. If possible, she would ask the design to be moved further back from the main house.

BOARD DISCUSSION

Member Biedscheid found it interesting having two cases back to back involving spaces. She felt position was strengthened by this discussion. This is an historic garden that has lot of meaning to the community around the building. This is different from the other case in that the new building does not impact the existing structure. However, it does impact the space. The Friends have been good stewards of the property and the stories of the garden are interesting. That the garden now has pieces of it throughout town lends to the significant status of the building and the legacy of it living on, literally.

She said she was interested to know the applicant's thoughts about the impact to the garden and how that could be mitigated.

Member Larson thanked the public for sharing their stories. That helps the Board have informed discussions and make better decisions. It is difficult to have these considerations on the spot on the modest and thoughtful design. We are an architectural review Board and must consider streetscape. There are few instances

when we the Board talks about landscape preservation. She was interested in hearing the thoughts of other members.

Member Bienvenu said the landscape issue is interesting. This garden is completely enclosed at the rear of the property from the view of public right-of-way. He thinks it important and highly respects the views and desire to preserve it. But he doesn't believe it within the Board's jurisdiction, which is limited to matters involving public right-of-way.

He said the hope is that the Society is taking into account to mitigate the effects to the extent possible. Hopefully in their discussion they reach consensus in preserving Olive Rush's legacy. And hopefully they discuss this with other historically minded people interested in preserving what is important to Santa Fe.

Mr. Schwab supported Member Bienvenu's view. The architectural spaces that embody status do not include nonvisible garden areas. It would be difficult to find Code saying this project would have impact on the status of the structure. He understands the Society operates using a consensus based method and the public can express their views. But the Board should consider this a multi-year process. This concept has been gestating over many years and that should be kept in balance when hearing opposing views in this short meeting.

Vice Chair Katz was curious whether the garden could be moved back 20 feet to preserve more of the garden.

Chair Rios asked the architect how much of the garden would be compromised and whether the project could be moved further back to preserve the garden.

Mr. Wiesnewski said yes it is possible. But the shape of the building is specifically designed for the least impact, particularly on significant trees. In particular there is a large mature apricot tree.

Ms. Ramirez Thomas displayed an aerial view from Google Earth.

Chair Rios confirmed Mr. Wiesnewski was saying that the building will be situated is the least compromising to the garden

Mr. Wiesnewski pointed out the winding pathways and the beginning of the building where the pathway terminates. He noted the large tree he preferred to preserve.

Mr. Schwab said it is important to consider that the site has been carefully sited in reference to important elements in the garden. Moving the house further back will likely compromise the tree the Society wants to preserve.

Mr. Jansen added that the location was carefully chosen and is actually where there is only grass. There are no historic plants that will be impacted as mentioned by Ms. Raphael. There will only be junipers and a few lilacs on the north side. Moving the building to the south they are nearing the setback on the rear of the property. In order to keep the property on the southern end usable, they cannot squeeze that too much. It is currently a children's play area and important to maintain some space there for reasons of safety and usability.

He noted the most valuable part of the garden in the 90 foot area between the old building and the new proposed building will remain entirely intact. The access path will be from the front to the back over the existing path. The main garden will be entirely protected, and a condition with the contractor is only small vehicles and equipment will be used there. They don't want to impact the garden.

Mr. Wiesnewski said he would note that the carport is the primary access to the rear and is part of the protected house. No large equipment will come through the garden. Almost everything will be hand carried or on a golf-cart type vehicle.

ACTION OF THE BOARD

MOTION: In Case #2021-003114-HDRB. 630 Canyon Road, Member Bienvenu moved to approve the application as recommended by Staff and as compliant with all applicable design standards. Vice Chair Katz seconded the motion.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Katz, Larson and Roybal voting in favor and none voting against.

7. **Case #2021-003119-HDRB. 331 De Vargas Street.** Downtown and Eastside Historic District. Shaw Architecture LLC, agent for Four Plex LLC, owner, proposes to replace windows and doors, a non-contributing residential structure. An exception is requested to 14-5.2(E)(1)(c) to install single panes larger than 30 inches in dimension. (Daniel Schwab, 955-6660, DNSchwab@santafenm.gov)

Mr. Schwab presented the report.

STAFF REPORT

331 De Vargas Street is a multi-unit residential structure in the Downtown and Eastside Historic District. It was constructed in 1980 and as such is non-contributing to the district.

It is unclear whether the existing windows are original to the house, although the applicant maintains that they have been in place for over 40 years. A photo from the 1985 HCPI appears to show windows with divided lights and white muntins.

The applicant comes to the Board requesting approval for the following items:

1. Replace two existing doorways with casement windows on the street-facing elevation to match existing fenestration on the building.
The applicant is applying for an exception to Section 14-5.2(E)(1)(c) to install single panes of glass larger than 30 inches in dimension.
2. Reduce the width the existing full-length stairway so as to service a remaining doorway and install a planter in this location.
3. Stucco over the reduced openings.

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts but does not find that the exception has been met and that the application does not comply with 14-5.2(E) Downtown and Eastside Design Standards. The Board may find that the exception criteria have been met upon testimony from the applicant.

Mr. Schwab said items two and three are recommended for approval, however the exception has not been met.

QUESTIONS FOR STAFF

Chair Rios confirmed this is the only elevation being impacted.

She asked Ms. Paez to talk about the impact of the conformity standard in reference to the project.

Ms. Paez asked Mr. Schwab if correct that the applicant is replacing nonconforming and want to remain nonconforming.

Mr. Schwab replied existing non-conforming windows will remain and the proposal for the replacement windows is that they match the nonconforming windows.

Ms. Paez explained every nonconforming feature of the house cannot be changed when something is done. Code has to be interpreted reasonably. She mentioned previously, she has never seen Staff apply that provision. The applicant does not want to change the nonconforming features, but she would let the Board debate that. It is a tricky question.

Mr. Schwab explained the argument is having to put in divided lights would create an incongruous overall image. Some windows are divided lights, and some have large panes. The applicant prefers to keep the windows the same.

Ms. Ramirez Thomas clarified the applicant wanted to replace some but not all of the windows. Only windows being removed have to come into compliance, not the entire house. It is what is being changed and why A 6 applies. If a window is not being removed it doesn't have to conform until it is replaced.

APPLICANT'S PRESENTATION

Steve Shaw, 1061 Bishops Lodge Rd., was sworn. The owners have been on De Vargas since before Castillo came. They appreciate the historic character of the architecture. They have endeavored to keep their buildings in compliance with H-Board covenants and want to do the right thing. This seems the most seamless way to implement modifications needed to keep the space. They are replacing the two doors with smaller fenestration in the same width and everything else. You can see the tops of these from the street.

Mr. Shaw said we have seen as we walked around the building that every piece of fenestration is handled in kind, similar to what is shown. A photograph shows a window at the east end of the façade. That is exactly the window proposed to be introduced in the two doorways.

Mr. Shaw said it would be ironic to see the Board recommend architectural alterations to a longstanding architectural precedent. He said their case, and the exceptions, were that it would compromise the character, the quality of the architecture, and constitute a change from what has been in place since at least the 1980's.

QUESTIONS FOR APPLICANT

Vice Chair Katz said he noticed that the rendering of elevations on page A, 3.0, has a large window to the right of the entryway with fake muntins in it. That puzzled him because it is inconsistent with what the applicant said.

Mr. Schwab displayed the rendering.

Mr. Shaw explained those are not muntins, but an applique applied by a tenant to the inside face of the windows. The tenant preferred "divided light" windows. They are not in any way even similes of divided light windows.

PUBLIC HEARING

Ms. Beninato (previously sworn) said the Board has discussed this before. They said if it faces the street and is more than 30 inches it has to have divided lights. This building appears consistently not to have divided lights. She felt a better design was not having three doors in a row. She urged the Board to approve this.

BOARD DISCUSSION

Chair Rios said in her experience on the Board there have been applications that have non-divided lights and the applicant wanted to put additional non-divided lights. And because the Board feels it appropriate to continue with the same windows, they approve the non-divided lights.

Member Larson asked if that should be specified in the motion.

Ms. Paez replied Staff recommended the exception not be approved so it would help Staff when preparing the final written decision to have the Board's Findings on how the exception criteria was met and what they found compelling.

Mr. Schwab explained the exception criteria refers to the district as a whole. The decision of the Board should reflect the concern for the district standard.

ACTION OF THE BOARD

MOTION: In Case #2021-003119-HDRB. 331 De Vargas Street, Member Larson moved to approve the application as submitted in Items 1 through 3 and finds that the exception criteria for Items 1, 2, and 3 have been met, and the Board agrees with the applicant's exception responses, specifically that the choice to maintain non-divided light windows is in keeping with the existing structure and harmonizes with the structure's appearance. Member Roybal seconded the motion.

VOTE: The motion passed by majority (3-2) roll call vote with Members Biedscheid, Larson and Roybal voting in favor and Members Bienvenu (with comment) and Katz voting against.

Member Bienvenu said he voted against for the reasons set forth in Staff Recommendations.

I. DISCUSSION ITEMS

There were no discussion items.

J. MATTERS FROM THE BOARD

Vice Chair Katz brought to the Board's attention the project at the PERA Building. They are installing solar collectors over a portion of the parking area that will be very visible and essentially across from the house just discussed. He wondered if the city had discussed the panels with the State, or if that was possible.

Vice Chair Katz said you can see the canopy solar collectors online. They are all over the parking lot. Possibly the panels could be shielded. He was curious to hear the thoughts of those at the State. He added that the state probably has a good basis to say the structure is not covered by the historic rules and technically they are probably right. But the purpose of that is for conversation between the City and the State. Possibly they could make this be more harmonious.

Ms. Ramirez Thomas said no one has contacted her and generally those who maintain the building are very communicative. She offered to have Staff contact them to discuss.

Ms. Paez agreed and said he was right it's probably not required they consult with the Board. She did review the State law regarding the Historic District and Landmarks Act that speaks to this. The Act talks about their ability to apply our ordinance to the renovation of State buildings. That probably excludes solar collectors in the parking lot. And it does talk about construction and renovation of the exterior envelope of a building and defines a building.

She thought it would be a friendly request to collaborate within the spirit of the statute. Paragraph M speaks to capital outlay projects and it is appropriate for Staff to contact someone to initiate input on behalf of the City.

Chair Rios agreed they could approach them on a friendly basis for discussion. She thought it appropriate and people would be open minded in Santa Fe to talk to a preservation Board.

Ms. Ramirez Thomas said she would contact them.

Chair Rios asked Ms. Paez the latest on field trips.

Ms. Paez explained that with yellow status it increases mass gatherings from 5-10 as well as gatherings in vehicles. The opportunity to caravan, or getting a van, is getting closer. The hope is to get to green and they are trending in the right direction.

She is continuing to watch the status. There is more flexibility now to get into a van and drive around, but 10 people cannot socially distance in a van. She is willing to explore options and mentioned it to Director Isaacson. He knows the importance of the trips to the Board regarding their work and is open to exploring it as well.

She is optimistic about the changes and encourages her to consider this as they continue to improve.

Chair Rios asked that she keep them posted.

K. NEXT MEETING: March 9, 2021

L. ADJOURNMENT

Chair Rios adjourned the meeting at approximately 10:54 pm,

Approved by:

Cecilia Rios, Chair

Submitted by:

Carl Boaz, Stenographer
For Carl G. Boaz, Inc.

DRAFT

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HISTORIC DISTRICTS REVIEW BOARD
March 9, 2021

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**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
March 9, 2021
VIRTUAL HEARING**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:30 p.m. at a virtual meeting held at <https://www.youtube.com/user/cityofsantafe>.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

H Ms. Cecilia Rios, Chairwoman
H Mr. Frank Katz, Vice Chair
H Ms. Jennifer Biedscheid
H Mr. John Bienvenu
Mr. Anthony Guida
H Ms. Flynn G. Larson
Mr. Buddy Roybal

MEMBERS EXCUSED:

OTHERS PRESENT:

H Mr. Noah Berke
H Ms. Nicole Ramirez Thomas
H Mr. Daniel Schwab, Senior Planner
H Ms. Angela Bordegaray, Senior Planner
H Ms. Sally Paez, Assistant City Attorney
Mr. Carl Boaz, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

Nicole – move OB#2 – 2021xxx to #3 under OB.
Postpone 2021-003200 at 300 Garcia to March 23.
Frank/Flynn 4-0

MOTION: Vice Chair Katz moved, seconded by Member Biedscheid to approve the agenda as amended.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Katz, Larson and Roybal voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. February 23, 2021 NONE

MOTION: Member Katz moved, seconded by Member Larson to approve the HDRB Hearing Minutes of February 23, 2021, as amended.

VOTE: The motion passed by majority (5-0) roll call vote with Members Biedscheid, Bienvenu, Katz, Larson, and Roybal voting in favor and none voting against.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. Case #2020-002813-HDRB. 27 Anita Place.
2. Case #2020-002916-HDRB. 481 Arroyo Tenorio.
3. Case #2020-001979-HDRB. 613 Canyon Road.
4. Case #2021-003109-HDRB. 128 West Berger.
5. Case #2021-003111-HDRB. 314 North Guadalupe Street.
6. Case #2021-003114-HDRB. 630 Canyon Road.
7. Case #2021-003113-HDRB. 324 Staab Street.
8. Case #2021-003119-HDRB. 331 De Vargas Street.

Frank/Flynn
Unan.

MOTION: Vice Chair Katz moved, seconded by Member Biedscheid to approve the Findings of Fact and Conclusions of Law.

VOTE: The motion passed by majority (5-0) roll call vote with Members Biedscheid, Bienvenu, Katz, Larson, and Roybal voting in favor and none voting against.

E. MATTERS FROM THE PUBLIC

Stefanie Beninato – pointed out you were discussing no-conforming – the 1/3 only applies to act of nature so if disturbed by 2/3, would have to rebuild to today's code. And would not apply to Berger Street case.

F. STAFF COMMUNICATIONS

Nicole – did reach out to project mgr for ?? building and awaiting their return call. For the four structures.

Then - 2021 HP awards = will talk with OSFA and Historic Santa Fe regarding how to do awards this year.

Sally – noted we had Feb 23 minutes in the packet but might not have been readily accessible. She just noted they are there.

Rios –
John read those minutes.
Frank and Rios did not.
Jennifer did review them.

Jennifer /John – passed U.

G. OLD BUSINESS

- a. Case #2020-002975-HDRB. 918 Don Gaspar Avenue. Martinez Architecture Studio, agent for Linda Banglis, owner, requests to remodel a non-contributing garage and restore its contributing status per 14-5.2(C)(2)(f). (Daniel Schwab, 955-6660, dnschwab@santafenm.gov)

Daniel presented the report and shared his screen - >>>

BACKGROUND & SUMMARY:

918 Don Gaspar Avenue is a single-family residential bungalow with a historic status of contributing and a freestanding garage with a historic status of non-contributing, to the Don Gaspar Historic District.

The house was constructed by 1928 and the garage by 1948 in a style matches the house, which has white painted gables with dark brown wooden shakes below. An HCPI from 1993 shows the garage with a shingled gable, but the bottom portion of the view is blocked by wooden doors that separate it from the street. Since the photo was taken, unpermitted work was performed on the garage. Half of the shingled gable was covered over with a scratch coat of plaster and an aluminum sliding window.

The Board reviewed the status of the structure in Case #2020-2975-HDRB on January 28, 2021. It downgraded the status of the structure to noncontributing and required the property owner to submit an application to restore the structure such that it shall be restored to its former contributing status per Section 14-5.2(C)(2)(f). Little evidence exists as to the history of the structure. It appears to have been built a few years after the house (1915, with the house built in 1911), with the lowering of the floor occurring at a still later date. It may have originally not had a front wall, only shingles over the gable.

The applicant now returns to the Board with the following proposal:

1. Reconstruction of the west wall, which is the front façade of the garage. The front door and window in will be white to match existing gate. The stone walls are “river rock”. The boards and trim will be white to match existing. The shingles will be brown to match the existing. The roof material will remain green asphalt shingles.

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(H) Don Gaspar Historic District Design Standards.

Staff recommends that the proposal complies with Section 14-5.2(C)(2)(f) for reinstatement of Contributing status.

918 is contributing. Construct 1938 garage 1948. >>>

Main house with brown shingles is the character of the house and mirrored. >>> unpermitted work on the garage. Half of shingles covered with stucco and installed sliding window. Showed interior with door facing out. Concrete walls and another window with concrete block cinder.

Board downgraded and said it should be restored to former contributing status. Little history is sparse – house built in 1911 and the other structure by 1918??

Showed drawing of unpermitted work.
Defining character in the gable still remains.

Proposal is to replace the front façade of the garage

Rec:
Stood for questions.

Frank thanked for the inside photos. He was puzzled by lowering of the floor. He assumed the door on the right as exists and proposed is at floor level inside.

Daniel – yes it is.

Frank – and it was a garage.

Daniel – the documentation we have indicates an accessory structure; for a car he did not know.

Frank was disappointed. If it was a garage, it had to be low or a car would not fit. He thought dirt was put in front.

Daniel = it was lower than natural grade. He guessed >>>

Frank – any reason to think floor was lowered.

Daniel has to do with the depth of the wall which does not go down to the floor. But no photo of that.

Frank – on renderings of current and proposed. The proposed – in the view we see, is publicly visible down the driveway.

Daniel – except the lower level.

Frank – can we go to floor plan.

Nicole put it on the screen.

Frank – thought there was a wall in front. It is shown in the drawing and steps going down. We don't have a view of that.

Daniel – it is a retaining wall that starts at ground level and goes down from there.

Frank – any railing.
Dan did not know.

Frank – sorry we don't get that view.

Dan pointed to a wall where the railing would go.

Frank – will

Dan – retaining wall has no steps now.

Frank – what is the siding below gable.

Dan – same brown shingles.

Dan – right- we should ask the applicant.

Flynn – do we know age of front door – maybe 1990?
Dan – all is nonhistoric

Flynn no info on opening – just assume it is a garage .

Dan – right. Not much documentation except interior photos.
John – asked about the material is on the siding between window and door – on both sides of window.
Daniel – that is what we referred to. Had no info.

John thought he saw a railing on the drawing and asked if it is above or below grade.

John presumed it is above grade.

John – wondered about Dan's opinion on whether the Board has authority to order return to contributing status. He believed the Board does not have

the authority. He couldn't see how proposal would return it to contributing status And we don't know what was original.

Dan opinion that we all operate on not much information. However, the defining character features are remaining. With any reconstruction, they have to follow the traces there – the little shingles and the roofline in main structure. And only guesses on original features that could represent the status. It is a design question.

John did not believe the contributing status could be retained with what they plan. >>>> Even the applicant's own info>>>>

Sally – could I restate findings from January?

Rios – yes.

Sally – read them - >>>>

Unpermitted alterations mean no longer contributing. She quoted from the Code – Board found it could be restored with photographic evidence >>>>

Those were the Board's findings in the previous hearing.

John – all below the gables are speculative and did not see how it could be stasused as contributing.

Member Biedscheid – we don't know what was there before but still has the same footprint with historic stem walls and roof and might be enuf to status as contributing. There might be enough here with sensitive restoration of the front.

She thought she saw on floor plan reference to stucco below the window and asked if there is stucco anywhere else. The house is brick and saw no other stucco on the property.

Als0 is a new all in front of the garage being proposed.

Dan – there is an element above the ground in lower left diagram. He was not sure if it was a wall or a railing.

Member Biedscheid was not sure what it was.

Dan – that is the retaining wall.

Rios – the Board determined the garage was not contributing but asked it be restored. So the Board could revisit garage status – correct?

Dan – yes- the requirement was the applicant return with proposal that would allow Board to reinstate. So the Board can reexamine the status. To redo contributing status.

Rios- not at this mtg. That was not advertised

Sally – the caption advertised adequately captured what is essential – it included restore to contributing status.

She was prepared for the unusual predicament. She thought it was advertised as possible contributing change.

Applicant Sworn: Richard Martinez.

Richard asked for photo of outside to respond to the Board's questions. The floor is at the bottom of the door and was lowered because - >>>

It does seem the floor was lowered at some point.

Slopes down a little but not where the floor is now.

My proposal - - between door and window is a little wall that shows the distance of natural grade to lowered floor. If raised to 3 feet as required by building. permit - a drop of 18"+ requires >>>

The lowered area of garage >>>

A stairway goes from natural grade to lowered area >>>> with iron railing (#9)

Not visible from street

Walls stuccoed because block now and was nicest way>>>

Wall on side of garage – next to neighbor is stuccoed now.

The façade proposed – basically – 2 elements – restore shingles white painted wood like the gates from the past.

Keeping stone walls >>>

East and north are publicly visible as well.

Questions from Board

Frank remains confused >>>>

Richard – yes.

Frank – where is stuccoed wall.

Richard west side –

Frank – so = yard wall.

Richard – stone wall on the west side appears on garage and becomes stucco.

Frank – not changing.

He was disturbed by dirt in front of structure and high wall blocking door.

Also didn't believe house has any white siding – just trim.

Why propose that?

Richard – gate and fencing was white. >>>

Nicole showed the views from outside through Google.

Richard – the open porch was enclosed and had white windows.

Rios – aside from frames on windows, was there a white painted wall?

Richard – pilasters with shingles above. The house is brick – behind windows of the porch and can be seen in back.

Frank – nothing else.

Public Comment

Stefanie was sworn and wondered like Frank why there had to be additional wall there. It already has a retaining wall and put stairs far away from the house, come in from the side and wouldn't need to block the structure. >>>

Also – is it possible where filled in with dirt, if it could be removed there with steps down to floor level. Ephemeral wall there.

White painted wood – might have been better on the bottom??

She appreciated stone walls remaining. And effort to find original shingles to be refurbished or replaced in kind.

No others.

Flynn – sensitive approach = advised putting in brick – to not mimic the house.

She thought white and shingle were appropriate. Preserving what we know is there.

Rios agreed.

Jennifer – does white setting go all the way to ground. Elevation with proposed new wall in place?

Richard did not draw outside the wall but at same height as wall shown on the side – 3' above grade. It does go all the way to the ground. No change in material on that façade.

Member Biedscheid – is the wall same as current wall.

[Phone from Elizabeth.]

Frank disagreed with Daniel.

Would you be willing to not have a wall there - >>>>?

Railing and steps going down and not block the building.

Richard – would consider it but thought not very nice with lowered area. It would bisect it and not be useful.

>>>>

Action of the Board

Flynn moved >>>> to approve as proposed/Member Biedscheid

Frank asked friendly amendment – to restore it to contributing status without specifying primary façade.

Basis is orig footprint and gable and shingles are the same. The three stone walls are the same and sufficient with restoration of shingle portion and would be consistent to enable contributing status.

Flynn accepted.

Member Biedscheid asked Staff – if Contributing, is it not needed to have a primary façade.

Nicole = it is required and primary basis, but Frank noted where the architectural details that needed to be preserved. That could provide the context.

Daniel – and historic material is protected on the primary façade.

Rios understood the reasoning, but we have always designated a primary façade.

Frank – but wasn't it that it was noncontributing for so many years. And primary informs what can be done with it.

Dan – the definition does not include it.

Sally - >>>

Nicole – and there needs to be some way to know what must be preserved. You need to reach the same??

Rios saw.

Sally okay with amendment? Member Biedscheid – yes

Rios asked if nothing was proposed about the wall.

Frank asked if it could be a wrought iron fence for protection but not in your face wall? I might propose that as another friendly amendment.

Rios – we would need to ask the applicant about that.

Richard – it is possible for rail or fence instead of a wall just something to prevent wheelchair to fall in.

Frank – wrought iron fence.

Flynn did not agree. Not in keeping with the other materials on the property. And not in keeping with the style.

Vote – unanimous. Without the fence.

- b. Case #2021-003048-HDRB. 555 San Antonio Street. Downtown and Eastside Historic District. Design Solutions, agent for Barbara Wagner and Charles Palmer, owners, request primary façade designation on a contributing structure. (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafe.gov)

This case was considered later in the meeting.

- c. Case #2021-003109-HDRB. 128 West Berger Street. Don Gaspar Area Historic District. David Smith, agent/owner, proposes to remove a portion of a non-contributing yardwall and install a vehicle gate to a height of 4 feet, 7 inches. (Daniel Schwab, 955-6660, dnschwab@santafenm.gov)

Daniel gave report at 6:33 - >>>>

BACKGROUND & SUMMARY:

128 West Berger Street is a property with non-contributing status to the Don Gaspar Area Historic District. The shed in the back of the lot was designated non-contributing.

The lot was part of a consolidation in 2018 so that no access is currently available from the street. The applicant now proposes to create a 14-foot-wide opening to allow access to the lot and the apartments located on it. This will include a gate that will be constructed to a height of 4 feet 7 inches, which is the maximum allowable wall height. It will be a “Sage” green steel frame to match the house with a wood infill with a Cedar wood stain.

This case came before the HDRB on February 23, 2021. It was postponed to a Date Certain of March 9, 2021 for completion of a Preliminary Zoning Review (PZR) and possible re-design. It was found that the existing wall exceeds the maximum allowable height, which is 4 feet 7 inches and that it may require demolition of part of wall to bring it down to appropriate height. The applicant returns with a new proposal that lowers the wall to the maximum allowable height where the sight triangle applies. Another portion of the wall to the west is replaced with a wrought iron fencing portion on top to match the adjacent property but does not lower the overall height. This new construction does not meet the code requirement for construction of a wall within the maximum allowable height.

STAFF RECOMMENDATION:

Staff recommends that the construction exceeds the maximum allowable height per Section 14-5.2(D)(9)(c)(iii)(C). Staff recommends either requiring that the wall height be lowered to the maximum or that the case be postponed for the applicant to apply for an exception.

Lot consolidation - showed a diagram of it. No access was possible – created 14' wide opening. Gate to 4' 7"?? cedar stain to match.

On Feb 14, was postponed to 3/9. Wall exceeds max ht. and would require demolition to proper ht.

The remaining wall was above the gate

New proposal lowers the wall at sight triangle only (including gate). With wrought iron on top.

It doesn't meet code for new construction.

Dan rec'd that it be lowered to allowed maximum or postponed for exception.

Frank was confused on what lot consolidation consolidated.

Was it 4 lots to two lots?

Dan was not sure. Originally the driveway served the lot to the east and no longer is the case. It now has no access.

Frank to Sally – a case on Alameda with contributing wall and was knocked down and a proposal rejected to keep it down. And concern with narrow access. He rec'd building the wall back but allow widened drive. It would lose legal nonconforming status so the Board >>>>

This wall doesn't even have legal nonconforming status.

Sally - >>>> ultimate vote was full restoration of the wall. The factor was status of the rock wall. The decision was to affirm on appeal that requirement.

>>>

Whether legal nonconforming – she was not sure. Not great records. We assume things are legally nonconforming >>>

For the last part – at last mtg, the Board >>>> anything beyond maintenance and repair>>>

Frank – we wouldn't make them tear it down but put at max height allowed.

Sally – yes >>>> it would require an exception.

Rios – so Dan's rec is on point.

Sally – yes.

John – had slightly diff interp. Buildings - if nonconforming - >>> no alterations other than removal. [Sally was showing the code on the screen.]

>>> just take off.

David Smith – was sworn.

Rios asked him for his comments.

David after discussion on bringing the wall down to 4' 7". I was merely trying to get access to the lot >>>>

6:47 pm

David – would try to make the new wall look similar to the other side >>>>

Would need 3' for visibility with fenestration >>>>>

The lightweight metal fenestration makes it visually 4' 7" >>>>

Any alteration would require major construction, so he made it major.

Rios – to David asked if some was at 4' 7" now.

David – the opaque wall. See it drops to 4' 6" with metal fenestration and proposed that for the rest of the wall.

Rios – okay.

Member Biedscheid - for Staff – we cannot approve this tonight because it requires an exception.

Dan agreed.

David would be glad to come back with an exception >>>> to tie in with existing streetscape.

Frank – proposed to continue the case assuming the exception would be submitted with feeling the exception has merit. >>>> but not continue if others don't favor the exception.

Member Biedscheid – said the reference to adjoining wall is also noncompliant as is.

Rios – thought it was lower.

David – slopes down – about 2" shorter. And about 4" lower with slope down on the street. He was proposing no changes to that wall. It would have to be downgraded to make changes.

Public Comment

Stefanie – already sworn – didn't see why the applicant could not bring it to approved ht. >>>> the solid wall could be 3.5' with fenestration and have the same look and conform.
>>>>

If he comes back, he is relying on the Board for an exception >>>>

You should go forward and require the wall at 4' 7" and allow fenestration. There is plenty space between the development and the street so no need for extra protection for privacy.

No other public.

Rios – the applicant does have the right to come back with exceptions or to lower the wall – applicant's choice.

John – no problem with postponing for exception but didn't want the applicant to believe the Board would approve the exception. >>>> one member's point of view.

MOTION:

Frank moved to postpone for redesign and possible exception/Flynn.

John was puzzled by "redesign" as part of the motion.

Frank – we won't know if anyone wants an exception, depending on redesign.

Sally – understood – the rec is for applicant give either a wall within max height or do demonstration the exception meets the six criteria.

Rios agreed and is appropriately stated.

Member Biedscheid – exactly how I see it. I hope we have given the Applicant enough time. she did not see how an exception could be granted on the wall.

David – intended to give it some thought and >>>> before he decides. Would it be to time certain?

Rios – thanks - >>>> she asked Nicole if date certain is required.

Nicole – not required but if to March 23, next is April 13? .

Vote – unanimous.

Angela's case = at 7:02.

- d. Case #2021-003048-HDRB. 555 San Antonio Street. Downtown and Eastside Historic District. Design Solutions, agent for Barbara Wagner and Charles Palmer, owners, request primary façade designation on a contributing structure. (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafe.gov)

Angela presented her report and tried to share her screen.

Tim Curry and Barbara Wagner were present.

She couldn't share so Nicole offered to share it. She shared the packet.

BACKGROUND & SUMMARY:

555 San Antonio is a Pueblo Revival style 3,176 square foot residence located in the Downtown and Eastside Historic District. It is believed to be constructed before 1932.

The property has undergone multiple additions and alterations. According to a 1991 HDRB case, the house was remodeled in 1945, 1965, and 1975. A portal was added to the west elevation in 1975. In 1991 the square footage was approximately 2,100 square feet. Sometime after this, a 900 square foot addition was constructed. Another larger addition was added also after 1991.

The house reads as two houses conjoined: the original house and the addition on its south façade. The existing yard wall has replaced a lower yard wall with a different configuration.

The applicant is before the board for designation of primary façade(s) as applicable.

RECOMMENDATION:

Staff recommends designating the center north elevation a primary façade per 14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts in the Downtown and Eastside Historic District.

Remodeled in 45, 65 and 75, portal in 75. 91- sf was 2100.

House reads as two houses joined.

Here for primary façade.

Staff rec'd north as primary >>>>

Rios – asked her why the north elevation.

Angela – has most original configuration and materials and large divided light windows.

Nicole said the shown diagram replaces what was in the packet. And shows what was >>> and Mr. Curry provided.

Rios – the north has a carport?

Nicole – that was excluded.

Rios – large windows are on what elevation.

Nicole on north façade and showed a photo of it.

Rios – where the wall starts is what Angela rec'd as primary.

Nicole – yes – and ending at carport. It is the most visible façade that is not on the front. But front has new construction.

Rios – is the house surrounded by wall?

Nicole – yes. She used the site plan to show the details.

A gate and portal, path to front of the house. She pointed out the addition from 1990's.

>>>> all open visible area along??

Frank – curious about façade #1 (where portal was located).

Nicole did not disagree.

Member Biedscheid – believed the Appl had asked for north and west as primary.

Nicole – when we visited in November, we agreed with that.

Both Tim and Barbara were sworn in.

John asked Nicole on Façade #1 could be designated and would it not include #9 as original portions of the house.

Nicole – was uncertain 9 had characteristics. It was part of 1990's addition.

John asked about showing the photograph for #9.

Angela showed and said more photos in next case.

Nicole pointed out the historic – fireplaces, new addition, etc.

She did not have a photo in this case of #9. She looked in the other case and saw none there.

Tim Curry – gave his presentation. The west façade, on further discussion with Staff that the portal added in 1975 diminished the historic status. Also in view from San Antonio showed it not publicly visible. >>>>

Portal is less than 50 years old so not the west as contributing. The photo was taken leaning over the gate.

Rios – that is the porch you mentioned?

Tim – yes 0 because that portal was added, there is indication that was where the orig entry was. And where the actual front door it was not under the portal. That is a visual clue.

Rios – but the details are character defining under the portal.

Tim – yes but since not visible, don't contribute to the streetscape. End.

Frank – saw it perfectly visible in the photograph.

Time – he was leaning on tiptoe with camera over his shoulder height to take it. From the street, it is not visible.

Nicole showed the gate over which the photo was taken.

Frank – that helps. Thanks.

No other questions.

Public Comments

Stefanie – agreed with Board that the one end should be primary. Was it 1970 or 1975? It is orig house with character that are defining features.
>>>>

You had a discussion that primary does not have to be visible. She rec'd 1 and 2.

Frank moved 1 and 2 as primary and any materials not historic at the time that is relevant.

Rios – including the porch.

Frank – it isn't now but will be soon.

/Member Biedscheid

Unanimous.

H. NEW BUSINESS

- a. Case #2021-003197-HDRB. 555 San Antonio Street. Downtown and Eastside Historic District. Design Solutions, agent for Barbara Wagner and Charles Palmer, owners, requests the addition of an 80 sq. ft. portal and a 60 ft. addition to a contributing structure. (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafe.gov)

Angela reported her presentation with Nicole showing the screen. (packet material).

BACKGROUND & SUMMARY:

555 San Antonio is a Pueblo Revival style 3,176 sf residence in the Downtown and Eastside Historic District. It is believed to be constructed before 1932. The building is surrounded by a stucco yard wall varying between 5'-6 and 7'-6" in height.

The building has undergone alterations in 1945, 1965, and 1975. A portal was added to the west elevation in 1975. In 1991 the square footage was

approximately 2,100 square feet. Sometime after this, a 900 square foot addition was constructed. Another larger addition was added also after 1991.

The house reads as two houses conjoined: the original house and the addition on its south façade. The existing yard wall replaced a lower yard wall with a different configuration.

The applicant proposes the following changes:

1. Add an 80-sf portal to the west elevation at the entry/front doors. The portal is intended for protection from the elements.
2. Add a 60-sf room on the east elevation.
3. Remove the existing wooden vehicle gate on the north elevation and replace with stucco wall to match existing. Existing landscape pavers will be removed and revegetated.
4. Remove a window in the carport and cover with plaster to match the existing.
5. Add three skylights. All skylights will be low profile with bronze anodized cladding and will be concealed behind parapets and not publicly visible.

Exterior stucco will be cementitious El Rey “La Luz” to match existing. Roofing will be tan colored brai. New windows and doors will be fabricated with divided lites in a clad color of “Sage Green” from Sierra Pacific Windows. Stain will be natural linseed oil.

RECOMMENDATION

Staff recommends approval of the proposal, as the application complies with Section 14-5.2(D) General Design Standards for all H districts, and 14-5.2(E)(2) Downtown and Eastside Design Standards.

Questions and Comments to Staff.

None.

Member Biedscheid – appears the addition is less than 10’ from primary façade.

Nicole agreed.

The Board could postpone for an exception or an option to approve the addition >>>>

Tim Curry did not believe that could meet criteria for an exception so they would request approval on the rest.

Rios thanked him for showing with the wall and without the wall.

Tim had nothing else to say at this time.

Board Questions to Applicant –

Frank – asked to see the view from east side. It was shown.

No other questions.

Rios – noted I n1991 a subcommittee was appointed to help the applicant before coming back to the Board and also repeated the Applicant in appeal.

Sally said the Applicant withdrew the addition on the left at this time and is the current status.

Tim confirmed that.

MOTION:

Member Biedscheid moved >>> to approve the application as submitted without #1 and Applicant may I return for exception.

Sally did not think Public was allowed.

Member Biedscheid withdrew her motion.

PUBLIC

Stefanie – appreciated Tim's withdrawal in admitting he could not meet the criteria. Everything else should be approved.

No others.

MOTION

Member Biedscheid – moved to approval as submitted except #1.

Flynn second – vote was unanimous.

- b. Case #2021-003198-HDRB. 100 E. Water Street. Downtown and Eastside Historic District. Curt Temple, agent for the City of Santa Fe Facilities Division, proposes to construct a Santa Fe Tourism kiosk and public restroom facility. (Nicole A. Ramirez Thomas/ Daniel Schwab, 955-6660, dnschwab@santafenm.gov) (POSTPONED TO MARCH 23, 2021)

- c. Case #2021-003199-HDRB. 1660 ½ D Cerro Gordo. Downtown and Eastside Historic District. Bill Roth, agent for Michael Loftin, proposes a 423 sq. ft. addition on a non-contributing structure. (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafe.gov)

Bill Roth and Mike Loftin were present for this case.

Angela presented the Staff report. Nicole shared the screen and Angela read her report. It is the Loftin Residence at 1660.5 D Cerro Gordo Road.

7:36.

She rec'd approval >>>>

Questions for Angela –
None.

Mike and Bill were sworn.

Bill had nothing to add and would answer questions.

Rios – asked about the elevations.

Nicole showed them and described them.

(Loftin Studio and Residence)

PUBLIC

Stefanie – had one question – on the plat it looked like it was at the lot line for Tract 2 and asked if that was developable.

Nicole – there was a CCR retirement for zoning.

MOTION:

Frank – moved to approve the appl as submitted/Flynn.

Unanimous.

- d. Case #2021-003200-HDRB. 300 Garcia Street. Downtown and Eastside Historic District. Sandra Donner, agent for Megan Mullally, requests historic status review and designation of primary facades of building and yard walls. (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafe.gov)
- e. 2021-003185-HDRB. 1299 Upper Canyon Road. Sandra Donner, agent for Julia and Randall Burt, owners, proposes to construct a stucco yard wall to a height of 68 inches, a 482 sq. ft. garage to a height of 14 feet, gates and a trash enclosure. (Daniel Schwab, 955-6660, dnschwab@santafenm.gov)

Daniel presented the report >>>

Flynn? Asked about connection with a famous person.

Daniel shared photos of the property along Upper Canyon Road. >>>

Removal of coyote fence and partial of wall. And construction of 5' 8" stucco wall. New oxidized gate and parking area along Canyon Road. He pointed out the parking space with a gate and curved wall next to it containing the gate, new flagstone on the pathway with steps and moss rock plantar at east edge and #8 - a garage in the property the back of the

garage would be in line with the fence – at 14' in max 16' area. 9 is vehicle gate at driveway and 10' stucco all with El Rey Twig color.

He rec'd approval of the project.

Rios – portion that would be garage is 14' and what is the length of it.

Daniel - said garage is 21' wide on the front side so about 20' at wall location.

Frank asked to see it from back side and said it would not be 14' there.

Daniel – right- only 9' high.

Frank – asked if it could be dropped lower.

Daniel – would be below natural grade.

Frank – they are doing that already.

Second – to right of the garage is a lovely big tree and large enuf to be protected.

Daniel believed it was saved but ask the Applicant.

Frank – asked what happened to the telephone pole which sits in middle of the parking space and a large puddle forms there every time it rains.

Daniel did not know.

John – asked Daniel about entry gate treatment and garage door. The existing gate was very simple, and an oxidized steel gate is out of harmony with the area. He was not sure in the ordinance what it says about materials for gates or entrances. What parts of the ordinance address that?

Daniel – general design standards and wall standards. He would have to read them in more detail to answer the question.

John – okay. He had not seen anything specific. But the treatment is not harmonious.

Rios – the proposed veh gate – is it solid or not.

Daniel – should ask the Applicant.

Member Biedscheid – looked at wall and fence guidelines and was not sure how long the wall is but saw the rule to change every 25' and 50'.

Daniel – showed the existing wall. The garage is 20' of new wall.

Member Biedscheid – is the garage back considered a wall or just a building.

Daniel had no answer.

Member Biedscheid – it reads as part of the wall but not subject to the wall height guidelines.

Daniel – it is essentially a structure that joins with a wall and the appropriate setback meets zoning.

Sandra was sworn as Applicant. (Surrounding studio)

Was trying to keep tables on everything. She started with utility pole and drainage.

Those are beyond Applicant's control. We have tried to get mtg with PNM for about 5 months now It was assigned to an engineer yesterday. We are looking to relocate it to the west. It could hold up the project for excessive time.

The parking space is a dangerous place at dangerous curve of the road. The Owner desires to make a safer parking space. Friends over have had close calls.

The puddle brought to City Attorney's office It is a city issue and drains down Militar and in middle of Canyon Road is inappropriate. She had a photo on Friday showing leaking into the wall. It is a legal issue. >>>

The actual height of garage – is only 9' above grade because property is six feet below Canyon Road. >>>> It does meet zoning requirements and 2' 8" below HDRB requirements. I will look into the proposed change.

The gate is solid. Clients >>> di previous alterations in 2013 and oxidation of metal gate – weathered gates are quite common in the district. The example given is at corner of Camino Pequeño and Palace.

She mentioned on height of garage and wall that SE elevation is a very common occurrence along Canyon Road. To the east are many where wall and building are together.

We would like to save the tree. >>>> goal is to save. No matter where the garage is put, will disturb a tree. There is no other place to put the garage without disturbing a tree of that caliber.

End.

Flynn – asked if she was amenable to other material. Have you considered any other design options?

Susan – my clients are set on that material. Anything other than steel does not make sense. If the board suggests another steel treatment, maybe. >>>> the moss rock wall along driveway and spur – will be fully planted. And will soften the landscape on the gate and garage.

Flynn – wanted to see some of the other gates in the area – would be helpful and was not comfortable with it.

Member Biedscheid – re wall and fence guidelines – the facades visible are?

Susan – east is on an easement road.

Member Biedscheid – so gate is around the corner.

Susan – yes – not on the street.

Member Biedscheid?? –

Susan – in the new section, it isn't. It matches the ht. There are steps along other parts of the wall.

It bends slightly with pilasters at the gate. >>>>

We could step up or down to meet wall guidelines. The height there is 64" so we could step it up.

Frank – at that view and rotating toward the house – the problem with drainage – at one point at side of road – it was dug down to run past the telephone pole – with the drainage problem there. Everyone who drives by splashed the water on the wall.

Susan – yes but the water rushes down and hits the wall there.

Frank – I live there and drive down that street.

Susan - >>

Frank – with drains in middle of the street.

Susan – a huge drainage problem for years. And the owners want to make it even better.

Frank – on steel gates, the only steel gate is the Mayor's opposite the garage. The residence is not paneled.

He asked if they could have coyotes on the steel fence.

Susan didn't believe she was going against the historicalness of the area. She would not want coyote on the gate. They do have dogs so they don't want an open gate and she could talk with them about. She was confused because there are many gates on Canyon Road – a lot of steel gates in the district.

It is not a contributing property and not going ultramodern but to clean it up and build with materials that will endure. And in appropriate colors.

Frank – we want to make sure the materials are harmonious with streetscape and steel is not harmonious in this streetscape >>>

Susan – a vehicular gate is not part of the streetscape. It is off in space now.

Rios – how far away from Canyon Road will the gate be.

Susan checked on it. It is 45' off the property line.

Frank – it is very visible from Canyon Road.

Susan – the Google camera is about 12' in the air.

PUBLIC

Stefanie – agreed that the gate is not compatible. Coyote fencing on steel frames last a long time and do keep dogs in. or wire on back side. She didn't think the tree would survive. If it met the setback, it would be lower. The building is right at the property line. It is supposed to be five feet.

If the garage was set back It is too massive, and she supported the step up or step down. The gate was at Alameda and no steel gates in this area.

Daniel said the lot line is the light line here. The structure is seven feet back from the line >>>>

Seven is the requirement.

John Eddy – was sworn. He asked what the ceiling height of garage was.

Susan – about 11' 6".

John just measured his at about 9'. He didn't understand that much height. Makes no sense. It is the massing everyone objects to on this project.

And the removal of all this coyote fence and replacing with oppressive massing is the ratio of the vernacular. The steel gate is not appropriate either. Needs some wooden element as it does throughout Canyon Road.

Susan – was willing to lower the garage ht. she thought most garage ceilings were too low. This garage is narrow and one side for storage. She could lower the wall side to 7.5'?? 6' 8". >>>>

She said they will landscape with planting in front of the wall to the road.

Rios – so plantings on outside of the wall.

Susan – yes. She pointed out where on the screen shot of the wall. The green areas were planting areas.

Rios

Susan - >>>> next to the garage.

Frank – asked if next to garage was a storage space. If you wouldn't have that you would not lose the tree.

Susan was not sure.

No other questions

MOTION

Frank moved to approve the application with a couple of conditions: 1 that steel gate on west side be a wooden gate – not steel. And some coyote there. 2 and that garage be lowered by two feet.

Rios –

Frank – two feet lower – 7' at the corner.

Daniel – asked him to repeat gate.

Frank – a coyote gate, not steel. And pedestrian gate be a wooden gate also.

John – asked for clarification but you gave it. He seconded the motion.

Member Biedscheid – friendly as condition that wall along Canyon have height modulation at 25 'or

Frank okay

unanimous.

Susan Donner – thanks.

Rios comment on walls.

I. DISCUSSION ITEMS

Frank aske what happened to Garcia Street.

Nicole was postponed. Water Street also.

J. MATTERS FROM THE BOARD

Rios asked Sally how close we are to??

Sally – another review tomorrow on gathers in – if we make it to Green or turquoise.

The ??instructor - have a sense of what we can do with public health order to make sure we can do it.

Rios – appeals?

Sally – 542 Cam Monte sol – on denial of new ped gate with arch stucco feature on top. On April 14 and pending on Corrales >>>> denied on height allowance for torreon feature an to Governing Body on April 28.

Appeal on OSFT addition on significant structure. Pulled by Stefanie >>>

Some gong through District Court and close to being wrapped up.

Rios-??

Sally – this is quasi-judicial body and when appealed to higher body, the lower court is not a party to the appeal. >>>> she used Magistrate court as an example. You are not a party to an appeal. That is how I understand it. I represent your decision at the appeal to the best of my abilities. I try to represent your interests.

Frank asked about a wall being built on Camino del Monte Sol. It never came before us and looks more than 4' high. He didn't remember the address.

Rios thought it was 400 block. Did Staff approve it.
Nicole would have to look up the address.
Frank would get it to her.

K. NEXT MEETING: Tuesday, March 23, 2021

L. ADJOURN
8:40.

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2020-2975-HDRB

Address - 918 Don Gaspar Avenue

Agent's Name – Martinez Architecture Studio

Owner/Applicant's Name – Linda Banglis

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 9, 2021.

BACKGROUND

918 Don Gaspar Avenue is a single-family residential bungalow with a freestanding garage, both of which are designated contributing to the Don Gaspar Historic District. The house was constructed by 1928, and the garage by 1948 in a style that matches the house. This application involves only the garage.

Little evidence exists as to the history of the garage structure. It appears that the garage was built a few years after the house (1915, with the house built in 1911), and that the floor of the garage was lowered at a later date. It may have originally not had a front wall, only shingles over the gable. An HCPI from 1993 shows the garage with a shingled gable, but the bottom portion of the view is blocked by wooden doors that separate it from the street. Since the photo was taken, unpermitted work was performed on the garage. Half of the shingled gable was covered over with a scratch coat of plaster and an aluminum sliding window.

The Board reviewed the status of the garage in Case #2020-2975-HDRB on January 28, 2021. The Board downgraded the status of the structure to noncontributing and required the property owner to submit an application to restore the structure such that it shall be restored to its former contributing status.

At this hearing, the Applicant returned to the Board with the following proposal:

1. Reconstruction of the west wall, which is the front façade of the garage. The front door and window in will be white to match existing gate. The stone walls are “river rock”. The boards and trim will be white to match existing. The shingles will be brown to match the existing. The roof material will remain green asphalt shingles.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts; and 14-5.2(H), Don Gaspar Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
6. The property is located in the Don Gaspar Area Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(H).
7. Under SFCC Section 14-5.2(C)(2)(f), “If a property owner makes changes to a structure without the proper city approvals which result in the lowering of the structure's status, staff or the board may require the property owner to restore the structure such that its former status is restored.”
8. SFCC Section 14-5.2(C)(1)(c) expresses a purpose and intent to preserve the “[d]istinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure.”
9. In Case #2020-2975-HDRB, the Board found that unpermitted alterations to the garage structure required a lowering of the structure’s status to noncontributing and directed the Applicant to submit an application intended to restore the structure’s former contributing status.
10. In Case #2020-2975-HDRB, the Board specifically found that the garage is more than fifty years old and retains integrity because a significant amount of its historic material, features, and craftsmanship remain in the form of the shingled gable; but that the unpermitted alterations, including the scratch coat of plaster and the new door and window, prevent the structure in its current condition from adding to the historic associations or historic architectural design qualities that are significant for the district.
11. The Board finds that the Applicant’s proposed remodeling will remediate the unpermitted alterations and restore the structure’s contributions to the historic associations or historic architectural design qualities that are significant for the district.
12. The Board finds that, following completion of the scope of work proposed in the application, the contributing status of the structure will be restored because the structure will have its original footprint, gable, and painted shingle; the structure retains its three historic stone walls; and the Applicant will be restoring the shingled portion of the front of the structure.
13. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.

14. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
15. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
16. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.
3. The Board restores the status of the garage to contributing with the following conditions:
 - The contributing status shall not take effect until the Applicant completes the scope of work approved by the Board, as set forth in the application.
 - No primary façade is designated for the structure, but the distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize the structure shall be preserved.

IT IS SO ORDERED ON THIS 23rd DAY of MARCH 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:



Sally A. Paez
Assistant City Attorney

March 23, 2021
Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-3048-HDRB

Address – 555 San Antonio

Agent’s Name –Design Solutions

Owner/Applicant’s Name – Barbara Wagner and Charles Palmer

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 9, 2021.

BACKGROUND

555 San Antonio is a Pueblo Revival style 3,176 square foot residence designated as contributing to the Downtown and Eastside Historic District. It is believed to have been constructed before 1932.

The property has undergone multiple additions and alterations. According to a 1991 HDRB case, the house was remodeled in 1945, 1965, and 1975. A portal was added to the west elevation in 1975. In 1991, the square footage was approximately 2,100 square feet. Sometime after this, a 900 square foot addition was constructed. Another larger addition was also added after 1991. The house reads as two houses conjoined: the original house and the addition on its south façade. The existing yard wall has replaced a lower yard wall with a different configuration.

At this hearing, the Applicant requested designation of primary façade(s) as applicable.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended designating the north elevation (façade #2) as the primary façade per SFCC Sections 14-5.2(C), Regulation of Significant and Contributing Structures.
3. Staff presented a revised façade diagram at the hearing, which replaced the façade diagram set forth as an exhibit to the staff report. The revised façade diagram is attached as Exhibit A.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.

6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-2.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
9. Under SFCC Section 14-12.1, the definition of a “noncontributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
10. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
11. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the north elevation minus the carport (façade #2) and the northern half of the west elevation (façade #1) are the primary elevations of the structure with the features that define the character of the structure’s architecture. *See Exhibit A.*
12. The Board agrees with staff’s rationale for designating façade #2 as primary and further finds that the northern half of the west elevation (façade #1) maintains its character-defining features and historic windows, despite the portal added in 1975.
13. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board designates as primary facades western façade #1 and northern façade #2, as shown on attached Exhibit A, excluding any materials that are non-historic at the time of any future proposed alterations.

IT IS SO ORDERED ON THIS 23RD DAY of MARCH, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

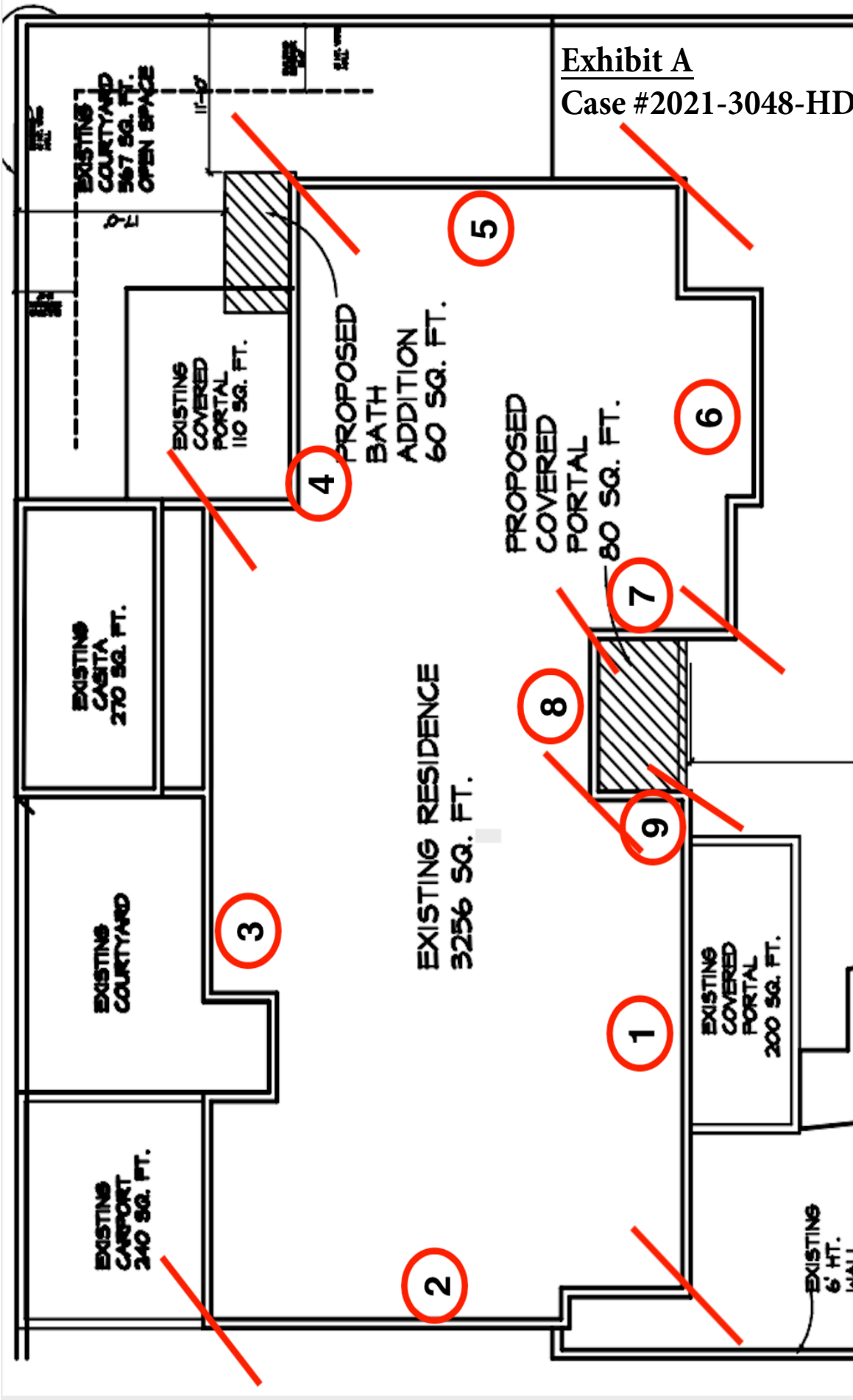


Sally A. Paez
Assistant City Attorney

March 23, 2021
Date

Exhibit A

Case #2021-3048-HDRB



**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-3197-HDRB

Address – 555 San Antonio

Agent's Name –Design Solutions

Owner/Applicant's Name – Barbara Wagner and Charles Palmer

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 9, 2021.

BACKGROUND

555 San Antonio is a Pueblo Revival style 3,176 square foot residence designated as contributing to the Downtown and Eastside Historic District. It is believed to have been constructed before 1932. The building underwent alterations in 1945, 1965, and 1975. A portal was added to the west elevation in 1975. In 1991, the square footage was approximately 2,100 square feet. Sometime after this, a 900 square foot addition was constructed. Another larger addition was also added after 1991. The house reads as two houses conjoined: the original house and the addition on its south façade. The building is surrounded by a stucco yard wall varying between 5’-6 and 7’-6” in height. The existing yard wall replaced a lower yard wall with a different configuration.

At a hearing held immediately before the hearing in this case, the Board considered the Applicant’s request in Case #2021-3048-HDRB to designate primary façades for the residence, and the Board designated both the northern half of the west elevation and the north elevation, minus the carport addition.

At this hearing, the Applicant proposed the following changes:

1. Add an 80 square foot portal to the west elevation at the entry/front doors. The portal is intended for protection from the elements.
2. Add a 60 square foot room on the east elevation.
3. Remove the existing wooden vehicle gate on the north elevation and replace with stucco wall to match existing. Existing landscape pavers will be removed and revegetated.
4. Remove a window in the carport and cover with plaster to match the existing.
5. Add three skylights. All skylights will be low profile with bronze anodized cladding and will be concealed behind parapets and not publicly visible.

Exterior stucco will be cementitious El Rey “La Luz” to match existing. Roofing will be tan colored brai. New windows and doors will be fabricated with divided lites in a clad color of “Sage Green” from Sierra Pacific Windows. Stain will be natural linseed oil.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval and found that the application complied with SFCC Sections 14-5.2(D), General Design Standards; and 14-5.2(E) Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Section 14-5.2(D)(2)(d), “Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade.”
8. Item #1, the proposed addition of an 80 square foot portal to the west elevation, would result in an addition less than 10’ from a primary façade.
9. Approval of Item 1 would require an exception to SFCC Section 14-5.2(D)(2)(d).
10. The Applicant did not request an exception.
11. At the Hearing, the Applicant withdrew Item #1 from the scope of work being proposed at this time.
12. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
13. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.

15. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. Item #1 has been withdrawn from the Application.
3. The Board approves Items #2-5, as recommended by staff.

IT IS SO ORDERED ON THIS 23rd DAY of MARCH, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:



Sally A. Paez
Assistant City Attorney

March 23, 2021
Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-3185-HDRB

Address – 1299 Canyon Road

Agent’s Name – Sandra Donner

Owner/Applicant’s Name - Julia and Randall Burt

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 9, 2021.

BACKGROUND

1299 Canyon Road is a single-family residential structure with non-contributing historic status to the Downtown and Eastside Historic District. The property currently has a coyote fence directly along the street.

The Applicant proposes the following items:

1. Remove existing coyote fence yard wall along the east and south side of the property;
2. Partially remove stucco yard wall along Canyon Road; western edge of property;
3. Construct new stucco yard wall to a maximum height of 68 inches at the western edge of property along Canyon Road;
4. Construct stucco yard wall to replace coyote fence at eastern edge of property at Canyon Road and running north along shared drive;
5. Install new oxidized steel pedestrian gate at new parking area on the western edge along Canyon Road;
6. Create new flagstone step configuration at inside of property, western edge of property along Canyon Road, and reconfigured moss rock walls at new steps;
7. Add new low moss rock planter wall at eastern edge of property at Canyon Road and running north along shared drive;
8. Construct new garage to a height of 14 feet, including a trash enclosure. The garage door will match the oxidized steel gates. Headers above doors will match color of the existing headers at existing carport and house;
9. Install new vehicular gate along eastern shared driveway, of oxidized steel;
10. Stucco the entire house, yard walls, carport, and garage with El Rey “Twig”; and
11. Insert a new bronze mailbox in the yardwall.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(E) states that “Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail.”
7. SFCC Section 14-5.2(A)(1)(c) states that a purpose of the ordinance is to achieve “general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.”
8. The City’s Wall and Fence Guidelines provide that “Gates should be designed to complement the wall or fence treatment containing them with respect to scale, height, material, texture and color. Fenestrated gates should be encouraged as opposed to solid gates.”
9. The Applicant proposed two solid oxidized steel gates, including a pedestrian gate and a vehicular gate.
10. The Board finds that the proposed solid oxidized steel gates lack fenestration and fail to achieve harmony with historic buildings and Recent Santa Fe style construction through the retention of a similarity of materials, color, and general detail.
11. The City’s Wall and Fence Guidelines provide that “Wall heights should modulate a minimum of 8 inches, or one block course, at least every 25’.”
12. The Applicant proposed a wall that would be over 25’ in length without modulation in height.
13. At the hearing, the Applicant agreed to modulate the wall height.
14. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
15. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
16. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.

17. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items 1-11, as recommended by Staff, with the following additional conditions:
 - For Items 3-4, stuccoed yard walls along Canyon Road shall be modulated approximately every twenty-five feet (25'). The architect may exercise discretion in determining the amount of modulation.
 - For item 5, the pedestrian gate is to be of wood and not of oxidized steel as proposed.
 - For Item 8, the height of the garage shall be two (2) feet lower than proposed in the application.
 - For Item 9, the vehicular gate shall incorporate coyote fence latillas and shall not be a solid oxidized steel gate as proposed.
 - The Applicant shall submit new drawings for approval by staff prior to seeking permits.

IT IS SO ORDERED ON THIS 23rd DAY of MARCH, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:



Sally A. Paez
Assistant City Attorney

March 23, 2021
Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-3199-HDRB

Address - 1660 ½ D Cerro Gordo

Agent's Name – Bill Roth

Owner/Applicant – Michael Loftin

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 9, 2021.

BACKGROUND

1660 ½ D is a 3,500 square foot Spanish Pueblo Revival style single-story residence built in the 1990s and located in the Downtown and Eastside Historic District. The building has a historic status of non-contributing. The house is located off Cerro Gordo Road to the south and through a winding driveway tucked into the back of the lot that runs along the river. None of the building is publicly visible.

The Applicant proposed to add a 272 square foot writing studio on the southwest corner of the house. The addition will match the house’s style with a shed roof portal with a standing seam style profile, dark brown in color. The construction will be frame and stucco. The roof is flat with parapets. The stucco will be cementitious El Rey’s “Buckskin” to match existing house. Windows will be clad dark brown color “Sim” to match existing windows. The south exterior door will be from the same manufacturer with same cladding and finish. The north door will match the south door.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval and found that the application complied with SFCC Sections 14-5.2(D), General Design Standards; and 14-5.2(E) Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.

5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 23rd DAY of MARCH, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:



Sally A. Paez
Assistant City Attorney

March 23, 2021
Date



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2020-002954--HDRB

Project Description: Case #2020-002954-HDRB. 333 Sena Street. Don Gaspar Area Historic District. Duran Enterprises, agent for Robert Gallagher, owner, proposes to demolish a yard wall and construct a new yard wall. An exception to exceed the maximum allowable height of the yard wall per Section 14-5.2(D)(9)(c)(ii)(c) is requested. (Daniel Schwab, DNSchwab@santafenm.gov, 955-6660)

Project Location(s): 333 SENA ST
Santa Fe, NM 87505

Contacts:

Applicant: ROBERT DURAN
37 GONZALES LN SUITE B
SANTA FE, NM 87506

DURANENTERPRISESINC@

Property Owner: Sean Gallagher
333 SENA ST
Santa Fe, NM 87505

GallagherSantaFe1@gmail.com

Historic District: HD: Don Gaspar Area

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number: H-3448

Year of Construction: circa 1935

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 23, 2021
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-002954-HDRB

Address: 333 Sena Street
Historic Status: Contributing
Historic District: Don Gaspar Area

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Form
- Preliminary Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards. Staff recommends that the exception criteria have been met.

BACKGROUND & SUMMARY:

333 Sena Street is a single-family residential structure constructed in the Mission Revival Style with contributing status to the Don Gaspar Historic District.

It is located on the corner of Sena and Don Cubero Streets and is surrounded by a non-historic low wall, with the house and lot sitting 3 to 4 feet above the grade of the street. The age has been determined by Hands Engineering based on the existence of a cementitious mix from the late 1970s. The maximum allowable wall height is 58 inches on Sena Street and 59 inches on Don Cubero Street.

The applicant presented a proposal to HDRB on its hearing on February 9th, 2021, proposing a stucco wall built to a height six feet along the west and south boundaries of the property. The applicant applied for an exception to Section 14-5.2(D)(9)(c)(ii)(c) to exceed the maximum allowable height of walls in the streetscape.

The reasons were:

1. The house sits between three and four feet above the level of the street, so that the wall is this much lower from the house-side.
2. The house has outdoor space only on the west and south sides, both of which face a street. A wall of sufficient height given the difference of grade of 3 to 4 feet is needed to ensure safety of young children and small pets.
3. A wall is needed to secure the property from theft. The house has been the subject of several burglaries which have been caught on security cameras. Stills from the video footage has been included in the application packet.

The HDRB denied the application, finding that the exception criteria had not been met, and requested that in the case of a redesign, that the street view from Sena Street of the contributing house be preserved, and mentioned a wrought iron fence as a possible alternative.

The applicant now returns to the Board with a new proposal. The applicant proposes that a stucco wall be built to a height of four feet with a 2-foot wrought iron fence on top of it along the south perimeter of the property. In doing so, the streetscape, with its typical lower wall height, is preserved. On the west perimeter, the stucco wall would go up to six feet.

As with the original application, this one requires an exception to Section 14-5.2(D)(9)(c)(ii)(c) to exceed the maximum allowable height of walls in the streetscape.

El Rey cementitious stucco will be used for stucco finish, texture, and a custom color to match the existing house as close as possible. The gate will be custom built using black wrought iron fencing

The wall will be lowered to 3 feet in height at particular locations to accommodate sight triangles – at the driveway on Sena Street, the driveway on Don Cubero and the corner of Sena and Don Cubero – and will be topped with wrought iron to match the gate.

EXCEPTION CRITERIA AND RESPONSES:

Exception to Section 4-5.2(D)(9)(c)(ii)(c): Staff requests an exception to exceed the maximum allowable wall height.

(i) Do not damage the character of the streetscape

Applicant Response: The existing wall is made of Pumas and Mordor which is not considered a good dirt retaining material. We are looking to mirror image what the district's street overview presently looks like.

Staff Response: There are some walls of comparable height in the street, and certainly elsewhere in the district. Although the average is lower, this will not damage the district, as the main asset to the streetscape is the contributing house, not the wall. The wall can later be removed without damaging the house. The view of the contributing structure has been preserved by using the wrought iron fence. Thus there is no damage to the streetscape.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Applicant Response: 1) The existing wall is structurally unsafe and coming apart and it could possibly cause injury to pedestrians walking along the sidewalks. 2) Due to the existing wall height the homeowner is finding hardship on his privacy, last year they had vandalism that was recorded on his home security camera. Due to the existing wall height he is genuinely concerned about his grandkids and feeling safe, having more privacy while they play outside, also the bad structure of the wall could come down and hurt them. 3) Owner has pets and due to the damages to the existing wall he does not have the ability to let them out to take care of business or run free in his own yard, he has to have them on a leash at all times.

Staff Response: Staff agrees with the applicant.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response: Getting rid of the pets or not allowing grandkids out to play in his yard are not options. Raising the wall with the same pumas material will not pass Santa Fe codes (as stated, pumas and Mordor is not considered a good dirt retaining material), Also the elevation inside the wall is a 2ft difference than the elevation from the sidewalk. Therefore, with a 6ft CMU wall it will only be 4 ft in height from inside the yard. As per Historical Requirement a 58" wall is allowed and with the 2' elevation difference the new wall will only be 10" above the 58" requirement inside of the yard wall.

Staff Response: Staff agrees with the applicant. There are no alternatives due to the shape of the lot, the position of the house on it, and its raised nature above the streetscape. The design alternative proposed by the board have been adopted by the applicant.

(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape ;

Applicant Response:

Response: Again, the elevation inside the wall is a 2ft difference than the elevation from the sidewalk. Therefore, with a 6ft CMU wall it will only be 4 ft in height from inside the yard. As per Historical Requirement a 58" wall is allowed and with the 2' elevation difference the new wall will only be 10" above the 58" requirement inside of the yard wall. The windows to the home are low, which allow people to look in giving the homeowners no privacy. There is not a backyard this is the only place for kids and dogs.

Staff Response: Staff agrees with the applicant. The house sits higher than the lot and also on the inside corner of the lot so that the only outdoor space is along the street. A higher wall is needed for privacy and child and animal safety.

(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant

Applicant Response: The home is located on a corner with little traffic.

Staff Response: Staff recommends that the exception has been met.

(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).

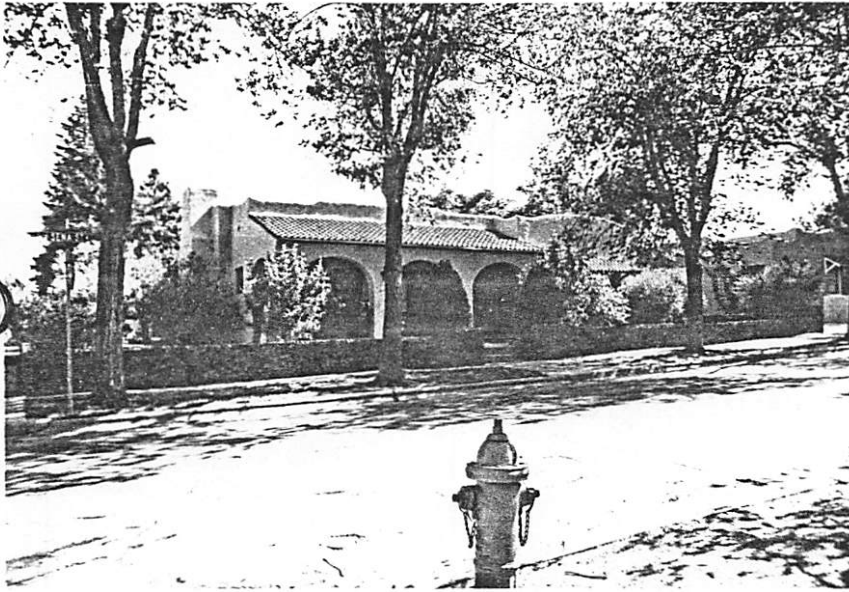
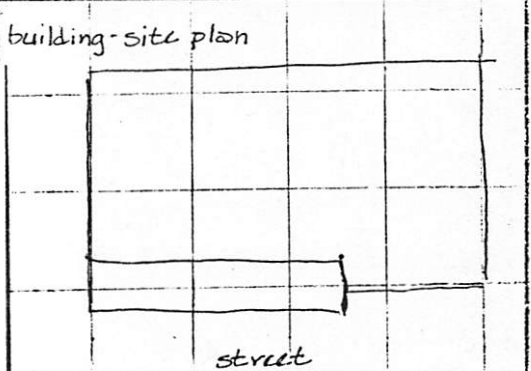
Applicant Response: The wall will not impact the house, which has contributing status. The house is still partially visible.

Staff Response: Staff agrees with the applicant.

C
OK

building threatened? yes	surveyed date 8-82 by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 445	UTM reference zone 12 13	easting 444210 northing 3948520
location description 333 Dena		city/town Santa Fe	
		land grant/reservation	

building name	legal description tnsp N S range E W sec 1/4 1/4
film roll by E.T. no. 15	negative nos. 12 loc. of neg. City of Santa Fe



date of construction 1935 estimate 1930-36 actual
source City Directory
use present residential
other
historic residential
other
condition ___ excellent ___ fair ___ good ___ deteriorating

style Mission Revival	foundation material N/A
	wall material/surface stucco / tile

degree of remodeling ___ minor ___ moderate ___ major
describe:

architectural features

Undulating parapet canals
tile roof on porch, hood
round arcade porch
width - 1-1, diamond shape
above

surroundings Yes
relationship to surroundings ___ similar ___ not similar

district potential ___ yes ___ no
significance ___ significant ___ contributing ___ supporting ___ intrusive

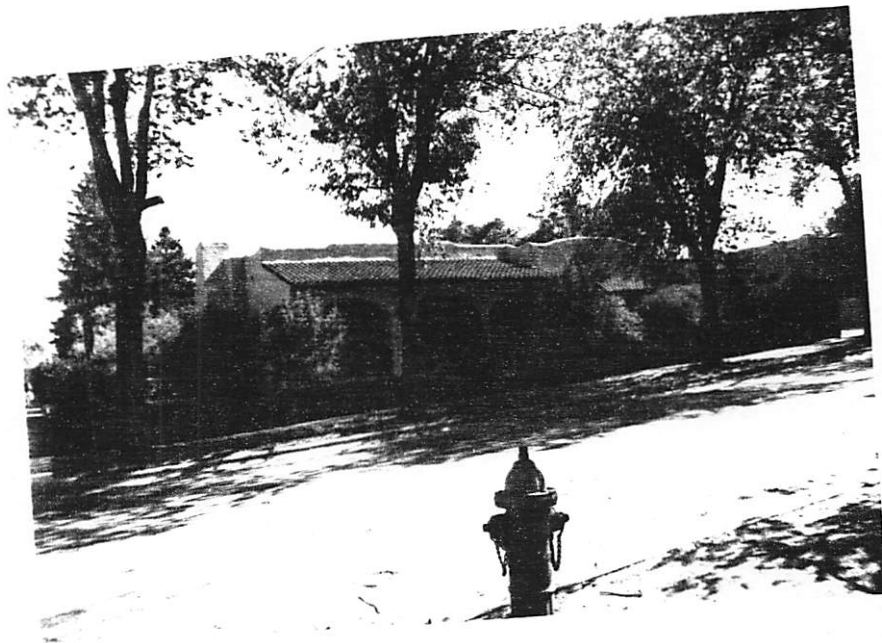
comments

Stone (rock) retaining wall 2'
at trees
yard well landscaped
nice example

associated buildings? ___ yes ___ no
what type? garage
if inventoried, list ID nos.

1936 cd - Martinez

see back? ___ yes ___ no



1936 ed. - Martiney JR
1964 Sanborn Update

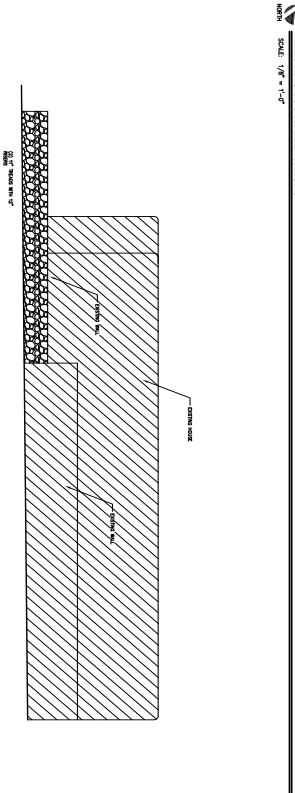
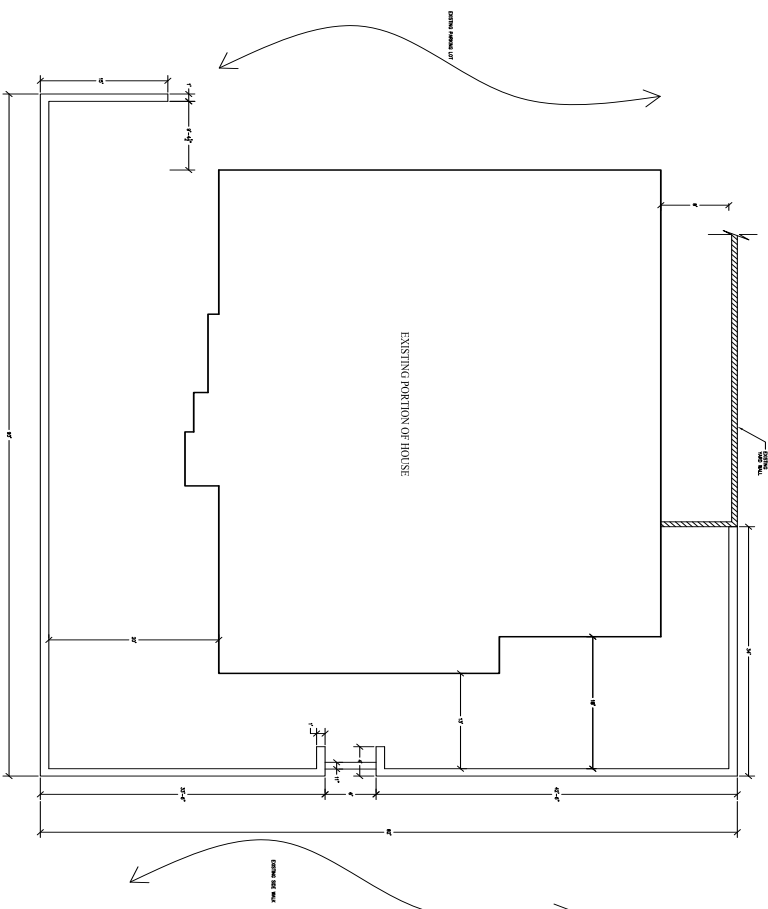
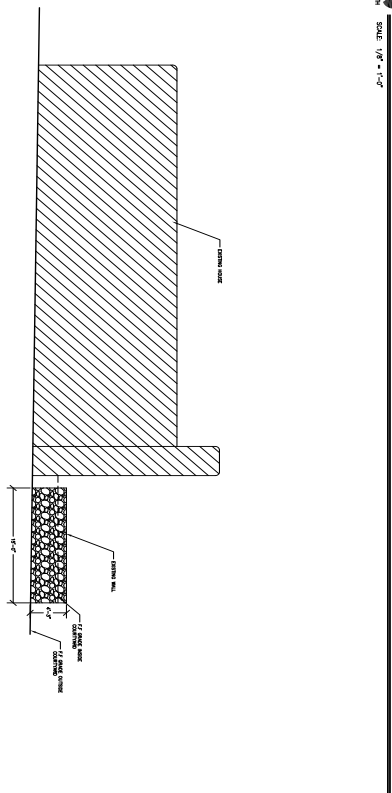
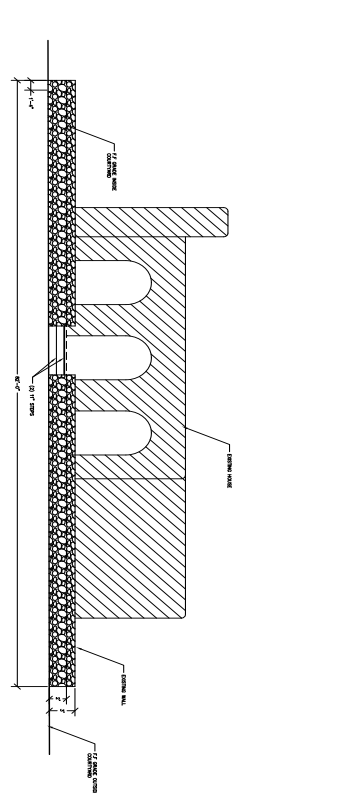
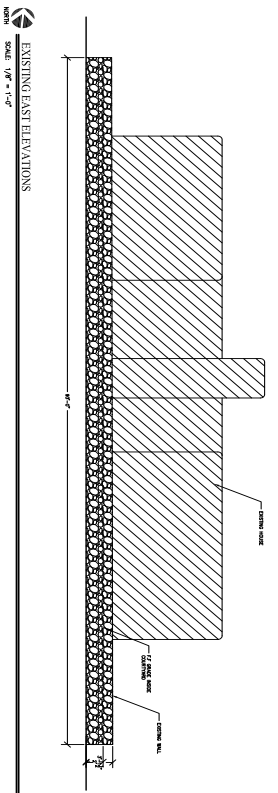
THESE DRAWINGS ARE THE PROPERTY OF DURAN ENTERPRISES, INC. AND ARE NOT TO BE REPRODUCED, MODIFIED OR USED FOR ANY OTHER PROJECT OR WITHOUT THE WRITTEN AGREEMENT WITH DURAN ENTERPRISES, INC.

NO.	
DATE	
BY	
CHECKED BY	
STAMP	

PROJECT TITLE
 WALL REPLACEMENT FOR SEAN T. GALLAGHER

333 SENA ST.
 Santa Fe, New Mexico

PROJECT NO.	
CHECKED BY	DATE
DRAWN BY	DATE
SHEET TITLE	
EXISTING WALL ELEVATIONS	



EXISTING YARD WALL
 SCALE: 1/8" = 1'-0"

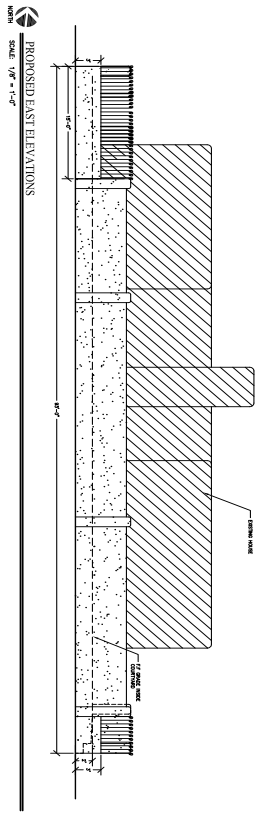
EXISTING WEST ELEVATIONS
 SCALE: 1/8" = 1'-0"

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PROJECT OR EXTENSION OF THIS PROJECT
EXCEPT BY WRITTEN AGREEMENT WITH
DURAN ENTERPRISES, INC. ...

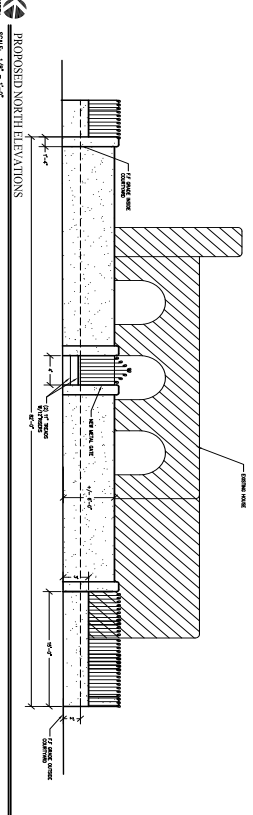
NO.	
STAMP	

PROJECT TITLE
WALL REPLACEMENT FOR
SEAN T. GALLAGHER
333 SENA ST.
Santa Fe, New Mexico

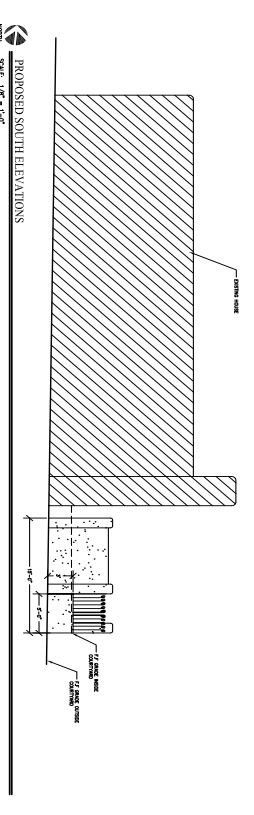
PROJECT NO.	
CHECKED BY	DATE
DRAWN BY	DATE
SHEET TITLE	



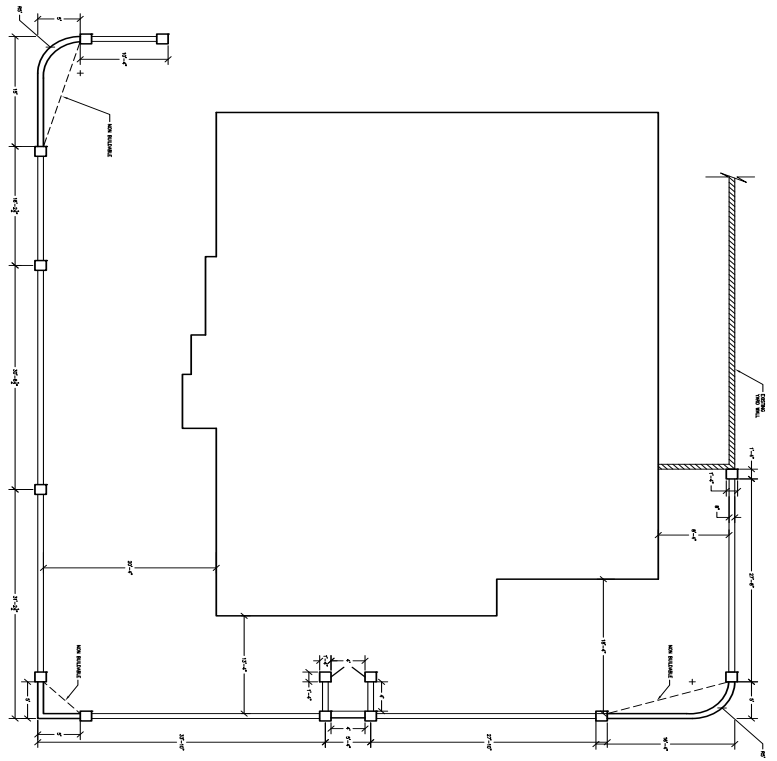
PROPOSED EAST ELEVATIONS
SCALE: 1/8" = 1'-0"
NORTH



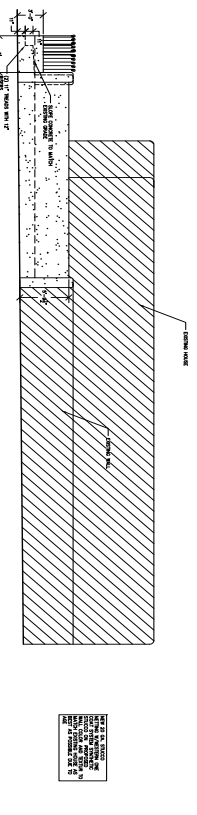
PROPOSED NORTH ELEVATIONS
SCALE: 1/8" = 1'-0"
NORTH



PROPOSED SOUTH ELEVATIONS
SCALE: 1/8" = 1'-0"
NORTH



PROPOSED YARD WALL
SCALE: 1/8" = 1'-0"
NORTH



PROPOSED WEST ELEVATIONS
SCALE: 1/8" = 1'-0"
NORTH

SEE THE REVISIONS TO THESE DRAWINGS FOR THE LATEST REVISIONS TO THE PROJECT.



37 B Gonzales Lane
Santa Fe NM 87506
Office (505) 988-5650
Fax (505) 989-2473
E-Mail duranenterprisesinc@gmail.com

Duran Enterprises De Santa Fe Inc.

March 1, 2021

333 Sena Street
Santa Fe, NM 87505

Historic Districts Review Board Application



Requesting to Demolish and remove all existing non-Historical yard wall including foundation. Includes cutting the shrubs and greenage to accommodate for new wall as per Hands Engineering finding (letter and pictures attached)

Install New foundation as per State Code, proposing to build 4'0" in height CMU Retaining Wall with a 2'0" Wrought Iron for non-obstruction view to home on the South Senna Street, Due to the fact that the home sits between 3 and 4 feet higher than the street elevation, the home will have 100% visibility on the Sena Street Side and 85-95% visibility on the Don Cubero Street Side. Please view pictures Attached. On the West Don Cubero Street, we are proposing to build a 6' in Hight, 8" CMU retaining 4' of dirt to create privacy and safety for the Grandkids and pets. Both walls will be constructed as follows: Total of six 12x8x16 Pilasters, core fill block cylinders, all corners, all pilasters, and every 32" in the centers with #4 rebar and 3000 PSI Concrete.

Install 20 Gauge stucco netting with one coat of base using Western One Coat and nylon mesh to minimize plaster from cracking. El Ray Stucco will be used for stucco finish, texture, and color to match existing as close as possible; Color is El Ray "Tumbleweed". Color may not be an exact match due to oxidation.

*Note: Shrubs and plant that need to be removed for the new wall will be taken out and not put back, excavating dirt to accommodate footer will be stockpiled in homeowners' yard and will be placed back upon completion.

Gate and Fence will be custom built using black Wrought Iron Fencing

Revisions to scope of work as requested by the PZR and Mario with Wilson & Company.

Driveway on Sena and Driveway on Don Cubero also the corner of Sena and Don Cubero we are requesting for the CMU block wall not to exceed 3 Ft. in height yet allowing installation of wrought iron (to match gate) 3Ft. in height above the CMU wall with ample openings as to not obstruct visibility with in the "no build triangle."



A BUSINESS BUILT ON A STRONG FOUNDATION
Home Builders Assoc. Historical Remodel Award Winners

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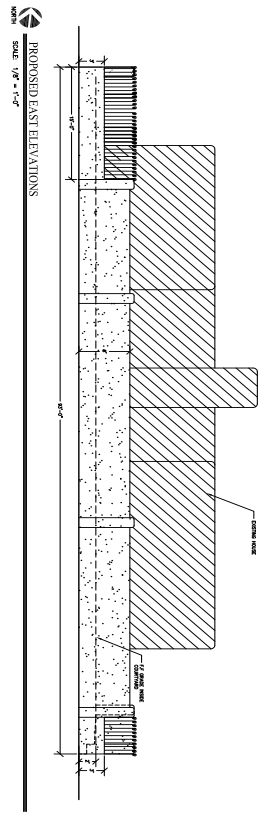
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DATE	
DRAWN BY: RJD	DATE: REVISED
SHEET TITLE	

PROJECT TITLE
WALL REPLACEMENT FOR
SEAN T. GALLAGHER

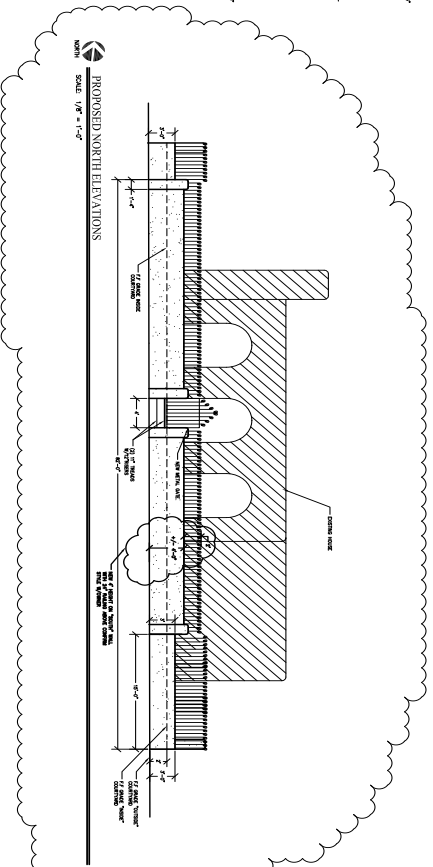
333 SENA ST.
Santa Fe, New Mexico

CHECKED BY	DATE
DRAWN BY: RJD	DATE: REVISED
SHEET TITLE	

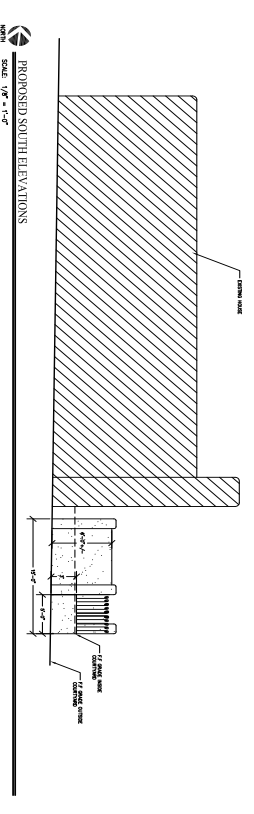
SHEET NO.
A-2



PROPOSED EAST ELEVATIONS
SCALE: 1/8" = 1'-0"
NORTH

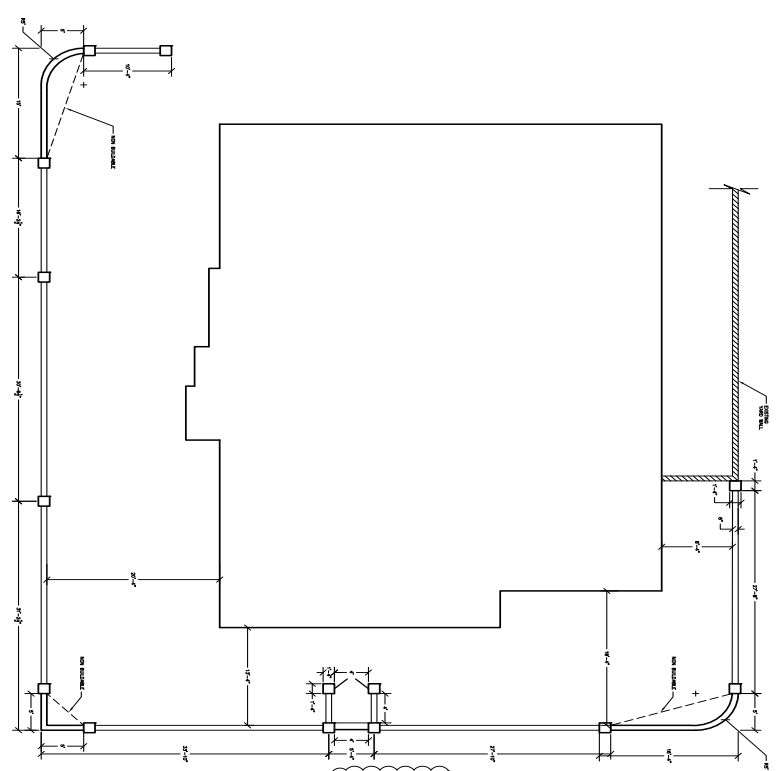


PROPOSED NORTH ELEVATIONS
SCALE: 1/8" = 1'-0"
NORTH

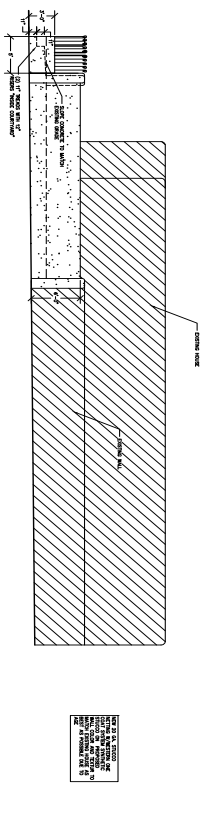


PROPOSED SOUTH ELEVATIONS
SCALE: 1/8" = 1'-0"
NORTH

PROPOSED YARD WALL
SCALE: 1/8" = 1'-0"
NORTH



PROPOSED WEST ELEVATIONS
SCALE: 1/8" = 1'-0"
NORTH



1170 GORDON BLVD.
SANTA FE, NEW MEXICO 87506
Telephone: 505-826-8400
FAX: 505-909-2473
E-MAIL: admin@duranenterprises.com



Hands Engineering, Inc.

February 23, 2021

Mr. Robert Duran
Duran Enterprises, Inc.
37B Gonzales Lane
Santa Fe, NM 87506

**RE: 333 SENA STREET
SANTA FE, NEW MEXICO
Hands Engineering Project No. 2021-5632**

Dear Mr. Duran:

Per your request, Hands Engineering, Inc. was employed to perform a site visit to the referenced site. On February 19 and 22, 2021, James Hands visited the site to gather the information necessary for our analysis. The purpose of the site visit was to evaluate the structural condition of the wall located at 333 Sena Street.

Please note that the evaluation was a visual observation only and no plans were available at the time of the visit. Photos were taken at the site and are enclosed.

My observations are as follows:

1. The Photos show where the wall has shifted outward at the top.
2. The photos also show the construction of the wall with rock sand cemented cementitious grout.
3. The wall is out of plumb by as much as three inches.

My conclusions are as follows:

1. This wall is constructed of volcanic lava rocks and a cementitious sandy grout.
2. Because the wall is a cementitious mix, it indicates that this wall was recently constructed sometime in the late 1970's.
3. This wall is retaining soil from the yard side of the property. Ungraded sand without graded aggregate is not an accepted material for retaining soil because it has very low flexural strength. The sandy cement cannot be reinforced because rebar will not bind properly and resist bending.

2845 Agua Fria Street • Santa Fe, New Mexico 87507 • Ph: 505.473.7373 • Fax: 505.473.4865

4. This wall will continue to deteriorate and will eventually collapse.

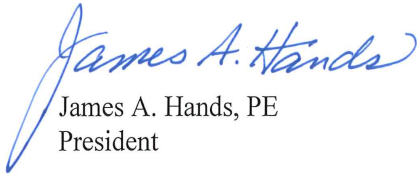
The wall should be removed and replaced with a properly designed retaining wall. The new wall should either be an 8" thick reinforced concrete masonry unit (CMU) wall or an 8" thick reinforced concrete wall.

The conclusions and opinions stated are based on our understanding of the facts and evidence stated in the discussion above. Should additional facts or evidence become available pertaining to this project I reserve the right to review that information and revise my opinions when appropriate.

Please note that our office has provided structural consultation for only those items listed in this letter. Hands Engineering, Inc. assumes no responsibility for the structural adequacy of any other members or systems in this project.

Please do not hesitate to contact our office should you have any questions or if we can be of further assistance.

Respectfully submitted,


James A. Hands, PE
President

JAH/lmh

Encl: Photos





2021-5632

333 Sena Street, Santa Fe, NM

03-01-21





2021-5632

333 Sena Street, Santa Fe, NM

03-01-21



2021-5632

333 Sena Street, Santa Fe, NM

02-26-21





2021-5632

333 Sena Street, Santa Fe, NM

02-26-21





2021-5632

333 Sena Street, Santa Fe, NM

02-26-21



333 Sena St South side Client wall



333 Sena St. North side of client wall



333 Sena St - Southside wall view



333 Sena St. Client wall and
(west of wall)

Google Maps

329 Sena St - Neighbors wall

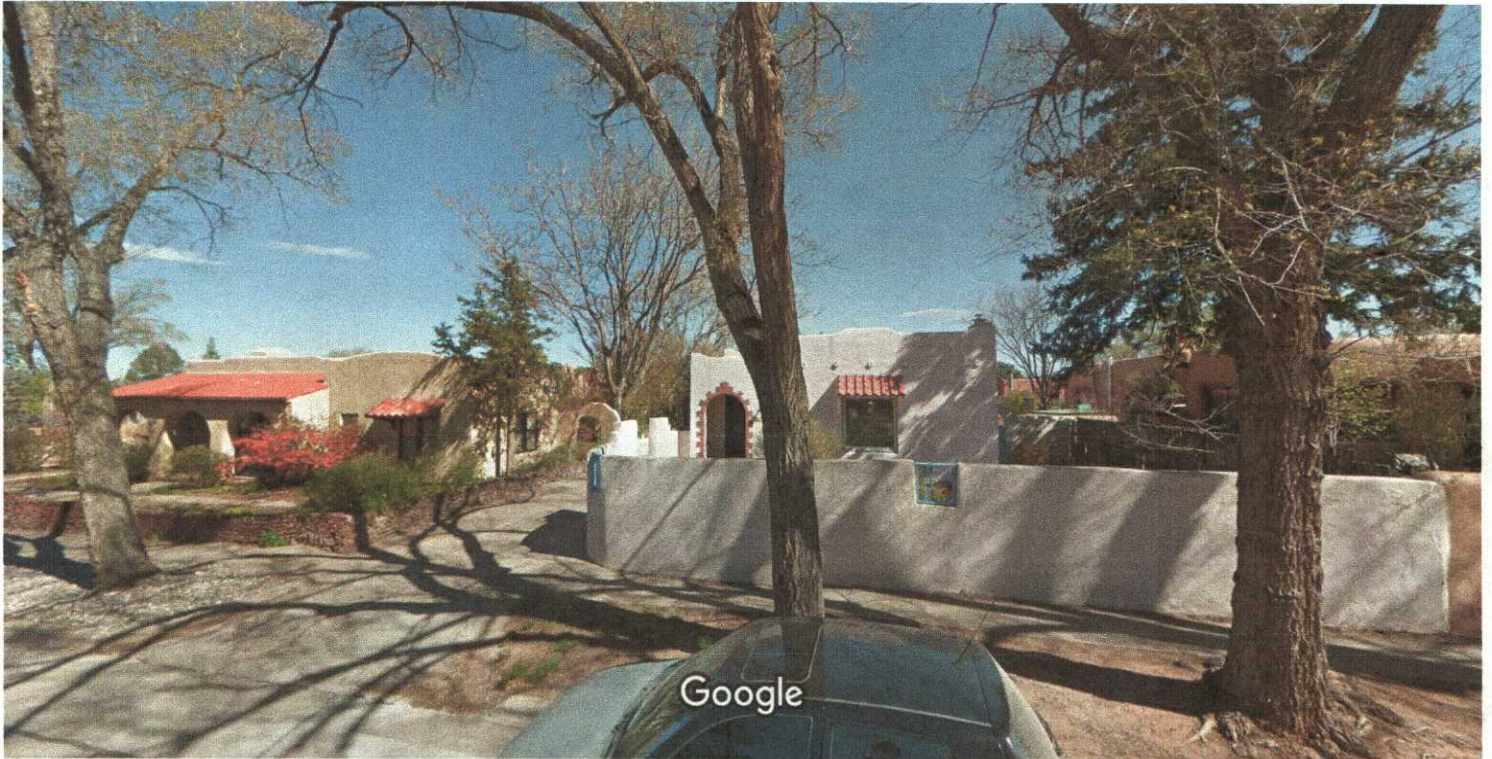
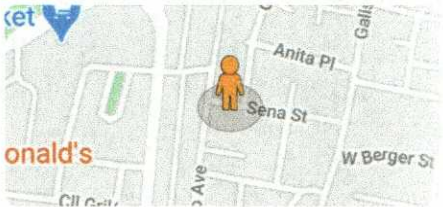


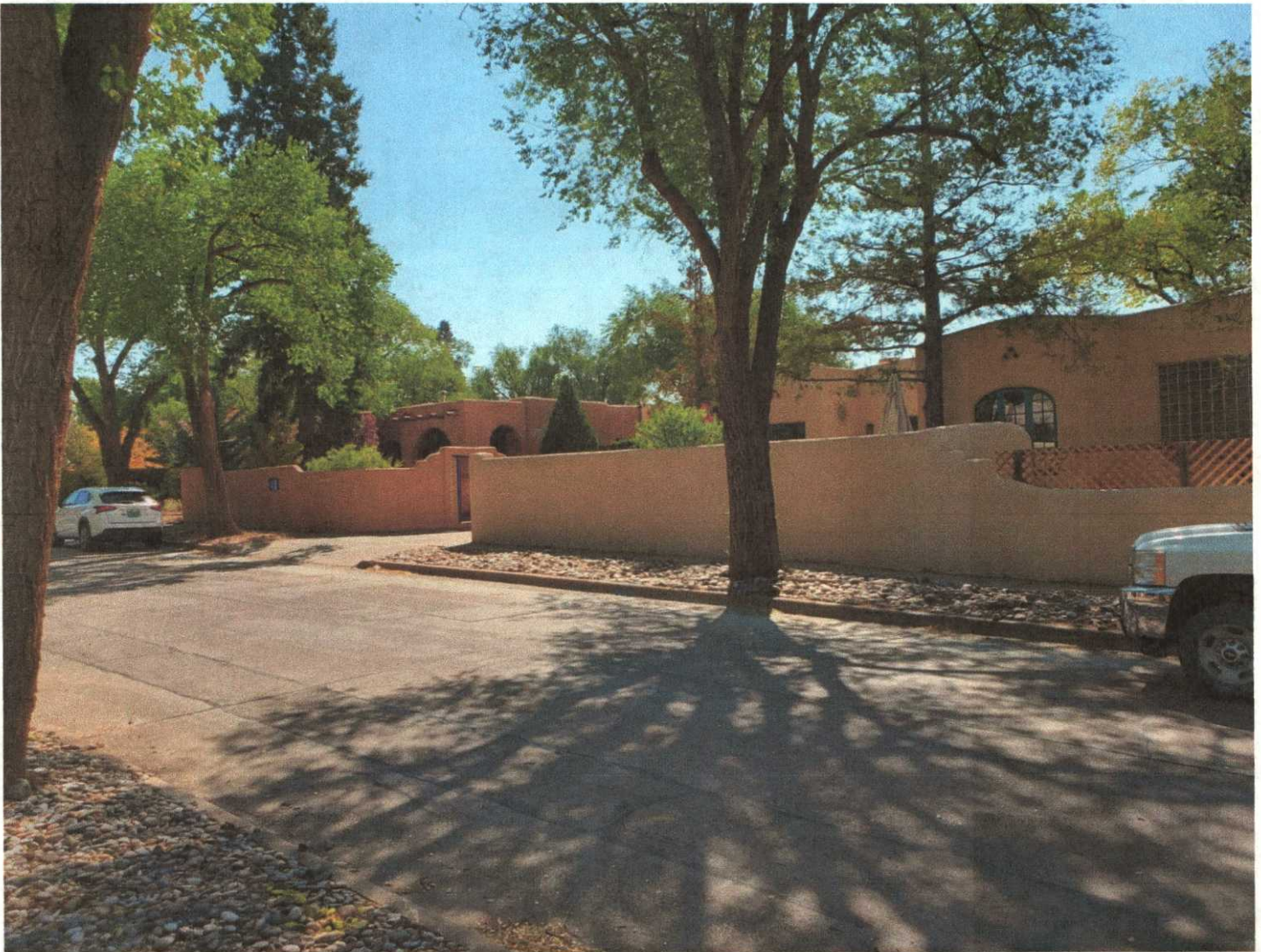
Image capture: Apr 2014 © 2020 Google

Santa Fe, New Mexico



Street View





North side of Sena St. Neighbors walls



View of Neighbors walls
from 333 Sena St.





East side of Cleenes
wall - showing adjacent
Neighbors wall.



Memorandum

To: Regina Wheeler

From: Mario Juarez-Infante, PE



CC: Audra Gallegos

Date: 1/11/2021

Re: 333 Sena Street Traffic Review

Ms. Wheeler and Staff,

Based on the revised attached site plan, we have completed the drive visibility review based on City of Santa Fe Article 14-7 - BUILDING ENVELOPE AND OPEN SPACE STANDARDS AND MEASUREMENTS, 14-7.1 - GENERAL RULES OF MEASUREMENT AND EXCEPTIONS, paragraph (F) Visibility at Driveways and Yards, sets forth the visibility requirements for traffic safety. Additionally, we have reviewed the proposed fence and its impact to the intersection sight distance at Sena Street/Don Cubero Ave. Below are the findings and recommendations:

1. Driveway Visibility: The Site Plan identifies the “no build triangle”. The wall may be built, however, solid wall shall be less than 3-ft in height as defined (Ord. No. 2014-31 § 18). It is understood that the total fence height requested by the property owner is 6-ft, in which case, the dimension from 2-ft 11-inches to 6-ft may be constructed of wrought iron with ample openings as to not obstruct visibility within the “no build triangle”.
2. Sena Street/Don Cubero Ave. Intersection Sight Distance: Paragraph (F), Visibility of Driveways and Yards incorporates by reference the standards adopted by the American Association of State Highway and Transportation Officials (AASHTO). The AASHTO Intersection Sight Distance (ISD) is measured along the major road beginning at a point that coincides with the location of the minor road vehicle. Based on a 25 MPH posted speed limit, the recommended value ISD of 155-ft, is based on the following assumptions:
 - Stop control of the minor road approaches;
 - Using driver eye and object heights associated with passenger cars;
 - Both minor and major roads are considered at level grade;
 - Considers a left-turn from the minor road as the worst-case scenario (i.e., requiring the most sight distance); and
 - The major road is an undivided, two-way, two-lane roadway with no turn lanes.

The manual does make provision to lessen the ISD if assumptions differ. In this case, the subject area is situated in a low volume residential area with two residential intersecting streets. Therefore, we have appropriately evaluated using and ISD of 25-ft. This criteria satisfies the National Association of City Transportation Officials.

Recommendations:

1. Driveways: It is understood that the total fence height requested by the property owner is 6-ft, in which case, the dimension from 2-ft 11-inches to 6-ft may be constructed of wrought iron with ample openings as to not obstruct visibility within the “no build triangle”.
2. Sena Street/Don Cubero Ave Intersection: No impacts.

DURAN ENTERPRISES INC.

37 B GONZALES LN.
SANTA FE NEW MEXICO 87506
Telephone 505-988-5650
FAX 505-989-2473

E-MAIL duranenterprisesinc@gmail.com

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NO. _____
STAMP _____

PROJECT TITLE
WALL REPLACEMENT FOR SEAN T. GALLAGHER

333 SENA ST.
Santa Fe, New Mexico

PROJECT NO. _____

CHECKED BY _____ DATE _____
DRAWN BY R.D. DATE 12/18/20

SHEET TITLE

EXISTING WALL/
ELEVATIONS

SHEET NO.

S-1

BOUNDARY SURVEY
FOR
LOT 1
OF THE FRANK ANDREWS SUBDIVISION, PRECINCT No. 4
IN SECTION 25, T. 17 N., R. 9 E., N.M.P.M.
CITY LIMITS OF SANTA FE, SANTA FE COUNTY
STATE OF NEW MEXICO
333 SENA STREET

PUBLIC NOTICE
THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON.
CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH
AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL
OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

819009

BASIS OF BEARINGS:
W.G.S. 84, N.A.D. 83, NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE), DERIVED BY USING TRIMBLE 5800 GNSS, R8 R.T.K. GLOBAL POSITIONING SYSTEM.

REFERENCE:
WARRANTY DEED (JOINT TENANTS) FROM KATHERINE C. DE BACA; MARY ELIAS; JOSEPHINE M. LONG; LORRAINE M. CARMEN AND JOE R. MARTINEZ TO CLIFFORD M. ALLEN AND REBA L. ALLEN. FILED FOR RECORD IN THE SANTA FE, NEW MEXICO COUNTY CLERK'S OFFICE IN WARRANTY BOOK 678, PAGE 280 AS DOCUMENT NO. 8047526.
PLAT OF SURVEY ENTITLED "MAP SHOWING SUBDIVISION OF LAND BELONGING TO FRANK ANDREWS, PRECINCT NO. 4, SANTA FE, N.M....". FILED FOR RECORD IN THE SANTA FE, NEW MEXICO COUNTY CLERK'S OFFICE IN PLAT BOOK 2, PAGE 205.
BEARINGS AND DISTANCE IN PARENTHESIS FROM ABOVE MENTIONED PLAT OF SURVEY.

NOTES:
THE SURVEY SHOWN, IS BASED ON THE HEREON REFERENCED DOCUMENTS. SURVEYOR HAS MADE NO ATTEMPT IN A TITLE SEARCH.
THIS TRACT OR PARCEL OF LAND MAYBE SUBJECT TO RESTRICTIONS AND/OR EASEMENTS OF RECORD.
THIS TRACT OR PARCEL OF LAND MAY CONTAIN UTILITIES THAT ARE NOT IDENTIFIED HEREON.

LOT 1
8,961 Sq.Ft.
0.206 AC.±

RESIDENCE
333 SENA ST.

LEGEND
⊙ PROPERTY CORNER FOUND AS NOTED.
△ CITY OF SANTA FE MONUMENT.

SCALE: 1"=10'

INDEX # 1826500
COUNTY OF SANTA FE }
STATE OF NEW MEXICO }
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THIS 15 DAY OF MAY A.D. 2017, AT 10:33 O'CLOCK A.M. AND WAS DULY RECORDED IN BOOK 678 PAGE 280 OF THE RECORDS OF SANTA FE COUNTY.
WITNESS MY HAND AND SEAL OF OFFICE
GERALDINE SALAZAR
COUNTY CLERK, SANTA FE COUNTY, NM
Geraldine Salazar
INDEXING INFORMATION FOR COUNTY CLERK
OWNERS(S): REBA L. ALLEN
RECORDED DOCUMENT(S): WD. BK. 678, PG. 280
SECTION(S), TOWNSHIP(S), RANGE(S): SEC. 25, T. 17N., R. 09E., N.M.P.M.
UPC # 1-054-098-015-399
PROJECT NO. L16-15 ADDRESS: 333 SENA ST.

SURVEYOR'S CERTIFICATE
I, LORENZO E. DOMINGUEZ, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR, CERTIFY THAT I CONDUCTED AND AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.
I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR PARCEL OF LAND.
Lorenzo E. Dominguez 5/23/17
LORENZO E. DOMINGUEZ DATE
P.S. #10484
EAST MOUNTAIN SURVEYING CO.
4508 GRACE WGL RD. SW
ALBUQUERQUE, NM 87121
(505) 450-2097

CITY OF SANTA FE
CONTROL MONUMENT
(ALM. CAP IN CONCRETE)
"CERRILLOS NO.12"

N / F
JAMES B. KENTCH
INSRTU. #1464245

N / F
ROBERT E. STEARNS
WD. BK. 1899, PG. 308

COUNTY CLERK
SANTA FE COUNTY, NM

DON CUBERO STREET

SENA STREET



37 B Gonzales Lane
Santa Fe NM 87506
Office (505) 988-5650
Fax (505) 989-2473
E-Mail duranenterprisesinc@gmail.com

Duran Enterprises De Santa Fe Inc.

March 1, 2021

333 Sena Street
Santa Fe, NM 87505

Historic Districts Review Board Application



Below are the Links to view actual video of Intruders and Theft happing at 333 Sena Street Santa Fe.

Another trespasser on 2/12/21 that heard the dogs and ran away. Our Clients need more security and privacy. This would not happen with a better wall with some privacy.

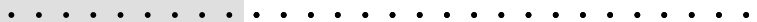
<https://video.nest.com/clip/0074e220395641e2b96f1d011cae6130.mp4>

Thief of outdoor lighting @333 Sena Street, Came twice, see both video clips

<https://video.nest.com/clip/665d6e55061f4f95aa6018cfe511cbda.mp4>

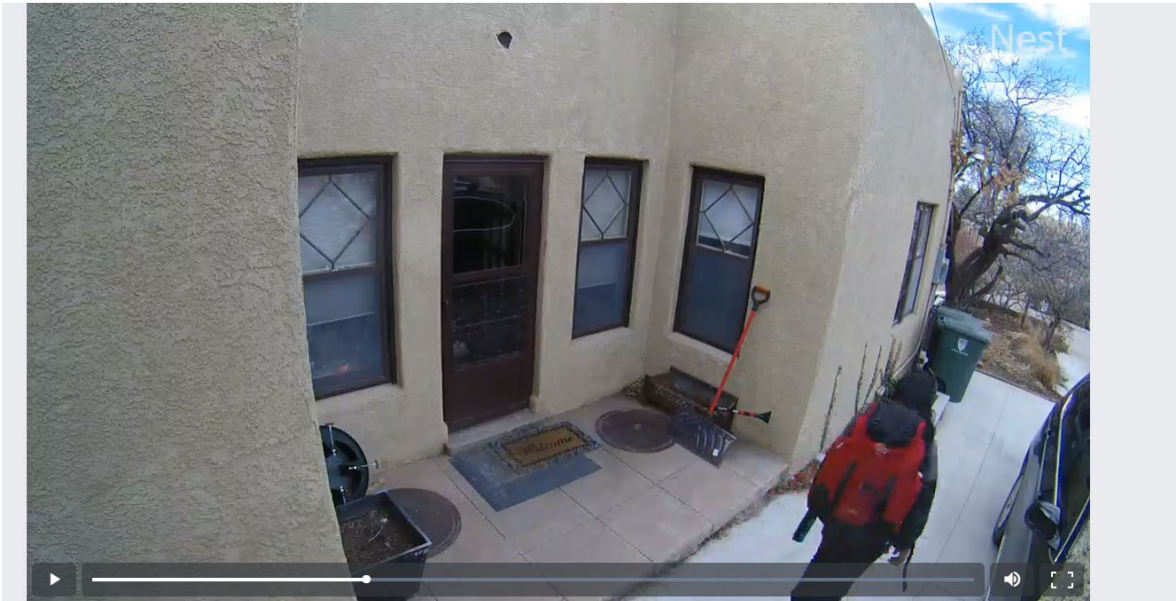
<https://video.nest.com/clip/931fdd5e0eb64b14bd0ed0eaad6127b6.mp4>

A BUSINESS BUILT ON A STRONG FOUNDATION
Home Builders Assoc. Historical Remodel Award Winners

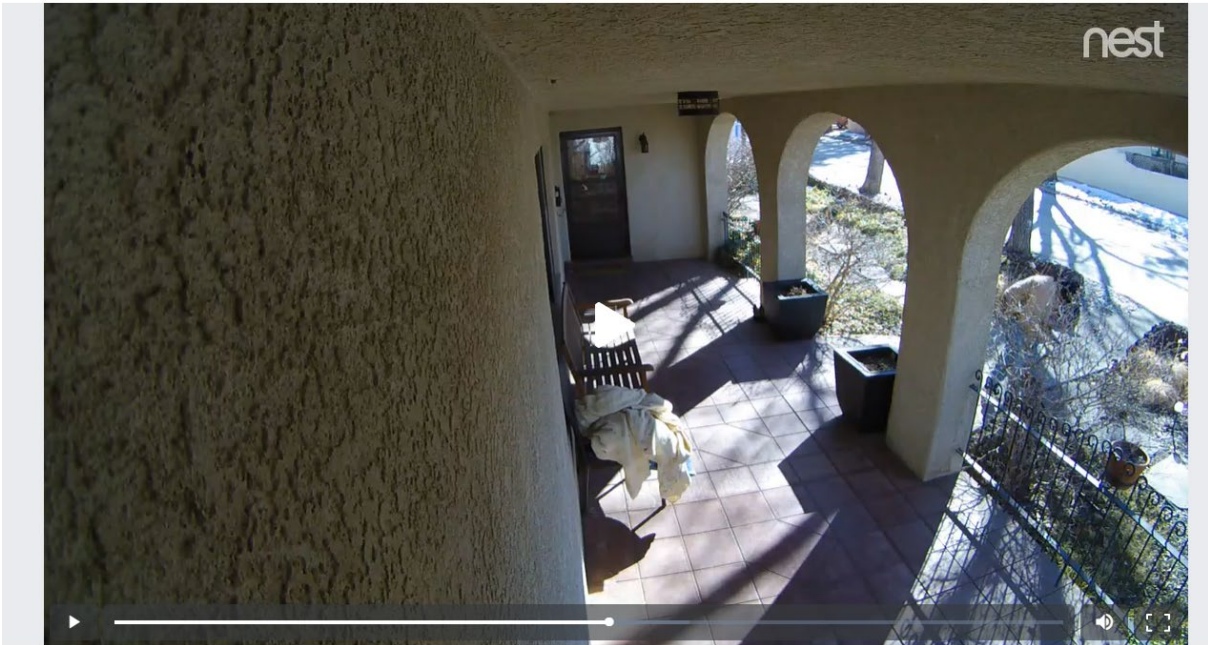


Security Camera theft stills – 333 Sena

nest | Shot on Nest Cam



nest | Shot on Nest Cam





333 Sena Street
Don Cubero St. West Side / Proposed Wall



333 Sena Street Southside/ Proposed Wall



**Subject: 333 Sena blue tape at 6ft
picture taken in middle of the
street on Don Cubero (West wall)
roughly 80% +-of the house would
still be visible**





City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-003198-HDRB

Project Description: Case #2021-003198-HDRB. 100 E. Water Street. Downtown and Eastside Historic District. Curt Temple, agent for the City of Santa Fe Facilities Division, proposes to construct a Santa Fe Tourism kiosk and public restroom facility.
(Nicole A. Ramirez Thomas/ Daniel Schwab, 955-6660, dnschwab@santafenm.gov)

Project Location(s): 100 E. WATER STREET
Santa Fe, NM 87505

Contacts:

Property Owner: CITY OF SANTA FE
200 LINCOLN AVENUE
SANTA FE, NM 87501

Applicant: Curt Temple
200 LINCOLN AVENUE
SANTA FE, NM 87501

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: True Non-Contributing: True Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number: N/A

Year of Construction: N/A

Project Type: New construction

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 23, 2021
TO: Historic Districts Review Board Members
FROM: Nicole A. Ramirez Thomas, Interim Historic Preservation Division Manager

Case # 2021-003198-HDRB

Address: 100 E. Water Street
Historic Status: N/A
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Preliminary Zoning Review Sheet
*Not in packet. To be provided prior to hearing.
- Other: Building height calculation.

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

The property at 100 E. Water Street is a City of Santa Fe (City) owned parking lot at the corner of E. Water Street and Don Gaspar Avenue. Currently the only structures on the property are a parking attendant booth with bathrooms and a low CMU and stucco walls around the perimeter. The City is requesting approval for the construction of a new building that will house a TOURISM Santa Fe kiosk and public bathrooms.

The applicant proposes the following new construction:

1. Construct a 1, 375 square foot building in the Spanish-Pueblo Revival style.
2. The height of the parapet will be 13'-0" to 15'-0" in height from finished grade. The existing grade change in the parking lot is 1 to 2 feet, accounting for the most restrictive grade making the total height of the building 14'-0" to 17'-0" if measured from the most restrictive grade. The maximum allowable height in this streetscape is 17'-2".
3. The design incorporates 8-inch diameter wood vigas that will be stained. Other wood elements on the building include wood beams, wood corbel, and tapering wood posts at the entrance of the building. Wood lintel details are also present above the windows. The color of stain was not named.
4. Doors will be metal and will be painted to match the color of the stucco. Door types include solid hollow metal doors, hollow metal doors with a divided light, and a coiling door.
5. Windows will be aluminum storefront style windows in "Brown." The windows will be divided lite.
6. The stucco will be elastomeric El Rey "Buckskin."
7. HVAC equipment will be roof mounted.
8. The existing perimeter CMU wall at the location of the proposed new construction will be removed.
9. A new wall and archway entry to the kiosk and restroom building will be constructed along the street frontage. The archway will include flared sides and a simple sanded and sealed 6 x 8-inch wood beam. The height of the walls will be 3'-4" in height and the archway will be 8'-0" in height.
10. The applicant asks for administrative approval of exterior lighting once it is selected. No design was provided.

100 WATER STREET PROPOSED NEW PUBLIC RESTROOMS DETAILS

EXISTING RESTROOM BEHIND PARKING BOOTH TO BE REMOVED WITH RESTORATION TO PARKING BOOTH INCLUDED. NEW RESTROOM TO BE BUILT ON THE NORTHEAST CORNER OF WATER STREET CITY PARKING LOT.

- TOP OF PARAPET 13' TO 15' FROM FINISHED FLOOR. LOWEST ADJACENT GRADE WILL BE 1' ON EAST SIDE, 2' ON WEST SIDE OF BUILDING
- ELASTOMERIC STUCCO COLOR EL RAY BUCKSKIN ON FULL EXTERIOR
- BUILDING WILL BE 1,375 SQUARE FEET TOTAL
- ALL HVAC WILL BE MOUNTED ON ROOF
- ART IN PUBLIC PLACES WILL BE INSTALLING ART INTO THE EAST COURTYARD
- 8" WOOD VIGAS STAINED AND SEALED OVER ENTRY
- DOORS WILL BE METAL PAINTED TO MATCH STUCCO
- ALL WINDOWS WILL BE BROWN ALUMINUM STOREFRONT
- EXISTING WALL TO BE REMOVED TO ACCESS NEW RESTROOMS AND TOURIST KIOSK
- EXTERIOR LIGHTING WILL BE DETERMINED AS NEEDED ON FINAL CONSTRUCTION DOCUMENTS FOR PERMIT SUBMITTAL



RAVE

DON GASPAR AVE

227 DON GASPAR AVE

109 E WATER ST

111 E WATER ST

60 E SAN FRANCISCO ST 102A

60 E SAN FRANCISCO ST 30 66 E SAN FRANCISCO ST 19B

66 E SAN FRANCISCO ST 22

66 E SAN FRANCISCO ST 21

66 E SAN FRANCISCO ST 20

100 E WATER ST

227 DON GASPAR AVE

220 SHELBY ST

123 E WATER ST

129 E WATER ST

118 OLD SANTA FE TRL G

114 1/2 OLD SANTA FE TRL

114 OLD SANTA FE TRL

118 OLD SANTA FE TRL A

111 OLD SANTA FE TRL

100 E SAN FRANCISCO ST

100 E SAN FRANCISCO STS

115 OLD SANTA FE TRL

117 OLD SANTA FE TRL

119 OLD SANTA FE TRL

102 E WATER ST

SHELBY ST

219 SHELBY ST

207 SHELBY ST

200 E WATER ST

200 OLD SANTA FE TRL

214 OLD SANTA FE TRL

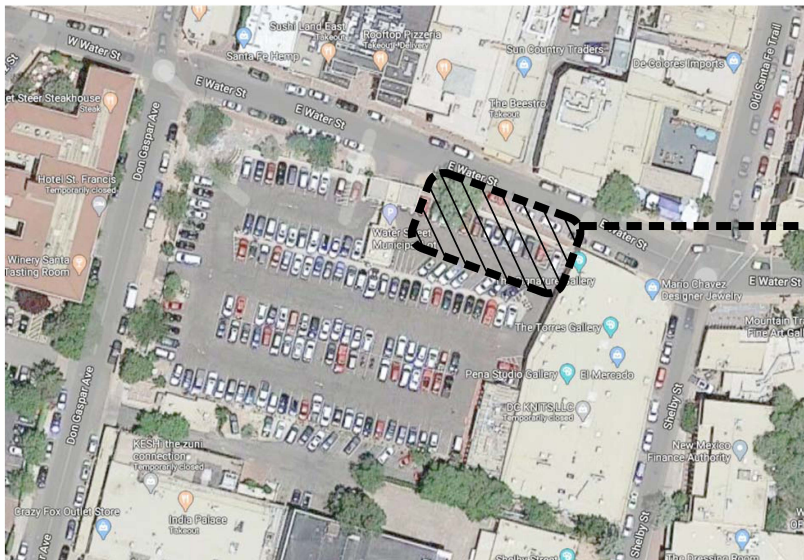
214 OLD SANTA FE TRL



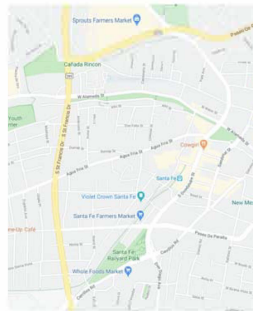
City of Santa Fe

PUBLIC RESTROOM BUILDING

Site Address: 100 Water St. , Santa Fe NM 87501



AREA OF WORK



VICINITY PLAN
NTS

SITE SATELLITE IMAGE 
NTS

SHEET LIST

GENERAL

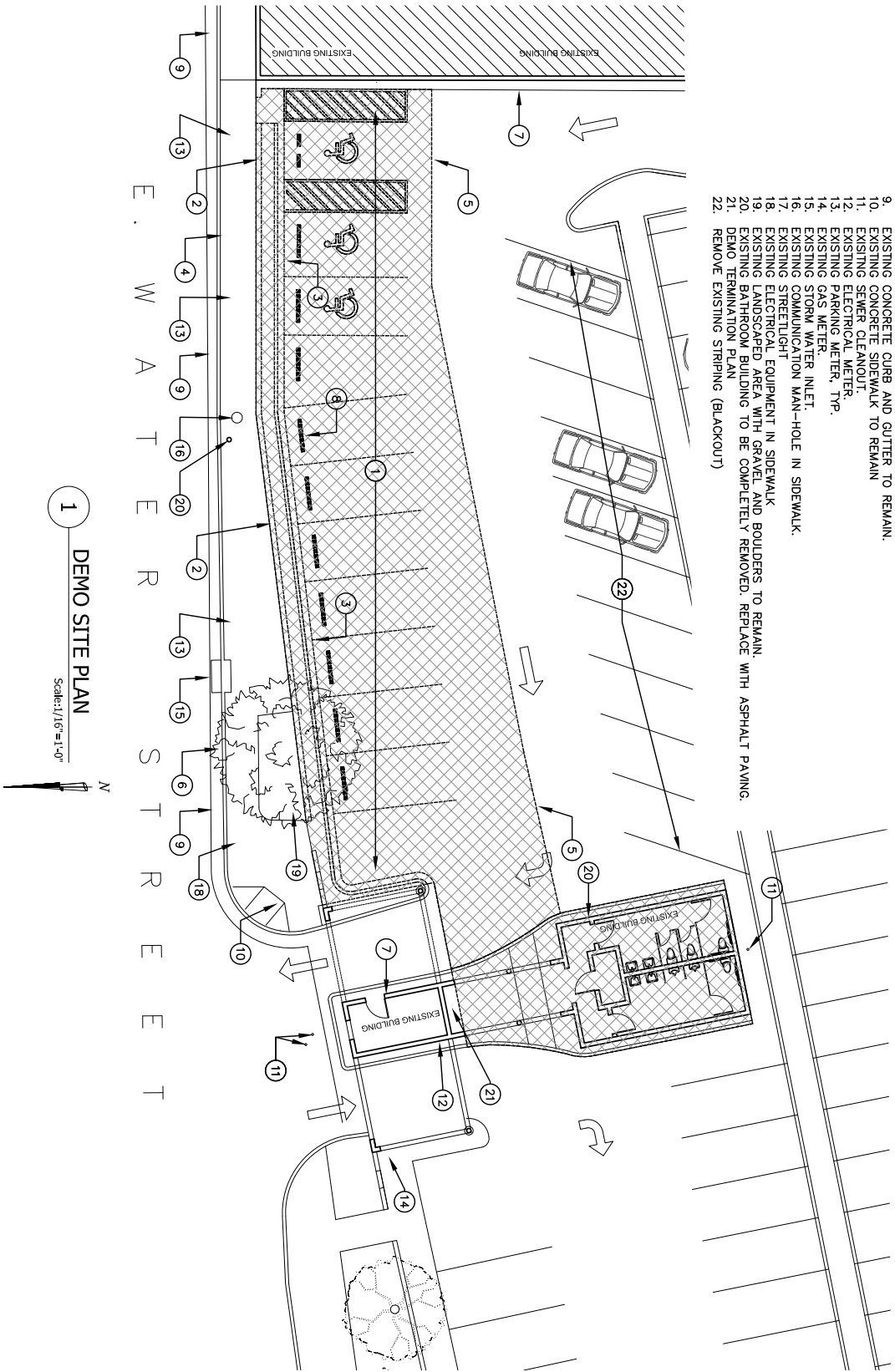
G1.0 COVER SHEET

ARCHITECTURAL


- A1.0 DEMO SITE PLAN
- A1.1 SITE PLAN
- A1.2 ENLARGED SITE PLAN &
- A1.3 BUILDING SECTION & BU
- A1.4 DIMENSION FLOOR PLAN
- A1.5 FLOOR PLAN
- A1.6 FOUNDATION PLAN & SI
- A1.7 ROOF FRAMING PLAN &
- A1.8 BUILDING SECTION / WA
- A1.9 BUILDING SECTION / WA
- A1.10 LANDSCAPE WALL PLANS
- A1.11 LANDSCAPE WALL SECTIO
- A2.1 DOOR SCHEDULE
- A2.2 ROOM FINISH SCHEDULE
- FRAME TYPES, WINDOW
- A2.3 INTERIOR ELEVATIONS
- A2.4 INTERIOR ELEVATIONS

KEY NOTES - DEMO PLAN

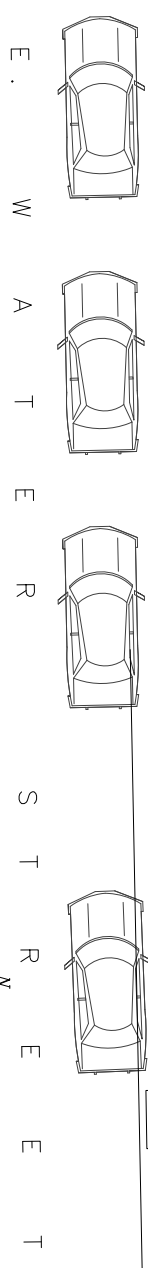
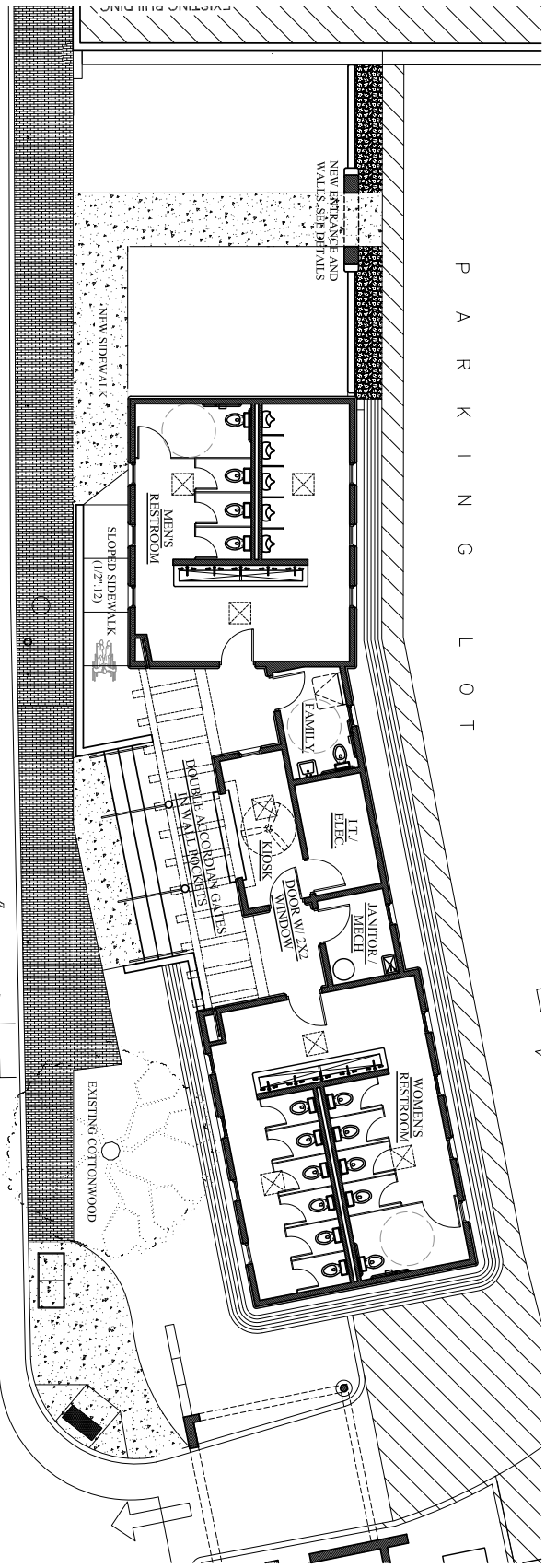
1. AREA OF WORK TO BE CLEARED FOR NEW CONSTRUCTION
2. COMPLETELY REMOVE EXISTING STUCCO SITE WALL AND FOOTING
3. COMPLETELY REMOVE EXISTING CONCRETE SIDEWALK, CURB AND GUTTER.
4. COMPLETELY REMOVE EXISTING CONCRETE SIDEWALK.
5. SAWCUT AND REMOVE EXISTING ASPHALT PAVING
6. EXISTING TREE TO REMAIN, PROTECT DURING CONSTRUCTION.
7. EXISTING BUILDING TO REMAIN
8. REMOVE EXISTING CONCRETE PARKING BUMPERS.
9. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
10. EXISTING CONCRETE SIDEWALK TO REMAIN
11. EXISTING SUMMER LEAD METER.
12. EXISTING ELECTRICAL METER.
13. EXISTING PARKING METER, TYP.
14. EXISTING GAS METER
15. EXISTING STORM WATER INLET.
16. EXISTING COMMUNICATION MAN-HOLE IN SIDEWALK.
17. EXISTING STREETLIGHT
18. EXISTING ELECTRICAL EQUIPMENT IN SIDEWALK
19. EXISTING LANDSCAPED AREA WITH GRAVEL AND BouldERS TO REMAIN.
20. EXISTING BATHROOM BUILDING TO BE COMPLETELY REMOVED. REPLACE WITH ASPHALT PAVING.
21. DEMO TERMINATION PLAN
22. REMOVE EXISTING STRIPING (BLACKOUT)



1 DEMO SITE PLAN
Scale: 1/16"=1'-0"

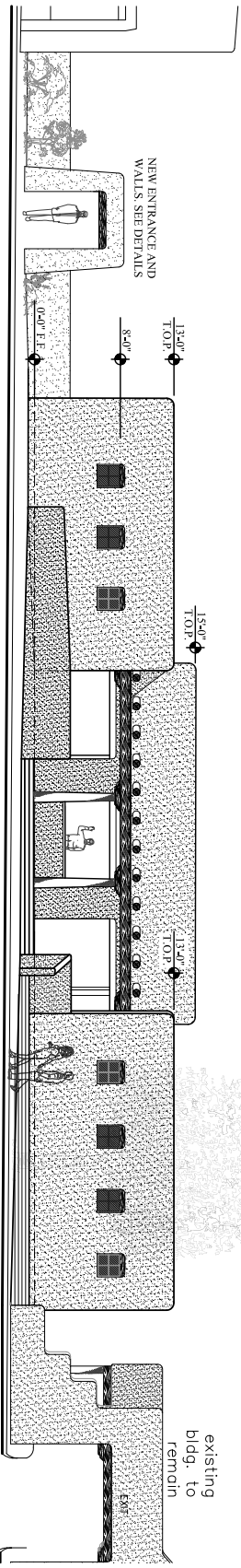
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<i>Preliminary</i>										
Architect	Engineer									
General Notes										
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No.	Revision/Issue	Date								
Project Name and Address CITY OF SANTA FE PUBLIC RESTROOM BUILDINGS 100 WATER STREET SANTA FE, NM 87501										
Project Title Date Scale	Sheet A1.0									

P A R K I N G L O T



1 ENLARGED SITE PLAN
Scale: 3/32" = 1'-0"

- LEGEND**
-  EXISTING BRICK PAVING
 -  NEW LANDSCAPE BLOCK (RETAINING)
 -  NEW RIP RAP
 -  NEW CONCRETE PAVING
 -  NEW GRAVEL



2 NORTH ELEVATION
Scale: 3/32" = 1'-0"

Facility BUILD

5904 FLORENCE AVENUE, NORTHEAST
ALBUQUERQUE, NEW MEXICO 87113
P.O. BOX 582540
LIC. #88978

Preliminary

Architect

Engineer

General Notes

Project Name and Address

CITY OF SANTA FE
PUBLIC RESTROOM BUILDING
100 WATER STREET
SANTA FE, NM 87501

No.	Revision/Issue	Date

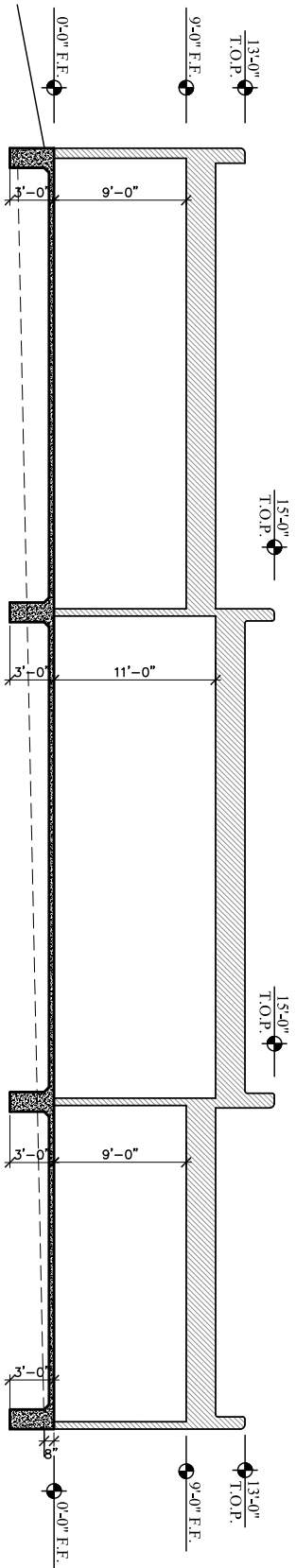
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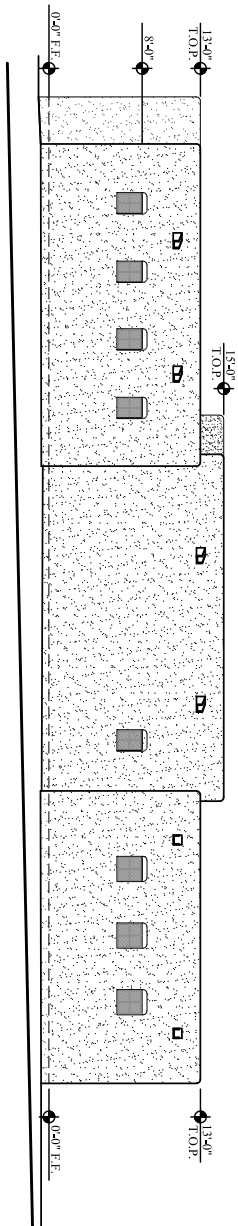
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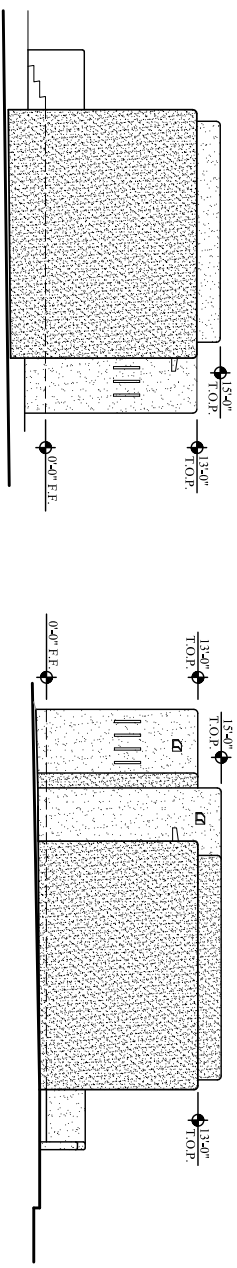
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1 BUILDING SECTION
Scale: 1/8" = 1'-0"



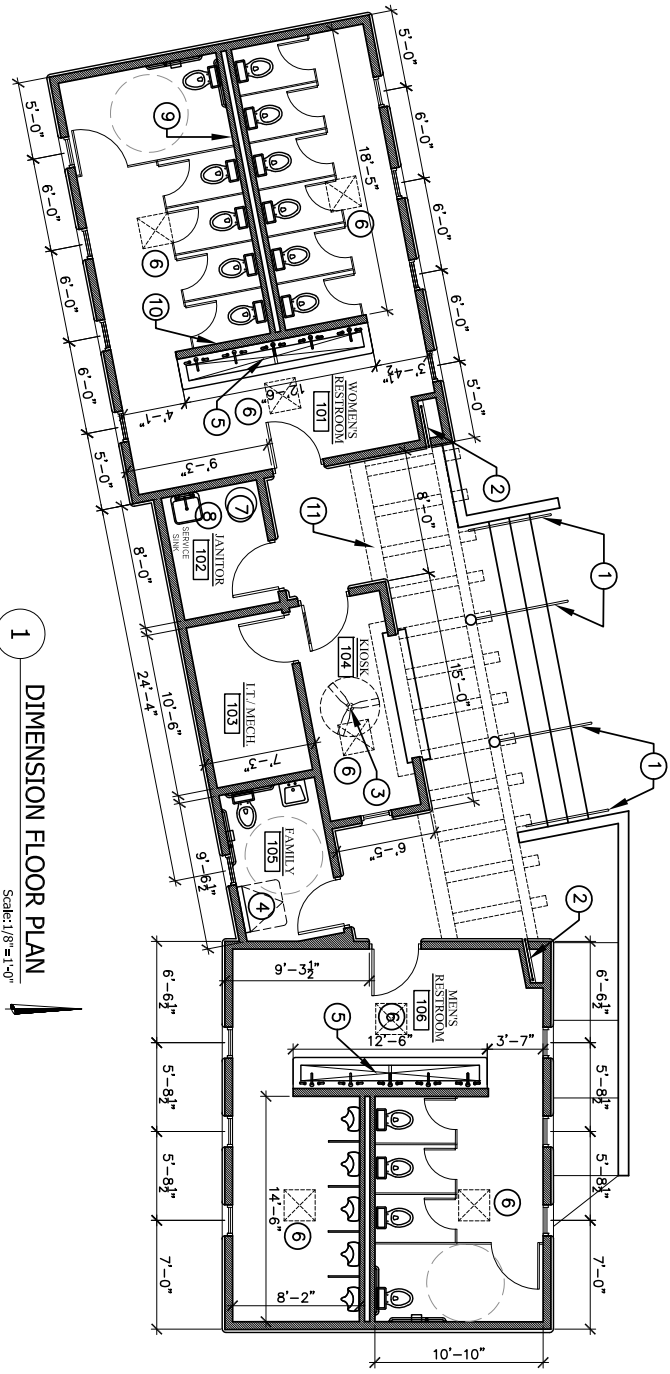
2 SOUTH ELEVATION
Scale: 3/32" = 1'-0"



3 EAST ELEVATION
Scale: 3/32" = 1'-0"

4 WEST ELEVATION
Scale: 3/32" = 1'-0"

5804 FLORENCE AVENUE NORTHEAST ALBUQUERQUE, NEW MEXICO 87113 P:505.826.0000 F:505.826.5016 LIC. #88978										
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Architect	Engineer									
General Notes										
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Project Name and Address CITY OF SANTA FE PUBLIC RESTROOM BUILDING 100 WATER STREET SANTA FE, NM 87501										
Project 01/11/2021 Scale	Sheet A1.3									



1 DIMENSION FLOOR PLAN
Scale: 1/8" = 1'-0"



- KEYED NOTES:**
1. 1-1/2" DIAMETER PAINTED STEEL HANDRAILS AND POSTS. TOP OF RAILS @ 36" TYPICAL.
 2. PAIR OF SCISSOR GATES WITH LOCKS AND CAN BOLTS (40'-0" APPROXIMATE TOTAL LENGTH TOGETHER) RECESSED IN WALL POCKETS AS SHOWN, OR AS SPECIFIED BY MANUFACTURER.
 3. CEILING FAN, 4'-0" DIAMETER MAXIMUM, MOUNTED TO CEILING ABOVE. PROVIDE ADEQUATE BLOCKING IN CEILING.
 4. BABY CHANGING STATION.
 5. TROUGH TYPE SINK, APPROX. 11'-0" LONG.
 6. 2X2 INSULATED SKYLIGHT. INSTALL WOOD FRAMED SHAFT WITH 5/8" GYP. BD. ON WALLS, AND PROVIDE BULLNOSE AT WALL TO CEILING TRANSITION.
 7. WATER HEATER.
 8. WASH TUB TYPE SERVICE SINK.
 9. PLUMBING WALLS ARE 2X4 WOOD STUDS @ 16" OC. TO BOTTOM OF ROOF TRUSSES, WITH PRESSURE TREATED SILL PLATES, WITH 4" CHASE SPACE BETWEEN WALLS, AND MOISTURE RESISTANT GYP. BD. OR BACKER BOARD AS REQUIRED FOR TILE INSTALLATION.
 10. ALL WALLS EXCEPT PLUMBING WALLS ARE 2X6 WOOD STUDS @ 16" OC. WITH PRESSURE TREATED SILL PLATES AND DOUBLE TOP PLATES, AND 5/8" GYP. BD. BOTH SIDES.
 11. ALL EXPOSED WOOD BEAMS, VIGAS AND COLUMNS TO BE SANDED AND SEALED, UNLESS NOTED OTHERWISE.

<p>FacilityBUILD 5904 FLORENCE AVENUE NORTHEAST ALBUQUERQUE, NEW MEXICO 87113 505.826.9000 Fax: 505.826.9161 LIC. RB6978</p> <p><i>Preliminary</i></p>	<p>Architect</p> <p>Engineer</p> <p>General Notes</p>	<p>Project Name and Address CITY OF SANTA FE PUBLIC RESTROOM BUILDING 100 WATER STREET SANTA FE, NM 87501</p> <p>Project Date Scale</p> <p>01/11/2021 A1.4</p>
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Preliminary

Architect

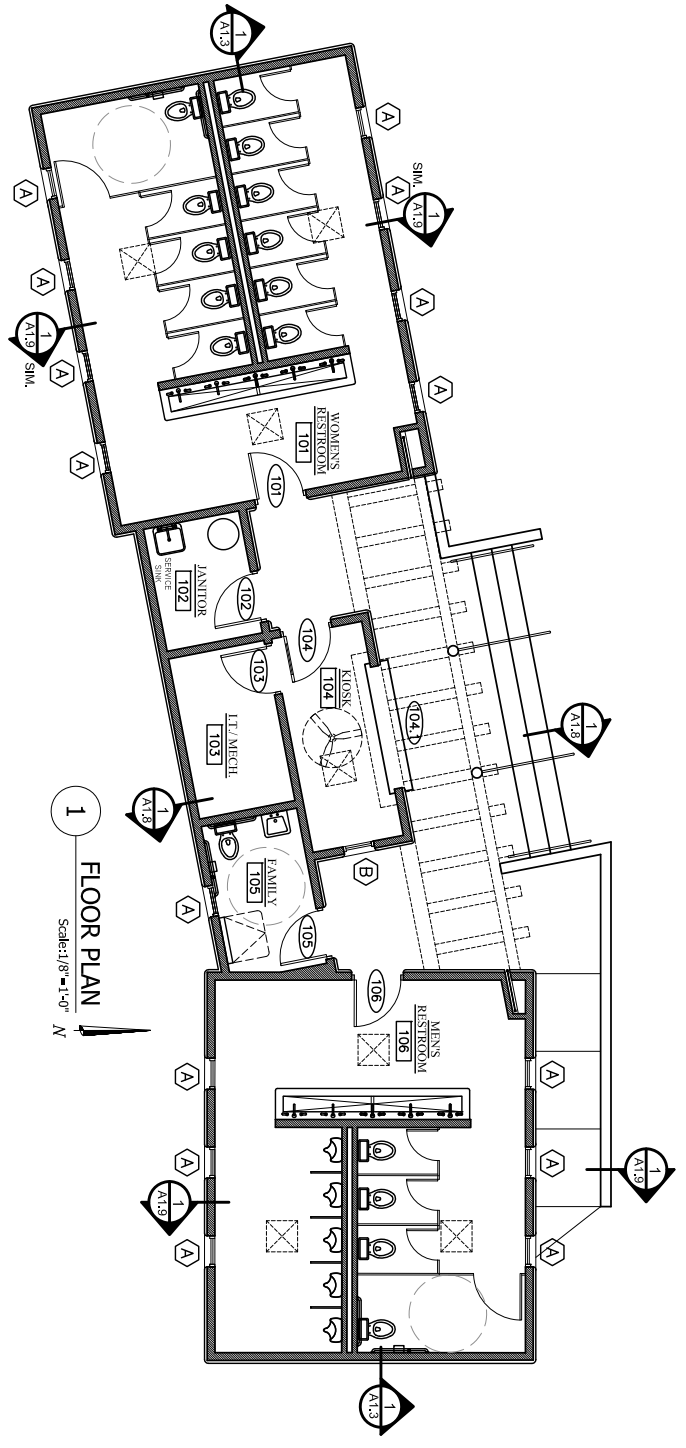
Engineer

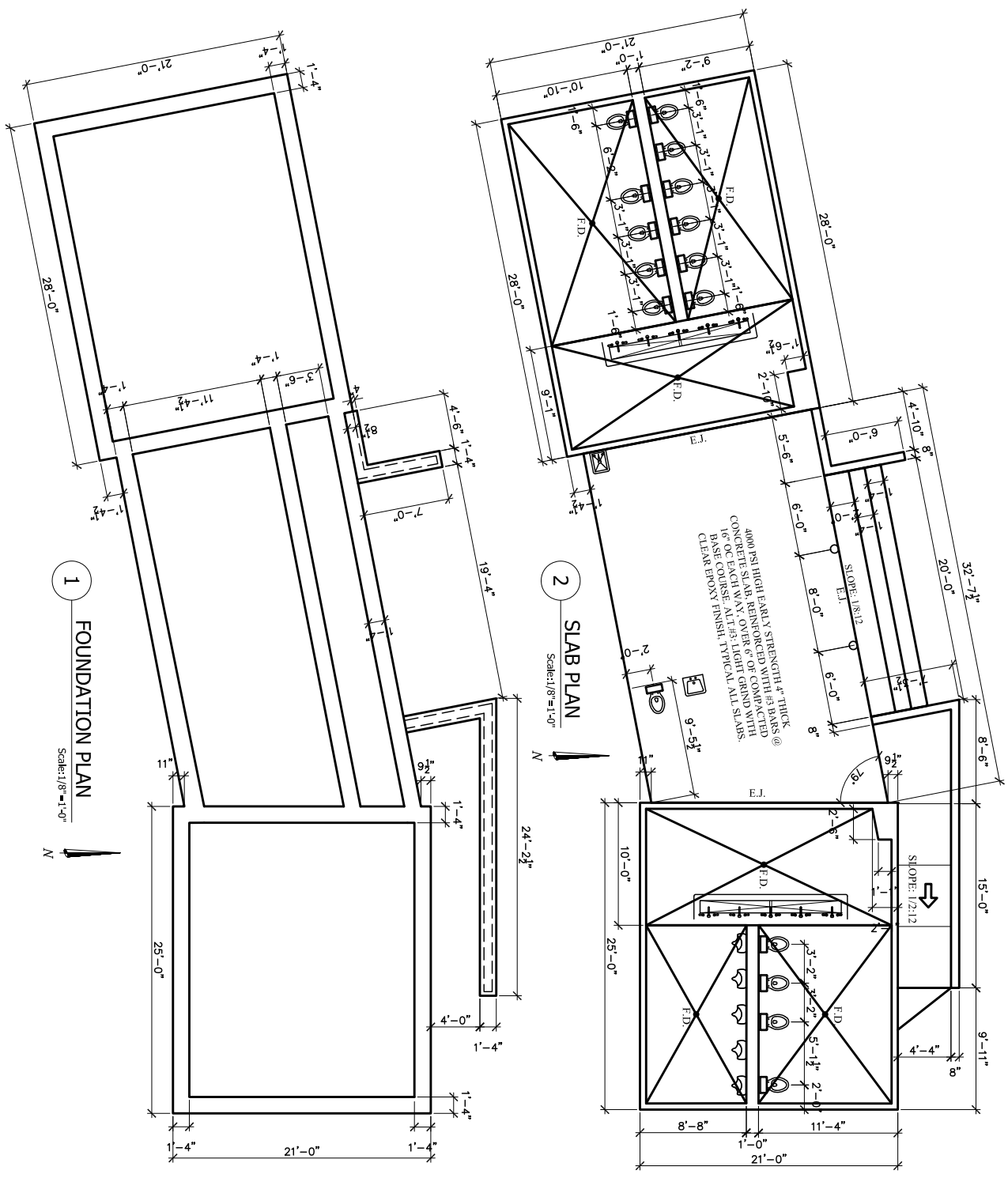
General Notes

No.	Revision/Issue	Date

Project Name and Address
 CITY OF SANTA FE
 PUBLIC RESTROOM BUILDING
 100 WATER STREET
 SANTA FE, NM 87501

Project	Sheet
Date: 01/11/2021	A1.5
Scale:	



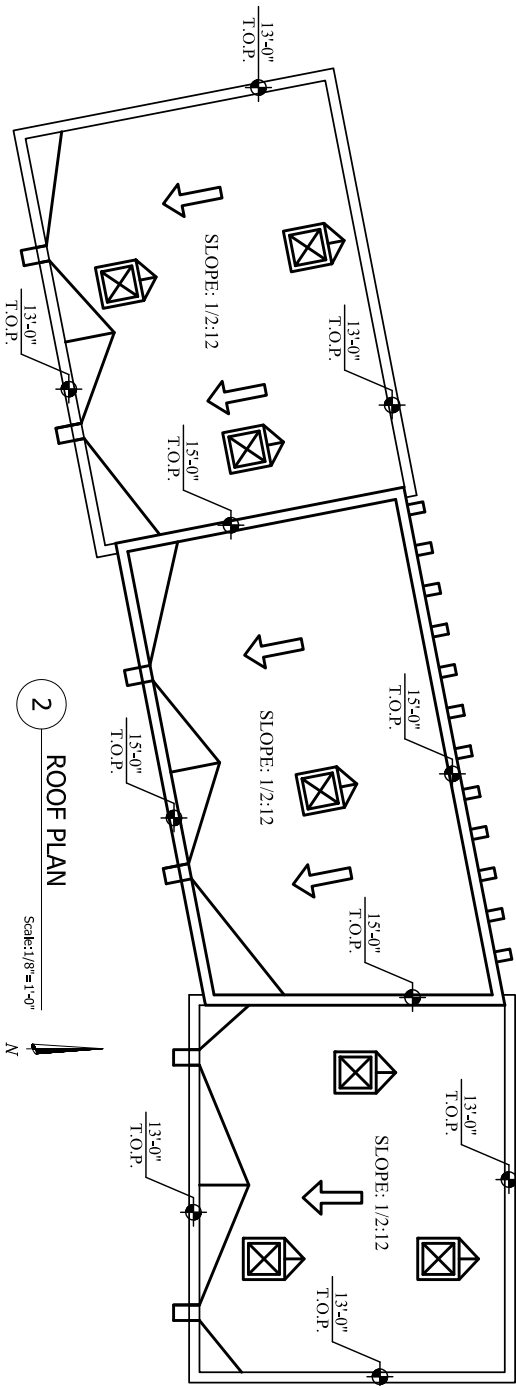


4000 PSI HIGH EARLY STRENGTH 4" THICK @
 CONCRETE SLAB, REINFORCED WITH #3 BARS @
 16" OC EACH WAY OVER 6" FT GRIND W/BS
 BASE COURSE. AT #3; TYPICAL ALL SLABS
 CLEAR EROSION FINISH. TYPICAL ALL SLABS

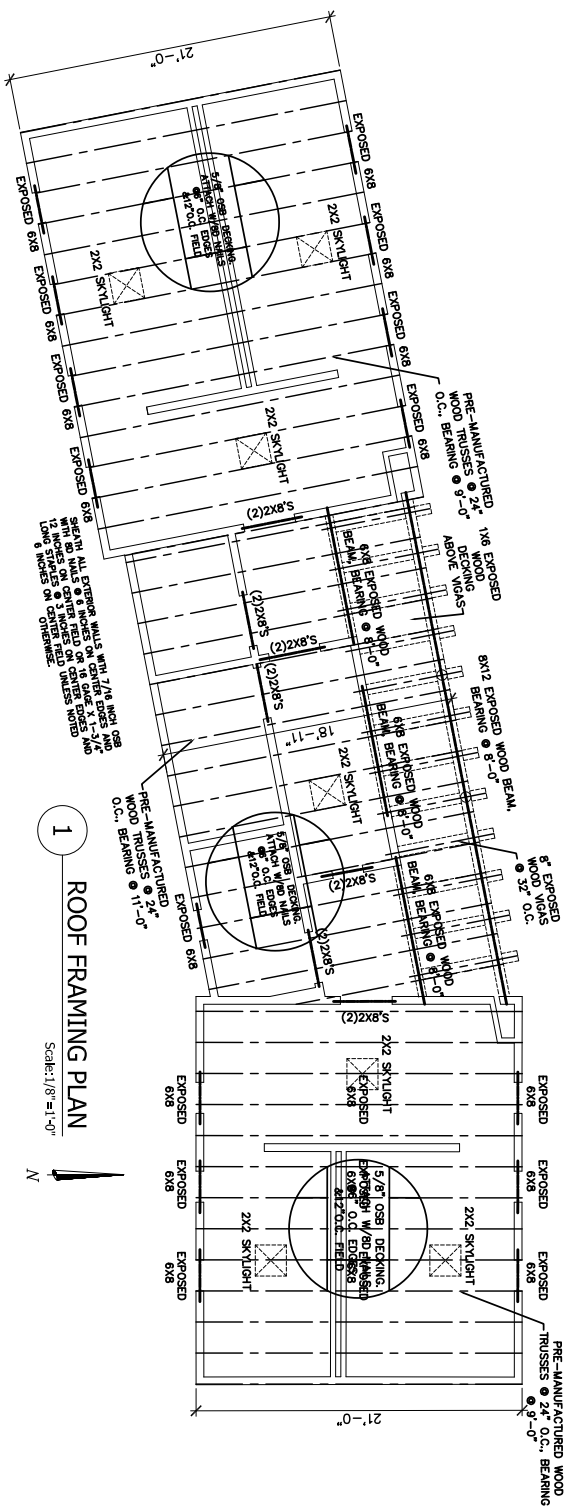
1 FOUNDATION PLAN
 Scale: 1/8" = 1'-0"

2 SLAB PLAN
 Scale: 1/8" = 1'-0"

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Preliminary										
Architect Engineer	General Notes									
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No.	Revision/Issue	Date								
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Project Date: 01/11/2021 Scale:	Sheet A1.6									

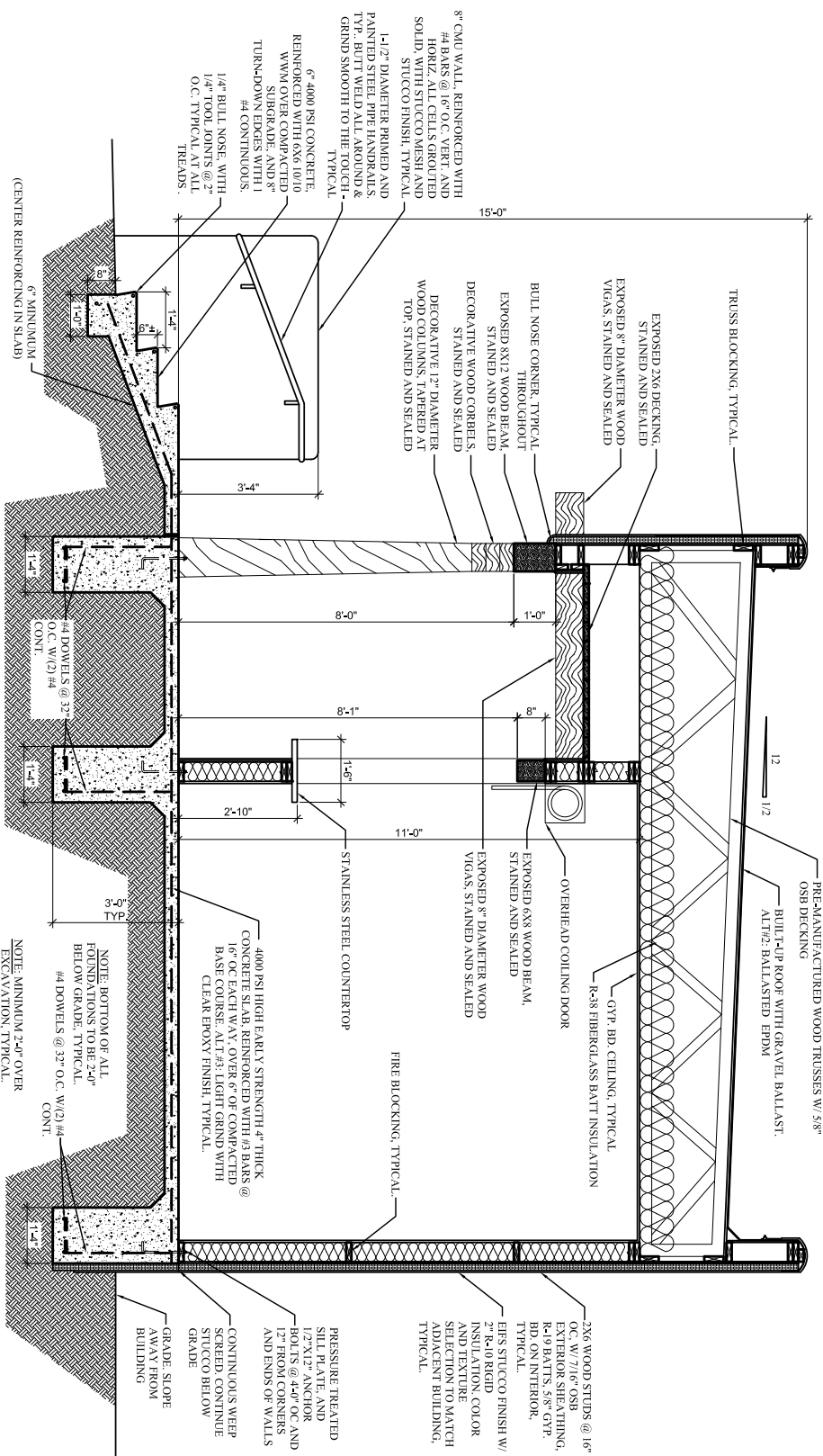


2 ROOF PLAN
Scale: 1/8" = 1'-0"



1 ROOF FRAMING PLAN
Scale: 1/8" = 1'-0"

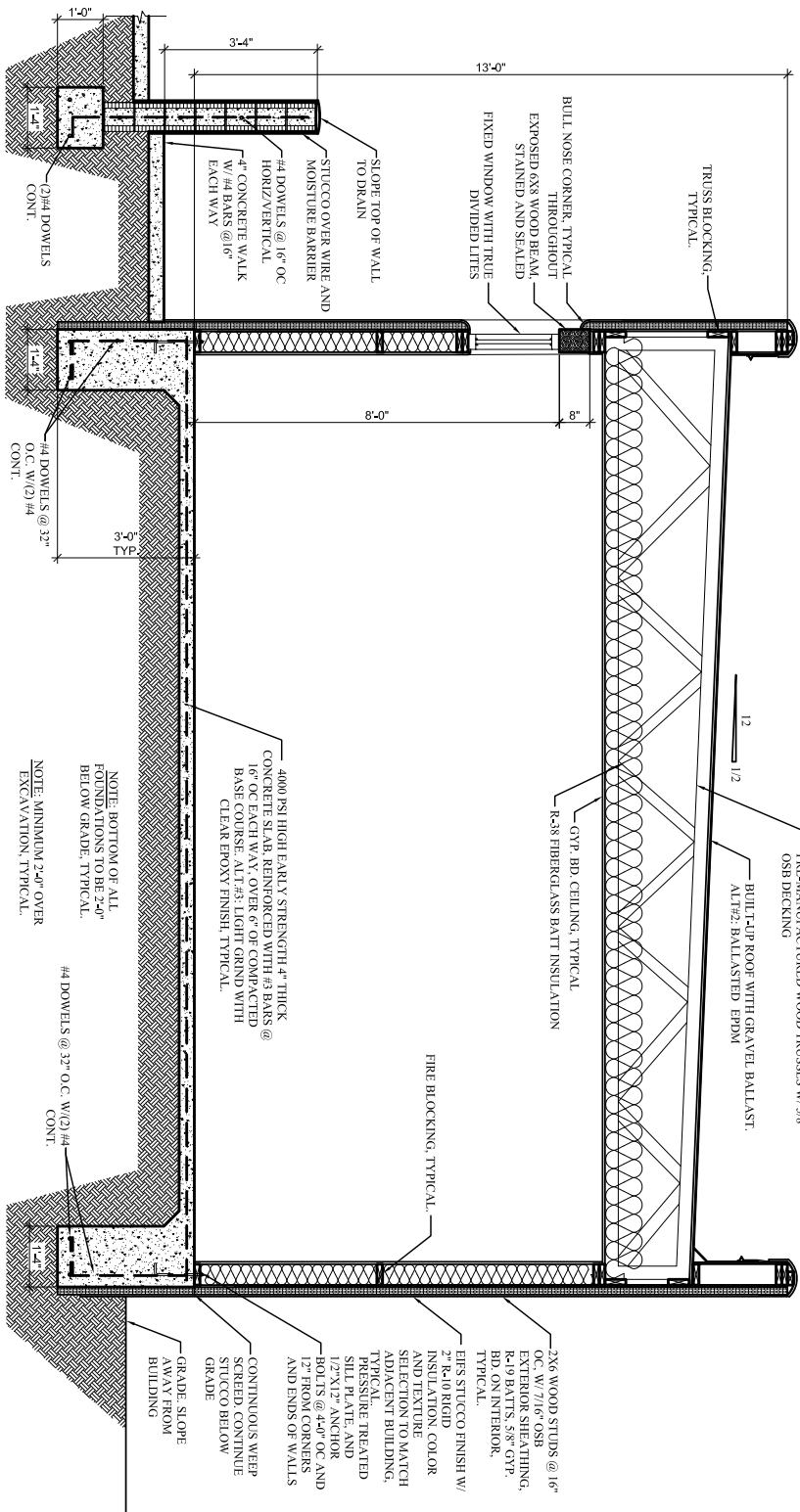
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Preliminary	
Architect Engineer	General Notes
Project Name and Address CITY OF SANTA FE PUBLIC RESTROOM BUILDING 100 WATER STREET SANTA FE, NM 87501	
Title 01/11/2021	Sheet A1.7



1 BUILDING SECTION / WALL SECTION

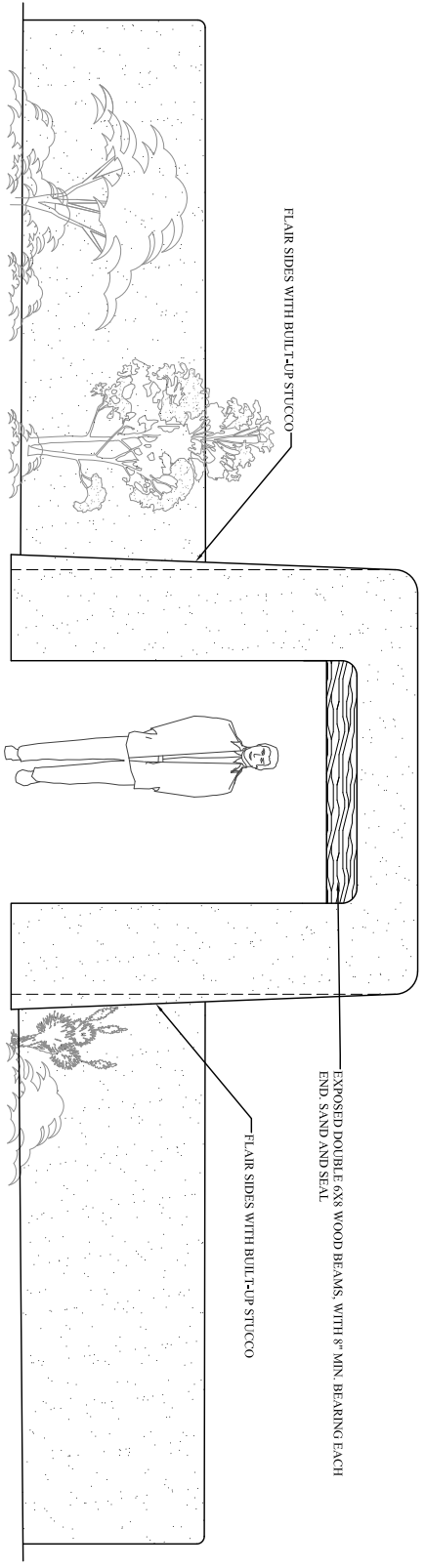
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<p>5804 FLORENCE AVENUE, NORTHEAST ALBUQUERQUE, NEW MEXICO 87113 760.528.0000 760.582.6520/161</p>	
<p><i>Preliminary</i></p>	<p>Engineer</p>
<p>Architect</p>	<p>General Notes</p>
<p>City of Santa Fe Public Restroom Buildings 100 Water Street Santa Fe, NM 87501</p>	<p>Project Name and Address</p>
<p>01/11/2021</p>	<p>Date</p>
<p>A1.8</p>	<p>Sheet</p>



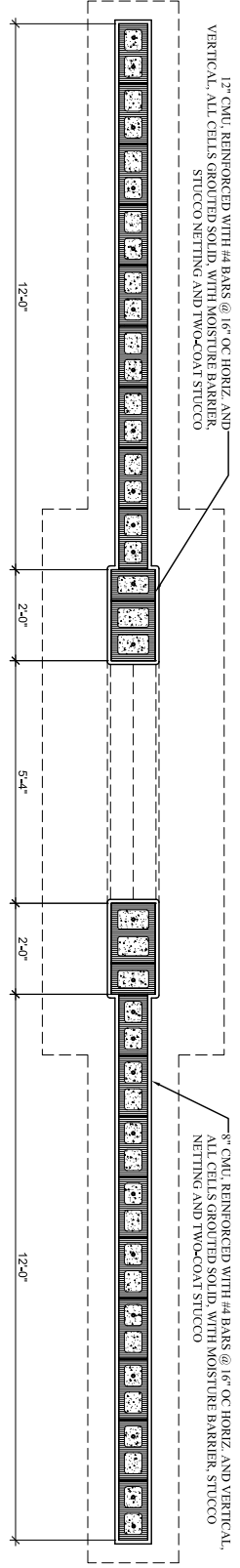
1 BUILDING SECTION / WALL SECTION
Scale: 3/8" = 1'-0"

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<i>Preliminary</i>	
Architect	Engineer
General Notes	
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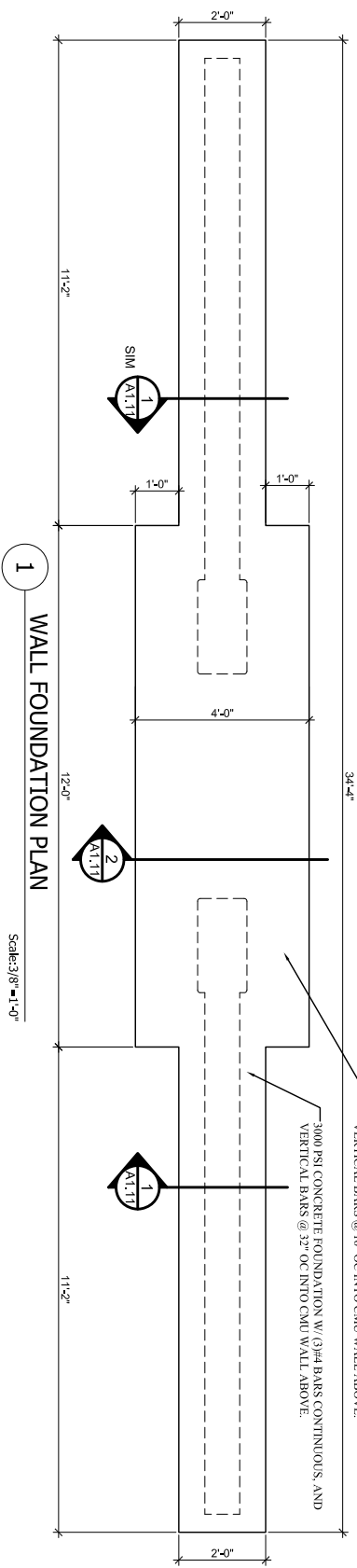
3 WALL ELEVATION

Scale: 3/8" = 1'-0"



2 WALL FLOOR PLAN

Scale: 3/8" = 1'-0"



1 WALL FOUNDATION PLAN

Scale: 3/8" = 1'-0"

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P.O. BOX 228000
FAX: 505 862-9161 LIC. #88878

Preliminary

Architect

Engineer

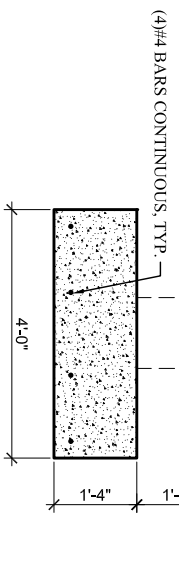
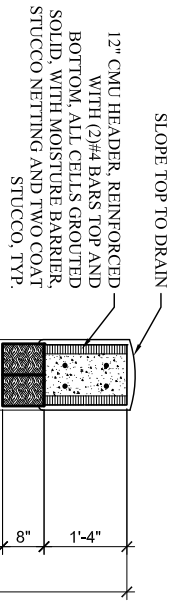
General Notes

No.	Revision/Issue	Date

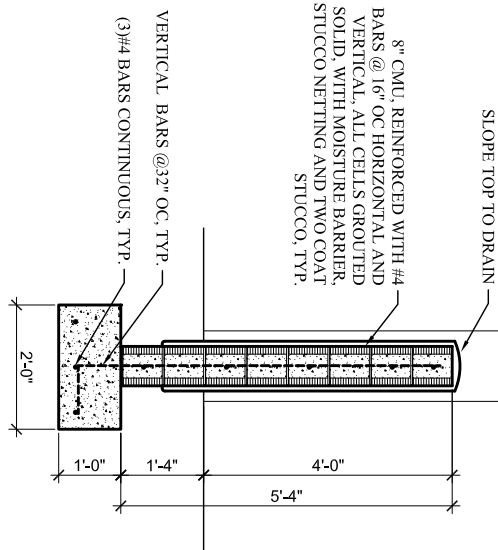
Project Name and Address
**CITY OF SANTA FE
 PUBLIC RESTROOM BUILDING
 100 WATER STREET
 SANTA FE, NM 87501**

Project
 Title: **01/11/2021**
 Scale: **A1.10**

Preliminary



8" CMU, REINFORCED WITH #4 BARS @ 16" OC HORIZONTAL AND VERTICAL, ALL CELLS GROUTED SOLID, WITH MOISTURE BARRIER, STUCCO NETTING AND TWO COAT STUCCO, TYP.



1 WALL SECTION
 Scale: 1/2" = 1'-0"

2 WALL SECTION
 Scale: 1/2" = 1'-0"

Architect		Engineer										
General Notes												
<table border="1"> <thead> <tr> <th>No.</th> <th>Revision/Date</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				No.	Revision/Date	Date						
No.	Revision/Date	Date										
Project Name and Address CITY OF SANTA FE PUBLIC RESTROOM BUILDING 100 WATER STREET SANTA FE, NM 87501												
Project Date Scale	Sheet A1.11											

DOOR SCHEDULE (101)

NO.	DOOR				FRAME				NOTES			
	PAIR	WIDTH	HEIGHT	TYPE	THICK-NESS	MATERIAL	FINISH	HDWR. SET		CLOSER	GLASS TYPE	FIRE RATING
101		3'-0"	7'-0"	A	1-3/4" UN.O.	HOL-MET.	P	H1	●			① ② ④
102		3'-0"	7'-0"	A	1-3/4" UN.O.	HOL-MET.	P	H1	●			① ④
103		3'-0"	7'-0"	A	1-3/4" UN.O.	HOL-MET.	P	H1				① ④
104		3'-0"	7'-0"	B	1-3/4" UN.O.	HOL-MET.	P	H1	●			① ④
104.1		8'-0"	6'-0"									③ ④
105		3'-0"	7'-0"	A	1-3/4" UN.O.	HOL-MET.	P	H2	●			① ② ④
106		3'-0"	7'-0"	A	1-3/4" UN.O.	HOL-MET.	P	H1	●			① ② ④

DOOR GENERAL NOTES:

- ALL EXTERIOR WINDOWS ARE ALUMINUM STOREFRONT.
- DOOR HARDWARE: ALL DOOR HARDWARE ARE TO BE HEAVY DUTY.

GLASS SCHEDULE

G1	1" INSULATED GLASS, LOW-E, REFLECTIVE AND TINTED, TEMPERED
----	--

ALL HANDLES TO BE ACCESSIBLE. LEVERS. PROVIDE MASTER AND KEYING AS DIRECTED BY OWNER

DOOR HARDWARE SCHEDULE

SET #	ANSI FUNCTION NAME
H1	KEYED LOCK, LEVER HANDLE (NO BUTTON LOCKS)
H2	KEYED LOCKS, LEVERS (BUTTON LOCKS OUTSIDE LEVER UNTIL TURNED INSIDE)

ALL HANDLES TO BE ACCESSIBLE. LEVERS. PROVIDE MASTER AND KEYING AS DIRECTED BY OWNER

NOTES BY NUMBER

①	EXTERIOR DOOR W/ THRESHOLD, WEATHER SEAL AND CLOSER, DOOR HARDWARE AND CLOSERS TO ALLOW FOR 180° SWING.
②	PROVIDE AN ADA COMPLIANT CLOSER
③	EXTERIOR INSULATED OVERHEAD COILING DOOR W/ AUTOMATIC OPENER AND CHAIN PULL
④	6" METAL STUD WALL

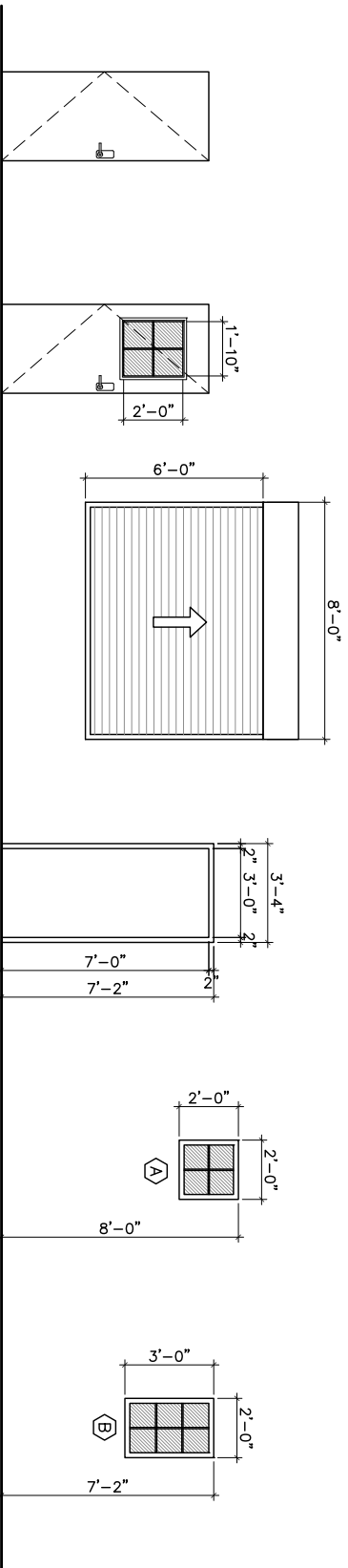
DOOR SCHEDULE ABBREVIATIONS
 HOL-MET. HOLLOW METAL
 P PAINT

Architect	Engineer
General Notes	
Project Name and Address CITY OF SANTA FE PUBLIC RESTROOM BUILDING 100 WATER STREET SANTA FE, NM 87501	
Date 01/11/2021 Scale	Sheet A2.1

Preliminary

ROOM FINISH SCHEDULE 101

NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT	GENERAL NOTES
101	WOMEN'S RESTROOM	STAINED / SEALED CONCRETE	4" VINYL	EGGSHELL WHITE	GYP. BD. CEILING	9'-0"	NOTE: CERAMIC TILE ON PLUMBING WALLS. SEE INTERIOR ELEVATIONS
102	JANITOR	STAINED / SEALED CONCRETE	4" VINYL	EGGSHELL WHITE	GYP. BD. CEILING	11'-0"	
103	I.T. / MECH.	STAINED / SEALED CONCRETE	4" VINYL	EGGSHELL WHITE	GYP. BD. CEILING	11'-0"	
103	JANITOR	STAINED / SEALED CONCRETE	4" VINYL	EGGSHELL WHITE	GYP. BD. CEILING	11'-0"	
104	KIOSK	STAINED / SEALED CONCRETE	4" VINYL	EGGSHELL WHITE	GYP. BD. CEILING	11'-0"	
105	FAMILY	STAINED / SEALED CONCRETE	4" VINYL	EGGSHELL WHITE	GYP. BD. CEILING	11'-0"	
106	MEN'S RESTROOM	STAINED / SEALED CONCRETE	4" VINYL	EGGSHELL WHITE	GYP. BD. CEILING	9'-0"	NOTE: CERAMIC TILE ON PLUMBING WALLS. SEE INTERIOR ELEVATIONS



A
 HOLLOW METAL
 EXTERIOR DOOR
 INSULATED
 ACCESSIBLE THRESHOLD

B
 HOLLOW METAL
 EXTERIOR DOOR
 ACCESSIBLE THRESHOLD
 TRUE DIVIDED LITES
 INSULATED
 TEMPERED GLAZING

E
 INSULATED OVERHEAD COLLING
 DOOR, W/ AUTOMATIC OPENER

1
 HOLLOW METAL

A
 ALUMINUM STOREFRONT
 1" INSULATED, LOW-E, TINTED
 TRUE DIVIDED LITES
 TEMPERED

B
 ALUMINUM STOREFRONT
 1" INSULATED, LOW-E, TINTED
 TRUE DIVIDED LITES
 TEMPERED

DOOR TYPES

FRAME TYPES

WINDOW TYPES

Architect	Engineer	General Notes
<p>Project Name and Address CITY OF SANTA FE PUBLIC RESTROOM BUILDING 100 WATER STREET SANTA FE, NM 87501</p>		
<p>Drawn 01/11/2021</p>	<p>Sheet A2.2</p>	<p>Scale</p>

Preliminary

Architect

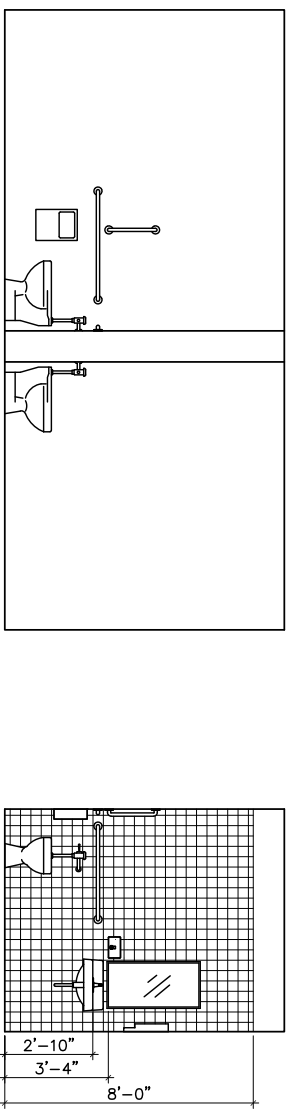
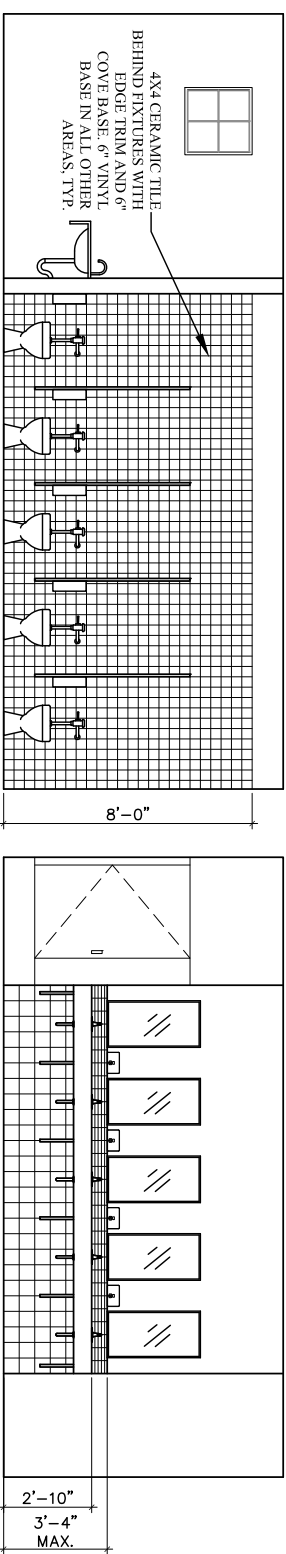
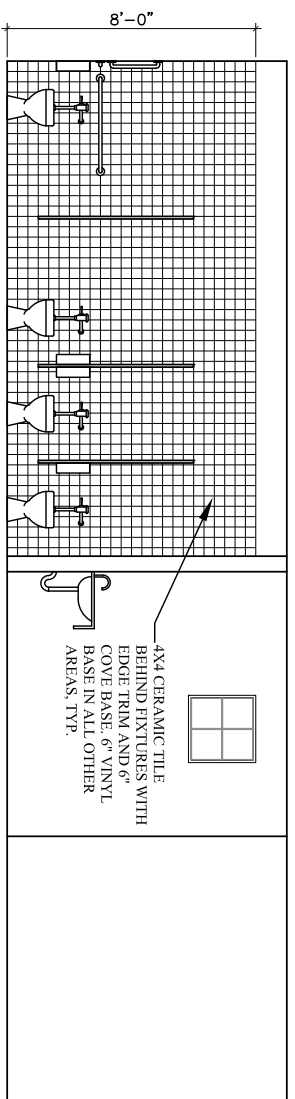
Engineer

General Notes

No.	Revision/Issue	Date

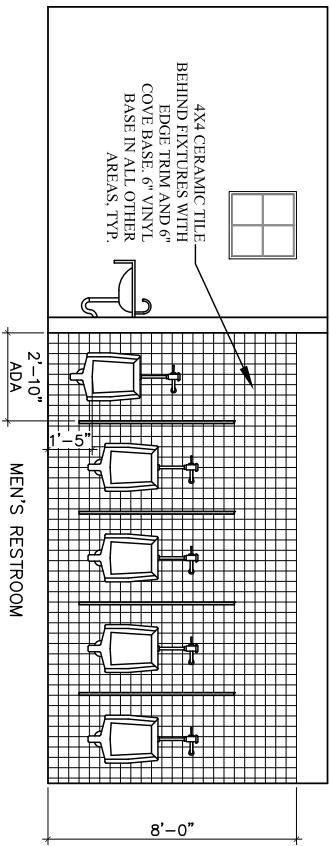
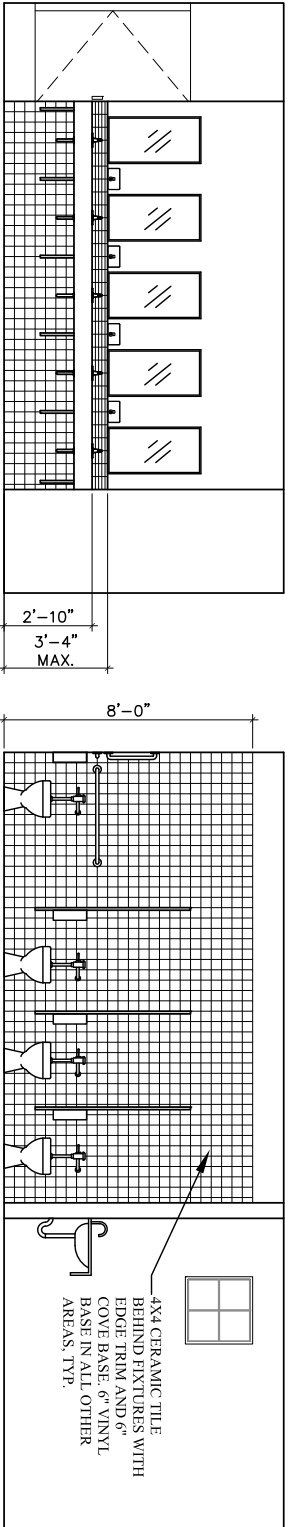
Project Name and Address
 CITY OF SANTA FE
 PUBLIC RESTROOM BUILDING
 100 WATER STREET
 SANTA FE, NM 87501

Project	Sheet
Date 01/11/2021	A2.3
Scale	



1 INTERIOR ELEVATIONS

Scale: 1/4" = 1'-0"



1 INTERIOR ELEVATIONS
Scale: 1/4"=1'-0"

Facility BUILD 5804 FLORENCE AVENUE, NORTHEAST ALBUQUERQUE, NEW MEXICO 87113 505.828.0000 FAX: 505.828.9161 LIC. #88878													
<i>Preliminary</i>													
Architect Engineer	General Notes												
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No.	Revision/Issue	Date											
Project Name and Address CITY OF SANTA FE PUBLIC RESTROOM BUILDING 100 WATER STREET SANTA FE, NM 87501													
Project Date: 01/11/2021 Scale:	Sheet A2.4												



EL CENTRO
Shops and Galleries

PERMIT
REQUIRED

100 WATER STREET
EAST VIEW

EL CENTRO
Shops and Galleries

WRONG WAY
DO NOT
ENTER

100 WATER STREET
VIEW LOOKING EAST



WRONG WAY
DO NOT
ENTER

EXIT

MUNICIPAL
PARKING
LOT

NOTICE
CITY OF TULSA
TULSA POLICE DEPARTMENT
TULSA COUNTY SHERIFF'S OFFICE
TULSA COUNTY DISTRICT ATTORNEY
TULSA COUNTY JAIL

RESTROOMS
AVAILABLE

SEEK PARK
PRESENT PARKING
TICKET TO PAY AT
AFTER PARKING

ENTER

MAX. CLEARANCE 8'0"

100 WATER STREET
EXISTING PARKING ENTRANCE TO
REMAIN
SOUTH VIEW



100 WATER STREET
NORTH VIEW

EL CENTRO
Shops and Galleries

NO PARKING
ANYTIME

NO PARKING
ANYTIME

NO PARKING
ANYTIME

Handicapped
Parking

Handicapped
Parking

Handicapped
Parking

NO PARKING
ANYTIME

100 WATER STREET
NORTH VIEW



100 WATER STREET
EXISTING RESTROOM TO BE REMOVED



EL CENTRO
Shops and Galleries

EL CENTRO
INDIA PALACE

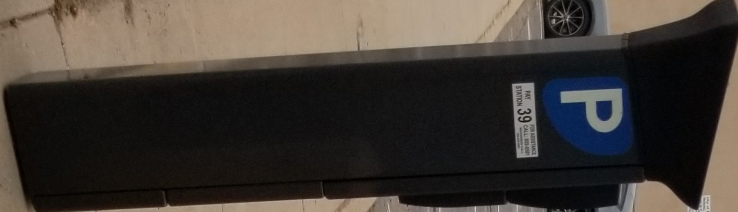
100 WATER STREET
SOUTH VIEW





100 WATER STREET
SOUTHEAST VIEW

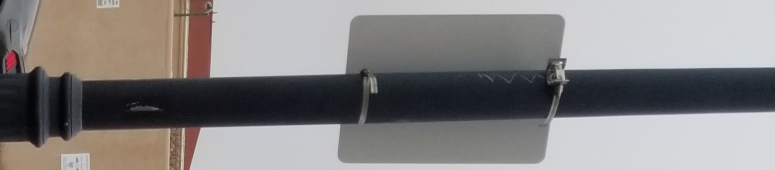




TBM
62



100 WATER STREET
WEST VIEW



100 WATER STREET
WEST VIEW





Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:	Site Address: 100 E Water Street
Date Submitted: 3/22/21	Proposed Construction Description: New Public Restroom and Tourist Kiosk
Property Owner of Record: City of Santa Fe	TOTAL ROOF AREA: 1500 sq ft
Applicant/Agent Name: Curt Temple	
Contact Person Phone Number: (505) 795 - 2439	
Zoning District: <u>BCD Zone 3</u>	Lot Coverage : <u>5</u> % <input type="checkbox"/> Open Space Required: _____
Overlay: <input type="checkbox"/> Escarpment _____ <input checked="" type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____	Setbacks: Proposed Front: _____ Minimum: _____ 2 nd Front? _____ Proposed Rear: _____ Minimum: _____ Proposed Sides: L _____ R _____ Minimum: _____
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input checked="" type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed _____ Maximum Height: <u>15'</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: Proposed _____ Accessible _____ Minimum: _____
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement
Use of Structure: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial Type of Use: Public	
Terrain: <input type="checkbox"/> 30% slopes _____	

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Curt Temple

PRINT NAME

[OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Curt Temple

SIGNATURE

3/22/21

DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: Must obtain floodplain approval.

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: Must obtain Floodplain approval prior to any building permits.

Also must provide legal lot of record.

REVIEWER: Noah Burke DATE: 3 / 22 / 21

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

City of Santa Fe, New Mexico

memo

DATE: March 23, 2021
TO: Historic Districts Review Board Members
FROM: Nicole Ramirez Thomas, Interim Historic Preservation Division Manager

Case # 2021-003248-HDRB

Address: 121 Aviation Way
Historic Status: Landmark
Historic District: N/A

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Preliminary Zoning Review Sheet

Other: Airport Master Plan; HDRB Staff
Memo Sept. 22, 2015; NM HPD Staff Letter July
22, 2015; HDBR FOF & COL Sept. 22, 2015;
HDRB Minutes Sept. 22, 2015; Bill No. 2015-45;
Resolution No. 2015-101.

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs (in PowerPoint)

Other: PowerPoint Presentation

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the exceptions to Resolution No. 2015-101 and 14-5.2(D)(2) General Design Standards for all H Districts, Additions.

BACKGROUND & SUMMARY:

The Santa Fe Airport Terminal Building, located at 121 Aviation Drive, is a landmark structure. The building was designated as a landmark structure via Resolution No. 2015-101 by the Governing Body in 2015. The adoption of the resolution by the Governing Body was made on the recommendation of the Historic Districts Review Board (HDRB) which was made on September 22, 2015 (Case # H-15-089).

Included in this packet for HDRB review and information, in addition to the application materials, are the Airport Master Plan; the HDRB Staff Memo Sept. 22, 2015; the NM HPD Staff Letter July 22, 2015; the HDRB FOF & COL Sept. 22, 2015; the HDRB Minutes Sept. 22, 2015; the Bill No. 2015-45; Resolution No. 2015-101.

Given the digital nature of the packets, the information for this case is provided to the HDRB in three separate documents. The first is the staff report with the background information on the airport and its path to landmark status. The second document is the applicant's letter and architectural drawings. The third document is the PowerPoint that the applicant prepared for the HDRB and it contains the photos of the existing conditions of the airport terminal.

Case H-15-089 Synopsis

The airport terminal building, built in 1957 in the Spanish Pueblo Revival style, has roomblock massing, battered walls, and rounded edges. Additional historic materials and styles include the windows, which are brown-painted multi-lite windows. Small metal lantern sconce light fixtures were also named as historic material and style. Wood elements include headers and corbels with carved bullet and rosette designs are found on the exterior of the building as well as on the interior.

Resolution Synopsis

The resolution states the following standards must be considered by HPD Staff and the Chair of the HDRB and that as a landmark structure all facades of the building are primary. Per the resolution, historic details of the interior are also to be considered.

Because of the exceptions being requested this case is being brought to the HDRB to review the new construction and alterations to the building. The considerations for the new construction and alterations per the resolution are bulleted here.

- As much as is possible, preservation of the historic integrity of the original exterior architecture.
- Preservation of historic elements of the interior such as wooden beams, corbels, and light fixtures.
- Interior alteration shall harmonize with the existing.
- No less than 80% of publicly visible facades shall be of natural stone, wood, brick, tile, terra cotta, or other material.
- The color of the stucco shall be brown, tan, or local earth tones. Yeso is allowed.
- Surfaces of stone shall be natural color.
- Entries and portals may use white or other colors or materials.
- Solar energy collectors are encouraged but should not detract from the overall appearance of the Terminal Building.

- Roof mounted and other utility elements shall be placed in a way to minimize their visual impact.
- No cantilevers are allowed except over projecting vigas, beams, or corbels, or as part of the roof.
- Arches are allowed at freestanding walls.
- Renovations or expansion of the terminal should have a design that appears as having massive walls that appear to be built of adobe construction.
- Wall thickness is massive in relation to height.
- The depth of windows, doors, and entry openings shall have a depth that shows the massiveness of the structure.
- Mass elements of the building composition shall appear as single blocks.
- Alternations and new constructions on the terminal shall appear as an aggregation of smaller building blocks.
- Walls and fences shall be built of brick, adobe, rock, masonry, wood, wrought iron, or similar materials.
- Solid wall space.

Proposed Project Details

The applicant has provided a detailed letter of the current conditions and proposed alterations to the airport terminal and property. A PowerPoint created by the applicant is also provided. An overview describing the changes is provided here.

Exterior Changes

1. The proposed addition is 8,850 square feet to the existing 23,000 square foot footprint of the terminal.
2. The addition is proposed to be on the north end of the airport.
3. The walls will be massive, the parapet will be stepped, the walls will appear thick around the fenestrated areas, stucco will be used, and wood lintels and canals will be used.
4. Exterior lighting will harmonize with the existing.

Interior Changes

1. The interior will include new carpet and tiles similar to the existing airport tiles.
2. Similar paint scheme to existing.
3. Exposed wood ceilings, beams, and columns to harmonize with the existing.
4. Modifications to add baggage handling at ticket counter.
5. Addition of light fixture that will harmonize with the existing.

Site Improvements

1. Alterations to the roadway and parking lot.
2. Changes to landscaping, lighting, grading and drainage among other items detailed in the letter.
3. Installation of a small solar bank in the parking area.

Landmark Structure Definition (14-12.1)

A [structure](#) outside a historic district that otherwise meets the definition of a [significant structure](#). A [structure](#) may also be a [landmark structure](#) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

Exceptions

Two exceptions are requested. The exception responses from the applicant and from staff are provided below.

1. Part 2.A of Resolution No. 2015-101. The applicant is requesting that 80% of a publicly visible façade finished in glass as opposed to the permitted materials.

Applicant Statement regarding this design choice

The Landmark resolution calls for “no less than eighty percent (80%) of the surface area of any publicly visible facade of the Terminal Building shall be adobe finish, or stucco simulating adobe finish”. Current percentages of this type of finish are as follows:

- *North 79%,*
- *East 74%,*
- *South 78%,*
- *West 68%, and*
- *Overall Existing 74%.*

Proposed Design Percentages:

- *North 90% (+10%),*
- *East 78% (+4%),*
- *South 78% (no change),*
- *West 65% (-3%), and*
- *Overall Proposed 76% (+2%).*

The proposed Design increases percentage of stucco finish on all three publicly accessible sides. The west facing elevations decrease stucco in favor of additional glazed openings. This feature is appropriate for air passenger terminals and takes advantages of views for travelers and visitors. Openings as part of the expansion are mainly under porches or obscured by physical shade structures. The existing patio will be covered with an opaque glass canopy to further shield the existing glazed opening to the existing terminal. The canopy will replace a vinyl tent and compliment a glass railing that is already in place.

- (i) Do not damage the character of the district;

Applicant Response: *Stucco percentages are similar to existing. The propose street side percentages are closer to the resolution’s stated goal than current conditions.*

The proposed design provides a modern material palette that is in line with the existing structure’s proportions and details.

Staff Response: The character of a particular historic district is not of consideration. The landmark structure is the consideration. Staff finds that the proposed addition is sensitive to the existing structure. The most character defining elements of the terminal are retained. The location of the addition is sensitive to the existing historic structure.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare; and

Applicant Response: ***Increasing stucco percentages on all elevations to reach 80% would require eliminating current proportions of materials which would be a detriment to the existing landmark structure.***

Modern air travel operations and requirements require some adaptation of this facility to continue to function as needed to maintain service.

Staff Response: Staff agrees that the proportions of glass to wall mass are similar to existing. For the Santa Fe Regional Airport to not upgrade to meet modern airport requirements and to not be able to operate or serve the public would present a hardship.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Applicant Response: ***The proposed expansion further reinforces the existing landmark structure's three dimensional proportions and materials.***

Decreasing the percentages of stucco on the west, air-side, elevation will improve the views afforded visitors and passengers to the City's only air passenger terminal.

Staff Response: Other designs were considered which would have been disruptive to the existing historic structure. The applicant can describe them to the HDRB at the hearing if they wish to hear them.

2. The other is an exception request to 14-5.2(D)(2) Additions for an addition to a primary, an addition that is not set back 10 feet, and for a parapet that is not lower than the existing parapet. Given that it is one mass that invokes the need for an exception, the exception was requested generally to 14-5.2(D)(2).
 - 14-5.2(D)(2)(c) additions are not permitted to primary facades,
 - 14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.
 - 14-5.2(e)(i) For significant and landmark structures shall be a minimum of six (6) inches less than the parapet or equivalent roof-feature of the existing adjacent connecting facade.

Applicant Statement Regarding the Design Choice

The City Code calls for the addition to be at least 6" lower than the existing adjacent structure. The height of the existing control tower is 50' above grade not including railings and equipment. The portion of the existing building that the expansion attaches to is 13'-8" above grade. The proposed design has two parapet heights, 14'-0" and 24'-0". Both heights are below the existing control tower and the existing 2nd floor parapet, 26' above grade. The lower height is designed to create a feasibly constructed joint that address the existing building materials and wall batter angle. The upper height is to accommodate a taller interior public space at the expansion's airline gates.

The city code calls for 10' setbacks of addition from existing structures. The existing building has a variety of building components and that step in and out currently. The proposed addition continues with this theme of stepping facades while maximizing the limited space available on the site. The space is critical to airport functions.

(i) Do not damage the character of the district;

Applicant Response: The overall conglomerate of parapet heights and façade stepping in the proposed Expansion Design is in harmony with the existing structure and its varied layers. The expansion will replace existing portable buildings that are incongruous with the historical character. The accompanying site improvements will significantly improve the streetscape around the current structure. This proposed project will eliminate gaps in the streetscape and create a complete design within the project boundaries.

Staff Response: A district is not under consideration. It is the landmark structure. Staff agrees with this response and finds the addition sensitive to the existing historic structure.

(ii) Are required to prevent a hardship to the [applicant](#) or an injury to the public welfare; and

Applicant Response: Limiting the expansion footprint to a lower parapet height than the adjacent existing structure will hinder the construction joint that is required between the buildings. It may still be possible but may be more visually apparent from the street and therefore undesirable. Limiting the height would also making screening of roof top equipment more difficult to achieve as noted with in the resolution. Limiting the interior height of the public space would also limit architectural and cultural opportunities within. A lower interior space will limit the use of architectural components such as exposed wood structure, grand views, available space for art installation.

Increasing façade step back from the proposed connection point would severely limit the available square footage necessary for airport operations.

This facility is the City's only public air transportation hub which makes it unique. A adequately sized footprint and taller interior public space is more appropriate for this use as opposed to being smaller and shorter than the existing adjacent spaces. The proposed space will allow harmonious architectural features and art opportunities that is more akin to similar facility in the region and thus is a benefit to the City of Santa Fe.

Staff Response: Staff agrees with this response.

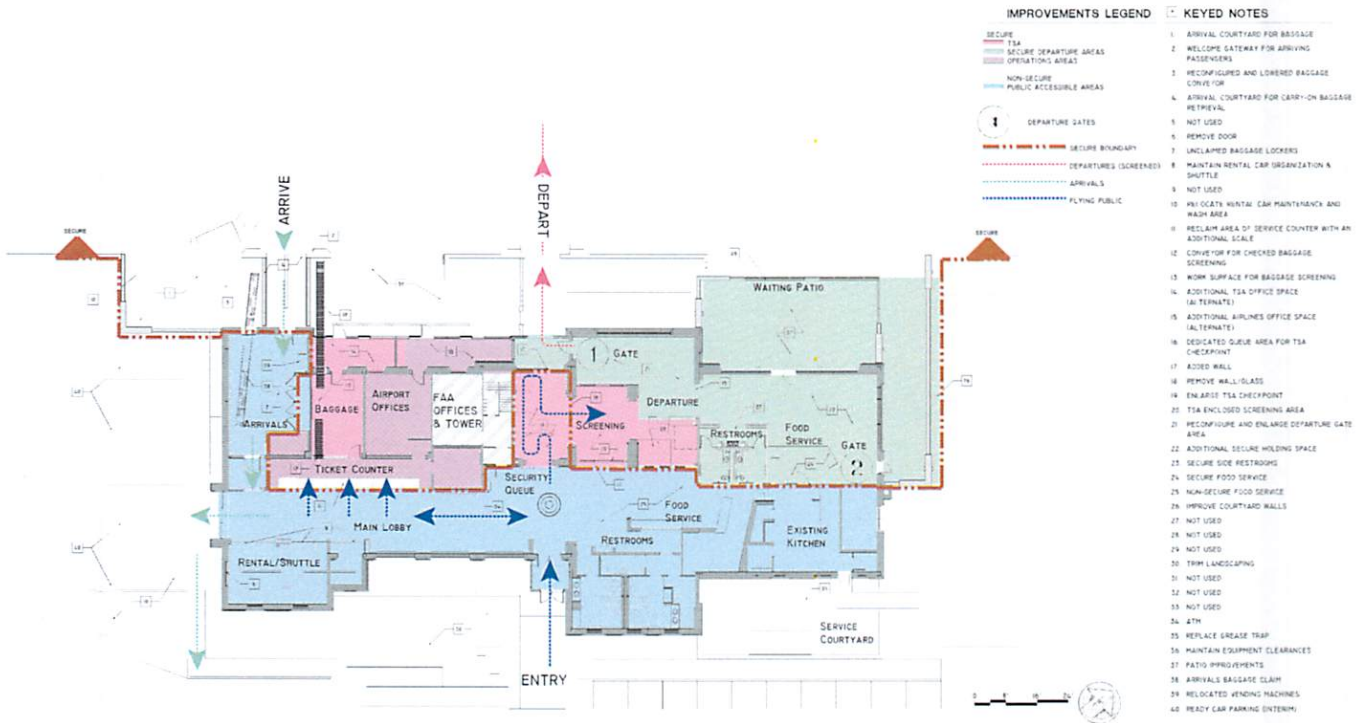
(iii) Strengthen the unique heterogeneous character of the [City](#) by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Applicant Response: *The proposed Design addresses current facility shortcomings and capacity issues. This project will strengthen the ability of this landmark facility to continue to be used by the local residents going forward.*

This project will address current facility shortcomings to enhance and add longevity to the historic structure. This project will also encourage future work in the area to harmonize with the landmark structure.

Staff Response: Staff agrees with this response and finds that the addition is sensitive and addresses modern needs for the airport terminal and the property in general.

Santa Fe Regional Airport Master Plan



IMPROVEMENTS LEGEND

- SECURE
- TSA
- SECURE DEPARTURE AREAS
- OPERATIONS AREAS
- NON-SECURE
- PUBLIC ACCESSIBLE AREAS
- DEPARTURE GATES
- SECURE WINDUP
- DEPARTURES (SCREENED)
- ARRIVALS
- FLYING PUBLIC

KEYED NOTES

1. ARRIVAL COURTYARD FOR BAGGAGE
2. WELCOME GATEWAY FOR ARRIVING PASSENGERS
3. RECONFIGURE AND LOWERED BAGGAGE CONVEYOR
4. ARRIVAL COURTYARD FOR CARRY-ON BAGGAGE RETRIEVAL
5. NOT USED
6. REMOVE DOOR
7. UNCLAMPED BAGGAGE LOCKERS
8. MAINTAIN RENTAL CAR ORGANIZATION & SHUTTLE
9. NOT USED
10. VAN/OLDS RENTAL CAR MAINTENANCE AND WASH AREA
11. RECLAIM AREA OF SERVICE COUNTER WITH AN ADDITIONAL SCALE
12. CONVEYOR FOR CHECKED BAGGAGE SCREENING
13. WORK SURFACE FOR BAGGAGE SCREENING
14. ADDITIONAL TSA OFFICE SPACE (ALTERNATE)
15. ADDITIONAL AIRLINES OFFICE SPACE (ALTERNATE)
16. DEDICATED QUEUE AREA FOR TSA CHECKPOINT
17. ADDED WALL
18. REMOVE WALL/SLAB
19. ENLARGE TSA CHECKPOINT
20. TSA ENCLOSED SCREENING AREA
21. RECONFIGURE AND ENLARGE DEPARTURE GATE AREA
22. ADDITIONAL SECURE HOLDING SPACE
23. SECURE SIDE RESTROOMS
24. SECURE FOOD SERVICE
25. NON-SECURE FOOD SERVICE
26. IMPROVE COURTYARD WALLS
27. NOT USED
28. NOT USED
29. NOT USED
30. TRIM LANDSCAPING
31. NOT USED
32. NOT USED
33. NOT USED
34. 4TH
35. REPLACE GREASE TRAP
36. MAINTAIN EQUIPMENT CLEARANCES
37. PATIO IMPROVEMENTS
38. ARRIVALS BAGGAGE CLAIM
39. RELOCATED VENDING MACHINES
40. READY CAR PARKING (ENTER)

Source: Molzen Corbin

The following section focuses on terminal building alternatives that could better accommodate future planning horizons through the reconfiguration/expansion of the terminal facility. Two alternatives consider modifying the terminal building and adding onto the north and south sides of the facility to better meet functionality needs. The expansion in both alternatives considers approximately 18,000 square feet of additional facility space. This coupled with the existing 9,700 square feet of space would allow for approximately 27,700 square feet of total area within the ultimate terminal design.

Terminal Building Expansion Alternative A

As depicted on **Exhibit 4P**, Terminal Building Expansion Alternative A considers expansion and remodeling of the proposed near term facility improvements in order to better meet future space requirements. The overall theme of this alternative is to segregate arriving and departing passengers by focusing the north terminal expansion area on departing passengers and the south terminal expansion area on arriving passengers.

This alternative would allow for the existing terminal entrance/exit to remain, but would also create an additional entrance point farther north as part of the terminal expansion for departing passengers. Upon entrance into the expanded facility, airline ticketing/check-in counters would be located directly ahead and to the right. Office space to accommodate airline management and operations is proposed adjacent to the airline counters. With this setup, once passengers check in they could proceed to the TSA screening area prior to entering the expanded departure hold room.

This alternative provides restrooms for passengers in the departure hold room. In addition, restaurant/concessions would be made available to secured passengers in the hold room as well as arriving passengers and the general public in a common area outside the secured area. As proposed, the existing kitchen area would remain and concessions could be served to the west in the secured area as well as to the north in the common area.

The south terminal expansion area in this alternative is dedicated to arriving passengers. Upon deplaning the aircraft, passengers would enter the building where current airport administration offices are located and make their way to the baggage claim area located in the south portion of the facility. The existing car rental counters would be expanded to better accommodate this functional need. In addition, restrooms would be made available in the expanded area for the arriving passengers. These amenities would be accessible to passengers before exiting the terminal to the east.

Additional amenities offered in this alternative include offices and storage in the area where airline ticketing currently takes place. The existing restroom facilities would remain adjacent to the existing entrance/exit to the facility. Finally, existing space would remain to accommodate FAA personnel associated with the ATCT. As previously stated, this alternative does not accommodate airport administration offices.

As detailed, the existing facility located directly north of the proposed terminal expansion could provide space for airport administration. It should be noted that this building is currently utilized for a

private FBO on the airfield. Future plans include the construction of additional FBO facilities, thus allowing this building to once again be utilized for terminal area support.

Terminal Building Expansion Alternative B

Presented on **Exhibit 4Q**, Terminal Building Expansion Alternative B also considers an expansion to the north and south sides of the existing facility. This alternative differs from the previous one in that the north terminal expansion area would be dedicated to arriving passengers and the south terminal expansion area would accommodate departing passengers.

Passengers arriving at the terminal to depart would enter through the existing entrance on the east side of the building and proceed to the ticketing counters immediately to the left of the entrance. This setup would utilize the existing counter space in the terminal building. The office space behind the ticket counters could be reconfigured to meet the needs of airline management and operations.

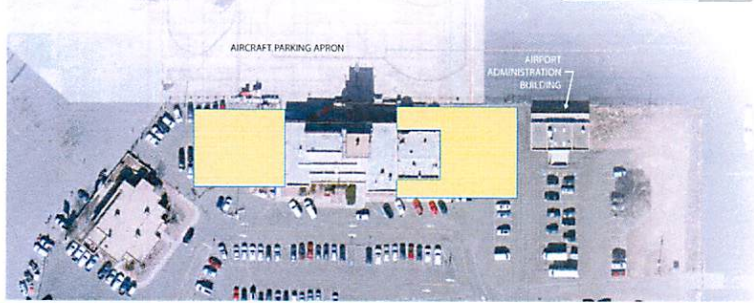
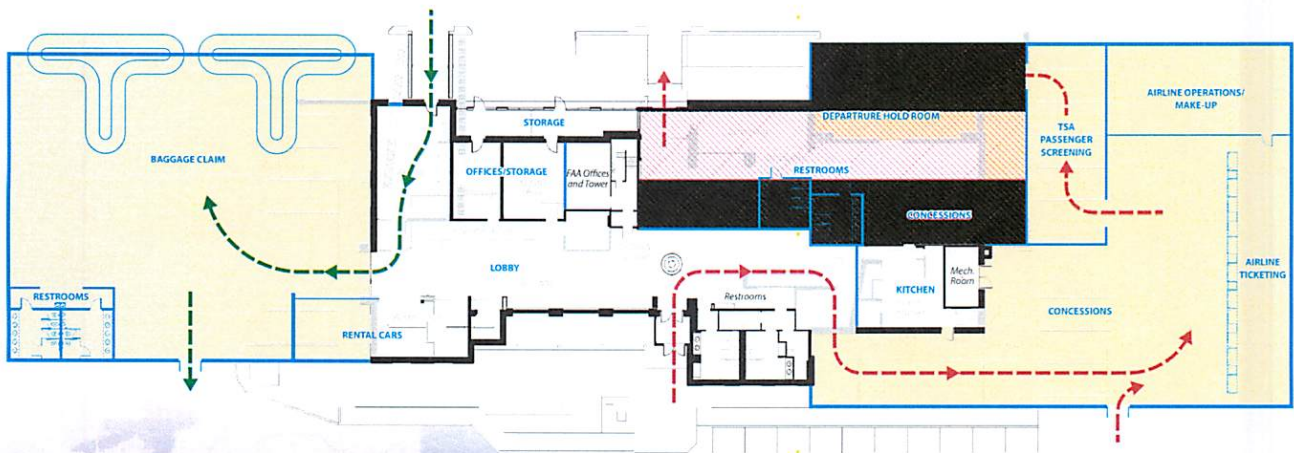
Once passengers check in, they would proceed directly to the security screening area and enter the departure hold room. Whereas the previous alternative dedicated the south terminal expansion to arriving passengers, this alternative calls for this area to serve departing passengers in the form of a departure hold room. Within the secured area, bathroom facilities and a concessions area are proposed.

As proposed, arriving passengers would enter the terminal building in the north expansion area. Immediate access would be provided to the baggage claim area as well as restroom facilities. Under this alternative, the rental car facility would be located in a separate building adjacent to the north side of the expansion area. Immediate passenger access to this facility would be provided through doors exiting the north side of the building.

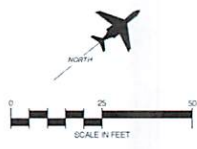
Airport administrative offices would be situated in the center of the terminal building in the area currently accommodating portions of the TSA security screening and departure hold room. A restaurant/concessions area would be offered to arriving and departing passengers as well as the general public in the general location it is in currently. With this alternative, the kitchen would only be capable of serving concessions in a non-secured area of the terminal. A separate concessions area that is proposed within the departure hold room could be afforded food/drink service from this kitchen but would require additional personnel to man the secured concessions area. The existing restroom facilities would remain as well, as would space for FAA personnel associated with the ATCT.

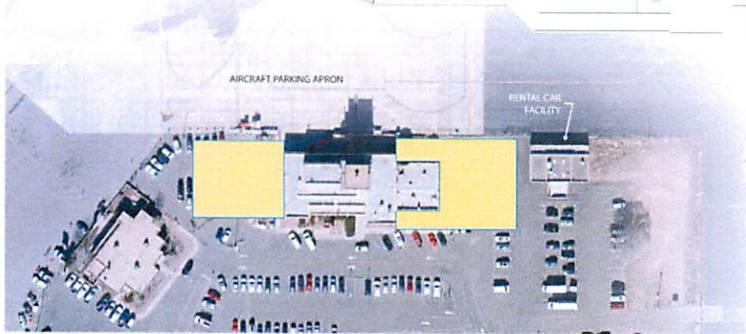
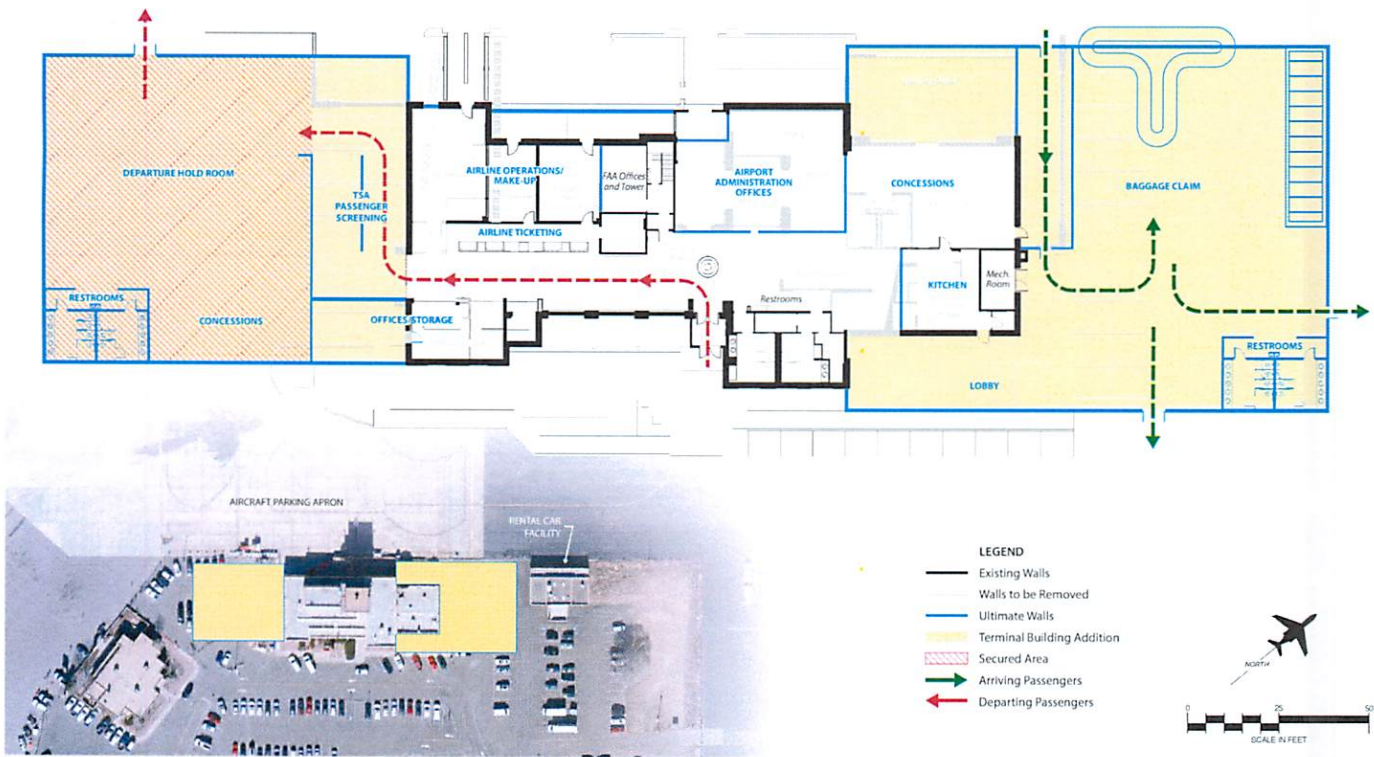
Commercial Terminal Complex Alternatives Summary

The two commercial terminal building alternatives provide space to better meet the functional needs of airline and administrative operations in the future. Alternatives A and B would include expanding the existing facility, allowing for approximately 27,700 square feet of overall floor plan space. Both

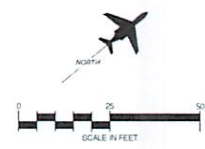


- LEGEND**
- Existing Walls
 - - - Walls to be Removed
 - Ultimate Walls
 - Terminal Building Addition
 - Secured Area
 - Arriving Passengers
 - ← Departing Passengers





- LEGEND**
- Existing Walls
 - - - Walls to be Removed
 - Ultimate Walls
 - Terminal Building Addition
 - Secured Area
 - Arriving Passengers
 - ← Departing Passengers



Historic District Review Board

September 22, 2015

Staff Memo

City of Santa Fe, New Mexico

memo

August 31, 2015

To: Historic Districts Review Board

Via: David Rasch, Historic Preservation
Jon Bulhuis, Transportation Department Director ✕
David Pfeifer, Facilities Division Director ✕

From: Mary MacDonald, Project Administrator, Facilities Development Section *MM*

Subject: Santa Fe Airport Terminal, assigning Landmark status

AUG 31 2015

Issue and Action Request:

The Historic Preservation Office of the New Mexico Department of Cultural Affairs has recently notified the City the Airport Terminal is eligible for the National Register of Historic Places; for this reason, the City's Historic Preservation must ask the Board to consider whether or not the structure should be assigned Landmark status by the City. Therefore, we are requesting the Board make a recommendation on whether or not the Santa Fe Airport Terminal should be assigned Landmark status as an historic building.

Background:

The Santa Fe Airport Terminal was built in 1957 and several changes have been made to the structure between 1956 and 2015; refer to Attachment 1, elevations of the Terminal in the past and what is planned for the exterior in late 2015. Attachment 2 is construction plan sheets for the 1957 construction and the 1988 construction. The 1988 construction made the majority of the significant changes to the exterior of the building, including the two additions under the front portico. **The 2004 construction remodeled the interior of the Terminal with an historically sensitive design created by Molzen-Corbin & Associates, the same consulting firm designing the 2015 construction.** The construction planned for 2015/first half of 2016 is intended to address the critical short term needs essential to operational functions at the Airport Terminal.

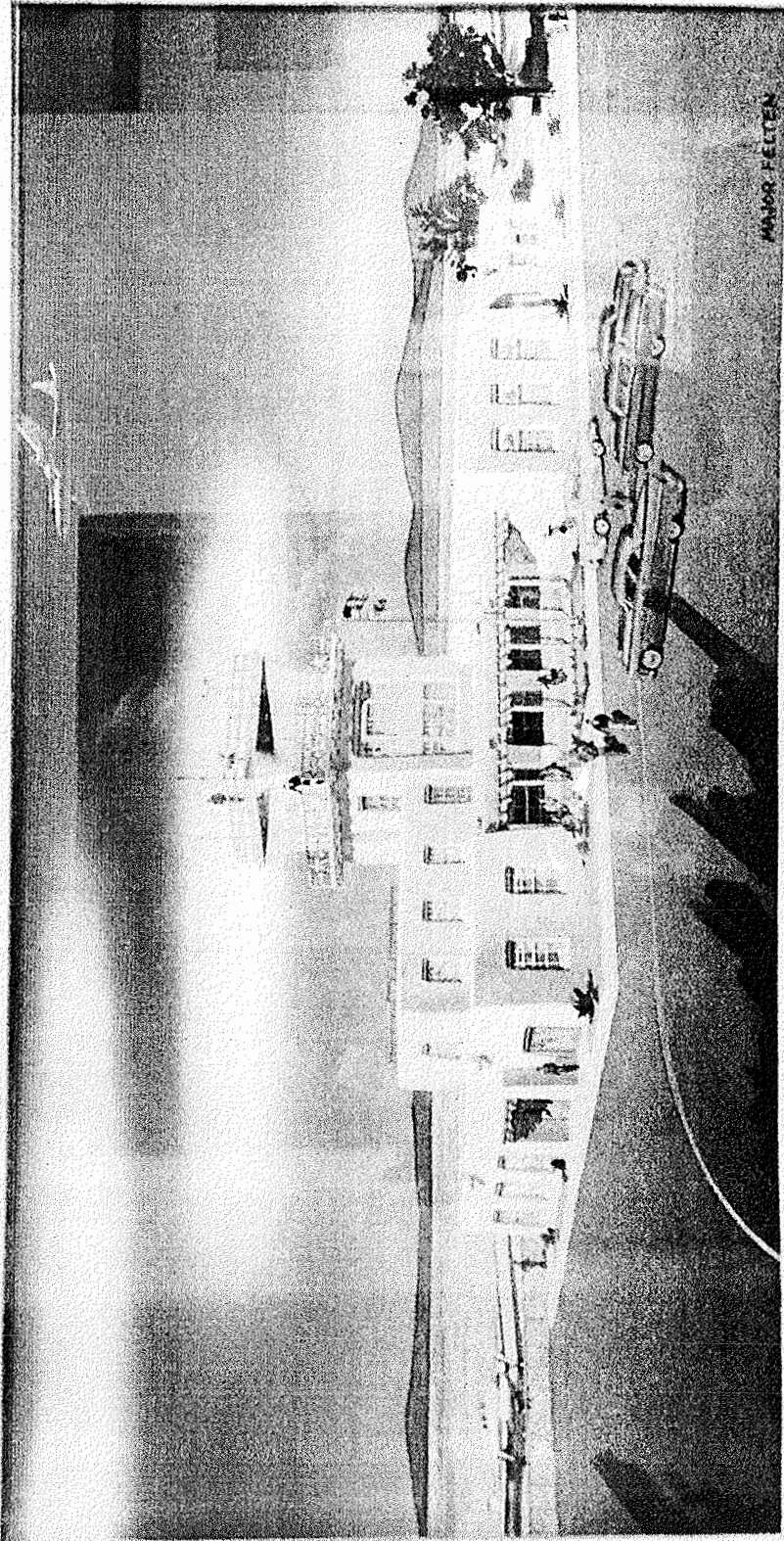
Our Recommendation:

We recommend the Historic Districts Review Board not support the Airport Terminal being assigned Landmark status at this time, for the following reasons:

- a. The two building additions under the front portico, the extension for the shuttle office and the extension for the main front entry to the Terminal, were constructed in 1988.
- b. The windows in the restaurant, on the runway side of the Terminal, were changed after 1957.
- c. Assigning Landmark status to the Airport Terminal is highly likely to interfere with changes to the exterior that are essential to operational needs of the Terminal currently and in the future.

Attachments: (1) Exterior Elevations and (2) Construction Plans

xc: Isaac J. Pino, P.E., Public Works Department Director



MAJOR FELTEN

W. G.
2001



Terminal Building ♦ Santa Fe County - Municipal Airport
Wolgamood and Millington ♦ Pueblo-Spanish Revival 1956-7





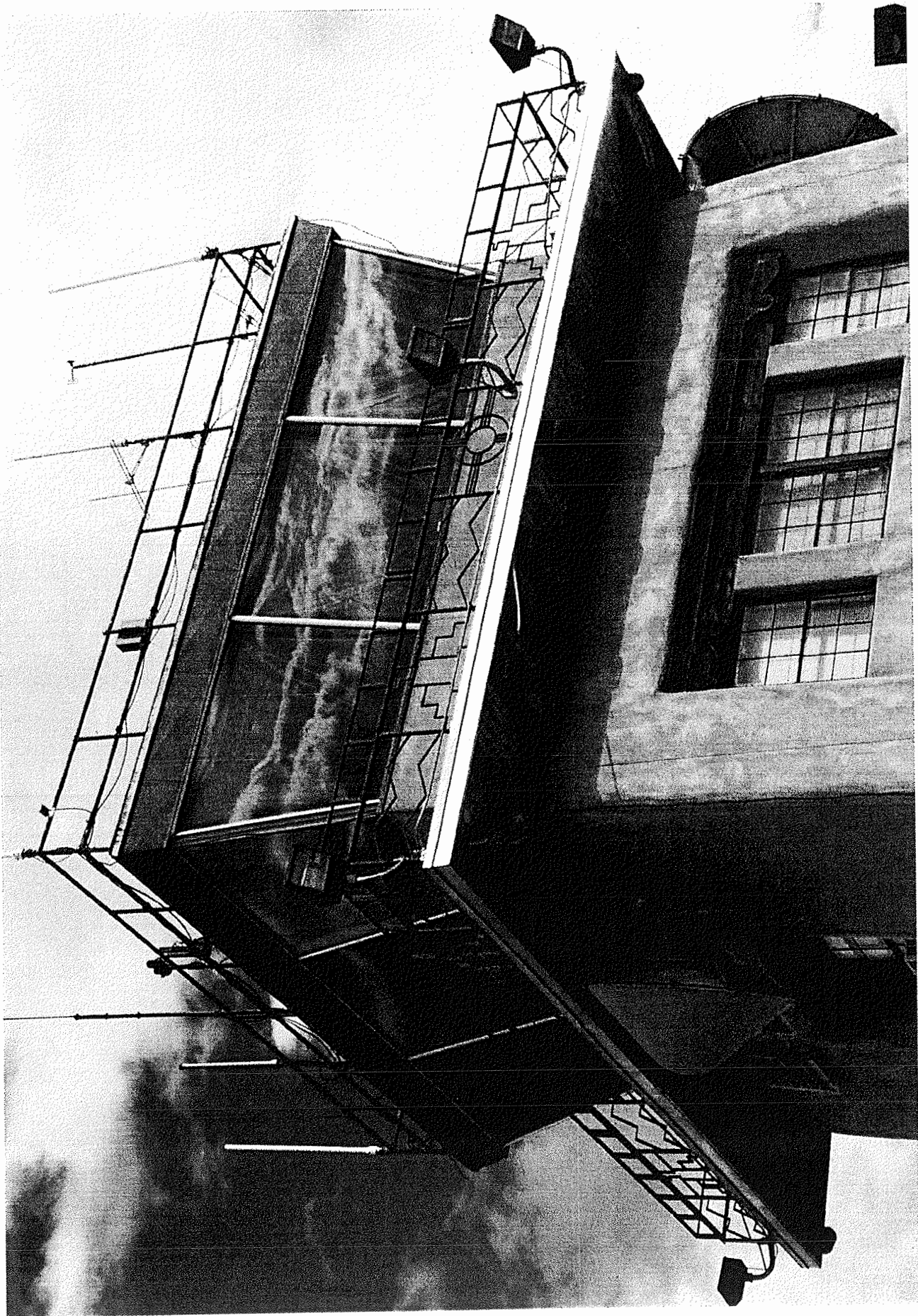
Terminal Building ♦ Santa Fe County - Municipal Airport
Wolgamood and Millington ♦ Pueblo-Spanish Revival 1956-7



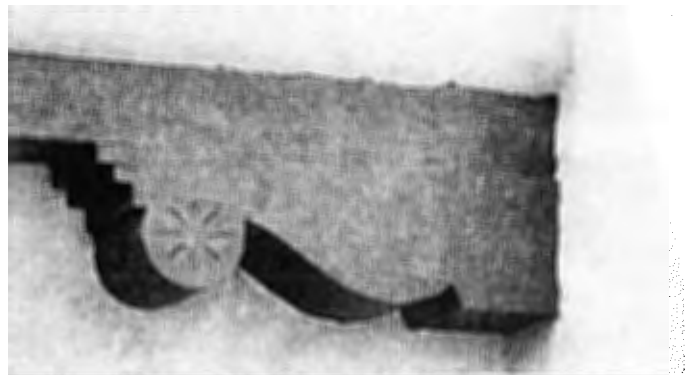
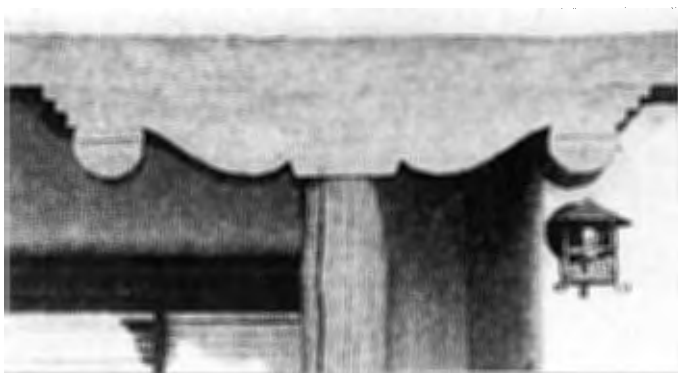
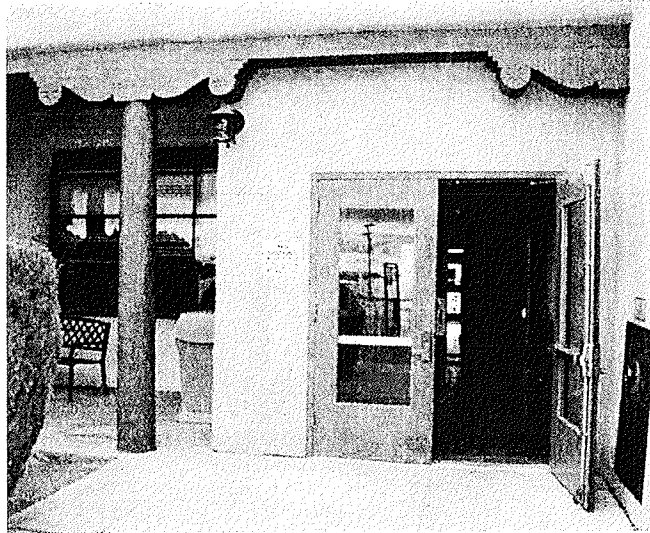
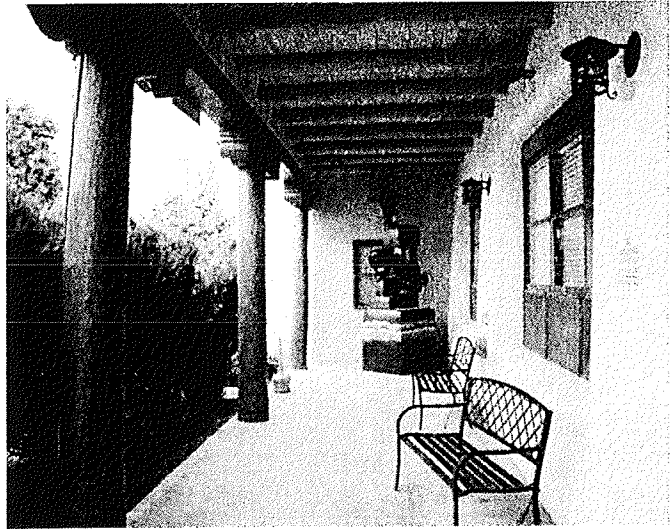
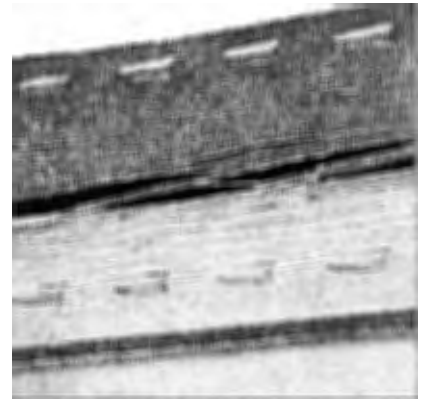
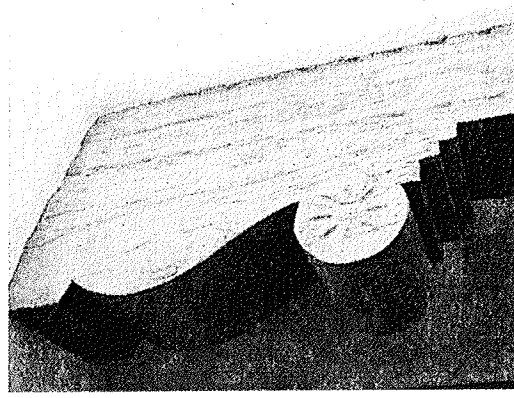
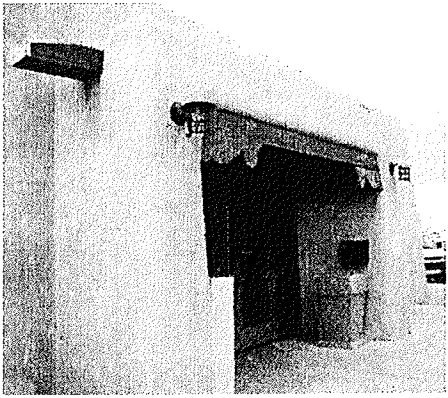


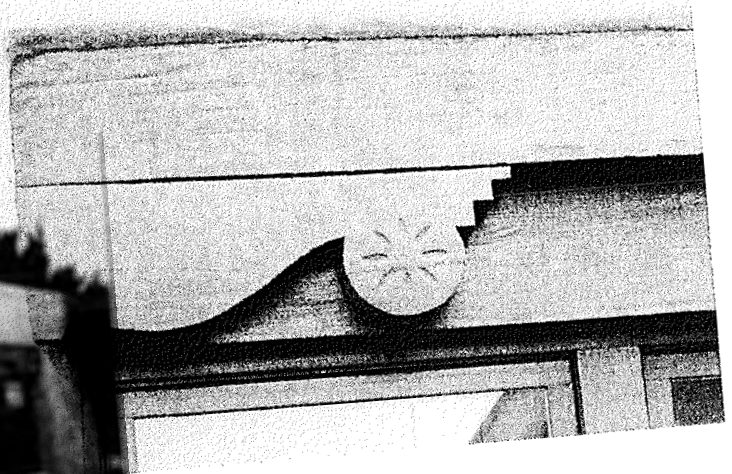
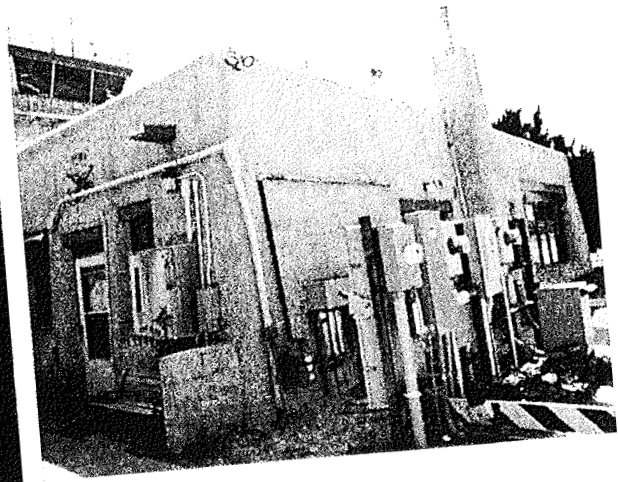
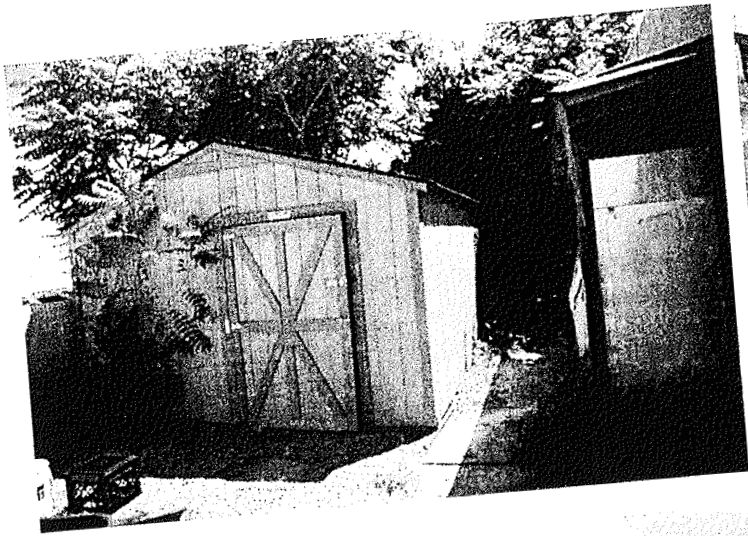
Santa Fe Airport Terminal Building (West Façade)

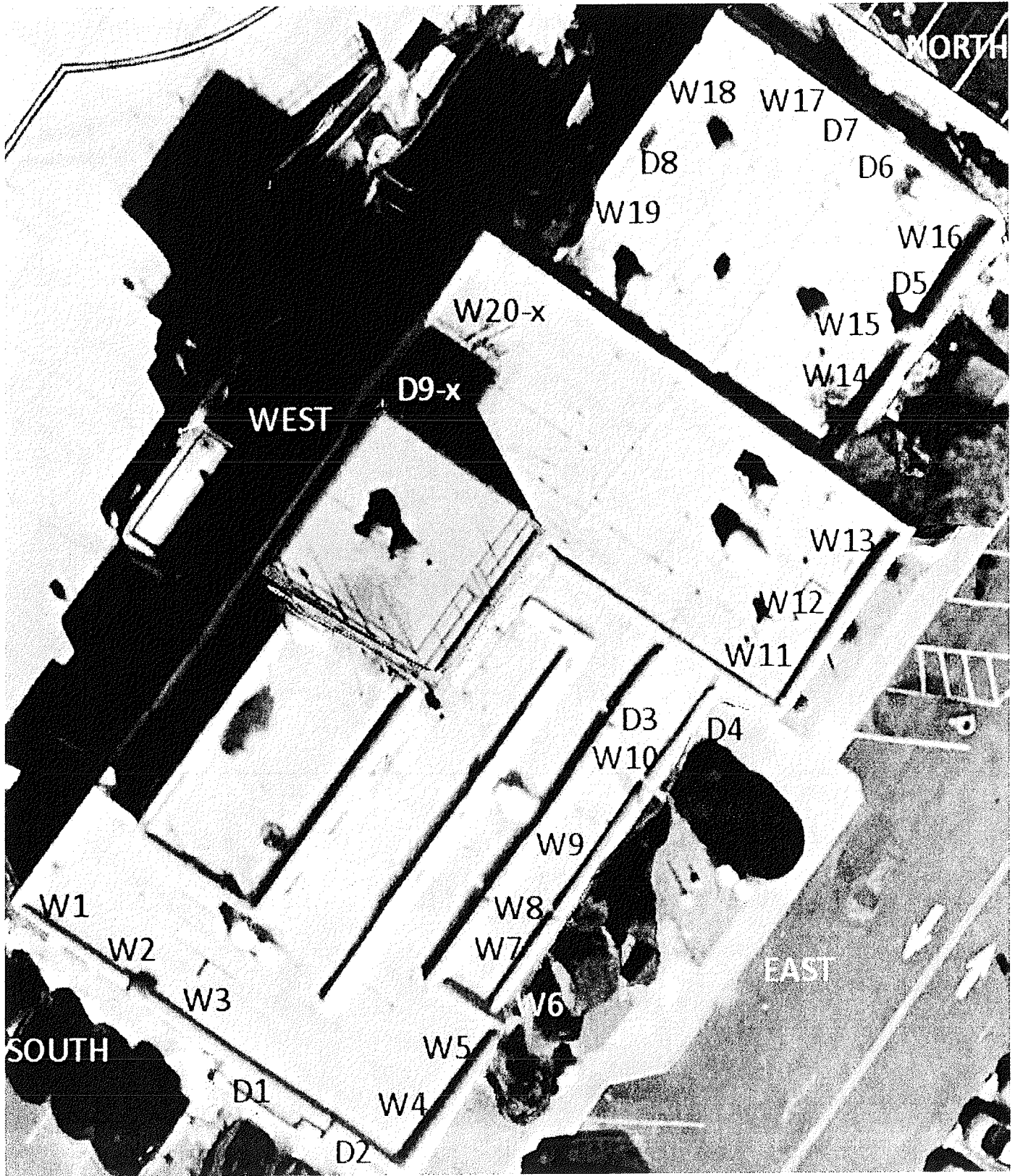




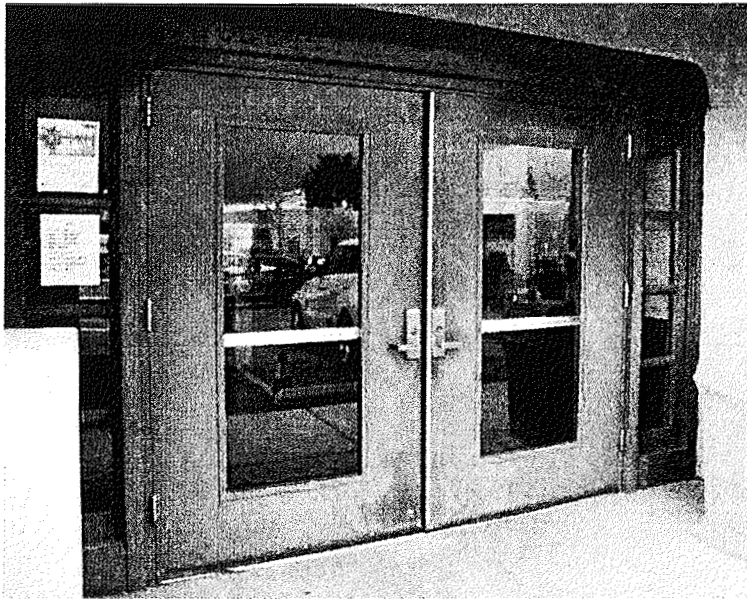
Santa Fe Airport Terminal Building (Tower Detail)



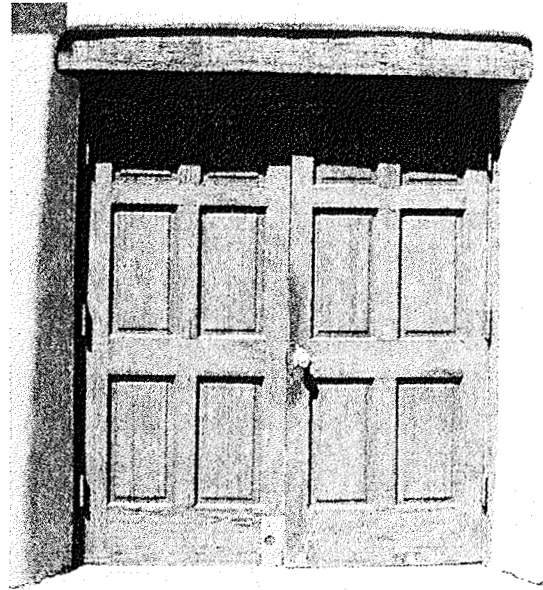




Santa Fe Airport Window and Door Schedule



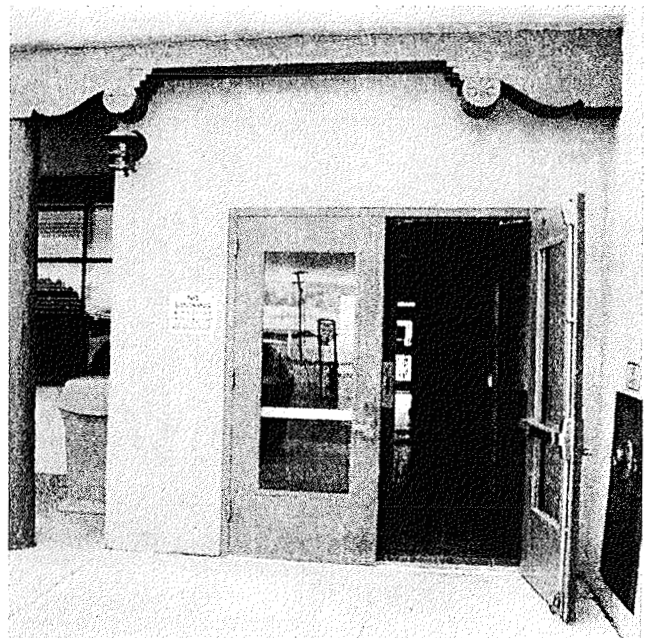
D1 (side entry)



D2 (maintenance room S)



D3 (blocked main entry vestibule)



D4 (Main Entry)



D5 (maintenance E)



D6 (blocked maintenance N)

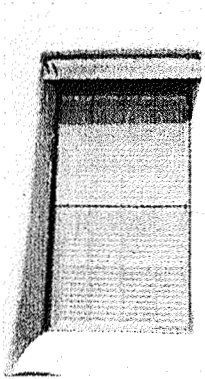


D7 (restaurant N)

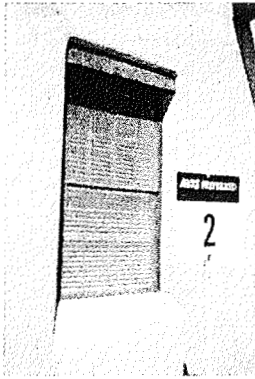


D8 (restaurant W)

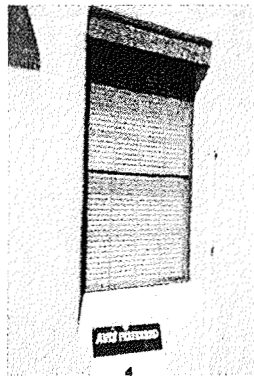
Terminal Building Exterior Doors (excluding secure plane side)



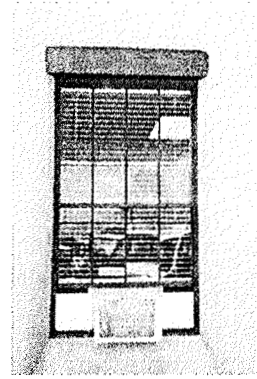
W1



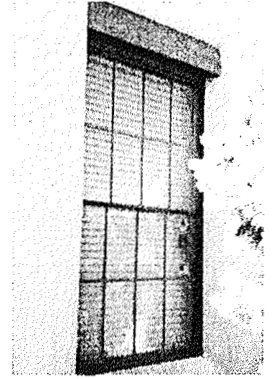
W2



W3



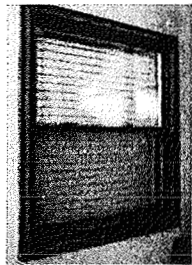
W4



W5



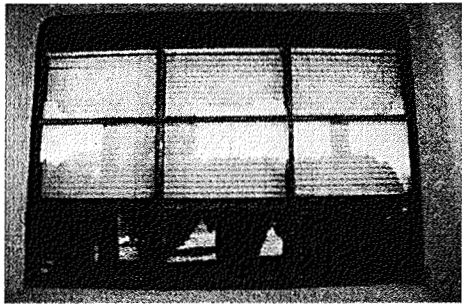
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W7



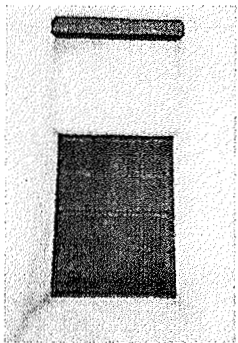
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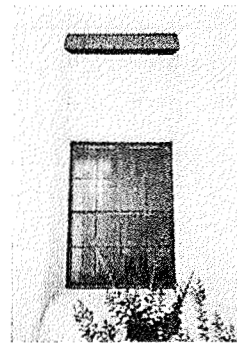
W9



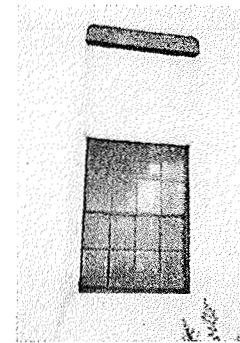
W10



W11



W12



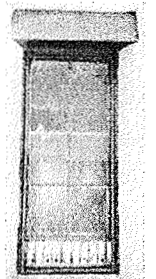
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W14



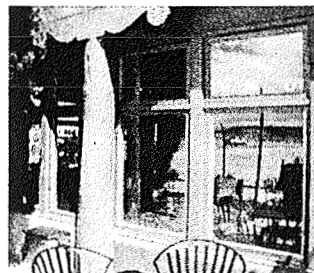
W15



W16



W17

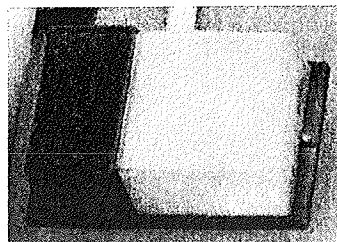
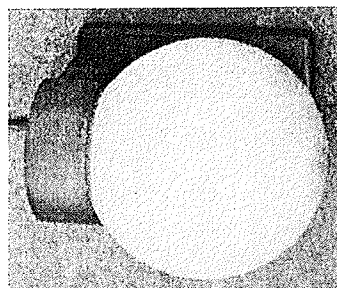
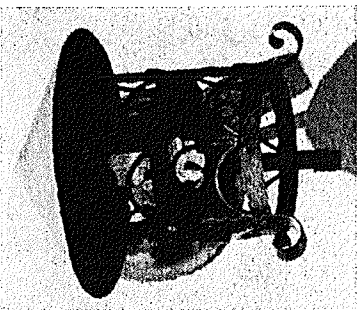
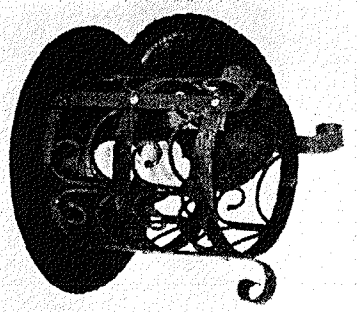
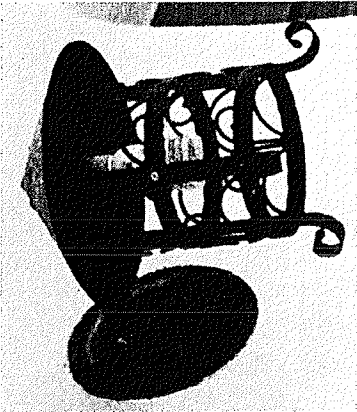
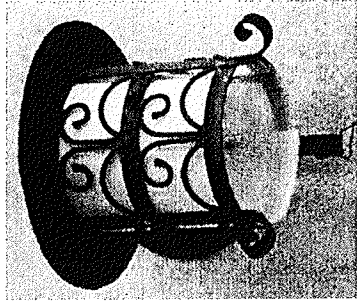
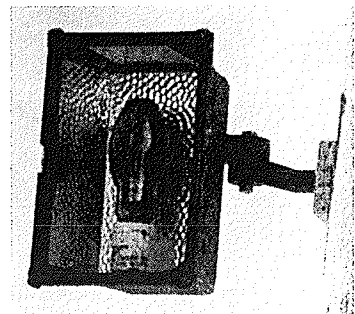
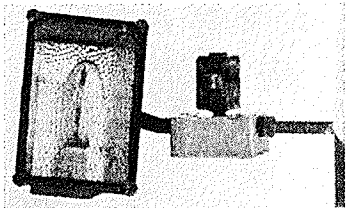
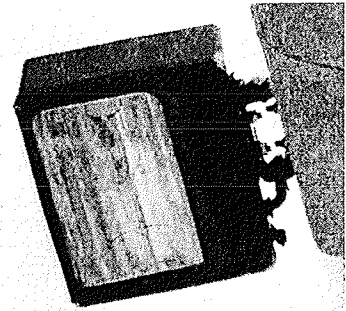


W18

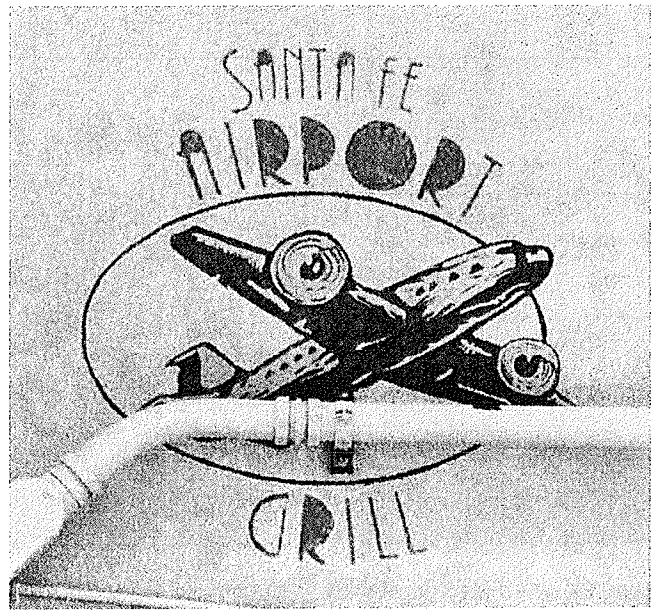


W19

Terminal Building Exterior Windows (excluding secure plane side + upper floor)









East Front Garden Overall View



Front Garden with Colorado Blue Spruce, 2 Arborvitae sp., and Apple sp.

and unknown foundation plant



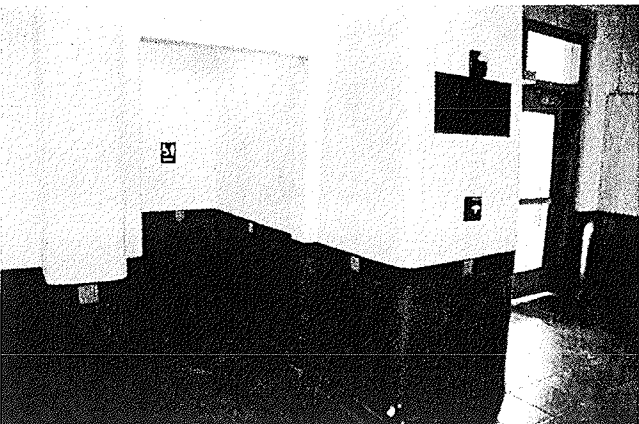
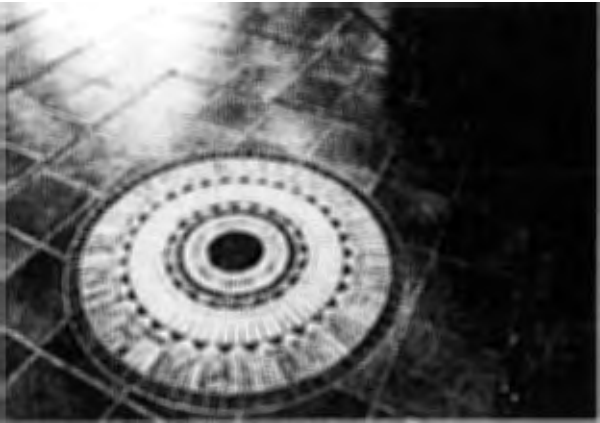
L-shaped area of Juniper sp. hedges in Front Garden

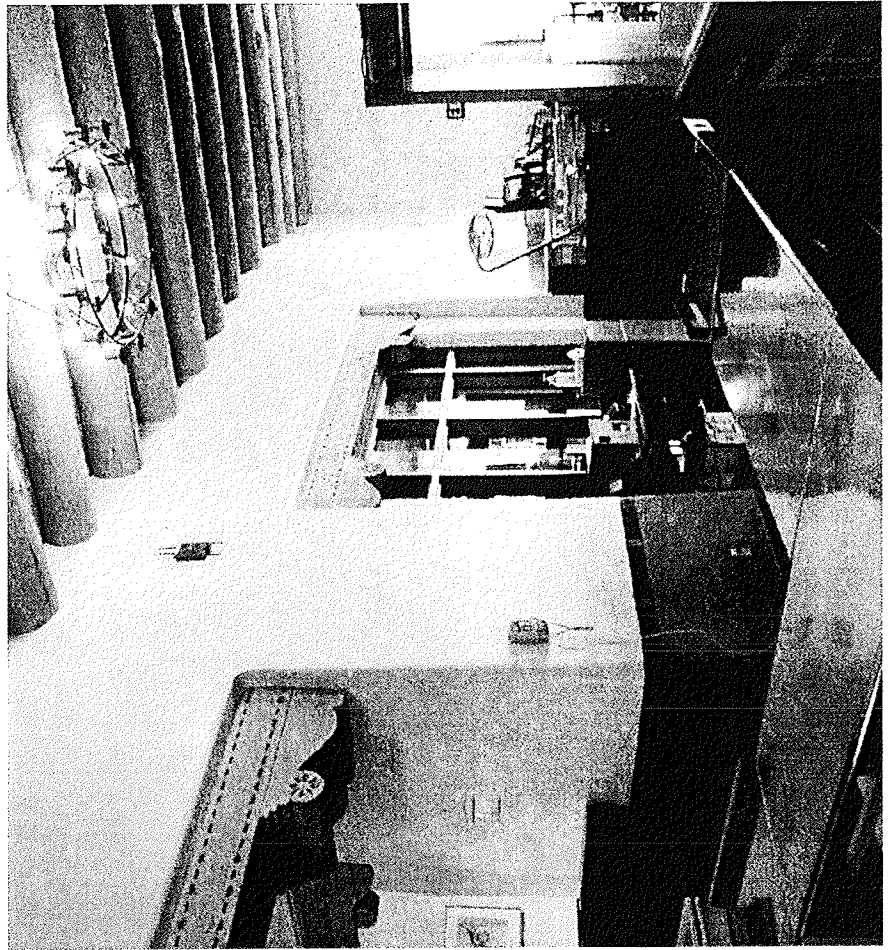
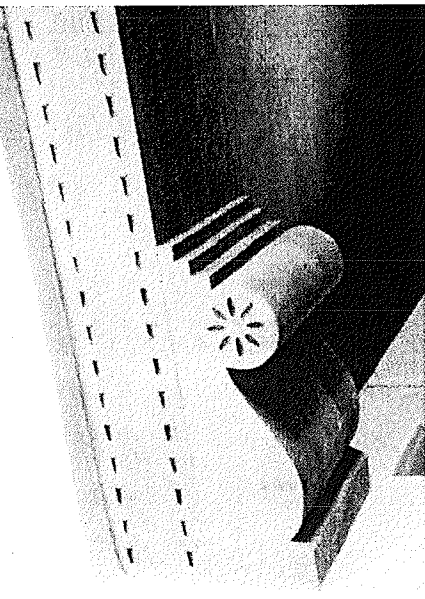
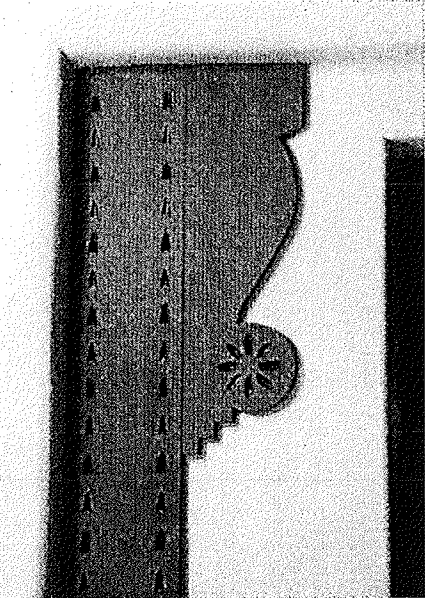
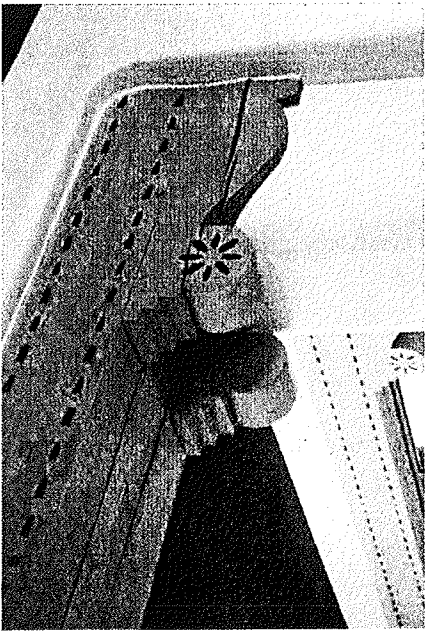


NE Maintenance Court Flowering Cherry/Plum and many Tree of Heaven

NW Restaurant Court 2 large Yews







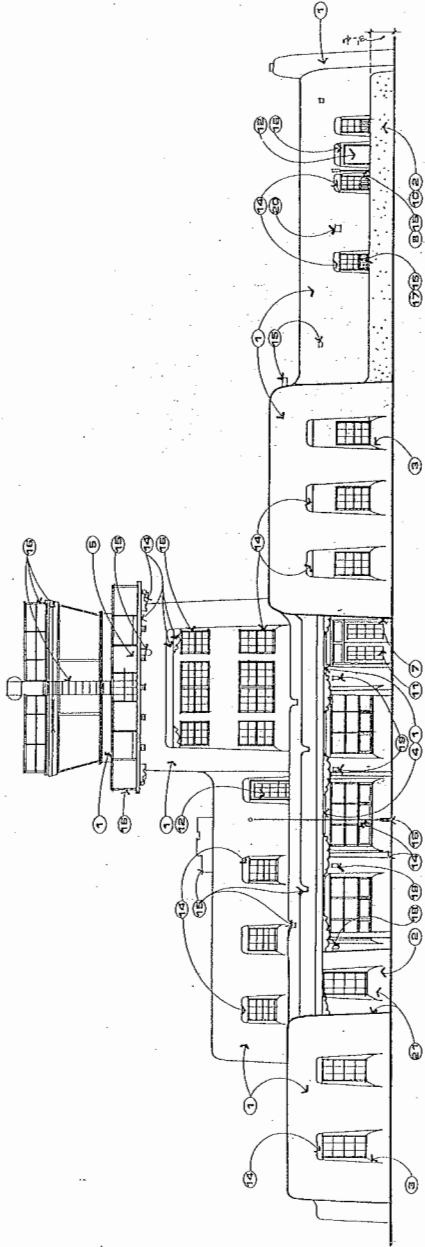
AIRPORT TERMINAL RENOVATION

CITY OF SANTA FE, N.M.

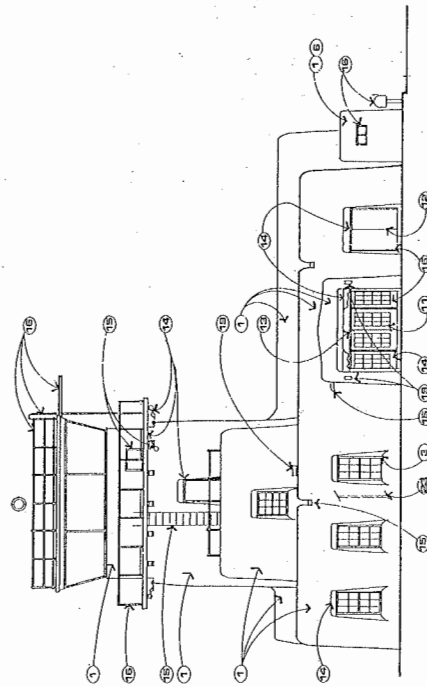
16 DEPT 87

KEYED NOTES

1. PAINTING NEW BRICKS, POINTS ON METAL WALLS AND REPAIR BRICKS.
2. BRICKS TO BE REPAIRED AS SHOWN IN THIS DRAWING.
3. BRICKS TO BE REPAIRED AS SHOWN IN THIS DRAWING.
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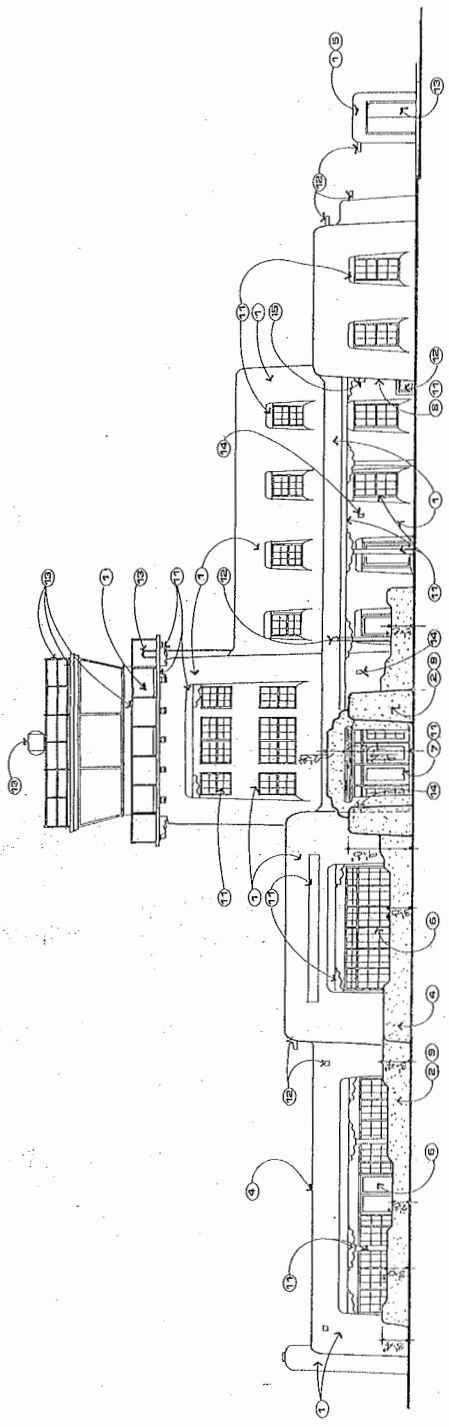
EAST ELEVATION
SCALE 1/8"=1'-0"



SOUTH ELEVATION
SCALE 1/8"=1'-0"

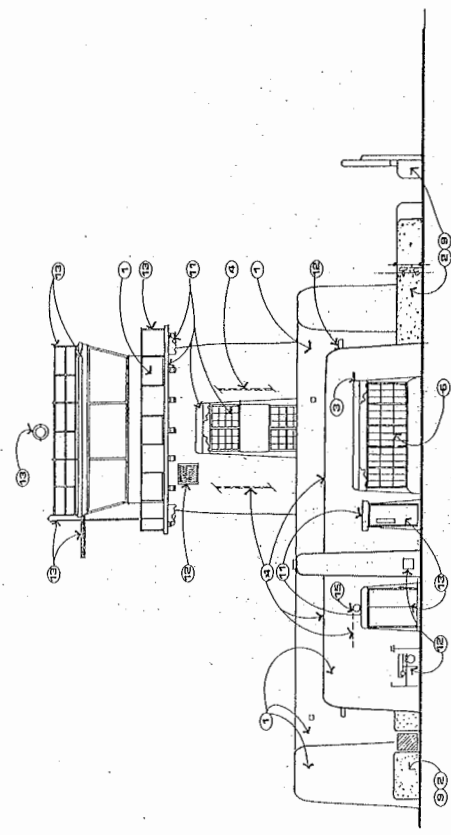


As Built



WEST ELEVATION
 SCALE 1/8" = 1'-0"

- KEYED NOTES**
1. REPAIR AND PAINT EXISTING ROOFING.
 2. REPAIR AND PAINT EXISTING ROOFING.
 3. REPAIR AND PAINT EXISTING ROOFING.
 4. REPAIR AND PAINT EXISTING ROOFING.
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 16. REPAIR AND PAINT EXISTING ROOFING.
 17. REPAIR AND PAINT EXISTING ROOFING.
 18. REPAIR AND PAINT EXISTING ROOFING.



NORTH ELEVATION
 SCALE 1/8" = 1'-0"

State of New Mexico
Department of Cultural Affairs
Historic Preservation Division
Letter from Steven Moffson
July 22, 2015



Susana Martinez
Governor

STATE OF NEW MEXICO
DEPARTMENT OF CULTURAL AFFAIRS
HISTORIC PRESERVATION DIVISION

BATAAN MEMORIAL BUILDING
407 GALISTEO STREET, SUITE 236
SANTA FE, NEW MEXICO 87501
PHONE (505) 827-6320 FAX (505) 827-6338

July 22, 2015

David Rasch
Historic Preservation Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, New Mexico 87501

Dear Mr. Rasch:

Based on the information provided, the Historic Preservation Determined that the Santa Fe Airport Terminal, completed in 1957, is eligible for the National Register of Historic Places under Criterion C in the area of architecture as an excellent and rare example of the Spanish Pueblo Revival style incorporated in the design of an airport terminal. Many airports were designed in modern styles after the Second World War to reflect or emphasize the modern technology associated with air travel however; the Santa Fe Airport Terminal is unique because it demonstrates the city's continued commitment to the Spanish Pueblo Revival style, which began in the first decades of the 20th century.

The airport terminal has had few changes since its construction and retains a high level of historic integrity, especially its original design, materials, and craftsmanship. The four-story control tower rises from roughly the center of the one-story terminal building. The stucco walls, rounded corners, canales, and portal are characteristic of the Spanish Pueblo Revival style. Original features, such as Spanish-style metal light fixtures are located on the exterior and interior, where ornate chandeliers illuminate the lobby. Minor changes to the building—infill spaces on the front entrance, recent light fixtures, conduit, and storage shed—have not diminished the terminal's ability to convey its historic significance.

It is the view of the Historic Preservation Division that the Santa Fe Airport Terminal is significant because of its architectural significance and because it represents the history and growth of Santa Fe after the Second World War. We believe every effort should be made to preserve the terminal in its historic condition and we would be pleased to provide technical assistance toward this end.

If you have any questions, please contact me at 505-476-0444 or steven.moffson@state.nm.us.

Best regards,

A handwritten signature in black ink, appearing to read "Steven Moffson".

Steven Moffson
State and National Register Coordinator

Historic District Review Board

September 22, 2015

Minutes

SUMMARY INDEX
HISTORIC DISTRICTS REVIEW BOARD
September 22, 2015

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C. Approval of Agenda	Approved as amended	2
D. Approval of Minutes September 8, 2015	Approved as amended	2
E. Findings of Fact & Conclusions of Law	Approved as presented	2
F. Business from the Floor	None	2
G. Action Items		
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2. Case #H-15-056B 461 Camino de las Animas	Approved as recommended	12-14
3. Case #H-12-030 494 Camino Don Miguel	Approved with conditions	14-28
4. Case #H-15-085 538 East Palace Avenue	Approved as recommended	28-30
5. Case #H-15-086 927 Canyon Road	Approved with conditions	30-32
6. Case #H-15-087 331, 333, 335, and 337 East de Vargas Street	Approved as recommended	32-34
7. Case #H-15-088 128 Grant Avenue	Approved as recommended	34-36
8. Case #H-15-089 121 Aviation Drive	Recommended Landmark status	36-39
9. Case #H-15-090 110 West Santa Fe Avenue/610 Don Gaspar	Approved as recommended	39-42
10. Case #H-15-091 1133 East Alameda	Postponed by applicant	43
H. Communications	Announcements	43
I. Matters from the Board	None	43
J. Adjournment	Adjourned at 7:55 p.m.	43

MINUTES OF THE
CITY OF SANTA FÉ
HISTORIC DISTRICTS REVIEW BOARD

September 22, 2015

A. CALL TO ORDER

A regular meeting of the City of Santa Fé Historic Districts Review Board was called to order by Chair Cecilia Rios on the above date at approximately 5:30 p.m. in the Nambé Room at the Civic Conference Center, Santa Fé, New Mexico.

B. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chair
Mr. Frank Katz, Vice Chair
Ms. Meghan Bayer
Ms. Jennifer Biedscheid
Mr. Buddy Roybal

MEMBERS EXCUSED:

Mr. Edmund Boniface
Mr. William Powell

OTHERS PRESENT:

Mr. Zach Shandler, Assistant City Attorney
Mr. David Rasch, Historic Planner Supervisor
Ms. Lisa Roach, Historic Planner Senior
Ms. Lisa Martínez, Land Use Department Director
Mr. Carl Boaz, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Planning Department.

C. APPROVAL OF AGENDA

Action of the Board

Member Roybal moved in Case #H-15-088 at 128 Grant Avenue to approve the application per staff recommendations. Member Biedscheid seconded the motion and it passed by majority (3-1) voice vote with Member Katz dissenting.

- 8. **Case #H-15-089. 121 Aviation Drive.** The City of Santa Fe requests consideration of the Santa Fe Airport Terminal for landmark historic status. (David Rasch).

Mr. Rasch gave the staff report as follows:

BACKGROUND & SUMMARY:

The Santa Fe Airport Terminal, aka Santa Fe County – Municipal Airport, was constructed in 1957 by Leo J. Wolgamood and Alfred R. Millington in the Spanish-Pueblo Revival style with room-block massing, battered walls, and rounded edges. The historic structure includes historic brown-painted multi-lite metal windows and small metal lantern sconce light fixtures. Exposed brown-painted woodwork includes headers and corbels with carved bullet and rosette details. A decorative metal balustrade ornaments the tower catwalk supported by carved wooden corbels.

The only significant non-historic alterations are two small additions under the front entry portal from 1988. The additions were designed to be "harmonious" to the Santa Fe Style structure, but when built, the walls were not battered and the window openings were not beveled, like the original character. Therefore, these additions are not sensitive to the building. Besides the additions, other non-historic alterations include door replacements, coyote and lattice fences, a stepped stuccoed passenger entry arch and yardwall at the jetway, a pitched-roof metal storage shed, exterior wall-applied conduit for large metal light fixtures and flood lights, and a shade sail at the rear restaurant courtyard.

The airport is at the beginning of a master plan that includes alterations and expansions which propose to improve the facility with current airport conveniences, such as self-opening doors, and sufficient space for necessary operations. At this time, the City requests a review for potential Landmark status outside of the historic districts. A recommendation for or against Landmark status will be forwarded to the Governing Body for final determination.

A Landmark structure is equivalent to a Significant structure within the historic districts. It would require the highest level of preservation on the City's historic register with all elevations designated as primary. The SHPO has determined that the structure is eligible for State or National Register listing.

STAFF RECOMMENDATION:

Staff defers to the Board as to whether or not the Airport Terminal Building meets the definition of Landmark.

Mr. Rasch walked the Board through photos and described the disharmonious additions. A beautiful watercolor is in Manager's office from 1957 and he showed the plans for the front elevation that had solid doors. The 1988 remodel was also shown. He showed details of historic windows with historic headers. He pointed out the non-harmonious additions including non-recessed window and a variety of exterior lights.

Questions to Staff

Chair Rios asked if the nonhistoric additions are reversible.

Mr. Rasch agreed that all of them are. They meet contemporary conveniences.

Member Roybal asked Staff's opinion, if this is designated Landmark, what it would do to construction there and if it would have to be Santa Fé style.

Mr. Rasch clarified that whether the Board recommends for or against Landmark status, the Governing Body makes the final decision. If the Governing Body doesn't make it landmark, this Board won't have any jurisdiction. But the State could get involved. But if it is made landmark, this Board has jurisdiction over all elevations. Any changes to historic materials would require an exception.

Member Roybal asked why this wasn't designated earlier.

Mr. Rasch speculated that now that there is a Master Plan process happening there are members of the community that asked the Mayor to get the Board to look at it.

Member Bayer said the Board makes decisions on character and not on a proposed Master Plan.

Mr. Rasch agreed.

Applicant's Presentation

Present and sworn was Mr. Jon Bulthuis, Transportation Division Director and also interim airport director. He stood for questions.

Questions to Applicant

Chair Rios asked if he thought it should be designated landmark.

Mr. Bulthuis said there is a great desire to preserve the architectural character and the architect is working with us to keep it but also to meet travelers' needs. We want that historic character as part of our work going forward.

Member Roybal asked if the exterior conduit and electrical panel would be corrected.

Mr. Bulthuis agreed. The first phase focus is on the interior for additional restrooms in secured areas and water fountain. Currently, it puts us at risk of losing commercial certification. This project is less than \$1 million so we cannot correct major changes to solve the issues you reference. We are looking a second phase but no funding for it is available right now. The Master Plan has one for the terminal and another for the entire property. The terminal building is about half the size to accommodate current traffic. So an increase in square footage is down the road. With that major expansion we can correct HVAC. It is over 50 years old. We have things that make it not functional. Some of the exterior improvements will be rolled into that improvement.

Member Roybal thought it would be nice to keep this watercolor picture in mind for the future.

Mr. Bulthuis said they looked at that six weeks ago with the subcommittee. There is not enough lobby space to accommodate the traffic now. We want to fix the errors in a more sensitive way. We want to improve the function as well as keep its historic character.

Public Comment

Mr. Enfield, previously sworn, said there was a very similar project – the Spanish Arts Museum. He was able to double the area and keep the designation. The Board worked well with him on understanding necessary function. It is a gateway to Santa Fé and even with landmark status, there is room to work with the Board. If it is a politically correct project, it will be approved but if not, it won't be. They can have a successful building. It is possible and it will look just like that.

Ms. Beninato, previously sworn, echoed what Mr. Enfield has said. It is a beautiful building and typical of Santa Fé but is an airport and it works well. She hoped the Board would recommend Landmark status. It will be an added incentive for the City to be sensitive to the status. And if exceptions are needed, the Board should allow those.

There were no other speakers from the public regarding this case.

Chair Rios felt it deserves Landmark status. It will be wonderful. It was built in 1957 which is the year the Historic Ordinance was created.

Mr. Shandler asked that she give a three sentence explanation for Mr. Rasch to articulate clearly why because he would have to take that to Council.

Action of the Board

Member Katz moved in Case #H-15-089 at 121 Aviation Drive, to recommend Landmark status to the Governing Body and would make a finding that it is a beautiful example of Santa Fé style adapted for an airport and pointed out specifically the railing around the tower and corbels underneath. He would also find that the various additions not appropriate to the building including the entry, the rental area and lighting and conduit are very easily removable and the Board is very aware that it needs to be added to and probably have some exceptions to consider that should not be a problem. Member Roybal seconded the motion.

Member Biedscheid asked for a friendly amendment that the motion should include that the DCA HP Division has determined it is eligible for state and national registers under criterion C, despite the alterations that have occurred since it was built and still retains a high level of integrity.

Member Katz accepted it as friendly and the motion passed by unanimous voice vote.

9. **Case #H-15-090. 110 West Santa Fe Avenue/610 Don Gaspar.** Don Gaspar Area Historic District. Architectural Alliance Inc., agent for Peter Komis, owner, proposes to construct a 115 sq. ft. accessory structure to a height of 17'9" where the maximum allowable height is 19'5" on a significant residential property. An exception is requested to construct a pitched roof where a flat roof is required (Section 14-5.2(D)(9)(d)). (Lisa Roach).

Ms. Roach gave the staff report as follows:

BACKGROUND & SUMMARY:

110 West Santa Fe Avenue, also addressed as 610 Don Gaspar, is a single-family residential structure with free-standing guest house and garage. All structures are listed as significant to the Don Gaspar Area Historic District.

The applicant proposes to construct a free-standing "tree house" structure, featuring the following:

- 13) 115 square feet of new construction, supported by three 1" thick steel beams, one of which comes from the base of the tree and the other two from the ground at the western corners of the tree house;
- 14) A maximum height of 17'9" from the ground to the top of the roof pitch, where the maximum allowable height is 19'5". An exception is needed for the pitched roof, and relevant code citation and exception responses can be found below;
- 15) No windows, but openings for viewing with wooden shutters at each;
- 16) Wood finishes, featuring clear sealed wood planks on all sides of the tree house and wooden shingles on the pitched roof;


City of Santa Fe

Bill No. 2015-45

October 16, 2015

City of Santa Fe, New Mexico

memo

DATE: October 16, 2015
TO: Mayor Gonzales and City Council Members
FROM: David Rasch, Supervising Planner, Historic Preservation Division DR
VIA: Lisa Martinez, Land Use Department Director 

STRUCTURE: Santa Fe Airport Terminal Building, 121 Aviation Drive

ACTION REQUIRED:

- If the Governing Body concludes that the Santa Fe Airport Terminal Building meets the definition of a Landmark/Significant Structure and concludes that it is worthy of preservation, then the structure shall be adopted as a City Landmark by amending the Official Map of Historic Structures.
- If the Governing Body concludes that the Santa Fe Airport Terminal Building does not meet the definition of a Landmark/Significant Structure and concludes that it is not worthy of preservation, then the structure shall not be adopted as a City Landmark.

EXHIBITS:

- A Official Map of Historic Structures
- B Historic Districts Review Board (HDRB) Findings of Fact and Conclusions of Law
- C HDRB Minutes of Hearing on September 22, 2015
- D HDRB Packet with Staff Report including 1956 and 1988 Elevation Drawings

BACKGROUND & SUMMARY:

The Santa Fe Airport Terminal Building (Terminal) was constructed in 1957 in the Spanish-Pueblo Revival style and remodeled in 1988. The State Historic Preservation Office determined that the Terminal is eligible for listing on the National Register of Historic Places on July 22, 2015. The City Historic Districts Review Board recommended the Terminal for listing on the Official Map of Landmark Structures on September 22, 2015. According to Section 14-5.2(L) Landmarks in the Historic Districts Overlay Zoning Ordinance of the Land Development Code, the Governing Body shall have final jurisdiction over the adoption of Landmarks on the Official Map of Landmark Structures.

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CITY OF SANTA FE, NEW MEXICO

BILL NO. 2015-45

INTRODUCED BY:

Councilor Patti J. Bushee

Councilor Signe I. Lindell

Councilor Peter N. Ives

Councilor Joseph M. Maestas

AN ORDINANCE

AMENDING THE OFFICIAL MAP OF HISTORIC STRUCTURES TO DESIGNATE THE SANTA FE AIRPORT TERMINAL BUILDING, LOCATED AT 121 AVIATION DRIVE, AS A CITY LANDMARK.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF SANTA FE:

Section 1. Governing Body Findings.

A. Section 14-5.2(L) SFCC 1987 provides for the official map designating the status of landmarks.

B. Article 14-12 SFCC 1987 defines a “landmark” as any site, building, structure or natural feature that has visual, historic or cultural significance, and is listed on the state or national historic register. Article 14-12 SFCC 1987 also defines a “landmark structure” as a structure outside a historic district which otherwise meets the definition of a significant structure. A structure may also be a landmark structure if it is listed in, or is eligible to be listed in, the state register of cultural properties, or the national register of historic places.

C. The official map designating landmarks was readopted on December 13, 2006 by

1 Ordinance No. 2006-68.

2 D. Since 1996, the governing body has approved the following additional landmark
3 designations:

- 4 1. February 23, 2005 210 Brownell-Howland Road
5 Bishop Everett Jones residence;
- 6 2. February 23, 2005 1134 Cerillos Road
7 Fairview Cemetery;
- 8 3. May 10, 2006 300 East Houghton Street
9 Residence;
- 10 4. December 13, 2006 801 Griffin Street
11 St. Catherine's Industrial Indian School .

12 E. The Santa Fe Airport Terminal Building is located outside the boundaries of the
13 city's historic districts;

14 F. On July 22, 2015, the terminal was determined to be eligible for listing on the
15 national register of historic places by the state's historic preservation division; and

16 G. On September 22, 2015, the historic design review board unanimously
17 recommended landmark status for the terminal.

18 H. The governing body has determined that the Santa Fe Airport Terminal Building
19 has visual, historic, and cultural significance and is appropriately designated as a landmark based
20 upon the following:

21 (1) The terminal was constructed in 1957 as designed by Leo J.
22 Woolgamood and Alfred R. Millington in the Spanish-Pueblo Revival style;

23 (2) The terminal embodies distinctive characteristics of Santa Fe style
24 architecture;

25 (3) The terminal retains a high level of historic integrity, despite the minor

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alterations from the 1988 remodel;

(4) The terminal is eligible for listing on the state register of cultural properties or the national register of historic places; and

(5) The terminal is an important gateway into Santa Fe that introduces visitors to our unique architecture.

Section 2. Re-adoption of Map.

The official map, designating those landmarks described in Section 1, paragraphs C and D above, is readopted as shown on the attached exhibit A.

Section 3. Amendments of Map.

The official map is amended as shown on the attached exhibit A, designating the Santa Fe Airport Terminal Building as a historic landmark.


Section 4. Previously Adopted Map.

The official map designating significant, contributing, and non-contributing resources within the historic district boundaries is not amended by this ordinance and shall remain as previously adopted.

Section 6. Availability of Map.

The official map, readopted and amended as set forth in the attached exhibits, is available in the historic preservation division and is accessible at all reasonable times for inspection. The official map is also available online with the geographic information system.

APPROVED AS TO FORM:







KELLEY A. BRENNAN, CITY ATTORNEY

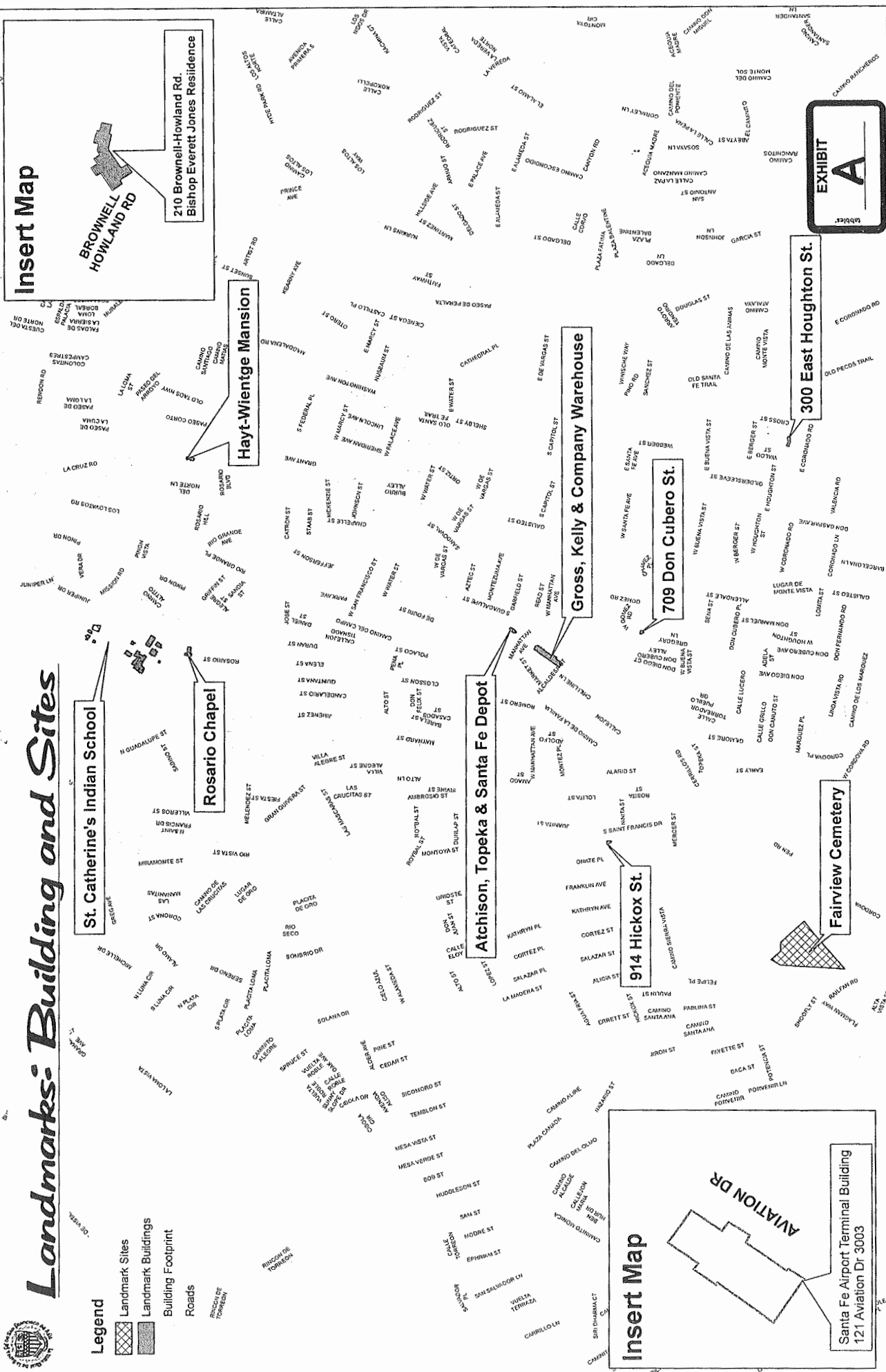
M/Legislation/Bills 2015/Airport Historic Designation

Landmarks: Building and Sites



Legend

-  Landmark Sites
-  Landmark Buildings
-  Building Footprint
-  Roads



Insert Map



210 Brownell-Howland Rd.
Bishop Everett Jones Residence

Hayt-Wientge Mansion

Atchison, Topeka & Santa Fe Depot

Gross, Kelly & Company Warehouse

709 Don Cubero St.

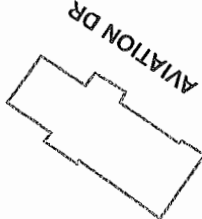
914 Hickox St.

Fairview Cemetery

300 East Houghton St.

EXHIBIT
A

Insert Map



Santa Fe Airport Terminal Building
121 Aviation Dr 3003

Findings of Fact and Conclusions of Law

H-15-089

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case #H-15-089**Address-121 Aviation Drive****Agent's Name- City of Santa Fe****Owner/Applicant's Name- City of Santa Fe**

THIS MATTER came before the Historic Districts Review Board ("Board") for hearing on September 22, 2015.

BACKGROUND & SUMMARY:

The Santa Fe Airport Terminal, aka Santa Fe County – Municipal Airport, was constructed in 1957 by Leo J. Wolgamood and Alfred R. Millington in the Spanish-Pueblo Revival style with room-block massing, battered walls, and rounded edges. The historic structure includes historic brown-painted multi-lite metal windows and small metal lantern sconce light fixtures. Exposed brown-painted woodwork includes headers and corbels with carved bullet and rosette details. A decorative metal balustrade ornaments the tower catwalk supported by carved wooden corbels.

The only significant non-historic alterations are two small additions under the front entry portal from 1988. The additions were designed to be "harmonious" to the Santa Fe Style structure, but when built, the walls were not battered and the window openings were not beveled, like the original character. Therefore, these additions are not sensitive to the building. Besides the additions, other non-historic alterations include door replacements, coyote and lattice fences, a stepped stuccoed passenger entry arch and yardwall at the jetway, a pitched-roof metal storage shed, exterior wall-applied conduit for large metal light fixtures and flood lights, and a shade sail at the rear restaurant courtyard.

The airport is at the beginning of a master plan that includes alterations and expansions which propose to improve the facility with current airport conveniences, such as self-opening doors, and sufficient space for necessary operations. At this time, the City requests a review for potential Landmark status outside of the historic districts. A recommendation for or against Landmark status will be forwarded to the Governing Body for final determination.

A Landmark structure is equivalent to a Significant structure within the historic districts. It would require the highest level of preservation on the City's historic register with all elevations designated as primary. The SHPO has determined that the structure is eligible for State or National Register listing.

FINDINGS OF FACT

1. After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:
2. Staff Recommendation: Staff defers to the Board as to whether or not the Airport Terminal Building meets the definition of Landmark.
3. The project is subject to requirements of the following sections of the Santa Fe Land Development Code: Section 14-12.1 Definitions.
4. The property is located in the following district:
 - Downtown and Eastside Historic District
 - Historic Review District
 - Historic Transition District
 - Don Gaspar Area Historic District
 - Westside-Guadalupe Historic District
 - Other
5. Under Section 14-12.1, the definition of a landmark structure is: "A structure outside a historic district that otherwise meets the definition of a significant structure. A structure may also be a landmark structure if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places."
6. Under Section 14-12.1, the definition of a significant structure is: "A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:(A) for its association with events or persons that are important on a local, regional, national or global level; or (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places."
7. The Board, in response to the application, finds the structure:
 - meets the Section 14-12.1 criterion
 - does not meet the Section 14-2.1 criterion
8. It is a beautiful example of Santa Fé style adapted for an airport, specifically the railing around the tower and corbels underneath.
9. The various additions are not appropriate to the building including the entry, the rental area and lighting and conduit and are very easily removable.
10. The DCA HP Division has determined it is eligible for state and national registers under criterion C, despite the alterations that have occurred since it was built and it still retains a high level of integrity.
11. The information contained in the Application, and provided in testimony and evidence establishes that all applicable requirements have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.

2. The Board granted the Applicant's request to review historic status and voted to:

 x Recommend landmark status to the Governing Body.

IT IS SO ORDERED ON THIS 13th DAY OF October 2015, THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rio

10-13-15

Date:

Chairperson

FILED:

Yolanda Y. Vigil
Yolanda Y. Vigil
City Clerk

10/14/15

Date:

APPROVED AS TO FORM

[Signature]

10-13-15

Date:

Assistant City Attorney

Resolution 2015-101

1 **CITY OF SANTA FE, NEW MEXICO**

2 **RESOLUTION NO. 2015-101**

3 **INTRODUCED BY:**

4
5 Councilor Signe I. Lindell

6 Councilor Patti J. Bushee

7 Councilor Peter N. Ives

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10 **A RESOLUTION**

11 **ESTABLISHING DESIGN STANDARDS FOR ALTERATIONS AND NEW**
12 **CONSTRUCTION AT THE SANTA FE AIRPORT TERMINAL BUILDING; AND**
13 **PROVIDING FOR HISTORIC PRESERVATION DIVISION DESIGN REVIEW IN**
14 **CONSULTATION WITH THE CHAIR OF THE HISTORIC DISTRICTS REVIEW**
15 **BOARD.**

16
17 **WHEREAS**, the Santa Fe Airport Terminal Building is located outside the boundaries of
18 the city's historic districts; and

19 **WHEREAS**, the Governing Body recognizes that the Terminal Building is visually and
20 historically important; and

21 **WHEREAS**, the Terminal Building incorporates the distinctive characteristics of the
22 Spanish-Pueblo Revival style; and

23 **WHEREAS**, the Terminal Building is an important gateway into Santa Fe that
24 introduces visitors to our unique architecture.

1 **NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE**
2 **CITY OF SANTA FE** that any alteration or new construction of the interior or exterior of the
3 Terminal Building be reviewed and approved by the Historic Preservation Division in
4 consultation with the Chair of the Historic Districts Review Board.

5 **BE IT FURTHER RESOLVED** that the following standards shall be used when
6 alteration or new construction of the Terminal Building is proposed:

7 1. Any alteration or new construction at the existing Terminal Building shall
8 preserve as much as reasonably possible its historic integrity, including its original exterior
9 architecture and the historic elements of the interior such as wooden beams, corbels, and light
10 fixtures. Interior alteration or new construction shall harmonize with existing.

11 2. The following standards shall be complied with whenever exterior features of the
12 Terminal Building are erected or altered:

13 A. No less than eighty percent (80%) of the surface area of any publicly
14 visible façade of the Terminal Building shall be adobe finish, or stucco simulating adobe
15 finish. The balance of the publicly visible façade shall be of natural stone, wood, brick,
16 tile, terra cotta, or other material, subject to approval by the Historic Preservation
17 Division in consultation with the Chair of the Historic Districts Review Board.

18 B. The color of the stucco shall predominantly be brown, tan, or local earth
19 tones. This does not include chocolate brown colors or white, except dull or matt off-
20 white (yeso). Surfaces of stone shall be in the natural color. Entries and portals may be
21 emphasized by the use of white or other colors or materials.

22 C. The use of solar and other energy collecting and conserving strategies is
23 encouraged, provided that they do not detract from the overall appearance of the
24 Terminal Building.

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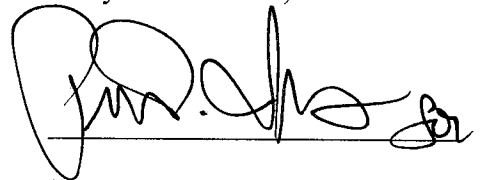
D. To the extent technically feasible, the visual impact of roof-mounted mechanical, electrical and telephone equipment and other obtrusive structures shall be minimized. Equipment shall be of a low profile to minimize screening.

E. No cantilever or long apparently unsupported openings shall be allowed except over the projecting vigas, beams, or corbels or as part of the roof. The use of arches is discouraged except in freestanding walls.

F. In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that renovations or expansions to the Terminal Building be designed to appear essentially as structures with massive walls which are defined as being built or appearing to be built of adobe construction, wall thickness appearing massive in relation to wall height, and where applicable, the depths of windows, doors and entry opening showing the massiveness of the structure. Solid wall space shall be greater in any façade than window or door space combined. Exceptions are allowed for south facing walls for solar equipment. The mass elements that make up the building composition shall appear as single blocks. Alterations or new construction at the Terminal Building shall be designed to appear more as an aggregation of smaller “building blocks” rather than a single large box or block.

G. Walls and fences shall be built of brick, adobe, rock, masonry, wood, wrought iron, or similar materials. Walls of unstuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are discouraged, except where the wall or fence is required by security or similar considerations.

PASSED, APPROVED AND ADOPTED this 10th day of November, 2015.

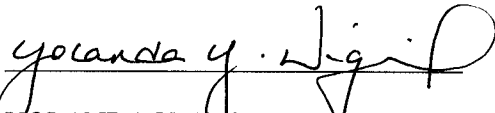


JAVIER M. GONZALES, MAYOR

1 ATTEST:

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YOLANDA Y. WIGIL, CITY CLERK


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APPROVED AS TO FORM:

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KELLEY A. BRENNAN, CITY ATTORNEY

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M/Legislation/Resolutions 2015/2015-101 Airport Design Standards

MOLZENCORBIN

March 17, 2021

Mr. Mark Baca, C.M.
Airport Manger
Santa Fe Regional Airport
121 Aviation Drive
Santa Fe, New Mexico 87504

**RE: City of Santa Fe – Santa Fe Regional Airport (SFRA) – Terminal Expansion
Proposal to Historic Districts Review Board (HDRB) (Case #H-15-089)**

SAF182-13B

Dear Mr. Baca:

This document is to serve as the Proposal Letter to the HDRB for the purposes of board approval.

PROJECT SUMMARY

LOCATION:

The SFRA is located at 121 Aviation Drive Santa Fe, New Mexico 87504.

SCOPE:

This project is being undertaken to improve an aging facility and to expand its capacity. The previous planning study demonstrated that at current usage the SFRA terminal and parking lot are significantly undersized when compared to FAA Design Guides and regionally comparable facilities. This project will not address all of the shortcomings but will make a significant impact and set the stage for future improvements. This Design proposes to both renovate and enlarge the terminal and make site improvements to parking and circulation. The entire project is planned to be LEED Silver Certified or better. A companion project within the City's Scope is a solar power carport in the long-term parking lot.

HISTORY:

The public portion of the site has had only minor modifications over the years and is in dire need of improvements.

The terminal was originally built in 1956. There have been numerous modifications over the years, some documented and some not. Our firm has been involved with Architecture projects to renovate the terminal in 2003 and 2016, as well as a re-roofing project in 2007. We were also the Architects for the SFRA's Aircraft Rescue and Fire Fighting Facility. Our Engineers have been serving the SFRA for many years and have a deep appreciation of the airport as a landmark in the community.

TERMINAL STATISTICS:

The terminal is approximately 14,150 sf currently and is proposed to be enlarged to 23,000 sf, an increase of 8,850 sf.

The control tower and upper floors are under the jurisdiction of the FAA. As such, only minor and required Work will take place in these spaces.

The vast majority of the expansion is to the north end of the current facility.

ARCHITECTURAL DETAILS OF THE RENOVATION:

- A. Exterior:
 - 1. Demolition of:
 - a) Unnecessary yard-walls.
 - b) Unnecessary Utilities and their components to be relocated.
 - c) Low utility yard-wall to be replaced with a taller version.
 - d) Non-historical light fixtures and electrical equipment.
 - e) Non-historical office addition to make way for a second main-entry vestibule.
 - f) Non-historical entry vestibule to be replaced.
 - g) South porch to accommodate an enclosed vestibule.
 - h) Reduced landscaping at main entry to accommodate more pedestrians.
 - i) A window and adjacent wall to accommodate access to expansion.
 - j) Five Larger wood window installations to accommodate replacement glazing, framing to match current proportions and recent renovations.
 - 2. Augmentation of steel windows (where possible) with an interior glazing solution to maintain visual aesthetics and increase thermal performance and energy efficiency.
 - 3. Relocation of the existing portable administration building:
 - a) This structure will be re-purposed as the baggage claim area.
 - b) Integration of baggage handling equipment.
 - c) Finishes of the portable building are to be refurbished and replaced to match terminal counterparts.
 - 4. Replacement of existing patio tent with a glass canopy.
- B. Interior:
 - 5. Demolition of:
 - a) Non-historical office partitions to be relocated in some areas of the terminal.
 - b) Kitchen to be replaced with components for a modern food service tenant.
 - c) Non-historical plumbing and light fixtures are to be replaced.

ARCHITECTURAL DETAILS OF THE EXPANSION:

- A. Exterior:
 - 1. Massive walls with a taper similar to the original construction.
 - 2. Stepped parapet heights to harmonize with the existing and to screen roof top equipment.
 - 3. Recessed openings and glazing within thick walls and/or under porches.
 - 4. Stucco finish, the existing facility will get a fresh color-coat to match the expansion.
 - 5. Wood lintels and canals similar to existing construction.
 - 6. Light fixtures to harmonize with existing or to blend in.
 - 7. Utility connections in alignment with current standards and requirements.
- B. Interior:
 - 1. Carpet and walk-off tiles similar to existing.
 - 2. Tile similar to existing.
 - 3. Paint scheme similar to existing.
 - 4. Exposed wood ceilings.
 - 5. Modifications to add baggage handling at ticket counter.
 - 6. Exposed wood columns and beams, stained to harmonize with existing.
 - 7. Light fixtures to harmonize with existing or to blend in to maintain the focus on existing lights and architectural components.
- C. Colors: Describe stucco color, wood stains, paint, window colors, glass tinting, etc.
 - 1. Exterior:
 - a) Stucco color proposed to be lightened with a new color.
 - b) Wood trim painted to match existing trim.
 - c) Window framing to match existing.
 - d) Glass to be clear. Films may be applied that darken it. LEED calculations will determine the outcome.

2. Interior:
 - a) Paint scheme to match existing.
 - b) Tile to match where possible, and/or to harmonize.
 - c) Typical finishes to match existing.
 - d) Wood stain TBD.
 - e) Ceilings to match existing types.
- D. Materials: What will be wood, metal, stucco, CMU etc.
 1. Stucco - building and yard-walls.
 2. Wood - trim and structure.
 3. Aluminum storefront framing openings.
 4. Glass - openings.
- E. Finishes: Finish of the stucco, metal, wood, etc.
 1. Stucco finish to match.
 2. Aluminum storefront to match existing window proportions and colors.
 3. Wood trim to match.
- F. Walls: Any walls on the property including any around the property that will be new. Describe location, height, material, color.
 1. Replacement yard-wall around utility yard - 8' high stucco.
 2. Trash and recycling is curtilly in the open. A combination of wood fencing and landscaping will be used to screen these items.
- G. Exterior Finishes: Swatches or samples are helpful.
 1. Proposed stucco color.
 2. Stone proposed on exterior benches.
 3. Remaining finishes will match existing.
- H. Floor Plans: Complete, existing and proposed Floor Plans are required. These need to be separate images one for existing and one for proposed.
 1. Demo for existing.
 2. Renovation Plan.
 3. Addition Plan.
 4. Baggage Plan.
 5. Upper levels form code sheets.

SITE IMPROVEMENT ITEMS:

- A. Roadway:
 1. Realigned for improved access and to meet up with future road extension.
 2. Bike lanes included.
 3. Cell phone waiting area included.
 4. Control gate included.
- B. Parking Lots:
 1. City parking.
 2. Short-term parking with controlled access.
 3. Long-term parking with controlled access.
 4. Include accessible spaces.
 5. Includes electric vehicle charging stations.
- C. Overall:
 1. Lighting throughout.
 2. Landscaping throughout.
 3. Trash and recycling relocated and screened.
 4. Welcoming plane relocated.
 5. Bicycle access and parking provided.
 6. Grading and drainage accounted for and aligned with LEED goals.

Itemize each part or element of the proposed project in detail. Include information about location, square footages (roofed, unroofed, and flat surfaces), heights measured from finished grade, other dimensions, materials, colors and finishes, type of windows and their material or cladding, yard-walls and gates, etc. **Anything that is not itemized may be denied or delayed for approval.** Include a brief architectural history of the building(s), i.e., original date of construction and dates and types of all previous alterations, etc. DO NOT rely on Architectural Drawing sheets.

PHOTOGRAPHS:

- A. See PowerPoint.

EXTERIOR FINISHES:

- A. Stucco / EIFS: City-approved color, off-white / beige, which is lighter than the orange / brown that exists. Proposed basis of design is in line with the Georgia O’Keeffe Museum, along the lines of the STO Americas Classic Color Collection, ‘10622 Indiana Limestone’.
- B. Wood and Wood-Look Lintels, Beams, Corbels, Columns, and Canals: Painted – Sherwin-Williams #DEA148 ‘Sunken Ship’.
- C. Glazing Units: Painted / Powder-coated, Kawneer Permacoat™ ‘Java Brown’.
- D. Metal Trim / Ladders / Railings: Painted / Powder-coated, match paint or Kawneer above.
- E. Equipment for electrical, communications, and HVAC, selected to match adjacent colors when possible.
- F. Light fixtures, per manufacture, Bronze / Light Bronze / Black typical.
- G. Sidewalks: Standard grey typical, but there are some portions with integral color – Davis Colors ‘Rustic Brown 6058’.
- H. Furniture: Not part of this project.
- I. Manufactured Stone on Landscaping Benches: As approved by city, basis of design is Eldorado Stone, Stacked Stone, ‘Dry Creek®’.
- J. Composite Decking: Classic wood look for deck, rail, and fencing, Trex Enhance®, ‘Saddle’.

INTERIOR FINISHES:

- A. Tile:
 - 1. Floor.
 - 2. Base.
 - 3. Wall.
- B. Carpet:
 - 1. Office product.
 - 2. Walk-off tiles at building entries.
- C. Rubber base.
- D. Ceiling Tiles:
 - 1. Office.
 - 2. Food prep.
 - 3. Wood-look in waiting area.
- E. Paint:
 - 1. Walls.
 - 2. Ceilings.
- F. Exposed Wood:
 - 1. Existing: Leave as is.
 - 2. Expansion: Clear stain.
- G. Glazing units to match exterior units.
- H. Metal Trim: To match exterior.
- I. Wall covering at Ticket Counter.
- J. Light fixtures, per manufacturer, Bronze / Light Bronze / Black typical in public spaces. White fixtures in offices, and lay-in ceilings
- K. Back of House areas to receive only clear seal on concrete floors.
- L. Furniture not part of this project.

COMPLETE EXISTING AND PROPOSED SITE PLAN:

- A. See PowerPoint.
- B. One (1) copy at full-scale and one (1) copy reduced to a 11" x 17" sheet, both approved by zoning staff. Submit a Site Plan showing the relationship of the project to the street and adjacent properties at 1"=20' or larger. Include a graphic scale and a north arrow. Include written zoning setback dimensions. Show all proposed changes to the site.

COMPLETE EXISTING AND PROPOSED FLOOR PLANS:

- A. See PowerPoint.
- B. One (1) copy at full-scale and one (1) copy reduced on 11" x 17" sheet(s), both approved by zoning staff. Floor plan(s) must be adequately dimensioned and clearly indicate the existing construction, if applicable, and the new construction of smaller structures on the same page.
- C. One above the other for ease of visual comparison. If the structure is larger, the existing and proposed Floor Plans may be on separate pages. Floor Plans must be drawn at 1/4"=1' for residential projects or, if necessary, 1/8"=1' for large commercial/institutional and very large residential projects. Other scales are prohibited. Include a graphic scale and a north arrow.

COMPLETE EXISTING AND PROPOSED ELEVATIONS:

- A. See PowerPoint.
- B. One (1) copy at full-scale and one (1) copy reduced on 11" x 17" sheet(s), both signed and dated by zoning staff. Elevations must be adequately dimensioned and clearly indicate the existing construction, if any, and the new construction on the same page one above the other for ease of visual comparison, at 1/4"=1' for residential projects or, if necessary, 1/8"=1' for large commercial/institutional and very large residential projects. Other scales are prohibited.
- C. Include a graphic scale.
- D. Drawings must indicate all heights, accurate window and door openings, and relevant dimension lines, extension lines, and leader lines. Drawings must indicate parapet height from existing or **finished grade whichever grade is more restrictive only**, do not indicate finish floor elevations. Do not submit elevations with foliage indicated.
- E. Elevations containing existing yard-walls and fences must be done to show the elevation with the yard-wall or fence and again showing the elevation without the yard-wall or fence.
- F. Drawings for walls and fences may include entire lengths or just typical elevations with all relevant details including gates, pilasters, and lights.

PROPOSED PROJECT BREAKDOWN PER CITY RESOLUTION NO. 2015-101:

City of Santa Fe, New Mexico Resolution No. 2015-101 text is cited below with our comments in **bold italics**.

“A RESOLUTION
ESTABLISHING DESIGN STANDARDS FOR ALTERATIONS AND NEW CONSTRUCTION AT THE SANTA
FE AIRPORT TERMINAL BUILDING; AND PROVIDING FOR HISTORIC PRESERVATION DIVISION
DESIGN REVIEW IN CONSULTATION WITH THE CHAIR OF THE HISTORIC DISTRICTS REVIEW
BOARD.”

“**NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF SANTA FE** that any alteration or new construction of the interior or exterior of the Terminal Building be reviewed and approved by the Historic Preservation Division in consultation with the Chair of the Historic Districts Review Board.”

“BE IT FURTHER RESOLVED that the following standards shall be used when alteration or new construction of the Terminal Building is proposed:

“1. Any alteration or new construction at the existing Terminal Building shall preserve as much as reasonably possible its historic integrity, including its original exterior architecture and the historic elements of the interior such as wooden beams, corbels, and light fixtures. Interior alteration or new construction shall harmonize with existing.”

Agreed, see Proposal Package.

“2. The following standards shall be complied with whenever exterior features of the Terminal Building are erected or altered:

“A. No less than eighty percent (80%) of the surface area of any publicly visible facade of the Terminal Building shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade shall be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval by the Historic Preservation Division in consultation with the Chair of the Historic Districts Review Board.”

The existing structure is less than 80% stucco on all sides. The three publicly accessible sides will maintain or increase their percentage of stucco in this Design. The non-public air-side is proposed to maintain a similar proportion, within a 5% difference.

“B. The color of the stucco shall predominantly be brown, tan, or local earth tones. This does not include chocolate brown colors or white, except dull or matt off white (yeso). Surfaces of stone shall be in the natural color. Entries and portals may be emphasized by the use of white or other colors or materials.”

Design is in accordance, see Plans and Elevations for confirmation. The entire existing building is proposed to receive a fresh color coat, to match the addition. Color as approved by appropriate stakeholders.

“C. The use of solar and other energy collecting and conserving strategies is encouraged, provided that they do not detract from the overall appearance of the Terminal Building.”

The current solar power collector is planned to be located in the parking lot. This is a separate City project that we are coordinating with.

“D. To the extent technically feasible, the visual impact of roof-mounted mechanical, electrical and telephone equipment and other obtrusive structures shall be minimized. Equipment shall be of a low profile to minimize screening.”

At the addition, the parapets are expected to hide rooftop equipment. Units at the existing building will be made to minimize the visual impact to the extent possible. See proposed elevations and a possible safety railing detail for use around HVAC units that are near to lower parapet edges.

“E. No cantilever or long apparently unsupported openings shall be allowed except over the projecting vigas, beams, or corbels or as part of the roof. The use of arches is discouraged except in freestanding walls.”

No building cantilevers or similar are proposed. The glass canopy on the air-side patio will have a minor cantilever to avoid encumbering the space with additional columns. It will not project out or over the patio walls. It is designed to harmonize with the current glass railings and glazing in the proposed addition, see Plans and Elevations for confirmation.

Mr. Mark Baca, C.M.
March 17, 2021
Page 7

“F. In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that renovations or expansions to the Terminal Building be designed to appear essentially as structures with massive walls which are defined as being built or appearing to be built of adobe construction, wall thickness appearing massive in relation to wall height, and where applicable, the depths of windows, doors and entry opening showing the massiveness of the structure. Solid wall space shall be greater in any facade than window or door space combined. Exceptions are allowed for south facing walls for solar equipment. The mass elements that make up the building composition shall appear as single blocks. Alterations or new construction at the Terminal Building shall be designed to appear more as an aggregation of smaller "building blocks" rather than a single large box or block.”

The Design fits this description in general, see Plans and Elevations to confirm.

“G. Walls and fences shall be built of brick, adobe, rock, masonry, wood, wrought iron, or similar materials. Walls of un stuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are discouraged, except where the wall or fence is required by security or similar considerations.”

Agreed.

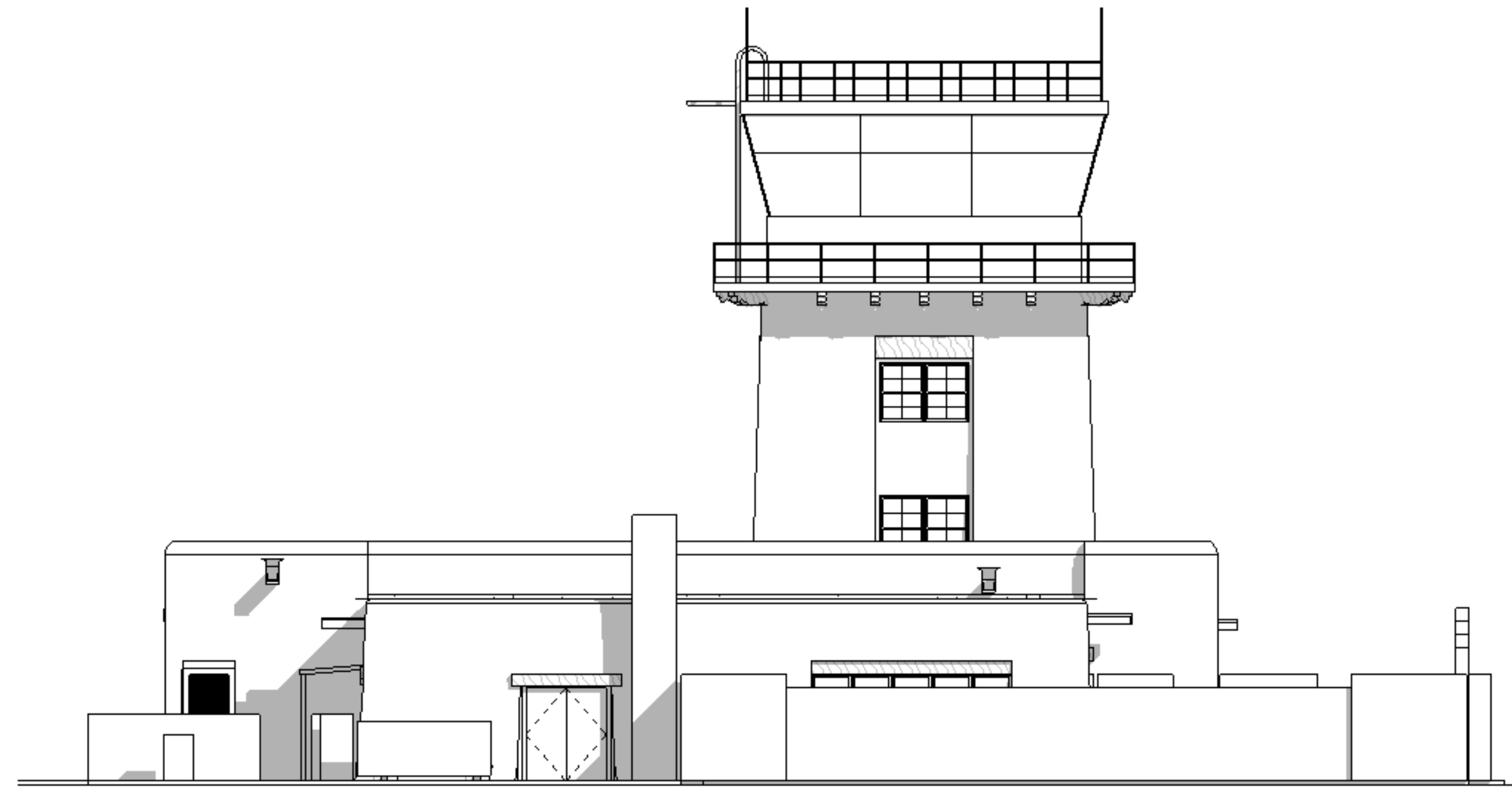
If you have any questions or require additional information, please contact me at (505) 242-5700.

Sincerely,

MOLZEN CORBIN

Jeremy Scott Alford, RA

JA:scc



NORTH ELEVATION - PRESENT DAY 1

0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"



NORTH ELEVATION - PROPOSED 3

0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"



EAST ELEVATION PRESENT DAY 1
Scale: 1/8" = 1'-0"

0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"

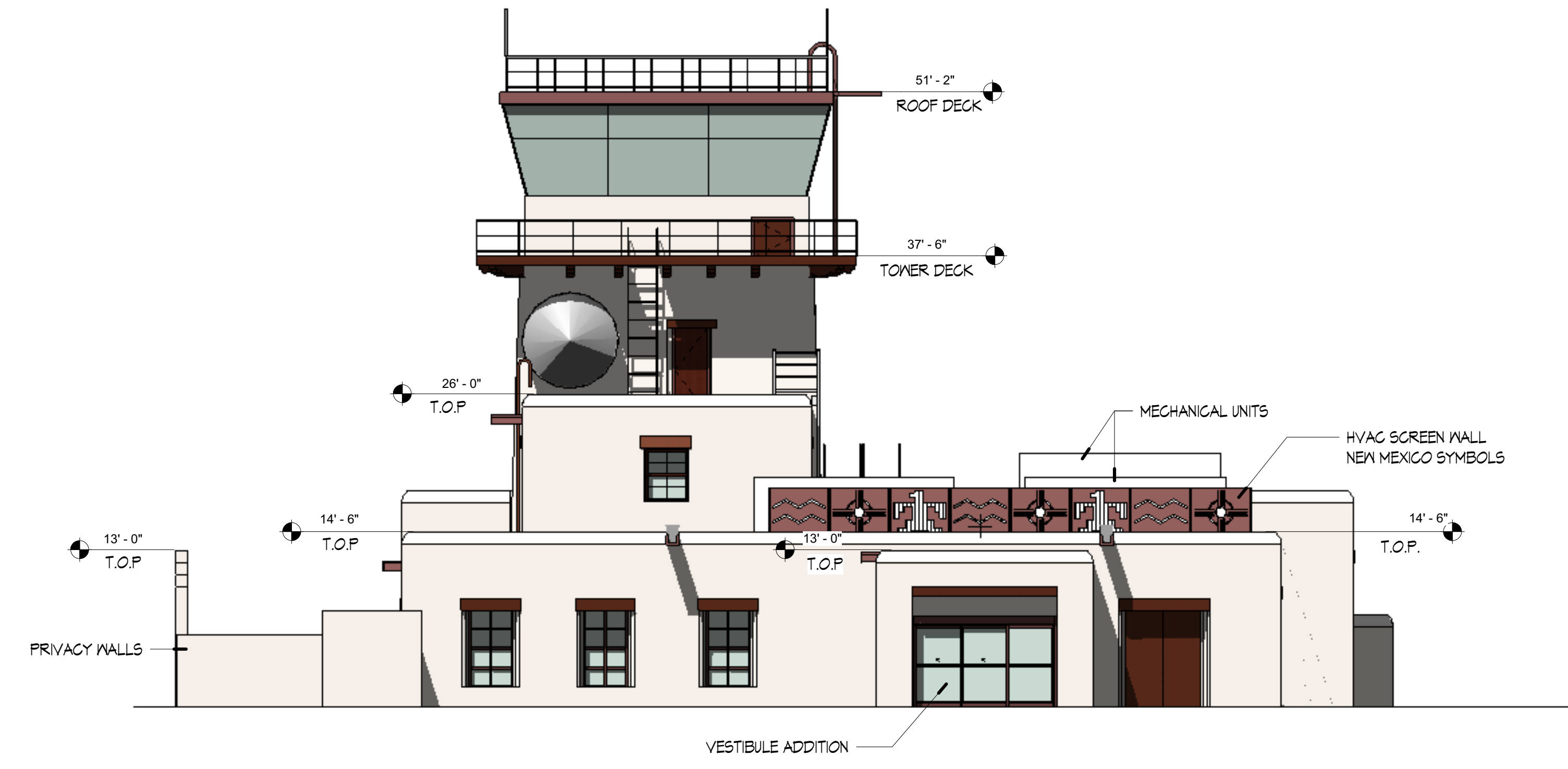
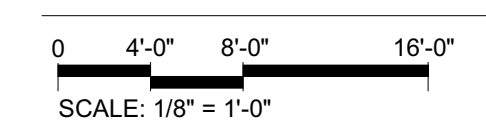


EAST ELEVATION PROPOSED 2
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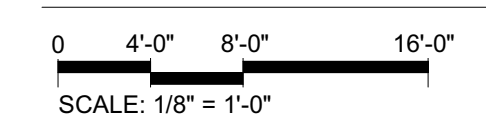
0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION 1
Scale: 1/8" = 1'-0"



SOUTH ELEVATION 2
Scale: 1/8" = 1'-0"





WEST ELEVATION 1
Scale: 1/8" = 1'-0"

0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"



WEST ELEVATION - PROPOSED 2
Scale: 1/8" = 1'-0"

0 4'-0" 8'-0" 16'-0"
SCALE: 1/8" = 1'-0"



Santa Fe Regional Airport Terminal & Parking Improvements

Historical Districts Review Board

For meeting on March 23, 2021

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Approach



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121 Aviation Drive - Exterior

Eastern Exterior



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121 Aviation Drive - Exterior

Entry



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121 Aviation Drive - Exterior

Entry Close Up



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121 Aviation Drive - Exterior

Entry Close Up



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121 Aviation Drive - Exterior

Utility Yard



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121 Aviation Drive - Exterior

Southern Exterior



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121 Aviation Drive - Exterior

Southern Exterior Close Up



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121 Aviation Drive - Exterior

Northern Exterior



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121 Aviation Drive - Exterior

Western Exterior (Air-Side)



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121 Aviation Drive - Exterior

Western Exterior (Air-Side) Close Up



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121 Aviation Drive - Exterior

Western Exterior (Air-Side) Close Up



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121 Aviation Drive - Exterior

Interior Ticketing Lobby



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121 Aviation Drive - Interior

Interior Main Entry



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121 Aviation Drive - Interior

Interior Main Entry



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121 Aviation Drive - Interior

Interior TSA Checkpoint



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121 Aviation Drive - Interior

Interior Waiting Area



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121 Aviation Drive - Interior

Interior Waiting Area



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121 Aviation Drive - Interior

Interior Chronology



2003



2004



2020

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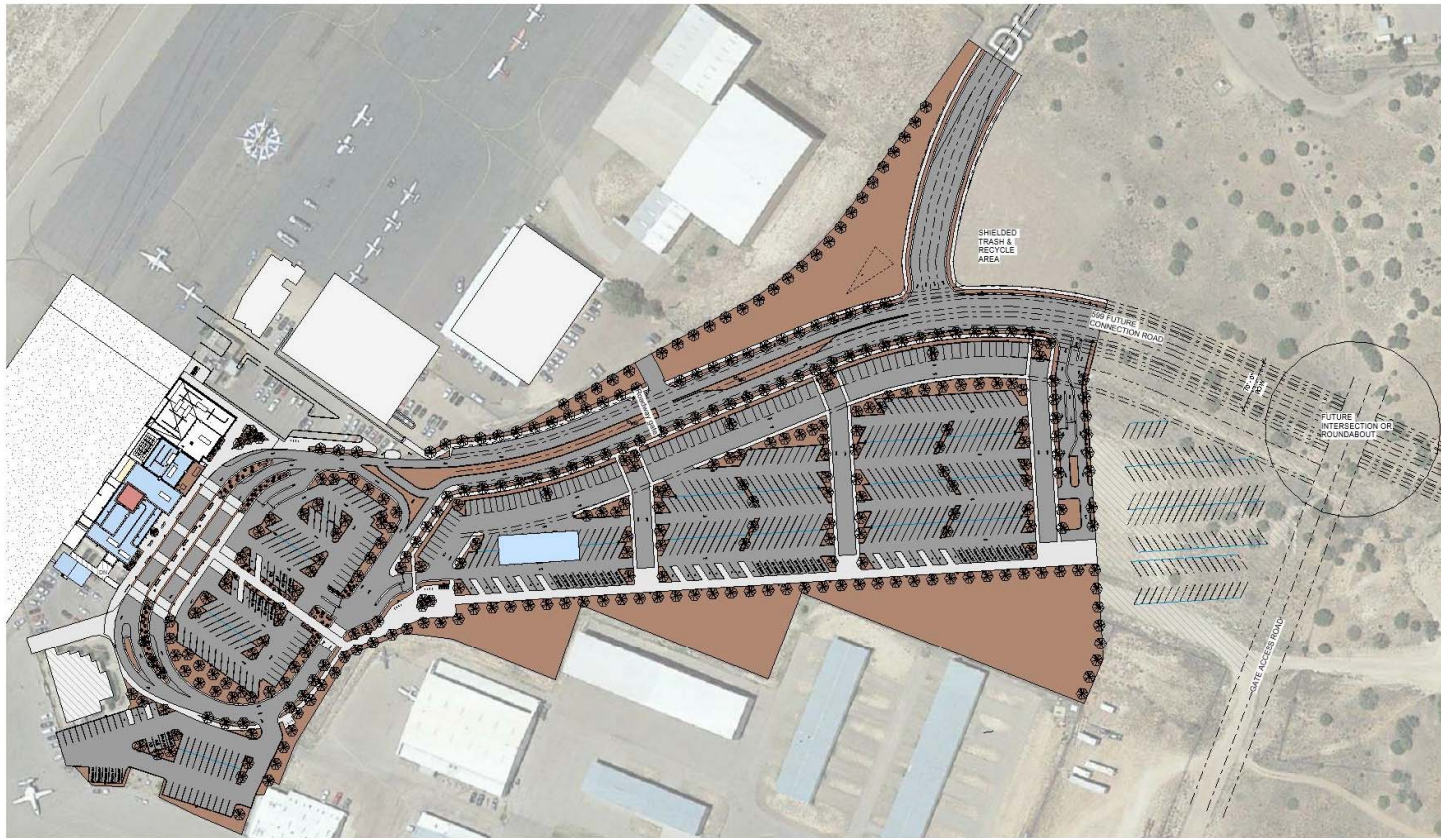
Existing Site



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Google Earth image scaled to fit presentation

Schematic Site Plan



March 2021 Design Development

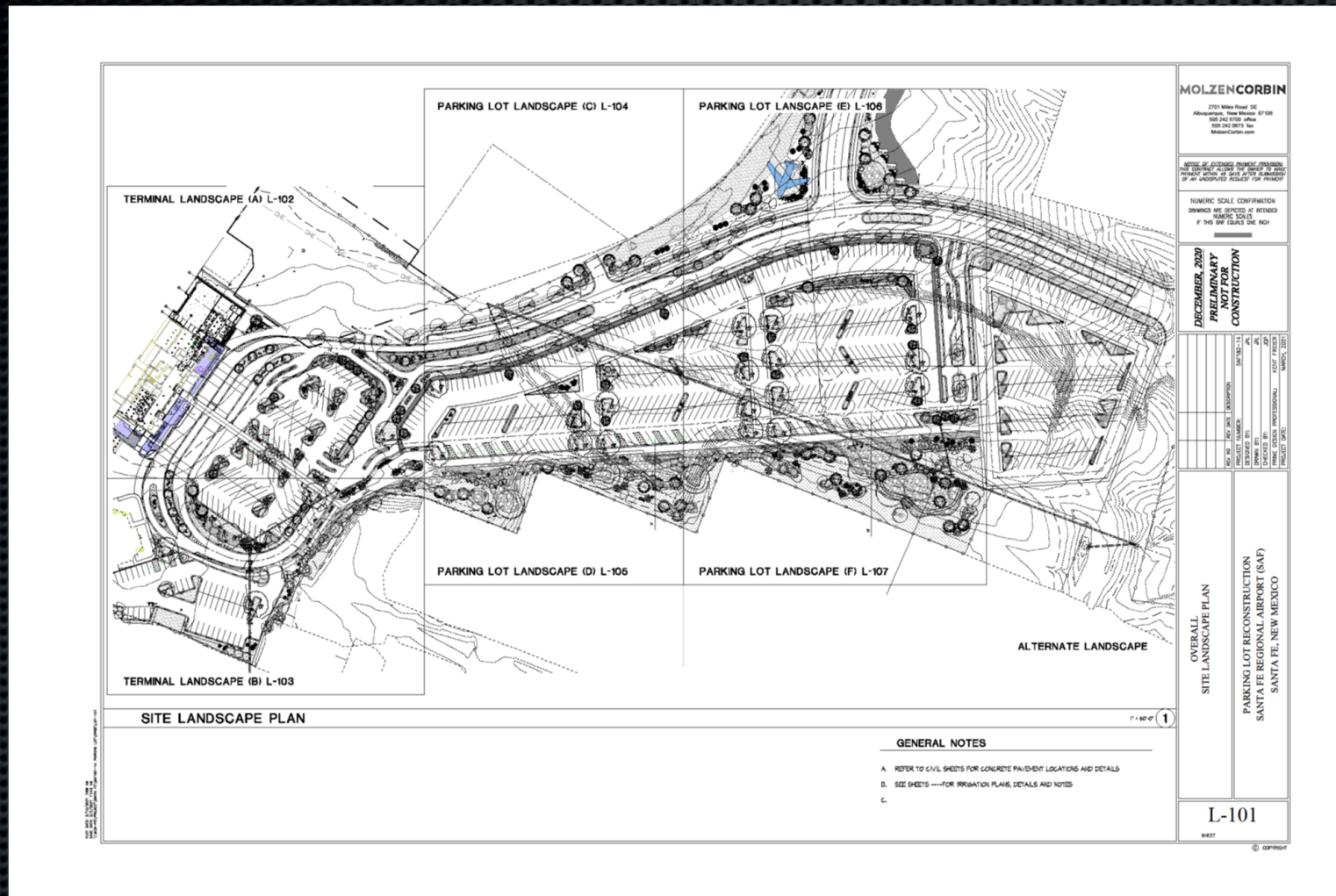
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Site Plan SFRA

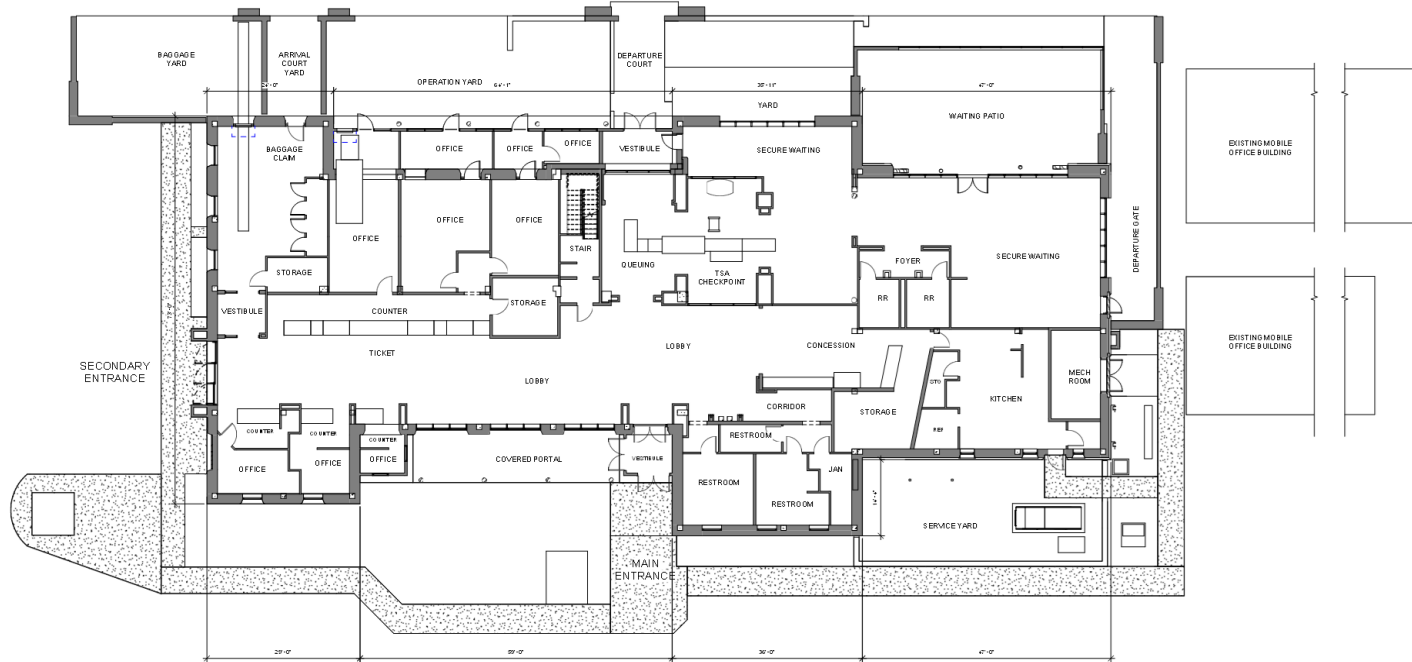
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Landscape Overall Plan

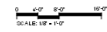


Existing Floor Plan



FLOOR PLAN - PRESENT DAY 1

Scale: 1/8" = 1'-0"



March 2021

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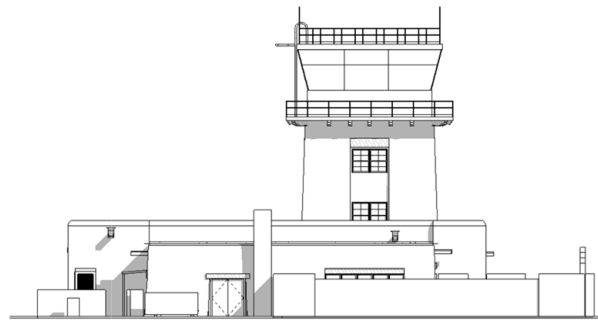
City of Santa Fe HDRB

FLOOR PLAN

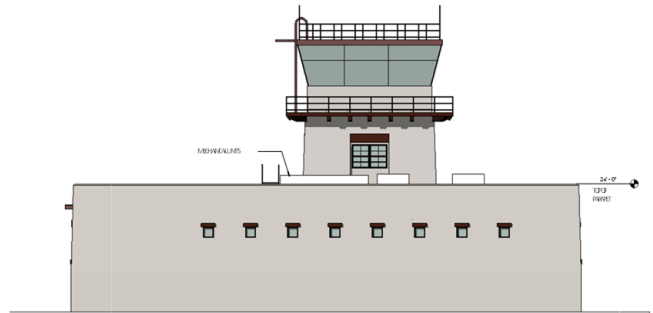
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Proposed Floor Plan



NORTH ELEVATION - PRESENT DAY ①
Scale: 1/8" = 1'-0"



NORTH ELEVATION - PROPOSED ③
Scale: 1/8" = 1'-0"

March 2021

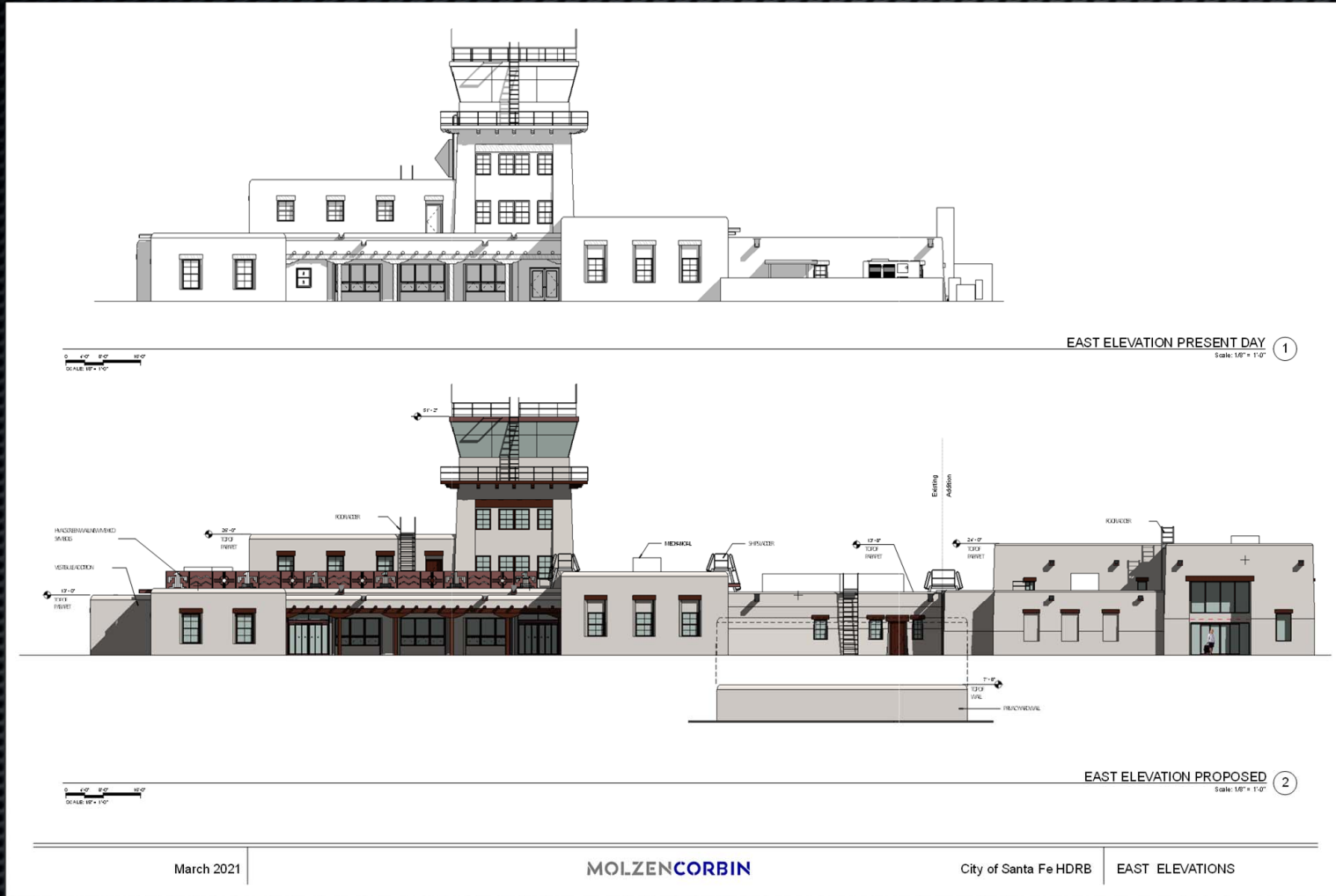
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City of Santa Fe HDRB | NORTH ELEVATIONS

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Elevations



March 2021

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City of Santa Fe HDRB | EAST ELEVATIONS

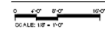
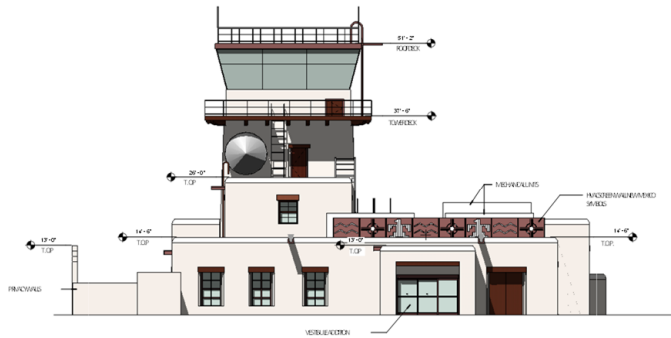
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Elevations



SOUTH ELEVATION ①
Scale: 1/8" = 1'-0"



SOUTH ELEVATION ②
Scale: 1/8" = 1'-0"

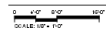
Elevations



WEST ELEVATION ①
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WEST ELEVATION - PROPOSED ②
Scale: 1/8" = 1'-0"



March 2021

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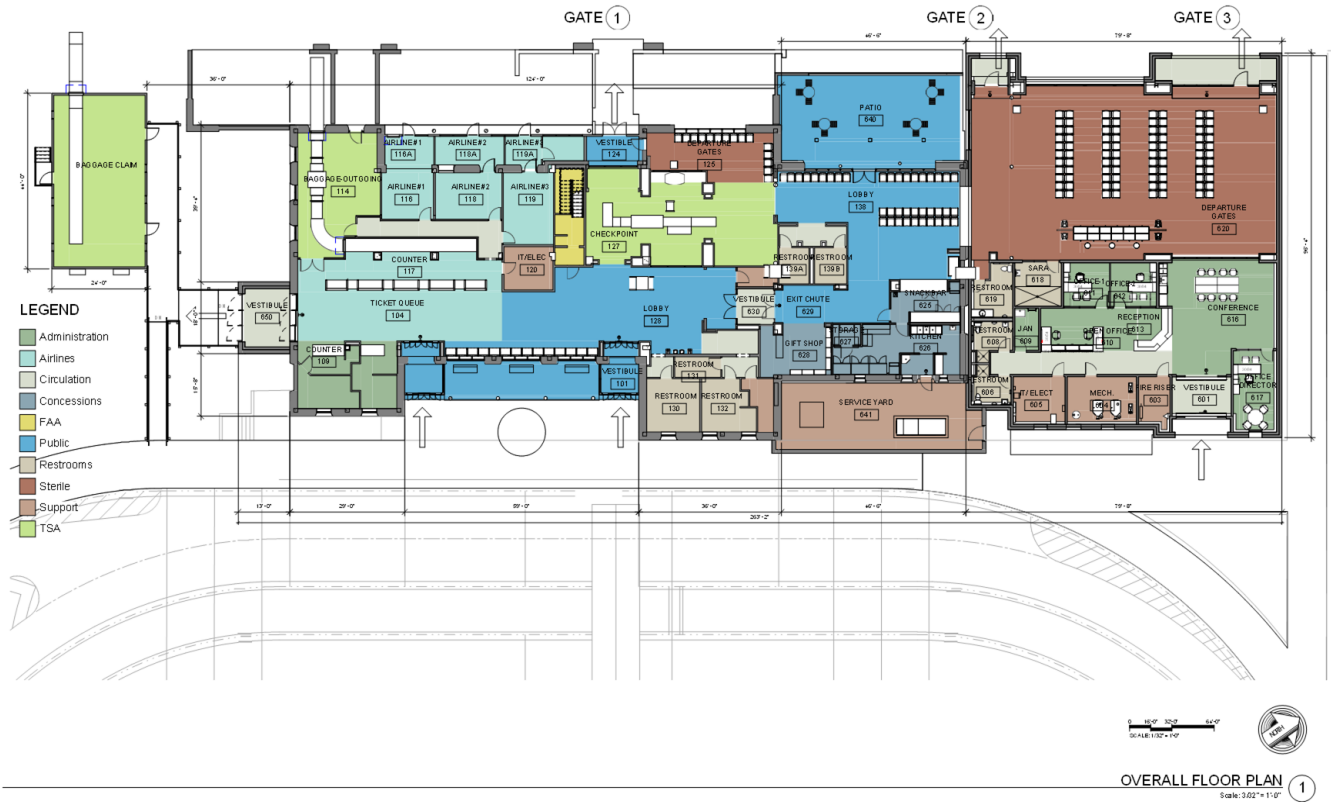
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WEST ELEVATIONS

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Elevations



MARCH 2021

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OVERALL FLOOR PLAN

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Site View



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121 Aviation Drive – Proposed Design

Site View



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121 Aviation Drive – Proposed Design

Site View



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121 Aviation Drive – Proposed Design

Exterior View



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121 Aviation Drive – Proposed Design

Exterior View



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121 Aviation Drive – Proposed Design

Exterior View



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121 Aviation Drive – Proposed Design

Interior View



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121 Aviation Drive – Proposed Design

Interior View



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121 Aviation Drive – Proposed Design

Interior View



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121 Aviation Drive – Proposed Design

Interior View



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121 Aviation Drive – Proposed Design

Interior View



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121 Aviation Drive – Proposed Design

Questions & Comments



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City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-003283--HDRB

Project Description:

Project Location(s): 827 E ALAMEDA ST
Santa Fe, NM 87501

Contacts:

Property Owner: Rachele & Andrew Griego & Gough
827 E Alameda St

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: No

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number: 2017

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 23, 2021, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-003283-HDRB

Address: 827 East Alameda Street
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Form
- Preliminary Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:


827 East Alameda is 1458 square foot single family residential structure with Contributing status to the Downtown and Eastside Historic District. It was constructed in 1945 in a Spanish Pueblo Revival style. On September 12, 2017, in case number H-17-059, the board approved changes including raising the roof and the reconstruction of a contributing portal on the southwest corner.

The applicant now returns to the board with the following proposal:

1. Construct a 335 square foot addition on the northwest corner. With clad windows and French doors it will be constructed to the maximum allowable height of 13 feet 8 inches, the same as the existing structure. It will be covered with a cementitious stucco colored El Rey "Sandalwood".
2. Construct a 410 square foot detached garage and storage structure on the north, rear of the property, without public visibility. It will have similar windows and be built to the same maximum allowable height of 13 feet 8 inches. The garage door steel with a walnut grain coloring.
3. Construct a short 6-foot high coyote fence running north to south to close off the garage from the northern property line.
4. Construct a stuccoed wall colored El Rey "Sandalwood" on the north side of the property between the main house and the garage.
5. Remove the existing non-historic metal awning on the north façade and construct a wooden pergola in a natural color.
6. Pave the courtyard between the north of the house and the garage and extending to the west of the house with flagstones.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u>A</u> <u>B</u> <u>C</u> <u>D</u>		
1. Name of property: 827 East Alameda	2. Location: 827 East Alameda	3. Local Reference Number: H-279
		4. County: Santa Fe
5. Property Type: <input checked="" type="checkbox"/> Building <input type="checkbox"/> Structure <input type="checkbox"/> Site <input type="checkbox"/> Object		
4. Date of Survey: June 15, 2017		
7. Previous Survey Date(s): 1985 <input type="checkbox"/> No previous survey		
8. Name of Project: N/A		
9. UTM Zone: 13 S Easting: 416302 Northing: 3949157		
10. Photo Information All photos housed at offices of Common Bond Preservation. Photo 1, View of: South (street) elevation of 827 East Alameda.		
11. Brief Description of the Property: One-story vernacular residence with influences of the Pueblo Revival style. The structure is a single-family residence that measures approximately 1,300 square feet. An approximately two-foot-tall stucco-clad wall spans the property line on the south side along West Alameda. The house itself is set back approximately fifteen feet from the sidewalk, accessible at the front through a small metal gate at the center of the wall. The front entry into the house is slightly off-center to the west on the front façade, and consists of a modern wood door with a modern metal screen door. There is a garden area to the west of the house, outlined by wood railroad ties and bounded by a coyote fence along the western property line. There is a modern metal shed in the "garden". A second entrance on the rear (north) elevation has a historic wood-paneled door with a single glazing panel. Both entrances have modern exterior lights; the rear entrance has a cloth awning overhead. A small addition on the northern end of the western elevation consists of an approximately three-foot wide bay that serves as a closet for the water heater. It is accessible from the exterior by a modern hollow wood door. The house was constructed of adobe, with multiple layers of earth colored cementitious stucco on the exteriors. There is a slight parapet that hides the roof, which appears to have a very slight gable. There is an asphalt and dirt driveway that runs along the eastern side of the residence, with parking at the rear.		
12. Who uses the property? Currently used as rental property		
13. Construction Date: Date: 1947 <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated Source: John Griego, former resident. His father, Juan Griego, built the house.		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: Residential neighborhood with variety of house sizes, both single-family and multi-unit dwellings.		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)

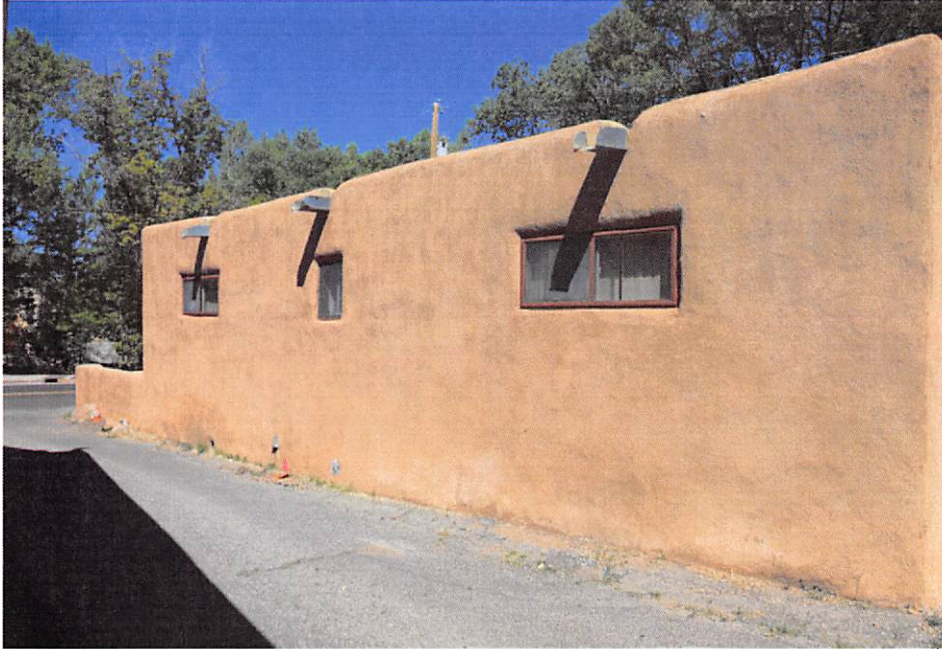


Photo 2: East elevation with aluminum glider windows and metal canales. Asphalt driveway is evident in foreground.

17. Surveyor:
(your name, address, telephone number, and any group affiliation)

Shannon L. Papin
Common Bond Preservation
2195 Lustre Court
Santa Fe, NM 87505

(505) 982-4275
slp@cbpreservation.com

18. Owner (if known) and other knowledgeable people:

Rachele Griego & Andrew Gough
509 Plaza Balentine
Santa Fe, NM 87501

(505) 690-9386

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Vernacular residence with influences of the Pueblo Revival style.

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
Property has only been owned by one family. Juan and Josephita Griego built the house in 1947 and it has remained in the family ever since. It is their granddaughter, Rachele Griego, who is purchasing the residence from her family.

22. National or State Register:
Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes

Why? Does not rise to the level of significance needed for an individual listing nor does it retain enough architectural integrity for such a listing.

23. National, State or Local Historic District:
Is this property in a historic district? Unknown No Yes If yes: Contributing Non-contributing Unknown
If 'yes', what is the name of the district? State National SR 260: City of Santa Fe Historic District
The original State and National Register nomination, written in 1972, does not refer to or discuss the property in any capacity. A 1995 update to the nomination lists the property as non-contributing.
 City of Santa Fe Downtown & Eastside Historic District
A 1985 survey form lists the property as having "no significance".

24. Evaluation of Significance
While most of the building material is over fifty years old, it would be difficult to claim the residence retains significant architectural value. Although renovations were done more than fifty years ago, high quality materials were not used. There is significant deterioration of the steel and aluminum windows and screens/storm windows. One wood window frame at the center of the east elevation is the only original exterior material that remains other than the walls, and the only window opening that is the original size. The house was built in a vernacular Pueblo Revival style, but two of the windows put in during the 1964 renovation read as picture windows, destroying any design significance the house might have originally had. Because of the deterioration of historic material and the denigration of the original style, I recommend this residence be considered non-contributing to the Downtown/Eastside Historic District.

Recommended
Non-Contributing to the
Downtown/Eastside Historic
District - June 2017

25. Supplemental Forms:
 None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: 4

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>																																			
HCPI No. _____	District No. _____	NRHP _____ SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D																																		
1. Name of property: <div style="text-align: center; font-size: 1.2em;">827 East Alameda</div>	2. Location: <div style="text-align: center; font-size: 1.2em;">827 East Alameda</div>	3. Local Reference Number: <div style="text-align: center;">H-279</div> <hr/> 4. County Santa Fe																																			
5. Date of Survey: June 15, 2017																																					
ARCHITECTURAL AND CONSTRUCTION DETAILS:																																					
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input checked="" type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log (vigas) <input checked="" type="checkbox"/> Wood: Lumber <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove		7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1½ <input type="checkbox"/> 2 <input type="checkbox"/> 2½ <input type="checkbox"/> Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input checked="" type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input checked="" type="checkbox"/> Concrete <input checked="" type="checkbox"/> Stone Other: _____ Mostly not visible, although small amounts of concrete peek out from behind stucco in places. Former resident advised it is constructed of concrete and stone.																																			
Exterior walls are adobe clad in stucco. No adobe visible but depth of windows hints at construction. Former resident confirmed adobe construction.		9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: _____ Pitch: <input type="checkbox"/> None <input checked="" type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave <input checked="" type="checkbox"/> Parapet Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input checked="" type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Slight parapet hides roof. From aerial photos, it appears it has a slight slope to the outside.																																			
10. Windows <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 25%;">Operation</th> <th style="width: 25%;">Material</th> <th style="width: 25%;">Glazing</th> <th style="width: 25%;">Number</th> </tr> </thead> <tbody> <tr> <td colspan="4">North Façade: (W→E) 1:1 steel casement window with fixed-pane transom; 1:1 horizontal aluminum glider with screen/storm window.</td> </tr> <tr> <td colspan="4">East Façade: (N→S) 1:1 horizontal aluminum glider with screen/storm window; 1:1 vertical aluminum glider; 1:1 horizontal aluminum glider with screen/storm window.</td> </tr> <tr> <td colspan="4">South Façade: (E→W) 1:1 horizontal aluminum glider with screen/storm window; large 1:1 horizontal aluminum glider with screen/storm window.</td> </tr> <tr> <td colspan="4">West Façade: (S→N) large 1:1 horizontal aluminum glider with screen/storm window; 1:1 vertical aluminum glider with screen/storm window.</td> </tr> </tbody> </table> All windows are replacement and were installed in 1964. Single steel casement on rear elevation was likely moved from another location at this time.	Operation	Material	Glazing	Number	North Façade: (W→E) 1:1 steel casement window with fixed-pane transom; 1:1 horizontal aluminum glider with screen/storm window.				East Façade: (N→S) 1:1 horizontal aluminum glider with screen/storm window; 1:1 vertical aluminum glider; 1:1 horizontal aluminum glider with screen/storm window.				South Façade: (E→W) 1:1 horizontal aluminum glider with screen/storm window; large 1:1 horizontal aluminum glider with screen/storm window.				West Façade: (S→N) large 1:1 horizontal aluminum glider with screen/storm window; 1:1 vertical aluminum glider with screen/storm window.				11. Doors <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 25%;">Type</th> <th style="width: 25%;">Style</th> <th style="width: 25%;">Material</th> <th style="width: 25%;">Number</th> </tr> </thead> <tbody> <tr> <td colspan="4">North Façade: single-leaf, solid wood with five wood panels and large glazing panel (historic). Modern screen door.</td> </tr> <tr> <td colspan="4">South Façade: single-leaf, solid wood 8-paneled with screen door. (modern)</td> </tr> <tr> <td colspan="4">West Façade: single-leaf, hollow-core wood. (modern)</td> </tr> </tbody> </table>	Type	Style	Material	Number	North Façade: single-leaf, solid wood with five wood panels and large glazing panel (historic). Modern screen door.				South Façade: single-leaf, solid wood 8-paneled with screen door. (modern)				West Façade: single-leaf, hollow-core wood. (modern)			
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12. Chimneys (describe whether interior or exterior and material) Multiple metal pipe chimneys, both interior and exterior (north and west elevations).	13. Porches <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry <input checked="" type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap Partial-width entry porch in southwest section of house. Low walls clad in stucco along the south and west sides with porch support at corner. Wood beams on ceiling have been coated in stucco as well. Concrete flooring.																																				
14. Other Significant Features: N/A																																					
15. Modifications: 1958 (porch remodel); 1964 (windows replaced); 1968 (wall at front built); 1976 (stucco repair) According to John Griego, who grew up in the house, the original windows were smaller and wood. Only one original wood window frame remains, on the center window on the east elevation.																																					

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|---|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM Vernacular | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

17. Documents Available and Their Locations

Property tax records – Santa Fe County Tax Assessor's office
Aerial photograph has been requested from NM DOT.
Residence does not appear on any Sanborn maps.

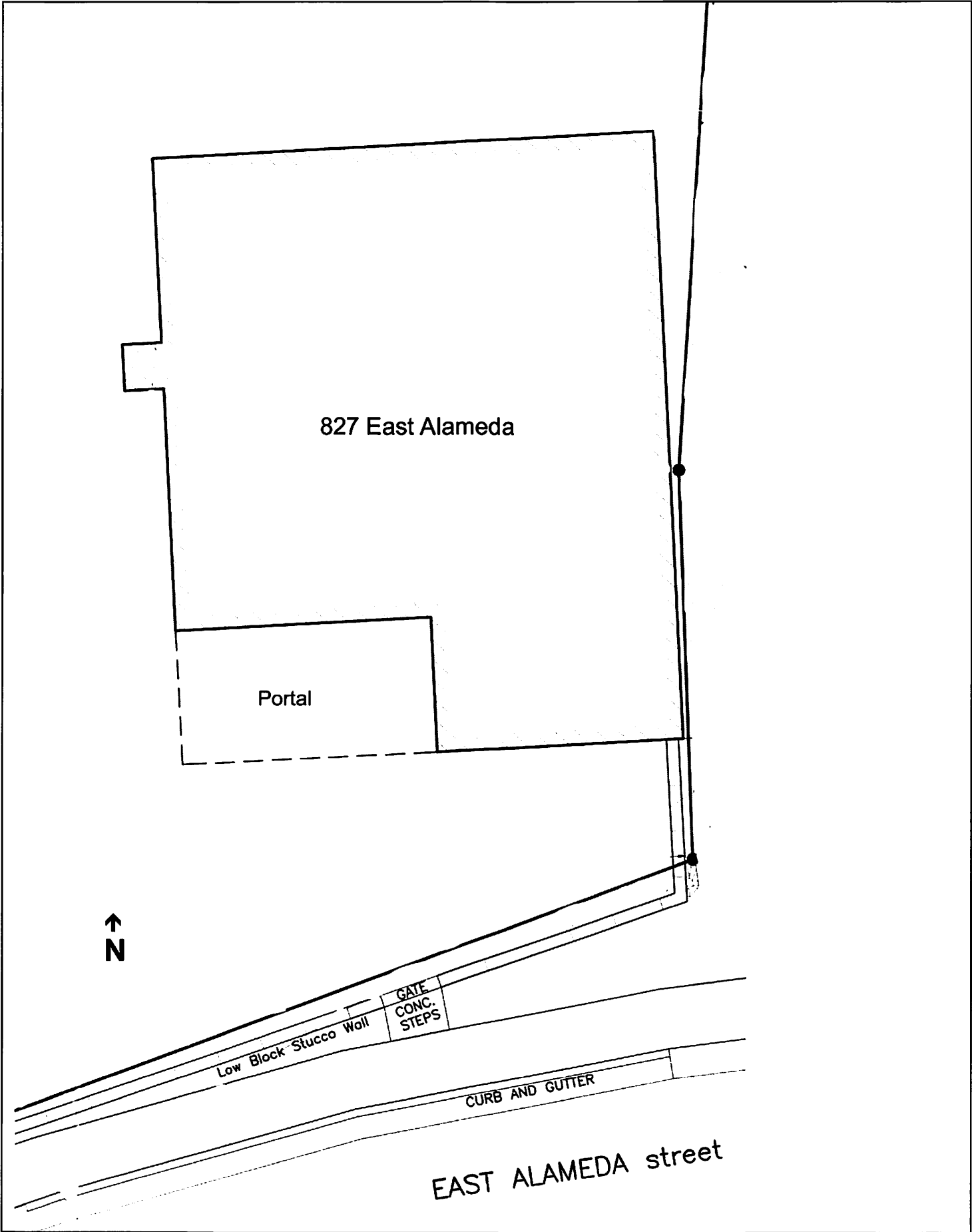
S I T E :

18. Attached or Associated Properties

N/A

Are associated properties eligible for listing?

19. Site Plan: See following page.



Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		
HCPI No. _____	District No. _____	
1. Name of property: (historic and/or current name for property) <p style="text-align: center;">827 East Alameda</p>	2. Location: <p style="text-align: center;">827 East Alameda</p>	3. Local Reference Number: <hr/> 4. County <p style="text-align: center;">Santa Fe</p> <hr/> 5. Date of Survey <p style="text-align: center;">June 15, 2017</p>



Image 1: The front entry and porch at the west end of the south elevation. The aluminum slider window dates to 1964. The wood-paneled front door dates to circa 2010.



Image 2: SW corner of house and western elevation.



Image 3: North end of western elevation with water closet addition. Parking area at rear is visible in the background.



Image 4: Rear (north) elevation. Historic wood-paneled door and steel casement window are visible under cloth awning at west end.

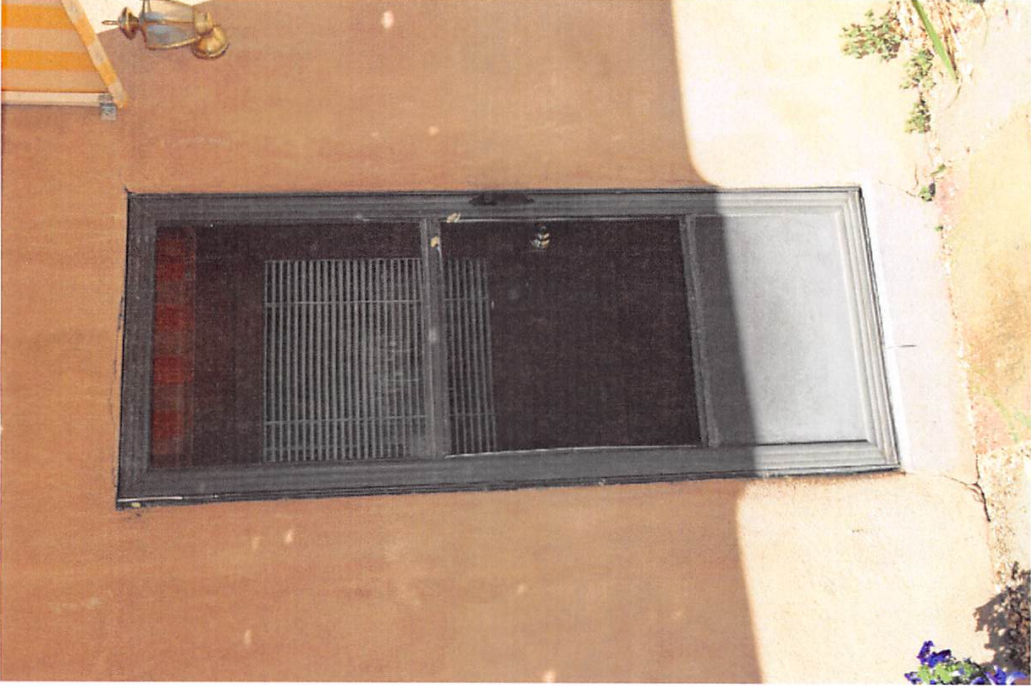


Image 5: Close-up of historic rear door on north elevation.



June 17, 2017

Rachele Griego
509 Plaza Balentine
Santa Fe, NM 87501

Dear Ms. Griego:

Thank you for getting in touch in regards to your property located at 827 East Alameda in Santa Fe. Historic/Cultural Property Inventory Forms 1 and 2 that describe the residence in detail are attached but my summary is as follows:

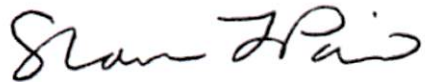
The property lies within the boundaries of the Downtown and Eastside Historic District and was surveyed by the City of Santa Fe in 1985. While it was not given an official status, it was noted as having "no significance". The residence also lies within the boundaries of the State and National Register District for the City of Santa Fe (SR 260). The original nomination written in 1972 does not specifically address the property, nor do updates written in 1973 or 1989. An update written in 1995 that was never approved by the Keeper of the Register declares the property to be "non-contributing" to the historic district.

As you know, the residence dates to 1947 and there have been multiple renovations since that time. Although the footprint of the building has mostly remained the same, the original wood windows were removed and replaced with aluminum sliding windows in 1964. Although these aluminum windows now qualify as "historic material", they are not consistent with the original Pueblo Revival style of the house. More importantly, only one of the original window openings remains. All of the aluminum windows were placed in new openings or the original window openings were enlarged to accommodate them. I especially find the two large aluminum sliders on the front (south) and west elevations to be detrimental to the architectural and stylistic integrity of the house. Additionally, the house has a modern wood door on the front elevation. Because of these alterations, I do not think that the residence at 827 East Alameda retains its historic integrity nor does it help maintain the character of the Downtown and Eastside Historic District. Consequently, I recommend that the property have a status of "non-contributing".

As the granddaughter of the original owners, I'm sure you have an emotional attachment to the property. With assistance and direction from city staff and the HDRB, I believe the house can be rehabilitated in a

manner that respects its historic origins as well as enriches the design qualities of the district despite its non-contributing status. Please feel free to contact me if I can assist in any further capacity.

Sincerely,

A handwritten signature in black ink that reads "Shannon L. Papin". The signature is written in a cursive, flowing style.

Shannon L. Papin
Principal, Common Bond Preservation
slp@cbpreservation.com

505.982.4275

505.231.0285



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:	
Date Submitted: 2/15/2021		827 E. Alameda Street	
Property Owner of Record: Rachele Griego & Andrew Gough		Proposed Construction Description:	
Applicant/Agent Name: Rachele Griego & Andrew Gough		Complete master bedroom addition and garage	
Contact Person Phone Number: () - 505-690-9386		TOTAL ROOF AREA: 2,203 sqft (old 1,458 sqft +New 745 sqft)	
Zoning District: <u>R21</u>		Lot Coverage : <u>39.5</u> %	
Overlay: <input type="checkbox"/> Escarpment _____		<input type="checkbox"/> Open Space Required: _____	
<input checked="" type="checkbox"/> Flood Zone* <u>Arroyo Setback</u>		Setbacks:	
<input type="checkbox"/> Other: _____		Proposed Front: _____ Minimum: _____	
		2 nd Front? _____	
Submittals Reviewed with PZR:		Proposed Rear: _____ Minimum: _____	
<input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans		Proposed Sides: L _____ R _____ Minimum: _____	
<input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Height: Proposed <u>13'8"</u>	
Supplemental Zoning Submittals Required for Building Permit:		Maximum Height: _____ or	
<input type="checkbox"/> Zero Lot Line Affidavit		<input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance	
Access and Visibility: <input type="checkbox"/> Arterial or Collector**		<input type="checkbox"/> Regulated by Escarpment District	
<input type="checkbox"/> Visibility Triangle Required		Parking Spaces:	
Use of Structure: <input checked="" type="checkbox"/> Residential		Proposed <u>NA</u> Accessible _____	
<input type="checkbox"/> Commercial Type of Use: _____		Minimum: <u>No change to parking</u>	
Terrain: <input type="checkbox"/> 30% slopes _____		Bicycle Parking**:	
		Proposed: _____ Minimum: _____	
		** Commercial Requirement	

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Rachele Griego & Andrew Gough OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Rachele Griego Andrew Gough 2/15/2021
SIGNATURE DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___ Must obtain Engineers Approval to Arroyo Setback.

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: Must obtain City Engineers approval to remove arroyo setback requirement (25 feet plus depth) otherwise project will need to be revised.

REVIEWER: Noah Berke DATE: 2 / 15 / 21

February 23, 2021

Historical Preservation Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504-0909

RE: Request to perform remodel of exterior structure at 827 East Alameda Street, Santa Fe, NM. Case No. 2020-002878-PAR

Dear Mr. Daniel Schwab and Members of the Historic Review Board

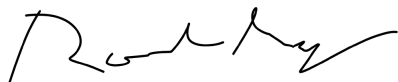
Enclosed you will find our Application Packet for Public Hearing for the review and approval of exterior renovations at 827 East Alameda Street, Santa Fe, NM, located in the Downtown and Eastside Historical District.

This application proposes to complete phase II of construction that was originally approved by the Historical Review Board in September of 2017. A detailed description of the proposed work as well as the required drawings are enclosed for your review.

We are excited to work with you on this project and hope that the proposed work herein will add to the historical character of the surrounding neighborhood. Should you have any questions, please feel free to contact us.

Thank you for your time and help

Owners



Rachele M. Griego



Andrew J. Gough

BACKGROUND & SUMMARY:

827 East Alameda is a one-story single family residence with influences from the Pueblo Revival style. The house was constructed in 1945 by the grandfather and great uncles of current owner Rachele Griego. The structure is a single-family residence that measures approximately 1,458 square feet. In 2017, Rachele Griego and her husband received approval by the Historical District Review Board to complete a major remodel to bring the existing residence up to code and functional for their family. The remodel consisted of the following approved items:

- Removed the existing roof and raised the height of the roof to 13' 8";
- Enclose the original portal and constructed a portal in kind on the south façade;
- Increase the wall height on the south property boundary (East Alameda Street) to 6ft;
- Construct a 6ft tall coyote fence along the West, North, and Eastern boundaries (the eastern boundary fence is being discussed in this current Phase II as it was not applicable during Phase I);
- Construct a 16' x 8' mechanical/laundry room adjacent to the north of the new portal that will assist in completing the western addition as described in Phase I;
- Replace all existing aluminum clad windows and doors and install energy efficient windows and doors approved by the Historical Board; and,
- Restucco the entire house including the south wall with El Ray Cementitious Stucco (#121-Sandelwood).

Since completion of Phase I in March of 2019, the Owners have increased the size of their family and are therefore seeking to complete the original design as intended in 2017. Finally moving from the existing two bedrooms and one bathroom to the intended three bedrooms and two bathrooms. As storage continues to be a top priority for a growing family they have also included a small garage/storage structure in this submittal. The Owners believe that the proposed addition and bedroom completion will continue to uphold the integrity of Santa Fe Style architecture and the aesthetic charm and integrity of the Santa Fe Historical District.

PROPOSED REMODEL SUMMARY

As the Owners, we are requesting to make the following changes to the existing residential structure and property features:

1. Complete Phase II of the previously approved historical remodel. Phase II will include construction of an approximate 335 square foot addition on the western façade. The new addition shall have similar materials, architectural treatments and styles, features, and details as the existing structure but will not duplicate those in a manner that will make the addition indistinguishable from the existing structure according to (14.5.2(D)(2). The addition will be approximately 21' x 15' and will consist of a concrete slab floor with concrete footings that will house a 2"x 6" wood framed wall. The wall will be foam insulated and finished with El Ray Cementitious Stucco (#121-Sandalwood). New aluminum clad casement windows and french doors will be added per the Project Plans. The roof will match the maximum height of 13'8" and parapet construction of the existing structure. The addition will consist of a master bedroom, closet, and master bath. It will also include a canale on the western facade that will drain to an existing french drain and cistern installed during Phase I. All construction and associated materials will be approved per the City of Santa Fe Land Use Department and adopted Building Codes (2009 IRC) and City of Santa Fe Green Building Code.
2. Construct a garage/storage area on the northwest portion of the property boundary, immediately adjacent to the north of the proposed master addition. The garage is 410 square feet and will have similar materials, architectural treatments and styles and will not be indistinguishable from the existing structure. The garage will be approximately 28' x 14' and will consist of a concrete slab floor with concrete footings that will house a 2"x 6" wood framed wall. The wall will be foam insulated and finished with El Ray Cementitious Stucco (#121-Sandalwood). New aluminum clad casement windows and doors will be added per the Project Plans. The roof will match the maximum height of 13'8" and parapet construction of the existing residence. Two canales will be located on

the western façade and will connect to a french drain along the western property boundary that drains to a cistern in the SW corner of the Site. A garage door with matching sconces will be visible on the eastern façade. A 6' foot coyote fence will be built to close off the area between the garage and the northern property boundary (currently a 5' setback). The 6' height allowance was previously approved during Phase I, October 2017.

3. A masonry concrete block and stucco wall (El Ray Cementitious Stucco #121-Sandalwood) with a wooden door way will be constructed at the entry way between the main house and the garage. The entry way will mimic the entry way approved and constructed on the South property boundary, adjacent to East Alameda Street.
4. The existing wood and corrugated metal awning on the north façade of the main residence will be removed to construct a more aesthetic and functional open pergola. The pergola will be constructed of 4" x 6" and 4" x 8" natural wood and will be constructed to cover the courtyard that will be created between the main residence and the garage/storage area. The courtyard will be finished with flagstone and will extend around the western façade.

GOUGH / GRIEGO RESIDENCE

827 E. ALAMEDA
SANTA FE, NEW MEXICO



PROJECT LOCATION

PROJECT OWNERS
ANDREW GOUGH & RACHELE GRIEGO

CONTRACTOR
TBD

DRAWING INDEX

- G-1 TITLE SHEET
- A-1 SITE PLAN
- A-2 FLOOR PLANS
- A-3 EXTERIOR ELEVATIONS
- A-4 EXTERIOR ELEVATIONS

AREA TABULATION

GROSS HEATED AREA: EXISTING HOUSE	1,458 SQ. FT.
NEW ADDITION NEW GARAGE	335 SQ. FT. 410 SQ. FT.
TOTAL LOT COVERAGE:	2,203 SQ. FT.

LOT AREA TABULATION

TOTAL LOT AREA	5,575 SQ. FT.
----------------	---------------

APPLICABLE CODES

- 2009 International Residential Code
- 2009 New Mexico Energy Conservation Code
- 2012 New Mexico Plumbing and Mechanical Code
- 2012 Uniform Mechanical Code
- 2012 Uniform Plumbing Code
- 2014 New Mexico Electrical Code
- 2014 National Electrical Code

**Andrew Gough &
Rachele Griego**

827 E. Alameda St.
Santa Fe, NM

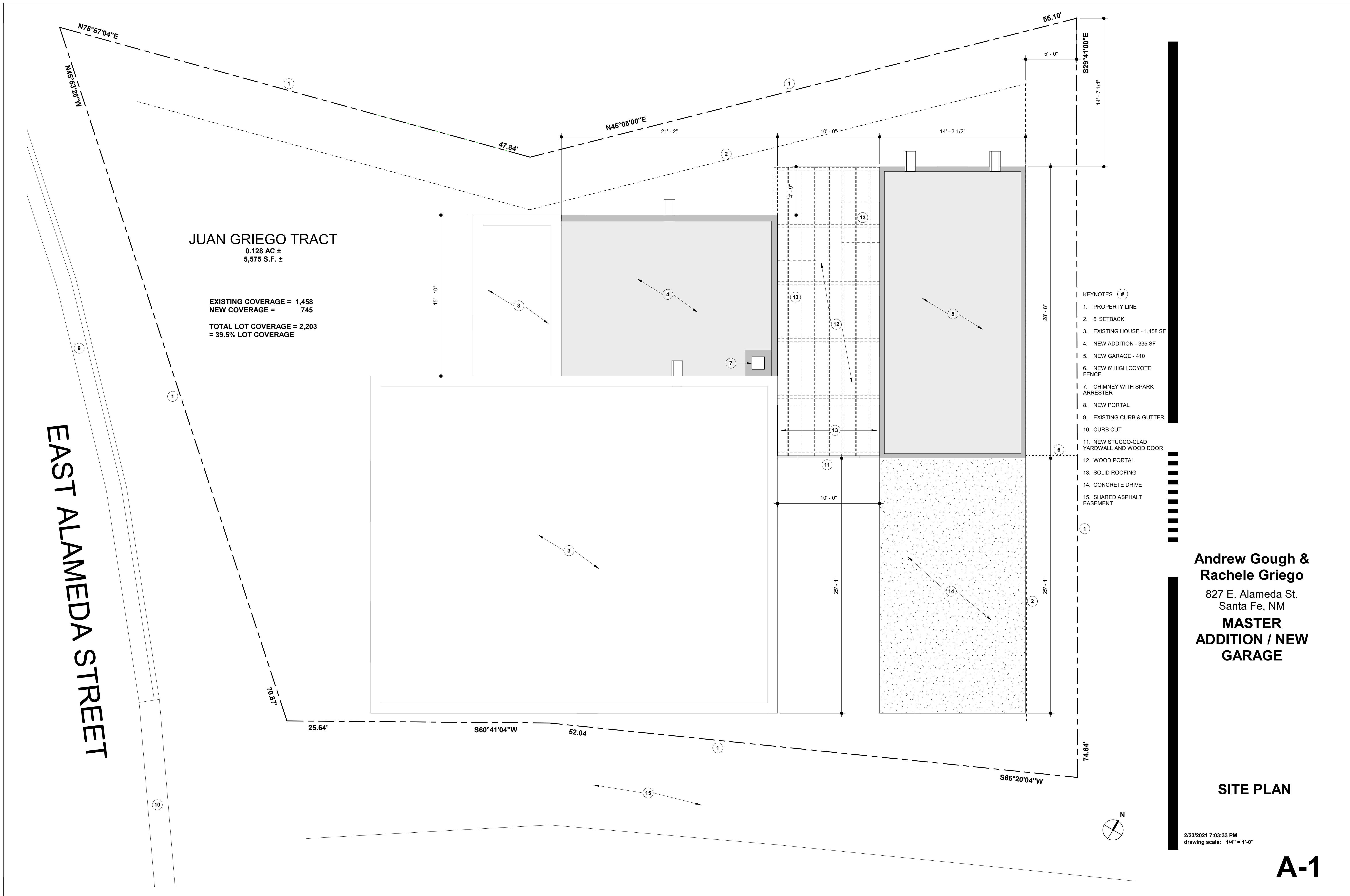
**MASTER
ADDITION / NEW
GARAGE**

TITLE

2/23/2021 7:03:36 PM
drawing scale:

HISTORIC REVIEW

G-1



JUAN GRIEGO TRACT
 0.128 AC ±
 5,575 S.F. ±

EXISTING COVERAGE = 1,458
 NEW COVERAGE = 745

TOTAL LOT COVERAGE = 2,203
 = 39.5% LOT COVERAGE

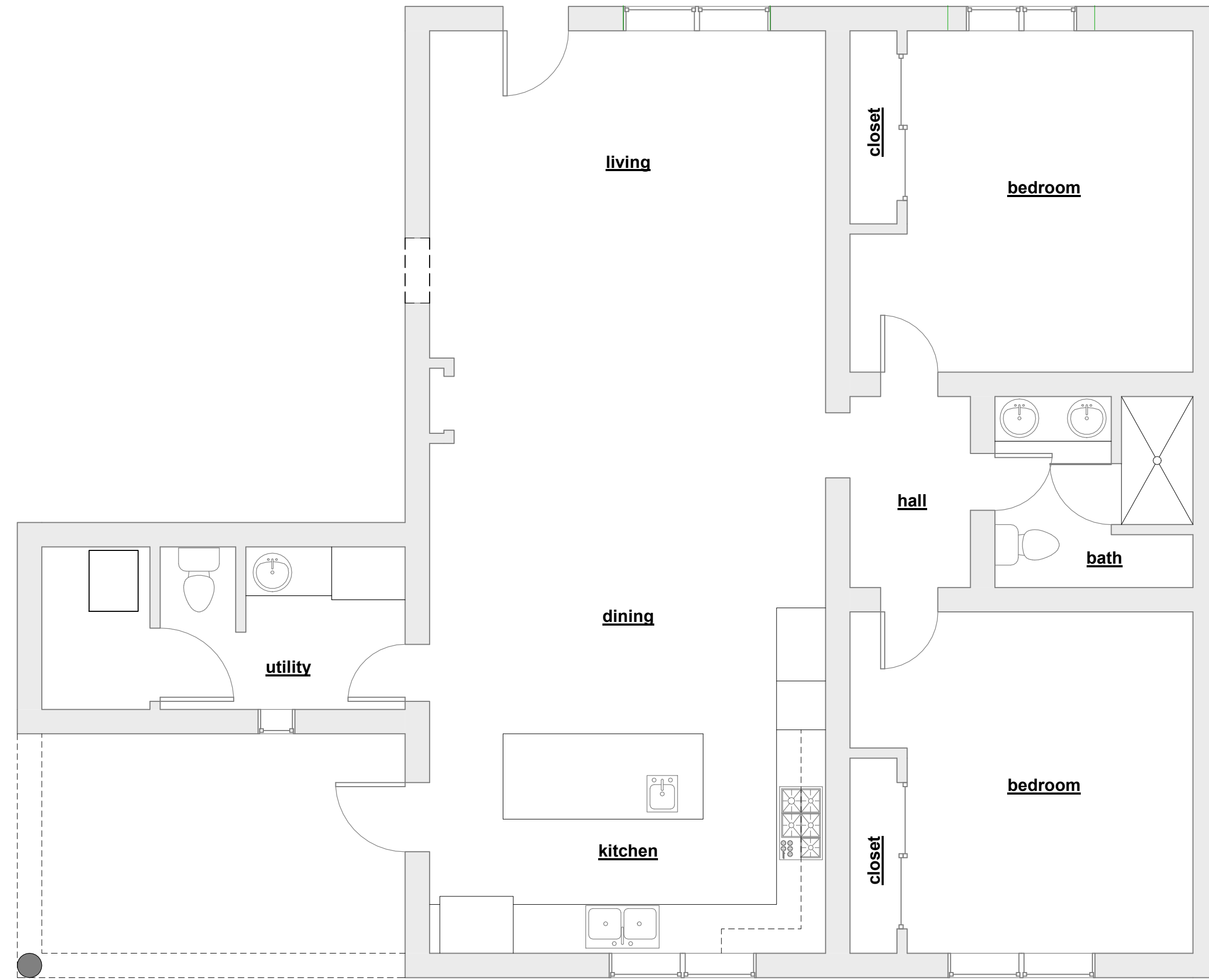
- KEYNOTES #
1. PROPERTY LINE
 2. 5' SETBACK
 3. EXISTING HOUSE - 1,458 SF
 4. NEW ADDITION - 335 SF
 5. NEW GARAGE - 410
 6. NEW 6' HIGH COYOTE FENCE
 7. CHIMNEY WITH SPARK ARRESTER
 8. NEW PORTAL
 9. EXISTING CURB & GUTTER
 10. CURB CUT
 11. NEW STUCCO-CLAD YARDWALL AND WOOD DOOR
 12. WOOD PORTAL
 13. SOLID ROOFING
 14. CONCRETE DRIVE
 15. SHARED ASPHALT EASEMENT

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 Rachele Griego**
 827 E. Alameda St.
 Santa Fe, NM
**MASTER
 ADDITION / NEW
 GARAGE**

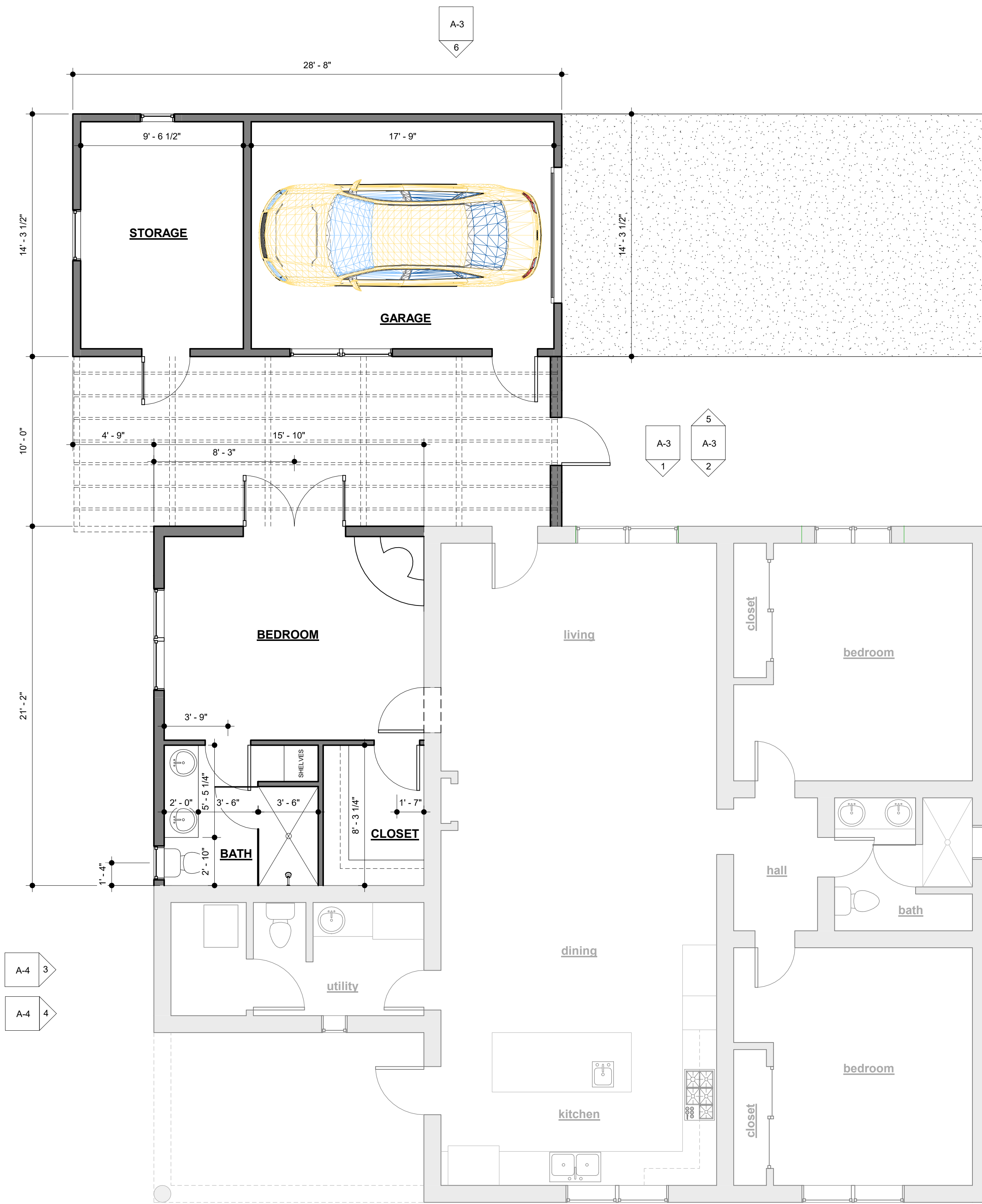
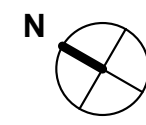
SITE PLAN

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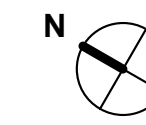
A-1



② EXISTING PLAN
1/4" = 1'-0"



① NEW PLAN
1/4" = 1'-0"







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**MASTER
ADDITION / NEW
GARAGE**

FLOOR PLANS

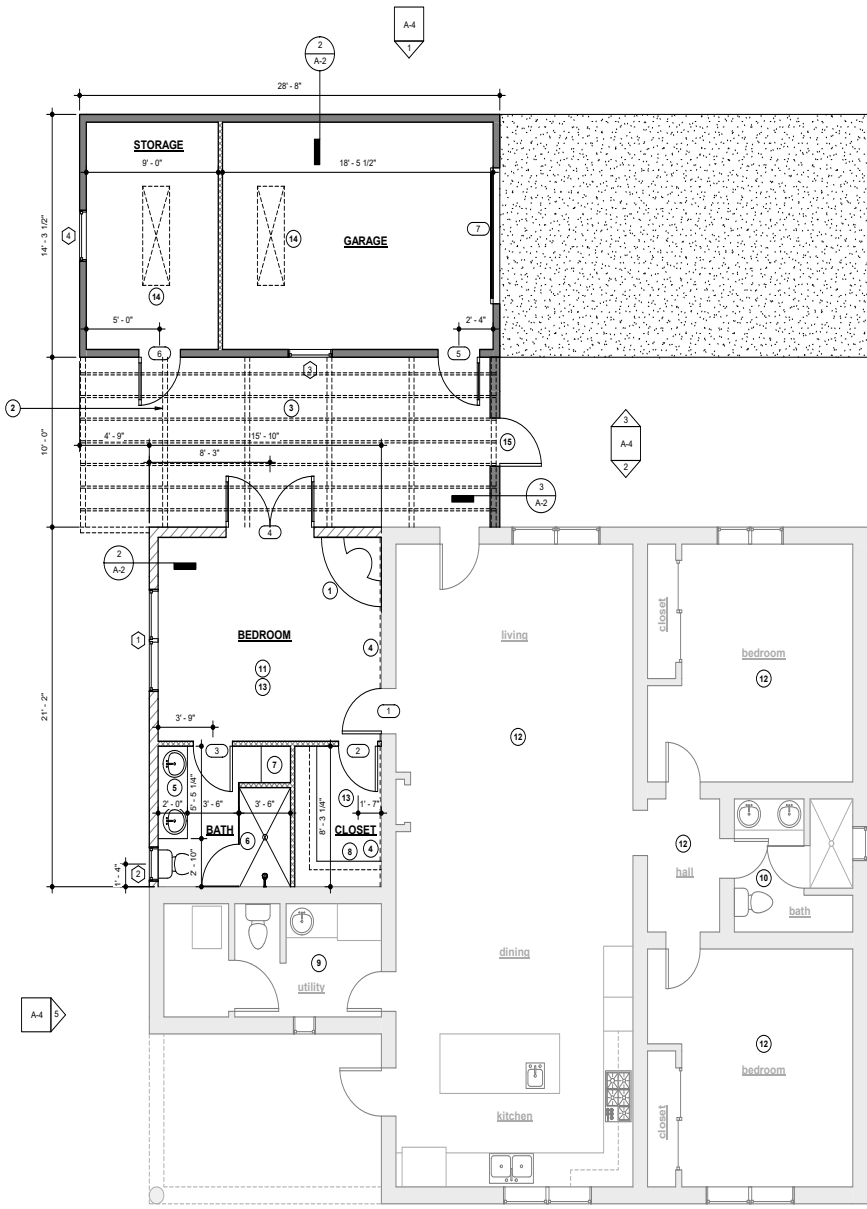
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LEGEND

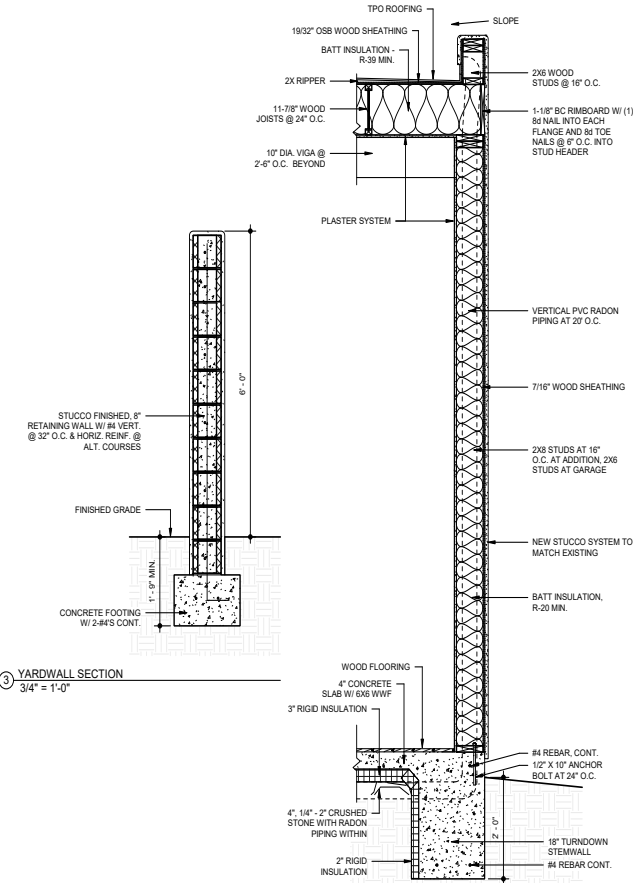
-  NEW 2X6 WOOD STUD CONSTRUCTION
-  NEW 2X6 WOOD STUD CONSTRUCTION
-  NEW 2X4 WOOD STUD CONSTRUCTION
-  EXISTING CONSTRUCTION

KEYNOTES

1. ADOBELITE, 1" KIVA, ORNTO C
2. PORTAL STRUCTURE ABOVE
3. FLAGSTONE FINISH ON PATIO
4. REMOVE EXISTING STUCCO AND PREPARE FOR NEW FINISH
5. WOOD CABINETRY WITH SOLID SURFACE COUNTERTOP
6. GLASS SHOWER ENCLOSURE WITH FRAMELESS GLASS DOOR
7. WOOD SHELVES
8. WOOD ROD AND SHELF
9. NEW TILE IN LAUNDRY ROOM
10. REMOVE TILE AND INSTALL NEW TILE ON FLOOR
11. NEW RADIANT FLOOR - CONNECT TO RADIANT IN EXISTING HOUSE
12. REMOVE EXISTING FLOOR COVERING AND INSTALL NEW WOOD FLOORING
13. INSTALL NEW WOOD FLOORING
14. SKYLIGHT ABOVE
15. NEW WOOD DOOR TO MATCH EXISTING ON FRONT YARDWALL



1 NEW PLAN
1/4" = 1'-0"



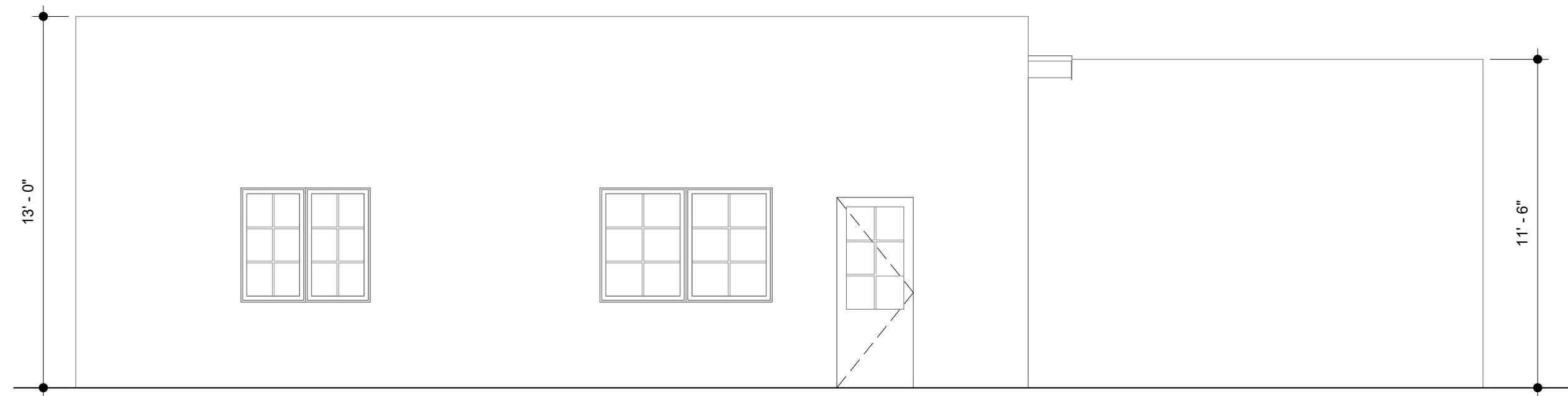
2 TYPICAL WALL SECTION
3/4" = 1'-0"

3 YARDWALL SECTION
3/4" = 1'-0"

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**MASTER
ADDITION / NEW
GARAGE**

FLOOR PLANS

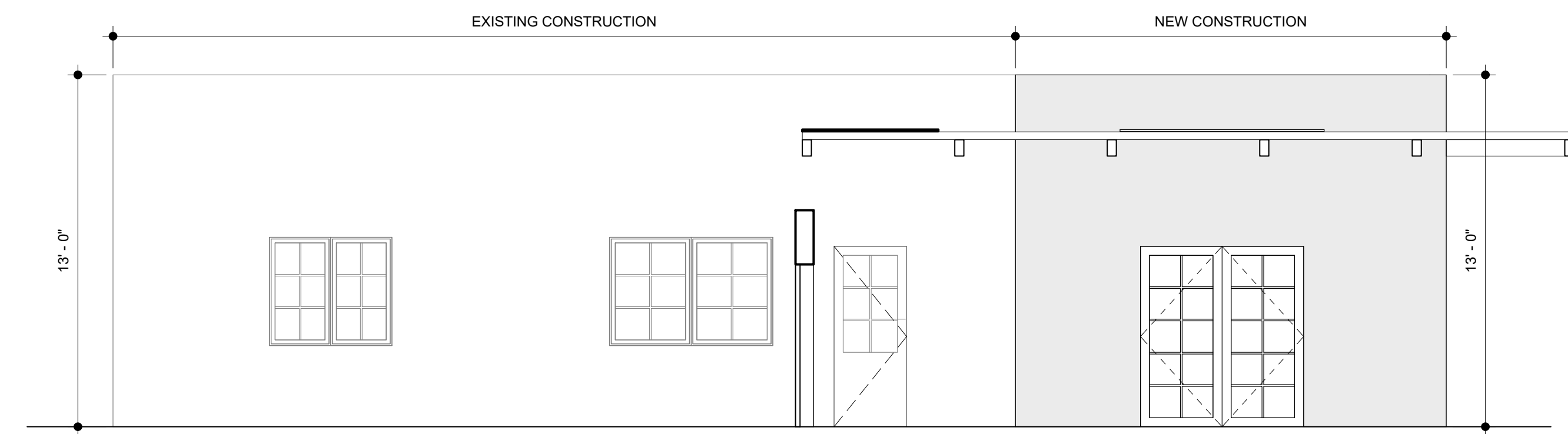
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drawing scale: As indicated



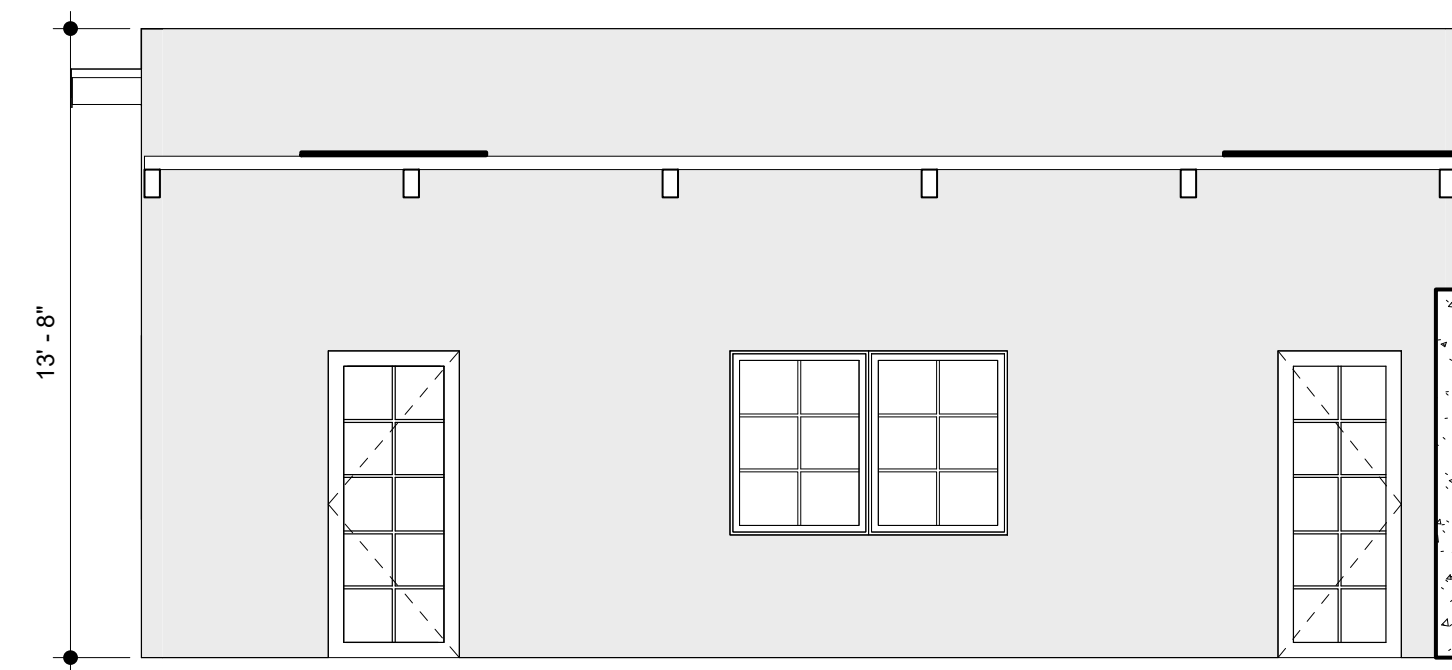
① NORTH EXISTING
1/4" = 1'-0"



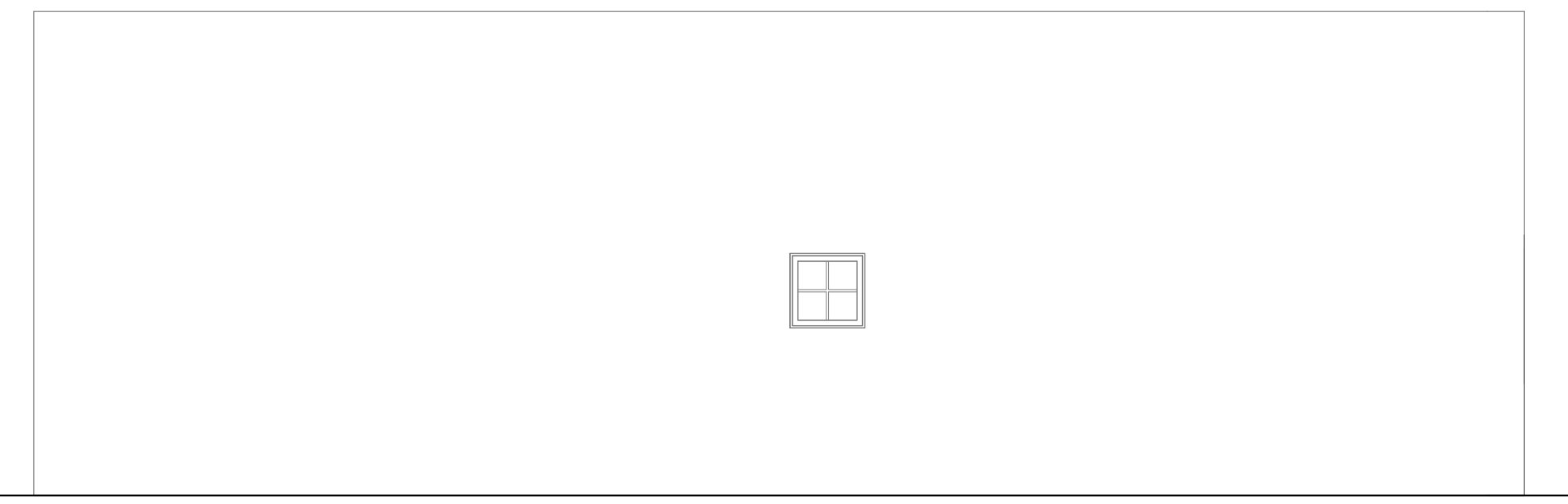
⑥ NORTH NEW GARAGE
1/4" = 1'-0"



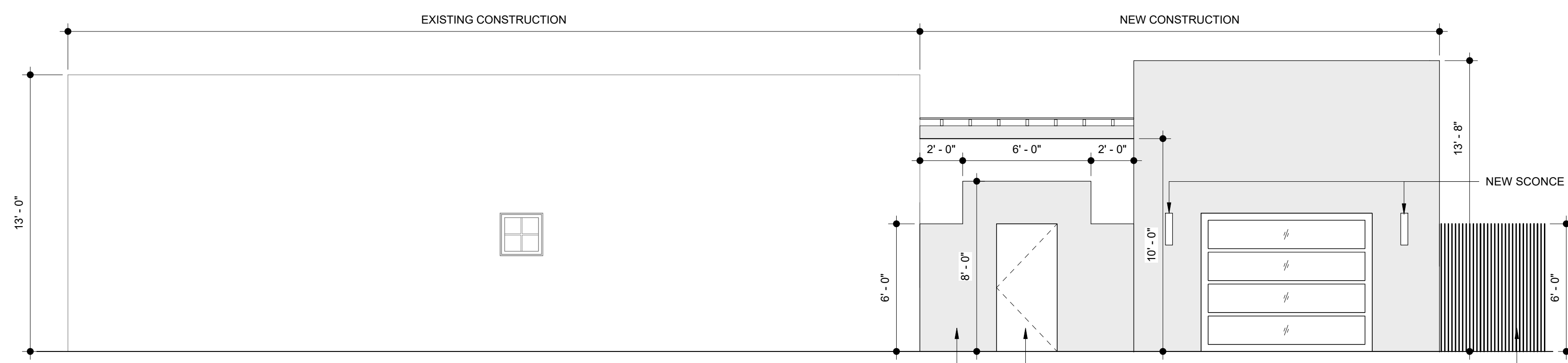
② NORTH NEW
1/4" = 1'-0"



⑤ SOUTH NEW GARAGE
1/4" = 1'-0"



③ EAST EXISTING
1/4" = 1'-0"

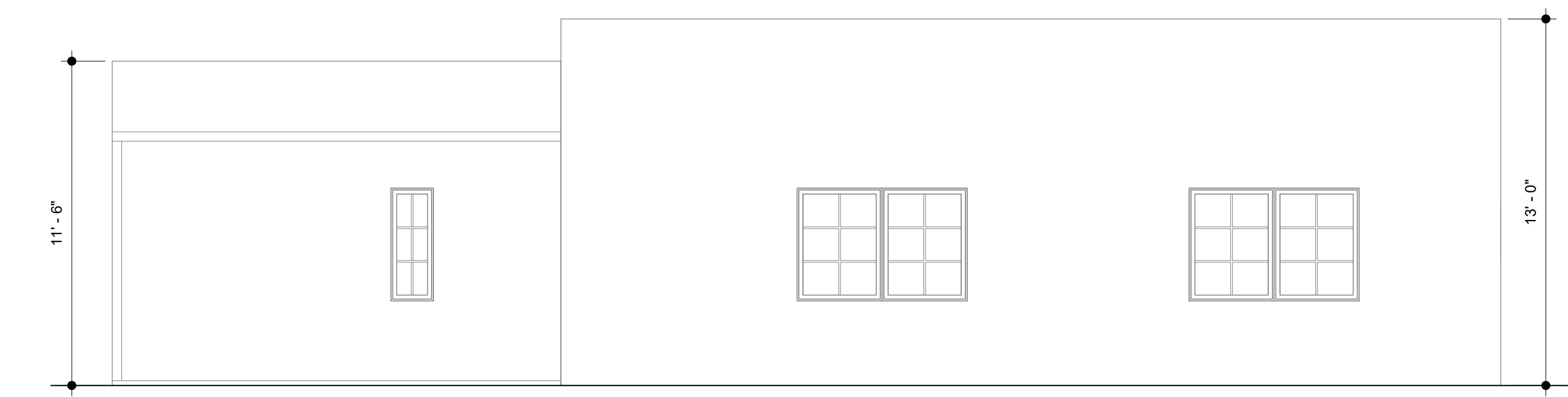


④ EAST NEW
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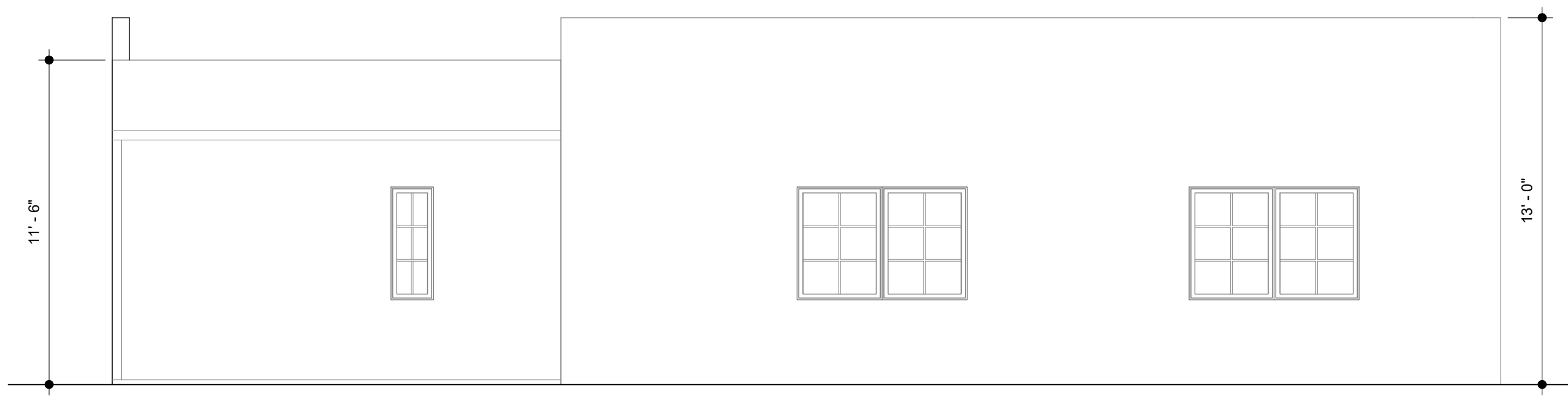
**Andrew Gough &
Rachele Griego**
827 E. Alameda St.
Santa Fe, NM
**MASTER
ADDITION / NEW
GARAGE**

**EXTERIOR
ELEVATIONS**

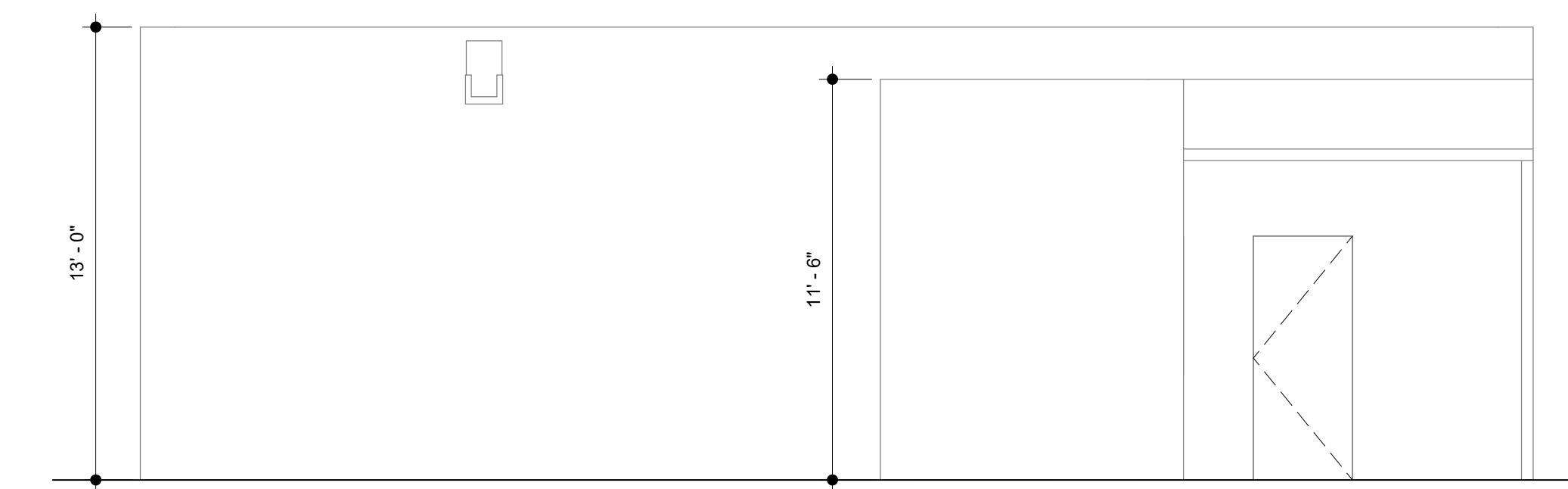
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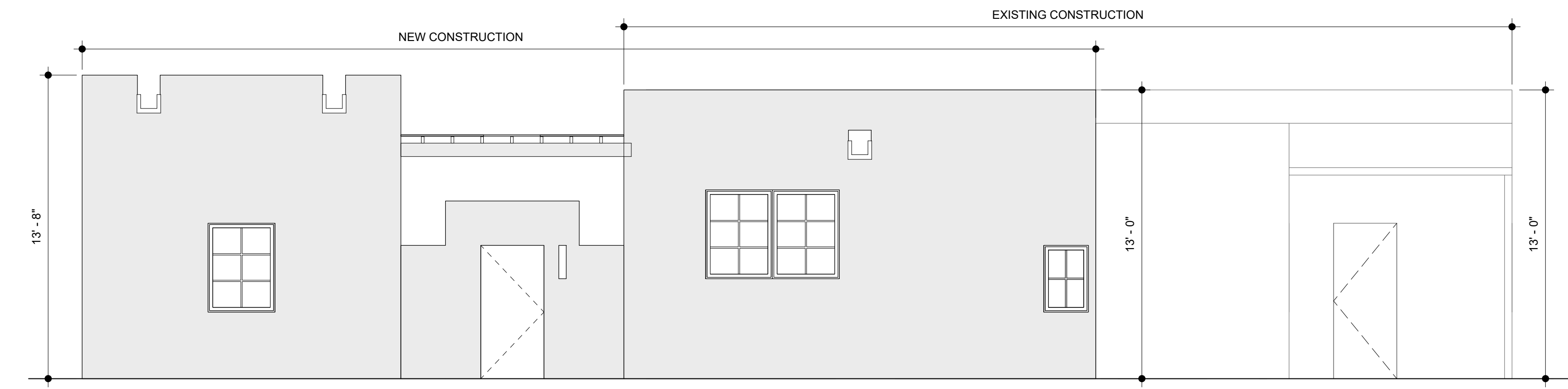
① SOUTH EXISTING
1/4" = 1'-0"



② SOUTH NEW
1/4" = 1'-0"



③ WEST EXISTING
1/4" = 1'-0"



④ WEST NEW
1/4" = 1'-0"

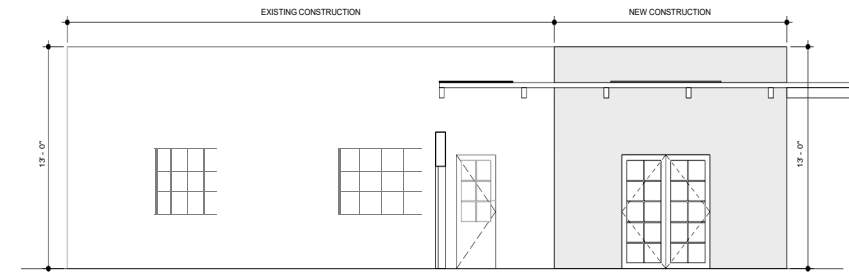
**Andrew Gough &
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827 E. Alameda St.
Santa Fe, NM
**MASTER
ADDITION / NEW
GARAGE**

**EXTERIOR
ELEVATIONS**

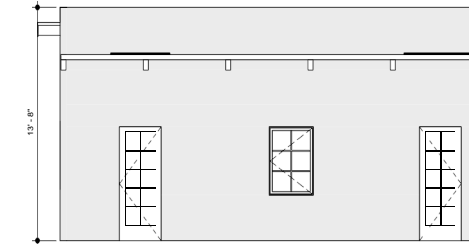
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drawing scale: 1/4" = 1'-0"



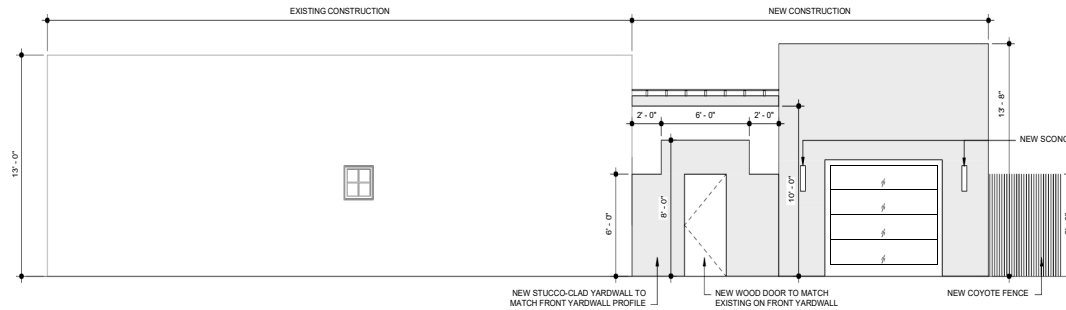
1 NORTH NEW GARAGE
1/4" = 1'-0"



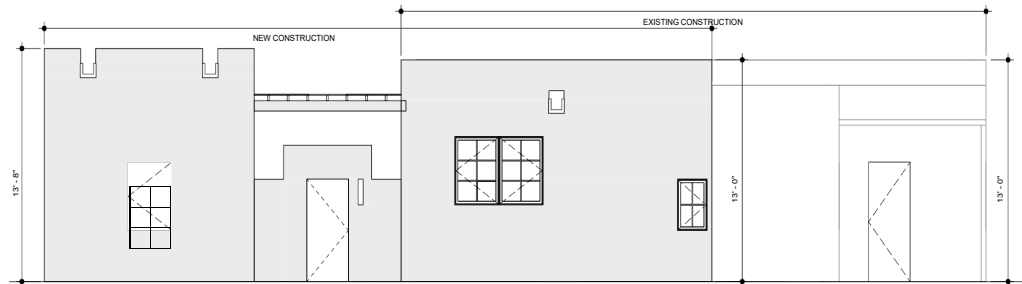
2 NORTH NEW
1/4" = 1'-0"



3 SOUTH NEW GARAGE
1/4" = 1'-0"



4 EAST NEW
1/4" = 1'-0"



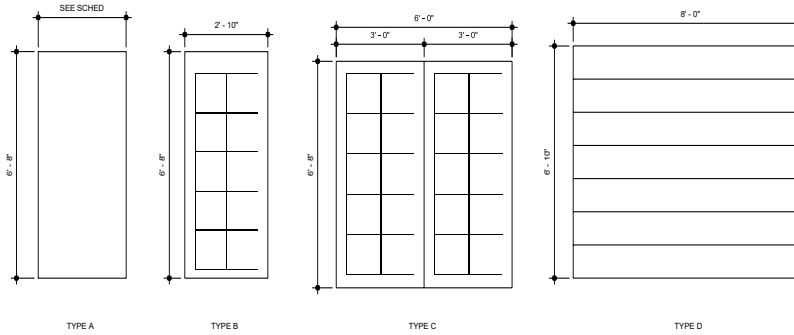
5 WEST NEW
1/4" = 1'-0"

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Santa Fe, NM
**MASTER
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GARAGE**

**EXTERIOR
ELEVATIONS**

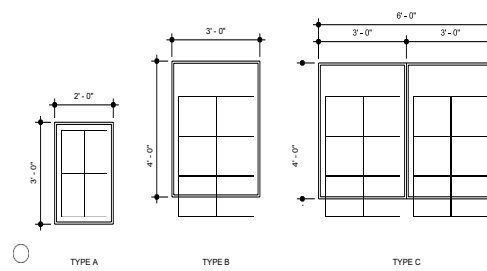
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drawing scale: 1/4" = 1'-0"

DOOR SCHEDULE									
DOOR NO.	ROOM NUMBER & NAME	ELEV TYPE	WIDTH	HEIGHT	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE GROUP	NOTES
1	BEDROOM	A	2'-8"	6'-8"	WOOD	WOOD	STAIN	PRIVACY	
2	CLOSET	A	2'-8"	6'-8"	WOOD	WOOD	STAIN	PASSAGE	
3	BATH	A	2'-8"	6'-8"	WOOD	WOOD	STAIN	PRIVACY	
4	BEDROOM	C	6'-0"	6'-8"	ALUM	ALUM	-	EXTERIOR	
5	GARAGE	D	2'-10"	6'-8"	ALUM	ALUM	-	EXTERIOR	
6	STORAGE	B	2'-10"	6'-8"	ALUM	ALUM	-	EXTERIOR	
7	GARAGE	B	8'-0"	6'-10"	MANUF	MANUF	MANUF		



1-DOOR TYPES
1/2" = 1'-0"

WINDOW SCHEDULE						
WINDOW NO.	ROOM NO. & NAME	ELEV TYPE	WINDOW			NOTES
			WIDTH	HEIGHT	OPERATION	
1	BEDROOM	C	3'-0"	4'-0"	CASEMENT	
2	BATH	A	2'-0"	3'-0"	CASEMENT	
3	GARAGE	B	3'-0"	4'-0"	CASEMENT	
4	STORAGE	B	3'-0"	4'-0"	CASEMENT	
7SL	GARAGE		2'-0"	0'-7"	FIXED	SKYLIGHT
8SL	STORAGE		2'-0"	0'-7"	FIXED	SKYLIGHT



2-WINDOW TYPES
1/2" = 1'-0"

FINISH SCHEDULE								
ROOM NO.	ROOM NAME	FLOOR	WALLS (MATERIAL/FINISH)				CEILING FINISH	NOTES
			NORTH	EAST	SOUTH	WEST		
1	BEDROOM	WOOD	DIAMOND PLASTER	DIAMOND PLASTER	DIAMOND PLASTER	DIAMOND PLASTER	DIAMOND PLASTER	
2	BATH	PORCELAIN TILE	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PORCELAIN TILE / PAINTED GYP. BD.	PAINTED GYP. BD.	
3	CLOSET	WOOD	DIAMOND PLASTER	DIAMOND PLASTER	DIAMOND PLASTER	DIAMOND PLASTER	DIAMOND PLASTER	
4	STORAGE	SEALED CONCRETE	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	
5	GARAGE	SEALED CONCRETE	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	PAINTED GYP. BD.	

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**MASTER
ADDITION / NEW
GARAGE**

**DOOR & WINDOW
TYPES &
SCHEDULES**

3/14/2021 6:07:53 PM
drawing scale: 1/2" = 1'-0"



Project Site – View from NE looking SW (Garage & Master bedroom)


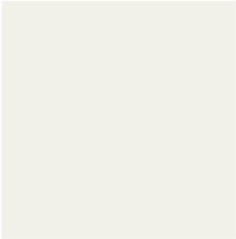


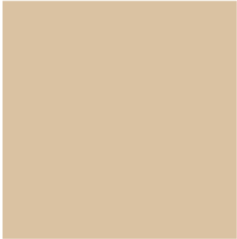
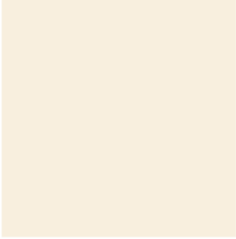
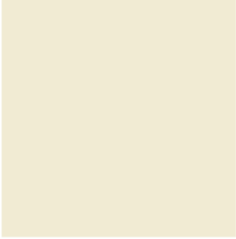

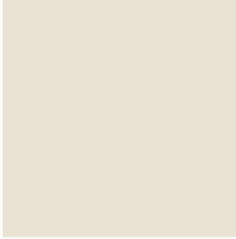


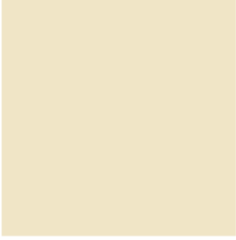





Project Site – View from SE looking NW (Garage)



Project Site – View from North looking South (Master bedroom)

Premium Stucco Finish Colors

				
Cameo 102 (67)	Colonial White 100 (76)	Madera 212 (24)	Candlelight 90 (75)	Hacienda 127 (52)
				
Cream 128 (70)	Ivory 129 (70)	La Morena 197 (19)	Soapstone 30 (66)	Fawn 117 (45)
				
Palomino 119 (55)	Navajo White 101 (71)	Sandalwood 121 (56)	Straw 122 (42)	Buckskin 106 (35)

- **Stucco to match existing, El Ray Sandalwood.**

827 East Alameda

Front wall and example of proposed gate



Proposed flagstone



Wood finish



Outdoor Sconces



- Cast aluminum construction with aged iron finish offers an antique look
- Clear seeded glass shade enhances the weathered appearance and creates a diffused effect when illuminated
- Uses one 100-Watt maximum, medium-base incandescent bulb or one 26-watt SBCFL equivalent
- Measures 7 in. W x 8.88 in. D x 12.75 in. H

Annual Maintenance

- 1) Lubricate all moving parts of the door with light household oil, including:
 - a) Lift cables at the bottom bracket button
 - b) Bearing of the sheaves
 - c) Lock hardware where surfaces turn or slide
 - d) Full length of torsion spring to reduce friction between coils
 - e) Lubricate steel rollers. DO NOT lubricate nylon rollers.
- 2) Check for loose or bent hinges.
 - a) Tighten loose hinges.
 - b) Straighten or replace bent hinges.

Caution: To replace bent hinge(s) or broken roller(s):

Door must be locked and in the down position.

No more than 1 hinge is to be removed from the door at any given time.

Under no circumstances should you loosen or remove the bottom bracket without disengaging the spring tension. (Follow instructions for removing extension springs.)

- 3) Check roller for broken wheels, bent shafts, or worn out bearings
- 4) Check the door and track supports for loose or missing bolts, screws, etc. Be careful not to over tighten.
- 5) Check the extension cables. Are they running properly in the sheaves? Check for wear of the cable at the bottom bracket button.
- 6) Check for bent track. If bent, call an authorized professional dealer.
- 7) Extension spring hardware, including springs, cables, sheaves, sheave forks, bottom brackets, and containment cables, should be adjusted or repaired only when the spring tension is released (the door must be open). These repairs should be made by a qualified door technician or a mechanically experienced person with proper tools and instructions.
- 8) If your door has torsion springs, the spring assembly and wood anchor pad should only be adjusted or repaired by a professional door technician.

Cleaning the Door

In order to prevent damage (rusting) caused by foreign matter adhering to the door, the door should be cleaned at least twice a year (normal environments) or 4 times a year (coastal environments). The door may need to be cleaned more frequently if road salt accumulates in a winter climate. The door should be wiped down with a mild household detergent and rinsed with clear water.

NOTE: Be sure to clean behind stop molding on the sides and top of door.

Waxing the Door (Coastal and Harsh Environments)

For coastal and harsh environments, it will be necessary to wax the front side of the door following installation. Select a good quality car wax and apply according to wax manufacturer's instructions. Wax should be applied at least twice a year, immediately after cleaning (see cleaning instructions above).

Glass, Plexiglass, Stained Look, Leaded Look, Brilliance, and Studio Series Windows Cleaning and Care Instructions

Clean with a mild solution of a dishwashing detergent and a soft cloth. After cleaning, rinse thoroughly. DO NOT use any ammoniated, abrasive, or solvent-based cleaners of any kind.

Studio Series Windows Only:

Use a good grade of automotive paste wax and buff with a soft cloth. Windows should be cleaned and waxed at least once annually or more often based on the atmospheric conditions where installed.

Caution: Use care when handling decorative windows to avoid scraping or scratching the surface.

NOTE: Minor scratches or scuffs are not considered defects and will not be covered under the window warranty.

Replacement Parts

Replacement parts are available from an authorized professional dealer or a building supply retailer. When ordering repair parts, always provide the following: part name, model number, and door width and door height (W x H). For the location of the authorized professional dealer or a building supply retailer nearest you, please write or call:

Clopay Building Products
Consumer Services Dept.
1400 West Market Street
Troy, OH 45373 USA

Call Toll Free: 1-800-225-6729
Hours of Operation (ET):
Monday – Friday, 8:30 AM - 7 PM
Saturday 8:30 AM - 5 PM.

MISSING ANY PARTS?

PLEASE CALL TOLL FREE: (800-225-6729)

PARTS WILL BE REPLACED PROMPTLY

DO NOT RETURN DOOR TO STORE

(Stores Do Not Carry Spare Parts)

IMPORTANT – Information Needed When Calling:

- 1) Model number and size of door (Located on packaging)
- 2) Spring Type (Extension, EZ-Set® Extension, EZ-Set® Torsion or Standard Torsion)
- 3) Store city and state of purchase
- 4) Contract # or serial number if special order
(Located on label on the back of the door or on packaging)

2021 Santa Fe Heritage Preservation Awards

Open solicitation to nominate recipients for the Annual Santa Fe Heritage Preservation Awards and to attend the Awards Ceremony in May 2021 (exact date TBD).

Projects must have been completed within the last few (up to 4) years. Previous nominees are welcome if an award was not received.

The award categories are as follows:

Architectural Preservation Award (Residential or Non-Residential):

Outstanding examples of restoration or rehabilitation of a designated historic property.

Compatible Remodel Award (Residential or Non-Residential):

Outstanding examples of remodeling that harmonizes with historic structures in the historic districts.

Compatible New Construction Award (Residential or Non-Residential):

Outstanding examples of new construction that harmonizes with historic structures in the historic districts.

Archaeology Award:

Outstanding examples of archaeological preservation or contributions to the pre-history or history of Santa Fe through archaeology.

Cultural Preservation Award:

Outstanding examples of work toward the preservation and/or understanding of Santa Fe's unique cultural heritage.

Sara Melton Award:

Outstanding examples of sensitive maintenance and rehabilitation of a historic structure.

Mayor's Award for Exceptional Contribution to the preservation and/or understanding of the City's Prehistory or History:

Exceptional contribution of an individual, group, or project to the preservation and/or understanding of the prehistory or history of the City of Santa Fe.

Nomination submittals are due in the Historic Preservation office on or before **April 16, 2021**.

If you have questions or need more information, please contact Marisa Sargent at mgsargent@santafenm.gov. Please mention the Awards Nomination and the property address in your email subject line.

Award winners will be notified at least one week in advance of the Awards Ceremony.

City of Santa Fe
2021 Heritage Preservation Award Nomination Form

Name of Nominee: _____

Address: _____

City: _____ State: _____ Zip: _____ Phone: _____

Email: _____

Name/Address of Project: _____

1. Please choose an award category for which you are nominating (one category only please).

- Architectural Preservation Award**
- Compatible Remodel Award**
- Compatible New Construction Award**
- Archaeology Award**
- Cultural Preservation Award**
- Sara Melton Award**
- Mayor's Award**

2. Briefly explain why a Heritage Preservation Award is warranted:

3. To your email submission, please attach photographs, drawings, or additional text that further illustrate why an award is warranted.

4. Has nominee received a City of Santa Fe Heritage Preservation Award in the past?
___ Yes ___ No

If so, when and for what? _____

Nominated by: _____

E-mail address: _____ Phone: _____

Nomination submittals are due in the Historic Preservation Office on or before **April 16, 2021**

Return COMPLETED forms with any additional information to:

Marisa Sargent, City of Santa Fe, Historic Preservation Division, P.O. Box 909, Santa Fe, NM 87504

Email submissions are preferred. Please email Marisa Sargent at mgsargent@santafenm.gov