



AGENDA

REGULAR MEETING OF
THE PLANNING COMMISSION
JANUARY 21, 2021 AT 6:00
PM
ATTEND VIRTUALLY

SPECIAL PROCEDURES FOR VIRTUAL ATTENDANCE AND PUBLIC COMMENT

Attendance: In response to the State’s declaration of a Public Health Emergency, the Mayor’s Proclamation of Emergency, and the ban on public gatherings of more than five (5) people, the Planning Commission meeting will be conducted using Zoom.

Viewing on YouTube: Members of the public may stream the meeting live on the City of Santa Fe’s YouTube channel at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most computers, mobile devices, or smartphones. A video recording of the meeting will be posted on YouTube and available for viewing after the meeting.

Attending on Zoom: Members of the public may attend the Zoom meeting on a computer, mobile device, or phone. The video conference link and teleconference number will be posted at <https://santafe.primegov.com/public/portal> at least seventy-two (72) hours before the meeting: <https://www.santafenm.gov/events>. The direct Zoom link is: <https://us02web.zoom.us/j/83138050511?pwd=UlhueHUwd2VLUG5JM1c4RURFZ1NKdz09> and use password: 349362.

Attending Zoom by Phone: Members of the public can attend the Zoom meeting by phone by dialing:

US: 1 346 248 7799 or 1 669 900 6833 or 1 253 215 8782 or 1 312 626 6799 or 1 929 205 6099 or 1 301 715 8592

Webinar ID: 831 3805 0511

Public Comment:

- By video: A person attending the Zoom meeting by using a computer, mobile device, or smart phone may provide public comment during the meeting. Attendees should use the “Raise Hand” function to be recognized by the chair to speak at the appropriate time.
- By phone: A person attending the Zoom meeting by phone may provide public comment during the meeting but **must** provide advance notice to City staff. Please



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contact Noah Berke (505-490-5930, nlberke@santafenm.gov) at least seventy-two (72) hours in advance of the meeting and provide your **full name, address, and the phone number** you will be using to call in to the teleconference. Without your phone number, the chair will not be able to recognize you to speak at the meeting.

- In writing: A person may submit written public comments in at least seventy-two (72) hours in advance of the meeting via the virtual comment “button” at <https://santafe.primegov.com/public/portal>.

A. ROLL CALL

B. PLEDGE OF ALLEGIANCE

C. APPROVAL OF AGENDA

D. ELECTION OF OFFICERS

1. Chair
2. Vice Chair
3. Secretary

E. APPROVAL OF MINUTES:

F. APPROVAL OF FINDINGS/CONCLUSIONS

G. OLD BUSINESS

H. NEW BUSINESS

1. **Case #2020-2924. Vista de La Sierra Final Subdivision Plat.** JenkinsGavin, Inc., Agent, for Branch Family Holdings, LLC, Owner, requests a final subdivision plat for a 393 single family residential lot subdivision. The property located at 3800 Governor Miles Road, is approximately 94.07 acres and is zoned R-5 (Residential-five dwelling units per acre). (Donna Wynant, AICP, Case Manager, djwynant@santafenm.gov, 955-6325).

I. STAFF COMMUNICATIONS



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J. MATTERS FROM THE COMMISSION

K. ADJOURNMENT

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.



Land Use Department Planning Commission Staff Report

Case No: 2020- 2924 – Final Sub Plat
Hearing Date: January 21, 2021
Applicant: JenkinsGavin, Inc.
Request: Final Subdivision
Location: SW corner of Governor Miles Rd.
& Richards Avenue
Case Mgr.: Donna Wynant, AICP
Zoning: R-5 (Residential, five dwelling
units per acre)
Overlay: None
Pre-app Mtg: Oct. 24, 2019 and Feb. 6, 2020
ENN Mtg: March 9, 2020
PC Hearing: Nov. 19, 2020 Prelim Sub Plat
Jan. 21, 2021 Final Sub Plat
Proposal: Final Subdivision Plat Request for
393 lots on approximately 94.07
acres



Case #2020-2924. Vista de La Sierra Final Subdivision Plat. JenkinsGavin, Inc., Agent, for Branch Family Holdings, LLC, Owner, requests a final subdivision plat for a 393 single family residential lot subdivision. The property located at 3800 Governor Miles Road, is approximately 94.07 acres and is zoned R-5 (Residential- five dwelling units per acre). (Donna Wynant, AICP, Case Manager, djwynant@santafenm.gov, 955-6325).

I. RECOMMENDATION:

Staff recommends **APPROVAL** of the final subdivision plat request (Case #2020-2924) with the conditions of approval and technical corrections listed in this report.

Two motions will be required in this case:

- *Approve or deny the final subdivision plat for Case 2020-2924 subject to the technical corrections recommended by staff.*
- *Approve or deny the Findings of Fact and Conclusions of Law for Case 2020-2924 as proposed in Exhibit A(2)*

II. CONDITIONS OF APPROVAL

Staff recommends the following conditions of approval for the Case #2020-2924:

#	Condition of Approval	Dept. or Division
1	Submit Homeowners Association Covenants for City Land Use and Legal review.	Land Use/Current Planning: Donna Wynant
2	The Developer shall construct a roundabout at the intersection of Calle de Alegria and Beckner Road. The roundabout shall be constructed as a single-lane roundabout designed in a manner so that it can be expanded to a multi-lane roundabout in the future.	Public Works/Traffic Engineering: John Romero (Per review of Prelim. Sub Plat) -
3	A revised TIA is required prior to Phase 3 or by the Summer of 2022*, whichever comes first. (Per Wilson Engineering). (As previously stated by John Romero, "the purpose of the revision is to include revised actual traffic counts in a hope to better account for typical traffic patterns post COVID, including school traffic.") *The applicant anticipates the start of home construction during the summer of 2022,	Wilson Engineering, consultant to the City of Santa Fe Public Works Dept.
4	An approved water plan from the Water Division will be required. Water plan comments will be submitted to the design engineer.	Public Utilities/Water Division Brian Snyder
5	No re-grading of site over existing 16-inch water main traversing site without adjusting grade of existing water main to have 4-feet cover.	Public Utilities/Water Division Brian Snyder
6	Provide at least 50 percent of required ponding outside of the existing arroyo. Serious concerns have been raised as to the possibility of the bulk of the drainage ponds being damaged in a large storm and possible flooding if another storm occurs before repairs are completed.	Land Use Dept/ Technical Review Division, Dee Beingessner
7	Add a note to the Plat (or Development Plan) and Grading/Drainage Plan, as to whether on-lot storm water ponding is required. It seems from the drainage report that some lots will require on-lot ponding. For lots where no on-lot ponding is required, place a note stating how much impervious surface can be created on each lot before on-lot ponding is required. Provide coherent table for these conditions.	Land Use Dept/ Technical Review Division, Dee Beingessner

#	Condition of Approval	Dept. or Division
8	Provide a plan that shows overall development with ponds labelled as 1-15. Also show pond volumes. Ponds must drain within 24 hours.	Land Use Dept/ Technical Review Division, Dee Beingessner
9	Buildable areas for platted parcels will be determined at the time of building permit application as detailed in the land development code, any buildable areas shown hereon are subject to relocation per code requirements.	Land Use Dept/ Technical Review Division, Dee Beingessner
10	Drainage Facilities Maintenance note shall be placed on the Plat or Development Plan (see attached) and provide HOA documents that include these maintenance requirements. Some elements of the note have been included on the preliminary plat and the permanent erosion control plan, but not all.	Land Use Dept/ Technical Review Division, Dee Beingessner

Should the Commission approve the final subdivision plat application, the Applicant will submit a final subdivision plat, with all conditions of approval and technical corrections incorporated, prior to recording or applying for construction permits.

III. EXECUTIVE SUMMARY

The Planning Commission conducted a public hearing on November 19, 2020 and approved both the preliminary subdivision plat with conditions of approval and the Findings of Fact and Conclusions of Law. The Preliminary Subdivision Plat application included a variance request to allow the second stories of homes to be 5 feet from the side property line instead of the required 10 foot setback. The Planning Commission found that the variance request did not meet the criteria and therefore **denied** the variance.

In response to concerns expressed by the Estancias de Las Soleras neighborhood to the south, the final plat reflects a twenty-foot landscape buffer along the south boundary west of the roundabout. In addition, the Applicant has reduced the number of lots in the ROW by two and restricting homes along the ROW to a single story.

Consideration of the final plat involves evaluation of conformity with the preliminary plat. The following sections of the report provide analysis by Land Use staff and other affected departments for consistency with the subdivision approval criteria, and concludes that the final plat conforms to the preliminary plat and will comply with applicable standards without any variances.

IV. BACKGROUND

The Branch Family Holdings, LLC requests final subdivision plat approval for a 393 residential lot

subdivision, to be developed in three phases. The 94.07 acre subject property is located at the southwest corner of Richards Ave. and Governor Miles Road and is zoned R-5. The property was annexed into the City and rezoned in 2007 to the R-5 zoning district. The project, previously known as “Beaty South”, was originally proposed as a 523-lot subdivision, with an overall density of 5.56 dwellings per acre, which included the Santa Fe Homes Program 15% density bonus. The Applicant now proposes two tracts at the northwest part of the site to be developed at a later time. The resulting 393 single family lot subdivision will be developed on the remaining 79.69 acres in three phases with a proposed density of 4.93 dwellings/per acre. In accordance with the Santa Fe Homes Program, 20% of the lots (79) will be developed with affordable homes.

Each lot will accommodate a single family residence meeting the dimensional standards for the R-5 zoning district including front, rear and side yard setbacks, maximum 24 foot height of structures, minimum number of two parking per lot, and will not exceed 40% lot coverage unless private open space is provided. The final subdivision plat meets approval criteria and does not create or increase any non-conformities with Chapter 14 and is compatible with residential subdivisions in the surrounding area.

V. EXISTING CONDITIONS

The overall site is 94.07 acres of vacant land is located south of Governor Miles Road and west of Richards Avenue. It is bounded by Nava Ade to the west, Beckner Road and Estancias de Los Soleras subdivision to the south and is across from Villa Sonata to the north. The land is fairly flat with slopes ranging from 0-20% as depicted on the *Slope Analysis Map* with some 30% slopes along an arroyo that traverses the northern part of the property. The property does not include any flood plain.



	Existing Development	Zoning
North	Single family residential (Villa Sonata subdivision)	R-5 (Residential-five dwelling units per acre)
West	Single family residential (Nava Ade subdivision)	PRC (Planned Residential Community)
South	Single family residential (Estancias de Los Soleras & vacant land south of Beckner Road)	R-12 (Residential-twelve dwelling units per acre), C-2 (General Commercial), and SC-2 (Planned Shopping Center District)
East	Single family residential (Mission Viejo subdivision, school & church)	R-5 (Residential- five dwelling units per acre)



The Applicant has recently requested to record both Phase 1 (128 lots) and Phase 2 (143 lots) after which they then will submit a revised TIA prior to the recording of Phase 3 (122 lots). This approach will enable them to move more quickly towards the completion of the infrastructure for the first two phases (271 lots). However, as the Applicant states, homes will not be built until the summer of 2022.



VI. PROJECT DESCRIPTION AND ANALYSIS

The following table summarizes information about the proposed Subdivision:

Zoning	R-5 (Residential – five dwelling units per acre)
Total Units	393 units at a density of 4.93 dwellings/per acre. In accordance with Santa Fe Homes Program, 20% of the lots (79) will be developed with affordable homes. 79.69 acres
Affordable Units	79 affordable units (20% of the 393 lots)
Gross Density	4.9 units/acre (393 units/79.69 acres)
Average Lot Size	Lots will range in size from 4,200 sq. ft. to 5,500 sq. ft
Street Setback	15' or 20' for front facing garages
Side Setback	5' from side property line for the first floor and 10' for the second story.

Rear Setback	15' or 20% average lot depth
Maximum Height	24' max
Required parking per parcel	2 off street spaces
Extra street parking	.5 spaces x 393 lots = 196.5 spaces required for on-street guest parking.

Access and Traffic

The project will be accessed via new full access roadway connections to Governor Miles Road and Beckner Road. In addition, Phase 1 will connect to Viento del Norte, an existing stub street in Estancias de Las Soleras and Phase 2 will connect to Whispering Wing, an existing stub street in Nava Adé. A roundabout will be constructed at the Beckner Road access in Phase 1 and Beckner Road will be urbanized east to Richards Avenue. The Governor Miles access will be constructed in Phase 3. Since two access points are required for more than thirty lots, a secondary 20-foot emergency-only access drive will be constructed as part of Phase 1 where Estrella Noche terminates at Richards Ave. just north of the Beckner Road intersection. Similarly, the lots north of the arroyo in Phase 3 will be served with an emergency-only drive connecting the cul-de-sac to Richards Ave. The access points will be gated and equipped with Opticom strobes.

The subdivision roads will be built to sub-collector standards within a 50-foot right-of-way with parking on one side of the street. Per the requirements of SFCC Table 14-8.6-1: Parking and Loading Requirements, a minimum of two off-street parking spaces will be provided for each dwelling unit.

A Traffic Impact Study was conducted by Terry Brown, P.E. (dated October 19, 2020) with recommendations for implementation according to the following which were laid out in the Preliminary Subdivision staff report.

- Phase 1
- Full Buildout (2034 Horizon Year)
- Ultra-Horizon Year (2040)

A condition of the Preliminary Plat approval was the submission of an updated, post-COVID traffic study prior to commencing with Phase 2. The Applicant is now asking to complete Phase 1 and 2 together after which a revised TIA will be conducted prior to Phase 3 to more accurately reflect traffic in the area, post COVID conditions. The roundabout at Beckner Road and Calle de Alegria will be constructed during the first two phases. Also, a temporary traffic signal is planned for the Richards Avenue/Beckner Road intersection, which was an off-site requirement of a multi-family complex planned for construction east of the Outlet Mall (the Villa Sendero apartments).

Terrain Management

The property slopes from the southeast to the northwest with an overall grade change of approximately 55 feet. An arroyo traverses the northern part of the property flowing from east to west. The development will control storm water runoff using a series of onsite storm water retention ponds designed to collect, detain and release storm water runoff at pre-developed flow rates. Drainage structures will be constructed to release storm water into the arroyo in a stable manner. Other drainage

structures will be constructed to address existing erosion and slope stability issues and to stabilize the arroyo. Existing storm drains that discharge to the property that are causing erosion will also be addressed, such as the crossing structure of Richards Avenue. Currently some adjacent areas are subject to flooding either by upstream basins or by the arroyo itself. The proposed improvements will intercept and redirect these flows and provide the necessary drainageway protection.

The Applicant has indicated that the proposed improvements include extending bank protection and stabilization (which includes gabions) to at least the boundary of Nava Ade. The proposed improvements will not increase flow rate (cubic ft. per second) or increase flow velocity (ft per second) or increase scour potential. The added protection will better contain the arroyo from leaving the arroyo banks and potentially flooding and damaging Nava Ade, but does not infringe on the arroyo flow area directly. The proposed improvements will provide added protection to Nava Ade that is not there today.

The City Engineer requires buildable areas for platted parcels to be determined at the time of building permit application as detailed in Chapter 14. Also, a Drainage Facilities Maintenance note is required on the Subdivision Plat and included in the HOA documents.

The following additional measures are also required to control for dust:

- Provide base course or other stabilizer for staging areas and parking areas.
- Provide at least two water trucks onsite for dust control whenever grading, moving, disturbing dirt, or conducting any other construction activity that could create dust.
- Tackifier shall be used on all graded (or cleared/grubbed) areas where construction activities will not occur within 30 days.
- No construction vehicles for VdIS be permitted to use Nava Adé streets

Water, Sewer and Dry Utilities

The Project will be served by City water, sewer and dry utilities. There is an existing water main on the property adjacent to the overhead utility easement. New 8" and 10" public waterlines will be constructed in the roadways connected to this line, as well as existing off-site water mains at the following locations: Governor Miles Road (two locations), Beckner Road, Richards Avenue (two locations), and Whispering Wing. New 8" public sewer lines will be constructed in the roadways, which will connect to the public trunk line adjacent to the arroyo. In addition, sewer connections are proposed at Viento del Norte and an existing line in Nava Ade.

Water Budget

The water budget is calculated based on the three phases of development and is included in the Applicant's materials (See Exhibit E: Applicant Materials)

Fire Protection

Where the number of dwelling units exceeds 30 in any given single family residential subdivision, the Fire Marshal requires separate and approved fire apparatus access roads that meet the requirements of Section D104.3 of the Fire Code. The subdivision is therefore designed with an emergency access to Richards Avenue at two points; at the east end of Cielo Hermosa where it ends in a cul-de-sac and where Estrella Noche terminates at Richards Avenue just north of the Beckner Road intersection.

These emergency access connections will be gated and equipped with Opticom strobes.

Landscape, Open Space and Trails

Street trees will be provided along the roadways and the open space, parks, and detention ponds will be landscaped in accordance with Code requirements. All disturbed areas will be reseeded with a native grass seed mix.

In accordance with §14-8.15(C), parks and open space are being provided as outlined below:

<u>Open Space</u>	Required:	0.024 acres/dwelling unit or 9.43 acres
	Provided:	13.88 acres

<u>Parks</u>	Required:	0.006 acres/dwelling unit or 2.36 acres
	Provided:	2.97 acres

The park areas include a passive recreational area and an active play area, which are accessible via the trail network within the open space. Asphalt trails will be constructed within 20' public trail easements with two connection points to the existing Nava Adé trail network at each end of Autumn Leaf Lane.

Lighting and Signage

The location of street lights are shown on the Striping, Signage and Dry Utility Plan sheets, however, additional detail are required on the luminaires and photometric data. The Applicant is required to show the street lights and hydrants on the landscape plan.

Two monument signs were shown on the preliminary plat; one at the Beckner/Calle de la Alegria entrance and one at the Governor Miles/Calle de la Paz entrance, but not shown on the final plat. The development is allowed a permanent identification sign, not to exceed 32 square feet and is allowed a second sign at the second main entrance into the development. Signage at these two entrances will be evaluated at the time of permit application.

Schools

The Santa Fe Public Schools Board of Education, at their January 7, 2021 voted to conditionally accept the proposed donated 3.14 acres located in the southwest corner of the site, as shown in Phase 2 of the property, subject to a signed resolution and agreement from the Board of Education. (See Exhibit B: Santa Fe Public Schools- acceptance of land donation.)

Santa Fe HOMES Program

In accordance with the provisions of the Santa Fe Homes Program ("SFHP"), the Project will provide 79 affordable homes (20% of the lot total). (See Exhibit E: SFHP Proposal)

Homeowners Association and Private Covenants

Homeowners Association (HOA) assessments will pay for community expenses for maintaining common areas such as the retention pond, drainage facilities, and park areas. The applicant will

provide the Homeowners Association (HOA) documents prior to recordation.

VII. FINAL SUBDIVISION PLAT

Subsection 14-3.7 governs the authority, procedures and restrictions for the division of land. The criteria for approval of a subdivision plat are detailed below:

<p>Criterion 1: In all subdivisions, due regard shall be shown for all natural features such as vegetation, water courses, historical sites and structures, and similar community assets that, if preserved, will add attractiveness and value to the area or to Santa Fe.</p>	<p>Criterion Met: (Yes/No/N/A) YES</p>
<p>The property is located in the Suburban Archaeological District and an Archaeological Clearance Permit was issued as part of the Las Soleras project. Subsequently, a Clearance Permit was issued by the City on March 5, 2020 (See Exhibit E-2) for a previously un-surveyed 4 acre portion.</p> <p>The Project shows due regard for natural features and enhancement of community assets through the provision of parks, open space, and public trail improvements. In addition, bank stabilization and erosion mitigation measures are being constructed along the arroyo to address potential flood hazards for downstream properties.</p>	
<p>Criterion 2: The planning commission shall give due regard to the opinions of public agencies and shall not approve the plat if it determines that in the best interest of the public health, safety or welfare the land is not suitable for platting and development purposes of the kind proposed. Land subject to flooding and land deemed to be topographically unsuited for building, or for other reasons uninhabitable, shall not be platted for residential occupancy, nor for other uses that may increase danger to health, safety or welfare or aggravate erosion or flood hazard. Such land shall be set aside within the plat for uses that will not be endangered by periodic or occasional inundation or produce unsatisfactory living conditions. See also Section 14-5.9 (Ecological Resource Protection Overlay District) and Section 14-8.3 (Flood Regulations).</p>	<p>Criterion Met: (Yes/No/N/A) YES</p>
<p>A minor arroyo crosses the property, bisecting the property into north and south usable parcels. The overall site is gently sloped and suitable for development.</p>	
<p>Criterion 3: All plats shall comply with the standards of Chapter 14, Article 9 (Infrastructure Design, Improvements and Dedication Standards).</p>	<p>Criterion Met: (Yes/No/N/A) YES</p>
<p>The Subdivision Plat complies with the standards of Chapter 14, Article 9.</p>	
<p>Criterion 4: A plat shall not be approved that creates nonconformity or increases the extent or degree of an existing nonconformity with the provisions of Chapter 14 unless a variance is approved concurrently with the plat.</p>	<p>Criterion Met: (Yes/No/N/A) YES</p>

The property contains no existing nonconformities. Nonconformities are not being created with this subdivision plat.	
Criterion 5: A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with applicable provisions of other chapters of the Santa Fe City Code unless an exception is approved pursuant to the procedures provided in that chapter prior to approval of the plat.	Criterion Met: (Yes/No/N/A) YES
The property contains no existing nonconformities. Nonconformities are not being created with this subdivision plat.	

XIII. Early Neighborhood Notification

A final subdivision plat request does not require an ENN. However, an Early Neighborhood Notification meeting was held on March 9, 2020 for the preliminary subdivision plat request and subsequent meetings were held with HOA representatives and residents from Nava Adé and Estancias de Las Soleras. In recent discussions regarding dust from grading, the Applicant agreed to put together a schedule as to how they would ensure that grading would be accompanied by a sufficient number of water trucks to control for dust. They also confirmed that base course or other stabilizer for staging areas and parking areas would be in place and that tackifier would be used on all graded areas where construction activities will not occur within 30 days. The Applicant also stated that no construction vehicles for Vista de la Sierra would be permitted to use Nava Adé and Estancias de las Soleras streets.

Other concerns were raised regarding the required HOA for Vista de la Sierra as to all the necessary activities to inspect, maintain and repair the storm water management features for which they would be responsible. (See Exhibit D: Early Neighborhood Notification materials)

IX. EXPIRATION

Approval of a final subdivision plat shall expire three years after final action and adoption of the Findings of Fact and Conclusions of Law. Therefore, if approved, the final subdivision plat will expire on January 21, 2024.

ATTACHMENTS

EXHIBIT A:

1. Technical Corrections
2. Draft Findings of Fact/Conclusions of Law
3. Planning Commission minutes- November 19, 2020

EXHIBIT B: Development Review Team Memoranda

1. Technical Review Memorandum, Dee Beingessner, P.E.
2. Water Engineering Division Memorandum, Brian Snyder

3. Landscape Memorandum, Lawrence Rivera
4. ADA - Site Review, Jason Kluck
5. Santa Fe Public Schools-
Email regarding acceptance of the donation of land

EXHIBIT C: Maps and Photos

1. Future Land Use Map
2. Current Zoning Map
3. Aerial Map
4. Google Street Views

EXHIBIT D: Communications to and from Neighbors of the Development Site

1. Letter to Richard Lange regarding the HOA from Jennifer Jenkins- January 5, 2021
2. Communication from NAHOA- "Issues and Requests Regarding
the Final Plat Approval for Vista de la Sierra Subdivision Plan"- January 2021

EXHIBIT E: Applicant Materials

1. Letter of Application
2. Final Subdivision Plat Application
3. Conceptual Landscape Plan
4. Percolation Tests
5. Water Budget
6. Final Subdivision Plans
(Full Plan Set in Planning Commissioners Binder or as a separate pdf)

APPROVED BY:

Title	Name	Initials
Land Use Department Director	Elias Isaacson, AICP	ESI
Land Use Planner Manager	Noah Berke, AICP, CFM	NLB
Land Use Department Case Manager	Donna Wynant, AICP	<i>DJW</i>

3. Landscape Memorandum, Lawrence Rivera
4. ADA - Site Review, Jason Kluck
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City of Santa Fe, New Mexico

Planning Commission

Exhibit A

- Technical Corrections
- Draft Findings of Fact/Conclusions of Law
- Planning Commission minutes- November 19, 2020

TECHNICAL CORRECTIONS

Vista de la Sierra Final Subdivision Plat

Staff recommends the following technical corrections for Case #2020-2924

#	Technical Corrections	Dept. or Division
1	Additional comments have been made on the plans and will be sent to the developer for inclusion	Land Use/ Terrain Management- Dee Beingsner
2	Dust Control Note Shall be placed on the Plat or Development Plan (see attached). Additional dust control requirements have been provided and must be included.	Land Use/ Terrain Management- Dee Beingsner
3	Gunnison's Prairie dog note shall be placed on the Plat or Development Plan (see attached)	Land Use/ Terrain Management- Dee Beingsner
4	This development shall comply with the most current requirements of the American with Disabilities Act (ADA) for all infrastructure improvements. Place a note on the Plat to reflect this condition.	Land Use/ Terrain Management- Dee Beingsner
5	Other comments will be provided on Plans at the time of the building permit and changes may be required during permitting process	Land Use/ Terrain Management- Dee Beingsner
6	Check Utility easements on Plat and ensure they don't conflict with development.	Land Use/ Terrain Management- Dee Beingsner
7	In accordance with Article 14-8.4(F)(2)(e), "stormwater detention ponds and retention ponds shall be planted...with a minimum of one tree and three shrubs per 500 SF of required ponding area."	Land Use/ Terrain Management- Dee Beingsner
8	Include a pond measurement post in all ponds to determine depth of water and sediment for maintenance. See attached example	Land Use/ Terrain Management- Dee Beingsner
9	See the Terrain Management Review Memo in Exhibit B of this Staff Report for additional requirements: <ul style="list-style-type: none">• Drainage facilities maintenance note.• Gunnison's Prairie Dot Note• Dust Control Note	Land Use/ Terrain Management- Dee Beingsner
10	The storm water agreement references a different homeowners association. The drainage maintenance note is incomplete.	Land Use/ Terrain Management- Dee Beingsner

11	See additional redline comments as required for Phase 1 of this development in Exhibit B of this Staff Report.	Land Use/ Terrain Management- Charlie Gonzales
12	COSF Code 3.19.1 requires landscape irrigation plans for large projects not to exceed 20 scale, 1 inch equals 20 feet.	Terrain Mgt.- Landscape/ Irrigation Review- Lawrence Rivera
13	Calculate pop-up and rotor zones for gpm and pipe sizing.	Terrain Mgt.- Landscape/ Irrigation Review
14	Include in all valve manifolds schedule 80 PVC unions downstream of each control valve for easy removal and repair, per COSF Irrigation Design Standards.	Terrain Mgt.- Landscape/ Irrigation Review
15	Temporary irrigation system shall have head to head and triangulated coverage in all areas, revise note on plans.	Terrain Mgt.- Landscape/ Irrigation Review
16	Irrigation system shall be zoned by levels of water use. COSF code 14-8.4(E)(4)(h) Tree zones, shrub zones, and native plants zones.	Terrain Mgt.- Landscape/ Irrigation Review
17	Heat tape is required, please list in backflow detail.	Terrain Mgt.- Landscape/ Irrigation Review
18	Please show light standards and fire hydrants on the landscape plan. Street trees shall be located at least fifteen (15) feet from fire hydrants and light standards.	Terrain Mgt.- Landscape/ Irrigation Review
19	Provide irrigation to all revegetation native seed areas. (Per COSF Code 14-8.2 D(5)(c) Test soil: Contractor shall have seeded areas soil tested for nutrient deficiencies and amend soil according to testing lab recommendations. Seeded areas shall be graded two inches (2") below top of concrete curbs and sidewalks.	Terrain Mgt.- Landscape/ Irrigation Review
20	Turf grass sod or turf grass seed mixes installed within the city limits shall contain no more than twenty-five percent Kentucky Bluegrass.	Terrain Mgt.- Landscape/ Irrigation Review
21	Stormwater Ponding: A water level measuring device with zero set at finish grade located at	Terrain Mgt.- Landscape/

	the center of each pond is required. Storm water storage ponds are not to exceed 1 foot in depth without a verification that storm water will drain within 24 hrs. A percolation test is required for each pond. A security fence around ponds three feet and deeper with a maintenance gate is required.	Irrigation Review
22	Provide significant tree information on the landscape plan.	Terrain Mgt.- Landscape/ Irrigation Review
23	12. Provide an outdoor lighting plan in accordance with COSF code 14-8.9	Terrain Mgt.- Landscape/ Irrigation Review
24	No match lines provided on overall grading plans and unidentified overlap of individual grading plans make plan review effort very tedious.	ADA Review Jason Kluck
25	Hardscape infrastructure feature line work missing on grading and roadway plans. Curb ramps missing at many intersections. Sidewalk design inconclusive due to missing line work. Sidewalks and pedestrians paths shall not lead to unmarked road crossing. Curb ramps drawn without sidewalk connection.	ADA Review Jason Kluck
26	Dead end sidewalks within the subdivision shown with no provision for continuous accessible connection indicating "Accessible route Ends Ahead" or "No Accessible Route" and provide detour at temporary accessible routes.) PROW connections, temporary cul-de-sacs, hammer heads, temporary and permanent dead ends and paved roads leading to construction and emergency access roads shall be surrounded by continuous sidewalk, or another accessible connection method shall be provided to ensure continuity of interim and final accessible routes.	ADA Review Jason Kluck
27	No identifiable curb ramp types indicated on off-site road way development plans.	ADA Review Jason Kluck
28	Drawings lack clear grade notation at sidewalks and other accessible features, and spot elevations at curb ramps, gutters, etc. accessible slopes.	ADA Review Jason Kluck
29	Insufficient details on plans, such as detectable warning strip locations and curb ramp types.	ADA Review Jason Kluck

30	See additional code provisions or other requirements that will apply to future phases of development of this project in the attached memo by Jason Kluck regarding ADA site review for: On-site general ADA site compliance requirements; and Off-site PROW ADA site compliance requirements as applicable.	ADA Review Jason Kluck
31	See mark-up on plan sheets for Water Division comments from Robert Jorgensen	Public Utilities/Water Division
32	Applicant shall comply with all Technical Corrections from the Preliminary Subdivision review.	Land Use/Current Planning Donna Wynant

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2020-2924

Vista de la Sierra Final Subdivision Plat

Owner's/Applicant's Name - Branch Family Holdings, LLC
Agent's Name - JenkinsGavin, Inc.

THIS MATTER came before the Planning Commission (Commission) for hearing on January 21, 2021 upon the application (Application) of JenkinsGavin, Inc., as agent for owners Branch Family Holdings, LLC (Applicant).

The Application pertains to a vacant parcel located at 3800 Governor Miles, totaling approximately 94.07 acres. As part of this subdivision plat, two remainder tracts will be created at the northwest portion of the site to be developed at a later time. The Applicant requests final subdivision approval for 393 residential lots (Project) on the remaining 79.69 acres. The property is zoned R-5 (Residential- five dwelling units per acre).

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

General

1. At the hearing, the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public.
2. The Santa Fe City Code (SFCC) Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC Section 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC Section 14-3.1(F)(2)(a)(iii)&(iv)]; and (c) compliance with notice and public hearing requirements [SFCC Section 14-3.1(H)-(I)].
3. A pre-application conference was held on October 24, 2019 in accordance with SFCC Section 14-3.1(E).
4. Pursuant to SFCC Section 14-3.1(H), notice of the ENN meeting was properly given.
5. Pursuant to SFCC Section 14-3.1(F), the ENN meeting was held on March 9, 2020 at the South Side Public Library, 6599 Jaguar Drive, Santa Fe, New Mexico 87507. The ENN meeting was attended by four representatives of the Applicant, one City staff member, and approximately 33 members of the public. Members of the public raised questions about traffic, access to existing neighborhood streets, density, arroyo/flooding concerns, view impact, etc.

6. Pursuant to SFCC Section 14-2.3(C)(3), the Commission has the authority to review and approve or disapprove a request for variance that is part of a subdivision requiring Commission approval.
7. City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.

Final Subdivision Plat; Case #2020-2924

8. Pursuant to SFCC Sections 14-2.3(C)(1) and 14-3.7(B)(3)(d), the Commission has the authority to review and approve or disapprove preliminary subdivision plats.
9. SFCC Section 14-3.7(B) establishes certain procedures for final subdivision plat approval including, without limitation, a public hearing by the Commission, review of the final plat, and a decision based on the criteria set out in SFCC Section 14-3.7(C).
10. SFCC Section 14-3.7(B)(3)(b) requires the Applicant to submit a final plat prepared by a professional land surveyor, together with improvement plans and other specified supplementary material that demonstrates conformance with the standards of SFCC Section 14-9 (Submittal Requirements).
11. SFCC Section 14-3.7(C) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before approving a final subdivision.
12. Pursuant to SFCC Section 14-3.7(C)(1), the Commission finds that due regard has been shown for all natural features and enhancement of community assets through the provision of parks, open space, and public trail improvements. The Project also preserves waterways throughout the site and addresses potential flood hazards for downstream properties with bank stabilization and erosion mitigation measures along the arroyo.
13. Pursuant to SFCC Section 14-3.7(C)(2), the Commission finds that the land is suitable for platting and development purposes of the kind proposed. The subject parcel does not lie within a flood zone.
14. Pursuant to SFCC Section 14-3.7(C)(3), the Commission finds that the plat complies with the infrastructure design, improvement, and dedication standards set forth in SFCC Section 14-9.
15. Pursuant to SFCC Section 14-3.7(C)(4)-(5), the Commission finds that no existing nonconformities would be increased by approval of this subdivision, and that no nonconformities would be created by the approval of this subdivision. The Applicant is requesting a variance with this proposal.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

Vista de la Sierra Final Subdivision Plat

1. Pursuant to SFCC Section 14-3.1, all procedures regarding the pre-application conference, ENN meeting, notice, and public hearing requirements have been followed.

Final Subdivision

2. The Commission has the authority to review and approve the final subdivision plat subject to conditions.
3. The Applicant met the applicable Submittal Requirements.
4. The final subdivision plat should be approved, subject to the Conditions and technical corrections set forth in the Staff Report and exhibits, because all applicable code requirements and criteria for final subdivision plat approval have been met.

WHEREFORE, IT IS ORDERED ON THE 19th DAY OF NOVEMBER, 2020 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission approves the final subdivision plat as requested in Case #2020-2924 subject to the Conditions and the technical corrections set forth in the Staff Report and attached exhibits. The final subdivision plat shall expire three years after issuance of this final action unless an extension is granted or a final subdivision plat is approved pursuant to SFCC Section 14-3.19.

Mark Hogan
Acting Chairperson


January 21, 2021
Date

FILED:

~~Yolanda Y. Vigil~~
City Clerk

Date

APPROVED AS TO FORM:


Sally A. Paez
Assistant City Attorney

January 21, 2021
Date

~~MOTION: In Case #2020-2640, 4193 A and B Fairly Road & 6450 Camino Rojo Preliminary Subdivision, Commissioner Sategna moved to approve subject to conditions of approval and technical corrections recommended by staff; and to approve the Findings of Fact and Conclusions of Law as shown in Exhibit B. Both the motion to approve and the Findings of Fact and Conclusions of Law were seconded by Commissioner Clow.~~

~~VOTE: The motion passed by unanimous roll call vote with Commissioners Clow, Faulkner, Garcia, Gutierrez, Hogan, Lawrence and Sategna voting in favor and none voting against.~~

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3. **Case #2020-2642. Vista de La Sierra Preliminary Subdivision Plat.** JenkinsGavin, Inc., Agent, for Branch Family Holdings, LLC, Owner, requests a preliminary subdivision plat for a 393 single family residential lot subdivision. The property located at 3800 Governor Miles Road, is approximately 79.69 acres and is zoned R-5 (Residential-five dwelling units per acre). (Donna Wynant, AICP, Case Manager, djwynant@santafenm.gov , 955-6325).
 4. **Case #2020-2720. Vista de La Sierra Preliminary Subdivision Setback Variance.** JenkinsGavin, Inc., Agent, for Branch Family Holdings, LLC, Owner, requests a variance from SFCC Table 14-7.2-1 (Note 6), which requires an additional 5-foot side yard setback for any portion of a structure over 14 feet in height. The property located at 3800 Governor Miles Road, is approximately 79.69 acres and is zoned R-5 (Residential-five dwelling units per acre). (Donna Wynant, AICP, Case Manager, djwynant@santafenm.gov , 955-6325).

Commissioner Sategna recused himself from the two cases regarding Vista de La Sierra.

Mr. Berke noted that he received late correspondence on this case from the partners in the Las Soleras Subdivision Master Planning as well as a response from the applicant on the proposed roundabout. The Las Soleras partners suggested conditions of approval be considered on their behalf. Staff reviewed the correspondence and submitted it to the Commission for their review. The applicant provided responses to the request. ***The referenced correspondence is attached as Exhibits "1", "2" and "3".***

Mr. Berke said staff's position is that the Commission decide whether to add or disregard the conditions. John Romero was the traffic engineer at the time. Mr. Romero reviewed all traffic and provided conditions of approval and technical corrections and evaluated the location proposed tonight. Staff takes no stand other than to recommend what is in the staff report.

Chair Hiatt confirmed that all of the documents sent in late would be included in the minutes. ***The referenced correspondence is attached as Exhibits "1", "2" and "3".***

Staff Report

Donna Wynant presented a brief review of her report. Staff recommends approval of the preliminary subdivision plat request with the conditions of approval and technical corrections as listed in the report. Staff recommends denial of the setback variance request.

The motions are included in the packet and are to approve/deny the preliminary subdivision plat; approve or deny the variance; approve or deny the Findings of Fact and Conclusions of Law for the subdivision plat; and approve/deny the Findings of Fact for the variance request.

She noted nine conditions of approval are included the report. She pointed out there are about 14.38 acres not part of the subdivision because of vacant land in the northwest and southwest corners of the site. There are no plans to develop the northern and southwest portion of vacant land. The land will be dedicated to Santa Fe Public Schools per the 2007 annexation agreement. There was a master plan but that expired and there is no absolute adherence to a master plan. The density is much less than originally proposed.

The report shows subdivision criteria has been met and that five of the six variance criteria have *not* been met. That would have allowed the houses with second stories to be setback an additional 5 feet as required.

Ms. Wynant said some criteria from the annexation agreement has been met. There are adequate connections into the development and full access from Beckner. The roundabout mentioned by Mr. Berke is planned in the first phase of three phases planned for the development. A major primary entrance is from Governor Miles with several connections to adjacent neighborhoods, and two emergency only access points onto Richards Avenue.

Applicant's Presentation

Jennifer Jenkins, previously sworn, represented the applicant. She provided a presentation showing the surrounding areas. The parcel is about 96-acres and the northwest corner of the site is not part of the request. The surrounding zoning and the existing utilities were reviewed. The property is part of the South annexation of 2009 and at that time was rezoned R5. The master plan contemplated 523 lots and 393 lots are proposed on slightly less than 80 acres at density of 4.93 per acre. In accordance with

Santa Fe Home's program, 20% of the homes will be affordable and there will be parks and open space. The homeowner's associations are now asked by the City to maintain ownerships of their parks and open space because of lack of staff, rather than dedicate them. There is just under three acres of improved parks.

Code requires a structure's side yard be set back 5 feet and a two-story structure set back an additional 5 feet. That results in increased construction costs passed on to the home buyer. The variance will eliminate that requirement and the applicant will pass savings on to the homeowner. The homeowner will get more square feet of usable space in their home. The intent of the neighborhood is moderately priced homes in addition to 20% affordable housing, and underserved segment of the market desperately needed. Over the years the variance has been granted a lot for good reason; it meets a certain price point and segment of the market. She respectfully requested the Commission's consideration for the variance.

Ms. Jenkins reviewed the site plan stating they would urbanize with curb and gutter and proper turn lanes. The apartment community further west will construct a traffic signal as part of their project. The agreed-upon school site will be created in phase I and deeded to the public schools. Access sites and connections to neighborhood streets were reviewed. There will be a direct connection aligned with Entrada Sonata to create a four-way intersection.

There will be two emergency only access points on Richards Avenue and the 20-foot drivable surface will look like a trail and be gated. The second connection will not be permanent but could be if desired. Connections along the arroyo were shown. Two parks will be provided, one with play structures, and will connect to the trail network. A trail will be constructed along Beckner Road mirroring the trail through Las Soleras. The arroyo will be treated like a park with erosion control improvements, stormwater capture, stormwater and irrigated vegetation.

The phased plans were shown; phase 1 will be the center of the project (128 lots) and phase 2 (143 lots) to the east and west with phase 3 (122 lots) to the north and the land adjacent to Governor Miles Road. The traffic study worked closely with John Romero and used the MPO (Metropolitan Planning Organization) regional transportation model. A condition of approval was to update the traffic study and counts. Nine adjacent intersections were analyzed, and all will operate at acceptable level of service, C, projected through 2040 and will continue to be acceptable to 2034. At that time mitigation factors such as widening Richards Avenue to four lanes will bring service back to a C level. The City has the right-of-way dedications to widen Richards and the applicant is paying impact fees. A roundabout will be constructed by the applicant at the access road with level of service A. Proposed improvements for Beckner Road were reviewed.

Ms. Jenkins noted that they met with Las Soleras in March who were not at the ENN and contacted Las Soleras again on July 9th to discuss the design. The roundabout

is a fully engineered design working closely with John Romero. A week ago, Las Soleras asked the applicant to move the roundabout because it does not comport with the Las Soleras Master Plan.

Ms. Jenkins said she would respectfully request moving forward with the design as it has been approved.

Nava Ade is interested in how the project will impact the arroyo since the flooding. None of the improvements will increase velocity or flow negatively impacting Nava Ade. The applicant will expand the bank protection beyond their property into the open space and stabilize the arroyo bank to address erosion. The applicant has had a number of conversations with the Nava Ade HOA and Richards and will expand their efforts to address the drainage and arroyo. The applicant also worked closely with Dee Beeingessner, the watershed group and Public Works on the plan. They will continue refinements moving toward the final plat. Ms. Jenkins noted the engineer was present to speak directly to any questions.

An ENN was held and follow up meetings were held with Nava Ade and Estancias and Las Soleras. Estancias requested a landscape buffer from their lots into the project lots. Originally the applicant proposed a buffer of 10 feet and after looking at the area, realized they could offer a buffer of 20 feet. Estancia additionally requested all of the homes be single-story and density be reduced; that lots along that boundary not be in phase I; that construction traffic not utilize their neighborhood; and that the road will not be opened until the infrastructure that the road will connect to is completed. The applicant has agreed to all of those requests as well as to comply with dust control requirements and having contacts on site designated for any neighborhood concerns.

Public Hearing

Mary Rankovich, 4150 Raindance Ln., was sworn in. She spoke as the Nava Ade Board Liaison and member of the Vista de La Sierra task force. She addressed the issue of the Traffic Impact Analysis (TIA). She was pleased that John Romero had requested a TIA post-COVID before Phase 2 implementation. The task force believes, given their 14-year issue with gridlock on Dancing Ground pre-COVID, that the revised TIA will show a worsening of the problem due to Vista de La Sierra traffic cutting through Nava Ade and an the increase of traffic on Governor Miles, especially during peak school hour traffic. It will likely result in another roundabout at the intersection of Dancing Ground and Governor Miles. They request as a condition of approval, upon completion of the revised TIA post-COVID, it be followed by a Planning Commission hearing. The neighborhood should be notified and receive a copy in advance of the submission.

Joe Jones, 4149 Soaring Eagle Ln., was sworn in. Mr. Jones spoke on behalf of Nava Ade Homeowner's Association regarding arroyo flooding and drainage. City staff considers the flash flood in 2018 that caused substantial damage to Nava Ade to be more

than a 100-year event. Nava Ade is requesting the plans for the Vista de La Sierra arroyo improvements and drainage ponds be additionally engineered for worst-case scenario and data. They additionally request that the responsibility for the arroyo and pond improvements be evaluated with the following considerations: 1) the ponds bordering Vista de La Sierra's arroyos not be the responsibility of the subdivision; 2) that there is proper and substantial maintenance to control stormwater runoff to prevent damage of the drainage ponds that border the arroyo affecting Nava Ade; 3) failure to adequately maintain arroyo improvements and stabilization, such as by an inadequately run HOA, could result in flood damage to Nava Ade homes and therefore asked for a condition of approval that the arroyo and drainage ponds bordering the arroyo improvements be dedicated to and maintained by the City.

George Baker, 4448 Autumn Leaf lane, was sworn in. Mr. Baker spoke on behalf of the Nava Ade HOA regarding dust mitigation. The HOA is pleased about the staff recommendations on mitigation regarding phased grading. The probability of dust and silt is a foregone conclusion if protocols are not adhered to and is well documented in a 2017 records of a Public Commission hearing. The HOA asked that the Commission address blowing dust as a condition of approval utilizing the 2017 Land Use staff recommendation to the Planning Commission in the Ross's Peak Development. He read into record the condition, *"Construction involving the movement of dirt shall stop at the wind speeds of 25 mph as a result of excess dust leading into the neighborhoods."*

Becky Stamm, 4136 Soaring Eagle Lane, was sworn in. She spoke on behalf of Nava Ade on parks and trails. Their concern is that the split park plan is insufficient to meet the needs of the subdivision's residents. The two locations create safety concerns for the subdivision with one portion between two stormwater drainage ponds, while the other is next to power lines. Most of the usable space, other than the arroyo, is beneath power lines or composed of drainage ponds. That makes them uninviting and unsuitable. More concerning is collectively the three surrounding subdivisions have two improved parks for the extended community to use which taxes their use. They therefore ask for a 2.97-acre park as a condition of approval, none of which is under a power line. They are pleased the developer proposed trail extensions into Nava Ade that will follow the established trail and walking path.

Kathleen N. Reyes, 4421 Autumn Leaf Ln., was sworn in. She spoke about the Monte del Sol on behalf of the Nava Ade Homeowners Association regarding the flooding. In 2018 storm waters from Monte del Sol's parking lot ran into Nava Ade. That contributed to the failure of their drainage easement and caused streets and yards to flood. The HOA believed the problem is the school's inadequate drainage design and/or adjacent structures had blocked the path to the drainage pond. The Board of Directors has asked the school to respond in hopes of resolving the problem but have received no response. They asked the City for help and understand it is not the City's problem. The HOA requests a condition of approval that the developer remediate the improper drainage intersecting the school, Nava Ade, and the developer's property in view of the provision

of Vista de La Sierra to give the school 3.2 acres. After any required remediation, they request Monte del Sol be responsible for proper drainage now and in the future.

Richard Lange, 4401 Autumn Leaf Lane, was sworn in. He noted he was having a bad connection. He said as chair of the committee for Vista de La Sierra he was the last to speak on the Nava Ade HOA issues on the project. He reiterated the importance of post COVID peak hour school TIA prior to developing phase 2, followed by a Planning Commission hearing. He explained traffic on Dancing Ground was severe enough that John Romero recommended and designed a roundabout at the intersection of Dancing Ground and Governor Miles intersection. Post COVID data and length of gridlock will better inform the City about the TIA.

John Rizzo, 37 Plaza del Centro, was sworn in. He is a partner in the New Mexico Innovation Triangle, LLC, the owner of the Santa Fe Innovation Village, LLC. He thought the project looked exciting. He is calling in regard to the location of the roundabout, which is at the front door to the project. He said they were notified about a month ago about the location. They purchased 140 acres between the Presbyterian Hospital and Tract 17 adjacent to where the roundabout will be placed. They have master plans, and their architecture is underway. They request the roundabout be placed in the original location specified on the master plan compared to the proposed location tonight. He noted they had not done a good job communicating in the last month through the Skarsgard but will correct that in the future.

John Karris, 4703 Ojo Verde, was sworn in. He is a member of the Board of Estancias De La Soleras. He wanted to add to Joan Dickerson's concerns raised which are in writing and part of the record. He would address the likely impact of the proposed Vista de Las Solaris subdivision on traffic and parking on the Las Soleras side of Viento de La Norte and La Puerta. If built as proposed, residents of Las Soleras will use the westbound entry on Viento de La Norte as a shortcut and if Vista de La Sierra is allowed to build at R5, the increased traffic will overwhelm Las Soleras, especially since it was built at R3. Similarly, if Vista de La Sierra builds at R5, it will have an even greater parking shortage for residents, many who will look for parking on the Las Soleras and Viento de La Norte, further exacerbating their parking problem.

Carol Liebmann, 4420 Autumn Leaf Lane, was sworn in. She lives on the corner of Autumn Lane and Whispering Wing, one of only 3 streets of almost 400 homes, that allows cars in and out. Requirements for new projects is for three streets and the last project discussed was 53 homes and this project is 393 homes. They heard comments of the traffic nightmare when schools let out on Dancing Ground. She is concerned it will become much worse for people to get out of the neighborhood, especially if people use Whispering Wing.

Joan Dickerson, 4721 Las Plazuelas, was sworn in. She has submitted her comments in writing on concerns about the open space between Estancias de La Soleras

and the proposed project. It was a step in the right direction to provide a 20-foot buffer to the request of a 30-foot buffer. The view of homes on the boundary are a concern, and two rows of homes will block the view. They also requested a decreasing density and feel the number of units per acre is not a good solution. The land should be unbuildable and if it is not in the 100-year floodplain they request a reassessment by FEMA. They are also concerned about the traffic on Viento del Norte as mentioned. They hope there will be traffic calming devices because of the access to the proposed roundabout. That will be the only way people on Viento can turn left onto Beckner. They would also like the signalized intersection at Beckner and Richards, at one time considered to be temporary, to be permanent.

Elizabeth Vandenzen, 4444 Ave Onyx Lane, was sworn. She echoed concerns regarding traffic at Whispering Wing and Autumn Leaf, and the post COVID traffic study on Dancing Ground. She has similar concerns raised by the Estancias homeowners on density, setback, and scale of the development sharing the boundary with Autumn Leaf Lane and Nava Ade. She asked that there be similar considerations for setbacks and privacy scale and scope of their properties given the increased density with the new project. She shares the concerns of the arroyo, the open space and the playground being under a power line.

David Catanach, 4746 Viento del Norte, was sworn in. He lives in the subdivision near the development. He understands the importance of housing in Santa Fe. He deliberately chose to live in a certain area of Santa Fe and worked his whole life to invest in his home. He asked the Commission to preserve the area. He is frustrated with the lack of effort by the developer to respond to comments at the initial public meeting. He is a retired engineer and as a retired director of oil and gas for the State,, he believes maintaining environmental integrity is imperative. The State goes the extra mile to do so. He thought density in the subdivision at most, with the arroyo efforts to restore the environment to natural conditions, should be no more than the Pulte density that was approved. He additionally echoes the previous concerns noted about traffic on Viento del Norte.

Allison Marks, 4746 Viento del Norte, was sworn in. She asked to confirm her letter submitted was part of the record and was received by the Commission.

Chair Hiatt confirmed they have the letter, and it will be part of the record.

Allison Marks said she is an attorney and works as a director for the State. She said she found the numbers astounding that Pulte has over 302 homes and over 100 acres and the subdivision plans nearly 100 additional homes on 97 acres. The density increase is "in your face." Two issues stood out from Ms. Jenkins presentation; the main entrance to the development will be off of Beckner where there is a roundabout proposed. They were never notified. The other is a school off of Richards that has not been mentioned that she would respectfully request there be another post COVID TIA on

Beckner near the roundabout and off of Richards. During peak school hours it is insane to make a left hand turn off of Beckner. The continuing development of an area is important for the State's economy, but it is also important to preserve the environment and preservation of native lands. She asked that close attention be paid to density and preservation of the integrity of the area.

Fernando Martinez, 4771 Viento del Norte, was sworn in. He echoes the concerns raised. He said he heard earlier that there was no participation from the Estancias Las Soleras at the initial participation meeting in March. He wanted to point out they are one of two Homeowners Associations on either side of Viento del Norte that never received notification of the meeting. They found out about this after the fact. He is pleased to hear movement with regard to the landscape setback between the common boundaries, but 20 feet is inadequate. Nava Ade setbacks are from 30 - 75 feet and to maintain views in their neighborhood they need a similar landscape setback. He would like more information on the distance between their home and other homes in the next subdivision from the planner. Besides the open space, the views could be affected, and he has concerns about the density as well as the traffic on Viento del Norte. Connecting the two subdivisions is a surprise to them. He suggested possibly a study should be done on the streets where subdivisions will be interconnected. Mitigation measures should be considered to slow traffic down.

Mr. Berke read a comment into the record from Alissa Brown dated 11/16/20 that came in through the system and was not included in the Commission packet and are attached as Exhibit "2".

Chair Hiatt closed the public hearing.

Commission Discussion

Chair Hiatt said he served on the Commission a couple years ago when the dust issue came up. He drove that road and into that dust storm several times. He asked if the developer plans to adopt the well thought out dust control methods used at the time. He asked if Ms. Jenkins was familiar with those. He thought the methods were reasonable and never heard any further complaints from Nava Ade.

Ms. Jenkins said she was not familiar; she had not been involved with that project. She doesn't have access to those specific methods. She isn't sure if they are the same as the dust control requirements of the City. She will get the requirements from the City and address that as part of the Phase 1, final plat application.

Commissioner Clow said she was confused about the roundabout. She understands it was planned and there were no objections until a week ago. She asked why Las Soleras is requesting it be changed. She said she heard it mentioned that it isn't lined up to aid them with traffic into their development.

Ms. Jenkins showed the roundabout as depicted in the Las Soleras Master Plan. She pointed out the common property line between lots 17 and 18 centered on the roundabout. It was to be built by the first property that would need a roundabout and the applicant was the first and will build it. It will be a public improvement that serves the City and Las Soleras. The design is engineered in collaboration with the project's engineer and John Romero.

Commissioner Clow asked if it will access vacant land in lot #18.

Ms. Jenkins replied yes. She showed the property boundary and noted it is a matter of an easement. The applicant has agreed to another access point that includes right and left turn lanes as part of improvement of Beckner Road. The roundabout serves all the properties and as development increases the easements and improvements will be created there.

Commissioner Clow asked if the roundabout is partially on the property and approval is needed.

Ms. Jenkins explained everyone has to dedicate right-of-way as part of their master plan. It is shared improvement requiring right-of-way dedication from both parties. The applicant is not in a position to force that from the subdivision. She suggested Mr. Berke could best answer that question.

Mr. Berke said currently they have an approved road plan as part of the annexation agreements. Beckner Road will have to be accepted by the City to build out with traffic calming measures, and this area will have to be built out. They have already agreed to the annexation agreement and both annexation agreements and master plans are within the first two paragraphs, which are subject to change upon conditions. The traffic calming is conceptual in nature. The Commission will have to decide if this is the preferred location.

Chair Hiatt asked if moved to the 905-foot place, would it have to be reengineered; the lots moved, roads reengineered etc.

Ms. Jenkins said yes, it would be a complete redesign.

Chair Hiatt asked if acceptable to the client if Las Soleras was willing to pay for that.

Ms. Jenkins said they were planning to come before the Commission as soon as possible. Everyone has experienced delays and time is an issue.

Commissioner Lawrence asked staff for clarification on the TIA. She said looking at conditions of approval, #3 requires the revision of the traffic study by Phase 2. She was confused about when it could be completed by "prior to, of the subdivision plat phase 2".

Ms. Wynant explained when Phase 2 kicks in, prior to that- a revised traffic study will be done to take into account the post COVID traffic counts.

Ms. Jenkins said the applicant is anticipating submitting an updated traffic study to the City with their Phase 2 final plat application. Any modifications from that would be incorporated into the plans. The TIA will be reviewed as part of the public hearing as requested by the neighbors.

Commissioner Lawrence said that provides some reassurance it will be seen by the Planning Commission. She asked Ms. Jenkins on request for variance, looking at the criteria she has concerns whether the request meets the criteria required. She asked Ms. Jenkins to talk about how they plan to meet the criteria.

Ms. Jenkins said criteria #1 addresses the condition of property, and segment of the property they are trying to serve and intended consequence of the provision in the Code. That doesn't accomplish much but increases construction costs. The applicant is sensitive to that because of the market they are trying to serve. That was the basis for the special circumstances unique to the project. The intensity of the project is not increased but the variance request point is to eliminate the 5 feet that would work better from the construction standpoint. It eliminates the height for the second-floor minimum variance required. The variance is not contrary to the public interest because it improves home affordability.

Commissioner Lawrence said she appreciated what the applicant is trying to do and the costs. She noted the Commission should be very cautious about the variance.

Chair Hiatt recognized the applicant.

Jeffrey Branch, PO Box 2328, 87504 was sworn in. He wanted to give some history on the roundabouts. The partners of Las Soleras came to them literally last week to move the roundabout and did not attend the ENN in March. In July he met with Skip Skarsgard on the phone about the location. And his team met with Mr. Scarskard to review and at that time provided things he had asked for. We moved forward with the location with no issues until last week when he was to relocate the roundabout. He indicated that part of the issue is one portion of the internal partnership of the Las Soleras group is selling to another and there is some disagreement. He wanted to be clear on that he has been very communicative from his side. He thought they agreed and found it in bad form to ask at the last minute for him to move the roundabout. The delays have

been the biggest issue because of COVID and they are very far behind. He wanted to set the record straight in terms of timing.

Chair Hiatt said his questions were based on the public testimony. Joe Jones talked about the arroyo and that we should prepare for a larger than a 100-year flood. He asked if thousand-year events are taken into account when looking at the arroyos.

Ms. Jenkins referred the question to Karen Jacobson, representing the engineering firm.

Karen Jacobson, 474 E. Rhine Street, Elkhart Lake, Wisconsin. She is a licensed engineer in the State of New Mexico. She explained she recently moved after 30 years in the State to Wisconsin. Her involvement in the project predates her move. The answer to whether they look at anything over 100-year event is no, which is a standard procedure in New Mexico, unless a dam of a certain size.

Chair Hiatt said he believes climate change is here and every event such as hurricanes, etc. seem bigger. He asked if the industry as a best practice, considered bigger events now.

Ms. Jacobson said it is not a standard of practice at this time, but they are capable if that is requested. When they looked at the erosion and erosion protection on this they did look at a larger event for safety reasons. This arroyo is rather small and is an inconsequential arroyo in the State.

Rick Beltramo, 6501 Americas Pkwy., Albuquerque, was sworn in. He is the project engineer.

Chair Hiatt said he wanted to know how they would respond to the people downstream with concerns this is not measured correctly now, because events are larger than what they are used to.

Mr. Beltramo said the global warming he sees is less flow. The forests are burning so they are seeing the opposite, a drought and he is not convinced that has anything to do with global warming. The design for this particular arroyo is appropriate and is being very conservative. The improvements will be much greater than what is there currently. The existing Nava Ade subdivision is exposed to off-site flows above and beyond the arroyo and 100% of those flows have been eliminated and put into ponds. That should have been done when the subdivision was built. The arroyo and the area passing Nava is well stabilized. They will extend protection above and beyond their property line to ensure the most at-risk homes near the arroyo are well protected. The safety factors in the design will be more than for a 100-year storm. That is standard practice. He was confident that the drainage plan proposed is a great improvement and addresses all of the concerns more than adequately.

Commissioner Hogan asked staff the approach for locating important features like road connections.

Mr. Berke replied Chapter 14 has requirements regarding connectivity. Two connections to streets every 1000 feet is required. In this case, there are circumstances as part of the annexation agreement. The conditions within the agreement say where streets lineup and can or cannot connect. The major concern of residents of Nava Ade was traffic coming into their neighborhood. We have made connections where they can be made but in some circumstances it cannot be. There are restrictions for instance, on the number of connections they can have on Governor Miles; no direct connection to Richards Avenue, only an emergency access, and some conditions require them to connect to Beckner.

Commissioner Hogan said he was looking from a planning perspective. The City has the MPO, and there are district and neighborhood plans, to ensure alignment. It is not a first come first serve, it is a planning matter. He can't figure out the disconnect.

Mr. Berke explained the MPO staff and Director Isaacson are present who could also answer questions.

Eric Aune, MPO Director, said the MPO looks at a number of factors including pending master plans in terms of design and ultimate delivery of capacity. It doesn't look at the nuances where the intersection will be. It provides more than a 30k foot look of the importance of the location of the roadway. The exact determination of the roundabout was out of the scope of the MPO. What is important is whether it serves the greater good in the long run for all users, not just the developer or the neighborhood. It is a complex issue for the Commission, but they should look through the lens whether this supports the community, not just the interest of the private developer. This is a public road that for years to come will provide access and mobility for the neighborhood.

Director Isaacson said in terms of scale, the MPO is looking at it from a larger network scale that may support intersection control devices and designs. He and Mr. Aune have discussed the MPO's preference of traffic circles over signalized intersections in many locations because of their efficiency. The MPO doesn't get involved at this scale of the determination of roadway alignments in developments. That is usually handled by the City Traffic Engineering Department and the LUD. They work together to make sure the locations conform to local street standards and the NMDOT.

Commissioner Hogan thought something definitive like a property boundary serves as rationale for the location of intersections and roundabouts. He wasn't sure how the Commission is positioned when two property owners disagree on a fundamental element with the obvious time and costs consequences. He isn't sure whether the Commission's

responsibility is to say it should be located based on its location on the master plan, or on a map.

Director Isaacson said often at the stage of the master plan for Las Soleras they are somewhat conceptual, and connections have not been finalized. It is hard to fully rely on a master plan to try to locate a roundabout. They expect neighboring property owners to work with one another and he thought the applicant made an effort to coordinate with his neighbor.

Dee Beeingessner, Planning staff, said she was a traffic engineer in a previous position and the intersection spacing is a big deal on this road. It is most likely an arterial road. She assumes John Romero, requested moving the roundabout the furthest point you can get from Richards Avenue because the manual states a secondary arterial should have a minimum of 1/4 of a mile between intersections. The property line is not important, what is important is not to have traffic backing up from one intersection to another on a major arterial.

Commissioner Hogan expressed that he would have liked Ms. Jenkins' presentation in the Commission's packet. The fourth to the last page of what was mind numbing detail is the first time an overall summary of what the applicant is doing was included. That made it difficult when reading the other detailed maps and having no context. This project is big and complex, and the evaluation would have helped to fit all of that into a framework.

He said he likes a lot of what has been presented. He was curious on the arroyo bank stabilization technique. There are great examples of waterway restoration, native plant removal, and natural stabilization techniques that are attractive and very effective. He supports that effort.

Commissioner Hogan said on the asphalt trails he appreciated making that into a fire lane, specifically because it will be maintained by HOA's. He would encourage them to look at which would be better, asphalt or concrete. Asphalt trails do not tend to hold up. He asked for more detail on the reference about the change on the drainage to eliminate a culvert.

Ms. Jenkins said as part of rebuilding Beckner Road, the Las Soleras master drainage plan has a storm drain in Beckner Road. It doesn't make sense to rebuild the road and not rebuild the storm drain. The culvert comes currently from the south side of Beckner to the north side will pass through the flows. There is not a lot of water going through the drain and why they want to pull the culvert out. They will accommodate all of the stormwater, but they are just redirecting it.

Commissioner Hogan said on the donation of the school property, he understands that is only a portion that is needed to make it a viable school site. He asked if there is agreement with the adjacent property owners to get the acreage required.

Ms. Jenkins said Las Soleras already donated property on the south side and the applicant is donating property from the eastside. The annexation agreement from 2007 reads that the applicant is required to do the 3.14 acres and collaborate with adjacent property owners to try to accommodate a full 10-acre school site. The conversation has pivoted on the needs of Monte del Sol. Back then the intent was the acreage would go to Monte del Sol and adds onto their existing campus. Our donation is to the public schools. Monte del Sol and the public schools are communicating. There was a tacit agreement in 2007 but there is now a new school administration. She isn't sure what will happen, but the hope is it will be a nice amenity for the schools and the community.

Chair Hiatt said for those who raised the density issue in public comment, there is not a lot the Commission can do if the applicant is following the rules. Also, anyone moving into a subdivision cannot reasonably rely that the neighboring subdivisions will follow their HOA rules. The Planning Commission cannot change that if it is being done according to the rules. He said Joe Jones said the HOA shouldn't be in charge of the arroyo and he believes the Commission has no choice on that either. It is a City requirement, and the Planning Commission does not change those. Becky mentioned the parks would be underneath the power lines, but that is not prohibited. The Planning Commission will see another post COVID traffic study and he is hopeful it will be a better study.

Chair Hiatt said he will ask that Ms. Jenkins evaluate all of the testimony as to what the applicant could do.

Chair Hiatt said Joan Dickerson mentioned the open space and a 30-foot buffer. He asked Ms. Jenkins to address that.

Ms. Jenkins explained on the southwest corner of the property some homes share a common property that have asked for a buffer. Originally the applicant offered to provide 10 feet and plant trees and limit development to single-story homes. After looking at the floorplans and space the applicant realized the buffer could be increased to 20 feet to be maintained by the homeowner's association. The applicant continues to agree to build only single-story homes.

Chair Hiatt requested a motion first on the application for a variance.

MOTION: In Case #2020-2720, Vista de La Sierra Preliminary Subdivision Setback Variance, Commissioner Lawrence moved to deny the variance request and to approve the Findings of Fact and Conclusions of Law. The motion was seconded by Commissioner Hogan.

VOTE: The motion to deny the variance and approve the Findings and Conclusions passed by unanimous roll call vote with Commissioners Clow, Faulkner, Garcia, Gutierrez, Hogan and Lawrence voting in favor and none voting against.

MOTION: In Case #2020-2642, Vista de La Sierra Preliminary Subdivision Plat, Commissioner Lawrence moved to approve subject to the technical corrections recommended by staff and to approve the Findings of Fact and Conclusions of Law. The motion was seconded by Commissioner Faulkner.

Chair Hiatt clarified that if passed, the roundabout will remain where it is.

Ms. Paez agreed.

VOTE: The motion approving the plat and the Findings and Conclusions passed by unanimous roll call vote with Commissioners Clow, Faulkner, Garcia, Gutierrez, Hogan, Lawrence and voting in favor and none voting against.

Commissioner Clow noted a typo in the Findings of Fact and Conclusions of Law for Case 2020-2640. It says the applicant conducted one ENN on August 22, 2020. The report states it was conducted on August 19, 2020. She requested that be verified and the correct date put into the Findings.

Commissioner Sategna returned to the meeting.

F. STAFF COMMUNICATIONS

G. MATTERS FROM THE COMMISSION

Mr. Berke indicated there will be one or two cases in the first meeting of December. He did not believe there will be a second meeting but will let them know if that changes.

Director Isaacson gave an update on memberships and reappointments to the Planning Commission. He noted that Chair Hiatt had resigned from the Board effective January 1, 2021. There is an announcement through the City Clerk's office and resumes will be accepted through November 30, 2020. There are also openings on the Board of Adjustment. They hope to have members for the Commission by the first meeting in January and Board elections once everyone is reappointed and positions are filled. There are also positions open on CIAC in January.

Commissioner Hogan said he was sorry to hear Chair Hiatt was resigning although he knew it was coming. He appreciates the manner with which he has handled the

City of Santa Fe, New Mexico

Planning Commission

Exhibit B

DRT Memos

1. Technical Review Memorandum, Dee Beingessner, P.E.
2. Water Engineering Division Memorandum, Brian Snyder
3. Landscape Memorandum, Lawrence Rivera
4. ADA - Site Review, Jason Kluck
5. Santa Fe Public Schools-
Email regarding acceptance of land donation

Development Review Team

Comment Form

Date: 12/14/20

Staff person: Dee Beingessner

Dept/Div: Land Use/Terrain Management

Case: Case #2020-2924. Vista de la Sierra

Case Mgr: Donna Wynant

Final Plat



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval :

Must be completed by:

1 Provide at least 50 percent of required ponding outside of the existing arroyo. Serious concerns have been raised as to the possibility of the bulk of the drainage ponds being damaged in a large storm and possible flooding if another storm occurs before repairs are completed.	Prior to Signature Sheet Process
2 Add a note to the Plat (or Development Plan) and Grading/Drainage Plan, as to whether on-lot storm water ponding is required. It seems from the drainage report that some lots will require on-lot ponding. For lots where no on-lot ponding is required, place a note stating how much impervious surface can be created on each lot before on-lot ponding is required. Provide coherent table for these conditions.	
3 Provide a plan that shows overall development with ponds labelled as 1-15. Also show pond volumes.	
4 Buildable areas for platted parcels will be determined at the time of building permit application as detailed in the land development code, any buildable areas shown hereon are subject to relocation per code requirements.	
5 The storm water agreement references a different homeowners association. The drainage maintenance note is incomplete.	
6 Drainage Facilities Maintenance note shall be placed on the Plat or Development Plan (see attached) and provide HOA documents that include these maintenance requirements. Some elements of the note have been	

included on the preliminary plat and the permanent erosion control plan, but not all.	
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Technical Corrections*:	Must be completed by:
1 Additional comments have been made on the plans and will be sent to the developer for inclusion	<i>Prior to recordation</i>
2 Dust Control Note Shall be placed on the Plat or Development Plan (see attached) Additional dust control requirements have been provided and must be included.	
3 Gunnison’s Prairie dog note shall be placed on the Plat or Development Plan (see attached	
4 This development shall comply with the most current requirements of the American with Disabilities Act (ADA) for all infrastructure improvements. Place a note on the Plat to reflect this condition.	
5 Other comments will be provided on Plans at the time of the building permit and changes may be required during permitting process	
6 Check Utility easements on Plat and ensure they don’t conflict with development.	
7 In accordance with Article 14-8.4(F)(2)€, “stormwater detention ponds and retention ponds shall be planted...with a minimum of one tree and three shrubs per 500 SF of required ponding area.”	
8 Include a pond measurement post in all ponds to determine depth of water and sediment for maintenance. See attached example	

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]

Explanation of Conditions or Corrections (if needed):

DRAINAGE FACILITIES MAINTENANCE NOTE

ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY ALL PROPERTY OWNERS. THE PROPERTY OWNERS SHALL ALSO HAVE THE RESPONSIBILITY FOR MAINTENANCE OF THE PUBLIC DRAINAGE EASEMENT.

INSPECTIONS SHALL BE CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO OR OTHER QUALIFIED PERSON. INSPECTIONS SHALL BE CONDUCTED ON THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. MAINTENANCE OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED AND DOCUMENTED BY THE ENGINEER AND THE OWNER. THE OWNER SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE ENGINEER'S RECOMMENDATIONS, AND SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:

A. FLUSH ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND VEGETATION THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURE(S).

B. REMOVE SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH, AND IF NECESSARY, RESEED WITH NATIVE GRASSES AND INSTALL FILTER FABRIC AND 3 TO 4 INCH COBBLE AS DIRECTED BY THE ENGINEER.

C. INSPECT FOR SEDIMENTATION IN ALL SWALES, DITCHES, DRAINAGE PONDS AND REMOVE AND STABILIZE AS NECESSARY.

D. INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS, CUT AND FILL SLOPES, AND REPAIR OR STABILIZE ACCORDINGLY.

E. INSPECT THE STRUCTURAL INTEGRITY OF DRAINAGE PONDS, SLOPES, RIP-RAP, GABIONS, DROP INLETS, CULVERTS, ENERGY DISSIPATORS, AND RETAINING WALLS, ROCK PLATING, EROSION CONTROL MATS OR BLANKETS, AND REPAIR OR STABILIZE ACCORDINGLY.

GUNNISON'S PRAIRIE DOG NOTE

THE PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE GUNNISON'S PRAIRIE DOG ORDINANCE (ARTICLE 14-8.12).

DUST CONTROL NOTE

All on-site soil disturbing construction activities shall be addressed and provide measures to mitigate or control dust from being transported offsite and polluting neighboring properties.

Any person, owner, contractor or operator who conducts earthmoving and/or dust generating activities is responsible for implementing Best Management Practices (BMPs) in order to mitigate off-property transport of fugitive dust emissions.

A plan, or storm water prevention plan (SWPPP) when applicable, listing the Best Management Practices (BMPs), shall be provided to the City Engineer, or their designee for review and approval. The approved BMPs shall be applied to the graded and/or disturbed soil in order to stabilize the site.

The initial BMP shall address how the Contractor will minimize the amount of disturbed soil, and how the Contractor will stabilize the disturbed surface area exposed to wind or vehicle traffic during construction.

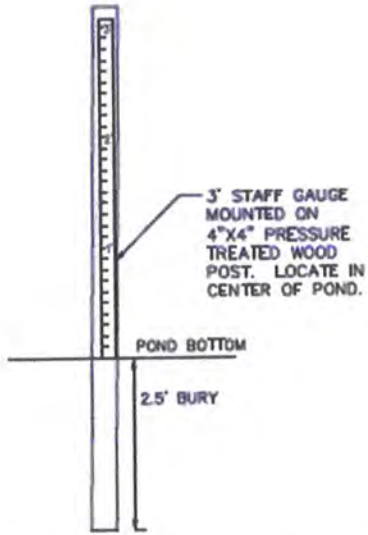
Some BMPs shall include:

- The reduction of vehicle speeds: establish a maximum speed limit or install traffic calming devices to reduce speeds to a rate to mitigate off-property transport of dust entrained by vehicles.
- The minimization of drop height: Drivers and operators shall unload truck beds and loader or excavator buckets slowly, and minimize drop height of materials to the lowest height possible, including screening operations.
- High winds restriction: temporarily halt work activities during high wind events greater than 30 mph if operations would result in off-property transport.
- Restrict access: restrict access to the work area to only authorized vehicles and personnel.

In the event the above practices are ineffective to prevent off property transport, the owner or operator shall use at one or more of the following Best Management Practices (BMPs):

- Wet suppression: apply water to disturbed soil surfaces, backfill materials, screenings, and other dust generating operations as necessary and appropriate considering current weather conditions, and prevent water used for dust control from entering any public right-of-way, storm water drainage facility, or watercourse.
- Wind barrier: construct a fence or other type of wind barrier to prevent wind erosion of the graded or disturbed surface.
- Vegetation: plant vegetation appropriate for retaining soils or creating a wind break.
- Surface roughening: stabilize an active construction area during periods of inactivity or when vegetation cannot be immediately established.
- Cover: install cover materials such as tackifiers, erosion control blankets, gravel, vegetation (when appropriate), cold-millings, etc. during periods of inactivity and properly anchor the cover.
- Soil retention: stabilize disturbed or exposed soil surface areas that will be inactive for more than 30 days or while vegetation is being established.

Example for pond measurement post



POST & STAFF GAUGE
NTS

VISTA DE LA SIERRA SUBDIVISION PHASE 1, REDLINES

(Note by DJW: Review comments by Charlie Gonzales for plan set dated 9/18/20 – Preliminary Subdivision.)

1. Sheet G-001. Provide Storm water certificate.
2. Sheet S-101. Modify note under Drainage Facilities Maintenance to read, The drainage facilities are private and shall be maintained by the property owners as per Article 14-8.2(K). Add note which states;
All basins/ponds to be designed to empty within no more than 24 hours as per Article 14-8.2(D)(4)(c)(ii) of the City Code. There should also be a note about on lot or central ponding required. (This same note should be placed on sheet S-104, phase 2 and sheet S-108, phase 3).
3. Sheet S-109. Is there a phase line between 1A and 1B? If so, please indicate.
4. Sheet S-115. Show the location of proposed ponds and drainage structures. Identify the square footage of 30% slopes and greater proposed to be disturbed. Label the street names, Governor Miles, Richard's Avenue and Beckner Road on the plans. Delineate phase lines and show contour elevations. Reference proposed round about on Beckner Road. (Sheet C2-212?)
5. Sheet S-120. Reference proposed round about on Beckner Road. (Sheet C2-212?)
6. Sheet C-100. Label proposed/existing arroyo stabilization, gabions, rip-rap, etc., or show on legend provide details. Indicate name of arroyo, limits of arroyo, flowline and banks. Assign numbers or letters for proposed ponds. Provide overall terrain management/drainage plan for all phases on one sheet. Provide a terrain management plan for each phase indicating drainage calculations for on lot or central ponding, including proposed storm water conveyance systems. Reference proposed round about on Beckner Road. (Sheet C2-212?)
7. Sheet C1-101. Provide sections/details for temporary cul-de-sac and proposed swales. Indicate sheet number of detail. Label high points of asphalt with HP and elevation throughout. Staff needs more information from the engineer and also needs to conduct an inspection of existing storm drain proposed to be abandoned and removed. Reference proposed round about on Beckner Road.
8. Sheet C1-102. Provide locations of ponds with overflows and proposed contours on all phases. Include, sections/details of ponds and overflows. Provide section/detail of temporary retention pond, reference sheet number. Label high points (HP) and elevations.
9. Sheet C1-103. Label high points (HP) and elevations of roadway. Show grading for the proposed round about on Beckner Road or reference sheet with grading/construction information.
10. Sheet C1-104. Label high points (HP) and elevations and proposed pond numbers or letters.
11. Sheet C1-105. Label high points (HP) and elevations and provide detail of temporary emergency access.
12. Sheet C1-106. Provide sections/details for all temporary, permanent ponds and swales. Reference sheet numbers. Item numbers 6 & 7 need to be changed to reflect City's Sequence of Construction (SOC) document. Use City approved seed mix for note number 12. Provide temporary and permanent storm water and erosion control plan. Show locations of SWPPP permit with rain gauge and location of concrete wash out. Provide detail.
13. Sheet C2-101. Label high points (HP) and elevations of roadway. (PHASE 2)
14. Sheet C2-102. Label pond numbers. Provide correct sheet number for timber slope protection, provide and reference section/detail. Provide detail for proposed sidewalk drain or culvert. (PHASE 2)
15. Sheet C2-106. Same as note for sheet C1-106 above. Show phase boundary lines.

16. Sheet C1-200. Explain overall paving plan. Show and reference road sections for roadways, temporary cul-de-sacs and temporary emergency access road.
17. Sheet C1-201 thru C-208. Label proposed sidewalk drains/culverts, valley gutters, fillets and curb and gutter on all sheets. Show proposed driveway locations and provide note if driveways will be installed or cut out later.
18. Sheet C2-212. Legend numbers need to correspond to proposed construction locations.
19. Sheet C-300. Indicated proposed round about location on Beckner Road.
20. Sheets C-500 thru C1-600. Provide signage and striping for proposed round about.
21. Sheet C-900. Provide untreated base coarse under roadway. Provide more detailed pond sections for each pond with overflow. Need to discuss sides and bottoms of proposed ponds. Provide 4" to 6" rock for drainage swales.
22. Remove sheets COA-DWG2420 and COA-DWG2510 (City of Albuquerque standards) replace with City of Santa Fe details or Department of Transportation (DOT) details.
23. Other issues to be addressed and discussed are:
24. City Staff needs to conduct site inspection to address Nave Ade letter and proposals.
25. Centralized ponding and assuming square footages for anticipated on lot additional impervious surfaces.
26. Plans for off-site improvements such as construction plans for Beckner Road improvements, Richard's Avenue intersection and Governor Miles Road intersection.

Development Review Team

Comment Form

Date: 12/01/2020
 Staff person: Brian Snyder
 Dept/Div: Public Utilities/Water
 Case: **Case #2020-2924. Vista de La Sierra Final Subdivision Plat.**
 Case Mgr: Donna Wynant



Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:	Must be completed by:
1 An approved Water Plan from the Water Division will be required. Water Plan comments have been submitted to the design engineer.	Prior to final plat approval.
2 No re-grading of site over existing 16-inch water main traversing site without adjusting grade of existing water main to have 4-feet cover.	Prior to final plat approval.
3	
4	

Technical Corrections*:	Must be completed by:
1	
2	
3	
4	

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]

Explanation of Conditions or Corrections (if needed):

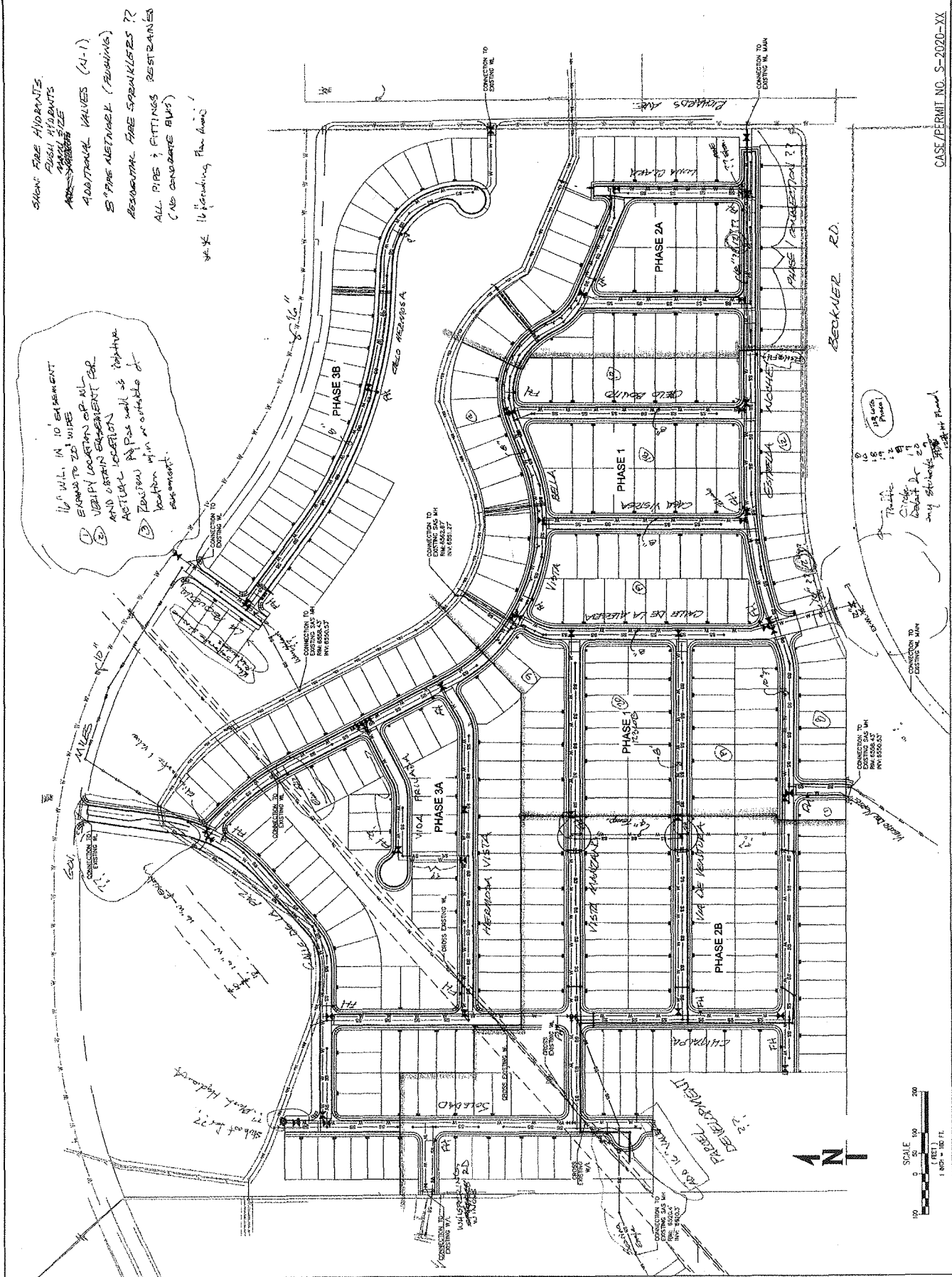
WYNANT, DONNA J.

From: JORGENSEN, ROBERT N.
Sent: Monday, November 30, 2020 4:47 PM
To: Rick Beltamo (rbeltramo@whpacific.com)
Cc: SNYDER, BRIAN K.
Subject: Vista De La Sierra
Attachments: CoSF Water Plan Review Comments 11.30.2020.pdf; Vista De La Sierra Subdivision Ph 12
3 Markup 11.30.2020.pdf

Rick,

Attached are my review comments for Vista De La Sierra overview.

Robert Jorgensen, PE
Engineer, Water Division
City of Santa Fe
801 W. San Mateo Road
Santa Fe, NM 87505
505.955.4265
rnjorgensen@santafenm.gov

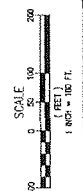


SHOWN FIRE HYDRANTS,
 PUSH HYDRANTS,
 MARCH SIZE
 ADDITIONAL VALVES (A-1)
 5" FIRE NETWORK (FINISHING)
 RESIDENTIAL FIRE SPOKELINES ??
 ALL PIPES & FITTINGS RESTRAINED
 (NO CONDUIT BVS)
 1/4" x 16" Finishing Plan Shows

1/2" MIN. 1/4" 10' EASEMENT
 EXPOSED TO 20" WIRE
 VERIFY LOCATIONS OF ALL
 AND OBTAIN PERMISSION
 ACTUAL LOCATION
 Location of Pass wall is tentative
 location when available for
 easement.

1/2" MIN. 1/4" 10' EASEMENT
 EXPOSED TO 20" WIRE
 VERIFY LOCATIONS OF ALL
 AND OBTAIN PERMISSION
 ACTUAL LOCATION
 Location of Pass wall is tentative
 location when available for
 easement.

CASE/PERMIT NO. S-2020-XX



Development Review Team

Comment Form



Date: 12/20/2020
 Staff person: Lawrence Rivera
 Dept. /Div.: Land Use/Terrain Management- Landscape/Irrigation/
 Outdoor Lighting Review
 Case: 2020-2642 Vista de La Sierra Subdivision *(2924) Final*
 Case Mgr.: Donna Wynant

Review by this division/department of the **11/30/2020 plan set** has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:	Must be completed by:

Technical Corrections*:	Must be completed by:
1. COSF Code 3.19.1 requires landscape irrigation plans for large projects not to exceed 20 scale, 1 inch equals 20 feet.	Prior to permit review
2. Calculate pop-up and rotor zones for gpm and pipe sizing.	
3. Include in all valve manifolds schedule 80 PVC unions downstream of each control valve for easy removal and repair, per COSF Irrigation Design Standards.	
4. Temporary irrigation system shall have head to head and triangulated coverage in all areas, revise note on plans.	
5. Irrigation system shall be zoned by levels of water use. COSF code 14-8.4(E)(4)(h) Tree zones, shrub zones, and native plants zones.	
6. Heat tape is required, please list in backflow detail.	
7. Please show light standards and fire hydrants on the landscape plan. Street trees shall be located at least fifteen (15) feet from fire hydrants and light standards.	
8. Provide irrigation to all revegetation native seed areas. (Per COSF Code 14-8.2 D(5)(c) Test soil: Contractor shall have seeded areas soil tested for nutrient deficiencies and amend soil according to testing lab recommendations. Seeded areas shall be graded two inches (2") below top of concrete curbs and sidewalks.	
9. Turf grass sod or turf grass seed mixes installed within the city limits shall contain no more than twenty-five percent Kentucky Bluegrass.	
10. Stormwater Ponding: A water level measuring device with zero set at finish grade located at the center of each pond is required. Storm water storage ponds are not to exceed 1 foot in depth without a verification that storm water will drain within 24 hrs. A percolation test is required for each pond. A security fence	

around ponds three feet and deeper with a maintenance gate is required.	
11. Provide significant tree information on the landscape plan.	
12. Provide an outdoor lighting plan in accordance with COSF code 14-8.9	

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]

Explanation of Conditions or Corrections (if needed):

DEVELOPMENT REVIEW TEAM

COMMENT FORM



Date: 12/14/2020

Staff person: Jason M. Kluck

Dept/Div: Land Use – ADA Site Review

Case: **Case #2020-2924 Vista de la Sierra – Final Subdivision Plat**
3800 Governor Miles Road

Case Mgr: Donna Wynant

Review by this division/department has determined that this application will meet applicable standards if the following are met:

Conditions of Approval:	Must be completed by:
See technical corrections and compliance requirements below. (Multiple requests were made for reviewable PDF documents which were never adequately provided. Paper set acquired from another reviewer one business day prior to review comments deadline.)	N/A

Technical Corrections*:	Must be completed by:
<p>Upon review, there is still insufficient information for comprehensive plans examination and approval: Building Permit documents may require extensive review and additional design work to ensure they demonstrate compliance with all applicable ADA regulations prior to approval.</p> <ol style="list-style-type: none"> 1. No match lines provided on overall grading plans and unidentified overlap of individual grading plans make plan review effort very tedious. 2. Hardscape infrastructure feature line work missing on grading and roadway plans. <ul style="list-style-type: none"> Curb ramps missing at many intersections. Sidewalk design inconclusive due to missing line work. Sidewalks and pedestrian paths shall not lead to unmarked road crossing. Curb ramps drawn without sidewalk connection. 3. Dead end sidewalks within the subdivision shown with no provision for 	Prior to construction permit application

<p>continuous accessible route. (Provide signage at closest intersection with accessible connection indicating "Accessible Route Ends Ahead" or "No Accessible Route" and provide detour at temporary inaccessible routes.)</p> <p>PROW connections, temporary cul-de-sacs, hammer heads, temporary and permanent dead ends and paved roads leading to construction and emergency access roads shall be surrounded by continuous sidewalk, or another accessible connection method shall be provided to ensure continuity of interim and final accessible routes.</p> <ol style="list-style-type: none"> 4. No identifiable curb ramp types indicated on off-site road way development plans. 5. Drawings lack clear grade notation at sidewalks and other accessible features, and spot elevations at curb ramps, gutters, etc. indicating accessible slopes. 6. Insufficient details on plans, such as detectable warning strip locations and curb ramp types. 	
---	--

*Must made prior to recording and/or permit issuance

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

On-Site General ADA Site Compliance Requirements as applicable:

Accessible path(s) of travel route shall be provided from the Public Right-of-Way and accessible parking aisle(s) to accessible building entrance(s) and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. Ensure accessible route(s) from the Public Right-of-Way and accessible parking space aisle(s) to building entrance(s) are provided and maintained. Provide detectable warning surfaces at curb ramps and transitions to driveway crossings along the accessible paths of travel as applicable.

IBC 1104.1 Site arrival points: At least one (firm, stable, slip resistant) accessible route within the site shall be provided from: public transportation stops, accessible parking, accessible passenger loading zones, and public streets or sidewalks to the accessible building entrance served.

Accessibility feature design within the Site shall comply with NMDOT Pedestrian Access Route Details (Serial 608) or demonstrate compliance with applicable ADA regulations by other means as provided in the permitted Construction Documents.

All walk surfaces along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.

All walk surfaces along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter

turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.

Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

Vertical clearance: Provide and maintain 80" of vertical clearance for the full width of all sidewalks/pedestrian routes. Rails or other barriers shall be provided where the vertical clearance is less than 80". The leading edge of such rails or barrier shall be located 27" max. above the floor. (307.4)

Provide and maintain 98" vertical clearance at van parking spaces and access aisles, and accessible routes. (502.6) At Passenger Loading Zones, provide and maintain 114" min. vertical clearance at the exterior vehicular route and access aisles serving the vehicle pull-up space. (503.5)

Ramps within the site shall have 1:12 (8.33%) running slope and 1:48 (2%) cross slope max. With a max. rise of 30" and with 5' clear length landings where straight. Changes in direction shall comply with 304.3. Landing typical slope is 1.5% and shall not exceed 2% running and cross slope.

Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.

ADA parking signage shall comply with the New Mexico Accessible Parking Checklist, latest publication. Accessible Signage Detail - Signage with required language per the NM Accessible Parking Checklist is required at ALL ADA Parking spaces. Parking signage height shall be 84" above the floor of the parking space, measured to the bottom of the R7-8 sign in the Public right-of-way, accessible path of travel, pedestrian way or path of the means of egress. Locate Van Accessible Parking signs immediately below the reserved parking sign at wall mounted or other locations not in the pedestrian way. At Van Accessible signs located in the pedestrian way, the R7-8A Van Accessible sign shall be mounted at 84" to bottom of the sign. Wall mounted signs and signs not mounted in the public way shall be 60" (84" is preferred) minimum above the floor of the parking space, measured to the bottom of the sign.

Per the 2015 NM Accessible Parking Checklist, Section 9 (NMBC-1111 Section 1.4 through 1.4.3) the ADA parking space access aisle shall be clearly marked by diagonal pavement striping. "NO PARKING" lettering shall be stenciled in 1 foot high min. and 2 inches wide min. strokes, and located at the drive end of the striped access aisle. The International Symbol of Accessibility (ISA) shall be stenciled at all parking spaces, centered on the space and aligned with the drive end of the parking space striping. All pavement striping and markings shall be stenciled with pavement paint; blue on concrete paving or white on asphalt paving.

Accessible parking spaces and access aisles shall not exceed 2% slope in any direction. 1%-1.5% is the preferred target slope.

Ensure ADA Accessible parking spaces are located in close physical proximity to any adjacent Accessible housing units and other accessible entrances (60% of all entrances shall be accessible), with the shortest path of travel available from the parking area to the unit(s) and accessible entrances. Ensure accessible routes from Accessible parking space aisle(s) to building entrance are provided/maintained.

Wheel stops are encouraged at all ADA accessible parking spaces to help ensure required clearance along the accessible path of travel is maintained.

New bicycle racks shall comply with Santa Fe Chapter 14 Appendix Exhibit D for bicycle rack standards and dimensions.

At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.

Off-Site PROW ADA Site Compliance Requirements as applicable:

Accessibility feature design within the Public Right-of-Way shall comply with NMDOT Pedestrian Access Route Details (Serial 608).

Driveway and intersection crossings shall not exceed 2% cross slope, shall have a level maneuvering space, shall have 1/4" max. vertical deflections, and 10% max. flare slope.

Curb Ramps shall have the required 5' clear length landing and turning space. Changes in direction shall comply with 304.3. Curb Ramps within the site shall have a target running slope of 7% or less typical and 1:12 (8.33%) maximum. Curb Ramp landing target slope is 1.5% and shall not exceed 2% running and cross slope maximum in any direction.

All walk surface along the accessible path of travel shall be firm, stable and slip resistant and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. At curb ramp landings and other transitions leading directly into the vehicular way along the accessible path of travel route(s), provide detectable warning surfaces immediately prior to entry into the vehicular way, road/drive crossings and cross walks.

All walk surfaces along the accessible path of travel shall be firm, stable and slip resistant. Sidewalks and Walkways along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% staff recommends 1% to 1.5% as a target cross slope. Walkways shall provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.

Edge protection/guard rails/handrails shall be provided at steps, sidewalks and walkways with greater than 30" vertical change in grade adjacent to the path of travel. IBC 1015.2 - Where Required, Guards shall be located along open-sided walking surfaces, including mezzanines, equipment platforms, aisles, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Guards shall be adequate in strength and attachment in accordance with Section 1607.8.

At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.

WYNANT, DONNA J.

From: Gabe Romero <gromero@sfps.k12.nm.us>
Sent: Friday, January 8, 2021 12:14 PM
To: WYNANT, DONNA J.
Subject: Re: [EXTERNAL SENDER] Fw: DRT Case - Vista de la Sierra - Final Subdivision

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Sure Donna,

Last night during the January 7, 2021 Board of Education meeting the Board voted to conditionally accept the proposed donated 3.14 acres in the Vista de La Sierra Subdivision Plat. As soon as I have the signed resolution and agreement I will share that with you.

The conditions are detailed in the agreement, but basically they are that Branch Family Holdings, LLC completes the purchase of the property, meets the conditions in the Donation Agreement, (standard legal conditions such as no liens, no storage facilities on site, property has not been used as a chemical dumping site, etc.), and pending final subdivision plat approval.

Thanks,

Gabe D. Romero
Executive Director of Operations
Office# (505) 467-3414



On Fri, Jan 8, 2021 at 11:41 AM WYNANT, DONNA J. <djwynant@santafenm.gov> wrote:
Hi Gabe,

Just wanted to follow-up with you on **Case #2020-2924**. and the Santa Fe Public Schools Board of Education consideration of a **Resolution and Agreement to accept the land donation for the Vista de la Sierra Subdivision** at their meeting yesterday, January 7, 2020.

Could you tell me what was decided? I'd like to put that info into my subdivision staff report today.

Thanks Gabe,

Donna J. Wynant, AICP
Land Use Senior Planner
City of Santa Fe Land Use Department
200 Lincoln Ave., Box 909
Santa Fe, NM 87504-0909
(505) 955-6325
djwynant@santafenm.gov
[Click here for Zoning Code Information](#)
[Click here for Property Information](#)

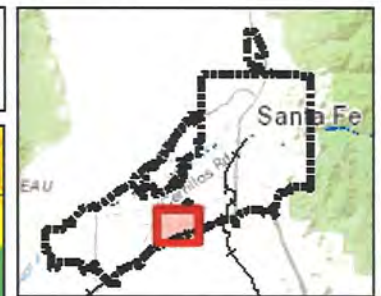
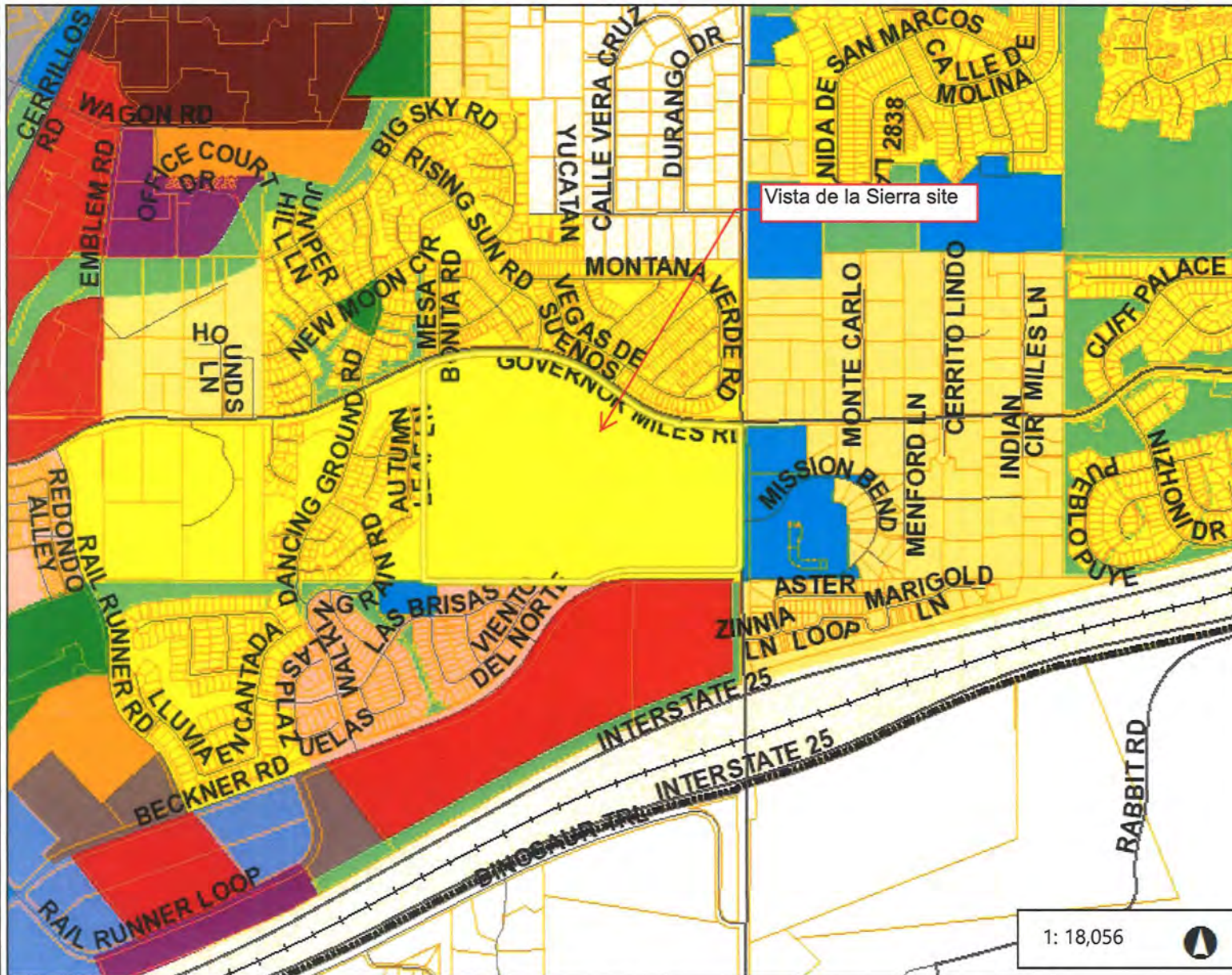
City of Santa Fe, New Mexico

Planning Commission

Exhibit C

Maps and Photos

1. Future Land Use Map
2. Current Zoning Map
3. Aerial Photo
4. Google Street Views



Legend

- City Limits
- Address Points
- Roads
- Major Roads
- Santa Fe County Parcels
- Santa Fe River
- + Rail Road
- Future Land Use
 - 1 dwelling per acre
 - 1-3 dwellings per acre
 - 3-7 dwellings per acre
 - 7-9 dwellings per acre
 - 7-12 dwellings per acre
 - 12-29 dwellings per acre
 - Regional Commercial
 - Community Commercial
 - Neighborhood Center
 - Transitional Mixed Use
 - Business Park
 - Office
 - Industrial
 - Public/Institutional
 - Open Space
 - Parks

1: 18,056

3,009.3 0 1,504.66 3,009.3 Feet

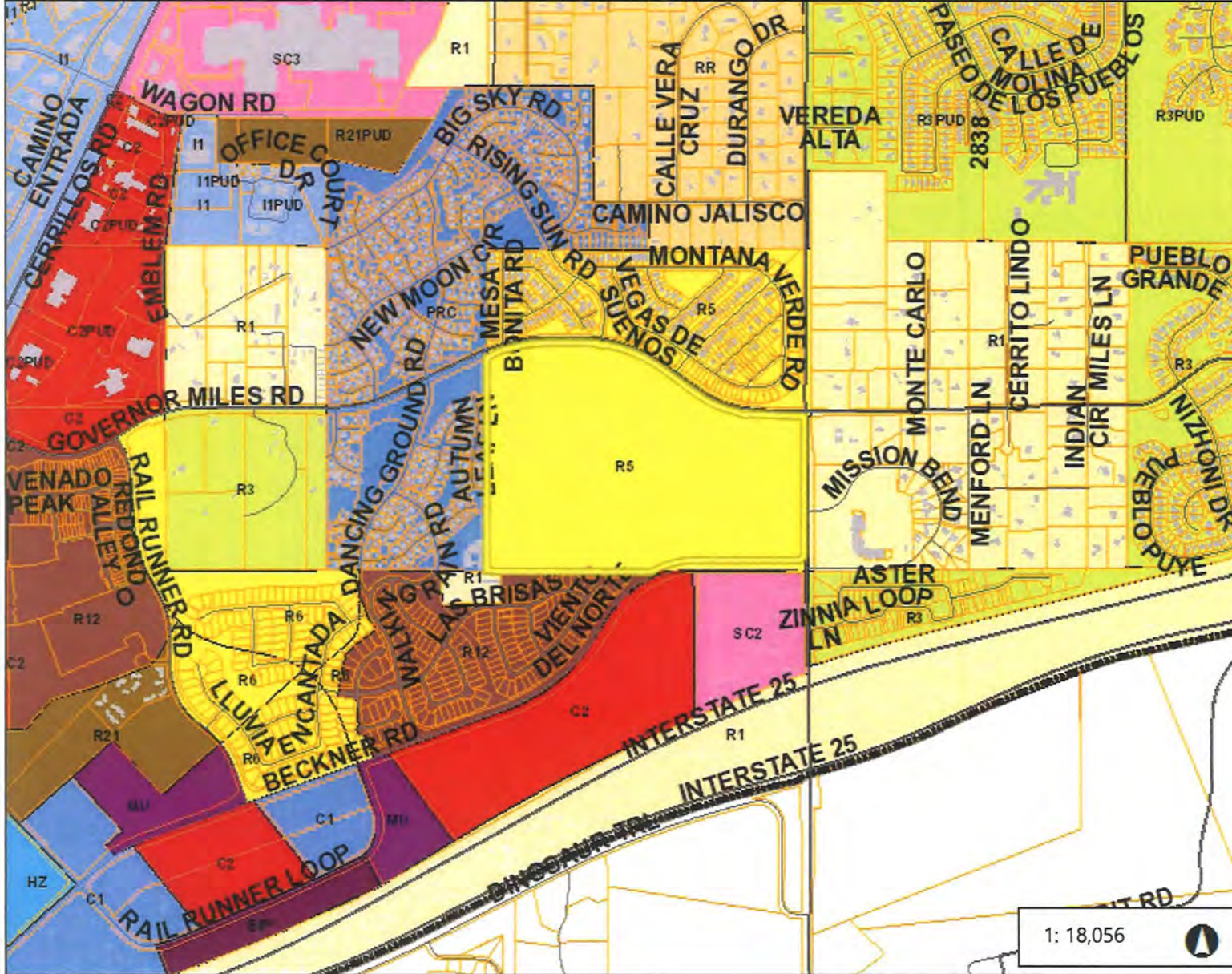
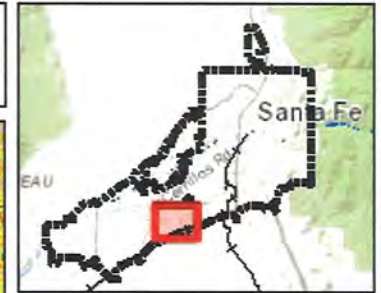
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

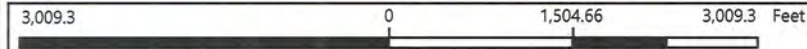
Notes

© Latitude Geographics Group Ltd.



- Legend**
- City Limits
 - Address Points
 - Building Footprint
 - Roads
 - Major Roads
 - Santa Fe County Parcels
- Zoning**
- RR Rural Residential
 - R1, (PUD) Single- Family 1du/ac.
 - R2, (DT), (PUD), (AC) Single - Fami
 - R3, (PUD) Single - Family 3du/ac
 - R4 Single - Family 4du/ac
 - R5, (DT), (PUD), (AC), R6, (PUD) 5
 - R7, (I), (PUD), R8 Single - Family 7
 - RC5, RC5AC Compound 5du/ac
 - RC8, RC8AC Compound 8du/ac
 - R10, (PUD) Multiple - Family 10du/
 - R12, (PUD) Multiple - Family 12du/
 - R21, (PUD) Multiple - Family 21du/
 - R29, (PUD), (AC) Multiple - Family 2
 - RAC Residential Arts & Crafts
 - MHP Mobile Home Park
 - C1, (PUD) Office and Related Com
 - C2, (PUD) General Commercial
 - C4 Limited Office and Retail
 - HZ Hospital Zone

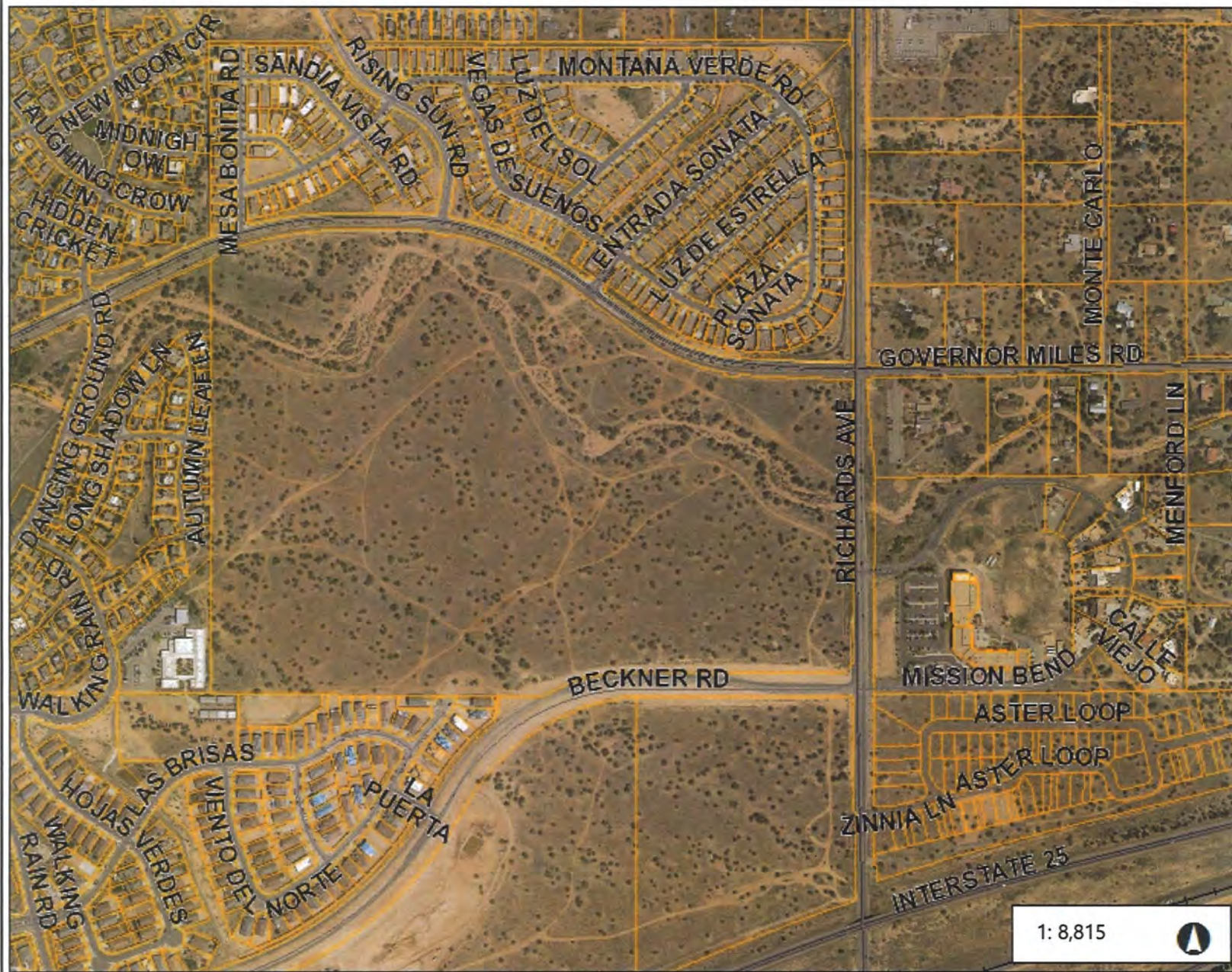
1: 18,056



WGS_1984_Web_Mercator_Auxiliary_Sphere

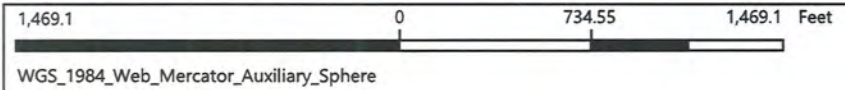
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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes
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- Legend**
- City Limits
 - Address Points
 - Roads
 - Major Roads
 - Santa Fe County Parcels
 - Santa Fe River
 - Rail Road

1: 8,815



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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

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VISTA DE LA SIERRA – (Google Street Views)



Figure 1: View of the Vista de la Sierra site, looking southwest from the Governor Miles/Richards Ave. intersection.



Figure 2: View of the Vista de la Sierra site, looking across Governor Miles from Rising Sun Drive.

City of Santa Fe, New Mexico

Planning Commission

Exhibit D

Communications to and from Neighbors of the Development Site

1. Letter to Richard Lange regarding the HOA from Jennifer Jenkins
2. Communication from NAHOA- "Issues and Requests Regarding the Final Plat Approval for Vista de la Sierra Subdivision Plan"

RE: Requested Measures for Vista de La Sierra Subdivision

Jennifer Jenkins <Jennifer@jenkinsgavin.com>

Tue 1/5/2021 11:49 AM

To: Richard Lange <r_lange@comcast.net>

Cc: WYNANT, DONNA J. <djwynant@santafenm.gov>; BERKE, NOAH L. <nberke@santafenm.gov>; BEINGESSNER, DEE <dabeingessner@santafenm.gov>; Mary Rankovich <mranko@comcast.net>; Greg Gonzales <g.gonzales@columbuscapitalsw.com>

📎 1 attachments (17 KB)

Dust Control Note-Vista de la Sierra 01.04.2021.docx;

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Richard,

Happy New Year! I hope you enjoyed the Holidays. Thank you for the lovely card. I am writing to respond to Nava Adé's requests regarding dust control measures and the maintenance of the drainage improvements. Attached is modified dust control language to be added to the plat that includes the following measures:

- Base course or other stabilizer provided at staging and parking areas.
- At least two water trucks shall be on-site for dust control whenever grading, moving, disturbing dirt, or conducting construction activity that could create dust.
- Tackifier shall be used on all graded (or cleared/grubbed) areas where construction activities will not occur within 30 days.

Regarding drainage maintenance, the HOA covenants will include specific language related to the necessary activities to properly inspect, maintain, and repair the arroyo improvements and storm water detention ponds. Furthermore, the HOA assessments will include the necessary amounts to fund the requisite drainage maintenance. Lastly, the project engineer will prepare a drainage maintenance plan for the HOA that clearly indicates the location and function of all arroyo improvements and storm water drainage ponds with a map identifying each area. The plan will clearly identify what items should be checked, what maintenance is necessary, and on what schedule. Item A in your letter regarding the HOA annually engaging a licensed engineer is far beyond what the City requires and we are not in agreement. However, we will include a provision in the covenants that, in the event of a failure of any drainage or arroyo improvement, the HOA shall hire a licensed engineer to inspect the condition and develop a repair plan, which will be promptly implemented.

Please let me know if you have any questions.

Thank you.

Jennifer Jenkins



130 Grant Avenue, Suite 101
Santa Fe, New Mexico 87501
O: 505.820.7444

M: 505.930.6149
jennifer@jenkinggavin.com
www.jenkinggavin.com

From: Richard Lange <r_lange@comcast.net>
Sent: Friday, December 18, 2020 6:59 AM
To: Jennifer Jenkins <Jennifer@jenkinggavin.com>
Cc: Donna Wynant <djwynant@santafenm.gov>; Noah Berke <nberke@santafenm.gov>; BEINGESSNER, DEE <dabeingessner@santafenm.gov>; Mary Rankovich <mranko@comcast.net>
Subject: Requested Measures for Vista de La Sierra Subdivision

Greetings Jennifer,

Following up on our recent discussion, I've attached a letter covering our HOA's requests for measures regarding grading dust-control that may have been overlooked and storm-water maintenance measures for Vista de la Sierra HOA.

Also attached is Case# 2017-123 for Estancias del Norte that is referenced in the letter which addresses similar circumstances to those of ours and VdIS with respect to HOA storm water drainage maintenance.

Please note I have yet to address the storm water drainage maintenance issue as it relates to Estancias del Norte's HOA with Land Use Staff. Therefore, the attached docs will initiate that process—and, hopefully, it will give you and the developers an opportunity to read our requests before you take holiday time off throughout next week.

I look forward to hearing back from you—and wish you and yours a safe and enjoyable Christmas holiday.

Best Regards,
Richard

Richard Lange
Chairman, NAHOA Task Force on Beaty South Plan

--
505.204.6358
4401 Autumn Leaf Lane
Santa Fe, NM 87507

DUST CONTROL

All on-site soil disturbing construction activities shall be addressed and provide measures to mitigate or control dust from being transported offsite and polluting neighboring properties.

Any person, owner, contractor or operator who conducts earthmoving and/or dust generating activities is responsible for implementing Best Management Practices (BMPs) in order to mitigate off-property transport of fugitive dust emissions.

A plan, or storm water pollution prevention plan (SWPPP) when applicable, listing the Best Management Practices (BMPs) shall be provided to the City Engineer, or his designee for review and approval. The approved BMPs shall be applied to the graded and/or disturbed soil in order to stabilize the site.

The initial BMP shall address how the Contractor will minimize the amount of disturbed soil, and how the Contractor will stabilize the disturbed surface area exposed to wind or vehicle traffic during construction.

Some BMPs shall include:

- The reduction of vehicle speeds: establish a maximum speed limit or install traffic calming devices to reduce speeds to a rate to mitigate off-property transport of dust entrained by vehicles.
- The minimization of drop height: Drivers and operators shall unload truck beds and loader or excavator buckets slowly, and minimize drop height of materials to the lowest height possible, including screening operations.
- High winds restriction: temporarily halt work activities during high wind events greater than 30 mph if operations would result in off-property transport.
- Restrict access: restrict access to the work area to only authorized vehicles and personnel.
- Base course or other stabilizer provided at staging and parking areas.
- At least two water trucks shall be on-site for dust control whenever grading, moving, disturbing dirt, or conducting construction activity that could create dust.
- Tackifier shall be used on all graded (or cleared/grubbed) areas where construction activities will not occur within 30 days.

In the event the above practices are ineffective to prevent off property transport, the person, owner, or operator shall use at one or more of the following Best Management Practices (BMPs):

- Wet suppression: apply water to disturbed soil surfaces, backfill materials, screenings, and other dust generating operations as necessary and appropriate considering current weather conditions, and prevent water used for dust control from entering any public right-of-way, storm water drainage facility, or watercourse.
- Wind barrier: construct a fence or other type of wind barrier to prevent wind erosion of the graded or disturbed surface.
- Vegetation: plant vegetation appropriate for retaining soils or creating a wind break.
- Surface roughening: stabilize an active construction area during periods of inactivity or when vegetation cannot be immediately established.
- Cover: install cover materials such as tackifiers, erosion control blankets, gravel, vegetation (when appropriate), cold-millings, etc. during periods of inactivity and properly anchor the cover.
- Soil retention: stabilize disturbed or exposed soil surface areas that will be inactive for more than 30 days or while vegetation is being established.

Nava Adé Homeowners Association
Board of Directors
January 2021

**Issues and Requests Regarding
the Final Plat Approval for
Vista de la Sierra Subdivision Plan**

January 12, 2021

Planning Commissioners, Land Use Staff, Traffic Engineering and City Planners
City of Santa Fe
Santa Fe, NM

RE: Issues and Requests Regarding the Vista de la Sierra Subdivision Final Plat Application

Dear Planning Commissioners, Land Use Department and Traffic Engineering Division,

I am writing at the request, and on behalf of the Nava Adé HOA Board of Directors (NAHOA) in regard to the applicant's request for Vista de la Sierra final plat approval. This letter is intended to address issues stemming from the developer's request to combine and jointly record Phase-1 and Phase-2. Due to the request being most recent, please know that we may lack information concerning all possible ramifications of its impact on our neighborhood.

The applicant has stated that the above-mentioned request has been made to avoid cost consequences related to having to stop grading operations after the first phase is done while waiting for the second phase to be recorded. At face value this is understandable and reasonable. For Nava Adé however, it raises the following responses and requests:

1) Dust Control

Due to the number and severity of horrific dust incidents resulting from Las Soleras cross-phase (mass) grading, our grave concern is that combining and recording the two VdIS phases will again allow for significant incidents of dust infiltrating our homes and creating health problems. These incidents could be more acute than what might otherwise result from separately grading and controlling dust in each individual phase as designated on the plans.

Our concern is that combining both phases may, or will be interpreted or designated as a single phase which could result in (mass) grading of some 50-plus acres. This runs contrary to the approved Condition regarding grading that is based on the VdIS plan for three separate phases, which is approximately 25-acres per phase. Condition #7 from the Approved Preliminary Plat states: "Require phasing of the construction as proposed by the developer to control the stormwater and dust from the site. The infrastructure for each phase must be completed prior to the start of any grading for the next phase." For additional emphasis Item #18 from Exhibit A, Technical Corrections, similarly states: "No grading will be allowed across phases."

If Phase-1 and Phase-2 are to be combined in order to be jointly recorded, we request that the original *intention* related to Condition #7 and cross-grading of phases be maintained and enforced to better control dust. Additionally, we ask that the developer provide a plan for sequential measures and steps to control grading-dust in the process of combining both

phases that they have offered¹ and will agree to abide by to NAHOA, Planning Commissioners and Land Use Staff.

2) TIA Implementation

Regardless of having both phases recorded jointly, we fully endorse the idea and developer-request to revise the Condition for the TIA to be carried out prior to implementing Phase-3. Most importantly, this request maintains the purpose for which the TIA is to be done. Furthermore, tying it to Phase-3 better allows for post-Covid traffic conditions to normalize and for the position of Traffic Engineering Director to be filled. As stated in Condition #3: "The Developer shall revise the traffic study prior to implementing Phase-2 of the development. The purpose of the revision is to include revised actual traffic counts in a hope to better account for typical traffic patterns post COVID, including school traffic."

When the TIA is to be done, we request that our committee be notified and receive a copy of it, and that additional traffic evidence we may decide to present will be considered prior to the final determinations made by the Traffic Engineering Department.

In conclusion, I hope Planning Commissioners will agree these are reasonable requests, and they will benefit all of the subdivisions surrounding VdlS, and not just Nava Adé.

Your consideration on these matters is deeply appreciated.

Sincerely,



Richard Lange
Chairman, Nava Adé HOA Task Force on the Beaty South Plan



Mary Rankovich
Director and Task Force Liaison, Nava Adé HOA Board of Directors

¹ The applicant's offer to provide a dust control plan was proposed at a meeting with staff and ourselves on January 8th, 2021

cc: Noah Berke, Planner Manager, City Land Use Department
Donna Wynant, Case Manager, City Land Use Department
Elias Isaacson, Land Use Director, City of Santa Fe
Dee Beingessner, City Engineer, Engineering Division Manager
Erick Aune, Senior Planner, Metropolitan Planning Organization
Jennifer Jenkins, JenkinsGavin Land Use Management

City of Santa Fe, New Mexico

Planning Commission

Exhibit E

Applicant Submittals

- Letter of Application
- Final Subdivision Plat Application
- Conceptual Landscape Plan
- Percolation Tests
- Water Budget
- Final Subdivision Plans
 - (Full Plan Set in Planning Commissioners Binder or as a separate pdf)



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

November 30, 2020

Donna Wynant, Senior Planner
City of Santa Fe Current Planning Division
200 Lincoln Ave.
Santa Fe, NM 87501

**RE: Vista de La Sierra Final Plat Application, Phases 1, 2, and 3
3800 Governor Miles Road**

Dear Donna:

This letter is respectfully submitted on behalf of Branch Family Holdings, LLC in application for Final Subdivision Plat approval for a 393-lot residential subdivision to be developed in three phases, for consideration by the Planning Commission at their meeting of January 21, 2021. The Preliminary Subdivision Plat was approved by the Planning Commission on November 19, 2020.

Project Summary

The 94.07-acre subject property is located at the southwest corner of Richards Ave. and Governor Miles Road and is zoned R-5. The property was annexed into the City and rezoned in 2007. The project, previously known as "Beaty South", was originally proposed as a 523-lot subdivision, with an overall density of 5.56 dwellings per acre resulting from application of the Santa Fe Homes Program 15% density bonus. The Annexation Agreement and Rezone Ordinance are attached for your reference. As part of this subdivision plat, two remainder tracts will be created at the northwest part of the site to be developed at a later time. This proposed 393-lot single family subdivision will be developed on the remaining 79.69 acres in three phases with a proposed density of 4.93 dwellings/per acre. In accordance with the Santa Fe Homes Program, 20% of the lots (79) will be developed with affordable homes.

In response to concerns expressed by the Estancias de Las Soleras neighborhood, the plans reflect a twenty-foot landscape buffer along the south boundary west of the roundabout. In addition, the number of lots in the row has been reduced by two and only single story homes will be permitted.

Subdivision Approval Criteria

Our responses to the Subdivision Approval Criteria are outlined below.

(1) In all subdivisions, due regard shall be shown for all natural features such as vegetation, water courses, historical sites and structures, and similar community assets that, if preserved, will add attractiveness and value to the area or to Santa Fe.

The property is located in the Suburban Archaeological District and an Archaeological Clearance Permit was issued as part of the Las Soleras project. Subsequently, a Clearance Permit was issued by the City on March 5, 2020 (see attached) for a previously unsurveyed 4-acre portion of the property.

The Project shows due regard for natural features and enhancement of community assets through the provision of parks, open space, and public trail improvements. In addition, bank stabilization and erosion mitigation measures are being constructed along the arroyo to address potential flood hazards for downstream properties.

(2) The planning commission shall give due regard to the opinions of public agencies and shall not approve the plat if it determines that in the best interest of the public health, safety or welfare the land is not suitable for platting and development purposes of the kind proposed. Land subject to flooding and land deemed to be topographically unsuited for building, or for other reasons uninhabitable, shall not be platted for residential occupancy, nor for other uses that may increase danger to health, safety or welfare or aggravate erosion or flood hazard. Such land shall be set aside within the plat for uses that will not be endangered by periodic or occasional inundation or produce unsatisfactory living conditions. See also Section 14-5.9 (Ecological Resource Protection Overlay District) and Section 14-8.3 (Flood Regulations).

There is no FEMA flood plain on the property. The site is gently sloped and suitable for development.

(3) All plats shall comply with the standards of Chapter 14, Article 9 (Infrastructure Design, Improvements and Dedication Standards).

The Subdivision Plat complies with the standards of Chapter 14, Article 9.

(4) A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with the provisions of Chapter 14 unless a variance is approved concurrently with the plat.

The property contains no existing nonconformity. No nonconformity is being created with this Subdivision Plat.

(5) A plat shall not be approved that creates a nonconformity or increases the extent or degree of an existing nonconformity with applicable provisions of other chapters of the Santa Fe City Code unless an exception is approved pursuant to the procedures provided in that chapter prior to approval of the plat.

Please refer to the answer to (4) above.

Access and Traffic

The project will be accessed via new full access roadway connections to Governor Miles Road and Beckner Road. In addition, Phase 1 will connect to Viento del Norte, an existing stub street in Estancias de Las Soleras and Phase 2 will connect to Whispering Wing, an existing stub street in Nava Adé. A roundabout will be constructed at the Beckner Road access in Phase 1 and Beckner Road will be urbanized east to Richards Avenue. The Governor Miles access will be constructed in Phase 3. Since two access points are required for more than thirty lots, a secondary 20-foot emergency-only access drive will be constructed as part of Phase 1 where Estrella Noche terminates at Richards Ave. just north of the Beckner Road intersection. Similarly, the lots north of the arroyo in Phase 3 will be served with an emergency-only drive connecting the cul-de-sac to Richards Ave. The access points will be gated and equipped with Opticom strobes.

The subdivision roads will be built to sub-collector standards within a 50-foot right-of-way with parking on one side of the street. Per the requirements of SFCC Table 14-8.6-1: Parking and Loading Requirements, a minimum of two off-street parking spaces will be provided for each dwelling unit.

A Traffic Impact Study was conducted by Terry Brown, P.E. and the Study's recommendations are as follows:

Phase 1

- Construct the intersection of Beckner Rd./Calle de La Alegra as a standard at-grade unsignalized intersection (future volumes will require a single lane circulating roundabout, so developer may opt to construct the roundabout at the onset of the project)
- If not a roundabout, construct an eastbound left turn deceleration lane on Beckner Rd. at Calle de La Alegra. The new eastbound left turn deceleration lane should be designed and constructed to a length of 400 feet including transition (150 ft. long transition)
- If not a roundabout, construct a westbound right turn deceleration lane on Beckner Rd. Calle de La Alegra. The new westbound right turn deceleration lane should be designed and constructed to a length of 370 feet including transition (150 ft. long transition).

Full Buildout (2034 Horizon Year)

- Adjust signal timing at the intersection of Governor Miles Rd./Richards Ave. Existing geometry with adjusted signal timing will accommodate forecast 2034 AM and PM Peak Hour volumes.
- Construct dual lane circulating roundabout at the intersection of Beckner Rd./Richards Ave.
- Convert the intersection of Beckner Rd./ Calle de La Alegra to a single lane circulating roundabout (it not already done)
- Construct the Governor Miles Road access points for Vista de La Sierra to align with Rising Sun Dr. and Entrada Sonata. Both access points should be full access unsignalized intersections. The access aligned with Entrada Sonata can be a single

approach (northbound) access. It is suggested that the access aligned with Rising Sun Dr. be constructed with two approach lanes (northbound) – one for exclusive left turns and one for through/right turns. A westbound left turn deceleration lane on Governor Miles Rd. already exists for this access point.

- Construct a westbound left turn deceleration lane on Governor Miles Rd. at the new access that aligns with Rising Sun Dr. The westbound left turn deceleration lane should be designed and constructed to a length of 150 feet long including 50 ft. long transition.

Ultra-Horizon Year (2040)

- Construct a northbound right-turn lane on Richards Ave. at Governor Miles Rd. (northbound right turn movements can be signalized or not signalized).

As stated above, the roundabout will be constructed in Phase 1. In addition, a temporary traffic signal is planned for the Richards Ave./Beckner Rd. intersection to be constructed as part of the Villa Sendero apartment project.

The Report was revised in response to the review comments from Public Works and the revision was submitted as part of the Preliminary Plat process and is also included with this application. A condition of the Preliminary Plat approval is the submission of an updated, post-COVID traffic study prior to commencing with Phase 2. Although we are now requesting Final Plat approval for all three phases, we acknowledge that an updated study must be submitted prior to recording the Phase 2 plat.

Terrain Management

The property slopes from the southeast to the northwest with an overall grade change of approximately 55 feet. An arroyo traverses the northern part of the property flowing from east to west. The Drainage Management Plan for the development and the arroyo properly addresses all aspects of drainage and complies with the City of Santa Fe terrain management regulations. The development will control storm water using a series of onsite storm water ponds to collect, detain and release storm water runoff at pre-developed flow rates. Drainage structures will be constructed to release storm water into the arroyo in a stable manner. Other drainage structures will be constructed to address existing erosion and slope stability issues and to stabilize the arroyo. Existing storm drains that discharge to the property that are causing erosion are also being addressed, such as the crossing structure of Richards Avenue. Currently some adjacent areas are subject to flooding either by upstream basins or by the arroyo itself. The proposed improvements will intercept and redirect these flows and provide the necessary drainageway protection. Lastly, per the request from the City Engineer, a summary of the percolation test results is attached.

Landscaping, Open Space & Trails

Street trees will be provided along the roadways and the open space, parks, and detention ponds will be landscaped in accordance with Code requirements. All disturbed areas will be reseeded with a native grass seed mix.

In accordance with §14-8.15(C), parks and open space are being provided as outlined below:

<u>Open Space</u>	Required:	0.024 acres/dwelling unit or 9.43 acres
	Provided:	13.88 acres
<u>Parks</u>	Required:	0.006 acres/dwelling unit or 2.36 acres
	Provided:	2.97 acres

The park areas include a passive recreational area and an active play area, which are accessible via the trail network within the open space. Asphalt trails will be constructed within 20' public trail easements with two connection points to the existing Nava Adé trail network at each end of Autumn Leaf Lane. Please refer to the Landscape Plans for further information.

Water and Wastewater

The Project will be served with City of Santa Fe public water and sewer. There is an existing water main on the property adjacent to the overhead utility easement. New 10" and 8" public waterlines will be constructed in the roadways connected to this line, as well as existing off-site water mains at the following locations: Governor Miles Road (two locations) Beckner Road, Richards Ave. (two locations), and Whispering Wing.

New 8" public sewer lines will be constructed in the roadways, which will connect to the public trunk line adjacent to the arroyo. In addition, sewer connections are proposed at Viento del Norte and an existing line in Nava Adé.

Archaeology

The property is located in the Suburban Archaeological District and an Archaeological Clearance Permit was issued as part of the Las Soleras project. Subsequently, a Clearance Permit was issued by the City on March 5, 2020 (see attached) for a previously unsurveyed 4-acre portion of the property.

School Site Dedication

In accordance with the provisions of the Annexation Agreement, the 3.14-acre Tract W will be dedicated to the Santa Fe Public Schools following recordation of the Phase 2 plat that creates this parcel.

Santa Fe Homes Program

In accordance with the provisions of the Santa Fe Homes Program ("SFHP"), the Project will provide 79 affordable homes (20% of the lot total). Please refer to the attached SFHP Proposal for more information.

Early Neighborhood Notification

An Early Neighborhood Notification meeting was held on March 9, 2020 and subsequent meetings were held with HOA representatives and residents from Nava Adé and Estancias de Las Soleras. Discussions included questions about traffic, access to existing neighborhood streets, density, arroyo/flooding concerns, view impacts, etc. Notes from the meeting are attached for your review.

In support of this request, the following documentation is submitted herewith for your review and consideration:

- | | |
|-----------------------------------|-----------------------------|
| 1. Subdivision Application | 5. Drainage Report, Revised |
| 2. Letters of Owner Authorization | 6. Percolation Test Results |
| 3. Warranty Deed | 7. Traffic Study, Revised |
| 4. Lot of Record Plat | 8. Final Subdivision Plans |

The development review fees are calculated as follows:

Final Plat: \$200.00 x 314 market rate lots =	\$62,800.00
Notice Boards (4): =	120.00
<u>TOTAL</u>	<u>\$62,920.00</u>

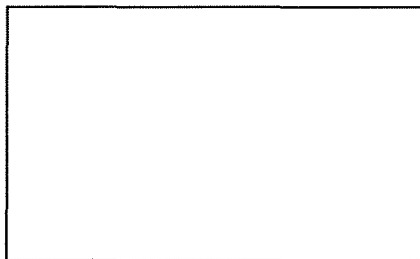
Please let me know if you have any questions or require additional information.

Thank you for your consideration.

Sincerely,



Jennifer Jenkins, Principal



SUBDIVISION APPLICATION

Parcel Information

Project Name: Vista de la Sierra

Address: 3800 Governor Miles Road Property Size: 79.69 acres

Current Use of Land: Vacant Proposed Use of Land: 393 residential lots/3 Phases

Does a Rezoning application accompany this application? YES NO Are any variances required? YES NO

Preapplication Conference Date: _____

Early Neighborhood Notice (ENN) meeting date: March 9, 2020 Zoning: R-5

Check One: Preliminary Plat Final Plat UPC Number: 1-050-095-387-083

Property Owner Information

Company Name: Building Services of Santa Fe, LLP

Name: _____

Address: P.O. Box 4496

<i>Street Address</i>	<i>Suite/Unit #</i>
<u>Santa Fe</u>	<u>NM 87502</u>
<i>City</i>	<i>State ZIP Code</i>

Phone: () _____ E-mail Address: _____

Applicant/Agent Information (if different from owner)

Company Name: JenkinsGavin, Inc.

Name: Jennifer Jenkins

Address: 130 Grant Ave. 101

<i>Street Address</i>	<i>Suite/Unit #</i>
<u>Santa Fe</u>	<u>NM 87501</u>
<i>City</i>	<i>State ZIP Code</i>

Phone: () 820-7444 E-mail Address: jennifer@jenkinsgavin.com

Correspondence Directed to: Owner Applicant Both

Agent Authorization (if applicable)

I am the owner and record title holder of the property located at: _____

I authorize See attached letter. to act as my agent to execute this application.

Signed: _____ Date: _____

Submittal Checklist (Requirements found in Section 14-3.7 SFCC 1987)

Six (6) 24"x36" plan sets and one CD containing the same information as the paper set (PDF) are required. Please include the following:

<input checked="" type="checkbox"/> Letter of Application (intent, location, acreage)	<input checked="" type="checkbox"/> Legal Lot of Record, Legal Description	<input checked="" type="checkbox"/> Preliminary Plat or Final Plat	<input checked="" type="checkbox"/> Landscape, Parking and Lighting Plan, Signage Specifications	<input checked="" type="checkbox"/> Terrain Management Plans (as required by Section 14-8.2 SFCC 2001)
<input checked="" type="checkbox"/> Traffic Impact Analysis (if required)	<input checked="" type="checkbox"/> Sewer and Water Plan (Profiles and details – Final Plat only)	<input checked="" type="checkbox"/> Phasing Plan (if applicable)	<input checked="" type="checkbox"/> Archaeological Clearance (if applicable)	<input type="checkbox"/>

Subdivisions per Section 14-3.7 SFCC 1987:

Preliminary Plat (Section 14-3.7(B)(3) SFCC 1987)

See above for submittal requirements. See also Section 14-9 Infrastructure Design, Improvement and Dedication Standards.

Final Plat (Section 14-3.7(B)(4) SFCC 1987)

The final plat shall conform substantially to the preliminary plat as approved.

Signature

I hereby certify that the documents submitted for review and consideration by the City of Santa Fe have been prepared to meet the minimum standards outlined in the Land Development Code, Chapter 14 SFCC 1987. Failure to meet these standards may result in the rejection of my application. I also certify that I have met with the City's Current Planning staff in a preapplication meeting to verify that the attached proposal is in compliance with the City's zoning and development plan requirements.

Signature: Jennifer Jenkins Date: 11/30/2020

A case manager will be assigned to your project and will notify you within 10 business days if any additional information is needed. After your application has been reviewed by City staff, you will be contacted by us regarding public notice requirements. A packet of information and instructions will be provided regarding the required mailing and sign posting. Please contact the Land Use Department staff at (505) 955-6585 with any questions.



**- Only single story homes permitted.
- Lot count reduced by four.**

VISTA DE LA SIERRA

Conceptual Landscape Plan



Western Technologies Inc.
The Quality People
Since 1955

8305 Washington Place N.E.
Albuquerque, New Mexico 87113-1670
(505) 823-4488 • fax 821-2963

November 11, 2020

Columbus Capital, LLC
P.O. Box 2328
Santa Fe, New Mexico

Attn: Greg Gonzales

Re: Vista De La Sierra
Governor Mills Road & Richards Avenue
Santa Fe, New Mexico

Job No. 3220JJ019
Addendum No. 1

Western Technologies Inc. (WT) is presenting this addendum letter to our report 3220JJ019, dated March 12, 2020 regarding the referenced project. Infiltration rates were determined for this site by running 7 percolation tests in an 8 inch diameter boring in general accordance with NM Environment Department guidelines. The boring location diagram showing the percolation test locations is attached.

The soil conditions encountered were found to consist of interbedded Silty SAND and Clayey SAND. The near surface soils are non-plastic to low plasticity. The percolation rates are:

Boring Location (#)	Depth (ft)	Infiltration Rate (min/in)
1	4.0	10
2	4.5	16
3	4.0	8
4	3.5	10
5	4.0	15
6	4.0	13
7	4.5	14

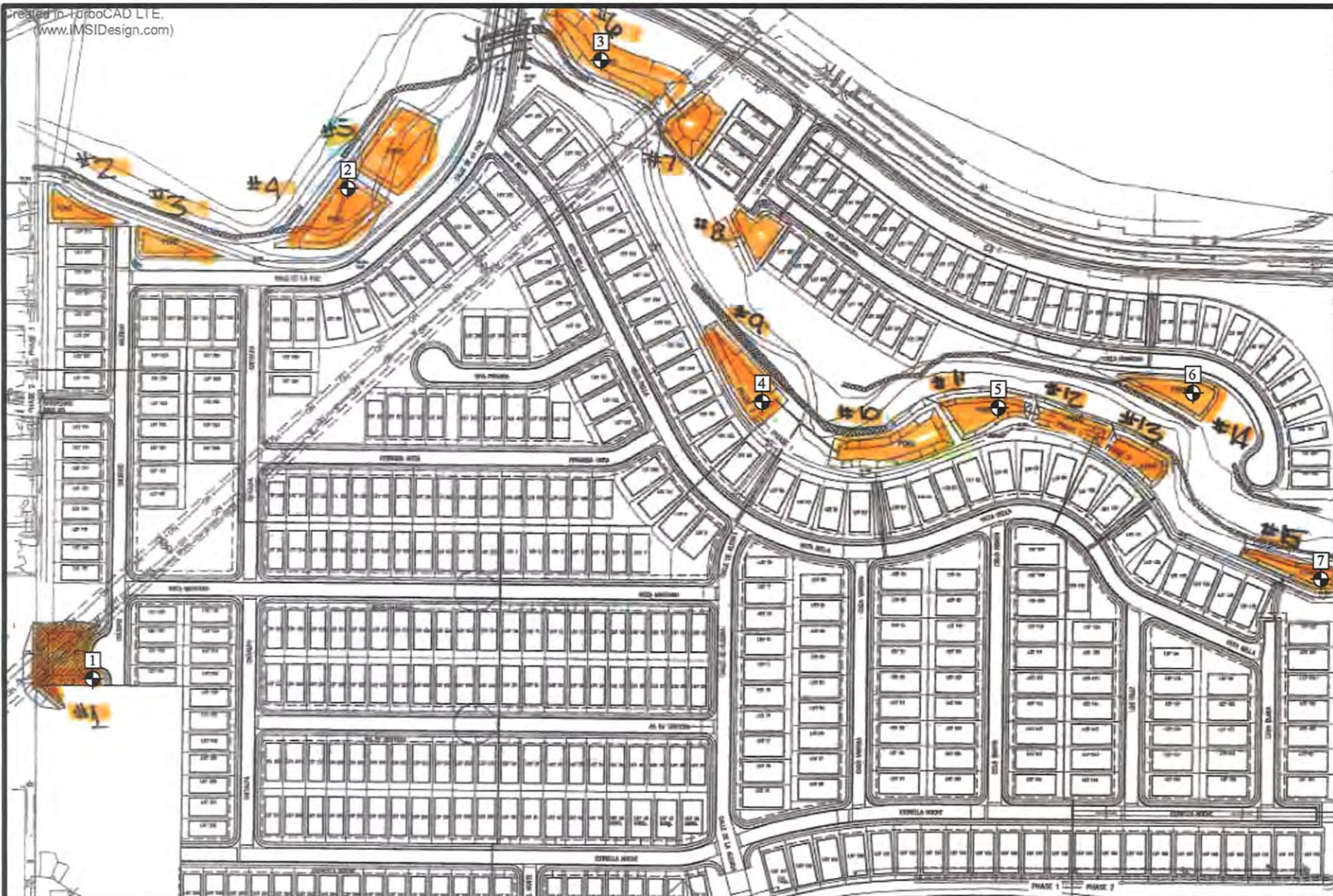
We appreciate working with you on this project. If you have any questions regarding this information, or require further consultation, please feel free to contact us.

Sincerely,
WESTERN TECHNOLOGIES INC.
Geotechnical Engineering Services

Kyel Newberry, E.I.
Project Engineer



Jeff M. Boyd, P.E.
Senior Geotechnical Engineer



 Approximate Percolation Test Location


NOT TO SCALE

Geotechnical
Environmental
Inspections
Materials



**Western
Technologies Inc.**
The Quality People
Since 1955

PROJECT: Vista De La Sierra Percolation Tests

JOB NO.: 3220JJ019

PLATE

1

BORING LOCATION DIAGRAM

Vista de La Sierra Subdivision
 Water Budget
 September 21, 2020

TOTAL LOTS	393
SFHP LOTS	79
MARKET LOTS	314

PHASE 1	128 LOTS	26 SFHP LOTS	102 MARKET LOTS
LOT SIZE	QUANTITY	AFY/LOT	TOTAL AFY
< 6,000 sf	108	0.15	16.2
6,000 - 10,890 sf	20	0.17	3.4
PHASE 1	128		19.6
LESS SFHP LOTS	26	0.15	3.9
MARKET SUBTOTAL			15.70
COMMON AREA IRRIGATION			0.67
MARKET SUBTOTAL			16.37
9.8% LINE LOSS CONTINGENCY			1.60
PHASE 1 WATER DEMAND OFFSET			17.98
PHASE 2	143 LOTS	29 SFHP LOTS	114 MARKET LOTS
LOT SIZE	QUANTITY	AFY/LOT	TOTAL AFY
< 6,000 sf	130	0.15	19.5
6,000 - 10,890 sf	13	0.17	2.21
PHASE 2	143		21.71
LESS SFHP LOTS	29	0.15	4.35
MARKET SUBTOTAL	114		17.36
COMMON AREA IRRIGATION			0.96
PHASE 2 SUBTOTAL			18.32
9.8% LINE LOSS CONTINGENCY			1.80
PHASE 2 WATER DEMAND OFFSET			20.12
PHASE 3	122 LOTS	24 SFHP LOTS	98 MARKET LOTS
LOT SIZE	QUANTITY	AFY/LOT	TOTAL AFY
< 6,000 sf	108	0.15	16.2
6,000 - 10,890 sf	14	0.17	2.38
PHASE 3	122		18.58
LESS SFHP LOTS	24	0.15	3.60
MARKET SUBTOTAL	98		14.98
COMMON AREA IRRIGATION			3.32
PHASE 2 SUBTOTAL			18.30
9.8% LINE LOSS CONTINGENCY			1.79
PHASE 3 WATER DEMAND OFFSET			20.09
PROJECT BUDGET	393 LOTS		59.89

CASE # 2020-002924

P:\Columbus Capital Corporation\2020\19-000103-00\ConstructionDrawings\Civil\PHASES\A001\05-Overall Cover Sheet.dwg 11/30/2020 2:22 PM

CITY OF SANTA FE VISTA DE LA SIERRA SUBDIVISION

PHASES 1, 2 & 3

NOVEMBER 30, 2020



NOT TO SCALE

APPROVED FOR CONSTRUCTION:	
SUBDIVISION ENGINEER _____	DATE _____

CONSULTANTS



DEVELOPER

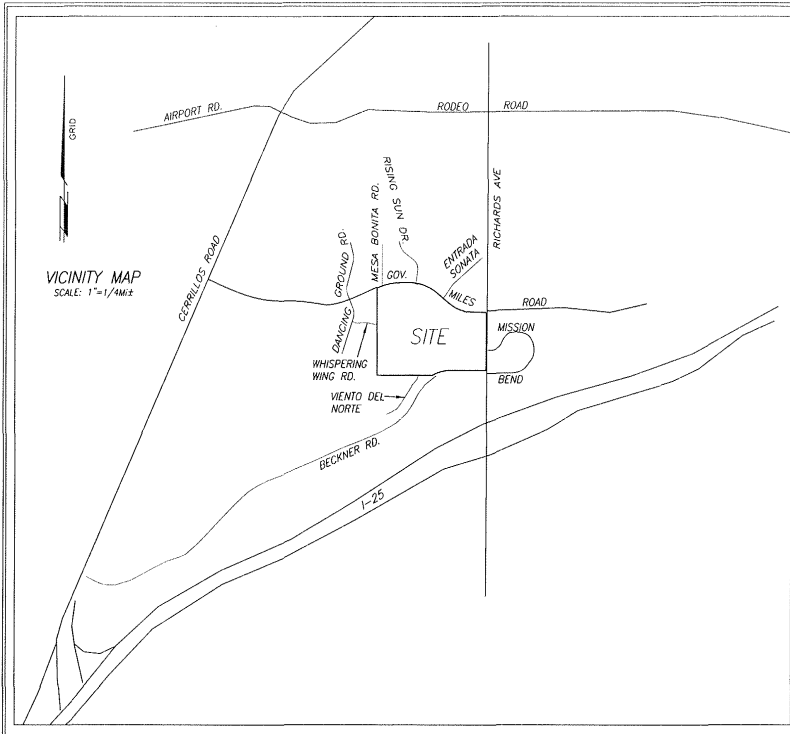


SHEET INDEX	
SHEET #	TITLE
G-001	COVER SHEET / INDEX OF SHEETS
G-002	GENERAL NOTES
S-100A TO S-100B	EXISTING CONDITION TOPOGRAPHY
S-101 TO S-109A	FINAL PLATS
S-115	SLOPE ANALYSIS MAP
S-120	PHASING PLAN
C1-100	OVERALL GRADING PLAN
C1-101 TO C3-105	GRADING PLANS
C1-106 TO C3-106	STORM WATER POLLUTION PREVENTION PLANS
C1-200 TO C3-200	OVERALL PAVING PLAN
C1-201 TO C3-209	ROADWAY and STORM DRAIN PLAN & PROFILES
C-300	OVERALL WATER and SANITARY SEWER PLAN
C1-301 TO C3-309	WATER and SANITARY PLAN & PROFILES
C1-400 TO C3-404	ARROYO IMPROVEMENTS PLAN
C-500	TRAFFIC CONTROL PLAN
C1-600 TO C3-601	SIGNAGE, STRIPING AND DRY UTILITY PLAN
C-900 TO C-902	CIVIL DETAILS and TYPICAL STREET SECTION
GD-1	DETAILED GRADING PLAN
SWPPP-1	SWPPP DETAILS
SF-1 TO SF-4	SEWER DETAILS
WL-1	WATERLINE DETAILS
PAD-1 TO PAD-4	NMDOT CURB ACCESS PLAN and PAVING DETAILS
BDIC-003-04	NMDOT DROP INLET FOR TYPE "B" CURBS
BDIC 004-A to 004-B	NMDOT TYPE "B" MODIFIED DROP INLETS FOR CURBS
609-01-1/1	NMDOT SIDEWALK, CURB AND GUTTER DETAILS
L-100 TO L-106	IRRIGATION PLANS - PHASES 1,2,3
L-200 TO L-205	LANDSCAPING PLANS - PHASES 1,2,3

VISTA DE LA SIERRA SUBDIVISION

CASE / PERMIT NO. S-2020-2642

SHEET NO.
G-001



AEROTECH MAPPING LEGEND

- SYMBOLS DESCRIBED**
NOT ALL SYMBOLS SHOWN ARE USED
- FLAG
 - GRID TICK
 - AERIAL PANELS
 - PALM TREE
 - SINGLE TREE
 - PEDESTRIAN SIGNAL
 - CULVERT
 - POST - MISC
 - SPOT ELEVATION
 - BILBOARD
 - TRANSMISSION
 - BRIDGE SIGNS
 - CATCH BASIN
 - FIRE HYDRANT
 - METER / UTILITY
 - MAN HOLE
 - STREET LIGHT
 - LIGHT POLE
 - UTILITY POLE
 - SIGNS
 - SIGNS
 - TV DISH
 - STREET SIGN
 - GATE
 - TRAFFIC SIGNAL
 - VALVE
 - ARROW / STRAIGHT
 - ARROW / TURNS
 - ARROWS / TURNS
 - BIKE LANE
 - HANDICAP
 - TRAFFIC PAINT
 - TRAFFIC PAINT
 - MINI
 - BUILDING
 - BRIDGE
 - CANDY
 - CENTER LINE PAINT
 - CONCRETE
 - CURB / CUTTER
 - DIRT ROAD / TRAIL
 - GOLF FAIRWAY
 - FENCE
 - GRID TEXT
 - INDEX CONTOUR
 - INTER CONTOUR
 - ASPHALT PAVEMENT
 - SWIMMING POOL
 - RETAINING WALL
 - PAVED ROAD
 - RAILROAD
 - VEGETATION/TREE LINE
 - GUARD RAIL
 - PARKING STRIPES
 - WASH

REFERENCE DOCUMENTS:

"BECKNER ROAD EXTENSION DEDICATION PLAT PREPARED FOR BUILDING SERVICES OF SANTA FE, BEATY FAMILY LTD. CO. AND THE CITY OF SANTA FE SHOWING PUBLIC R/W DEDICATION OF A PORTION OF LOT 3 AS SHOWN ON PLAT RECORDED IN BOOK 710 PAGES 21-22", AS RECORDED AS INST.# 1796166 IN BK. 804 PAGES 09-10.

LOT LINE ADJUSTMENT PLAT PREPARED FOR BECKNER ROAD EQUITIES, INC. BY CARY E. DAWSON, NMLS 7014. PLAT RECORDED AS INSTRUMENT NUMBER 1592455 ON THE 4TH DAY OF MARCH, 2010 AND PLAT BOOK 714 PAGES 14-26, IN THE SANTA FE COUNTY CLERK'S OFFICE.

ROADWAY & UTILITY RIGHT OF WAY GOVERNOR MILES ROAD NMM ADE SUBD. TO RICHARDS AVE. SE1/4 SR, T16N, R9E, NMPM SANTA FE COUNTY, N.M. PREPARED BY RICHARD A. MORRIS, L.S.#10277, RECORDED IN PLAT BK. 362 PG.07.

WARRANTY DEED, JOHN ARDISSONE AND MAY I. ARDISSONE TO BUILDING SERVICES OF SANTA, BK 462 PAGE 621.

ALL OTHER REFERENCE DOCUMENTS AS NOTED HEREON.

NOTES:

ALL EASEMENTS AND DATA ARE TAKEN FROM REFERENCE DOCUMENTS #1. NO ADDITIONAL RESEARCH HAS BEEN PROVIDED NOR PERFORMED FOR THIS SURVEY.

TOPOGRAPHIC MAPPING PROVIDED BY "AEROTECH MAPPING, INC." ("AEROTECH") HAS THE BASIS OF CONTOURS PROVIDED HEREIN, ALL DATA FROM THIS MAPPING HAS NOT BEEN VERIFIED AND THE PURPOSE OF THIS MAP IS TO CERTIFY THAT MAPPING MEETS OR EXCEEDS MAPPING STANDARDS.

SEE RECORDED PLATS FOR NOTES, RESTRICTIONS AND EASEMENTS. THIS PROPERTY IS SUBJECT TO VALID RESTRICTIONS, EASEMENTS AND COVENANTS OF RECORD.

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINE, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES.

ALL UNDERGROUND UTILITIES ON THIS DRAWING ARE APPROXIMATE, LOCATED FROM A COMBINATION OF FIELD TIES OF SURFACE FEATURES, MARKINGS BY LOCATORS AND G.I.S. MAPS PROVIDED BY UTILITY COMPANIES. REFER TO NMB11 TICKET 2021.8324. THIS INFORMATION SHOULD NOT BE USED IN LIEU OF FIELD INSPECTIONS. CONTRACTOR OR OWNER IS RESPONSIBLE TO HAVE UTILITIES LOCATED AND POT-HOLED PRIOR TO DIGGING, CONTACT THE GOVERNING UTILITY PROVIDER FOR ADDITIONAL INFORMATION. LOCATES WERE EXISTING AND NO LOCATES WERE ORDERED FOR THIS SURVEY.

CONTROL SUMMARY:

BEARINGS ARE GRID. DISTANCES ARE REFERRED TO 6800' AMSL. TO CONVERT TO NAD83 CENTRAL ZONE GRID DISTANCES, MULTIPLY BY THE COMBINED SCALE FACTOR OF 0.999583683. VERTICAL DATUM IS NAVD83. ALL DATA IS DERIVED FROM CONTROL ESTABLISHED USING THE NAD83 PROJECTION FROM RTK BASE STATION "DAWSON2", ESTABLISHED FROM 32 NCS AND SANTA FE COUNTY G.I.S. CONTROL STATIONS: GRID N1687626.87027, GRID E 1708833.475 AND AN ELEVATION OF 6572.376 VIA STATIC OBSERVATION.

FLOOD ZONE

THIS PROPERTY LIES WITHIN OTHER AREAS ZONE "X", AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAPS (F.I.R.M.) #35049003940, EFFECTIVE DATE JUNE 17, 2008.

SURVEYORS CERTIFICATE:

I HEREBY CERTIFY THAT I ESTABLISHED THE HORIZONTAL AND VERTICAL CONTROL POINTS USED FOR THE BASIS OF THIS AERIAL MAPPING ON JANUARY 27, 2020. THE SPOT ELEVATIONS WERE OBTAINED UNDER MY PERSONAL SUPERVISION ON FEB. 26, 2020 AND MORE THAN 95% OF THOSE POINTS COMPARED TO THE CONTOURS AS REFERENCED, MEET OR EXCEED MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS. THIS IS A TRUE REPRESENTATION OF A TOPOGRAPHIC SURVEY COMPILED BY ME, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND MAP ARE CORRECT, TRUE AND AM MEET MINIMUM MAPPING STANDARDS.

Diego J. Sienegas
DIEGO J. SIENEGAS, N.M.P.L.S. #13986 3/19/2020



TOPOGRAPHIC SURVEY
PREPARED FOR
COLUMBUS CAPITAL, LLC
SHOWING
EXISTING SITE CONDITIONS ON
LOT 3A/3800 GOVERNOR MILES RD.
WITHIN SECTION 8, T16N, R9E, NMPM CITY
& COUNTY OF SANTA FE, N.M.

DAWSON SURVEYS FIELD THE LEGEND AND ABBREVIATIONS

- # DENOTES #4 REBAR 10277
- DENOTES #4 REBAR, LS 13986 OR AS INDICATED
- DENOTES CALCULATED POINT, NOT SET
- SD DENOTES PEDESTAL, TRANSFORMER, SWITCHGEAR OR UTILITY CABINET
- CD DENOTES COMMUNICATION PEDESTAL/RISER
- DENOTES STAKE, MARKING BORE HOLE LOCATION
- DENOTES ELEC. METER
- DENOTES METER/METERS
- DENOTES UTILITY POLE
- DENOTES ANCHOR/GUY
- DENOTES SEWER MANHOLE
- DENOTES WATER VALVE
- DENOTES WATER METER
- +0.0 DENOTES SPOT ELEVATIONS/SPOT VERIFICATIONS
- (0.0) DENOTES INTERPOLATED MAPPING SPOT VERIFICATION WHERE APPROACHING OR EXCEEDING MINIMUM TOLERANCES
- DENOTES FENCE
- OH --- DENOTES OVERHEAD UTILITY LINE
- W --- DENOTES WATER LINE, LOCATOR LOCATION
- S --- DENOTES SEWER LINE, ASSUMED LOCATION
- C --- DENOTES COMMUNICATION LINE, LOCATOR LOCATION
- G --- DENOTES GAS, LOCATOR LOCATION
- W --- DENOTES WATERLINE, G.I.S. MAPPING
- DENOTES JOINT UTILITY TRENCH, G.I.S. MAPPING
- DENOTES GAS, G.I.S. MAPPING
- SDE DENOTES SLOPE & DRAINAGE EASEMENT
- PUE DENOTES PUBLIC UTILITY EASEMENT
- SCME DENOTES SLOPE CONSTRUCTION & MAINTENANCE EASEMENT
- PUE DENOTES PUBLIC UTILITY EASEMENT
- DE DENOTES DRAINAGE EASEMENT
- DENOTES BOUNDARY OF LANDS DEALT WITH BY THIS PLAT. INFORMATION OUTSIDE THIS BOUNDARY IS BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

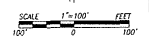
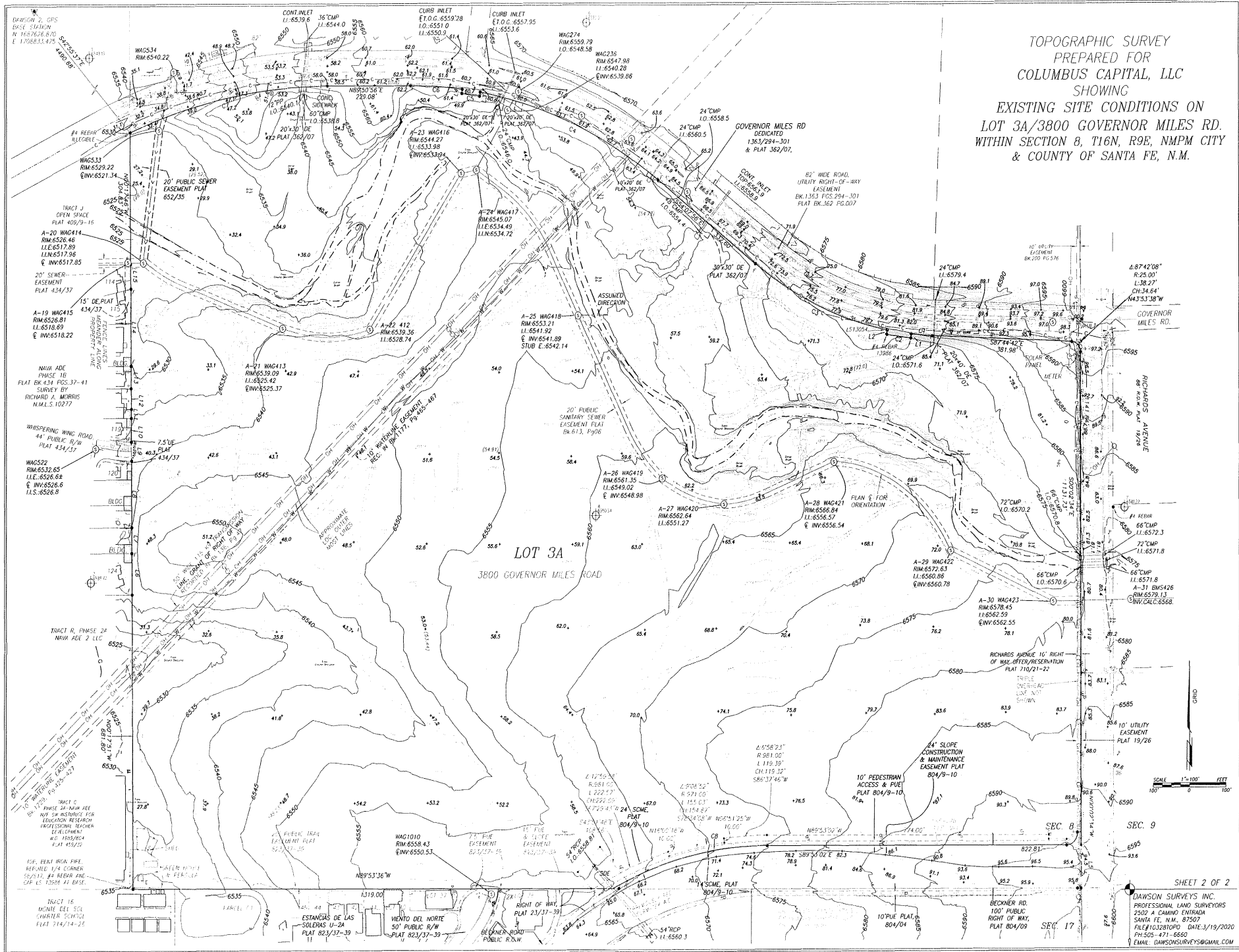
LINE TABLE

LINE	BEARING	DIST
L1	N08°02'45"E	10.01'
L2	S88°02'45"W	10.01'
L3	N09°24'15"E	10.00'
L4	S06°55'56"W	10.00'
L5	S00°02'34"E	130.08'
L6	N00°21'48"W	96.34'
L7	N00°21'48"W	59.78'
L8	N00°17'43"W	154.51'
L9	N00°17'43"W	44.01'
L10	N00°17'20"W	54.85'
L11	N00°02'03"W	21.23'
L12	N00°25'47"W	47.81'
L13	N00°20'58"W	51.96'
L14	N00°17'00"W	178.76'
L15	N00°30'02"W	56.84'

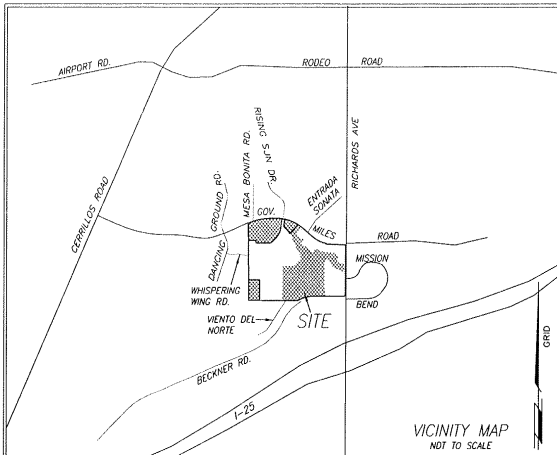
CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	CHD BRG
C1	3°45'06"	891.00'	58.34'	58.33'	S85°52'09"E
C2	4°11'53"	901.00'	66.01'	66.00'	S81°52'15"E
C3	2°36'57"	891.00'	398.35'	395.04'	S86°56'25"E
C4	26°27'49"	1159.00'	535.32'	630.57'	S67°21'51"E
C5	2°28'19"	1149.00'	49.57'	49.57'	S81°49'55"E
C6	7°03'58"	1159.00'	142.93'	142.84'	S86°36'03"E
C7	21°50'45"	1458.00'	556.29'	552.92'	N26°55'34"E
C8	95°09'32"	957.00'	440.34'	436.47'	S76°58'04"W
C9	90°09'32"	30.00'	47.21'	42.49'	N45°02'12"E

TOPOGRAPHIC SURVEY
 PREPARED FOR
 COLUMBUS CAPITAL, LLC
 SHOWING
 EXISTING SITE CONDITIONS ON
 LOT 3A/3800 GOVERNOR MILES RD.
 WITHIN SECTION 8, T16N, R9E, NMPM CITY
 & COUNTY OF SANTA FE, N.M.



SHEET 2 OF 2
 DAWSON SURVEYS INC.
 PROFESSIONAL LAND SURVEYORS
 2502 A CAMINO ENTRADA
 SANTA FE, N.M. 87507
 FILE# 103280PO DATE: 3/19/2020
 PH: 505-471-6880
 EMAIL: DAWSONSURVEYS@GMAIL.COM



VICINITY MAP
NOT TO SCALE

CITY OF SANTA FE APPROVAL & REVIEW
APPROVED BY THE SANTA FE PLANNING COMMISSION AT THEIR
MEETING OF 2020, AS CASE NO. 2020--

PLANNING COMMISSION CHAIRPERSON _____ DATE _____
PLANNING COMMISSION SECRETARY _____ DATE _____
CITY ENGINEER FOR LAND USE _____ DATE _____
CITY PLANNER _____ DATE _____

NOTES

- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
- BUILDABLE AREAS FOR PLATTED PARCELS WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION AS DETAILED IN THE LAND DEVELOPMENT CODE.
- EACH LOT SHALL BE SERVED WITH SEPARATE SEWER AND WATER SERVICES.
- THE PROPERTY AND STRUCTURES SHALL BE CONNECTED TO THE CITY'S PUBLIC SEWER COLLECTION SYSTEM.
- PRIOR TO ANY NEW CONSTRUCTION, PLAT WILL BE SUBMITTED TO FIRE DEPARTMENT FOR COMPLIANCE WITH INTERNATIONAL FIRE CODE.
- WASTEWATER U.E.C. CHARGES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION.
- NO FENCES, WALLS OR OTHER STRUCTURES SHALL BE CONSTRUCTED WITHIN OR ACROSS SANITARY SEWER EASEMENTS.
- NO WALLS, FENCES OR OTHER STRUCTURES THAT WOULD IMPEDE DRAINAGE FLOW SHALL BE PLACED WITHIN DRAINAGE EASEMENTS SHOWN HEREON.
- ANY AND ALL DEVELOPMENT SHALL MEET THE IRC CODE REQUIREMENTS 2009 EDITION OR THE MOST CURRENT EDITION THE GOVERNING BODY HAS ADOPTED AT THE TIME OF PERMITTING.

FLOOD ZONE

THIS PROPERTY LIES WITHIN OTHER AREAS ZONE "X", AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (F.I.R.M.) #35040C0394D, EFFECTIVE DATE JUNE 17, 2008.

LOT OF RECORD AND OTHER REFERENCE DOCUMENTS:

- LOT 3 : BECKNER ROAD EXTENSION DEDICATION PLAT PREPARED FOR BUILDING SERVICES OF SANTA FE, BEATY FAMILY LTD. CO. AND THE CITY OF SANTA FE SHOWING PUBLIC R/W DEDICATION OF A PORTION OF LOT 3 AS SHOWN ON PLAT RECORDED IN BOOK 710 PAGES 21-22", AS RECORDED AS INST.# 1798166 IN BK. 804 PAGES 09-10
- LOT LINE ADJUSTMENT PLAT PREPARED FOR BECKNER ROAD EQUITIES, INC. BY GARY E. SIMMONS, MMS# 7014. PLAT RECORDED AS INSTRUMENT NUMBER 1582455 ON THE 4TH DAY OF MARCH, 2010 AND PLAT BOOK 714 PAGES 14-26, IN THE SANTA FE COUNTY CLERKS OFFICE.
- ROADWAY & UTILITY RIGHT OF WAY GOVERNOR MILES ROAD NAVA ADE SUBD. TO RICHARDS AVE. SE1/4 S8, T16N, R9E, NMPM SANTA FE COUNTY, N.M., PREPARED BY RICHARD A. MORRIS, L.S.#10277, RECORDED IN PLAT BK. 362 PG.01.
- WARRANTY DEED, JOHN ARDISSONE AND MAY T. ARDISSONE TO BUILDING SERVICES OF SANTA FE, BK. 462 PAGE 621.

ALL OTHER REFERENCE DOCUMENTS AS NOTED HEREON.

DEDICATION AND AFFIDAVIT

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) HAVE CAUSED TO SUBDIVIDE THOSE LANDS SHOWN HEREON. OPEN SPACE TRACTS A-F & S ARE HEREBY GRANTED TO THE VISTA DE LA SIERRA HOMEOWNERS ASSOCIATION.

DRAINAGE EASEMENTS ARE HEREBY CREATED FOR THE MITIGATION OF STORM WATERS OF THE SUBDIVISION LOTS AND ROADS. THE MAINTENANCE OF THESE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE H.O.A.

ROADS SHOWN HEREON AS PUBLIC RIGHT OF WAY, CREATED BY THIS PLAT, ARE HEREBY DEDICATED TO THE CITY OF SANTA FE FOR PUBLIC USE & MAINTENANCE.

TRAIL EASEMENTS SHOWN HEREON, CREATED BY THIS PLAT, ARE HEREBY DEDICATED TO THE CITY OF SANTA FE FOR A PUBLIC NON-MOTORIZED PEDESTRIAN TRAIL AND THE CONSTRUCTION, REPAIR, AND MAINTENANCE OF SAID TRAIL. MAINTENANCE IS THE RESPONSIBILITY OF THE CITY OF SANTA FE.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF: PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMERS/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE FOR NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

"ONEST CORPORATION, D/B/A CENTURYLINK OC" FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES. THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE TELEPHONE SERVICES TO THE SUBDIVISION.

CONCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREON AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRICAL TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN POOL, ABOVEGROUND OR SUBSURFACE, HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS SHALL BE BINDING UPON THE UNDERSIGNED AND THEIR SUCCESSORS AND ASSIGNS

THIS PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF SAID OWNER(S). THIS PLAT CONTAINS 94.058 ACRES, MORE OR LESS. THIS DEDICATION LIES WITHIN THE PLATING JURISDICTION OF THE CITY OF SANTA FE, N.M.

STORM WATER AGREEMENT:

PROPERTY OWNER(S) HEREBY AGREE THAT ALL STORM WATER EASEMENTS AND ANY OTHER DRAINAGE IMPROVEMENTS ON PRIVATE PROPERTY WILL BE MAINTAINED AND KEPT FULLY FUNCTIONAL AS ORIGINALLY DESIGNED AND CONSTRUCTED WITHIN PRIVATE PROPERTY BOUNDARIES BY ESTANCOS DEL NORTE HOME OWNERS ASSOCIATION(OWNERS) AND SUBSEQUENT HEIRS, ASSIGNS, AND FUTURE OWNERS. THE CITY IS HEREBY GRANTED THE FOLLOWING: (1) ACCESS FOR INSPECTION OF SAID IMPROVEMENTS; (2) IN THE EVENT OF DRAINAGE FACILITY MAINTENANCE DEFICIENCY AND AFTER TEN (10) DAYS WRITTEN NOTICE TO THE RESPECTIVE PROPERTY OWNER, TO ENTER AND RESTORE FULL FUNCTIONAL CAPACITY OF THE DRAINAGE IMPROVEMENTS; AND (3) TO LIEN THE PROPERTY FOR BOTH DIRECT AND INDIRECT COSTS ASSOCIATED WITH SUCH WORK. BY SIGNATURE AFFIXED TO THIS INSTRUMENT, THE PROPERTY OWNER(S) APPROVE AND AGREE THAT THIS AGREEMENT IS BINDING PERPETUALLY, RUNNING WITH THE LAND, ON PRESENT AND FUTURE OWNERS, HEIRS, AND ASSIGNS.

DRAINAGE FACILITIES MAINTENANCE

THE DRAINAGE FACILITIES ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS.

INSPECTIONS OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER, THE HOMEOWNERS ASSOCIATION SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES. THE REMEDIAL ACTION SHALL CONSIST OF (1) REMOVAL AND DISPOSAL OF SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH; (2) FLUSHING ALL CULVERTS, DROP INLETS AND DRAINAGE TRENCHES TO REMOVE SEDIMENT AND POLLUTANTS THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURES; AND, (3) INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS AND INSPECT FOR THE STRUCTURAL INTEGRITY OF ALL APPURTENANT DRAINAGE STRUCTURES AND REPAIR OR STABILIZE ACCORDINGLY.

OWNER LOT 3:
BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO LIMITED LIABILITY COMPANY

JEFFERY BRANCH, MANAGING MEMBER

STATE OF NEW MEXICO)
) JSS

COUNTY OF _____)
 ON THIS _____ DAY OF _____, 202__, THE FOREGOING

INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY JEFFERY BRANCH, MANAGING MEMBER OF BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC

COMMISSION EXPIRES

FINAL SUBDIVISION PLAT
VISTA DE LA SIERRA PHASE 1
PREPARED FOR
BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO
LIMITED LIABILITY COMPANY
SHOWING
A SUBDIVISION OF LOT 3A AS SHOWN ON PLAT
RECORDED AS INSTRUMENT #1796166
IN BOOK 804 PAGES 09-10
INTO 128 RESIDENTIAL LOTS

PURPOSE: TO CREATE 128 RESIDENTIAL LOTS 5 OPEN SPACE TRACTS, RESERVED SCHOOL TRACT W/ RESERVED FUTURE DEVELOPMENT TRACTS U & V AND FUTURE SUBDIVISION PHASE PARCELS 2A & 2B AND PHASES 3A & 3B

TITLE AND INDEXING INFORMATION FOR COUNTY CLERK

OWNERS: BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO LIMITED LIABILITY COMPANY
PARENT PARCEL: LOT 3 BECKNER ROAD EXTENSION DEDICATION PLAT PREPARED FOR BUILDING SERVICES OF SANTA FE, BEATY FAMILY LTD CO. AND THE CITY OF SANTA FE, RECORDED AS INST.#1796166 IN BOOK 804 PAGES 9-10.

UPC: 1-050-095-387-083

PLSS LOCATION: SECTION 8, T16N, R9E, NMPM SHEET 1 OF 3

CITY: SANTA FE

COUNTY: SANTA FE

STATE: NEW MEXICO

DAWSON SURVEYS INC.
PROFESSIONAL LAND SURVEYORS
2502 B CANNING ENTRADA
SANTA FE, N.M. 87507 471-6680
FILE# 10508PH11 DATE:11/30/2020

UTILITY COMPANIES

CONCAST _____ DATE _____

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), NEW MEXICO GAS COMPANY (NMG) AND ONEST CORPORATION D/B/A CENTURYLINK (ONEST) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, NMG, AND ONEST DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

PNM ELECTRIC SERVICE _____ DATE _____

NM GAS COMPANY _____ DATE _____

ONEST CORP. D/B/A CENTURYLINK OC

THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE TELEPHONE SERVICES TO THE SUBDIVISION.

CENTURY LINK _____ DATE _____

CONTROL REFERENCE

- BEARINGS ARE GRID, REFERRED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM NAD83(1992), CENTRAL ZONE FROM GPS STATE PLANE PROJECTION.
- DISTANCES ARE REFERRED TO GRID AXES.
- DATUM DERIVED FROM DAWSON'S GPS BASE STATION N=1,587,626.870 E=1,708,833.475 ELE=6572.376'; ESTABLISHED FROM SANTA FE COUNTY CONTROL STATIONS USING DATA FROM THE 1992 BLUEBOOK REPORT FOR NGS AND S.F. CO.

SANTA FE COUNTY SIGNATURES

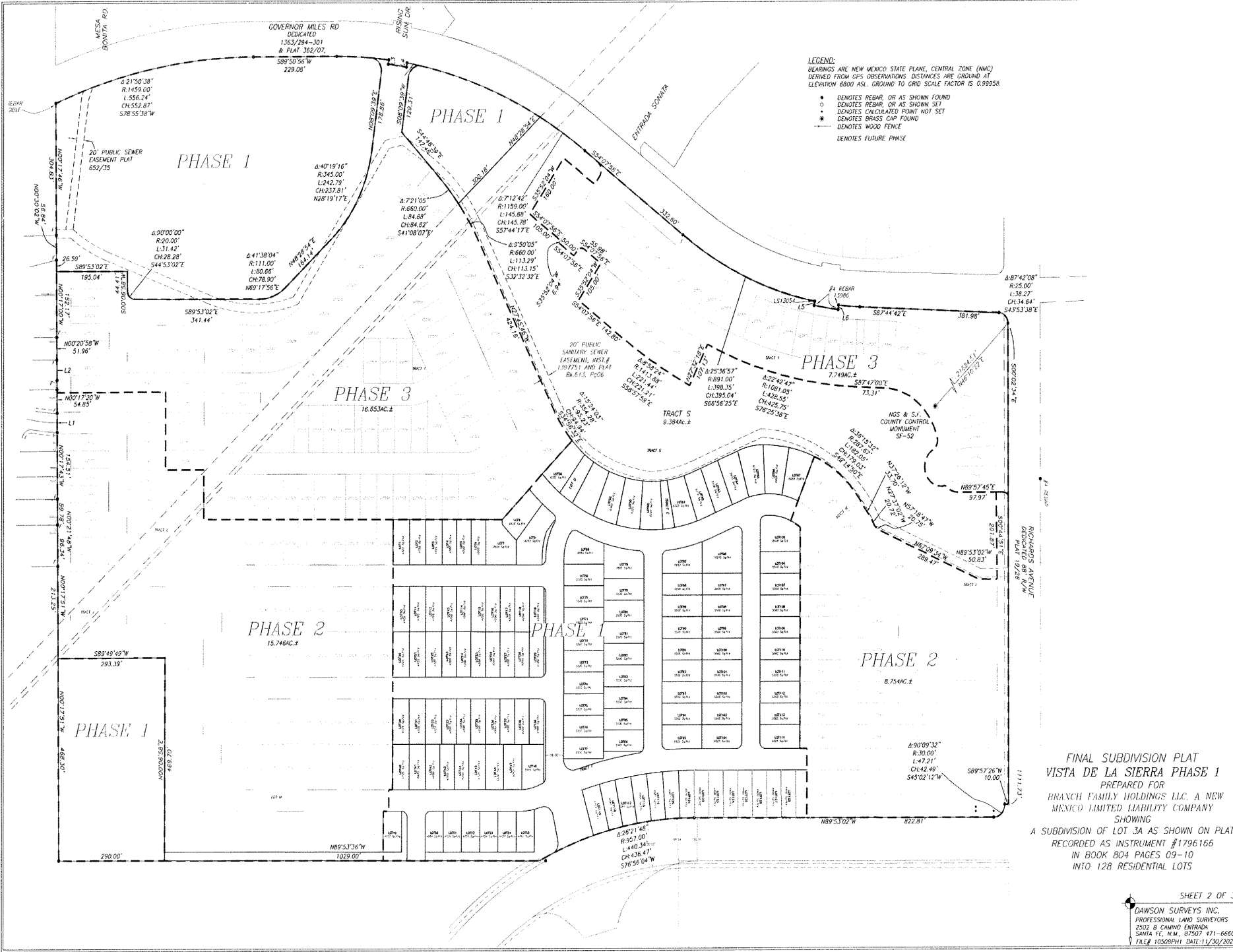
SANTA FE COUNTY TREASURER _____ DATE _____

COUNTY OF SANTA FE, JSS

STATE OF NEW MEXICO)
 I hereby certify that this instrument
 was filed for record on the _____ day of
 _____ A.D. at
 o'clock _____, and was duly recorded in
 book _____, page(s) _____ of the
 records of Santa Fe County.

Witness my Hand and Seal of office
GERLENE SALAZAR
County Clerk, Santa Fe county, N.M.

Deputy

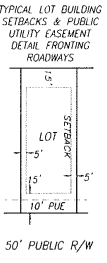
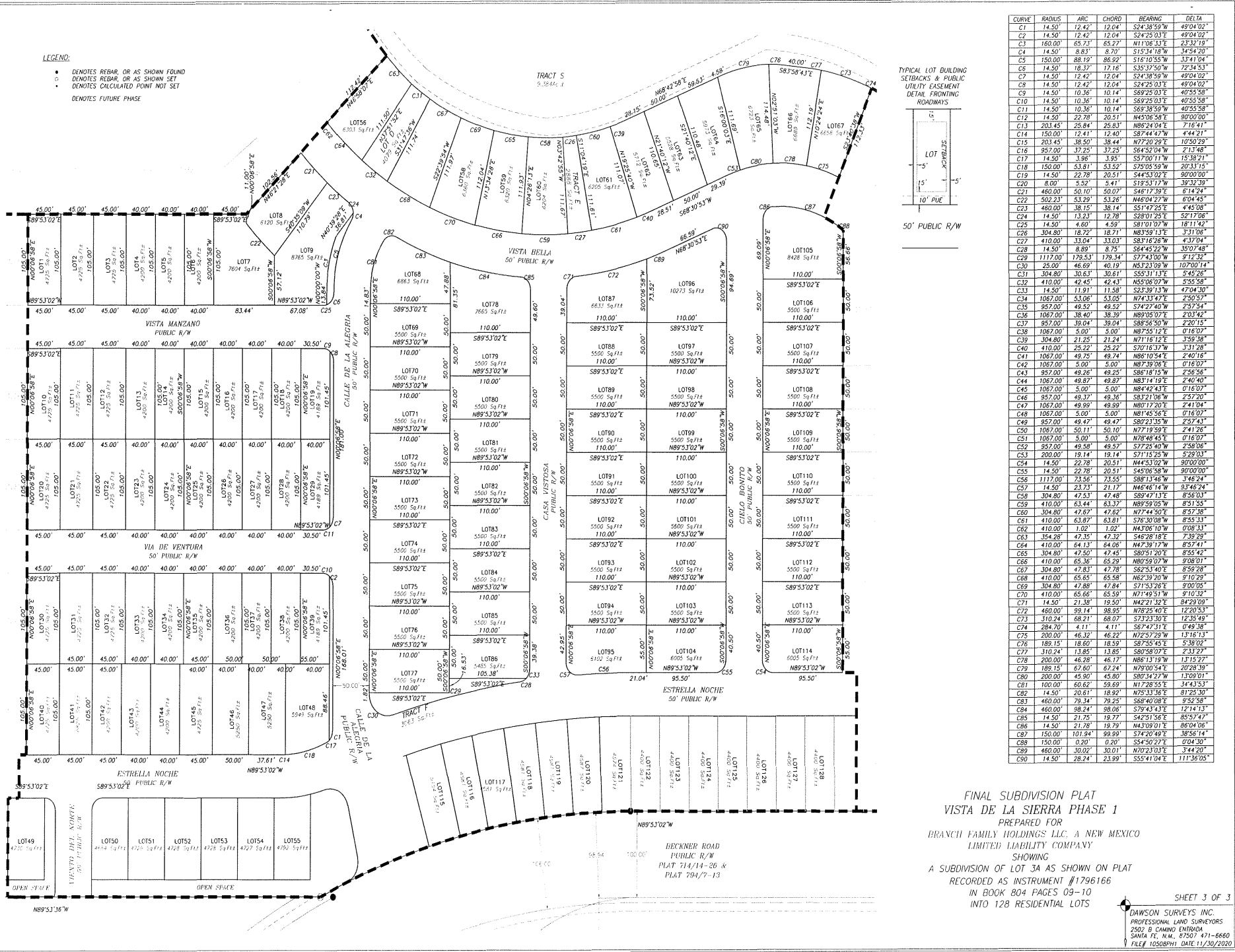


FINAL SUBDIVISION PLAT
 VISTA DE LA SIERRA PHASE 1
 PREPARED FOR
 BRANCH FAMILY HOLDINGS LLC, A NEW
 MEXICO LIMITED LIABILITY COMPANY
 SHOWING
 A SUBDIVISION OF LOT 3A AS SHOWN ON PLAT
 RECORDED AS INSTRUMENT #1796166
 IN BOOK 804 PAGES 09-10
 INTO 128 RESIDENTIAL LOTS

SHEET 2 OF 3
 DAWSON SURVEYS INC.
 PROFESSIONAL LAND SURVEYORS
 2502 B CAMINO ENTRADA
 SANTA FE, N.M., 87507 471-6660
 FILE# 11008PH1 DATE:11/30/2020

LEGEND:

- DENOTES REBAR OR AS SHOWN FOUND
- DENOTES REBAR OR AS SHOWN SET
- DENOTES CALCULATED POINT NOT SET
- DENOTES FUTURE PHASE

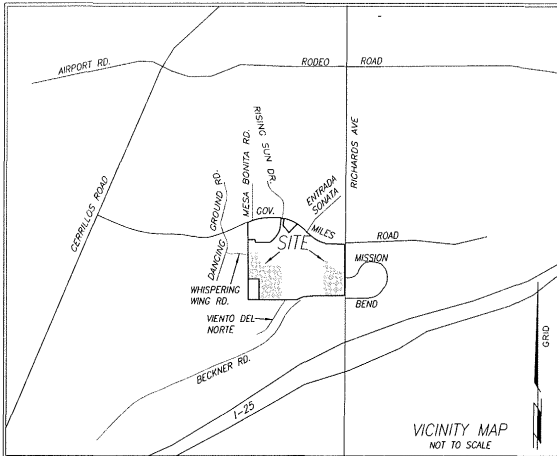


CURVE	RADIUS	ARC	CHORD	BEARING	DELTA
C1	14.50	12.42	12.04	S24°38'59\"	49°04'02\"
C2	14.50	12.42	12.04	S24°38'59\"	49°04'02\"
C3	160.00	65.73	65.27	N11°06'33\"	23°32'19\"
C4	14.50	8.83	8.70	S15°34'16\"	34°54'20\"
C5	150.00	88.19	86.92	S16°10'55\"	33°41'04\"
C6	14.50	18.37	17.18	S35°37'50\"	72°42'53\"
C7	14.50	12.42	12.04	S24°38'59\"	49°04'02\"
C8	14.50	12.42	12.04	S24°25'03\"	49°04'02\"
C9	14.50	10.36	10.14	S69°25'03\"	40°59'58\"
C10	14.50	10.36	10.14	S69°25'03\"	40°59'58\"
C11	14.50	10.36	10.14	S69°38'59\"	40°59'58\"
C12	14.50	22.78	20.51	M45°06'58\"	90°00'00\"
C13	203.45	25.84	25.63	N86°24'04\"	7°16'41\"
C14	150.00	12.41	12.40	S87°44'47\"	4°44'21\"
C15	203.45	38.30	38.44	N72°00'29\"	12°04'29\"
C16	957.00	37.25	37.25	S64°52'04\"	2°13'48\"
C17	14.50	3.96	3.95	S57°00'11\"	15°38'21\"
C18	150.00	53.81	53.52	S75°05'59\"	20°33'15\"
C19	14.50	22.78	20.51	S44°53'02\"	90°00'00\"
C20	8.00	5.92	5.41	S19°51'17\"	38°22'39\"
C21	460.00	50.10	50.07	S46°17'39\"	6°14'24\"
C22	502.23	53.29	53.26	M46°04'27\"	6°04'45\"
C23	460.00	38.15	38.14	S51°47'25\"	4°46'08\"
C24	14.50	12.42	12.04	S24°01'25\"	49°04'02\"
C25	14.50	4.80	4.59	S81°01'07\"	18°11'42\"
C26	304.80	18.72	18.71	N83°59'13\"	3°31'06\"
C27	410.00	33.04	33.03	S81°16'26\"	4°37'04\"
C28	14.50	8.89	8.75	S64°45'22\"	38°07'48\"
C29	117.02	61.31	178.34	S73°43'00\"	9°12'00\"
C30	25.00	46.69	40.19	S45°23'09\"	10°20'14\"
C31	304.80	30.63	30.61	S55°31'13\"	5°45'26\"
C32	410.00	42.45	42.43	M55°06'07\"	5°55'58\"
C33	14.50	11.91	11.58	S23°39'13\"	47°04'30\"
C34	1067.00	53.05	53.05	N74°31'47\"	2°50'57\"
C35	957.00	49.52	49.52	S74°27'40\"	2°57'54\"
C36	1067.00	38.40	38.39	N89°05'07\"	2°03'42\"
C37	957.00	39.04	39.04	S88°36'50\"	2°20'15\"
C38	1067.00	5.00	5.00	N87°25'12\"	0°16'07\"
C39	304.80	21.25	21.24	N71°16'12\"	3°59'58\"
C40	410.00	25.22	25.22	S76°16'37\"	3°31'28\"
C41	1067.00	49.75	49.74	N88°10'54\"	2°40'16\"
C42	1067.00	5.00	5.00	N78°38'56\"	0°16'07\"
C43	957.00	49.26	49.26	S86°18'15\"	2°56'56\"
C44	1067.00	49.87	49.87	N83°14'19\"	2°40'40\"
C45	1067.00	5.00	5.00	N84°42'43\"	0°16'07\"
C46	957.00	49.37	49.36	S81°21'06\"	2°57'20\"
C47	1067.00	49.99	49.99	N89°12'29\"	0°14'04\"
C48	1067.00	5.00	5.00	N81°45'56\"	0°16'07\"
C49	957.00	49.47	49.47	S82°23'35\"	2°57'43\"
C50	1067.00	50.11	50.10	N77°19'59\"	2°41'26\"
C51	1067.00	5.00	5.00	N78°48'45\"	0°16'07\"
C52	957.00	49.58	49.57	S72°25'40\"	2°58'06\"
C53	200.00	19.14	19.14	S71°15'25\"	5°29'03\"
C54	14.50	22.78	20.51	M45°53'02\"	90°00'00\"
C55	14.50	22.78	20.51	S45°06'58\"	90°00'00\"
C56	1117.02	73.56	73.55	S88°13'46\"	9°16'24\"
C57	14.50	23.73	21.17	M46°46'14\"	93°46'24\"
C58	304.80	42.53	42.48	S89°47'13\"	8°56'03\"
C59	410.00	63.44	63.37	N89°59'05\"	8°51'55\"
C60	304.80	42.87	42.82	M77°44'50\"	8°57'38\"
C61	410.00	63.87	63.81	S76°30'08\"	8°55'33\"
C62	410.00	1.02	1.02	M43°06'10\"	0°08'33\"
C63	354.28	42.35	42.32	S46°28'18\"	7°39'29\"
C64	410.00	84.13	84.06	M47°39'17\"	8°57'41\"
C65	304.80	42.50	42.45	S89°51'20\"	8°55'42\"
C66	410.00	65.36	65.29	N89°09'07\"	9°08'01\"
C67	304.80	42.83	42.78	S62°53'40\"	8°59'28\"
C68	410.00	65.65	65.58	N62°39'20\"	9°10'29\"
C69	304.80	42.86	42.84	S73°53'26\"	9°00'05\"
C70	410.00	65.66	65.59	N71°49'51\"	9°10'32\"
C71	14.50	21.38	19.50	M42°21'32\"	84°29'09\"
C72	460.00	99.14	98.95	N78°25'40\"	12°20'53\"
C73	310.24	68.21	68.07	S73°23'30\"	12°53'30\"
C74	284.70	4.11	4.11	S67°43'11\"	0°48'36\"
C75	200.00	46.32	46.22	M72°57'29\"	13°16'13\"
C76	189.15	18.60	18.59	S87°55'45\"	5°36'02\"
C77	310.24	13.85	13.85	S80°58'07\"	2°31'27\"
C78	200.00	46.28	46.17	N88°13'19\"	11°51'22\"
C79	189.15	62.60	62.24	M79°00'54\"	20°28'59\"
C80	200.00	45.90	45.80	S80°34'27\"	11°08'01\"
C81	100.00	60.62	59.69	N17°28'55\"	34°43'53\"
C82	14.50	20.61	18.92	M75°33'36\"	81°28'30\"
C83	460.00	79.34	79.25	S84°08'08\"	9°52'58\"
C84	460.00	98.24	98.05	S79°43'43\"	12°14'13\"
C85	14.50	21.75	19.77	S42°51'56\"	85°54'47\"
C86	14.50	21.78	19.79	M43°09'01\"	86°04'06\"
C87	150.00	101.94	99.89	S74°20'48\"	30°14'46\"
C88	150.00	0.20	0.20	S54°50'22\"	0°04'30\"
C89	460.00	30.02	30.01	N70°23'03\"	3°44'20\"
C90	14.50	28.24	23.99	S55°41'04\"	111°36'05\"

FINAL SUBDIVISION PLAT
 VISTA DE LA SIERRA PHASE I
 PREPARED FOR
 BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO
 LIMITED LIABILITY COMPANY
 SHOWING
 A SUBDIVISION OF LOT 3A AS SHOWN ON PLAT
 RECORDED AS INSTRUMENT #1796166
 IN BOOK 804 PAGES 09-10
 INTO 128 RESIDENTIAL LOTS

SHEET 3 OF 3

DAWSON SURVEYS INC.
 PROFESSIONAL LAND SURVEYORS
 2502 B CAMINO ENTRADA
 SANTA FE, N.M. 87507 471-8880
 FILE# 10568PH1, DATE 11/30/2020



VICINITY MAP
NOT TO SCALE

UTILITY COMPANIES

COMCAST _____ DATE _____

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), NEW MEXICO GAS COMPANY (NMGC) AND OWEST CORPORATION D/B/A CENTURYLINK (OWEST) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, NMGC AND OWEST DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

PNM ELECTRIC SERVICE _____ DATE _____

NM GAS COMPANY _____ DATE _____

OWEST CORP. d/b/a CENTURYLINK OC
THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE TELEPHONE SERVICES TO THE SUBDIVISION.

CENTURY LINK _____ DATE _____

CONTROL REFERENCE

- BEARINGS ARE GRID, REFERRED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM NAD83(1992), CENTRA ZONE FROM GPS STATE PLANE PROJECTION.
- DISTANCES ARE REFERRED TO 6800 AMSL.
- DATUM DERIVED FROM DAWSON2 GPS BASE STATION N=1,687,626.870 E=1,708,833.475 FILE=6572.376; ESTABLISHED FROM SANTA FE COUNTY CONTROL STATIONS USING DATA FROM THE 1992 BLUEBOOK REPORT FOR MCS AND S.F. CO.

SANTA FE COUNTY SIGNATURES

SANTA FE COUNTY TREASURER _____ DATE _____

COUNTY OF SANTA FE }
STATE OF NEW MEXICO }
I hereby certify that this instrument was filed for record on the _____ day of _____, 202____, A.O. of _____ o'clock _____, and was duly recorded in book _____, page(s) _____ of the records of Santa Fe County.

Witness my Hand and Seal of office
GERALDINE SALAZAR
County Clerk, Santa Fe county, N.M.

Deputy

CITY OF SANTA FE APPROVAL & REVIEW
APPROVED BY THE SANTA FE PLANNING COMMISSION AT THEIR MEETING OF _____ 2020, AS CASE NO. 2020-____

PLANNING COMMISSION CHAIRPERSON _____ DATE _____

PLANNING COMMISSION SECRETARY _____ DATE _____

CITY ENGINEER FOR LAND USE _____ DATE _____

CITY PLANNER _____ DATE _____

NOTES

- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
- BUILDABLE AREAS FOR PLATTED PARCELS WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION AS DETAILED IN THE LAND DEVELOPMENT CODE.
- EACH LOT SHALL BE SERVED WITH SEPARATE SEWER AND WATER SERVICES.
- THE PROPERTY AND STRUCTURES SHALL BE CONNECTED TO THE CITY'S PUBLIC SEWER COLLECTION SYSTEM.
- PRIOR TO ANY NEW CONSTRUCTION, PLAT WILL BE SUBMITTED TO FIRE DEPARTMENT FOR COMPLIANCE WITH INTERNATIONAL FIRE CODE.
- WASTEWATER U.L.C. CHARGES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION.
- NO FENCES, WALLS OR OTHER STRUCTURES SHALL BE CONSTRUCTED WITHIN OR ACROSS SANITARY SEWER EASEMENTS.
- NO WALLS, FENCES OR OTHER STRUCTURES THAT WOULD IMPEDE DRAINAGE FLOW SHALL BE PLACED WITHIN DRAINAGE EASEMENTS SHOWN HEREON.
- ANY AND ALL DEVELOPMENT SHALL MEET THE IFC CODE REQUIREMENTS 2009 EDITION OR THE MOST CURRENT EDITION THE GOVERNING BODY HAS ADOPTED AT THE TIME OF PERMITTING.

FLOOD ZONE

THIS PROPERTY LIES WITHIN OTHER AREAS ZONE "X", AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAPS (F.I.R.M.) #35049C03940, EFFECTIVE DATE JUNE 17, 2008.

LOT OF RECORD AND OTHER REFERENCE DOCUMENTS:

- LOT 3 ; BECKNER ROAD EXTENSION DEDICATION PLAT PREPARED FOR BUILDING SERVICES OF SANTA FE, BEATY FAMILY LTD. CO. AND THE CITY OF SANTA FE SHOWING PUBLIC R/W DEDICATION OF A PORTION OF LOT 3 AS SHOWN ON PLAT RECORDED IN BOOK 710 PAGES 21-22, AS RECORDED AS INST# 1796166 IN BK. 804 PAGES 09-10.
- LOT LINE ADJUSTMENT PLAT PREPARED FOR BECKNER ROAD EQUITIES, INC. BY GARY E. DAWSON, NMLS 7014. PLAT RECORDED AS INSTRUMENT NUMBER 1592455 ON THE 4TH DAY OF MARCH, 2010 AND PLAT BOOK 714 PAGES 14-26, IN THE SANTA FE COUNTY CLERKS OFFICE.
- ROADWAY & UTILITY RIGHT OF WAY GOVERNOR MILES ROAD NAVA ABE SUBD. TO RICHARDS AVE, SE1/4 S8, T16N, R9E, NMPM SANTA FE COUNTY, N.M. PREPARED BY RICHARD A. MORRIS, L.S.#10277, RECORDED IN PLAT BK. 362 PG.07
- WARRANTY DEED, JOHN ARDISSENO AND MAY T. ARDISSENO TO BUILDING SERVICES OF SANTA FE, BK 462 PAGE 621.

ALL OTHER REFERENCE DOCUMENTS AS NOTED HEREON

DEDICATION AND AFFIDAVIT

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) HAVE CAUSED TO SUBDIVIDE THOSE LANDS SHOWN HEREON OPEN SPACE TRACTS H, L 1-2, J, K, K-2, & L ARE HEREBY GRANTED TO THE VISTA DE LA SIERRA HOMEOWNERS ASSOCIATION. DRAINAGE EASEMENTS ARE HEREBY CREATED FOR THE MITIGATION OF STORM WATERS OF THE SUBDIVISION LOTS AND ROADS. THE MAINTENANCE OF THESE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE H.O.A.

ROADS SHOWN HEREON AS PUBLIC RIGHT OF WAY, CREATED BY THIS PLAT, ARE HEREBY DEDICATED TO THE CITY OF SANTA FE FOR PUBLIC USE & MAINTENANCE.

TRAIL EASEMENTS SHOWN HEREON, CREATED BY THIS PLAT, ARE HEREBY DEDICATED TO THE CITY OF SANTA FE FOR A PUBLIC NON-MOTORIZED PEDESTRIAN TRAIL AND THE CONSTRUCTION, REPAIR, AND MAINTENANCE OF SAID TRAIL. MAINTENANCE IS THE RESPONSIBILITY OF THE CITY OF SANTA FE.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF: PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMERS/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE FOR NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

"OWEST CORPORATION, D/B/A CENTURYLINK OC" FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURRED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES. THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE TELEPHONE SERVICES TO THE SUBDIVISION.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LOTS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRICAL TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN POOL, (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS SHALL BE BINDING UPON THE UNDERSIGNED AND THEIR SUCCESSORS AND ASSIGNS

THIS PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF SAID OWNER(S). THIS PLAT CONTAINS 24.50 ACRES, MORE OR LESS. THIS DEDICATION LIES WITHIN THE PLATING JURISDICTION OF THE CITY OF SANTA FE, N.M.

STORM WATER AGREEMENT:

PROPERTY OWNER(S) HEREBY AGREE THAT ALL STORM WATER EASEMENTS AND ANY OTHER DRAINAGE IMPROVEMENTS ON PRIVATE PROPERTY WILL BE MAINTAINED AND KEPT FULLY FUNCTIONAL, AS ORIGINALLY DESIGNED AND CONSTRUCTED WITHIN PRIVATE PROPERTY BOUNDARIES BY ESTANCIAS DEL NORTE HOME OWNERS ASSOCIATION(OWNER) AND SUBSEQUENT HEIRS, ASSIGNS, AND FUTURE OWNERS. THE CITY IS HEREBY GRANTED THE FOLLOWING: (1) ACCESS FOR INSPECTION OF SAID IMPROVEMENTS; (2) IN THE EVENT OF DRAINAGE FACILITY MAINTENANCE DEFICIENCY AND AFTER TEN (10) DAYS WRITTEN NOTICE TO THE RESPECTIVE PROPERTY OWNER, TO ENTER AND RESTORE FULL FUNCTIONAL CAPACITY OF THE DRAINAGE IMPROVEMENTS; AND (3) TO LIEN THE PROPERTY FOR BOTH DIRECT AND INDIRECT COSTS ASSOCIATED WITH SUCH WORK. BY SIGNATURE AFFIXED TO THIS INSTRUMENT, THE PROPERTY OWNER(S) APPROVE AND AGREE THAT THIS AGREEMENT IS BINDING PERPETUALLY, RUNNING WITH THE LAND, ON PRESENT AND FUTURE OWNERS, HEIRS, AND ASSIGNS.

DRAINAGE FACILITIES MAINTENANCE

THE DRAINAGE FACILITIES ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS.

INSPECTIONS OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE: ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER, THE HOMEOWNERS ASSOCIATION SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

THE REMEDIAL ACTION SHALL CONSIST OF (1) REMOVAL AND DISPOSAL OF SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH; (2) FLUSHING ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND POLLUTANTS THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURES; AND (3) INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS AND INSPECT FOR THE STRUCTURAL INTEGRITY OF ALL APPURTENANT DRAINAGE STRUCTURES AND REPAIR OR STABILIZE ACCORDINGLY.

OWNER LOT 3:
BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO LIMITED LIABILITY COMPANY

JEFFERY BRANCH, MANAGING MEMBER

STATE OF NEW MEXICO)
) JSS

COUNTY OF _____)

ON THIS _____ DAY OF _____, 202____, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY JEFFERY BRANCH, MANAGING MEMBER OF BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC

COMMISSION EXPIRES _____

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT IS A TRUE REPRESENTATION OF A SURVEY COMPLETED UNDER MY PERSONAL SUPERVISION ON THE 19TH DAY OF MARCH, 2019, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAT ARE CORRECT, TRUE AND MEET THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO.

DIEGO J. SANCHEZ, NMS#31396 9/0/2020

FINAL SUBDIVISION PLAT
VISTA DE LA SIERRA PHASE 2
PREPARED FOR
BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO
LIMITED LIABILITY COMPANY
SHOWING
A SUBDIVISION OF PHASE 2A AND B AS SHOWN ON
PLAT RECORDED AS INSTRUMENT #
IN BOOK _____ PAGES _____
INTO 143 RESIDENTIAL LOTS

PURPOSE: TO CREATE 143 RESIDENTIAL PARCELS

"TITLE AND INDEXING INFORMATION FOR COUNTY CLERK"

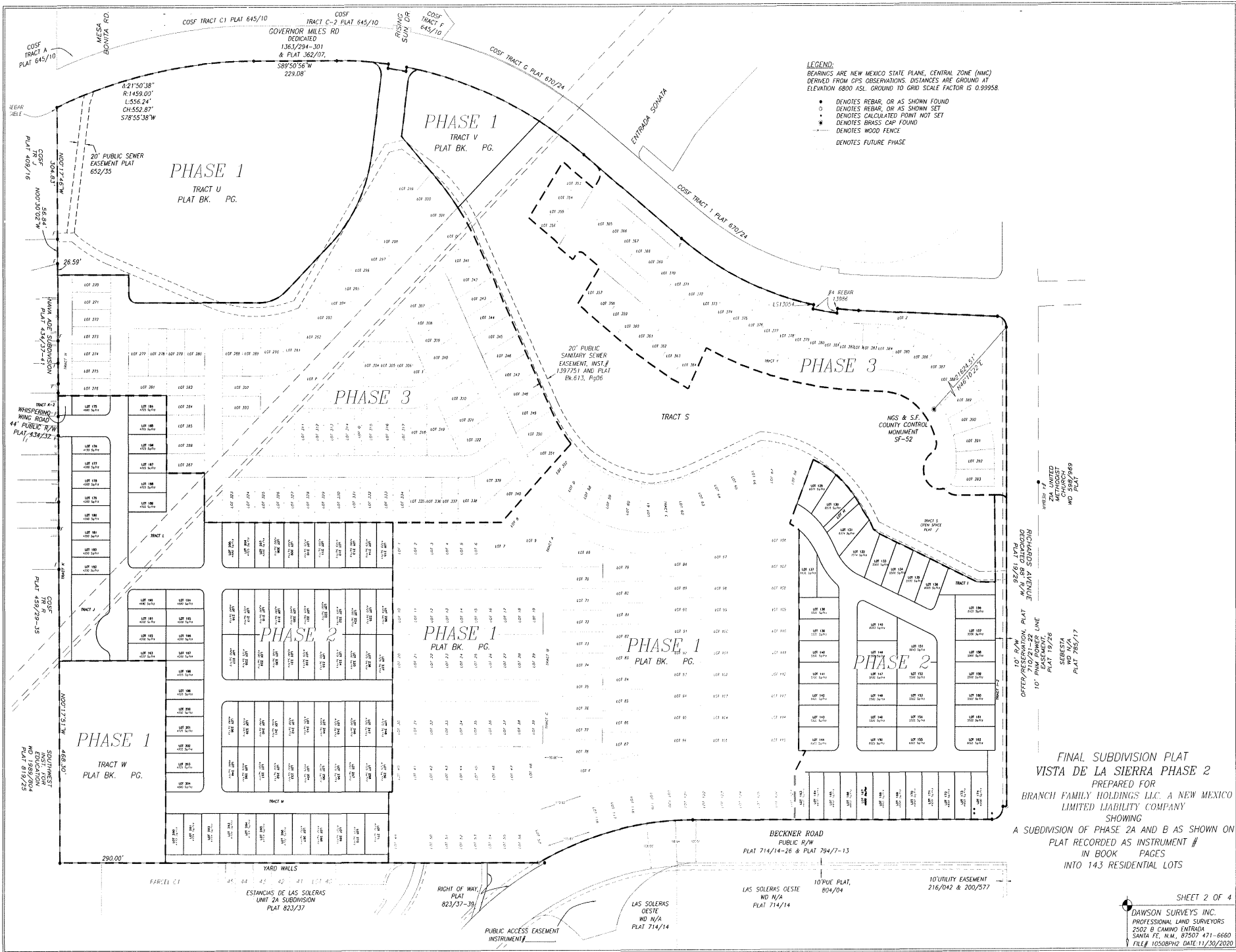
OWNERS: BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO LIMITED LIABILITY COMPANY
PARENT PARCEL: LOT 3 BECKNER ROAD EXTENSION DEDICATION PLAT PREPARED FOR BUILDING SERVICES OF SANTA FE, BEATY FAMILY LTD CO. AND THE CITY OF SANTA FE, RECORDED AS INST.#1796166 IN BOOK 804 PAGES 9-10.

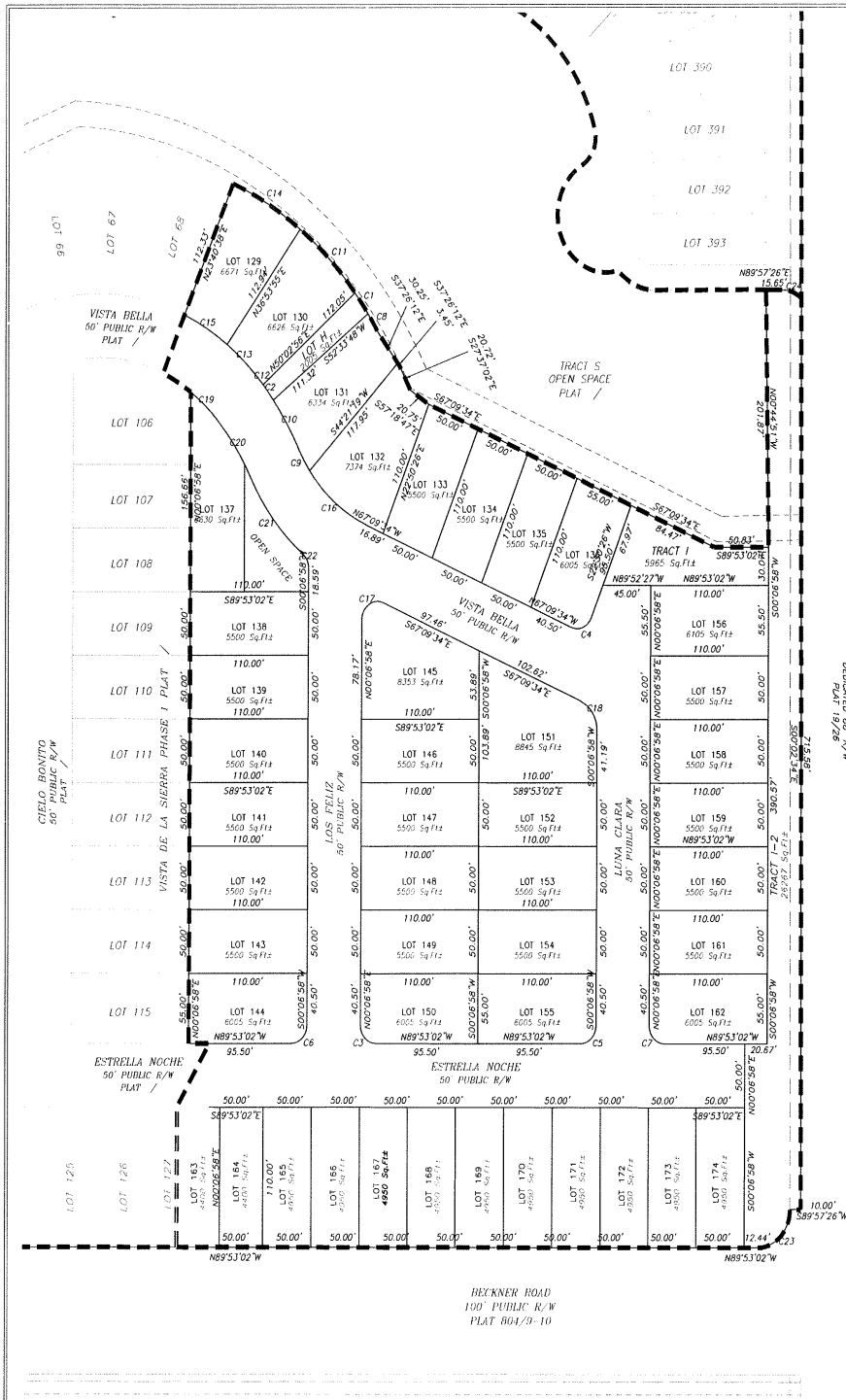
UPC: 1-050-055-387-083

PLSS LOCATION: SECTION 8, T16N, R9E, NMPM

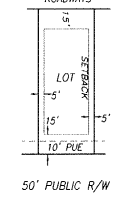
CITY: SANTA FE SHEET 1 OF 4

COUNTY: SANTA FE
STATE: NEW MEXICO
DAWSON SURVEYS, INC.
PROFESSIONAL LAND SURVEYORS
2502 B CANING ENTRADA
SANTA FE, N.M. 87507 471-6860
FILE# 12508PH2 DATE 11/30/2020





TYPICAL LOT BUILDING
SETBACKS & PUBLIC
UTILITY EASEMENT
DETAIL FRONTING
ROADWAYS

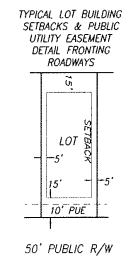
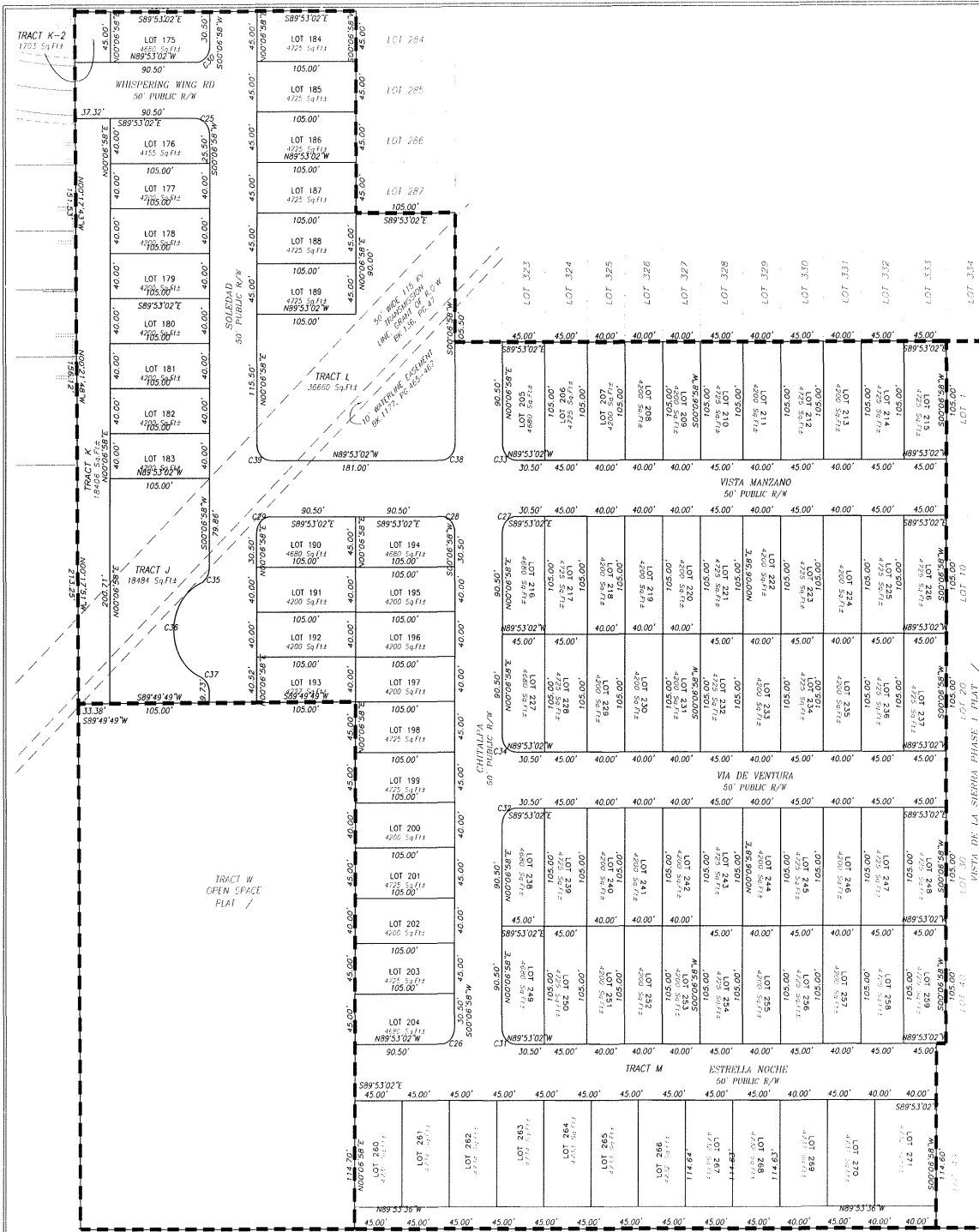


- LEGEND:
- DENOTES REBAR, OR AS SHOWN FOUND
 - DENOTES REBAR, OR AS SHOWN SET
 - ◌ DENOTES CALCULATED POINT NOT SET
 - DENOTES FUTURE PHASE

CURVE	RADIUS	ARC	CHORD	BEARING	DELTA
C1	284.89	20.41'	20.41'	S36°40'30"E	4°06'17"
C2	246.35	15.49'	15.49'	N38°43'50"W	3°36'13"
C3	14.50'	22.78'	20.51'	N44°53'02"W	90°00'00"
C4	14.50'	22.78'	20.51'	S67°50'26"W	90°00'00"
C5	14.50'	22.78'	20.51'	S45°06'58"W	90°00'00"
C6	14.50'	22.78'	20.51'	S45°06'58"W	90°00'00"
C7	14.50'	22.78'	20.51'	N44°53'02"W	90°00'00"
C8	284.98	17.20'	17.20'	S32°24'44"E	3°33'33"
C9	123.00'	19.55'	19.53'	N30°55'00"W	8°57'40"
C10	246.35	45.63'	45.56'	N31°37'22"W	10°36'43"
C11	284.77	71.76'	71.58'	S45°51'22"E	14°26'22"
C12	246.35	8.58'	8.58'	N41°31'46"W	1°59'42"
C13	200.00'	37.33'	37.27'	N47°45'17"W	10°41'35"
C14	284.69	72.18'	71.99'	S00°11'51"E	14°31'37"
C15	200.00'	46.15'	46.05'	N59°42'44"W	1°31'18"
C16	125.00'	69.29'	68.41'	N51°16'42"W	3°45'43"
C17	14.50'	28.53'	24.14'	N56°28'42"E	112°43'29"
C18	25.00'	29.35'	27.70'	S33°11'18"E	67°16'31"
C19	150.00'	32.45'	32.39'	S48°36'21"E	12°23'42"
C20	200.00'	55.75'	55.57'	S34°25'20"E	1°58'20"
C21	175.00'	77.47'	76.84'	S39°07'03"E	2°51'46"
C22	14.50'	13.14'	12.69'	S25°50'29"E	51°54'54"

FINAL SUBDIVISION PLAT
VISTA DE LA SIERRA PHASE 2
PREPARED FOR
BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO
LIMITED LIABILITY COMPANY
SHOWING
A SUBDIVISION OF PHASE 2A AND B AS SHOWN ON
PLAT RECORDED AS INSTRUMENT #
IN BOOK PAGES
INTO 143 RESIDENTIAL LOTS

SHEET 3 OF 4
DAWSON SURVEYS INC.
PROFESSIONAL LAND SURVEYORS
2507 B CAMINO ENRIQUETA
SANTA FE, N.M. 87507 471-6660
FILE# 10508PH2 DATE:11/30/2020



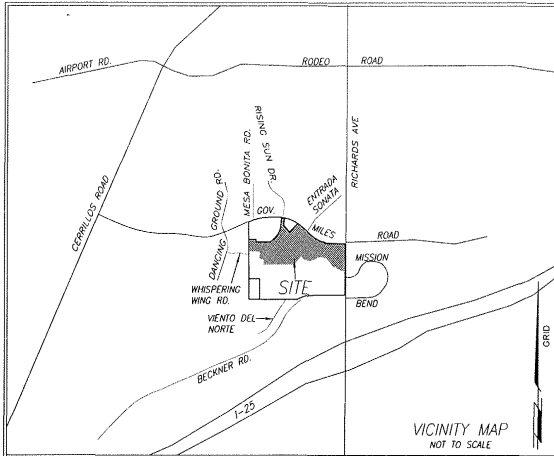
CURVE	RADIUS	ARC	BEARING	DELTA
C23	30.00'	47.21'	S45°02'17"W	90°09'32"
C24	25.00'	18.91'	S88°22'18"E	43°20'32"
C25	14.50'	22.78'	S45°06'58"W	90°00'00"
C26	14.50'	22.78'	S45°06'58"W	90°00'00"
C27	14.50'	22.78'	N45°06'58"E	90°00'00"
C28	14.50'	22.78'	S45°06'58"W	90°00'00"
C29	14.50'	22.78'	N45°06'58"E	90°00'00"
C30	14.50'	22.78'	S45°06'58"W	90°00'00"
C31	14.50'	22.78'	N44°53'02"W	90°00'00"
C32	14.50'	22.78'	N45°06'58"E	90°00'00"
C33	14.50'	22.78'	N44°53'02"W	90°00'00"
C34	14.50'	22.78'	N44°53'02"W	90°00'00"
C35	14.50'	17.34'	S34°22'34"W	68°31'12"
C36	44.93'	107.46'	S00°06'58"W	137°02'24"
C37	14.50'	17.34'	S34°08'58"E	68°31'12"
C38	14.50'	22.78'	S45°06'58"W	90°00'00"
C39	14.50'	22.78'	N44°53'02"W	90°00'00"

LEGEND:

- DENOTES REBAR, OR AS SHOWN FOUND
- DENOTES REBAR, OR AS SHOWN SET
- DENOTES CALCULATED POINT NOT SET
- DENOTES FUTURE PHASE

FINAL SUBDIVISION PLAT
VISTA DE LA SIERRA PHASE 2
 PREPARED FOR
 BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO
 LIMITED LIABILITY COMPANY
 SHOWING
 A SUBDIVISION OF PHASE 2A AND B AS SHOWN ON
 PLAT RECORDED AS INSTRUMENT #
 IN BOOK PAGES
 INTO 143 RESIDENTIAL LOTS

SHEET 4 OF 4
DAWSON SURVEYS, INC.
 PROFESSIONAL LAND SURVEYORS
 2502 B GAMING ENTRADA
 SANTA FE, N.M. 87507 471-6660
 FILE # 10508PHZ DATE: 11/30/2020



VICINITY MAP
NOT TO SCALE

UTILITY COMPANIES

COMCAST _____ DATE _____

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), NEW MEXICO GAS COMPANY (NMGC) AND OWEST CORPORATION D/B/A CENTURYLINK (OWEST) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, NMGC AND OWEST DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

PNM ELECTRIC SERVICE _____ DATE _____

NM GAS COMPANY _____ DATE _____

OWEST CORP. 6/8/04 CENTURYLINK OC
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CENTURY LINK _____ DATE _____

CONTROL REFERENCE

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- DISTANCES ARE REFERRED TO 6800 MM.
- DATUM DERIVED FROM DAWSON2 GPS BASE STATION N=1687626.870 E=1708133.475 ELEM=652.315; ESTABLISHED FROM SANTA FE COUNTY CONTROL STATIONS USING DATA FROM THE 1992 BLUEBOOK REPORT FOR NGS AND S.F. CO.

SANTA FE COUNTY SIGNATURES

SANTA FE COUNTY TREASURER _____ DATE _____

COUNTY OF SANTA FE JSS
STATE OF NEW MEXICO)
I hereby certify that this instrument was filed for record on the _____ day of _____, 202____, A.D. at _____ o'clock _____, and was duly recorded in book _____, page(s) _____ of the records of Santa Fe County.

Witness my Hand and Seal of office
GERALDINE SALAZAR
County Clerk, Santa Fe County, N.M.

Deputy

CITY OF SANTA FE APPROVAL & REVIEW
APPROVED BY THE SANTA FE PLANNING COMMISSION AT THEIR MEETING OF _____ 2020, AS CASE NO. 2020-_____

PLANNING COMMISSION CHAIRPERSON _____ DATE _____

PLANNING COMMISSION SECRETARY _____ DATE _____

CITY ENGINEER FOR LAND USE _____ DATE _____

CITY PLANNER _____ DATE _____

NOTES

- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND OR DEVELOPMENT PLAN RECORDED WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
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- THE PROPERTY AND STRUCTURES SHALL BE CONNECTED TO THE CITY'S PUBLIC SEWER COLLECTION SYSTEM.
- PRIOR TO ANY NEW CONSTRUCTION, PLAT WILL BE SUBMITTED TO FIRE DEPARTMENT FOR COMPLIANCE WITH INTERNATIONAL FIRE CODE.
- WASTEWATER U.E.C. CHARGES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION.
- NO FENCES, WALLS OR OTHER STRUCTURES SHALL BE CONSTRUCTED WITHIN OR ACROSS SANITARY SEWER EASEMENTS.
- NO WALLS, FENCES OR OTHER STRUCTURES THAT WOULD IMPIDE DRAINAGE FLOW SHALL BE PLACED WITHIN DRAINAGE EASEMENTS SHOWN HEREON.
- ANY AND ALL DEVELOPMENT SHALL MEET THE IFC CODE REQUIREMENTS 2009 EDITION OR THE MOST CURRENT EDITION THE GOVERNING BODY HAS ADOPTED AT THE TIME OF PERMITTING.

FLOOD ZONE

THIS PROPERTY LIES WITHIN OTHER AREAS ZONE "X", AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAPS (F.I.R.M.) #35049003940, EFFECTIVE DATE JUNE 17, 2008.

LOT OF RECORD AND OTHER REFERENCE DOCUMENTS:

- LOT 3, BECKNER ROAD EXTENSION DEDICATION PLAT PREPARED FOR BUILDING SERVICES OF SANTA FE, BEATY FAMILY LTD. CO. AND THE CITY OF SANTA FE SHOWING PUBLIC R/W DEDICATION OF A PORTION OF LOT 3 AS SHOWN ON PLAT RECORDED IN BOOK 710 PAGES 21-22, AS RECORDED AS INST# 1796166 IN BK. 804 PAGES 09-10.
- LOT LINE ADJUSTMENT PLAT PREPARED FOR BECKNER ROAD COURTES, INC. BY GARY E. DAWSON, NMLS 7014, PLAT RECORDED AS INSTRUMENT NUMBER 1592459 ON THE 4TH DAY OF MARCH, 2010 AND PLAT BOOK 714 PAGES 14-26, IN THE SANTA FE COUNTY CLERK'S OFFICE.
- ROADWAY & UTILITY RIGHT OF WAY GOVERNOR MILES ROAD NAVA AVE SUBD. TO RICHARDS AVE, SE1/4 SE, T16N, R9E, NMPM SANTA FE COUNTY, N.M. PREPARED BY RICHARD A. MORRIS, L.S.#10297, RECORDED IN PLAT BK. 362 PG.07.
- WARRANTY DEED, JOHN ARDISSONE AND MAY T. ARDISSONO TO BUILDING SERVICES OF SANTA FE, BK 462 PAGE 621.

ALL OTHER REFERENCE DOCUMENTS AS NOTED HEREON

DEDICATION AND AFFIDAVIT

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) HAVE CAUSED TO BE SUBDIVIDED THOSE LANDS SHOWN HEREON. OPEN SPACE TRACTS N, N-2, O, P, Q, T, X & Z ARE HEREBY GRANTED TO THE VISTA DE LA SIERRA HOMEOWNERS ASSOCIATION. DRAINAGE EASEMENTS ARE HEREBY CREATED FOR THE MITIGATION OF STORM WATERS OF THE SUBDIVISION LOTS AND ROADS. THE MAINTENANCE OF THESE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE H.O.A.

ROADS SHOWN HEREON AS PUBLIC RIGHT OF WAY, CREATED BY THIS PLAT, ARE HEREBY DEDICATED TO THE CITY OF SANTA FE FOR PUBLIC USE & MAINTENANCE.

TRAIL EASEMENTS SHOWN HEREON, CREATED BY THIS PLAT, ARE HEREBY DEDICATED TO THE CITY OF SANTA FE FOR A PUBLIC NON-MOTORIZED PEDESTRIAN TRAIL AND THE CONSTRUCTION, REPAIR, AND MAINTENANCE OF SAID TRAIL. MAINTENANCE IS THE RESPONSIBILITY OF THE CITY OF SANTA FE.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF: PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMERS/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE FOR NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

"OWEST CORPORATION, D/B/A CENTURY/LINK OC" FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES. THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE TELEPHONE SERVICES TO THE SUBDIVISION.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRICAL TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN POOL (ARBORESCENT OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED HEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS SHALL BE BINDING UPON THE UNDERSIGNED AND THEIR SUCCESSORS AND ASSIGNS

THIS PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF SAID OWNER(S) THIS PLAT CONTAINS 24.402 ACRES, MORE OR LESS. THIS DEDICATION LIES WITHIN THE PLATING JURISDICTION OF THE CITY OF SANTA FE, N.M.

STORM WATER AGREEMENT:

PROPERTY OWNER(S) HEREBY AGREE THAT ALL STORM WATER EASEMENTS AND ANY OTHER DRAINAGE IMPROVEMENTS ON PRIVATE PROPERTY WILL BE MAINTAINED AND KEPT FULLY FUNCTIONAL AS ORIGINALLY DESIGNED AND CONSTRUCTED WITHIN PRIVATE PROPERTY BOUNDARIES BY ESTANCIAS DEL NORTE HOME OWNERS ASSOCIATION(OWNER) AND SUBSEQUENT HEIRS, ASSIGNS, AND FUTURE OWNERS. THE CITY IS HEREBY GRANTED THE FOLLOWING: (1) ACCESS FOR INSPECTION OF SAID IMPROVEMENTS; (2) IN THE EVENT OF DRAINAGE FACILITY MAINTENANCE DEFICIENCY AND AFTER TEN (10) DAYS WRITTEN NOTICE TO THE RESPECTIVE PROPERTY OWNER, TO ENTER AND RESTORE FULL FUNCTIONAL CAPACITY OF THE DRAINAGE IMPROVEMENTS; AND (3) TO LIEN THE PROPERTY FOR BOTH DIRECT AND INDIRECT COSTS ASSOCIATED WITH SUCH WORK. BY SIGNATURE AFFIXED TO THIS INSTRUMENT, THE PROPERTY OWNER(S) APPROVE AND AGREE THAT THIS AGREEMENT IS BINDING PERPETUALLY, RUNNING WITH THE LAND, ON PRESENT AND FUTURE OWNERS, HEIRS, AND ASSIGNS.

DRAINAGE FACILITIES MAINTENANCE

THE DRAINAGE FACILITIES ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS.

INSPECTIONS OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER THE HOMEOWNERS ASSOCIATION SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

THE REMEDIAL ACTION SHALL CONSIST OF (1) REMOVAL AND DISPOSAL OF SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH; (2) FLUSHING ALL CULVERTS, DRAIN ALETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND POLLUTANTS THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURES; AND, (3) INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS AND INSPECT FOR THE STRUCTURAL INTEGRITY OF ALL APPURTENANT DRAINAGE STRUCTURES AND REPAIR OR STABILIZE ACCORDINGLY.

OWNER LOT 3:
BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO LIMITED LIABILITY COMPANY

JEFFERY BRANCH, MANAGING MEMBER.

STATE OF NEW MEXICO)
) JSS

COUNTY OF _____)

ON THIS _____ DAY OF _____, 202____, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY JEFFERY BRANCH, MANAGING MEMBER OF BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO LIMITED LIABILITY COMPANY.

NOTARY PUBLIC _____ COMMISSION EXPIRES _____

FINAL SUBDIVISION PLAT
VISTA DE LA SIERRA PHASE 3

PREPARED FOR
BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO LIMITED LIABILITY COMPANY
SHOWING
A SUBDIVISION OF PHASE 2A AND B AS SHOWN ON PLAT RECORDED AS INSTRUMENT # _____ IN BOOK _____ PAGES _____ INTO 122 RESIDENTIAL LOTS

PURPOSE: TO CREATE 122 RESIDENTIAL PARCELS

"TITLE AND INDEXING INFORMATION FOR COUNTY CLERK"

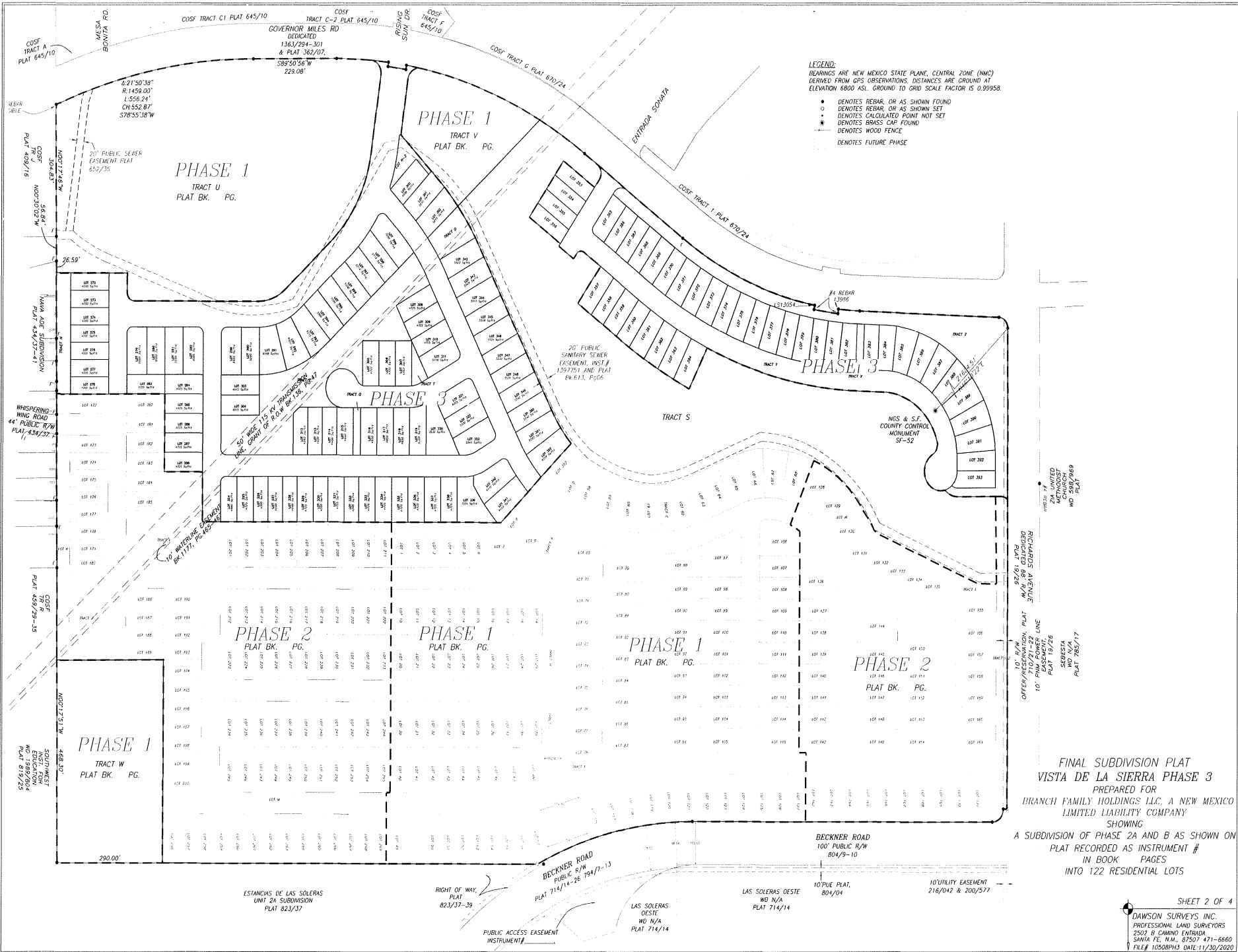
OWNERS: BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO LIMITED LIABILITY COMPANY
PARENT PARCEL: LOT 3 BECKNER ROAD EXTENSION DEDICATION PLAT PREPARED FOR BUILDING SERVICES OF SANTA FE, BEATY FAMILY LTD CO. AND THE CITY OF SANTA FE, RECORDED AS INST.#1796166 IN BOOK 804 PAGES 9-10.

UPC: 1-050-095-387-083

PLSS LOCATION: SECTION 8, T16N, R9E, NMPM SHEET 1 OF 4

CITY: SANTA FE
COUNTY: SANTA FE
STATE: NEW MEXICO

DAWSON SURVEYS INC.
PROFESSIONAL LAND SURVEYORS
2502 B CAMINO ENTRADA
SANTA FE, N.M., 87507 471-6660
FILE# 10508PH3 DATE 11/30/2020



LEGEND:
 BEARINGS ARE NEW MEXICO STATE PLANE, CENTRAL ZONE (NMC)
 DERIVED FROM GPS OBSERVATIONS. DISTANCES ARE GROUND AT
 ELEVATION 6800 ASL. GROUND TO GRID SCALE FACTOR IS 0.99956.

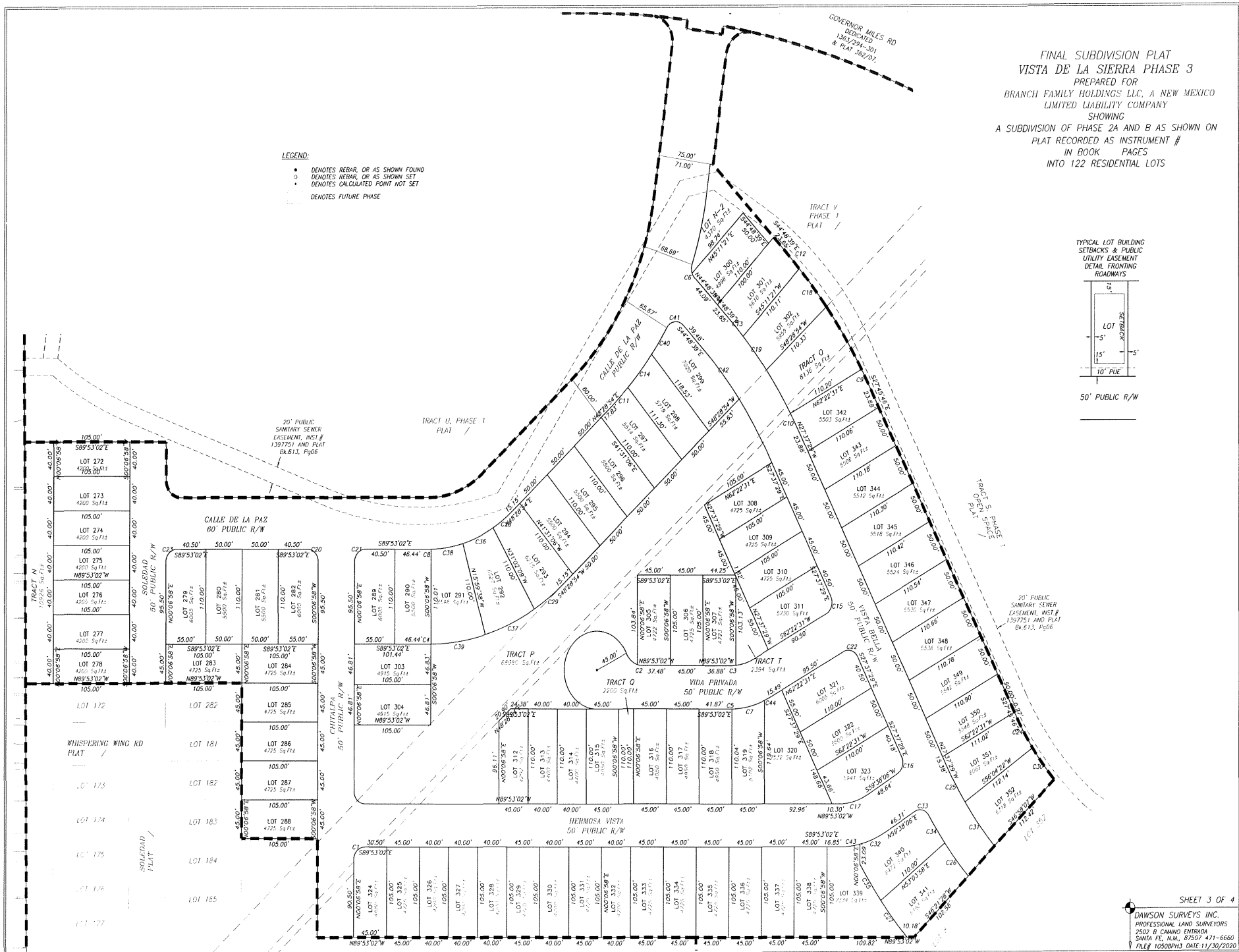
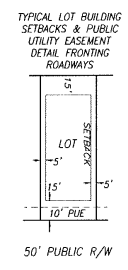
- DENOTES REBAR, OR AS SHOWN FOUND
- DENOTES REBAR, OR AS SHOWN SET
- DENOTES CALCULATED POINT NOT SET
- DENOTES BRASS CAP FOUND
- DENOTES WOOD FENCE
- - - DENOTES FUTURE PHASE

FINAL SUBDIVISION PLAT
VISTA DE LA SIERRA PHASE 3
 PREPARED FOR
 BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO
 LIMITED LIABILITY COMPANY
 SHOWING
 A SUBDIVISION OF PHASE 2A AND B AS SHOWN ON
 PLAT RECORDED AS INSTRUMENT # _____
 IN BOOK _____ PAGES _____
 INTO 122 RESIDENTIAL LOTS

SHEET 2 OF 4
DAWSON SURVEYS INC.
 PROFESSIONAL LAND SURVEYORS
 2502 B CAMINO ENTRADA
 SANTA FE, N.M., 87507 471-6860
 FILE# 103508PH3 DATE 11/30/2020

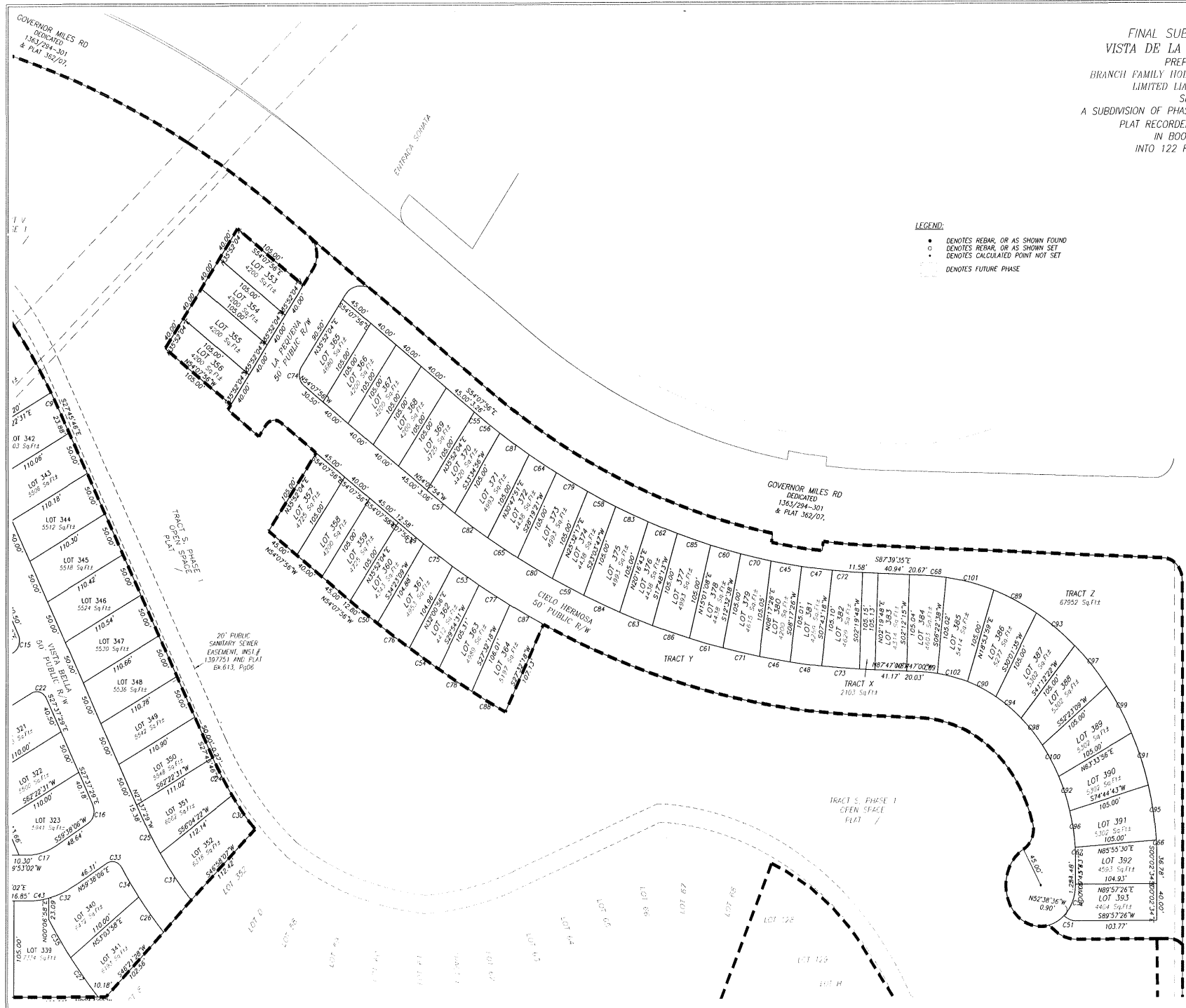
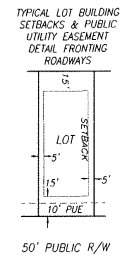
FINAL SUBDIVISION PLAT
 VISTA DE LA SIERRA PHASE 3
 PREPARED FOR
 BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO
 LIMITED LIABILITY COMPANY
 SHOWING
 A SUBDIVISION OF PHASE 2A AND B AS SHOWN ON
 PLAT RECORDED AS INSTRUMENT #
 IN BOOK PAGES
 INTO 122 RESIDENTIAL LOTS

- LEGEND:**
- DENOTES REBAR OR AS SHOWN FOUND
 - DENOTES REBAR OR AS SHOWN SET
 - DENOTES CALCULATED POINT NOT SET
 - DENOTES FUTURE PHASE

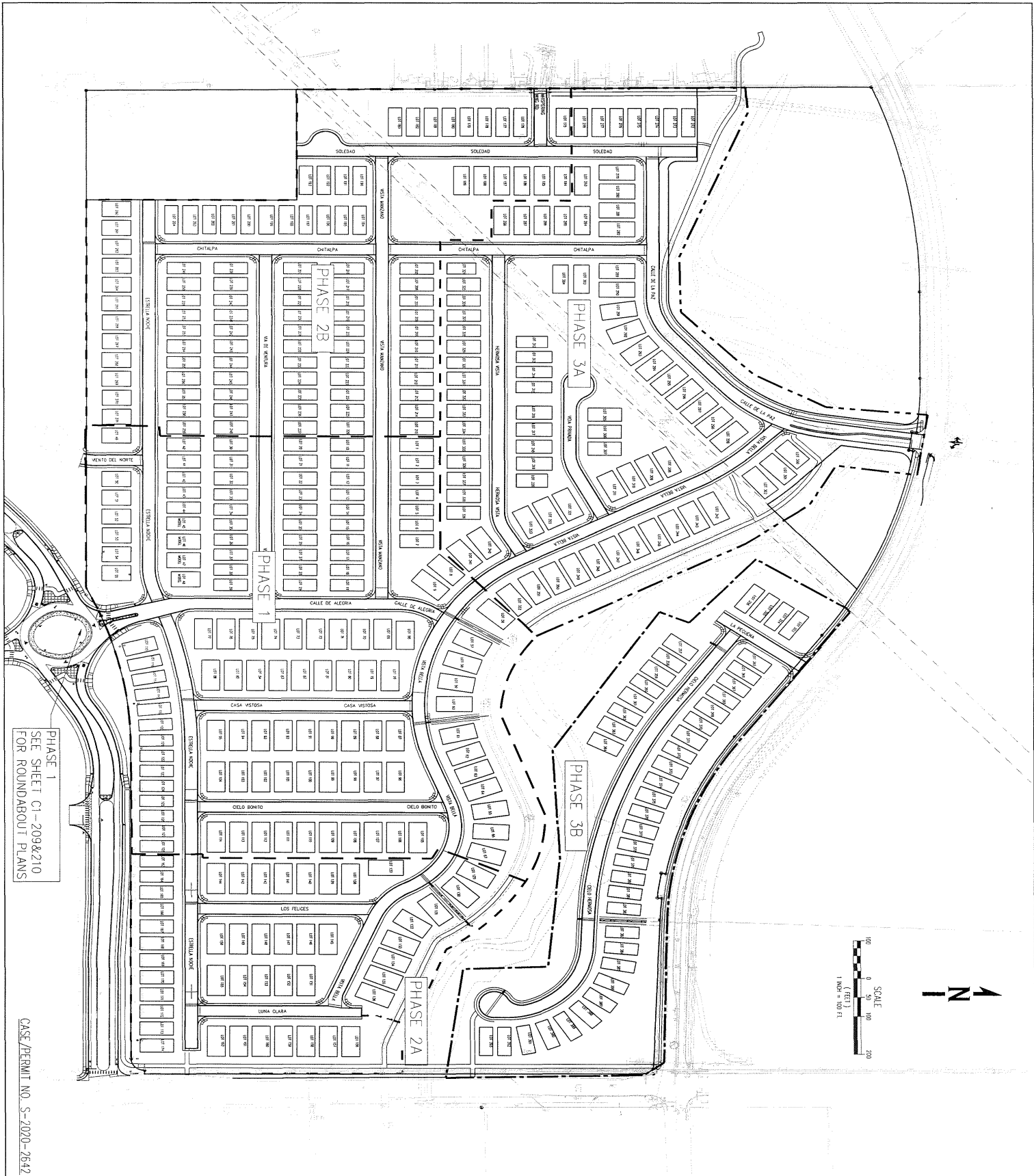


FINAL SUBDIVISION PLAT
VISTA DE LA SIERRA PHASE 3
 PREPARED FOR
 BRANCH FAMILY HOLDINGS LLC, A NEW MEXICO
 LIMITED LIABILITY COMPANY
 SHOWING
 A SUBDIVISION OF PHASE 2A AND B AS SHOWN ON
 PLAT RECORDED AS INSTRUMENT #
 IN BOOK PAGES
 INTO 122 RESIDENTIAL LOTS

- LEGEND:**
- DENOTES REBAR, OR AS SHOWN FOUND
 - DENOTES REBAR, OR AS SHOWN SET
 - DENOTES CALCULATED POINT NOT SET
 - DENOTES FUTURE PHASE



SHEET 3 OF 4
 DAWSON SURVEYS INC.
 PROFESSIONAL LAND SURVEYORS
 2502 B CAMINO ENTRADA
 SANTA FE, N.M. 87507 471-6660
 FILE # 10508PH3, DATE: 11/30/2020



PHASE 1
SEE SHEET C1-209&210
FOR ROUNDABOUT PLANS

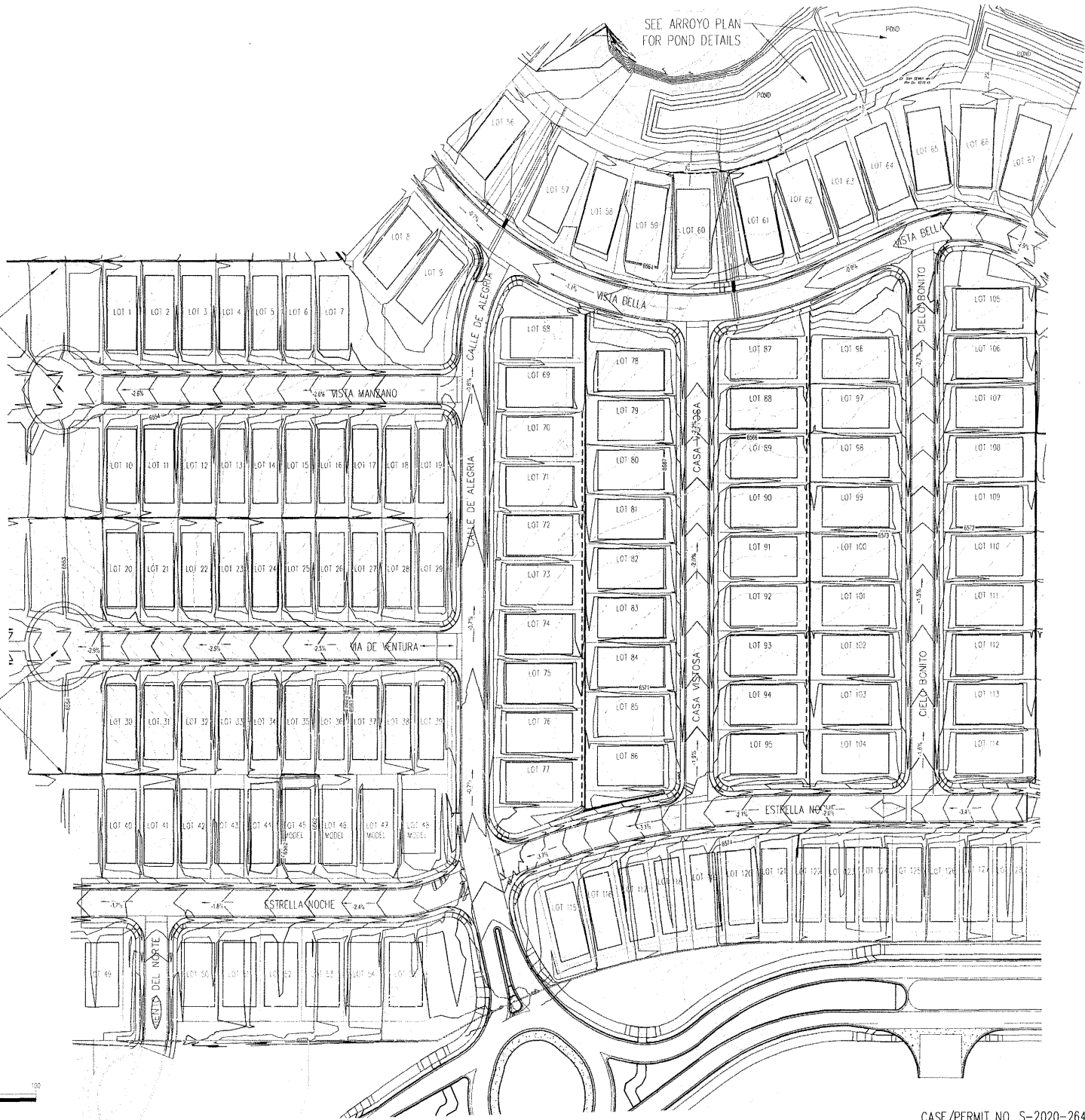
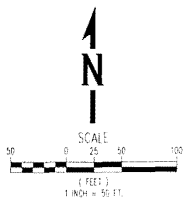
CASE/PERMIT NO. S-2020-2642

S-120 SHEET NO.	DEPARTMENT WASTE/WATER WATER P/W ENGINEERING TRAFFIC FIRE DEPARTMENT SOLID WASTE LANDSCAPE TRAILS / OPEN SPACE SUBDIVISION REVIEW	CITY REVIEW SIGN-OFF DATE	PROJECT VISTA DE LA SIERRA SUBDIVISION - PHASE 1, 2 & 3 SHEET TITLE PHASING PLAN		NO. REVISIONS PROJECT FILE DATE SCALE	BY APP. DATE DESIGNED BY: RB, BZ DRAWN BY: AS, BZ, AL, NG CHECKED BY: RB AS NOTED	WHPacific 6501 Americas Pkwy, NE, Suite 400 Albuquerque, NM 87110 505-247-0284 Fax 505-242-4845 www.whpacific.com
	11/30/20 1" = 100'						

P:\CityShare\Civil\Corporation\2610\14-0010105.00-Excavation\Drawings\Civil\Phase 1\4010105.00-C-Grading_Plan_Phase 1.dwg 11/29/2020 11:14 AM

FUTURE PHASE-2
ROADWAY & PAD
CONTOURS

FUTURE PHASE-2
ROADWAY & PAD
CONTOURS



CASE/PERMIT NO. S-2020-2642

WHPacific
 8571 American Parkway NE, Suite 400
 Bellevue, WA 98003
 Phone: 206.725.1000
 Fax: 206.725.2445
 www.whpacific.com

NO.	REVISIONS	BY	DATE

DESIGNED BY: R.S. BZ
 DRAWN BY: J.C. J. MC
 CHECKED BY: R.S.
 DATE: 11/29/20
 SCALE:



VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 OVERALL GRADING PLAN
 PHASE 1

PROJECT:

DATE:

CITY/PROJECT:

DEPARTMENT:

DESIGNER:

DATE:

CITY/PROJECT:

DEPARTMENT:

DESIGNER:

DATE:

CITY/PROJECT:

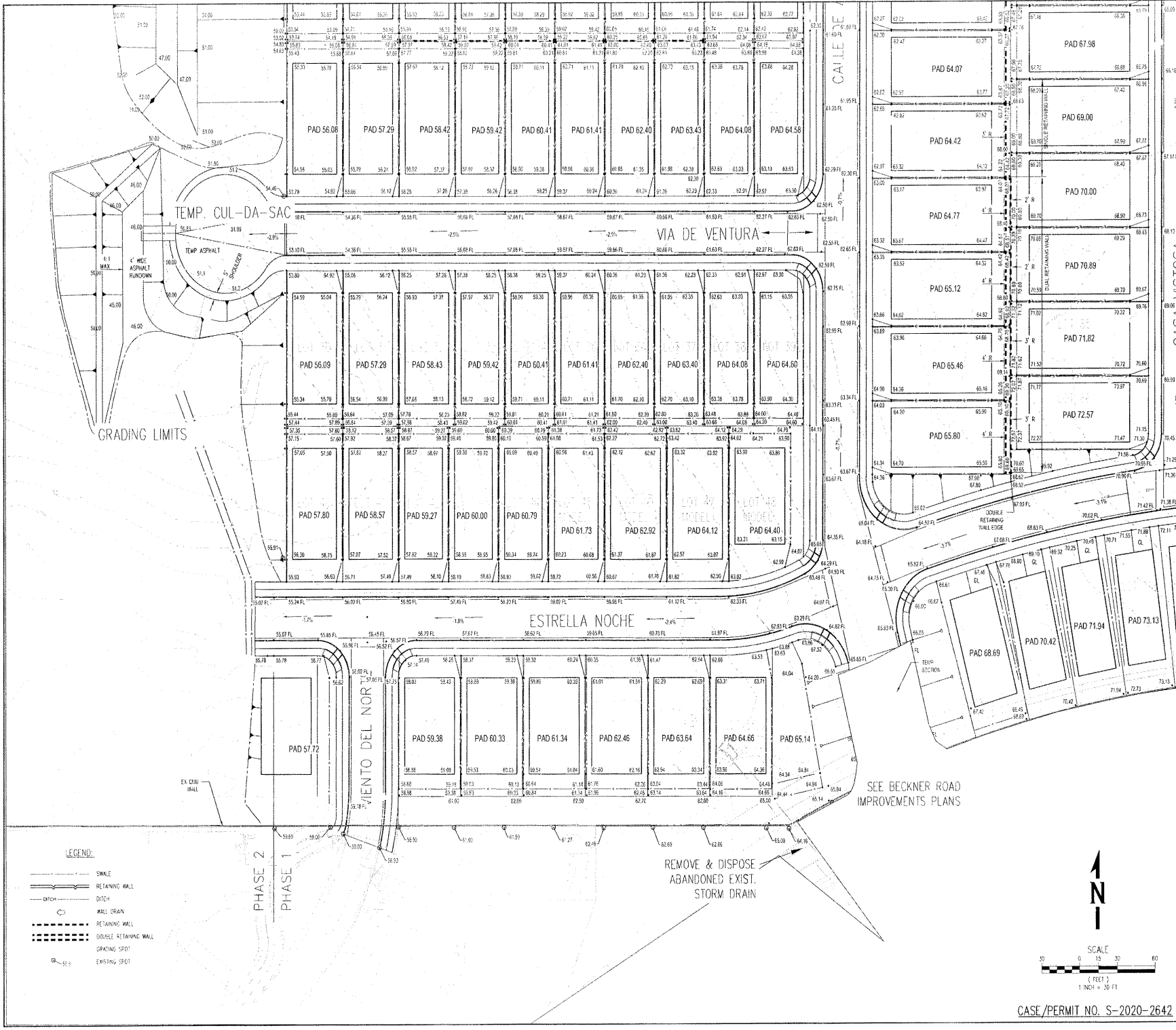
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DESIGNER:

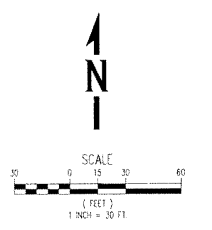
DATE:

C1-100

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- LEGEND:**
- SWALE
 - RETAINING WALL
 - DITCH
 - WALL DRAIN
 - RETAINING WALL
 - DOUBLE RETAINING WALL
 - GRADING SPOT
 - EXISTING SPOT



CASE/PERMIT NO. S-2020-2642

WHPacific
 6501 American Hwy NE, Suite 400
 Everett, WA 98203
 PHONE: 425.351.4444 FAX: 425.351.4445
 WWW.WHPACIFIC.COM

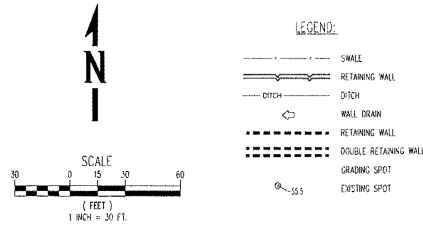
PROJECT NO.	2020-2642
DATE	11/20/20
DESIGNED BY	RES. B.Z.
DRAWN BY	RES. B.Z.
CHECKED BY	RES. B.Z.
SCALE	AS NOTED



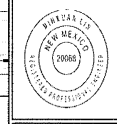
VISTA DE LA SIERRA SUBDIVISION - PHASE 1
 GRADING PLAN
 SHEET TITLE

DATE	
CITY REVIEW	
DEPARTMENT	
WATER	
WASTEWATER	
TRAFFIC	
PLUMBING	
MECHANICAL	
ELECTRICAL	
LANDSCAPE	
IRRIGATION	
UTILITY	
OTHER	

C1-101



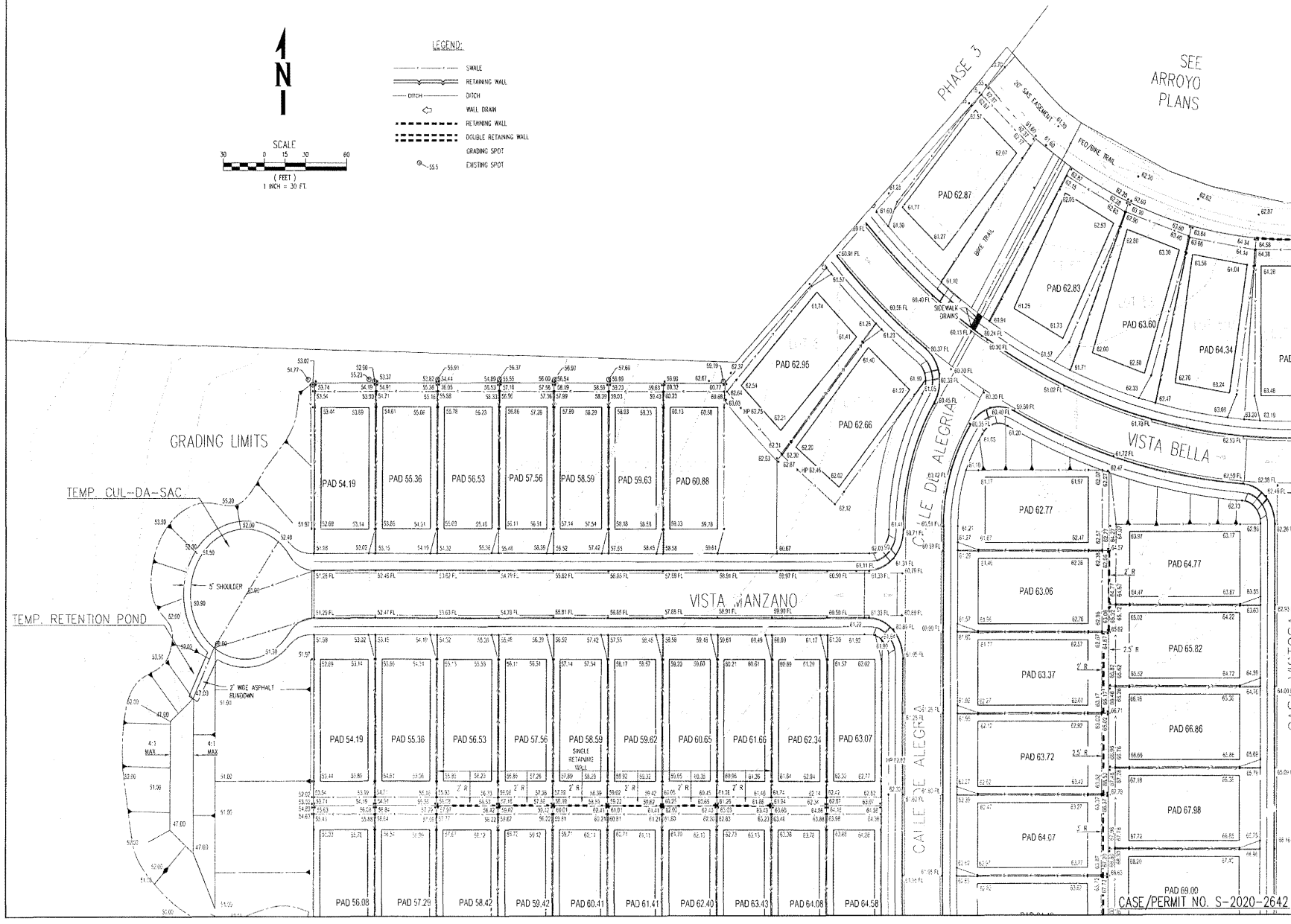
SHEET NO.	REVISIONS	BY	DATE



VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 GRADING PLAN

DATE	
PROJECT	VISTA DE LA SIERRA
SHEET TITLE	GRADING PLAN
CITY REVIEW SIGNATURE	
CITY REVIEW DATE	
CITY REVIEW COMMENTS	
DEPARTMENT	
CHECKED BY	
DRAWN BY	
DESIGNED BY	
FILE	
DATE	
SHEET NO.	

C-102



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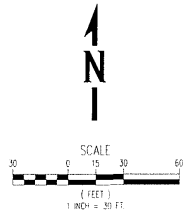


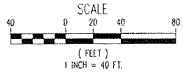
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WHPacific 5001 Americas Parkway, Suite 400 Bannockburn, IL 60015 847-244-2294 Fax: 847-244-2845 www.whpacific.com			
NO.	REVISIONS	BY	DATE
PROJECT:		DESIGNED BY:	RE. B.Z.
FILE:		DRAWN BY:	J.S. M.A., N.C.
DATE:		CHECKED BY:	A.S. M.T.C.
SCALE:			
VISTA DE LA SIERRA SUBDIVISION - PHASE 1 GRADING PLAN			
PROJECT:	DATE:	SHEET TITLE:	
CITY REVIEW:	DESIGNER:	DATE:	
DEPARTMENT:			
MASTROTTI & ASSOCIATES			
WATER			
ENGINEERING			
PLUMBING			
LANDSCAPE			
TRANS/OPEN SPACE			
SUBDISCIPLINE			
SHEET NO.:			
C1-103			
CASE/PERMIT NO. S-2020-2642			

GRADING LIMITS
 20' WIDE TEMPORARY
 GRAVEL EMERGENCY
 ACCESS ROAD
 SEE SHET C-105

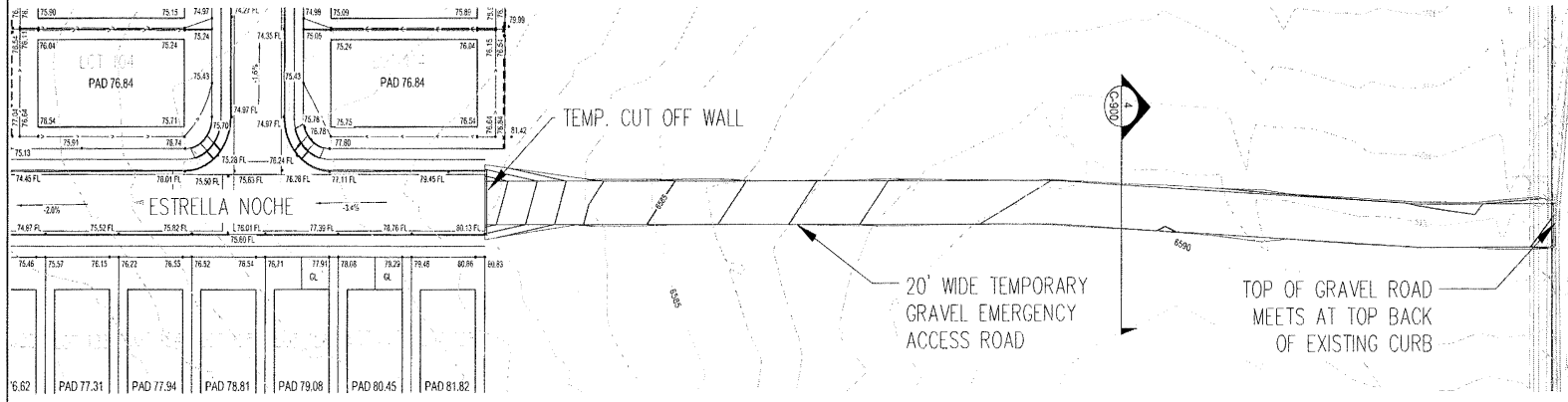
SEE BECKNER ROAD IMPROVEMENTS PLANS





LEGEND:

- SWALE
- RETAINING WALL
- DITCH
- WALL DRAIN
- RETAINING WALL
- DOUBLE RETAINING WALL
- GRADING SPOT
- EXISTING SPOT



NO.	REVISIONS	BY	DATE

DESIGNED BY: RS, SZ
 DRAWN BY: JF, JF, JF, JF
 FILE: 1129020
 CHECKED BY: AS, MDT
 DATE: 04/11/2023

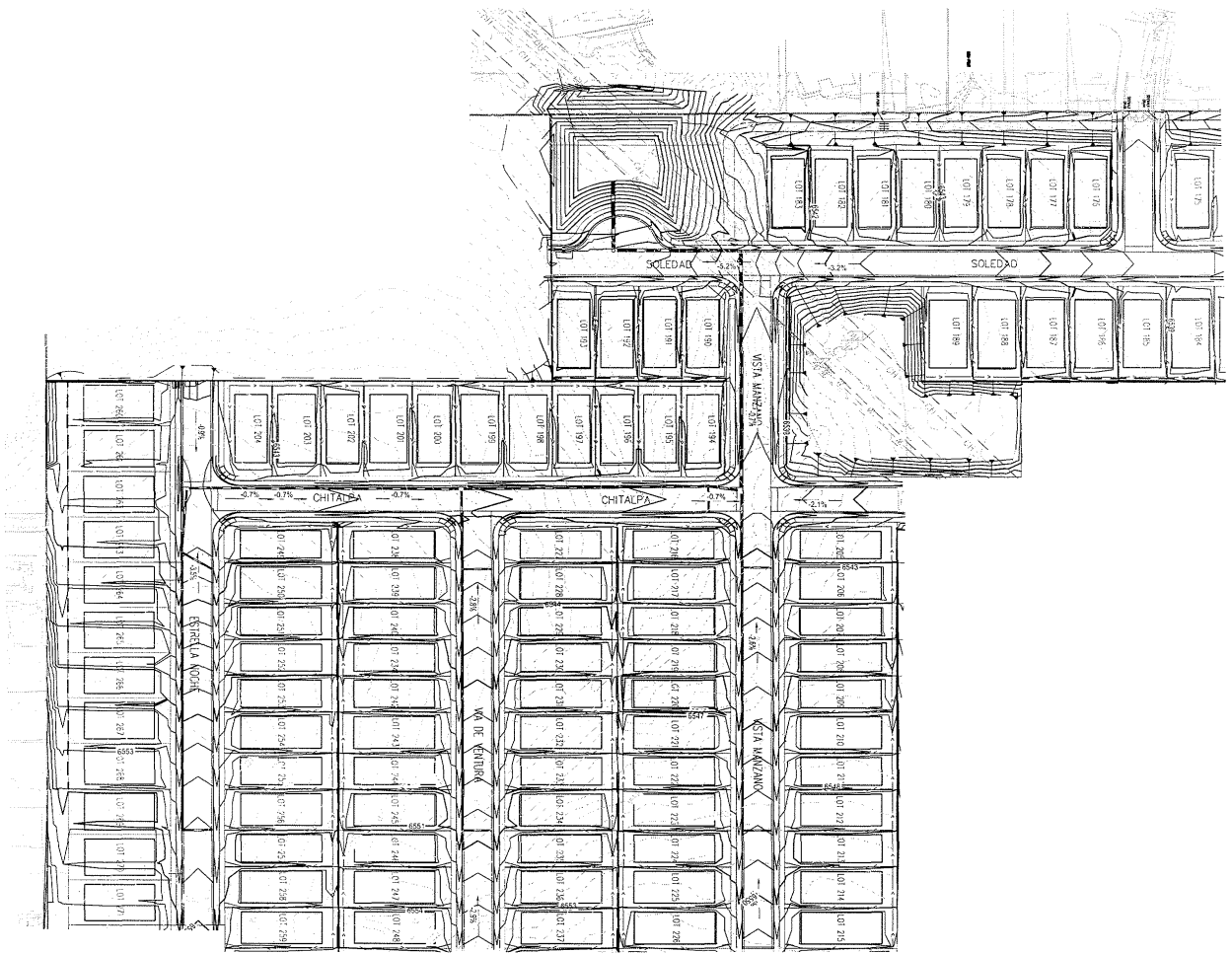


**VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 GRADING PLAN**

DEPARTMENT	CITY REVIEW	SURVEY	DATE
WASTEWATER			
WATER			
ENGINEERING			
TRAFFIC			
FIRE DEPARTMENT			
LANDSCAPE			
LANDSCAPE			
TRAILER/TOILET SPACE			
SUBDIVISION SECRETARY			

SHEET NO.
C1-105
 0 of 2

P:\Colombus Capital Construction\2020\1129020\1129020-Grading-Plan-Phase 1.dwg 11/29/2020 1:00 PM



CASE/PERMIT NO. S-2020-2642

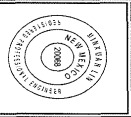
SCALE
 1" = 60'
 1" = 60'



DEPARTMENT	CITY REVIEW	SIGN-OFF	DATE
WASTEWATER			
WATER			
PW ENGINEERING			
TRAFFIC			
FIRE DEPARTMENT			
SOLID WASTE			
LANDSCAPE			
TRAILS / OPEN SPACE			
SUBDIVISION REVIEW			

PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 2B

SHEET TITLE:
 OVERALL GRADING PLAN
 PHASE 2B

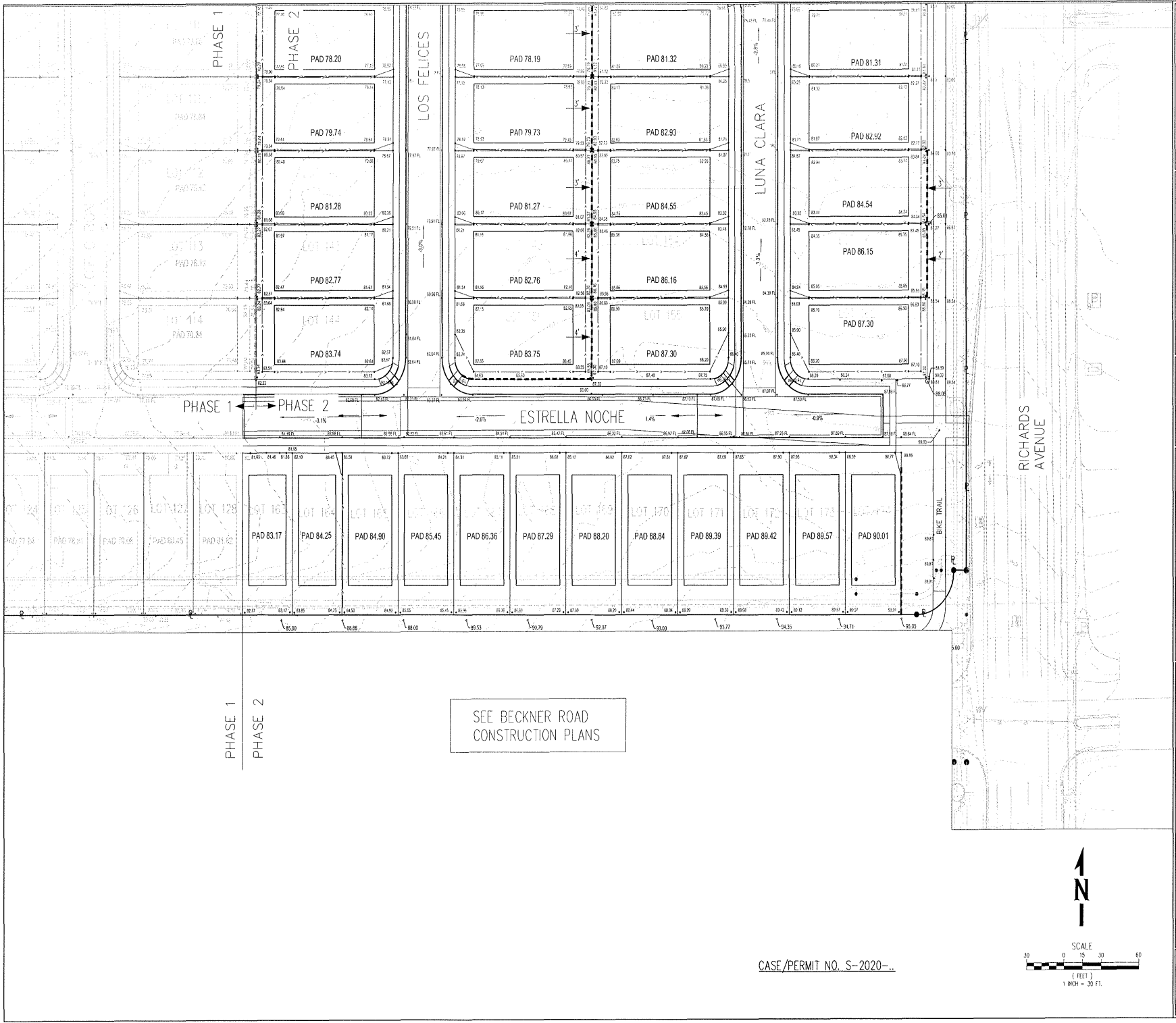


NO.	REVISIONS	BY	APP.	DATE

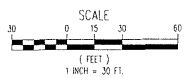
PROJECT: DESIGNED BY: RB, BZ
 FILE: DRAWN BY: J.S. BZ, J.L. NG
 DATE: 11/30/20 CHECKED BY: RB
 SCALE: AS NOTED

WHPacific

5501 Americas Pkwy NE, Suite 400
 Albuquerque, NM 87110
 505-247-0294 Fax: 505-242-4845
 www.whpacific.com



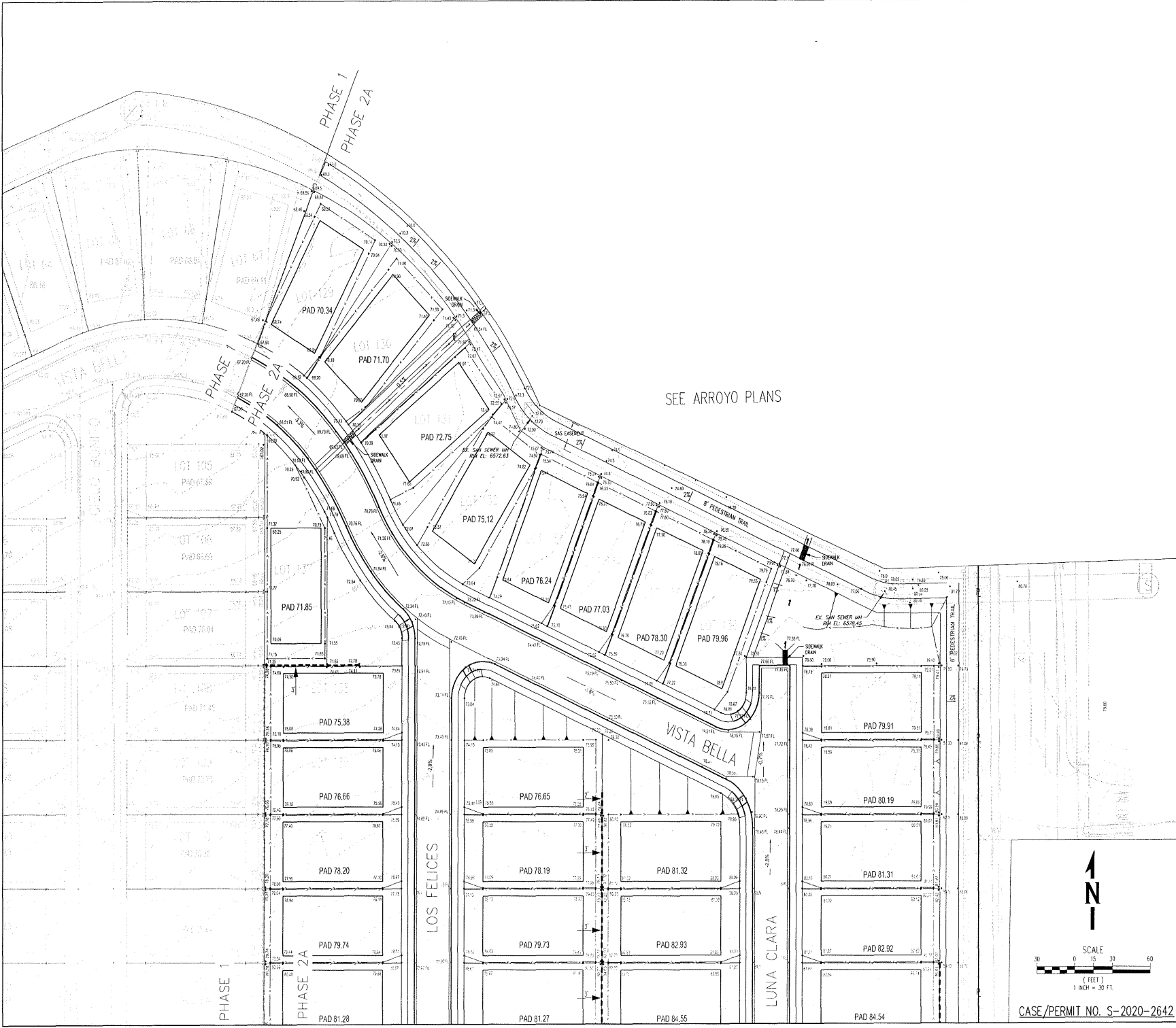
SEE BECKNER ROAD
CONSTRUCTION PLANS



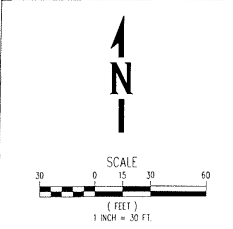
CASE/PERMIT NO. S-2020--

WHPacific WATER & POWER ENGINEERS AND SURVEYORS 455-27-0234 Fax: 905-242-8845 www.whpacific.com	
NO. _____	REVISIONS
BY _____	APP. _____
DATE _____	DATE _____
DESIGNED BY: P.B. SZ	
PROJECT: _____	
DATE: 1/29/20	
CHECKED BY: RB	
SCALE: AS NOTED	
PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2A SHEET TITLE: GRADING PLAN	
CITY REVIEW	DATE
DEPARTMENT	DATE
WASTEWATER	
WATER ENGINEERING	
TRAFFIC	
SOILS	
SOLID WASTE	
LANDSCAPE	
SPACE	
SUBDIVISION REVIEW	
SHEET NO. C2-101	

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SEE ARROYO PLANS



CASE/PERMIT NO. S-2020-2642



WHPacific
6501 Avenida Playa del Sur, #200
Alhambra, CA 91701
Phone: 626-282-8845
www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RB, BJ
DRAWN BY: JS, RZ, JL, LC
CHECKED BY: RB
DATE: 1/20/20
SCALE: AS NOTED

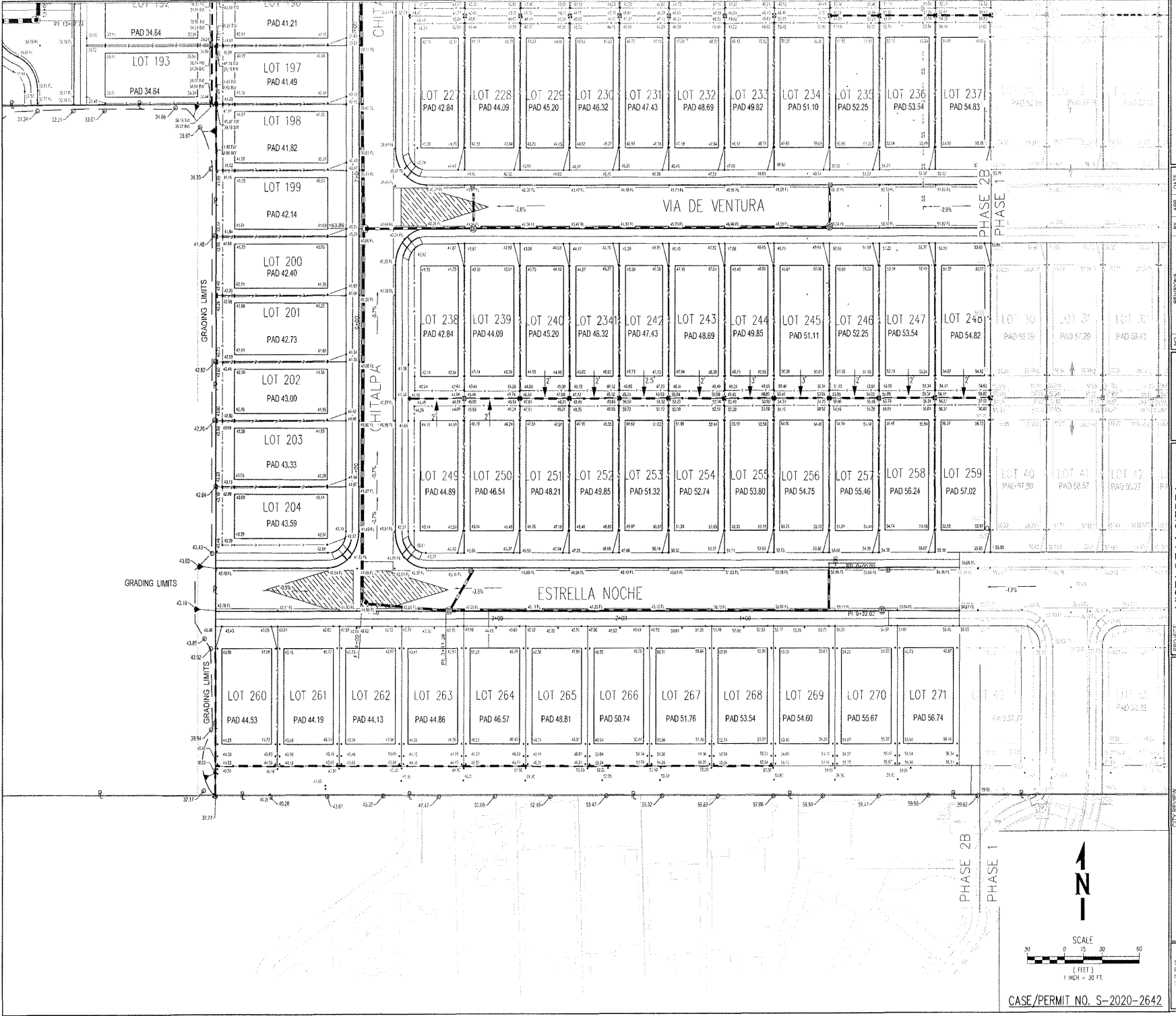


PROJECT: VISTA DE LA SIERRA
SUBDIVISION - PHASE 2A
SHEET TITLE: GRADING PLAN
SHEET NO.: C2-102

CITY REVIEW	SUBJECT	DATE

DEPARTMENT: WASTEWATER, FIRE ENGINEERING, PUBLIC WORKS, FIRE DEPARTMENT, SOLID WASTE, TRAILS / OPEN SPACE, SUBDIVISION REVIEW

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 Houston, TX 77036
 T 281.848.4848 F 281.848.4845
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NO.	REVISIONS	BY	DATE

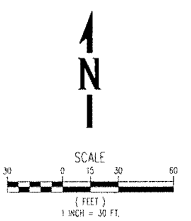
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 SCALE: AS NOTED



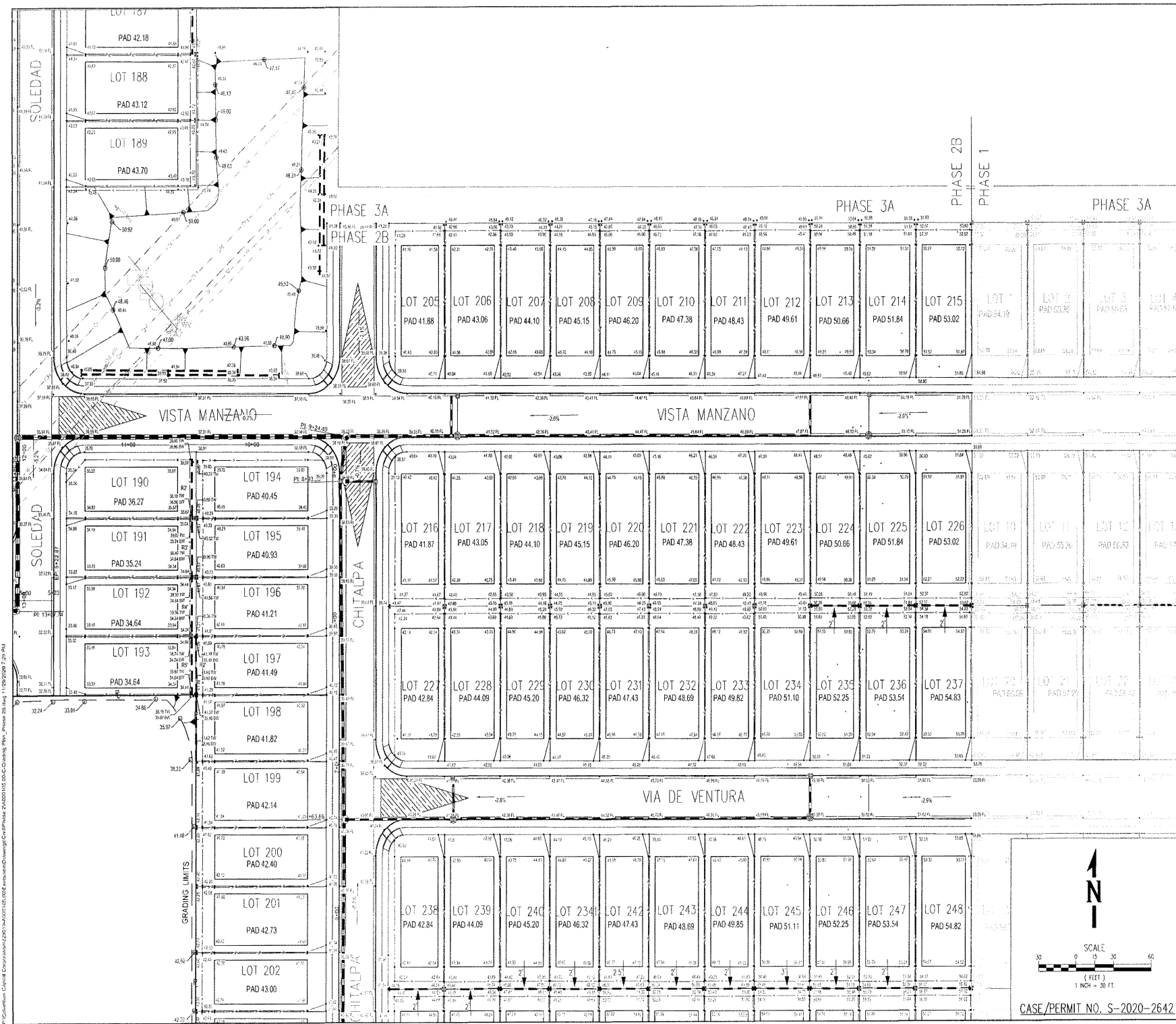
PROJECT: VENTURA TRAIL NEW MEXICO
 SHEET TITLE: GRADING PLAN

DATE	CITY REVIEW	SIGN-OFF	DEPARTMENT

SHEET NO. C2-103



CASE/PERMIT NO. S-2020-2642



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NO.	REVISIONS	BY	DATE
1	ISSUED		11/20/20
2	DESIGNED BY	RE.B. B.	
3	DRAWN BY	S.S. B.	
4	CHECKED BY	T.P. B.	
5	DATE		11/20/20

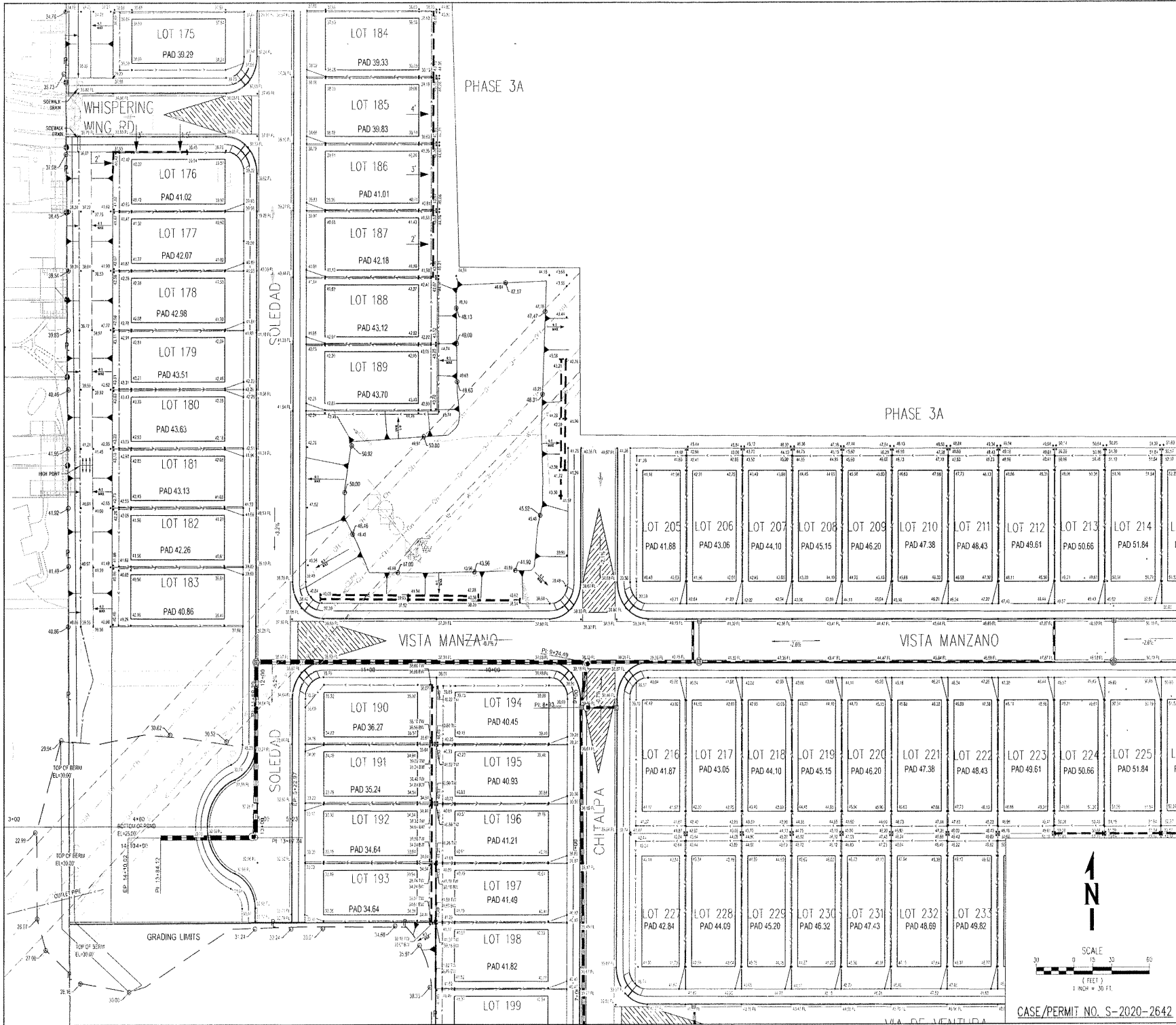


PROJECT:	VISTA DE LA SIERRA SUBDIVISION - PHASE 2B
SHEET TITLE:	GRADING PLAN
DATE:	
SCALE:	

CITY REVIEW:	
CHECKED:	
DATE:	

DESIGNER:	DEPARTMENT:
DRAWN BY:	
CHECKED BY:	
DATE:	
SHEET NO.:	C2-104
CASE/PERMIT NO.:	S-2020-2642

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NO. REVISIONS: 1/3/20

BY: JPP DATE: 11/03/20

DESIGNED BY: RB-BZ
 DRAWN BY: S.E. J. NS
 CHECKED BY: N. G. STED
 AS NOTED

PROJECT: 117899222-7-F1

PROJ. NO.: 117899222-7-F1

DATE: 11/03/20

SCALE: AS NOTED

VISTA DE LA SIERRA SUBDIVISION - PHASE 2B GRADING PLAN

PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2B

SHEET TITLE: GRADING PLAN

PROJ. NO.: 117899222-7-F1

DATE: 11/03/20

SCALE: AS NOTED

DEPARTMENT: _____

WATER: _____

SEWER: _____

TRAFFIC: _____

FIRE DEPARTMENT: _____

LANDSCAPE: _____

UTILITIES: _____

SUBDIVISION: _____

SHEET NO. **C2-105**

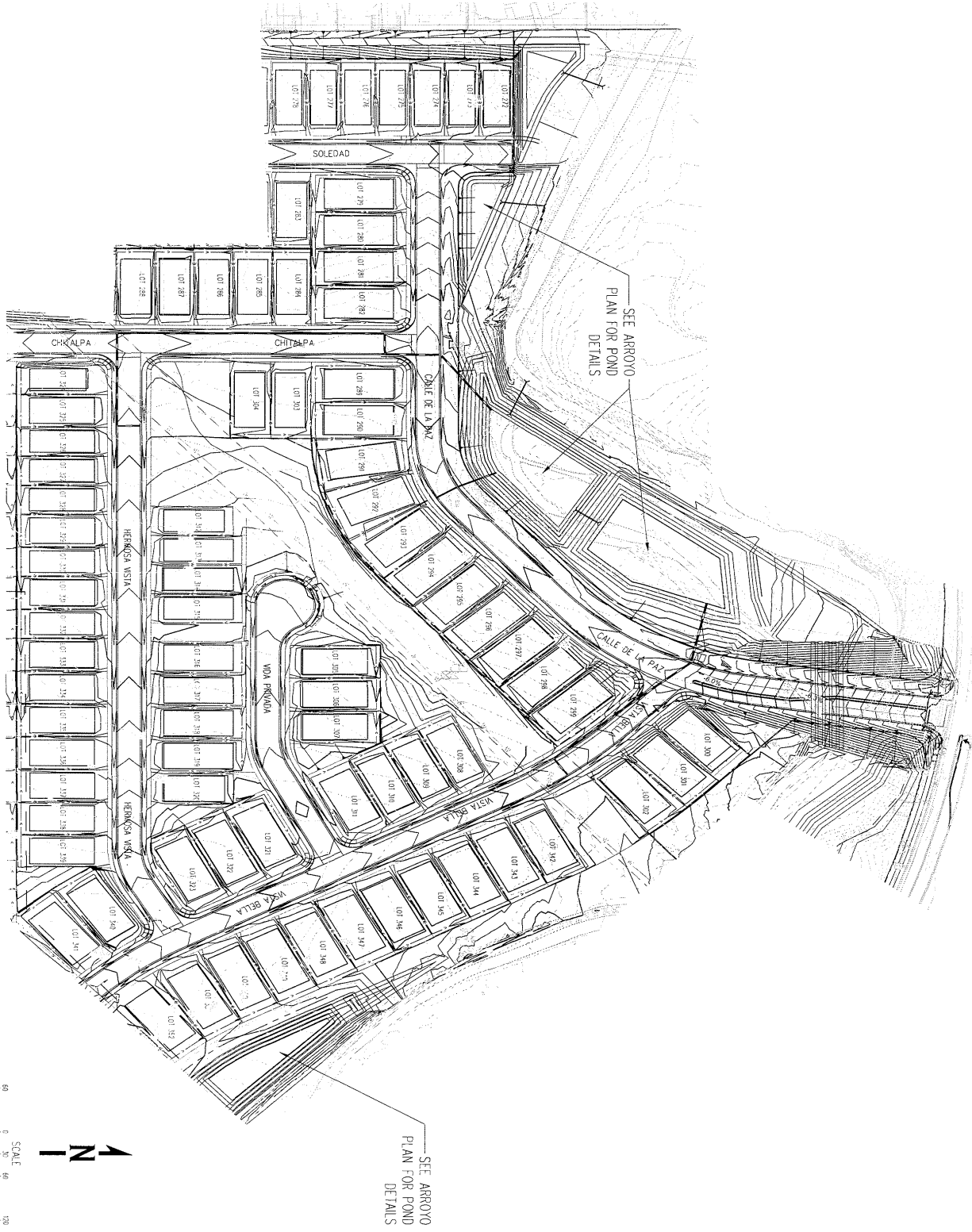
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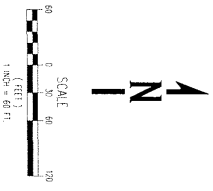
CASE/PERMIT NO. S-2020-2642

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CASE/PERMIT NO. S-2020-2642



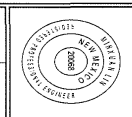
CASE/PERMIT NO. S-2020-XX



DEPARTMENT	CITY REVIEW	SIGN-OFF	DATE
WASTEWATER			
WATER			
PARK ENGINEERING			
TRAFFIC			
FIRE DEPARTMENT			
SOLID WASTE			
LANDSCAPE			
TRAILS / OPEN SPACE			
SUBDIVISION REVIEW			

PROJECT: VISTA DE LA SIERRA
SUBDIVISION - PHASE 3A

SHEET TITLE:
OVERALL GRADING PLAN
PHASE 3A

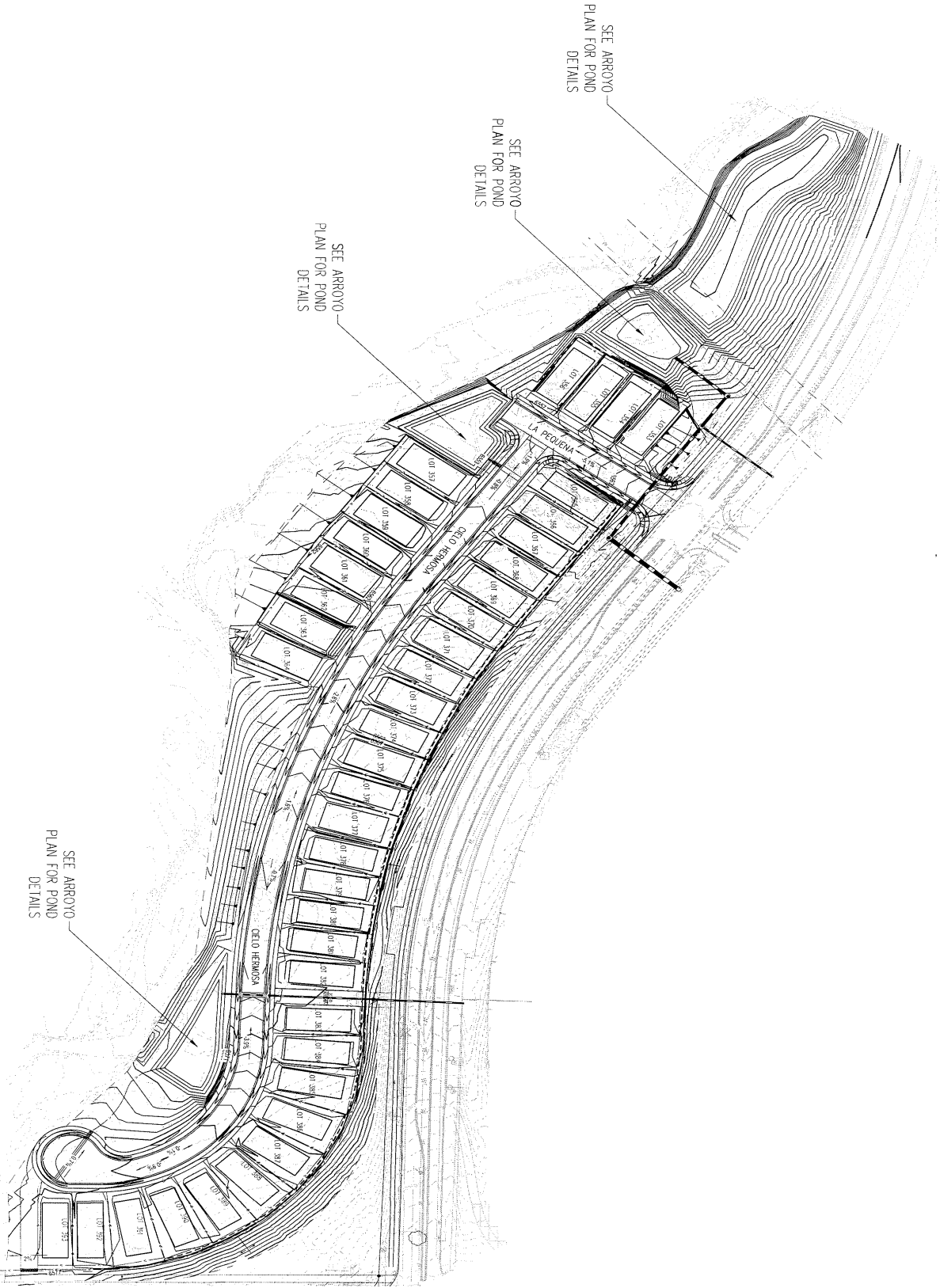


NO.	REVISIONS	BY	APP.	DATE

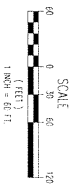
PROJECT: DESIGNED BY: RB, BZ
FILE: DRAWN BY: J.S. BZ, J.L. NS
DATE: 11/30/2020 CHECKED BY: RB
SCALE: AS NOTED

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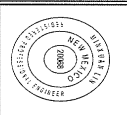


CASE/PERMIT NO. S-2020-XX



C3-100B <small>SHEET NO.</small>	<small>DEPARTMENT</small> WASTEWATER	<small>CITY REVIEW</small>	<small>SIGN-OFF</small>	<small>DATE</small>
	<small>DEPARTMENT</small> WATER			
	<small>DEPARTMENT</small> CIVIL ENGINEERING			
	<small>DEPARTMENT</small> TRAFFIC			
	<small>DEPARTMENT</small> SOLID WASTE			
	<small>DEPARTMENT</small> LANDSCAPE			
	<small>DEPARTMENT</small> TROTS/OPEN SPACE			
	<small>DEPARTMENT</small> SUBDIVISION REVIEW			

PROJECT: **VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3B**
 SHEET TITLE: **OVERALL GRADING PLAN
 PHASE 3B**



NO.	REVISIONS	BY	APP.	DATE

PROJECT: DESIGNED BY: RB, BZ
 FILE: DRAWN BY: RB, BZ, NC
 DATE: 11/30/2020 CHECKED BY: RB
 SCALE: AS NOTED

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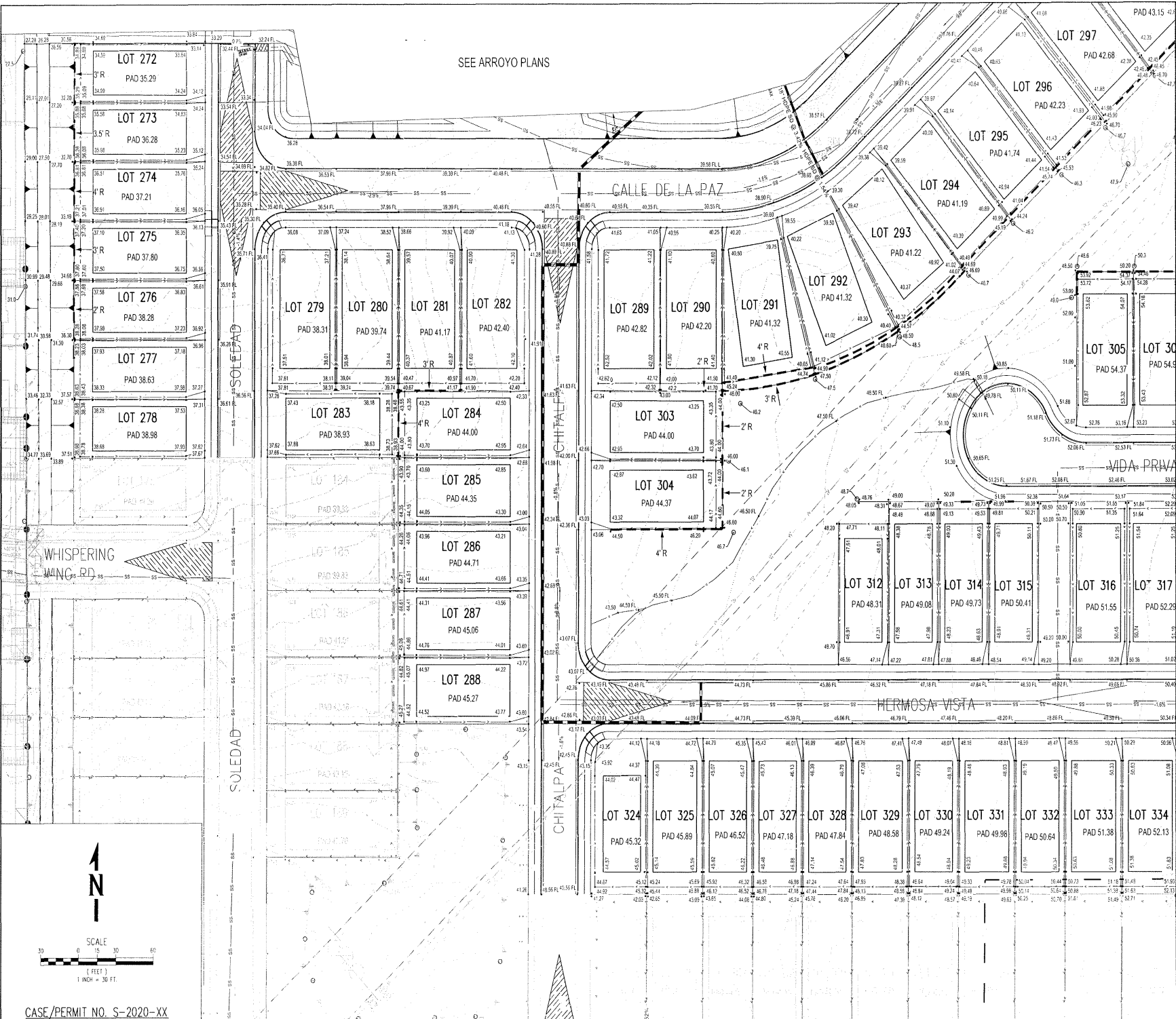
NO.:	REVISIONS	BY:	DATE:
PROJECT:	DESIGNED BY:	DR:	BSZ
FILE:	DRAWN BY:	BL:	JNS
SCALE:	CHECKED BY:	RB:	AS NOTED
	DATE:	11/30/2020	



PROJECT:	VISTA DE LA SIERRA SUBDIVISION - PHASE 3A
SHEET TITLE:	GRADING PLAN
DATE:	

DEPARTMENT:	CITY REVIEW	SUBOFF:	
WASTEWATER:			
P&Z ENGINEERING:			
TRAIL ENGINEERING:			
SOLID WASTE:			
TRAFFIC SIGNALS:			
UTILITIES:			
APPROVAL:			

SHEET NO. C3-101



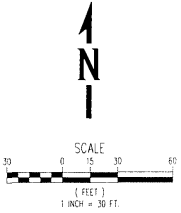
SEE ARROYO PLANS

CALLE DE LA PAZ

SOLEAD

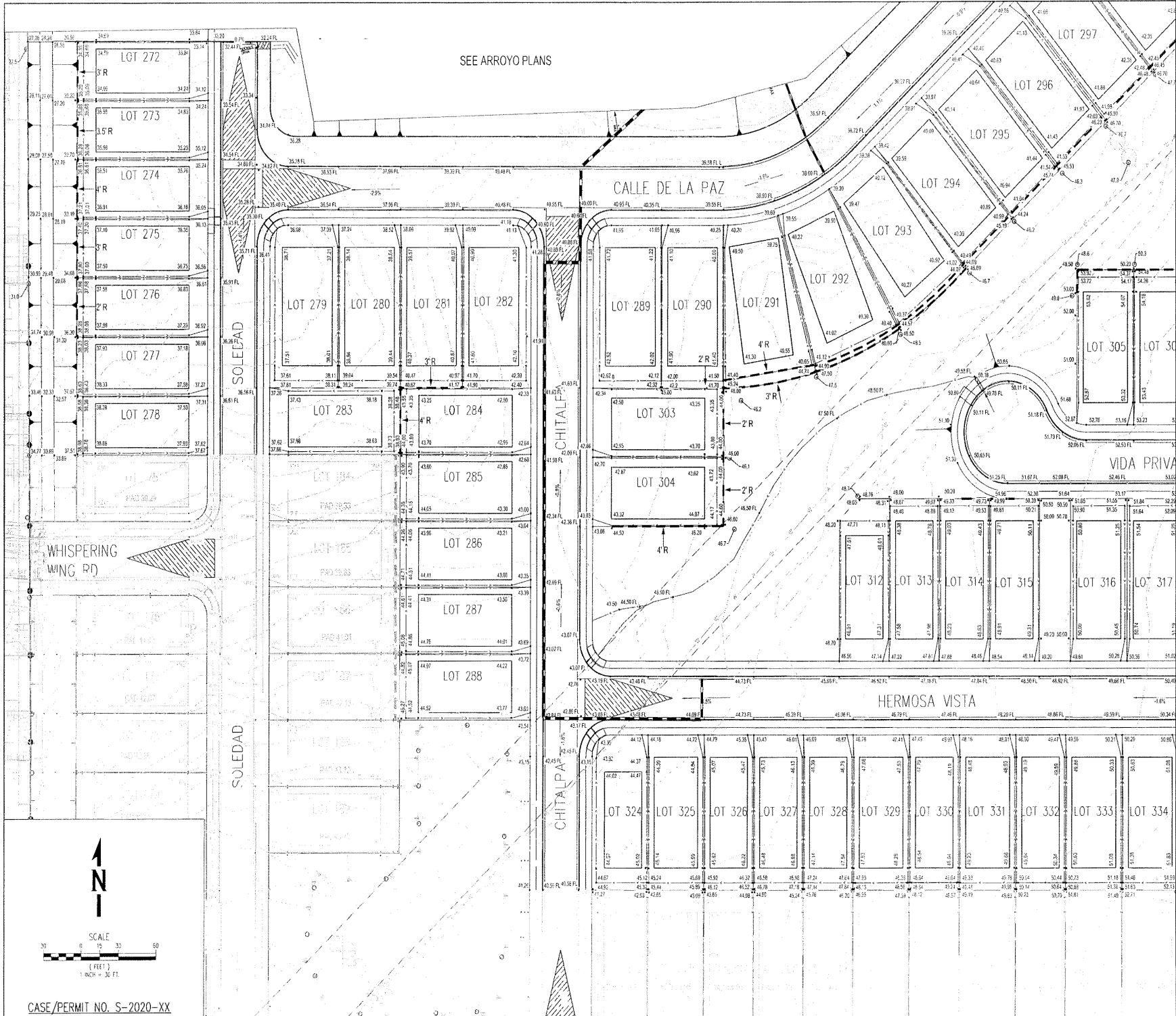
CHITLAPA

HERMOSA VISTA



CASE/PERMIT NO. S-2020-XX

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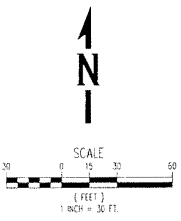
CALLE DE LA PAZ

SOLEAD

CHITALPA

HERMOSA VISTA

VIDA PRIVA



CASE/PERMIT NO. S-2020-XX

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BY: [Signature] DATE: [Blank]
 REVISIONS: [Blank]
 NO. [Blank] DESCRIPTION [Blank]
 DESIGNED BY: [Blank] DATE: [Blank]
 DRAWN BY: J.S. [Blank] DATE: [Blank]
 CHECKED BY: RB [Blank] SCALE: [Blank]



PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3A
 SHEET TITLE: GRADING PLAN

DATE	CITY REVIEW	SO/MS/CF
WASTE WATER	DEPARTMENT	
PLUMBING		
FIRE ENGINEERING		
FIRE DEPARTMENT		
SOLID WASTE		
TRAFFIC ENGINEERING		
TRAIL & OPEN SPACE		
SUBMISSION REVIEW		
SHEET NO.		
C3-101		

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SAS EASEMENT

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NO.	REVISIONS	BY	APP.	DATE

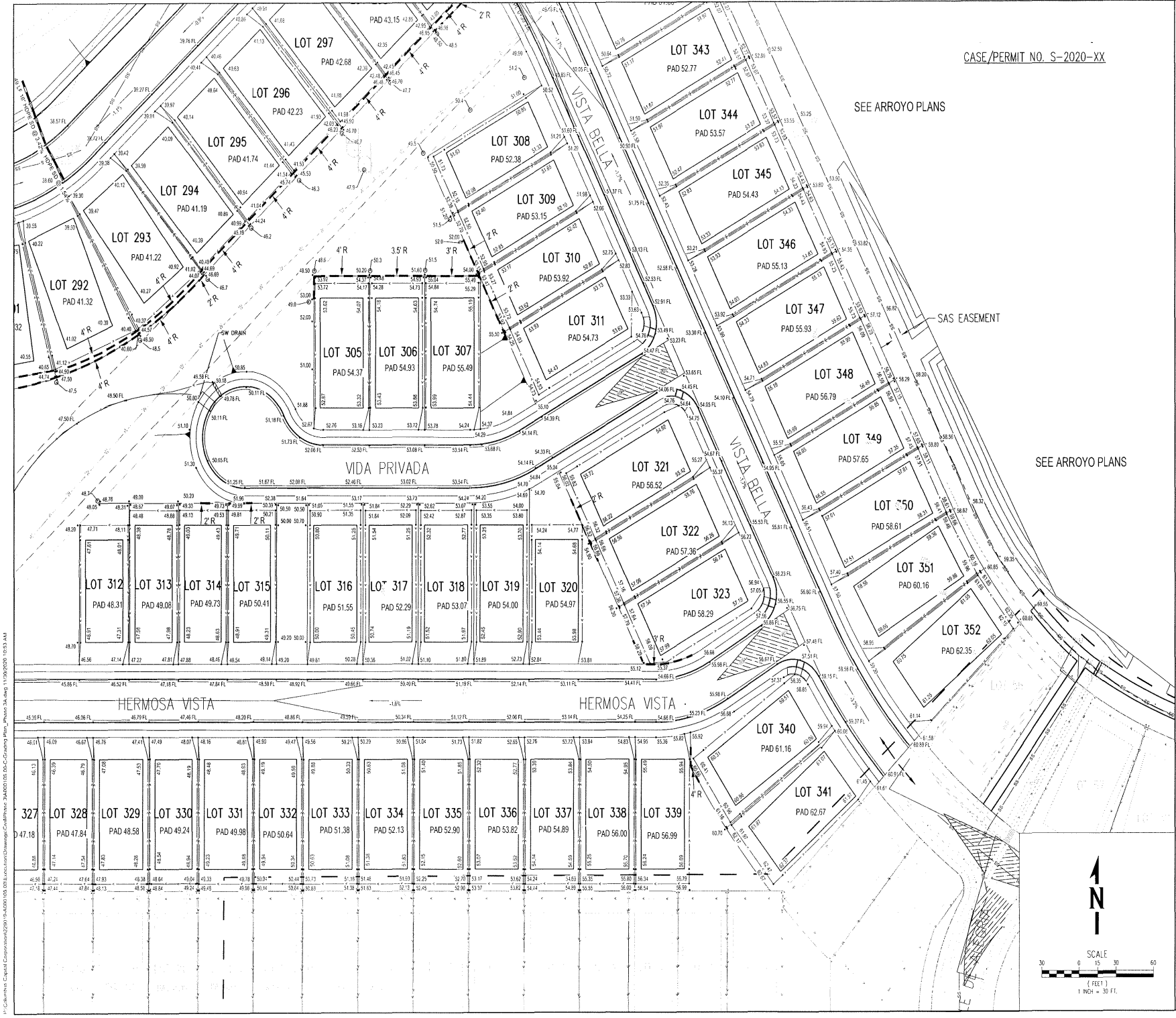
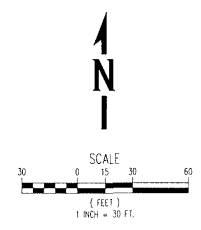


VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3A
 GRADING PLAN

PROJECT SHEET TITLE

DATE	SIGNOFF

SHEET NO. C3-102

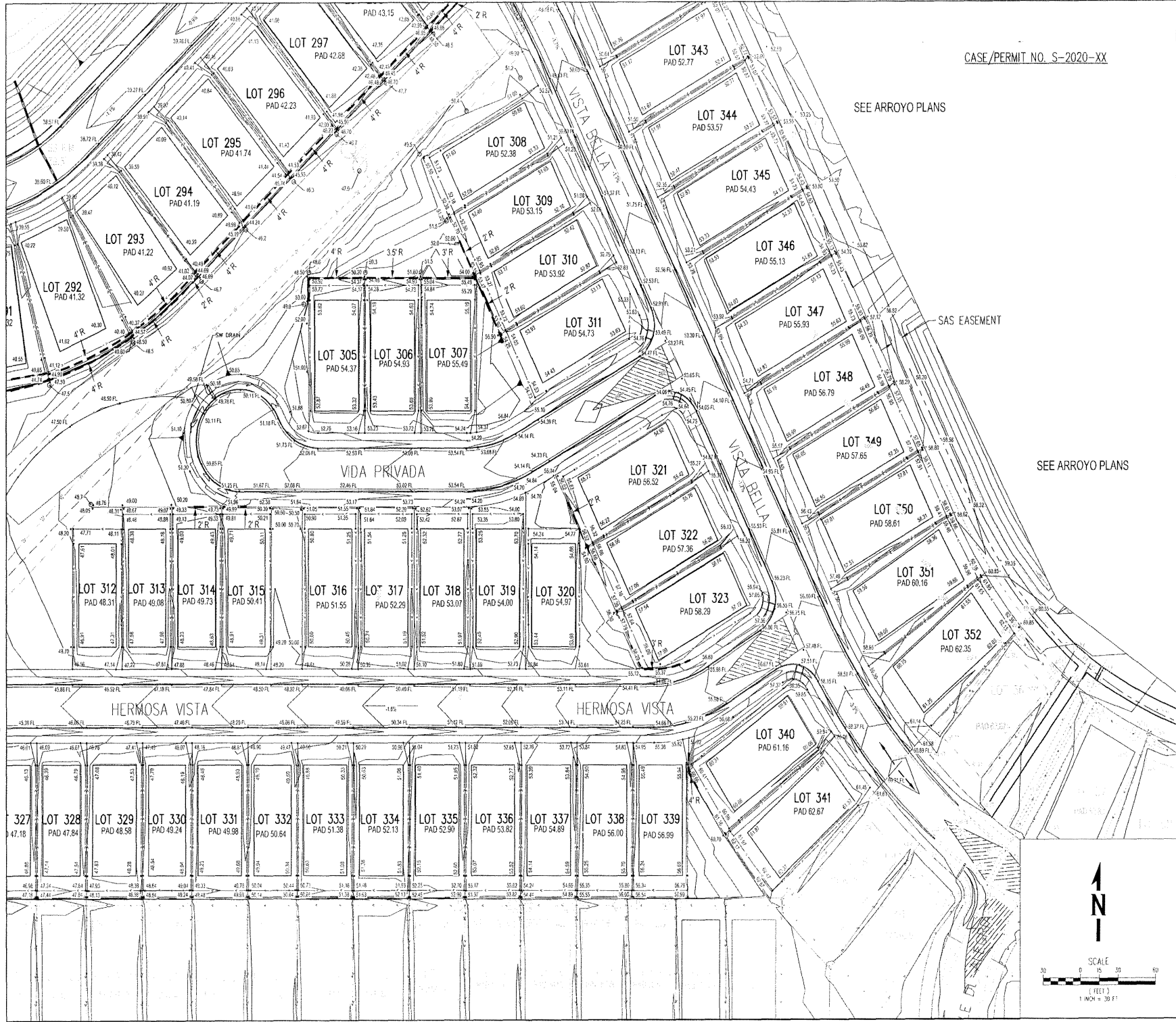


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CASE/PERMIT NO. S-2020-XX

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SEE ARROYO PLANS



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NO.	REVISIONS	BY	APP.	DATE

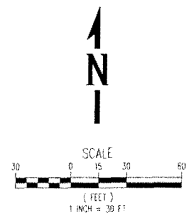


**VISTA DE LA SIERRA
 SUBDIVISION - PHASE 5A
 GRADING PLAN**

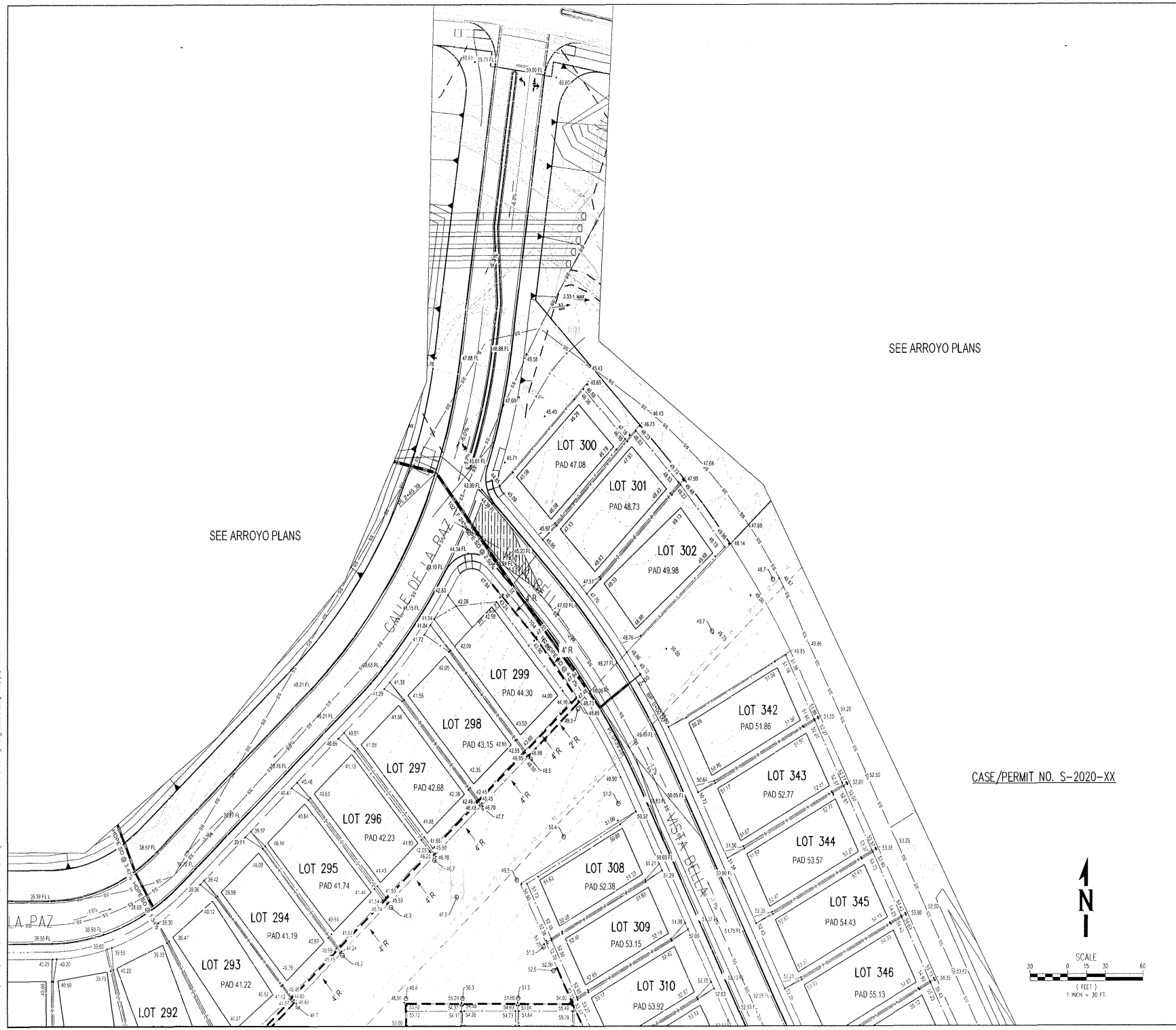
DATE	REVISION	BY	APP.

DEPARTMENT: ELECTRICAL
 MECHANICAL
 PLUMBING
 FIRE DEPARTMENT
 HEALTH DEPARTMENT
 LANDSCAPE
 TRAIL / OPEN SPACE
 SUBDIVISION LAYOUT

SHEET NO. **C3-102**



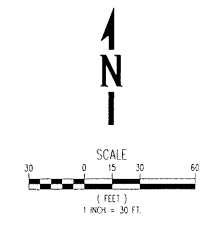
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CASE/PERMIT NO. S-2020-XX



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NO.	REVISIONS	BY	APP	DATE

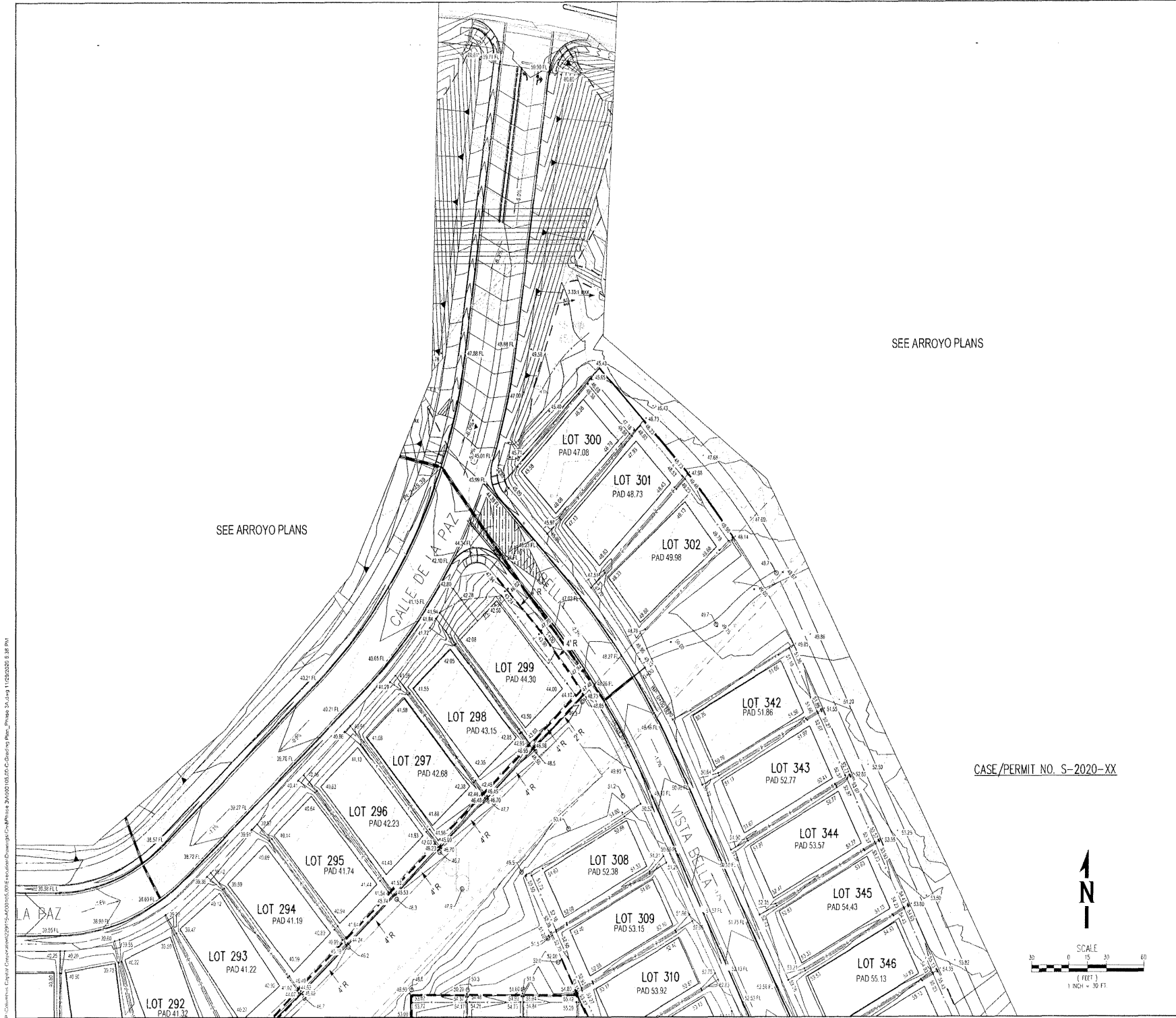
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FILE:	DRAWN BY:	J.S. DR.	J.S. DR.
DATE:	11/30/2020	CHECKED BY:	J.S. DR.
SCALE:			



PROJECT: **VISTA DE LA SIERRA**
SUBDIVISION - PHASE 3A
SHEET TITLE: **GRADING PLAN**

NO.	DATE	SIGNATURE	DEPARTMENT

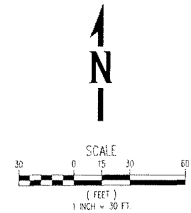
DATE: 11/30/2020
C3-103



SEE ARROYO PLANS

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CASE/PERMIT NO. S-2020-XX



NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RB/BZ
 DRAWN BY: J.S. BZ, J. NO
 DATE: 11/20/2020
 CHECKED BY: RB
 AS NOTED

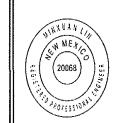


PROJECT: **VISTA DE LA SIERRA**
 SUBDIVISION - PHASE 3A
 SHEET TITLE: **GRADING PLAN**

CITY REVIEW	DATE
PLANNING	
ENGINEERING	
WATER	
SEWER/STORM	
TRAFFIC	
SAFETY	
UTILITIES	
FINANCE	
LEGAL	
GENERAL	
COMMUNITY DEVELOPMENT	
ADMINISTRATIVE	
OTHER	

SIGNATURE: _____ DATE: _____
 TITLE: _____

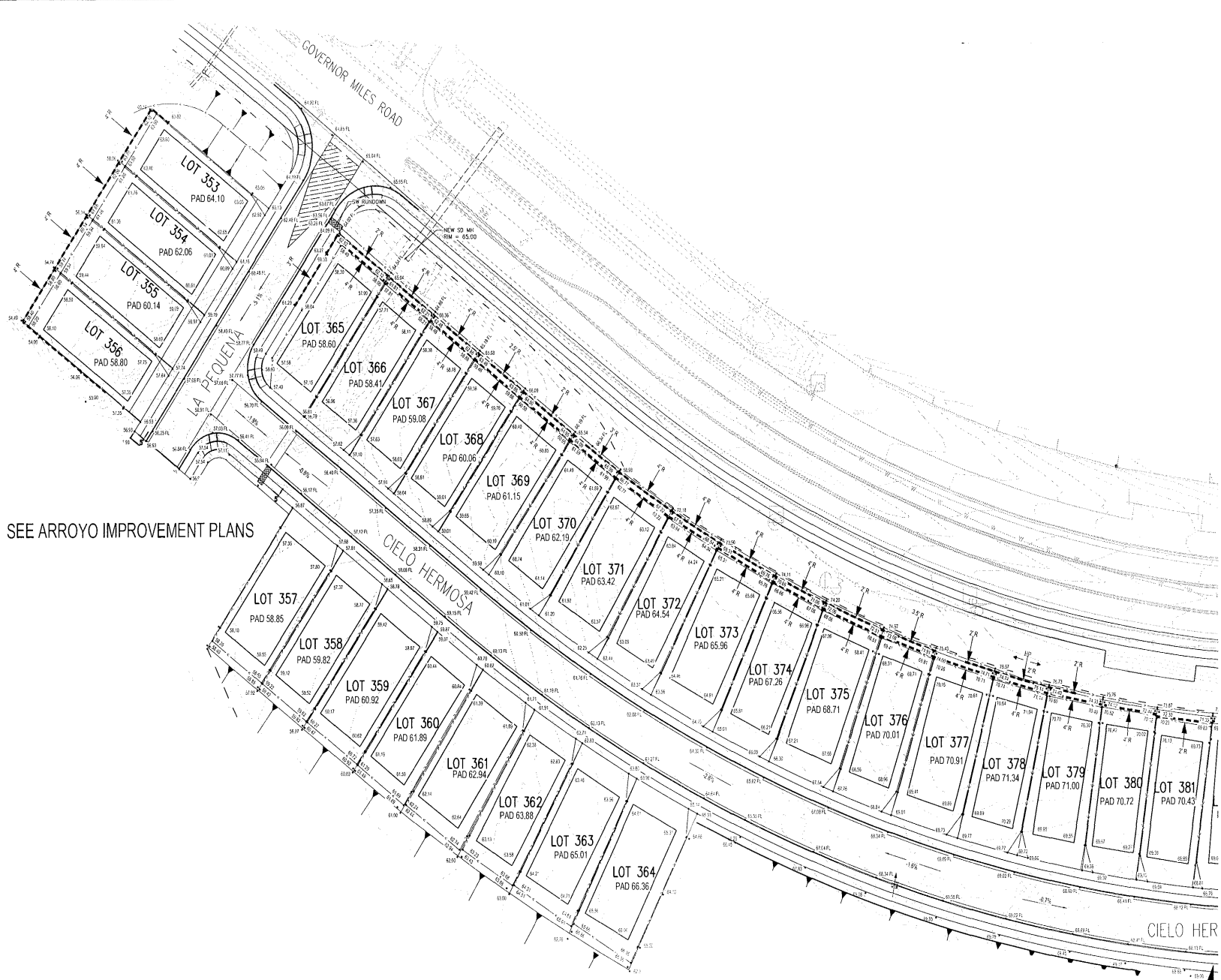
NO.	REVISIONS	BY	APP.	DATE



PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3B
 SHEET TITLE: GRADING PLAN

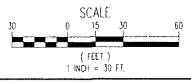
CITY REVIEW	DATE
DEPARTMENT	
WATER	
SEWER	
ENGINEERING	
FIRE DEPARTMENT	
SOLID WASTE	
TRAFFIC/OPEN SPACE	
SUBDIVISION REVIEW	

SHEET NO. C3-104



SEE ARROYO IMPROVEMENT PLANS

SEE ARROYO IMPROVEMENT PLANS



CASE/PERMIT NO. S-2020-XX

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LEGEND:

- SF --- SF --- SF SILT FENCE
- --- GRADING LIMITS

DUST CONTROL NOTES

ALL ON-SITE SOIL DISTURBING CONSTRUCTION ACTIVITIES SHALL BE ADDRESSED AND PROVIDE MEASURES TO MITIGATE OR CONTROL DUST FROM BEING TRANSPORTED OFFSITE AND POLLUTING NEIGHBORING PROPERTIES.

ANY PERSON, OWNER, CONTRACTOR OR OPERATOR WHO CONDUCTS EARTH-MOVING AND/OR DUST GENERATING ACTIVITIES IS RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) IN ORDER TO MITIGATE OFF-PROPERTY TRANSPORT OF FUGITIVE DUST EMISSIONS.

A PLAN, OR STORM WATER PREVENTION PLAN (SWPPP) WHEN APPLICABLE, LISTING THE BEST MANAGEMENT PRACTICES (BMPs), OR AS OUTLINED ON THE, SHALL BE PROVIDED TO THE CITY ENGINEER, OR HIS DESIGNEE FOR REVIEW AND APPROVAL. THE APPROVED BMPs SHALL BE APPLIED TO THE GRADED AND/OR DISTURBED SOIL IN ORDER TO STABILIZE THE SITE.

THE INITIAL BMP SHALL ADDRESS HOW THE CONTRACTOR WILL MINIMIZE THE AMOUNT OF DISTURBED SOIL, AND HOW THE CONTRACTOR WILL STABILIZE THE DISTURBED SURFACE AREA EXPOSED TO WIND OR VEHICLE TRAFFIC DURING CONSTRUCTION.

SOME BMPs SHALL INCLUDE:

- THE REDUCTION OF VEHICLE SPEEDS: ESTABLISH A MAXIMUM SPEED LIMIT OR INSTALL TRAFFIC CALMING DEVICES TO REDUCE SPEEDS TO A RATE TO MITIGATE OFF-PROPERTY TRANSPORT OF DUST ENTRAINED BY VEHICLES.
- THE MINIMIZATION OF DROP HEIGHT: DRIVERS AND OPERATORS SHALL UNLOAD TRUCK BEDS AND LOADER OR EXCAVATOR BUCKETS SLOWLY, AND MINIMIZE DROP HEIGHT OF MATERIALS TO THE LOWEST HEIGHT POSSIBLE, INCLUDING SCREENING OPERATIONS.
- HIGH WINDS RESTRICTION: TEMPORARILY HALT WORK ACTIVITIES DURING HIGH WIND EVENTS GREATER THAN 30 MPH IF OPERATORS WOULD RESULT IN OFF-PROPERTY TRANSPORT.
- RESTRICT ACCESS: RESTRICT ACCESS TO THE WORK AREA TO ONLY AUTHORIZED VEHICLES AND PERSONNEL.

IN THE EVENT THE ABOVE PRACTICES ARE INEFFECTIVE TO PREVENT OFF PROPERTY TRANSPORT, THE PERSON, OWNER, OR OPERATOR SHALL USE AT ONE OR MORE OF THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs):

- WET SUPPRESSION: APPLY WATER TO DISTURBED SOIL SURFACES, BACKFILL MATERIALS, SCREENINGS, AND OTHER DUST GENERATING OPERATIONS AS NECESSARY AND APPROPRIATE CONSIDERING CURRENT WEATHER CONDITIONS, AND PREVENT WATER USED FOR DUST CONTROL FROM ENTERING ANY PUBLIC RIGHT-OF-WAY, STORM WATER DRAINAGE FACILITY, OR WATERCOURSE.
- WIND BARRIER: CONSTRUCT A FENCE OR OTHER TYPE OF WIND BARRIER TO PREVENT WIND EROSION OF THE GRADED OR DISTURBED SURFACE.
- VEGETATION: PLANT VEGETATION APPROPRIATE FOR RETAINING SOILS OR CREATING A WIND BREAK.
- SURFACE ROUGHENING: STABILIZE AN ACTIVE CONSTRUCTION AREA DURING PERIODS OF INACTIVITY OR WHEN VEGETATION CANNOT BE IMMEDIATELY ESTABLISHED.
- COVER: INSTALL COVER MATERIALS SUCH AS TACKIFIERS, EROSION CONTROL BLANKETS, GRAVEL, VEGETATION (WHEN APPROPRIATE), COLO-MULCHES, ETC. DURING PERIODS OF INACTIVITY AND PROPERLY ANCHOR THE COVER.
- SOIL RETENTION: STABILIZE DISTURBED OR EXPOSED SOIL SURFACE AREAS THAT WILL BE INACTIVE FOR MORE THAN 30 DAYS OR WHILE VEGETATION IS BEING ESTABLISHED.



NO.	REVISIONS	BY	DATE

DESIGNED BY: RB, BZ
 DRAWN BY: J. J. NO
 FILE: 110020
 CHECKED BY: RB, BZ
 DATE: 11/02/08
 SCALE: AS SHOWN

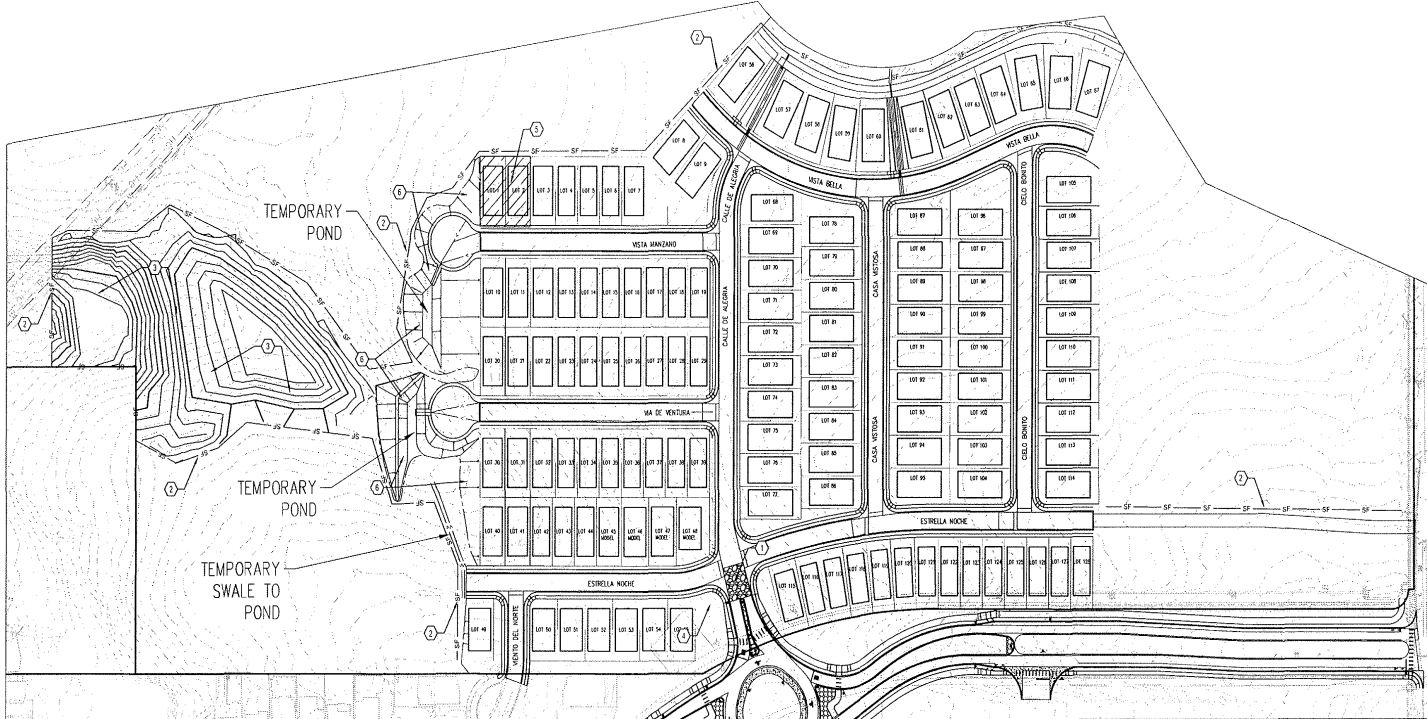


VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 STORM WATER POLLUTION
 & PREVENTION PLAN

DEPARTMENT	DATE
WATER	
ENGINEERING	
PERMITS	
PLANNING	
FIRE DEPARTMENT	
LANDSCAPE	
TRAILS/OPEN SPACE	
STREETS/UTILITY REVIEW	

SHEET NO.
C1-106

CASE/PERMIT NO. S-2020-2642

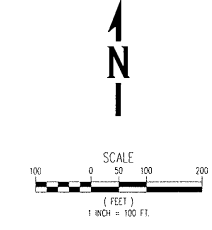


SEQUENCE OF MAJOR ACTIVITIES

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE AND SEDIMENT PONDS.
- 2A. CONTACT CITY OF SANTA FE FOR INSPECTION.
- 2B. ALL CONSTRUCTION TRAFFIC TO UTILIZE CONSTRUCTION ENTRANCE ONLY.
3. CONTINUE ROUGH GRADING AND EARTHWORK.
4. INSTALL SEWER.
5. INSTALL STORM DRAIN.
6. INSTALL CURB & GUTTER.
7. INSTALL WATER.
8. INSTALL DRY UTILITIES.
9. INSTALL FILLETS & VALLEY GUTTERS.
10. INSTALL BASE COURSE & FIRST LIFTED POINT.
11. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED REMOVE SEDIMENT CONTROL DEVICES INCLUDING SILT FENCE UPON APPROVAL OF CITY PLANNING AND DEVELOPMENT REVIEW STAFF.
12. COMPLY WITH REVEGETATION MIX WITH CITY APPROVED MIX DESIGN.
13. CONTRACTOR TO INSTALL RAIN GAGE WITH SWPPP PERMIT BOARD.

KEYED NOTES:

1. INSTALL TEMPORARY STONE CONSTRUCTION ENTRANCE AT THE BEGINNING OF ACCESS ROAD CONSTRUCTION PER DETAIL ON SHEET SWPPP-1.
2. INSTALL SILT FENCE OR COMPOST SOCKS PER DETAILS ON SHEET SWPPP-1 ON PROJECT DISTURBANCE BOUNDARY.
3. STOCKPILE EXCESS MATERIAL FROM PHASE 1 MASS GRADING, PLACE APPROXIMATELY 12,000 CY AS ENGINEERED FILL WITHIN DEPRESSION. PLACE REMAINING FILL IN STOCKPILE ON TOP.
4. LOCATION OF SWPPP PERMIT WITH RAIN GAUGE.
5. LOCATION OF CONCRETE WASHOUT.
6. RE-VEGETATE DISTURBED AREA AROUND AND ON THE TEMPORARY PONDS PER CITY APPROVED MIX DESIGN.



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LEGEND:

- - - - - SILT FENCE
- - - - - GRADING LIMITS

DUST CONTROL NOTES

ALL ON-SITE SOIL DISTURBING CONSTRUCTION ACTIVITIES SHALL BE ADDRESSED AND PROVIDE MEASURES TO MITIGATE OR CONTROL DUST FROM BEING TRANSPORTED OFFSITE AND POLLUTING NEIGHBORING PROPERTIES.

ANY PERSON, OWNER, CONTRACTOR OR OPERATOR WHO CONDUCTS EARTHMOVING AND/OR DUST GENERATING ACTIVITIES IS RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) IN ORDER TO MITIGATE OFF-PROPERTY TRANSPORT OF FUGITIVE DUST EMISSIONS.

A PLAN, OR STORM WATER PREVENTION PLAN (SWPPP) WHEN APPLICABLE, LISTING THE BEST MANAGEMENT PRACTICES (BMPs), OR AS OUTLINED ON THE, SHALL BE PROVIDED TO THE CITY ENGINEER, OR HIS DESIGNEE FOR REVIEW AND APPROVAL. THE APPROVED BMPs SHALL BE APPLIED TO THE GRADED AND/OR DISTURBED SOIL IN ORDER TO STABILIZE THE SITE.

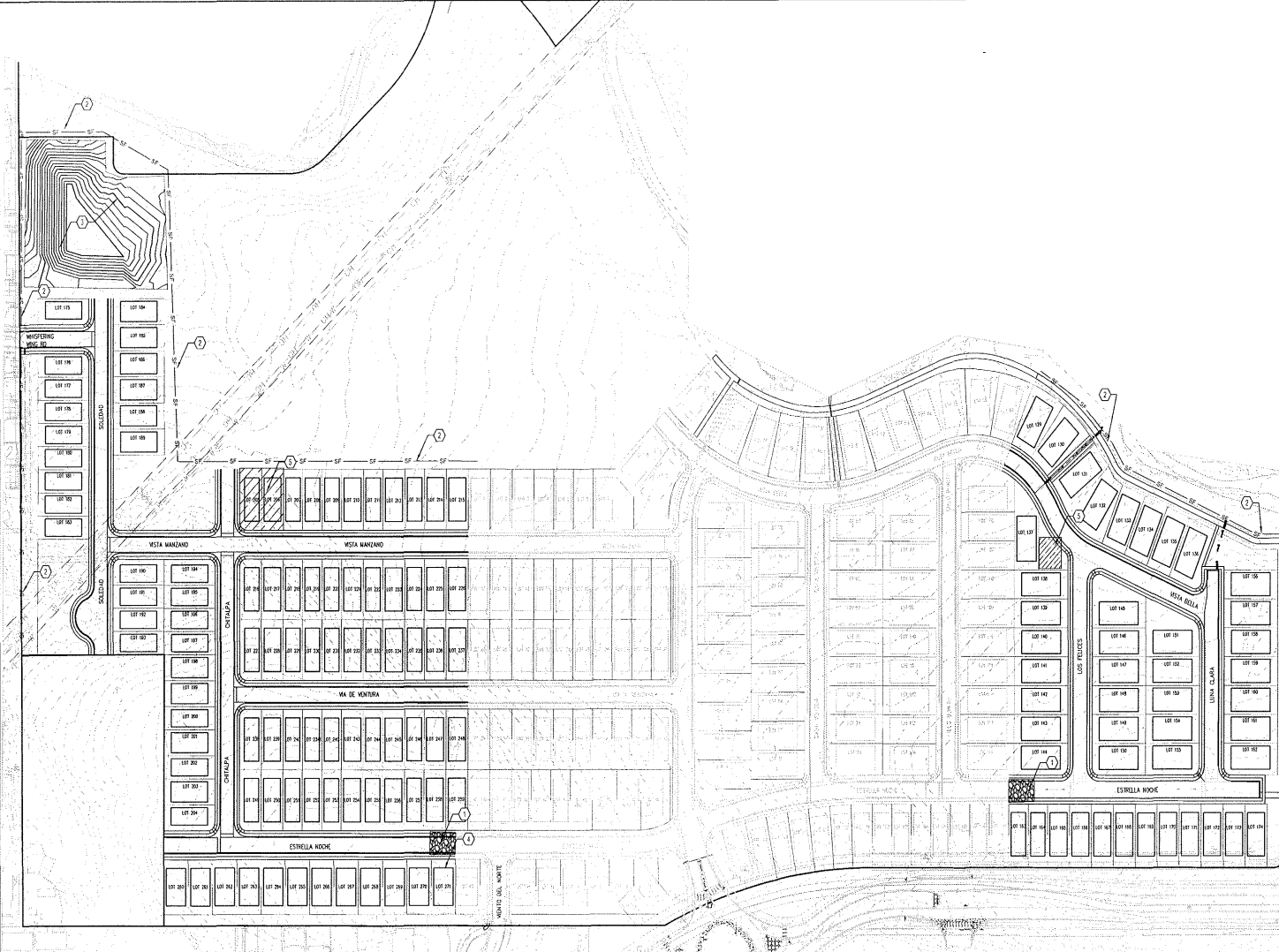
THE INITIAL BMP SHALL ADDRESS HOW THE CONTRACTOR WILL MINIMIZE THE AMOUNT OF DISTURBED SOIL, AND HOW THE CONTRACTOR WILL STABILIZE THE DISTURBED SURFACE AREA EXPOSED TO WIND OR VEHICLE TRAFFIC DURING CONSTRUCTION.

- SOME BMPs SHALL INCLUDE:
- THE REDUCTION OF VEHICLE SPEEDS: ESTABLISH A MAXIMUM SPEED LIMIT OR INSTALL TRAFFIC CALMING DEVICES TO REDUCE SPEEDS TO A RATE TO MITIGATE OFF-PROPERTY TRANSPORT OF DUST CONTAINED BY VEHICLES.
 - THE MINIMIZATION OF DROP HEIGHT: DRIVERS AND OPERATORS SHALL UNLOAD TRUCK BEDS AND LOADER OR EXCAVATOR BUCKETS SLOWLY, AND MINIMIZE DROP HEIGHT OF MATERIALS TO THE LOWEST HEIGHT POSSIBLE, INCLUDING SCREENING OPERATIONS.

- HIGH WINDS RESTRICTION: TEMPORARILY HALT WORK ACTIVITIES DURING HIGH WIND EVENTS GREATER THAN 30 MPH IF OPERATIONS WOULD RESULT IN OFF-PROPERTY TRANSPORT.
- RESTRICT ACCESS: RESTRICT ACCESS TO THE WORK AREA TO ONLY AUTHORIZED VEHICLES AND PERSONNEL.

IN THE EVENT THE ABOVE PRACTICES ARE INEFFECTIVE TO PREVENT OFF PROPERTY TRANSPORT, THE PERSON, OWNER, OR OPERATOR SHALL USE AT ONE OR MORE OF THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs):

- WET SUPPRESSION: APPLY WATER TO DISTURBED SOIL SURFACES, BACKFILL MATERIALS, SCREENINGS, AND OTHER DUST GENERATING OPERATIONS AS NECESSARY AND APPROPRIATE CONSIDERING CURRENT WEATHER CONDITIONS, AND PREVENT WATER USED FOR DUST CONTROL FROM ENTERING ANY PUBLIC RIGHT-OF-WAY, STORM WATER DRAINAGE FACILITY, OR WATERCOURSE.
- WIND BARRIER: CONSTRUCT A FENCE OR OTHER TYPE OF WIND BARRIER TO PREVENT WIND EROSION OF THE GRADED OR DISTURBED SURFACE.
- VEGETATION: PLANT VEGETATION APPROPRIATE FOR RETAINING SOILS OR CREATING A WIND BREAK.
- SURFACE ROUGHENING: STABILIZE AN ACTIVE CONSTRUCTION AREA DURING PERIODS OF INACTIVITY OR WHEN VEGETATION CANNOT BE IMMEDIATELY ESTABLISHED.
- COVER: INSTALL COVER MATERIALS SUCH AS TACKIFIERS, EROSION CONTROL BLANKETS, GRAPES, VEGETATION (WHEN APPROPRIATE), GRID-MIXINGS, ETC. DURING PERIODS OF INACTIVITY AND PROPERLY ANCHOR THE COVER.
- SOIL RETENTION: STABILIZE DISTURBED OR EXPOSED SOIL SURFACE AREAS THAT WILL BE INACTIVE FOR MORE THAN 30 DAYS OR WHILE VEGETATION IS BEING ESTABLISHED.



SEQUENCE OF MAJOR ACTIVITIES

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE AND SEDIMENT PONDS.
- 1A. CONTACT CITY OF SANTA FE FOR INSPECTION.
2. ALL CONSTRUCTION TRAFFIC TO UTILIZE CONSTRUCTION ENTRANCE ONLY.
3. CONTINUE ROUGH GRADING AND EARTHWORK.
4. INSTALL SEWER.
5. INSTALL STORM DRAIN.
6. INSTALL CURB & GUTTER.
7. INSTALL WATER.
8. INSTALL DRY UTILITIES.
9. INSTALL FILLETS & VALLEY GUTTERS.
10. INSTALL BASE COURSE & FIRST LIFTED POINT.
11. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED REMOVE SEDIMENT CONTROL DEVICES INCLUDING SILT FENCE UPON APPROVAL OF CITY PLANNING AND DEVELOPMENT REVIEW STAFF.
12. COMPLY WITH REVEGETATION MIX WITH CITY APPROVED MIX DESIGN.
13. CONTRACTOR TO INSTALL RAIN GAGE WITH SWPPP PERMIT BOARD.

KEYED NOTES:

1. INSTALL TEMPORARY STONE CONSTRUCTION ENTRANCE AT THE BEGINNING OF ACCESS ROAD CONSTRUCTION PER DETAIL ON SHEET SWPPP-1.
2. INSTALL SILT FENCE OR COMPOST SOCKS PER DETAILS ON SHEET SWPPP-1 ON PROJECT DISTURBANCE BOUNDARY.
3. STOCKPILE EXCESS MATERIAL FROM PHASE 2 MASS GRADING. PLACE APPROXIMATELY 12,000 CY IN STOCKPILE.
4. LOCATION OF SWPPP PERMIT WITH RAIN GAUGE.
5. LOCATION OF CONCRETE WASHOUT.



CASE/PERMIT NO. S-2020-2642

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BY:	JASD	DATE:	
DESIGNED BY:	REI, BE	PROJECT:	
DRAWN BY:	JS, RZ, JC, NC	FILE:	
CHECKED BY:	RS	DATE:	11/3/2020
APPROVED:		SCALE:	



**VISTA DE LA SIERRA
 SUBDIVISION - PHASE 2
 STORM WATER POLLUTION
 & PREVENTION PLAN**

DEPARTMENT:	DATE:
TITLE:	
CITY REVIEW:	SIGN-OFF:
WATER:	
SEWER:	
DRY UTILITIES:	
STORMWATER:	
TRAILS / OPEN SPACE:	
SUPERVISOR REVIEW:	

SHEET NO. **C2-106**

SCALE 1" = 100 FT.

P:\C:\pacific\Digital\Drawings\2020\11-AS\111616-05-Excavator\Drawings\Civil\Phase 2\C2-106-C2-StormPP-Plan_2.dwg 11/3/2020 9:44 AM

LEGEND:

- SILT FENCE
- - - GRADING LIMITS

DUST CONTROL NOTES

ALL ON-SITE SOIL DISTURBING CONSTRUCTION ACTIVITIES SHALL BE ADDRESSED AND PROVIDE MEASURES TO MITIGATE OR CONTROL DUST FROM BEING TRANSPORTED OFF-SITE AND POLLUTING NEIGHBORING PROPERTIES.

ANY PERSON, OWNER, CONTRACTOR OR OPERATOR WHO CONDUCTS EARTHMOVING AND/OR DUST GENERATING ACTIVITIES IS RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) IN ORDER TO MITIGATE OFF-PROPERTY TRANSPORT OF FUGITIVE DUST EMISSIONS.

A PLAN, OR STORM WATER PREVENTION PLAN (SWPPP) WHEN APPLICABLE, LISTING THE BEST MANAGEMENT PRACTICES (BMPs), OR AS OUTLINED ON THE, SHALL BE PROVIDED TO THE CITY ENGINEER, OR HIS DESIGNEE FOR REVIEW AND APPROVAL. THE APPROVED BMPs SHALL BE APPLIED TO THE GRADED AND/OR DISTURBED SOIL IN ORDER TO STABILIZE THE SITE.

THE INITIAL BMP SHALL ADDRESS HOW THE CONTRACTOR WILL MINIMIZE THE AMOUNT OF DISTURBED SOIL AND HOW THE CONTRACTOR WILL STABILIZE THE DISTURBED SURFACE AREA EXPOSED TO WIND OR VEHICLE TRAFFIC DURING CONSTRUCTION.

SOME BMPs SHALL INCLUDE:

- THE REDUCTION OF VEHICLE SPEEDS: ESTABLISH A MAXIMUM SPEED LIMIT OR INSTALL TRAFFIC CALMING DEVICES TO REDUCE SPEEDS TO A RATE TO MITIGATE OFF-PROPERTY TRANSPORT OF DUST ENTRAINED BY VEHICLES.
- THE MINIMIZATION OF DROG HEIGHT: DRIVERS AND OPERATORS SHALL UNLOAD TRUCK BEDS AND LOADER OR EXCAVATOR BUCKETS SLOWLY AND MINIMIZE DROP HEIGHT OF MATERIALS TO THE LOWEST HEIGHT POSSIBLE, INCLUDING SCREENING OPERATIONS.

- HIGH WINDS RESTRICTION: TEMPORARILY HALT WORK ACTIVITIES DURING HIGH WIND EVENTS GREATER THAN 30 MPH IF OPERATIONS WOULD RESULT IN OFF-PROPERTY TRANSPORT.
- RESTRICT ACCESS: RESTRICT ACCESS TO THE WORK AREA TO ONLY AUTHORIZED VEHICLES AND PERSONNEL.

IN THE EVENT THE ABOVE PRACTICES ARE INEFFECTIVE TO PREVENT OFF PROPERTY TRANSPORT, THE PERSON, OWNER, OR OPERATOR SHALL USE AT ONE OR MORE OF THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs):

- WET SUPPRESSION: APPLY WATER TO DISTURBED SOIL SURFACES, BACKFILL MATERIALS, SCREENINGS, AND OTHER DUST GENERATING OPERATIONS AS NECESSARY AND APPROPRIATE CONSIDERING CURRENT WEATHER CONDITIONS, AND PREVENT WATER USED FOR DUST CONTROL FROM ENTERING ANY PUBLIC RIGHT-OF-WAY, STORM WATER DRAINAGE FACILITY, OR WATERCOURSE.
- WIND BARRIER: CONSTRUCT A FENCE OR OTHER TYPE OF WIND BARRIER TO PREVENT WIND EROSION OF THE GRADED OR DISTURBED SURFACE.
- VEGETATION: PLANT VEGETATION APPROPRIATE FOR RETAINING SOILS OR CREATING A WIND BREAK.
- SURFACE ROUGHENING: STABILIZE AN ACTIVE CONSTRUCTION AREA DURING PERIODS OF INACTIVITY OR WHEN VEGETATION CANNOT BE IMMEDIATELY ESTABLISHED.
- COVER: INSTALL COVER MATERIALS SUCH AS TACKIFIERS, EROSION CONTROL, BLANKETS, GRAVEL, VEGETATION (WHEN APPROPRIATE), GOLD-MULCHES, ETC. DURING PERIODS OF INACTIVITY AND PROPERLY ANCHOR THE COVER.
- SOIL RETENTION: STABILIZE DISTURBED OR EXPOSED SOIL SURFACE AREAS THAT WILL BE INACTIVE FOR MORE THAN 30 DAYS OR WHILE VEGETATION IS BEING ESTABLISHED.

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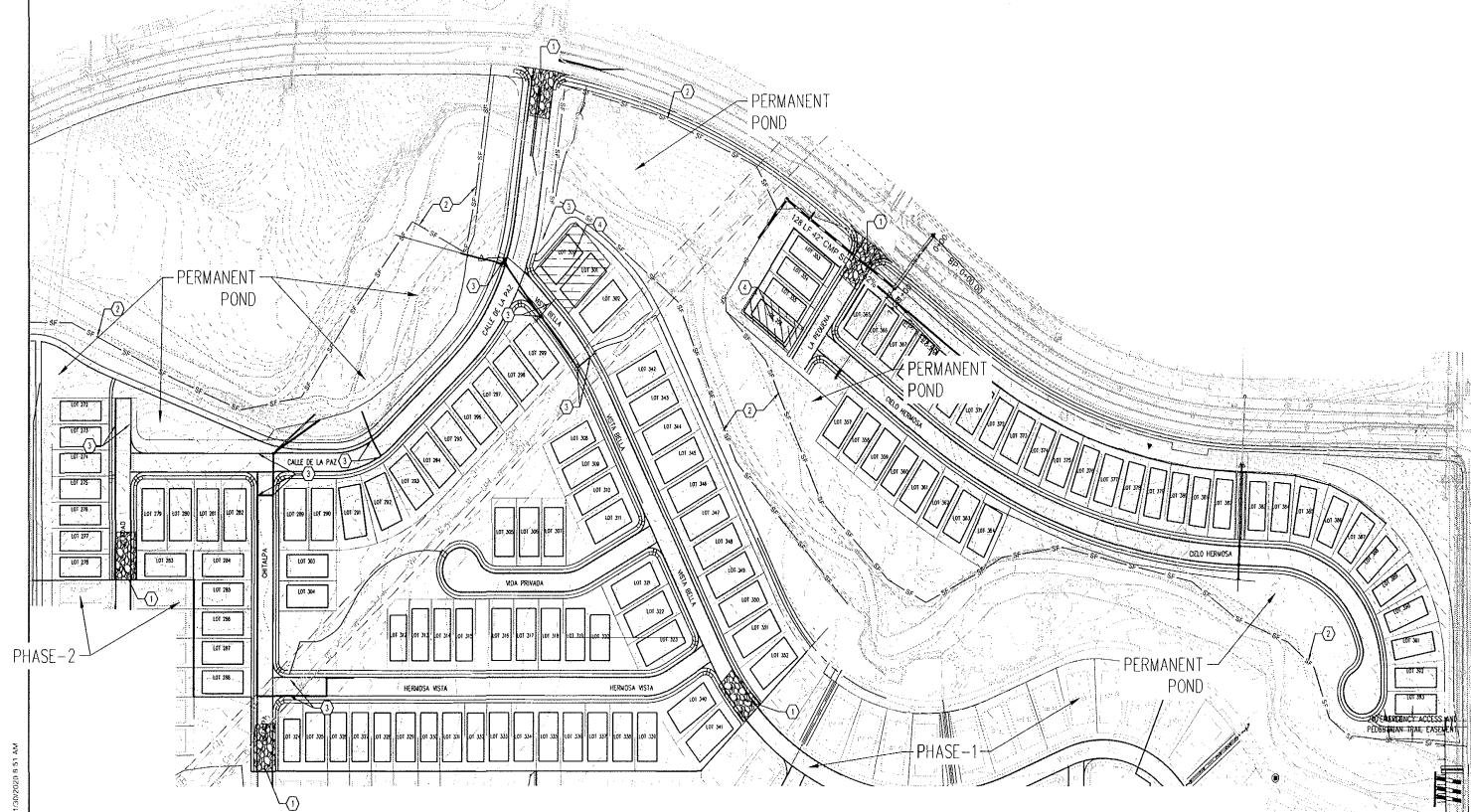
NO.	REVISIONS	BY	APP'D.	DATE	DESIGNED BY: RS/RZ	CHECKED BY: JG/MC	DATE: 11/30/2020



**VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3
 STORM WATER POLLUTION
 & PREVENTION PLAN**

DATE	SIGN-OFF

C3-106



SEQUENCE OF MAJOR ACTIVITIES

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE AND SEDIMENT PONDS.
- 1A. CONTACT CITY OF SANTA FE FOR INSPECTION.
2. ALL CONSTRUCTION TRAFFIC TO UTILIZE CONSTRUCTION ENTRANCE ONLY.
3. CONTINUE ROUGH GRADING AND EARTHWORK.
4. INSTALL SEWER.
5. INSTALL STORM DRAIN.
6. INSTALL CURB & GUTTER.
7. INSTALL WATER.
8. INSTALL DRY UTILITIES.
9. INSTALL FILLETS & VALLEY GUTTERS.
10. INSTALL BASE COURSE & FIRST LIFTED POINT.
11. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED REMOVE SEDIMENT CONTROL DEVICES INCLUDING SILT FENCE UPON APPROVAL OF CITY PLANNING AND DEVELOPMENT REVIEW STAFF.
12. COMPLY WITH REVEGETATION MIX WITH CITY APPROVED MIX DESIGN.
13. CONTRACTOR TO INSTALL RAIN GAGE WITH SWPPP PERMIT BOARD.

KEYED NOTES:

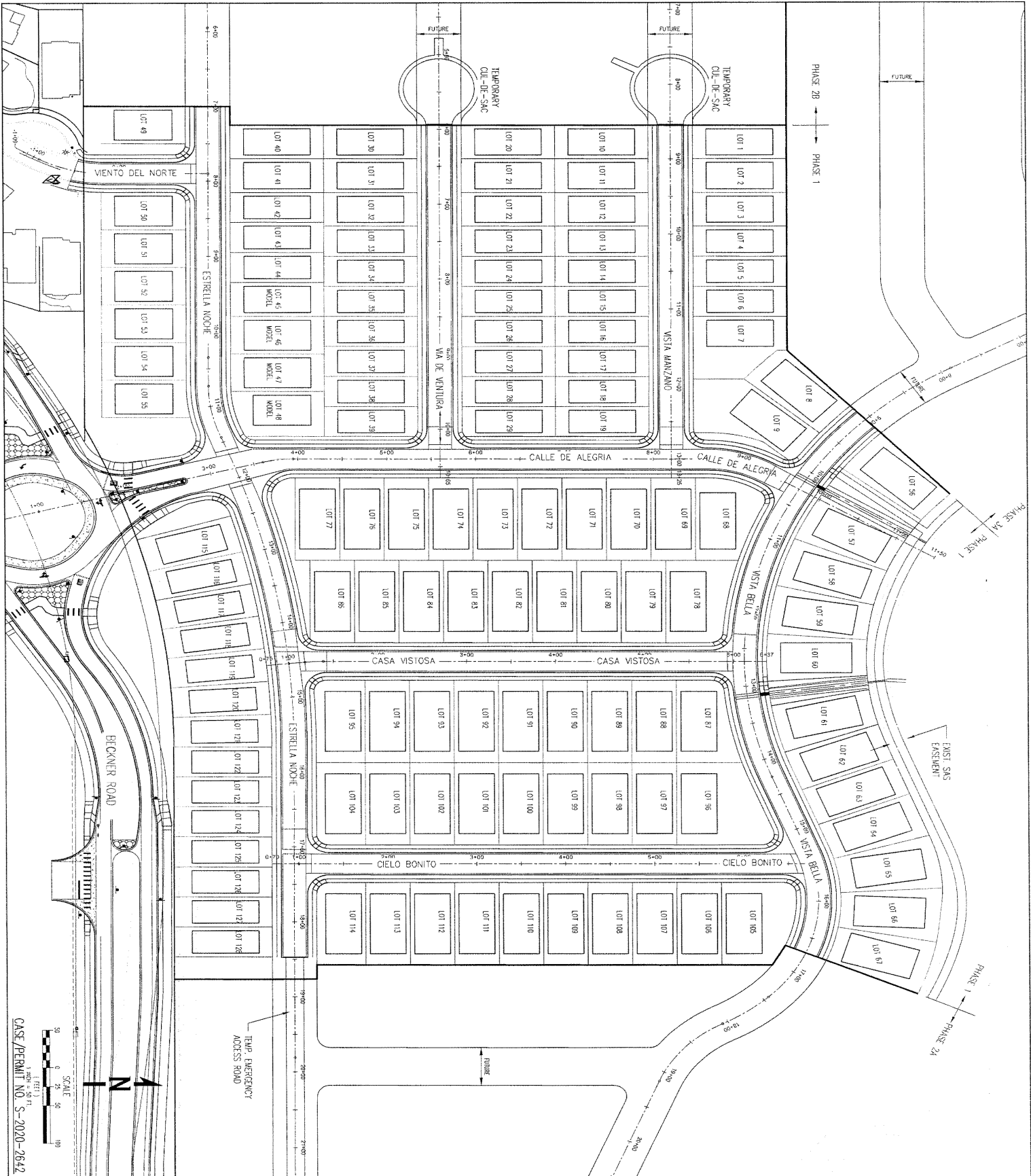
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2. INSTALL SILT FENCE OR COMPOST SOCKS PER DETAILS ON SHEET SWPPP-1 ON PROJECT DISTURBANCE BOUNDARY.
3. LOCATION OF SWPPP PERMIT WITH RAIN GAUGE.
4. LOCATION OF CONCRETE WASH-OUT.

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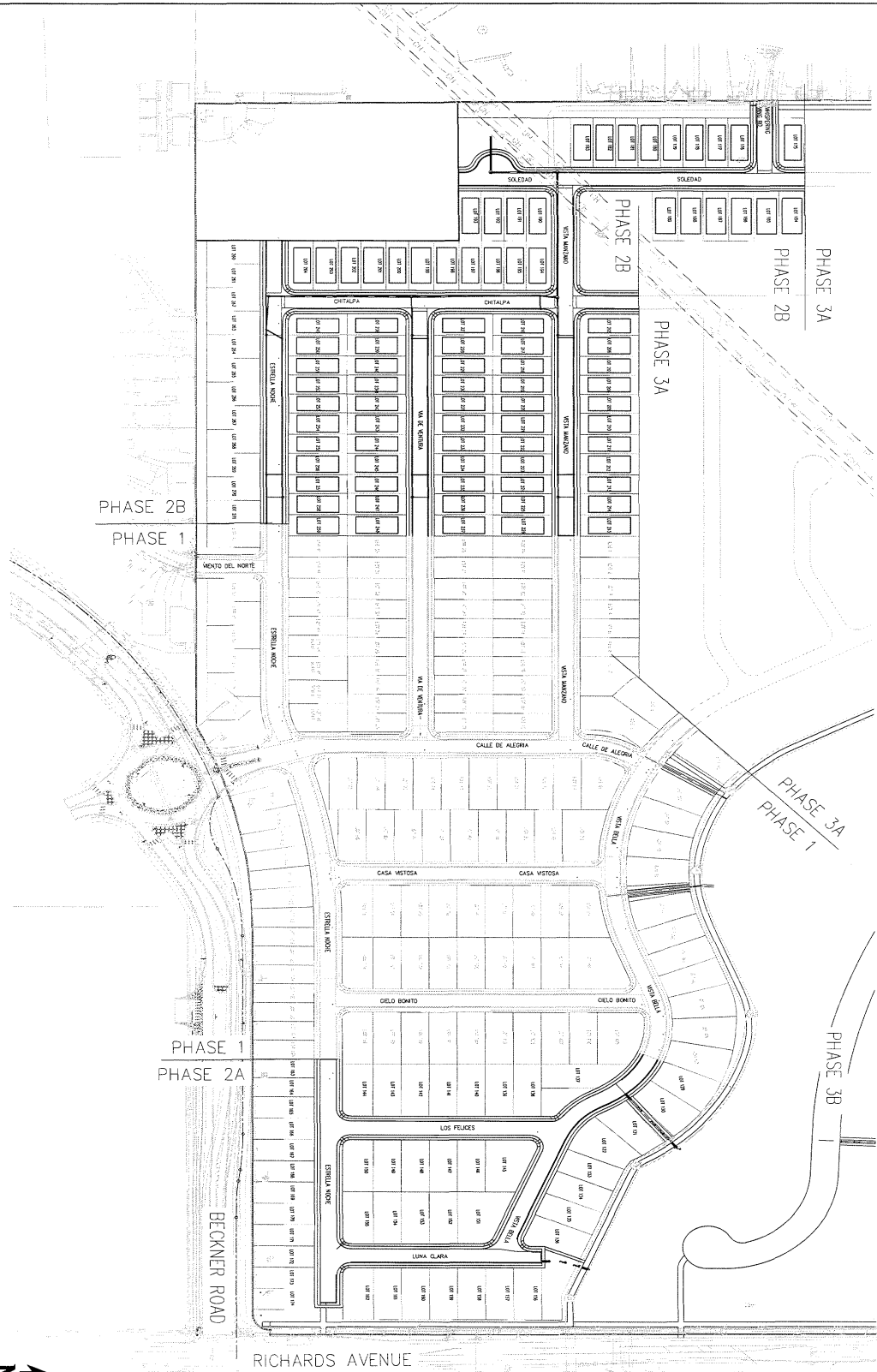


CASE/PERMIT NO. S-2020-2642

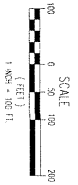




SHEET NO. C1-200	DEPARTMENT WASTEWATER WATER CIVIL ENGINEERING TRAFFIC FIRE DEPARTMENT SOLID WASTE LANDSCAPE TRAILS / OPEN SPACE SURVEYING / METEOROLOGY	CITY REVIEW SIGN-OFF DATE	PROJECT VISTA DE LA SIERRA SUBDIVISION - PHASE 1		NO. REVISIONS BY APP. DATE	
	PROJECT TITLE OVERALL PAVING PLAN	PROJECT: 11/29/20 FILE: 11/29/20 DATE: 11/29/20 SCALE: AS NOTED	DESIGNED BY: RB, BZ DRAWN BY: JS, BZ, JI, NC CHECKED BY: RB, BZ AS NOTED		6501 Americas Parkway NE, Suite 400 Albuquerque, NM 87110 505-247-0284 Fax 505-242-4845 www.wppacific.com	



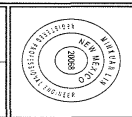
CASE/PERMIT NO. S-2020-2642



SHEET NO.	DEPARTMENT	CITY REVIEW		DATE
		SIGN-OFF		
C2-200	WASTEWATER			
	WATER			
	PE ENGINEERING			
	TRAFFIC			
	FIRE DEPARTMENT			
	SOLID WASTE			
LANDSCAPE				
TRAILS / OPEN SPACE				
SUBDIVISION REVIEW				

PROJECT: VISTA DE LA SIERRA
SUBDIVISION - PHASE 2

SHEET TITLE:
STORM DRAIN AND ROADWAY
PLAN & PROFILE - OVERALL



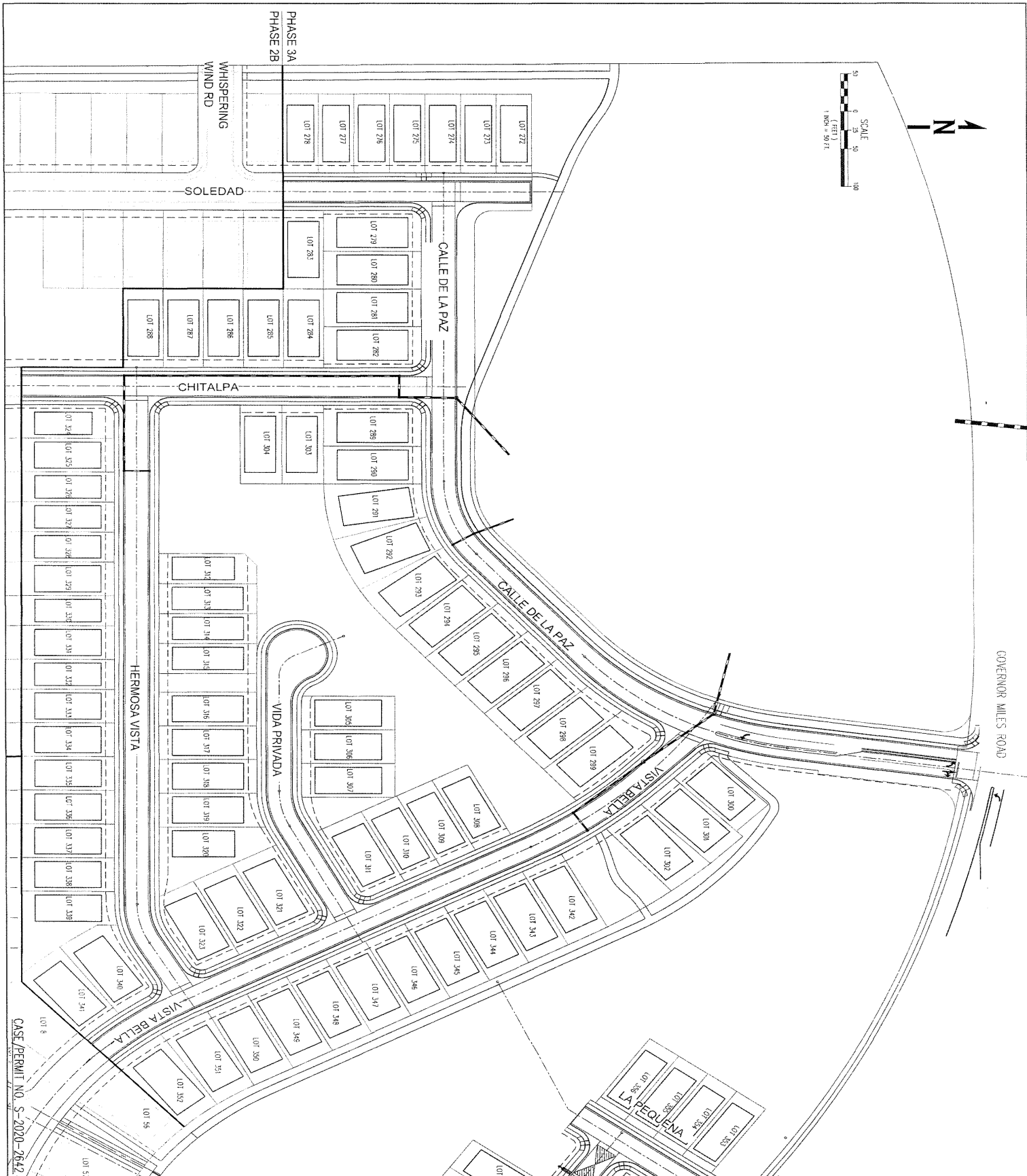
NO.	REVISIONS	BY	APP.	DATE

PROJECT: 11/00/20
SCALE: AS NOTED

DESIGNED BY: RB, B2
DRAWN BY: J.S. BZ, J.L. NS
CHECKED BY: RB
AS NOTED

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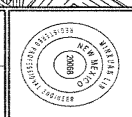


CASE PERMIT NO. S-2020-2642

DEPARTMENT	CITY REVIEW	SIGN-OFF	DATE
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WATER			
ENGINEERING			
TRAFFIC			
FIRE DEPARTMENT			
SOLID WASTE			
LANDSCAPE			
TRAILS / OPEN SPACE			
SUBDIVISION REVIEW			

PROJECT: VISTA DE LA SIERRA
SUBDIVISION - PHASE 3

SHEET TITLE: STORM DRAIN & ROADWAY PLAN
& PROFILE - OVERALL PHASE 3A

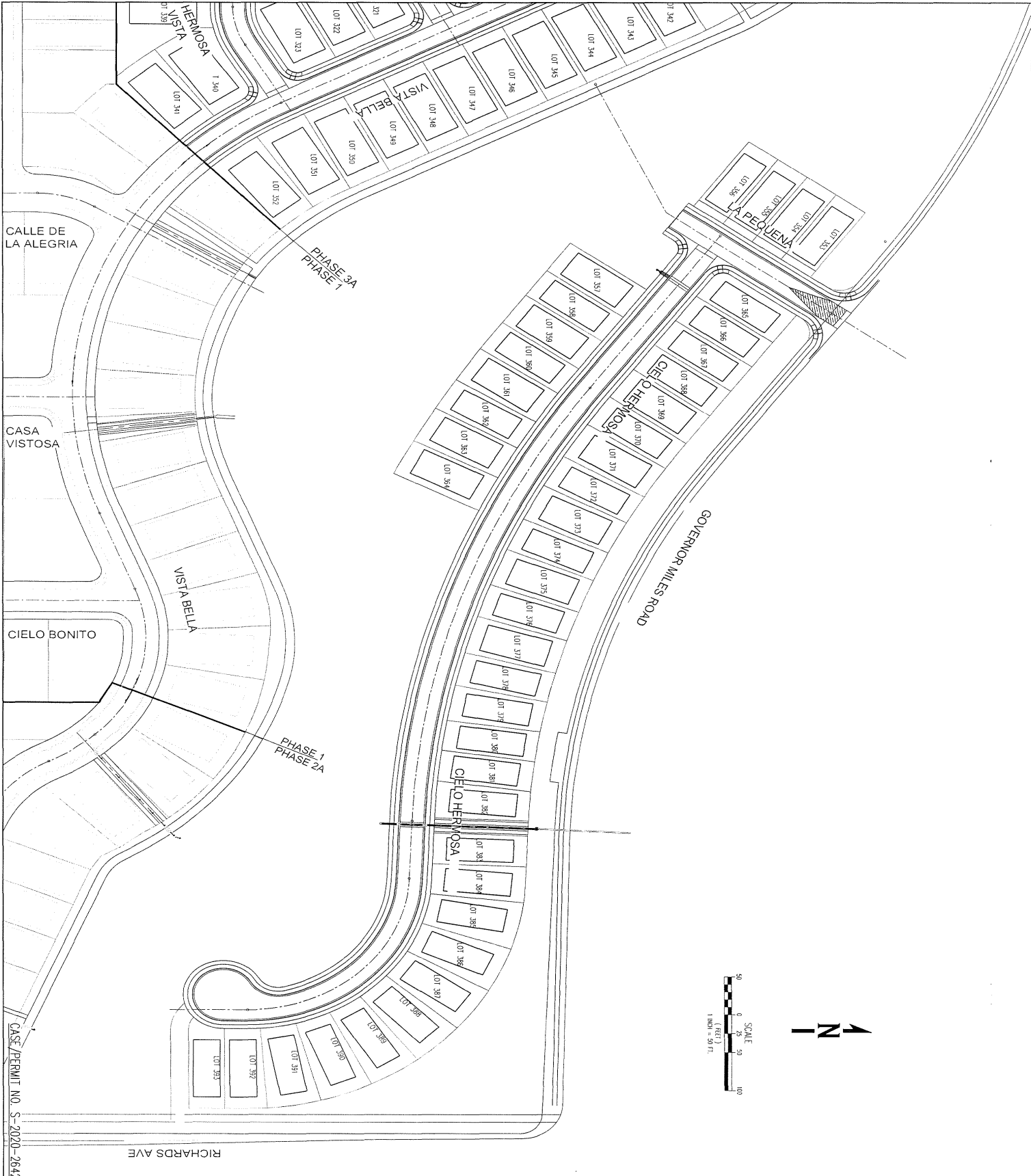


NO.	REVISIONS	BY	APP.	DATE

PROJECT: DESIGNED BY: RB, BZ
FILE: DRAWN BY: JS, SZ, JL, NG
DATE: 11/28/2020 CHECKED BY: RB
SCALE: AS NOTED

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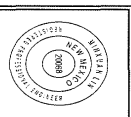
CASE / PERMIT NO. S-2020-2642

C3-200B

DEPARTMENT	CITY REVIEW	SIGN-OFF	DATE
WASTEWATER			
WATER			
PW ENGINEERING			
TRAFFIC			
FIRE DEPARTMENT			
SOLID WASTE			
LANDSCAPE			
TRAFFIC / OPEN SPACE			
SUBDIVISION REVIEW			

PROJECT: **VISTA DE LA SIERRA SUBDIVISION - PHASE 3**

SHEET TITLE: **STORM DRAIN & ROADWAY PLAN & PROFILE - OVERALL PHASE 3B**



NO.	REVISIONS	BY	APP.	DATE

PROJECT: _____ DESIGNED BY: **RB, BZ**

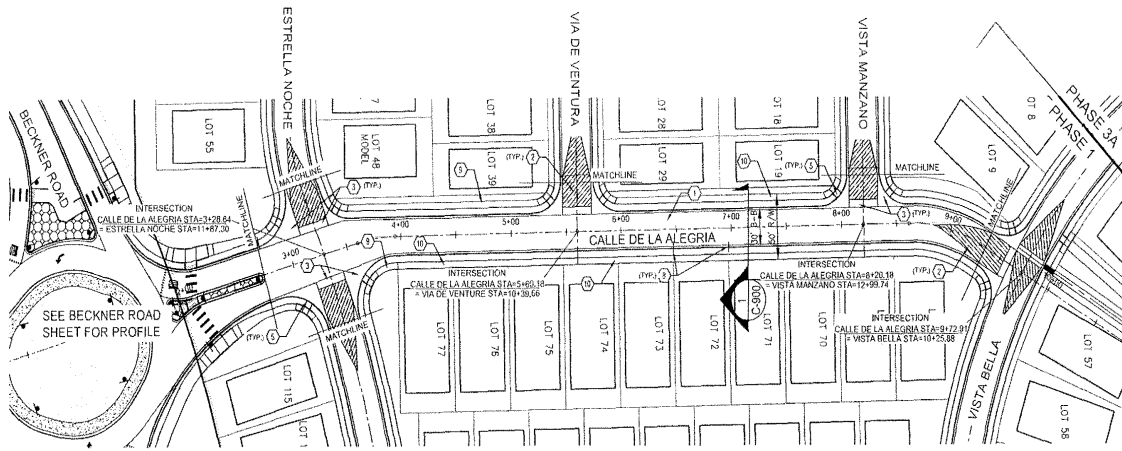
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DATE: **11/30/2020** CHECKED BY: **RB**

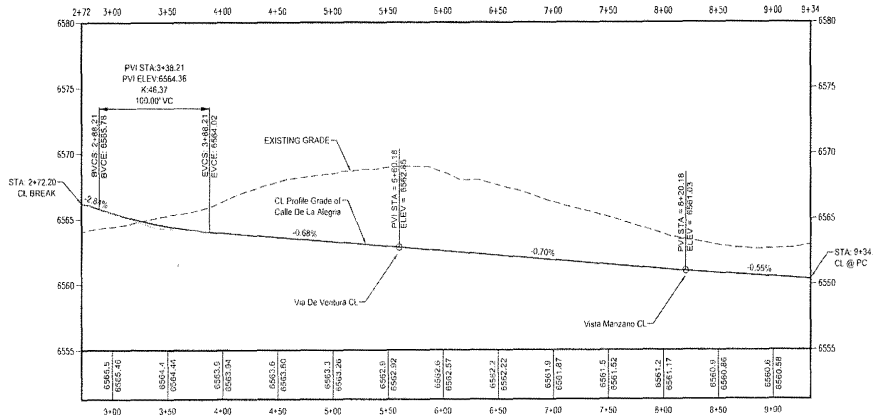
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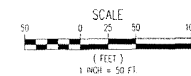
6501 Americas Parkway NE, Suite 400
 Albuquerque, NM 87110
 505-247-0254 Fax 505-242-4845
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CALLE DE LA ALEGRIA



- ① ROADWAY KEYED NOTES.
1. CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
 2. CONSTRUCTION CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
 3. CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
 4. CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
 5. BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
 6. CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
 7. CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
 8. DRIVEWAY CUT BY OTHERS AT LATER DATE.
 9. CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
 10. DEFERRED 5' WIDE CONCRETE SIDEWALK NOT APART OF THIS CONTRACT. BUILT BY OTHERS.
 11. CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
 12. CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
 13. CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.



CASE/PERMIT NO. S-2020-2642

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 PHOENIX, AZ 85016
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NO.	REVISIONS	BY	APP.	DATE

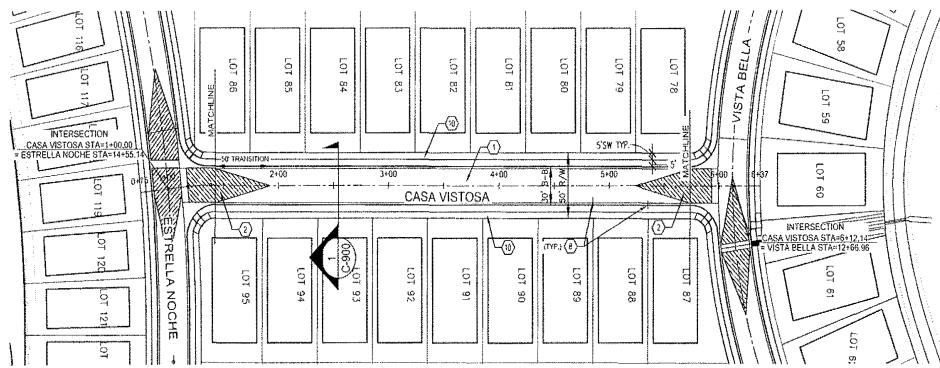


VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 ROADWAY PLAN & PROFILE -
 CALLE DE LA ALEGRIA

DATE	SIGNOFF

SHEET NO.
C1-201

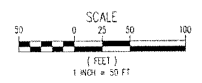
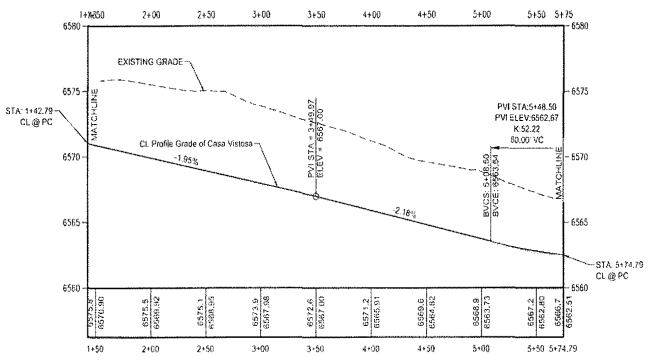
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ROADWAY KEYED NOTES:

1. CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
2. CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
3. CONSTRUCT 6" CONCRETE VALLEY CUTTER PER DETAIL 1, SHEET PAD-4.
4. CONSTRUCT 6" SPECIAL VALLEY CUTTER PER DETAIL 4, SHEET PAD-4.
5. BUILD ADA COMBINATION CURB RAMP (A) PER MNOT DETAIL 608-5 OF 12, SHEET PAD-2.
6. CONSTRUCT THIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
7. CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
8. DRIVEWAY CUT BY OTHERS AT LATER DATE.
9. CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER MNOT STANDARDS.
10. DEFERRED 5' WIDE CONCRETE SIDEWALK. NOT APART OF THIS CONTRACT. BUILT BY OTHERS.
11. CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
12. CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
13. CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.

CASA VISTOSA



CASE/PERMIT NO. S-2020-2642

NO.	REVISIONS	BY	APP'R	DATE

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 DRAWN BY: JLS, BZ, JAC, NIC
 CHECKED BY: ...
 SCALE: ...



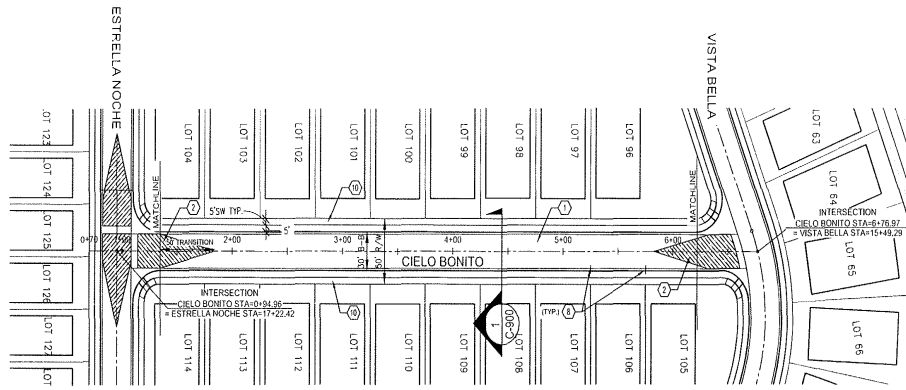
VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 ROADWAY PLAN & PROFILE -
 CASA VISTOSA

DATE	BY	REVISION

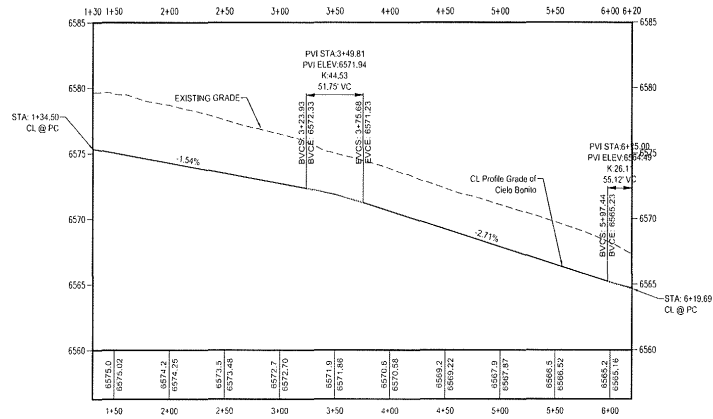
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 DEPARTMENT: ...
 DIVISION: ...
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C1-202

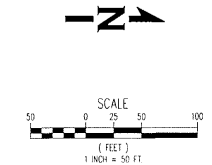
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CIELO BONITO



- ROADWAY KEYED NOTES:**
- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
 - CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
 - CONSTRUCT 6' CONCRETE VALLEY CUTTER PER DETAIL 1, SHEET PAD-4.
 - CONSTRUCT 6' SPECIAL VALLEY CUTTER PER DETAIL 4, SHEET PAD-4.
 - BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
 - CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
 - CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
 - DRIVEWAY CUT BY OTHERS AT LATER DATE.
 - CONSTRUCT 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
 - CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
 - CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
 - CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.



CASE/PERMIT NO. S-2020-2642

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NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RB, BJ
DRAWN BY: JS, DL, J, JAC
CHECKED BY: JAC
DATE: 11/20/20
SCALE: AS NOTED

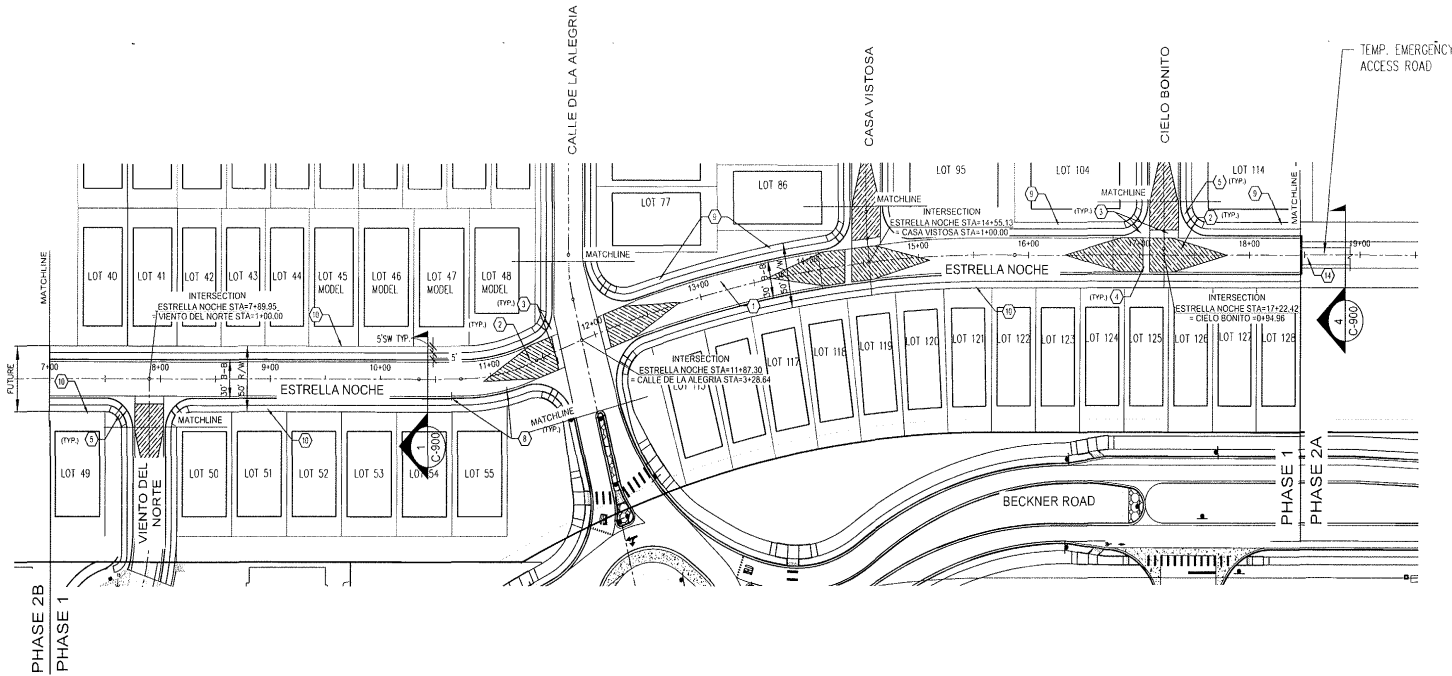
**VISTA DE LA SIERRA
SUBDIVISION - PHASE 1
ROADWAY PLAN & PROFILE -
CIELO BONITO**

CITY REVIEW	SIGN-OFF	DATE

DEPARTMENT	DATE
VISTA DE LA SIERRA	
WATER	
SEWER	
PAVING/ENGINEERING	
FIRE DEPARTMENT	
LANDSCAPE	
TRAILS/OPEN SPACE	
SUBDIVISION REVIEW	

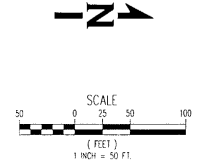
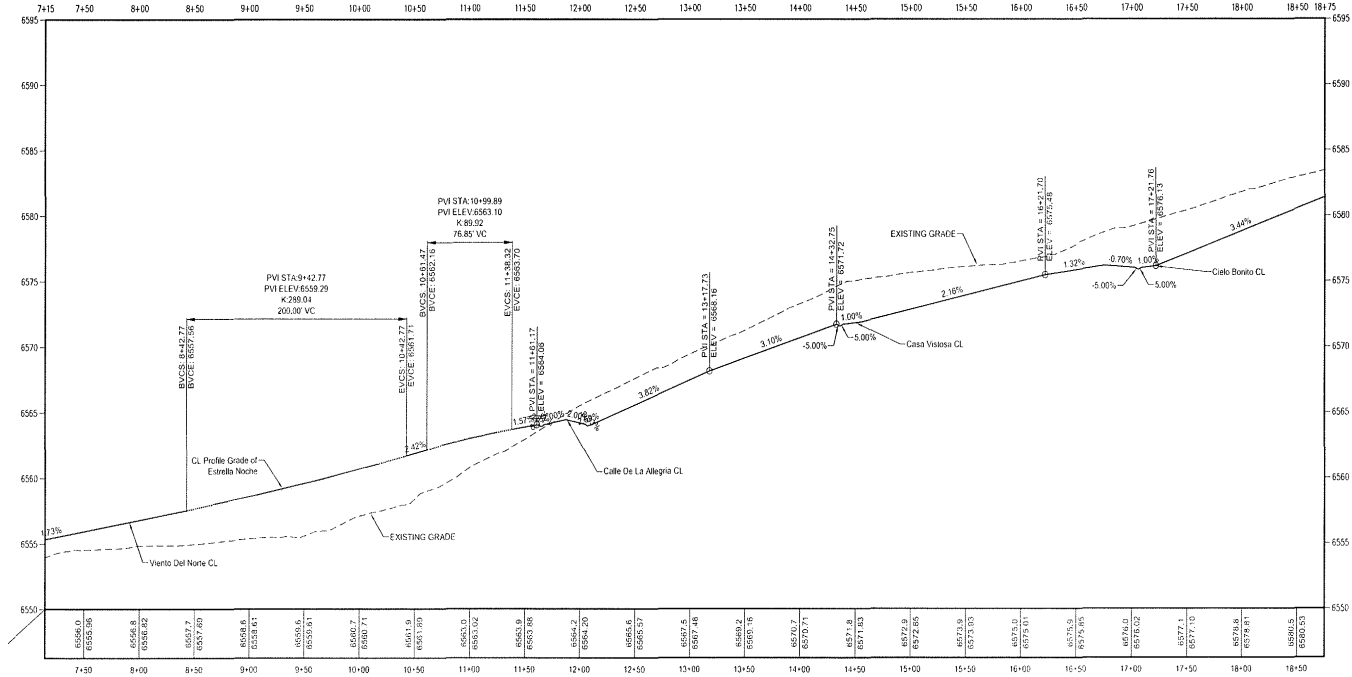
SHEET NO. **C1-203**

P:\Columns\Columns\2020\11-20-2010\11-20-2010\ESTRELLA NOCHE\Drawings\City\Phase 1\11-20-2010\03-24-10



ESTRELLA NOCHE

- ROADWAY KEYED NOTES:
- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
 - CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
 - CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
 - CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
 - BUILD ADA COMBINATION CURB RAMP (A) PER IMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
 - CONSTRUCT 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
 - CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
 - DRIVEWAY CUT BY OTHERS AT LATER DATE.
 - CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER IMDOT STANDARDS.
 - DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
 - CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
 - CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
 - CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
 - INSTALL EMERGENCY ACCESS VEHICULAR GATE OR REMOVABLE BOLLARDS EQUIPPED WITH KNOX BOX RESTRICTED ENTRY SYSTEM. GATE SHALL COMPLY WITH IFC 2009 SECTION 0103.5 - FIRE APPARATUS ACCESS ROAD GATE.



NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RS, SZ
 DRAWN BY: RS, SZ, JG, NC
 CHECKED BY: JG, NC
 SCALE: AS SHOWN



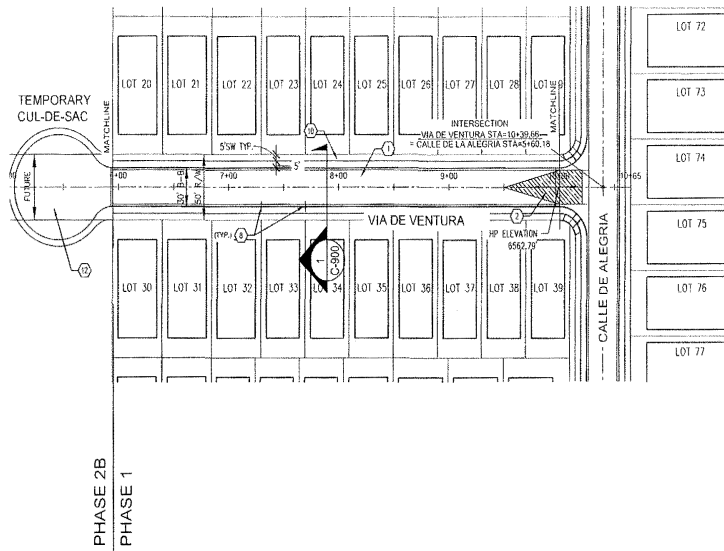
PROJECT: VISTA DE LA SIERRA
 SHEET TITLE: SUBDIVISION - PHASE 1
 ROADWAY PLAN & PROFILE - ESTRELLA NOCHE

DATE	CITY REVIEW	SIGN-OFF

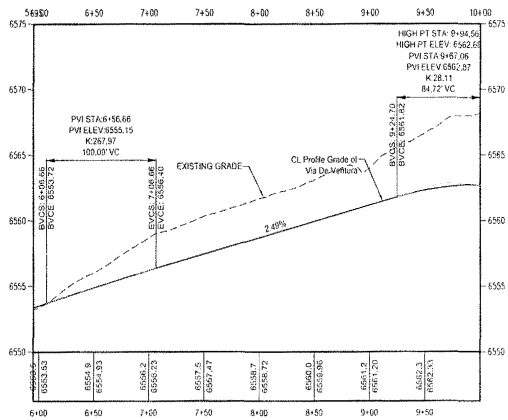
DEPARTMENT: WATER, WASTEWATER, TRANSPORTATION, FIRE DEPARTMENT, LANDSCAPE, TRAILS, OPEN SPACE, SUBDIVISION REVIEW

SHEET NO. C1-204

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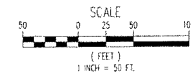


VIA DE VENTURA



① ROADWAY KEYED NOTES:

1. CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
2. CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN LENGTH PER DETAIL 3, SHEET PAD-4.
3. CONSTRUCT 6" CONCRETE VALLEY CUTTER PER DETAIL 1, SHEET PAD-4.
4. CONSTRUCT 6" SPECIAL VALLEY CUTTER PER DETAIL 4, SHEET PAD-4.
5. BUILD ADA COMBINATION CURB RAMP (A) PER MMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
6. CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
7. CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
8. DRIVEWAY CUT BY OTHERS AT LATER DATE.
9. CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER MMDOT STANDARDS.
10. DEFERRED 5' WIDE CONCRETE SIDEWALK. NOT APART OF THIS CONTRACT. BUILT BY OTHERS.
11. CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
12. CONSTRUCT TEMPORARY CUL-DE-SAC PER DETAIL 2, SHEET PAD-4.
13. CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.



WHPacific
 6301 American Parkway, Suite 400
 Dallas, TX 75248
 972.422.4445
 www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RR, BZ
 DRAWN BY: JS, BZ, JG, JG
 CHECKED BY: RR, BZ
 DATE: 11/20/20
 SCALE: AS SHOWN



VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 ROADWAY PLAN & PROFILE -
 VIA DE VENTURA

PROJECT	DATE

CITY/REGION	DATE

DEPARTMENT	DATE

DESIGNED BY: RR, BZ
 DRAWN BY: JS, BZ, JG, JG
 CHECKED BY: RR, BZ
 DATE: 11/20/20
 SCALE: AS SHOWN

SHEET NO. **C1-205**

CASE/PERMIT NO. S-2020-2642

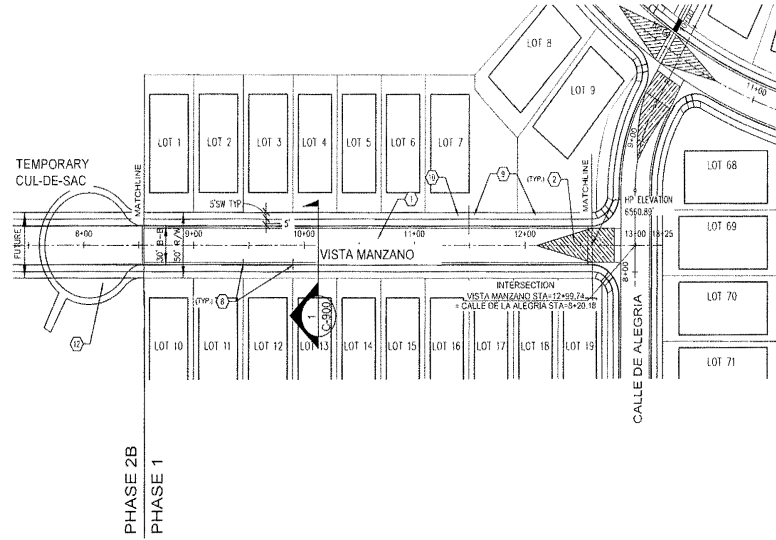
NO.	REVISIONS	BY	DATE



**VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1**
 ROADWAY PLAN & PROFILE -
 VISTA MANZANO

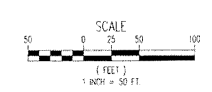
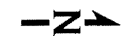
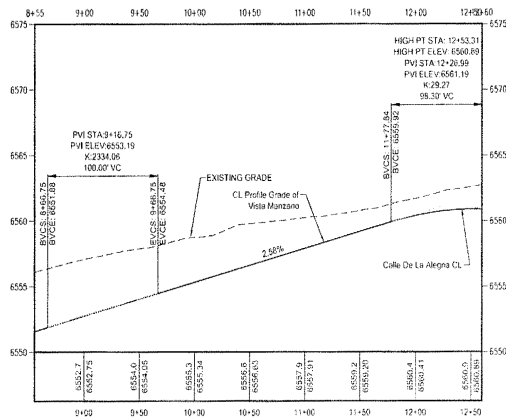
PROJECT	DATE	CITY REVIEW	SIGN-OFF

C1-206

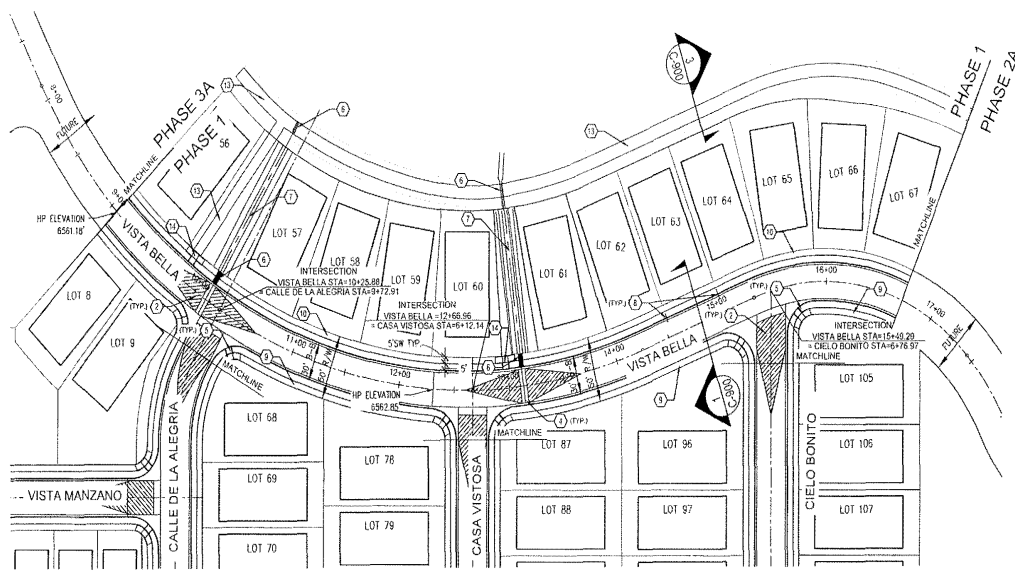


- ① ROADWAY KEYED NOTES:
1. CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900
 2. CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN LENGTH PER DETAIL 3, SHEET PAD-4.
 3. CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
 4. CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
 5. BUILD ADA COMBINATION CURB RAMP (A) PER RMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
 6. CONSTRUCT THIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
 7. CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
 8. DRIVEWAY CUT BY OTHERS AT LATER DATE.
 9. CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER RMDOT STANDARDS.
 10. DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
 11. CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
 12. CONSTRUCT TEMPORARY CUL-DE-SAC PER DETAIL 2, SHEET PAD-4.
 13. CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.

VISTA MANZANO



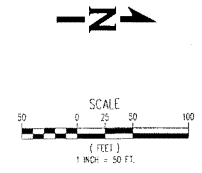
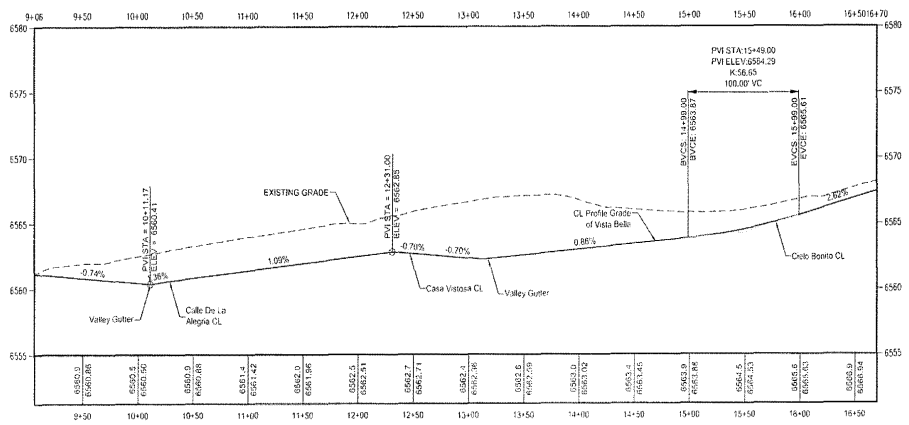
© Columbia Capital Corporation 2020 11-10-2020 11:05:58 AM E:\external\Drawings\C1-206-C1-206-C1-206_Plan1.dwg 1/26/2020 2:30 PM



ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
- CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
- BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

VISTA BELLA



NO.	REVISIONS	BY	APP.	DATE

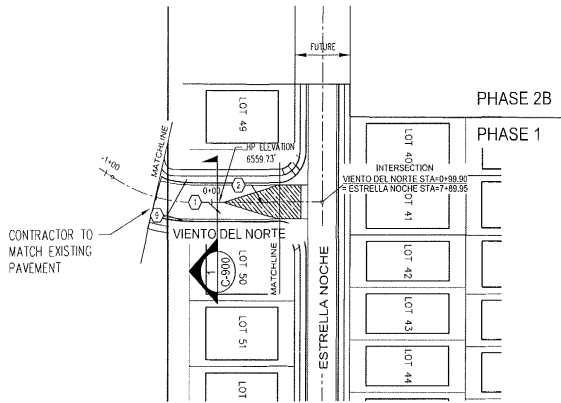


PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 1
 SHEET TITLE: ROADWAY PLAN & PROFILE - VISTA BELLA

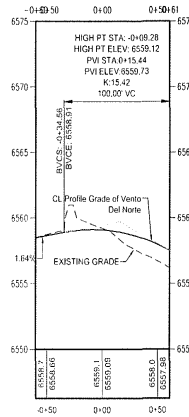
CITY REVIEW	SIGN-OFF	DATE

C1-207

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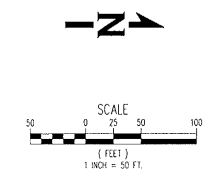


VIENTO DEL NORTE



ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6' CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6' SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
- CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.



CASE/PERMIT NO. S-2020-2642



NO.	REVISIONS	BY	APP'D	DATE

DESIGNED BY: RBS/DZ
 DRAWN BY: SB./AS
 CHECKED BY: TOS/RS
 SCALE: AS SHOWN

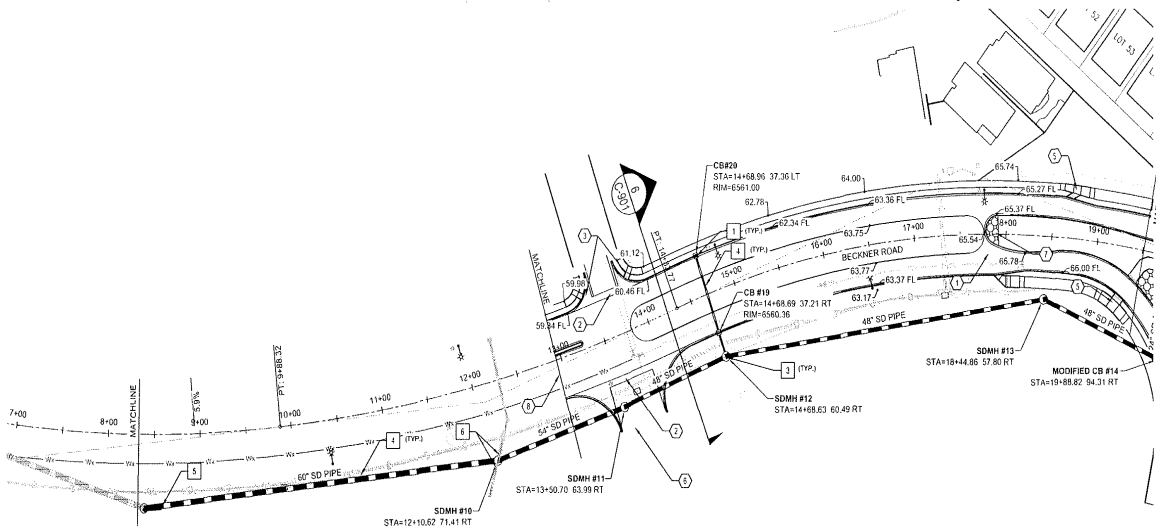


VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 ROADWAY PLAN & PROFILE -
 VIENTO DEL NORTE

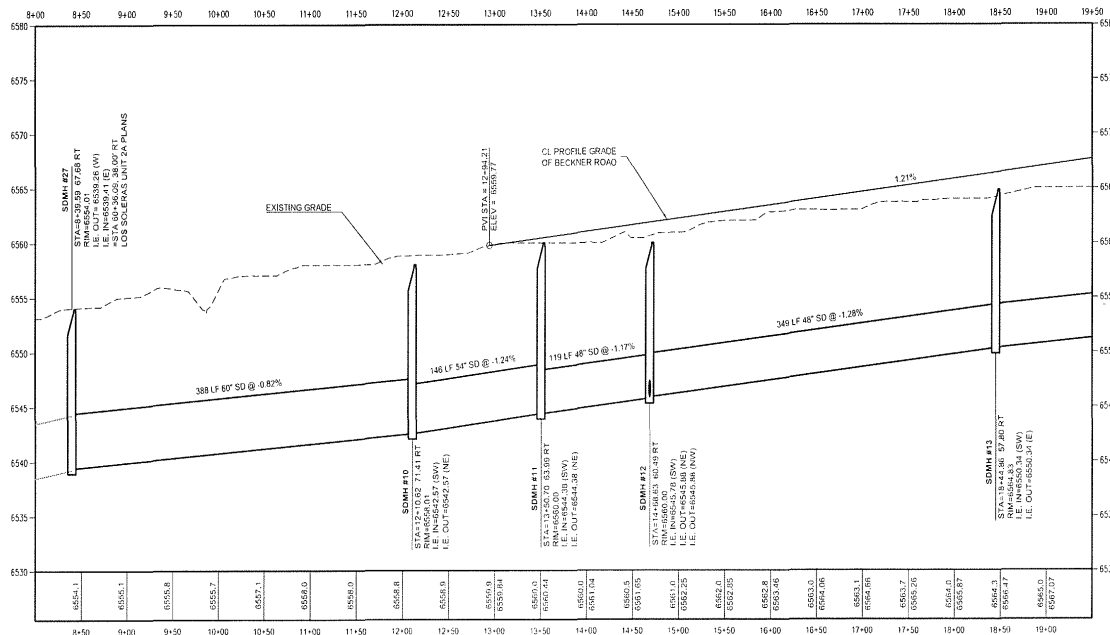
DEPARTMENT	DATE
PLANNING	
WATER	
SEWER	
ENGINEERING	
TRAFFIC	
PUBLIC WORKS	
PERMITS	
UTILITY	
LANDSCAPE	
TRAILS / OPEN SPACE	
SUBDIVISION REVIEW	

CITY REVIEW SIGNOFF

SHEET NO. C-208



BECKNER ROAD WEST

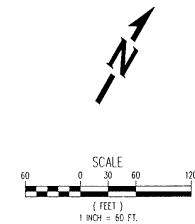


ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER INDICATED TYPICAL SECTION
- CONSTRUCT 6" VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER MDDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- BUILD ADA PARALLEL CURB RAMP PER MDDOT DETAIL 608-3 OF 12, SHEET PAD-1
- BUILD ADA CURB RAMP PER DETAILS, PAD-1
- CONSTRUCT HEADER CURBS PER DETAILS
- CONSTRUCT 4" CONCRETE MEDIAN PAVEMENT (COLORED AND PATTERNEED)
- BEGIN CONSTRUCTION. CONTRACTOR TO VERIFY THE ELEVATIONS AND MATCH TO EXISTING GRADES.

STORM DRAIN KEYED NOTES:

- CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS 50C.
- CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS 50C
- CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
- CONSTRUCT STORM DRAIN LINE. PIPE TYPE TO BE ULTRA FLOW, HOPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.
- CONNECT TO EXISTING PIPE STUB OUT. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION
- CONNECT EXISTING PIPE INTO AND OUT OF PROPOSED MANHOLE.
- STUB AND CAP PIPE FOR FUTURE CONNECTION A MINIMUM OF 20' PAST THE ASPHALT BOUNDARY.



NO.	REVISIONS	BY	DATE

DESIGNED BY: RB, BC
DRAWN BY: JZ, A, NC
CHECKED BY: JZ, RB, BC
DATE: 11/09/20
SCALE: AS SHOWN

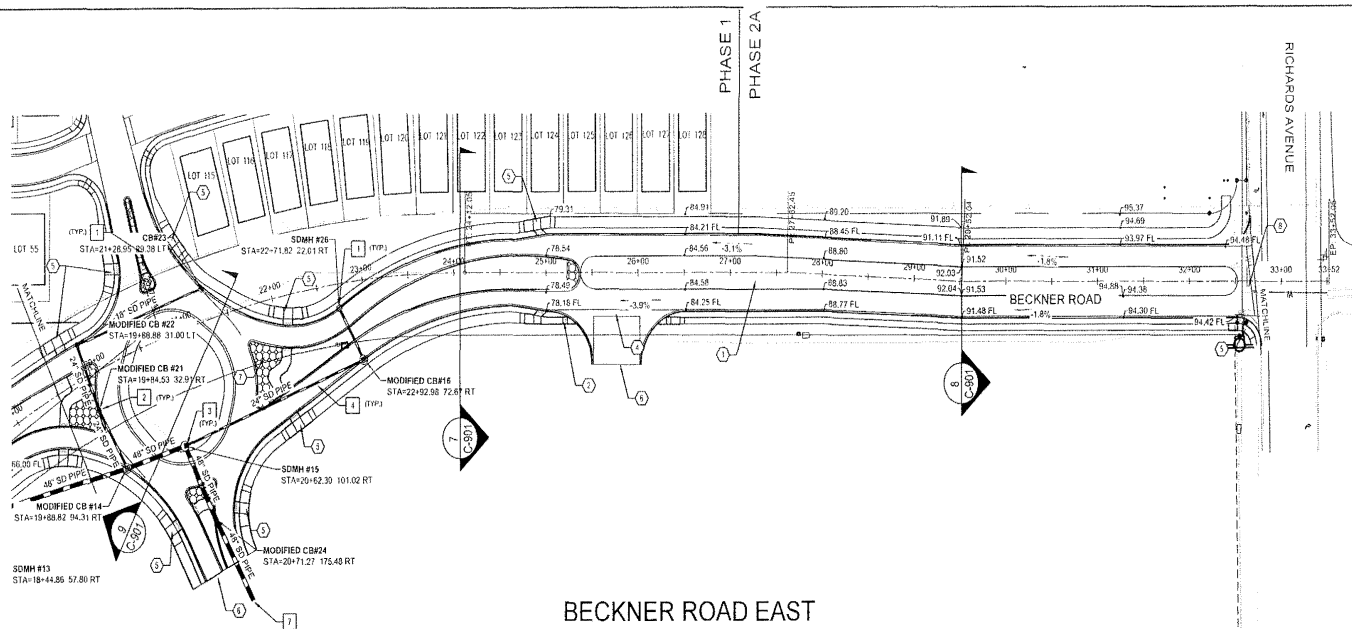


VISTA DE LA SIERRA
SUBDIVISION - PHASE 1
ROADWAY PLAN & PROFILE
BECKNER ROAD

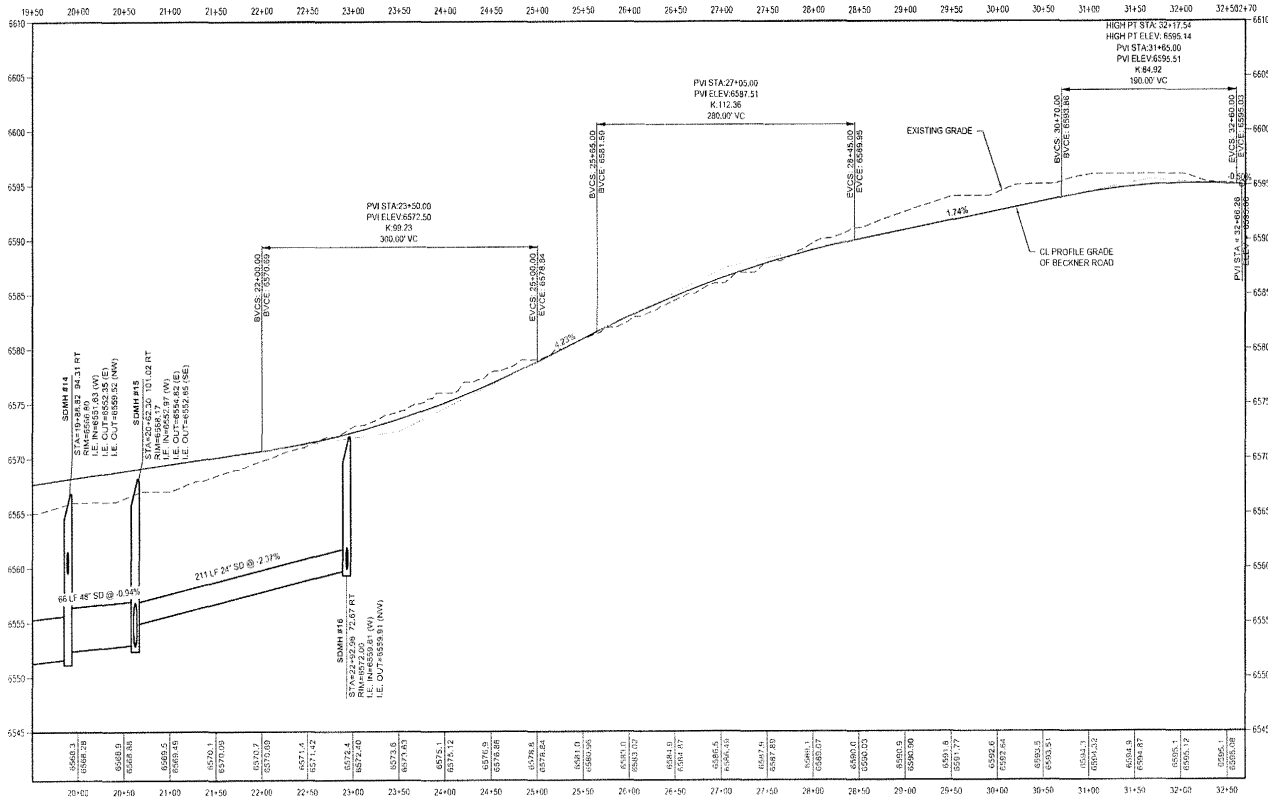
PROJECT	DATE	CITY REVIEW	SIGN-OFF

DEPARTMENT: WATER
DIVISION: CIVIL ENGINEERING
PROJECT: VISTA DE LA SIERRA SUBDIVISION PHASE 1
SHEET TITLE: ROADWAY PLAN & PROFILE
SHEET NO.: C1-209
DATE: 11/09/20

C1-209

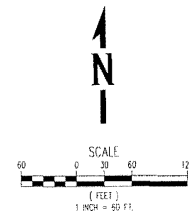


BECKNER ROAD EAST



- ROADWAY KEYED NOTES:**
1. CONSTRUCT ROADWAY PER INDICATED TYPICAL SECTION.
 2. CONSTRUCT 5' VALLEY CUTTER PER DETAIL 1, SHEET PAD-4
 3. BUILD ADA COMBINATION CURB RAMP (A) PER ANNOT DETAIL 636-3 OF 12, SHEET PAD-2
 4. BUILD ADA PARALLEL CURB RAMP PER ANNOT DETAIL 608-3 OF 12, SHEET PAD-2
 5. BUILD ADA CURB RAMP PER DETAILS, PAD-1
 6. CONSTRUCT HEADER CURB PER DETAIL
 7. CONSTRUCT 4" CONCRETE MEDIAN PAVEMENT (COLORED AND PATTERNED)
 8. BEGIN CONSTRUCTION. CONTRACTOR TO VERIFY THE ELEVATIONS AND MATCH TO EXISTING GRADES.

- STORM DRAIN KEYED NOTES:**
1. CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDIC.
 2. CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDIC
 3. CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
 4. CONSTRUCT STORM DRAIN LINE, PIPE TYPE TO BE ULTRA FLOW HOPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.
 5. CONNECT TO EXISTING PIPE STUB OUT. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION.
 6. CONNECT EXISTING PIPE INTO AND OUT OF PROPOSED MANHOLE.
 7. STUB AND CAP PIPE FOR FUTURE CONNECTION A MINIMUM OF 20' PAST THE ASPHALT BOUNDARY.



NO.	REVISION	BY	APP.	DATE

DESIGNED BY: RLK
DRAWN BY: J.S. OR, A.C. NC
FILE NO.: 112020
DATE: 11/20/20
CHECKED BY: RLK
SCALE: AS SHOWN



PROJECT: VISTA DE LA SIERRA
SUBDIVISION - PHASE 1
SHEET TITLE: ROADWAY PLAN & PROFILE - BECKNER ROAD

DATE	SCALE	DESIGN	CHECK	APPROVE

SHEET NO. **C1-210**

NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RB, ZP
CHECKED BY: RB, ZP
DATE: 11/09/20
SCALE: AS NOTED



VISTA DE LA SIERRA
SUBDIVISION - PHASE 1
CURB RAMP DETAILS

DEPARTMENT	DATE
WASTEWATER	
WATER	
TRAFFIC ENGINEERING	
STREETS	
SOILS/GEOTECHNICAL	
LANDSCAPE	
SUBDIVISION/PLANS	

SHEET NO. C1-211

CURB RAMP KEYED NOTES: ○

1. ALL LANDINGS SHALL BE A TYP. SLOPE OF 1.5% (2.0% MAX). LANDINGS SHALL NOT EXCEED THE MAX SLOPE OF 2.0% IN ALL DIRECTIONS.
2. BUILD DETECTABLE WARNING SURFACE WET SET PER ANNOT STD DWG 550-001-B.
3. RAMP SLOPE SHALL NOT EXCEED 15:1 RUNNING SLOPE AND 1.5% TYP. (2.0% MAX) CROSS SLOPE.
4. BUILD HEADER CURB.
5. 16" TO 18" CURBING AROUND CONNECTING TRANSITION SLOPES MAY VARY.

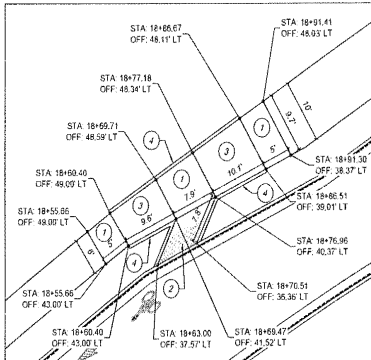
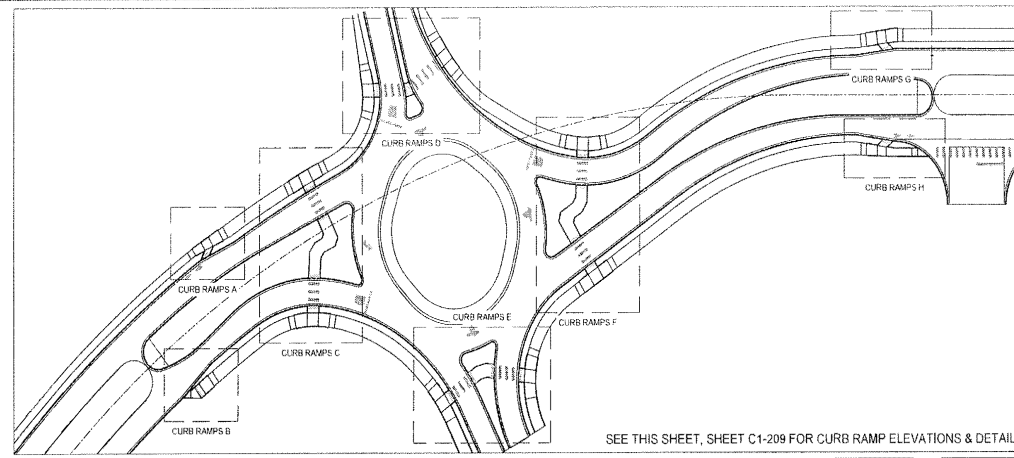
LEGEND:

- ISW TOP OF SIDEWALK ELEVATION
- IC TOP OF CURB ELEVATION
- MET SET DETECTABLE WARNING SURFACE

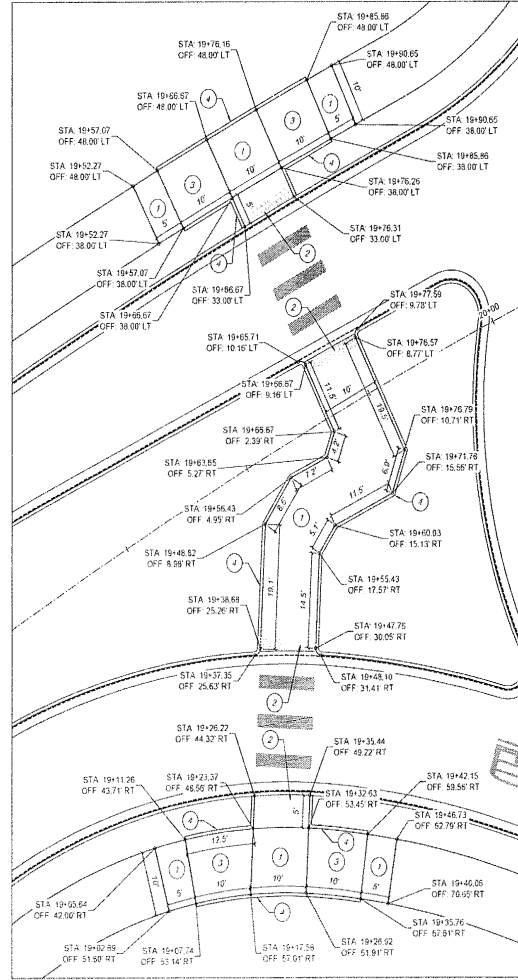
NOTES:

1. SEE ANNOT STD DWG 609-001-1 TO 609-001-12 FOR ADDITIONAL INFORMATION AND REFERENCE DETAILS.
2. SIDEWALK CROSS SLOPES SHALL BE CONSTRUCTED WITH A 1.5% CROSS SLOPE (DESIRABLE, 2.0% MAX).
3. SEE PLANS FOR ADDITIONAL LAYOUT INFORMATION AND CURVE DATA.
4. CONTRACTOR SHALL INSTALL MET SET TYPE TRUNCATED DOMES ONLY.

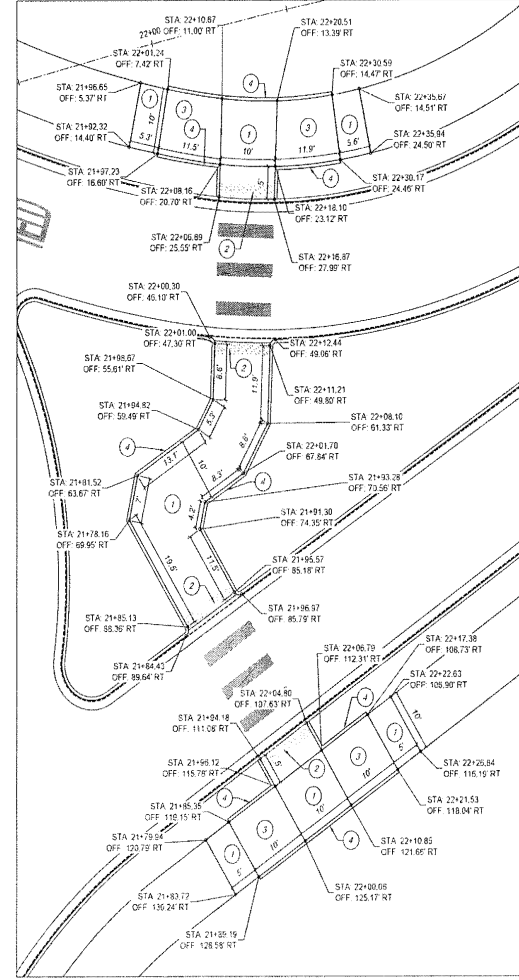
SEE THIS SHEET, SHEET C1-209 FOR CURB RAMP ELEVATIONS & DETAILS



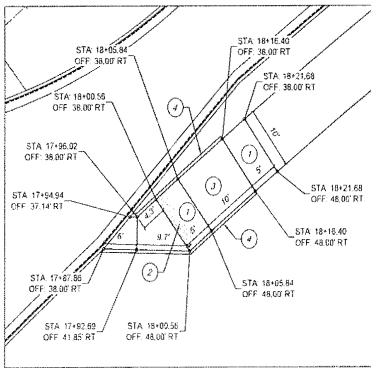
CURB RAMPS A



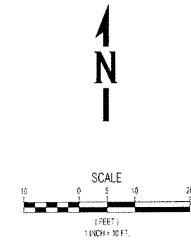
CURB RAMPS C

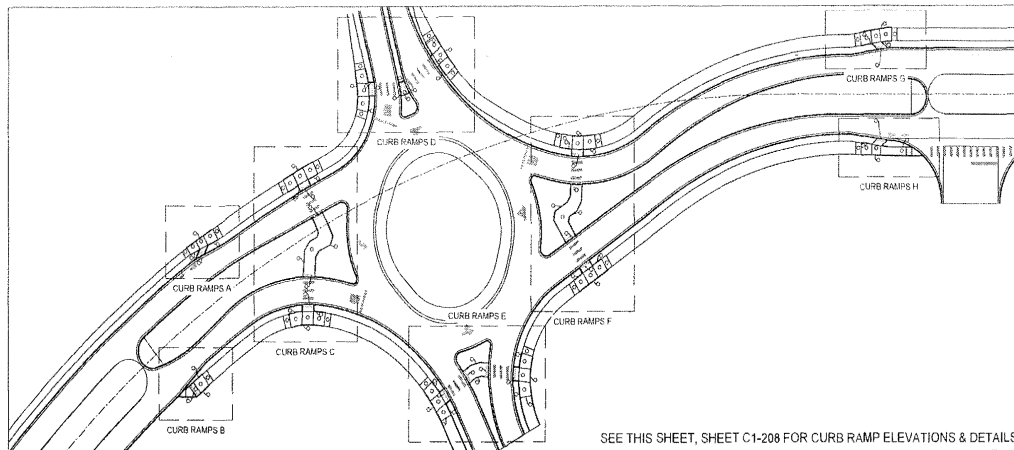


CURB RAMPS F



CURB RAMPS DETAIL B





- CURB RAMP KEYED NOTES:**
1. ALL LANDINGS SHALL BE A TYP. SLOPE OF 1.5% (2.0% MAX). LANDINGS SHALL NOT EXCEED THE MAX SLOPE OF 2.0% IN ALL DIRECTIONS.
 2. GRID DETECTABLE WARNING SURFACE WET SET PER NADOT STD DWG 608-001-B.
 3. RAMP SLOPE SHALL NOT EXCEED 5% RUNNING SLOPE AND 1.5% TYP. (2.0% MAX) CROSS SLOPE.
 4. BUNK HEADER CURB.
 5. TIE TO EXISTING GROUND, CONNECTING TRANSITION SLOPES MAY VARY.

- LEGEND:**
- TSW TOP OF SIDEWALK ELEVATION
 - TC TOP OF CURB ELEVATION
 - ☐ MET SET DETECTABLE WARNING SURFACE

- NOTES:**
1. SEE NADOT STD DWG 608-001-1 TO 608-001-12 FOR ADDITIONAL INFORMATION AND REFERENCE DETAILS.
 2. SIDEWALK CROSS SLOPES SHALL BE CONSTRUCTED WITH A 1.5% CROSS SLOPE (DESIRABLE), 2.0% (MAX).
 3. SEE PLANS FOR ADDITIONAL LAYOUT INFORMATION AND CURVE DATA.
 4. CONTRACTOR SHALL INSTALL MET SET TYPE TRUNCATED DOMES ONLY.

WHPacific
6901 Armatank Parkway, Suite 400
P.O. Box 20306, Dallas, TX 75220
Tel: 972.247.2234 Fax: 972.242.2845
www.whpacific.com

NO.	DATE	BY	APP.	DATE

REVISIONS

SEAL
STATE OF TEXAS
CIVIL ENGINEER
2009

VISTA DE LA SIERRA
SUBDIVISION - PHASE 1
CURB RAMP DETAILS

SHEET TITLE

PROJECT

DATE

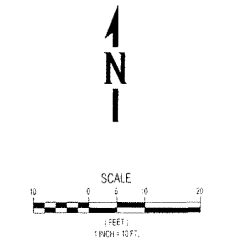
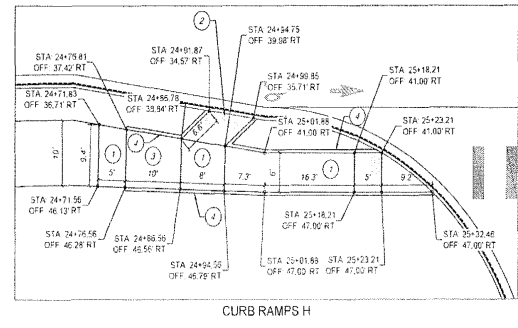
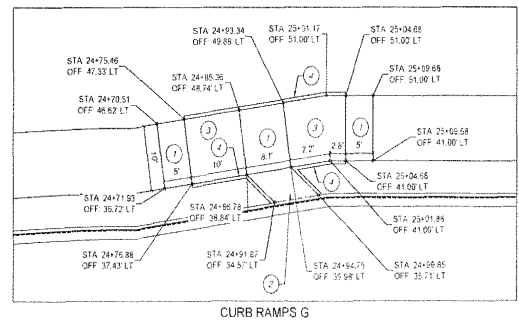
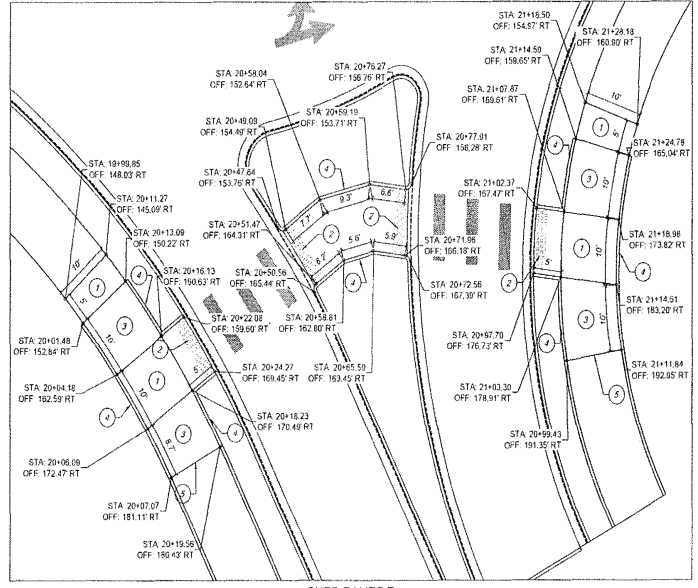
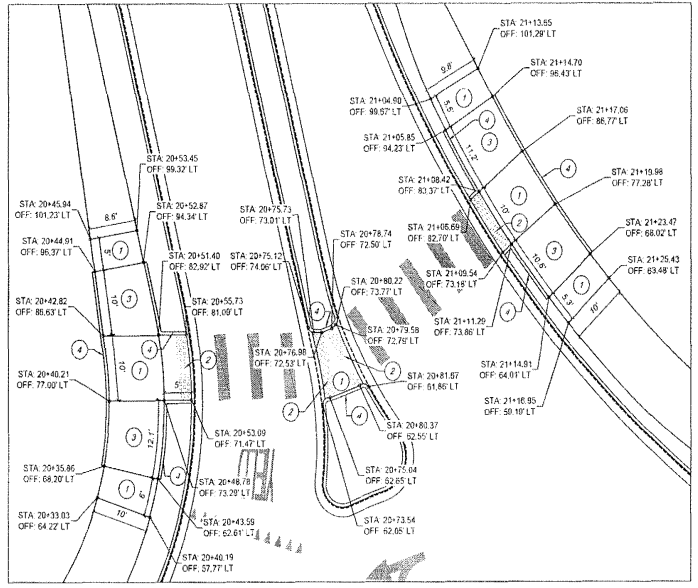
CITY REVIEW

SENSEK

DEPARTMENT
WARRANTY
INSPECTION
ENGINEERING
FIRE DEPARTMENT
LANDMARK
FRANCHISE DEVELOPMENT
REGISTRATION DIVISION

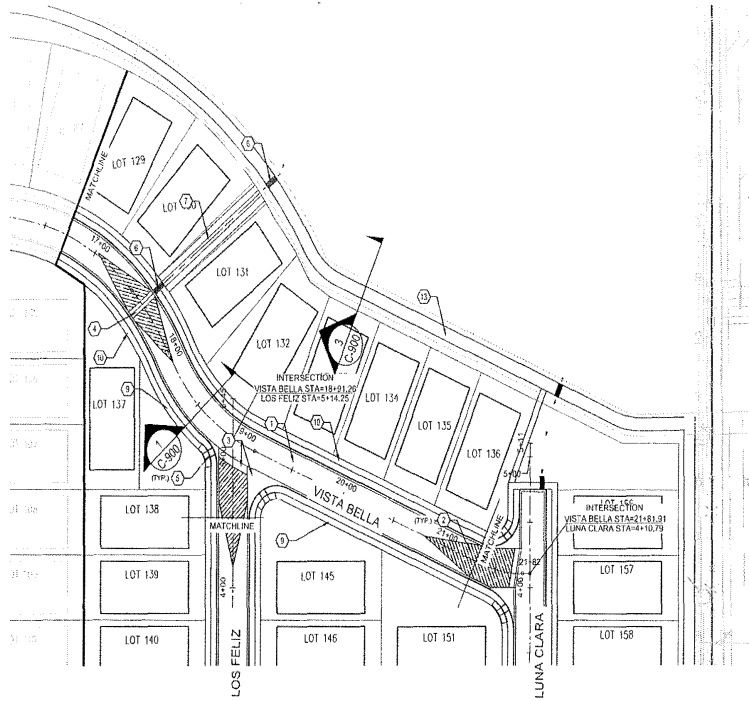
SHEET NO.

C1-212



CASE/PERMIT NO. S-2020-2642

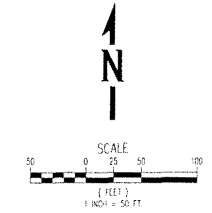
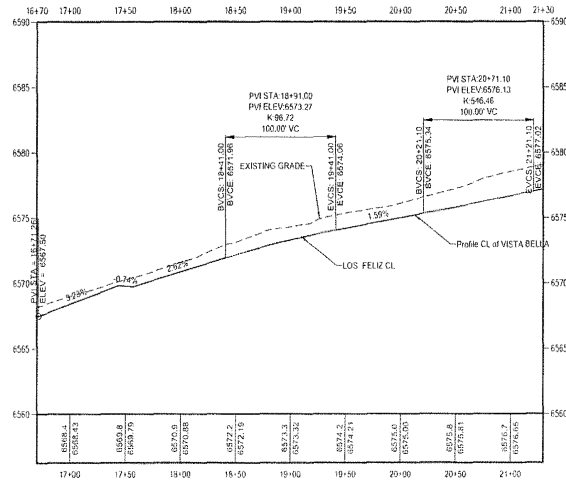
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① ROADWAY KEYED NOTES:

1. CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
2. CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
3. CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
4. CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
5. BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL F08-5 OF 12, SHEET PAD-2.
6. CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
7. CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
8. DRIVEWAY CUT BY OTHERS AT LATER DATE.
9. CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
10. DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
11. CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
12. CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
13. CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
14. BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL F08-5 OF 12, SHEET PAD-2.

VISTA BELLA



CASE/PERMIT NO. S-2020-2642

5501 American Parkway, Suite 400
 528-247-0294 # 1
 528-242-4443 # 2
 www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RB, BJZ	PROJECT: 202008
DRAWN BY: JUS, DZ, A, JSC	CHECKED BY: RB, BJZ
DATE: 1/20/20	SCALE: AS SHOWN

PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2A

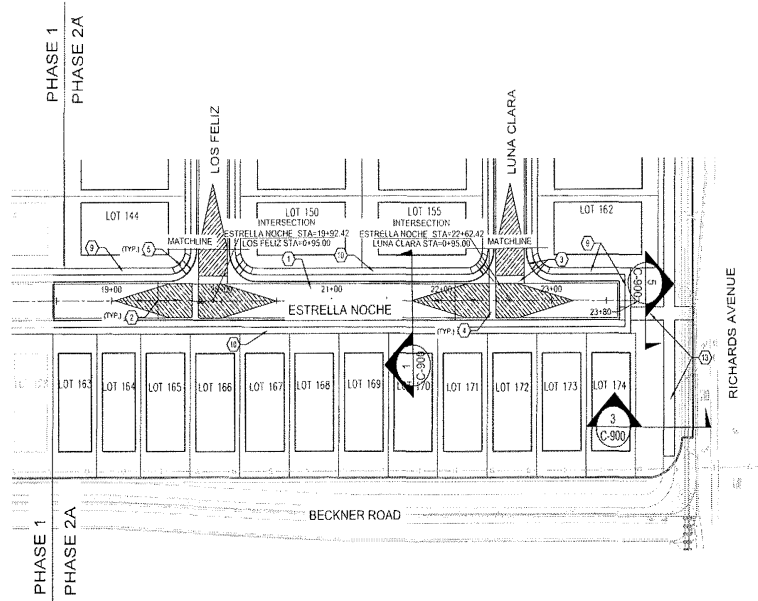
SHEET TITLE: STORM DRAIN AND ROADWAY PLAN & PROFILE - VISTA BELLA

DATE	REVIEW	SIGN-OFF

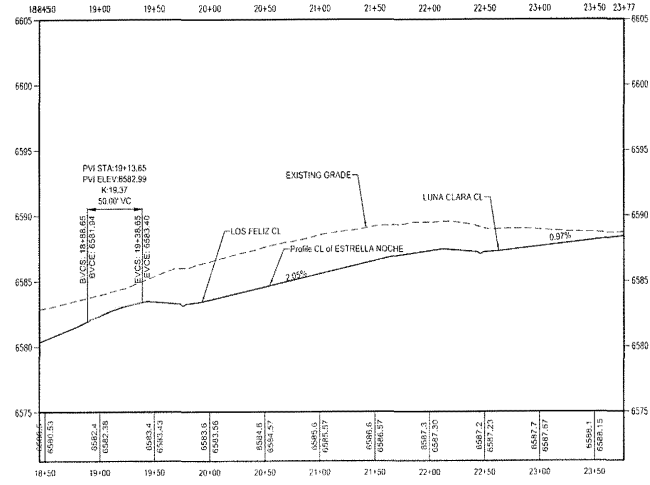
DEPARTMENT: WATER	DATE: 1/20/20
DESIGNER: WYLLIE	SCALE: AS SHOWN
CHECKER: WYLLIE	PROJECT: 202008
DATE: 1/20/20	CHECKED BY: RB, BJZ
SCALE: AS SHOWN	PROJECT: 202008

SHEET NO. C2-201

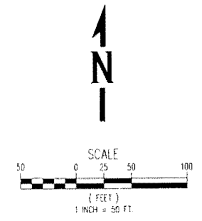
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ESTRELLA NOCHE

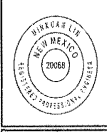


- ① ROADWAY KEYED NOTES:
1. CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
 2. CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
 3. CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
 4. CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
 5. BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
 6. CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
 7. CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
 8. DRIVEWAY CUT BY OTHERS AT LATER DATE.
 9. CONSTRUCT 5" WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
 10. DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
 11. CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
 12. CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
 13. CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
 14. BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.



NO.	REVISIONS	BY	DATE

PROJECT: ESTRELLA NOCHE
 FILE: 184300-05-03-01-01-01
 DATE: 1/29/2020
 DRAWN BY: R.S. JAMES
 CHECKED BY: R.S. JAMES
 SCALE: AS SHOWN

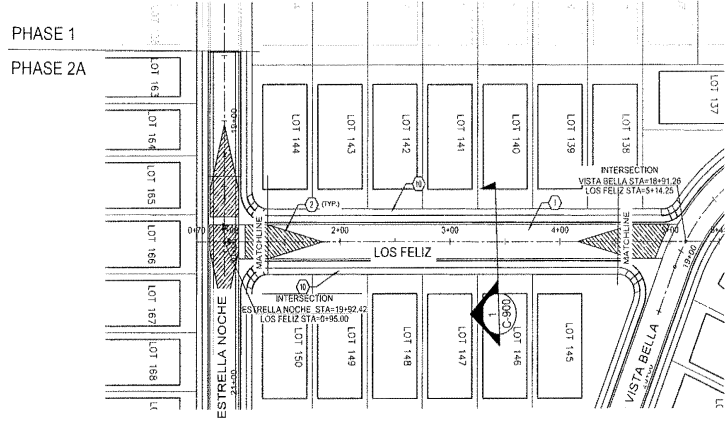


PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 2A
 SHEET TITLE: STORM DRAIN & ROADWAY PLAN & PROFILE - ESTRELLA NOCHE

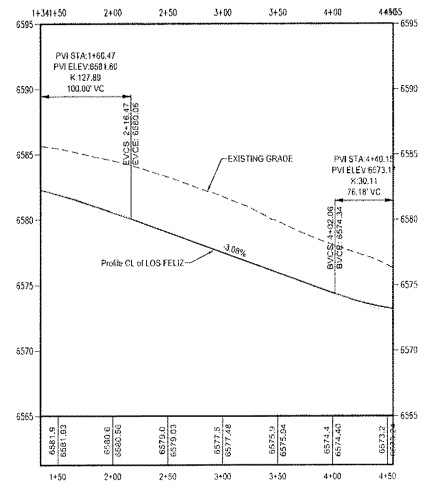
CITY REVIEW	DATE

DEPARTMENT: WATER
 DIVISION: CIVIL ENGINEERING
 PROJECT: ESTRELLA NOCHE
 SHEET: C2-202
 DRAWN BY: R.S. JAMES
 CHECKED BY: R.S. JAMES
 DATE: 1/29/2020

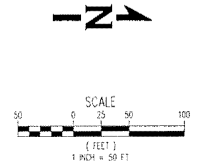
C2-202



LOS FELIZ



- ① ROADWAY KEYED NOTES:
- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
 - CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
 - CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
 - CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
 - BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
 - CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
 - CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
 - DRIVEWAY CUT BY OTHERS AT LATER DATE.
 - CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
 - DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
 - CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
 - CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
 - CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
 - BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.



8901 Americana Parkway NE, Suite 400
 Everett, WA 98203
 425-247-2254 Fax 425-247-4445
 www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE

PROJECT: _____
 FILE: _____
 SCALE: _____

DESIGNED BY: RB EJ
 DRAWN BY: BJ, J. NS
 CHECKED BY: AS NS/DG

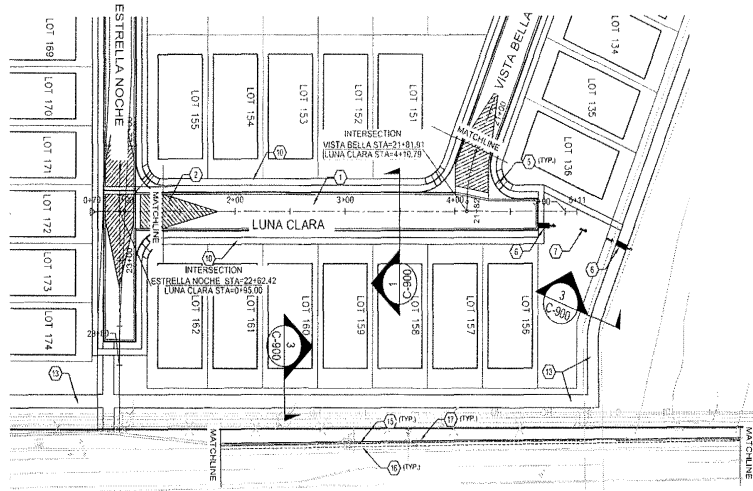
VISTA DE LA SIERRA
SUBDIVISION - PHASE 2
STORM DRAIN AND ROADWAY
PLAN & PROFILE - LOS FELIZ

DEPARTMENT	DATE	SIGN OFF
WASTEWATER		
WATER		
ENGINEERING		
TRAFFIC		
FIRE DEPARTMENT		
PLUMBING		
LANDSCAPE		
UTILITY		
INSURANCE		

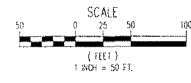
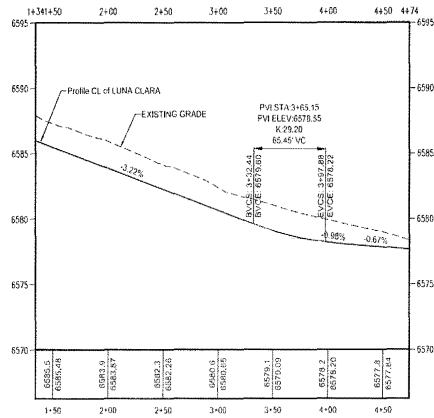
SHEET NO. **C2-203**

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LUNA CLARA



ROADWAY KEYED NOTES:

1. CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
2. CONSTRUCT DOWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
3. CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
4. CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
5. BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
6. CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
7. CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
8. DRIVEWAY CUT BY OTHERS AT LATER DATE.
9. CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
10. DEFERRED 5' WIDE CONCRETE SIDEWALK NOT APART OF THIS CONTRACT. BUILT BY OTHERS.
11. CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
12. CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
13. CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
14. BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
15. SAW CUT CLEAN LINE IN PAVEMENT 2' OFF EXISTING CONCRETE GUTTER.
16. REMOVE EXISTING CURBS AND GUTTER, PAVEMENT AND MEDIAN MATERIAL FOR PROPOSED TURN LANE.
17. INSTALL CURB AND GUTTER TO MATCH EXISTING TYPE PER NMDOT STANDARD DETAILS.



NO.	REVISIONS	BY	APP'D.	DATE

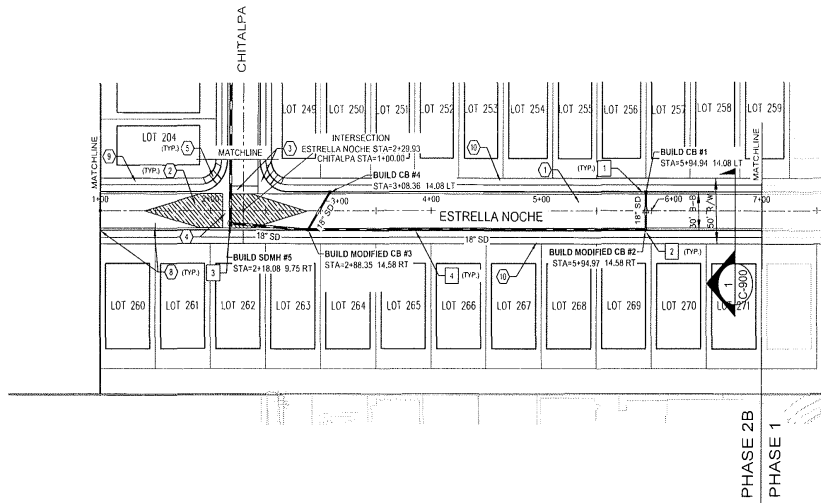
DESIGNED BY: RE: BJ
 DRAWN BY: BJ, JL, JS
 CHECKED BY: JLD
 SCALE: AS SHOWN



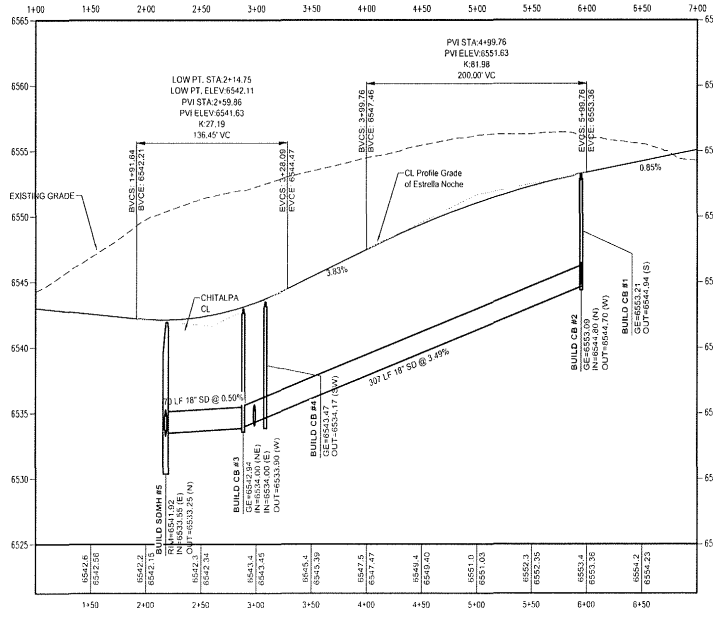
PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2A
 SHEET TITLE: STORM DRAIN AND ROADWAY PLAN & PROFILE - LUNA CLARA

DEPARTMENT	DATE
WATER DIVISION	
WATER TREATING	
PLANNING	
PIPE DEPARTMENT	
LANDSCAPE	
TITLE / OVERSIGHT	
DESIGNER / CHECKER	

SHEET NO. C2-204



ESTRELLA NOCHE

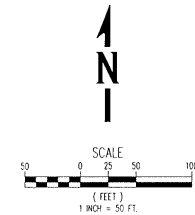


ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT. BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
- CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
- BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

STORM DRAIN KEYED NOTES:

- CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BIOC.
- CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BIOC.
- CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
- CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HDPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



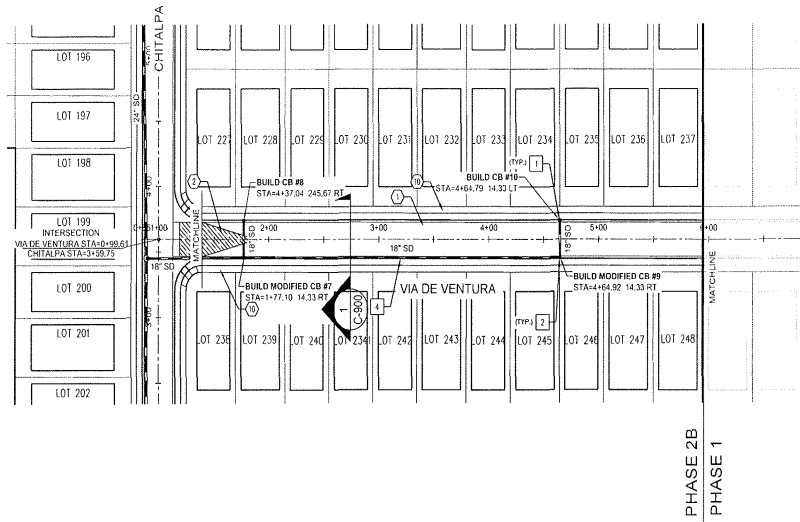
NO.	REVISIONS	BY	APP.	DATE



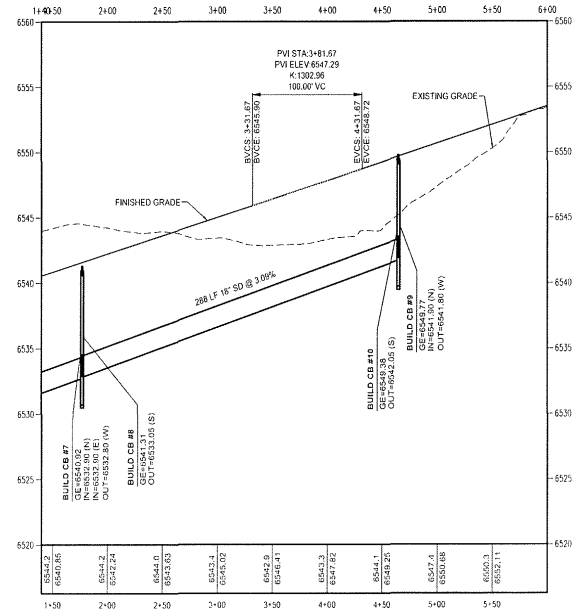
VISTA DE LA SIERRA
SUBDIVISION - PHASE 2B
SHEET TITLE
STORM DRAIN & ROADWAY PLAN
& PROFILE - ESTRELLA NOCHE

DEPARTMENT	DATE
DESIGNER	
CHECKER	
PROJECT MANAGER	
ENGINEER	
CITY REVIEW	
BOIC-OFF	

SHEET NO.
C2-205



VIA DE VENTURA

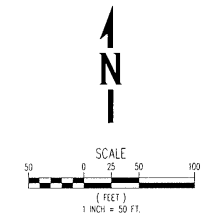


ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6' CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6' SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT 11/4" 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' WDS. CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 5' WIDE CONCRETE SIDEWALK NOT APART OF THIS CONTRACT. BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
- CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
- BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

STORM DRAIN KEYED NOTES:

- CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDIC.
- CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDIC.
- CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
- CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HDPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



NO.	REVISIONS	BY	APP.	DATE

PROJECT:	DESIGNED BY:	REVIEWED BY:
FILE:	DRAWN BY:	CHECKED BY:
SCALE:	DATE:	AS NOTED

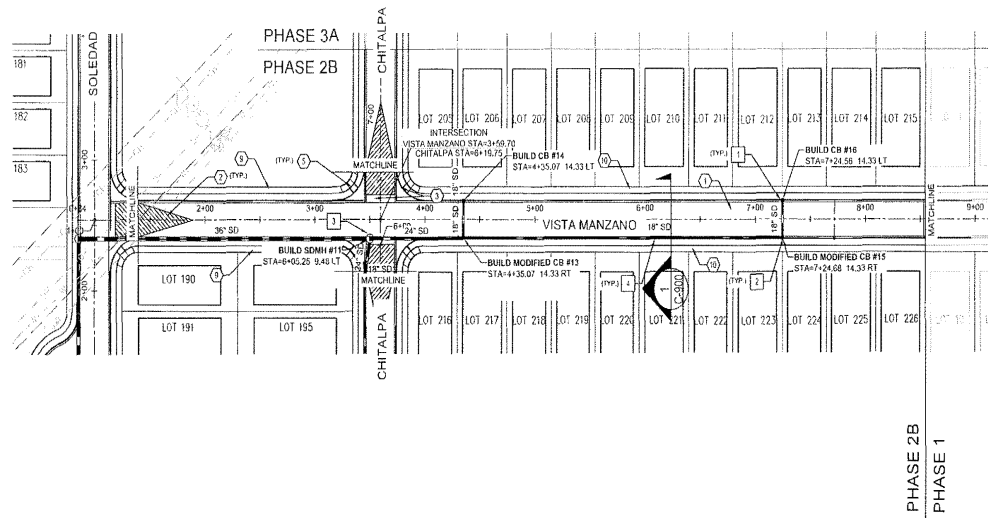


PROJECT: VISTA DE LA SIERRA
SUBDIVISION - PHASE 2B
SHEET TITLE:
STORM DRAIN & ROADWAY PLAN
& PROFILE - VIA DE VENTURA

DATE	SIGNOFF	CITY REVIEW

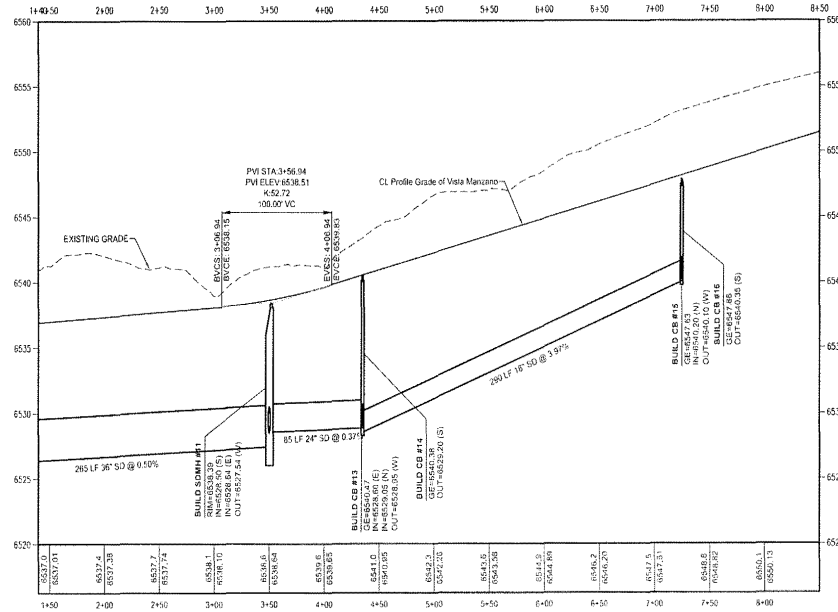
WASTEWATER DEPARTMENT	
WATER DEPARTMENT	
ENGINEERING	
PLANNING	
FIRE DEPARTMENT	
HEALTH DEPARTMENT	
LANDSCAPE	
TRANSPORTATION	
UTILITIES	

SHEET NO. C2-206



VISTA MANZANO

PHASE 2B
PHASE 1

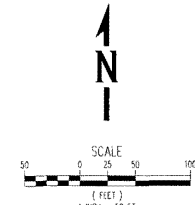


ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT ORNATE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
- CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULTI-USE TRM PER DETAIL 4, SHEET C-900.
- BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

STORM DRAIN KEYED NOTES:

- CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS IDOC.
- CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS IDOC.
- CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
- CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HIRE, RCP OR APPROVED. EQUAL SEE PLAN & PROFILE FOR SIZE.



CASE/PERMIT NO. S-2020-2642



NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RB, BS
DRAWN BY: JZ, JL, JCS
CHECKED BY: JCS
SCALE: 1/8"=1'-0"



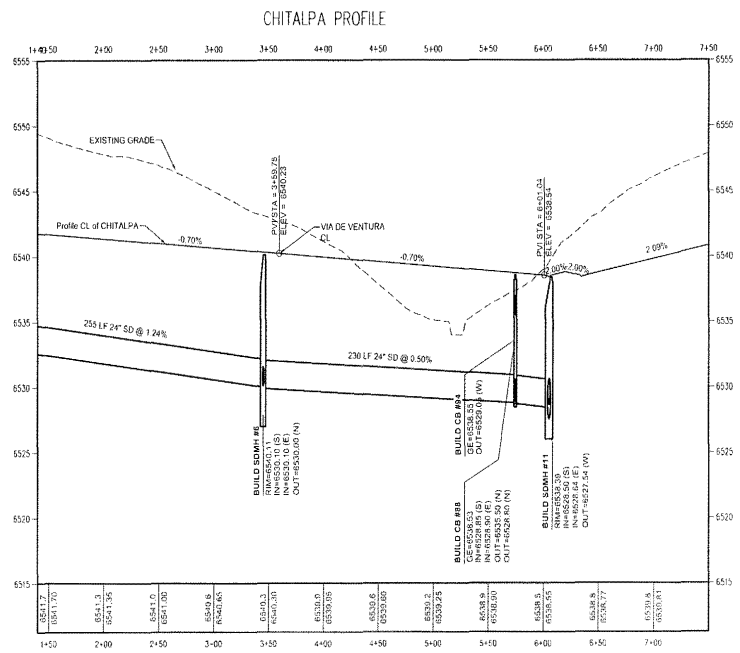
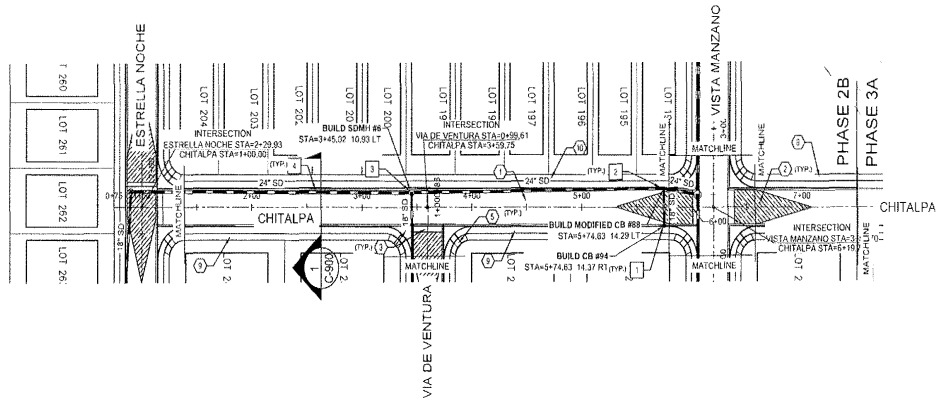
PROJECT: VISTA DE LA SIERRA
SUBDIVISION - PHASE 2B
SHEET TITLE: STORM DRAIN & ROADWAY PLAN & PROFILE - VISTA MANZANO

CITY REVIEW	DATE

DEPARTMENT: WATER
DIVISION: ENGINEERING
SECTION: PLANNING
PROJECT: VISTA DE LA SIERRA
SUBDIVISION - PHASE 2B
SHEET TITLE: STORM DRAIN & ROADWAY PLAN & PROFILE - VISTA MANZANO

C2-207

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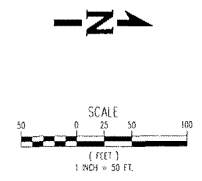


ROADWAY KEYED NOTES:

1. CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
2. CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
3. CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
4. CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
5. BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
6. CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
7. CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
8. DRIVEWAY CUT BY OTHERS AT LATER DATE.
9. CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
10. DEFERRED 5' WIDE CONCRETE SIDEWALK. NOT APART OF THIS CONTRACT. BUILT BY OTHERS.
11. CONSTRUCT HEADER CURB PER DETAIL 1.1, SHEET C-902.
12. CONSTRUCT TEMPORARY CUL-SAC PER DETAIL 2, SHEET PAD-4.
13. CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
14. BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

STORM DRAIN KEYED NOTES:

1. CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS B01C.
2. CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS B01C.
3. CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
4. CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW HOPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



NO.	REVISIONS	BY	APP.	DATE

PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2B
 DESIGNED BY: RE.B.T.
 DRAWN BY: J.S. BZ. A. JUS.
 CHECKED BY: J.S. BZ. A. JUS.
 DATE: 11/09/20
 SCALE: AS SHOWN



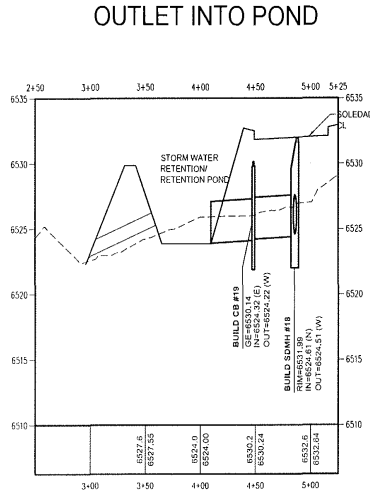
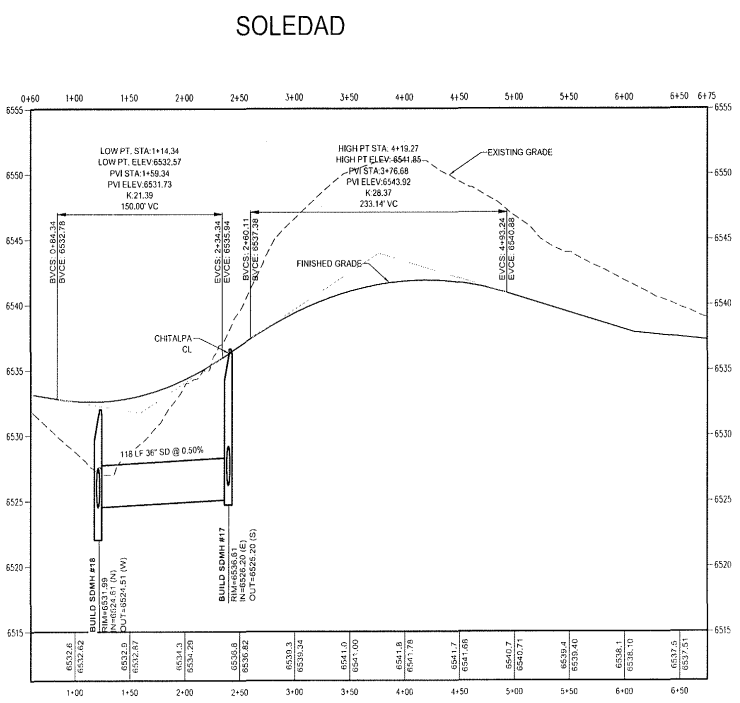
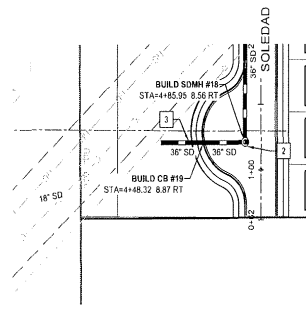
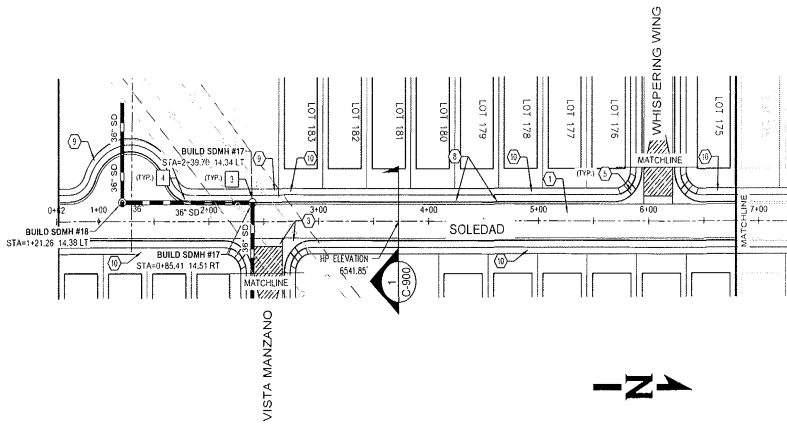
PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 2B
 SHEET TITLE: STORM DRAIN AND ROADWAY
 PLAN & PROFILE - CHITALPA

CITY REVIEW	DATE	DESIGNER	DATE

DEPARTMENT: WATER
 DIVISION: ENGINEERING
 PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2B
 SHEET: STORM DRAIN AND ROADWAY PLAN & PROFILE - CHITALPA
 TITLE: OPEN SPACE
 SUBDIVISION: VISTA DE LA SIERRA

SHEET NO. **C2-208**

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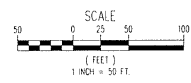


① ROADWAY KEYED NOTES:

1. CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
2. CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
3. CONSTRUCT 6" CONCRETE VALLEY CUTTER PER DETAIL 1, SHEET PAD-4.
4. CONSTRUCT 6" SPECIAL VALLEY CUTTER PER DETAIL 4, SHEET PAD-4.
5. BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
6. CONSTRUCT 10" WIDE SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
7. CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
8. DRIVEWAY CUT BY OTHERS AT LATER DATE.
9. CONSTRUCT 5" WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
10. DEFERRED 5' WIDE CONCRETE SIDEWALK NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
11. CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
12. CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
13. CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
14. BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

① STORM DRAIN KEYED NOTES:

1. CONSTRUCT DROP INLET FOR TYPE "D" CURB PER DETAILS ON SHEETS BDC.
2. CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDC.
3. CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
4. CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW HDPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RBS, DP
 CHECKED BY: JLS, VS, VS
 DATE: 11/09/20
 SCALE: AS NOTED



PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2B
 SHEET NO.: STORM DRAIN AND ROADWAY PLAN & PROFILE - SOLEDAD & SOARING LN TO CUL DE SAC

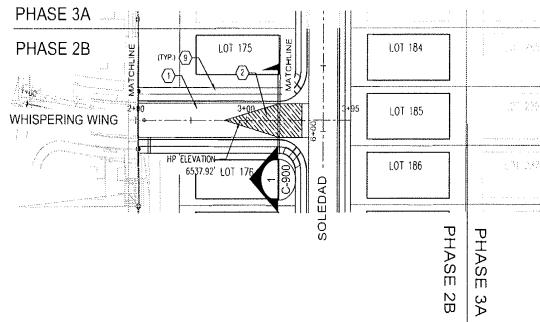
DATE	REVISION	BY	APP.

WATER DEPARTMENT: _____
 PUBLIC WORKS: _____
 ENGINEERING: _____
 LANDSCAPE ARCHITECTURE: _____
 SURVEYING: _____

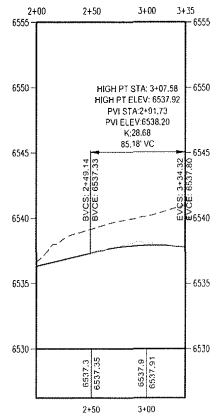
C2-209

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WHISPERING WING

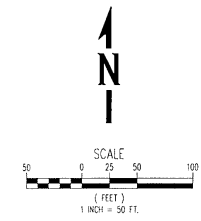


ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT 1MM 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
- CONSTRUCT TEMPORARY CUL-0A-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
- BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

STORM DRAIN KEYED NOTES:

- CONSTRUCT DROP INLET FOR TYPE "D" CURB PER DETAILS ON SHEETS BDC.
- CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDC.
- CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
- CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HDPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



NO.	REVISIONS	BY	APP.	DATE

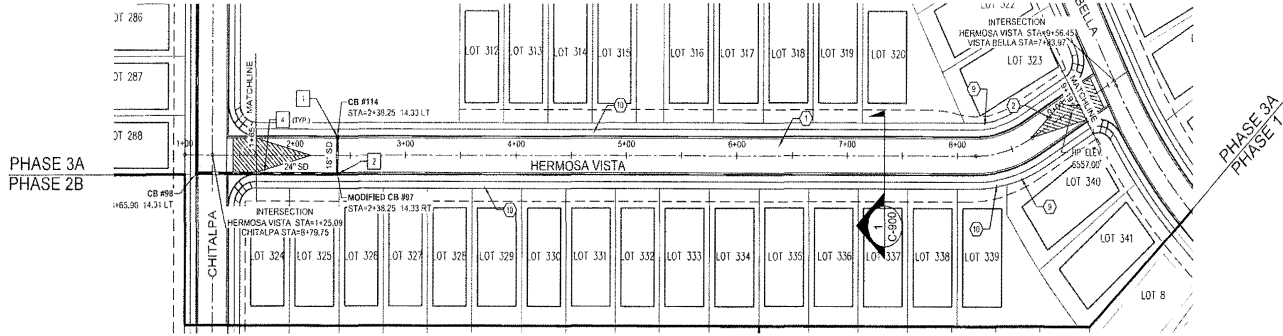
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CHECKED BY:	RB, DP
PROJECT:	100020
DATE:	11/26/20
SCALE:	AS NOTED



PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2B
 SHEET TITLE: ROADWAY PLAN & PROFILE - WHISPERING WING ROAD

CITY REVIEW	DEPARTMENT	DATE
	WASTEWATER	
	WATER	
	ENGINEERING	
	TRAFFIC	
	LANDSCAPE	
	SOILS/GEOTECH	
	LANDSCAPE	
	CONSTRUCTION	
	SUBDIVISION REVIEW	

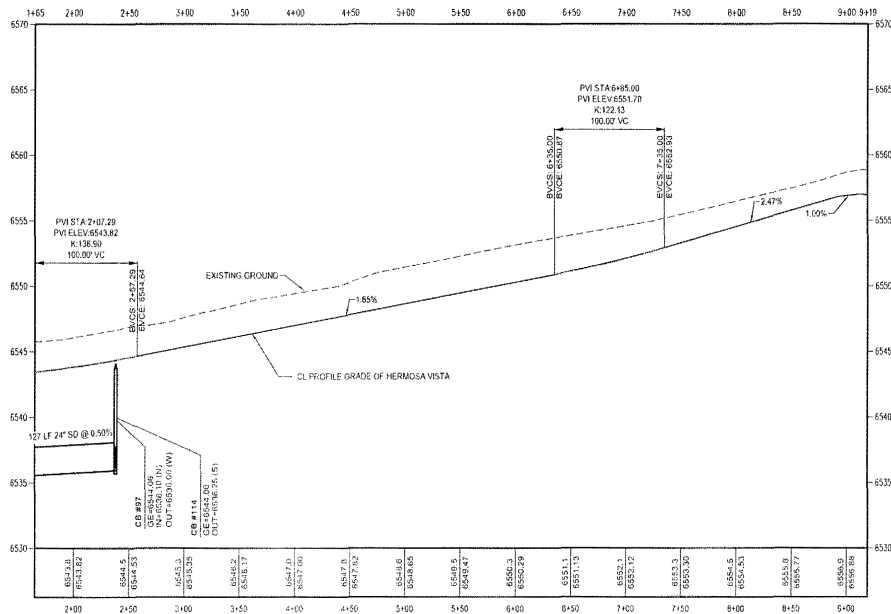
SHEET NO. C2-210



PHASE 3A
PHASE 2B

PHASE 3A
PHASE 2B

HERMOSA VISTA

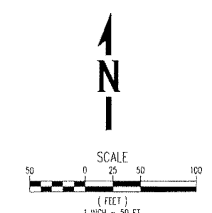


1. ROADWAY KEYED NOTES:

1. CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
2. CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
3. CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
4. CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
5. BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
6. CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
7. CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
8. DRIVEWAY CUT BY OTHERS AT LATER DATE.
9. CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
10. DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
11. CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
12. CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
13. CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
14. BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

1. STORM DRAIN KEYED NOTES:

1. CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS B01C.
2. CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS B01C.
3. CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
4. CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HOPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



WHPacific
6501 American Pkwy, NE, Suite 400
Bellevue, WA 98004
206.237.0284, Fax 206.237.2852
www.whpacific.com

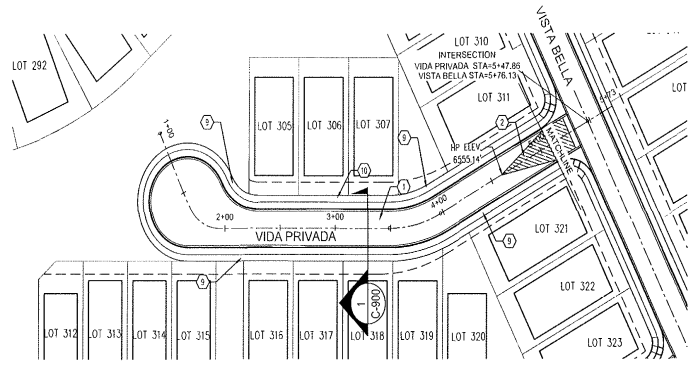
NO.	REVISIONS	BY	APP.	DATE

PROJECT:	VISTA DE LA SIERRA
SHEET TITLE:	SUBDIVISION - PHASE 3A
DATE:	11/20/2020
DESIGNED BY:	HEB
CHECKED BY:	HEB
DATE:	11/20/2020
SCALE:	AS SHOWN

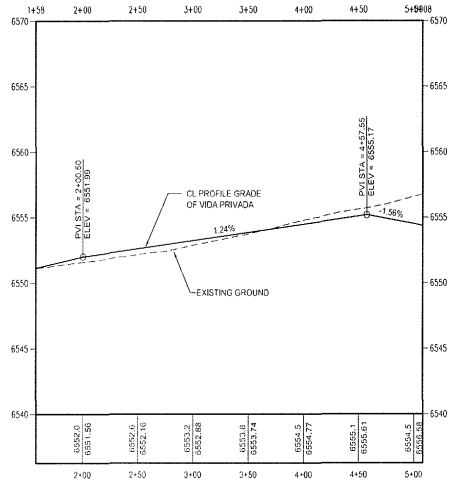
DEPARTMENT:	DATE:
DESIGNED BY:	DATE:
CHECKED BY:	DATE:
DATE:	DATE:
DATE:	DATE:
DATE:	DATE:

C3-202

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VIDA PRIVADA

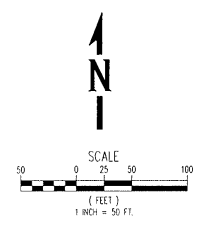


ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
- CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
- BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

STORM DRAIN KEYED NOTES:

- CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS B01C.
- CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS B01C.
- CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
- CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HDPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



NO.	REVISIONS	BY	APP.	DATE

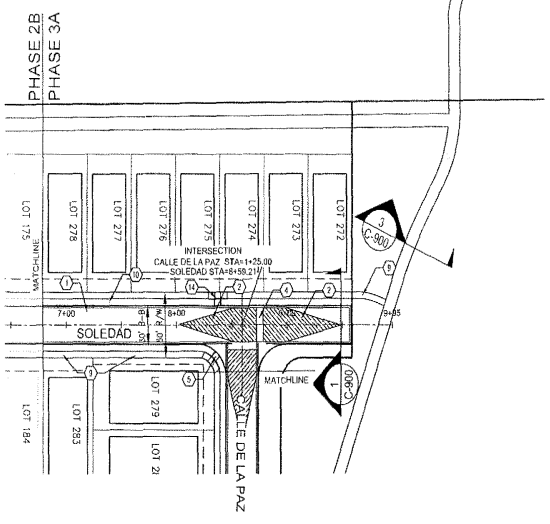
DESIGNED BY: REB/BJ
 DRAWN BY: JS/BJ
 CHECKED BY: JS/BJ
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 SCALE: AS SHOWN



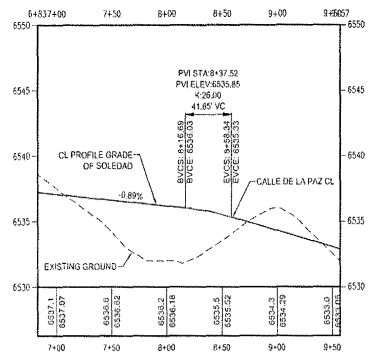
PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 3A
 SHEET TITLE: STORM DRAIN & ROADWAY PLAN & PROFILE - VIDA PRIVADA

DEPARTMENT	DATE	REVIEW	BY	DATE
PLANNING				
ENGINEERING				
INSPECTION				
PERMITS				
TRAFFIC/OPEN SPACE				
SUBDIVISION REVIEW				

SHEET NO. C3-203



SOLEDAD

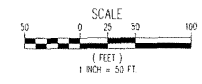
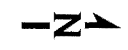


ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' W/OE CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-302.
- CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
- BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

STORM DRAIN KEYED NOTES:

- CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS 801C.
- CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS 801C.
- CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
- CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HDPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



WHPacific
 6557 Alameda Place, NE, Suite 403
 Albuquerque, NM 87110
 Phone: (505) 257-6644
 www.whpacific.com

NO.	REVISIONS	BY	DATE	STATUS

PROJECT: 11000200
 DATE: 11/08/2020
 CHECKED BY: [blank]
 SCALE: [blank]



PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3A
 SHEET TITLE: STORM DRAIN & ROADWAY PLAN & PROFILE - SOLEDAD

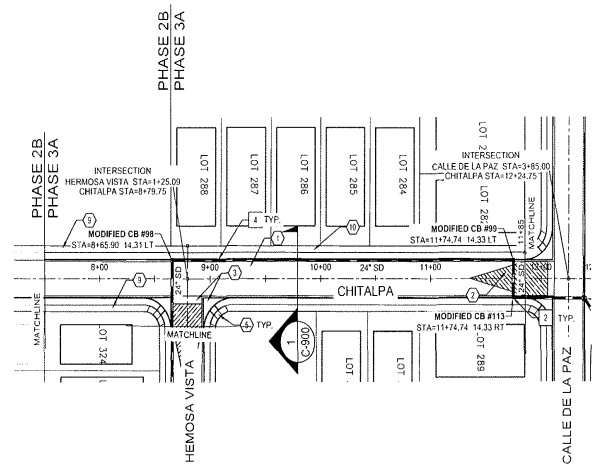
DEPARTMENT	DATE	REVISIONS	BY	DATE
WASTEWATER				
WATER				
HYDRAULIC ENGINEERING				
TRAVEL DEPARTMENT				
SOLID WASTE				
TRAFFIC SIGNALS				
TRAVEL DEPARTMENT				

SHEET NO. **C3-204**

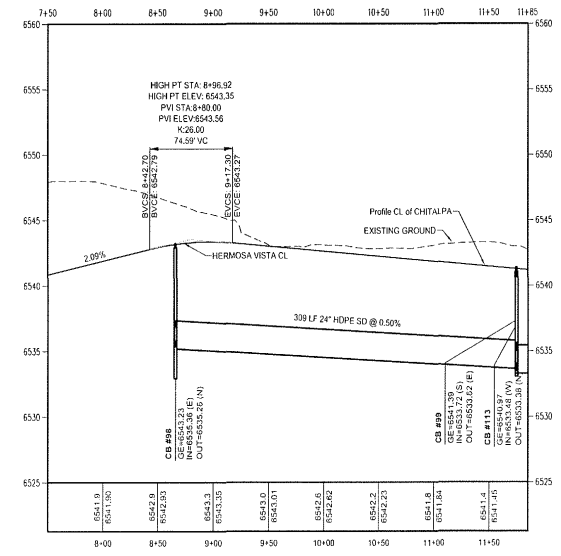
CASE/PERMIT NO. S-2020-2642

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CHITALPA

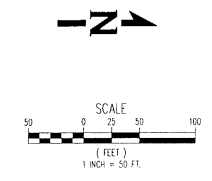


ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT 2"X 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT PART OF THIS CONTRACT, BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
- CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
- BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

STORM DRAIN KEYED NOTES:

- CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDC.
- CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDC.
- CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
- CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HOPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



NO.	REVISIONS	BY	DATE

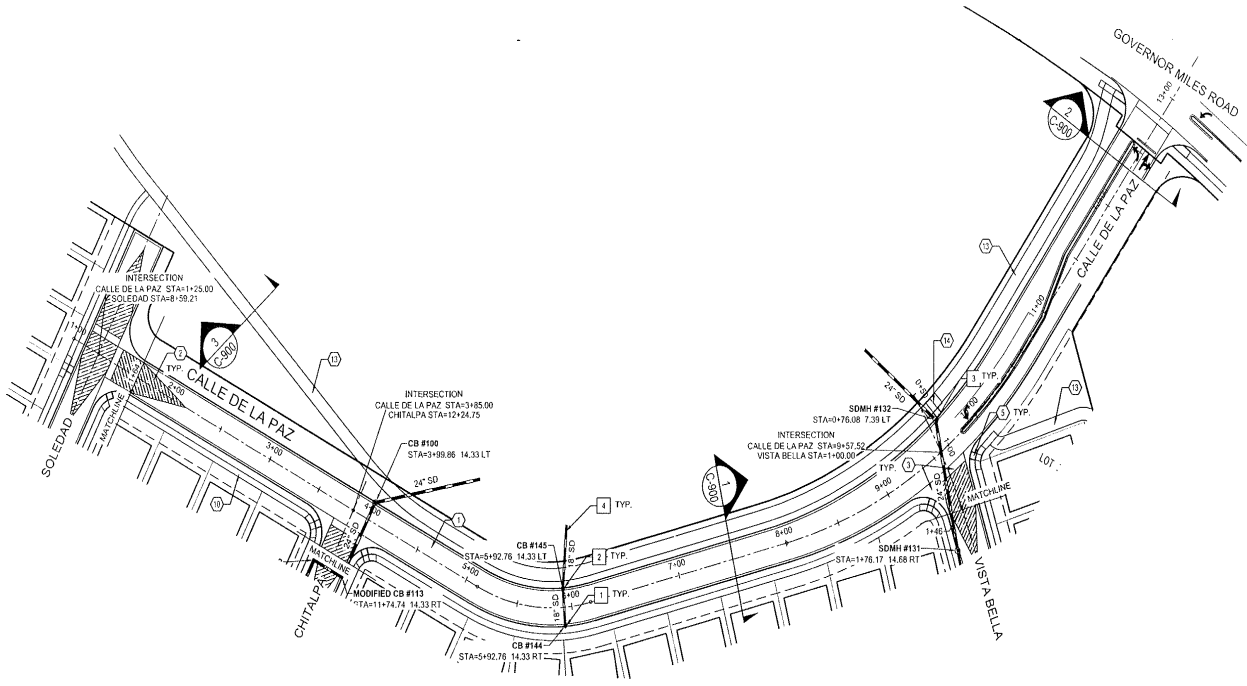


PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 3A
 SHEET TITLE: STORM DRAIN & ROADWAY PLAN & PROFILE - CHITALPA

CITY REVIEW	SIGN-OFF	DATE

DEPARTMENT	REVIEW
WASTEWATER	
WATER	
TRAFFIC	
PLANNING	
PERMITS	
LANDSCAPE	
TRAILS / OPEN SPACE	
UTILITIES	
CONSTRUCTION REVIEW	

SHEET NO. C3-205



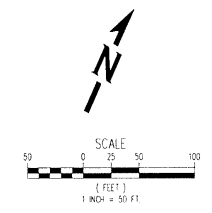
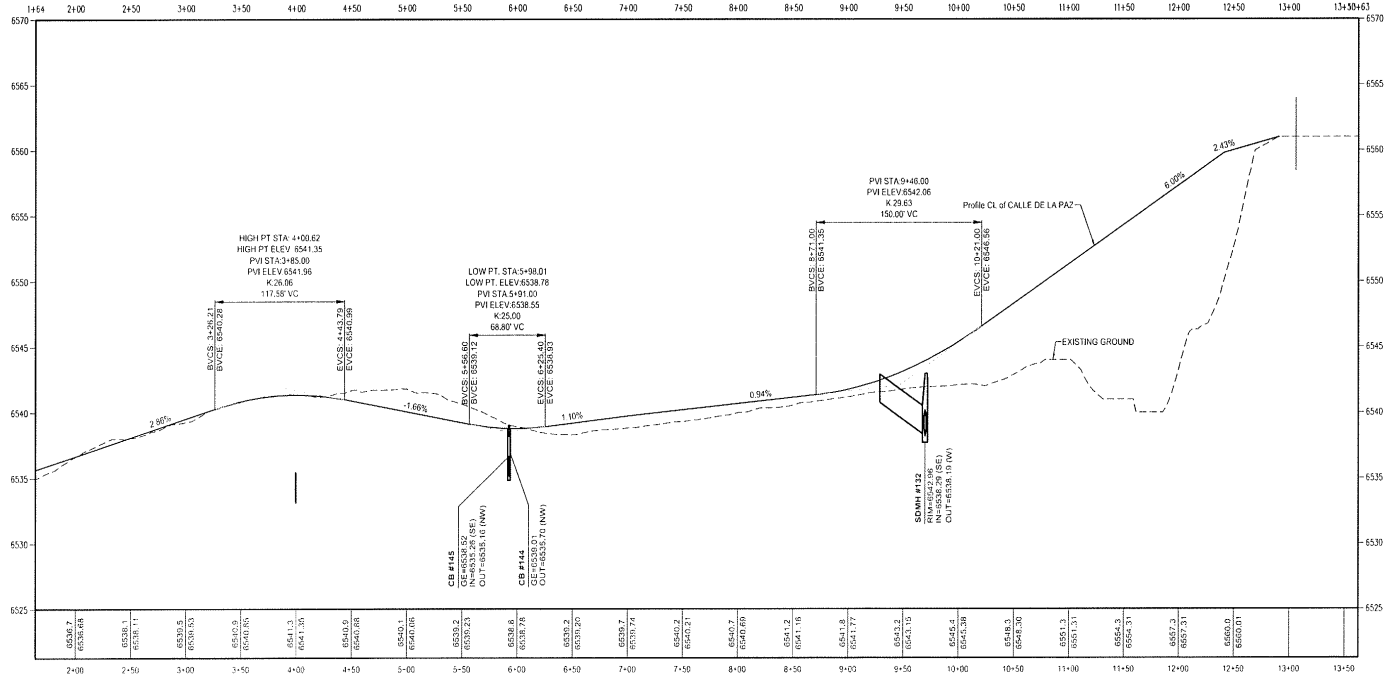
CALLE DE LA PAZ

ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6' CONCRETE VALLEY OUTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6' SPECIAL VALLEY OUTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 6' WIDE CONCRETE SIDEWALK, NOT PART OF THIS CONTRACT, BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
- CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
- BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

STORM DRAIN KEYED NOTES:

- CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDIC.
- CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDIC.
- CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
- CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HDPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



NO.	REVISIONS	BY	APP'D.	DATE

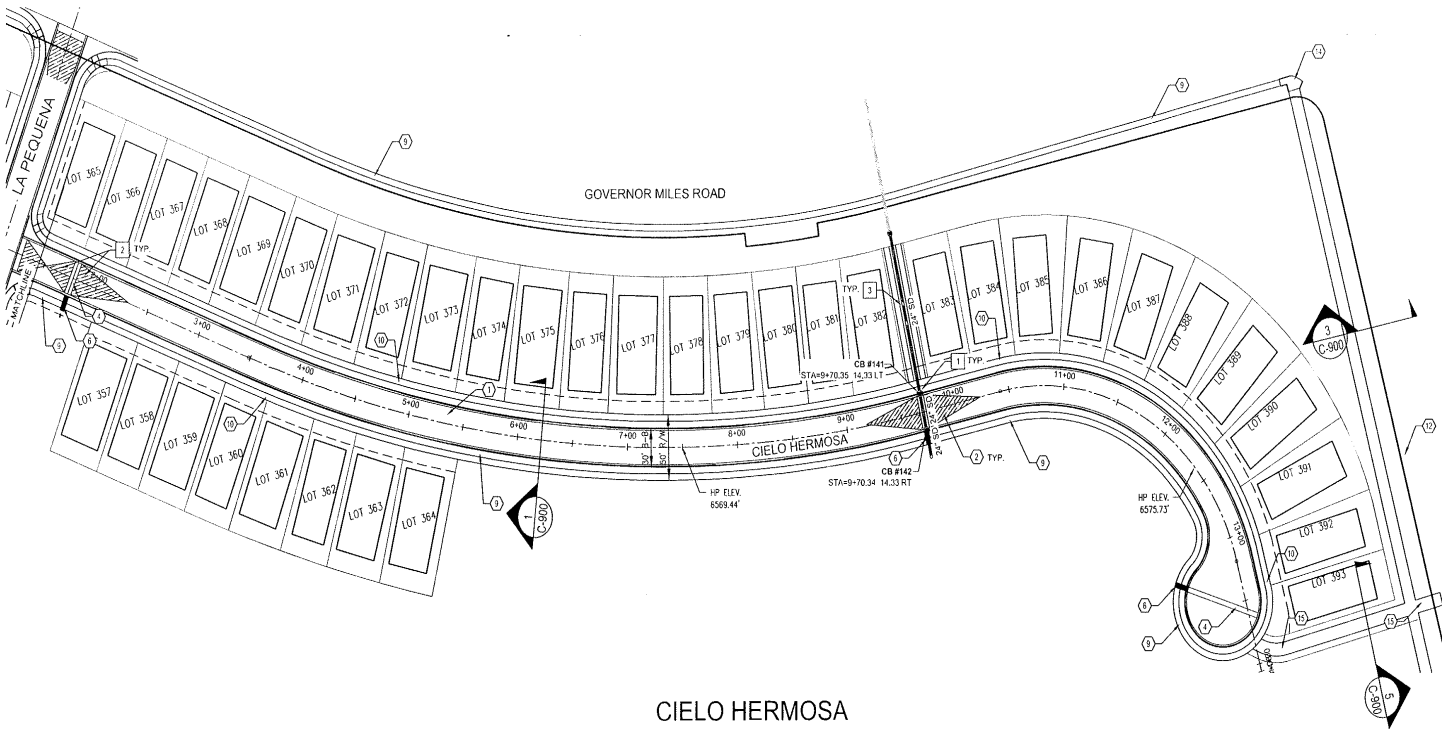


VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3A
 STORM DRAIN & ROADWAY PLAN
 & PROFILE - CALLE DE LA PAZ

DEPARTMENT	DATE	SIGN-OFF
WASTEWATER		
WATER ENGINEERING		
TRAFFIC		
FIRE DEPARTMENT		
LANDSCAPE		
TRANSIT OPER. SPACE		
ENVIRONMENTAL SERVICES		

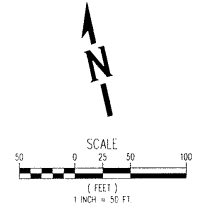
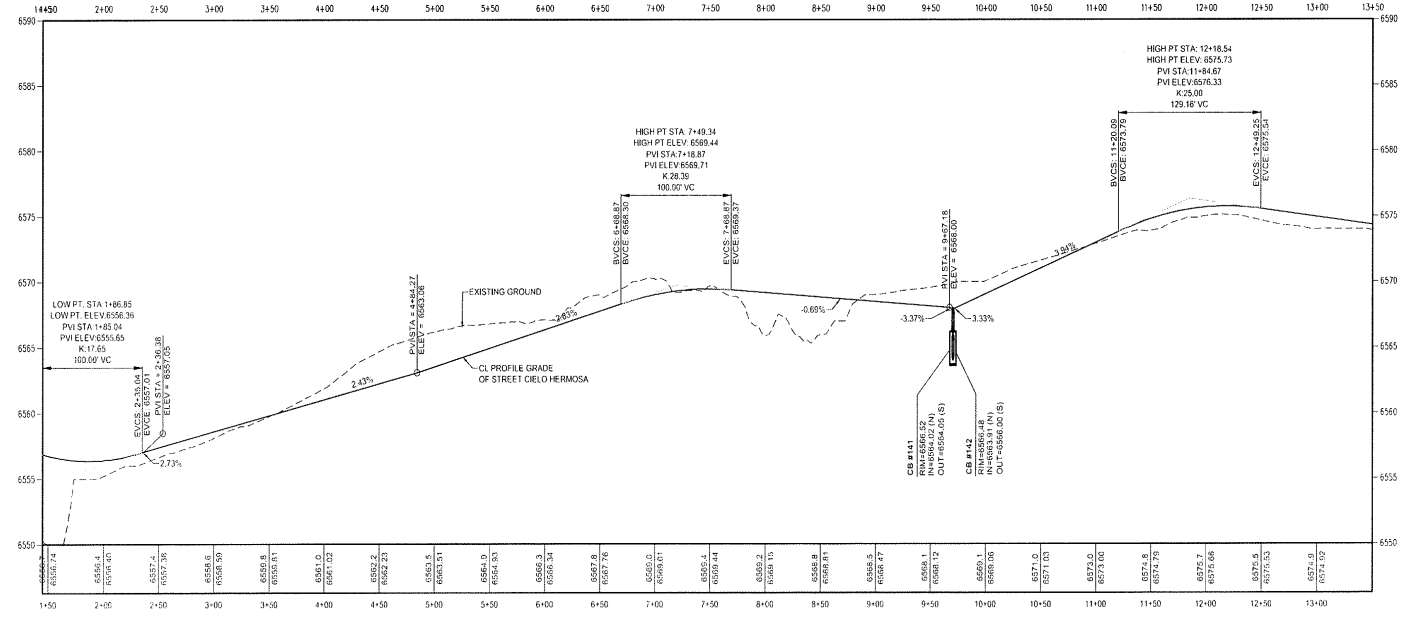
SHEET NO. **C3-206**

© Columbia: Chitalpa_Coverage(2520) 15.02.2020 06:08:26 Columbia:Chitalpa_Coverage_2642(1)05.DWG-#101_PPhase 3.dwg 11/20/2020 3:02 PM



CIELO HERMOSA

- ① **ROADWAY KEYED NOTES:**
- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
 - CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
 - CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
 - CONSTRUCT 6" SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
 - BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
 - CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
 - CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
 - DRIVEWAY CUT BY OTHERS AT LATER DATE.
 - CONSTRUCT 5" WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
 - DEFERRED 5" WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
 - CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
 - CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
 - CONSTRUCT 10" WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
 - BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
 - INSTALL EMERGENCY ACCESS VEHICULAR GATE OR REMOVABLE BOLLARDS EQUIPPED WITH KNOX BOX RESTRICTED ENTRY SYSTEM. GATE SHALL COMPLY WITH IFC 2009 SECTION D103.5 - FIRE APPARATUS ACCESS ROAD GATE.
- ② **STORM DRAIN KEYED NOTES:**
- CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDC.
 - CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDC.
 - CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
 - CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HDPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



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MAY 14 2008
 NEW MEXICO
 PROFESSIONAL ENGINEER

**VISTA DE LA SIERRA
 SUBDIVISION - PHASE 08**

**STORM DRAIN & ROADWAY PLAN
 & PROFILE- CIELO HERMOSA**

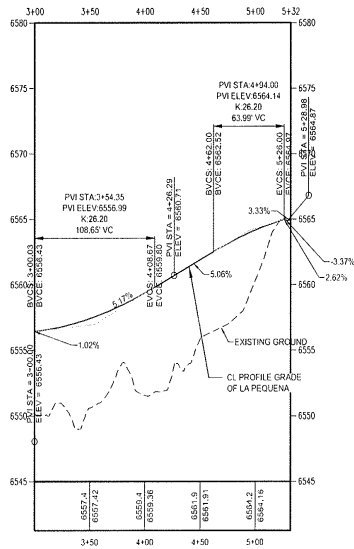
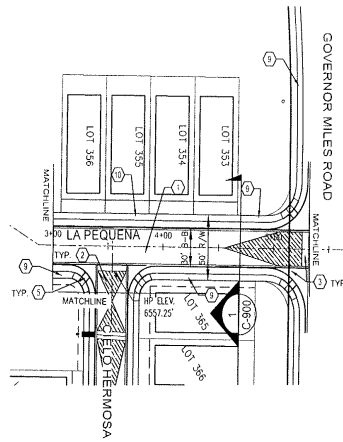
CITY REVIEW	DEPARTMENT	DATE

CITY REVIEW	DEPARTMENT	DATE

PROJECT: **C3-207**
 SHEET TITLE: **STORM DRAIN & ROADWAY PLAN & PROFILE- CIELO HERMOSA**
 SHEET NO.: **C3-207**
 SUBDIVISION: **VISTA DE LA SIERRA**

CASE/PERMIT NO. S-2020-2642

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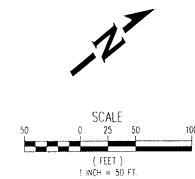


ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6' CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6' SPECIAL VALLEY GUTTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 5' WIDE CONCRETE SIDEWALK. NOT APART OF THIS CONTRACT. BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
- CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-900.
- BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

STORM DRAIN KEYED NOTES:

- CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDC.
- CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS BDC.
- CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
- CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HDPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



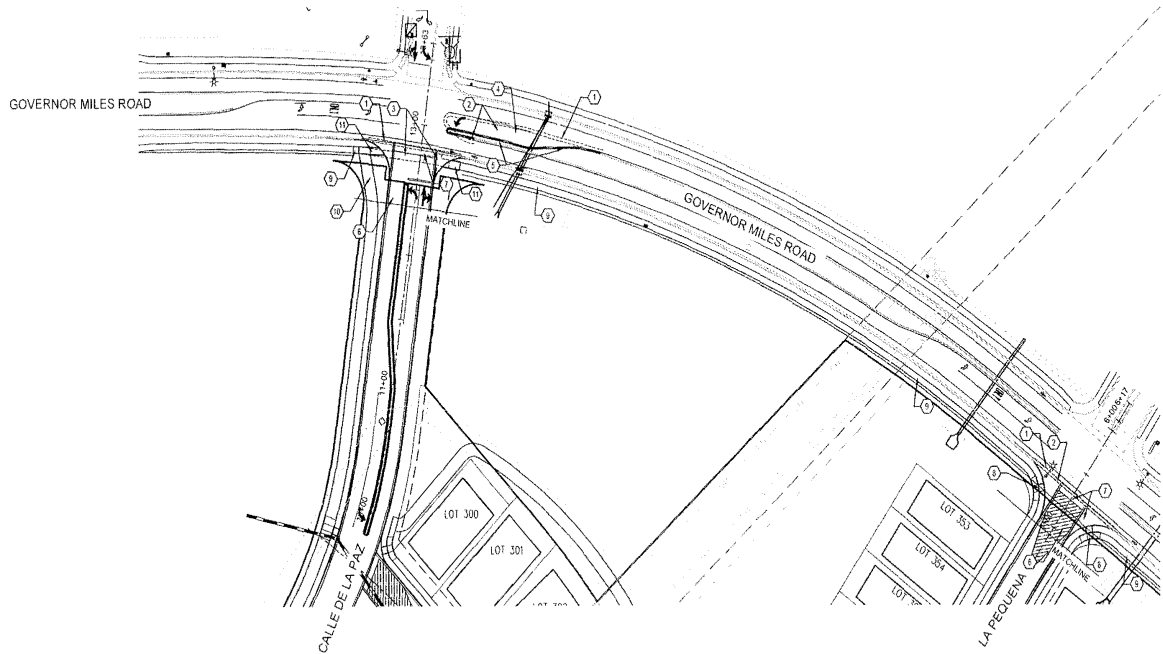
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								11/20/2020	AS SHOWN



PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 08
 SHEET TITLE: STORM DRAIN & ROADWAY PLAN & PROFILE - LA PEQUEÑA

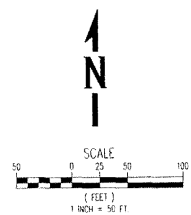
CITY REVIEW	SIGN-OFF	DATE
DEPARTMENT		
WASTEWATER		
WATER		
PAVING/ENGINEERING		
FIRE DEPARTMENT		
LANDSCAPE		
TRANSIT/UTILITIES/SPACE		
SUBDIVISION REVIEW		

SHEET NO. C3-208



KEY ROADWAY NOTES:

1. SAW CUT CLEAN LINE IN PAVEMENT 2' OFF EXISTING CONCRETE GUTTER.
2. REMOVE EXISTING CURB AND GUTTER, PAVEMENT AND MEDIAN MATERIAL FOR PROPOSED TURN LANE.
3. DEMO AND REMOVE EXISTING SIDEWALK, RAMP AND CURB AND GUTTER.
4. CONSTRUCT SINGLE 12' TURN LANE. MATCH EXISTING PAVEMENT THICKNESS.
5. INSTALL CURB AND GUTTER TO MATCH EXISTING TYPE PER NMDOT STANDARD DETAILS.
6. CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' MIN. LENGTH PER DETAIL 3, SHEET PAD-4.
7. CONSTRUCT 6" CONCRETE VALLEY GUTTER PER DETAIL 1, SHEET PAD-4.
8. BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-3 OF 12, SHEET PAD-2.
9. CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
10. CONSTRUCT 10' WIDE MULTI-USE TRAIL PER DETAIL 4, SHEET C-800.
11. BUILD ADA PARALLEL CURB RAMP PER NMDOT DETAIL 608 3 OF 12, SHEET PAD-1.



NO.	REVISIONS	BY	APP.	DATE	AS NOTED



PROJECT: **VISTA DE LA SIERRA
SUBDIVISION - PHASE 3A**
SHEET TITLE: **ROADWAY PLAN
- GOVERNOR MILES ROAD**

DEPARTMENT	CITY REVIEW	SEAL OFF	DATE
WASTEWATER			
ENVIRONMENTAL			
TRAFFIC			
SOLID WASTE			
TRANSIT CORPUS SPALZ			
SUBDIVISION REVIEW			

SHEET NO. **C3-209**

CASE/PERMIT NO. **S-2020-2642**

GENERAL NOTES:

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR DISCREPANT. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

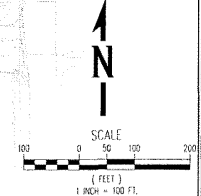
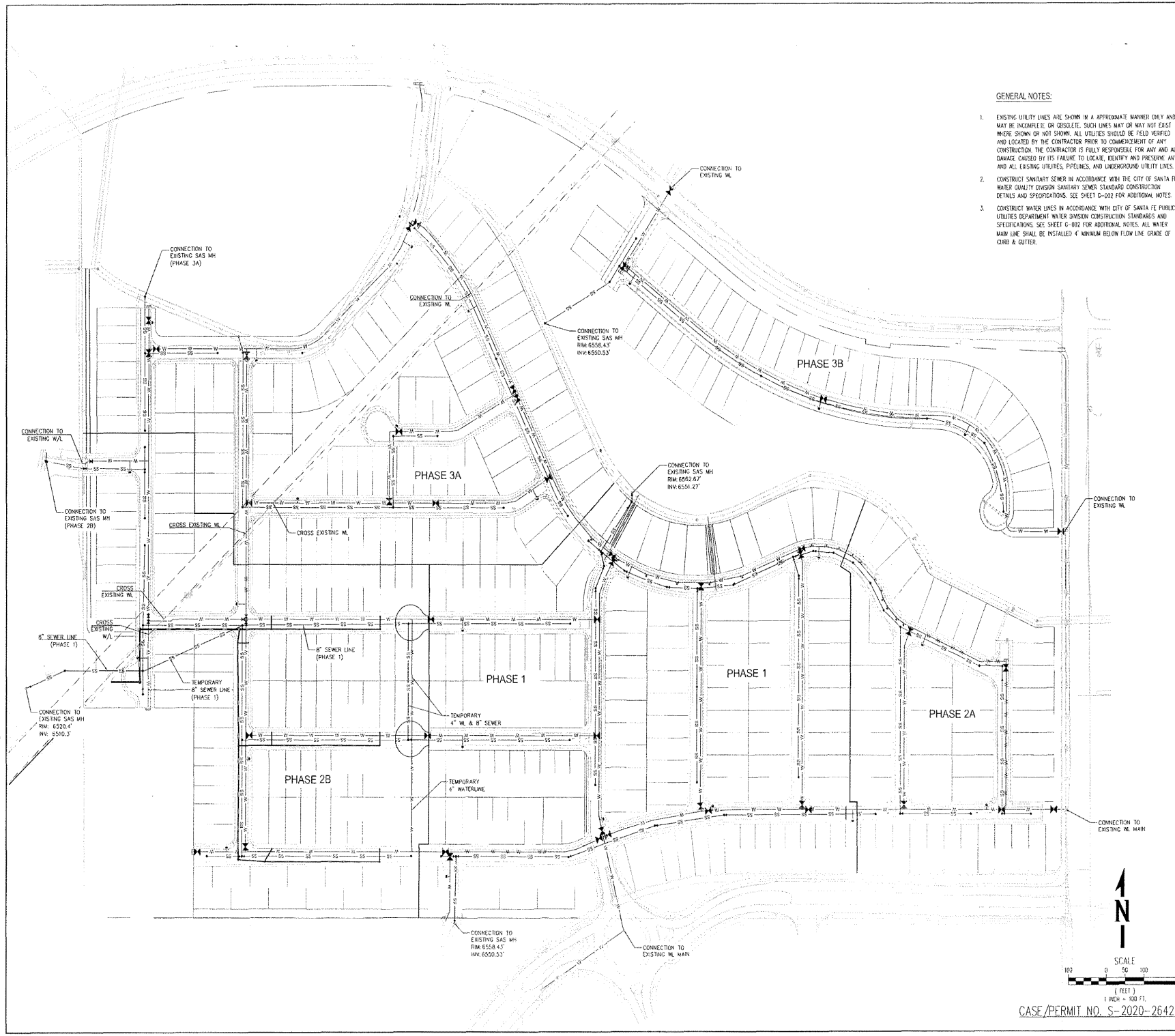
NO.	REVISIONS	BY	APP.	DATE



**VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1, 2 & 3
 SHEET TITLE
 OVERALL WATER & SEWER
 PLAN (ALL PHASE)**

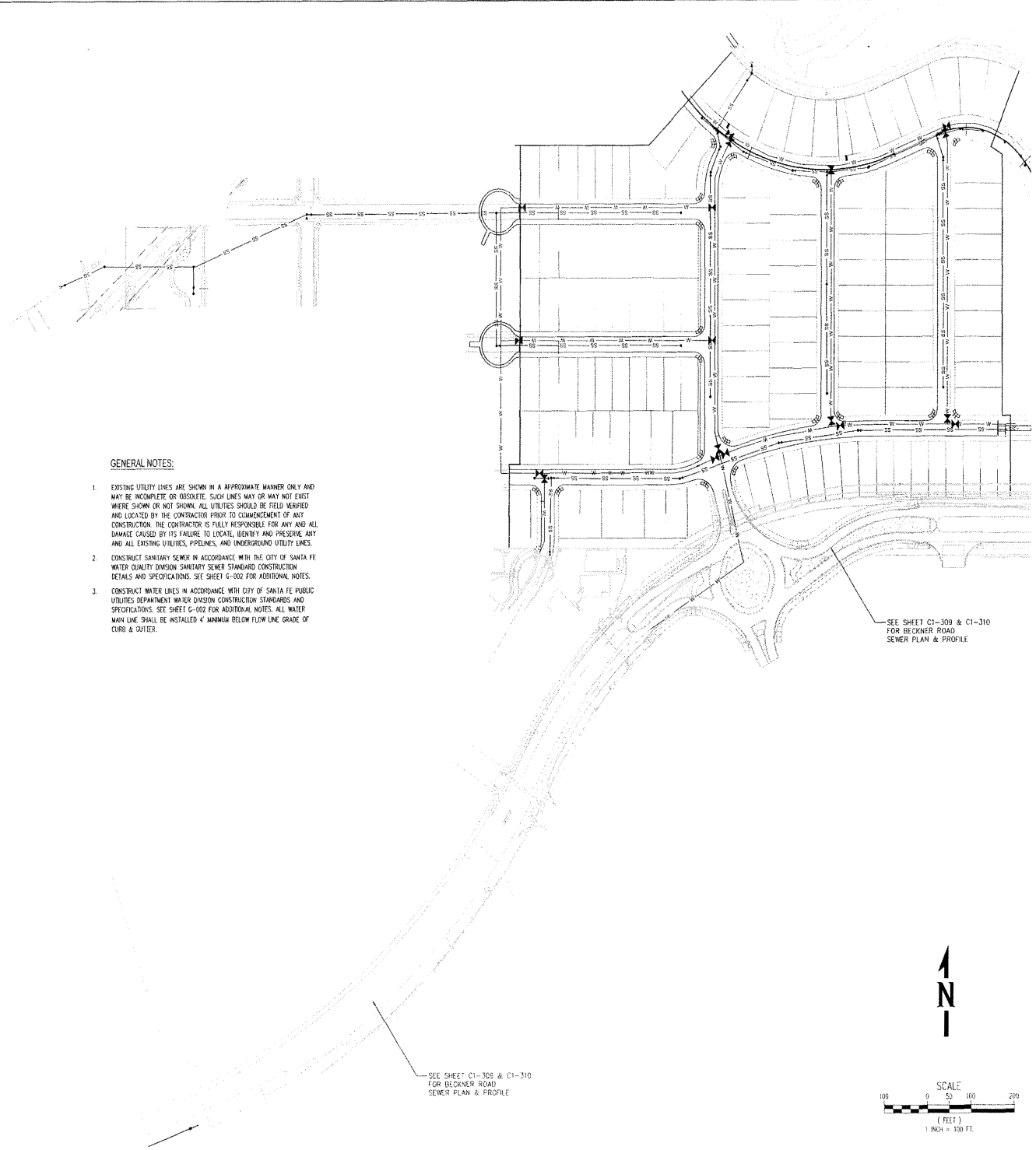
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CITY REVIEW	
DESIGNER	
DRAWN	
CHECKED	
APPROVED	

C-300



CASE/PERMIT NO. S-2020-2642

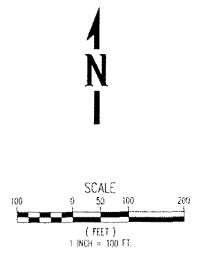
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 - CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SEE SHEET C1-309 & C1-310 FOR BECKNER ROAD SEWER PLAN & PROFILE

SEE SHEET C1-305 & C1-310 FOR BECKNER ROAD SEWER PLAN & PROFILE



850 American Parkway, Suite 400
 Albuquerque, NM 87110
 Phone: 505-842-1445
 www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE

PROJECT: **VISTA DE LA SIERRA SUBDIVISION - PHASE 1**

DESIGNED BY: RB, SZ

DRAWN BY: AS, SZ, A, AG

FILE: OVERALL WATER & SEWER PLAN - PHASE 1

DATE: 11/20/20

CHECKED BY: RB

SCALE: AS NOTED

VISTA DE LA SIERRA SUBDIVISION - PHASE 1

OVERALL WATER & SEWER PLAN - PHASE 1

APPROVED BY	DATE

DEPARTMENT: WATER

DESIGNER: PW ENGINEERING

PROJECT: FIRE DEPARTMENT

SCALE: 1/8" = 1' (OR AS SHOWN)

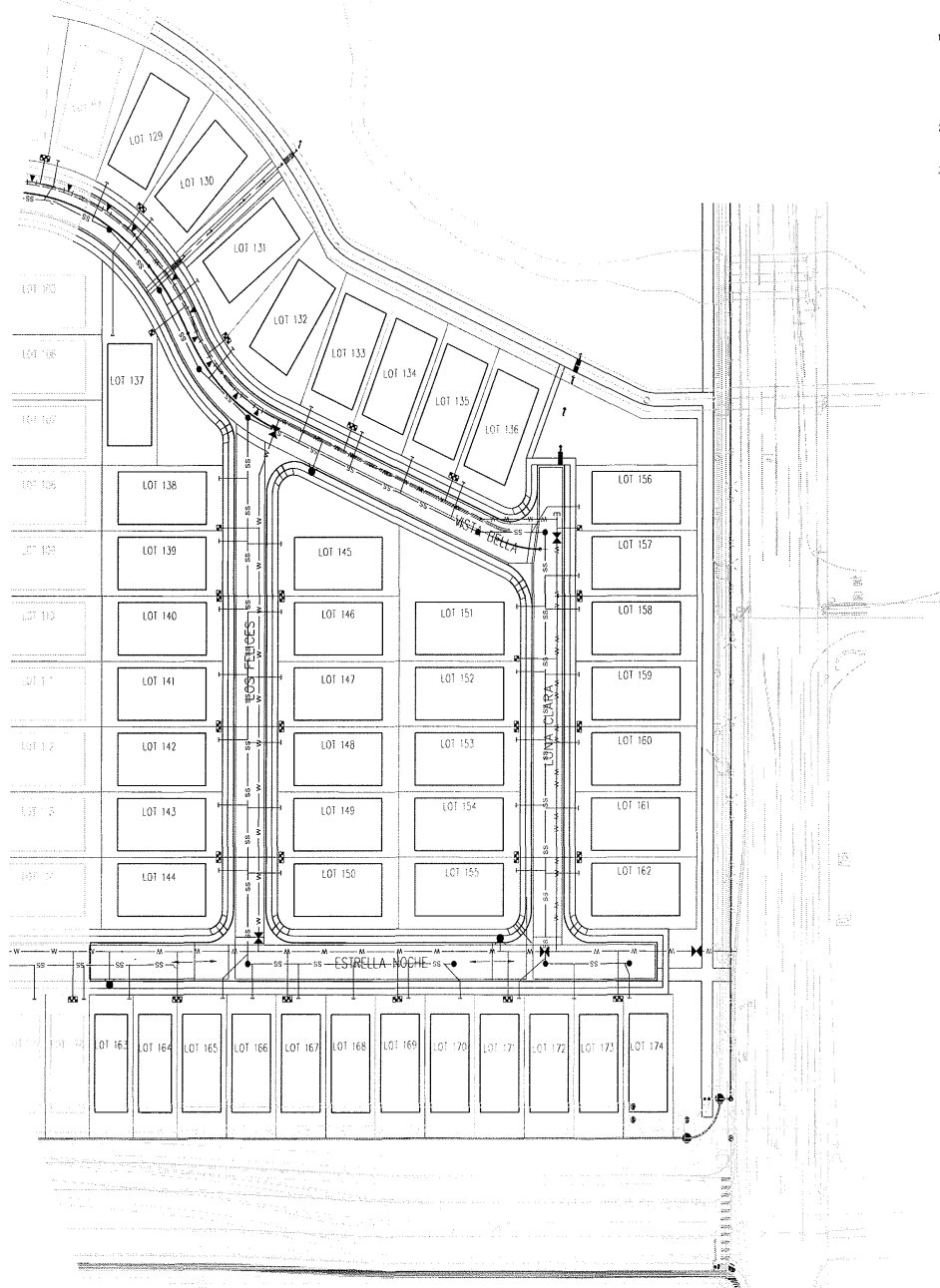
DATE: 11/20/20

PROJECT: VISTA DE LA SIERRA SUBDIVISION, PHASE IV

SHEET NO. **C1-300**

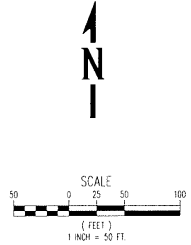
CASE/PERMIT NO. S-2020-2642

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GENERAL NOTES:

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- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.



CASE/PERMIT NO. S-2020-2642



NO.	REVISIONS	BY	DATE

PROJECT:	DESIGNED BY: REB/BJ	DATE:	11/20/20
FILE:	DRAWN BY: JZ / J.L. NC	CHECKED BY: JZ / REB	11/20/20
SCALE:			



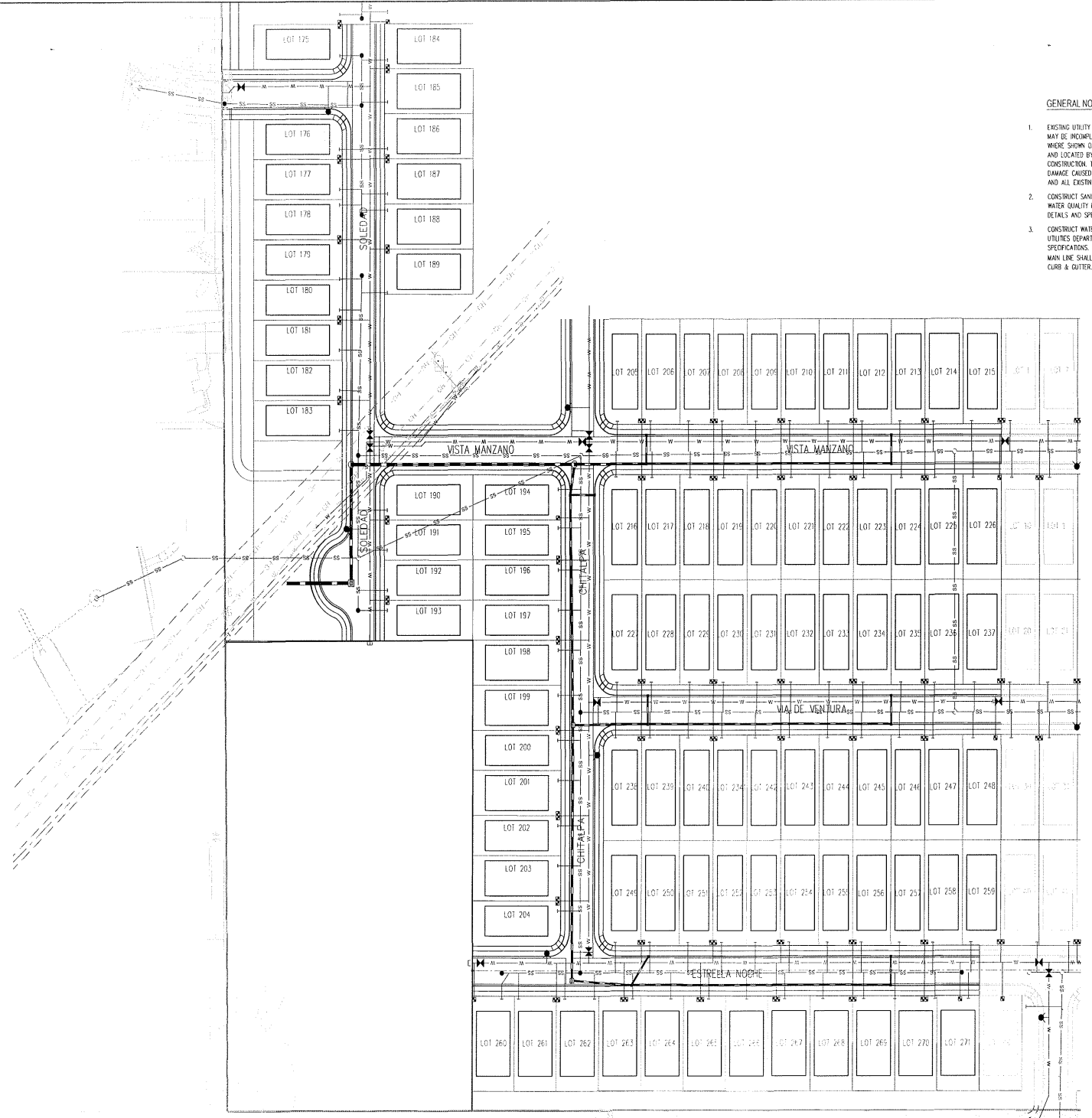
PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2

SHEET TITLE: OVERALL WATER AND SEWER - PHASE 2A

DEPARTMENT	DATE	CITY REVIEW	SIGN-OFF
WASTEWATER			
WATER			
CIVIL ENGINEERING			
FIRE DEPARTMENT			
PLANNING DEPARTMENT			
LANDSAFETY			
TRAILS / OPEN SPACE			
ENGINEERING REVIEW			

SHEET NO. C2-300A

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- GENERAL NOTES:**
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 - CONTRACTOR'S SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
 - CONTRACTOR WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & OUTER.

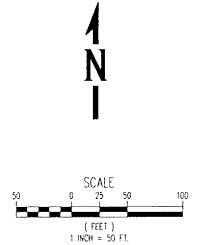
WHPacific
 650 American Pkwy NE, Suite 202
 Albuquerque, NM 87110
 PHONE: 505-762-2845
 WWW.WHPACIFIC.COM

NO.	REVISIONS	BY	DATE
PROJECT:	DESIGNED BY:	REB. GZ	
FILE	DRAWN BY:	J.S. AZ. / J.C. NO.	
DATE	CHECKED BY:	REB.	
SCALE			AS NOTED



PROJECT: **VISTA DE LA SIERRA**
 SUBDIVISION - PHASE 2
 SHEET TITLE: **OVERALL WATER AND SEWER-PHASE 2B**

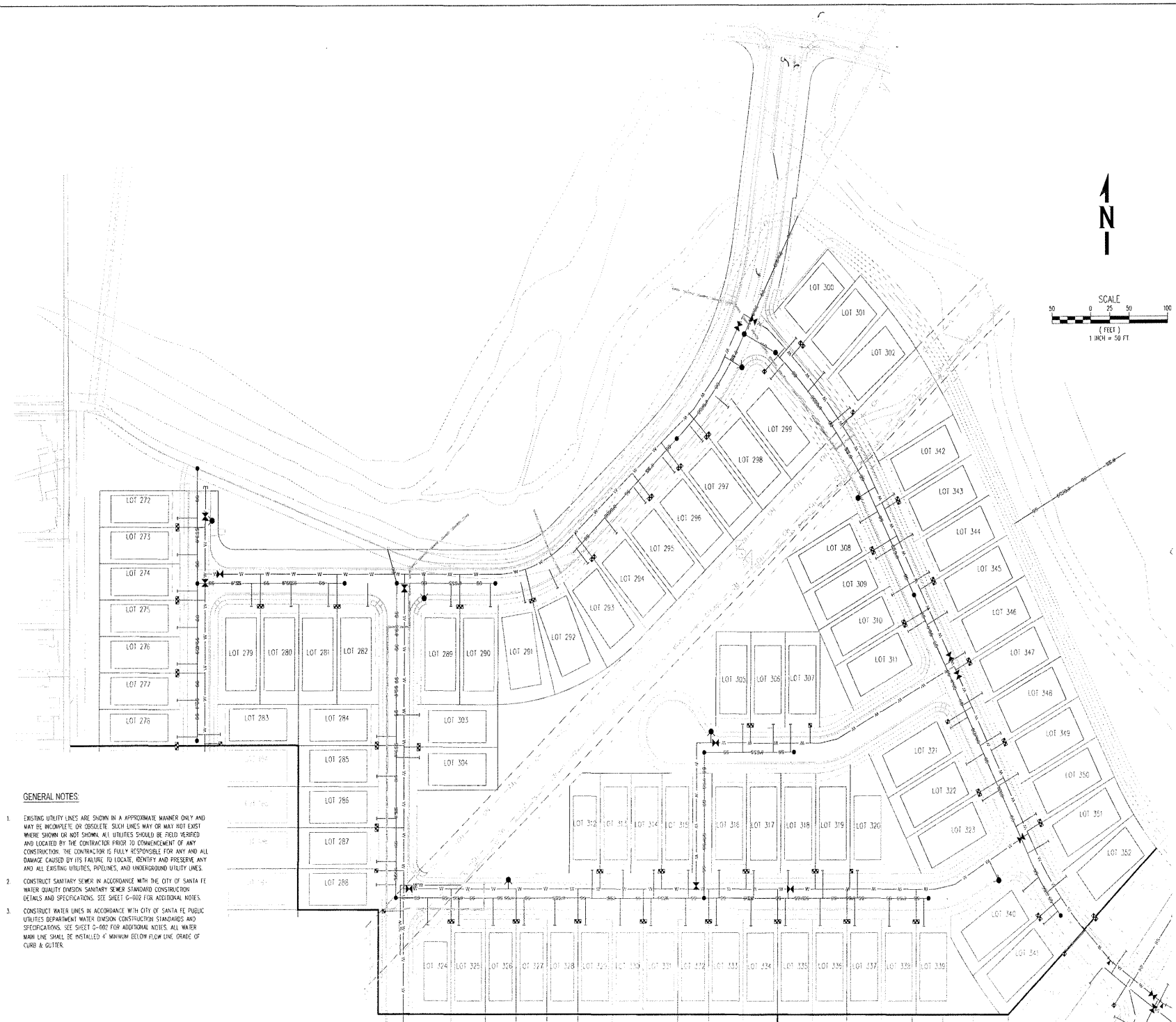
DATE	CITY REVIEW	SIGNOFF
DEPARTMENT		
WATER		
SEWER		
ENGINEERING		
ART DEPARTMENT		
FIELD WASTE		
TRAILS / OPEN SPACE		
SUBDIVISION REVIEW		



CASE/PERMIT NO. S-2020-2642

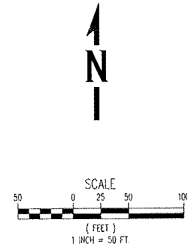
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GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE, DISOBELETE, SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET C-000 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.



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 5501 Avenida Pecos NE, Suite 400
 Denver, CO 80231
 303.754.4204 Fax: 303.754.4845
 www.whpacific.com

NO.	REVISIONS	BY	APP'D	DATE
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FILE:	DRAWN BY: JS, BEZ, JNC			
SCALE:	1"=50'-0"	CHECKED BY:		
DATE:				



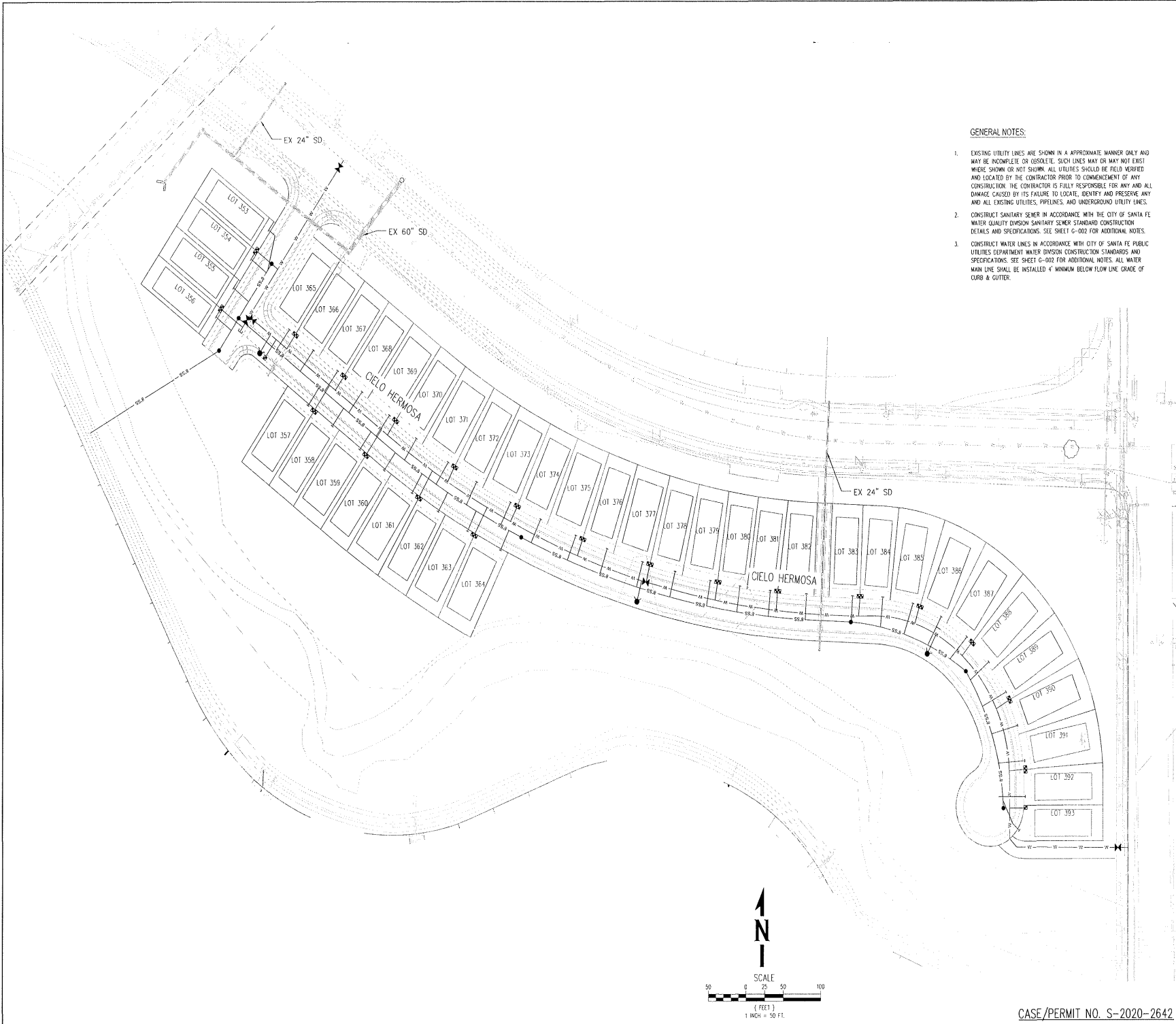
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 SHEET TITLE: **OVERALL WATER AND SEWER-PHASE 3A**

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DESIGNER:	
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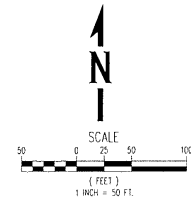
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CASE/PERMIT NO. S-2020-2642

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 - CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
 - CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.



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 8501 American Parkway NE, Suite 400
 5052-2474/2504 FAX 5052-2474-2445
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NO.	REVISIONS	BY	DATE

PROJECT:	DESIGNED BY:	REVISIONS:
FILE:	DRAWN BY:	DATE:
DATE:	CHECKED BY:	DATE:

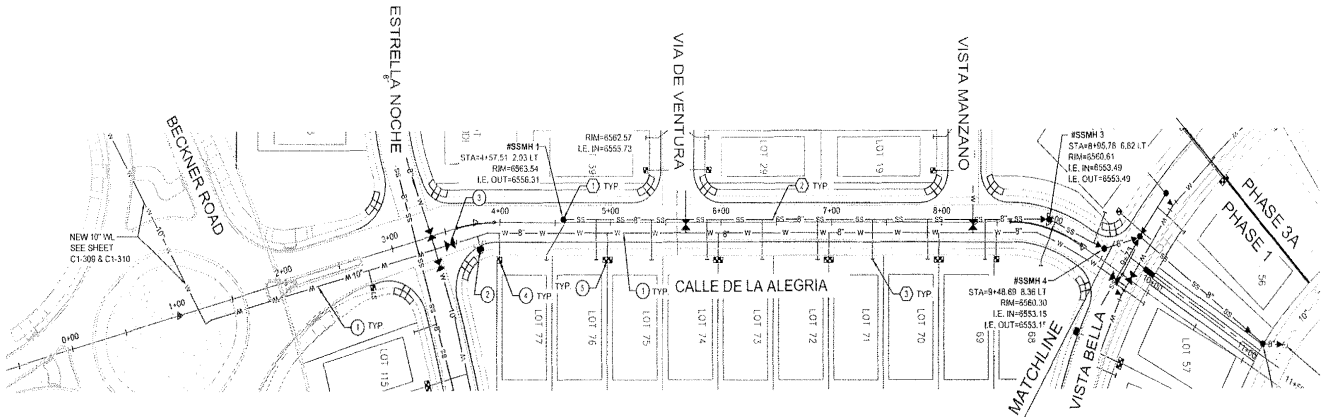


PROJECT: **VISTA DE LA SIERRA**
 SUBDIVISION - PHASE 3
 SHEET TITLE: **OVERALL WATER AND SEWER PLAN - PHASE 3B**

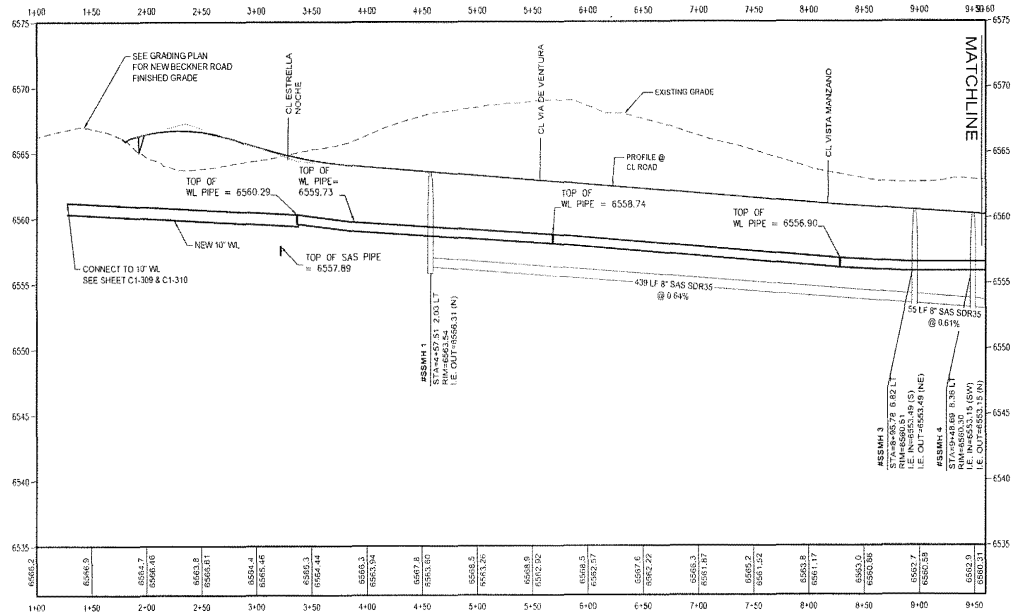
DEPARTMENT	DATE
WATER	
SEWER	
TRAFFIC	
ENGINEERING	
PLANNING	
PERMITS	
LANDSCAPE	
TRAILS / OPEN SPACE	
SUBDIVISION REVIEW	

SHEET NO. **C3-301**

CASE/PERMIT NO. S-2020-2642



CALLE DE LA ALEGRIA



GENERAL NOTES:

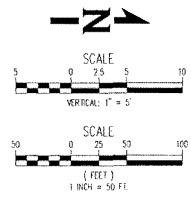
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- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP. E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.

WATER KEYED NOTES:

- INSTALL C-900 PVC WATER LINE PER SDOW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDOW CO. STANDARD DETAIL 07 & 08, SHEET WL-1.
- INSTALL GATE VALVES PER SDOW CO. STANDARD DETAILS 06, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDOW CO. STANDARD DETAIL 02A, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/8" DOUBLE SERVICE METER PER SDOW CO. STANDARD DETAIL 06, SHEET WL-1.
- WATER LINE POINT OF CONNECTION, CONTRACTOR TO FIELD VERIFY EXISTING 10" WL LOCATION AND ELEVATION.



CASE/PERMIT NO. S-2020-2642



NO.	DESCRIPTION	BY	APP'D	DATE

DESIGNED BY: RB, BZ
 DRAWN BY: JS, BE, A, JSC
 DATE: 11/20/20
 CHECKED BY: JN, RD, DL



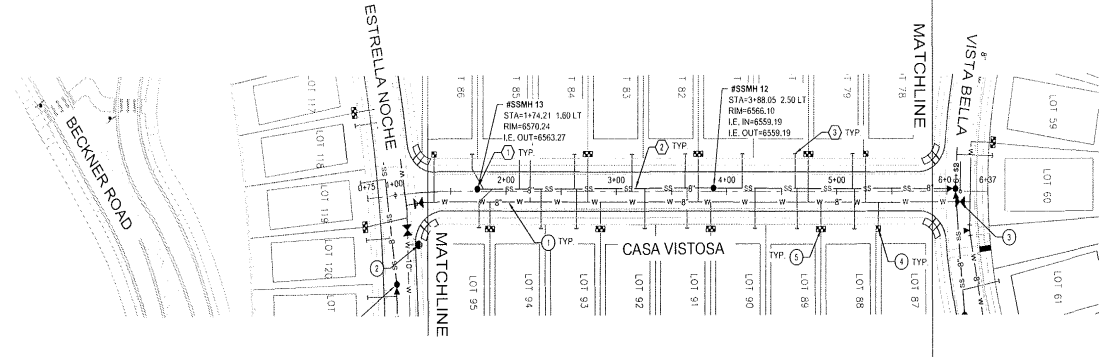
PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 1
 SHEET TITLE: WATER AND SEWER PLAN & PROFILE - CALLE DE LA ALEGRIA

DATE	CITY REVIEW	SCALE	DATE

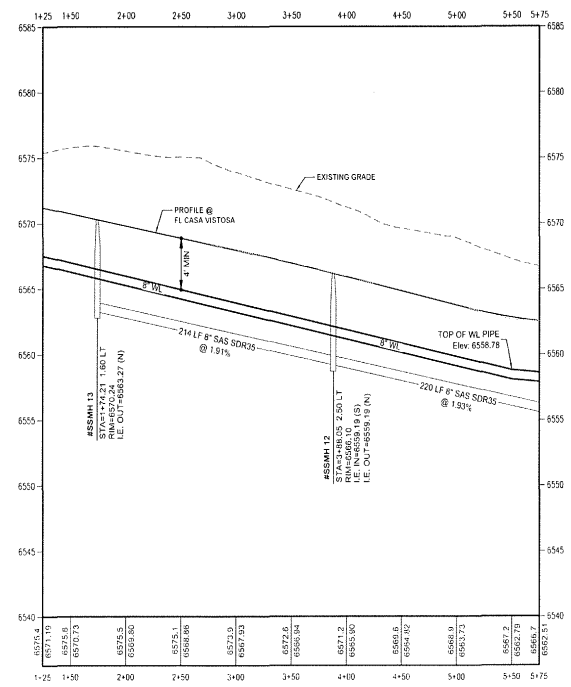
DEPARTMENT: WATER
 DIVISION: WATER
 FIRE DEPARTMENT: WATER
 TOTAL OPEN SPACE: 100%
 SUBDIVISION REVIEW

SHEET NO. C1-301

P:\Corporacion\Cad\Cad\2015\14301000_02\Expositor\Drawings\Civil\Phase 1\43010105_09-C-Utility\pkgs\Phase 1.dwg 11/27/2020 9:03 AM



CASA VISTOSA



GENERAL NOTES:

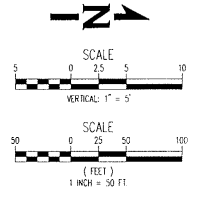
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2, CONTRACTOR TO ADJUST RM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.

WATER KEYED NOTES:

- INSTALL C-900 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS, 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL 07 & 08, SHEET WL-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 08, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDGW CO. STANDARD DETAIL 02A, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDGW CO. STANDARD DETAIL 05, SHEET WL-1.



CASE/PERMIT NO. S-2020-2642

6501 Americas Pkwy NE, Suite 400
Albuquerque, NM 87113
505-242-0204 FAX 505-242-4845
www.whpacific.com

REV	REVISIONS	BY	APP.	DATE

PROJECT: 110020
DESIGNED BY: RLJ/BJZ
DRAWN BY: JLS/JZ
DATE: 11/02/20
CHECKED BY: JLS/BJZ
SCALE: AS SHOWN

REGISTERED PROFESSIONAL ENGINEER
 STATE OF NEW MEXICO
 20088
 CIVIL ENGINEERING

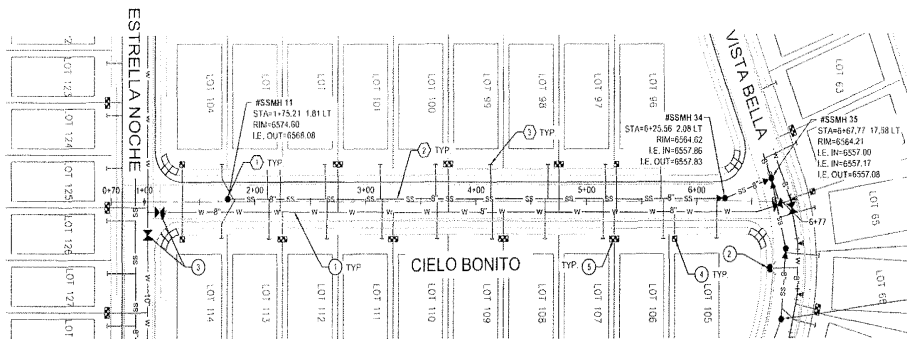
VISTA DE LA SIERRA
SUBDIVISION - PHASE 1

SHEET TITLE
WATER AND SEWER PLAN &
PROFILE - CASA VISTOSA

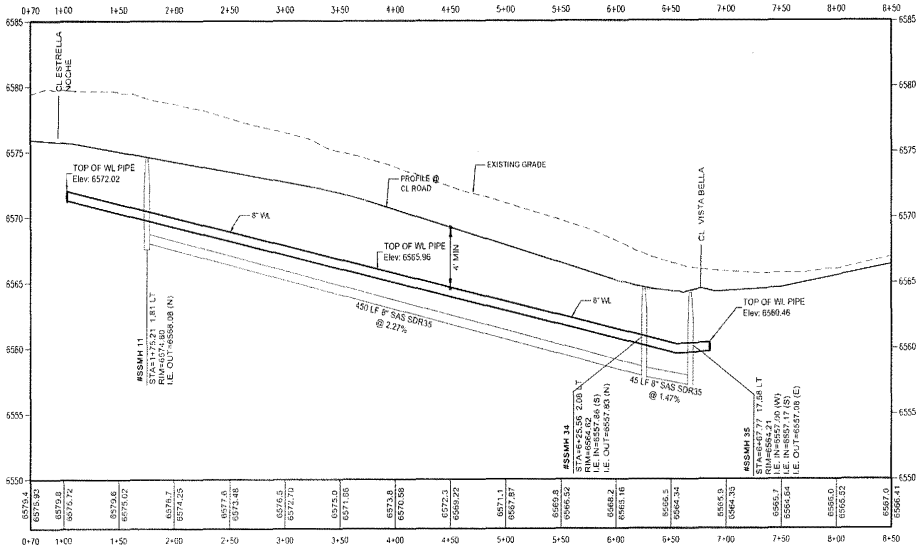
DATE	REVIEW	SDGW OFF

CITY REVIEW: _____
DEPARTMENT: _____
DESIGNER: _____
WATER: _____
SEWER: _____
ENGINEERING: _____
CITY DEPARTMENT: _____
LANDSCAPE: _____
SPECIAL/DIPEN SPACE: _____
CITY DEPARTMENT REVIEW: _____

SHEET NO.
C1-302



CIELO BONITO



GENERAL NOTES:

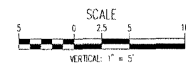
- EXISTING UTILITY LINES ARE SHOWN IN A APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST R/W ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAL SAS 10, SHEET SF-2.

WATER KEYED NOTES:

- INSTALL C-900 PVC WATER LINE PER SDOW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDOW CO. STANDARD DETAIL 07 & 08, SHEET M-1.
- INSTALL DATE VALVES PER SDOW CO. STANDARD DETAILS 06, SHEET M-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDOW CO. STANDARD DETAL 02A, SHEET M-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDOW CO. STANDARD DETAL 06, SHEET M-1.



CASE/PERMIT NO. S-2020-2642



NO.:	REVISIONS:	BY:	DATE:
PROJECT:	DESIGNED BY:	RB, GZ	
DRAWN BY:	DR. J. C. SHAW	11/20/20	
CHECKED BY:	RB		
SCALE:			

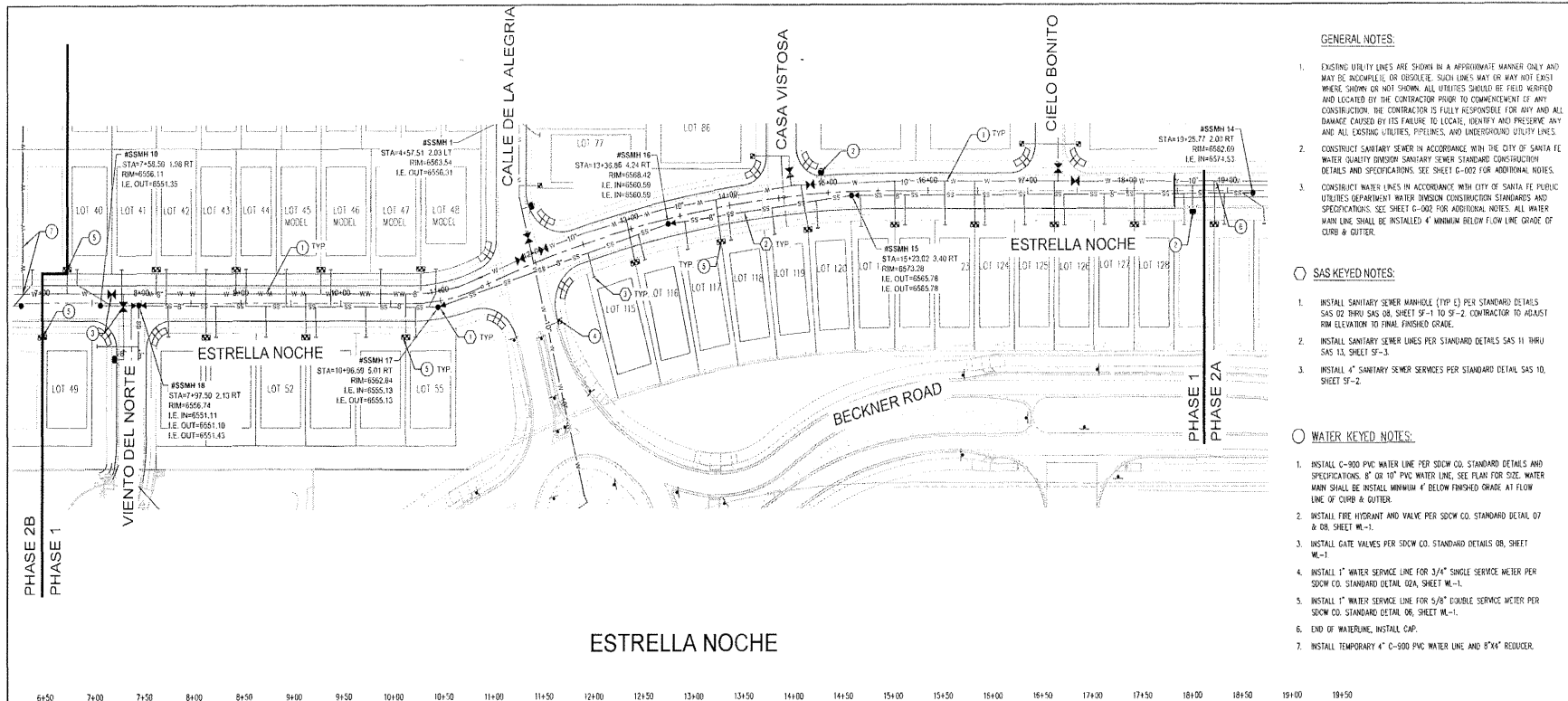


PROJECT:
VISTA DE LA SIERRA
SUBDIVISION - PHASE 1
 SHEET TITLE:
WATER AND SEWER PLAN & PROFILE - CIELO BONITO

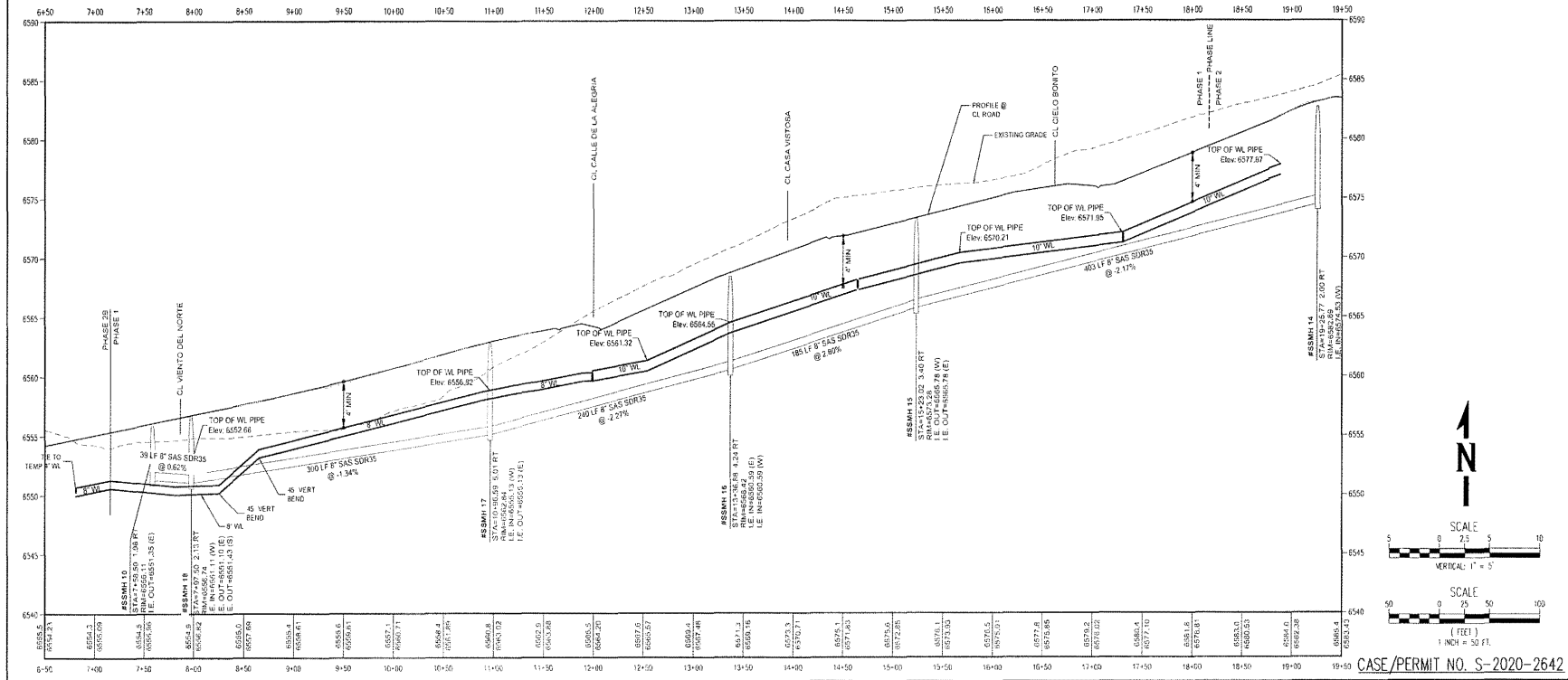
CITY/TOWN:	DATE:
DEPARTMENT:	SECTION/OF:
DESIGNED BY:	DATE:
DRAWN BY:	DATE:
CHECKED BY:	DATE:
SCALE:	DATE:
APPROVED BY:	DATE:

SHEET NO.
C1-303

P:\Columns Capital\Commuter\22019a\400160-000160-SNE\exhib\Boving\DWG\Phase 1\AD0705.00-C1-Rly.PE\PS1_P\Phase 1.dwg, 11/27/2020 3:05:PM



ESTRELLA NOCHE



GENERAL NOTES:

1. EXISTING UTILITY LINES ARE SHOWN IN A HYPOTHETICAL MANNER ONLY AND MAY BE INCOMPLETE OR DISCRETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, VERIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
3. CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FINISH GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

1. INSTALL SANITARY SEWER MANHOLE (TYP. E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET 5F-1 TO 5F-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
2. INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET 5F-1.
3. INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAILS SAS 10, SHEET 5F-2.

WATER KEYED NOTES:

1. INSTALL C-900 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE, SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
2. INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL 07 & 08, SHEET W-1.
3. INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 08, SHEET W-1.
4. INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE WATER PER SDGW CO. STANDARD DETAIL 02A, SHEET W-1.
5. INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE WATER PER SDGW CO. STANDARD DETAIL 06, SHEET W-1.
6. END OF WATERLINE, INSTALL CAP.
7. INSTALL TEMPORARY 4" C-500 PVC WATER LINE AND 8"x4" REDUCER.

WHPacific

6501 American Hwy. NE, Suite 400
Bellevue, WA 98004
509.247.2224 FAX: 509.247.2845
www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE	

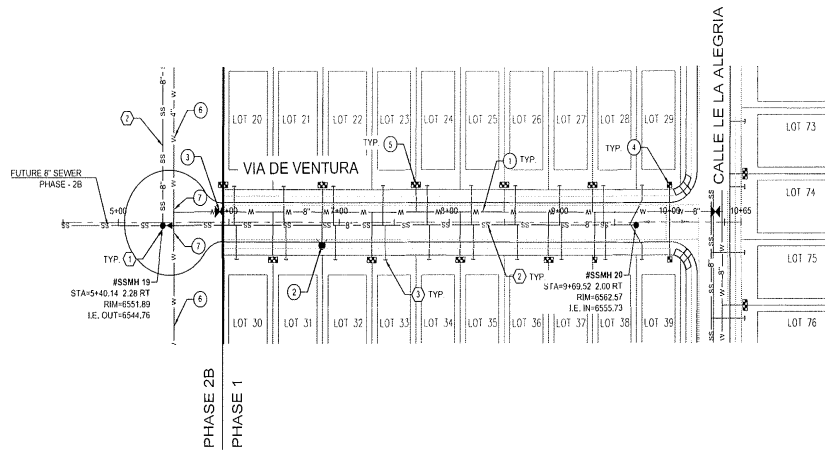
VISTA DE LA SIERRA
SUBDIVISION - PHASE 1

WATER AND SEWER PLAN &
PROFILE - ESTRELLA NOCHE

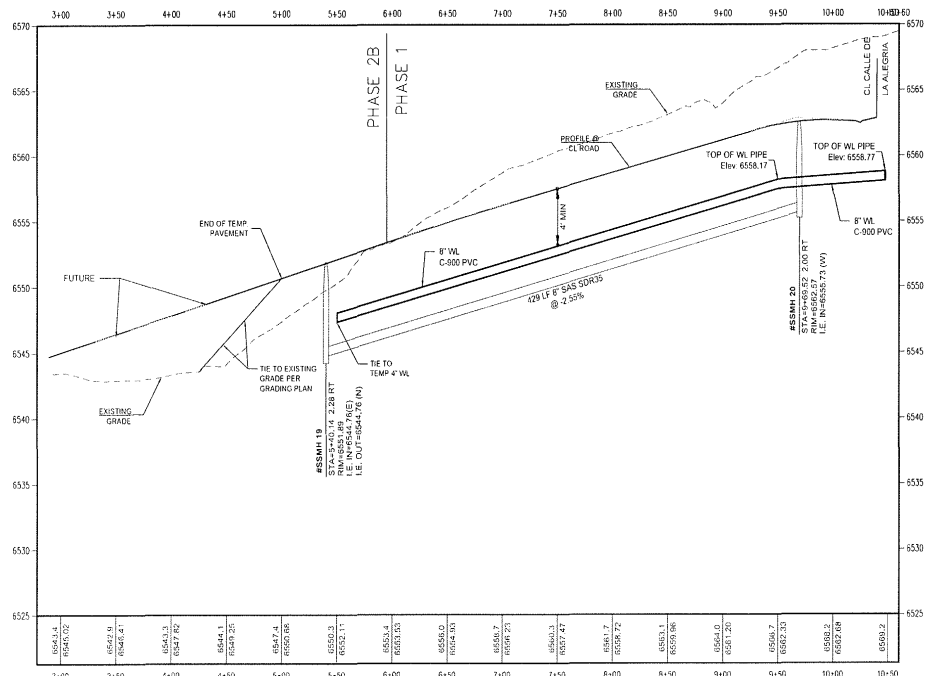
PROJECT	DATE	CITY REVIEW	SIGN-OFF

C1-304

CASE/PERMIT NO. S-2020-2642



VIA DE VENTURA



GENERAL NOTES:

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4" MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.

WATER KEYED NOTES:

- INSTALL C-900 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALL MINIMUM 4" BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL 07 & 08, SHEET WL-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 08, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDGW CO. STANDARD DETAIL 02A, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDGW CO. STANDARD DETAIL 08, SHEET WL-1.
- INSTALL TEMPORARY 4" C-900 PVC WATER LINE FOR PHASE-1.
- INSTALL 8"x4" REDUCER.

550 Alameda Parkway, Suite 500
 Broomfield, CO 80020
 Phone: 303-247-0284 Fax: 303-242-2842
 www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE
PROJECT:		DESIGNED BY:		RE: B.Z.
DATE:		DRAWN BY:		SE: A. MC
SCALE:		CHECKED BY:		AS NOTED

VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 WATER AND SEWER PLAN &
 PROFILE - VIA DE VENTURA

CITY REVIEW	SIGN-OFF	DATE	
WASTEWATER DEPARTMENT			SHEET NO. <h1 style="font-size: 2em;">C1-305</h1>
WATER DEPARTMENT			
TRAFFIC ENGINEERING			
FIRE DEPARTMENT			
LANDSCAPE ARCHITECTURE			
TRAILS-OPEN SPACE CONSTRUCTION DEPT.			

SCALE: 1" = 5'

(FEET)
1 INCH = 50 FT.

CASE/PERMIT NO. S-2020-2642

REVISIONS	
NO.	BY ACP / DATE

PROJECT	DESIGNED BY	RS, BL
FILE	DRAWN BY	JR, SL, NE
SCALE	CHECKED BY	AS/MLD

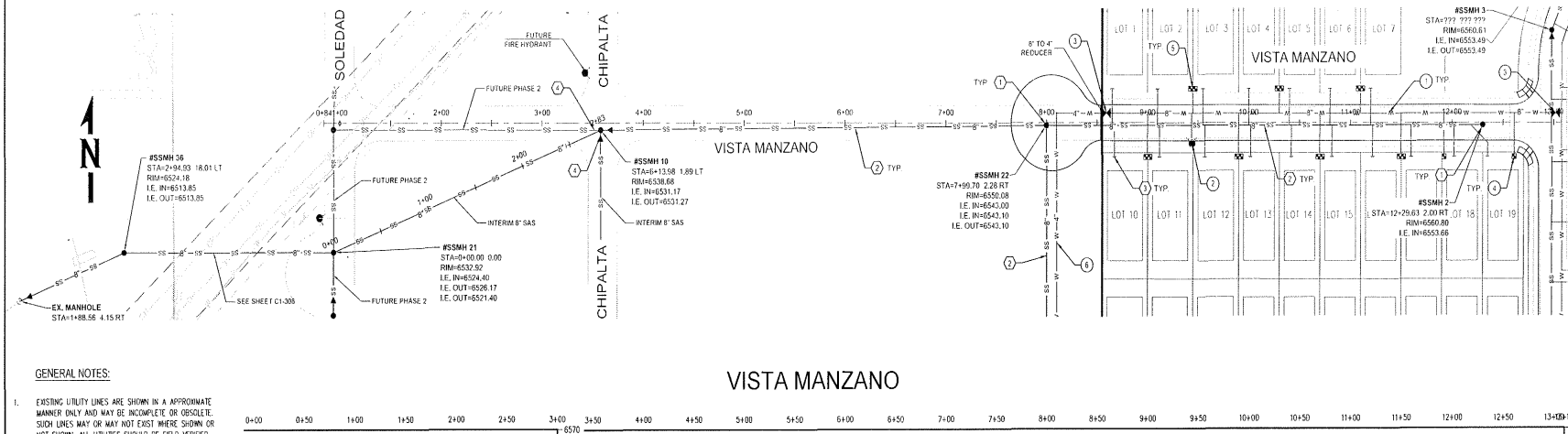
DEPARTMENT	DATE
WATER	
SEWER	
TRAFFIC	

PROJECT	
SHEET TITLE	
WATER AND SEWER PLAN & PROFILE - VISTA MANZANO	

SHEET NO. **C1-306**

CASE/PERMIT NO. S-2020-2642

6501 American Pkwy, NE, Suite 400
50520-2024, FA 509.262.4845
www.wpaacorp.com



VISTA MANZANO

GENERAL NOTES:

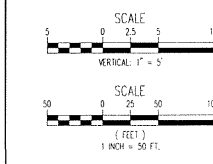
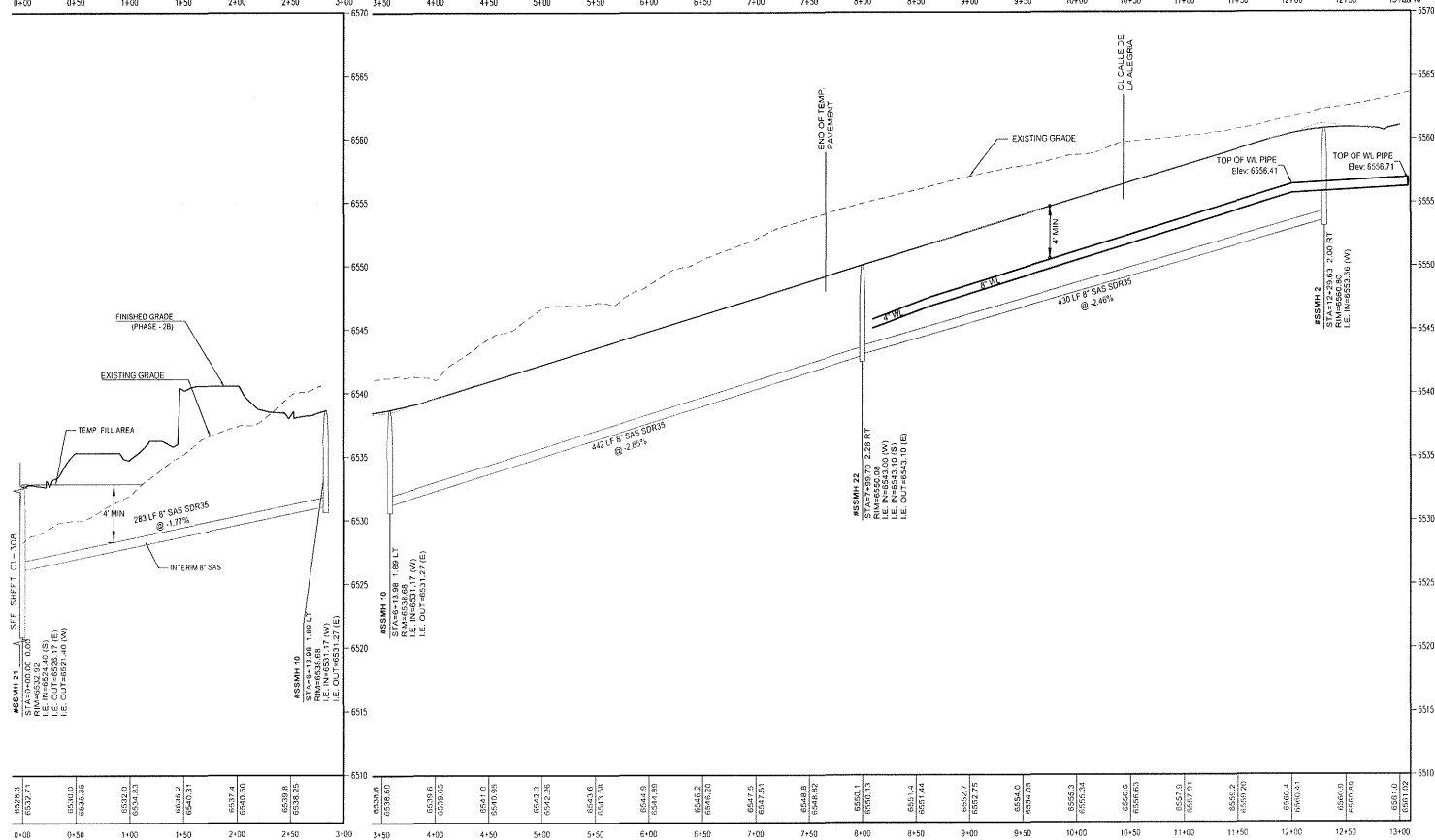
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- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

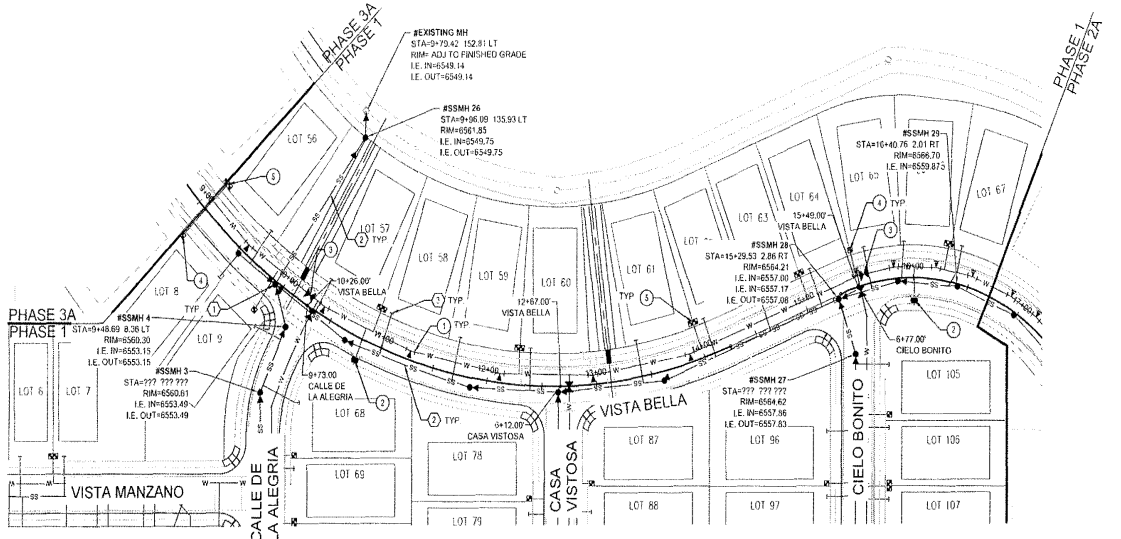
- INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 02 THRU SAS 05, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.
- INSTALL 5' LF OF 8" STUB OUT & CAP FOR FUTURE SEWER MAIN CONNECTION.

WATER KEYED NOTES:

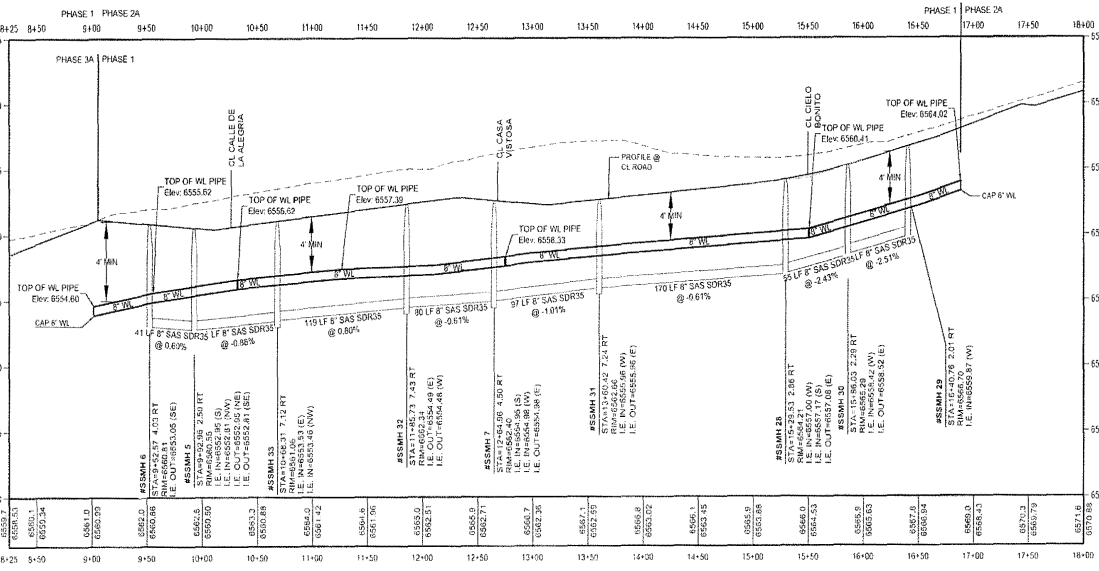
- INSTALL C-900 PVC WATER LINE PER SDOW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDOW CO. STANDARD DETAIL 01 & 02, SHEET M-1.
- INSTALL GATE VALVES PER SDOW CO. STANDARD DETAILS 04, SHEET M-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDOW CO. STANDARD DETAIL 02A, SHEET M-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDOW CO. STANDARD DETAIL 05, SHEET M-1.
- INSTALL TEMPORARY 4" C-900 PVC WATER LINE.



P:\columns\Civil\City\Permit\2020\19-000106-00-Enclosure\Drawings\City\Phase 1\19020200 2-17.dwg



VISTA BELLA



GENERAL NOTES.

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSCURE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
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SAS KEYED NOTES.

- INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINISH GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.

WATER KEYED NOTES.

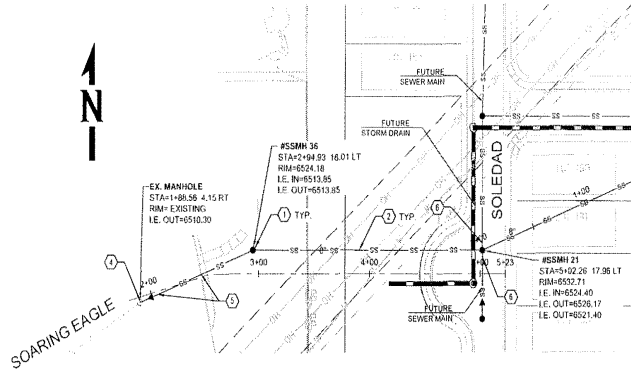
- INSTALL 6-900 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS. 4" OR 10" PVC WATER LINE, SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL 07 & 08, SHEET M-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 09, SHEET M-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDGW CO. STANDARD DETAIL 02A, SHEET M-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDGW CO. STANDARD DETAIL 06, SHEET M-1.

NO.	REVISIONS	BY	APP.	DATE

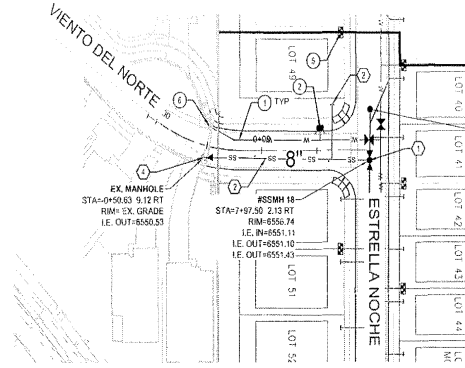


VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 WATER AND SEWER PLAN &
 PROFILE - VISTA BELLA

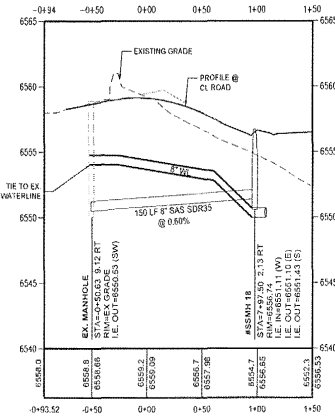
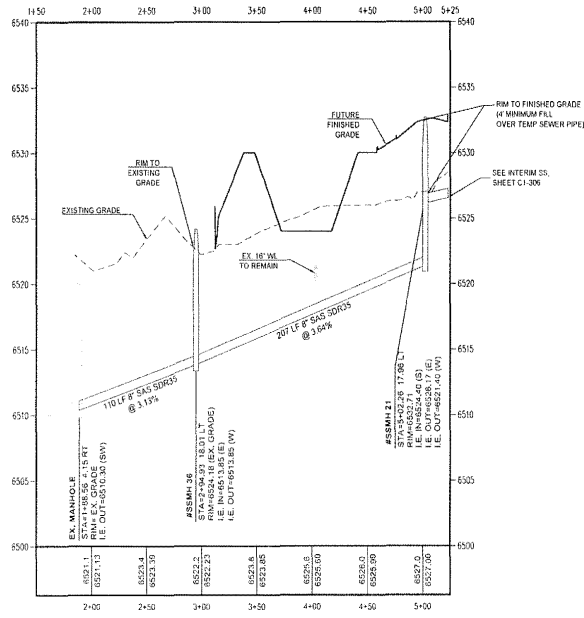
PROJECT:	DATE:
SHEET TITLE:	CITY REVIEW:
SHEET NO.:	DESIGN OFF:
	DEPARTMENT:
	WASTEWATER:
	P&W ENGINEERING:
	FIELD SUPERVISOR:
	FILE DEPARTMENT:
	SOLID WASTE:
	PLANS & CONSTRUCTION:
	SUBDIVISION REVIEW:



SOARING EAGLE TIE-IN



VIENTO DEL NORTE



GENERAL NOTES:

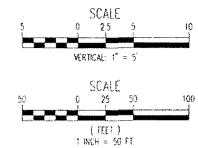
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR DISCRETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINES SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP) (E) PER STANDARD DETAILS. SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.
- TIE TO EXISTING SEWER MANHOLE. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT ELEVATION.
- REMOVE & REPLACE EXISTING ASPHALT AND CURB & GUTTER FOR NEW SEWER MAIN CONSTRUCTION.
- INSTALL 5 LF OF 8" STUB OUT & CAP FOR FUTURE SEWER MAIN CONNECTION.

WATER KEYED NOTES:

- INSTALL C-500 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVE WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL D7 & DR, SHEET ML-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS DR, SHEET ML-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDGW CO. STANDARD DETAIL D2A, SHEET ML-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDGW CO. STANDARD DETAIL DR, SHEET ML-1.
- TIE TO EXISTING WATER LINE. CONTRACTOR TO FIELD VERIFY.



CASE/PERMIT NO. S-2020-2642



NO.	REGIONS	BY	APP.	DATE



VISTA DE LA SIERRA
SUBDIVISION - PHASE 1
WATER AND SEWER PLAN &
PROFILE - SOARING EAGLE
& VIENTO DEL NORTE

CITY/TOWN	DATE

DESIGNED BY	REL. BY
DRAWN BY	INCH.
FILE	DATE
CHECKED BY	DATE
DATE	FILE

C1-308

NO.	REVISIONS	BY	APP.	DATE

PROJECT: _____ DESIGNED BY: RE.B.J.
 FILE: _____ DRAWN BY: JS. GZ. T. NG
 CHECKED BY: _____
 SCALE: 1/8" = 1'-0" DATE PLOTTED: 11/30/20



VISTA DE LA SIERRA
SUBDIVISION - PHASE 1
UTILITY PLAN & PROFILE -
BECKNER ROAD

CITY REVIEW	SIGN-OFF	DATE
WASTEWATER		
WATER		
TRAFFIC		

PROJECT: _____
 SHEET TITLE: _____
 DEPARTMENT: _____
 FIRE DEPARTMENT: _____
 PUBLIC WORKS: _____
 UTILITIES: _____
 TRAFFIC ENGINEERING: _____
 SIGNAGE: _____
 TRAILS / OPEN SPACE: _____
 SUBDIVISION REVIEW: _____

SHEET NO. **C1-309**

GENERAL NOTES:

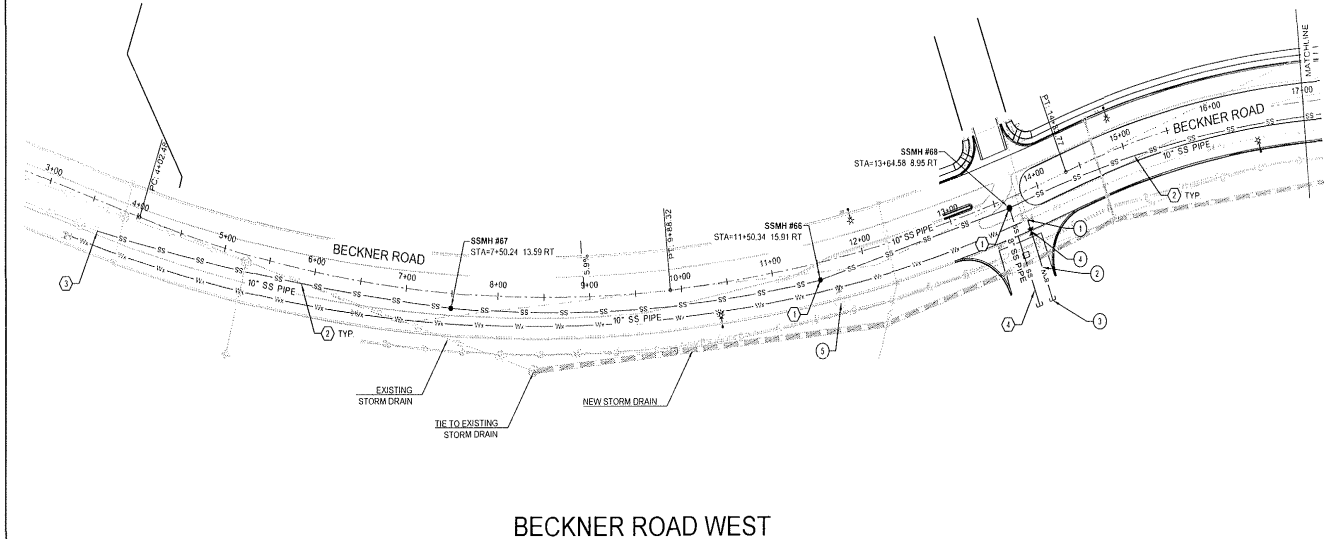
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESENE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

⊕ SAS KEYED NOTES:

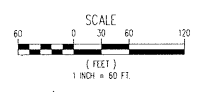
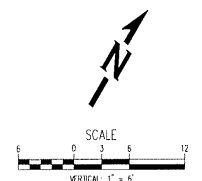
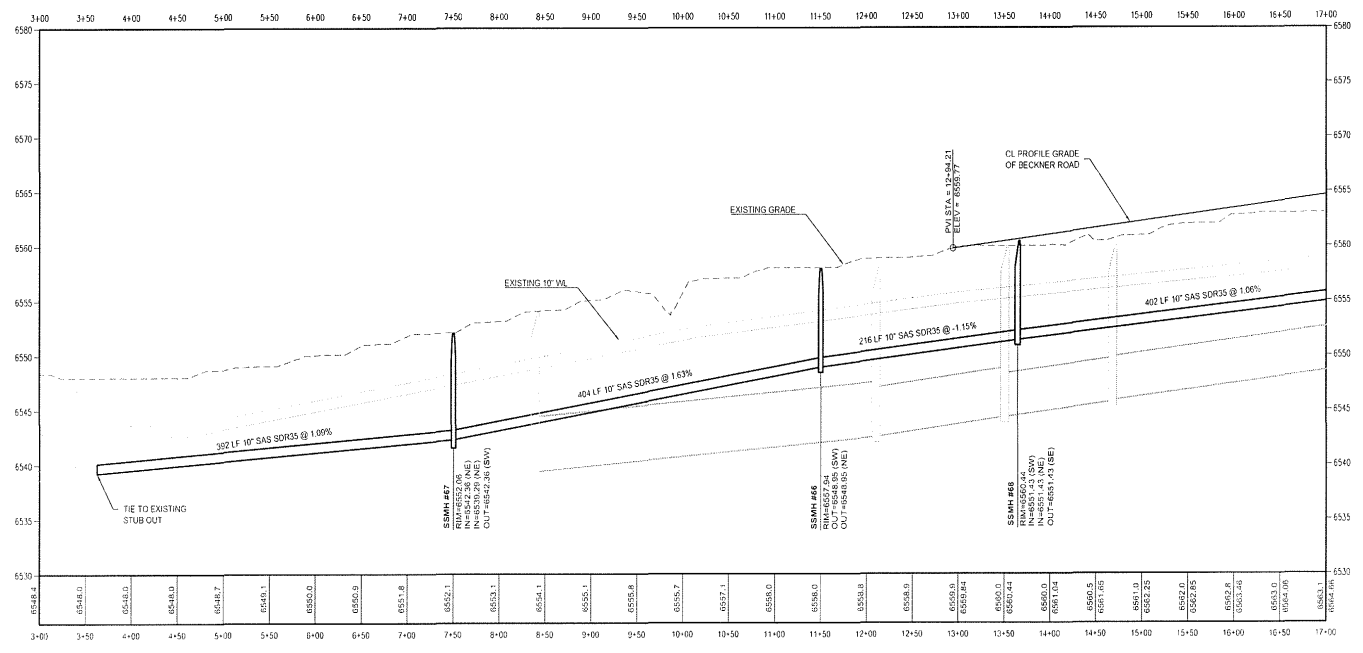
- INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 02 THRU SAS 04, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL 10" SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3. REMOVE & REPLACE EXISTING ASPHALT PAVEMENT AS NECESSARY.
- TIE TO EXISTING 10" SANITARY SEWER STUB OUT.
- INSTALL 95 LF OF 8" SEWER MAIN STUB OUT WITH CAP @ 0.5% SLOPE FOR FUTURE CONNECTION.

⊖ WATER KEYED NOTES:

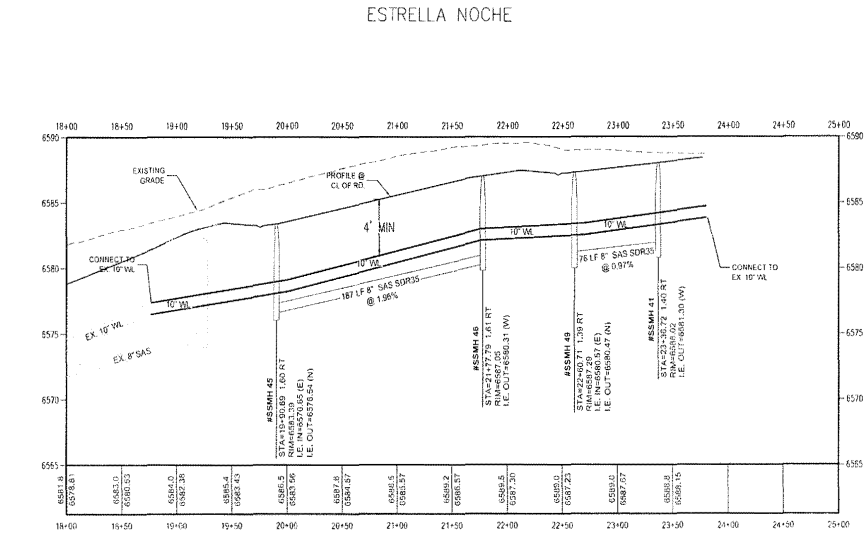
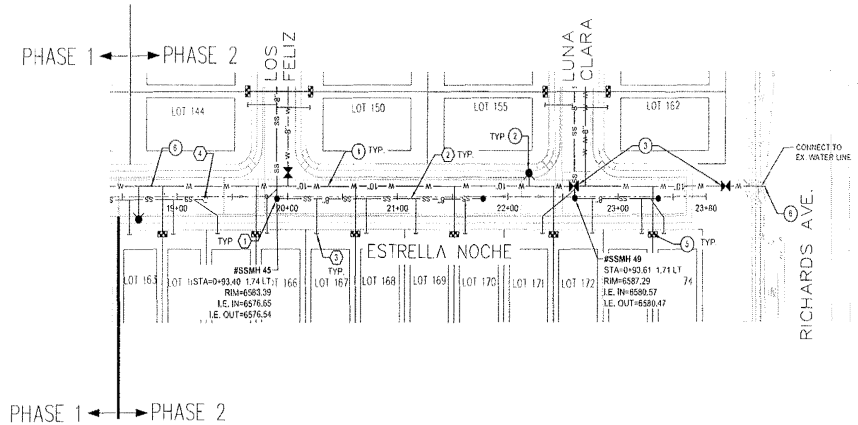
- WATER LINE POINT OF CONNECTION, CONTRACTOR TO FIELD VERIFY.
- INSTALL 8" C-900 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS, MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL CAP FOR FUTURE CONNECTION.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS OR, SHEET W-1.
- EXISTING FIRE HYDRANT TO REMAIN & PROTECTED THROUGH CONSTRUCTION.



BECKNER ROAD WEST



P:\California-Civil\CD\Projects\2020\16\2020\1605\05-EngineerDrawings\Civil\Phase 1\Utility\WPH\DWG_2642_C1-309.dwg, Plot: 11/30/2020 10:32 AM



GENERAL NOTES:

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR DISCONNECTED. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET S-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET S-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINES SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP. E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.
- ADJUST EXISTING SEWER MANHOLE RIM TO FINISHED GRADE.

WATER KEYED NOTES:

- INSTALL 8-100 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL 07 & 08, SHEET W-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 06, SHEET W-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDGW CO. STANDARD DETAIL 02A, SHEET W-1.
- INSTALL 1" WATER SERVICE LINE FOR 1/2" DOUBLE SERVICE METER PER SDGW CO. STANDARD DETAIL 06, SHEET W-1.
- WATERLINE POINT OF CONNECTION, CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION.



CASE/PERMIT NO. S-2020-2642



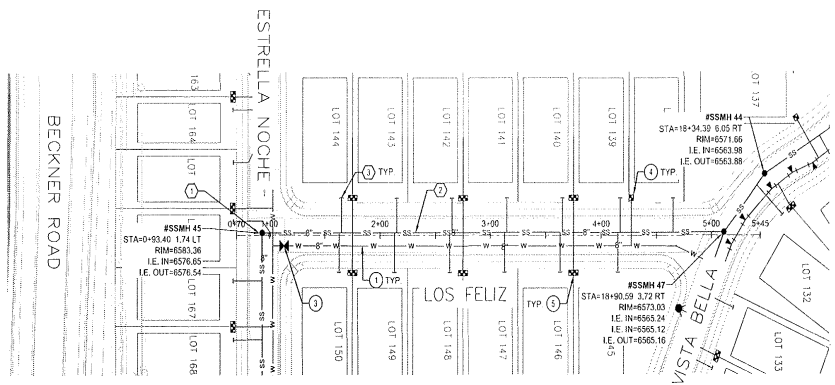
NO.	REVISIONS	BY	APP'D.	DATE



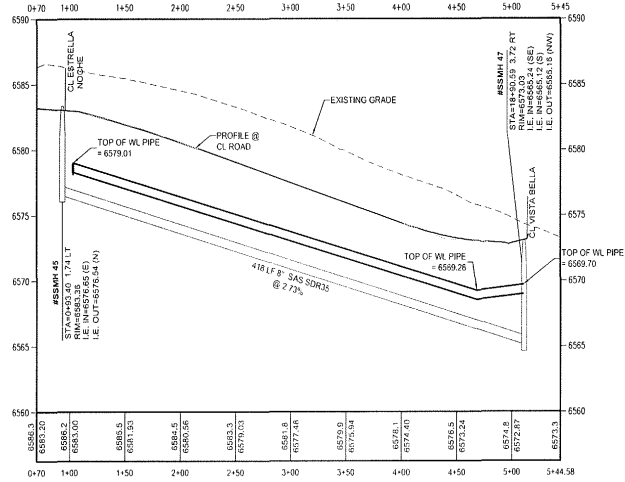
PROJECT: **VISTA DE LA SIERRA SUBDIVISION - PHASE 2**
 SHEET TITLE: **WATER AND SEWER PLAN & PROFILE- ESTRELLA NOCHE EAST**

DEPARTMENT	DATE
WATER DIVISION	
SEWER DIVISION	
ENGINEERING	
INSPECTION	
LANDSCAPE	
TRAFFIC ENGINEERING	
UTILITIES ENGINEERING	

SHEET NO. **C2-301**



LOS FELIZ



GENERAL NOTES:

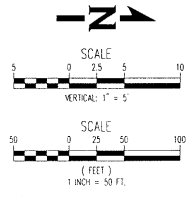
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PROTECT ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4" MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP 1) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2, CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.

WATER KEYED NOTES:

- INSTALL C-200 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS 10" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4" BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL 07 & 08, SHEET W-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 08, SHEET W-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDGW CO. STANDARD DETAIL 02A, SHEET W-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDGW CO. STANDARD DETAIL 06, SHEET W-1.



CASE/PERMIT NO. S-2020-2642



NO.	REVISIONS	BY	DATE

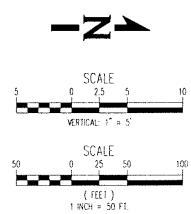
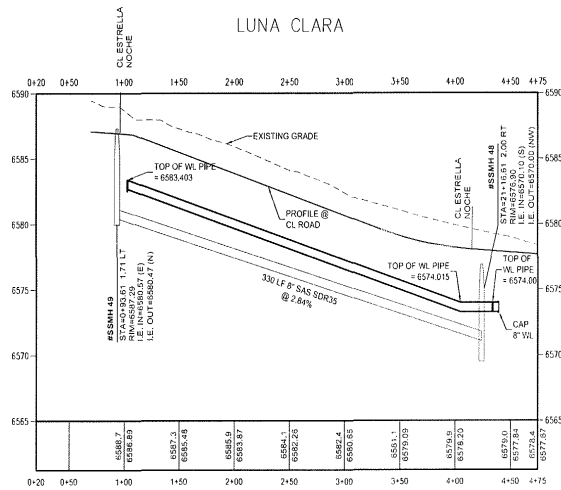
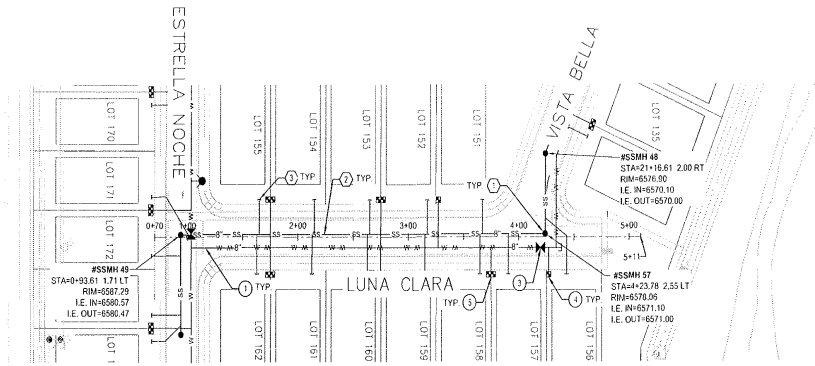
PROJECT: 112920
DESIGNED BY: RE, BE, NC
DRAWN BY: JG, JZ, J, NC
CHECKED BY: JG, JZ, J, NC
SCALE: AS SHOWN



PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2
SHEET TITLE: WATER AND SEWER PLAN & PROFILE - LOS FELIZ

NO.	DATE	REVIEW	BY

DEPARTMENT: WATER
DIVISION: SANITARY SEWER
PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2
SHEET NO. C2-302



GENERAL NOTES:

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PREVENT ANY AND ALL EXISTING UTILITIES, PRELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP C) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.

WATER KEYED NOTES:

- INSTALL C-900 PVC WATER LINE PER SDCW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDCW CO. STANDARD DETAIL D7 & D8, SHEET W-1.
- INSTALL GATE VALVES PER SDCW CO. STANDARD DETAILS O8, SHEET W-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDCW CO. STANDARD DETAIL O2A, SHEET W-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDCW CO. STANDARD DETAIL O6, SHEET W-1.

CASE/PERMIT NO. S-2020-2642

NO.	REVISIONS	BY	DATE
PROJECT:	DESIGNED BY:	RS	BE
FILE:	DRAWN BY:	JR	JS
DATE:	CHECKED BY:	RS	BE
SCALE:	DATE:	11/25/20	11/25/20

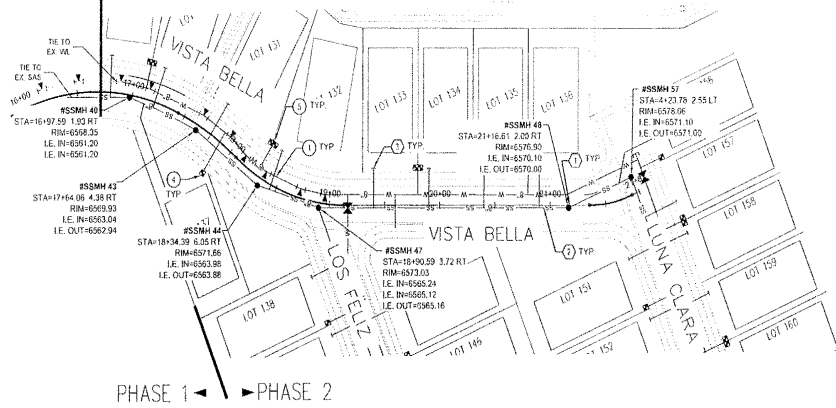


VISTA DE LA SIERRA
SUBDIVISION - PHASE 2
PROJECT TITLE
WATER AND SEWER PLAN & PROFILE- LUNA CLARA
SHEET TITLE

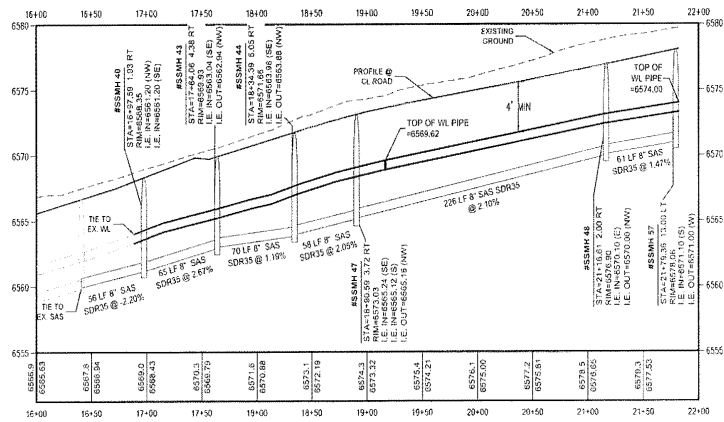
CITY REVIEW	SIGNOFF	DATE
DEPARTMENT		
WATER		
ENGINEERING		
DESIGN		
CONSTRUCTION		
INSPECTION		
PERMITS		
LANDSCAPE		
TRAFFIC/OPEN SPACE		
SUBDIVISION REVIEW		

SHEET NO.
C2-303

PHASE 1 PHASE 2



VISTA BELLA



GENERAL NOTES:

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 03 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.

WATER KEYED NOTES:

- INSTALL 6-100 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS 07 OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE FOR SDGW CO. STANDARD DETAIL 07 & 08, SHEET WL-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 06, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE WATER PER SDGW CO. STANDARD DETAIL 02A, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDGW CO. STANDARD DETAIL 06, SHEET WL-1.



SCALE
1" = 5'

SCALE
1" = 50 FT.

CASE/PERMIT NO. S-2020-2642



NO.	REVISIONS	BY	DATE



VISTA DE LA SIERRA
SUBDIVISION - PHASE 2
WATER AND SEWER PLAN &
PROFILE- VISTA BELLA

PROJECT: DATE:

SHEET TITLE: DATE:

WASTEWATER ENGINEER: SIGN-OFF: DATE:

WATER ENGINEER: SIGN-OFF: DATE:

PROJECT MANAGER: SIGN-OFF: DATE:

CITY REVIEW: SIGN-OFF: DATE:

DEPARTMENT: SIGN-OFF: DATE:

WATER DIVISION: SIGN-OFF: DATE:

PROJECT MANAGER: SIGN-OFF: DATE:

CITY REVIEW: SIGN-OFF: DATE:

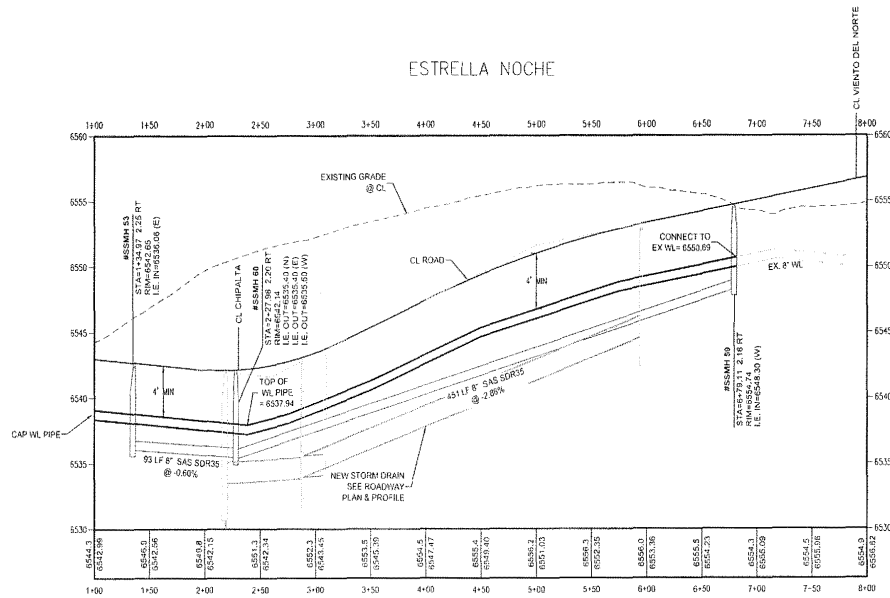
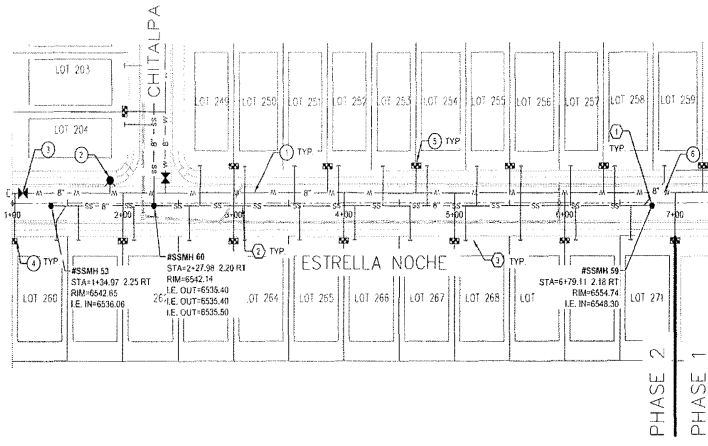
DEPARTMENT: SIGN-OFF: DATE:

WASTEWATER ENGINEER: SIGN-OFF: DATE:

WATER ENGINEER: SIGN-OFF: DATE:

PROJECT MANAGER: SIGN-OFF: DATE:

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GENERAL NOTES:

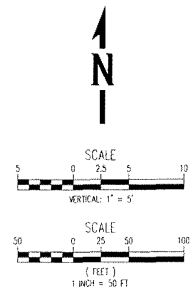
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES SHOULD BE FIELD VERIFIED WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 02 28RU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4\"/>

WATER KEYED NOTES:

- INSTALL C-300 PVC WATER LINE PER SDOW CO. STANDARD DETAILS AND SPECIFICATIONS. 8\"/>



CASE/PERMIT NO. S-2020-2642



NO.	REVISIONS	BY	APP'D.	DATE

DESIGNED BY:	RB SZ
DRAWN BY:	JS, BZ, JL, NS
FILE:	
DATE:	11/29/20
CHECKED BY:	RB
SCALE:	AS NOTED

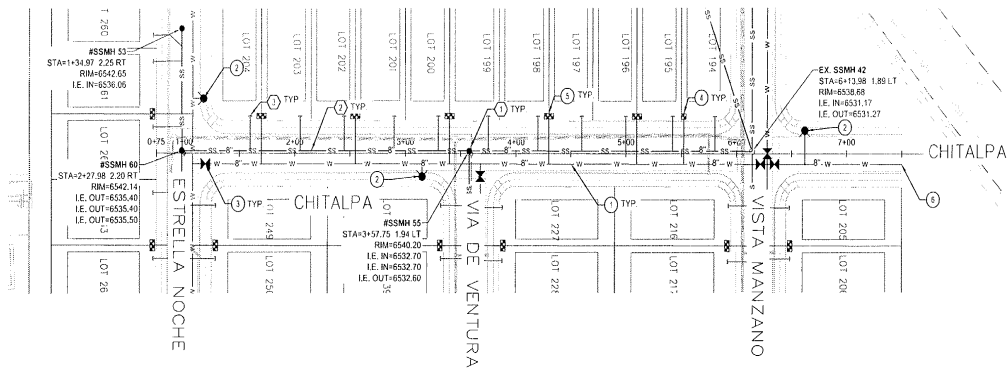


PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2
 SHEET TITLE: WATER AND SEWER PLAN & PROFILE- ESTRELLA NOCHE WEST

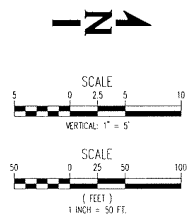
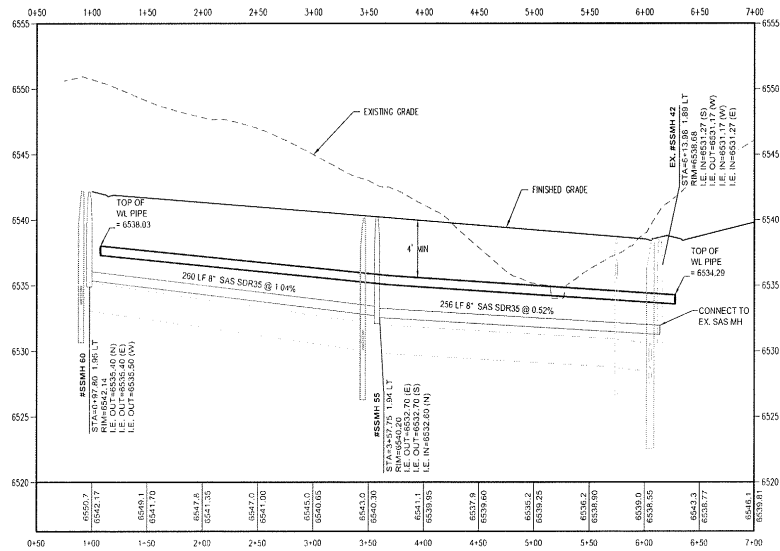
CITY REVIEW	DATE

DEPARTMENT	SIGN-OFF
CITY ENGINEER	
WATER	
PVE ENGINEERING	
FIRE DEPARTMENT	
LANDSCAPE	
TRAILER OPEN SPACE	
SUBDIVISION REVIEW	

SHEET NO. C2-305



CHITALPA



GENERAL NOTES:

1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
2. CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES.
3. CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

○ SAS KEYED NOTES:

1. INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2, CONTRACTOR TO ADJUST RM ELEVATION TO FINAL FINISHED GRADE.
2. INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
3. INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.

○ WATER KEYED NOTES:

1. INSTALL C-900 PVC WATER LINE PER SDCW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE, SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
2. INSTALL FIRE HYDRANT AND VALVE PER SDCW CO. STANDARD DETAIL 07 & 08, SHEET W-1.
3. INSTALL GATE VALVES PER SDCW CO. STANDARD DETAILS 08, SHEET W-1.
4. INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDCW CO. STANDARD DETAIL 02A, SHEET W-1.
5. INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDCW CO. STANDARD DETAIL 06, SHEET W-1.
6. INSTALL 8" WATERLINE CAP FOR FUTURE CONNECTION.

WHPacific
6501 American Power NE, Suite 400
Denver, Colorado 80221
www.whpacific.com

NO.	REVISIONS	BY	APP'D.	DATE

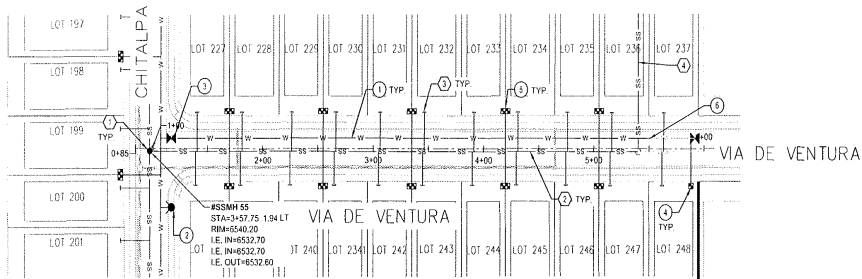
DESIGNED BY: RS, BZ
DRAWN BY: J.B., J.S., M.T.
CHECKED BY: J.S.
DATE: 1/20/20
SCALE: AS SHOWN

VISTA DE LA SIERRA SUBDIVISION - PHASE 2 WATER AND SEWER PLAN & PROFILE - CHITALPA

DEPARTMENT	DATE
WATER	
WATER	
FIRE DEPARTMENT	
PLANNING	
TRANSPORTATION	
UTILITY	
ZONING	

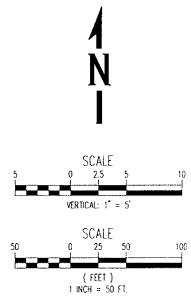
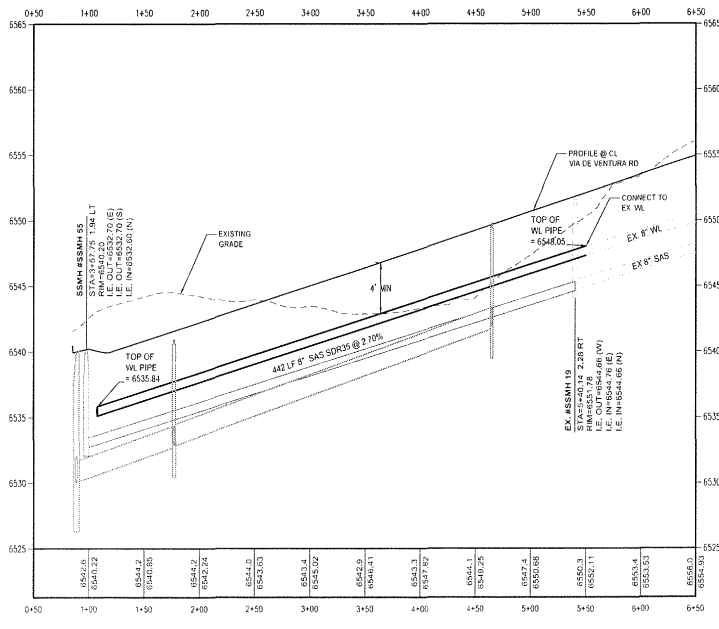
CITY REVIEW	DATE

SHEET NO. C2-306



PHASE 2
PHASE 1

VIA DE VENTURA



CASE/PERMIT NO. S-2020-2642

GENERAL NOTES:

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PREMISES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINES SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP. C) PER STANDARD DETAILS. SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.
- DEMO & REMOVE EXISTING 8" TEMPORARY SEWER MAIN.

WATER KEYED NOTES:

- INSTALL C-900 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALL MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL 07 & 08, SHEET W-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 08, SHEET W-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDGW CO. STANDARD DETAIL 02A, SHEET W-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDGW CO. STANDARD DETAIL 06, SHEET W-1.
- BE TO EXISTING WATERLINE. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION.



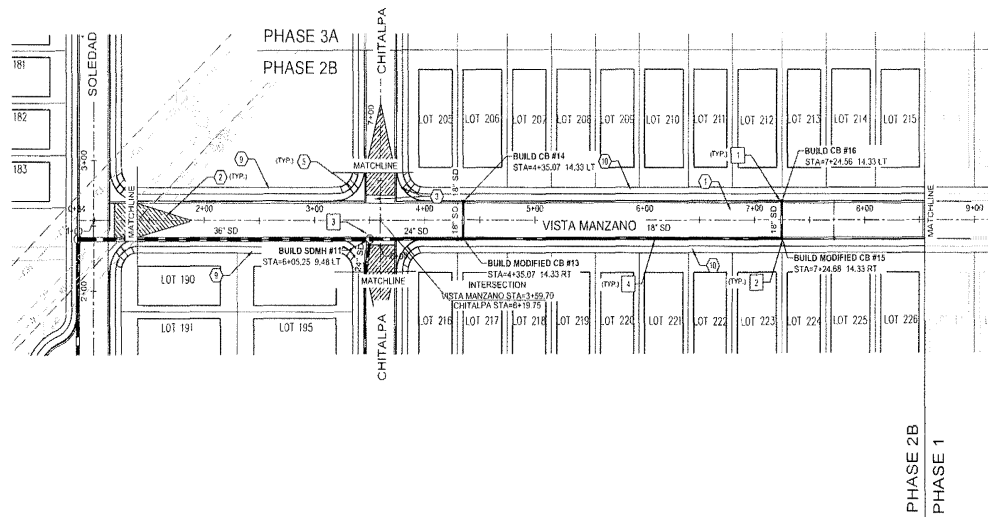
NO.	REVISIONS	BY	APP.	DATE	DESIGNED BY	REVISION	DRAWN BY	DATE	CHECKED BY	DATE



PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 2
SHEET TITLE: WATER AND SEWER PLAN & PROFILE - VIA DE VENTURA

CITY REVIEW				DEPARTMENT			

DATE: 1/29/2020
SHEET NO. C2-307



VISTA MANZANO

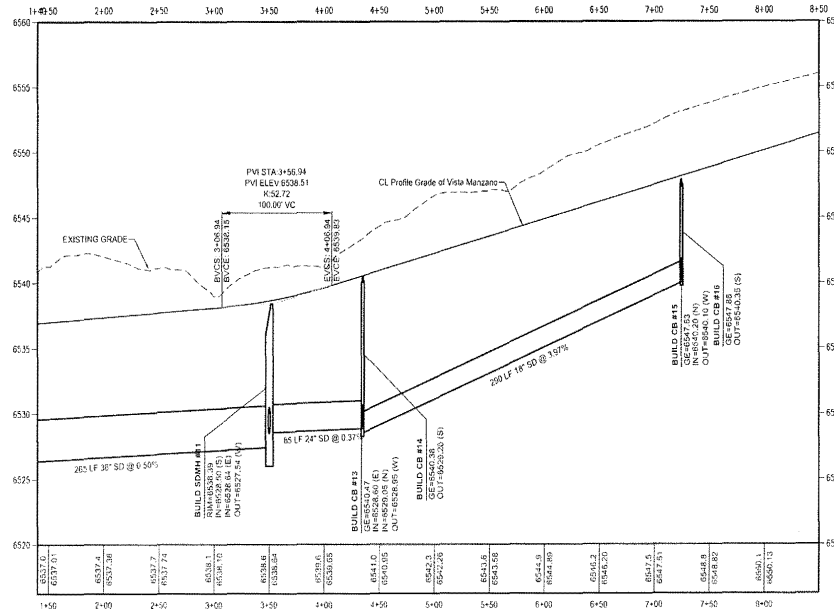
PHASE 2B
PHASE 1

ROADWAY KEYED NOTES:

- CONSTRUCT ROADWAY PER 50' ROW ROADWAY TYPICAL SECTION, SHEET C-900.
- CONSTRUCT CROWN TO NO CROWN TRANSITION OVER 50' WALK LENGTH PER DETAIL 3, SHEET PAD-4.
- CONSTRUCT 6" CONCRETE VALLEY CUTTER PER DETAIL 1, SHEET PAD-4.
- CONSTRUCT 6" SPECIAL VALLEY CUTTER PER DETAIL 4, SHEET PAD-4.
- BUILD ADA COMBINATION CURB RAMP (A) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.
- CONSTRUCT TWIN 24" SIDEWALK DRAINS PER DETAIL 11, SHEET C-902.
- CONSTRUCT DRAINAGE SWALE PER DETAIL 12, SHEET C-902.
- DRIVEWAY CUT BY OTHERS AT LATER DATE.
- CONSTRUCT 5' WIDE CONCRETE SIDEWALK PER NMDOT STANDARDS.
- DEFERRED 5' WIDE CONCRETE SIDEWALK, NOT APART OF THIS CONTRACT, BUILT BY OTHERS.
- CONSTRUCT HEADER CURB PER DETAIL 13, SHEET C-902.
- CONSTRUCT TEMPORARY CUL-DA-SAC PER DETAIL 2, SHEET PAD-4.
- CONSTRUCT 10' WIDE MULT-USE TRAIL PER DETAIL 4, SHEET C-900.
- BUILD ADA COMBINATION CURB RAMP (B) PER NMDOT DETAIL 608-5 OF 12, SHEET PAD-2.

STORM DRAIN KEYED NOTES:

- CONSTRUCT DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS 800C.
- CONSTRUCT MODIFIED DROP INLET FOR TYPE "B" CURB PER DETAILS ON SHEETS 800C.
- CONSTRUCT STORM MANHOLE PER DETAILS ON SHEETS SF-1 TO SF-4.
- CONSTRUCT STORM DRAIN LINE PER DETAILS, SHEET SF-3. PIPE TYPE TO BE ULTRA FLOW, HDPE, RCP OR APPROVED EQUAL. SEE PLAN & PROFILE FOR SIZE.



CASE/PERMIT NO. S-2020-2642

WHPacific
6521 Annapolis Park Lane, Suite 400
552-247-2224 Fax: 552-242-4845
www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RB/SZ
DRAWN BY: JS/DZ, JI/AC
CHECKED BY: RB/SZ
DATE: 11/09/20
SCALE: AS SHOWN

REVISED PER PLAN DATE: 2020

VISTA DE LA SIERRA
SUBDIVISION - PHASE 2B
STORM DRAIN & ROADWAY PLAN
& PROFILE - VISTA MANZANO

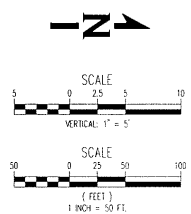
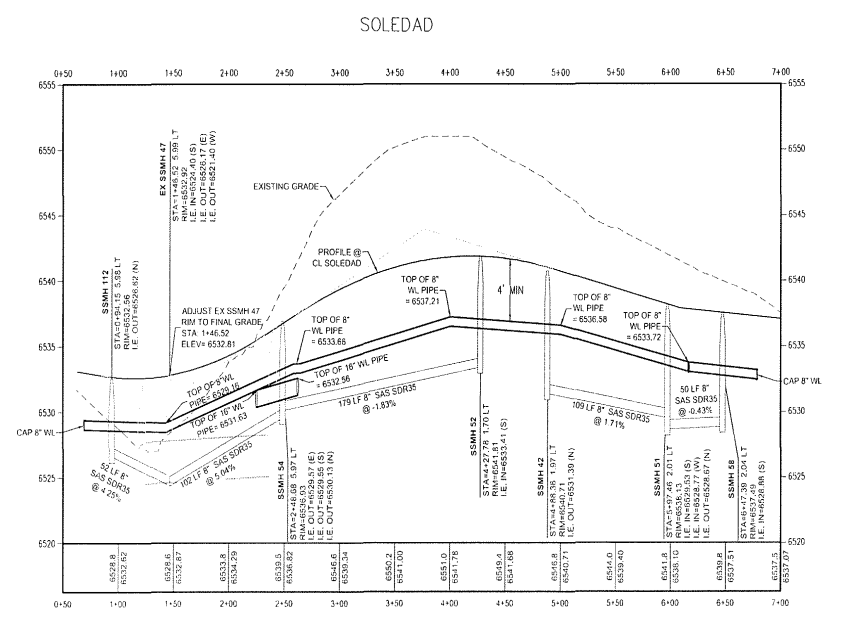
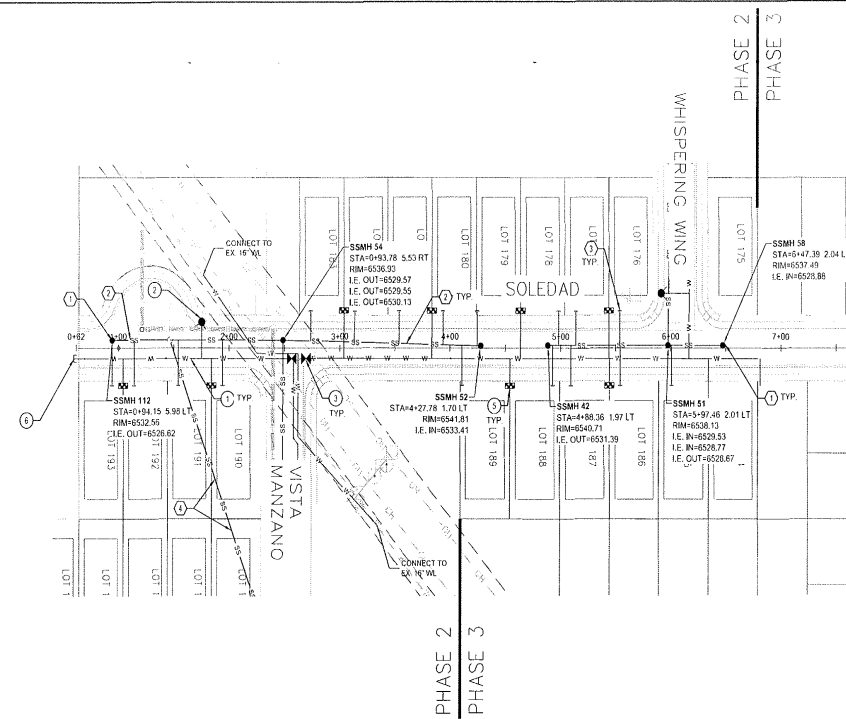
DEPARTMENT	DATE
WATER	
SEWER	
ENGINEERING	
FIRE DEPARTMENT	
PLANNING	
LANDSCAPE	
TRAFFIC ENGINEERING	
STREETS/ROADWAY	
UTILITIES	

CITY REVIEW SIGN-OFF

SHEET NO. **C2-207**

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P:\Caltrans\City\City\Commissions\2020\11\15\15-336\Construction\Drawings\Phase 2\11\15\15-336-City\WSP\2 - Phase 2.dwg 11/15/2020 8:52 AM



GENERAL NOTES:

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET 0-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET 0-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.
- DEMO & REMOVE EXISTING 8" SEWER MAIN.

WATER KEYED NOTES:

- INSTALL C-800 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL 07 & 08, SHEET WL-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 08, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDGW CO. STANDARD DETAIL 02A, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDGW CO. STANDARD DETAIL 05, SHEET WL-1.
- INSTALL 8" WATER LINE CAP.

CASE/PERMIT NO. S-2020-2642

1501 Avenida Pecos NE, Suite 400
 Broomfield, CO 80020-4294, P.O. Box 500-242-4848
 www.whpacific.com

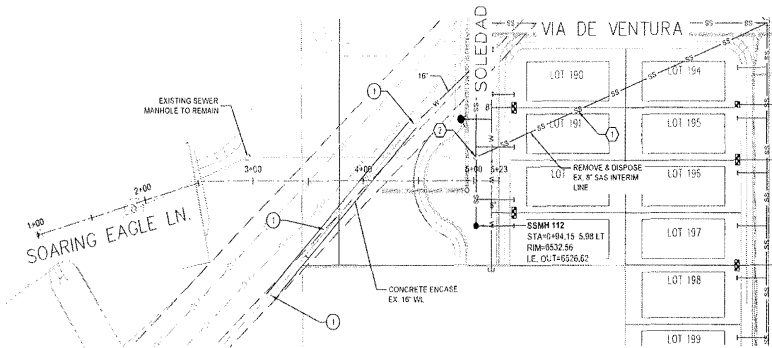
PROJECT:	NO.:	REV.:	DATE:	DATE:
	DESIGNED BY:	REVISIONS:	BY:	DATE:
	DRAWN BY:	CHECKED BY:	DATE:	DATE:

WHPacific
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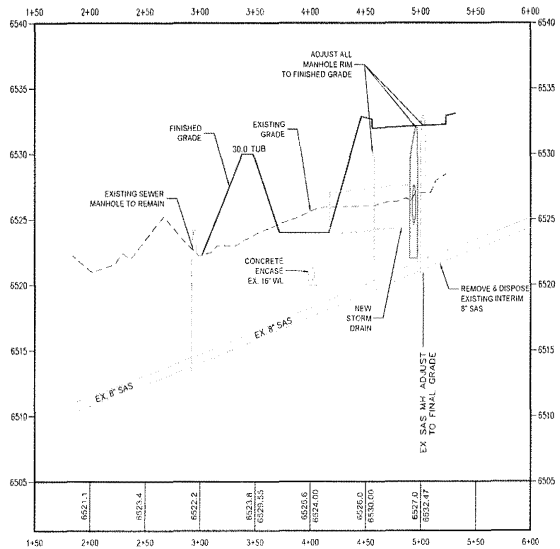
CITY REVIEW:	SIGNOFF:	DATE:
DEPARTMENT: _____ DIVISION: _____ PROJECT: _____ SHEET TITLE: _____ SHEET NO.: _____		

C2-309

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SOARING EAGLE



GENERAL NOTES:

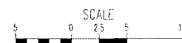
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- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINES SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- DEMO & REMOVE EXISTING 8" SEWER LINE.
- ADJUST EXISTING SEWER MANHOLE RIM TO FINISHED GRADE ELEVATION.

WATER KEYED NOTES:

- INSTALL APPROXIMATE 185 LF OF CONCRETE ENCASE ALONG EXISTING 16" WATER LINE.



CASE/PERMIT NO. S-2020-2642

NO.	REVISIONS	BY	APP.	DATE	APPROVED
DESIGNED BY:	REB.BZ				
DRAWN BY:	J.S. BZ				
CHECKED BY:	REB				
DATE:	11/20/20				
SCALE:					

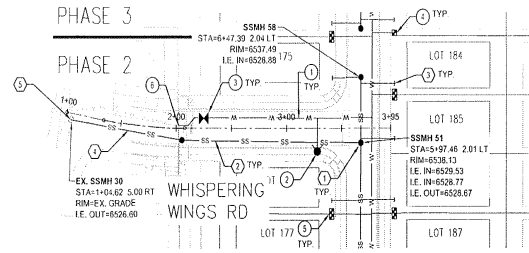


PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 2
 SHEET TITLE: WATER AND SEWER PLAN & PROFILE - SOARING EAGLE

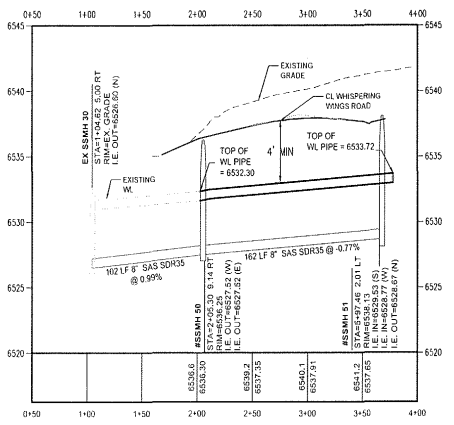
CITY REVIEW	SIGN-OFF	DATE
DEPARTMENT		
DIVISION		
WATER		
P&E ENGINEERING		
FIRE DEPARTMENT		
LANDS ACQUISITION		
TRAILS/OPEN SPACE		
SUBDIVISION REVIEW		

C2-310

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WHISPERING WINGS RD



GENERAL NOTES:

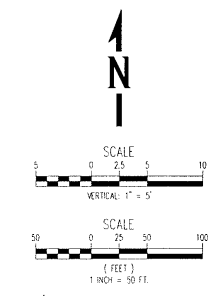
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
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SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP. E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.
- REMOVE & REPLACE EXISTING ASPHALT AS NECESSARY FOR NEW SEWER LINE CONSTRUCTION.
- TIE TO EXISTING SEWER MANHOLE. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION.

WATER KEYED NOTES:

- INSTALL 8" OR 10" PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL 07 & 08, SHEET WL-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 08, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDGW CO. STANDARD DETAIL 02A, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDGW CO. STANDARD DETAIL 06, SHEET WL-1.
- TIE TO EXISTING WATER LINE. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION.



CASE/PERMIT NO. S-2020-2642



NO.	REVISIONS	BY	APP.	DATE

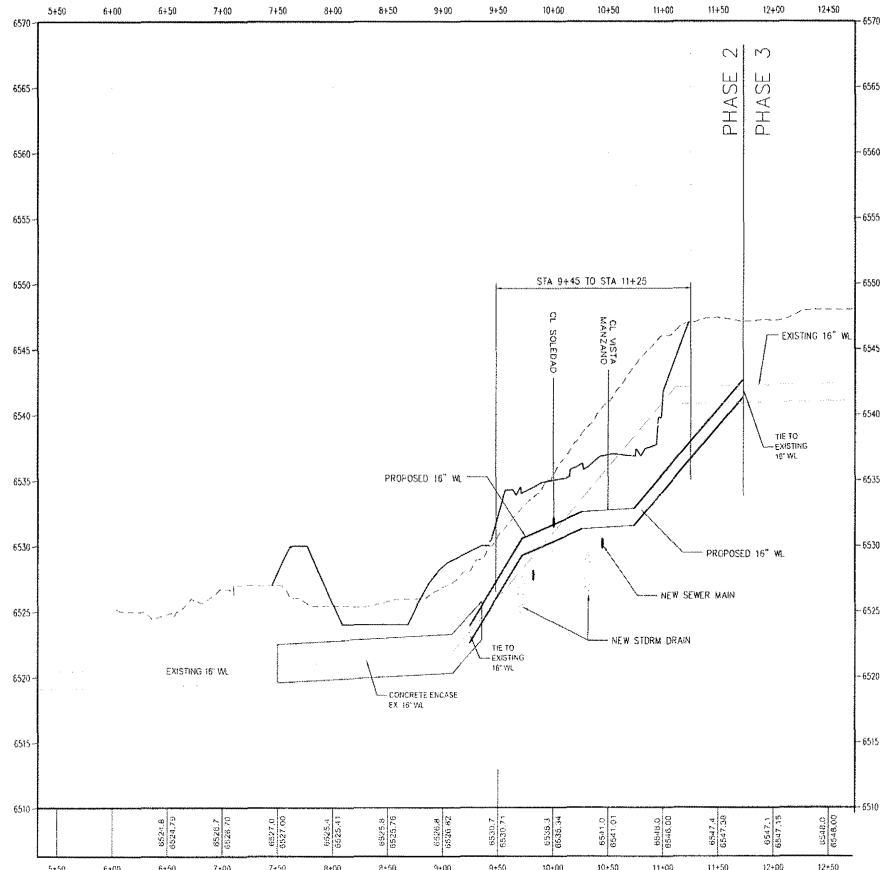
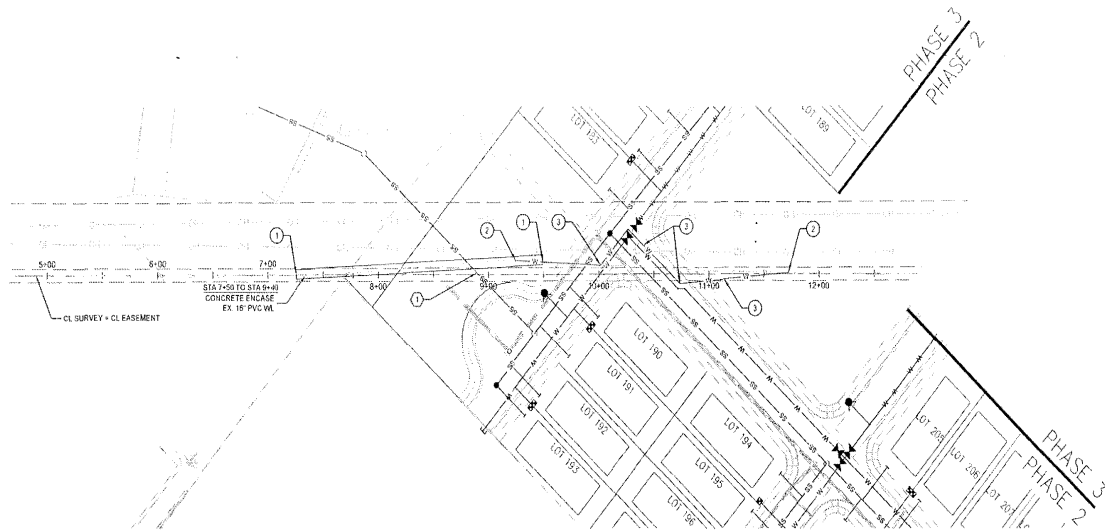
DESIGNED BY: RE BE
 DRAWN BY: JZ, AJ, NS
 DATE: 11/26/20
 CHECKED BY: RE BE
 SCALE: AS SHOWN



VISTA DE LA SIERRA
SUBDIVISION - PHASE 2
WATER AND SEWER PLAN & PROFILE-WHISPERING WINGS RD

1 ST OR 2 ND	CITY REVIEW	SIGN-OFF	DATE
WATER			
SEWER			
ENGINEERING			
INSPECTION			
FIRE DEPARTMENT			
PLANNING			
LANDSCAPE			
TRAFFIC / OPEN SPACE			
SUBDIVISION REVIEW			

SHEET NO. **C2-311**



GENERAL NOTES:

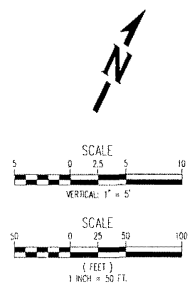
1. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR DISCREET. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, VERIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
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3. CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET C-102 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

1. EXISTING SEWER LINE TO REMAIN & PROTECTED THROUGH CONSTRUCTION.

WATER KEYED NOTES:

1. INSTALL APPROXIMATE 120 LF OF CONCRETE ENCASE ALONG EXISTING 16" WATER LINE.
2. TIE TO EXISTING 16" WATER LINE. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION.
3. CONSTRUCT 16" C-900 PVC WATER LINE.



CASE/PERMIT NO. S-2020-2642

NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RLB
 DRAWN BY: DL, AL, MS
 CHECKED BY: MGS
 DATE: 11/02/20

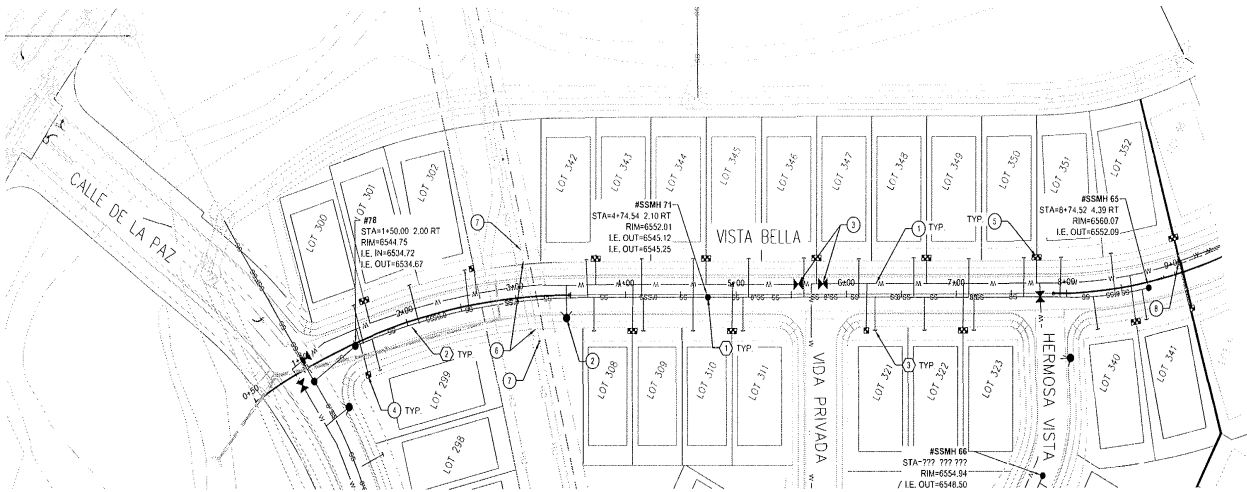


PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 2
 SHEET TITLE: WATER AND SEWER PLAN & PROFILE - EXISTING 16" WL

CITY REVIEW	SIGN-OFF	DATE
USER REVIEWER:		
WATER		
PUBLIC ENGINEERING		
CITY DEPARTMENT		
LANVADANTE		
TRAILS/OPEN SPACE		
DEVELOPMENT		

SHEET NO.
C2-312

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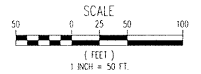
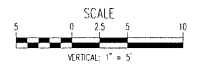
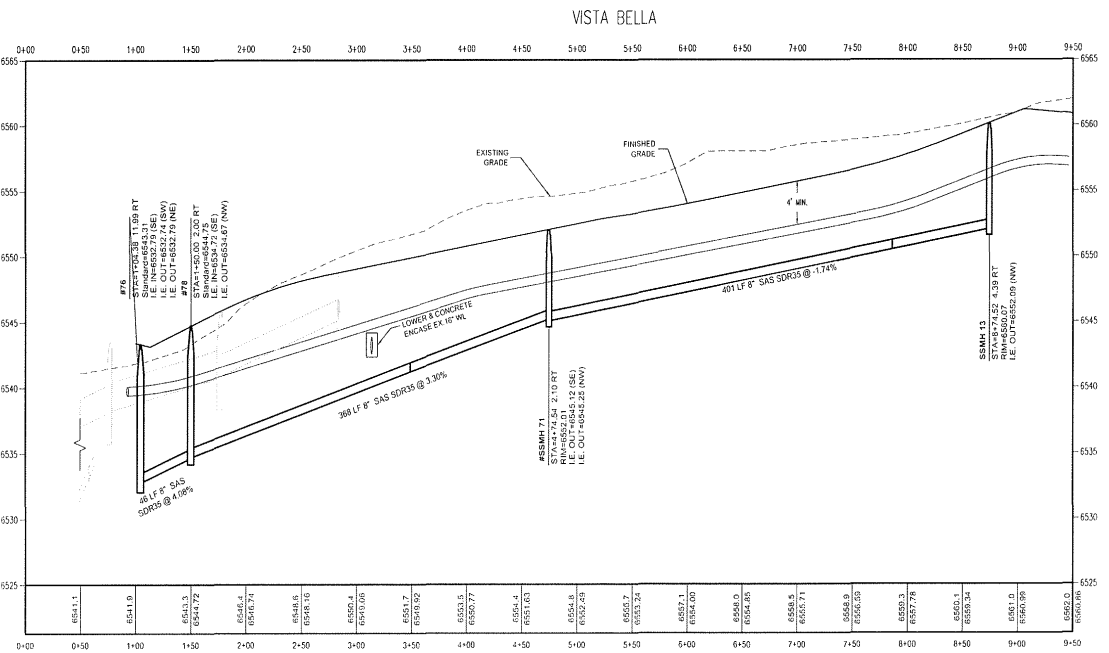
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD LOCATED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.

WATER KEYED NOTES:

- INSTALL C-900 PVC WATER LINE PER SDOW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDOW CO. STANDARD DETAIL 07 & 08, SHEET WL-1.
- INSTALL GATE VALVES PER SDOW CO. STANDARD DETAILS 08, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDOW CO. STANDARD DETAIL 02A, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDOW CO. STANDARD DETAIL 06, SHEET WL-1.
- LOWER EXISTING 16" WATERLINE AND CONCRETE ENCASUREMENT 10' EACH SIDE OF SANITARY SEWER CROSSING.
- INSTALL 45° VERTICAL BENDS FOR EXISTING 16" WATERLINE LOWERING.
- TIE TO EXISTING WATER LINE. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION.



CASE/PERMIT NO. S-2020-2642

NO.	REVISIONS	BY	APP.	DATE
PROJECT:	DESIGNED BY:	RE. BY:	DATE:	
FILE:	DRAWN BY:	CS. BY:	DATE:	
DATE:				
SCALE:				

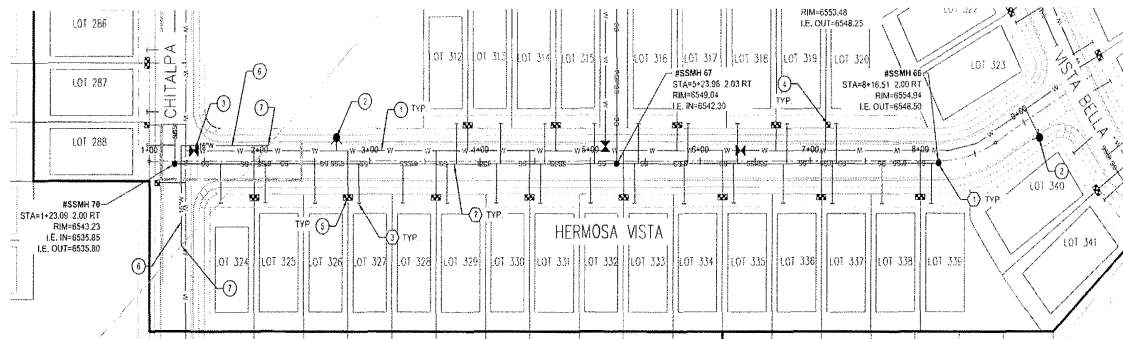


VISTA DE LA SIERRA
SUBDIVISION - PHASE 3
WATER AND SEWER PLAN &
PROFILE - VISTA BELLA

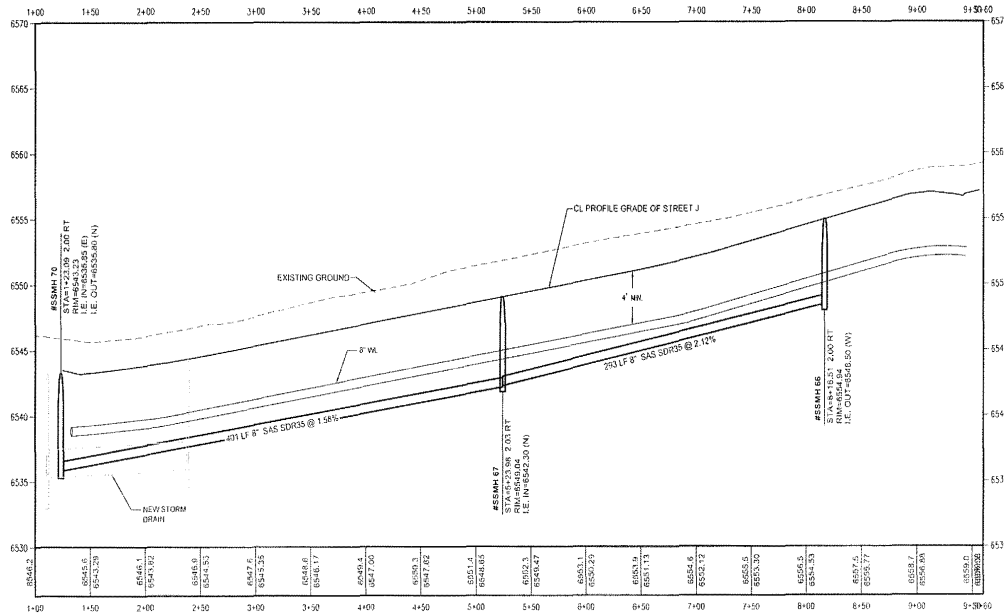
DEPARTMENT	DATE
DESIGN/OWNER	
WATER	
SEWER	
CITY REVIEW	
DESIGN/OWNER	
WATER	
SEWER	
CITY REVIEW	
DESIGN/OWNER	
WATER	
SEWER	
CITY REVIEW	

C:\gabriel\c3\plan\2020\11\10\1015.00\E:\external\Drawings\Civil\Phase 3\ADD\1015.00-C3-Utility-P&S.dwg - Phase 3.dwg 11/10/2020 12:27 AM

P:\Clientwork\Civil\Construction\19\1904\190401\190401-01-001\190401-01-001-01-001-01-001.dwg (P:\Clientwork\Civil\Construction\19\1904\190401\190401-01-001\190401-01-001-01-001-01-001.dwg) - Project: 190401-01-001-01-001



HERMOSA VISTA



GENERAL NOTES:

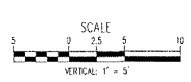
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PROTECT ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.

WATER KEYED NOTES:

- INSTALL C-900 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE, SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL 07 & 08, SHEET W-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 08, SHEET W-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDGW CO. STANDARD DETAIL 02A, SHEET W-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/8" DOUBLE SERVICE METER PER SDGW CO. STANDARD DETAIL 06, SHEET W-1.
- CONSTRUCT 18" WATER LINE, CONCRETE ENCASE 10" EACH SIDE FROM SANITARY SEWER CROSSING.
- BE THE EXISTING WATER LINE, CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION.



CASE/PERMIT NO. S-2020-2642



NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RBG
DRAWN BY: JG
CHECKED BY: JG
SCALE: 1/8" = 1'-0"

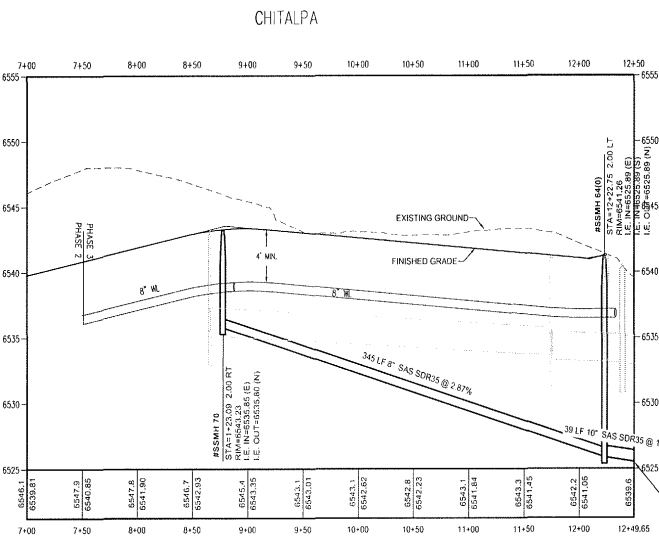
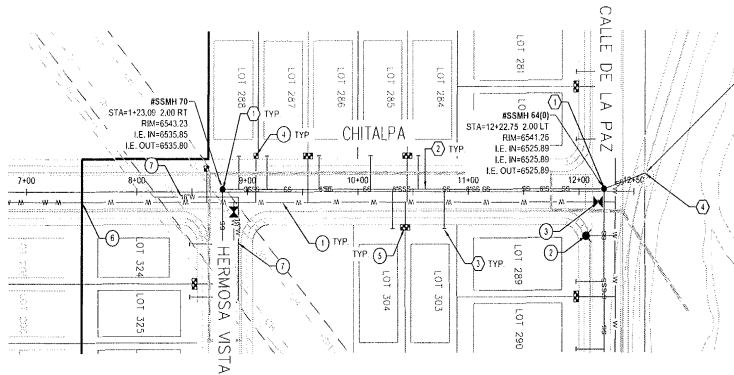


PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 3
SHEET TITLE: WATER AND SEWER PLAN & PROFILE - HERMOSA VISTA

DATE	REVIEW	BY	DATE	REVIEW	BY

DEPARTMENT: WATER
DIVISION: SANITARY SEWER
PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 3
SHEET TITLE: WATER AND SEWER PLAN & PROFILE - HERMOSA VISTA

C3-303



GENERAL NOTES:

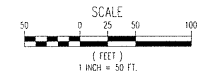
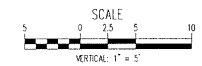
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET C-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP) PER STANDARD DETAILS SAS 07 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.
- CONNECT TO EXISTING SEWER MANHOLE, CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION.

WATER KEYED NOTES:

- INSTALL C-900 PVC WATER LINE PER SDCW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDCW CO. STANDARD DETAIL 07 & 08, SHEET WL-1.
- INSTALL GATE VALVES PER SDCW CO. STANDARD DETAILS 08, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDCW CO. STANDARD DETAIL 02A, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDCW CO. STANDARD DETAIL 06, SHEET WL-1.
- TIE TO EXISTING WATERLINE, CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION.
- CONSTRUCT NEW 18" WATER LINE, PROVIDE CONCRETE ENCASMENT 10' FROM EACH SIDE WHEN CROSSING SANITARY SEWER LINE.



CASE/PERMIT NO. S-2020-2642



NO.	REVISIONS	BY	DATE

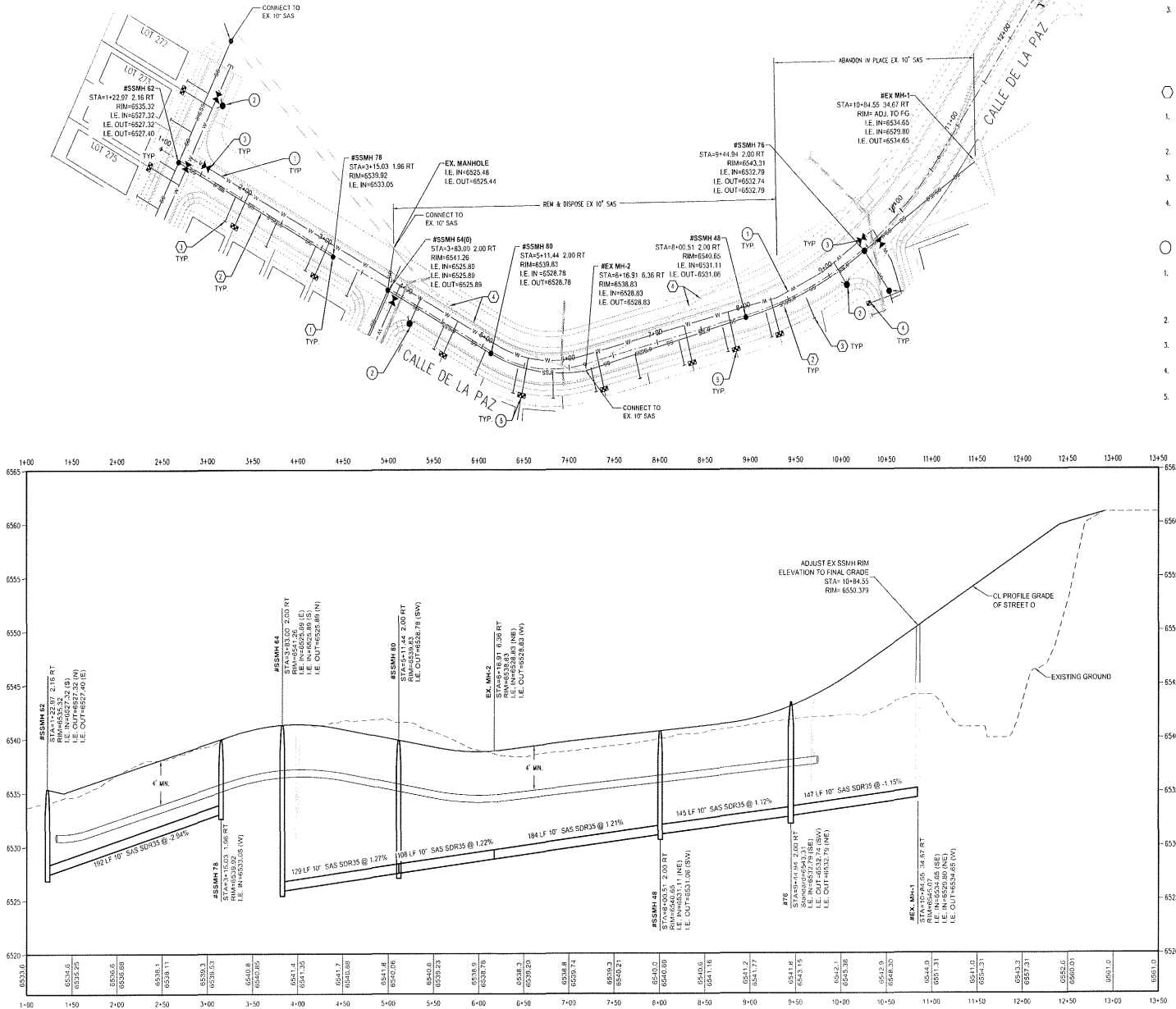
PROJECT:	DESIGNED BY:	RIS	DR
FILE:	DRAWN BY:	BS	JL
SCALE:	CHECKED BY:		AS NOTED



PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 3
 SHEET TITLE: WATER AND SEWER PLAN & PROFILE - CHITALPA

CITY REVIEW	SIGN-OFF	DATE
DEPARTMENT: WASTEWATER		
WATER ENGINEERING		
PLANNING		
FIRE DEPARTMENT		
LANDSCAPE		
TRAILS/OPEN SPACE		
SUBDIVISION REVIEW		

SHEET NO. C3-306



GENERAL NOTES:

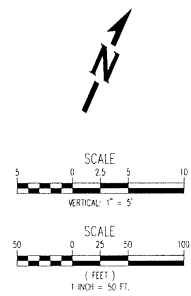
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4' MINIMUM BELOW FLOW LINE GRADE OF CURB & OUTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP. E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.
- DEMO & REMOVE EXISTING SEWER LINE.

WATER KEYED NOTES:

- INSTALL C-900 PVC WATER LINE PER SDGW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE, SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4' BELOW FINISHED GRADE AT FLOW LINE OF CURB & OUTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDGW CO. STANDARD DETAIL 07 & 08, SHEET WL-1.
- INSTALL GATE VALVES PER SDGW CO. STANDARD DETAILS 08, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE WATER PER SDGW CO. STANDARD DETAIL 02A, SHEET WL-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE WATER PER SDGW CO. STANDARD DETAIL 05, SHEET WL-1.



CASE/PERMIT NO. S-2020-2642



NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: REB BL
 DRAWN BY: J.S. DE J. J.C.
 DATE: 11/20/2020
 CHECKED BY: RB
 APPROVED BY: [Signature]



**VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3**
 PROJECT SHEET TITLE
**WATER AND SEWER PLAN &
 PROFILE - STREET O**

DATE	CITY REVIEW	SIGN-OFF	DEPARTMENT

DESIGNED BY: REB BL
 DRAWN BY: J.S. DE J. J.C.
 DATE: 11/20/2020
 CHECKED BY: RB
 APPROVED BY: [Signature]

C3-307

NO.	REVISIONS	BY	APP'D.	DATE



PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3
 SHEET TITLE: WATER AND SEWER PLAN & PROFILE- LA PEQUENA

DATE	CITY REVIEW	SIGN-OFF

SHEET NO. C3-309

GENERAL NOTES:

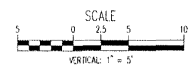
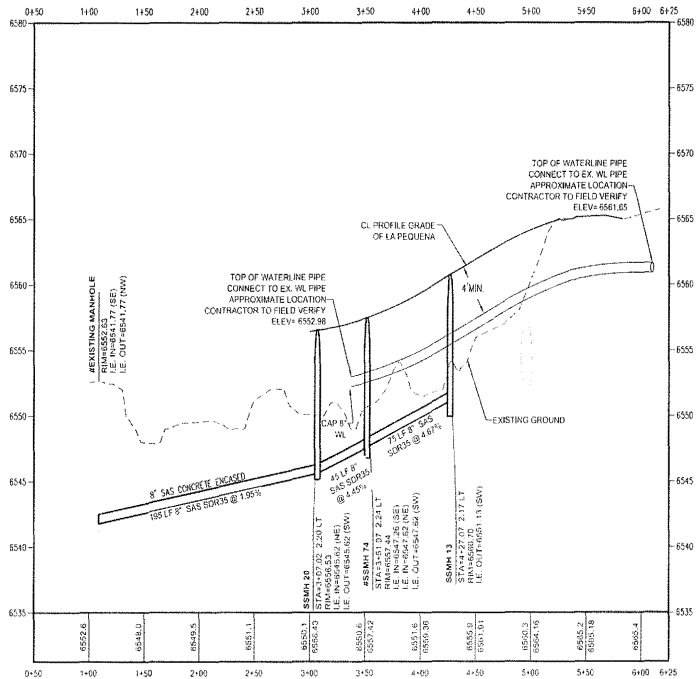
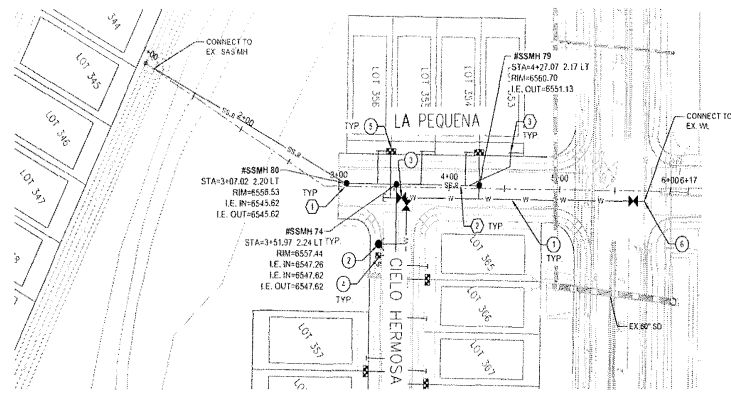
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONSTRUCT SANITARY SEWER IN ACCORDANCE WITH THE CITY OF SANTA FE WATER QUALITY DIVISION SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES.
- CONSTRUCT WATER LINES IN ACCORDANCE WITH CITY OF SANTA FE PUBLIC UTILITIES DEPARTMENT WATER DIVISION CONSTRUCTION STANDARDS AND SPECIFICATIONS. SEE SHEET G-002 FOR ADDITIONAL NOTES. ALL WATER MAIN LINE SHALL BE INSTALLED 4" MINIMUM BELOW FLOW LINE GRADE OF CURB & GUTTER.

SAS KEYED NOTES:

- INSTALL SANITARY SEWER MANHOLE (TYP E) PER STANDARD DETAILS SAS 02 THRU SAS 08, SHEET SF-1 TO SF-2. CONTRACTOR TO ADJUST RIM ELEVATION TO FINAL FINISHED GRADE.
- INSTALL SANITARY SEWER LINES PER STANDARD DETAILS SAS 11 THRU SAS 13, SHEET SF-3.
- INSTALL 4" SANITARY SEWER SERVICES PER STANDARD DETAIL SAS 10, SHEET SF-2.

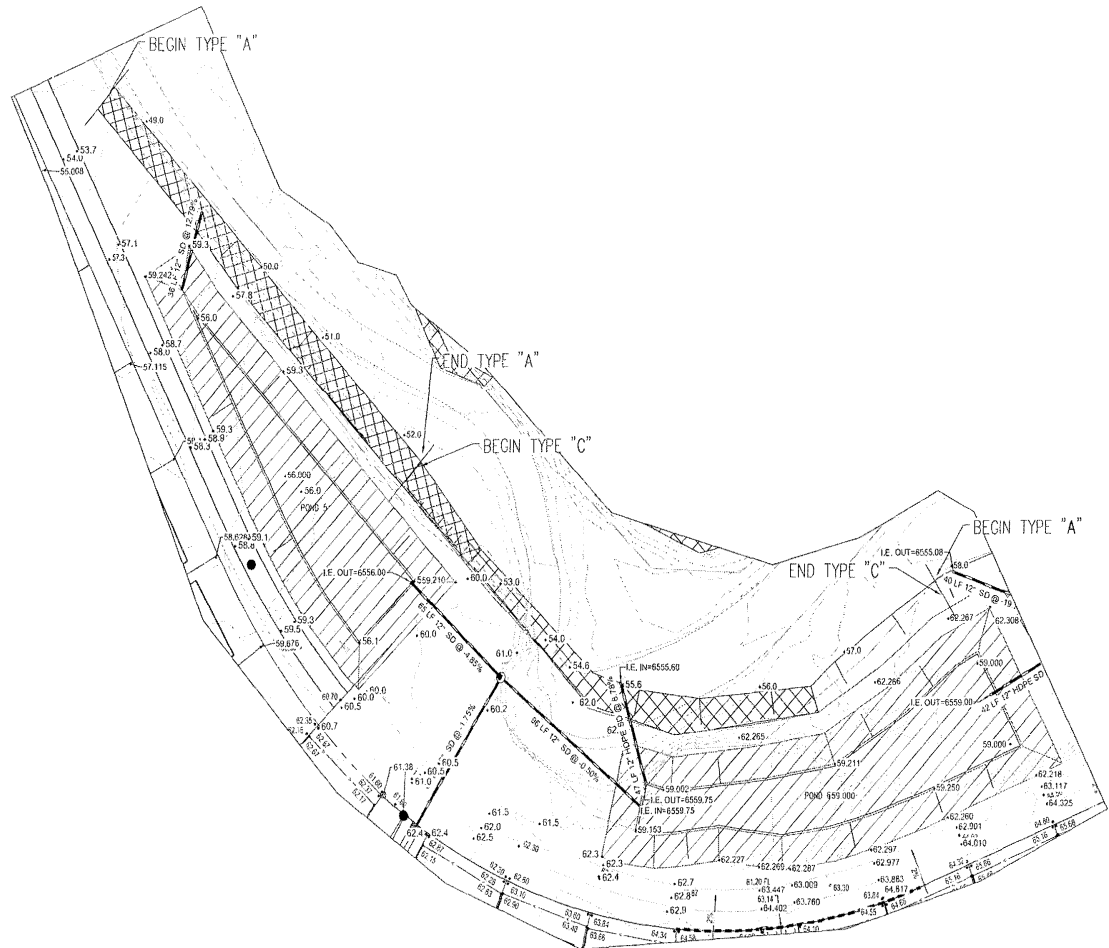
WATER KEYED NOTES:

- INSTALL C-900 PVC WATER LINE PER SDOW CO. STANDARD DETAILS AND SPECIFICATIONS. 8" OR 10" PVC WATER LINE. SEE PLAN FOR SIZE. WATER MAIN SHALL BE INSTALLED MINIMUM 4" BELOW FINISHED GRADE AT FLOW LINE OF CURB & GUTTER.
- INSTALL FIRE HYDRANT AND VALVE PER SDOW CO. STANDARD DETAIL 07 & 08, SHEET M-1.
- INSTALL GATE VALVES PER SDOW CO. STANDARD DETAILS 08, SHEET M-1.
- INSTALL 1" WATER SERVICE LINE FOR 3/4" SINGLE SERVICE METER PER SDOW CO. STANDARD DETAIL 02A, SHEET M-1.
- INSTALL 1" WATER SERVICE LINE FOR 5/8" DOUBLE SERVICE METER PER SDOW CO. STANDARD DETAIL 04, SHEET M-1.
- Tie TO EXISTING WATER LINE, CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION.

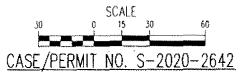


CASE/PERMIT NO. S-2020-2642

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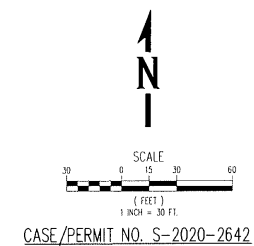
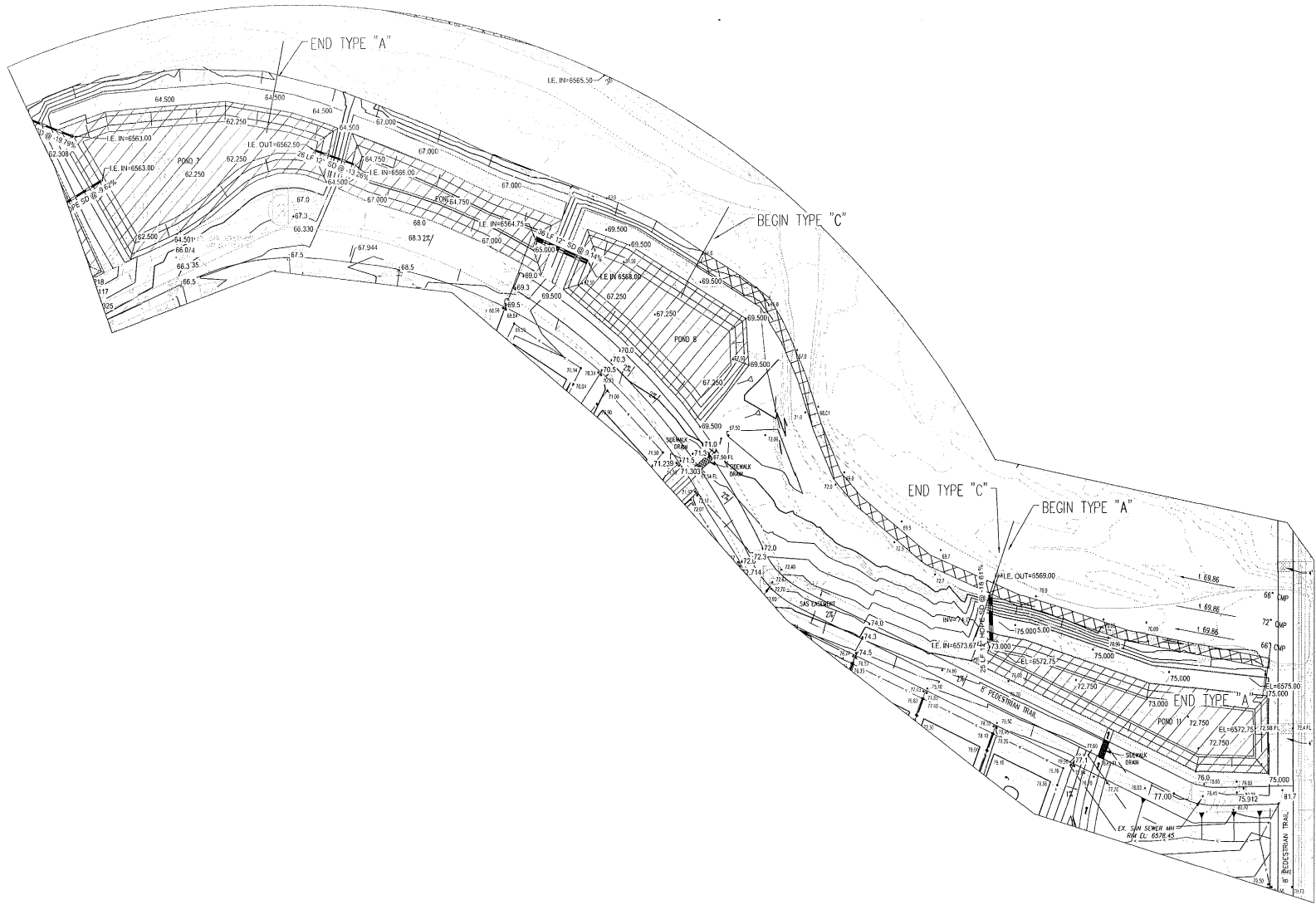
- LEGEND:**
- SWALE
 - RETAINING WALL
 - DITCH
 - WALL DRAIN
 - RETAINING WALL
 - DOUBLE RETAINING WALL
 - GRADING SPOT
 - EXISTING SPOT



WHPacific
 8500 Arroyo Drive, NE, Suite 400
 Albuquerque, NM 87110
 Phone: 505-262-2642
 www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE
PROJECT	VISTA DE LA SIERRA SUBDIVISION - PHASE 1			
FILE	AUD01103_00_C_Paved_Phase 1			
DATE	11/30/20			
SCALE	AS NOTED			
DESIGNED BY	R.B. BZ			
DRAWN BY	R.B. BZ			
CHECKED BY	R.B. BZ			

PROJECT	VISTA DE LA SIERRA SUBDIVISION - PHASE 1		
SHEET TITLE	ARROYO IMPROVEMENTS		
DATE			
DEPARTMENT			
WASTEWATER			
CIVIL ENGINEERING			
SITE DEPARTMENT			
SOLID WASTE			
TRAILS / OPEN SPACE			
SUBDIVISION REVIEW			
SHEET NO.	C1-400		



SCALE
(FEET)
1 INCH = 30 FT

CASE / PERMIT NO. S-2020-2642

WHPacific
6501 Alameda Parkway, Suite 400
San Diego, CA 92121
Tel: 619-582-2448
Fax: 619-582-2448
www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE

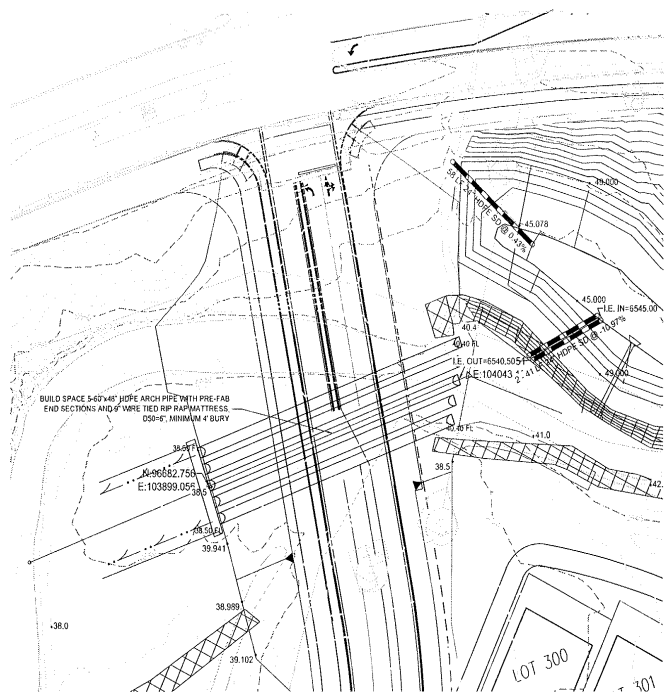
PROJECT:
 DESIGNED BY: R.R. BO
 DRAWN BY: J.S. EL. H. NS
 FILE:
 DATE: 11/29/20
 SCALE:
 APPROVED BY:
 DATE:
 CHECKED BY:
 DATE:



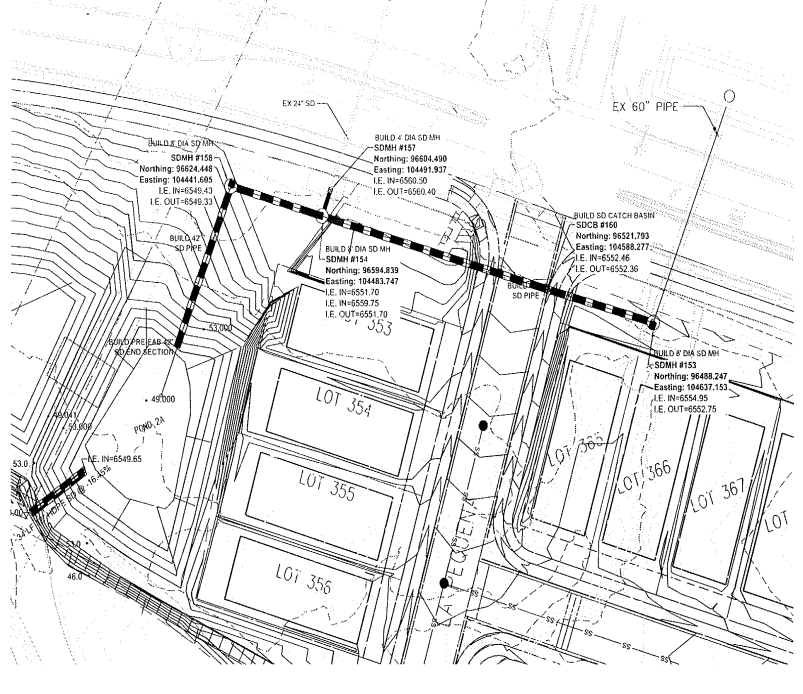
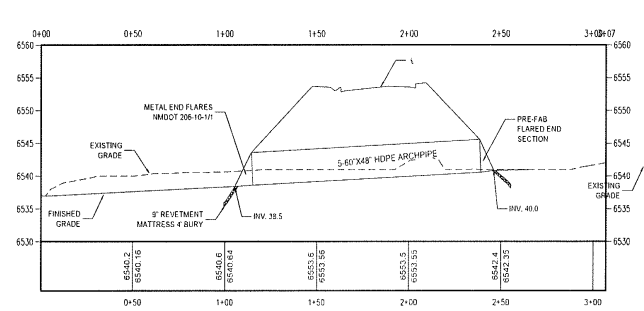
PROJECT: VISTA DE LA SIERRA
SUBDIVISION - PHASE 2A
SHEET TITLE: ARROYO IMPROVEMENTS

DEPARTMENT	DATE	CITY REVIEW	SUBCITY
WATER			
PLUMBING			
ENGINEERING			
FIRE DEPARTMENT			
LANDSCAPE			
TRAILS / OPEN SPACE			
SUBDIVISION REVIEW			

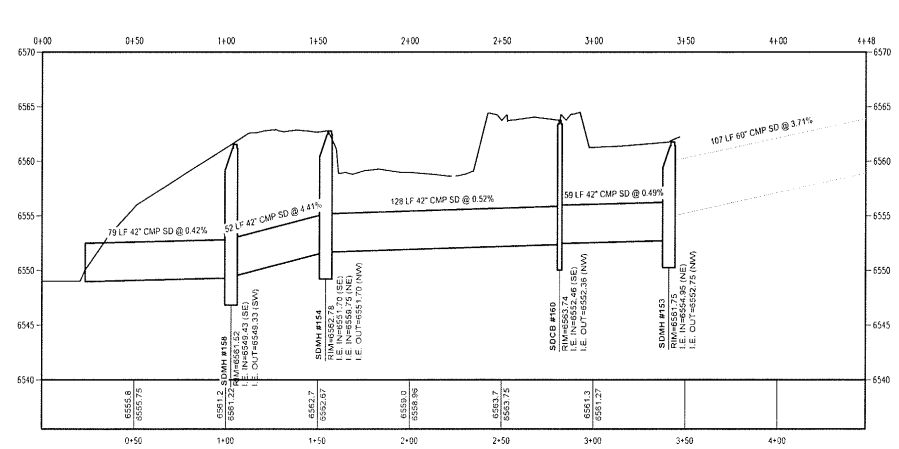
SHEET NO. **C2-401**



Calde De La Paz Crossing PROFILE



Offsite to Pond 2 PROFILE



NO.	REVISIONS	BY	DATE

DESIGNED BY: RB, BZ	PROJECT:
DRAWN BY: JR, JNC	DATE: 11/30/2020
CHECKED BY: JNC	ISSUE:



VISTA DE LA SIERRA
SUBDIVISION - PHASE 3
STORM AND ARROYO
IMPROVEMENTS

PROJECT: SHEET TITLE

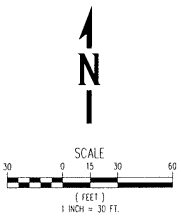
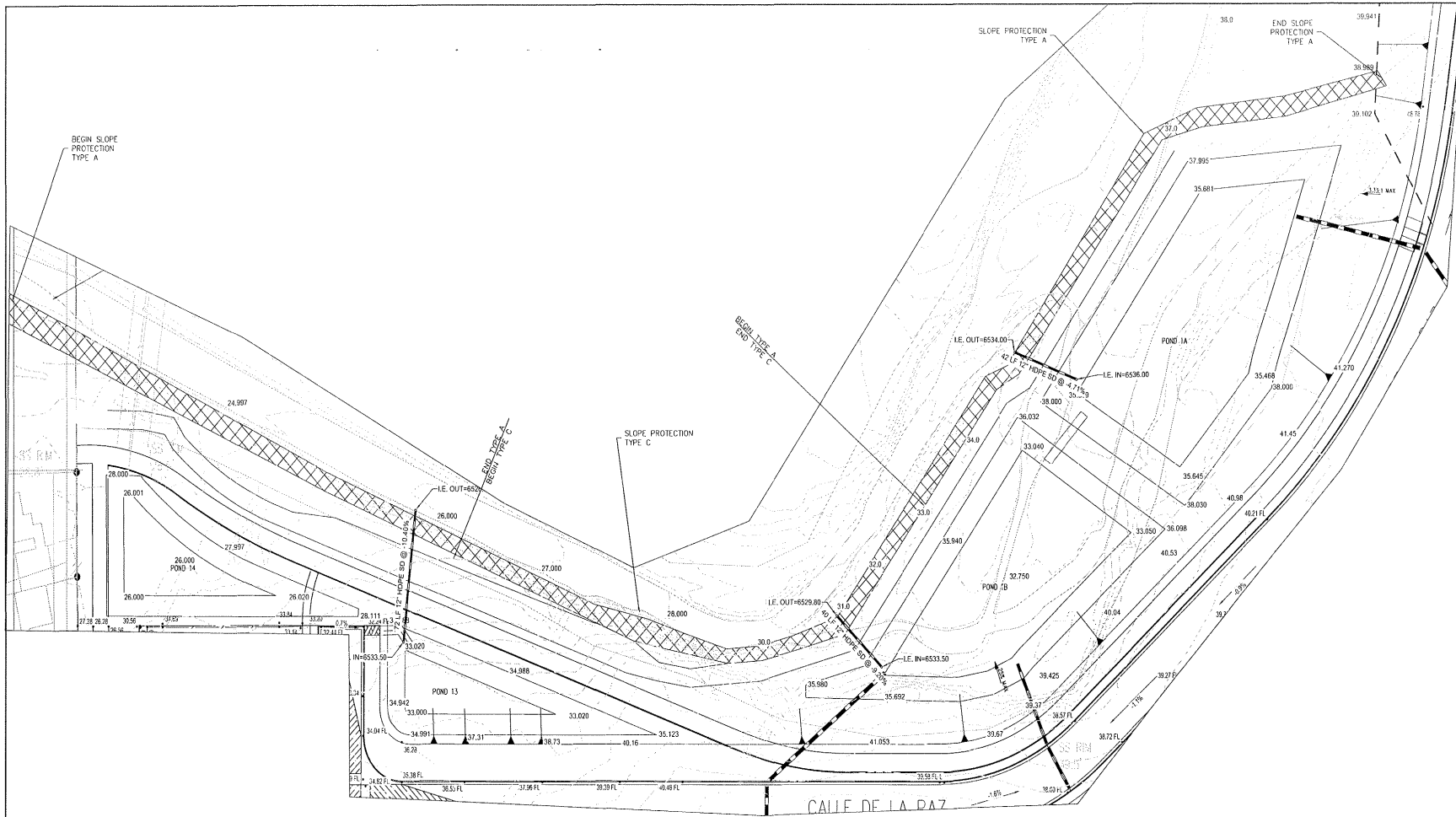
CITY REVIEW	SIGN-OFF	DATE

WASTEWATER DEPARTMENT	
WATER ENGINEERING	
TRAFFIC ENGINEERING	
PORTLAND FIRE DEPARTMENT	
PORTLAND LAND SALES	
TRANSIT/OPERATIONAL SPACE	
SUBDIVISION SURVEY	

SHEET NO. C3-400

P:\CityCenter_Civil\CityCenter\250145-A\03\156\658\External\Drawings\CityCenter_S-2020-2642_C3-400.dwg 11/30/2020 1:38 PM

C:\Columbian Capital Corporation\22019-001105-00-Excavator\Drawings\Civil\Phase 3A\DWG 11/20/2020 11:50 PM



CASE/PERMIT NO. S-2020-XX

WHPacific
 820 American Parkway, Suite 400
 Albuquerque, NM 87110
 505-242-4645
 www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE	AS NOTED

DESIGNED BY:	RS AZ
CHECKED BY:	RS
FILE:	ARROYO IMPROVEMENTS
DATE:	11/20/2020
SCALE:	AS NOTED

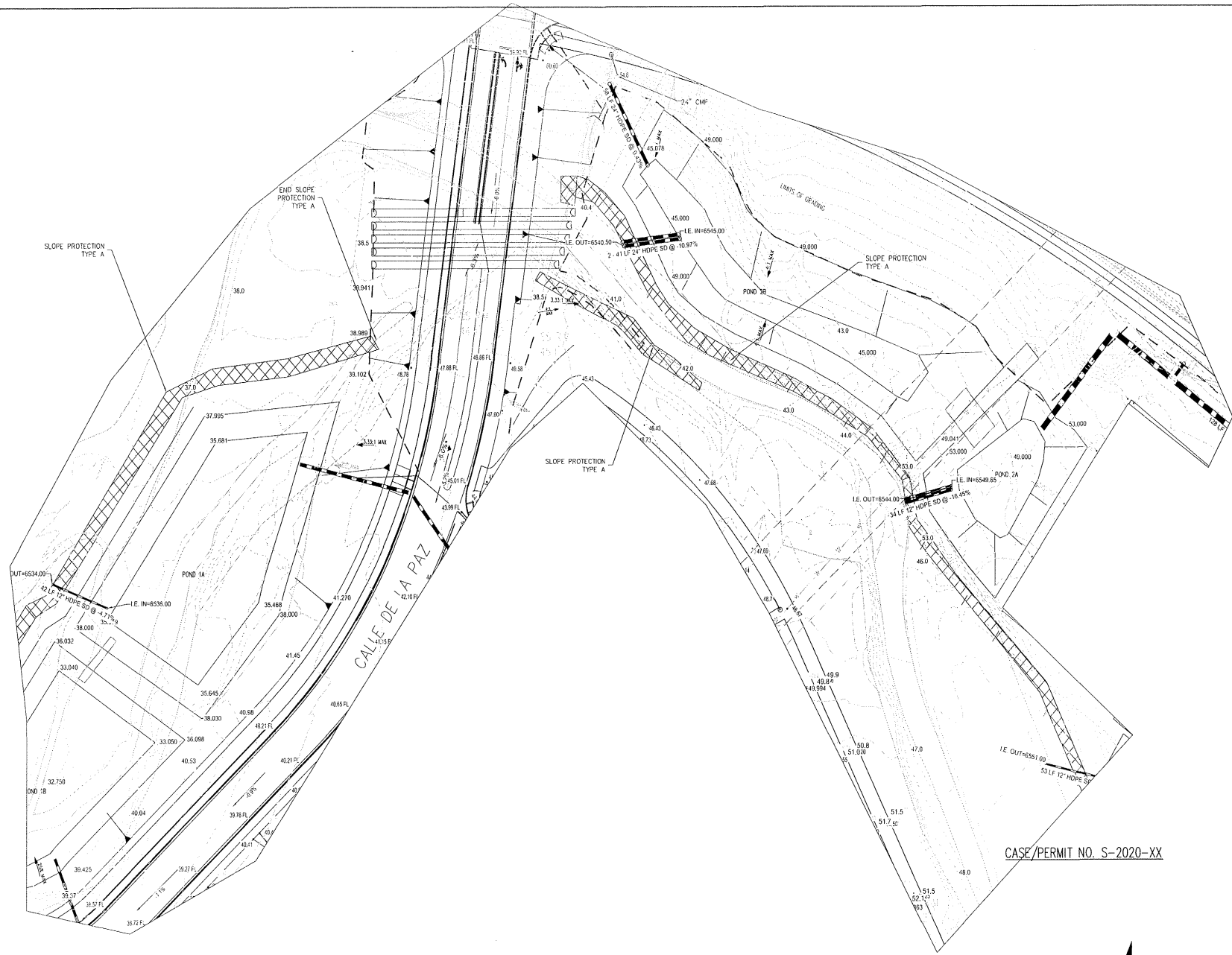


PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3A
 SHEET TITLE: ARROYO IMPROVEMENTS

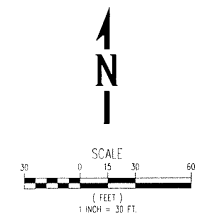
WASTEWATER	DEPARTMENT	CITY REVIEW	SCALE OFF	DATE

SHEET NO. C3-401

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CASE/PERMIT NO. S-2020-XX



WHPacific
 6501 Americas Pkwy NE, Suite 400
 5052-247254 Fax 5052-42-4845
 www.whpacific.com

NO.	REVISIONS	BY	DATE

PROJECT: 17092920
 DESIGNED BY: RL BZ
 DRAWN BY: RL BZ, MS
 CHECKED BY: AS
 SCALE: AS NOTED

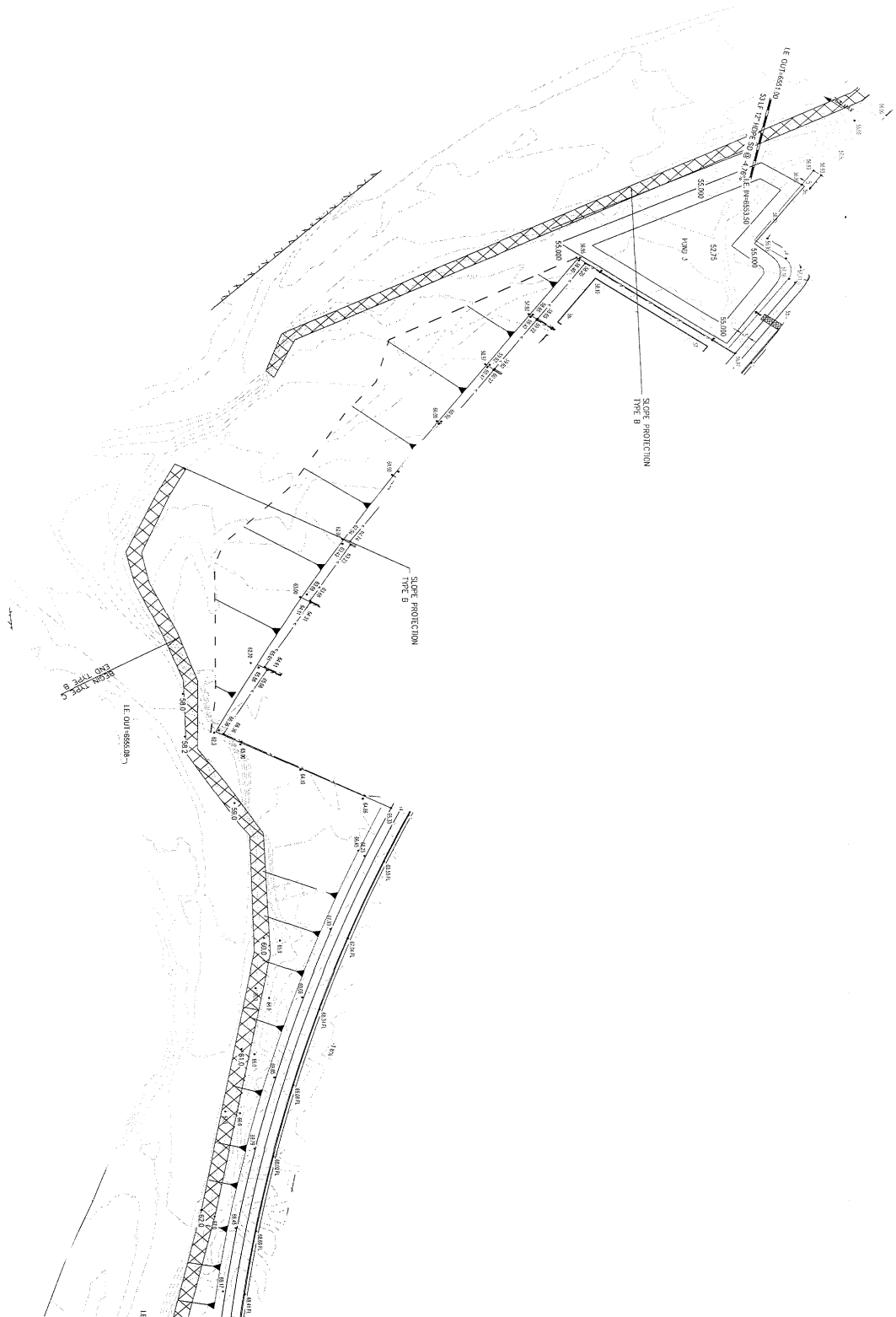


PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3A
 SHEET TITLE: ARROYO IMPROVEMENTS

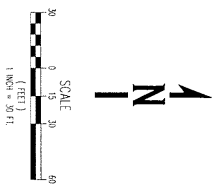
CITY REVIEW	SIGNOFF	DATE

DEPARTMENT: WATER
 DIVISION: WATER TREATMENT
 FIRE DEPARTMENT: PLUMBING
 LANDSCAPE
 TRAILS / OPEN SPACE
 SUBDIVISION REVIEW

SHEET NO. C3-402

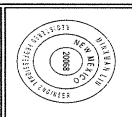


CASE/PERMIT NO. S-2020-XX



C3-403 SHEET NO.	DEPARTMENT	CITY REVIEW	SIGN-OFF	DATE
	WASTEWATER			
	WATER			
	PW ENGINEERING			
	TRAFFIC			
	FIRE DEPARTMENT			
SOLID WASTE				
LANDSCAPE				
TRAILS / OPEN SPACE				
SUBDIVISION REVIEW				

PROJECT:	VISTA DE LA SIERRA SUBDIVISION - PHASE 3B
SHEET TITLE:	ARROYO IMPROVEMENTS

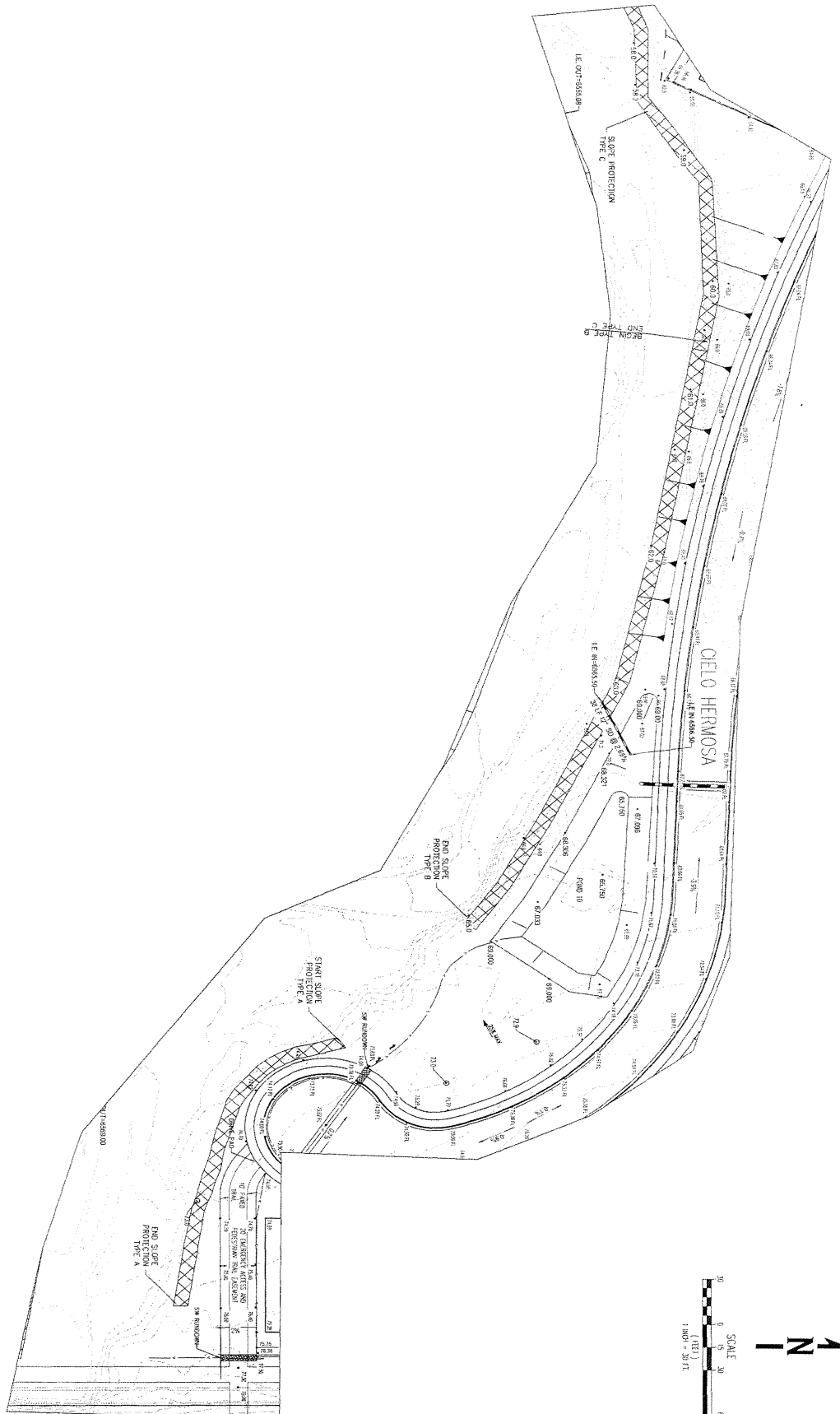


NO.	REVISIONS	BY	APP.	DATE

PROJECT:	DESIGNED BY: RB, BZ
FILE:	DRAWN BY: J.S. BZ, J.L. NG
DATE:	11/30/2020
SCALE:	CHECKED BY: HB
	AS NOTED

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CASE/PERMIT NO. S-2020-XX

CITY REVIEW		DATE
WASTEWATER DEPARTMENT	SIGN-OFF	
WATER DEPARTMENT	SIGN-OFF	
CIVIL ENGINEERING	SIGN-OFF	
TRAFFIC DEPARTMENT	SIGN-OFF	
FIRE DEPARTMENT	SIGN-OFF	
SOLID WASTE DEPARTMENT	SIGN-OFF	
LANDSCAPE DEPARTMENT	SIGN-OFF	
TRAILS/OPEN SPACE DEPARTMENT	SIGN-OFF	
SUBDIVISION REVIEW	SIGN-OFF	

PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 3B
 SHEET TITLE: ARROYO IMPROVEMENTS



NO.	REVISIONS	BY	APP.	DATE

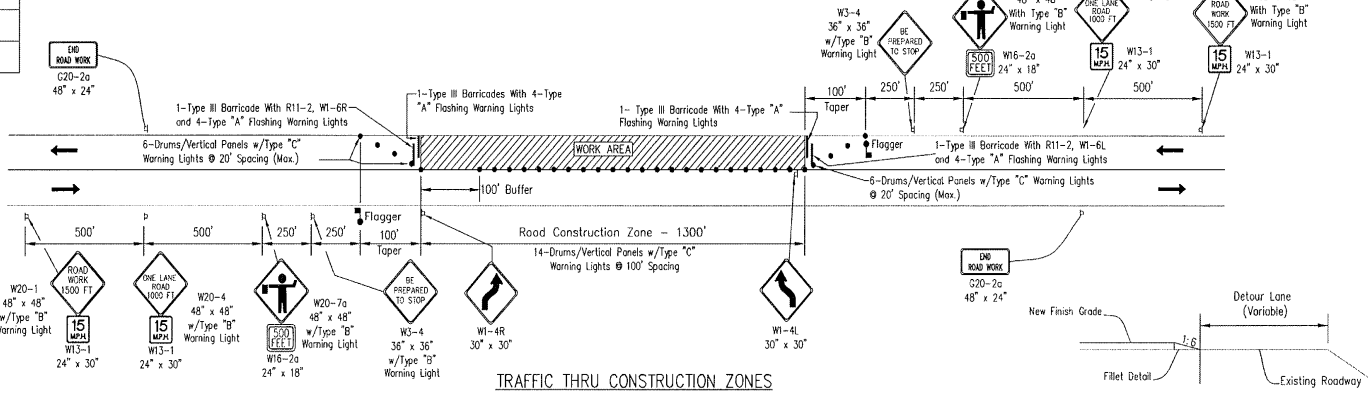
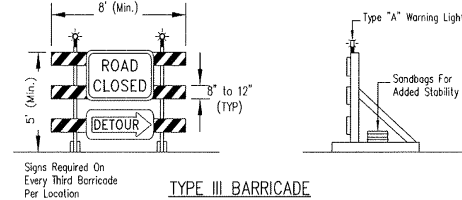
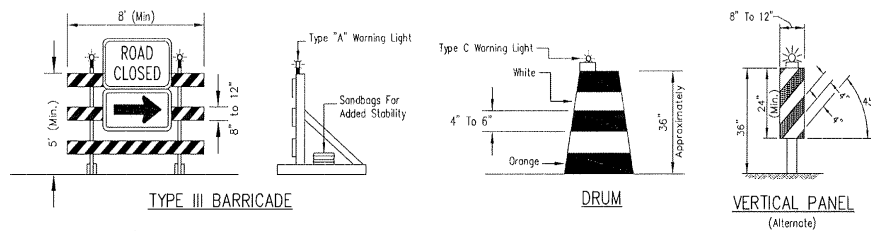
PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 3B
 DESIGNED BY: RR, BZ
 DRAWN BY: CS, BE, JL, NC
 DATE: 11/30/2020
 SCALE: AS NOTED

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TEMPORARY TRAFFIC CONTROL DEVICES

DESIGNATION	DETAIL	MINIMUM SIZE (inches)	DESIGNATION	DETAIL	MINIMUM SIZE (inches)	DESIGNATION	DETAIL	MINIMUM SIZE (inches)
W20-1		48 x 48	W1-4R W1-4L		30 x 30	W1-6R W1-6L		48 x 24
W20-1a		48 x 48	W16-2a		24 x 18	G20-1		60 x 24
W20-1b		48 x 48	G20-2a		48 x 24	W3-4		36 x 36
W20-4		48 x 48	Type III Barricade		As Shown			
W20-7a		48 x 48	R11-2		48 x 30			
W13-1		24 x 24	W8-12		48 x 48			

Drums or Vertical Panels	As Shown
Type A Warning Lights	N/A
Type C Warning Lights	N/A



GENERAL NOTES

- All Traffic Control Devices Shall Be in Accordance With the MUTCD (Latest Edition and Amendments) and the Supplemental Specifications for This Project.
- The Traffic Control Details Shown Are Only a Guide. The Contractor Is Solely Responsible For Implementing a Traffic Control Plan (TCP) in Accordance With These Details, Section 700 of NMDOT Standard Specifications, and the MUTCD Under Item 63501-0000. Any Additional Traffic Control Devices Called For on the Contractor's TCP Will Not Be Measured For Payment But Shall Be Considered Incidental to the Bid Items For Traffic Control Shown in the Bid Schedule. See the Supplemental Specifications For Additional Requirements.
- Signs G20-1 and G20-2a Shall Be Placed at the Project Limits and Remain in Place Through the Duration of the Project.
- Flaggers Shall Be Stationed Left & Right As Shown When Equipment Is Crossing or Working Within the Existing Roadway Prism.
- In Areas Open And/Or Crossed By the General Public, the Contractor Shall Ensure That No Pavement Drop-Offs Are Left Exposed During Non-Working Hours. The Contractor Shall Initiate Corrective Means to Achieve a 1:6 Or Flatter Slope As Shown in the Fillet Detail.
- At the End of Each Working Day, It Will Be the Contractor's Responsibility to Provide a Driving Surface Free of Obstructions. Access to All Adjoining Properties and BIA/County System Routes Shall Be Maintained at All Times (Day and Night).
- All Traffic Control Devices (Except at Detour Road Locations and as Noted in Above Note #3) Such as Construction Signs, Drums, Barricades, etc., Shall Be Removed to a Location at Least Thirty (30) Feet from the Edge of the Shoulder When Construction Is Not in Progress.
- During Construction Operations, Traffic Shall Be Moved Through the Work Zone Using Pilot Cars (As Required). Applicable Signs and Other Items (Two-Way Road Contact) Related to the Traffic Control Shall Be Considered Incidental Obligations of the Contractor.
- The Contractor Has the Option to Either Use Drums or Vertical Panels, But Shall Not Use a Combination of Both. No Traffic Cones Are Allowed.
- The Contractor Has the Option to Utilize Detour Roads in Accordance With the MUTCD in Conjunction With or in Lieu of Using the "Traffic Thru Construction Zones" Details Shown on this Plan and in Accordance With Section 107 and 204. The Cost of Any Detour Roads (Including All Detour Related Earthwork and Maintenance) Shall Be Considered Incidental to the Temporary Traffic Control Bid Items. The Contractor is Responsible For All Necessary Permits and Clearances For Any Detour Roads.
- It is the Responsibility of the Contractor to Maintain the Existing Roadway And/Or Detour in a Drivable Condition During Construction. This Work is Considered Incidental to Temporary Traffic Control.
- At Locations Where New Road Construction Intersects Existing Roadway And At Tie-Ins With Existing Roads at the End of the New Construction, Special Traffic Control Procedures Shall be Included as Needed in the Contractor's TCP. These Include But Are Not Necessarily Limited to the following: Type III Barricades With "Road Closed"/Detour Signs; Flaggers; Drums, Etc.
- The Traffic Control on This Project Shall Be Coordinated With the Project Construction Schedule. The Contractor's TCP Shall Reflect This Coordination.
- All Traffic Control Actions and Changes Shall Be in Compliance with General Note 3, Pg 3 - NT01.

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 Phone: 509-227-0224 Fax: 509-227-4945
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NO.	REVISIONS	BY	APP.	DATE

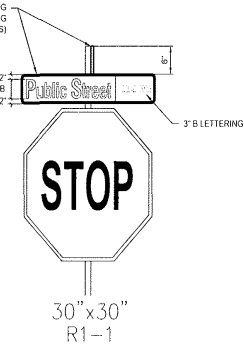
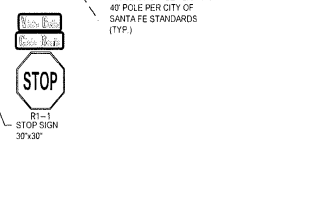
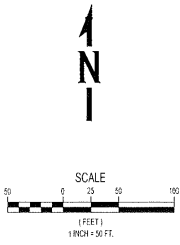
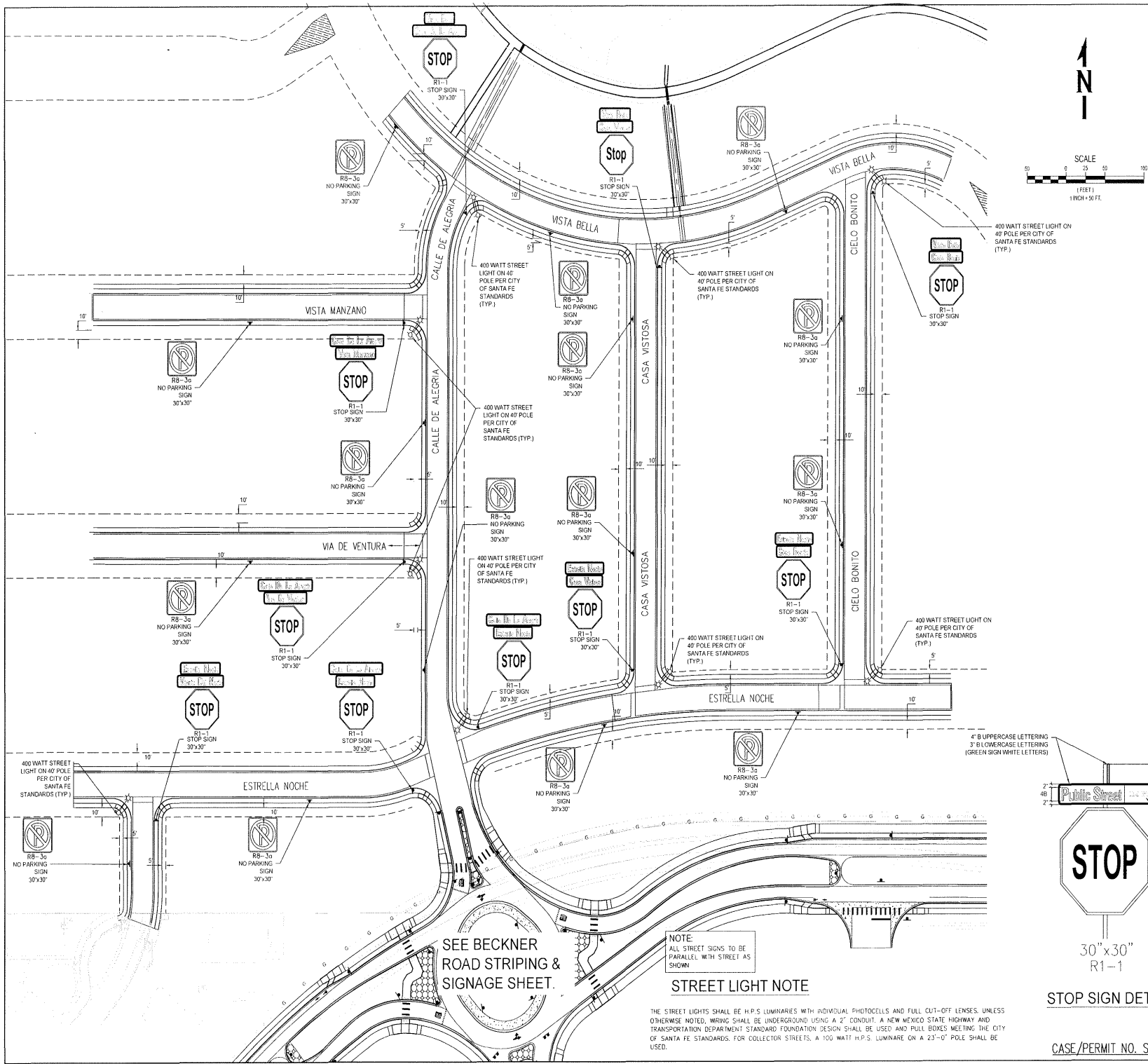


VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1, 2 & 3
 TRAFFIC CONTROL PLAN

DATE	
CITY REVIEW	
DEPARTMENT	
WATER	
SEWER	
TRAFFIC	
FIRE DEPARTMENT	
LANDSCAPE	
TRAFFIC ENGINEER	
SHEET NO.	

C-500

CASE/PERMIT NO. S-2020-2642



NO.	REVISIONS	BY	APP.	DATE

PROJECT: _____ DESIGNED BY: R.S. BE
 FILE: _____ DRAWN BY: J.S. BE, J. NC
 DATE: _____ 11/20/20 DATE CHECKED BY: _____
 SCALE: _____



VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 STRIPING, SIGNAGE &
 DRY UTILITY PLAN

DATE	SIGNOFF

CITY REVIEW

DEPARTMENT
 WATER
 WATER
 FIRE DEPARTMENT
 SANITATION
 LANDSAFETY
 TRAILER OPEN SPACE
 SUBDIVISION REVIEW

SHEET NO.
C1-600

DATE/PERMIT NO. S-2020-2642

PERMANENT SIGNING & STRIPING NOTES

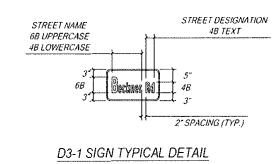
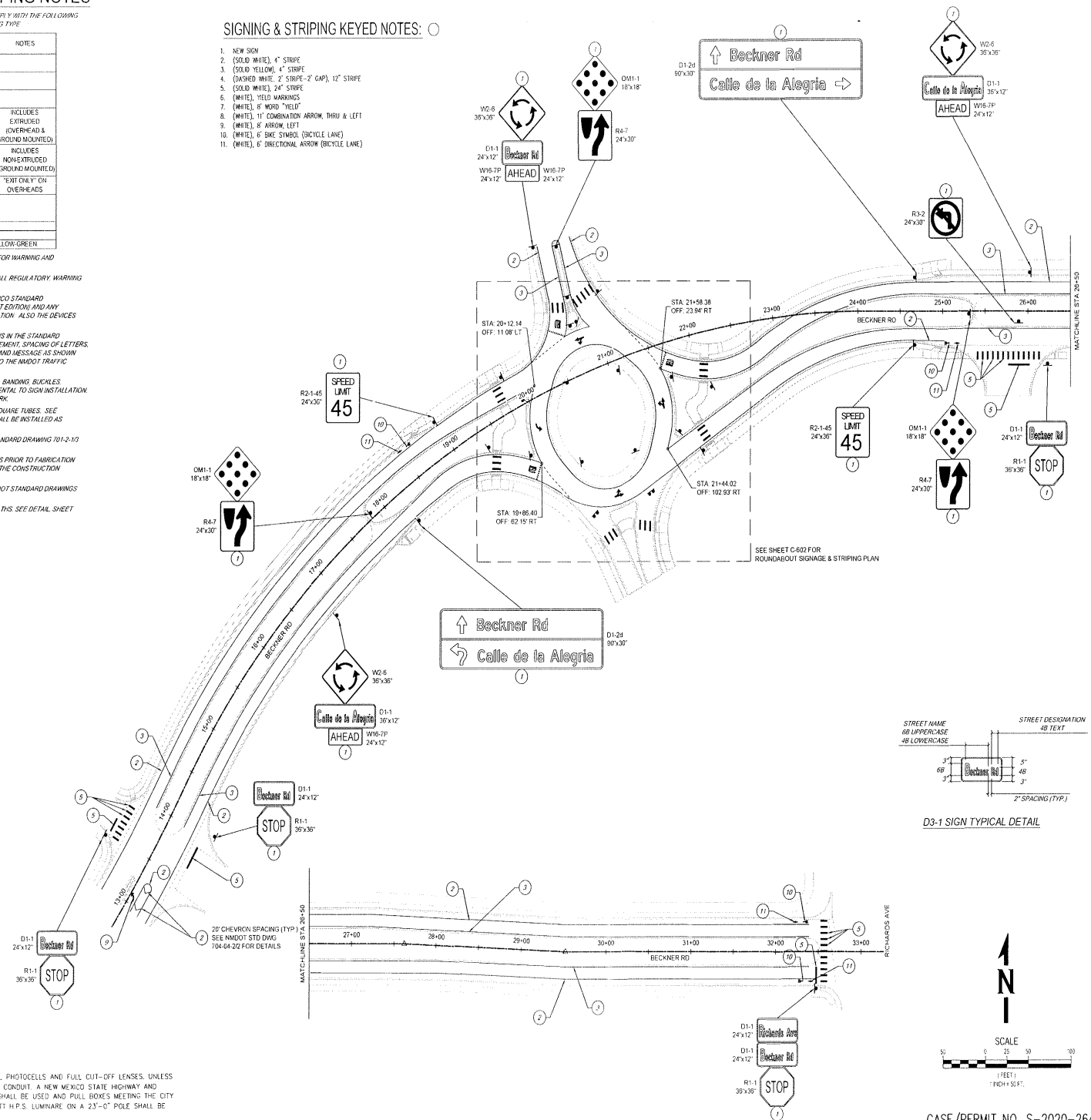
ALL REGULATORY WARNING SPECIAL AND GUIDE SIGNS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS LETTERS AND BACKGROUND TO BE SAME SHEETING TYPE

SIGN SHEETING	LETTER SHEETING	SIGN CODE	COLOR	NOTES
REGULATORY SIGNS	(X OR Y)	ALL	WHITE, RED, BLACK, WHITE	
WARNING SIGNS	(X OR Y)	ALL	BLACK, FLUORESCENT YELLOW	
SCHOOL/SCHOOL ZONE	(X OR Y)	ALL	BLACK, FLUORESCENT YELLOW, GREEN	
GUIDE & DESTINATION SIGNS	(X)	ALL	WHITE, GREEN (EXCEPT WHERE OTHERWISE SPECIFIED IN THE MUTCD)	INCLUDES EXHIBITED (OVERHEAD & GROUND MOUNTED)
GUIDE & DESTINATION SIGNS	(XX)	ALL	WHITE, GREEN (EXCEPT WHERE OTHERWISE SPECIFIED IN THE MUTCD)	INCLUDES NON-EXHIBITED (GROUND MOUNTED)
E-CODE SIGNS	(X)	E11-1, 1a, 1b, 1c	BLACK, FLUORESCENT YELLOW	"EXIT ONLY" ON OVERHEADS
RECREATIONAL & CULTURAL INTEREST	(X)	ALL	WHITE, BROWN	
GENERAL SERVICE	(X)	ALL	WHITE, BLUE	
SPECIAL SERVICE	(X)	ALL	WHITE, BLUE	
SCHOOL, PEDESTRIAN AND BICYCLE SIGNS	(X)	ALL	WHITE, GREEN	

- ONE (1) 1/8" THICK ALUMINUM PANEL SIGNS ARE PERMITTED FOR WARNING AND REGULATORY SIGNS
- ANTI GRAFFITI COATING, WITH UV INHIBITOR, SHALL BE APPLIED ON ALL REGULATORY, WARNING, GUIDE, AND SPECIAL SIGNS.
- ALL TRAFFIC CONTROL DEVICES SHALL COMPLY WITH THE NEW MEXICO STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) AND ANY APPLICABLE SPECIAL PROVISION AND/OR SUPPLEMENTAL SPECIFICATION. ALSO THE DEVICES SHALL COMPLY WITH THE CURRENT EDITION OF THE MUTCD.
- EACH SIGN FACE SHOWN ON PLANS SHALL MEET THE SPECIFICATIONS IN THE STANDARD HIGHWAY SIGNS MANUAL (CURRENT EDITION) FOR PROPER ARRANGEMENT, SPACING OF LETTERS, LETTER HEIGHT, SYMBOLS, AND BORDERS FOR THE SPECIFIED SIZE AND MESSAGE AS SHOWN ON PLANS. ALL SPECIAL SIGN FACE DETAILS SHALL BE SUBMITTED TO THE NMDOT TRAFFIC ENGINEER FOR REVIEW AND APPROVAL.
- ALL SIGNING HARDWARE, INCLUDING, BUT NOT LIMITED TO BRACKET, BANDING, BUCKLES, FASTENERS, SCREWS, AND WASHERS, ETC. ARE CONSIDERED INCIDENTAL TO SIGN INSTALLATION THEREFORE NO ADDITIONAL PAYMENTS WILL BE MADE FOR THIS WORK.
- 3/4" BASE POSTS ARE REQUIRED FOR ALL SIGNS USING 2.25" x 2.25" SQUARE TUBES. SEE STANDARD DRAWING 101-02-113 FOR DETAILS. BASE POSTS TYPE SHALL BE INSTALLED AS INDICATED IN TABLE.
- SIGN POSTS SHALL BE INSTALLED IN ACCORDANCE WITH NMDOT STANDARD DRAWING 701-2-10 OR AS APPROVED BY THE CONSTRUCTION PROJECT MANAGER.
- THE CONTRACTOR SHALL VERIFY ALL SIGNING, TEXT, AND LOCATIONS PRIOR TO FABRICATION AND INSTALLATION. NEW SIGN LOCATIONS SHALL BE APPROVED BY THE CONSTRUCTION PROJECT MANAGER.
- ALL PAINTED ARROWS SHALL BE PLACED IN ACCORDANCE WITH NMDOT STANDARD DRAWINGS AND THE CURRENT EDITION OF THE MUTCD.
- CROSSWALK STRIPING SHALL BE PLACED 6" O.C. TO AVOID WHEEL PATHS. SEE DETAIL SHEET C1-602.

SIGNING & STRIPING KEYED NOTES:

- NEW SIGN
- (SOLID WHITE), 4" STRIPE
- (SOLID YELLOW), 4" STRIPE
- (DASHED WHITE), 2" STRIPE-2" GAP, 12" STRIPE
- (SOLID WHITE), 24" STRIPE
- (WHITE), YIELD MARKINGS
- (WHITE), 8" WORD "YIELD"
- (WHITE), 11" COMBINATION ARROW, THRU & LEFT
- (WHITE), 8" ARROW, LEFT
- (WHITE), 6" SKE SYMBOL (BICYCLE LANE)
- (WHITE), 8" DIRECTIONAL ARROW (BICYCLE LANE)



NOTE:
ALL STREET SIGNS TO BE PARALLEL WITH STREET AS SHOWN

STREET LIGHT NOTE

THE STREET LIGHTS SHALL BE H.P.S LUMINARIES WITH INDIVIDUAL PHOTOCELLS AND FULL CUT-OFF LENSES, UNLESS OTHERWISE NOTED. WIRING SHALL BE UNDERGROUND USING A 2" CONDUIT. A NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD FOUNDATION DESIGN SHALL BE USED AND FULL SIGNS MEETING THE CITY OF SANTA FE STANDARDS. FOR COLLECTOR STREETS, A 100 WATT H.P.S. LUMINAIRE ON A 23'-0" POLE SHALL BE USED.

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NO.	REVISIONS	BY	APP.	DATE

PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 1 STRIPING, SIGNAGE & DRY UTILITY PLAN
DESIGNED BY: RS, BP
DRAWN BY: SS, JR, NO
CHECKED BY: JG, NO
SCALE: AS NOTED



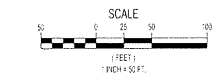
VISTA DE LA SIERRA SUBDIVISION - PHASE 1 STRIPING, SIGNAGE & DRY UTILITY PLAN

PROJECT: VISTA DE LA SIERRA SUBDIVISION - PHASE 1 STRIPING, SIGNAGE & DRY UTILITY PLAN
SHEET TITLE: STRIPING, SIGNAGE & DRY UTILITY PLAN

DATE	SIGNOFF	CITY REVIEW

DEPARTMENT: WASTE/WATER, WATER ENGINEERING, TRANSPORTATION, CIVIL/PLUMBING, ELECTRICAL, LANDSCAPE ARCHITECTURE, SURVEYING/INSURANCE

SHEET NO. C1-601



CASE/PERMIT NO. S-2020-2642

SIGNING & STRIPING KEYED NOTES: ○

1. NEW SIGN
2. (SOLID WHITE), 4" STRIPE
3. (SOLID YELLOW), 4" STRIPE
4. (DASHED WHITE), 2" STRIPE-2" GAP, 12" STRIPE
5. (SOLID WHITE), 24" STRIPE
6. (WHITE), YIELD MARKINGS
7. (WHITE), 8" WORD "AHEAD"
8. (WHITE), 11" CONVEYANCE ARROW, THRU & LEFT
9. (WHITE), 6" ARROW, LEFT
10. (WHITE), 6" BICYCLE SYMBOL (BICYCLE LANE)
11. (WHITE), 6" DIRECTIONAL ARROW (BICYCLE LANE)



NO.	REVISIONS	BY	APP.	DATE



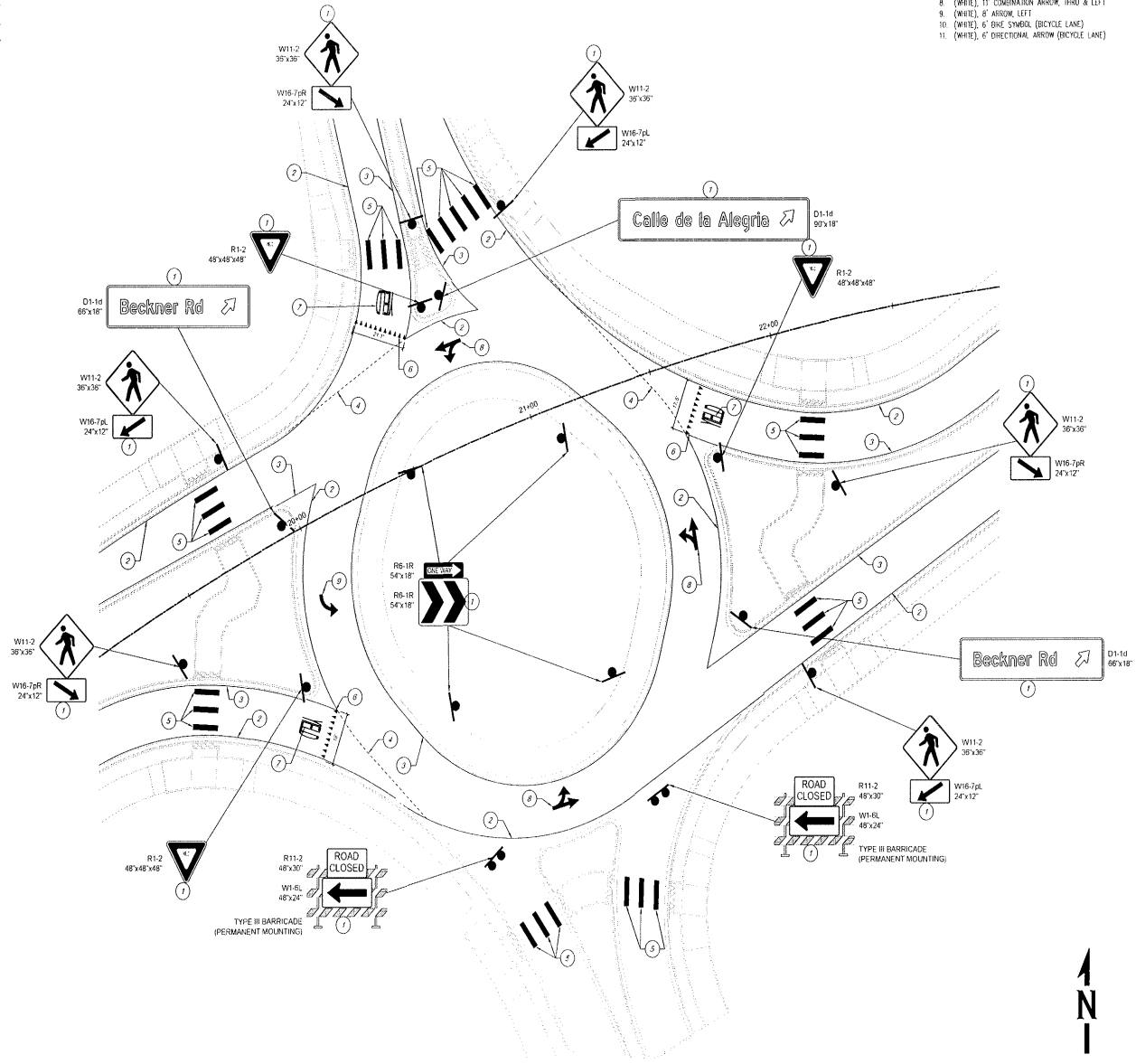
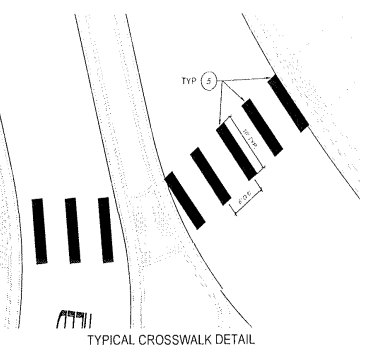
**VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1
 STRIPING, SIGNAGE &
 DRY UTILITY PLAN**

DEPARTMENT	DATE
WATER	
SEWER	
ENGINEERING	
PLANNING	
PERMITS DEPARTMENT	
LANDSCAPE	
UTILITY DESIGN BRANCH	
SUBDIVISION REVIEW	

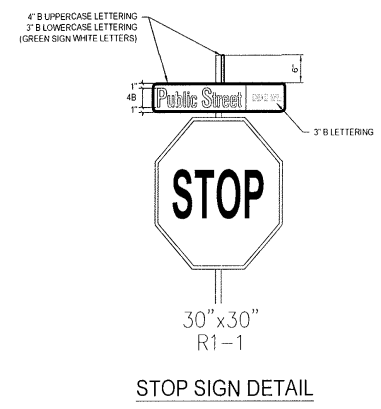
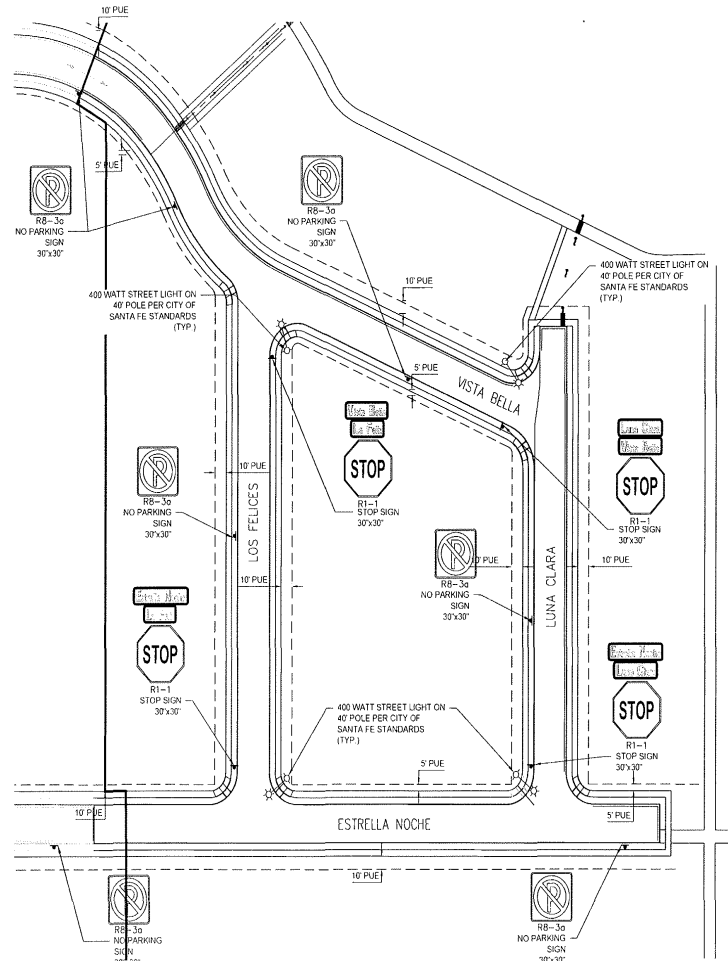
C1-602



CASE/PERMIT NO. S-2020-2642



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NOTE:
ALL STREET SIGNS TO BE PARALLEL WITH STREET AS SHOWN

STREET LIGHT NOTE

THE STREET LIGHTS SHALL BE H.P.S. LUMINAIRES WITH INDIVIDUAL PHOTOCELLS AND FULL CUT-OFF LENSES, UNLESS OTHERWISE NOTED. WIRING SHALL BE UNDERGROUND USING A 2" CONDUIT. A NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD FOUNDATION DESIGN SHALL BE USED AND PULL BOXES MEETING THE CITY OF SANTA FE STANDARDS. FOR COLLECTOR STREETS, A 100 WATT H.P.S. LUMINAIRE ON A 23'-0" POLE SHALL BE USED.

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NO.	REVISIONS	BY	APP'D	DATE
PROJECT:	DESIGNED BY: RB/BZ			
FILE:	DRAWN BY: BE, JL, LK			
DATE:	CHECKED BY: RB			
SCALE:	AS SHOWN			

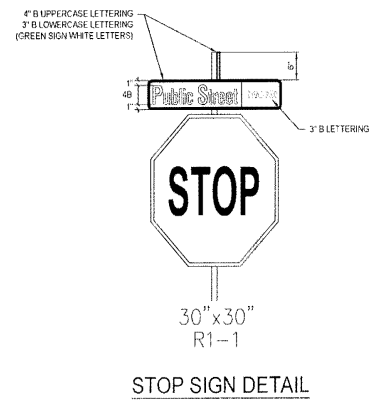
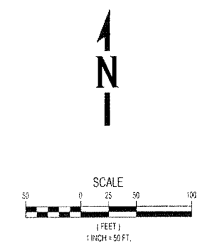
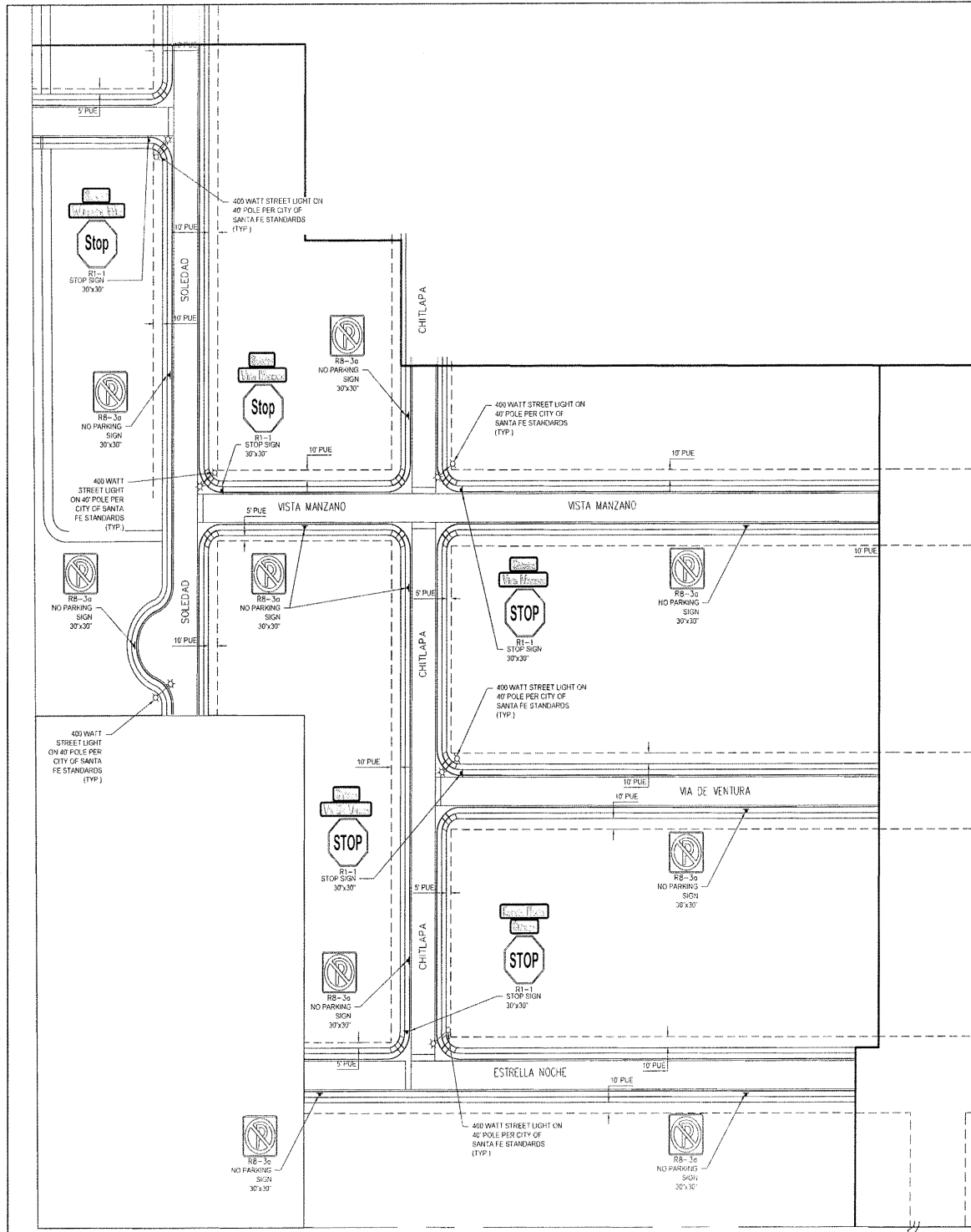
PROJECT VISTA DE LA SIERRA
SUBDIVISION - PHASE 2A

SHEET TITLE
STRIPING, SIGNAGE & LIGHTING, DRY UTILITY PLAN

DEPARTMENT:	DATE:
WATER:	CITY REVIEW:
SEWER:	SIGNOFF:
PAVING/ENGINEERING:	
TRAFFIC ENGINEERING:	
LANDSCAPE:	
UTILITY/OPEN SPACE:	
SUBDIVISION REVIEW:	

SHEET NO.
C2-600

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NOTE
 ALL STREET SIGNS TO BE PARALLEL WITH STREET AS SHOWN

STREET LIGHT NOTE

THE STREET LIGHTS SHALL BE H.P.S. LUMINARIES WITH INDIVIDUAL PHOTOCELLS AND FULL CUT-OFF LENSES, UNLESS OTHERWISE NOTED. WIRING SHALL BE UNDERGROUND USING A 2" CONDUIT. A NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD FOUNDATION DESIGN SHALL BE USED. AND PULL BOXES MEETING THE CITY OF SANTA FE STANDARDS. FOR COLLECTOR STREETS, A 100 WATT H.P.S. LUMINAIRE ON A 23'-0" POLE SHALL BE USED.

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 805-347-0250 Fax 805-247-4845
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NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RB, DP
 CHECKED BY: RB, DP
 DATE: 11/09/20
 SCALE: AS NOTED

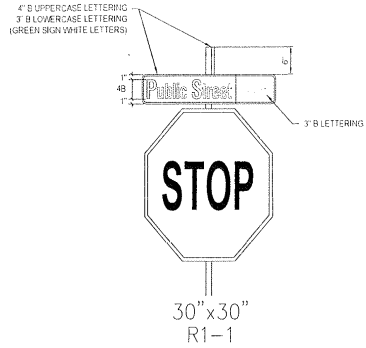


PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 2B
 SHEET TITLE: STRIPING, SIGNAGE & LIGHTING, DRY UTILITY PLAN

DATE	REVIEW	SIGNOFF

DEPARTMENT: WATER
 WASTEWATER
 UTILITIES
 TRAFFIC
 SITE DEVELOPMENT
 LANDSCAPE ARCHITECTURE
 SUBMITTAL REVIEW

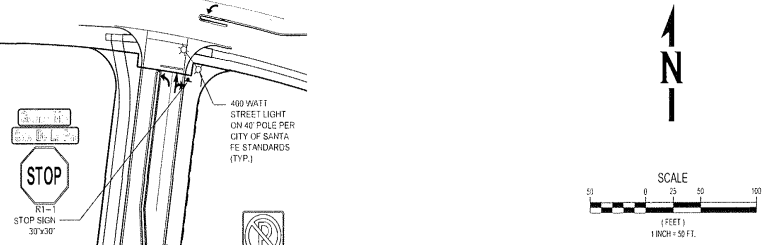
SHEET NO. **C2-601**



NOTE:
ALL STREET SIGNS TO BE
PARALLEL WITH STREET AS
SHOWN

STREET LIGHT NOTE

THE STREET LIGHTS SHALL BE H.P.S. LUMINAIRES WITH INDIVIDUAL PHOTOCELLS AND FULL CUT-OFF LENSES. UNLESS OTHERWISE NOTED, WIRING SHALL BE UNDERGROUND USING A 2" CONDUIT. A NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD FOUNDATION DESIGN SHALL BE USED AND PULL BOXES MEETING THE CITY OF SANTA FE STANDARDS. FOR COLLECTOR STREETS, A 100 WATT H.P.S. LUMINAIRE ON A 23'-0" POLE SHALL BE USED.



NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RS, BE
DRAWN BY: JS, AZ, J, NC
DATE: 1/30/2020
CHECKED BY: JS, BE
SCALE: AS SHOWN



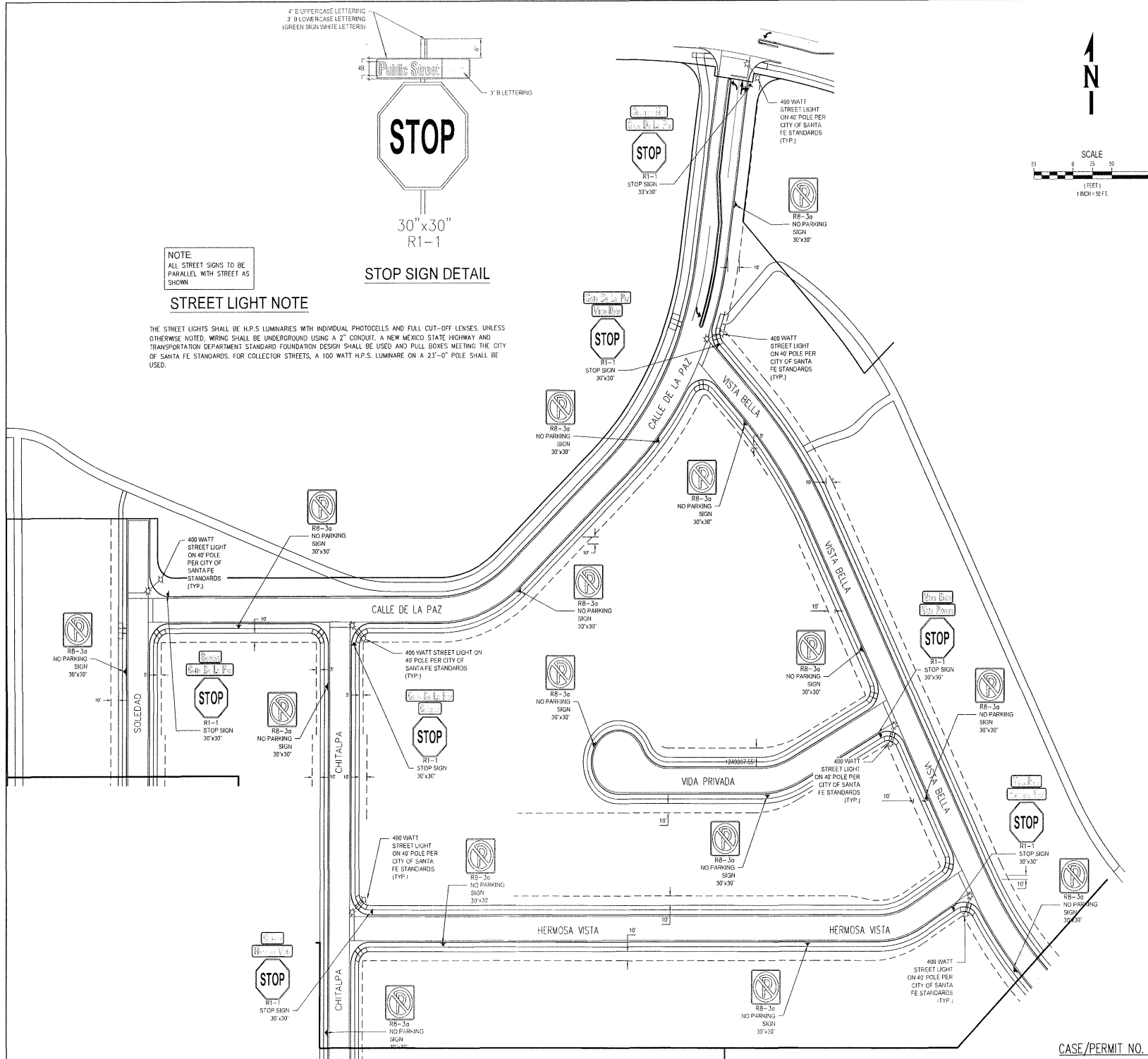
**VISTA DE LA SIERRA
SUBDIVISION - PHASE 3A
STRIPING, SIGNAGE &
DRY UTILITY PLAN**

DEPARTMENT	DATE	CITY REVIEW	SIGN-OFF
TRANSPORTATION			
WATER			
SEWER			
PLANNING			
FIRE DEPARTMENT			
SALES & MARKETING			
LANDSCAPE			
FINALS/OPEN SPACE			
ADMINISTRATIVE REVIEW			

SHEET NO.
C3-600

CASE/PERMIT NO. S-2020-2642

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NO.	REVISIONS	BY	APP.	DATE

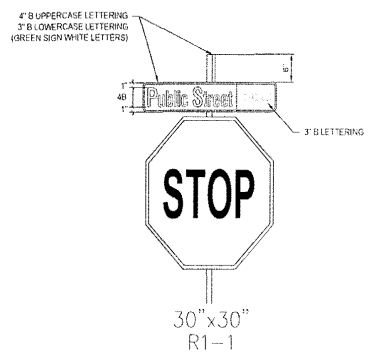
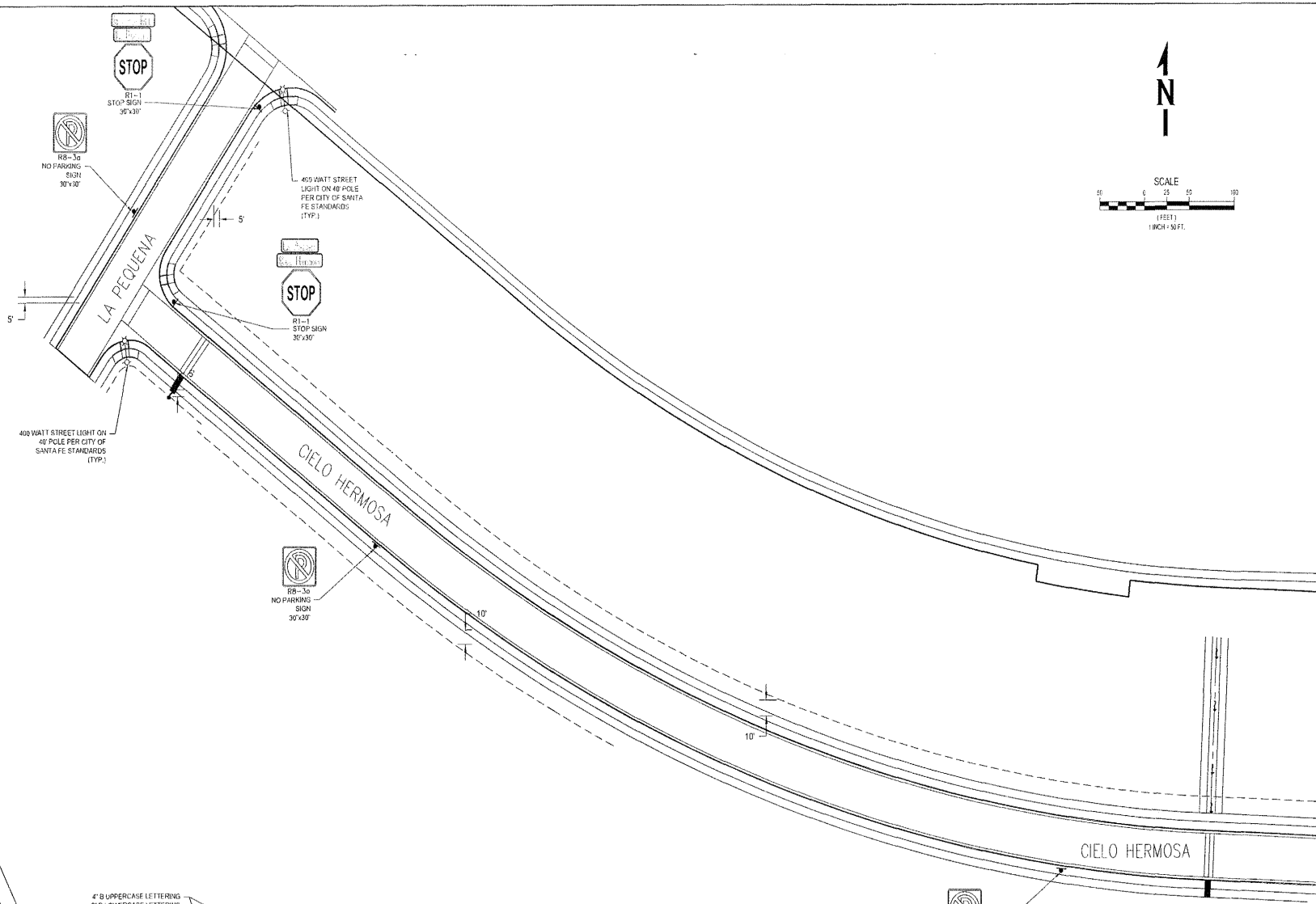
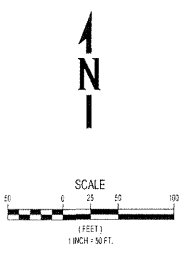
DESIGNED BY: RE BE
 DRAWN BY: JUS BO, J. JAC
 CHECKED BY: JUS BO
 SCALE: AS SHOWN
 DATE: 11/27/2020



PROJECT: VISTA DE LA SIERRA
 SUBDIVISION - PHASE 3B
 SHEET TITLE: STRIPING, SIGNAGE & DRY UTILITY PLAN

DEPARTMENT	DATE	CITY REVIEW	SIGNOFF
WATER			
SEWER			
TRANSPORTATION			
FIRE DEPARTMENT			
PLANNING			
LANDSCAPE			
TABLE OPEN SPACE			
UNDESIGNATED			

SHEET NO.
C3-601



STOP SIGN DETAIL

NOTE:
 ALL STREET SIGNS TO BE
 PARALLEL WITH STREET AS
 SHOWN

STREET LIGHT NOTE

THE STREET LIGHTS SHALL BE H.P.S. LUMINAIRES WITH INDIVIDUAL PHOTOCELLS AND FULL CUT-OFF LENSES, UNLESS OTHERWISE NOTED. WIRING SHALL BE UNDERGROUND USING A 2" CONDUIT. A NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD FOUNDATION DESIGN SHALL BE USED AND PULL BOXES MEETING THE CITY OF SANTA FE STANDARDS. FOR COLLECTOR STREETS, A 100 WATT H.P.S. LUMINAIRE ON A 23'-0" POLE SHALL BE USED.

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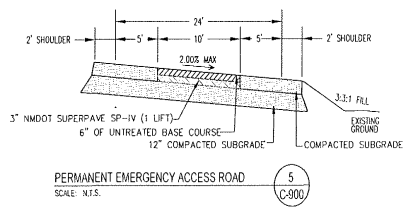
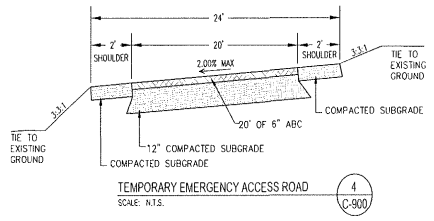
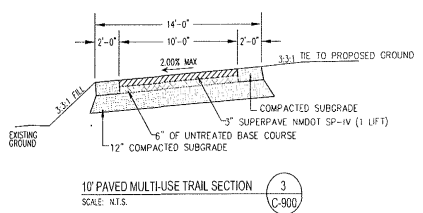
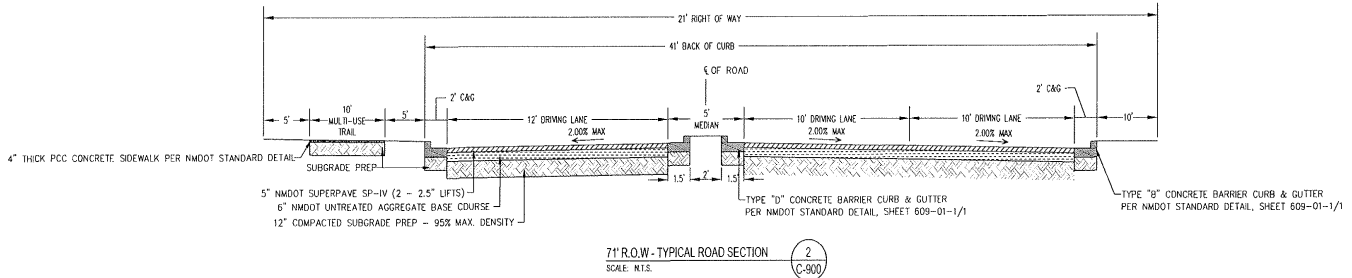
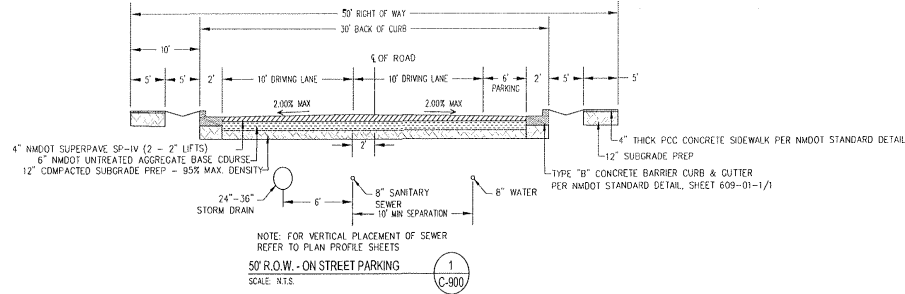
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PROJECT:	DESIGNED BY:	REVIEWED BY:	DATE:
FILE:	DRAWN BY:	CHECKED BY:	DATE:
SCALE:	11/20/20		



VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1, 2 & 3
 CIVIL DETAILS &
 TYPICAL SECTIONS

PROJECT:	DATE:
SHEET TITLE:	SCALE:
CITY REVIEW:	DATE:
DESIGNER:	DATE:
ENGINEER:	DATE:
CHECKER:	DATE:
APPROVER:	DATE:

SHEET NO.
C-900



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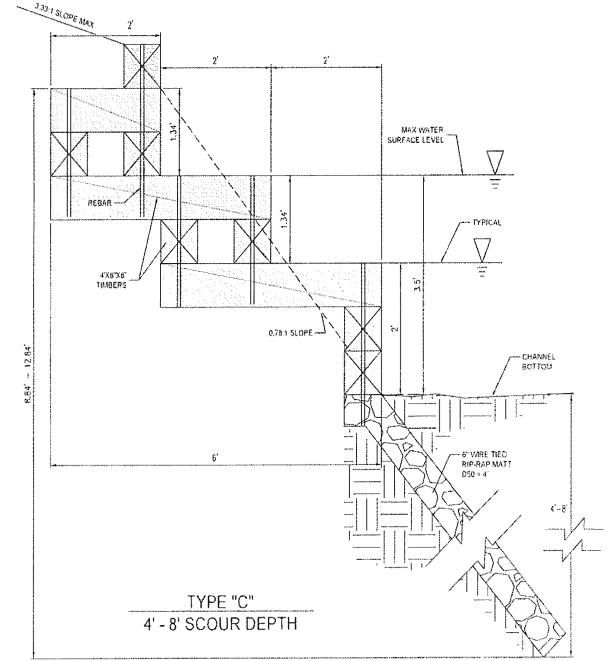
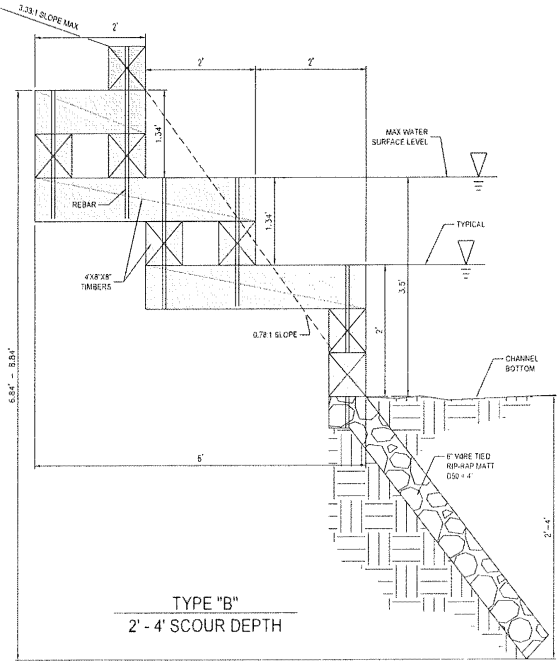
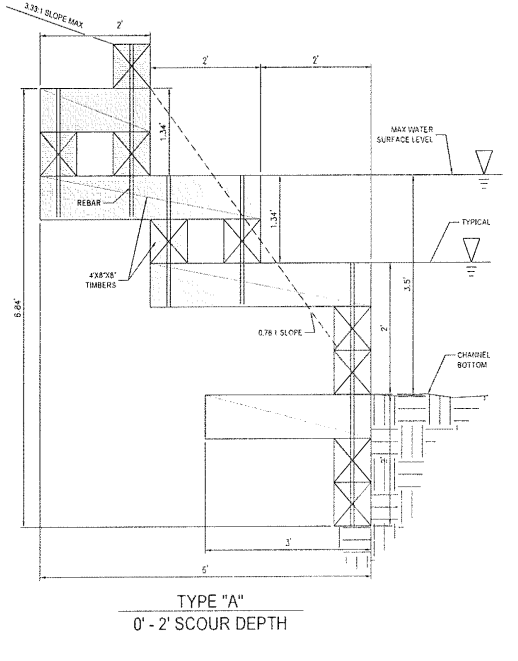
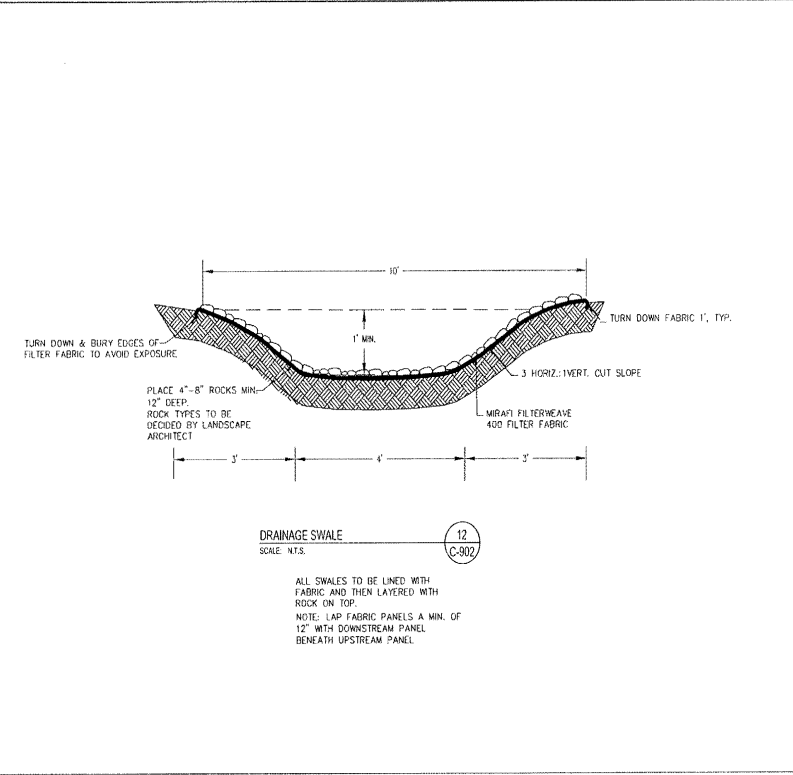
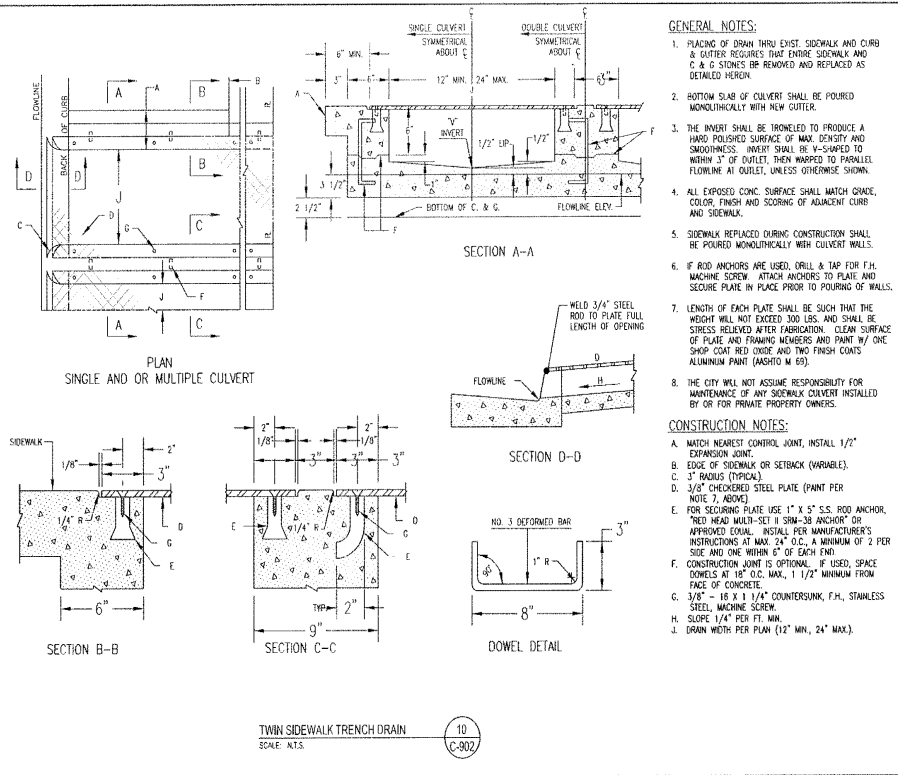
NO.	REVISIONS	BY	DATE



VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1, 2 & 3
 SHEET TITLE
 CIVIL DETAILS &
 TYPICAL SECTIONS

DATE	CITY REVIEW	SUB-CHECK

C-902



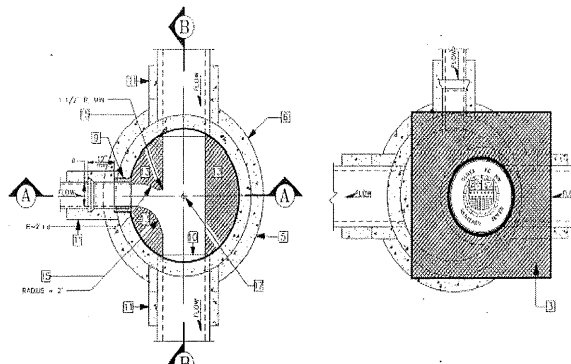
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11
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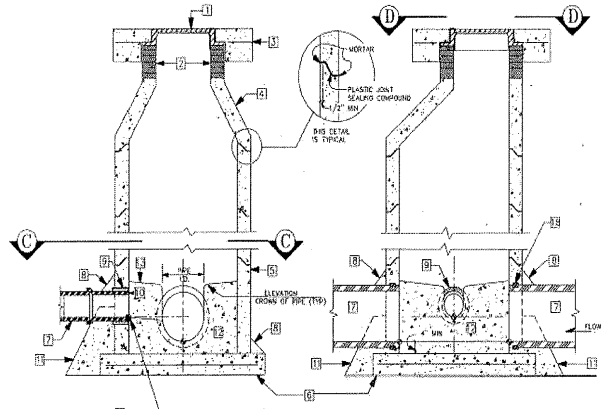
CASE/PERMIT NO. S-2020-7642

LEGEND

ITEM	DESCRIPTION
1	MANHOLE FRAME & COVER, refer to manhole frame and cover detail Dwg. No. SAS-4
2	CONCRETE ADJUSTMENT RINGS or CONCRETE BRICK, refer to concrete adjustment detail Dwg. No. SAS-5
3	CONCRETE COLLAR, refer to concrete collar detail Dwg. No. SAS-6
4	PRECAST REINFORCED CONCRETE RISER, CONE or FLAT TOP, with 5/8" wall thickness, refer to general note CM-2
5	PRECAST REINFORCED CONCRETE BASE RISER, with suitable sized openings, refer to general note CM-2A
6	CONCRETE BASE, refer to concrete base detail Dwg. No. SAS-7
7	SEWER PIPE, refer to general note CM-1
8	2" (50mm) GROUT FILLET, on upper half of pipe and around base
9	ADAPTER, MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
10	PIPE PENETRATION INTO MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
11	PIPE SUPPORT, CONCRETE, shall extend out-side of manhole a minimum of 18" (457mm) to ball of first joint and shall create pipe half pipe
12	CONCRETE FILL, 3000 p.s.i., refer to general note CR-6
13	SHELF, to be 9" (225mm) minimum width with 1" (25mm) per 1'-0" slope, from crown of pipe
14	CUT UPPER HALF OF PIPE, after manhole has been completed and inspected by engineer
15	HAND FORMED CHANNELS, shall be on a uniform radius and shall not hold water
16	INVERT ELEVATIONS OF LATERAL LINES, shall be the same as the springline elevation of the sewer main, where possible
17	CHANGE SLOPE OF PIPE, at center of manhole
18	APPROVED WATER STOP, to be with type of pipe

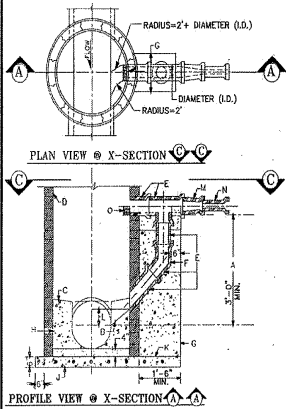


PLAN VIEW @ X-SECTION C C PLAN VIEW @ X-SECTION D D



PROFILE VIEW @ X-SECTION A A PROFILE VIEW @ X-SECTION B B

MANHOLE TYPE "E" DETAIL/DWG # SAS-2 (See Dwg. # SAS-14 for Type "C" Flat Top)



DROP MANHOLE DETAIL DWG. # SAS-1 NOT TO SCALE

- CONSTRUCTION NOTES**
- A. 2" (51mm) MINIMUM SPACING OF VERTICAL REIN. (SEE DRAWING REVISIONS)
 - B. DROP MANHOLE
 - C. COVER FOR COVER IN SHELF, INVERT TO SPRINGLINE
 - D. SHELF SLOPE: 1" PER FT.
 - E. MANHOLE TYPE FOR UPPER PORTION IS SPECIFIED IN MANHOLE TYPE "E" DETAIL Dwg. No. SAS-2
 - F. USE 4" (102mm) OR 4" (102mm) DIA. PIPE THROUGHOUT DROP, ALL FITTINGS IN DROP STRUCTURE FROM THE 12" (305mm) DIAMETER DIA. PIPE SIZE FROM THE SERVICE LINE. (CONCRETE ADAPTERS)
 - G. USE BELL AND SPOT AT LONG RADIUS BENDS
 - H. CONCRETE FILL
 - I. CAST IN PLACE REINFORCED CONCRETE BASE REQUIRES CONCRETE BASE TO BE FORMED IN PLACE USING BENCH MARKS AT 4" (102mm) O.C. EACH WAY FOR MANHOLE DEPTH OF 18" (457mm) OR GREATER, AND BENCH MARKS AT 12" (305mm) O.C. EACH WAY FOR MANHOLE DEPTH LESS THAN 18" (457mm)
 - J. FOR NEW DROP ON EXISTING MANHOLE CONTRACTOR SHALL REINFORCE CONCRETE BASE BEFORE CONSTRUCTING DROP SUPPORT.
 - K. MINIMUM 12" (305mm) ABOVE SPRINGLINE OR AS SHOWN ON PLAN.
 - L. REINFORCING
 - M. SERVICE LINE
 - N. EXPOSED PIPE 4" (102mm) MINIMUM 4" (102mm) MINIMUM MANHOLE TOP. 1/2" PIPE REMOVED.

CONSTRUCTION MATERIALS

- CM-1 SEWER PIPE (CERTIFICATES REQUIRED)
 - A. VITRIFIED CLAY: REFER TO SECTION 125, MW APPA FOR EXTRA STRENGTH VCP.
 - B. PLASTIC (PVC): REFER TO SECTION 121, MW APPA AS NOTED BY THE CITY.
 - 1. UP THRU 18" (457mm) DIA: MANDI D 200A PIPE.
 - 2. 18" (457mm) THRU 30" (762mm) DIA: MANDI D 200A PIPE.
 - 3. LARGER THAN 30" (762mm) DIA: MANDI D 200A PIPE.
 - C. PVC (STRUCTURAL JOINTS): 18" (457mm) OR LARGER 1800 FOR COUPLINGS PRODUCED BY UNI-FLANGE OR EQUIVALENT COUPLINGS WITH STEEL SPUNGE, MANUFACTURED AS "TULLOHAN" AND PROVIDED BY CERTIFIED CORPORATION, OR APPROVED EQUAL.
 - D. MANHOLE ADAPTERS, ADAPTER CLIENT (AC) MANHOLE ADAPTER, OR 4"/PVC ADAPTER COUPLING.
 - E. BUILDING SERVICE STUBS: CAST IRON DW, PVC SOL, 40 DW.
 - F. SERVICE CONNECTIONS:
 - 1. VCP PIPE, FACTORY TEE FITTINGS, SECTION 180 MW APPA.
 - 2. PVC PIPE, CAST IRON BODIES TAPPING SADDLE WITH STAINLESS STEEL TENSION STRIP AND FITTINGS: TOWLE "QUADWAY" GENCO, HERCY "FRONZEL" OR APPROVED EQUAL.
 - G. SOIL CLASSIFICATION: THE UNITED SOIL CLASSIFICATION SYSTEM PER ASTM D 2484 TABLE 200.5.5 MW APPA.

FIELD QUALITY CONTROL

- FOC-1 TESTING AND INSPECTION
 - A. SUPERVISION CONDUCTED BY DESIGN ENGINEER. CERTIFICATION DESIGN ENGINEER SHALL CERTIFY THAT THE PROJECT HAS BEEN COMPLETED IN ACCORDANCE TO PLANS & SPECIFICATIONS AND SHALL SUBMIT A CERTIFICATION OF COMPLIANCE STATEMENT WITH SEAM AND SIGNATURE.
 - C. EQUIPMENT AND ASSISTANCE: PROVIDED BY CONTRACTOR.
- FOC-2 LINE AND GRADE: ALLOWABLE TOLERANCE BETWEEN STRUCTURES FROM DESIGN
 - A. LINE: ±0.5 FOOT
 - B. GRADE: ±0.2 FOOT; PIPE SHALL NOT HOLD BACK ANY WATER.
- FOC-3 LEAKAGE TEST: AN TEST REQUIRED; REFER TO SECTION 101.7 MW APPA.
- FOC-4 TELEVISION INSPECTION: CONTRACTOR SHALL PROVIDE A CERTIFIED CCTV SEWERLINE INSPECTION AND RECORD TAPES AT HIS OWN EXPENSE.
- FOC-5 ALL CONNECTIONS TO EXISTING MANHOLES INCLUDES REINFORCING THE 18" (457mm) MANHOLE TO MEET THESE STANDARD CONSTRUCTION DETAILS.

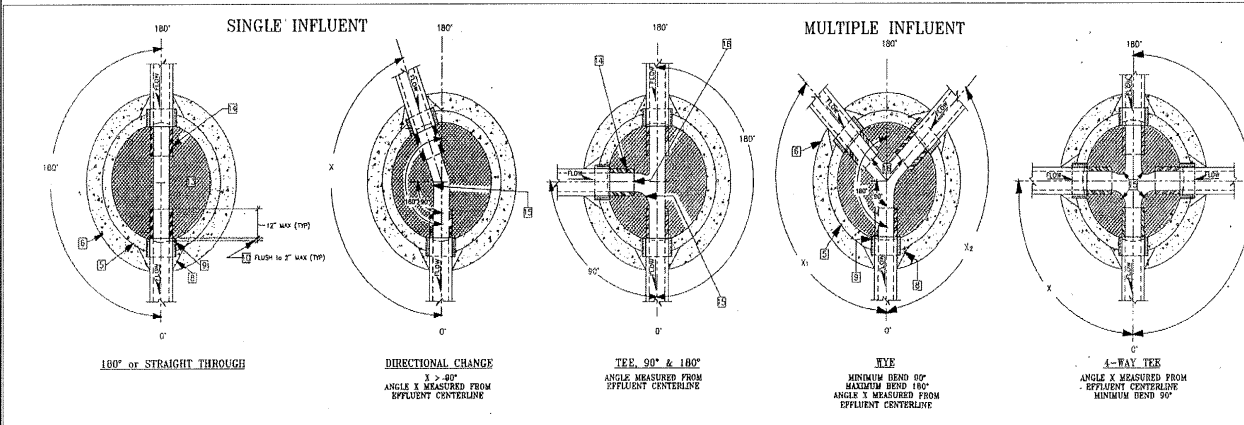
CM-2 MANHOLES:

- A. CONCRETE MANHOLES: PRECAST REINFORCED CONCRETE RISERS, BENCH MARKS AND ADJUSTMENT RINGS PER ASTM C 476 FOR VCL. BASES MAY BE FIELD PLACED CONCRETE OR PRECAST CONCRETE PER ASTM C 476 VCL. CLASS (CERTIFICATES REQUIRED). GRADED OR VISIBLE DEFECTIVE UNITS WILL BE REJECTED.
- B. PIPE PENETRATIONS: PRECAST UNITS SHALL HAVE SUITABLE SIZE OPENINGS CAST INTO BASE AT PROPER ANGLES FOR PIPE AND MANHOLE ADAPTERS.
- C. MANHOLE STEPS: REFER TO SECTION 802.4.2 MW APPA POLYPROPYLENE ENCASED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL 14"(356mm) WIDE, 15"(381mm) HIGH.
- D. MAXIMUM SPACING:
- E. FRAMES AND COVERS:
 - 1. CASTING SHALL CONFORM TO SECTION 180, 181 & 182, MW APPA CLASS SOL.
 - 2. CERTIFICATES AND SHOP DRAWINGS REQUIRED.
 - 3. MANHOLE COVER WEIGHT: 185 POUNDS
 - 4. MANHOLE COVER WEIGHT: 395 POUNDS
 - 5. 12" (305mm)
 - 6. REINFORCING: SHALL BE 3/4" (19mm) WITH 2" (51mm) CLEARANCE FROM CENTERLINE OF COVER. MINIMUM SPACING: 12" (305mm)
 - 7. COVER LETTERING: SHALL BE M.A. SHAWNEE SEWER
 - 8. COVER: CAST MANUFACTURE AND MODEL NUMBER ON FRAME AND COVER.
 - 9. CASTING TOLERANCE: ± 1/8" (3.2mm) PER FOOT OF OVERALL DIMENSION. CUT OF ROUND CASTINGS AND LOOSE FITTING UNITS WILL BE REJECTED IN THE FIELD.

CM-3 CONCRETE ENGAGEMENT:

- A. REQUIREMENTS:
 - 1. WHEN THE PIPE COVER IS 30" (762mm) OR LESS.
 - 2. WHEN VITRIFIED CLAY COVERS AN ANCHOR.
 - 3. WHEN A WATER LINE PASSES BELOW OR LESS THAN 18" (457mm) ABOVE THE EXISTING SEWER LINE.
 - 4. WHEN A PARALLEL WATER LINE IS LESS THAN 18" (457mm) HORIZONTALLY AND LESS THAN 12" (305mm) VERTICALLY FROM THE SEWER LINE.
 - 5. THE COVER LINE SHALL BE ENCASED IN CONCRETE TO THE FULL DEPTH OF THE COVER AND EXTEND AT LEAST 10"(254mm) ON EACH SIDE OF THE WATER LINE.

NOTES: REVISIONS TO THIS SHEET SHALL BE MADE UNDER THE AUTHORITY OF THE CITY OF SANTA FE ONLY.



PLAN VIEW OF MANHOLE BASE CONNECTION/DWG. # SAS-3 NOT TO SCALE

WHPacific

6501 Avenida Playa U.S. Suite 400
San Diego, CA 92121
Tel: 619.592.4848
Fax: 619.592.4845
www.whepacific.com

NO.	REVISIONS	BY	DATE

DESIGNED BY: R.S. BZ
DRAWN BY: J.E. J. MS
CHECKED BY: J.E. J. MS
SCALE: AS NOTED

VISTA DE LA SIERRA
SUBDIVISION - PHASE 1, 2 & 3
SANITARY SEWER STANDARD
CONSTRUCTION DETAILS

PROJECT	DATE

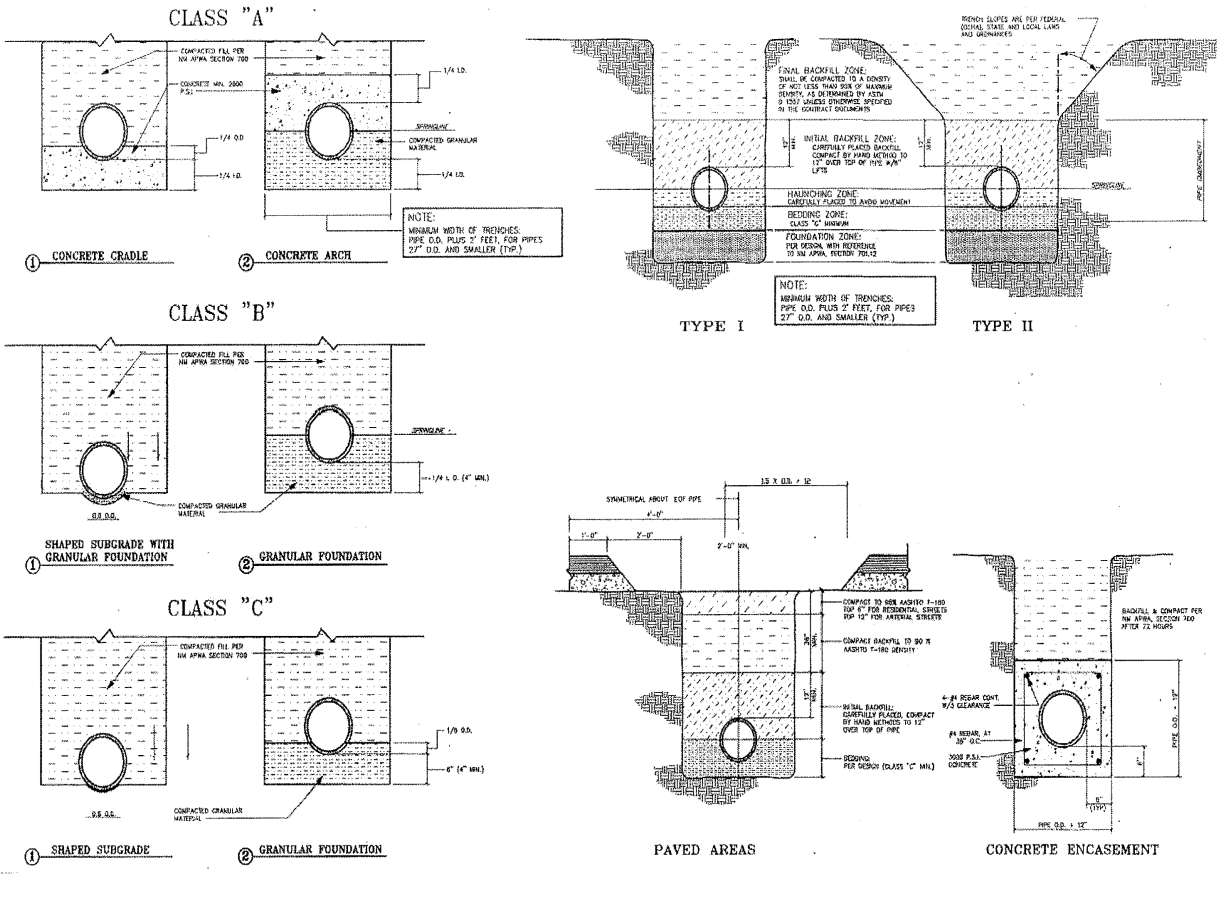
CITY REVIEW	SIGN-OFF

DEPARTMENT	DATE
WASTE WATER	
WATER	
ENGINEERING	
PLANNING	
PUBLIC WORKS	
LANDSCAPE	
UTILITIES	
INSPECTION	
MAINTENANCE	

SHEET NO. **SF-1**

TRENCH BEDDING AND INSTALLATION DETAILS/DWG. # SAS-11

NOT TO SCALE



GENERAL NOTES

- CONSTRUCTION REQUIREMENTS**
- CM-1 MATERIALS AND WORK: CONFORM WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (referred to as the APWA) WITH MODIFICATIONS NOTED BY THE CITY OF SANTA FE.
 - CM-2 APPROVED PLANS: USE PLANS BEARING THE OFFICIAL STAMP OF THE DESIGN ENGINEER AND BEARING THE APPROVAL SIGNATURE OF THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE. CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS WILL BE REJECTED.
 - CM-3 SENER HOOD-UP PERMIT: OBTAIN PERMITS FOR THE PROJECT BEFORE COMMENCING ANY SENER CONSTRUCTION. CONSTRUCTION PERFORMED WITHOUT OBTAINING PERMITS SHALL BE REJECTED.
 - A. CONSTRUCTION PLANS SHALL INDICATE THE CLASS OF BEDDING TO BE USED. CHANGES OF BEDDING MAY REQUIRE A CHANGE IN PIPE CLASSIFICATION OR WALL THICKNESS.
 - CM-4 SUBSTITUTIONS OR CHANGES: ANY SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE CITY WATER QUALITY DIVISION OR CITY APPROVED REPRESENTATIVE PRIOR TO CONSTRUCTION. ALL SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE DESIGN ENGINEER. IN THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE, WHERE APPROPRIATE, MATERIAL MUST INCLUDE LABORATORY DRAWINGS, RECORDS DRAWINGS AND MATERIAL SPECIFICATIONS. DESIGN ENGINEER SHALL AUTHORIZE ANY DRAWINGS FOR SUBSTITUTIONS AND CHANGES AND SIGNING THEM IN THE CITY WATER QUALITY DIVISION FOR APPROVAL. UNAUTHORIZED SUBSTITUTIONS WILL BE REJECTED.
 - CM-5 MANUFACTURER'S CERTIFICATES: WHEN CERTIFICATES OF COMPLIANCE AND TEST REPORTS ARE PROVIDED FOR MATERIALS, DOCUMENTS SHALL BE SUBMITTED TO THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE AT THE TIME OF MATERIALS DELIVERY TO THE JOBSITE.
 - CM-6 CONTRACTOR REQUIREMENTS: CONTRACTOR PERFORMING WORK ON PUBLIC SEWER LINES SHALL BE A LICENSED UTILITY CONTRACTOR.
- CONSTRUCTION MATERIALS**
- CM-1 SENER PIPE (CERTIFICATES REQUIRED):
 - A. VENTED CLAY PIPE TO SECTION 125.40 APWA FOR EXTRA STRENGTH (E.C.P.).
 - B. FLANGED PVC PIPE TO SECTION 121.40 APWA, AS MODIFIED BY THE CITY:
 - 1. 15" MINIMUM 14" (N1) DIAMETER, ASTM D 3034 PIPE.
 - 2. 18" MINIMUM 16" (N1) DIAMETER, ASTM D 3034 PIPE.
 - 3. LARGER THAN 18" (N1) DIAMETER, ASTM D 3034 PIPE.
 - CM-2 MANHOLES:
 - A. CONCRETE MANHOLES: PRECAST REINFORCED CONCRETE BOXES, REDUCED CORNER AND ADJUSTMENT RINGS PER ASTM C 478 VUL. CLAS. BASES MAY BE FIELD PLACED CONCRETE OR PRECAST CONCRETE PER ASTM C 478 VUL. CLAS. (CERTIFICATES REQUIRED). CRACKED OR VISIBLY DEFECTIVE UNITS WILL BE REJECTED.
 - B. PIPE PENETRATIONS: PRECAST UNITS SHALL HAVE SUITABLE SEALS OR GASKETS CAST INTO RINGS AT PROPER ANGLES FOR PIPE AND MANHOLE ADAPTERS.
 - C. MANHOLE TYPES: REFER TO SECTION 104.10 APWA. POLYPROPYLENE ENCASED CRACK GEL BY M.A. INC. OR APPROVED EQUAL (4" DIA) WIDE 18" DIA. MANHOLE DRIVING.
 - D. FRAMES AND COVERS:
 - 1. CASTING SHALL CONFORM TO SECTION 140, 103 & 102.10 APWA, CLASS 200 (CERTIFICATES AND SHOP DRAWINGS REQUIRED).
 - 2. MANHOLE COVERS MUST BE 140 POUNDS.
 - 3. MANHOLE COVERS MUST BE 365 POUNDS.
 - 4. 18" DIA. SEALS: SEALS SHALL BE MANUFACTURED BY A FIRM NON-ADJACENT SEAT BETWEEN FRAME AND COVER. MINIMUM SEATING WIDTH: 7/8" (N1).
 - 5. COATING: NONE.
 - 6. COVER LETTERING: SANTA FE, N.M., SANITARY SEWER.
 - 7. CASTINGS: CAST MANUFACTURER AND MODEL NUMBER ON FRAME AND COVER.
 - 8. CASTINGS TOLERANCES: +/- 1/4" (N1) PER FOOT OF OVERALL DIMENSION. OUT OF ROUND CASTINGS AND LOOSE FITTING UNITS WILL BE REJECTED IN THE FIELD.
- INSTALLATION**
- I-1 LAYING PIPE: AS PER SECTION 100.10 APWA, PIPE SHALL BE BEADED AND BEDDED IN A TRENCH FREE TRENCH. GASKET SHALL BE FULLY BEADED AND NOT LAPPED. PIPE SHALL BE LAYED THROUGH MANHOLE LOCATIONS ON STRAIGHT AND UP TO 22 1/2 DEGREE DEFLECTION.
 - A. IF PIPE TRENCH INSTALLATION CONFIGURATION EXCEEDS THE LIMITS OF 100 APWA STANDARDS, SECTION 200, OR AS DEFINED ON THE CONSTRUCTION PLANS, THE DESIGN ENGINEER WILL SPECIFY THE NEW PIPE CLASSIFICATION OR WALL THICKNESS.
 - B. TYPE II TRENCH CONFIGURATION IS NORMALLY USED WHEN TRENCH DEPTHS ARE 8 FT(1) OR LESS. TYPE II TRENCH CONFIGURATION IS NORMALLY USED WHEN TRENCH DEPTHS ARE 8 FT(1) AND OVER, DEPENDING ON SOIL CONDITIONS. REFER TO 100 APWA STANDARDS SECTION 200.
 - I-2 MANHOLE CONSTRUCTION:
 - A. SENSE:
 - 1. CAST IN PLACE, ON UNDISTURBED FROST FREE SUBGRADE.
 - 2. PRECAST UNIT, ON PEA GRAVEL WITH COMPLETE TRENCH BEADING.
 - 3. PRECAST UNIT, COMPLETELY WITH NON-WORKING GROUT AND BOND.
 - 4. JACOBS: COMPLETELY WITH NON-WORKING GROUT AND BOND.
 - 5. CAST IN PLACE BASES SHALL HAVE A MINIMUM OF 2500 PSI COMPRESSIVE STRENGTH BEFORE SETTING. PRECAST BASES, STRUCTURE.
 - I-3 EXCAVATION AND BACKFILL: AS PER SECTION 200.10 APWA, SATURATION BY FLOODING OR LETTING METHODS IS NOT PERMITTED UNLESS A DRAIN ENGINEERING REPORT RECOMMENDS THESE METHODS. NECESSARY TO VERIFY COMPACTORS SHALL NOT BE USED ON THE BEDDING AND (2") OF INITIAL BACKFILL. COMPACTOR SHALL BE DETERMINED PER ARTS 100-180.
- FIELD QUALITY CONTROL**
- FOC-1 TESTING AND INSPECTION:
 - A. SUPERVISION CONDUCTED BY DESIGN ENGINEER.
 - B. CERTIFICATION DESIGN ENGINEER SHALL VERIFY THAT THE PROJECT HAS BEEN COMPLETED IN ACCORDANCE TO PLANS & SPECIFICATIONS AND SHALL SIGN A CERTIFICATION OF COMPLETION STATEMENT WITH STAMP AND SIGNATURE.
 - C. EQUIPMENT AND ASSISTANCE PROVIDED BY CONTRACTOR.
 - FOC-2 LINE AND GRADE ADJUSTMENT TOLERANCE BETWEEN STRUCTURES FROM SCHEMATIC:
 - A. LINE: 0.20 FOOT.
 - B. GRADE: 0.02 FOOT; PIPE SHALL NOT HOLD BACK ANY WATER.
 - FOC-3 LEAKAGE TEST: AIR TEST REQUIRED; REFER TO SECTION 901.10 APWA.
 - FOC-4 TELEVISION INSPECTION: CONTRACTOR SHALL PROVIDE A CERTIFIED CCTV OPERATOR INSPECTION AND RECORD TAPE AT HIS OWN EXPENSE.
 - FOC-5 ALL CONNECTIONS TO EXISTING MANHOLES INCLUDES SCHEDULED THE USE IN MANHOLE TO MEET THESE STANDARD CONSTRUCTION DETAILS.

WHPacific
 5501 American Parkway NE, Suite 400
 Portland, OR 97218
 (503) 251-4228
 www.whpacific.com

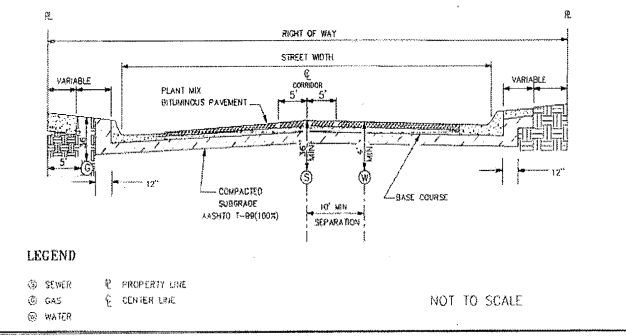
PROJECT NO.	DATE
DRAWN BY	DATE
CHECKED BY	DATE
DESIGNED BY	DATE
IN CHARGE	DATE
APPROVED BY	DATE

VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1, 2 & 3
 SANITARY SEWER STANDARDS
 CONSTRUCTION DETAILS

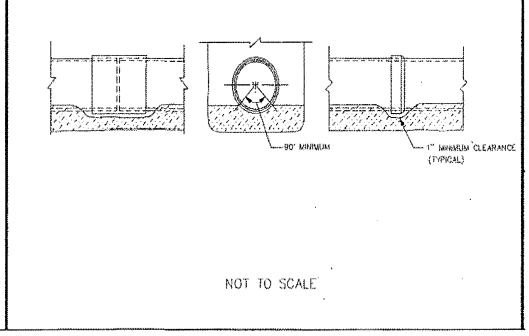
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DATE	REVISION

SHEET NO.
SF-3

TYPICAL UTILITIES SEPARATION DETAIL/DWG. # SAS-12

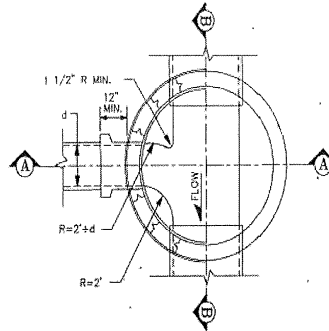


BELL OR COUPLING INSTALLATION DETAIL/DWG. # SAS-13

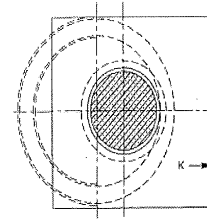


CASE/PERMIT NO. S-2020-2642

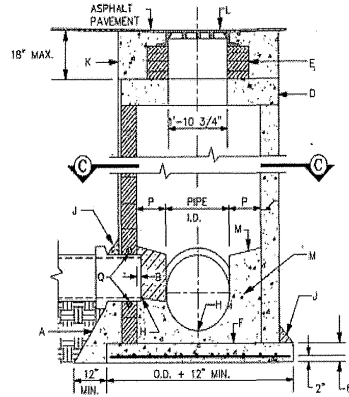
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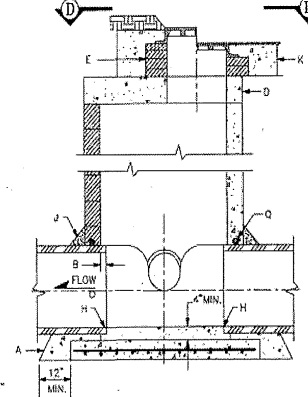
PLAN VIEW
@ X-SECTION



PLAN VIEW
@ X-SECTION



PROFILE VIEW
@ X-SECTION



PROFILE VIEW
@ X-SECTION

MANHOLE TYPE "C" DETAIL/DWG. # SAS-14

NOT TO SCALE

GENERAL NOTES

1. USE APPROVED MASTIC JOINT MATERIAL FOR ALL JOINTS.
2. CONTRACTOR HAS OPTION TO CONSTRUCT TYPE "C" M.H. IN LIEU OF TYPE "E" M.H. FOR DEPTHS OF 6' OR MORE.
3. DESIGN APPLIES TO 4', 6' & 8' MANHOLES.
4. M.H. GREATER THAN 18" IN DEPTH SHALL ONLY BE CONSTRUCTED OF PRECAST CONCRETE SECTION.
5. USE NON-SHRINK GROUT FOR FILLETS AND PENETRATIONS.
6. POSITION M.H. OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.

CONSTRUCTION NOTES

- A. CONCRETE PIPE SUPPORT SHALL EXTEND OUTSIDE OF M.H. TO BELL OF FIRST JOINT & SHALL CRADLE PIPE TO SPRING LINE. NOT APPLICABLE FLEXIBLE PIPE.
- B. PIPE PENETRATION INTO MANHOLE SHALL BE FLUSH TO 2" MAX., MEASURED AT SPRING LINE OF PIPE.
- C. PRECAST CONCRETE COVER
- D. USE MAX. 4 COURSES OR. MS BRICK ON UNPAVED STREET FOR FUTURE ADJ. OF M.H. FRAME TO PAVEMENT GRADE. PLASTER INSIDE WITH 1/2" MORTAR.
- F. CONCRETE BASE TO BE POURED IN PLACE USING NO. 4 BARS AT 8" O.C. EA. WAY FOR M.H. DEPTH OF 16' OR GREATER. NO 4 BARS AT 12" O.C. EA. WAY FOR M.H. LESS THAN 16' IN DEPTH.
- H. INV. ELEV. OF STUB OR LATERAL AS SHOWN ON PLANS.
- J. 6" GROUT FILLET ON UPPER HALF OF PIPE AND AROUND BASE.
- K. USE A 5'x 5' CONCRETE PAD IN ALL AREAS SLOPE FOR GRADER USE UNPAVED AREAS.
- L. FRAME AND COVER, SEE DWG. # SAS-4
- M. CONCRETE FILL, 3000 PSI
- N. SLOPE 1" PER FT. FROM PIPE CROWN
- P. SHELVE TO BE 5" WIDE MIN.
- Q. APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.

WHPacific
 6521 Americas Parkway, Suite 400
 Dallas, TX 75242
 512-247-0234 Fax 512-247-4845
 www.whpacific.com

NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: RE BE
 DRAWN BY: J.S. M.Z.A., NC
 1/2020
 CHECKED BY: J.S. M.Z.A.
 AS NOTED



VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1, 2 & 3
 SANITARY SEWER STANDARD
 CONSTRUCTION DETAILS

DEPARTMENT	CITY REVIEW	DATE
WATER		
SEWER		
ENGINEERING		
INSPECTION		
PLANNING		
FINANCE		
LANDSCAPE		
TRAFFIC ENGINEERING		
UTILITY ENGINEERING		

SHEET NO.

SF-4

CASE/PERMIT NO. S-2020-2642

GENERAL NOTES

1. THESE DETAILS ARE TO BE USED FOR THE INSTALLATION OF PEDESTRIAN ACCESSIBLE CROSSINGS AND CURB RAMPS AT THE INTERSECTION OF A STREET AND A SIDEWALK OR CROSSWALK. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
2. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
3. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
4. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
5. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
6. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
7. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
8. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
9. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
10. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.

ACCESSIBLE PEDESTRIAN SIGNALS (APSS) AND PEDESTRIAN PUSHBUTTONS

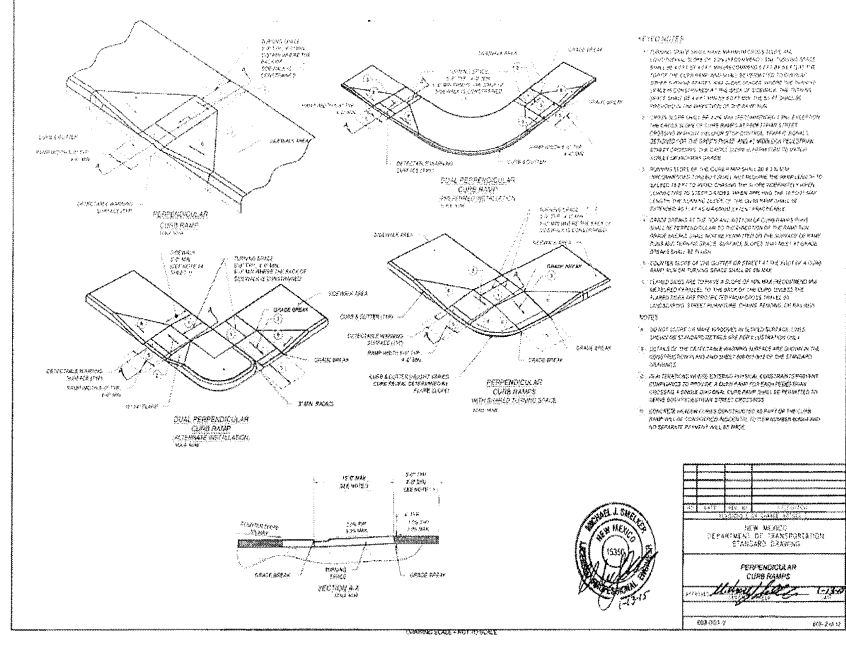
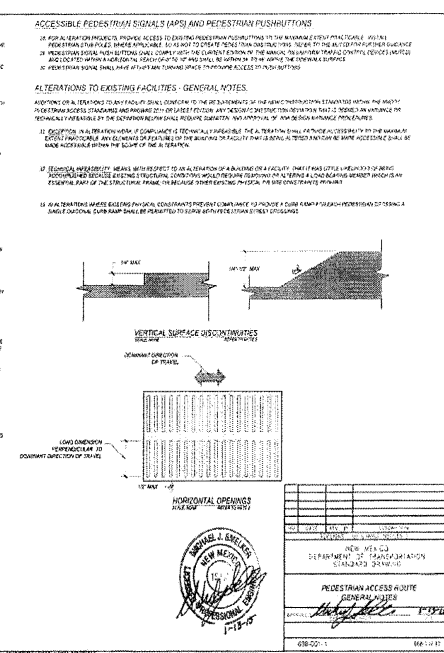
APSS SHALL BE PROVIDED AT ALL PEDESTRIAN CROSSINGS AT THE INTERSECTION OF A STREET AND A SIDEWALK OR CROSSWALK. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE APSS AND FOR THE DESIGN OF THE PEDESTRIAN PUSHBUTTONS.

ALTERATIONS TO EXISTING FACILITIES - GENERAL NOTES

IF ANY EXISTING FACILITIES ARE TO BE ALTERED, THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ALTERATIONS AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.

ADDITIONAL NOTES

1. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
2. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
3. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
4. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
5. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
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9. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.
10. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SIDEWALK OR CROSSWALK AND FOR THE DESIGN OF THE CURB RAMPS AND CROSSINGS.



WHPacific

8001 American Parkway, Suite 400
Albuquerque, NM 87110
505.242.4264 Fax: 505.242.4455
www.whpacific.com

NO.	REVISED	DATE	BY	DATE	REVISIONS

PROJECT: PEDESTRIAN ACCESSIBLE CURB RAMPS
DESIGNED BY: J. B. B. / J. B. B.
DRAWN BY: J. B. B. / J. B. B.
CHECKED BY: J. B. B. / J. B. B.
SCALE: AS NOTED

NEW MEXICO DEPARTMENT OF TRANSPORTATION
DESIGNING ENGINEER
PEDESTRIAN ACCESSIBLE CURB RAMPS

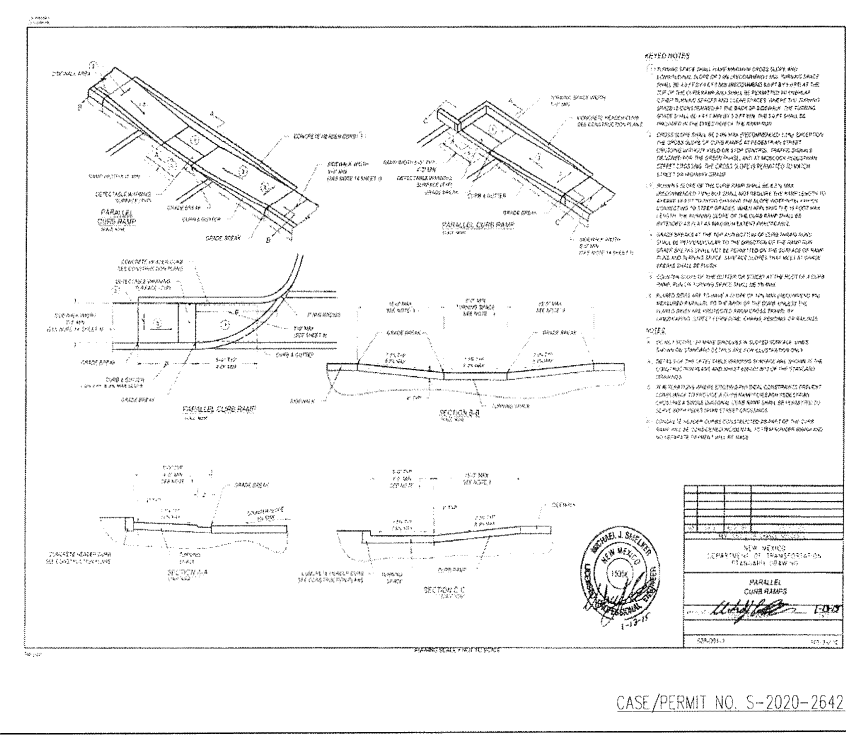
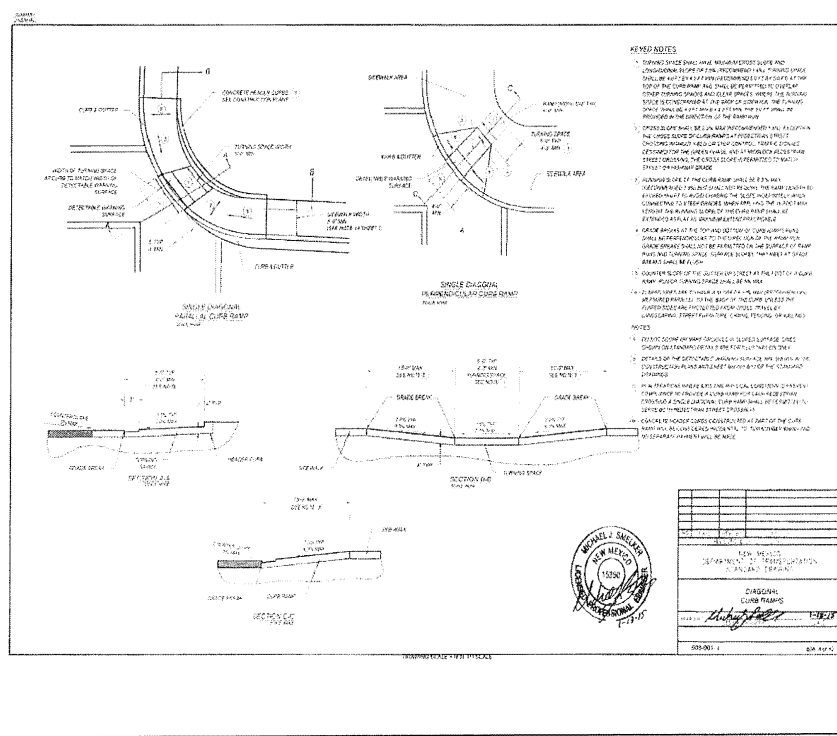
VISTA DE LA SIERRA
SUBDIVISION - PHASE 1, 2 & 3
SHEET TITLE: NMDOT - PEDESTRIAN ACCESS DETAILS

NEW MEXICO DEPARTMENT OF TRANSPORTATION
DESIGNING ENGINEER
PEDESTRIAN ACCESSIBLE CURB RAMPS

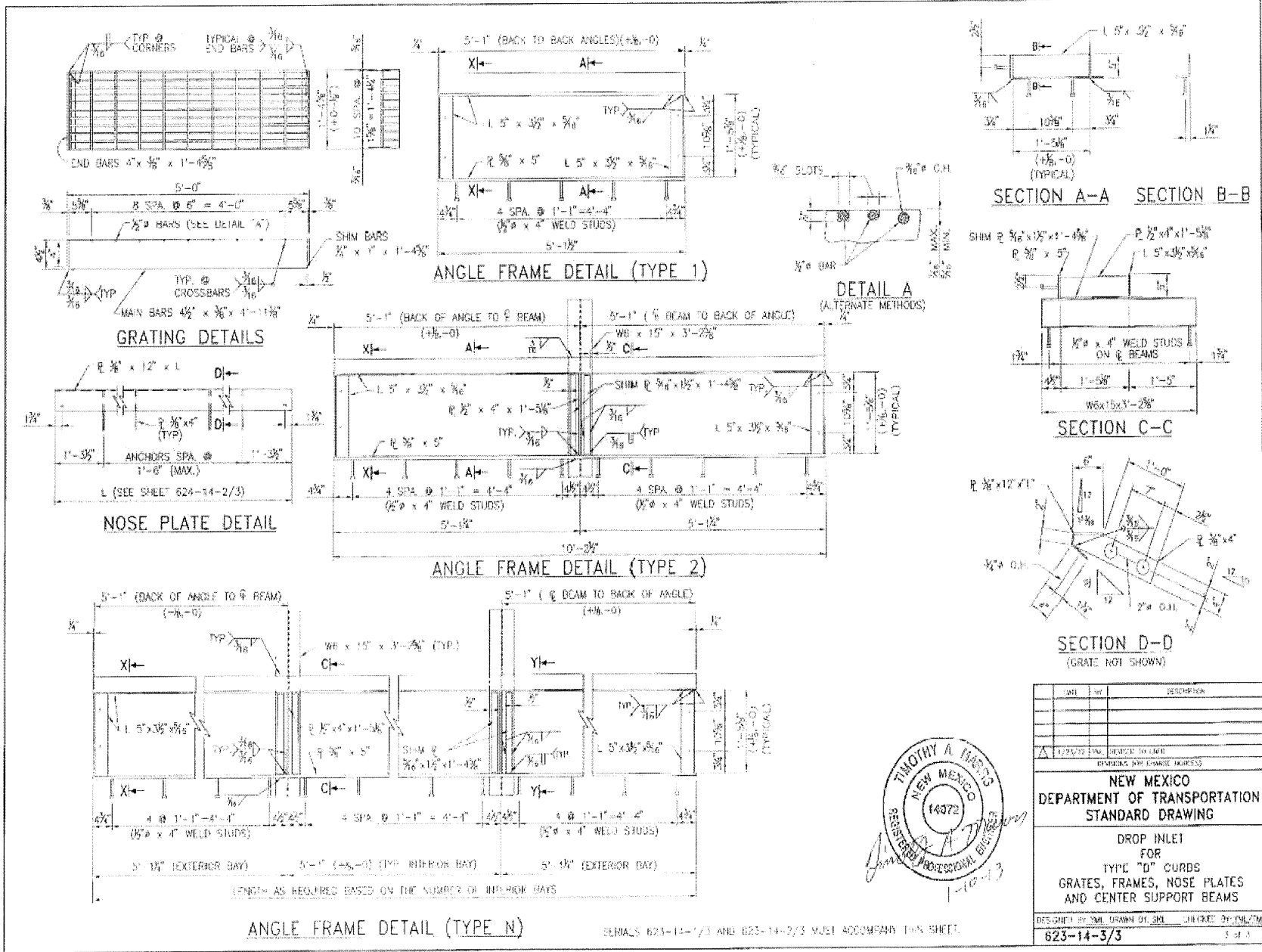
PROJECT: PEDESTRIAN ACCESSIBLE CURB RAMPS
DESIGNED BY: J. B. B. / J. B. B.
DRAWN BY: J. B. B. / J. B. B.
CHECKED BY: J. B. B. / J. B. B.
SCALE: AS NOTED

NEW MEXICO DEPARTMENT OF TRANSPORTATION
DESIGNING ENGINEER
PEDESTRIAN ACCESSIBLE CURB RAMPS

SHEET NO. PAD-1



P:\Cummins Capital Construction\2020\19-4000\10-01E\mxd\Drawings\Curbs\Phase 1 & 3\4000105-002-Standard Detail_Phase 1 & 3.dwg 1/28/2020 8:50 AM



TIMOTHY A. INNES
 NEW MEXICO
 14373
 REGISTERED PROFESSIONAL ENGINEER
 -10-13

DATE	BY	DESCRIPTION
1/29/20	TM	DESIGNED TO DATE (FORWARD FOR CHANGE ADDRESS)

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

DROP INLET FOR TYPE "D" CURBS GRATES, FRAMES, NOSE PLATES AND CENTER SUPPORT BEAMS

DESIGNED BY: TM DRAWN BY: TM CHECKED BY: TM
 623-14-3/3

WHPacific
 6501 Avenida Pecos NE, Suite 400
 Albuquerque, NM 87110
 Telephone: 505.711.1100
 Fax: 505.711.1101
 www.whpacific.com

NO. REC'D: _____ BY: _____ DATE: _____
 PROJECT: _____ DESIGNED BY: _____
 FILE: _____ DRAWN BY: _____
 DATE: _____ CHECKED BY: _____
 SCALE: _____ AS NOTED

REGISTERED PROFESSIONAL ENGINEER
 2008

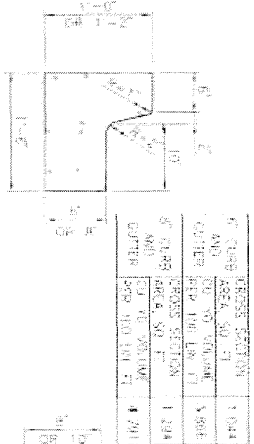
VISTA DE LA SIERRA
 SUBDIVISION - PHASE 1, 2 & 3
 SHEET TITLE: NMDOT - TYPE "B" MODIFIED DROP INLETS FOR CURBS

REPAIRMENT: _____
 WATER: _____
 CIVIL ENGINEERING: _____
 FIRE DEPARTMENT: _____
 SOLID WASTE: _____
 TRAFFIC SIGNALS: _____
 SUBDIVISION REVIEW: _____

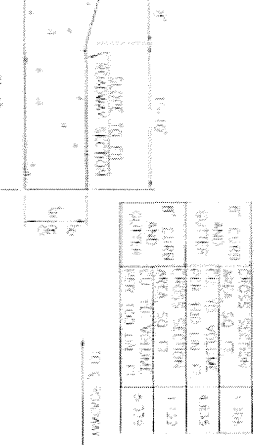
SHEET NO. **BDIC-004-B**

CASE/PERMIT NO. S-2020-2642

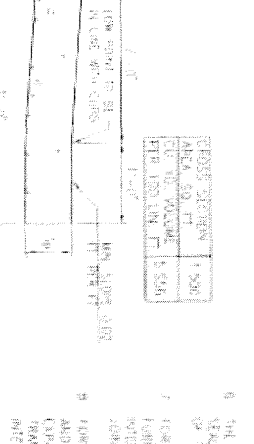
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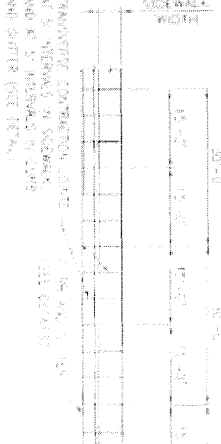
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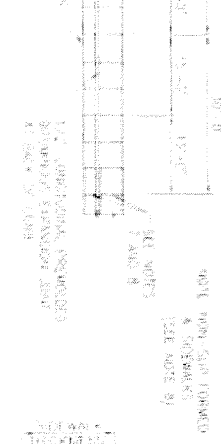
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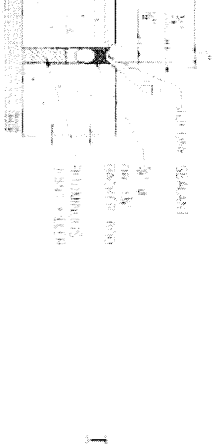
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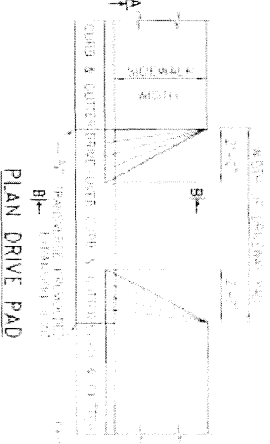
CONCRETE LAYDOWN CURB TYPE "E"



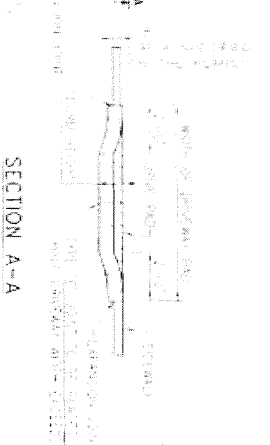
CONCRETE VALLEY GUTTER



PLAN CURB AND GUTTER AND SIDEWALK

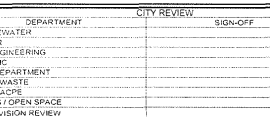
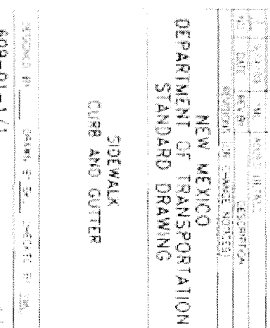
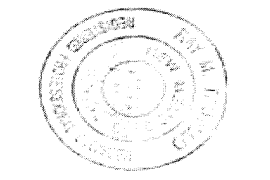


SEALED EXPANSION JOINT



SECTION A-A

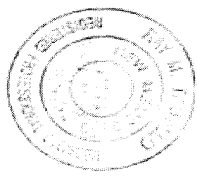
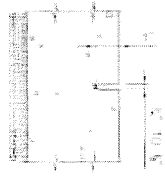
SECTION B-B



GENERAL NOTES

1. CURB AND GUTTER SHALL BE CONCRETE.
2. CURB AND GUTTER SHALL BE 4" REINFORCED WITH #4 BARS.
3. CURB AND GUTTER SHALL BE 4" REINFORCED WITH #4 BARS.
4. CURB AND GUTTER SHALL BE 4" REINFORCED WITH #4 BARS.
5. CURB AND GUTTER SHALL BE 4" REINFORCED WITH #4 BARS.
6. CURB AND GUTTER SHALL BE 4" REINFORCED WITH #4 BARS.
7. CURB AND GUTTER SHALL BE 4" REINFORCED WITH #4 BARS.
8. CURB AND GUTTER SHALL BE 4" REINFORCED WITH #4 BARS.
9. CURB AND GUTTER SHALL BE 4" REINFORCED WITH #4 BARS.
10. CURB AND GUTTER SHALL BE 4" REINFORCED WITH #4 BARS.

TRANSVERSE CONTRACTION JOINT



NEW MEXICO
DEPARTMENT OF TRANSPORTATION
STANDARD DRAWING
CURB AND GUTTER

609-01-1/1
Sheet 609-01

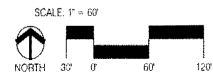
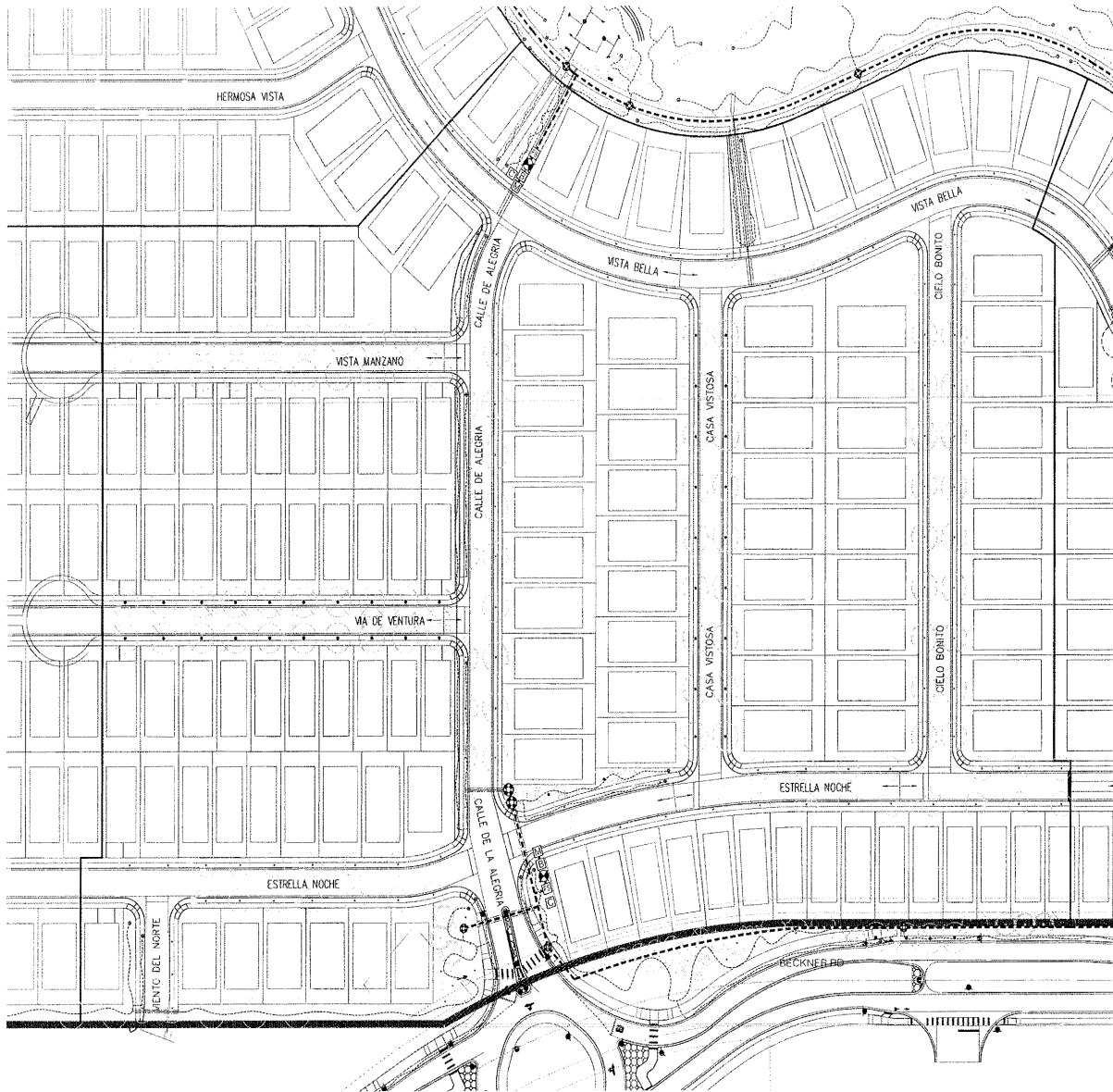
CASE/PERMIT NO. S-2020-2642

PROJECT:	VISTA DE LA SIERRA SUBDIVISION - PHASE 1, 2 & 3
SHEET TITLE:	NMDOT SIDEWALK, CURB AND GUTTER DETAILS
DATE:	11/29/20
SCALE:	AS NOTED



NO.	REVISIONS	BY	APP.	DATE
1				
2				
3				
4				
5				





IRRIGATION EQUIPMENT SCHEDULE

- SYMBOL DESCRIPTION
- (M) METER - 7/8" (6" UTILITY PLAN)
 - (B) BACKFLOW PREVENTER - PERIODIC TEST REQUIRED; PRESSURE BACKFLOW PREVENTER (2" IN. NOT BOX) INSULATED BACKFLOW ENCLOSURE CONTRACTOR TO PROVIDE POSITIVE HEAD SOURCE TO BACKFLOW PREVENTER.
 - (M) MASTER VALVE - HANDED FIBER SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL.
 - (S) FLOW SENSOR - RAIN BIRD FES300 PAPERLESS FLOW SENSOR (GROUNDING PER MANUFACTURERS RECOMMENDATIONS)
 - (S) SLEEVING - CLASS 200 PVC SOLVENT WELD 2 SIZES LARGER THAN PIPE TO BE SLEEVED - 1" PIPE PER SLEEVE.
 - (I) IRRIGATION MAINLINE - SCHEDULE 40 PVC - SOLVENT WELD 1/2" 20" DEPTH FOR CONSTANT PRESSURE MAIN AND 24" DEPTH FOR NON-CONSTANT PRESSURE MAIN.
 - (L) LATERAL PIPING - SCHEDULE 40 PVC - 18" DEPTH 3/4" UNLESS NOTED OTHERWISE.
 - (A) AUTOMATIC DRIP VALVE ASSEMBLY - HANDED PFC-101-25 DRIP ZONE CONTROL KIT.
 - (E) AUTOMATIC VALVE ASSEMBLY (SPRINKLER) - HANDED PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL.
 - (X) MANUAL ISOLATION VALVE ASSEMBLY - SPREADS SCH. 80 PVC BALL VALVE WITH UNIONS, 1/2" PER LINE.
 - (R) POP-UP ROTARY SPRINKLER - HEAVY MP5000 SERIES - 3000-2 (10000-36) PART-CIRCLE 80" 210" 2.12 GPM @ 40 PSI FULL-CIRCLE 300" 2.64 GPM @ 40 PSI
 - (D) DRIP IRRIGATION TUBING - 3/4" POLYETHYLENE PIPE 6" DEPTH MIN. W/ COMPRESSION FITTINGS AND 1/2" HIGH CAP. FLUSH CAPS SHALL BE 30" BY PVC BALL VALVE PLACED IN 3/4" VALVE BOX. TUBING SHALL BE PINNED EVERY 40'.
 - (E) EMITTER DEVICE - RAIN BIRD XER-RING EMITTERS AS DEFINED BELOW.
1/2" DISTRIBUTION TUBING PINNED AT EACH SHADE TREE.
SHRUBS - (2) X5-10, 1 GPH EMITTERS EACH
TREES - (4) X8-20, 2 GPH EMITTERS EACH
 - (C) CONTROLLER - RAIN BIRD ESP-LUME (8 STATION) W/ 1/2" X 1/2" STAINLESS STEEL CABINET ON 1/2" X 1/2" STAINLESS STEEL FEESTAL. CONTRACTOR TO PROVIDE ELECTRICAL POWER TO CONTROLLER.

NOTE: ALL OPEN SPACE AREAS RECEIVING NATIVE SEEDED VEGETATION ARE TO RECEIVE IRRIGATION USING HANDED POP-UP ROTARY SPRINKLERS AND RAIN BIRD PEB SERIES VALVES. HEAD SPACING MAY EXCEED STANDARD SPACING 5' UP TO 25% ADDITIONAL FEET. VALVES MAY NOT EXCEED 60 GPM.

- GENERAL IRRIGATION NOTES**
- THE SYSTEM DESIGN ASSUMES A MINIMUM STATIC PRESSURE OF 60 PSI AT THE 3/4" INCH POINT-OF-CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
 - THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
 - THE IRRIGATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL WIRING PRIOR TO CONSTRUCTION.
 - THE IRRIGATION CONTRACTOR SHALL NOT INSTALL THE SPRINKLER SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR OBSCURE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED BY THE ENGINEERING. IF THE DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND NOTES, OR SPECIFICATIONS ARE DISCOVERED, ALL SUCH OBSTRUCTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE.
 - THE DRAWINGS ARE DIAGRAMMATIC. IN SOME CASES, IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY. THE IRRIGATION CONTRACTOR SHALL AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND RESERVE GROUND UTILITIES. IRRIGATION PIPE AND WIRING SHALL BE INSTALLED IN LANDSCAPED AREAS WHENEVER POSSIBLE.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF SLEEVES AS INDICATED ON THE DRAWING. EXTEND SLEEVES BACK OF CURB AND CAP UNTIL CONTRACTOR IS READY TO BEGIN THE INSTALLATION OF SPRINKLER SYSTEM. STATE LOCATION OF SLEEVE WITH TAPES AND PLAYS.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A J-BOX WITH 110VAC PHASE POWER TO THE CONTROLLER AND BACKFLOW PREVENTER LOCATIONS. IRRIGATION CONTRACTOR SHALL BE AWARE TO J-BOX.
 - CONTRACTOR SHALL INSTALL SPECIFIED BACKFLOW PREVENTER AND PROTECTIVE HOUSING AT THE LOCATION SHOWN ON THE DRAWINGS. CONTRACTOR SHALL CLOSELY FOLLOW THESE CONTRACT DRAWINGS, THE IRRIGATION SPECIFICATIONS AND THE SPECIFIED RECOMMENDATIONS OF THE EQUIPMENT MANUFACTURERS TO INSURE PROPER INSTALLATION OF THE IRRIGATION SYSTEM. CONTRACTOR SHALL IMMEDIATELY CONSULT WITH THE OWNER WHENEVER THERE APPEARS TO BE A CONFLICT BETWEEN ANY OF THE ABOVE STATED DOCUMENTS.
 - ALL VALVE BOXES SHALL BE TAN W/ TANK TOP.



Landscape Architecture
Urban Design
Planning Services

302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5405

REV	DATE	DESCRIPTION

Vista de la Sierra

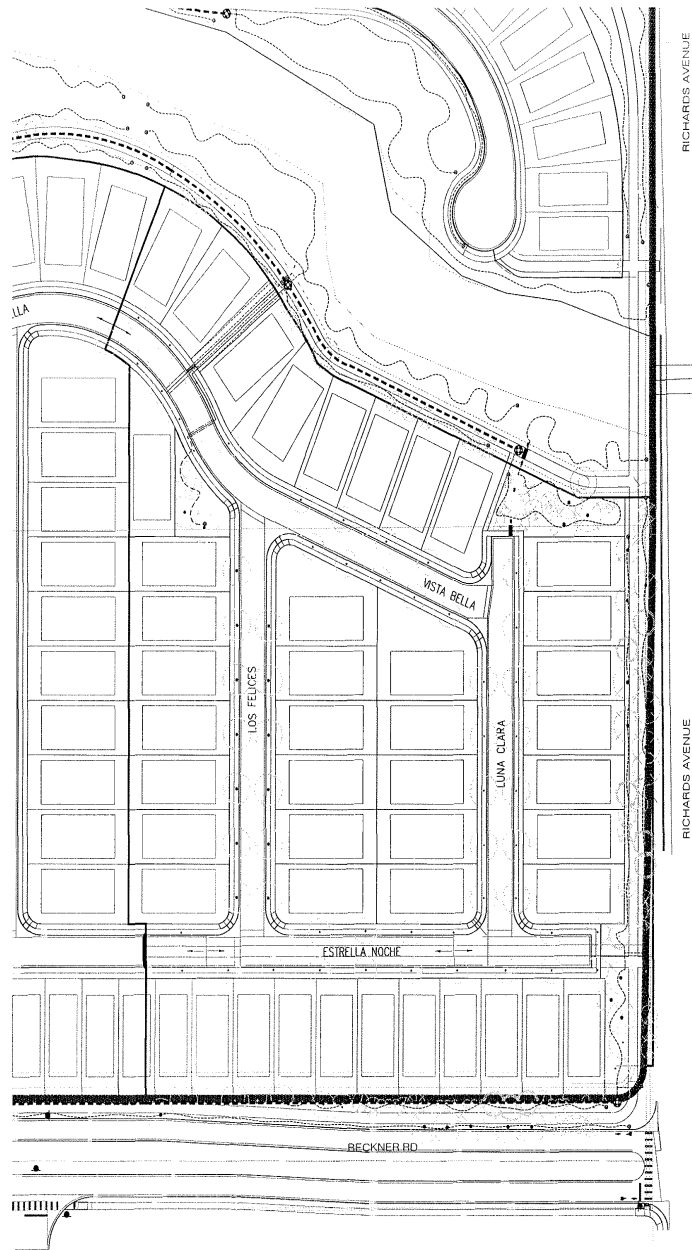
Santa Fe, New Mexico

Landscape Architects Inc.



Designed By	KP/CG
Drawn By	KP/CG
Checked By	CG
Date	11/30/20
Project No.	1872-0
Sheet No.	

PHASE 1
IRRIGATION PLAN
L-101



IRRIGATION EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION
M	METER 1" (SEE UTILITY PLAN)
B	BACKFLOW PREVENTER PERIODICALLY REDUCED PRESSURE BACKFLOW PREVENTER (1") IN HOT BOX HR-INSULATED BACKFLOW ENCLOSURE CONTROL FOR TO PROVIDE POSITIVE HEAT SOURCE TO BACKFLOW PREVENTER
V	MASTER VALVE RAINBIRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL
F	FLOW SENSOR RAIN BIRD FS300P BELLFLOW SENSOR W/ GROUNDING PER MANUFACTURERS RECOMMENDATIONS
S	SLEEVING CLASS 200 PVC SOLVENT WELD 2 SIZES LARGER THAN PIPE TO BE SLEEVED 1" P.P.E PER SLEEVE
---	IRRIGATION MAINLINE SCHEDULE 40 PVC SOLVENT WELD 1 1/2" DEPTH FOR CONSTANT PRESSURE MAIN AND 2" DEPTH FOR NON-CONSTANT PRESSURE MAIN
---	LATERAL PIPING SCHEDULE 40 PVC 1/2" DEPTH 3/4" UNLESS NOTED OTHERWISE
+	AUTOMATIC DRIP VALVE ASSEMBLY HUNTER PIZ-101-25 DRP ZONE CONTROL KIT
+	AUTOMATIC VALVE ASSEMBLY (SPRINKLERS) RAINBIRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL
+	MANUAL ISOLATION VALVE ASSEMBLY SPEARS SCH 80 PVC BALL VALVE WITH UNIONS (SIZE PER LINE)
+	POP-UP ROTARY SPRINKLER HUNTER MP3000 SERIES - 3000-2100000-300 PART CIRCLE 80-210 2.12 GPM @ 40 PSI FULL CIRCLE 360 3.64 GPM @ 40 PSI
+	DRIP IRRIGATION TUBING 3/4" POLYETHYLENE PIPE 6" DEPTH MIN. W/ COMPRESSION FITTINGS AND FLUSH CAP FLUSH CAPS SHALL BE SCH 80 PVC BALL VALVE PLACED IN 12' VALVE BOX TUBING SHALL BE PINNED EVERY 10'
+	EMITTER DEVICE RAIN BIRD XEM-BUG EMITTERS AS DEFINED BELOW 1/4" DISTRIBUTION TUBING PINNED AT EACH 90° TURN/FREE SPURS - (2) XB-10 1.0 GPM EMITTERS EACH TREES - (8) XB-20 2.0 GPM EMITTERS EACH
+	CONTROLLER RAIN BIRD ESPRIMO (8 STATION) WAXMUS STAINLESS STEEL CABINET ON UNMISSED STAINLESS STEEL PEDestal CONTRACTOR TO PROVIDE ELECTRICAL POWER TO CONTROLLER

NOTE: ALL OPEN SPACE AREAS RECEIVING NATIVE SEEDING REVEGETATION ARE TO RECEIVE IRRIGATION USING HUNTER POP-UP ROTARY SPRINKLERS AND RAIN BIRD PEB SERIES VALVES. HEAD SPACING MAY EXCEED STANDARD SPACING BY UP TO 25% ADDITIONAL FEET. VALVES MAY NOT EXCEED 60' GPM.

GENERAL IRRIGATION NOTES

1. THE SYSTEM DESIGN ASSUMES A MINIMUM STATIC PRESSURE OF 40 PSI AT THE 3/4-INCH POINT-OF-CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
2. THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
3. THE IRRIGATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL WIRING PRIOR TO CONSTRUCTION.
4. THE IRRIGATION CONTRACTOR SHALL NOT INSTALL THE SPRINKLER SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. OR IF THE DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND NOTES, OR SPECIFICATIONS ARE DISCOVERED. ALL SUCH OBSTRUCTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE.
5. THE DRAWINGS ARE DIAGRAMMATIC. IN SOME CASES, IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY. THE IRRIGATION CONTRACTOR SHALL AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ABOVE GROUND UTILITIES. IRRIGATION PIPE AND WIRING SHALL BE INSTALLED IN LANDSCAPED AREAS WHENEVER POSSIBLE.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF SLEEVES AS INDICATED ON THE DRAWINGS. EXTERIOR SLEEVES TO BE HUNG BACK OF CURB AND CAP UNTIL CONTRACTOR IS READY TO BEGIN THE INSTALLATION OF SPRINKLER SYSTEM. STAKE LOCATION OF SLEEVE WITH I-POSTS AND FLAGS.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A JOB WITH 110VAC PHASE POWER TO THE CONTROL BOX AND BACKFLOW PREVENTER LOCATIONS. IRRIGATION CONTRACTOR SHALL HARD-WIRE TO J-BOX.
8. CONTRACTOR SHALL INSTALL SPECIFIED BACKFLOW PREVENTER AND PROTECTIVE HOUSING AT THE LOCATION SHOWN ON THE DRAWINGS. CONTRACTOR SHALL CLOSELY FOLLOW THESE CONTRACT DRAWINGS, THE IRRIGATION SPECIFICATIONS, AND THE SPECIFIED RECOMMENDATIONS OF THE EQUIPMENT MANUFACTURERS TO INSURE PROPER INSTALLATION OF THE IRRIGATION SYSTEM. CONTRACTOR SHALL IMMEDIATELY CONSULT WITH THE OWNER WHENEVER THERE APPEARS TO BE A CONFLICT BETWEEN ANY OF THE ABOVE STATED DOCUMENTS.
9. ALL VALVE BOXES SHALL BE 24" X 24" X 12" U.L.D.



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302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-0801
Fax (505) 842-5495

REV.	DATE	DESCRIPTION

Vista de la Sierra

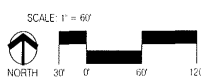
Santa Fe, New Mexico

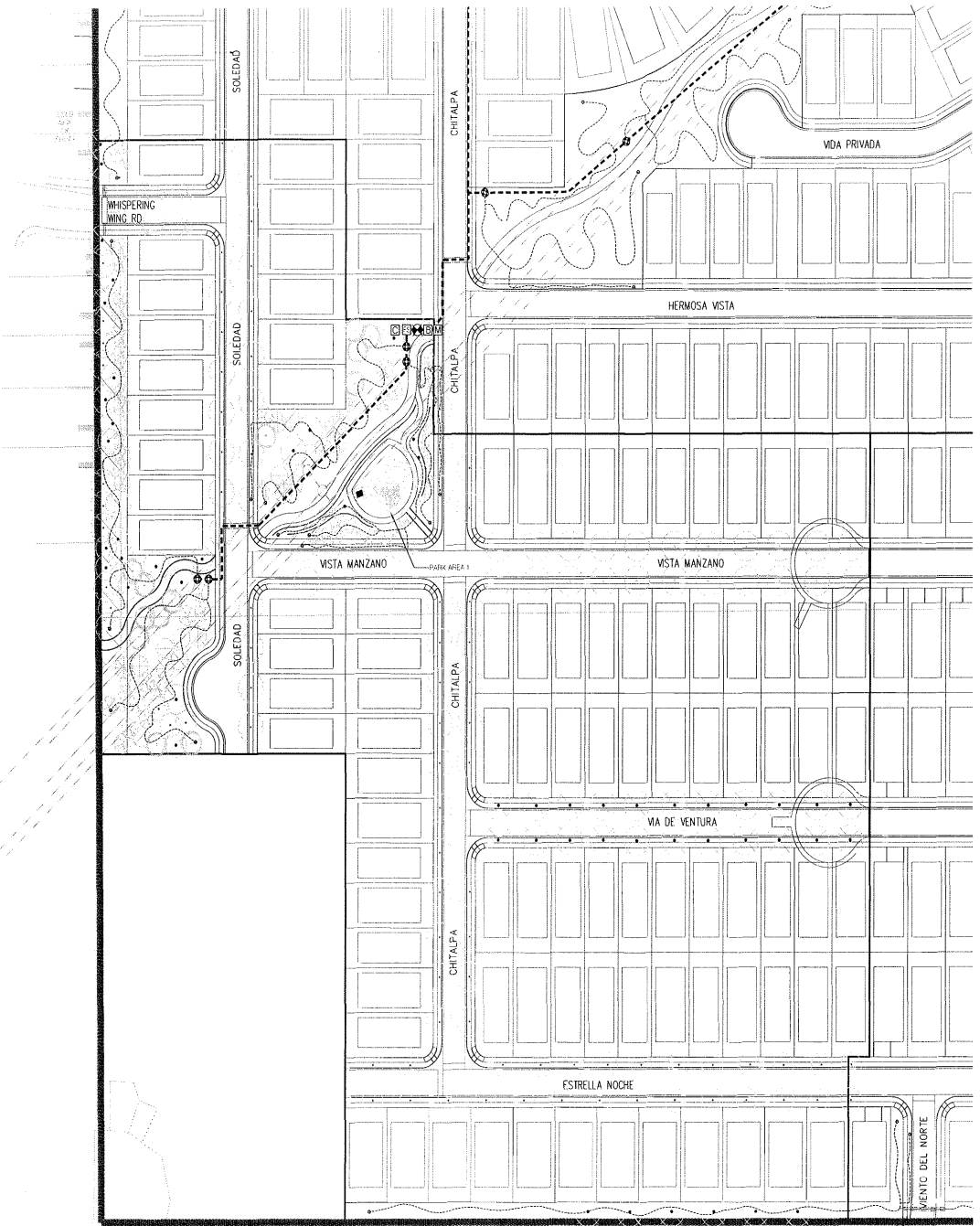
Landscape Architect's Seal



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Drawn By	KP/CG
Checked By	CG
Date	11/30/20
Project No	1872-0
Sheet Title	

PHASE 2A
IRRIGATION PLAN
L-102





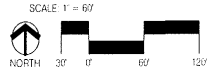
IRRIGATION EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION
M	METER - 2" (SEE UTILITY PLAN)
B	BACKFLOW PREVENTER - FERRIS 505A REDUCED PRESSURE BACKFLOW PREVENTER (2") IN HOT BOX AND INDICATED BACKFLOW PREVENTER. CONTRACTOR TO PROVIDE 5' (SEE) HEAT SOURCE TO BACKFLOW PREVENTER.
+	MASTER VALVE - HANBERG PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL
F	FLOW SENSOR - RAIN BIRD FES30F IN PELL OR FLOW SENSOR W/ SIGNALING PER MANUFACTURER'S RECOMMENDATIONS.
---	SLEEPING - CLASS 200 PVC SOLENT WELD (1") 36" DEPTH FOR CONSTANT PRESSURE MAIN AND (2") DEPTH FOR NON-CONSTANT PRESSURE MAIN.
---	LATERAL PIPING - SCHEDULE 40 PVC 1/2" DEPTH 3/4" UNLESS NOTED OTHERWISE.
+	AUTOMATIC DRIP VALVE ASSEMBLY HUNTER PCZ-101-25 DRIP ZONE CONTROL KIT.
+	AUTOMATIC VALVE ASSEMBLY (SPRINKLERS) - RAIN BIRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL.
X	MANUAL ISOLATION VALVE ASSEMBLY SPEARS SCH. 80 PVC BALL VALVE WITH UNIONS. (SEE PER LINE).
+	POP-UP ROTARY SPRINKLER - HUNTER MP3000 SERIES - 3000-210-3000-360 (PAIR) - CIRCLER 49 210 2 1/2 GPM @ 60 PSI FULL-CIRCLE 360 384 GPM @ 60 PSI
●	DRIP IRRIGATION TUBING - 3/4" POLYETHYLENE PIPE (1" DEPTH MIN) W/ COMPRESSION FITTINGS AND FLUSH CAP. FLUSH CAPS SHALL BE SCH 80 PVC BALL VALVE PLACED IN 1/2" VALVE BOX. TUBING SHALL BE RANNE EVERY 10'.
---	EMITTER DEVICE - RAIN BIRD XE FIBRIS EMITTERS AS DEFINED BELOW 1/4" DISTRIBUTION TUBING PIPED AT EACH SHAUB/TREE: SHRUBS - (2) XB-10 1.0 GPM EMITTERS EACH TREES - (6) XB-20 2.0 GPM EMITTERS EACH
C	CONTROLLER - RAIN BIRD ESP-1000 (8 STATIONS) W/ WMS STAINLESS STEEL CABINET ON 1/4" W/ S.S. STEEL FEDESTAL. CONTRACTOR TO PROVIDE ELECTRICAL POWER TO CONTROLLER.

NOTE: ALL OPEN SPACE AREAS RECEIVING NATIVE SEEDING VEGETATION ARE TO RECEIVE IRRIGATION USING HUNTER POP-UP POP-UP ROTARY SPRINKLERS AND RAIN BIRD PEB SERIES VALVES. HEAD SPACING MAY EXCEED STANDARD SPACING UP TO 25% ADDITIONAL FEET. VALVES MAY NOT EXCEED 60 GPM.

GENERAL IRRIGATION NOTES

1. THE SYSTEM DESIGN ASSUMES A MINIMUM STATIC PRESSURE OF 60 PSI AT THE 3/4" INCH POINT-OF-CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
2. THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
3. THE IRRIGATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL WIRING PRIOR TO CONSTRUCTION.
4. THE IRRIGATION CONTRACTOR SHALL NOT INSTALL THE SPRINKLER SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. OR IF THE DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES OR SPECIFICATIONS ARE DISCOVERED. ALL SUCH OBSTRUCTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE.
5. THE DRAWINGS ARE DIAGRAMMATIC. IN SOME CASES, IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANNING AREAS FOR CLARITY. THE IRRIGATION CONTRACTOR SHALL AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ABOVE GROUND UTILITIES. IRRIGATION PIPE AND WIRING SHALL BE INSTALLED IN LANDSCAPED AREAS WHENEVER POSSIBLE.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF SLEEVES AS INDICATED ON THE DRAWING. EXTEND SLEEVES 2' BEYOND BACK OF CURB AND CAP UNTIL CONTRACTOR IS READY TO BEGIN THE INSTALLATION OF SPRINKLER SYSTEM. STAKE LOCATION OF SLEEVE WITH 1" POSTS AND FLAGS.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A J-BOX WITH 115VAC PHASE POWER TO THE CONTROLLER AND BACKFLOW PREVENTER LOCATIONS. IRRIGATION CONTRACTOR SHALL HANDLE TO J-BOX.
8. CONTRACTOR SHALL INSTALL SPECIFIED BACKFLOW PREVENTER AND PROTECTIVE HOUSING AT THE LOCATION SHOWN ON THE DRAWINGS. CONTRACTOR SHALL CLOSELY FOLLOW THESE CONTRACT DRAWINGS, THE IRRIGATION SPECIFICATIONS, AND THE SPECIFIED RECOMMENDATIONS OF THE EQUIPMENT MANUFACTURERS TO INSURE PROPER INSTALLATION OF THE IRRIGATION SYSTEM. CONTRACTOR SHALL IMMEDIATELY CONSULT WITH THE OWNER WHENEVER THERE APPEARS TO BE A CONFLICT BETWEEN ANY OF THE ABOVE STATED DOCUMENTS.
9. ALL VALVE BOXES SHALL BE TAN W/ TAN LID.



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302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

REV	DATE	DESCRIPTION

Vista de la Sierra
 Santa Fe, New Mexico



Designed By	KPJ/CG
Drawn By	KPJ/CG
Checked By	CG
Date	11/30/20
Project No	1872-0
Sheet Title	

PHASE 2B
IRRIGATION PLAN
L-103

IRRIGATION EQUIPMENT SCHEDULE

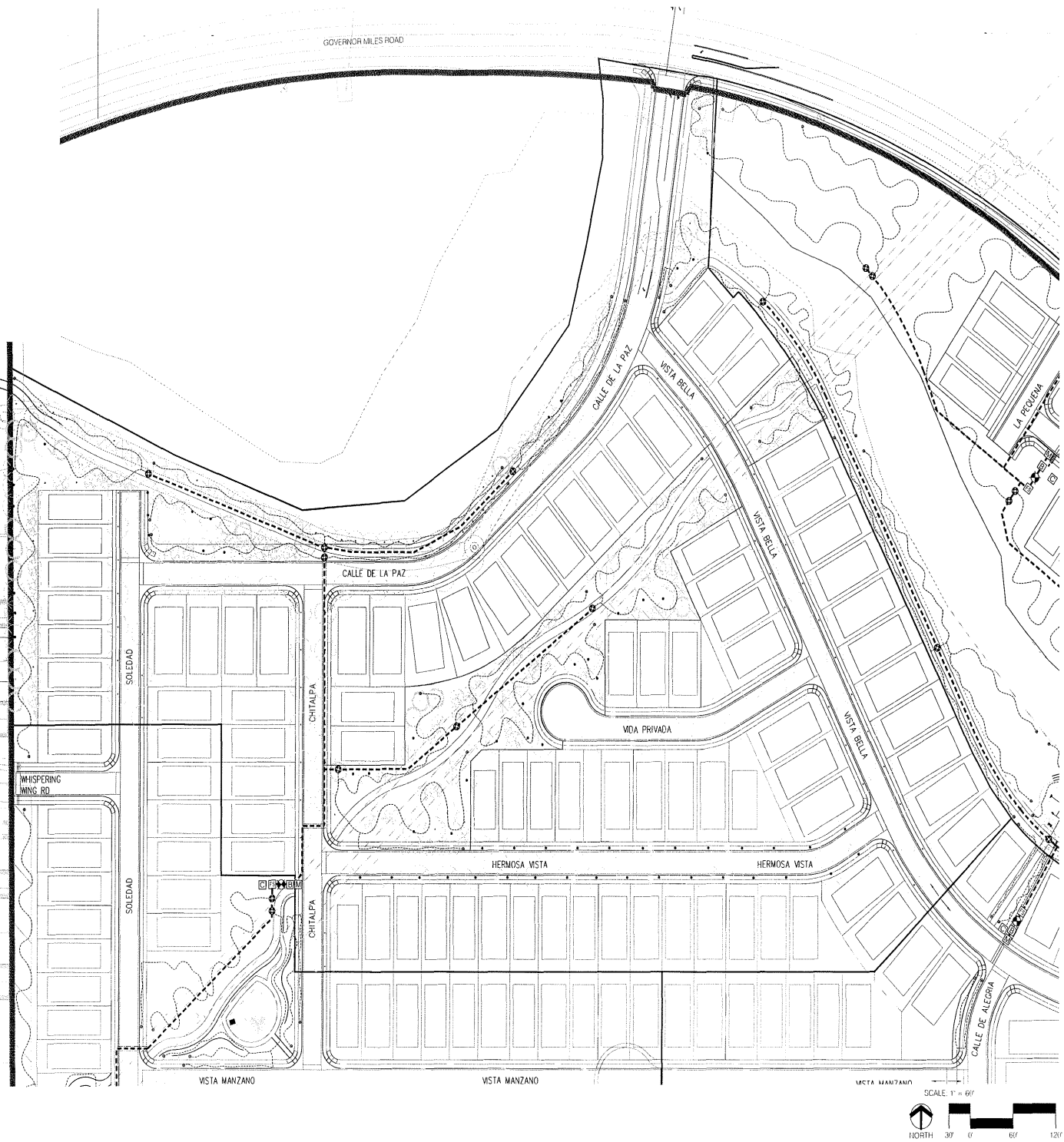
SYMBOL DESCRIPTION

- METER 1/2" (SEE UTILITY PLAN)
- BACKFLOW PREVENTER FEEDCO #3/4 REDUCED PRESSURE BACKFLOW PREVENTER 21" H20 50# H2 2 REDUCED BACKFLOW PREVENTER CONTRACTOR TO PROVIDE POSITIVE HEAT SOURCE TO BACKFLOW PREVENTER
- MASTER VALVE RAINBIRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL
- FLOW SENSOR RAIN BIRD F500P PIPEFLOW FLOW SENSOR W/ GROUNDING PER MANUFACTURERS RECOMMENDATIONS
- SLEEVEING CLASS 200 PVC SOLVENT WELD 2 SIZES LARGER THAN PIPE TO BE SLEEVED 1" PIPE PER SLEEVE
- IRRIGATION MAINLINE SCHEDULE 40 PVC SOLVENT WELD (1) 36" DEPTH FOR CONSTANT PRESSURE MAIN AND 24" DEPTH FOR NON-CONSTANT PRESSURE MAIN
- LATERAL PIPING SCHEDULE 40 PVC 18" DEPTH 3/4" UNLESS NOTED OTHERWISE
- AUTOMATIC DRIP VALVE ASSEMBLY HUNTER PC2-101-25 DRIP ZONE CONTROL KIT
- AUTOMATIC VALVE ASSEMBLY (SPRINKLERS) RAINBIRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL
- MANUAL ISOLATION VALVE ASSEMBLY SPEARS SCH. 80 PVC BALL VALVE WITH UNIONS (SEE FIELDING)
- POP-UP ROTARY SPRINKLER HUNTER MP3000 SERIES - 3000-210-0000-360 PARK CIRCLE 80-210 2.12 GPM @ 40 PSI FULL CIRCLE 360 3.64 GPM @ 40 PSI
- DRIP IRRIGATION TUBING 3/4" POLYETHYLENE PIPE @ 1" DEPTH MIN. W/ COMPRESSION FITTINGS AND FLUSH CAP FLUSH CAPS SHALL BE SCH 80 PVC BALL VALVE PLACED IN 10' VALVE BOX TUBING SHALL BE FINNED EVERY 10'
- EMITTER DEVICE RAIN BIRD XERBERG EMITTERS AS DEFINED BELOW 1/4" DISTRIBUTION TUBING FINNED AT EACH SHRUB/TREE SHRUBS - (2) XE-10 1 GPH EMITTERS EACH TREES - (6) XE-20 1 GPH EMITTERS EACH
- CONTROLLER RAIN BIRD ESPRIMO (8 STATION) W/ MMS5 STAINLESS STEEL CABINET ON UNFINISHED STAINLESS STEEL PEDESTAL CONTRACTOR TO PROVIDE ELECTRICAL POWER TO CONTROLLER

NOTE: ALL OPEN SPACE AREAS RECEIVING NATIVE SEEDED REVEGETATION ARE TO RECEIVE IRRIGATION USING HUNTER POP-UP POLYUP ROTARY SPRINKLERS AND RAIN BIRD PEB SERIES VALVES. HEAD SPACING MAY EXCEED STANDARD SPACING BY UP TO 25% ADDITIONAL FEET. VALVES MAY NOT EXCEED 60 GPM.

GENERAL IRRIGATION NOTES

1. THE SYSTEM DESIGN ASSUMES A MINIMUM STATIC PRESSURE OF 60 PSI AT THE 3/4" INCH POINT-OF-CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
2. THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
3. THE IRRIGATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL WIRING PRIOR TO CONSTRUCTION.
4. THE IRRIGATION CONTRACTOR SHALL NOT INSTALL THE SPRINKLER SYSTEM WHEN IT IS OBSERVED IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. OR IF THE DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED. ALL SUCH OBSTRUCTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE.
5. THE DRAWINGS ARE DIAGRAMMATIC. IN SOME CASES, IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY. THE IRRIGATION CONTRACTOR SHALL AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ABOVE GROUND UTILITIES. IRRIGATION PIPE AND WIRING SHALL BE INSTALLED IN LANDSCAPED AREAS WHENEVER POSSIBLE.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF SLEEVES AS INDICATED ON THE DRAWING. EXTEND SLEEVES 2' BEYOND BACK OF CURB AND CAP UNTIL CONTRACTOR IS READY TO BEGIN THE INSTALLATION OF SPRINKLER SYSTEM. STATE LOCATION OF SLEEVE WITH FASTENERS AND FLUSH.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A J-BOX WITH 115VAC PHASE POWER TO THE CONTROLLER AND BACKFLOW PREVENTER LOCATIONS. IRRIGATION CONTRACTOR SHALL HARDBORE TO J-BOX.
8. CONTRACTOR SHALL INSTALL SPECIFIED BACKFLOW PREVENTER AND PROTECTIVE HOUSING AT THE LOCATION SHOWN ON THE DRAWINGS. CONTRACTOR SHALL CLOSELY FOLLOW THESE CONTRACT DRAWINGS, THE IRRIGATION SPECIFICATIONS, AND THE SPECIFIED RECOMMENDATIONS OF THE EQUIPMENT MANUFACTURERS TO INSURE PROPER INSTALLATION OF THE IRRIGATION SYSTEM. CONTRACTOR SHALL IMMEDIATELY CONSULT WITH THE OWNER IF NEVER THERE APPEARS TO BE A CONFLICT BETWEEN ANY OF THE ABOVE LISTED REQUIREMENTS.
9. ALL VALVE BOXES SHALL BE TANK TITAN IUD.



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Planning Services

302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

#	Date	Description

Vista de la Sierra

Santa Fe, New Mexico



Designed by: KPJ/CG
Drawn by: KPJ/CG
Created by: CG
Date: 11/30/20
Project No: 1872-0
Sheet Title:

PHASE 3A
IRRIGATION PLAN
L-104

IRRIGATION EQUIPMENT SCHEDULE

SYMBOL DESCRIPTION

- METER - 2" SEE UTILITY PLAN
- BACKFLOW PREVENTER - FEGCO 825VA REDUCED PRESSURE BACKFLOW PREVENTER 12" IN. HOT BOX 16-2" INSULATED BACKFLOW ENCLOSURE. CONTRACTOR TO PROVIDE PROTECTIVE HEAT SOURCE TO BACKFLOW PREVENTER.
- MASTER VALVE - HANFORD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL.
- FLOW SENSOR - RAIN BRD PEB-OP IMPELLOR FLOW SENSOR W/ GROUNDING PER MANUFACTURER'S RECOMMENDATIONS.
- SLEEVING - CLASS 200 PVC SOLVENT WELD, 2 SIZES LARGER THAN PIPE TO BE SLEEVED, 1" FIFE PER SLEEVE.
- IRRIGATION MAINLINE - SCHEDULE 40 PVC SOLVENT WELD 171/2" DEPTH FOR CONSTANT PRESSURE MAIN AND 24" DEPTH FOR NON-CONSTANT PRESSURE MAIN.
- LATERAL FIRING - SCHEDULE 40 PVC 18" DEPTH 3/4" UNLESS NOTED OTHERWISE.
- AUTOMATIC DRIP VALVE ASSEMBLY - HUNTER PIZ-101-25 DRIP ZONE CONTROL KIT.
- AUTOMATIC VALVE ASSEMBLY (SPRINKLERS) - RAINBRD PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL.
- MANUAL ISOLATION VALVE ASSEMBLY - SPEARS SCH 80 PVC BALL VALVE WITH UNIONS (SEE PER LINES).
- POP-UP ROTARY SPRINKLER - HUNTER MP3000 SERIES - 3000210 3000-3000-210 90° 2 1/2" GPM @ 90 PSI FULL CIRCLE 90° 3.64 GPM @ 60 PSI

DRIP IRRIGATION TUBING 3/4" POLYETHYLENE PIPE 4" DEPTH MIN. W/ COMPRESSION FITTINGS AND FLUSH CAP. FLUSH CAPS SHALL BE SCH 80 PVC BALL VALVE PLACED IN 10' VALVE BOX. TUBING SHALL BE FINISHED EVERY 50'.

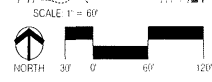
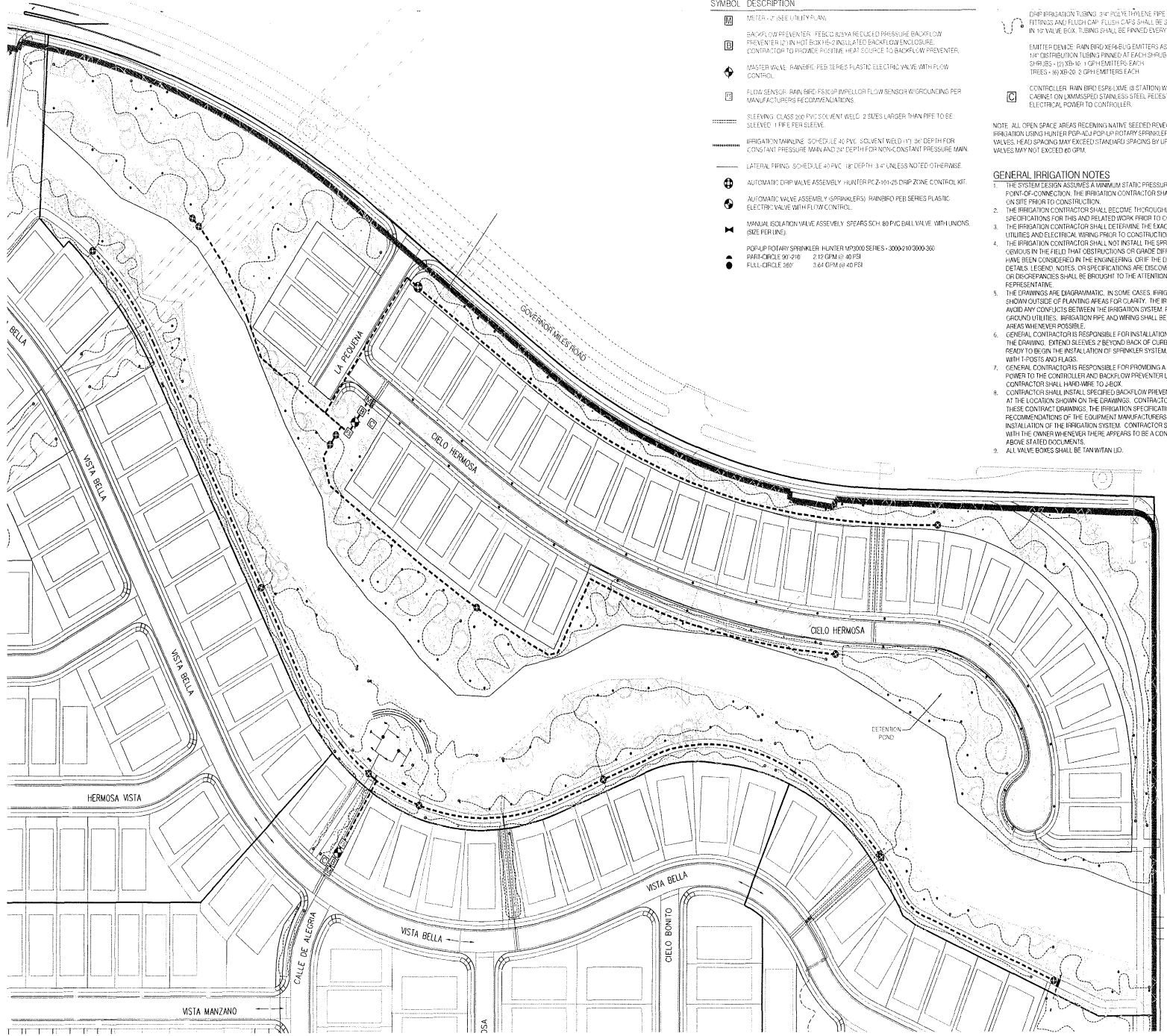
EMITTER DEVICE - RAIN BRD XEB-BIG EMITTERS AS SHOWN BELOW 1/4" DISTRIBUTION TUBING FINISHED AT EACH SHRUB/TREE SHRUBS - 10' TO 10' 1/2" EMITTERS EACH TREES - 6' X 8'-20' 2 GPH EMITTERS EACH

CONTROLLER - RAIN BRD ESP-12-18 18 STATION W/ 1/2" 316 SS STAINLESS STEEL CABINET ON EXHIBIT 100 STAINLESS STEEL PESTEL. CONTRACTOR TO PROVIDE ELECTRICAL POWER TO CONTROLLER.

NOTE: ALL OPEN SPACE AREAS RECEIVING MAIN SEEDLING VEGETATION ARE TO RECEIVE IRRIGATION USING HUNTER POP-UP ROTARY SPRINKLERS AND RAIN BRD PEB SERIES VALVES. HEAD SPACING MAY EXCEED STANDARD SPACING BY UP TO 25% ADDITIONAL FEET. VALVES MAY NOT EXCEED 60 GPM.

GENERAL IRRIGATION NOTES

1. THE SYSTEM DESIGN ASSUMES A MINIMUM STATIC PRESSURE OF 60 PSI AT THE 3/4" INCH POINT-OF-CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
2. THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
3. THE IRRIGATION CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL WIRING PRIOR TO CONSTRUCTION.
4. THE IRRIGATION CONTRACTOR SHALL NOT INSTALL THE SPRINKLER SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. OBTAIN DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND NOTES, OR OPERATIONS ARE SPECIFIED. ALL SUCH OBSTRUCTIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE.
5. THE DRAWINGS ARE DIAGNAMATIC. IN SOME CASES, IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY. THE IRRIGATION CONTRACTOR SHALL AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND AVOID GROUND UTILITIES. IRRIGATION PIPE AND WIRING SHALL BE INSTALLED IN LANDSCAPED AREAS WHENEVER POSSIBLE.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF SLEEVES AS INDICATED ON THE DRAWING. EXTEND SLEEVES 2' BEYOND BACK OF CURB AND CAP UNTIL CONTRACTORS READY TO BEGIN THE INSTALLATION OF SPRINKLER SYSTEM. STAKE LOCATION OF SLEEVES WITH 1" POSTS AND FLAGS.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A J. BOX WITH 115VAC PHASE POWER TO THE CONTROLLER AND BACKFLOW PREVENTER LOCATIONS. IRRIGATION CONTRACTOR SHALL HARD-WIRE TO LEGS.
8. CONTRACTOR SHALL INSTALL SPECIFIED BACKFLOW PREVENTER AND PROTECTIVE HOUSING AT THE LOCATION SHOWN ON THE DRAWINGS. CONTRACTOR SHALL CLOSELY FOLLOW THESE CONTRACT DRAWINGS, THE IRRIGATION SPECIFICATIONS, AND THE SPECIFIED RECOMMENDATIONS OF THE EQUIPMENT MANUFACTURERS TO INSURE PROPER INSTALLATION OF THE IRRIGATION SYSTEM. CONTRACTOR SHALL IMMEDIATELY CONSULT WITH THE OWNER WHENEVER THERE APPEARS TO BE A CONFLICT BETWEEN ANY OF THE ABOVE STATED DOCUMENTS.
9. ALL VALVE BOXES SHALL BE TAN W/ TAN LID.



Landscape Architecture
Urban Design
Planning Services

302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

REVISIONS	DESCRIPTION
1	DATE

Vista de la Sierra

Santa Fe, New Mexico



Designed By	KP/CG
Drawn By	KP/CG
Checked By	CG
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Sheet Title	

PHASE 3B
IRRIGATION PLAN
L-105



CONSENSUS

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Albuquerque, NM 87102
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Fax (505) 842-5495

SEE LISTS OF S.
DESCRIPTION

DATE

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Santa Fe, New Mexico

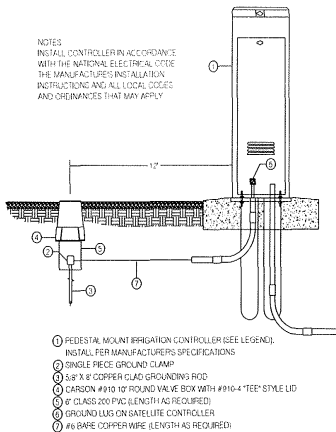
Landscape Architect's Seal



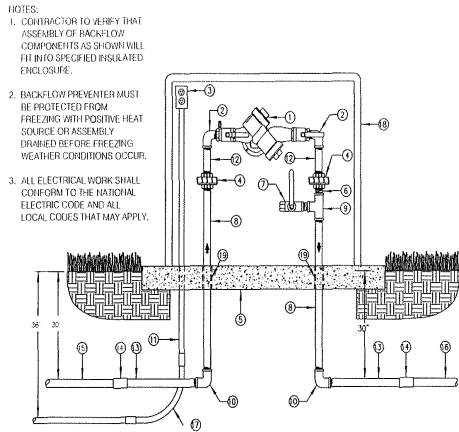
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Drawn By: KP/CG
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Date: 11/30/20
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IRRIGATION
DETAILS

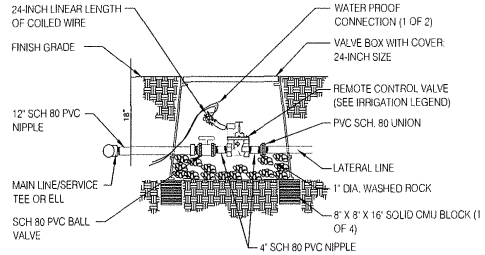
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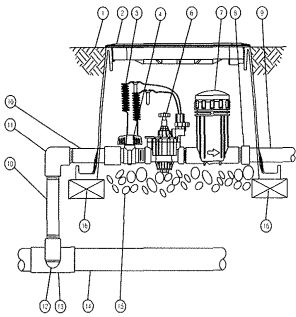
1 CONTROLLER - PEDESTAL MOUNT
SCALE: N.T.S.



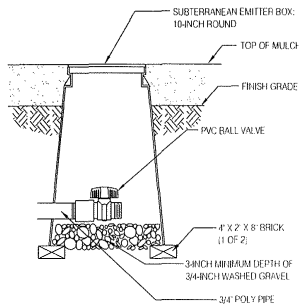
2 BACKFLOW PREVENTER
SCALE: N.T.S.



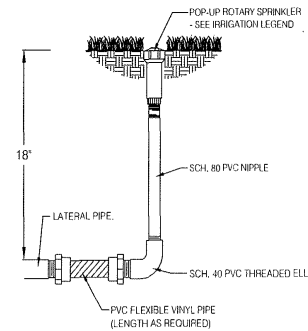
3 AUTOMATIC VALVE (MASTER)
SCALE: N.T.S.



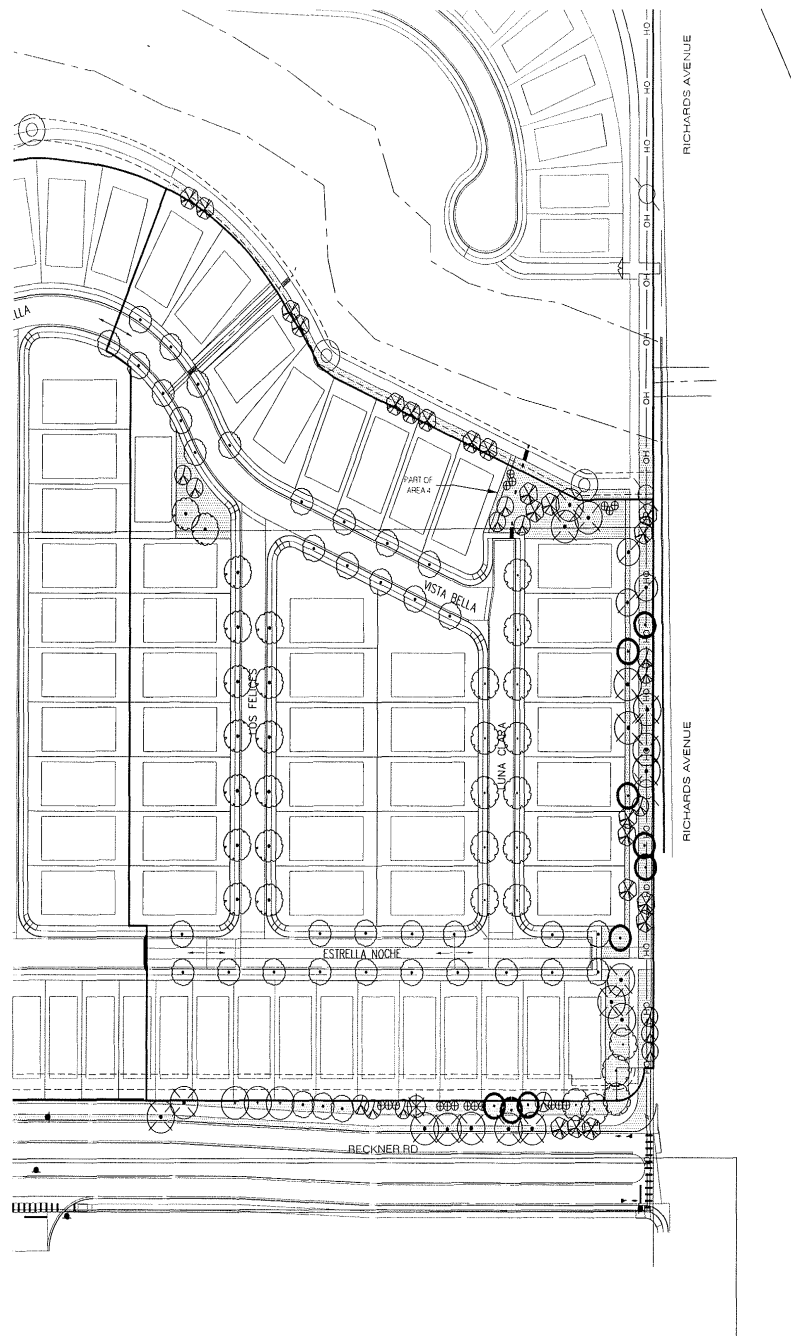
4 DRIP VALVE ASSEMBLY
SCALE: N.T.S.



5 DRIP FLUSH VALVE
SCALE: N.T.S.



6 POP-UP ROTARY SPRINKLER
SCALE: N.T.S.



PLANT LEGEND PHASE 2A

QTY	SYMBOL	COMMON NAME	SIZE	INSTALLED SIZE	MARKUP %
DECIDUOUS TREES					
18	(Symbol)	CEDRUS RETICULATA	2 BAB	10' HT. X 4" DBH	
	(Symbol)	NEULIF HUCKLEBERRY		20' HT. X 2 1/4" DBH	
13	(Symbol)	CHALOPYGUS LINEARIS	2 BAB	8' HT. X 4" DBH	
	(Symbol)	DESERT FOLIAGE		20' HT. X 20" DBH	
3	(Symbol)	LEUCOSYMPLOCARUS FRAGRANS	2.5 BAB	18' HT. X 4" DBH	
	(Symbol)	FRONTERIA ELM		35' HT. X 3 1/2" DBH	
17	(Symbol)	QUERCUS THUNBERGII IMPERIAL	2 BAB	10' HT. X 4" DBH	
	(Symbol)	IMPERIAL HONEY LOCUST		50' HT. X 50" DBH	
17	(Symbol)	PARLUS CALIFORNICUS VESUVIUS	2.5 BAB	10' HT. X 5" DBH	
	(Symbol)	Y. VESUVIUS		20' HT. X 4" DBH	
30	(Symbol)	PIRUS CALIFORNICUS CLEVELAND	2.5 BAB	12' HT. X 5" DBH	
	(Symbol)	FLOWERING PEAR		25' HT. X 20" DBH	
3	(Symbol)	QUERCUS BUCKLEII	2.5 BAB	12' HT. X 5" DBH	
	(Symbol)	TEAK-RED OAK		40' HT. X 30" DBH	
EVERGREEN TREES					
18	(Symbol)	JUNIPERUS DOBSONIUM SPYROCKET	8 BAB	10' MIN. HT.	
	(Symbol)	DOBSONIUM ROCKY MOUNTAIN JUNIPER		20' HT. X 8" DBH	
2	(Symbol)	PIRUS EDULIS	BAB	6' MIN. HT.	
	(Symbol)	PINDA PINE		30' HT. X 20" DBH	
6	(Symbol)	PIRUS NEGRA	BAB	6' MIN. HT.	
	(Symbol)	AUSTRALIAN PINE		30' HT. X 25" DBH	
LARGE SHRUBS					
23 MIN.					
	(Symbol)	CAHYOTERRIS CLAUDONENSIS	5 GAL.	5' O.C.	
	(Symbol)	BLUE HEST		8' HT. X 8" DBH	
	(Symbol)	CHYSDORAMANUS NAUSSIDORUS	5 GAL.	8' O.C.	
	(Symbol)	CHAMISA		6' HT. X 10" DBH	
	(Symbol)	FALLUGIA PARADOXA	5 GAL.	5' O.C.	
	(Symbol)	APACHE PLUME		5' HT. X 5" DBH	
	(Symbol)	PERIDOCMA AFRICANA LITTLE SPRUE	5 GAL.	4' O.C.	
	(Symbol)	LITTLE SPRUE		4' HT. X 5" DBH	
	(Symbol)	RHUS TRILOBATA	5 GAL.	8' O.C.	
	(Symbol)	THREE-LEAF SUMAC		10' HT. X 5" DBH	
EVERGREEN SHRUBS AND ACCENTS					
28 MIN.					
	(Symbol)	LAVANDULA X INTERMEDIA GRISSE	5 GAL.	3' O.C.	
	(Symbol)	GROSSED LAVENDER		3' HT. X 3" DBH	
	(Symbol)	DASYLIRION WHEELERI	5 GAL.	4' O.C.	
	(Symbol)	SPITAL		4' HT. X 4" DBH	
	(Symbol)	BUXUS SPP.	5 GAL.	5' O.C.	
	(Symbol)	BOWWOOD		4' HT. X 4" DBH	
	(Symbol)	ACHILLEA MCDONNAND	5 GAL.	4' O.C.	
	(Symbol)	MIDSHINE YARROW		2' HT. X 4" DBH	
	(Symbol)	PIRUS MUGO	5 GAL.	5' O.C.	
	(Symbol)	MUGO PINE		3' HT. X 4" DBH	
	(Symbol)	YUCCA BACATA	5 GAL.	3' O.C.	
	(Symbol)	BANANA YUCCA		4' HT. X 3" DBH	
	(Symbol)	HESPERALDE PARVIFLORA	5 GAL.	4' O.C.	
	(Symbol)	RED YUCCA		4' HT. X 4" DBH	
SMALL SHRUBS & GROUND COVERS					
29 MIN.					
	(Symbol)	PORTERILLA FRUTICOSA	5 GAL.	3' O.C.	
	(Symbol)	SHRUBBY CINQUEFOIL		3' HT. X 3" DBH	
	(Symbol)	CENTRANTHUS RUBER	1 GAL.	2' O.C.	
	(Symbol)	JURTEPS BEARD		2' HT. X 2" DBH	
	(Symbol)	NEPETA X FAASSENI SIX HILLS GIANT	1 GAL.	2' O.C.	
	(Symbol)	SIX HILLS GIANT CALAMINT		2' HT. X 2" DBH	
	(Symbol)	PIRUS MONOPHYLLUS	1 GAL.	2' O.C.	
	(Symbol)	THREE-LEAF SUMAC		2' HT. X 2" DBH	
	(Symbol)	RHUS TRILOBATA MEXICAN AMBER	1 GAL.	4' O.C.	
	(Symbol)	CREEPING THREE-LEAF SUMAC		2' HT. X 4" DBH	
	(Symbol)	MIRABILIS MULTIFLORA	1 GAL.	2' O.C.	
	(Symbol)	WESTERN FOUR O'CLOCK		2' HT. X 2" DBH	
	(Symbol)	RHUS ARIZONICA GROUND LOW	5 GAL.	3' O.C.	
	(Symbol)	GROUND SUMAC		2' HT. X 3" DBH	
ORNAMENTAL GRASSES					
41 MIN.					
	(Symbol)	CALAMAGROSTIS KARL FICKESTER	1 GAL.	2' O.C.	
	(Symbol)	KARL FICKESTER REED GRASS		4' HT. X 2" DBH	
	(Symbol)	MULLENBERGIA CARILLARAE	5 GAL.	3' O.C.	
	(Symbol)	REGAL MIST		3' HT. X 3" DBH	
	(Symbol)	NABELLA TENNISGRASS	1 GAL.	3' O.C.	
	(Symbol)	THUNDER GRASS		3' HT. X 3" DBH	
	(Symbol)	SPONDYLUS VERGATE	5 GAL.	6' O.C.	
	(Symbol)	GIANT SACATON		8' HT. X 6" DBH	
OTHER					
	(Symbol)	MISSISSIPPI Boulders (10x3 MIN)			
	(Symbol)	7 1/2" SILVER BOLDWOOD, MULTIPLE DEPTH			
	(Symbol)	2 1/4" AZARUS BOLDWOOD, MULTIPLE DEPTH			
	(Symbol)	MULCH DEPTH			
	(Symbol)	PAINTED 3" DOWNSIDE			
	(Symbol)	NATIVE VEGETATION 3" DOWNSIDE			
PLANTING NOTES					
	(Symbol)	SPOTTED GARFINGER	5 GAL.	2' O.C.	
	(Symbol)	LANCELEAF COCCONIS		3'	
	(Symbol)	PLAINS COCCONIS		5'	
	(Symbol)	CALIFORNIA COPPY		5'	
	(Symbol)	FIREWHEEL		5'	
	(Symbol)	SNIP-CREET		5'	
	(Symbol)	BLUE FLAK		5'	
	(Symbol)	DESERT FOUR O'CLOCK		5'	
	(Symbol)	MEXICAN MIST		5'	
	(Symbol)	YELLOW PINEAPPLE COCCONIS		5'	
	(Symbol)	CHOCOLATE F. LOZEN		5'	
	(Symbol)	BLUE GRASS		2.0'	
	(Symbol)	INDIAN RICE GRASS		5.0'	
	(Symbol)	WESTERN OHN-TUR GRASS		1.0'	
	(Symbol)	GREYHATS GRASS		1.0'	
	(Symbol)	GALLET		2.0'	

NOT ALL ILLUSTRATED DUE TO SCALE OF DRAWING



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Fax (505) 842-5495

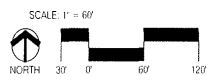
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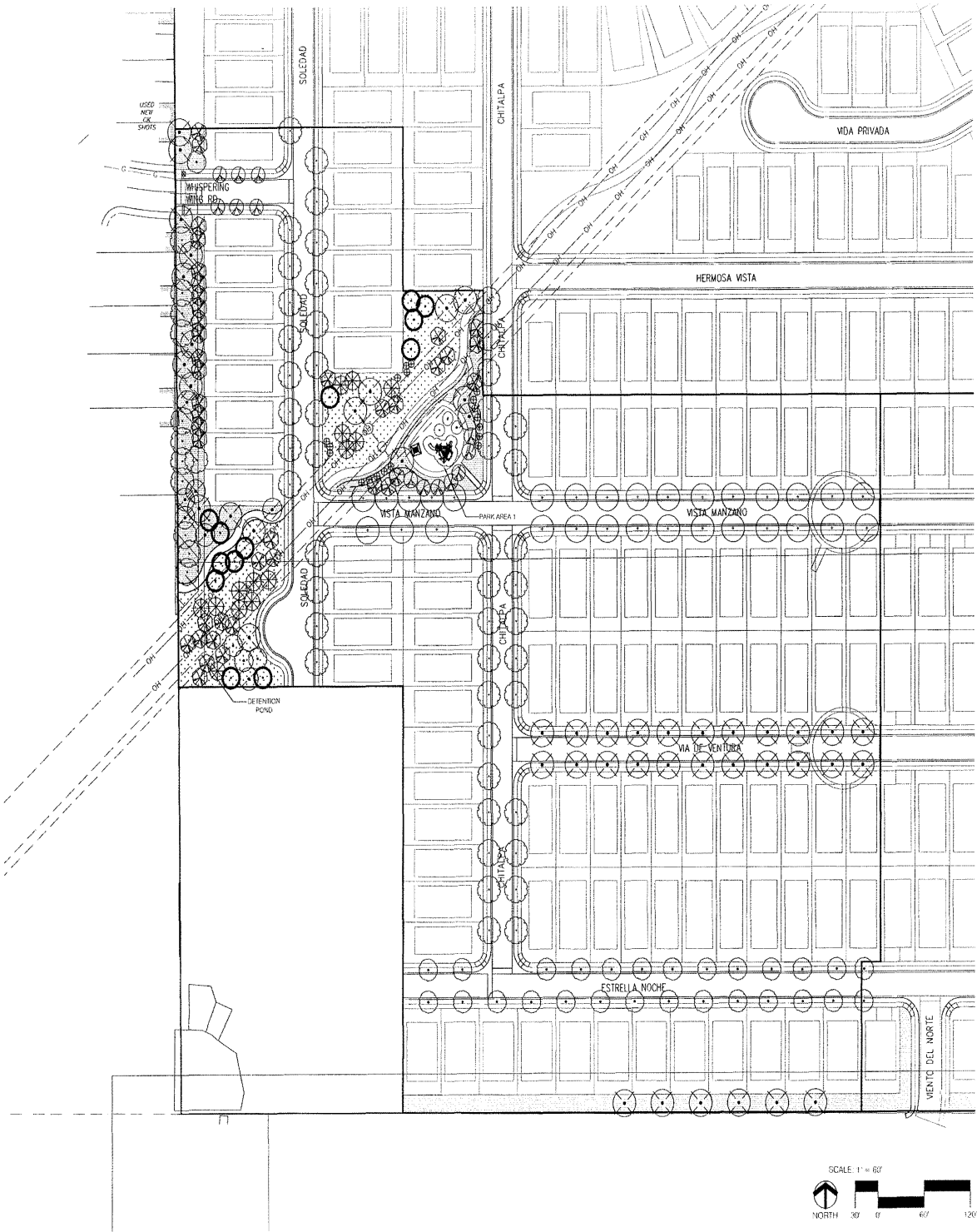
Vista de la Sierra
Santa Fe, New Mexico
Landscape Architect's Seal



Designed By: KP/CG
Drawn By: KP/CG
Checked By: CG
Date: 11/30/20
Project No: 1872-0
Sheet Title:

PHASE 2A
PLANTING PLAN
L-202

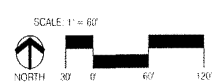




PLANT LEGEND PHASE 2B

QTY	SYMBOL	SCIENTIFIC NAME COMMON NAME	SUIT	INSTALLED SIZE MATURE SIZE
DECIDUOUS TREES				
41	(Symbol)	CELTIS BICOLORATA NETTLE-LEAF HICKORY	2 B&B	12 HT. X 4" DBH 20 HT. X 24" DBH
36	(Symbol)	Q. H. OAKS LINEANS PEPPER WILLOW	2 B&B	8 HT. X 4" DBH 12 HT. X 20" DBH
10	(Symbol)	QUERCUS BICOLORATA FRICKER BELL	2.5 B&B	12 HT. X 4" DBH 35 HT. X 25" DBH
10	(Symbol)	QUERCUS PRINCEPINUS IMPERIAL BURNING HONEY LOCUST	2 B&B	12 HT. X 4" DBH 50 HT. X 50" DBH
23	(Symbol)	FRAXINO CERATOPHYLLUM VESICULOSUM K. SEAMLESS TOOTHING SWEET	3.5 B&B	12 HT. X 3" DBH 20 HT. X 15" DBH
15	(Symbol)	PIRUS CALLERIANA CLEVELAND FLOWERING PEAR	2.5 B&B	12 HT. X 3" DBH 20 HT. X 20" DBH
7	(Symbol)	QUERCUS BUCKLEYI TEXAS RED OAK	2.5 B&B	12 HT. X 3" DBH 60 HT. X 50" DBH
EVERGREEN TREES				
19	(Symbol)	JUNIPERUS SOPOROSA SPRING PINE	6 B&B	4" MIN. HT. 20 HT. X 15" DBH
12	(Symbol)	PIRUS ENLIS PINK PINE	6 B&B	4" MIN. HT. 30 HT. X 20" DBH
13	(Symbol)	PIRUS MIERA AUSTRALIAN PINE	6 B&B	6" MIN. HT. 35 HT. X 25" DBH
LARGE SHRUBS				
30 MIN.	(Symbol)	CARYOPHYTE CLAUDONENSIS BLUE HEST	5-GAL.	8" O.C. 6" HT. X 8" DBH
	(Symbol)	CHRYSOCHAMUS NAGEBORGII CHAMISA	5-GAL.	8" O.C. 6" HT. X 10" DBH
	(Symbol)	FALLUGIA PARADOXA AFRICAN PILLAR	5-GAL.	8" O.C. 9" HT. X 8" DBH
	(Symbol)	PEROVSKIA ATROPURPUREA LITTLE SPIRE LITTLE SPIRE RUSSIAN BAZE	5-GAL.	8" O.C. 4" HT. X 2" DBH
	(Symbol)	RHUS TYLOLOBA THRESEAN SUMAC	5-GAL.	8" O.C. 8" HT. X 3" DBH
EVERGREEN SHRUBS AND ACCENTS				
30 MIN.	(Symbol)	LAVANDULA INTERMEDIA GROSSY GROSSO LAVENDER	5-GAL.	7" O.C. 3" HT. X 8" DBH
	(Symbol)	DASYLIRION WHOLEYI SOTOL	5-GAL.	4" O.C. 4" HT. X 4" DBH
	(Symbol)	DIURUS SPP BOOKWOOD	5-GAL.	5" O.C. 4" HT. X 4" DBH
	(Symbol)	ACHILLEA MICHXANSII MOONBINE YERBON	5-GAL.	4" O.C. 2" HT. X 4" DBH
	(Symbol)	PIRUS MUGO MUGO PINE	5-GAL.	5" O.C. 3" HT. X 4" DBH
	(Symbol)	YUCCA BACCATA BANANA YUCCA	5-GAL.	3" O.C. 4" HT. X 3" DBH
	(Symbol)	HESPERALOE PARVIFLORA RED YUCCA	5-GAL.	4" O.C. 4" HT. X 4" DBH
SMALL SHRUBS & GROUNDCOVERS				
30 MIN.	(Symbol)	POTENTILLA FRUTICOSA SILVER POTENTILLA	5-GAL.	3" O.C. 3" HT. X 3" DBH
	(Symbol)	CENTAUREA FLORIB JUPITER'S BEARD	1-GAL.	2" O.C. 2" HT. X 2" DBH
	(Symbol)	NERFITA F. FASSINGII SIX HILLS GIANT CATTAIL	1-GAL.	2" O.C. 2" HT. X 2" DBH
	(Symbol)	FRAXINODIA PRINCEPINUS FRICKER PORTLAND OAK	1-GAL.	2" O.C. 2" HT. X 2" DBH
	(Symbol)	PIRUS TYLOLOBA YUTUMAMBER CELEBRING THREE-LEAF SUMAC	1-GAL.	4" O.C. 2" HT. X 4" DBH
	(Symbol)	MARALIS MIA TIFLORA WESTERN FOUR O'CLOCK	1-GAL.	2" O.C. 2" HT. X 2" DBH
	(Symbol)	IRIS ARIZONICA GIRD LOW GIRD LOW SUMAC	5-GAL.	2" O.C. 2" HT. X 2" DBH
ORNAMENTAL GRASSES				
70 MIN.	(Symbol)	CALAMAGOSTIS A. MAR. FODDER KRAL FODDER REED GRASS	1-GAL.	2" O.C. 4" HT. X 2" DBH
	(Symbol)	FALLENBERGERIA CAPILLARIS REGAL MIST	5-GAL.	3" O.C. 3" HT. X 3" DBH
	(Symbol)	NAZELLA TENNISGRASSIA THREAD GRASS	1-GAL.	2" O.C. 4" HT. X 3" DBH
	(Symbol)	SPYROGELUS WRIGHTII GRANT ORGRASS	5-GAL.	2" O.C. 6" HT. X 8" DBH
OTHER				
	(Symbol)	MOSS ROCK BOUNCERS (30" MIN)	1.0	
	(Symbol)	7.5' SIERRA GOLD FOXGLOVE DEPTH: 2.4' ANGLE TO GROUND/3.0' DEPTH: DAUGH DEPTH:	1.0	
	(Symbol)	PAVING BLEND 50% PERCENTILE 2.5' DEPTH/3.0' DEPTH	1.0	
	(Symbol)	NATIVE REVEGETATION IN SEED MIX	1.0	
	(Symbol)	SPYROGELUS WRIGHTII	1.0	
	(Symbol)	LANOLLEAF CORDEPUS	1.0	
	(Symbol)	PLUMBAGO CORDIFOLIA	1.0	
	(Symbol)	CALIFORNIA PINE	1.0	
	(Symbol)	FRISWHEEL	1.0	
	(Symbol)	SKYROCKET	1.0	
	(Symbol)	SILE PINE	1.0	
	(Symbol)	DESERT FOUR O'CLOCK	1.0	
	(Symbol)	MENCIAN HAT	1.0	
	(Symbol)	YELLOW PINE CONEFLOR	1.0	
	(Symbol)	CHOCOLATE FLOWER	1.0	
	(Symbol)	SILE GRASS	1.0	
	(Symbol)	INDIAN REDGRASS	1.0	
	(Symbol)	WESTERN WHEATGRASS	1.0	
	(Symbol)	SKYWAY GRASS	1.0	
	(Symbol)	GALEA	1.0	

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Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

REVISIONS	DESCRIPTION
1	DATE

Vista de la Sierra
Santa Fe, New Mexico




Designed By	KPJ/CG
Drawn By	KPJ/CG
Checked By	CG
Date	11/30/20
Project No.	1872-0
Sheet Title	

PHASE 2B
PLANTING PLAN
L-203



PLANT LEGEND PHASE 3A

QTY.	SYMBOL	SCIENTIFIC NAME (COMMON NAME)	SIZE	INSTALLED DATE MATURE DATE
64	(Symbol)	CELASTRUM RETICULATA NEELED HAWKBEER	2 BAB	19 HT. X 4.5 SFR 29 HT. X 2.5 SFR
67	(Symbol)	CHALCIPHS LINEARIS DESERT DILLON	2 BAB	4 HT. X 4 SFR 29 HT. X 2.5 SFR
26	(Symbol)	ULMUS PARVIFOLIA FRONTIER FRONTIER ELM	2.5 BAB	16 HT. X 6 SFR 35 HT. X 2.5 SFR
20	(Symbol)	SEBENTIA TRANSCANDIDUS IMPERIAL IMPERIAL HONEY LOCUST	2 BAB	15 HT. X 2 SFR 69 HT. X 5.5 SFR
24	(Symbol)	FRAXINUS CERASIFERA X VERMILIO X VERMILIO FLOERPING PLUM	2.5 BAB	17 HT. X 5.5 SFR 29 HT. X 1.5 SFR
58	(Symbol)	FRAXINUS CALIFORNICA (CLEVELAND) FLORISSING PEAR	2.5 BAB	12 HT. X 2 SFR 25 HT. X 2.5 SFR
9	(Symbol)	QUERCUS BUCKLEYI TEXAS RED OAK	2.5 BAB	12 HT. X 2 SFR 49 HT. X 5.5 SFR
EVERGREEN TREES				
14	(Symbol)	JUNIPERUS SOOPULORUM SKYROCKET SKYROCKET ROCKY MOUNTAIN JUNIPER	BAB	10 MN HT. 29 HT. X 5 SFR
50	(Symbol)	FINUS EDULIS PACIFIC PINE	BAB	8 MN HT. 30 HT. X 2.5 SFR
22	(Symbol)	FINUS NIGRA AUSTRIAN PINE	BAB	8 MN HT. 38 HT. X 2.5 SFR
LARGE SHRUBS				
80 MN	(Symbol)	CARYOPHTERIS FLANDRINENSIS BLUE MIST	5-GAL.	9' O.C. 6' HT. X 6 SFR
	(Symbol)	CHRYSOETHALIS MAUIEOLUS CHIMARRA	5-GAL.	8' O.C. 9' HT. X 6 SFR
	(Symbol)	FALLUGIA PARADOXA ARABIC PLUME	5-GAL.	5' O.C. 5' HT. X 5 SFR
	(Symbol)	PEROVSKIA ATROPURPUREA LITTLE SPIRE LITTLE SPIRE RUSSIAN SADE	5-GAL.	8' O.C. 4' HT. X 5 SFR
	(Symbol)	RHUS TRILOBATA THREE-LEAF SUMAC	5-GAL.	9' O.C. 8' HT. X 5 SFR
EVERGREEN SHRUBS AND ACCENTS				
80 MN	(Symbol)	LAWNOLUXA INTERMEDIA GROSSO GROSSO LAUREL	5-GAL.	3' O.C. 3' HT. X 3 SFR
	(Symbol)	DASYLIRION WHEELERII SOTOL	5-GAL.	4' O.C. 4' HT. X 4 SFR
	(Symbol)	BUXUS SPP. BOXWOOD	5-GAL.	5' O.C. 4' HT. X 4 SFR
	(Symbol)	ACHILLEA MOONSHINE MOONSHINE TARRAGON	5-GAL.	4' O.C. 4' HT. X 4 SFR
	(Symbol)	FINUS NUNDO MOUNTAIN PINE	5-GAL.	5' O.C. 3' HT. X 4 SFR
	(Symbol)	YUCCA BACCATA BANANA YUCCA	5-GAL.	3' O.C. 4' HT. X 3 SFR
	(Symbol)	HESPERALOE PARVIFLORA RED YUCCA	5-GAL.	4' O.C. 4' HT. X 4 SFR
SMALL SHRUBS & GROUNDCOVERS				
80 MN	(Symbol)	POTENTILLA FRUTICOSA SPRING BELL	5-GAL.	3' O.C. 3' HT. X 3 SFR
	(Symbol)	GENETIUM RUBER JUNIPEERS BEARD	1-GAL.	2' O.C. 2' HT. X 2 SFR
	(Symbol)	NEPETA X FRAENSES SIX HILLS GRANT SIX HILLS GRANT CATMINT	1-GAL.	2' O.C. 2' HT. X 2 SFR
	(Symbol)	PENSTEMON PINICOLUS RHELEAF PENSTEMON	1-GAL.	2' O.C. 2' HT. X 2 SFR
	(Symbol)	RHUS TRILOBATA AUTUMN AMBER GREENING WHEELER SUMAC	1-GAL.	4' O.C. 2' HT. X 4 SFR
	(Symbol)	MIRABILIS MALLINUM WESTERN FOUR O'CLOCK	1-GAL.	2' O.C. 2' HT. X 2 SFR
	(Symbol)	RHUS ARBORESCENS VIOLET LEAF SLOW GROW SUMAC	5-GAL.	3' O.C. 2' HT. X 3 SFR
ORNAMENTAL GRASSES				
75 MN	(Symbol)	CHLORAGRODUS X KARL FOERSTER KARL FOERSTER BLUE GRASS	1-GAL.	2' O.C. 4' HT. X 2 SFR
	(Symbol)	MULHEMBERGIA CAPILLARE REGAL BERT	5-GAL.	3' O.C. 3' HT. X 3 SFR
	(Symbol)	NAEVA TENUESERBA THREADED GRASS	1-GAL.	3' O.C. 4' HT. X 3 SFR
	(Symbol)	SPOROBOLUS WARDII GRANT SACATON	5-GAL.	8' O.C. 6' HT. X 6 SFR
OTHER				
	(Symbol)	MOSA ROCK Boulders 12x3 MN.		
	(Symbol)	2" SIERRA GOLD ROCK MILL 1/4" O.D. DEPTH		
	(Symbol)	2" SIERRA BROWN DOBBLE MILL 1/4" O.D. DEPTH		
	(Symbol)	PARKING 60'S KENTUCKY BLUEGRASS PEGS 1/4" DIA		
	(Symbol)	NATIVE PLANT SEED MIX		
	(Symbol)	SPOTTED GARFATHER	1.0	
	(Symbol)	JANICE LEAF CORDESSIS	5	
	(Symbol)	FLAME CORDESSIS	5	
	(Symbol)	CALIFORNIA POPPY	5	
	(Symbol)	FRANZEL	5	
	(Symbol)	SOYFLORET	5	
	(Symbol)	BLUE FLOW	5	
	(Symbol)	DESERT PUMP CUCURBIT	5	
	(Symbol)	VEGETAL H3	5	
	(Symbol)	YELLOW FLOWER CONIFLOWER	5	
	(Symbol)	CHOCOLATE FLOWER	5	
	(Symbol)	BELLE GRASS	2.0	
	(Symbol)	PLUMA ANDERSSON	5.5	
	(Symbol)	WESTERN ORNAMENTAL GRASS	1.0	
	(Symbol)	BLUE STY GRASS	1.0	
	(Symbol)	GRASS	7.0	



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REV.	DESCRIPTION	DATE
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Vista de la Sierra

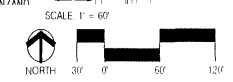
Santa Fe, New Mexico

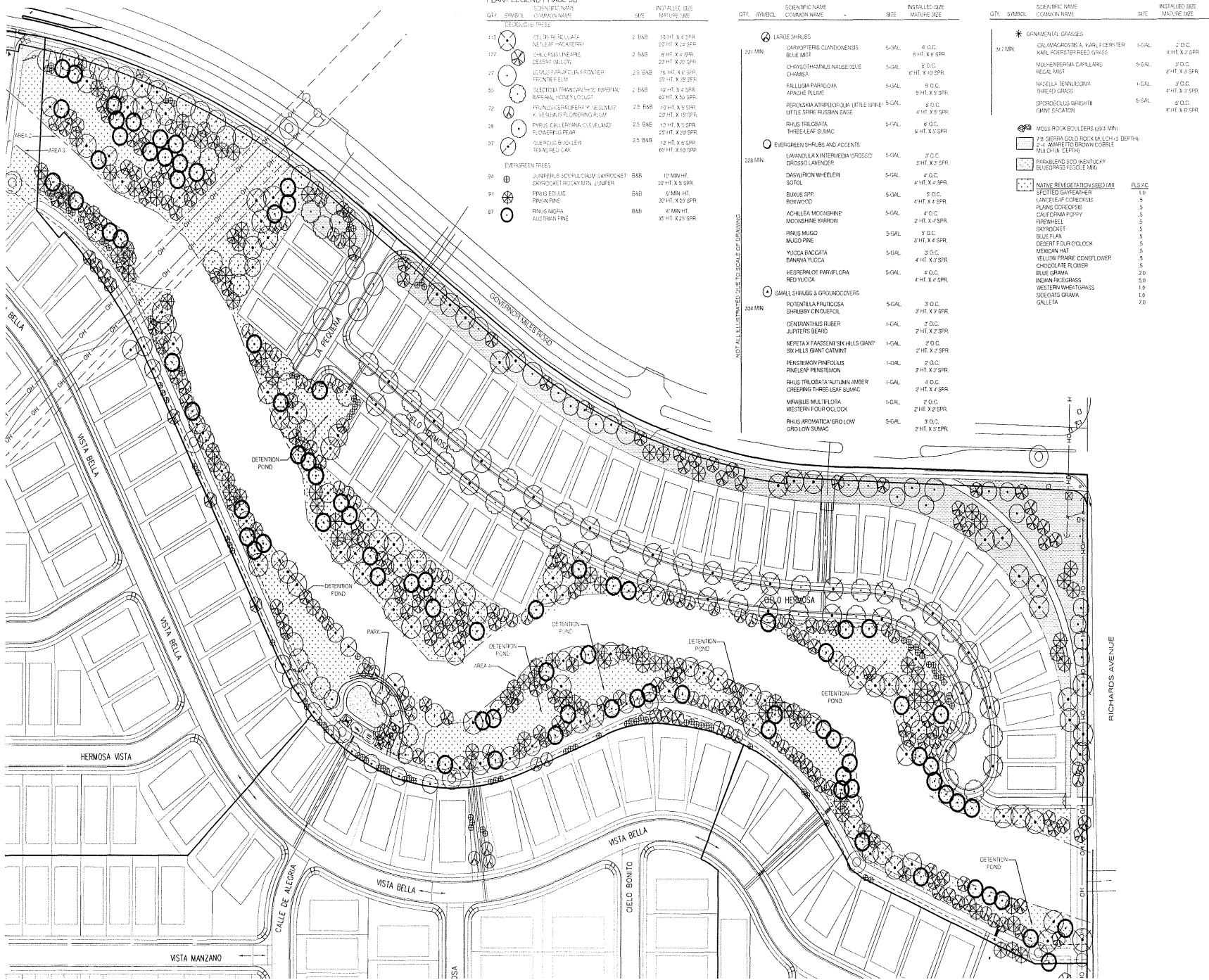
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Designed By	KP/CG
Drawn By	KP/CG
Checked By	CG
Date	11/30/20
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Sheet Title	

PHASE 3A
PLANTING PLAN
L-204





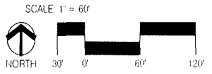
PLANT LEGEND PHASE 3B

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALL. SIZE MATURE SIZE
DECIDUOUS TREES				
118	(Symbol)	QELTRIA HETICALLATA NILEAF HICKORY	8 B&B	19 HT. X 6 SFR 22 HT. X 2.5 SFR
120	(Symbol)	QUERCUS GRACILIS DESERT OAK	2 B&B	6 HT. X 6 SFR 20 HT. X 2.5 SFR
27	(Symbol)	LEUCOPARAPETALA FRONTIER FRONTIER ELM	2.5 B&B	16 HT. X 6 SFR 31 HT. X 3.5 SFR
50	(Symbol)	OLEIFERA FRANGULIFOLIA ROSEHAWK ROSEHAWK HONEY SUEDE	2 B&B	10 HT. X 6 SFR 45 HT. X 3.5 SFR
82	(Symbol)	FRAXINUS VERABEREA W. REDBUD K. VESULIUS FLORIBUNDUS PLUM	2.5 B&B	12 HT. X 5 SFR 22 HT. X 1.5 SFR
28	(Symbol)	RYBUS CALLERIANA CLEVELAND FLORIBUNDUS PLUM	2.5 B&B	12 HT. X 5 SFR 22 HT. X 2.5 SFR
37	(Symbol)	QUERCUS GRACILIS TEXAS RED OAK	2.5 B&B	12 HT. X 6 SFR 60 HT. X 5.5 SFR
EVERGREEN TREES				
94	(Symbol)	JUNIPERUS SCOPULORUM SKYROCKET SKYROCKET ROCKY MTN JUNIPER	B&B	17 MIN HT. 20 HT. X 5 SFR
91	(Symbol)	PINUS EDULIS PINON PINE	B&B	6 MIN HT. 30 HT. X 2.5 SFR
87	(Symbol)	PINUS MEXICA AUSTRALIAN PINE	B&B	6 MIN HT. 35 HT. X 2.5 SFR

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALL. SIZE MATURE SIZE
LARGE SHRUBS				
321 MIN	(Symbol)	ORNYPTERIS OLIVACEA BLUE MYRT	5-GAL	6 O.C. 8 HT. X 6 SFR
	(Symbol)	CHRYSOXYMUM NAUSEOSUM CHAMISA	5-GAL	6 O.C. 4 HT. X 10 SFR
	(Symbol)	FALLUGIA PARADOXA APACHE PLUME	5-GAL	6 O.C. 5 HT. X 9 SFR
	(Symbol)	PEROVSKIA ATRIPLEXIFOLIA LITTLE SPIRE LITTLE SPIRE RUSSIAN SAGE	5-GAL	6 O.C. 4 HT. X 9 SFR
	(Symbol)	RHUS TRILOBATA THRESEAR SUMAC	5-GAL	6 O.C. 6 HT. X 9 SFR
EVERGREEN SHRUBS AND ACCENTS				
328 MIN	(Symbol)	LAWSONIA INFERENSIS GROSSO GROSSO LAVENDER	5-GAL	3 O.C. 3 HT. X 3 SFR
	(Symbol)	DASYLIRION WHEELERII SOTOL	4-GAL	4 O.C. 4 HT. X 4 SFR
	(Symbol)	BURRUS SPP. BOXWOOD	5-GAL	5 O.C. 4 HT. X 4 SFR
	(Symbol)	ACHILLEA MICOASHIPIE MICHOSMINE WIGWAG	5-GAL	4 O.C. 2 HT. X 4 SFR
	(Symbol)	PHIUS MUGO MUGO PINE	5-GAL	5 O.C. 3 HT. X 4 SFR
	(Symbol)	YUCCA BACCATA BANANA YUCCA	5-GAL	3 O.C. 4 HT. X 3 SFR
	(Symbol)	HESPERALOE PARVIFLORA RED YUCCA	5-GAL	4 O.C. 4 HT. X 4 SFR
SMALL SHRUBS & GROUNDCOVERS				
334 MIN	(Symbol)	POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	5-GAL	3 O.C. 3 HT. X 3 SFR
	(Symbol)	CESTRANTHUS RUBER JUPITERS BEARD	1-GAL	2 O.C. 2 HT. X 2 SFR
	(Symbol)	NERITAX FARRESENI SIX HILLS GIANT SIX HILLS GIANT CATHMINT	1-GAL	2 O.C. 2 HT. X 2 SFR
	(Symbol)	PENSTEMON PARVIFOLIUS PINELEAF PENSTEMON	1-GAL	2 O.C. 2 HT. X 2 SFR
	(Symbol)	RHUS TRILOBATA AUTUMN AMBER CREOSOTE THREE LEAF SUMAC	1-GAL	4 O.C. 2 HT. X 4 SFR
	(Symbol)	MIRABILIS MULTIFLORA WESTERN FOUR O'CLOCK	1-GAL	2 O.C. 2 HT. X 2 SFR
	(Symbol)	RHUS AROMATICA GROUND LOW GROUND LOW SUMAC	5-GAL	3 O.C. 2 HT. X 3 SFR

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALL. SIZE MATURE SIZE
ORNAMENTAL GRASSES				
317 MIN	(Symbol)	CALAMAGROSTIS A. KARL FICHERT KARL FICHERT REED GRASS	1-GAL	2 O.C. 4 HT. X 2 SFR
	(Symbol)	MUHLENBERGIA CAPILLARIA REGAL MIST	5-GAL	3 O.C. 3 HT. X 3 SFR
	(Symbol)	HAPELLA TENUICORNIA THREADED GRASS	1-GAL	3 O.C. 4 HT. X 3 SFR
	(Symbol)	SPODEPODIUM WRIGHTII BAMU SCAGGION	5-GAL	6 O.C. 4 HT. X 6 SFR
MIXED ROCK BOLDERS (6X3 MIN)				
	(Symbol)	F.8 SIERRA GOLD ROCK (M.L.O.H.) DEPTH: 2.4 JAMIE TO BROWN COBBLE M.L.O.H. DEPTH:		
NATIVE REVEGETATION (SEE LIST)				
	(Symbol)	SPOTTED GRASSWEED	1.0	
	(Symbol)	LANCELEAF CORDESPICE	5	
	(Symbol)	PLAINS CORDESPICE	5	
	(Symbol)	CALIFORNIA POPPY	5	
	(Symbol)	FIREWHEEL	5	
	(Symbol)	SKYROCKET	5	
	(Symbol)	BLUE FLAX	5	
	(Symbol)	DESERT FOUR O'CLOCK	5	
	(Symbol)	MEXICAN HAT	5	
	(Symbol)	YELLOW FRAGRANT CONEFLOWER	5	
	(Symbol)	CHOCOLATE FLOWER	5	
	(Symbol)	BLUE GRAMA	2.0	
	(Symbol)	INDIAN BLUE GRAMA	5.0	
	(Symbol)	WESTERN WING GRASS	1.0	
	(Symbol)	SIDE-OATS GRAMA	1.0	
	(Symbol)	GALLETA	7.0	

NOT ALL ILLUSTRATED DUE TO SCALE OF DRAWING



Landscape Architecture
Urban Design
Planning Services

302 EIGHTH ST. NW
Albuquerque, NM 87102
Phone (505) 764-9801
Fax (505) 842-5495

REVISIONS	Description	Date

Vista de la Sierra

Santa Fe, New Mexico



Designed By KPJ/GG
Drawn By KPJ/GG
Checked By C.G.
Date 11/30/20
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PLANTING PLAN
L-205