



# AGENDA

HISTORIC DISTRICTS  
REVIEW BOARD  
JANUARY 12, 2021  
5:30 PM  
ATTEND VIRTUALLY

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## **SPECIAL PROCEDURES FOR VIRTUAL ATTENDANCE AND PUBLIC COMMENT:**

In response to the State's declaration of a Public Health Emergency, the Mayor's Proclamation of Emergency, and the ban on public gatherings of more than five (5) people, the Historic Districts Review Board meeting will be conducted virtually using Zoom.

**Viewing:** Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

**Attending on Zoom:** Members of the public may attend the Zoom meeting on a computer, mobile device, or phone. The video conference link and teleconference number will be posted on the City of Santa Fe's Calendar of Events website at least seventy-two (72) hours before the meeting: <https://www.santafenm.gov/events>. The direct Zoom link is: <https://us02web.zoom.us/j/86766220699?pwd=UnJoemxXbUIvTDIzSXM5TzByZUR1QT09> and use password: **263172**.

**Attending Zoom by Phone:** Members of the public can attend the Zoom meeting by phone by dialing:

US: **(253) 215-8782** or **(346) 248-7799** or **(929) 205-6099**

Webinar ID: **312 6622 0699**.

## **Public Comment:**

- By video: A person attending the Zoom meeting by video conference (using a computer, mobile device, or smart phone) may provide public comment during the meeting. Attendees should use the "Raise Hand" function to be recognized by the chair to speak at the appropriate time.



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• By phone: A person attending the Zoom meeting by phone may provide public comment during the meeting. Phone attendees should press \*9 to use the “Raise Hand” function to be recognized at the appropriate time.

• In writing: A person may submit written public comments by 5pm the Monday prior to the meeting via the virtual comment “button” at

<https://santafe.primegov.com/public/portal>.

**A. ROLL CALL**

**B. APPROVAL OF AGENDA**

**C. APPROVAL OF MINUTES:**

1. December 8, 2020

**D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW**

**E. MATTERS FROM THE PUBLIC**

**F. STAFF COMMUNICATIONS**

**G. OLD BUSINESS**

1. Case #2020-002818-HDRB. 324 McKenzie Street. Downtown & Eastside Historic District. David C. Betzler, agent/owner, proposes to remove, reconstruct and extend an awning on a non-primary facade of a contributing structure. (Daniel Schwab, 955-6660, dnschwab@santafenm.gov)
2. Case #2020-002810-HDRB. 586 Camino del Monte Sol. Downtown & Eastside Historic District. Architectural Alliance, agent for David Krakauer and Jessica Flack, owners, proposes to construct a 592 sq. ft. free standing garage to the height of 19' 0" where the maximum allowable height is 15'1" and construct 72" high coyote fencing and yardwalls at a contributing residential property. The applicant requests an additional 4' of height to account for slope per section 14-5.2(D)(9)(c)(ii)(F). (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafenm.gov)

**H. NEW BUSINESS**



# AGENDA

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1. Case #2020-002959-HDRB. 542 Camino del Monte Sol. Downtown and Eastside Historic District. Carlos Kinsey, agent for Laura L. Chock, owner requests a status review and primary façade designation, if applicable, for yardwalls, fences and a garage. (Daniel Schwab, 955-6660, [dnschwab@santafenm.gov](mailto:dnschwab@santafenm.gov))
2. Case #2020-002947-HDRB. 463 Camino Don Miguel. Downtown and Eastside Historic District. Spears Horn Architects, agent for Cathy Campbell, owner, proposes to demolish a non-historic carport and construct a detached 734 sq ft casita and garage, and construction of a 6 ft rear yard wall on a contributing property. (Angela Schackel Bordegaray, 955-6127, [asbordegaray@santafenm.gov](mailto:asbordegaray@santafenm.gov))
3. Case #2020-002960-HDRB. 105 Calle la Pena. Downtown and Eastside Historic District. Mark Naktin, agent for David C. Brown, owner, requests a historic status review with primary facade designation, if applicable, for a contributing residential structure. (Daniel Schwab, 955-6660, [dnschwab@santafenm.gov](mailto:dnschwab@santafenm.gov))
4. Case #2020-002984-HDRB. 105 Calle la Pena. Downtown and Eastside Historic District. Mark Naktin, agent for David C. Brown, owner, proposes to construct a 465 sq. ft. addition to a height of 12'0" on a non-contributing structure. (Daniel Schwab, 955-6660, [dnschwab@santafenm.gov](mailto:dnschwab@santafenm.gov))
5. Case #2020-002978-HDRB. 847 Old Santa Fe Trail. Downtown and Eastside Historic District. Christopher Purvis Architects, agent for Lisa Freeman, owner, requests a historic status review with primary facade designation, if applicable, for a non-contributing residential structure. (Angela Schackel Bordegaray, 955-6127, [asbordegaray@santafenm.gov](mailto:asbordegaray@santafenm.gov))
6. Case HDRB-002974-HDRB. 530 East Alameda. Downtown and Eastside Historic District. Sandra Donner, agent for Gail Mills and Phil Haworth, owners, requests a status review for a yard wall. (Daniel Schwab, 955-6660, [dnschwab@santafenm.gov](mailto:dnschwab@santafenm.gov))
7. Case #2020-002983-HDRB. 209 Delgado Street. Downtown and Eastside Historic District. David Smith, agent for Ivo Nelson, owner, proposes to



# AGENDA

HISTORIC DISTRICTS  
REVIEW BOARD  
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construct a 475 sq. ft. addition, on a non-contributing property. (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafenm.gov)

8. Case #2020-002986-HDRB. 310 Magdalena Road. Downtown and Eastside Historic District. Architectural Alliance, agent for Shehan Prull and Quincey Sweeny, owners, requests with primary facade designation for a contributing residential structure. (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafenm.gov)
9. Case HDRB-002973-HDRB. 717 West Manhatttan Avenue. Westside-Guadalupe Historic District. Robin Smith, agent/owner proposes to reroof a contributing structure and requests an exception to change roofing materials, per Section 14-5.2(C)(5)(b). (Daniel Schwab, 955-6660, dnschwab@santafenm.gov)

**I. DISCUSSION ITEMS**

**J. MATTERS FROM THE BOARD**

**K. NEXT MEETING: Thursday, January 28, 2021**

**L. ADJOURN**

**Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.**

**SUMMARY INDEX**  
**HISTORIC DISTRICTS REVIEW BOARD**  
**December 8, 2020**

<b><u>ITEM</u></b>	<b><u>ACTION TAKEN</u></b>	<b><u>PAGE(S)</u></b>
Call to Order	Approximately 5:40 pm	1
Roll Call	Quorum Present	1
Comments	Informational	1-2
Adjournment	Approximately 5:43 pm	2

**MINUTES OF THE CITY OF SANTA FE  
HISTORIC DISTRICTS REVIEW BOARD  
December 8, 2020  
VIRTUAL HEARING**

**CALL TO ORDER**

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:40 p.m. at a virtual meeting held at <https://www.youtube.com/user/cityofsantafe>.

**A. ROLL CALL**

Roll Call indicated the presence of a quorum as follows:

**MEMBERS PRESENT:**

Ms. Cecilia Rios, Chairwoman  
Mr. Frank Katz, Vice Chair  
Ms. Jennifer Biedscheid  
Mr. John Bienvenu  
Mr. Anthony Guida  
Ms. Flynn G. Larson  
Mr. Buddy Roybal

**MEMBERS EXCUSED:**

**OTHERS PRESENT:**

Ms. Nicole Ramirez Thomas  
Mr. Daniel Schwab, Senior Planner  
Ms. Angela Bordegaray, Senior Planner  
Ms. Sally Paez, Assistant City Attorney  
Ms. Melissa Byers, Stenographer

Chair Rios deferred to Assistant City Attorney Salley Paez.

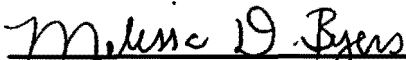
Ms. Paez said that it had just been determined that there was an error on the evening's agenda. The agenda provides a link for members of the public to attend the meeting on Zoom. Unfortunately, the Zoom link referenced on the agenda was incorrect, therefore, all the action items and cases will be postponed until proper notice is provided in accordance with the Open Meetings Act and the City Code. She expressed apologies on behalf of the City to the applicants and members of the public.

Chair Rios expressed her apologies on behalf of the Board, the City, and staff. She asked the applicants to get with staff to figure out the date their cases will be heard.

**L. ADJOURNMENT**

Chair Rios adjourned the meeting at approximately 5:43 pm.

Submitted by:

  
\_\_\_\_\_  
Melissa D. Byers, Stenographer  
For Byers Organizational Support Services

Approved by:

\_\_\_\_\_  
Cecilia Rios, Chair



# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** David C. Betzler, agent/owner, proposes to remove, reconstruct and extend an awning on a non-primary facade of a contributing structure.

Case number: **2020-002818-HDRB**  
Project Type: **HDRB**

**PROJECT LOCATION (S):** **324 McKenzie Street**

OW/AP – David C Betzler and Paula Nixon 324 McKenzie Street, Santa Fe, NM 87501 [dbetzler@msn.com](mailto:dbetzler@msn.com)

## PROJECT DATA:

### HISTORIC DISTRICT

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

### HISTORIC BUILDING STATUS

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

### PRIMARY ELEVATIONS:

North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

HISTORIC DISTRICT INVENTORY NUMBER

4-2691

YEAR OF CONSTRUCTION

1971-7

### PROJECT TYPE

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSED Residential  Non-Residential

HISTORIC BUILDING NAME \_\_\_\_\_

# City of Santa Fe, New Mexico

# memo

DATE: January 12, 2020  
TO: Historic Districts Review Board Members  
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

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Case # 2020-002818-HDRB

Address: 324 McKenzie  
Historic Status: Contributing  
Historic District: Downtown & Eastside

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

District Standards & yard & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other 1992 HDRB Form

### APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

## STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for All Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

**BACKGROUND & SUMMARY:**

324 McKenzie Street is a 1540 square foot contributing residential structure located in the Downtown and Eastside Historic District. The north façade is designated primary. The structure is rectangular, of one-story, and faces north on McKenzie Street. The structure has a pitched roof with a street-facing gable, adobe walls with deeply recessed windows and a territorial-style portal on the front. On the east side, the rear portion of the property is gated and hidden from public view. Behind this gate is a wood awning and trellis that is not attached to the structure. The awning and trellis are not historic.

The applicant proposes to remove the non-publicly visible awning structure and replace it with an oxidized steel frame awning, similar in scale to the one to be removed, with pre-finished Pro Panel metal roofing in a brown color. This structure will extend around the non-publicly visible south side of the house to shade from sunlight. The roof of the awning will be bolted to the exterior wall, and will be partially supported by steel posts in a rust-brown color, partially by the ledger strip which will be connected to the wall.



# Agenda

## HISTORIC DESIGN REVIEW BOARD FIELD TRIP

TUESDAY, November 24, 1998 - 12:00 NOON ON-SITE

## HISTORIC DESIGN REVIEW BOARD MEETING

TUESDAY, November 24, 1998 - 6:00 P.M.

### CITY COUNCIL CHAMBERS

**A. CALL TO ORDER**

**B. ROLL CALL**

**C. APPROVAL OF AGENDA**

**D. APPROVAL OF MINUTES**

1. November 10, 1998

**E. COMMUNICATIONS**

**F. OLD BUSINESS TO REMAIN POSTPONED**

1. Case #H-98-177. 115 East Coronado Road. Don Gaspar Historic District. Significant. James A. and Cynthia L. Turner propose wholesale window replacement, insertion of French doors on the north elevation, infill door on the east elevation, and associated renovation treatments. (Postponed at the 9/8/98 HDRB)
2. Case #H-98-181. 321 W. San Francisco St. Downtown and Eastside Historic District. Contributing. Mary Beth Kingston, Architects Santa Fe, agent for Fran Mullin, proposes a second-story addition. (Height = 23'5", Allowable Height = 23'5") (Postponed at the 9/8/98 HDRB)
3. Case #H-98-207. 511 Camino Rancheros. Downtown and Eastside Historic District. Suby Bowden & Associates, agents for Kathleen and Johnathon Altman, propose to provide a new roof at an existing carport. (Postponed at the 10/27/98 HDRB)

**G. OLD BUSINESS**

1. Case #H-98-148. 311 E. Palace Avenue. (Church of the Holy Faith). Downtown and Eastside Historic District. Significant. C. Smith Construction, agents for Church of the Holy Faith, propose to raise roof 2 to 4 inches on west building for insulating purposes.
2. Case #H-98-205. 107 Calle la Peña. Downtown and Eastside Historic District. Contributing. Elisabeth Wagner, agent for Eliza Randall, proposes an addition of a guesthouse and to replace coyote fence with iron fencing.
3. Case #H-98-209. 1519 Upper Canyon Rd. Downtown and Eastside Historic District. R.C. Greene & Co. Inc., agents for Michael and Tina Snideman, propose new construction of two studios and one dwelling. (Postponed at the 10/27/98 HDRB)

CITY CLERK'S OFFICE

DATE 11/17/98 TIME 2:25

SERVED BY DENISEY BLANCA

RECEIVED BY [Signature]

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H2691

building threatened? yes	surveyed date 9/18/84 by HMW	county SANTA FE	ID no. 051610012
field map SFHD #1	number 0012	UTM reference zone 12 13	easting northing
location description 324 MCKENZIE		city/town SANTA FE	
building name		legal description tsp N S range E W sec 1/4 1/4	
film roll by HMW no. SFHD #1	negative nos. 16	loc. of neg. HPB	plan shape 
		date of construction 1921-27 estimate + 1935-37 ADD. actual source SANDORNS; SF. DIR.	
		use present residential other historic residential other	
		condition <input checked="" type="checkbox"/> excellent <input type="checkbox"/> good <input type="checkbox"/> fair <input type="checkbox"/> deteriorating	
		degree of remodeling <input checked="" type="checkbox"/> minor <input type="checkbox"/> moderate <input type="checkbox"/> major describe:	
style BUNGALOW/ COL. REV.		wall material/surface UNK. (CONC?) ADOBRE/ STUCCO	
architectural features LOW PITCH FRONT GABLE RF, COMP. SF PAPER. EXP. RAFTERS W/ NO FASCIA; EXP. PURLINS/LOOKOUTS IN FRONT. 9/1 D.H. WD. WDS, BUNG. STYLE. TWO 6/4 LEAF FRONT DOORS, E ONE IS ADDED. FRAME PORCH W/ HIPPER RF, EXP. RAFTERS, STOCK CLASSICAL COLUMNS ENGAGED COLUMNS ON HOUSE WALL, CONC. FLR.		surroundings OFFICE / RESIDENTIAL relationship to surroundings <input checked="" type="checkbox"/> similar <input type="checkbox"/> not similar district potential <input type="checkbox"/> yes <input type="checkbox"/> no significance <input type="checkbox"/> eligible <input checked="" type="checkbox"/> of <input type="checkbox"/> none if eligible, interest why? CONTRIB.	
comments		associated buildings? <input type="checkbox"/> yes what type? if inventoried, list ID nos. see back? <input type="checkbox"/> yes	



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b>		<b>Site Address:</b>	
Date Submitted: <u>OCTOBER 28, 2020</u>		<u>324 MCKENZIE ST.</u>	
Property Owner of Record: <u>DAVID BETZLER &amp; PAULA NIXON</u>		Proposed Construction Description: <u>REPLACE EXISTING WOOD AWNING/TROLLIS WITH NEW STEEL FRAME AWNING/TROLLIS, EXTENDING N NORTH AND WEST FOR SHADE &amp; WEATHER PROTECTION</u>	
Applicant/Agent Name: <u>DAVID BETZLER, AIA</u>		TOTAL ROOF AREA: <u>1,720 SF</u>	
Contact Person Phone Number: <u>505 983-7192</u>			
Zoning District: <u>MCKENZIE AREA</u>		Lot Coverage: <u>54 %</u>	
Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* _____ <input type="checkbox"/> Other: _____		<input type="checkbox"/> Open Space Required: _____	
Submittals Reviewed with PZR: <input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations		Setbacks: Proposed Front: _____ Minimum: _____ 2 <sup>nd</sup> Front? _____ Proposed Rear: <u>5'-0"</u> Minimum: <u>5'-0"</u> Proposed Sides: L _____ R _____ Minimum: <u>5'-0"</u>	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit		Height: Proposed <u>9'-0"</u> Maximum Height: <u>14'-0"</u> or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		Parking Spaces: Proposed _____ Accessible _____ Minimum: _____	
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____		Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement	
Terrain: <input type="checkbox"/> 30% slopes _____			

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

DAVID BETZLER & PAULA NIXON  
PRINT NAME

OWNER APPLICANT (AGENT)

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

David C. Betzler, AIA APPLICANT  
SIGNATURE

OCTOBER 28, 2020  
DATE

**To Be Completed By City Staff:**

**Additional Agency Review if Applicable:**

Escarpment Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_

Flood Plain Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_

Traffic Engineering Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_

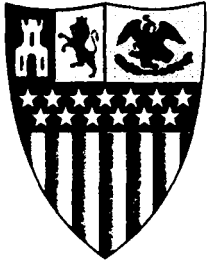
Notes: \_\_\_\_\_

**Zoning Approval:**

Preliminary Approval  with conditions  Rejected

Comments/Conditions: \_\_\_\_\_

REVIEWER: \_\_\_\_\_ DATE: \_\_\_/\_\_\_/\_\_\_



# City of Santa Fe, New Mexico

Larry A. Delgado, Mayor

Dr. Mike Mier, City Manager

Councilors: Art Sanchez, Mayor Pro Tem, Dist. 3

Molly Whitted, Dist. 2

Patti J. Bushee, Dist. 1

Frank Montaño, Dist. 3

Jimmie Martinez, Dist. 1

Peso Chavez, Dist. 4

Cristopher Moore, Dist. 2

Carol Robertson Lopez, Dist. 4

Project description . . . : WNDW REPLACEMENT AND YARD WALL ADDITION  
Project number . . . . : 98- 10100230  
Case Number . . . . . : H-98-219  
Project type . . . . . : HISTORIC DESIGN REVIEW BOARD  
Application date . . . : 11/04/98

**PROJECT LOCATION(S) : 324 Mckenzie St**

**PROJECT NAMES:**

OW- David C. Betzler Paula K. Nixon 814 Gonzales Rd.  
Santa Fe, NM 87501 (505) 9837192

AP- David C. Betzler, Architect 814 Gonzales Rd.  
Santa Fe, NM 87501 (505) 9838475

**BOARD ACTION**

This is to certify that the Historic Design Review Board at their meeting on November 24, 1998, acted on the above referenced case. The decision of the board was to conditionally approve window replacement; however, they are to be replaced on a window-by-window basis with assistance from a subcommittee of the H-Board, the applicant, and city staff. Windows on the primary facade are to be replaced in-kind. Consideration of the proposed yard wall was postponed.

For further information please call 984-6803.

Sincerely,

Angela M. Schackel  
Historic Districts Case Planner

Note: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6). PLEASE PROVIDE COPIES OF THIS LETTER WHEN SUBMITTING FOR BUILDING PERMIT.

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200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909



# Agenda

**HISTORIC DESIGN REVIEW BOARD**

**November 24, 1998**

**Page 2**

4. Case #H-98-215. 403 Washington. Downtown and Eastside Historic District. Contributing. Robert Baines, agent for Don and Betty Montoya, propose an increase in height of yardwall, re-stucco and re-roof.

**H. NEW BUSINESS**

1. Case #H-98-216. 111 Quintana St. Westside Guadalupe Historic District. Contributing. Bernabe Romero, agent for Jacobo and Pauline Quintana, proposes addition of bedroom and bath.
2. Case #H-98-217. 660 Garcia St. Downtown and Eastside Historic District. John T. Midyette III, agent for School of American Research proposes addition to existing building for Visitor Orientation.
3. Case #H-98-218. 1440 Cerro Gordo. Downtown and Eastside. Non-Contributing. Mark C. Little, agent for Joan Halifax, proposes wholesale window and door replacement, enclose portal on east elevation, restucco, and associated renovation treatments.
4. Case #H-98-219. 324 McKenzie Street. Downtown and Eastside Historic District. Contributing. David C. Betzler and Pauline K. Nixon propose wholesale window replacement and yard wall addition.
5. Case #H-98-220. 1170 San Acacio. Downtown and Eastside Historic District. Non-Contributing. Larry Mullally, agent for Ben Keen proposes replacement of two windows.
6. Case #H-98-221. 645 East Palace. Downtown and Eastside Historic District. Contributing. Jack and Janice Emmott, agents for Gilbert and Elizabeth Rael propose massive renovations including replacing house and garage roof, replace brick trim, replaster exterior, replace picture window, increase yard wall height, and install pitched metal roof on garage.

**I. MATTERS FROM THE BOARD**

**J. BUSINESS FROM THE FLOOR**

**K. ADJOURNMENT**

For more information regarding cases on this agenda please call the Planning Division at 984-6605.

\*Spanish translator and/or an interpreter for the hearing impaired are available through the City Clerk's Office upon 5 days notice. Please call 984-6521.

\*Si necesita traductores al español y/o intérpretes para los sordos, por favor notifique la Oficina de la Escribana de las Municipalidad al 984-6521 con 5 días de anticipo.

# David C. Betzler, Architect

814 Gonzales Road  
Santa Fe, NM 87501  
(505) 983-8475

December 10, 1998

Ms. Angela Schackel  
Historic Preservation Planner  
City of Santa Fe  
200 Lincoln Avenue  
Santa Fe, NM 87504-0909

RE: 324 McKenzie Street  
Santa Fe, NM

Project No. 98-10100230  
Case No. H-98-219

Dear Angela:

This letter will serve as follow-up to the Historic Design Review Board's November 24, 1998 ruling concerning its conditional approval of window replacement at the above referenced property.

We met with a subcommittee of the H-Board consisting of Messrs. Steven Ernest and John Padilla yesterday, December 9, 1998 for the purpose of reviewing each proposed window replacement. Based on the assistance from this subcommittee, and the existing conditions at the subject property, it was determined that replacement of the following windows is warranted:

- Window Type #2 : Located at the northwest corner of the structure, primary facade. *Replacement in-kind.*
- Window Type #3: Located at the northeast corner of the structure, primary facade. *Replacement in-kind.*
- Window Type #3: Located on the west facade.
- Window Type #11: Located on the west side facade.
- Window Type #10: Located on the rear facade.
- Window Type #6: Located on the rear facade.
- Window Type #5: Located on the east side facade.

Ms. Angela Schackel  
December 10, 1998  
Page 2

It was determined by the subcommittee that the following three windows should not be replaced, but are to remain intact. And that refurbishment could include reworking the wood sash, replacement of any broken or cracked glass, paint and the installation of insect screens and/or storm windows.

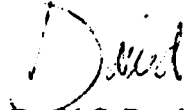
Window Type #1: Two (2) windows located on the east facade facing the driveway.

Window Type #3: One window located on the east facade, facing the driveway.

Footnote: The window type numbers correspond with the exterior elevations which were submitted with our original application for H-Board Review.

We appreciate and thank the subcommittee for its assistance in this matter. Should you have questions, or need additional information, please feel free to call.

Very truly yours,



David C. Betzler, NCARB, AIA

word\mcke1210.doc

Historic Design Review Board  
Land Use Department  
City of Santa Fe  
P.O. Box 909  
Santa Fe, NM 87504

October 28, 2020

RE: HDRB Application and Proposal Letter – 324 McKenzie Street (Building Permit No. 2020-10794-ADDR)

Dear HDRB Members and City Building Officials,

Thank you for considering my proposal to remove the existing wood awning and trellis at the east elevation of the above referenced property. It is to be replaced with new oxidized steel frame, similar in scale which will feature a pre-finished Pro Panel metal roofing (brown color). Please see Sheets 1 and 2 for additional detail, attached herewith).

The subject property consists of a single-family house on a city lot which was originally built in the early 20th century and features vernacular style architecture, adobe wall construction, pitched asphalt shingle roof, exterior stucco (light brown) finish, painted wood windows, stained wood doors, and a portal at the front elevation facing the street. Original windows were re-conditioned and the few deteriorated wood windows at the front and rear elevations replaced in 1999 in accordance with HDRB's review and approval.

Should you have questions or need additional information, please do not hesitate to call.

Yours truly,



David C. Betzler, AIA

Attachments

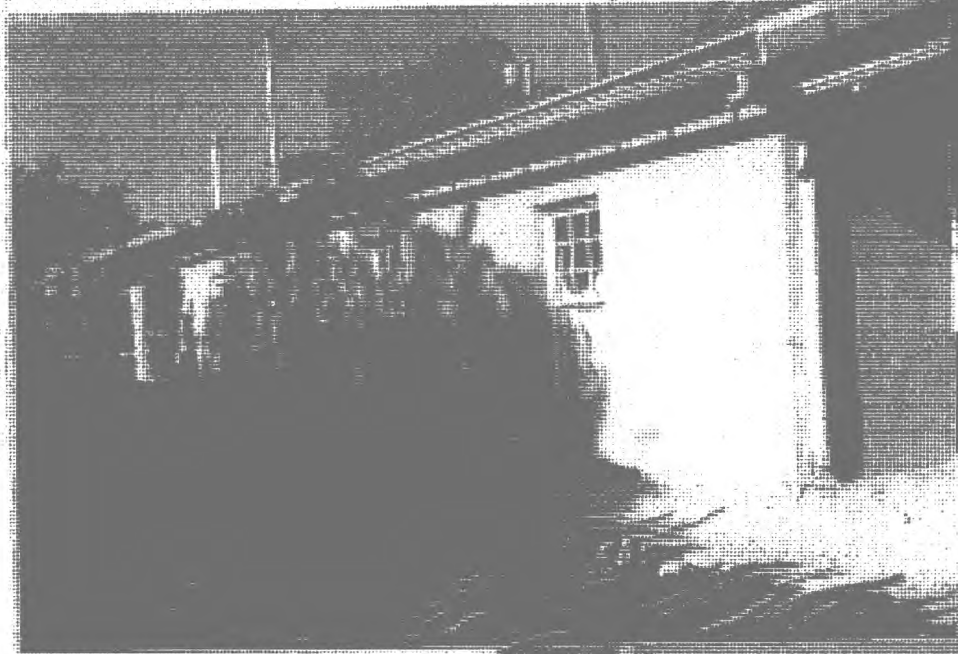
Word\Cover Letter to City of Santa Fe\_Proposal Letter\_102820.doc

David C. Betzler, AIA    324 McKenzie St.    Santa Fe, NM 87501    505-983-7192

324 McLENNAN  
BACK ↓



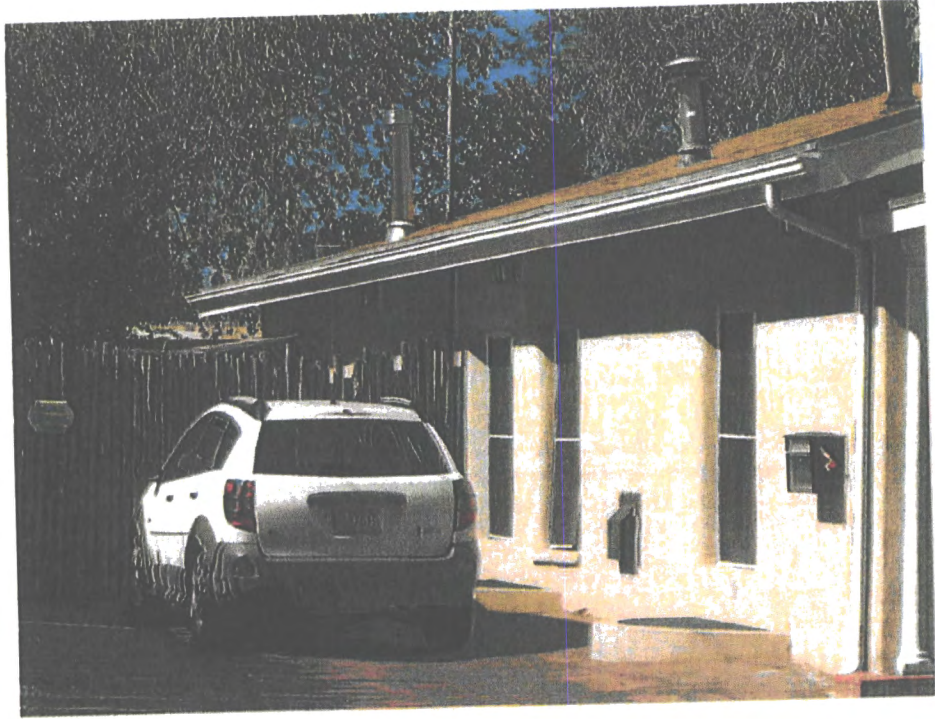
FRONT ↑



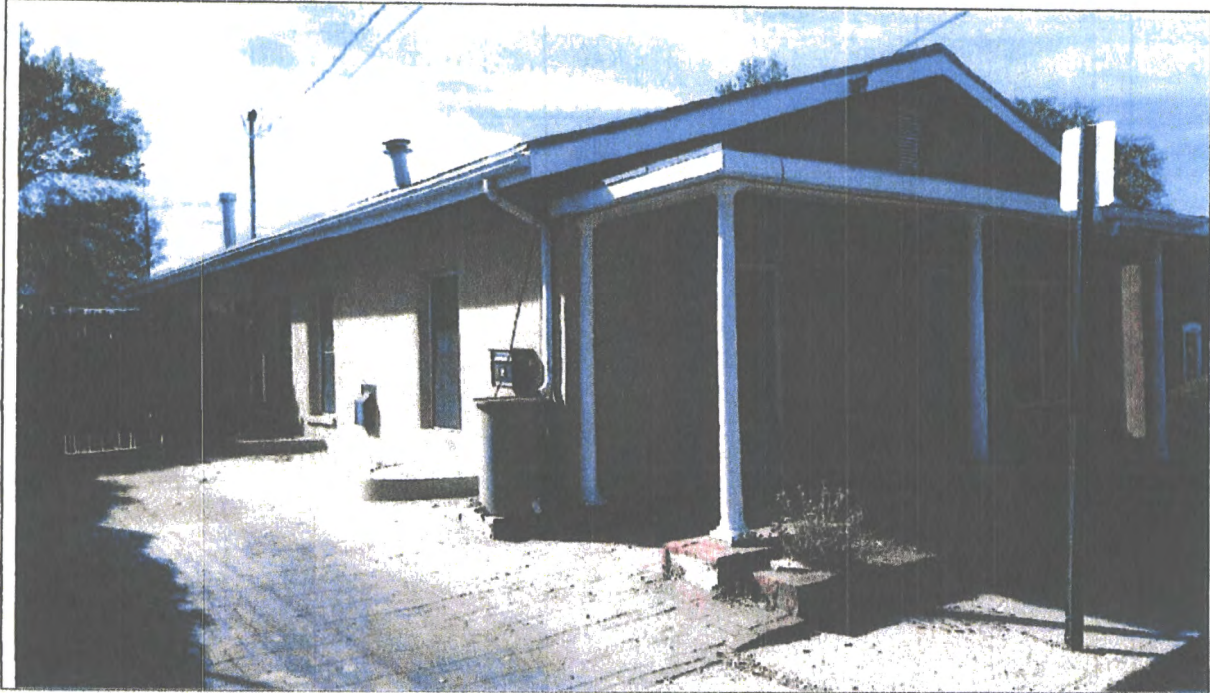
EAST SIDE ↑

WEST SIDE  
→

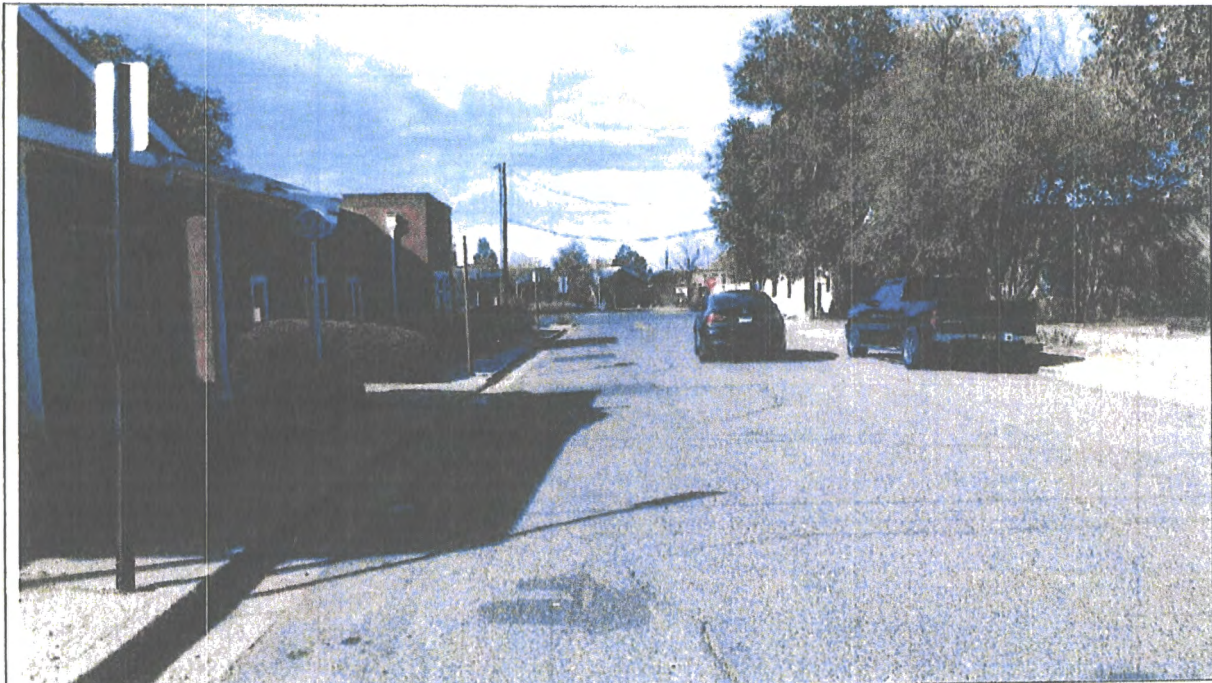




**324 McKenzie Street  
Santa Fe, NM  
October 28, 2020**



**Photo 1 – Front Elevation**



**Photo 2 – Looking west on McKenzie Street**

**324 McKenzie Street  
Santa Fe, NM  
October 28, 2020**



**Photo 3 – East Elevation with coyote fence.**



**Photo 4 – East Elevation with wood trellis and awning.**

**324 McKenzie Street  
Santa Fe, NM  
October 28, 2020**

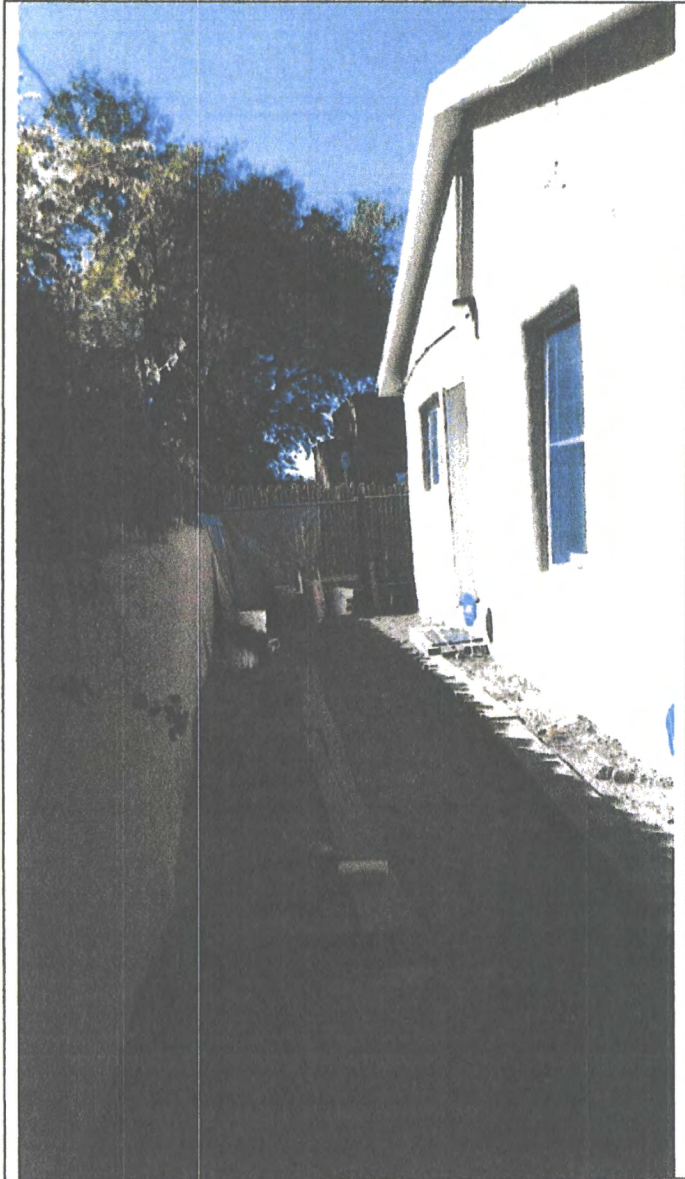


Photo 5 – Rear elevation and yard.

Pro-panel



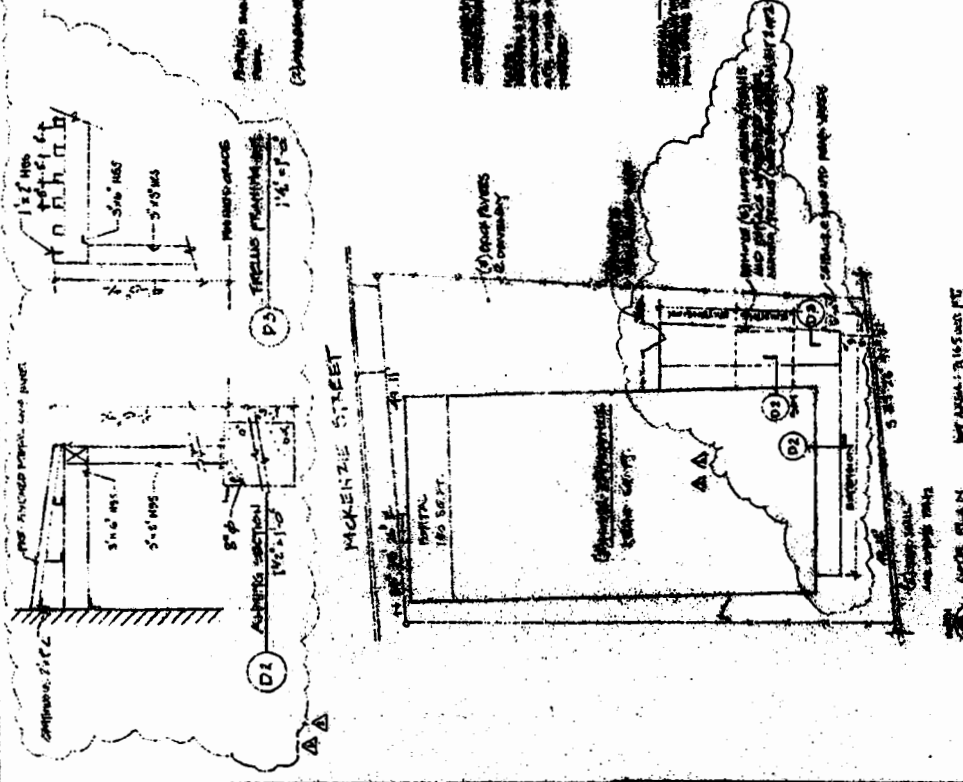
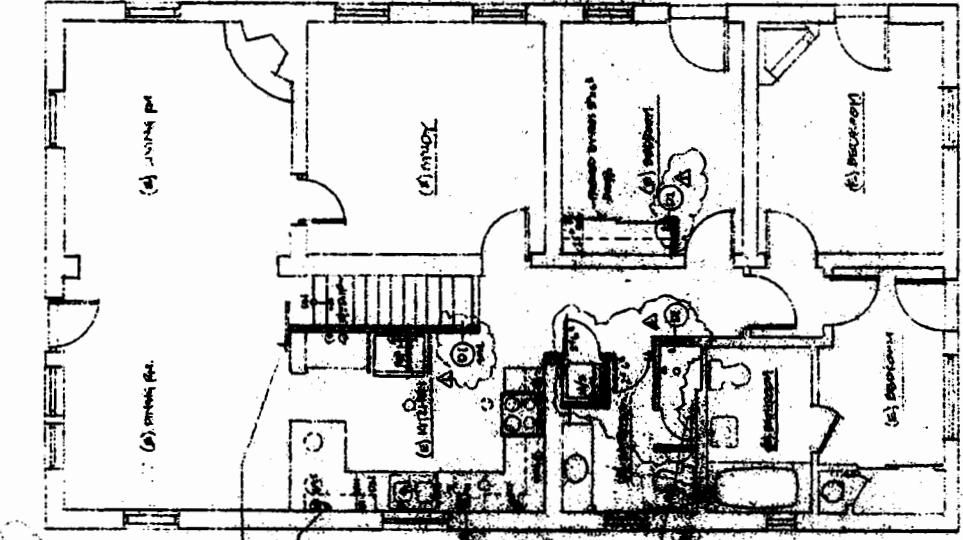
Oxidize steel



PROPOSED KITCHEN AND BATH RENOVEL: 324 MCKENZIE ST. SANTEE, PR. RM. 87501  
 REFACE BRKST TRILLS/BATHING: SANTEE, PR. RM. 87501  
 DAVIS & NEITZER ARCHITECT 324 MCKENZIE ST. SANTEE, PR. RM. 87501 503-480-1192  
 4/11/20  
 10/10/20  
 10/10/20



**RECEIVED**  
 NOV 3 2020  
 BY: \_\_\_\_\_



D1 SHEET 1/10  
 1/4" = 1'-0"

FLOOR PLAN  
 1/4" = 1'-0"



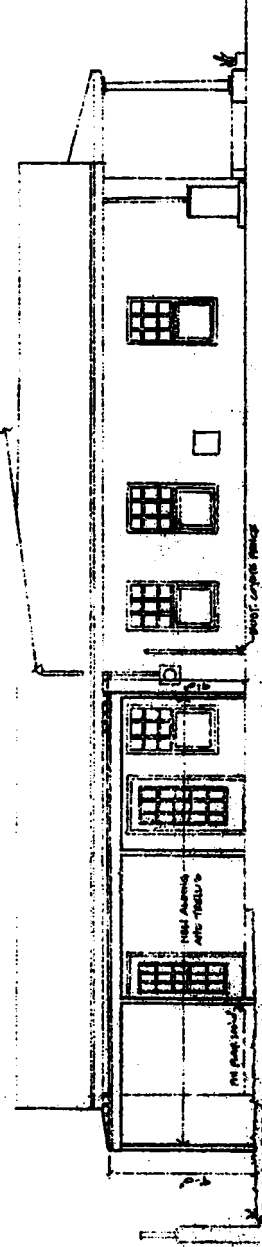
Davis & Neitzer  
 ARCHITECTS  
 324 MCKENZIE ST. SANTEE, PR. RM. 87501

PROPOSED KITCHEN AND BATH RENOVATION: 324 NAKAMAZI ST. SANTA FE, NM 87501  
 NEW PLUMBING & TIE-INS SANTA FE, NM 87501  
 DAVID C. FORTNER, ARCHITECT 304 NAKAMAZI ST. SANTA FE, NM 87501. 505-995-1112



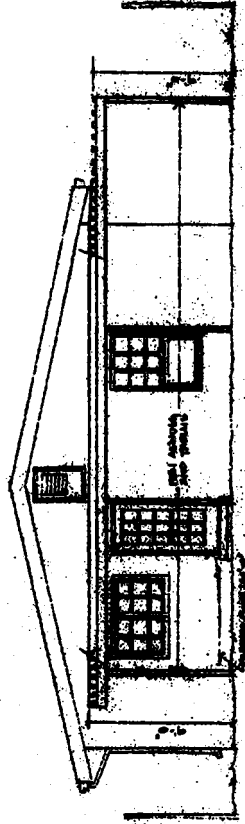
**RECEIVED**  
 NOV 0 5 2020

BY: \_\_\_\_\_

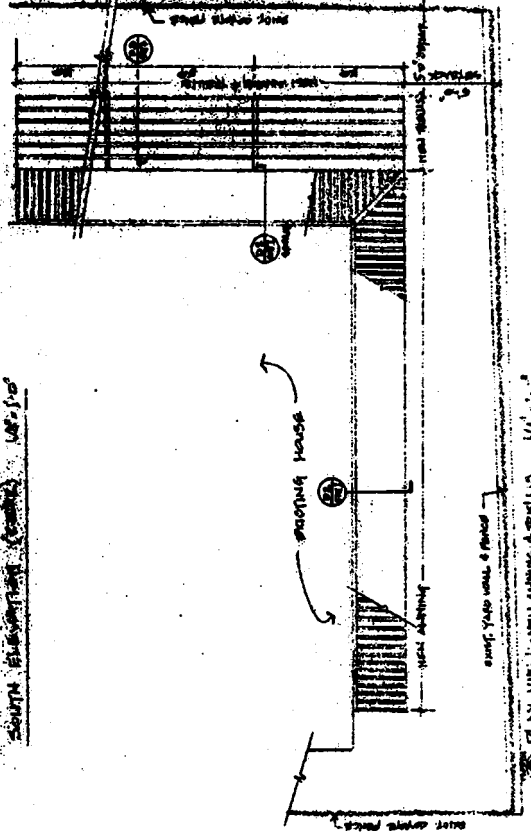


1/4" = 1'-0"

EXISTING WALLS - EAST ELEVATION



1/4" = 1'-0"



1/4" = 1'-0"

NEW MATERIALS SCHEDULE	AMOUNT/QUANTITY	PRICE	TOTAL
1.00	1.00	1.00	1.00
2.00	1.00	1.00	1.00
3.00	1.00	1.00	1.00
4.00	1.00	1.00	1.00
5.00	1.00	1.00	1.00
6.00	1.00	1.00	1.00
7.00	1.00	1.00	1.00
8.00	1.00	1.00	1.00
9.00	1.00	1.00	1.00
10.00	1.00	1.00	1.00
11.00	1.00	1.00	1.00
12.00	1.00	1.00	1.00
13.00	1.00	1.00	1.00
14.00	1.00	1.00	1.00
15.00	1.00	1.00	1.00
16.00	1.00	1.00	1.00
17.00	1.00	1.00	1.00
18.00	1.00	1.00	1.00
19.00	1.00	1.00	1.00
20.00	1.00	1.00	1.00
21.00	1.00	1.00	1.00
22.00	1.00	1.00	1.00
23.00	1.00	1.00	1.00
24.00	1.00	1.00	1.00
25.00	1.00	1.00	1.00
26.00	1.00	1.00	1.00
27.00	1.00	1.00	1.00
28.00	1.00	1.00	1.00
29.00	1.00	1.00	1.00
30.00	1.00	1.00	1.00
31.00	1.00	1.00	1.00
32.00	1.00	1.00	1.00
33.00	1.00	1.00	1.00
34.00	1.00	1.00	1.00
35.00	1.00	1.00	1.00
36.00	1.00	1.00	1.00
37.00	1.00	1.00	1.00
38.00	1.00	1.00	1.00
39.00	1.00	1.00	1.00
40.00	1.00	1.00	1.00
41.00	1.00	1.00	1.00
42.00	1.00	1.00	1.00
43.00	1.00	1.00	1.00
44.00	1.00	1.00	1.00
45.00	1.00	1.00	1.00
46.00	1.00	1.00	1.00
47.00	1.00	1.00	1.00
48.00	1.00	1.00	1.00
49.00	1.00	1.00	1.00
50.00	1.00	1.00	1.00



# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** Architectural Alliance, agent for David Krakauer and Jessica Flack, owners, proposes to construct a 592 sq. ft. free standing garage to the height of 19' 0" where the maximum allowable height is 15'1" and construct 72" high coyote fencing and yardwalls at a contributing residential property. The applicant requests an additional 4' of height to account for slope per section 14-5.2(D)(9)(c)(ii)(F).

Case number: **2020-002810-HDRB**  
Project Type: **HDRB**

**PROJECT LOCATION (S):** **586 Camino Del Monte Sol**

OW – David Krakauer and Jessica Flack 1399 Hyde Park Road, Santa Fe, NM 87501

AP -- Architectural Alliance 612 Old Santa Fe Trail, Santa Fe, NM 87505 [Eric@archallinc.com](mailto:Eric@archallinc.com)

## PROJECT DATA:

### HISTORIC DISTRICT

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

### HISTORIC BUILDING STATUS

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

### PRIMARY ELEVATIONS:

North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

HISTORIC DISTRICT INVENTORY NUMBER \_\_\_\_\_

YEAR OF CONSTRUCTION \_\_\_\_\_

### PROJECT TYPE

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

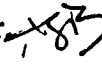
USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSED Residential  Non-Residential

HISTORIC BUILDING NAME \_\_\_\_\_

# City of Santa Fe, New Mexico

# memo

**DATE:** January 12, 2021  
**TO:** Historic Districts Review Board Members  
**FROM:** Angela Schackel Bordegaray, Senior Planner   
Historic Preservation Division

---

**Case # 2020-002810-HDRB**

**Address: 586 Camino del Monte Sol**  
**Historic Status: Contributing**  
**Historic District: Downtown & Eastside**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

District Standards & yard wall  
& fence standards.

Historic Inventory Forms H 71

Zoning Review Sheet

Other:

**APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

**STAFF RECOMMENDATION:**

Staff recommends approval of the proposal and finds that the application complies with Section 14-5.2(D)(9)(c)(ii)(F) for slope and 4-5.2(E) Downtown and Eastside Design Standards.

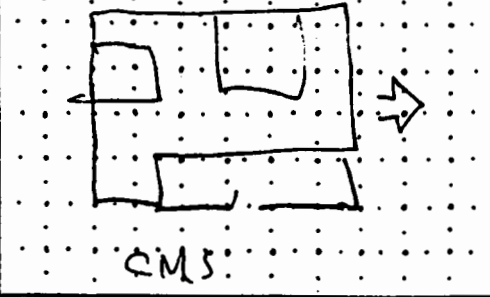

## **BACKGROUND & SUMMARY:**

586 Camino del Monte Sol is a contributing residential structure located in the Downtown and Eastside Historic District. It is Spanish-Pueblo Revival style single family home with flat roof, simple parapet, and concealed lintels. A non-contributing guest house is located southwest of the main house. The guest house had an attached carport at one time which was demolished at an unknown date. The House was the home of Fremont Ellis, a Santa Fe painter, printmaker, teacher, and founder of the Santa Fe group known as Los Cinco Pintores. Will Schuster was his next door neighbor (From "An Artist's Biography"). .

The applicant proposes to construct a 592 sf free-standing garage where the maximum allowable height is 15'-1". The applicant requests an additional 4'-0" bringing the structure to 19'1". The new garage varies in height from 13' to a maximum height of 19'. The garage will be located to the southwest of the main house. The proposed garage will match the Spanish-Pueblo Revival style of the main house. The garage door will be 18'-0" wide x 9'-0" tall with decorative wood panels and exposed wood lintels on its south façade. The windows and the door will have exposed wood lintels. The north elevation will have a wooden 3'-0' x 4'-0 double casement window with true divided lites painted Danube blue to match main house. The wood doors and lintels will be stained Antique Walnut to match the existing courtyard gate. The stucco will match main house and yard walls, El Rey Buckskin. Garage door will be stain grade cedar fencing.

The applicant also proposes to add a 6' tall coyote fence where the maximum allowable height is 6'. The latillas will have staggered tops to create a new parking space for the existing guest house. The new fence will tie into the existing coyote fence that separates the driveway from the yard. A new stuccoed yard wall will be erected to tie into the northwest corner existing yard wall. The new yard wall section will be 6' tall.

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

building threatened? yes	surveyed date 4-6-82 by mb	county Santa Fe	ID no. 051600156
field map Santa Fe, New Mexico	number 1	UTM reference easting zone 12 13	northing
location description 556 Monte Sol		city/town Santa Fe	<del>land grant/reservation</del>
building name Frement Ellis house	legal description Tnsp 17 N 8 range 10 E sec 30 SW 1/4 NE 1/4		
film roll by mb no. 9	negative nos. 7, 8, 6, 7	loc. of neg. HPB	plan shape 
		date of construction Pre 1928 estimate actual source 1928 City Directory	
		use present residential other historic residential other	
		condition excellent <input checked="" type="checkbox"/> good fair <input type="checkbox"/> deteriorating	
style Pueblo Revival	foundation material Not vis	degree of remodeling minor <input type="checkbox"/> moderate <input checked="" type="checkbox"/> major	
	wall material/surface Stucco	describe: Addn to 3 side	
architectural features	Complex structure		
Windows - 4 or 6 lite steel casement in wood frame - lath's covered	surroundings Res		
Vigns - project slightly // fixed single pane in addition	relationship to surroundings <input checked="" type="checkbox"/> similar <input type="checkbox"/> not similar		
Chimneys - 2 visible	district potential <input checked="" type="checkbox"/> yes <input type="checkbox"/> no		
Carves - wood hand w 90 lb ft. - 2' cu mts!	significance <input type="checkbox"/> eligible <input checked="" type="checkbox"/> of <input type="checkbox"/> none		
comments well - gate to street - painted, incised wood planks	if eligible, interest why?		
hedge wire fence wood fence landscaping street trees stone curb O set back 2 cequias	associated buildings? <input type="checkbox"/> yes what type?		
	if inventoried, list ID nos.		
	see back? <input type="checkbox"/> yes		

Streetscape

**ADDRESS:** 586 Camino del Monte Sol

**HIST. SURVEY #:** 150

(OD = Out of District; M = Moved  
DEM = Demolished; N/A = not a building)

**NAME:** Ellis, Fremont, House

**CITY SURVEY**

**Area #:** 8                      **Signif. Status:** S

(S = Significant; C = Contributing; NC = Noncontributing)

**REGISTER STATUS (Individual Nominations)**

**National:** N

**State:** N

**State #:** N/A

**HSFF:** N

**HABS:** N

(OSFT = To be in forthcoming 4th edition of Old Santa Fe Today.  
Not covered by a more detailed Bulletin article.)

**DOCUMENTATION**

**SFHS Inventory:** Y

**NR Nomination:** N/A

**SR Nomination:** N/A

**HSFF Bulletin:** N/A

**HABS Data:** N/A

**Historic Photos:** Y

**Museum:** 1

**Archives:**

**Modern Photos:**

**MNM:**

**SRC:**

**Surveys:**

**Floor Plans:**

**Elevations:**

**Other:**

**Bibliography:**

**Comments:**

Case # H-89-285  
586 Camino del  
Monte Sol



NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1992 H 751

ADDRESS: 536 Camino del Monte Sol  
Camino del Monte Sol National Historic District

ID NUMBER: 051600150

BUILDING NAME: Fremont Ellis house

UTM REFERENCE EASTING NORTHING

LEGAL DESCRIPTION:

ZONE 12 13

TNSP 17 <sup>N</sup> RANGE 10 E SEC 30 SW1/4 NE1/4

FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85

DATE OF CONSTRUCTION:  
ESTIMATE 1928 <sup>by</sup> ACTUAL  
SOURCE(S) city directory

ARCHITECTURAL STYLE:  
Spanish-Pueblo Revival

USE:

HISTORIC: residential

OTHER \_\_\_\_\_

PRESENT: residential

OTHER \_\_\_\_\_

SURROUNDINGS:  
residential

RELATIONSHIP TO HISTORIC SURROUNDINGS:

SIMILAR  NOT SIMILAR

ASSOCIATED BUILDINGS ON SITE:

YES  NO

WHAT TYPE? guest house  
house at 586 1/2 (150)  
IF INVENTORIED, LIST ID NUMBER(S)

051600150.1

DEGREE OF REMODELING:

MINOR  MODERATE

MAJOR  
EXPLAIN: carport removed, parapet changed, possible addn. on S

OVERALL CONDITION:

EXCELLENT  GOOD

FAIR  DETERIORATED

BUILDING THREATENED?

YES  NO

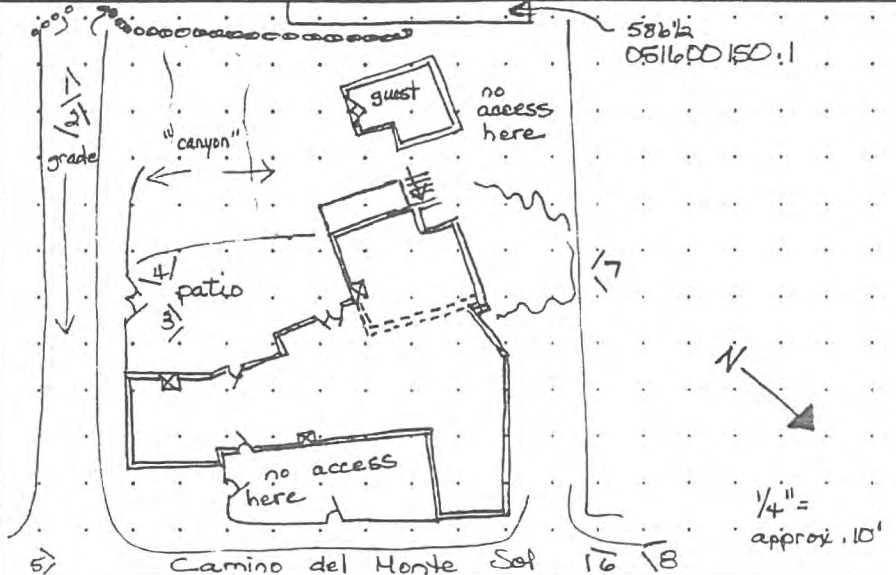
PHOTO



#8 From northeast

BUILDING DATA

SITE PLAN



SIGNIFICANCE

LISTED ON NATIONAL REGISTER OF HISTORIC PLACES?

YES  NO  ELIGIBLE

CONTRIBUTING  NON-CONTRIBUTING

LISTED ON STATE REGISTER OF CULTURAL PROPERTIES?

YES  NO  ELIGIBLE

LOCAL DESIGNATION: Core HISTORIC DISTRICT

SIGNIFICANT  CONTRIBUTING  NON-CONTRIBUTING

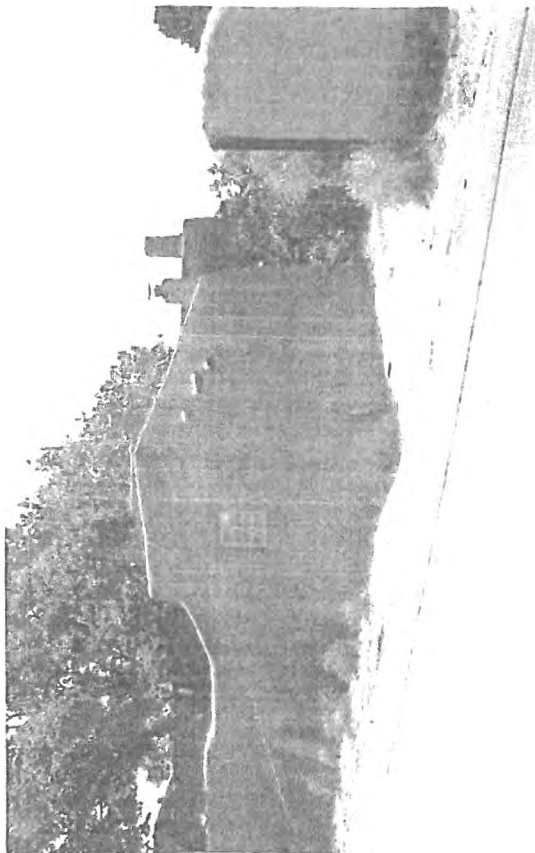
LOCAL LANDMARK  YES  NO

SURVEYED 6/92 BY DB

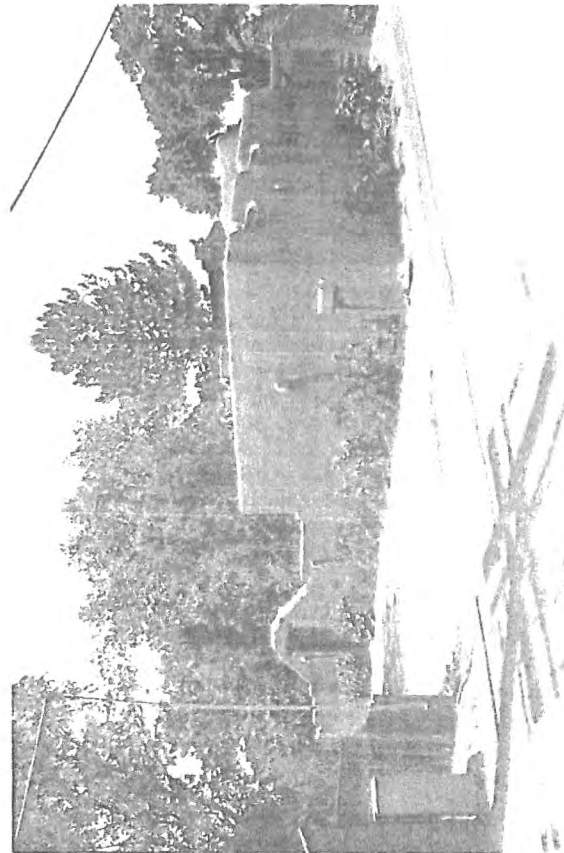
NEGATIVES WITH NMHPD ROLL # DB8 NEG # 1 TO 8

FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	stucco - 2 stories on N	looks new
FOUNDATIONS	not visible	
DOORS	french w/ unusual pattern of small & large lights	
WINDOWS	12-light windows; trio of single-light awning wdws; 4-lite & 2-lite wd csmts;	multi-lite fixed; door/window groups E & W;
PORTALES	single-light csmts flanking large light with row of tiny fixed lights above	
CANALES	wood/metal	look new
PORCHES		
BALCONIES	<sup>south</sup> west - stucco wall and wood balustrade	
ROOFS	flat, plain parapet, battered, steps from 1 to 2 stories and various levels	between
COURTYARDS		
FENCES/WALLS	stucco yard wall w/ carved wood gates, elder wood plank gate, buttresses, arches over gate	
ARCH. DETAILS	projecting vigas over beam, east - may be enclosed porch; wood	lintels, masonry chimneys
OTHER	Guest house - flat roof, plain parapet, painted carved (old) wood doors, 8-light	wood windows with lintels, masonry chimney
COMMENTS	Limited access for survey. Owner could not be reached for permission.	

ADDITIONAL PHOTOGRAPHS



#6 from northeast



#5 from southeast

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1992 (concluded)

IDENTIFICATION

ADDRESS

586 Camino del Monte Sol

ID NUMBER

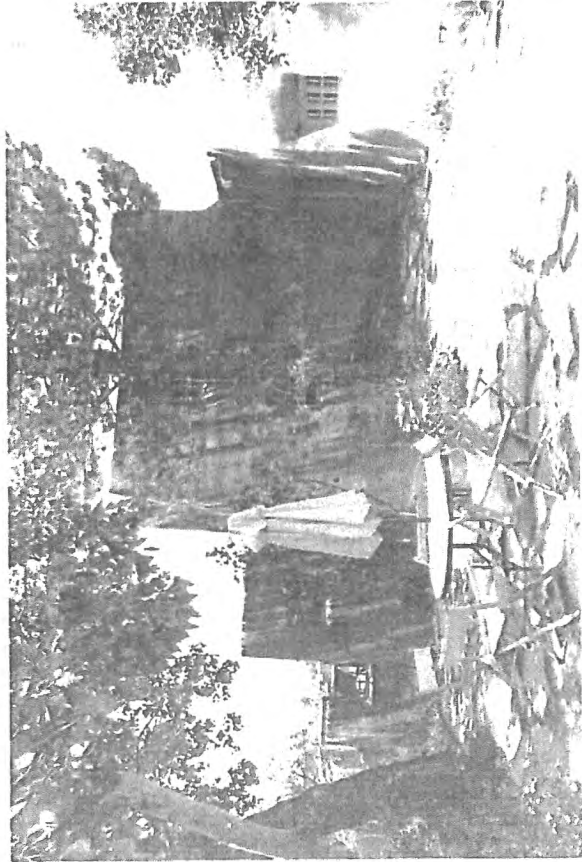
0516 00150

SURVEYED/RESEARCHED

DATE 6/92 BY DB



#4 south elevation, east portion



#3 east elevation, south portion



#2 south elevation, west portion

(continuation sheet for additional field notes, interview notes, historical documentation/notes, map/plat information)

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1992 (concluded)

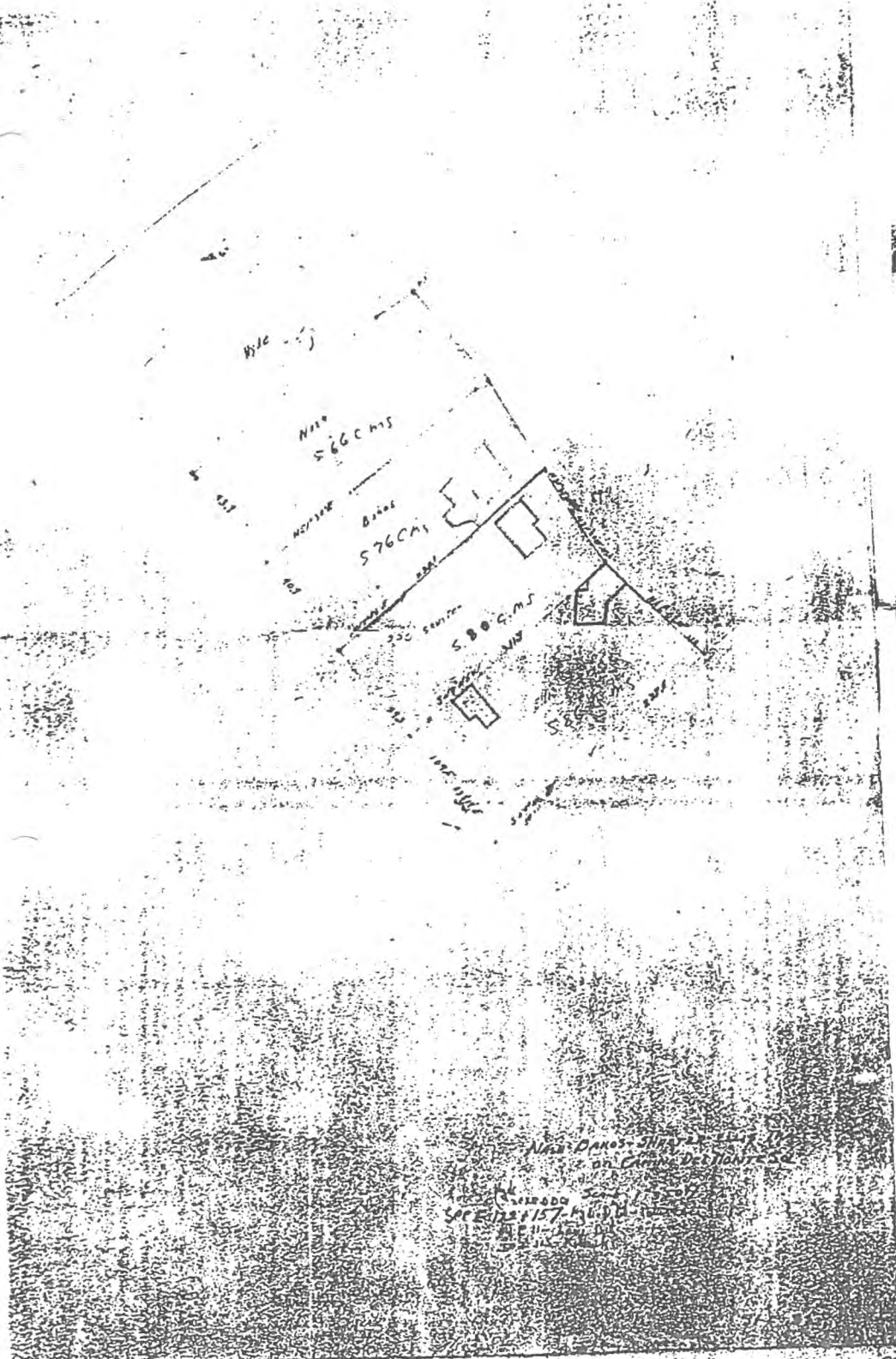
IDENTIFICATION	ADDRESS 586 Camino del Monte Sol	ID NUMBER 051600150.
		SURVEYED/RESEARCHED DATE 6/92 BY DB



#7 partial north elevation



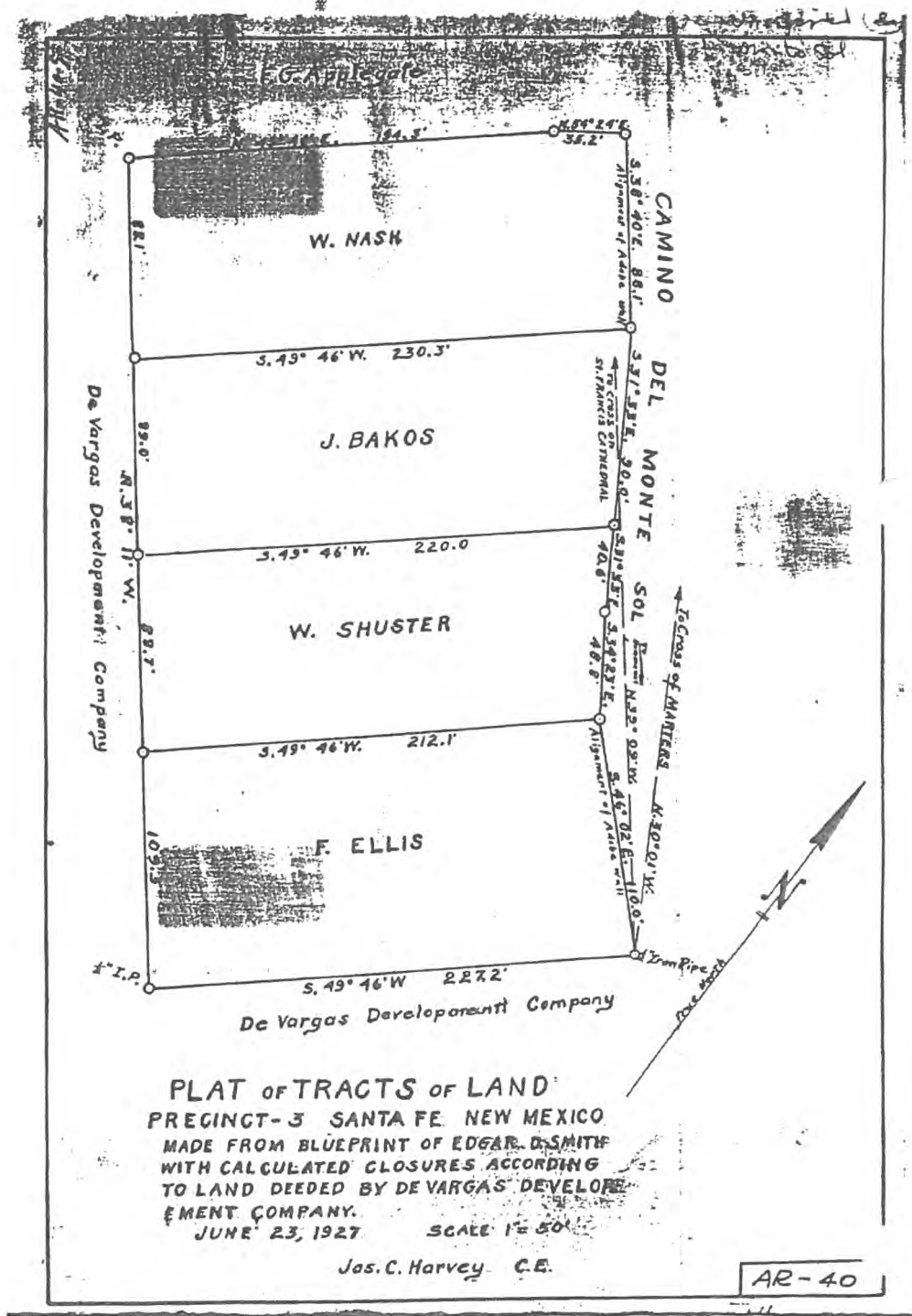
#1 guest house, south elevation



N. 110° E  
 330 SE  
 Camino del Monte Sol

566, 576, 580, 586  
 Camino del Monte Sol

m 6.79  
 N. D.





December 14, 2020

Angela Bordegaray  
Historic Preservation Office  
City of Santa Fe  
200 Lincoln  
Santa Fe, NM 87501

RE: 586 Camino Del Monte Sol  
New Freestanding Garage, Retaining wall and Coyote Fencing

Dear Angela

We are proposing to add a new 592 sq. ft. freestanding garage to the property located at 586 Camino Del Monte Sol. The garage is located on a sloping site. We are allowed 15'-1" max. per historic height calc. With the sloping site there is a 4'-0" height allowance allowed, bringing the total allowed height to 19'-1". The new garage varies in height from 13'-0" to a max height of 19'-0".

The new freestanding garage will have an 18'-0" wide x 9'-0" tall garage door with decorative wood panel and exposed wood lintel on the east elevation. The north elevation we will have a decorative wood panel man door 3'-0"x6'-8" and a 3'-0"x4'-0" double casement wood window with TDL's. Both window and door to have exposed wood lintel. The west elevation will have a 3'-0"x4'-0" double casement wood window with TDL's and exposed wood lintel. The south elevation there will be no windows or doors. We will be installing a new coyote fence to create a 3<sup>rd</sup> parking space for the existing guest house. The new coyote fence will tie into the existing coyote fence that separates the driveway from the yard. The new coyote fencing will be 6'-0" tall with staggered tops.

A new stuccoed yard wall will be installed on the northeast corner of the garage and tie into the existing yard wall. The new stuccoed yard wall will be 6'-0" tall on driveway side from new proposed grade.



The new windows will be painted blue to match the existing main house, color Sherwin Williams #6803 danube, match existing prior to installing paint.

The color of stucco will match main house and yardwalls, color El Rey Buckskin, match existing prior to installing stucco



The new wood doors, and lintels to be stained to match the main courtyard gate, color Minwax antique walnut, match existing prior to installing

We look forward to presenting to the Board.

Please let us know if you have any questions or concerns.

Sincerely,

Eric P. Enfield, AIA  
Architectural Alliance, Inc.

Cc: Owner

File



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b>		<b>Site Address:</b> 586 Camino del Monte Sol	
Date Submitted: 10/14/20		Proposed Construction Description: New Freestanding Garage	
Property Owner of Record: David Krakauer + Jessica Flack		Applicant/Agent Name: Architectural Alliance Eric Erfield	
Contact Person Phone Number: (505) 970-8252		TOTAL ROOF AREA: 650 sq. ft.	
Zoning District: R-5		Lot Coverage: 29.8 %	
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: Historic		Open Space Required: 250 per/lot	
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Setbacks: Proposed Front: 7' Minimum: 0 2nd Front? _____ Proposed Rear: 15' Minimum: 5' Proposed Sides: L 5' R 5' Minimum: 0	
Supplemental Zoning Submittals Required for Building Permit: N/A <input type="checkbox"/> Zero Lot Line Affidavit		Height: Proposed 14'-4" Maximum Height: 24'-0" or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** N/A <input checked="" type="checkbox"/> Visibility Triangle Required		Parking Spaces: Proposed 3 Accessible _____ Minimum: 3	
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____		Bicycle Parking**: Proposed: N/A Minimum: N/A ** Commercial Requirement	
Terrain: N/A 30% slopes			

\* Requires an additional review conducted by Technical Review Division.  
\*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Eric Erfield Architectural Alliance Inc. [OWNER  APPLICANT  AGENT]  
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE \_\_\_\_\_ DATE 10/28/2020

<b>To Be Completed By City Staff:</b>	
<b>Additional Agency Review if Applicable:</b>	
<input type="checkbox"/> Escarpment Approval by _____	Date: ___/___/___
<input type="checkbox"/> Flood Plain Approval by _____	Date: ___/___/___
<input type="checkbox"/> Traffic Engineering Approval by _____	Date: ___/___/___
Notes: _____	
<b>Zoning Approval:</b>	
<input type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
REVIEWER: _____	DATE: ___/___/___

**Daniel Lujan Jr**

---

**From:** LOGSTON, LEE R. <llogston@santafenm.gov>  
**Sent:** Friday, October 23, 2020 10:52 AM  
**To:** Daniel Lujan Jr  
**Cc:** Eric Enfield  
**Subject:** FW: 586 Camino Del Monte Sol Garage  
**Attachments:** 586 Camino Del Monte Sol Garage Historic Submittal 101620.pdf

Daniel:

Approved PZR email

**From:** LOGSTON, LEE R.  
**Sent:** Wednesday, October 21, 2020 2:58 PM  
**To:** ROACH, LISA X. <lroach@santafenm.gov>; MCCULLEY, LANI J. <ljmcculley@santafenm.gov>; BORDEGARAY, ANGELA S. <asbordegarary@santafenm.gov>; SCHWAB, DANIEL N. <dnschwab@santafenm.gov>  
**Cc:** BERKE, NOAH L. <nberke@santafenm.gov>  
**Subject:** FW: 586 Camino Del Monte Sol Garage

Historic:

This email is to signify my approval of the PZR for the attached project at 568 Camino del Monte Sol. Legal lot, height, setbacks, lot coverage, etc. all checks out. Plan set dated 10/8/20.

Lee

**From:** BERKE, NOAH L. <nberke@santafenm.gov>  
**Sent:** Friday, October 16, 2020 3:35 PM  
**To:** LOGSTON, LEE R. <llogston@santafenm.gov>  
**Subject:** FW: 586 Camino Del Monte Sol Garage

Hi Lee,

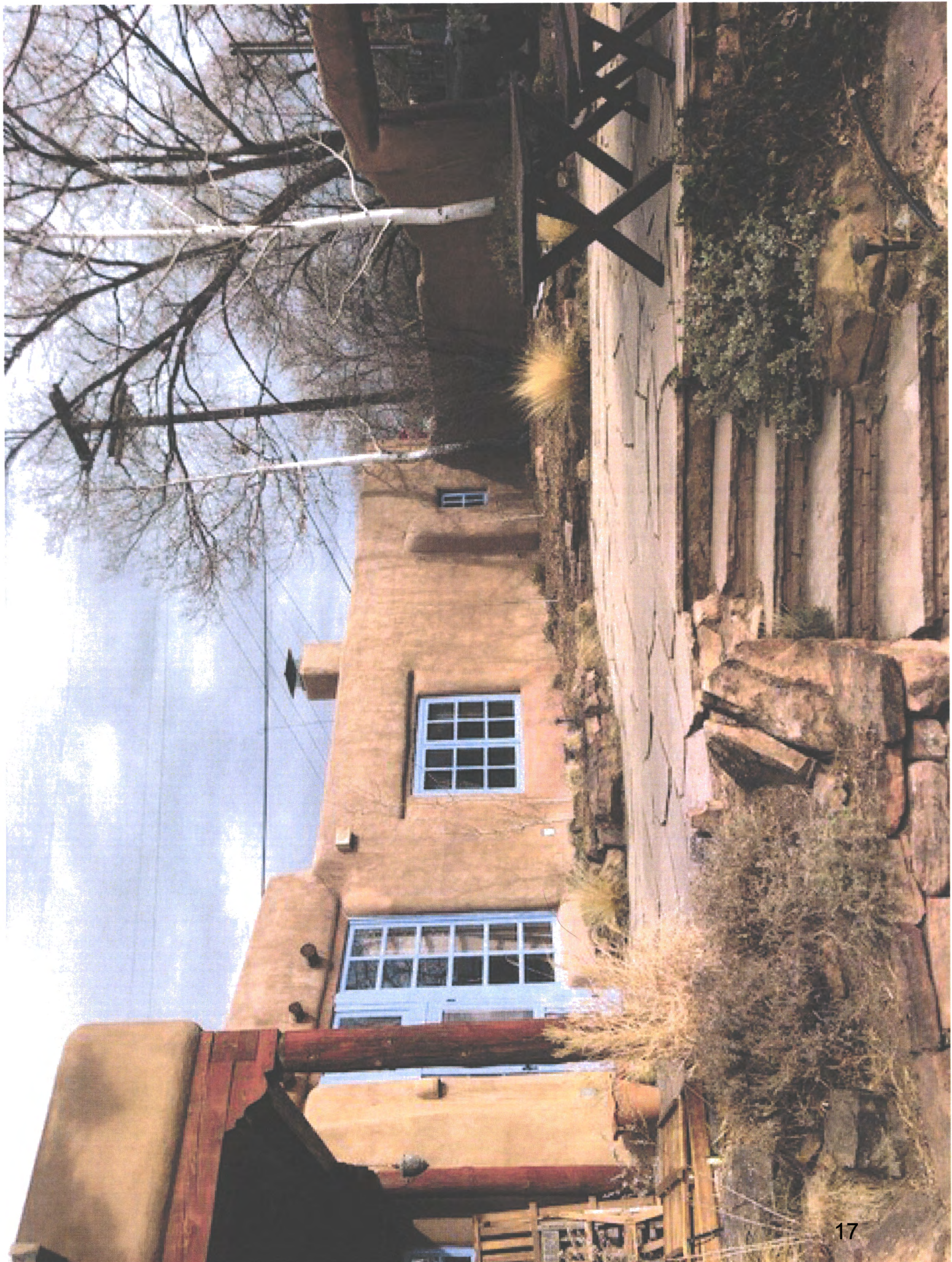
Can you please handle this request? Thanks

Noah Berke, AICP, CFM  
Planner Manager  
City of Santa Fe Land Use Department  
Office: (505) 955-6647  
Cell or Text: (505) 490-5930  
Email: [nberke@santafenm.gov](mailto:nberke@santafenm.gov)

[Click here for Zoning Code Information](#)

[Click here for Property Information](#)

<https://www.alltogethersantafe.org/>



# 586 Camino Del Monte Sol

Historic Design Review Board Photographs



Existing Residence Street North  
Elevation

# 586 Camino Del Monte Sol

## Historic Design Review Board Photographs



19

View South Down Driveway

ARCHITECTURAL  
ALLIANCE  
INC  
612 OLD SANTA FE TRAIL  
SANTA FE, NEW MEXICO 87505  
Telephone 505-988-5269  
FAX 505-986-1270  
WEBSITE: www.archallinc.com

586 Camino Del Monte Sol  
Historic Design Review Board Photographs



New Garage Location  
West View

586 Camino Del Monte Sol  
Historic Design Review Board Photographs



Garage Location Looking  
North

586 Camino Del Monte Sol  
Historic Design Review Board Photographs



Garage Looking North

# 586 Camino Del Monte Sol

## Historic Design Review Board Photographs



West View from Driveway

586 Camino Del Monte Sol  
Historic Design Review Board Photographs



South/East View from Courtyard

# 586 Camino Del Monte Sol

Historic Design Review Board Photographs



East View from Courtyard

586 Camino Del Monte Sol  
Historic Design Review Board Photographs

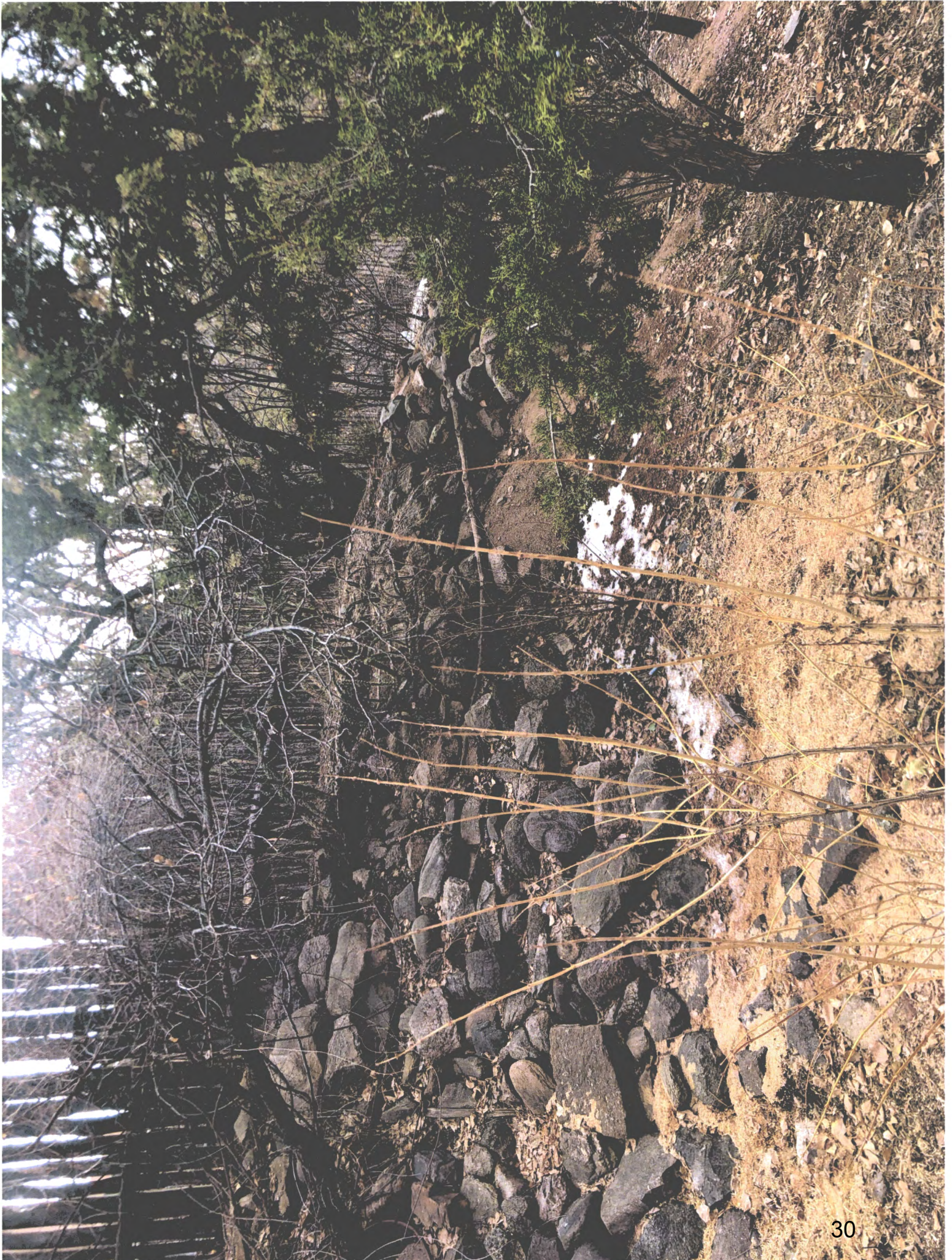


East View from Balcony





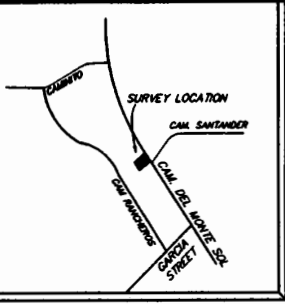






PLAT OF BOUNDARY SURVEY FOR  
**MICHAEL EMON MAHONY & MADELEINE J. SAUER**  
 LOT 1, SUMMARY SUBDIVISION PLAT,  
 586 CAMINO DEL MONTE SOL,  
 CITY OF SANTA FE, SANTA FE COUNTY,  
 NEW MEXICO.

736006



SCALE: 1"=20'



- LEGEND**
- Sewer manhole
  - Points found and used as noted
  - 1/2" Capped iron pin set this survey
  - Power poles
  - Fences
  - Walls
  - ▨ Concrete

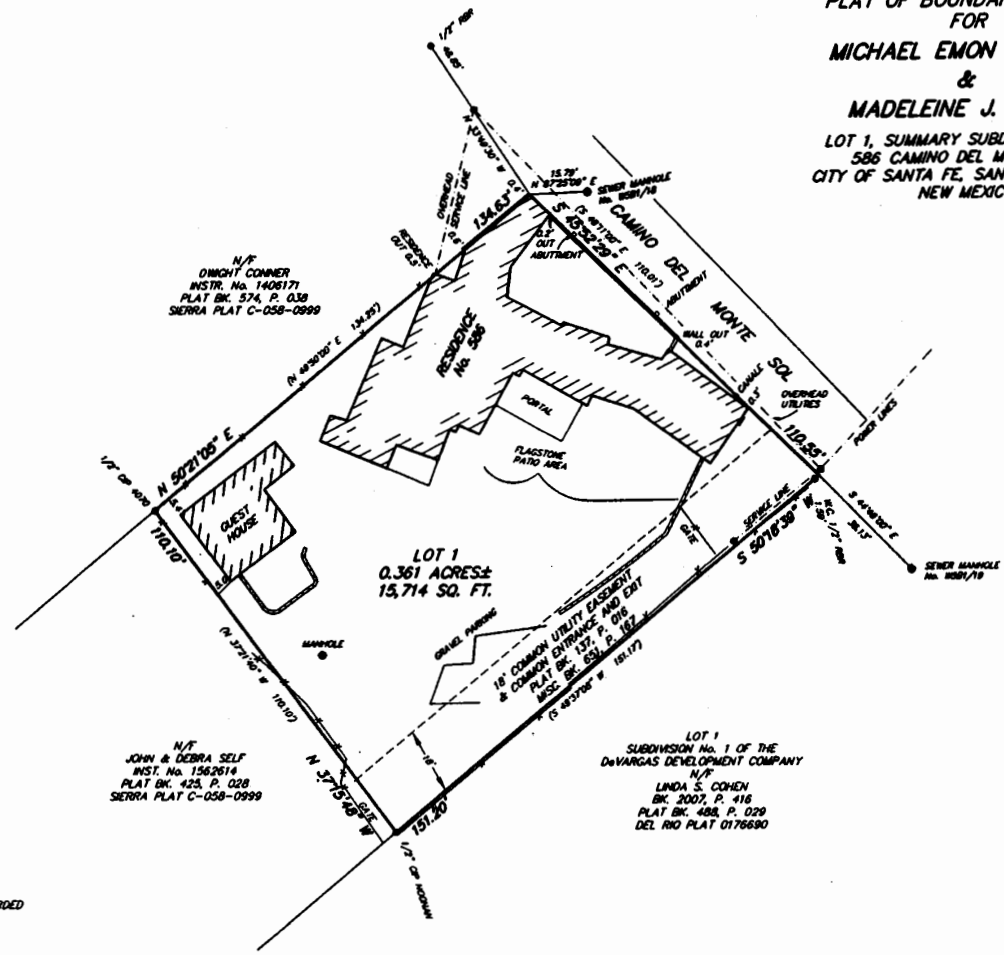
- NOTES**
1. BASE OF BEARINGS: GPS OBSERVATION OF THE SOUTH BOUNDARY OF LOT 1, (S 5018'39" W), WGS 84, GEODETIC, LOCAL.
  2. THIS SURVEY IS BASED ON A PLAT OF SURVEY PREPARED FOR ROGER LIVINGSTON AND DAVID S. ARTHUR AND RUTH CHRISTINE ARTHUR, BY PAUL A. ARMALD, PS 13604, DATED MARCH, 2000, RECORDED IN PLAT BK. 438, P. 008. BEARINGS AND DISTANCES IN ( ) ARE FROM SAID PLAT. REFERENCE PLAT OF "SUMMARY SUBDIVISION PLAT, 586 CAMINO DEL MONTE SOL," BY GUY HAYDEN, PS 4070, RECORDED IN PLAT BK. 137, P. 016. REFERENCE DEED: BK. 493, P. 433.
  3. FIRM PANEL No. 35049C-0416D. ZONE "X".

**CERTIFICATE**

I, Philip B. Wegel, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that this survey and plot represent an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

I further certify that this survey is not a land division or subdivision defined in the New Mexico Subdivisor Act and that this is a boundary survey plat of an existing tract or tracts.

*Philip B. Wegel*  
 August 16, 2011  
 Philip B. Wegel P.S. No. 9758  
 P.O. Box 22773 Santa Fe, NM



N/F  
 DIMONTE CORNER  
 INSTR. No. 1408171  
 PLAT BK. 574, P. 038  
 SIERRA PLAT C-058-0999

N/F  
 JOHN & DEBRA SELF  
 INST. No. 1582614  
 PLAT BK. 425, P. 028  
 SIERRA PLAT C-058-0999

LOT 1  
 SUBDIVISION No. 1 OF THE  
 DeVARGAS DEVELOPMENT COMPANY  
 N/F  
 LINDA S. COHEN  
 BK. 2007, P. 416  
 PLAT BK. 408, P. 020  
 DEL RIO PLAT 0176690

COUNTY OF SANTA FE  
 STATE OF NEW MEXICO  
 I hereby certify that this instrument was filed for recording on this 12th day of August, 2011, at 12:15 PM, and was duly recorded in Book 7360 of the records of Santa Fe County, New Mexico, at page 1 of 1.  
 INST. 7647873  
 Witness My Hand and Seal of Office  
 WALTER ESPINOZA  
 County Clerk, Santa Fe County, New Mexico

**INDEXING INFORMATION FOR COUNTY CLERK BOUNDARY SURVEY**

OWNER: DAVID & RUTH ARTHUR  
 LOCATION: 586 CAMINO DEL MONTE SOL  
 SEC. 30, T 17 N, R 10 E, N.M.P.M.  
 PROJECTED INTO THE SANTA FE GRANT

SANTA FE COUNTY, NM.  
 LIPC No. 1-055-098-142-233

<b>DEL RIO SURVEYS, INC.</b>	
P.O. BOX 22773	SANTA FE, NM 820-9200
PROJECT No. 1108-412	DATE 8/26/11

**PUBLIC NOTICE**  
 CITY OF SANTA FE STAFF HAS NOT REVIEWED THIS DOCUMENT PRIOR TO RECORDATION. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR BUILDING PERMIT AND MAY REQUIRE ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD. NOTIFICATION OF LEGAL LOT OF RECORD IS THE SOLE RESPONSIBILITY OF THE PURCHASER/OWNER.

Land Records Corp. SFTC ALB11607 SF 1644373.001

1/2

### WARRANTY DEED

Michael Emon Mahony and Madeleine Jones Mahony, husband and wife, for consideration paid, grant to David C. Krakauer and Jessica Flack, husband and wife as joint tenants, whose address is 1399 Hyde Park Rd., Santa Fe, NM 87501, the following described real estate in Santa Fe County, New Mexico:

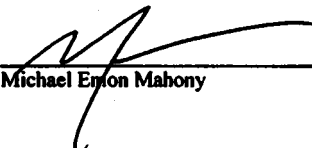
**Lot 1, as shown and delineated on plat of survey entitled "Plat of Boundary Survey for Michael Emon Mahony & Madeleine J. Sauer Lot 1, Summary Subdivision Plat, 586 Camino Del Monte Sol, City of Santa Fe, Santa Fe County, New Mexico.", recorded September 2, 2011 in Plat Book 736, Page 006, # 1644373, records of Santa Fe County, New Mexico.**

SUBJECT TO: taxes and assessments for 2015 and subsequent years.

SUBJECT TO : matters described in Exhibit "A" attached hereto.

with warranty covenants.

Witness our hands this 14th day of October, 2015.

  
\_\_\_\_\_  
Michael Emon Mahony

  
\_\_\_\_\_  
Madeleine Jones Mahony

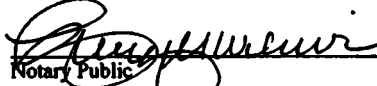
### ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO

COUNTY OF SANTA FE

This instrument was acknowledged before me on October 14, 2015 by Michael Emon Mahony and Madeleine Jones Mahony, husband and wife.

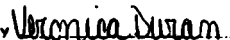
My Commission Expires: \_\_\_\_\_

  
\_\_\_\_\_  
Notary Public

COUNTY OF SANTA FE )  
STATE OF NEW MEXICO ) ss  
I Hereby Certify That This Instrument Was Filed for  
Record On The 16TH Day Of October, 2015 at 09:27:26 AM  
And Was Duly Recorded as Instrument # 1777233  
Of The Records Of Santa Fe County

WARRANTY DEED  
PAGES: 2



Witness My Hand And Seal Of Office  
Deputy  County Clerk, Santa Fe, NM  
Geraldine Salazar



SFC CLERK RECORDED 10/16/2016

**EXHIBIT "A"**

**Terms and conditions contained in Grant of Easement recorded June 22, 1987 in Book 651, Page 167, records of Santa Fe County, New Mexico.**

**Terms and conditions contained in Gate and Driveway Agreement recorded May 11, 2009, recorded as Instrument #1562613, re-recorded August 19, 2009 as Instrument #1574662, records of Santa Fe County, New Mexico.**

**Improvements lying outside the northerly and easterly boundaries, common utility easement & common entrance and exit along the southerly boundary, encroachment of wall, gate, and fence onto aforementioned easement, encroachment of fence onto subject property, rights of others in and to all aforementioned and notes, as shown and delineated on plat of survey entitled "Plat of Boundary Survey for Michael Emon Mabony & Madeleine J. Sauer Lot 1, Summary Subdivision Plat, 586 Camino Del Monte Sol, City of Santa Fe, Santa Fe County, New Mexico.", recorded September 2, 2011 in Plat Book 736, Page 006, # 1644373, records of Santa Fe County, New Mexico.**

SFC CLERK RECORDED 10/16/2016

# New Garage at 586 Camino Del Monte Sol

586 Camino Del Monte Sol  
Santa Fe, NM 87505

## Building Criteria

OWNER:	David Krakauer and Jessica Flack
SITE:	586 Camino Del Monte Sol Santa Fe, NM 87505
CONSTRUCTION STYLE:	New Freestanding Garage
UTILITIES:	Water: (Ex) Service by City of Santa Fe Sewer: (Ex) Service by City of Santa Fe Gas: (Ex) Service by NM Gas Company Electricity: (Ex) service by PNM.
SOILS:	Owner and contractor to confirm all soils conditions prior to starting construction. Contact architect immediately if suspicious or possible expansive soils are encountered.
ZONING:	R-5
SETBACK:	7'-0" Front 5'-0" Side 15'-0" Rear
CONSTRUCTION TYPE:	Type V-B
LOT SIZE:	~.0361 Acres (15,714 SQ. FT.)
LOT COVERAGE:	40% MAX. EXISTING 25.7% PROPOSED 29.8%
ALLOWABLE BUILDING HEIGHTS:	24'-0" AFG OR AS REGULATED BY HISTORIC

## Proposed Building Area

GARAGE ROOFED	592 SF
TOTAL ROOFED	592 SF



SITE

## Vicinity Map



DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS. NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR  
TO BEGINNING CONSTRUCTION

ARCHITECTURAL  
ALLIANCE  
INC

612 OLD SANTA FE TRAIL  
SANTA FE, NEW MEXICO 87501  
Telephone: 505-986-5209 FAX 505-986-1270  
WEBSITE: www.archallinc.com

THESE DRAWINGS ARE THE PROPERTY OF ARCHITECTURAL ALLIANCE INC  
AND ARE NOT TO BE REPRODUCED, MODIFIED OR USED FOR ANY OTHER  
PROJECT OR EXTENSION OF THIS PROJECT EXCEPT BY WRITTEN  
AGREEMENT WITH ARCHITECTURAL ALLIANCE INC. © 2020

## Drawing Index

C-0	COVER SHEET
C-1	EXISTING SITE PLAN
C-2	PROPOSED SITE PLAN
A-1	PROPOSED GARAGE FLOOR PLAN AND ELEVATIONS

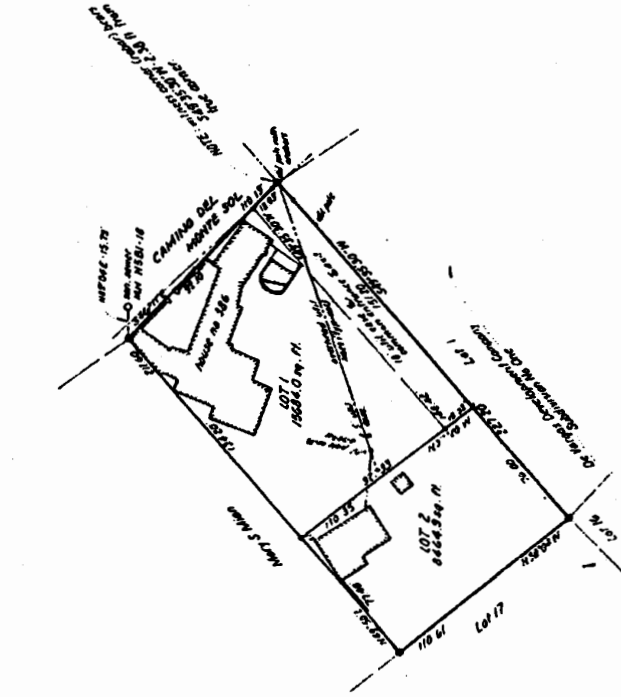
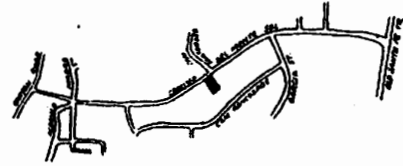
SCHEMATIC DRAWING SET  
DRAWINGS DATED: DECEMBER 10, 2020

586 CAMINO DEL MONTE SOL

137916

SP. 1485-171

- indicates sewer pipes shown in plan view unless otherwise shown
- indicates easement lines or other to be used as approved of plan



Meridian referred to west line as N 80° 0' 0\"/>

SCALE 1" = 40'



**DEDICATION**  
 WHEREAS ALL PERSONS BY THESE PRESENTS: that the undersigned owners of these lands shown herein have owned and have to be subdivided as shown on this plat thereof, and the subdivision is made in accordance with the terms and conditions of the underlying survey thereon; the assents of all persons whose interests are herein shown and whose interests are herein shown and hereby constitute the City of Santa Fe, New Mexico.

Witness my hand and seal of my office this 29th day of December 1983.

Notary Public

9-29-83

**SURVEYOR'S CERTIFICATE**  
 I hereby certify that this plat was prepared by me on 12 Dec. 1983 from field notes of an actual survey.

Notary Public

**UTILITY COMPANIES**

Gas Co. of New Mexico William J. Sweeney, etc. 12/19/83  
 Mountain States Tel. & Tel. Co. E.R. Ferguson, etc. 12/18/83  
 Public Service Co. of N.M. Bernard J. Anderson, etc. 12-12-83  
 Sangre de Cristo Electric Co. Frank P. Smith, etc. 12-12-83  
 United Cable TV of Santa Fe D. Smith, etc. 12-12-83

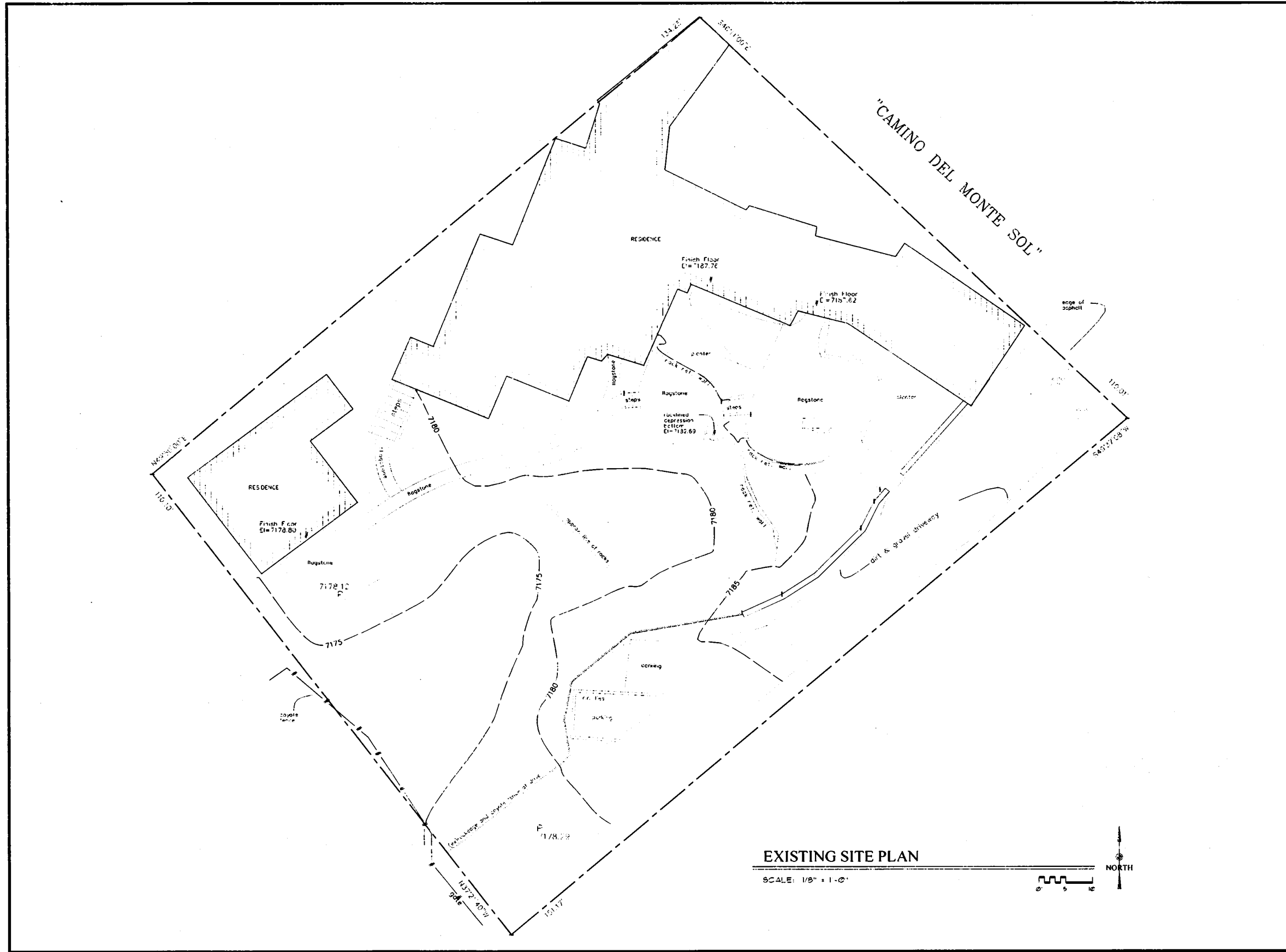
**CITY OF SANTA FE, NEW MEXICO**

Approved on 12-12-1983 by William J. Sweeney, etc. City Engineer  
 Approved on 12-12-1983 by William J. Sweeney, etc. City Planner  
 Approved by the Santa Fe Planning Commission Summary Procedure Committee at its meeting of 12-12-1983  
William J. Sweeney Secretary

SUMMARY SUBDIVISION PLAT  
 586 CAMINO DEL MONTE SOL  
 WARD NO. ONE, SANTA FE, N.M.

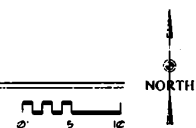
532, 741  
 COUNTY OF SANTA FE, N.M.  
 I hereby certify that this instrument was filed for record on the 29th day of December 1983 at 11:00 A.M. and was duly recorded in Book 317, page 532.





**EXISTING SITE PLAN**

SCALE: 1/8" = 1'-0"



**ARCHITECTURAL ALLIANCE INC**  
 612 OLD SANTA FE TRAIL  
 SANTA FE, NEW MEXICO 87505  
 Telephone 505-988-5269  
 FAX 505-986-1270  
 WEBSITE: www.archallinc.com

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 CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

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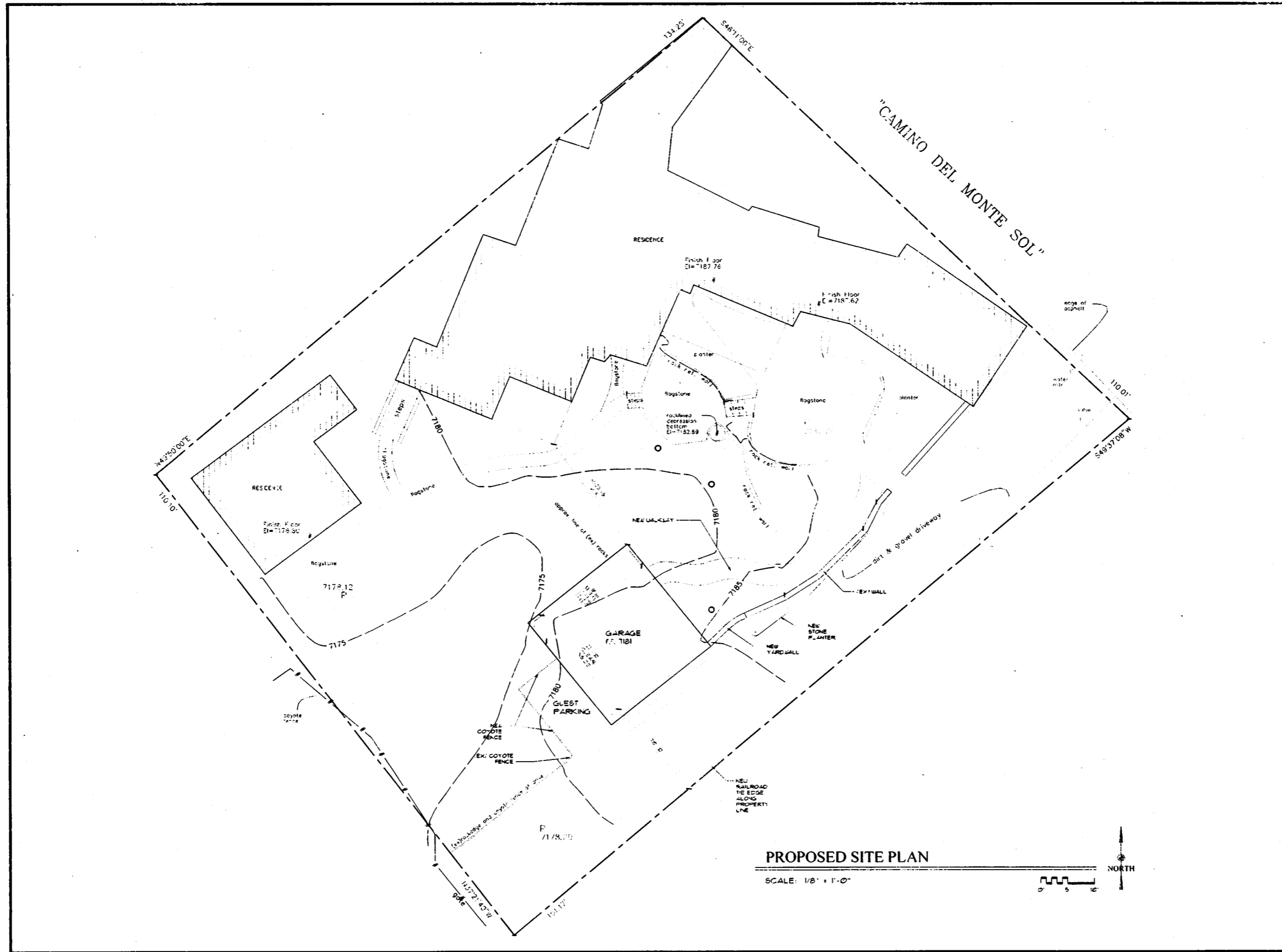
NO.	REVISION/SUBMISSIONS	DATE

**PROJECT TITLE**  
**New Garage at 586 Camino Monte Del Sol**  
 586 Camino Monte Del Sol  
 Santa Fe, NM 87505

PROJECT NO.	
CHECKED BY: EE	DATE: 12/10/20
DRAWN BY: DL	DATE: 12/10/20

**SHEET TITLE**  
**EXISTING SITE PLAN**

SHEET NO.  
**C-1**



**ARCHITECTURAL ALLIANCE INC**  
 413 OF D SANTA FE TRAIL  
 SANTA FE, NEW MEXICO 87505  
 Telephone 505-986-5269  
 FAX 505-986-1270  
 WEBSITE: www.archallinc.com

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 DIMENSIONS. NOTIFY ARCHITECT  
 OF ANY DISCREPANCIES PRIOR  
 TO BEGINNING CONSTRUCTION

NO.	REVISIONS	SUBMISSIONS	DATE

NO. REVISIONS SUBMISSIONS DATE  
 STAMP

PROJECT TITLE:  
**New Garage at  
 586 Camino  
 Monte Del Sol**

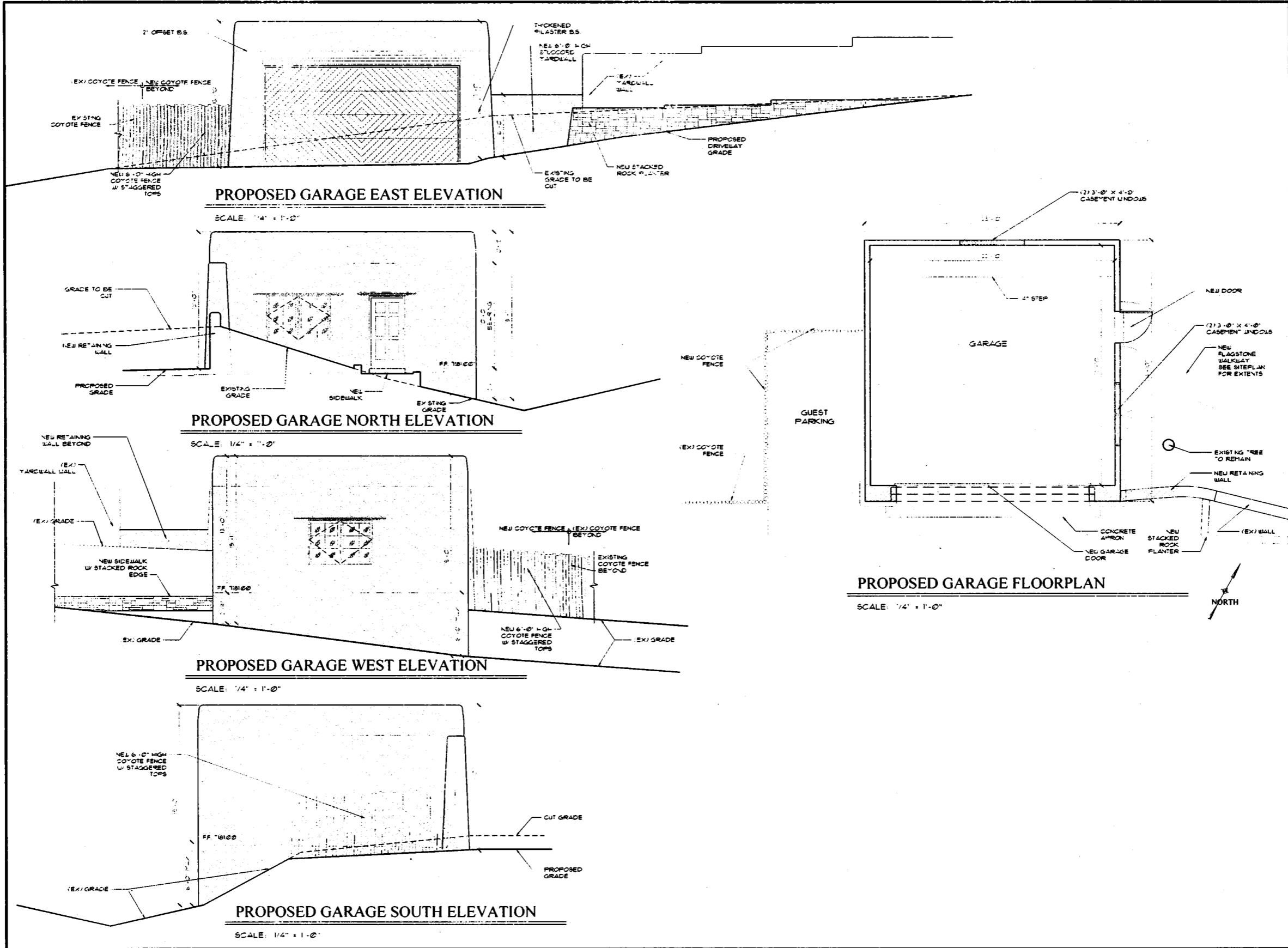
586 Camino Monte Del Sol  
 Santa Fe, NM 87505

PROJECT NO.

CHECKED BY	RE	DATE	12/10/20
DRAWN BY	DI	DATE	12/10/20

SHEET TITLE:  
**PROPOSED  
 SITE PLAN**

SHEET NO.  
**C-2**



**ARCHITECTURAL ALLIANCE INC**  
 612 CEDAR SANTA FE TRAIL  
 SANTA FE, NEW MEXICO 87505  
 Telephone 505-988-1200  
 FAX 505-966-1270  
 WEBSITE www.aaiinc.com

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NO.	REVISION/SUBMISSIONS	DATE

STAMP

PROJECT TITLE  
**NEW GARAGE**

586 CAMINO DEL MONTE SOL  
 SANTA FE, NEW MEXICO

PROJECT NO.  
 CHECKED BY: FE DATE: 12/10/20  
 DRAWN BY: ER DATE: 12/10/20

SHEET TITLE  
**PROPOSED FLOOR PLAN AND ELEVATIONS**

SHEET NO.  
**A-1**



# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** Carlos Kinsey, agent for Laura L. Chock, owner requests a status review and primary façade designation, if applicable, for yardwalls, fences and a garage.

Case number: **2020-002959-HDRB**  
Project Type: **HDRB**

**PROJECT LOCATION (S):** **542 Camino del Monte Sol**

OW – Laura L Chock 542 Camino del Monte Sol, Santa Fe, NM 87501 [Laura@laurachock-law.com](mailto:Laura@laurachock-law.com)

AP – Carlos Kinsey 3600 Cerrillos Road Unit 205, Santa Fe, NM 87507 [info@kinseyarchitecture.com](mailto:info@kinseyarchitecture.com)

### PROJECT DATA:

#### HISTORIC DISTRICT

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

#### HISTORIC BUILDING STATUS

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

#### PRIMARY ELEVATIONS:

North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

#### HISTORIC DISTRICT INVENTORY NUMBER

1491/2020

#### YEAR OF CONSTRUCTION

1928

#### PROJECT TYPE

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSED Residential  Non-Residential

#### HISTORIC BUILDING NAME

\_\_\_\_\_

# City of Santa Fe, New Mexico

# memo

**DATE:** January 12, 2020  
**TO:** Historic Districts Review Board Members  
**FROM:** Daniel Schwab, Senior Planner, Historic Preservation Division

---

**Case # 2020-002959-HDRB**

**Address: 542 Camino del Monte Sol**  
**Historic District: Downtown and Eastside**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: HCPI 1991, HCPI 2020

**APPLICANT SUBMITTALS**

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

**STAFF RECOMMENDATION:**

Staff recommends the historic status of the wall be designated as contributing and the garage maintained as non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures. Staff recommends that no status be designated for the coyote fence.

## **BACKGROUND & SUMMARY:**

542 Camino del Monte Sol is a single-family residence listed as significant to the Downtown and Eastside Historic District. It is constructed in the Spanish Pueblo Revival style prior to 1928. A detailed history of the property is given in the attached HCPI.

This case concerns the yard wall and garage associated with the property. No changes are being proposed to the main house.

The property is bordered by yard wall along the street. A coyote fence separates the private garden from the driveway. The yard wall is over 50 years old, 75 feet long and between 4 and 5 feet in height, and is probably constructed of adobe.

The garage is on the north side of the property, constructed what is now the lot line. It appears to have earlier been a two-bay garage, but changes have altered it significantly so that the structure is now divided into two garages in separate ownership along the lot line by a yard wall. The front (east) façade contains historic swinging doors that are below ground level that are in poor condition. The west façade has a single non-historic door and the south façade has no openings. However, it was significantly altered after 1978, compromising its historic integrity. It was mentioned as non-contributing in 2007 (case H#-0-40). This status was not formally designated by the board, and the status designation, presumably done by staff, was not done on the basis of a historical inventory. For this reason, staff is requesting that historic status be revisited based on a newly completed HCPI.

The applicant requests a status designation for the wall, coyote fence and garage. A new HCPI was created this year which recommended contributing status for the wall and non-contributing status for the garage. No position is taken on the coyote fence.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	<b>2. Location:</b>  542 Camino del Monte Sol Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: Santa Fe ID #: H-742 – Supplement		
		<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> November 12, 2020		

## Architectural Description Continued

Near its south end, corresponding with the house’s front door, is a 4’ opening. The opening has a non-historic wood slat gate with a flat diamond motif (Photo 3, Figure 1). A metal mailbox of recent vintage passes through the wall, just north of the entrance.

The wall’s north end terminates with a flare. A short, stepped section is attached to the south end and is associated with the adjacent property.

### Garage

Approximately 30’ back from the street is the remnant of what historically was likely a two-bay garage. The roughly 216-square-foot, flat-roof structure shares its north wall with a structure on the neighboring property, originally part of the Garage (Photo 4).

The front (east) façade is fenestrated with a pair of swinging wood doors. The opening has a concrete threshold; an exposed wood lintel runs above. The doors are made of thin strips of stained weathered wood. Round-head wood screws with ogee washers fasten the strips to a non-historic framework. The panels swing out with light metal “T” hinges. Deteriorated at the bottom, the doors are fortified with plywood at the interior.

The rear (west) side of the Garage has a single opening holding a non-historic door (Photo 5). A recent overhang with a thin metal fascia caps this elevation (Photo 6). Neither the north nor south elevations have fenestration (Photo 7). The Garage has shaped parapets and is clad with a cementitious stucco finish matching the house.

Its interior is divided into two sections by a recent partition. The west portion, representing two-thirds of the structure, has a new floor made of mixed plywood and oriented strand board. A gray scratch coat covers the walls, and the ceiling is finished with sheetrock (Photo 8). The non-updated portion has a concrete floor. Its ceiling is exposed, revealing its likely original 2x10 joists and 1x10 decking (Photo 8).

### Coyote Fence

South of the driveway and edging the front yard is a short run of latilla poles (Photo 9). The fence, at its tallest end, is approximately 4’-6” above grade. It consists of small, stripped poles, nailed and wired to a wood framework. A primitive slat wood gate gives

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
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entry to the yard. It is impossible to date such a structure, but the few observed nails are not of historical vintage.

## Historical Overview

Will Shuster, the man who would kill gloom, arrived in Santa Fe in the spring of 1920, seeking health. Shuster and his first wife, Helen, lived in this house (Shuster House No. 1)<sup>1</sup> for only a short time. His artistic fingerprints are confined to building the house and some of its idiosyncratic features.<sup>2</sup> Other layers — walls, fences, garages, and multiple additions — came later. Still, a context for Shuster and subsequent artists who touched down at 542 Camino del Monte Sol is deserved and absent from earlier surveys. This background is meant to fill that void.

### Will Shuster (1893-1969)

William Howard Shuster, Jr., was born in Philadelphia on November 26, 1893, the first child of parents William and Elizabeth Shuster. They lived in a rented brick rowhouse, in a neighborhood now going by the name of Olde Richmond, which was historically an area of Polish immigrants. His father worked at a hat factory; his mother kept home.<sup>3</sup> Tragedy struck in early 1904 when Shuster’s younger brother, Clifford, died.

William Jr. attended local schools and initially prepared to be an electrical engineer at the Drexel Institute of Art, Science and Industry, an industrial school founded by Philadelphia philanthropist Anthony J. Drexel. During this period, he studied with J. William Server, who taught a graphics course at the Philadelphia Industrial Art School, a grammar school manual arts training program. In contrast to the artist’s recent gallery biographies, Shuster’s training was modest and likely limited by his working-class background.

<sup>1</sup> This follows Michael Belshaw’s assertion that the building represents Shuster’s first home on Camino del Monte Sol. Other items in early surveys tie it to artist Walter Mruk. Michael Belshaw, *Camino del Monte Sol Architectural Survey* (Santa Fe: City of Santa Fe, 1984), 31.

<sup>2</sup> Daria Labinsky and Stan Hieronymus, *Frank Applegate of Santa Fe: Artist and Preservationist* (Albuquerque: LPD Press, 2001), 60. Labinsky and Hieronymus suggest that Frank Applegate built all the artists’ homes, but they do not provide evidence of this. In addition, the idiosyncratic nature of Shuster’s first and third homes does not match the mannerist approach of Applegate’s documented designs.

<sup>3</sup> United States Federal Census, 1900, Census Place: Philadelphia Ward 31, Philadelphia, Pennsylvania; Page: 12; Enumeration District: 0776; FHL microfilm: 1241472.

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In 1917, at age 23, he enlisted in the army, being trained as an officer at Fort Niagara. The following year, he married Helen E. Hasenfus, a Philadelphia native of German descent. The young soldier, who would reach the level of First Lieutenant of Infantry, saw action in several significant battles on the Western Front. Shuster was gassed in Vachervaville during the Meuse-Argonne offensive — the largest U.S. campaign of the Great War, where 26,277 Americans perished.<sup>4</sup>

Returning to Philadelphia in 1919, a physician diagnosed him with tuberculosis and advised Shuster to move to a different climate for treatment, suggesting the Southwest for its dry air. Shuster and Helen arrived in Santa Fe on March 3, 1920.<sup>5</sup> The next day, the couple made a beeline to the New Mexico Museum, where Shuster left with staff aerial photographs and a battle map from his service in Europe. The couple initially planned to settle in Carrizozo, but Santa Fe enchanted them. Although only modestly trained, Shuster began sketching and soon found support from Ashcan School painter John Sloan (1871-1951), who encouraged him to work with oil paints.

## Los Cinco Pintores

In 1921, Shuster, and three other artists with a modernist bent came together, forming a group they dubbed “Los Cinco Pintores,” or the Five Painters. It included two other working-class painters, Józef Gabryel Bakós/Joseph Bakos (1891-1977) and Włodzisław E. Mruk/Walter Mruk (1895-1941), both from Buffalo, New York, and of Polish ancestry. The remaining members were Fremont Ellis (1897-1985) and Willard Nash (1898-1942).

Differing from the more staid and older Taos Society of Artists, the Cinco Pintores were all under 30 without established art careers. Coming of age in the 1920s, they were conversant in modern art — exploring Expressionism, Cubism, and Fauvism. As with many artists of their age and time, the pintores articulated a political manifesto in which they “pledged to take art to the people and not to surrender to commercialism.”<sup>6</sup>

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<sup>4</sup> World War I Veterans Service and Compensation File, 1934–1948. RG 19, Series 19.91. Pennsylvania Historical and Museum Commission, Harrisburg Pennsylvania.

<sup>5</sup> Sylvia Loomis, oral history with Will Shuster, July 30, 1964 [transcript].

<https://www.aaa.si.edu/collections/interviews/oral-history-interview-will-shuster-13208#transcript>

<sup>6</sup> Quoted in Edna C. Robertson, *Los Cinco Pintores* (Santa Fe: Museum of New Mexico, 1975), 3.

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The five soon developed a reputation as radicals. Bakos, because of his modern style, was refused entry into the Taos Society of Artists.<sup>7</sup> Shuster would later recall in an interview in the *New Mexican* that the five artists were considered “a wild bunch” by Santa Fe’s conservative community. The Cinco Pintores had their first exhibit at the Museum of Fine Arts in December 1921.

Not only did the young artists exhibit together, but they also built their homes together on an isolated ridge on the south side of town. Before they formed the art community, Telephone Road (later Camino del Monte Sol) served mainly to shuttle tubercular patients back and forth between town and Sunmount Sanatorium. Its name was derived from the telephone line to the sanatorium, running along the road’s west side.

At the time, artist Frank Applegate (1881-1931), William Penhallow Henderson (1877-1943), and his wife, poet Alice Corbin Henderson (1881-1949) were the only Anglos living along the road.<sup>8</sup> Ten years older, Applegate, of patrician background, became the benefactor of the ragged group of artists. He offered each a lot along Telephone Road to build a house, even offering financing and materials.<sup>9</sup> Here, starting in 1921, the artists began erecting adobe houses which they called studio homes (Figure 3).

Only Bakos, who worked as a carpenter, had any idea how to build a house. An often-told account depicted both Shuster (aside from some genius for electrical wiring) and Ellis as complete greenhorns when it came to construction, with incidents of collapsed and warping adobe walls. With the help of Applegate and “two Spanish guys,” each of the five artists constructed idiosyncratic adobe structures, each with a connected studio (Figure 2).<sup>10</sup>

The artists created a bohemian enclave away from the eyes of conservative Santa Fe. During Prohibition, they brewed their own beer and maintained a still for harder spirits.<sup>11</sup> In a Dadaist fashion, they formed the Adobe Chamber Music Society, a band

<sup>7</sup> Sharyn Rohlfen Udall, *Modernist Painting in New Mexico, 1913-1935* (Albuquerque: University of New Mexico Press, 1984), 183-184.

<sup>8</sup> As recounted by Henderson’s daughter, Alice Henderson Rossin, in John Pen La Farge, *Turn Left at the Sleeping Dog: Scripting the Santa Fe Legend* (Albuquerque: University of New Mexico Press, 2001), 180-181. A few Hispanic families, the Romeros and the Vigils, resided near the north end of the road, closer to the Acequia Madre.

<sup>9</sup> Labinsky and Hieronymus, *Frank Applegate of Santa Fe*, 54.

<sup>10</sup> Fremont Ellis quoted in *Ibid*.

<sup>11</sup> Robertson, *Los Cinco Pintores*, 9.

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made up of a violinist, drummers, and a few playing homemade instruments. Bakos would later call the group the “five nuts in their adobe huts.”<sup>12</sup>

The nuts were also creating a tourist attraction.

In an early article about the scene, writer-artist Ina Sizer Cassidy saw the artists’ “anthill” of activity as a good omen for the “art future of Santa Fe.”<sup>13</sup> Maximizing this, the artists began to have weekly showings in their homes. Several years later, an editorial in the *New Mexican* stated that while many Santa Feans “scoff” at Camino Monte Sol and its “freakish homes,” the locals enjoyed taking their out-of-town visitors for a drive “along that unique thoroughfare.”<sup>14</sup>

Today, with Shuster’s homes ossified through layers of stucco and gentility, it is hard to understand how radical they were. His first and third residences featured odd window shapes and built-up, stalagmite-like forms — recalling that natural feature which fascinated both Shuster and Mruk.

The Cinco Pintores movement was short-lived, with their last collective show in 1923. Walter Mruk left the area in 1926 to return to Buffalo, selling his home to Frank Applegate’s mother. He would die 15 years later of pneumonia in a rooming house. Nash, who left in 1936, died in 1942. Ellis would move in the late 1930s to his Sebastian Ranch southeast of town, off the Las Vegas Highway.

Will and Helen had already moved out of 542 only a few years after it was constructed, locating down the street to 550, and eventually settling into 580, a house he would occupy until his death in 1969.

Shuster would make his biggest mark, when in 1926, along with E. Dana Johnson, he created Zozobra, the “Demon of Gloom.” Probably based on a Yaqui effigy burning tradition, Zozobra — then a modest 20’ high puppet — made its debut on September 3, writhing under “weird green fires” in a vacant lot behind city hall.<sup>15</sup>

9

<sup>12</sup> Ibid.

<sup>13</sup> *Santa Fe New Mexican*, October 29, 1921, 2.

<sup>14</sup> Ibid., March 1, 1924, 2.

<sup>15</sup> *Santa Fe New Mexican*, September 4, 1926, 6.

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## **The Summer Crowd on the Camino**

The Camino, as locals called it, reached its zenith around the start of the Great Depression when at least nine studio homes lined its dirt course, many populated by artists who have now faded into obscurity.

## **Howard Ashman Patterson (1891-1970)**

Following on the heels of Shuster was a fellow Philadelphian artist with a far richer painting talent and background.

Howard Ashman Patterson was born in 1891 to Thomas Elliott Patterson and Bertha Remington Patterson.<sup>16</sup> Important to his artistic development was his mother, the granddaughter of the Remington Arms Company’s founder. Bertha had made the Grand Tour of European art museums in 1881 and she directed and supported her son’s art career. Patterson’s father was a prominent attorney, noteworthy for his role in reforming the local jury system.

He attended all the right schools — Friends Academy, Brown Preparatory, and the Pennsylvania Museum and School for Industrial Design. Later he enrolled in the Pennsylvania Academy of Fine Arts, where he was taught by Henry Bainbridge McCarter (1866-1942) and Robert Henri (1865-1929), among others. Influenced by the Ashcan School, Patterson moved to New York to study at the Art Students’ League. A visit to the famous Armory Show of 1913 changed his direction, sending him to Paris the following year. The outbreak war delivered him back to the states, where he picked up again at the league, painting for a time in Woodstock.

Like Shuster, he enlisted in the army in 1917 and was sent to France. With the Pennsylvania Academy president’s help, Patterson transferred to safer duty, working in the Camouflage Section, where he created deceptive scenery for the troops. Though out of harm’s way, he wrote to his mother that he wore his gas mask to bed every night.

His war service ended the same time as Shuster’s, sending the artist back to his parent’s home in West Philadelphia. At the suggestion of either John Sloan or Robert Henri,

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<sup>16</sup> Most of the biographical information on Patterson is taken from “Howard Ashman Patterson (1891-1970),” a c.2010’s unpublished manuscript prepared by his son, Remington A. Patterson.

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Patterson moved to the Southwest, first situating in Denver, where he met his future wife, Elizabeth Mary Perrigo, daughter of an Omaha, Nebraska, meat-packing executive.

The newlyweds relocated to Santa Fe in 1924, moving into the former Shuster home at 542 Camino del Monte Sol, where they would live-on-and-off through the early 1930s. The same year, Karl Besler, a University of Michigan, College of Architecture student, photographed the house (Figure 3).

In New Mexico, Patterson, as described in an exhibit catalog, discarded “all the conventions of the Academy training and imbibed a wholesome dose of the West” (Figure 3).<sup>17</sup> He developed a “bolder freer treatment in the Southwest,”<sup>18</sup> much like his less-schooled neighbor, Will Shuster. He quickly produced many pictures in the Santa Fe tradition, including paintings of Pueblo Indian dances (San Felipe, Cochiti, Santo Domingo), adobe buildings (Chimayo and Santa Fe), and local landscapes, including a few drawings of Camino del Monte Sol (Figure 6).

After mastering the desert pose, he and Elizabeth left for long periods (sometimes up to two years) for a different world in France. There, he painted the pleasures of the French Riviera and flowers in delicate ceramic vases. A 1931 *Dallas Morning News* review of his work detected this smorgasbord of styles, stating Patterson “show[ed] no pretense for subjects, jumping from a pretty photograph of scenes along the French Riviera to mystic ceremonies of the Indians.”<sup>19</sup>

With the impending birth of their second son, Robert, the Pattersons returned to Santa Fe late in 1927. Howard took up with his neighbor, Will Shuster, and other Santa Fe painters, exhibiting as a group in 1928 at the Little Art Gallery in Joplin, Missouri, and the following year at San Francisco’s Beaux Arts Gallery. At the latter exhibit, the *San Francisco Examiner* art critic deemed Bakos’ work of the most interest and found Patterson “over-fond of full-toned color,” but having “something more than an eye for the merely pictorial.”<sup>20</sup>

<sup>17</sup> “Two Interesting One-Man Shows Coming to the Art Gallery,” *Highland Park* (Texas), January, 1931, 1. Howard Ashman Patterson Press Archive. Hereafter, HASPA.

<sup>18</sup> *New York Herald* (Paris Edition), August 24, 1925, no page. HASPA.

<sup>19</sup> *Dallas Morning News*, January 4, 1931, no page. HASPA.

<sup>20</sup> *San Francisco Chronicle*, April 7, 1929, 10E.

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Patterson received higher praise a month later at a solo exhibit at the Kraushaar Galleries in New York, where 14 of his French period paintings were exhibited. The *New York American* critic pronounced Patterson “an artist of decided distinction both as craftsman and a colorist.”<sup>21</sup> The *New York Times* awarded similar applause. Riding on his success, Patterson returned to Santa Fe and opened a one-man show at Bishop’s Lodge in August 1931. It would turn out to be his last exhibit in Santa Fe.

Patterson reached his pinnacle in 1932, exhibiting 33 oil paintings and 22 watercolors at the Arts of Club of Chicago. The show received critical press. Basking in the praise, he decided to stay for a time in the Windy City while Elizabeth remained in Santa Fe with their two sons. She taught at the Santa Fe Country Day School on Palace Avenue and gave dance lessons at the house.<sup>22</sup> A separation followed at the end of the year, with divorce finalized ten years later.

Howard remarried, but with his second wife’s death, he moved in with his brother in Hopewell, New Jersey. While he worked as a greeting card designer and fabric decorator, his artistic rainbow never reappeared. Howard Ashman Patterson, the once-promising painter, died in a nursing home near Ossining, New York, in 1970, at age 79.

### **Lydia M. Scranton (1872-1945)**

Arriving after the Pattersons was Lydia M. Scranton, a Detroit resident and a Southwest summer painter. Trained at the Detroit Museum of Art and the Art Students’ League of New York, Scranton set up a studio on a mesa overlooking in Colorado Springs, where she continued her studies at the Colorado Springs Art Academy.<sup>23</sup> She arrived in Santa Fe at the beginning of the Depression and lived intermittently at the house on Camino del Monte Sol with her niece, Dorothy Trevor. It is unclear who owned the house during Scranton’s tenure, but other people of note — particularly photographer Ernest Knee — rented it over short spells. Scranton and her niece relocated to La Jolla, California, in 1938, where Lydia would pass in 1945. She doesn’t appear to have exhibited in Santa Fe, and there is no trace of her work surviving.

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<sup>21</sup> Patterson, “Howard Ashman Patterson,” 6.

<sup>22</sup> *Santa Fe New Mexican*, September 24, 1932, 2.

<sup>23</sup> Biographical information on Scranton was gathered from various primary sources, including newspaper accounts, public records, city directories, and federal census enumerations.

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### Normalizing the Camino

With Scranton’s departure, the house, as with much the Camino, began to gentrify, with middle- to upper-class non-artists moving in. This trend was evident when Forrest and Bernice Sackett took possession of the property in the 1940s. Sackett, an expediter for a local plumbing and heating company, was followed by Richard C. Aspinwall, the assistant cashier of First National Bank of Santa Fe. The Condé Nast boom of the 1990s-2000s placed extreme pressure on the once-whimsical neighborhood, with new owners pushing for additions and guest casitas. It was during this period that one of the Cinco Pintores studios was demolished. Since then, there has been understandable concern about preserving the home studios of the early artists.

### Evolution of Property

While not precise, aerial photographs, maps, and survey plats help establish a property’s development.

The first reliable aerial from 1958 shows the outline of what appears to be a double garage, encompassing what is likely now the structure on the adjoining property (Figure 7). There also seems to be a wall along the west side of the street, but the photo, because of its poor quality, provides few clues as to its construction.

A 1966 aerial presents a much clearer picture of both structures (Figure 8). Here, the double garage is clearly evident, as is the design of the Street Wall.

A 1978 plat shows that the double-garage was still standing at the time (Figure 9). As it does now, it shared a wall with a similar structure at the property to the north. The plat also records a street wall with an opening in the same location as it exists today.

### Evaluation of Historical Status

#### Street Wall

While unlikely associated with either Shuster or Patterson, the wall, based on aerial photographs, is at least 50 years old. Its design complements other low street walls along Camino del Monte Sol.

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## Garage

Historically, the Garage consisted of two volumes, joined by a common wall. After 1978, the north half was altered and is now on the neighboring property. This significant alteration greatly affected its overall design and, therefore, its historic integrity. While the south half communicates its original function as a garage, it is an incomplete and erroneous picture.

The Garage was deemed a Noncontributing Structure as part of 2007 Historic Districts Review Board case (Case H#-07-40).

## Coyote Fence

The construction era of this ephemeral display of latilla fence is unknown. Because of the rapid deterioration of untreated wood structures, it is doubtful it is of historical age.

## Conclusion

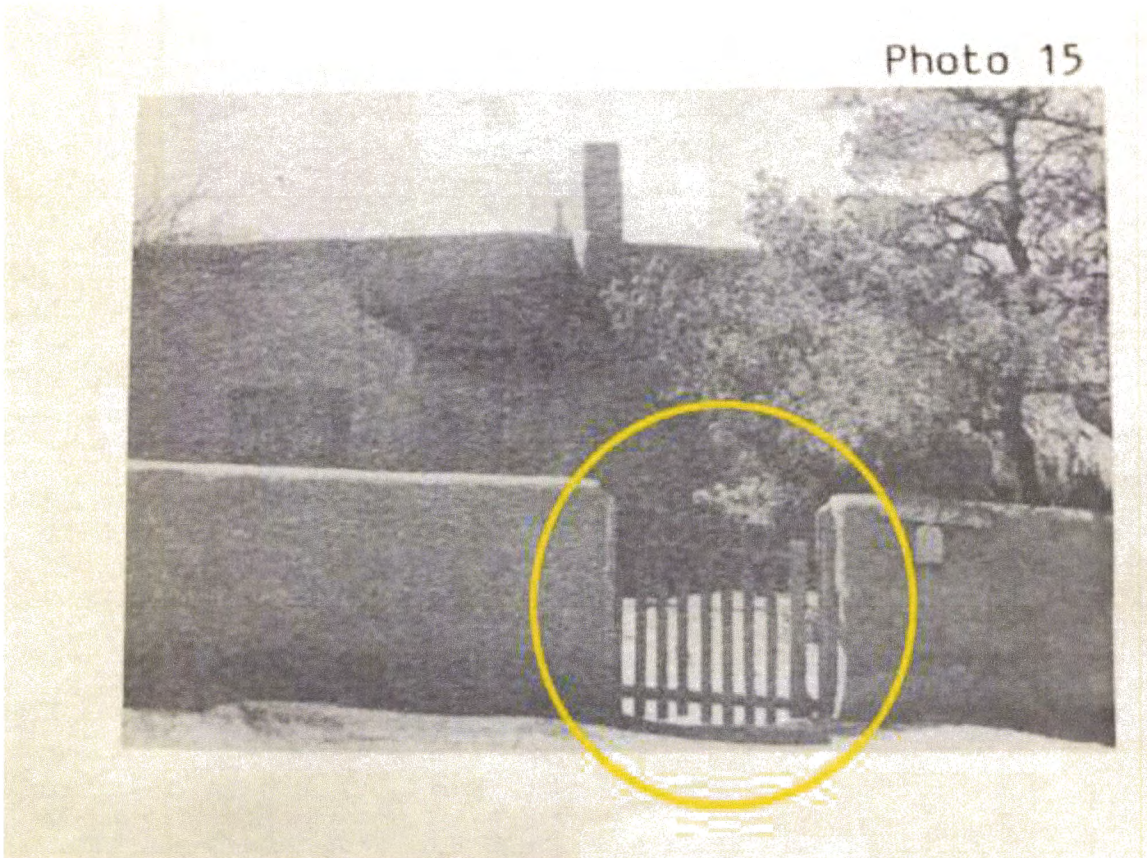
Given the above considerations, the recommendation is to designate the Street Wall a Contributing Structure to the Downtown and Eastside Historic District. Due to its severe alteration, the recommendation is to maintain Noncontributing status for the Garage. No position is taken on the Coyote Fence.

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## Illustrations



**Figure 1: c.1984 photograph of Street Wall, showing a different entry gate.  
 Note gate has ten vertical slats.  
 Source: Belshaw, *Camino del Monte Sol Architectural Survey* (1984): 31.**

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**Figure 2: c.1922 photograph of Camino artist studio homes.**  
**Shuster House No. 1 is beyond the frame.**  
**Note rough quality of architecture and absence of street walls.**  
**Source: Robinson, *Los Cinco Pintores*, 1975.**

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Howard and Elizabeth Patterson House (1924)

**Figure 3: Photocopy of 1924 photograph.**

**Note absence of Street Wall.**

**Courtesy City of Santa Fe Historic Preservation Division.**



**Figure 4: Photocopy of 1927 photograph.**

**Note absence of Street Wall.**

**Courtesy City of Santa Fe Historic Preservation Division.**

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*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	<b>2. Location:</b>  542 Camino del Monte Sol Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: Santa Fe ID #: H-742 – Supplement		
		<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> November 12, 2020		

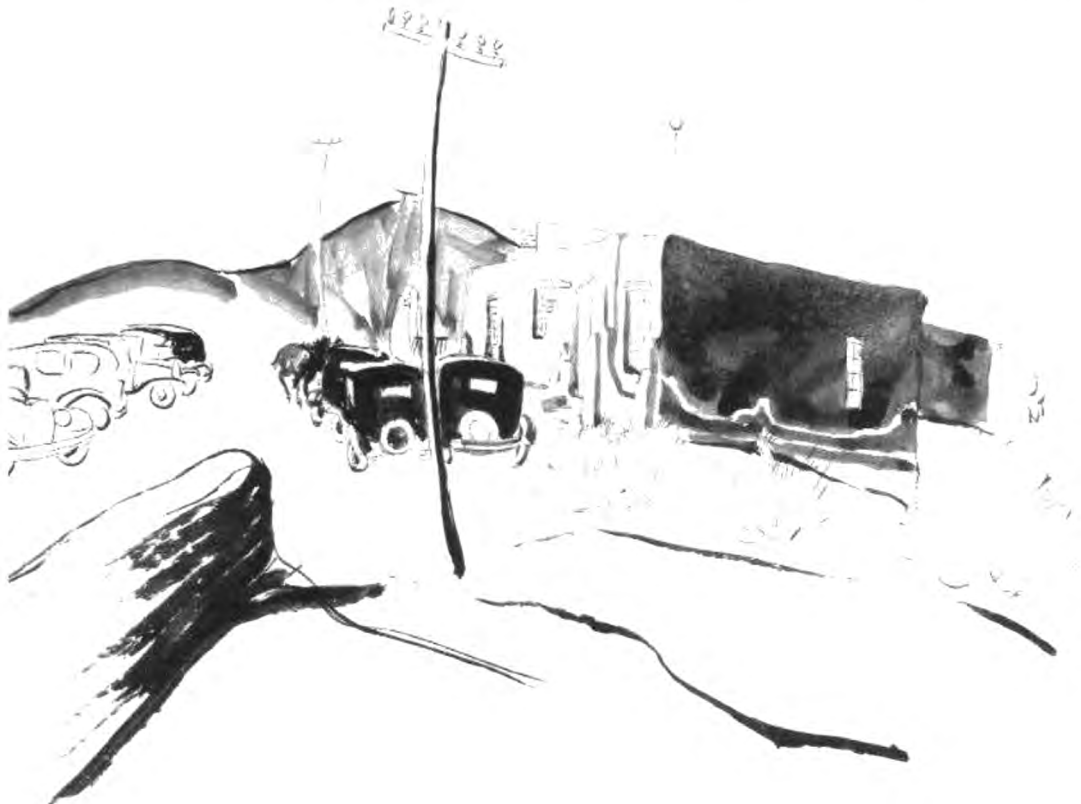


**Figure 5: c.1923 photograph of Howard Ashman Patterson in his Western phase, taken in Colorado before relocating to Santa Fe. Courtesy Howard Ashman Patterson estate.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	<b>2. Location:</b>  542 Camino del Monte Sol Santa Fe: <i>Downtown and Eastside Historic District</i>
<b>3. Local Reference Number:</b> Santa Fe ID #: Santa Fe ID #: H-742 – Supplement	
<b>4. County:</b> Santa Fe	
<b>5. Date of Survey:</b> November 12, 2020	



**Figure 6: c. 1930s ink sketch of Camino del Monte Sol.  
Shuster House No. 3 pictured.**

**The sketch would have likely been made across the street from Shuster House No. 1,  
on William Penhollow Henderson’s property.  
Courtesy Howard Ashman Patterson estate.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
		NRHP	SRCP	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	<b>2. Location:</b>  542 Camino del Monte Sol Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: Santa Fe ID #: H-742 – Supplement		
		<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> November 12, 2020		



**Figure 7: 1958 aerial photograph.  
Double garage structure is present.  
Courtesy New Mexico Department of Transportation.**

20

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
		NRHP	SRCP	Criteria A B C D
<b>1. Name of property:</b>  Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	<b>2. Location:</b>  542 Camino del Monte Sol Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: Santa Fe ID #: H-742 – Supplement		
		<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> November 12, 2020		



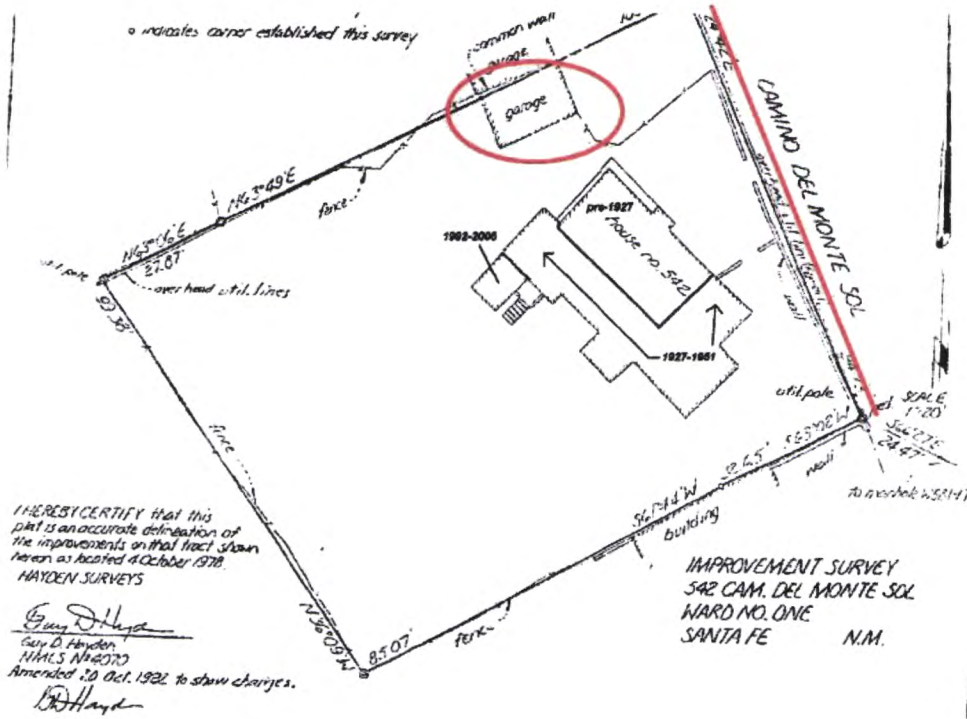
**Figure 8: 1966 aerial photograph.  
Double garage structure and Street Wall is present.  
Courtesy New Mexico Department of Transportation.**

21

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2		NRHP _____ SRCP _____	Criteria <u>  A  </u> <u>  B  </u> <u>  C  </u> <u>  D  </u>
<b>1. Name of property:</b>  Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	<b>2. Location:</b>  542 Camino del Monte Sol Santa Fe: Downtown and Eastside Historic District	<b>3. Local Reference Number:</b> Santa Fe ID #: Santa Fe ID #: H-742 – Supplement	<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> November 12, 2020			



**Figure 9: 1978 survey plat map.  
 Double garage is present.  
 Courtesy City of Santa Fe Historic Preservation Division.**

22

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	<b>2. Location:</b>  542 Camino del Monte Sol Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: Santa Fe ID #: H-742 – Supplement		
		<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> November 12, 2020		

## Survey Photographs

(All images taken by Sharon Joyce on October 20, 2020, unless otherwise noted)



**Photo 1: Street Wall.**  
**Camera facing southwest.**

23

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2		
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	<b>2. Location:</b>  542 Camino del Monte Sol Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: Santa Fe ID #: H-742 – Supplement		
		<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> November 12, 2020		



**Photo 2: Street Wall.  
Camera facing northwest.**

24

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
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		<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> November 12, 2020		

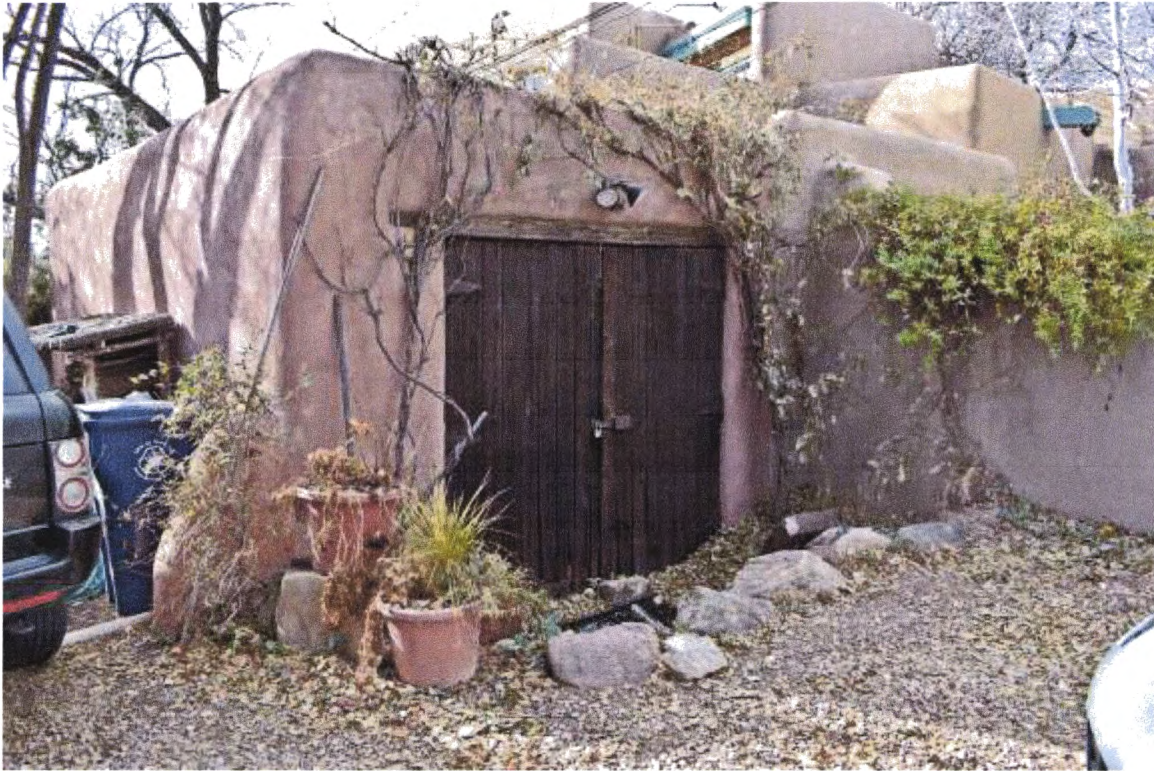


**Photo 3: Street Wall, entry gate.  
 Note gate has seven vertical slats.  
 Camera facing east.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
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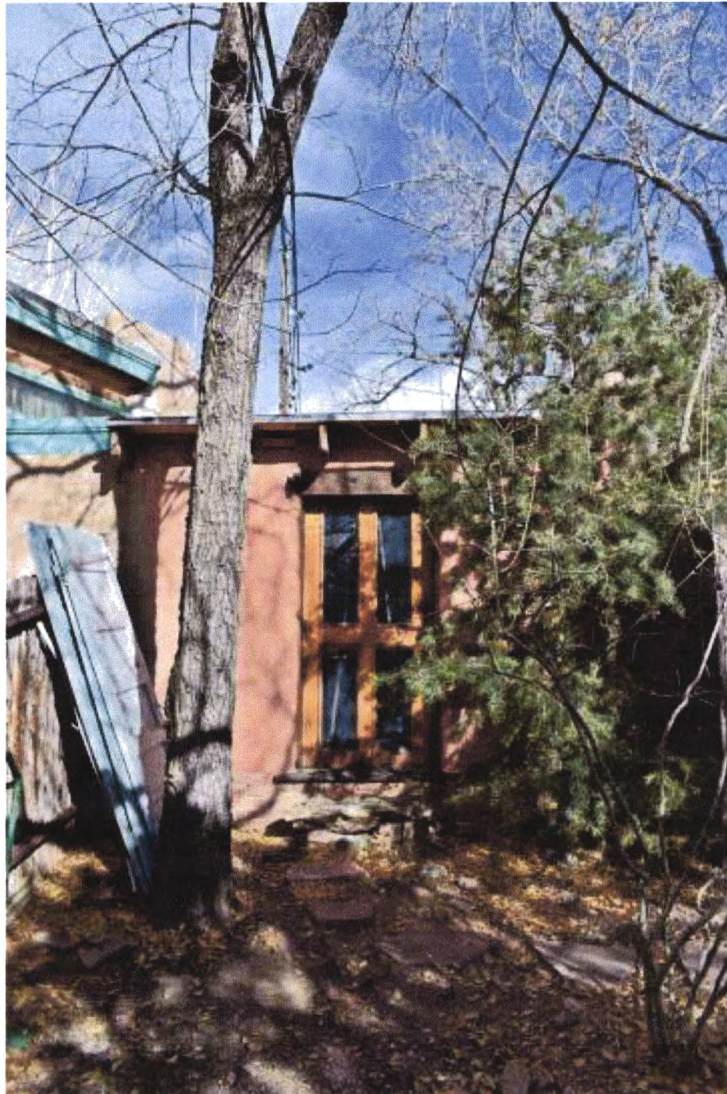


**Photo 4: Garage - south and east elevations.  
 Note adjoining structure at north.  
 Camera facing northwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	<b>2. Location:</b>  542 Camino del Monte Sol Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: Santa Fe ID #: H-742 – Supplement			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> November 12, 2020			



**Photo 5: Garage - west elevation.  
Note adjoining structure at north.  
Camera facing east.**

27

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
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		<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> November 12, 2020		



**Photo 6: Garage - west elevation.  
Camera facing up.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No.		<i>Please complete HCPI FORM 1 before completing FORM 2</i>				District No.			
		NRHP	SRCP	Criteria A B C D					
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		<b>5. Date of Survey:</b> November 12, 2020							



**Photo 7: Garage - south elevation.  
Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria	A B C D
<b>1. Name of property:</b>  Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	<b>2. Location:</b>  542 Camino del Monte Sol Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: Santa Fe ID #: H-742 – Supplement			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> November 12, 2020			



**Photo 8: Garage - interior. Altered west section (top);  
original east section (bottom).  
Camera facing up.**

30

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

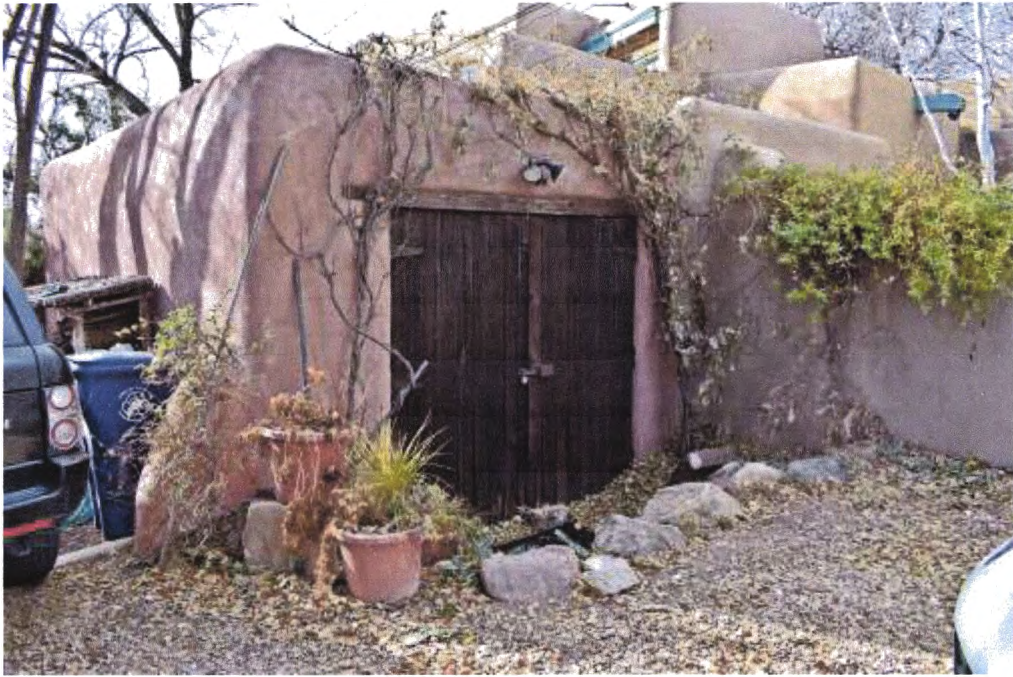
For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>	<b>2. Location:</b>	<b>3. Local Reference Number:</b>			
Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	542 Camino del Monte Sol Santa Fe: <i>Downtown and Eastside Historic District</i>	Santa Fe ID #: Santa Fe ID #: H-742 – Supplement			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> November 12, 2020			



**Photo 9: Coyote Fence.  
Camera facing southwest.**

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D		
<b>1. Name of property:</b>  Shuster House No. 1 Howard and Elizabeth Patterson House Garage and Street Wall	<b>2. Location:</b>  542 Camino del Monte Sol <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: H-742 – Supplement  <b>4. County: Santa Fe</b> Parcel #: 11117184
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 1 <input checked="" type="checkbox"/> Structures: wall and fence <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> November 12, 2020		
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: June 14, 1983; October 1992 <input type="checkbox"/> No:		
<b>8. Name of Project:</b> HDRB status review		
<b>9. Lat/Long:</b>  35.6754395,-105.925582		
<b>10. Photo Information:</b> Sharon Joyce, photographer. <span style="float: right;">View of east (front) façade, facing northwest.</span>		
<b>11. Brief Description of the Property:</b> <i>The following is a supplement to the October 1992 Historic Building Inventory covering only the main house.</i>  <b>Street Wall</b>  Set at the east edge of the property is a low stuccoed street wall. Approximately 75' in length, it varies in height from 4' to 5' above grade, with the tallest section at the south end (Photos 1 & 2). Its thickness is equally variable, shifting between 12" and 14" in width. The composition is unknown, but (based on its unevenness) it is likely adobe. No footing or foundation is visible.  <i>Continued on Page 5.</i>		
<b>12. Who uses the property?</b> Residence		
<b>13. Construction Date:</b> Unknown Date: pre-1958 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated <span style="float: right;">Source: aerial photographs</span>		
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input checked="" type="checkbox"/> Village <input type="checkbox"/> Urban <span style="float: right;">If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public</span>		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

RECEIVED

DEC. 16 2020

BY: \_\_\_\_\_

**HCPI Base Form (FORM 1)**

*(Continued from other side)*

**16. Additional Perspective:** (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor

**17. Surveyor:**  
(your name, address, telephone number, and any group affiliation)

John W. Murphey  
Architectural Historian  
Architectural History Services  
505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)  
w/ Sharon Joyce

For: Laura L. Chock

**18. Owner (if known) and other knowledgeable people:**

Owner: Laura L. Chock

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
See Historical Overview.

**22. National or State Register:**

Is this property individually listed on a historic register?  Unknown  No  Yes  
If yes:  State  National  
If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
Why? See Evaluation of Historical Status.

**23. National or State Historic District: City of Santa Fe**

Is this property in a historic district?  Unknown  No  Yes  
If yes:  Significant  Contributing  Non-contributing: Garage  
 No Status: Street Wall  
If 'yes', what is the name of the district?  State  National  City of Santa:  
Downtown and Eastside Historic District

**Recommend Street Wall,  
Contributing;  
Garage, Noncontributing to  
Downtown Eastside Historic  
District, December 11, 2020**

**24. Supplemental Forms:**

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																							
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		<b>5. Date of Survey:</b> November 12, 2020																							
<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																									
<b>6. Visible Construction Material: Garage</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:				<b>7. Number of Stories:</b> <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2    Other:																					
				<b>8. Foundation:</b> <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: secondary treatment Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes																					
				<b>9. Roof:</b> <input type="checkbox"/> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed    Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																					
<b>10. Windows</b> <input checked="" type="checkbox"/> N/A  <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 25%;">Operation</th> <th style="width: 25%;">Material</th> <th style="width: 25%;">Glazing</th> <th style="width: 25%;">Number</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		Operation	Material	Glazing	Number					<b>11. Doors</b> <input type="checkbox"/> N/A  <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 25%;">Type</th> <th style="width: 25%;">Style</th> <th style="width: 25%;">Material</th> <th style="width: 25%;">Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Glass</td> <td>Wood/Glass</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Double</td> <td>Swinging (garage)</td> <td>Wood</td> <td style="text-align: center;">1</td> </tr> </tbody> </table>				Type	Style	Material	Number	Single-Leaf	Glass	Wood/Glass	1	Double	Swinging (garage)	Wood	1
Operation	Material	Glazing	Number																						
Type	Style	Material	Number																						
Single-Leaf	Glass	Wood/Glass	1																						
Double	Swinging (garage)	Wood	1																						
<b>12. Chimneys</b> <input checked="" type="checkbox"/> N/A		<b>13. Porches</b> <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input checked="" type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																							
<b>14. Other Significant Features</b> N/A																									
<b>15. Modifications:</b> <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications  <u>#1 Street Wall: Date- Post-1984, change of wood entry gate; period photograph</u> <u>#2 Garage: Date- Post-1978, demolition or reconstruction of north half; aerial photographs, plat, and visible evidence</u> <u>#3 Garage: Date- Recent, change of west elevation door and replacement and/or alteration of overhang; visible evidence</u>																									

**16. Primary Architectural Style**  Not Applicable

- |  |   |  |   |  |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo           | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman          | <input type="checkbox"/> International  | <input type="checkbox"/> Neo-Classical   | <input type="checkbox"/> Queen Anne       | <input type="checkbox"/> Territorial                       |
| <input type="checkbox"/> Colonial Revival            | <input type="checkbox"/> Italianate     | <input type="checkbox"/> Northern NM     | <input type="checkbox"/> Ranch            | <input type="checkbox"/> Territorial Revival               |
| <input type="checkbox"/> Folk Victorian              | <input type="checkbox"/> Mediterranean  | <input type="checkbox"/> Prairie         | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival                     |

Notes: Other: Vernacular

**17. Documents Available and Their Locations**

New Mexico Historic Preservation Division  
 407 Galisteo Street, Suite 236  
 Santa Fe, NM 87501  
 (505) 827-6320

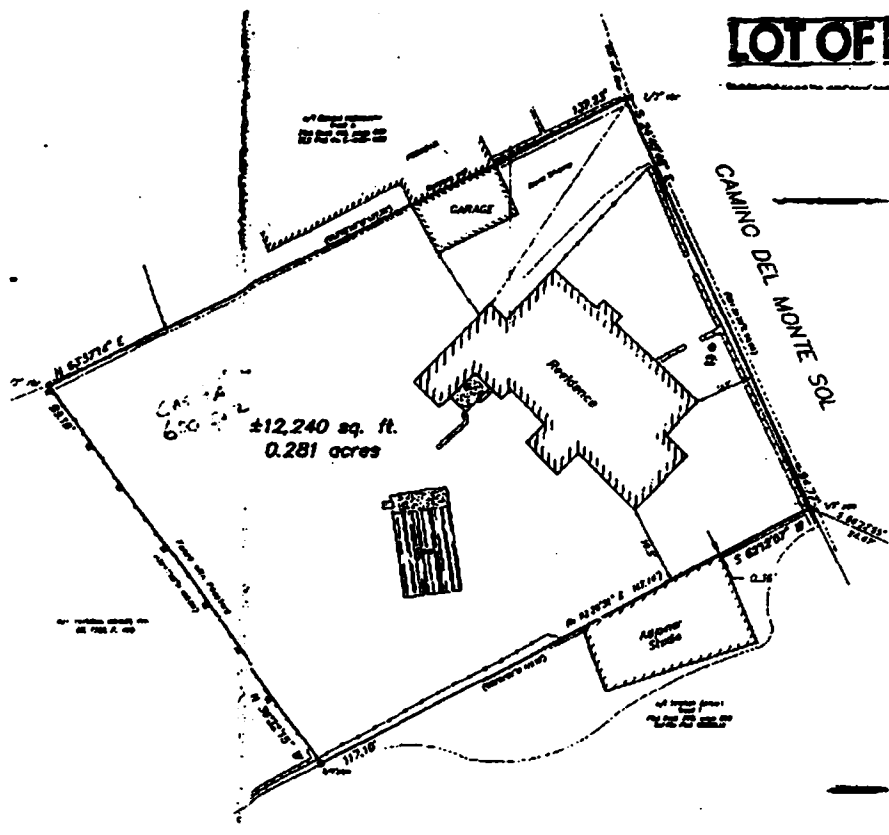
Historic Preservation Division  
 Land Use Department  
 City of Santa Fe  
 200 Lincoln Avenue  
 Santa Fe, NM 87504  
 (505) 955-6605

**SITE:**

**18. Attached or Associated Properties**

Are associated properties eligible for listing: N/A

**19. Site Plan: Portion 2005 survey plat. Courtesy Sierra Land Survey**



K I N S E Y      A R C H I T E C T U R E

3600 Cerrillos Road #205      Santa Fe, NM 87507

phone 505 469-5396

December 7, 2020

City of Santa Fe  
Historic Preservation Section  
200 Lincoln Ave.  
Santa Fe, NM 87504-0909

**APPLICATION LETTER**  
**RE: 542 Camino del Monte Sol**  
**STATUS REVIEW**

Daniel Schwab,

There are NO changes proposed to the existing Spanish-Pueblo Revival style home that dates from prior to 1928 and is located in the Downtown & Eastside historic district and is designated as Significant. Nor are any changes proposed to the existing Studio building.

This request is for Status Review and Primary Façade Designation for the front stucco yard wall & gate, side yard coyote fence & gate, and the existing garage. There is no change in the building area or building footprint.

Sincerely,

Carlos Kinsey  
Kinsey Architecture  
info@kinseyarchitecture.com  
3600 Cerrillos Road, #205  
Santa Fe, NM 87507  
Ph. (505) 469-5396

DEC 7 2020

542 CAMINO DEL MONTE SOL



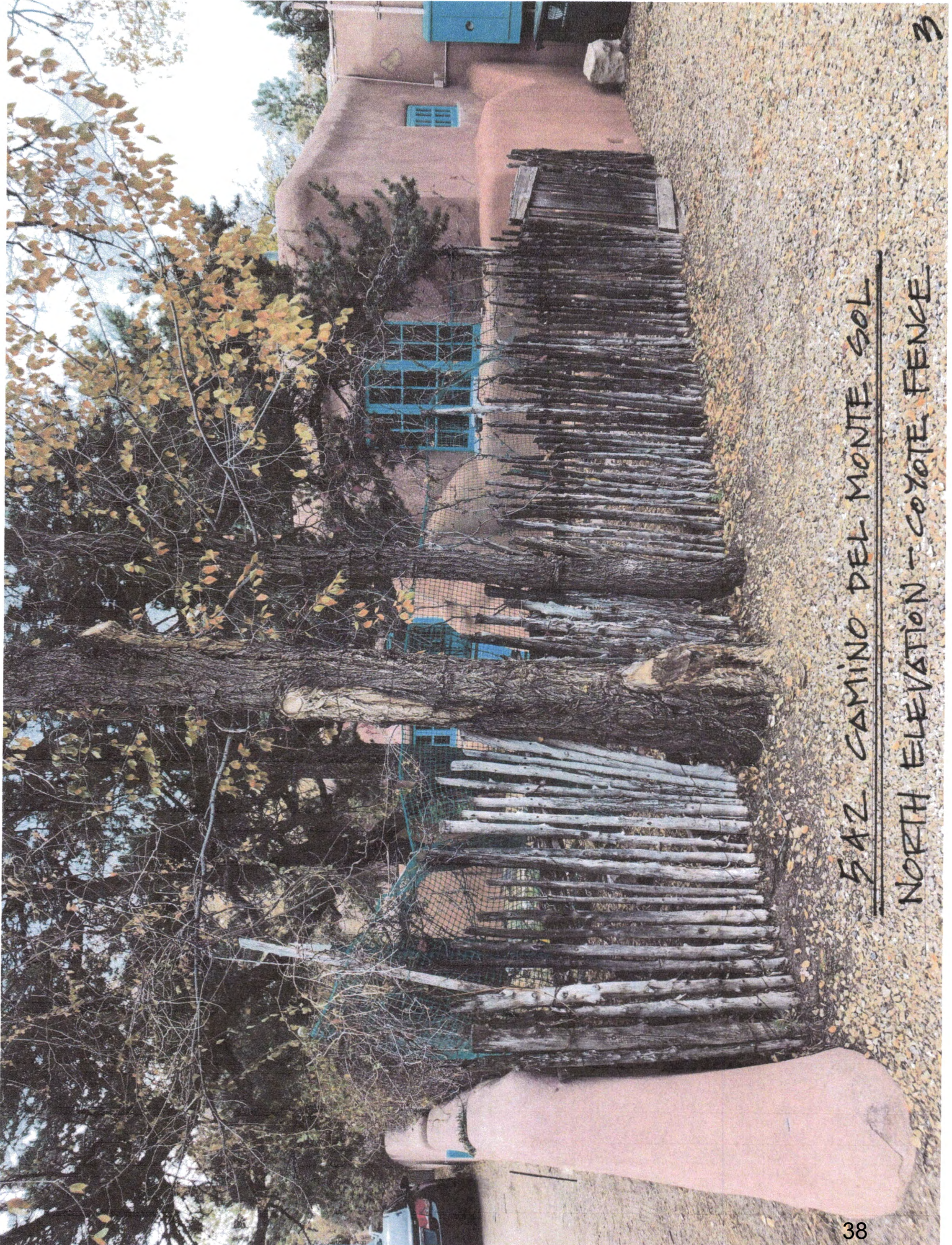
EAST ELEVATION  
(STREET FRONT ELEV.)

74% CAMINO DEL MONTE SOL



EAST ELEVATION - FRONT GATE

2

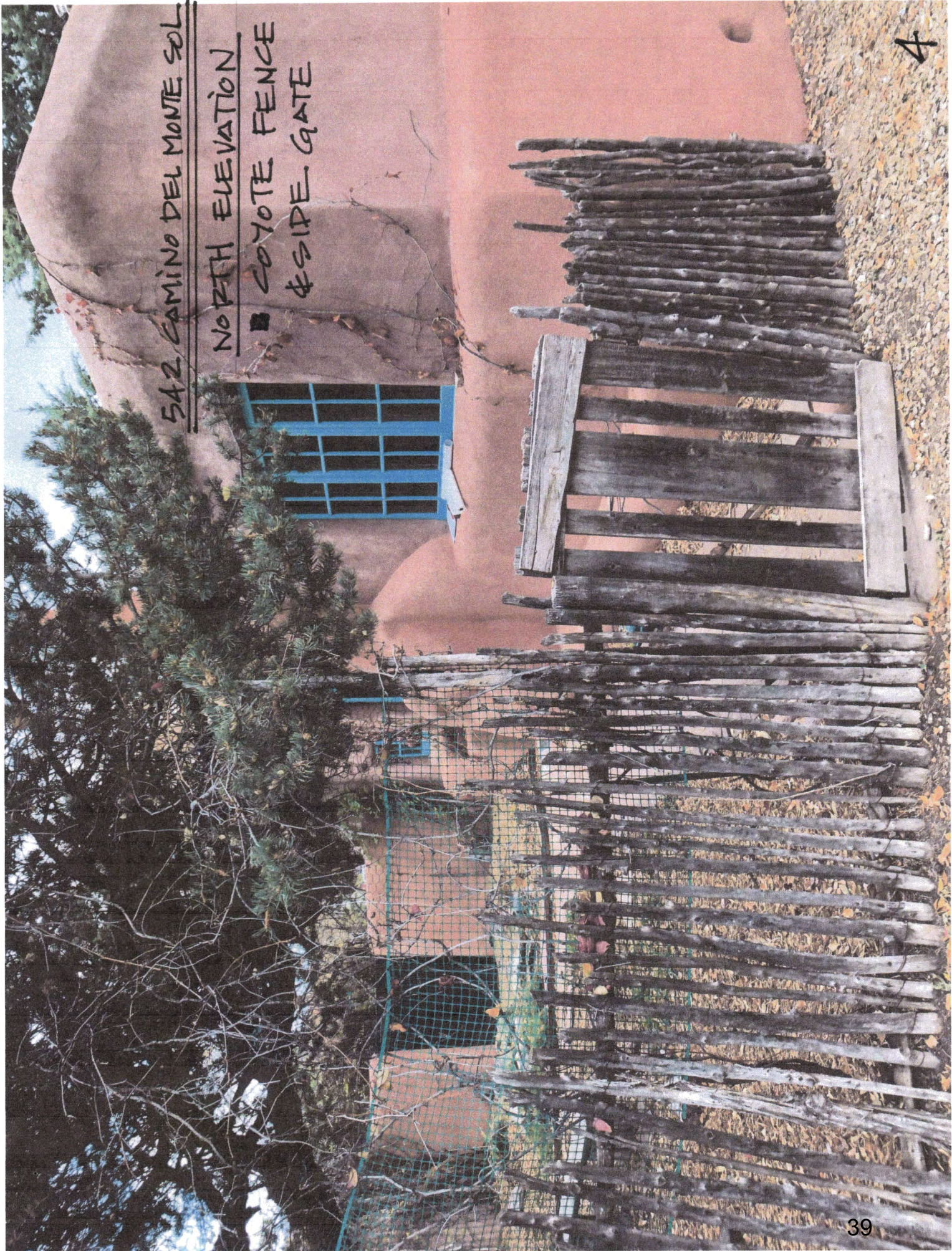


SAZ CAMINO DEL MONTE SOL  
NORTH ELEVATION - COYOTE FENCE

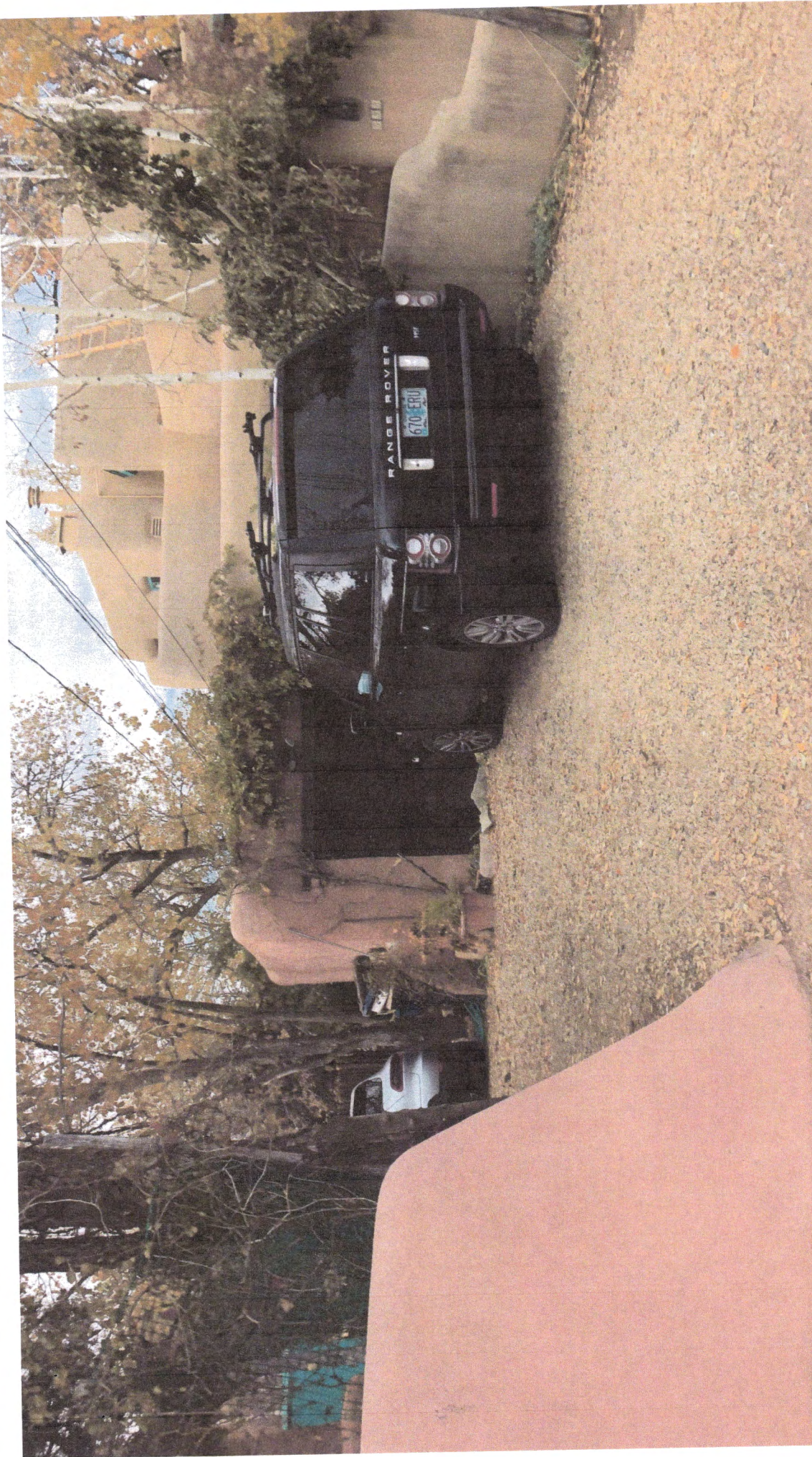
542 CAMINO DEL MONTE SOL

NORTH ELEVATION

■ COYOTE FENCE  
& SIDE GATE



4



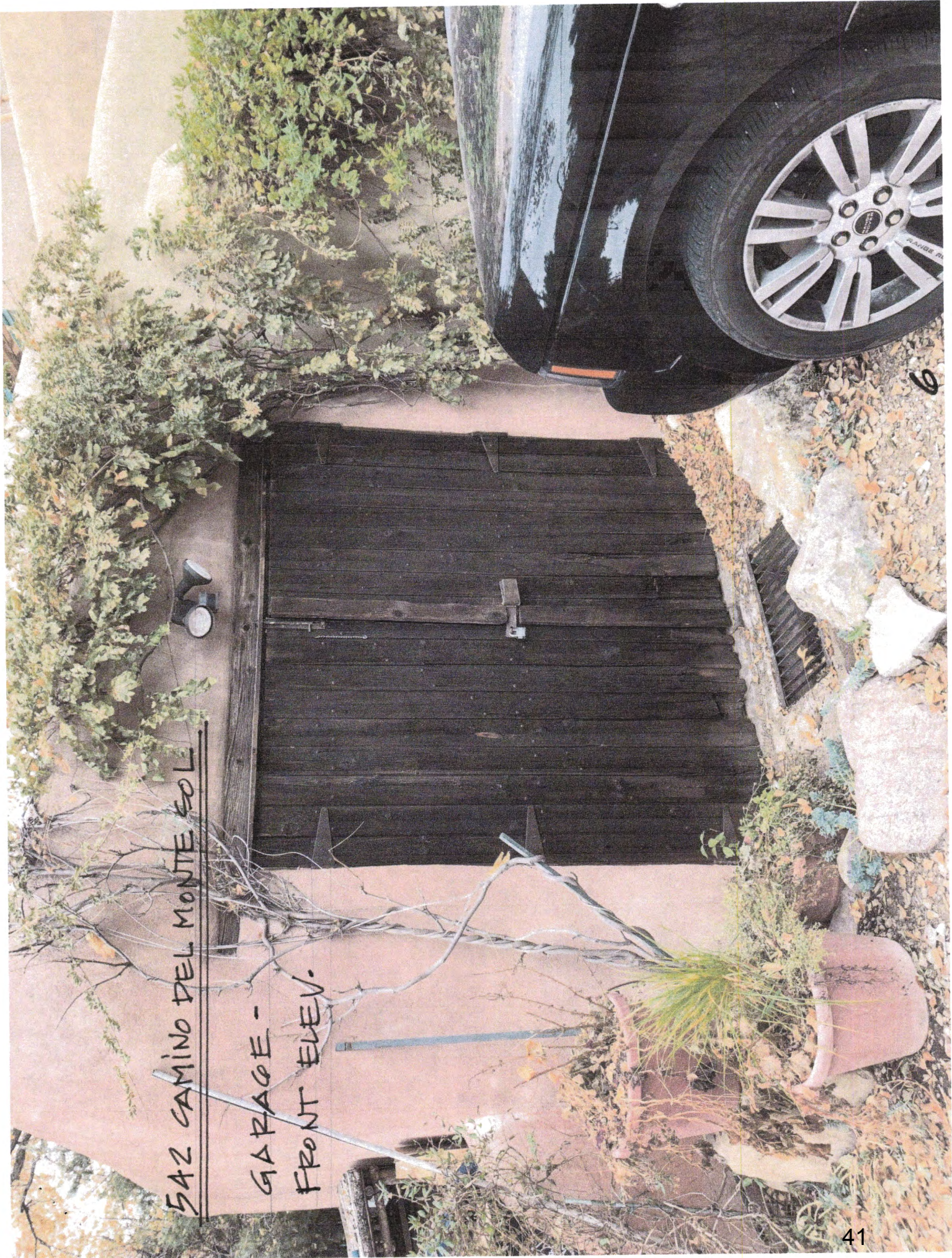
542 CAMINO DEL MONTE SOL

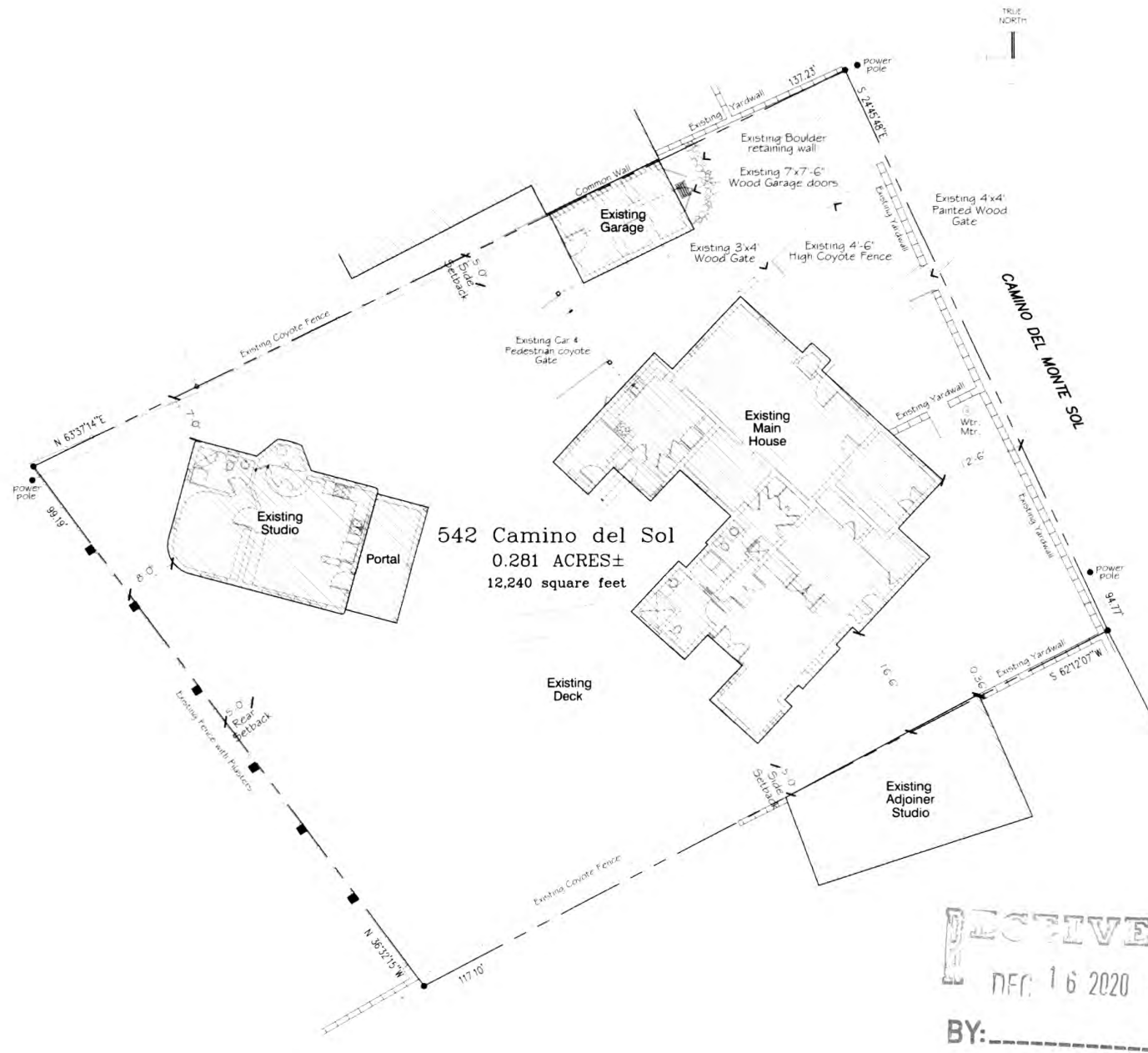
GARAGE STREET VIEW

5

542 CAMINO DEL MONTE SOL

GARAGE -  
FRONT ELEV.





1 SITE PLAN - EXISTING

From "Boundary Survey Plat for Frank W. Clifford and Barbara C. Anderson" 542 Camino del Monte Sol, City of Santa Fe, Santa Fe County, New Mexico projected Section 30, T.17 N., R.10 E., N.M.P.M. as shown on Plat of Survey filed in the Office of the Santa Fe County Clerk, on April 19, 2005, in Plat Book 585, Page 026, as Document No. 1376,185.



Vicinity Map  
City of Santa Fe N.T.S.

Index to Drawings:

- C-1 SITE PLAN - EXISTING
- A-1 FLOOR PLAN - EXISTING
- A-2 EXTERIOR ELEVATIONS - EXISTING

Code Information:

Occupancy: Single Family Dwelling  
5B Construction

Note: Project shall comply with the 2009 IRC as amended by the state of New Mexico construction industries division referred to as the 2009 New Mexico Residential Building Code

Project shall comply with the new: Residential Green Code for "Remodeling of Functional Areas and Small Additions" - Chapter 12 -

Historic District:

Downtown and Eastside Significant - Main House  
Verify status on HCPI - Garage  
Verify status on HCPI - Yardwalls

Zoning:

Zoned RC-8  
City of Santa Fe  
Santa Fe, NM.

12,240 sq.ft. (0.281 acres)

Existing Lot Coverage: 24% (No Change)  
Existing Heated Area: 2,741 (No Change)  
Existing Roofed Area: 2,888 (No Change)

Max. Allowable Height: No Change

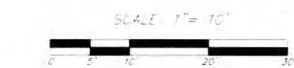
Front Setbacks: 0'-0" with yardwall (or 7'-0" without)  
Rear Setbacks: 5'-0" with yardwall (or 15'-0" without)

Side Setbacks: 5'-0"

Yardwall allowable Height: 4'-6" high (Determined by Historic Review Board)

NO CHANGE IN BUILDING FOOTPRINT !!!

NO CHANGE IN BUILDING AREA !!!



**KINSEY**  
ARCHITECTURE + CONSTRUCTION  
3600 Cerrillos Road, Unit 205  
Santa Fe, NM 87507  
505.469.5396

REMODEL for  
**CHOCK RESIDENCE**  
542 Camino del Monte Sol  
Santa Fe, NM 87501

REMODEL

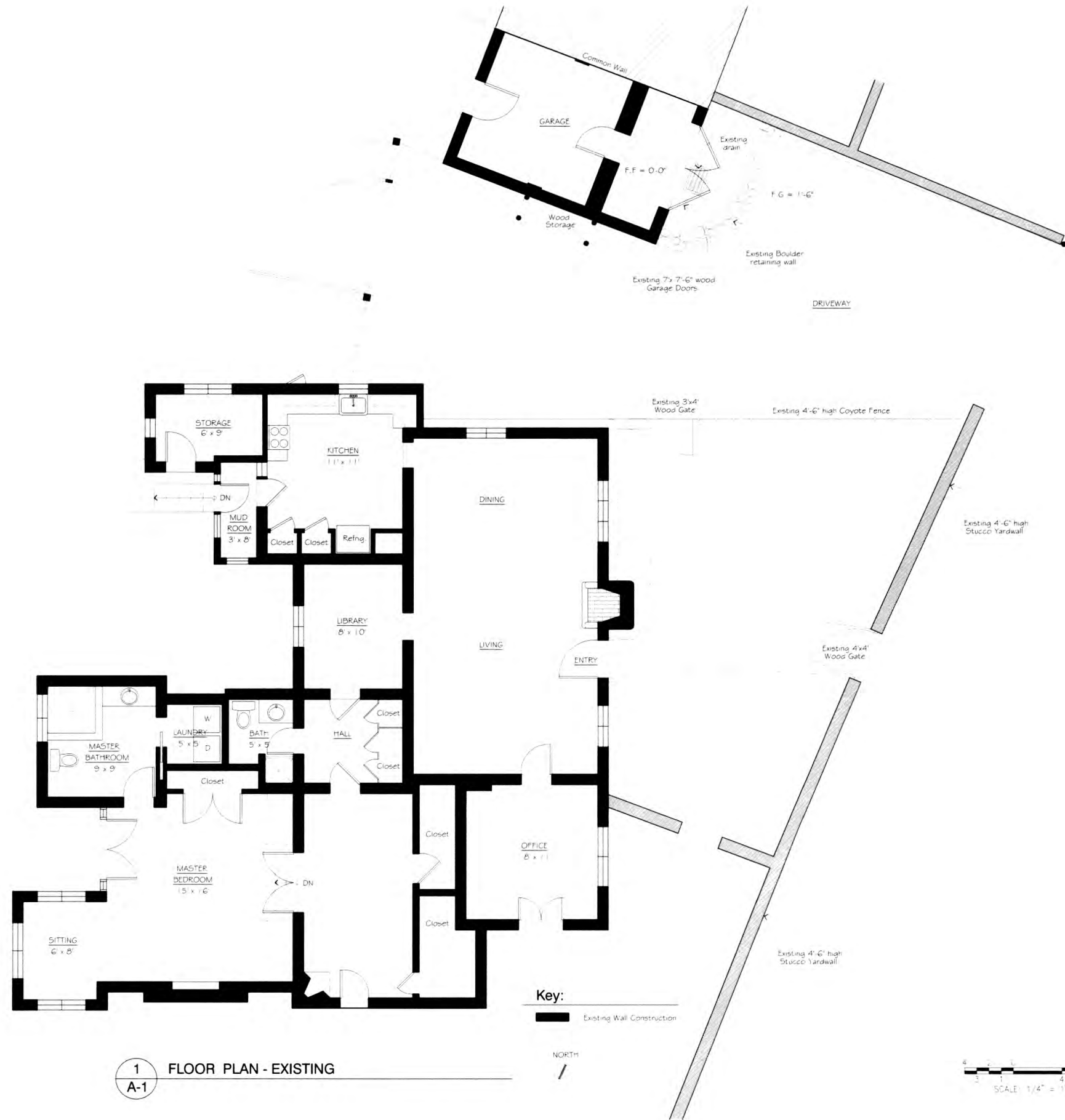
Date: DEC. 4, 2020

Revised:

Drawn by: CK  
Checked by: CK

Sheet Title  
**EXISTING SITE PLAN**  
Scale:  
1:10

Sheet No.  
**C-1**



1 FLOOR PLAN - EXISTING  
A-1

Key:  
Existing Wall Construction

NORTH  
/

SCALE: 1/4" = 1'-0"



**KINSEY**  
ARCHITECTURE + CONSTRUCTION  
3600 Carrillos Road, Unit 205  
Santa Fe, NM, 87507  
505.468.5396

REMODEL for  
**CHOCK RESIDENCE**  
542 Camino del Monte Sol  
Santa Fe, NM 87501

**REMODEL**

Date: DEC. 4, 2020

Revised:

Drawn by: CK  
Checked by: CP

Sheet Title:  
**EXISTING FLOOR PLAN**  
Scale:  
1/4" = 1'-0"

Sheet No:

**A-1**



**KINSEY**  
 ARCHITECTURE + CONSTRUCTION  
 3600 Cerrillos Road, Unit 205  
 Santa Fe, NM 87507  
 505.469.5396

REMODEL for  
**CHOCK RESIDENCE**  
 Santa Fe, NM 87501  
 542 Camino del Monte Sol

**REMODEL**

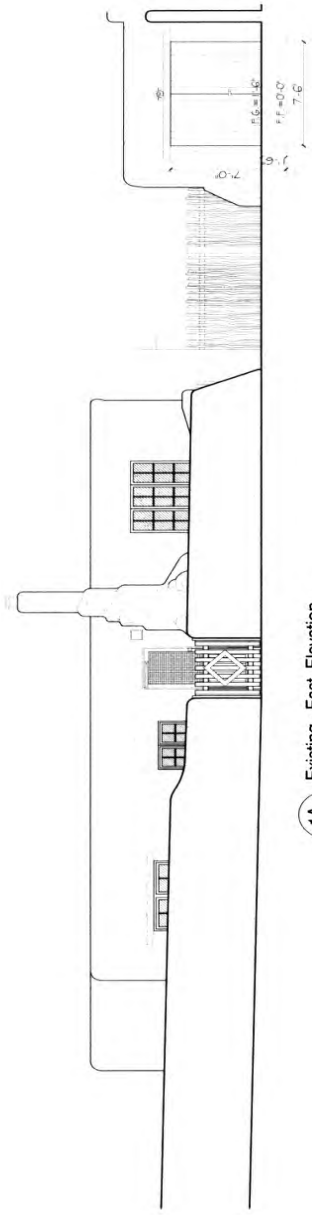
Date: DEC. 4, 2020

Revised:

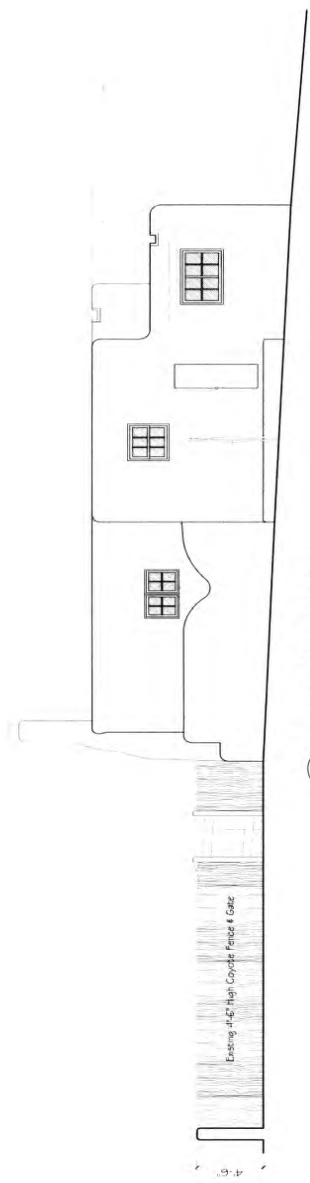
Drawn by: CK  
 Checked by: CK

Sheet Title:  
**EXISTING EXTERIOR ELEVATIONS**  
 Scale:  
 1/4" = 1'-0"

Sheet No.  
**A-2**



1A Existing - East Elevation  
 (Front Elevation)



2A Existing - North Elevation  
 (Side Elevation)





# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** Spears Horn Architects, agent for Cathy Campbell, owner, proposes to remove a non-historic carport and construct a detached 734 sq ft casita and garage, and construction of a 6 ft rear yard wall on a contributing property.

Case number: **2020-002947-HDRB**  
Project Type: **HDRB**

**PROJECT LOCATION (S):** **463 Camino don Miguel**

OW – Cathy Campbell 463 Camino don Miguel, Santa Fe, NM 87501 [Campbell.Cathy3@gmail.com](mailto:Campbell.Cathy3@gmail.com)

AP -- Spears Horn Architects 1334 Pacheco Street, Santa Fe, NM 87505 [jhorn@spearshorn.com](mailto:jhorn@spearshorn.com)

### PROJECT DATA:

#### HISTORIC DISTRICT

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

#### HISTORIC BUILDING STATUS

Non-Statused  Non-Contributing  *HOUSE* Contributing  Significant  Landmark  N/A

#### PRIMARY ELEVATIONS:

North  South  West  East  N/A

#### PUBLICLY VISIBLE FACADE-EAST

Yes  No

#### PUBLICLY VISIBLE FACADE-NORTH

Yes  No

#### PUBLICLY VISIBLE FACADE-SOUTH

Yes  No

#### PUBLICLY VISIBLE FACADE-WEST

Yes  No

#### HISTORIC DISTRICT INVENTORY NUMBER

H

#### YEAR OF CONSTRUCTION

\_\_\_\_\_

#### PROJECT TYPE

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

#### USE, EXISTING

Residential  Non-Residential  Vacant

#### USE, PROPOSED

Residential  Non-Residential

#### HISTORIC BUILDING NAME

NA

# City of Santa Fe, New Mexico

# memo

**DATE:** January 12, 2021  
**TO:** Historic Districts Review Board Members  
**FROM:** Angela Schackel Bordegaray, Senior Planner \*←13  
Historic Preservation Division

---

**Case # 2020-002947-HDRB**

**Address: 463 Camino Don Miguel**  
**Historic Status: Contributing**  
**Historic District: Downtown & Eastside**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

- District Standards & yard wall & fence standards.
- Historic Inventory Form -
- Zoning Review Sheet
- Other: Previous Cases H-91-41, H-15-074

**APPLICANT SUBMITTALS**

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: Aerial Photos – 1966, 1973, 1980  
Stucco, window trim colors, sample pavement

**STAFF RECOMMENDATION:**

Staff finds that the application complies with 14-3.14 Demolition of Historic or Landmark Structure. Staff finds the application complies with 14-5.2(D) General Design Standards for All H Districts and 14-5.2(E) Downtown and Eastside Design Standards.

## **BACKGROUND & SUMMARY:**

463 Camino Don Miguel is a 1,730 square foot contributing Territorial Revival style residence located in the Downtown and Eastside Historic District. Approximately 175 square feet of the footprint is comprised of three portales. The residence was originally constructed between 1935 and 1945. It features an attached garage that has since been converted to living space.

Also located on the property is a freestanding 470 square foot carport. The carport was constructed after 1980, which is evidenced by the 1980 NM Dept of Transportation aerial photo provided in the packet. The residence is listed as Contributing to the Downtown and Eastside Historic District. Its west façade was designated primary by the HDRB in a previous case in 2015 (H-15-074).

The applicant proposes the following changes and additions:

1. Remove existing non-historic carport;
2. Construct a new 734 square foot casita and 72 square feet of portal and garage on the northwest portion of the lot. The casita style and trim details and color will match the main house, painted Benjamin Moore "Super White". The casita will have a portal with dental coping to match main house. The casita will be constructed to a height of 14', where the maximum allowable height for structures in this streetscape, 14'. The casitas' stucco will match that of the main house, El Rey "Adobe."
3. Remove non-historic 6' garden wall and gate north of existing residence.
4. Remove adjacent asphalt drive.
5. Construct new garden wall to a height of 6' and reuse existing gate.
6. Add flagstone paving to the driveway.
7. Existing fence and wall at the street (west) will remain.
8. The applicant requests demolition of a non-historic structure. The standards for demolition in the historic district are presented below along with staff responses for 14-3.14(G)(1). 14-3.14(G)(2) provides the guidance for the Board's consideration.
  1. Carport structure is not of historical importance, being constructed post-1980. Staff Agrees.
  2. Carport structure exists on western street front but does not uniquely contribute to the identity of its surroundings aesthetically or historically. It will be replaced by the new casita, built in homogenous style to its surroundings, of which will contribute far more greatly to the owner, site, and street front than what currently exists. Staff agrees.
  3. State of carport structure is stable. Staff acknowledges.

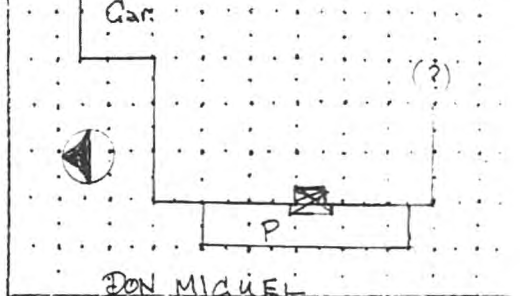
Date: 20-81-84 by [unclear] Santa Fe 051611537 H820  
 SFND-6-1537  
 lot reference: 12 13

location description:  
 463 DON MIGUEL

city/town: Santa Fe  
 land grant/reservation:

lot area: 19  
 lot size: 25

legal description: T1S R13E S11 sec. 13  
 map sheet: (3)



date of construction: 1935-45 estimate  
 source: BD

use: residential  
 present: residential  
 other:  
 historic: residential  
 other:

condition: excellent  good  fair  deteriorated

degree of remodeling: minor  moderate  major   
 describe:

style: Territorial Rev

foundation material: NV  
 wall material, surface: Adobe Stucco

**Architectural features:**  
 Roof - Flat. Wd fascia. 1 masonry chimney.  
 Window - dbl 3/1 white surround. Ped. lintel. Lug sill.  
 Door - Multi lite single leaf w storm. Storm door 1 lite w crossback below. White surround & ped. lintel.  
 Porch - Flat roof. 4x4 posts w 4x4 brackets. Wood fascia w dentil pattern over. Brick steps. Chimney swells out to base.

surroundings: Res  
 relation to surroundings: similar  not at all

historic potential: yes  no   
 significance: eligible  of  none   
 if eligible, interest:

any? CONTRAS. MARIONA CASE

measured buildings?  per what type?  
 if unmeasured, list 10 nos.  
 no. listed:  yes

December 2, 2020

Angela Bordegaray  
Historic Preservation  
City of Santa Fe  
200 West Marcy  
Santa Fe, NM 87501

Dear Angela,

Spears Horn Architects is proposing to build a new ± 734 square foot Casita with accompanying Garage at 463 Camino Don Miguel; located within the Downtown-Eastside Historic District of Santa Fe NM, on the northwest portion of the lot. The original residence was constructed between 1935 and 1945. Located on the property is a free standing ± 470 square foot Carport, constructed after 1980, as shown in NMDOT aerial photography.

Demolition requested to include removal of existing Carport to provide site of new Casita, removal of adjacent asphalt drive, and removal of wall + gate north of the existing residence. New construction consists of new Casita + Garage, new garden wall, new gate, and new flagstone paving.

**PER CODE SECTION 14-3.14 – CRITERIA FOR DEMOLITION OF HISTORIC / LANDMARK STRUCTURE:**

- 1) Carport structure is not of historical importance, being constructed post 1980.
- 2) Carport structure exists on western street front but does not uniquely contribute to the identity of its surroundings aesthetically or historically. It will be replaced by the new casita, built in homogenous style to its surroundings, of which will contribute far more greatly to the owner, site, and street front than what currently exists.
- 3) State of carport structure is stable (See attached structural review from City of Santa Fe).

Adhering to local residential zoning the new Casita is not to exceed 14' in height. It will use wood frame construction, and be stucco finished; color to match existing residence (El Rey "Adobe" will be used). Windows along western streetscape will be of painted wood and are to match the territorial pediment + dentils appearing on the existing residence. Windows along Southern and Eastern elevations of Casita to match style of existing residence and will also be of painted wood. New portal at Casita entrance to match territorial style of the existing residence, painted wood. New doors at Casita are to be of painted wood with lites, also to match territorial style of existing residence (Benjamin Moore "Super White" paint will be used in these applications). New flagstone paving at new portal and patio space. New roof w/ stucco + parapets to match back wall of residence; the intention being to blend styles in effort to create a homogenous relationship to the existing property and its surroundings.

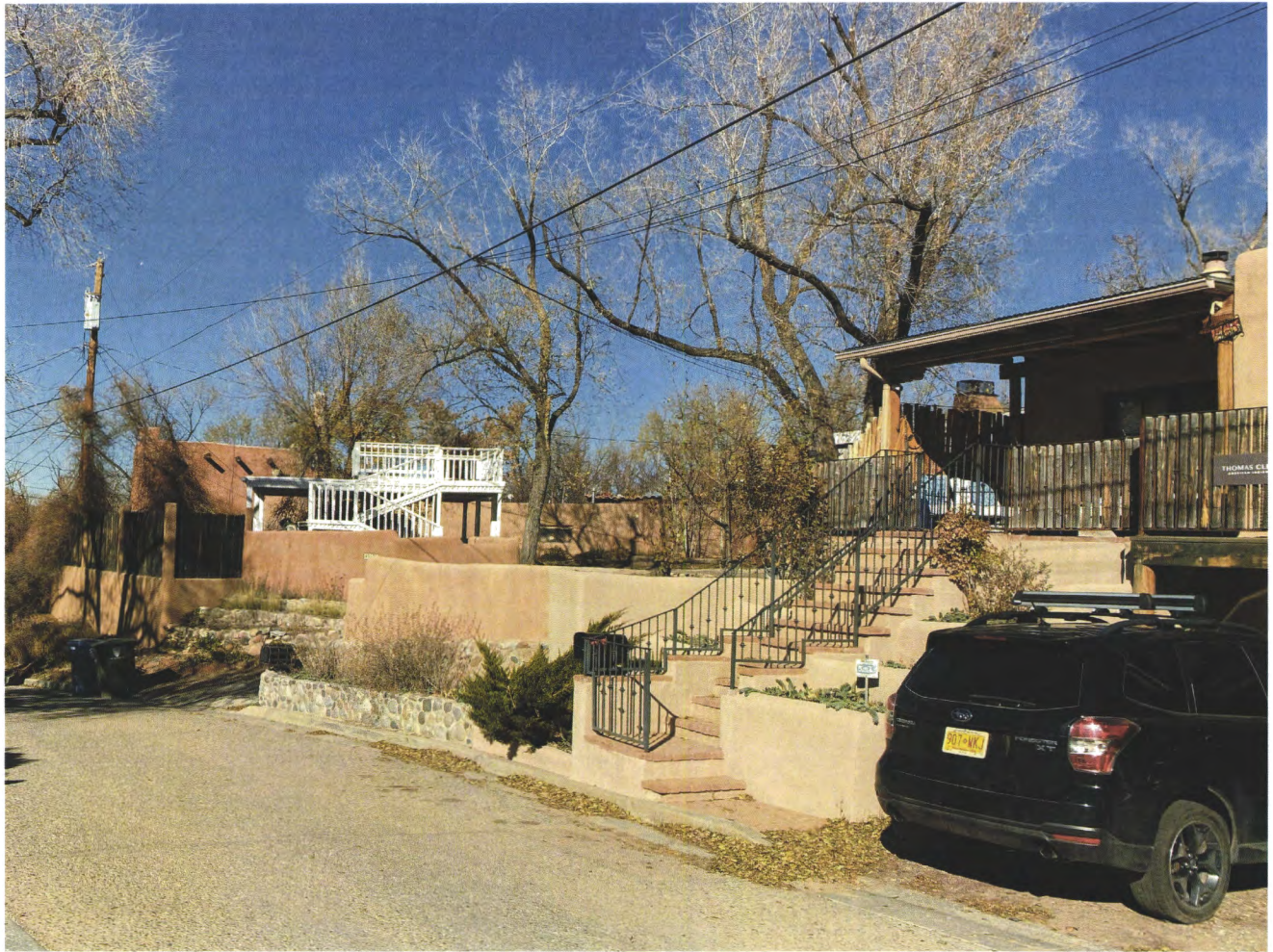
Minor landscaping work to be done along patio space north of existing residence. Remove existing 6' garden wall and gate + existing asphalt drive, extend patio space west to meet casita, pave with new flagstone, and new 6' garden wall + gate between casita and existing residence + 6'H coyote fence along northern wall of new Casita.

Thank you for your considered review of this proposal.

Sincerely,



Jacob Lovato – Architectural Intern



**WEST FACING STREET FRONT – From southern perspective**



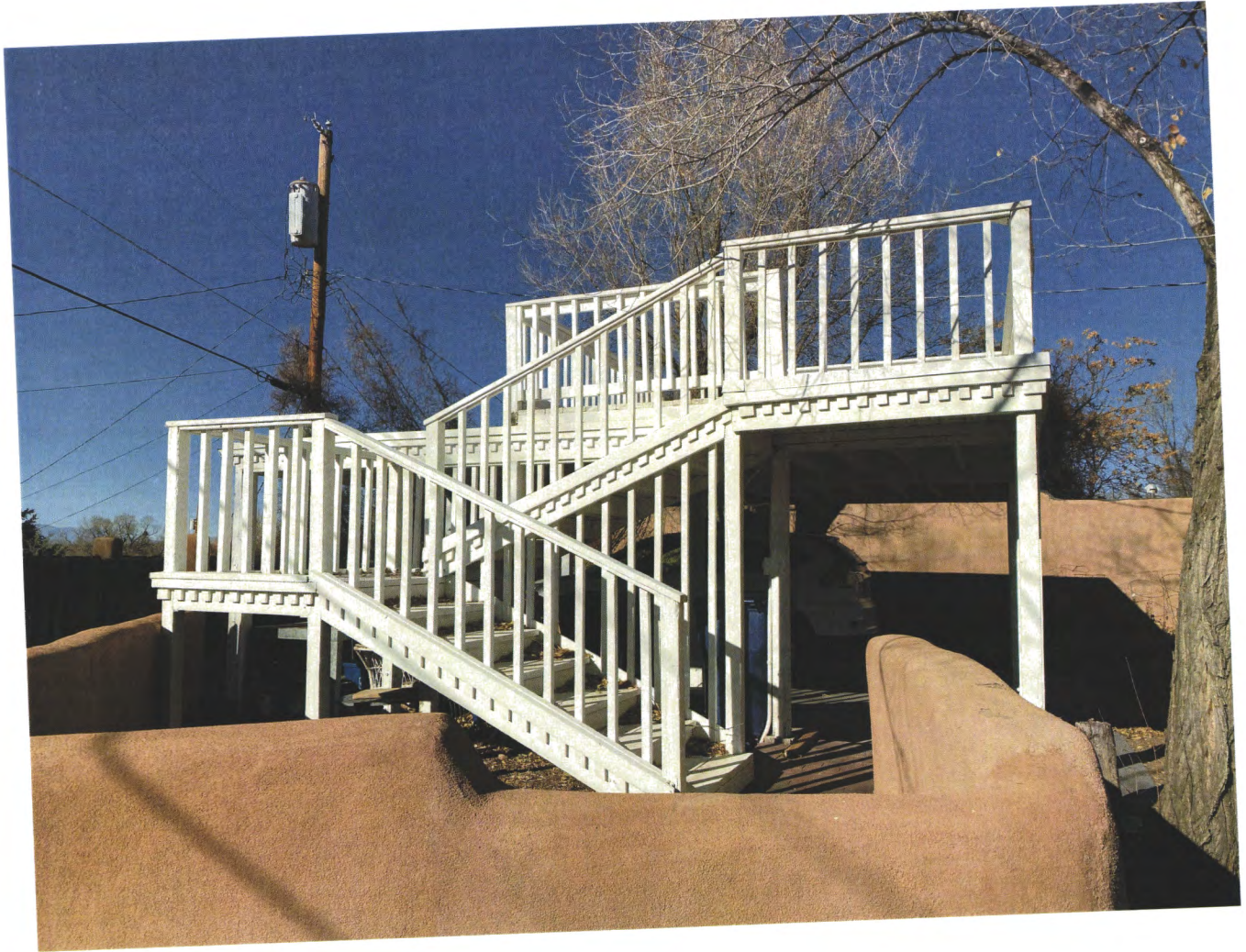
**WEST FACING STREET FRONT – From northern perspective**



**WEST FACING FAÇADE** – Existing Residence; “primary façade” as designated by HDRB.



**EXISTING CARPORT – (non-historical) To be removed - site of new casita**



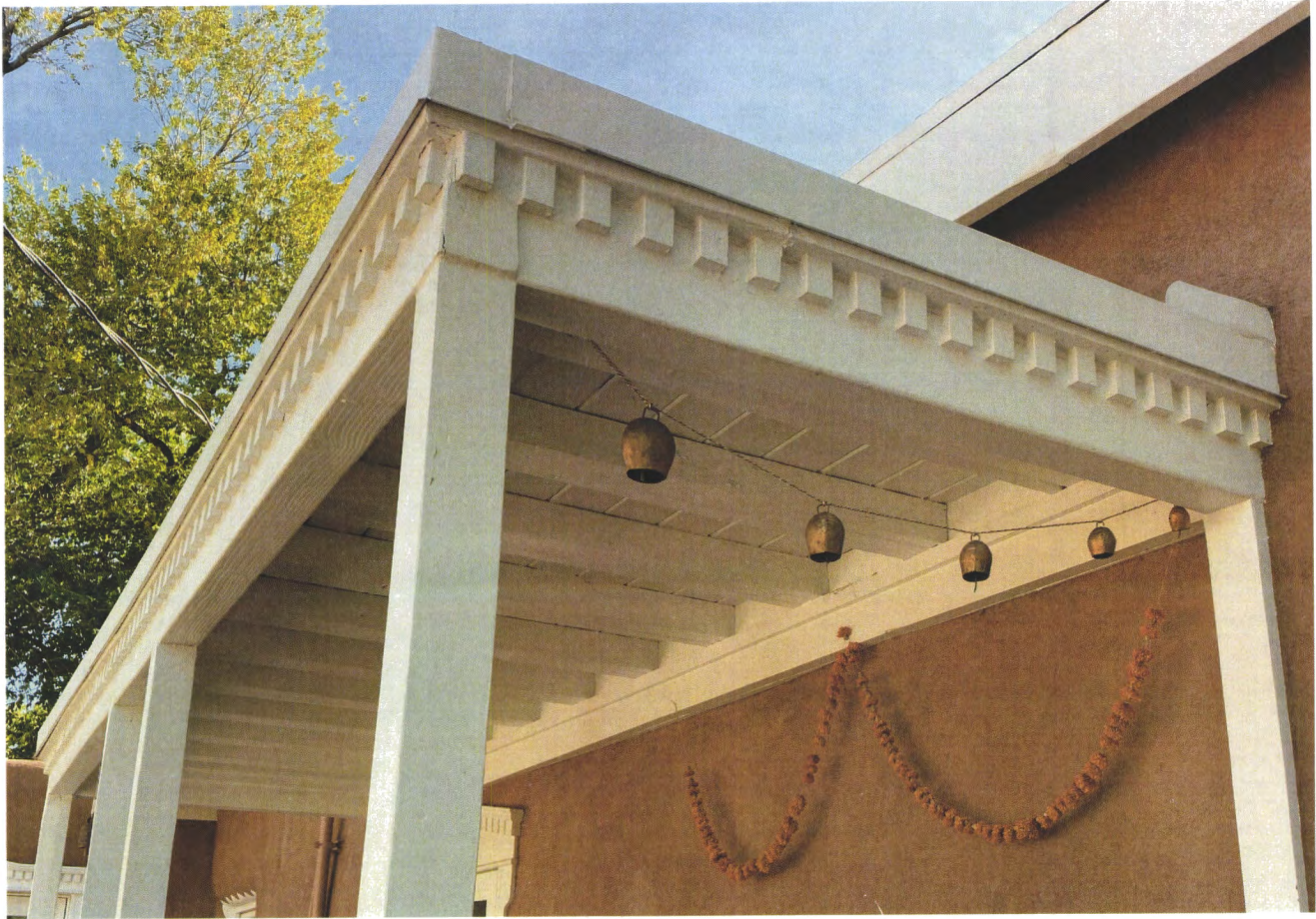
**EXISTING CARPORT – South facing**



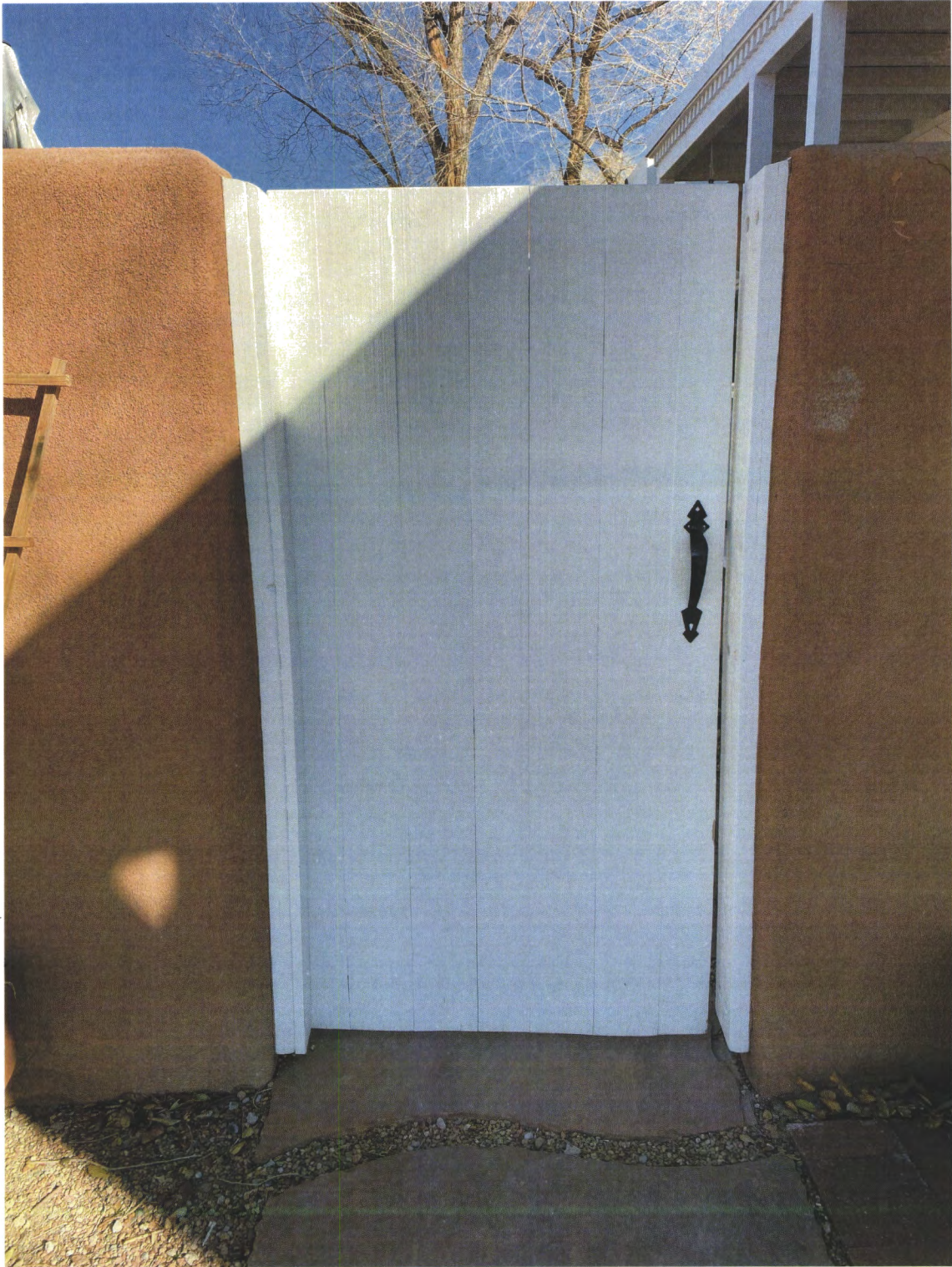
**EXISTING WINDOW @ EXISTING RESIDENCE** – New window along street front to match existing Territorial style; painted wood.



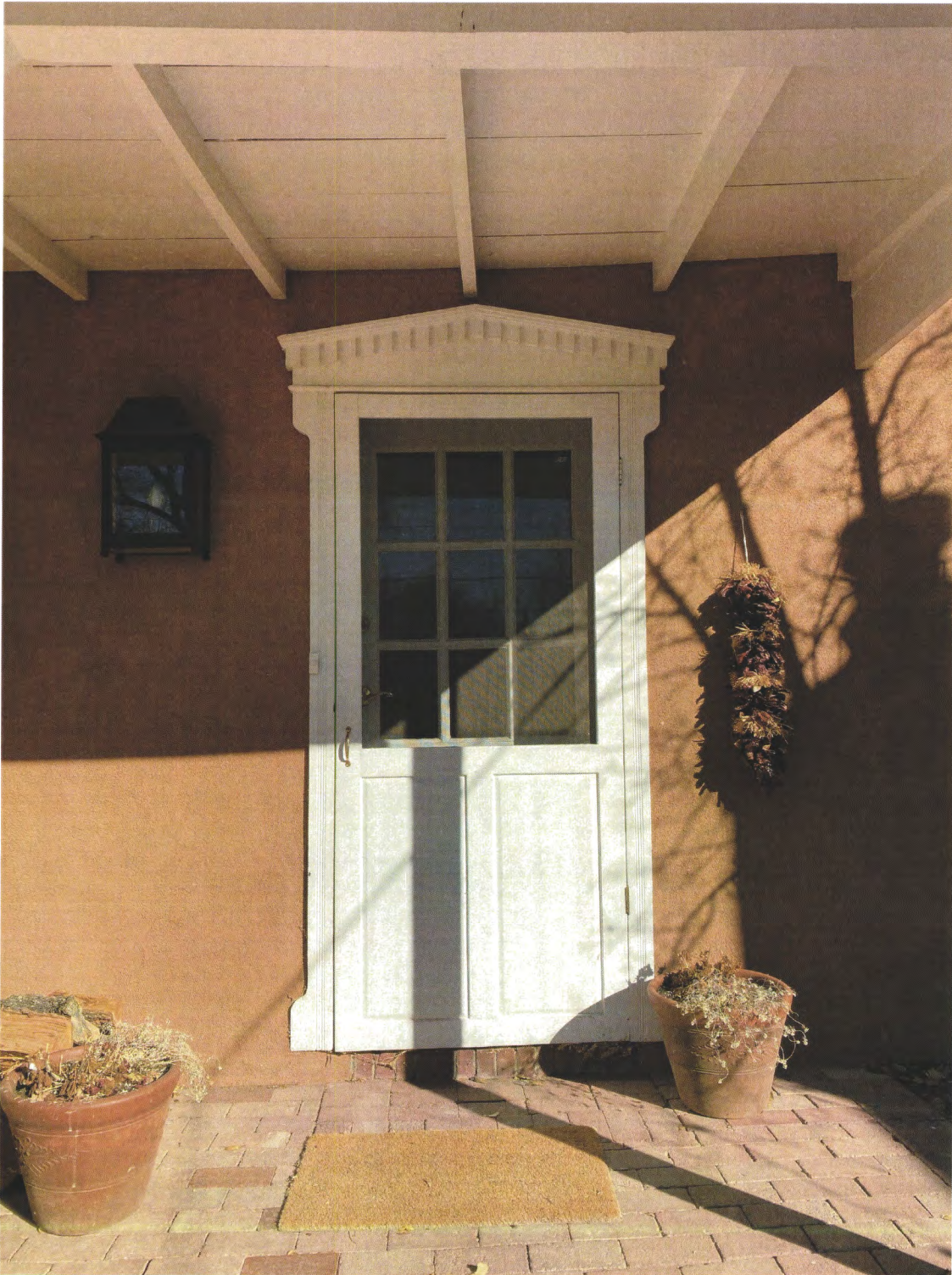
**EXISTING WINDOW @ EXISTING RESIDENCE** – New windows along southern and eastern Casita elevations to match; painted wood.



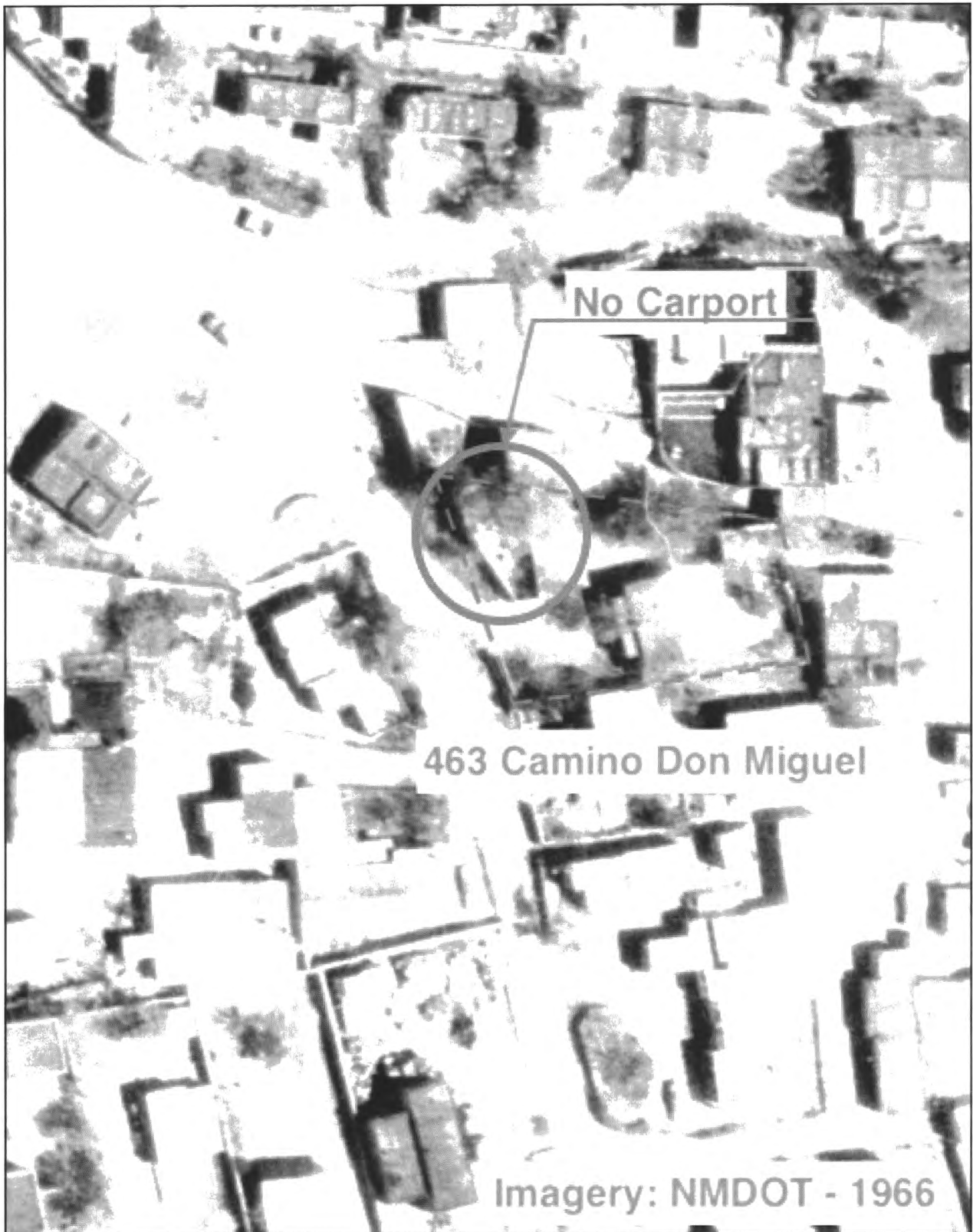
**EXISTING PORTAL @ EXISTING RESIDENCE** – New portal @ Casita to match Territorial style; painted wood.



**EXISTING GATE** – Gate to be removed / reused @ new patio wall



**EXISTING FRONT DOOR** – New door(s) @ casita to match territorial style; painted wood w/ lites



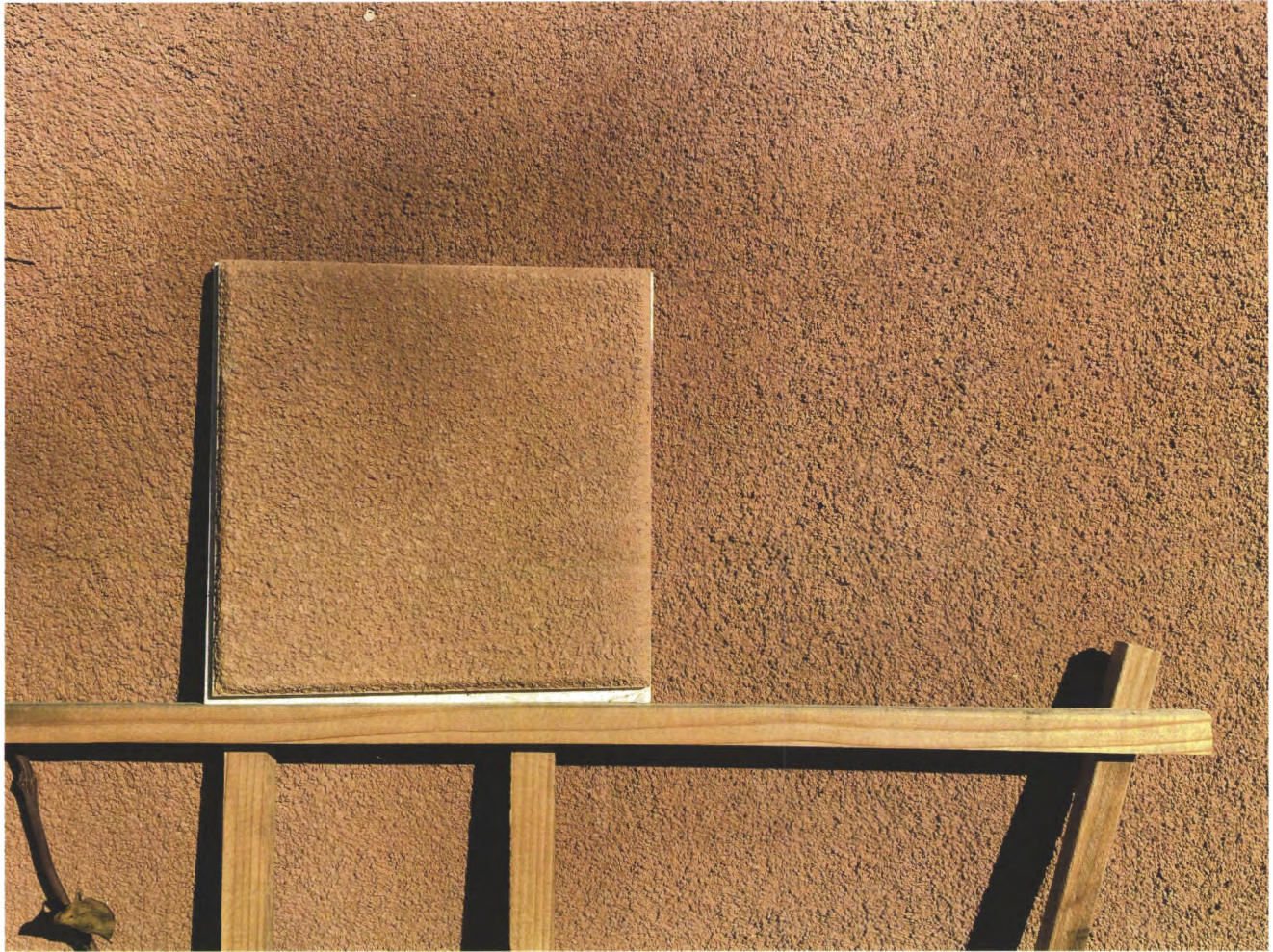
**NMDOT IMAGERY** – Carport is non-existent



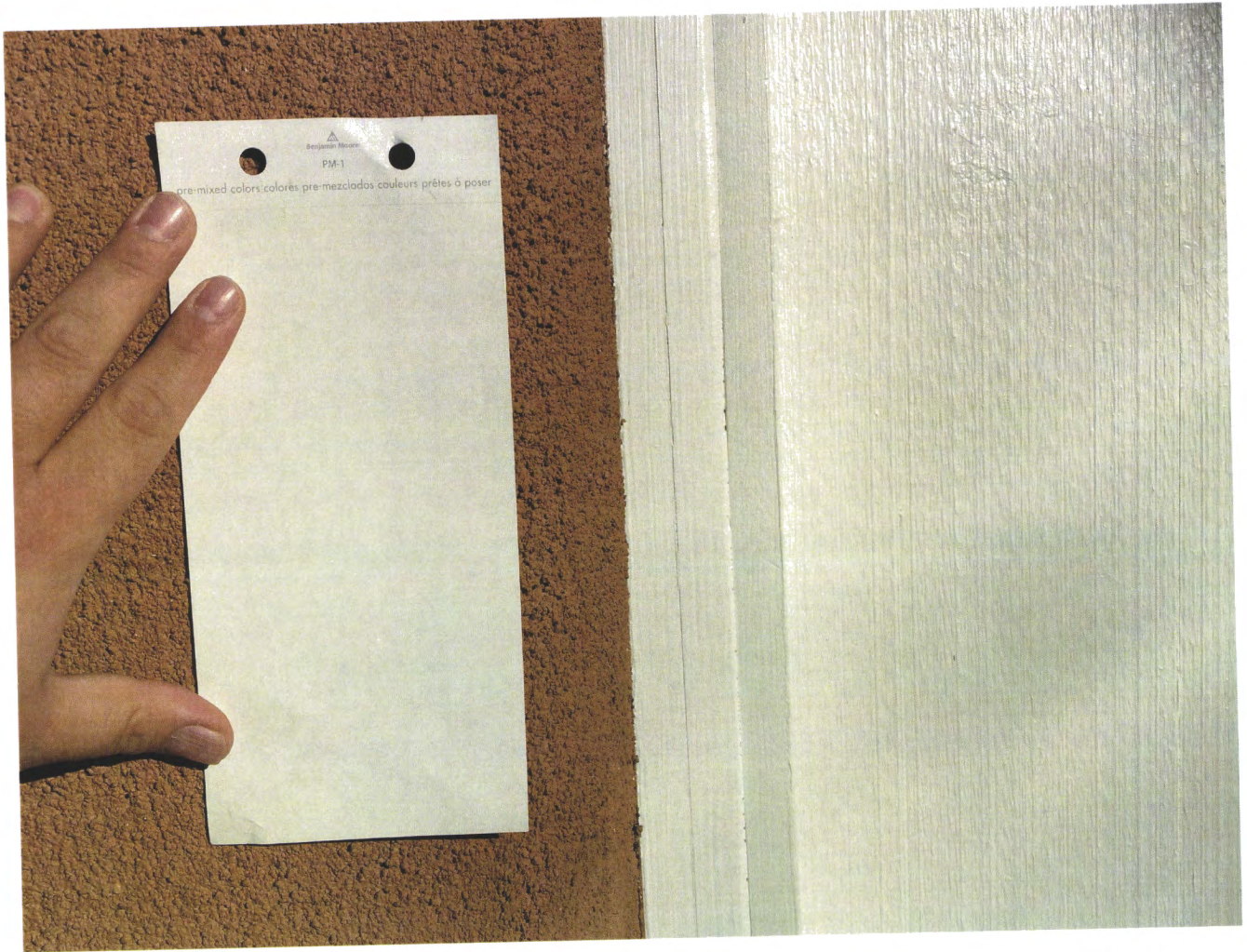
**NMDOT IMAGERY** – Carport is non-existent



**EXISTING FLAGSTONE PAVING** – Inside existing patio space



**MATERIAL STUDY** – El Rey “Adobe” pallet compared to existing stucco finish

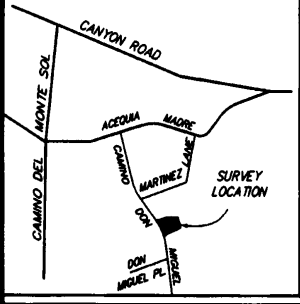


**MATERIAL STUDY** – Benjamin Moore “Super White” compared to existing paint. To be used @ proposed Casita windows, doors, and portals.

788018

PLAT OF BOUNDARY SURVEY FOR CATHERINE P. CAMPBELL

A TRACT LAND SITUATE AT 463 CAMINO DON MIGUEL, CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO.



LOCALITY MAP



SCALE: 1"=20'



LEGEND

- Legend items: Sewer manhole, Points found and used as noted, 1/2" Capped iron pin set this survey, Power poles, Fences, Walls, Concrete, Utility box.

NOTES

- Notes: 1. BASE OF BEARING: PLAT OF SURVEY FOR PATRICIA E. CORELLI... 2. THIS SURVEY IS BASED ON THE ABOVE MENTIONED PLAT... 3. NO CITY APPROVED PLAT OR PRE-CODE DEED WAS FOUND...

CERTIFICATE

I, Philip B. Wiegell, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey...

I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act...

Signature of Philip B. Wiegell

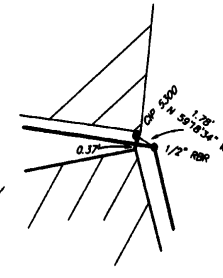
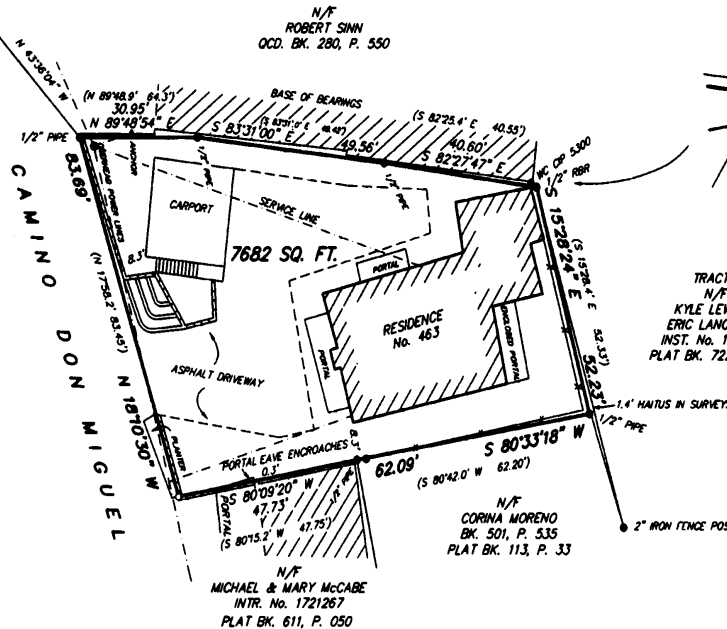
Philip B. Wiegell, P.O. Box 22773

DATE OF FIELD WORK: 25 November, 2014

P.S. No. 9758, Santa Fe, NM.



SEWER MANHOLE No. WSD11-8



TRACT 1 N/F KYLE LEWIS & ERIC LANCASTER INST. No. 1649259 PLAT BK. 722, P. 030

INSTRUMENT No. 1765879

COUNTY OF SANTA FE STATE OF NEW MEXICO I hereby certify that this instrument was filed for record on the 25th day of November, A.D. 2014 at 12:12 o'clock P.M. and was duly recorded in Book 788, Page 12 of the records of Santa Fe County.

Witness My Hand and Seal of Office GERALDINE SALAZAR County Clerk, Santa Fe County, New Mexico

Signature of Geraldine Salazar, Deputy

PUBLIC NOTICE CITY OF SANTA FE STAFF HAS NOT REVIEWED THIS DOCUMENT PRIOR TO RECORDATION. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR BUILDING PERMIT AND MAY REQUIRE ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD. VERIFICATION OF LEGAL LOT OF RECORD IS THE SOLE RESPONSIBILITY OF THE PURCHASER/OWNER.

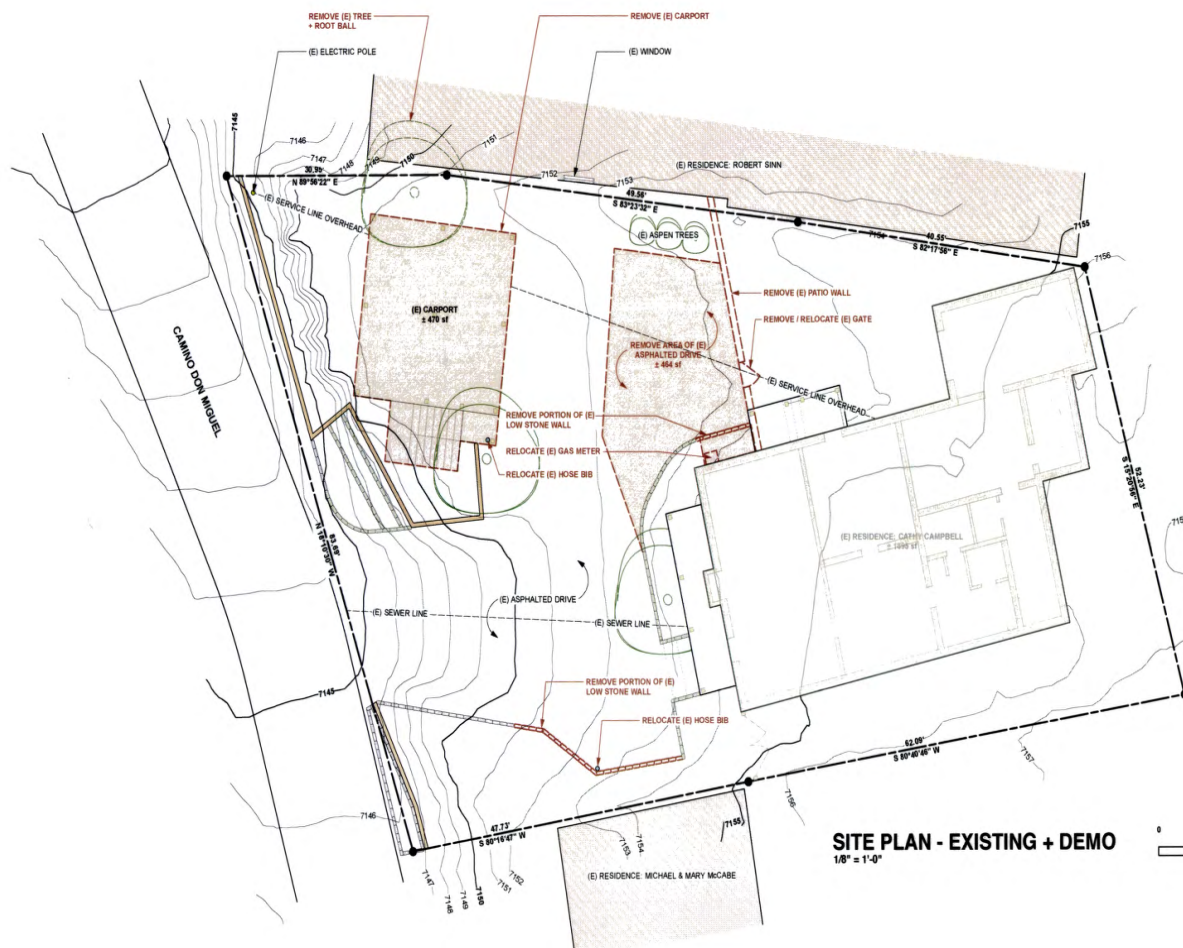
INDEXING INFORMATION FOR COUNTY CLERK BOUNDARY SURVEY

OWNER: BONAFACIO ARMAJO LOCATION: 463 CAMINO DON MIGUEL, SANTA FE SECTION 30, T 17 N, R 10 E, N.M.P.M. PROJECTED INTO THE SANTA FE GRANT

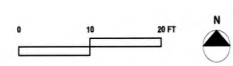
SANTA FE COUNTY, NM. UPC No.: 1-055-098-213-368

DEL RIO SURVEYS, INC. P.O. BOX 22773 SANTA FE, NM 820-9200

PROJECT No. 14110659 Date: 11/25/14



**SITE PLAN - EXISTING + DEMO**  
1/8" = 1'-0"



**PROJECT DATA**

CLIENT: CATHERINE CAMPBELL  
ADDRESS: 463 CAMINO DON MIGUEL, SANTA FE, NM 87505  
SCOPE OF WORK: NEW CASITA + LANDSCAPING

**APPLICABLE CODES:**  
2015 INTERNATIONAL RESIDENTIAL CODE  
2015 EXISTING BUILDING CODE  
2015 UNIFORM PLUMBING CODE  
2015 UNIFORM MECHANICAL CODE  
2015 INTERNATIONAL ELECTRIC CODE  
2015 INTERNATIONAL FIRE CODE

**OCCUPANCY GROUP:** RESIDENTIAL  
**CONSTRUCTION TYPE:** IV - WOOD FRAME

**HISTORIC STATUS:** CONTRIBUTING  
**HISTORIC DISTRICT:** DOWNTOWN & EASTSIDE  
**RESIDENTIAL DISTRICT:** RS  
**MAXIMUM ALLOWABLE LOT COVERAGE:** 40%  
**FRONT:** 7' FROM STREET  
**SIDE:** 9' SETBACK REQUIRED  
**REAR:** 15' SETBACK  
**ALLOWABLE HEIGHT:** 14'  
**PROPOSED HEIGHT:** ± 13'-0"

**AREAS:**  
**EXISTING RESIDENCE**  
HEATED = ±1717 SQ FT  
PORCH / PORTAL = ±178 SQ FT  
**TOTAL COVERED = ±1895 SQ FT**

**PROPOSED CASITA:**  
HEATED = 728 SQ FT  
PORCH / PORTAL = 72 SQ FT  
**TOTAL COVERED = ± 808 SQ FT**

**BUILT AREA:**  
EXISTING = ± 1895 SQ FT  
PROPOSED = ± 2701 SQ FT

**LOT COVERAGE:**  
EXISTING SITE = 7117.2 SQ FT / 0.193 ACRES  
LOT COVERAGE - EXISTING: 1895 / 7117 = 26.6%  
LOT COVERAGE - PROPOSED: 2701 / 7117 = 37.9%

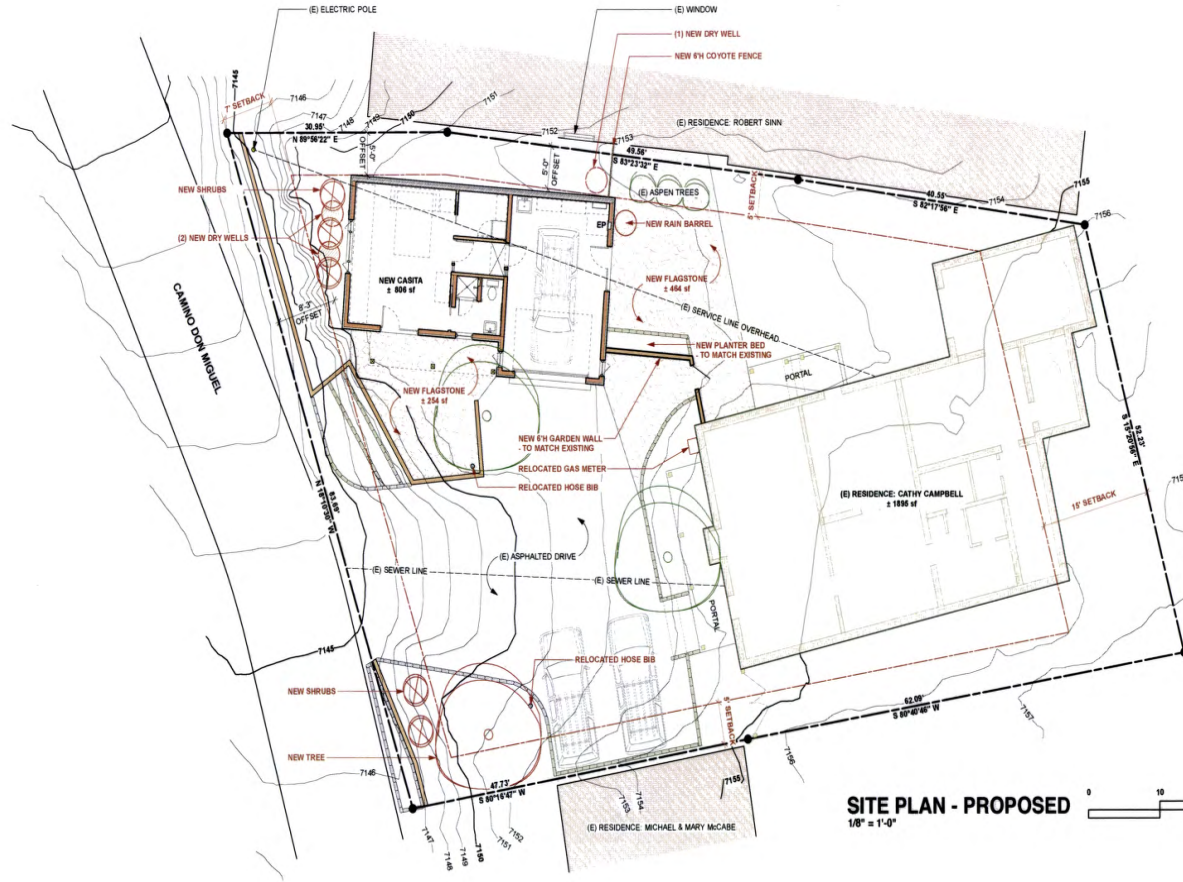
PROJECT: 20-13

HISTORIC SUBMITTAL  
2 DECEMBER 2020

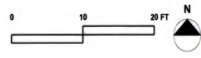
REVISION	DATE



REVISION	DATE



SITE PLAN - PROPOSED  
1/8" = 1'-0"

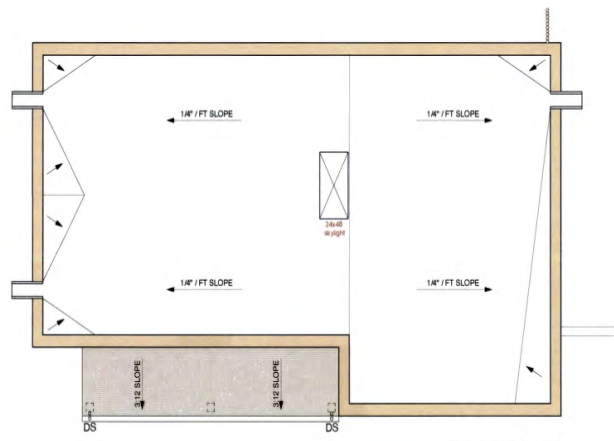


LEGEND

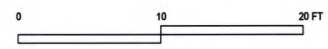
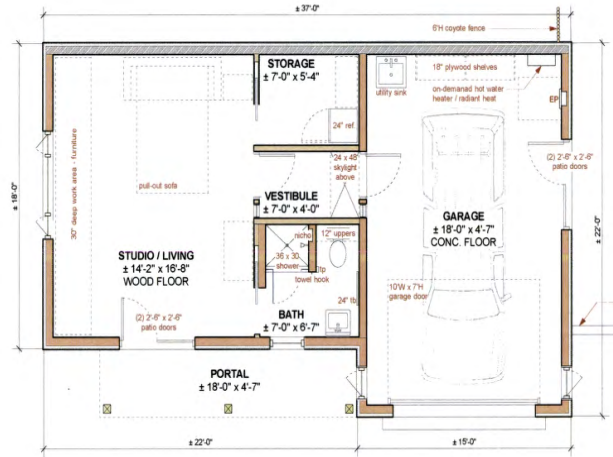
- EXTERIOR WALLS - 2X6 STUDS @ 16" OC  
W/ 2" RIGID INSULATION
- INTERIOR WALLS - 2X6 STUDS @ 16" OC
- INTERIOR WALLS - 2X4 STUDS @ 16" OC
- INTERIOR WALLS - 2X4 + 2X6 STUDS @ 16" OC

FLOOR PLAN NOTES:

1. ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED OR FACE OF CF TO ROUGH FRAMING
2. ALL INTERIOR FRAME WALLS TO RECEIVE SOUND ISOLATION INSULATION
3. SEE FINISH PLAN FOR INTERIOR FLOOR FINISHES AND BATHROOM ACCESSORIES
4. HEATING: FORCED AIR OR RADIANT - BASEBOARD OR IN SLAB
4. HEATED SQUARE FOOTAGE SUBTOTAL: ± 730 sf  
COVERED / PORCH SQUARE FOOTAGE SUBTOTAL: ± 75 sf



ROOF PLAN  
1/4" = 1'-0"



FLOOR PLAN  
1/4" = 1'-0"

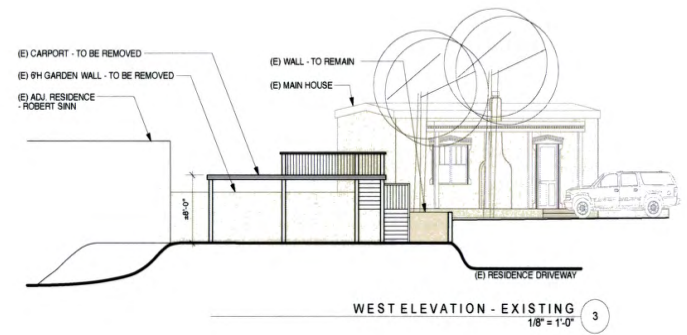




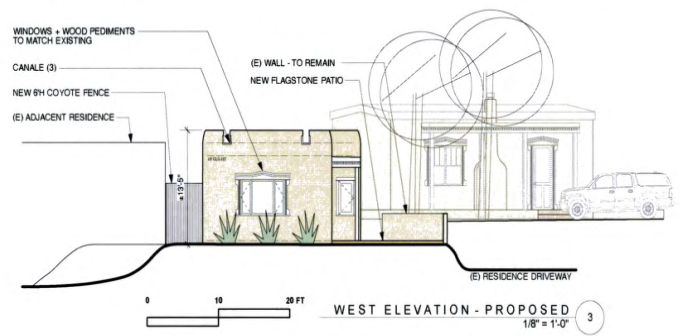
WEST ELEVATION @ STREET - EXISTING  
1/8" = 1'-0" 1



WEST ELEVATION @ STREET - PROPOSED  
1/8" = 1'-0" 1



WEST ELEVATION - EXISTING  
1/8" = 1'-0" 3

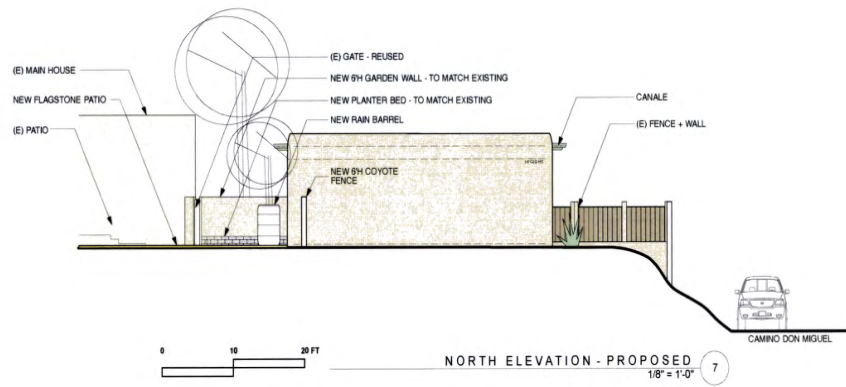
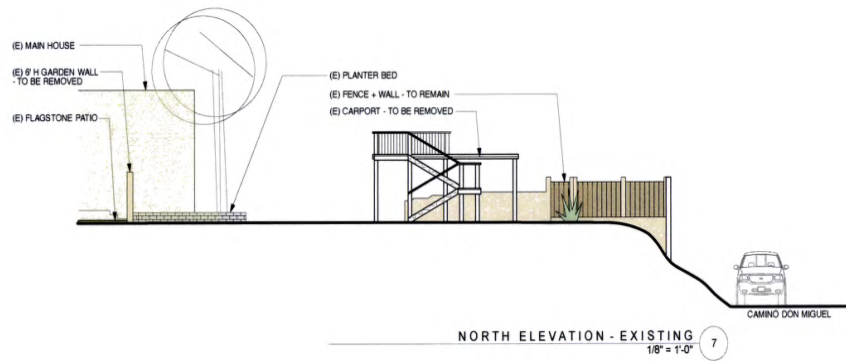


WEST ELEVATION - PROPOSED  
1/8" = 1'-0" 3

PROJECT 20-13

HISTORIC SUBMITTAL  
2 DECEMBER 2020

REVISION	DATE



PROJECT: 20-13	
HISTORIC SUBMITTAL 2 DECEMBER 2020	
REVISION	DATE





# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** Marc Naktin, agent for David C. Brown, owner, requests a historic status review with primary facade designation, if applicable, for a contributing residential structure.

Case number: **2020-002960-HDRB**  
Project Type: **HDRB**

**PROJECT LOCATION (S):** **105 Calle la Pena**

OW – David and Carole Brown 105 Calle la Pena, Santa Fe, NM 87501 [davidandcarolebrown@gmail.com](mailto:davidandcarolebrown@gmail.com)

AP – Marc Naktin 1523 Taos Street, Santa Fe, NM 87505 [marcnaktin@gmail.com](mailto:marcnaktin@gmail.com)

### PROJECT DATA:

#### HISTORIC DISTRICT

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

#### HISTORIC BUILDING STATUS

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

#### PRIMARY ELEVATIONS:

North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

#### HISTORIC DISTRICT INVENTORY NUMBER

1791  
1930/2000

#### YEAR OF CONSTRUCTION

#### PROJECT TYPE

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSED Residential  Non-Residential

#### HISTORIC BUILDING NAME

\_\_\_\_\_

# City of Santa Fe, New Mexico

# memo

**DATE:** January 12, 2020  
**TO:** Historic Districts Review Board Members  
**FROM:** Daniel Schwab, Senior Planner, Historic Preservation Division

---

**Case # 2020-002690-HDRB**

**Address: 105 Calle La Pena**  
**Historic Status: Contributing**  
**Historic District: Downtown and Eastside**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: Case documents from 1991 remodel case (case H-01-92)

**APPLICANT SUBMITTALS**

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

**STAFF RECOMMENDATION:**

Staff recommends that the historic status of the structure be downgraded from “contributing” to “non-contributing” per Section 14-5.2(C)(2). Should the Board choose to retain the structure’s contributing status, staff recommends that only the north portion of the east façade containing the two small windows and the portale be designated as primary.

## **BACKGROUND & SUMMARY:**


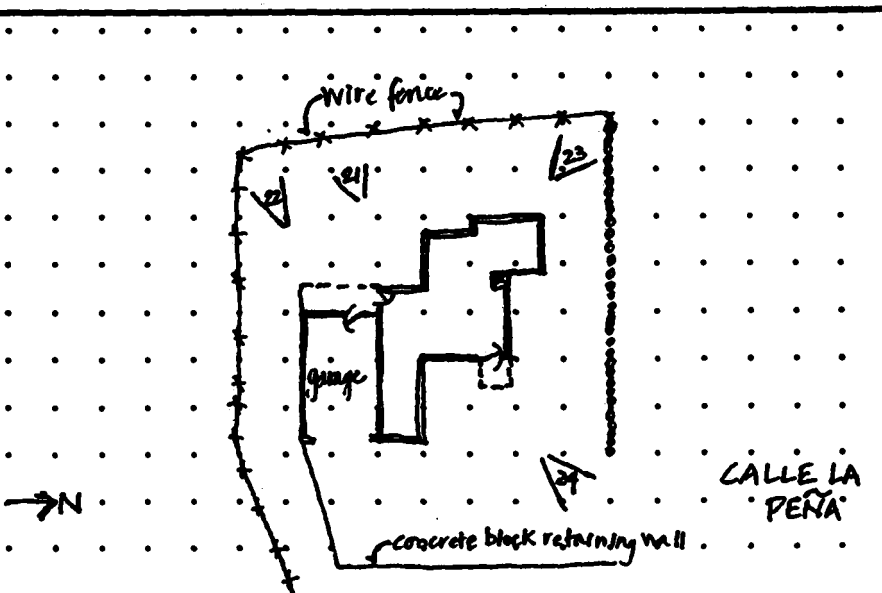
105 Calle La Pena is a single-family structure with contributing status to the Downtown and Eastside Historic District.

The structure was constructed in 1938 and is identified on a 1991 HCPI as contributing. Places. It is constructed of adobe in a Spanish Pueblo Revival style, with a small portal on the north-east corner. This north-east corner is the original part of the structure, with an addition having been made to the south.

In case H-01-92 from July 10, 2001, the Board approved the structure's rehabilitation and construction of an addition on the southwest elevation. The windows on the south and east elevations were to be rehabilitated. A recent inspection of the structure determined that there were no historic material was visible. The windows appear to be newly constructed wood window frames with double-panes. In addition, the structure was re-stuccoed, the northeast portal was rebuilt, window lintels replaced and the roof replaced. While the structure retains its historic opening dimensions and general appearance it seems to be absent of historic material.

Section 14-5.2(C)(1) of the Santa Fe municipal code states that each structure is intended to be recognized as a physical record of its time and place and that distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a structure be preserved. In addition, Section 14-5.2(D)(1) states that the status of a contributing building is preserved in part through the retention of historic material. In this case, staff finds that essentially all visible historic material has been removed and that no examples of construction techniques or craftsmanship from the historic structure remain, except perhaps invisibly in the form of adobe bricks below the stucco.

In light of a 2001 rehabilitation which failed to retain historic material, craftsmanship or construction techniques, staff recommends that the historic status of the structure be downgraded to non-contributing.

ADDRESS: <i>105 Calle la Peña</i> <i>Camino del Monte Sol National Register Historic District</i>		ID NUMBER: <i>051600105</i>	
UTM REFERENCE EASTING NORTHING ZONE <i>12 13</i>		LEGAL DESCRIPTION: TNSP <i>17</i> N <i>4</i> RANGE <i>10</i> E <i>4</i> SEC <i>30</i> <i>NW/14</i> <i>SW/14</i>	
IDENTIFICATION	FIELD MAP <i>Santa Fe Historic Structures Survey No. 2, 1983-85</i>		
	DATE OF CONSTRUCTION: ESTIMATE <i>1938</i> ACTUAL SOURCE(S) <i>1938 City Directory</i>		
ARCHITECTURAL STYLE: <i>Spanish Pueblo Revival</i>	PHOTO <i>24 N.E. elevation</i>		
USE: HISTORIC: <input checked="" type="checkbox"/> residential OTHER _____ PRESENT: <input checked="" type="checkbox"/> residential OTHER _____			
BUILDING DATA	SURROUNDINGS: <i>Residential</i>	SITE PLAN 	
	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		
	ASSOCIATED BUILDINGS ON SITE: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO WHAT TYPE? IF INVENTORIED, LIST ID NUMBER(S)		
	DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR		
SIGNIFICANCE	EXPLAIN:	LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING	
	OVERALL CONDITION: <input type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input checked="" type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED	LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <i>Contributing</i>	
	BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	LOCAL DESIGNATION: <input type="checkbox"/> Core <input type="checkbox"/> HISTORIC DISTRICT <input type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING LOCAL LANDMARK <input type="checkbox"/> YES <input type="checkbox"/> NO	

SURVEYED *7-31-91* BY *mg*

NEGATIVES WITH NMHPD ROLL # *4* NEG # *21* TO *24*

ARCHITECTURAL AND LANDSCAPE FEATURES

FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	Painted (pink) stucco	Paint is peeling throughout.
FOUNDATIONS	not visible	
DOORS		
WINDOWS	6 lites, 4 lites - fixed, casements - wood, rounded topped lites (red)	wrought iron grilles; picture window on E. is new.
PORTALES	new portals on SW side	curtains from floor to ceiling (gives enclosed appear.)
CANALES	metal canals	totally enclosed by parapet - not open to above
PORCHES	lean-to at main entry - NE cor.	simple post/beam w/ shed roof.
BALCONIES	N/A	
ROOFS	not visible behind parapet	parapet has built up material (faux masonry?)
COURTYARDS	N/A; large yard all around	
FENCES/WALLS	concrete to N; wire fence to S, W; stucco to E; concrete block retaining wall	
ARCH. DETAILS	sawn off vigas on N. elevation	
OTHER	pre 1960 concrete block garage; open drive looking on E side	

COMMENTS Current owner (Anne Dotson) since 1960; garage added prior to her moving in; no major work done by her, just upkeep; 1933 domain plat, lot 5; 1978 City Directory owned by SF Lovett.

ADDITIONAL PHOTOGRAPHS



#21 W. elevation (rear)



#23 NW corner

DENIECATA

ADDRESS

105 Calle La Peña

ID NUMBER

057600105

SURVEYED/RESEARCHED

DATE 7-31-91 BY ug



± 22 N. portal from SW



# Preliminary Zoning Review Worksheet

## City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b> Date Submitted: 12/2/2020 Property Owner of Record: David and Carole Brown Applicant/Agent Name: Marc Naktin Contact Person Phone Number: (505) 490-1863	<b>Site Address:</b> 105 Calle la Pena <b>Proposed Construction Description:</b> Bedroom addition <b>TOTAL ROOF AREA:</b>
<b>Zoning District:</b> <u>Historic East Side</u> <b>Overlay:</b> <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____ <b>Submittals Reviewed with PZR:</b> <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations <b>Supplemental Zoning Submittals Required for Building Permit:</b> <input type="checkbox"/> Zero Lot Line Affidavit <b>Access and Visibility:</b> <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required <b>Use of Structure:</b> <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____ <b>Terrain:</b> <input type="checkbox"/> 30% slopes _____	<b>Lot Coverage :</b> <u>22</u> % proposed <input type="checkbox"/> Open Space Required: _____ <b>Setbacks:</b> Proposed Front: <u>42'-8"</u> Minimum: <u>15'</u> 2 <sup>nd</sup> Front? _____ Proposed Rear: <u>64'-8"</u> Minimum: <u>15'</u> Proposed Sides: <u>L9'-8" R18'-6"</u> Minimum: <u>5'</u> <b>Height:</b> Proposed <u>12'-10"</u> Maximum Height: <u>14'-0"</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District <b>Parking Spaces:</b> Proposed <u>4</u> existing Accessible _____ Minimum: _____ <b>Bicycle Parking**:</b> Proposed: _____ Minimum: _____ ** Commercial Requirement

\* Requires an additional review conducted by Technical Review Division.  
 \*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Marc Naktin

PRINT NAME

[ OWNER  APPLICANT  AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

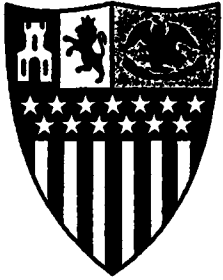
12/2/2020

SIGNATURE

DATE

<b>To Be Completed By City Staff:</b> <b>Additional Agency Review if Applicable:</b> <input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___ <input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___ <input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___ Notes: _____ <b>Zoning Approval:</b> <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected Comments/Conditions: <u>LLOR Reviewed Prior. Height, setback, stepback, lot coverage, parking all compliant.</u> _____ <b>REVIEWER:</b> <u>Carlos Gemora</u> <b>DATE:</b> <u>12 / 4 / 2020</u>	
--	--

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.



# City of Santa Fe, New Mexico

Larry A. Delgado, Mayor  
Jim Romero, City Manager

**Councilors:**

Carol Robertson-Lopez, Mayor Pro Tem, Dist. 4	Cristopher Moore, Dist. 2
Patti J. Bushee, Dist. 1	Miguel M. Chavez, Dist. 3
Jimmie Martinez, Dist. 1	Frank Montañó, Dist. 3
Karen Heldmeyer, Dist. 2	Matthew E. Ortiz, Dist. 4

Project description : RHBTN INCLDG 750 SQ.FT. ADDTN, CYT FNC, GT  
 Project number : 01-10100100  
 Case number : H-01-92  
 Project type : HISTORIC DESIGN REVIEW BOARD

**PROJECT LOCATION (S) : 105 Calle La Pena**

**PROJECT NAMES:**

OW-Jeff Ballowe and Ronnie Sonnenberg Santa Fe, NM 87501	85 W. Estrada Calabasa
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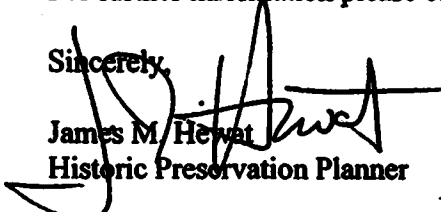
AP-Greg Allegretti Santa Fe, NM 87501	600 Agua Fria (505) 986-9033
--	---------------------------------

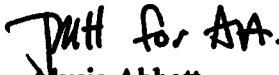
**BOARD ACTION**

This is to certify that the Historic Design Review Board (HDRB) at their meeting on July 10, 2001, acted on the above referenced case as per staff recommendations. The decision of the board was to approve your request. The approval allows the picture window on east end of south elevation to be replaced. All other windows on the east and south elevations must be rehabilitated.

For further information please call 955-6808.

Sincerely,

  
 James M. Hewat  
 Historic Preservation Planner

  
 Alysia Abbott  
 Historic Preservation Planner

**Note: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.). PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.**

**STAFF RECOMMENDATION:**

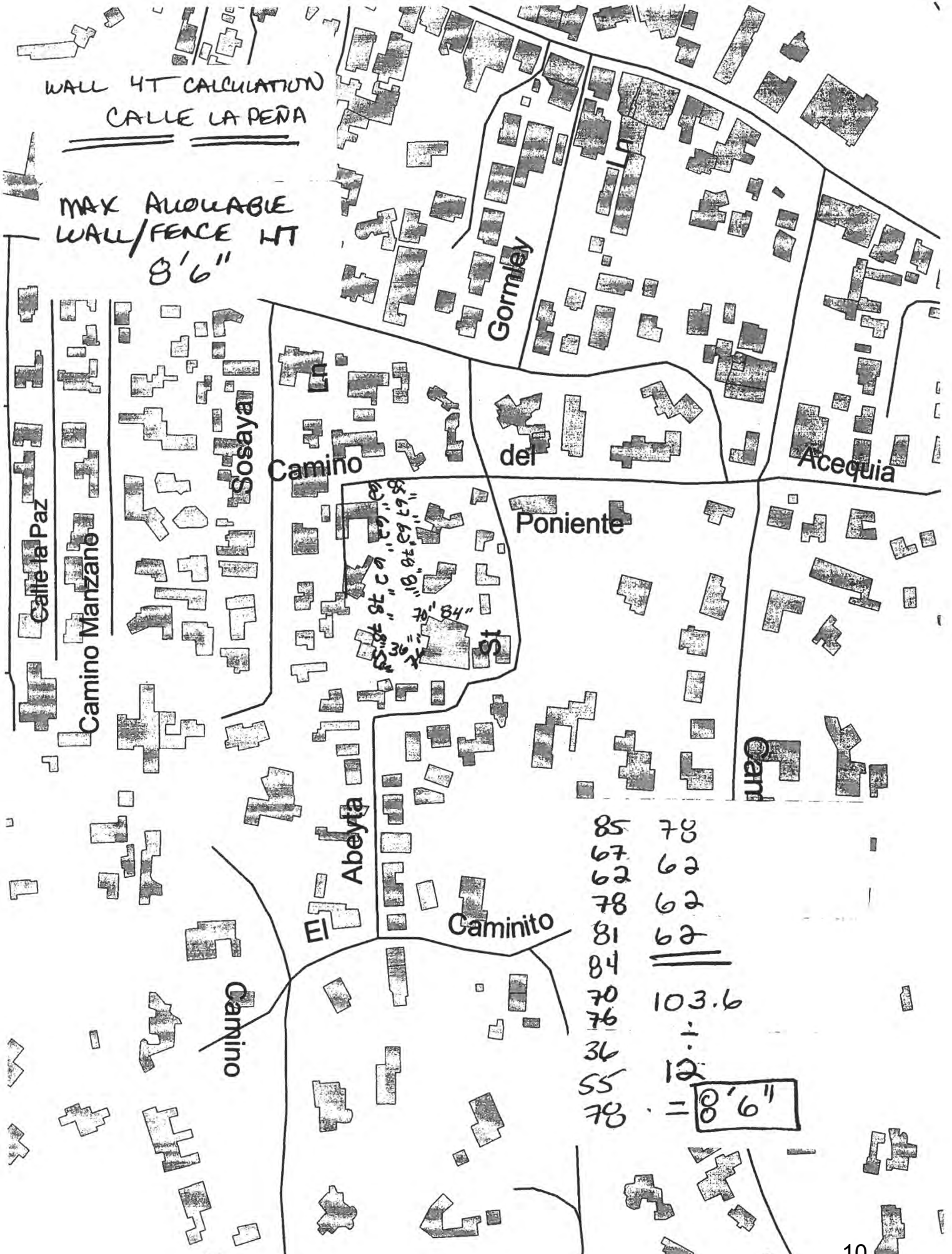
The proposed project meets the Design Guidelines for changes to contributing buildings in the Downtown & Eastside Historic District with the following exceptions. Section 14-70.73 E1(a) requires historic windows on the primary facades of contributing buildings be rehabilitated rather than replaced unless the windows cannot be repaired. Staff recommends approval of the project with the condition that the historic windows on North and East elevations be rehabilitated rather than replaced, and that the applicant will submit proposed stucco color to staff for approval.

**BACKGROUND & SUMMARY:**

The applicant proposes the rehabilitation of a 1,504 Sq. Ft. contributing building at 105 Calle Pena in the Downtown & Eastside Historic District. Plans call for the addition of 750 Sq. Ft. on the Southwest elevation. The addition is designed in a Spanish Pueblo revival manner to match the existing building. The height of the addition will be 12'6". The height of the existing building is 11'2". The maximum allowable height calculated for the streetscape is 16'6". Plans call for existing windows to be replaced with clad wood divided-light four, six and eight-light windows to match the design of the existing windows. Exterior doors on the East and West elevations will be full-light true-divided French doors. Plans call for the existing portal on the East primary elevation to be reconstructed. The existing carport will be re-roofed. The entire building will be re-stuccoed. The stucco color has not been specified. Finally, plans call for a 4' high stuccoed yard wall to be placed in front of the portal on the East elevation. A 6' high coyote fence and wrought iron entry gate at the North entrance to the property are also proposed. The maximum allowable wall height calculated for the streetscape is 8'6".

WALL HT CALCULATION  
CALLE LA PEÑA

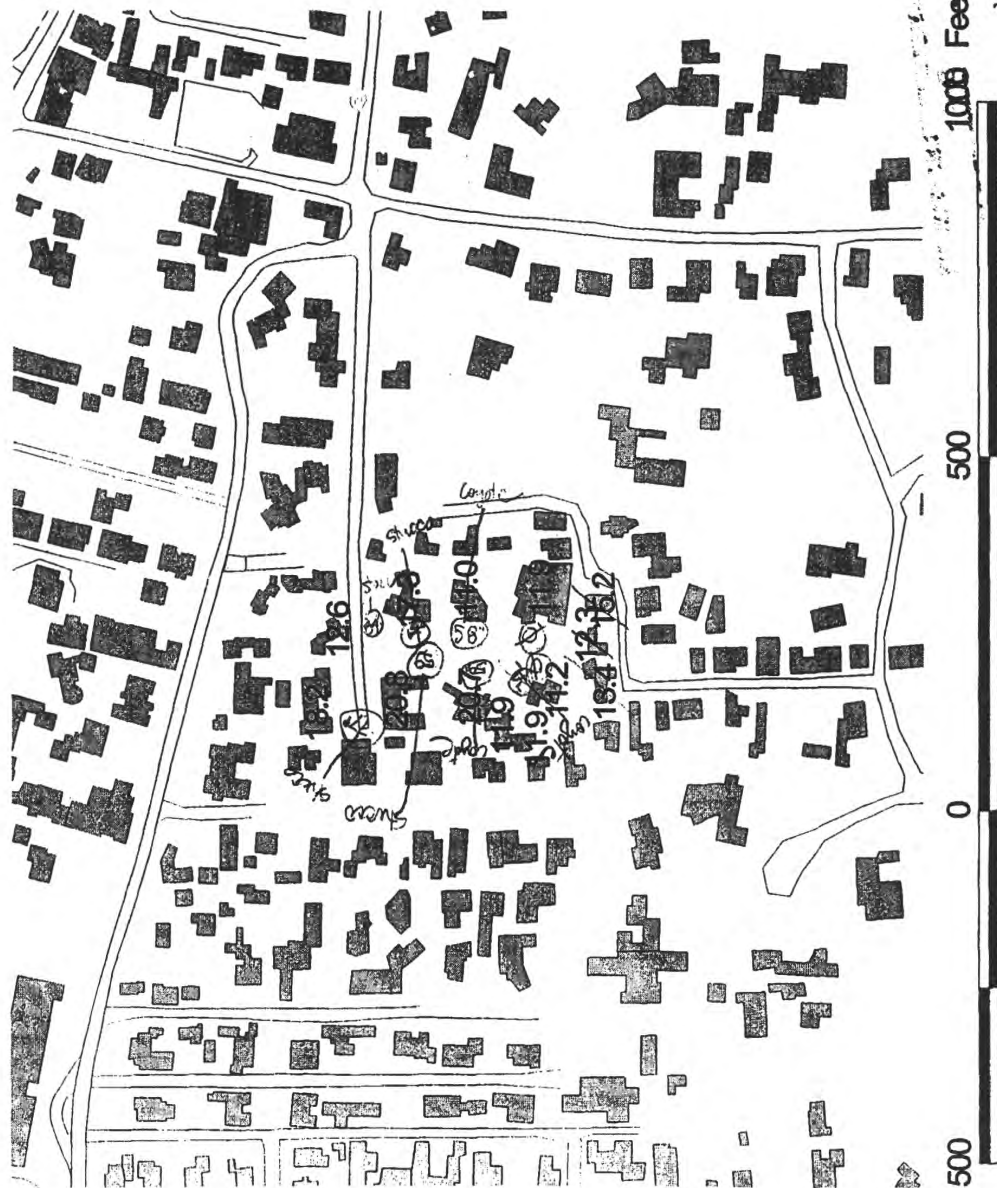
MAX ALLOWABLE  
 WALL/FENCE HT  
 8'6"



85	78
67	62
62	62
78	62
81	62
84	<u>62</u>
70	103.6
76	÷
36	12
55	=
78	<b>8'6"</b>

# Streetscape: Calle la Pena

Streetscape average = 14.6'  
Allowable height = 16.



◆ **A L L E G R E T T I • A R C H I T E C T S**

---

6-20-2001

Santa Fe Historic Design Review Board  
Santa Fe, New Mexico

Re: 105 Calle La Pena, Santa Fe

Dear Board Members:

The attached application requests approval to remodel and add onto an existing Spanish Pueblo style residence at 105 Calle la Pena. The 1991 Santa Fe Historic Building Survey lists the existing house as a contributing structure. The existing building covers 1504 square feet and has two primary facades. The proposed construction will add 750 new square feet, contacting the existing structure at its two non-primary facades. The entire project will be one story above grade.

The existing house is of "pen-tile" construction, circa 1938. A carport and portal were added prior to 1960. An existing garage (East façade) was also converted into a bedroom, perhaps at this same time.

The proposed construction would preserve the appearance of the two principal facades. Parapet heights and fenestration design will not be changed. Energy retrofits will include exterior insulation and re-plastering. Existing windows will be replaced with new insulated clad wood windows of matching design and lite pattern. An existing portal at the East facade will be re-built and a low wall will be constructed in front of this entrance. The roof structure above the existing carport will be replaced (the existing roof is structurally dangerous).

The new addition will be of similar (Spanish Pueblo) design with matching finishes (stucco, stained wood, and clad windows). Parapets at the new construction will be about 2 feet higher than the existing ones. Height of the new structure will be 12'-6".

The proposal also requests approval for a 6-foot coyote fence with entry gate (wrought iron). Finally, this application requests approval for selective demolition on the interior of the completed building.

We have tried in this design to solve several challenges. A historically important though tiny structure must be preserved yet adapted to fit the financial realities of its present day location. Our proposed solution requests the maximum allowable area for expansion while respecting the two primary facades.

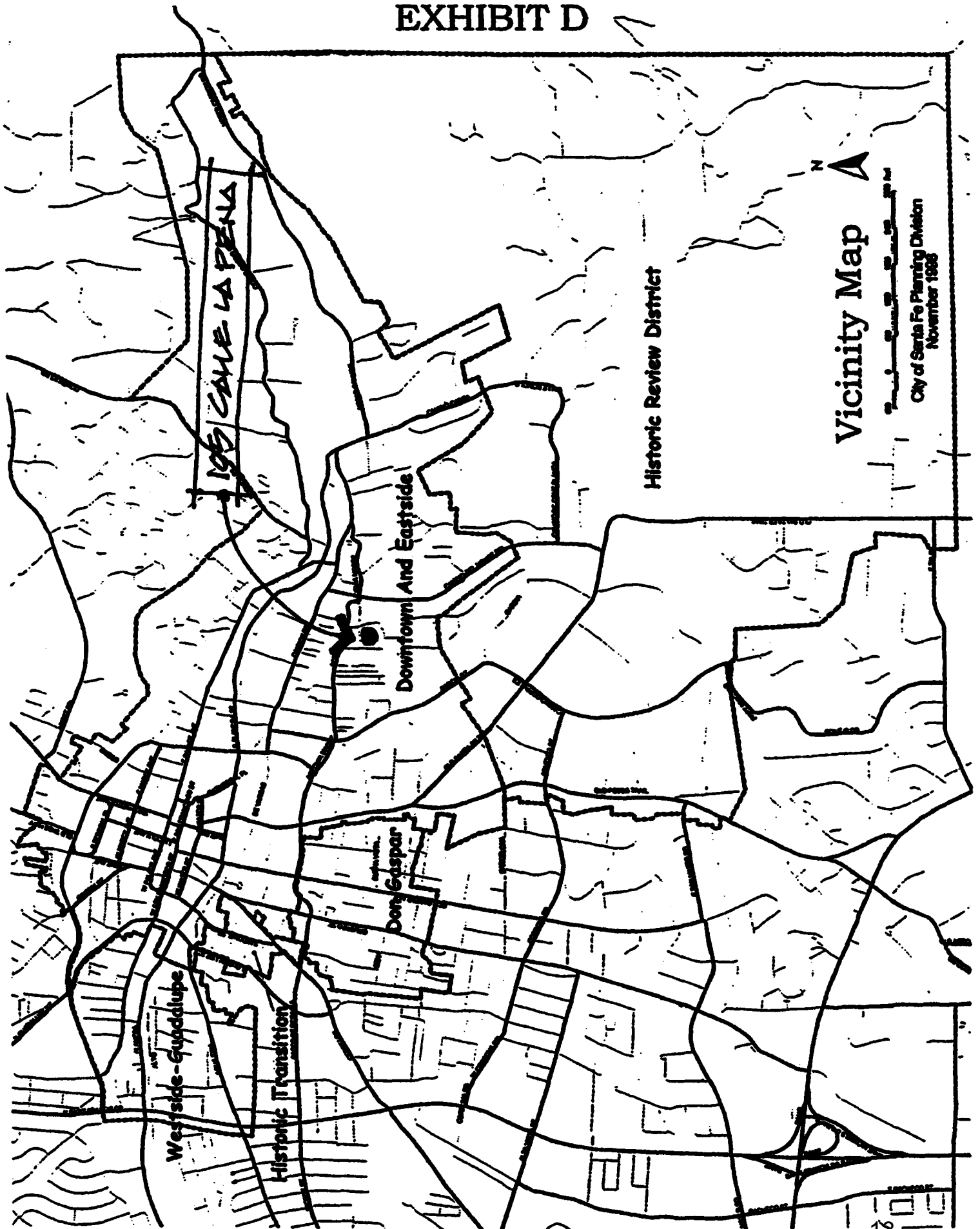
Thank you for your consideration.

Sincerely,



Greg Allegretti

# EXHIBIT D



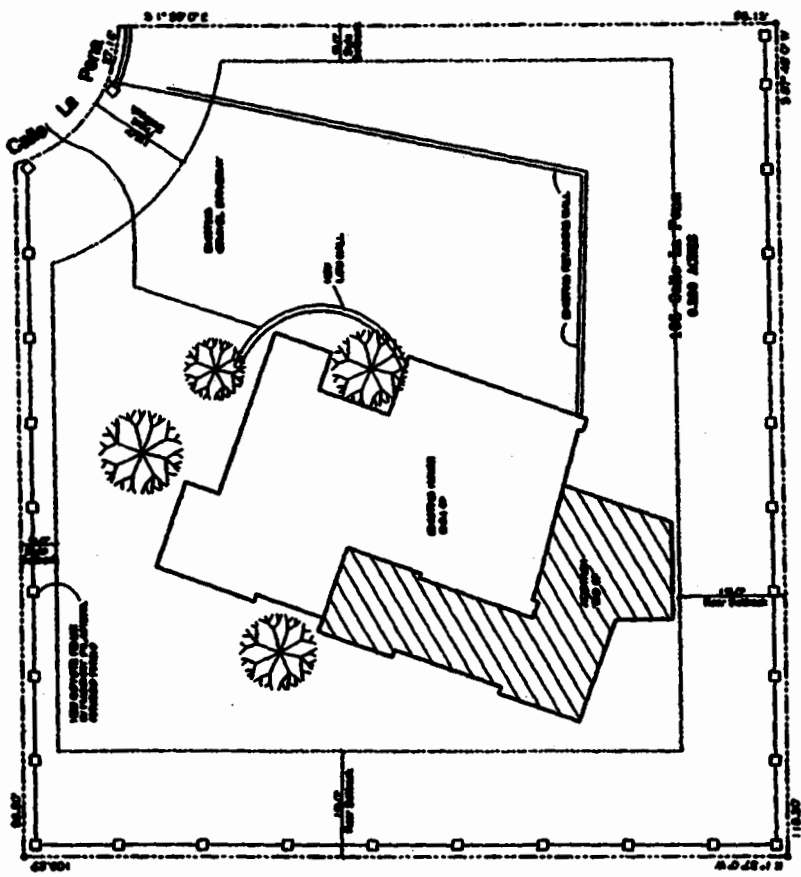


**allegretti  
architects**

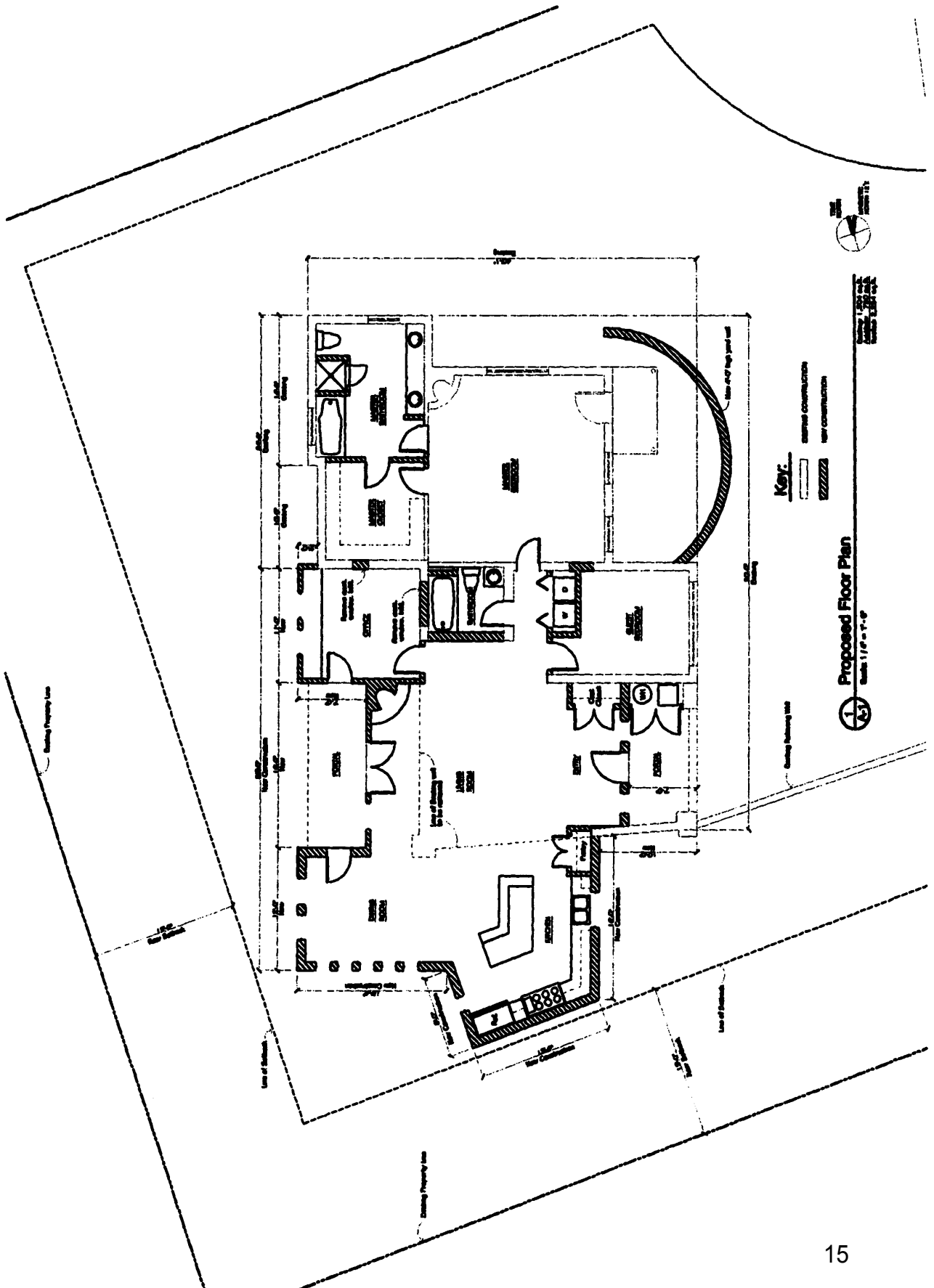
100 W. 10th Street, Suite 200  
Chicago, IL 60604  
Tel: 312.467.1000

Project	Ballou - Schenck Residence
Location	100 W. 10th Street Chicago, IL, USA
Architect	Allegretti Architects
Date	2010
Scale	1/8" = 1'-0"
Sheet	01-01

Client	Ballou - Schenck
Contract	01-01
Revision	

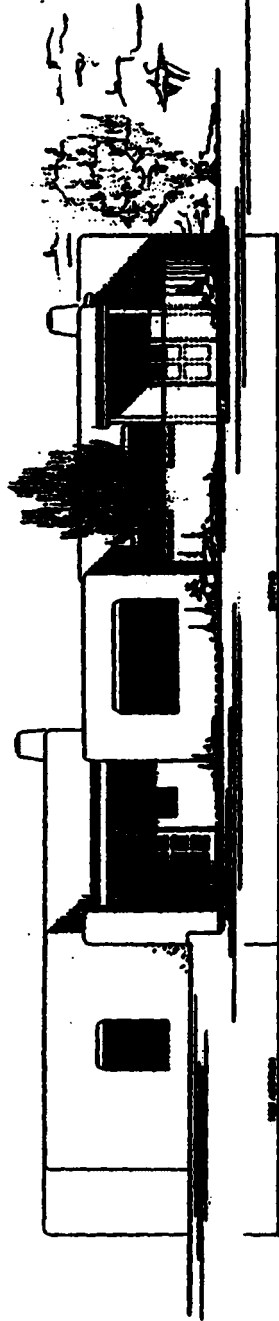


100' x 100' Parking Spaces

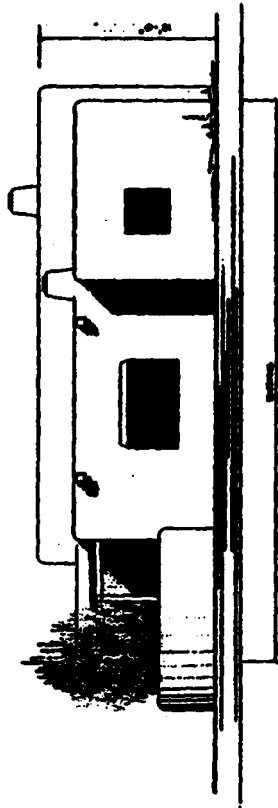


allegretti  
architects

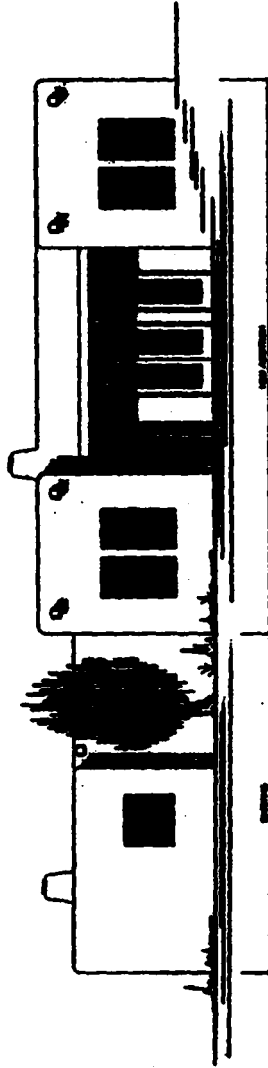
100 ADAMS ROAD STREET  
MORRISVILLE, NC 27560



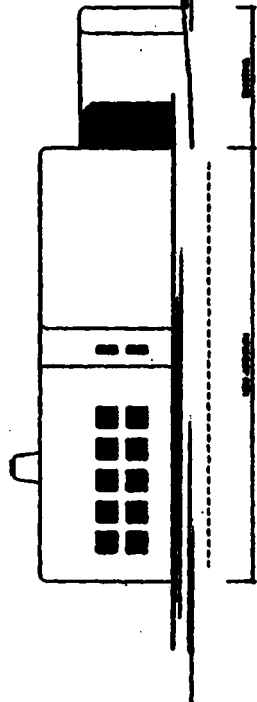
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

Bellevue - Sonnenberg  
Residence  
100 Adams Road Street  
Morrisville, NC 27560

DATE: 08/10/08  
DRAWN BY: J. ALLEGRETTI  
CHECKED BY: J. ALLEGRETTI  
SCALE: 1/8" = 1'-0"

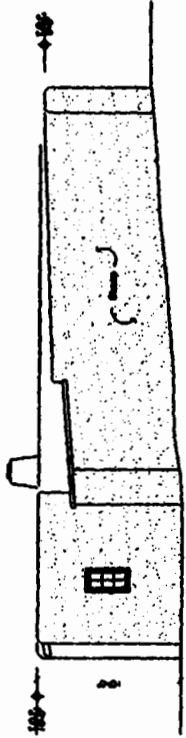
PROJECT: BELLEVUE - SONNENBERG  
RESIDENCE



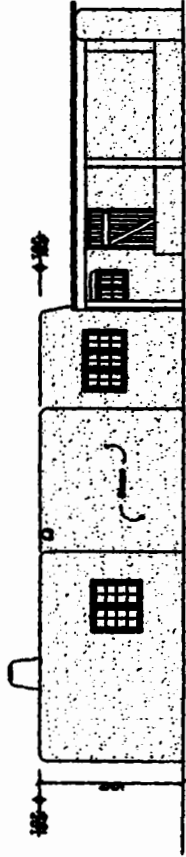


**allegretti  
architects**

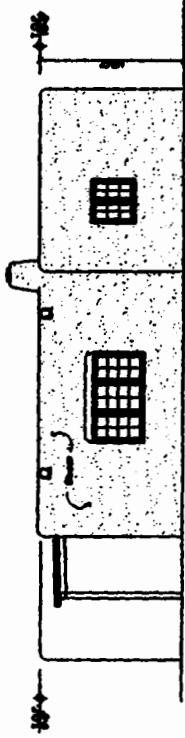
400 MAIN ST. 2ND FLOOR  
NEWTON, MASS 02459  
TEL: 617.552.1234



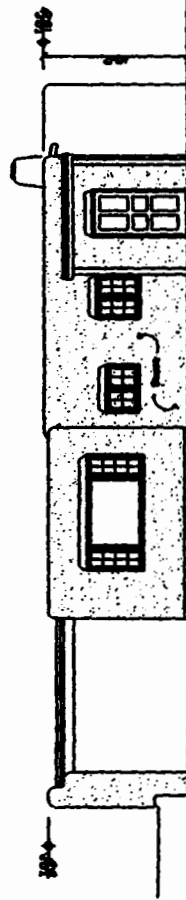
1 EXISTING SOUTH ELEVATION



3 EXISTING WEST ELEVATION



2 EXISTING NORTH ELEVATION



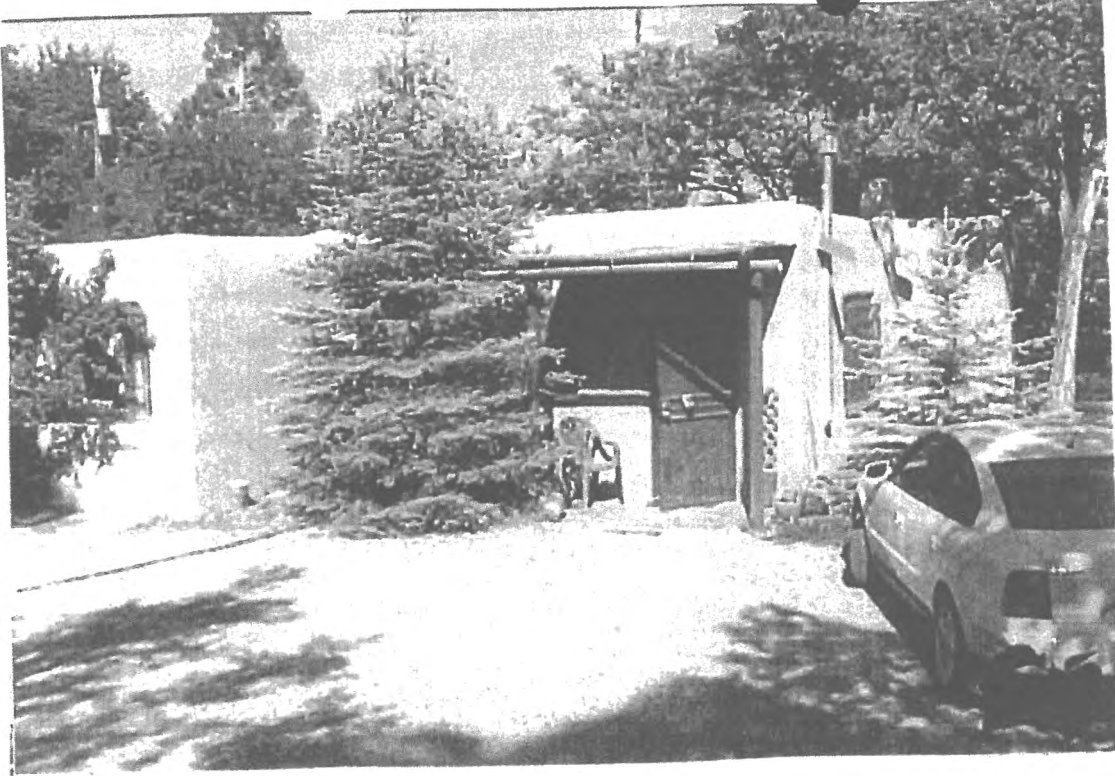
4 EXISTING EAST ELEVATION



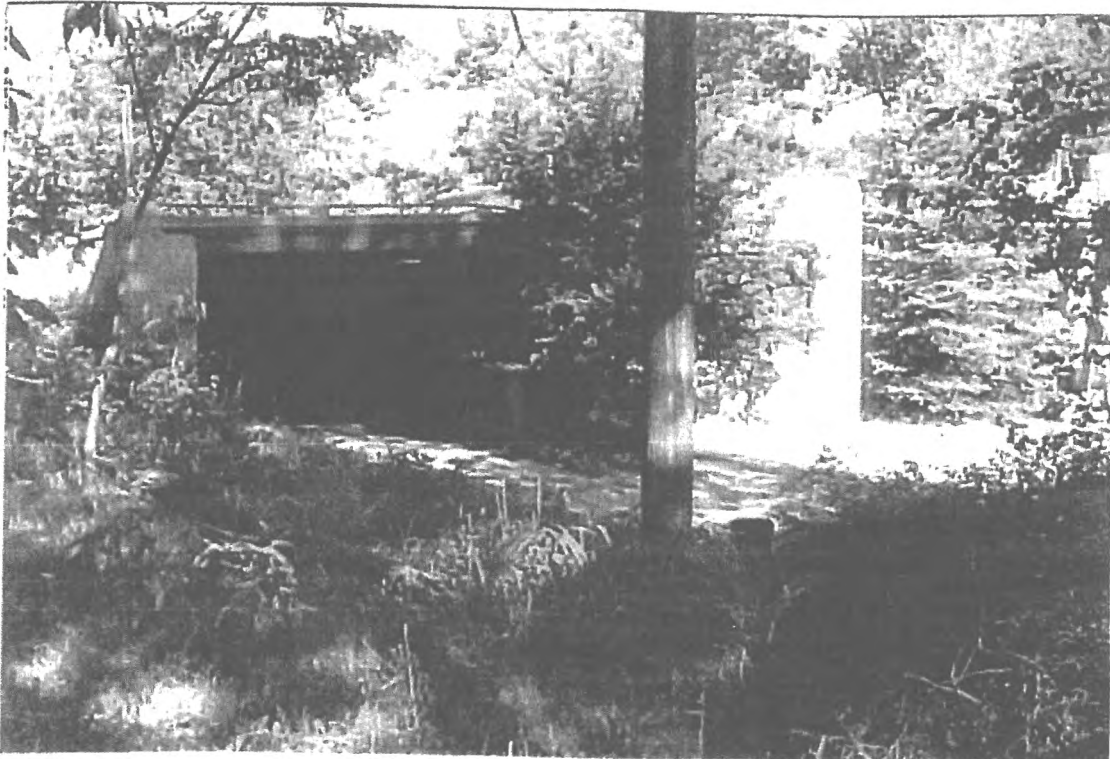
DATE: 05/11/09  
DRAWN BY: JAC  
CHECKED BY: JAC  
PROJECT: 100 SOUTH ST. PHASE 2  
SHEET: A-2

PROJECT: 100 SOUTH ST. PHASE 2  
SHEET: A-2

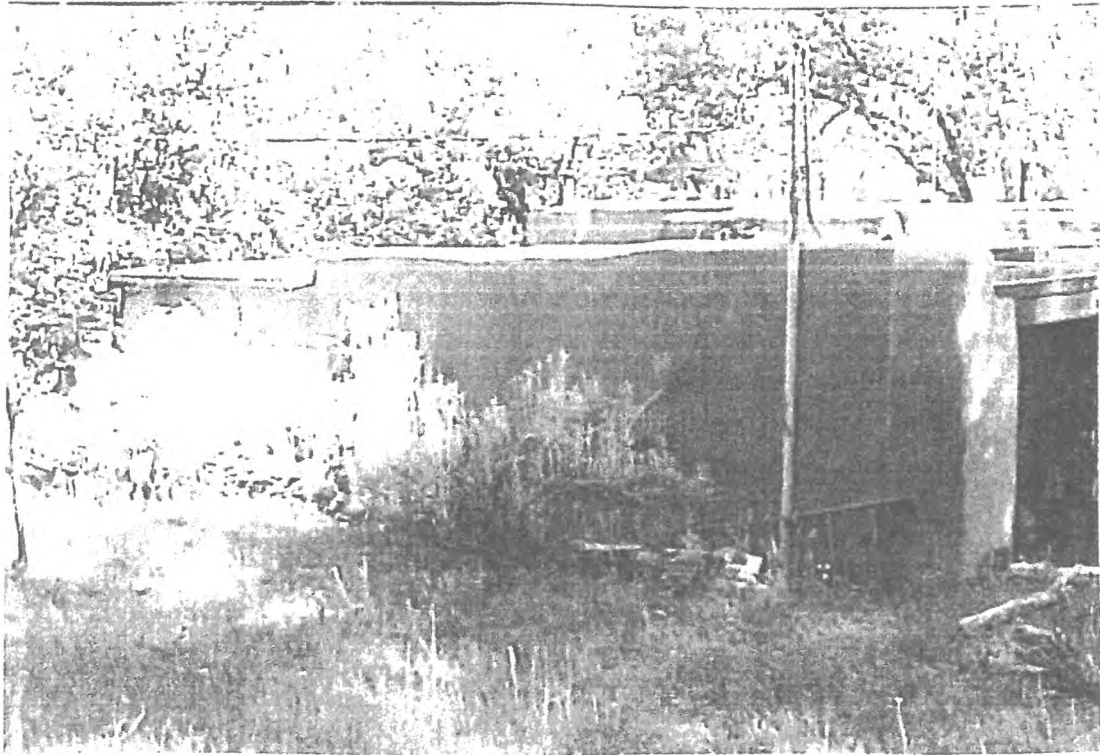
A-2



105 Calle La Pena East Elevation



105 Calle La Pena East Elevation



105 Calle La Pena South Elevation

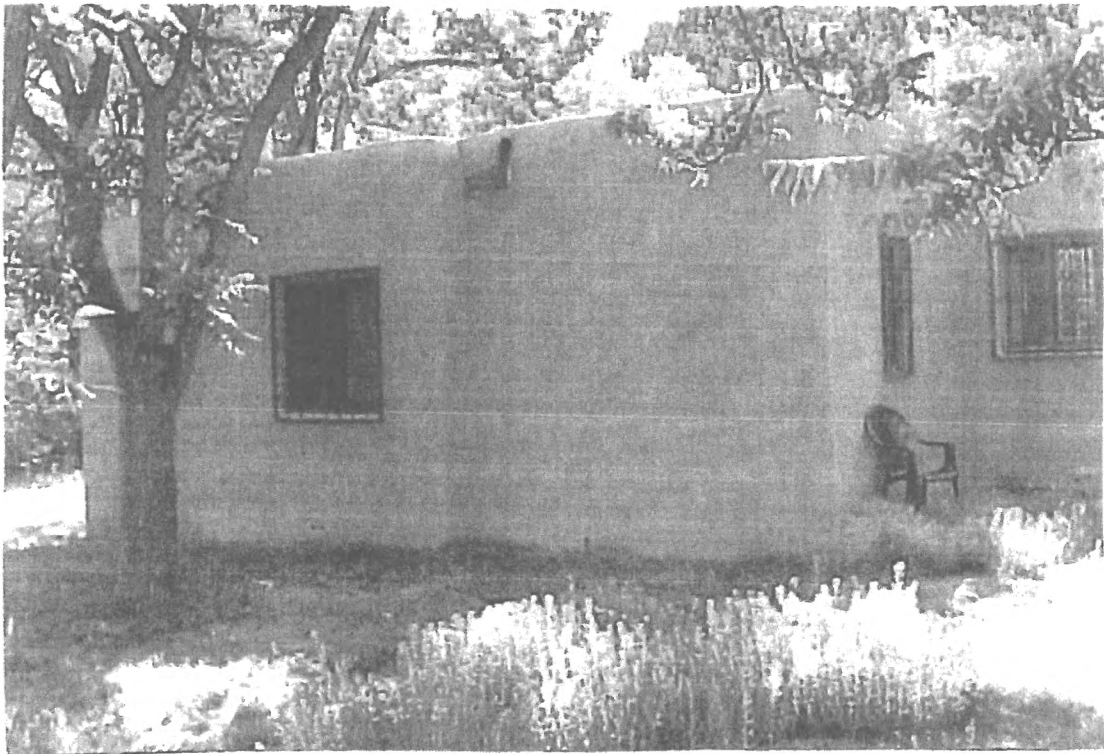


105 Calle La Pena North Elevation

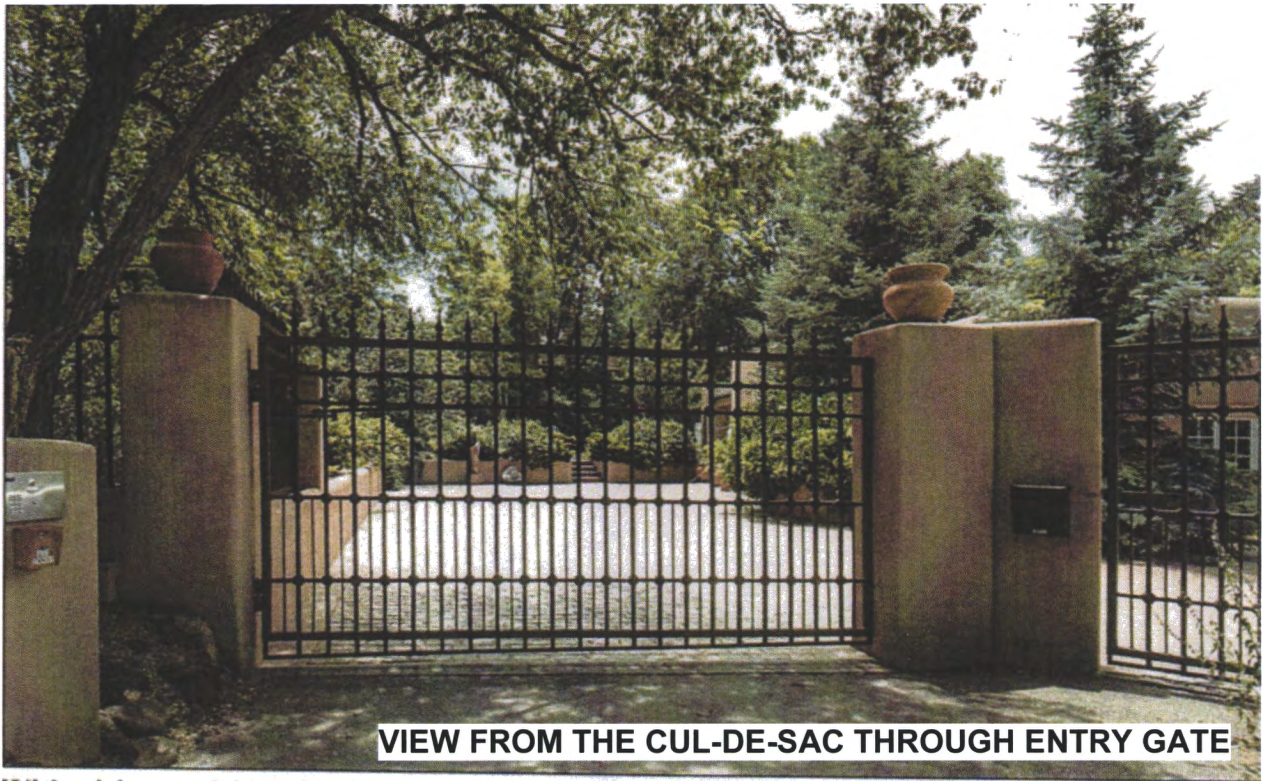
105 Calle La Pena



105 Calle La Pena West Elevation



105 Calle La Pena West Elevation



**VIEW FROM THE CUL-DE-SAC THROUGH ENTRY GATE**



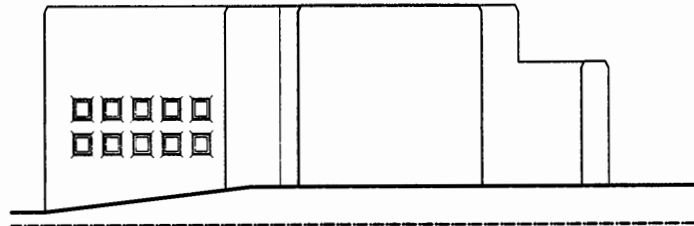
**VIEW FROM THE STREET JUST PAST ENTRY GATE**



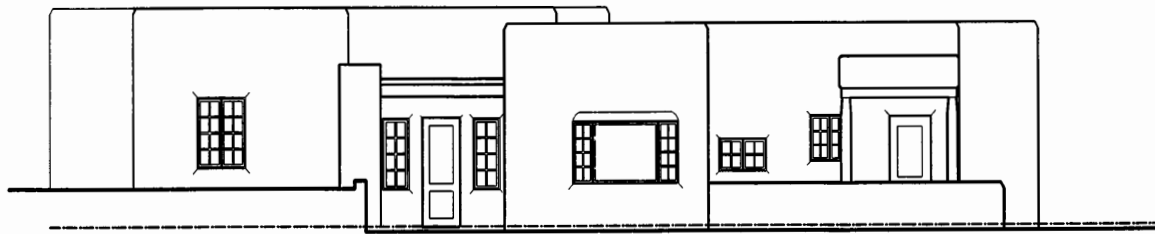




EXISTING WEST ELEVATION  
1/4" = 1'-0"

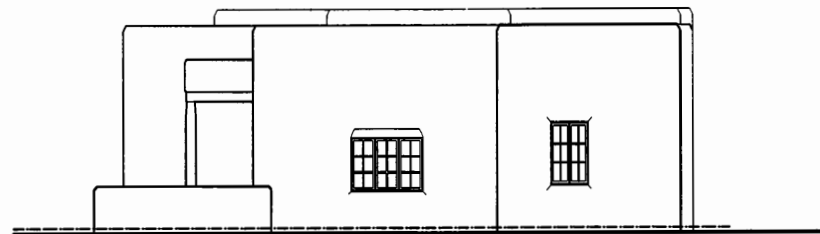


EXISTING SOUTH ELEVATION  
1/4" = 1'-0"

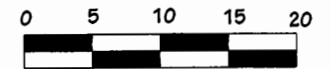


*NO CHANGES*

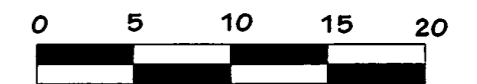
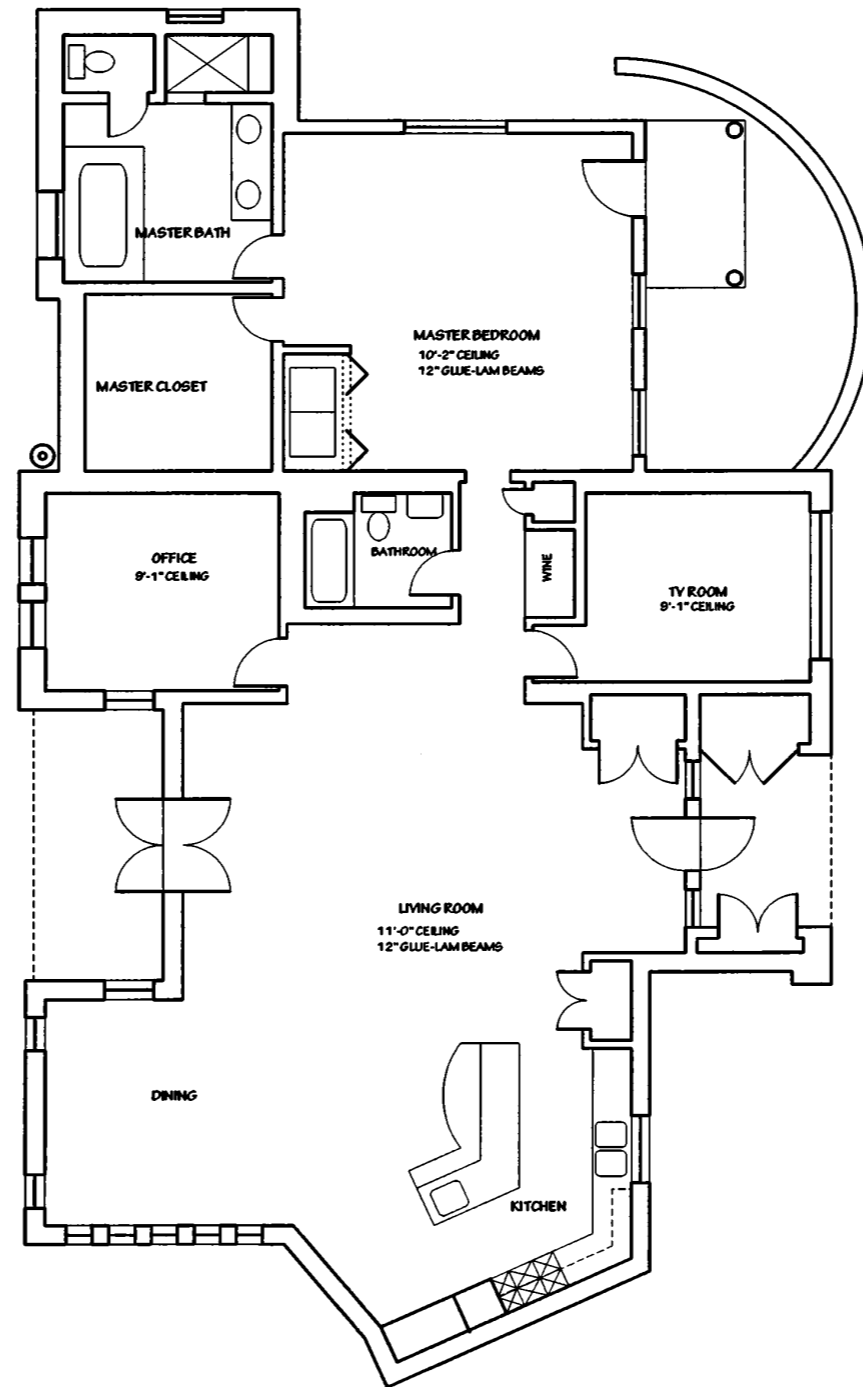
EXISTING EAST ELEVATION  
1/4" = 1'-0"



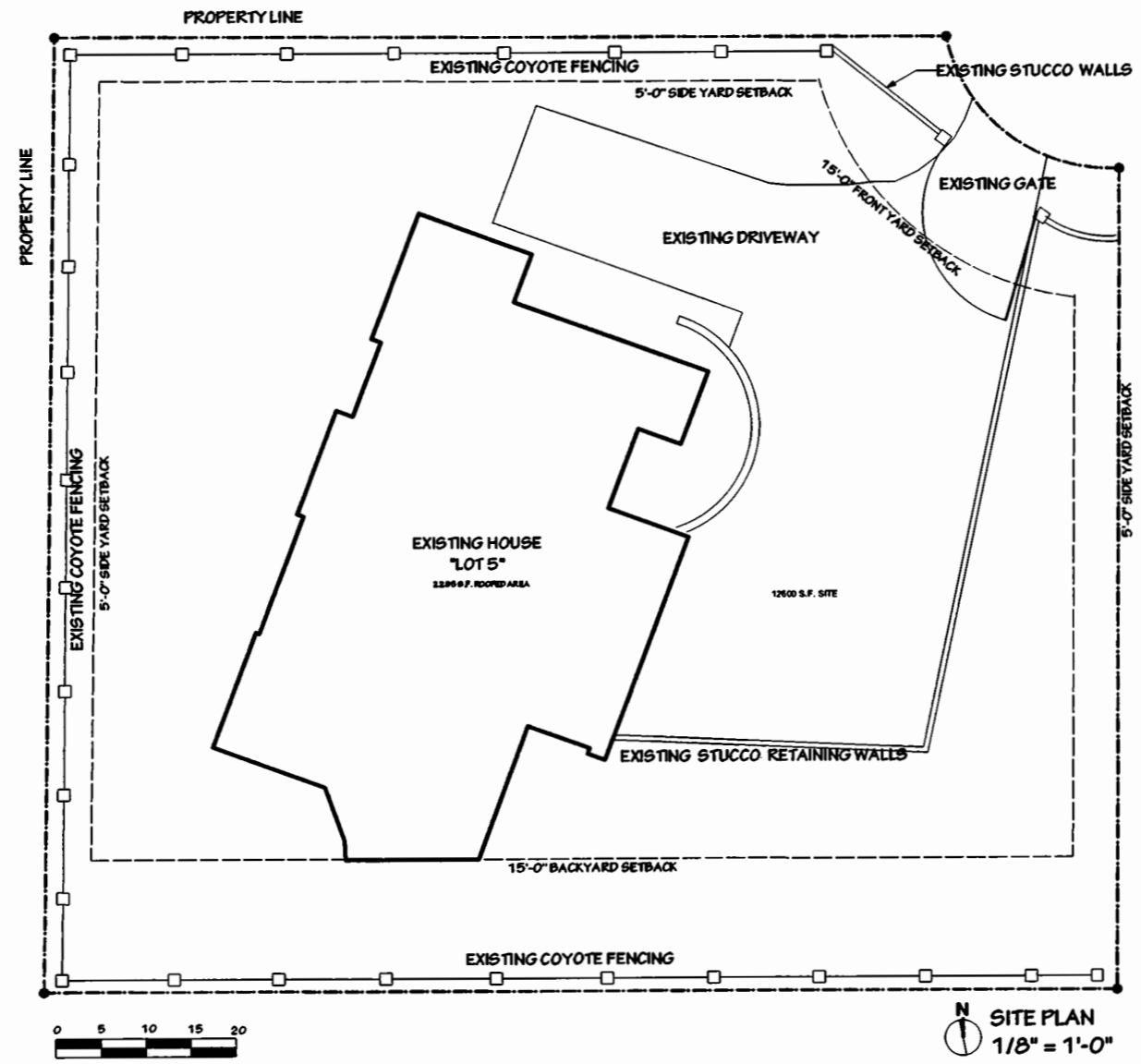
EXISTING NORTH ELEVATION  
1/4" = 1'-0"



105 Calle La Pena



105 Calle La Pena



105 Calle La Pena



# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** Mark Naktin, agent for David C. Brown, owner, proposes to construct a 465 sq. ft. addition to a height of 12'0" on a non-contributing structure.

Case number: **2020-002984-HDRB**  
Project Type: **HDRB**

**PROJECT LOCATION (S):** **105 Calle la Pena**

OW – David and Carole Brown 105 Calle la Pena, Santa Fe, NM 87501 [davidandcarolebrown@gmail.com](mailto:davidandcarolebrown@gmail.com)

AP – Marc Naktin 1523 Taos Street, Santa Fe, NM 87505 [marcnaktin@gmail.com](mailto:marcnaktin@gmail.com)

### PROJECT DATA:

#### HISTORIC DISTRICT

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

#### HISTORIC BUILDING STATUS

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

#### PRIMARY ELEVATIONS:

North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

#### HISTORIC DISTRICT INVENTORY NUMBER

1991

#### YEAR OF CONSTRUCTION

1933 / 2001

#### PROJECT TYPE

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSED Residential  Non-Residential

#### HISTORIC BUILDING NAME

\_\_\_\_\_

# City of Santa Fe, New Mexico

# memo

**DATE:** January 12, 2020  
**TO:** Historic Districts Review Board Members  
**FROM:** Daniel Schwab, Senior Planner, Historic Preservation Division

---

**Case # 2020-002894-HDRB**

**Address: 105 Calle La Pena**  
**Historic Status: Non-Contributing**  
**Historic District: Downtown and Eastside**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:

**APPLICANT SUBMITTALS**

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

**STAFF RECOMMENDATION:**

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

**BACKGROUND & SUMMARY:**

105 Calle La Pena is a single-family structure with contributing status to the Downtown and Eastside Historic District. The structure was constructed in 1938 and is identified on a 1991 HCPI as contributing. In case 2020-002960-HDRB, staff proposed the downgrade of the historic status to non-contributing due to changes made during its rehabilitation in 2001.

The applicant now proposes to construct a 465 square foot addition on the non-publicly visible west façade of the house. It will match the existing house stucco color, a tinted El Rey Buckskin and window manufacturer and color. The windows will have divided lights or meet the window design requirements of the district. It will be constructed to a height of 12 feet 0 inches. The maximum allowable height is 15 feet 6 inches. The wood stain is a light tan that will also be matched.



# Preliminary Zoning Review Worksheet

## City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b> <b>Date Submitted:</b> 12/2/2020 <b>Property Owner of Record:</b> David and Carole Brown <b>Applicant/Agent Name:</b> Marc Naktin <b>Contact Person Phone Number:</b> (505) 490-1863	<b>Site Address:</b> 105 Calle la Pena <b>Proposed Construction Description:</b> Bedroom addition <b>TOTAL ROOF AREA:</b>
<b>Zoning District:</b> <u>Historic East Side</u> <b>Overlay:</b> <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____ <b>Submittals Reviewed with PZR:</b> <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations <b>Supplemental Zoning Submittals Required for Building Permit:</b> <input type="checkbox"/> Zero Lot Line Affidavit <b>Access and Visibility:</b> <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required <b>Use of Structure:</b> <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____ <b>Terrain:</b> <input type="checkbox"/> 30% slopes _____	<b>Lot Coverage :</b> <u>22</u> % proposed <input type="checkbox"/> Open Space Required: _____ <b>Setbacks:</b> Proposed Front: <u>42'-8"</u> Minimum: <u>15'</u> 2 <sup>nd</sup> Front? _____ Proposed Rear: <u>64'-8"</u> Minimum: <u>15'</u> Proposed Sides: <u>L9'-8"</u> <u>R18'-6"</u> Minimum: <u>5'</u> <b>Height:</b> Proposed <u>12'-10"</u> Maximum Height: <u>14'-0"</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District <b>Parking Spaces:</b> Proposed <u>4</u> existing Accessible _____ Minimum: _____ <b>Bicycle Parking**:</b> Proposed: _____ Minimum: _____ <small>** Commercial Requirement</small>

\* Requires an additional review conducted by Technical Review Division.  
 \*\* Requires an additional review conducted by the Traffic Engineering Division.

**THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.**

\_\_\_\_\_  
 Marc Naktin [  OWNER  APPLICANT  AGENT ]  
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

\_\_\_\_\_  
 SIGNATURE 12/2/2020  
DATE

<b>To Be Completed By City Staff:</b> <b>Additional Agency Review if Applicable:</b> <input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___ <input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___ <input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___ Notes: _____ <b>Zoning Approval:</b> <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected Comments/Conditions: <u>LLOR Reviewed Prior. Height, setback, stepback, lot coverage, parking all compliant.</u> _____ <b>REVIEWER:</b> <u>Carlos Gemora</u> <span style="float: right;"><b>DATE:</b> <u>12 / 4 / 2020</u></span>	
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Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

## **#105 Calle La Pena – New studio building**

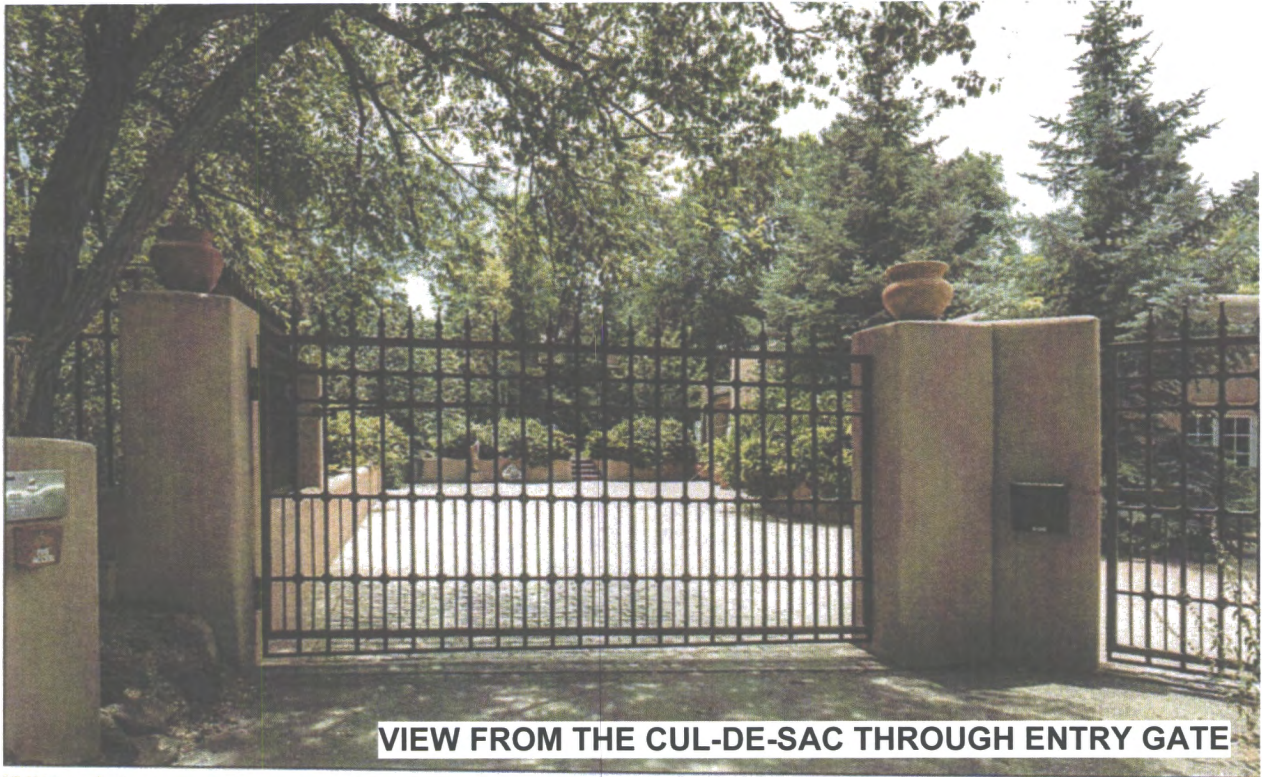
The owner proposes to build a 465 square foot addition to the existing pueblo style residence. This addition will be seamless and will match the existing house stucco color and window manufacturer and color.

The windows will have divided lights. The small windows, which are less than 30", diagonal will not. The portal wood will be finished to match the wood stain on the existing house.

This building will be 12'-0" high, well under the code limit of 14'-0" and the historic limit of 15'-6".

The stucco will be cementitious El Rey Buckskin tinted in order to match the existing as required. Wood stain is a light tan that will also be matched. See the photo of the existing house stucco/wood and window color.

This addition will be invisible to the public. It is a corner cul-de-sac property obscured by the neighbor's house, yard wall and fence. One has to literally walk through the driveway gate 15 feet and peer around the corner to the left before even seeing it.



**VIEW FROM THE CUL-DE-SAC THROUGH ENTRY GATE**



PROPOSED ADDITION  
AROUND CORNER -  
NO VISIBILITY FROM FRONT  
OF HOUSE / CUL-DE-SAC

**VIEW FROM THE STREET JUST PAST ENTRY GATE**



**VIEW FROM SOUTH BACK YARD LOOKING AT NORTH BUILDING SITE**



**EAST EXISTING HOUSE ENTRY**



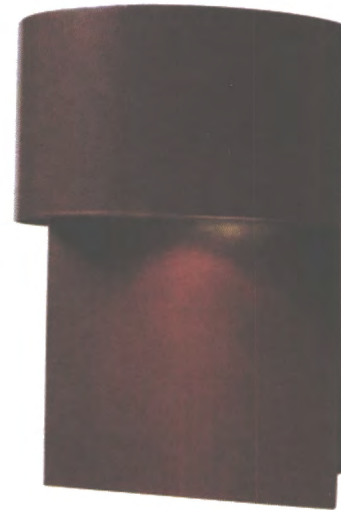
**PROPOSED BUILDING SITE LOOKING SOUTH AT EXISTING HOUSE**



WINDOW STYLE AND COLOR  
AS ON EXISTING HOUSE



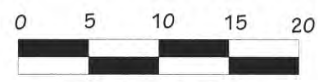
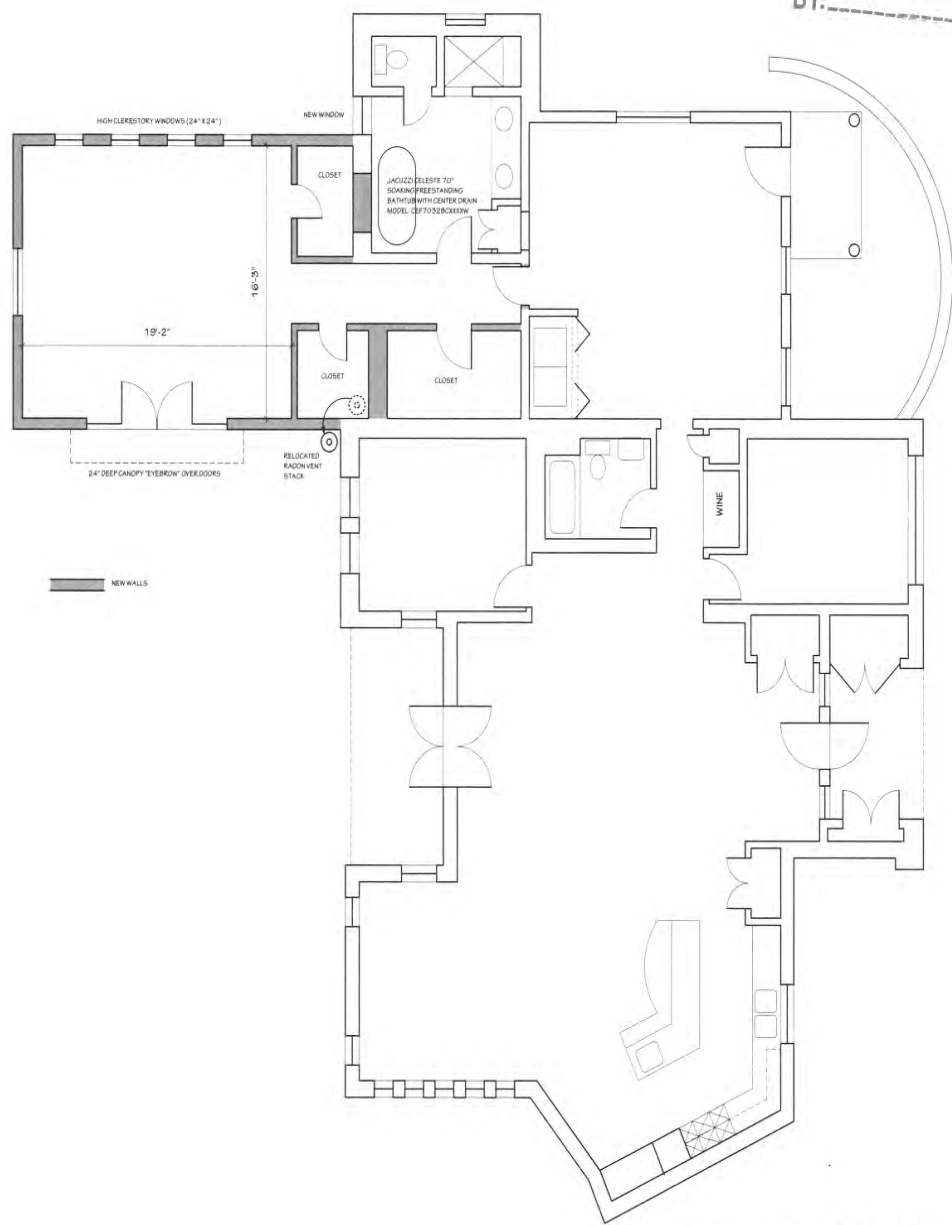
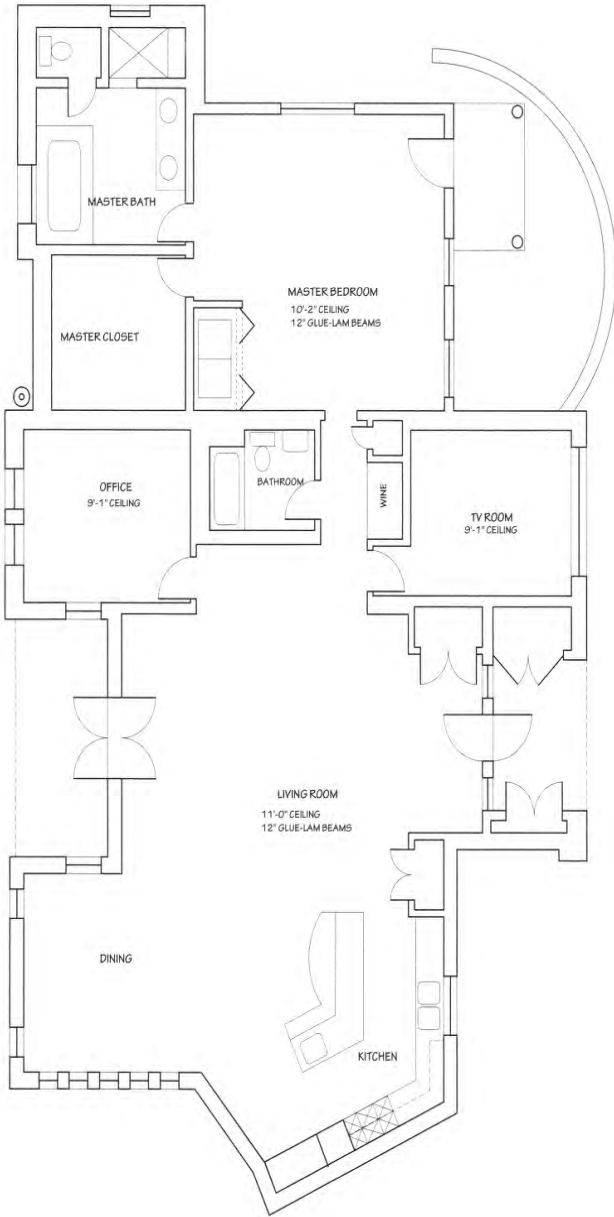
EL REY BUCKSKIN TO MATCH EXISTING



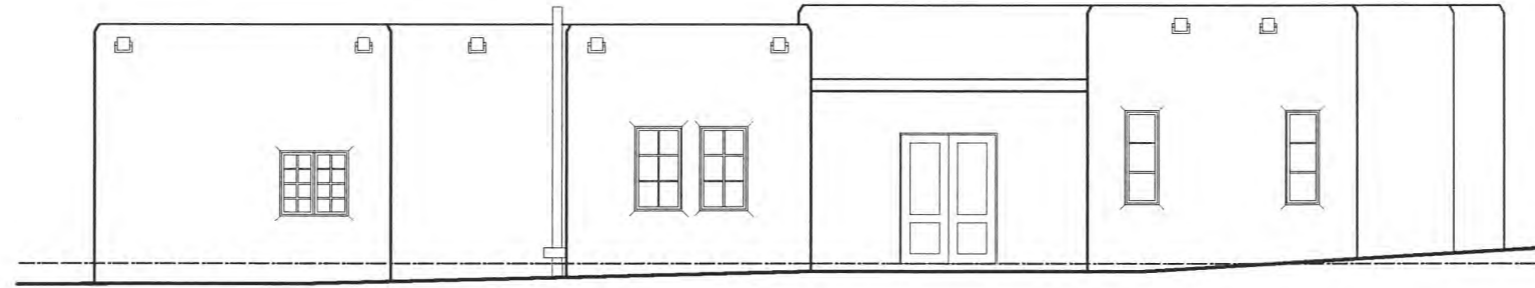
EXTERIOR SCONCE FIXTURE

RECEIVED  
DEC. 16 2020

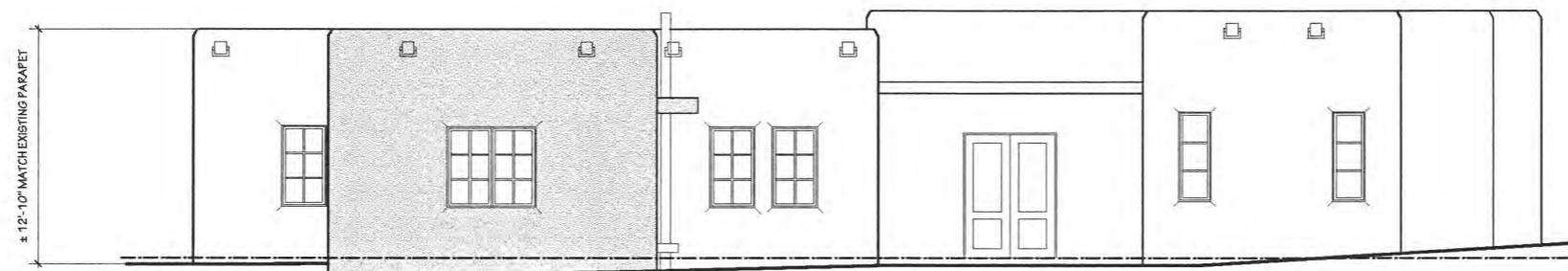
BY: \_\_\_\_\_



105 Calle La Pena

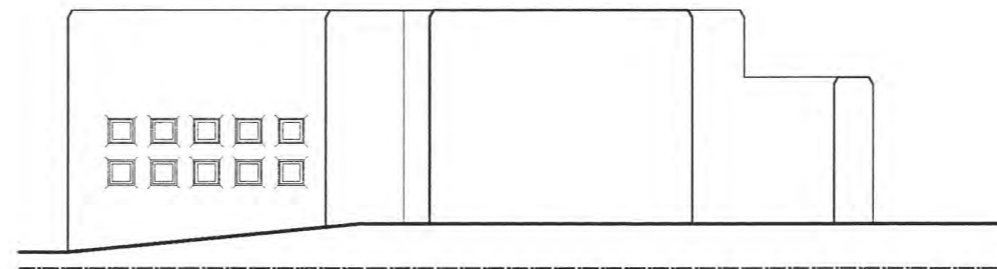


EXISTING WEST ELEVATION  
1/4" = 1'-0"

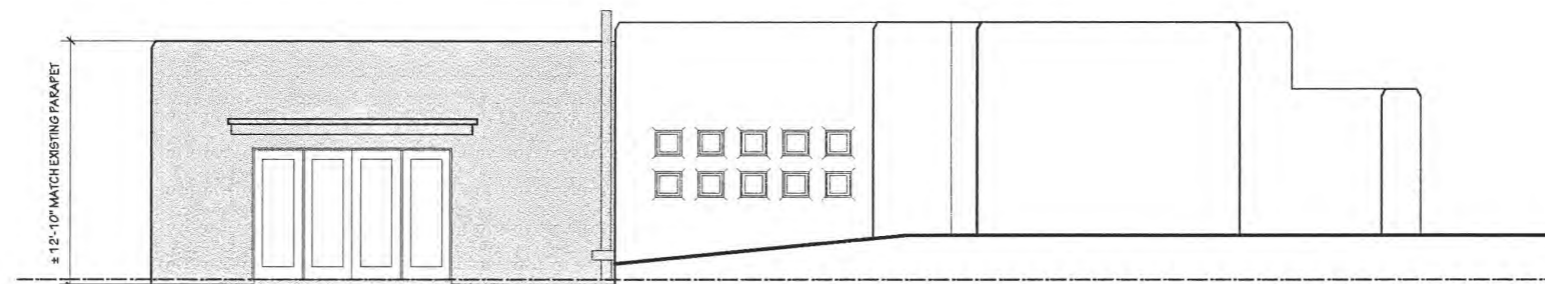


ADDITION SHADED

PROPOSED WEST ELEVATION  
1/4" = 1'-0"

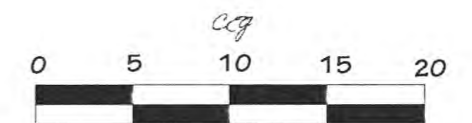


EXISTING SOUTH ELEVATION  
1/4" = 1'-0"

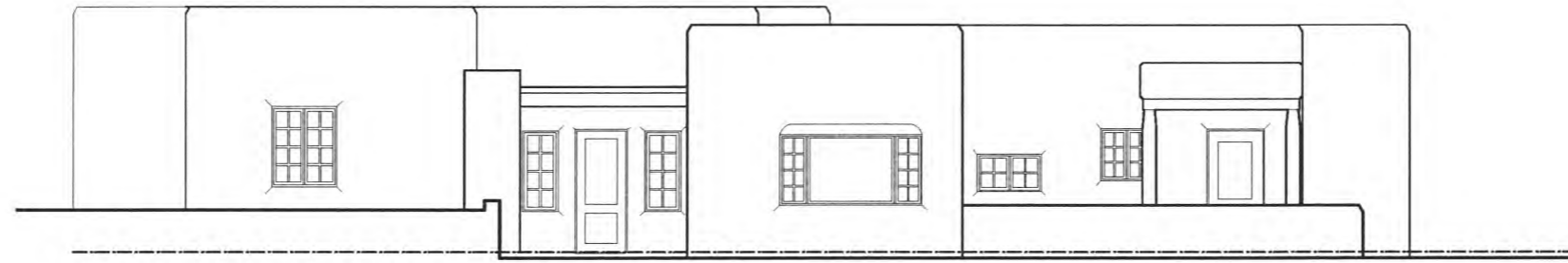


ADDITION SHADED

PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"

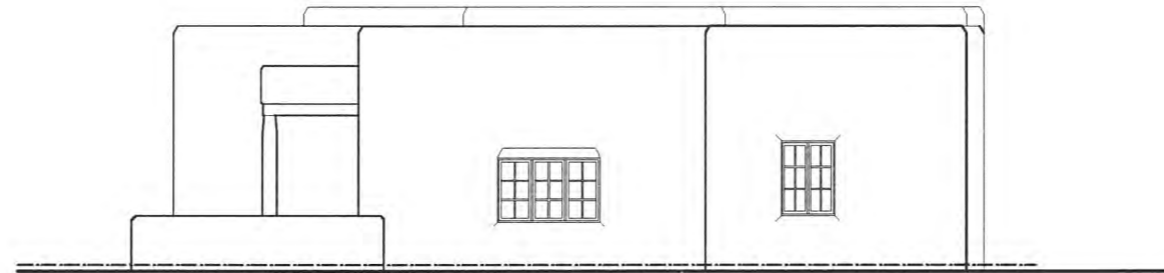


105 Calle La Pena

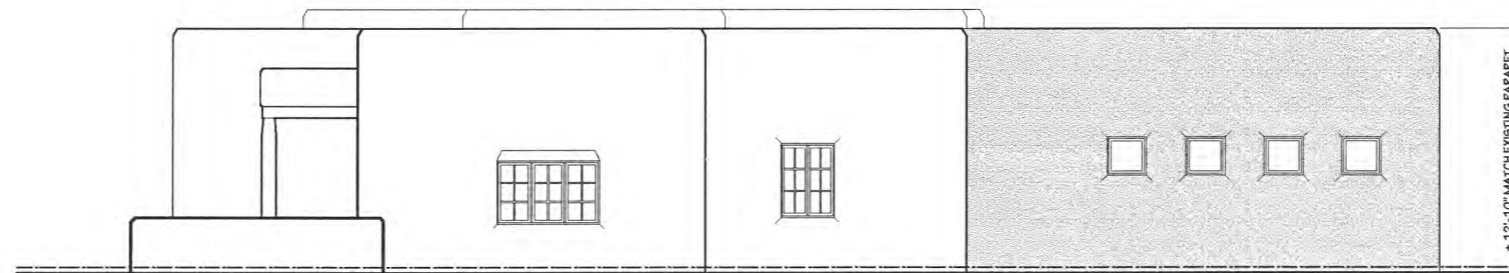


NO CHANGES

EXISTING EAST ELEVATION  
1/4" = 1'-0"

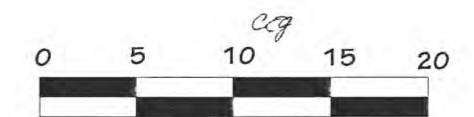


EXISTING NORTH ELEVATION  
1/4" = 1'-0"

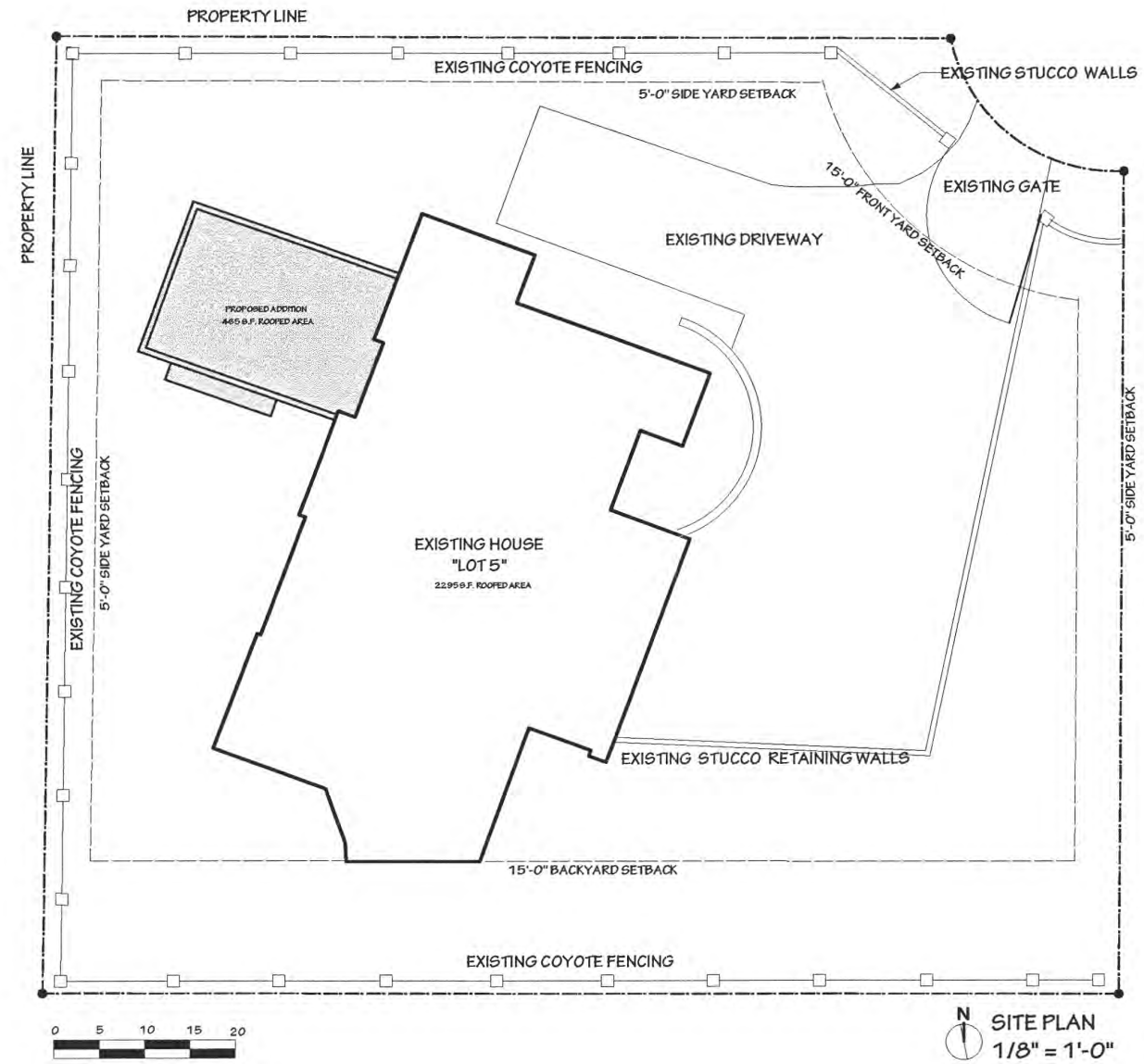


PROPOSED NORTH ELEVATION  
1/4" = 1'-0"

ADDITION SHADED



105 Calle La Pena



413 Sosaya Lane  
Santa Fe, NM 87505  
January 10, 2021

To: The Historic Districts Review Board  
From: Robert and Suzanne Davis

Re: Comments regarding case #2020-002984 – HDRB  
Property at 105 Calle la Pena

Our property at 413 Sosaya Lane is located northwesterly of the southwest corner of 105 Calle La Pena. We do not share a common corner with the subject property. Rather, the western lot line of the subject property extends northerly and is a common lot line from our southeast corner for a distance of about 12 feet (the common property line").

Our concern lies with an existing concrete block retaining wall that appears to run the distance of western lot line of the subject property. The wall looks old; it leans outward from the top and to the south of our property and does not appear to be in good repair. We want to assure that neither remodeling, particularly in the use of heavy equipment, nor the occupation of the requested addition impairs the integrity of that retaining wall through outright damage to the wall or changes of surface water or groundwater flows that subsequently weaken the wall.

Background.

We purchased the property at 413 Sosaya on July 16, 2018, from Roy W and Tana Bidwell. The Bidwells and Richard Gorman (now deceased) developed this property. As best as we can determine, they made no modifications to the retaining wall along the common property line. We do not know who built the retaining wall or when. It obviously was meant to retain soil behind the wall on the subject property, which is at a higher elevation. Any other purposes are unknown.

We are attaching a portion of the boundary survey plat, in pdf format, performed on our behalf by professional surveyor David E. Cooper and dated June 27, 2018. I have highlighted the area in question and it should be compared with the plot plan for the addition to the subject property found on page 175 of the packet before the Board.

The wall appears to lie for the most part on the Applicant's property. A corner pin at our southeast corner from one of the surveys taken on our property shows that the wall extends (or encroaches) about two inches onto our property.

The Wall.

The wall consists of four layers of concrete-type blocks 8" width x 8" height x 16" length. It appears to sit on a roughly poured concrete base. The wall is capped with a solid concrete-type block that is 8" width, 4" height and 16" length. Along our common property line, the wall has a height above ground level of about 36 inches. Immediately behind the wall is a six-foot coyote fence that runs along the common property line and south onto the neighboring property at 519 Sosaya Lane. Further south, and again along the lot line of the property adjacent to us (419

Sosaya Lane), the wall changes and becomes much higher and is covered with adobe colored stucco.

This wall along our common property line is slightly out of plumb. To the south it has a distinct lean outward at the top. It is not in good condition.

Our Concerns.

The property behind the wall, as shown by photographs attached the Applicants' materials to the Board, is undeveloped land with native vegetation. See pages 169 & 170 of the submitted materials. Construction will remove 465 square feet of ground that would otherwise be available for surface water infiltration. Also, we have no idea how surface water will flow from the roof of the addition. We are aware that when our property was developed in 2005 – 2006, the City required the owners to install a system to assure that no rainwater or surface flows left the property.

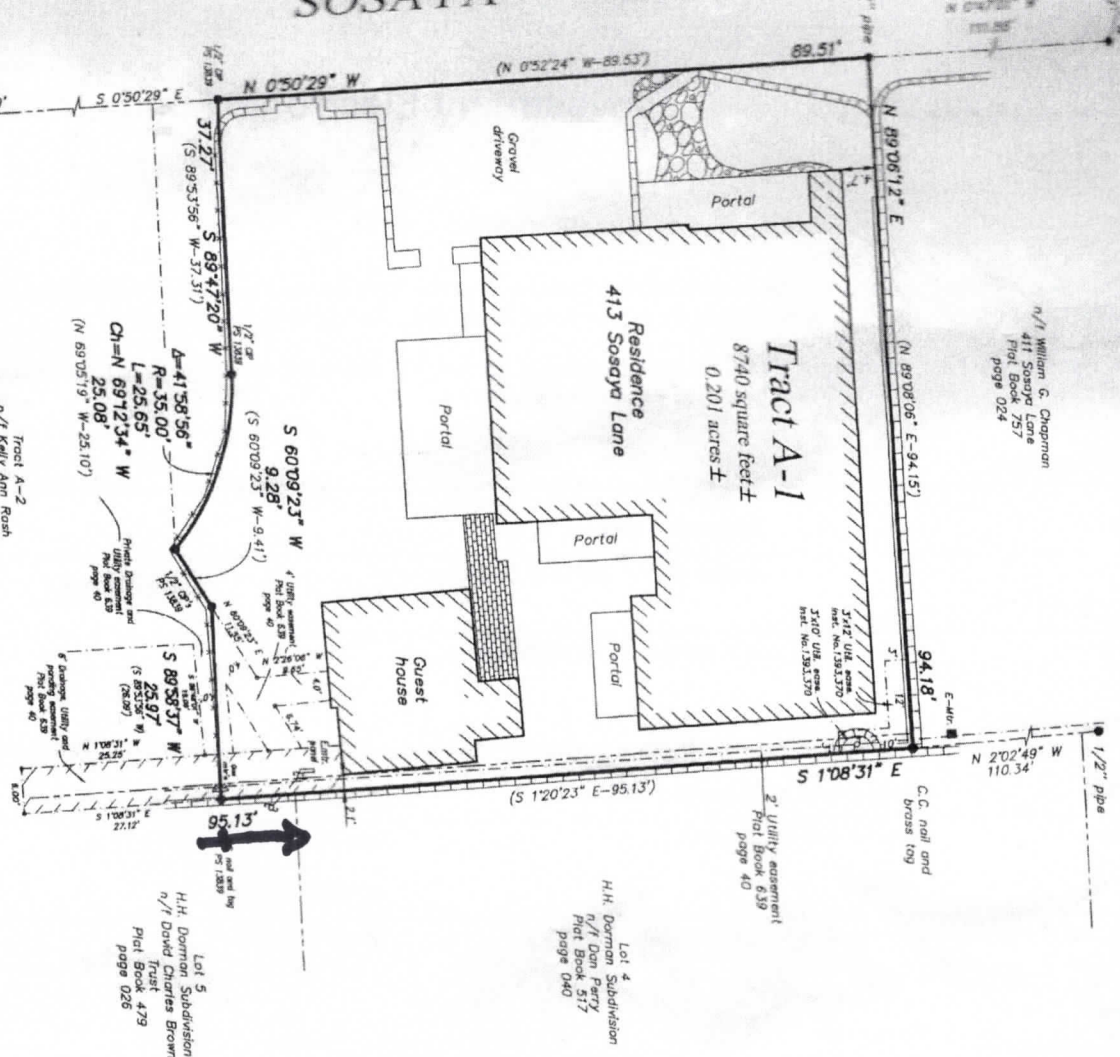
Given the state of the wall and the potential for greater surface or groundwater flows toward the wall, we want assurance that appropriate steps are taken to protect the integrity of the retaining wall during construction and subsequent occupancy. We also expect that the operators of heavy equipment to work in a way that will cause no physical damage to the wall.

Finally, we wish to point out that none of the plans or materials submitted by Applicants show the presence of exterior equipment such as air conditioners, whether roof mounted or wall mounted. We assume that none is intended. If that is not the case and if such equipment is intended to be installed next to our property, we wish to be informed immediately. Unlike other properties near the subject property, we live on ours year-round.

Sincerely,

Robert R. Davis Jr.  
Lyne L. Davis

Plot of survey before its  
 survey is based on those  
 must approve of documents  
 and only require additional  
 a statement does not in any



101  
 Robert R. Davis, Jr.  
 and  
 Suzanne L. Davis  
 Tract A-1, Lot Split Survey prepared for Roy and  
 Tana Bidwell and Ronni & Jeff Ballowe,  
 of Tract A, 413 & 419 Sosoya Lane  
 Santa Fe, Santa Fe County, New Mexico  
 413 Sosoya Lane



Instrument No. \_\_\_\_\_  
 COUNTY OF SANTA FE  
 STATE OF NEW MEXICO  
 I hereby certify that this instrument was filed for  
 record on the \_\_\_\_\_ day of \_\_\_\_\_ A.D.  
 20\_\_\_\_ at \_\_\_\_\_ o'clock \_\_\_\_\_ m., and was duly  
 recorded in Book \_\_\_\_\_ Page \_\_\_\_\_ of the  
 records of Santa Fe County.  
 Witness my Hand and Seal of Office  
 County Clerk, Santa Fe County, New Mexico  
 Geraldine Salazar

Deputy

<b>SIERRA LAND SURVEYING, INC.</b>			
4452 South St. Francis Drive		Santa Fe, New Mexico 87505	
Dwg.	DEC	Ok.	DTC
Project No.	C-033-0618	Bk.	63
		GPS	

Project No. C-033-0618



# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** Christopher Purvis Architects, agent for Lisa Freeman, owner, requests a historic status review with primary facade designation, if applicable, for a non-contributing residential structure.

Case number: **2020-002978-HDRB**  
Project Type: **HDRB**

**PROJECT LOCATION (S):** **847 Old Santa Fe Trail**

OW – Lisa Freeman 847 Old Santa Fe Trail, Santa Fe, NM 87505 [lisafreemanart@icloud.com](mailto:lisafreemanart@icloud.com)

AP -- Christopher Purvis 518 Old Santa Fe Trail, Santa Fe, NM 87505 [Architect@acp-art.com](mailto:Architect@acp-art.com)

### PROJECT DATA:

#### HISTORIC DISTRICT

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

#### HISTORIC BUILDING STATUS

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

#### PRIMARY ELEVATIONS:

North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

#### HISTORIC DISTRICT INVENTORY NUMBER

H. 4174

#### YEAR OF CONSTRUCTION

Post 1946

#### PROJECT TYPE

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSED Residential  Non-Residential

#### HISTORIC BUILDING NAME

NA

# City of Santa Fe, New Mexico

# memo

**DATE:** January 12, 2021  
**TO:** Historic Districts Review Board Members  
**FROM:** Angela Bordegaray, Senior Planner, Historic Preservation Division AB

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**Case # 2020-002978-HDRB**

**Address: 847 Old Santa Fe Trail**  
**Historic Status: Non-Contributing**  
**Historic District: Downtown and Eastside**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

**District Standards & yard wall & fence standards**

**Historic Inventory Form H 4174**

**Zoning Review Sheet**

**Previous Case: H-96-134**

**APPLICANT SUBMITTALS**

**Proposal Letter**

**Site Plan/Floor Plan**

**Elevations**

**Photographs**

**Other: 1967 Aerial Photo**

**RECOMMENDATION:**

Staff recommends retaining the structure's non-Contributing status per 14-5.2 (C) in the Downtown and Eastside Historic District.

**BACKGROUND & SUMMARY:**

847 Old Santa Fe Trail is a Spanish-Pueblo Revival single-family residence built after 1946. The residence is designated as non-Contributing to the Downtown and Eastside Historic District. Alterations to the house were made in 1996. A one-story addition was added to the east elevation and associated renovation treatments were made. The addition matches the residence with divided lite double-hung windows and exposed lintels. The south elevation window opening was enlarged, and a five-foot yard wall was added along the existing vehicular drive. All windows on the south (east) elevation were replaced with vinyl divided lite windows.

The applicant requests a historic status review of the property.

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM1)

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. \_\_\_\_\_ District No. \_\_\_\_\_  NRHP  SRCP Criteria:  A  B  C  D

<b>1 Name of Property</b> <small>(Historic and/or current name for property)</small>	<b>2 Location</b> <small>(Address or description of location)</small>	<b>3 Local Reference Number</b>
	847 OLD SANTA FE TRAIL	County Santa Fe

**5 Property Type**

Building  Structure  
 Site  Object

**6 Date of Survey**

5 / 16 / 02

**7 Previous Survey Date(s)**

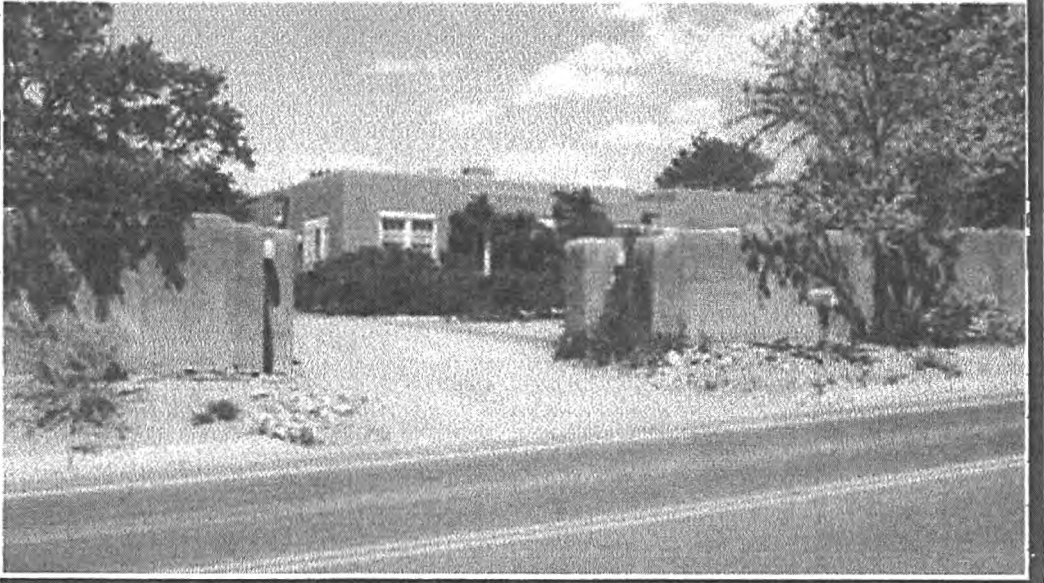
\_\_\_\_ / \_\_\_\_ / \_\_\_\_

No previous survey

**8 Name of Project**

**9 UTM**

Zone:     
 Easting:     
 Northing:   



**10 Photo Information**

Roll #:   5   Negative Location: HPD View of: SOUTH R6, N15  
 Frame #:   3-15   CD#3 93-105 CD#3 93

**11 Brief Description of the Property** (What is it?)

HOUSE WITH MEDIUM HT. WALL, GARAGE, ADDITION AT SOUTHEAST

**12 Who Uses the Property?** (Current and historic users and uses made of property. Indicate cultural affiliation of users.)

**13 Construction Date**

Date: 1950s  Known  Estimated Source:

**14 Setting**

Suburban  Rural  Village  Urban If Urban:  Commercial  Industrial  Residential  Public

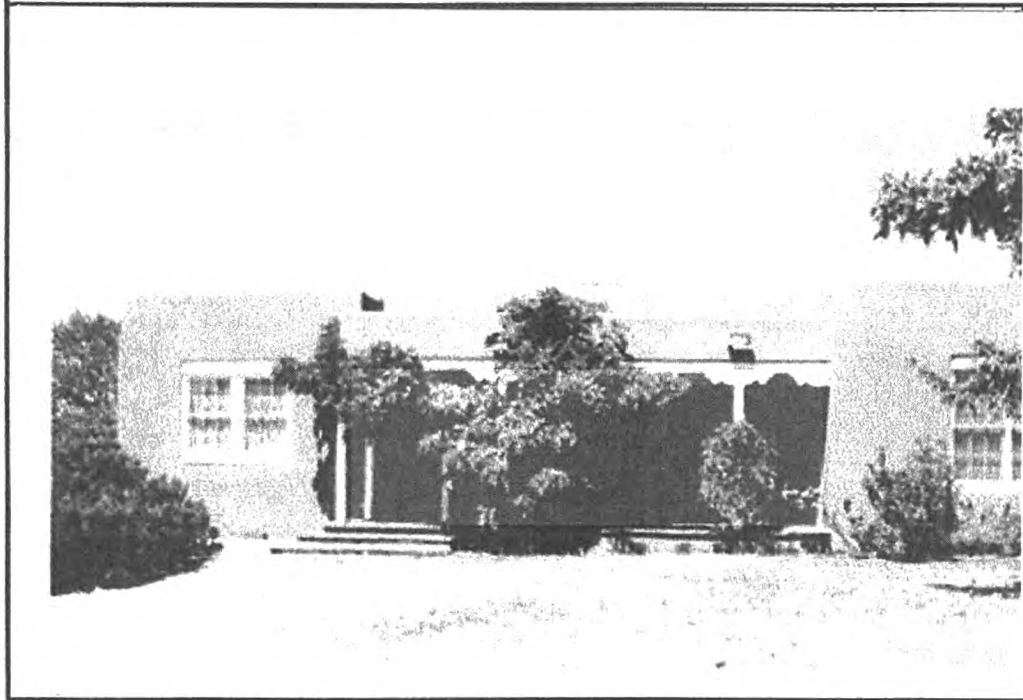
**15 Relationship to Surroundings**  Similar  Dissimilar

Comments:

Continued on other side

Historic Preservation Division, New Mexico Office of Cultural Affairs

**16 Additional Perspective** (Photo, drawing, footprint, etc.; Indicate north arrow when possible.)



**Notes:** (If photo, include photo information, as in #10.)

SOUTH R6 14 CD#3 94

**7 Surveyor**

(Your name, address, telephone number, and any group affiliation.)

Catherine Colby  
906 Don Miguel Pl.  
Santa Fe, NM 87505

**8 Owner (if known) and Other Knowledgeable People**

(Provide contact information for persons known or believed to have information about property.)

**19 Is Property Endangered?**  Unknown  No  Yes How?

**20 Significance to Current Community**  Unknown  None  Low  Moderate  High

Describe:

**21 Other Significance or Information of Interest** (Such as historical, legendary, structural, former ownership, etc.)

**22 National or State Register** (See instructions for eligibility criteria.)

Is this property individually listed on a historic register?  Unknown  No  Yes

If yes:  State  National

If 'no' or unknown, do you think this property is eligible for listing?  No  Yes

Why?

**23 National or State Historic District**

Is this property in a historic district?  Unknown  No  Yes

If yes:  Contributing  Non-Contributing  Unknown

If 'yes,' what is name of district? DOWNTOWN & EASTSIDE  State  National

**24 Supplemental Forms**  None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: PHOTOS & SITEPLAN

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Office of Cultural Affairs >>>>Please complete HCPI FORM 1 before completing Form 2<<<<<

For HPD Office use only:

HCPI

No.

District

3

Local Reference Number

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

4 County

SANTA FE

5 Date of Survey

5/02

847 OLD SANTA FE TRAIL

## ARCHITECTURAL AND CONSTRUCTION DETAILS

6 Visible Construction Material

- |  |   |  |   |
|--|---|--|---|
| <input type="checkbox"/> Adobe                   | <input type="checkbox"/> Brick                    | <input type="checkbox"/> Composition       | <input type="checkbox"/> Concrete: Block      |
| <input type="checkbox"/> Concrete: Cast Stone    | <input type="checkbox"/> Concrete: Poured         | <input type="checkbox"/> Earth Plaster     | <input type="checkbox"/> Masonry: Simulated   |
| <input type="checkbox"/> Metal: Corrugated       | <input type="checkbox"/> Metal: Structural Siding | <input type="checkbox"/> Metal: V-Crimp    | <input type="checkbox"/> Stone: Random Ashlar |
| <input type="checkbox"/> Stone: Random Coursed   | <input type="checkbox"/> Stone: River Rock        | <input type="checkbox"/> Stone: Rusticated | <input type="checkbox"/> Stone: Tabular       |
| <input checked="" type="checkbox"/> Stucco       | <input type="checkbox"/> Tile: Structural Clay    | <input type="checkbox"/> Vinyl Siding      | <input type="checkbox"/> Wood: Board & Batton |
| <input type="checkbox"/> Wood: Horizontal Siding | <input type="checkbox"/> Wood: Jacal              | <input type="checkbox"/> Wood: Log         | <input type="checkbox"/> Wood: Shingle        |
| <input type="checkbox"/> Wood: Tongue & Groove   | <input type="checkbox"/> Other: _____             |  |   |

Notes:

7 Number of Stories  Not Applicable

Number:  1  1 1/2  2  2 1/2 Other: \_\_\_\_\_

8 Foundation  Not Applicable

Not Visible  None  At Grade  Above Grade  Raised

Materials:  Concrete  Stone Other: \_\_\_\_\_

Notes:

9 Roof  Not Applicable

Shape:  Flat  Gabled  Hipped  Pyramidal

Shed  Other: \_\_\_\_\_

Pitch:  None  Low  Medium  Steep

Features:  Eave  Parapet

Materials:  Asphalt  Composition: Shingle  Composition: Roof

Earth  Metal: Corrugated  Metal: Pressed

Metal: Standing Seam  Metal: V-Crimp

Tile: Terra Cotta

Wood: Shingle

Other: \_\_\_\_\_

10 Windows

(Describe operation, materials, and glazing patterns of those windows on main or street facing elevation and other notable windows.)

Not Applicable

Operation	Material	Glazing	Number
DBL.HUNG	WOOD	6/6	3 PR.
	WOOD		1 GRP.

Notes:

11 Doors

(Describe type, style, and material of those doors on main or street facing elevation and other notable doors.)

Not Applicable

Type	Style	Material	Number
MULTIPANEL		WOOD	1

Notes:

12 Chimneys

(Describe whether interior or exterior and material)

13 Porches

Not Applicable

Type:  Entry  Partial-Width  Full-Width  Wrap

14 Other Significant Features

(Unique or outstanding features; Describe)

15 Modifications

(For each modification, indicate the source of the modification date stated. If it is your own, write "surveyor." If prior survey, give date of survey.)

No known modifications

1. ADDITION Date: 1990s  Known  Estimated Source: OWNER

2. \_\_\_\_\_ Date: \_\_\_\_\_  Known  Estimated Source: \_\_\_\_\_

Continued on other side

HCPI Detail Form (FORM 2)

(Continued from the other side)

Historic Preservation Division, New Mexico Office of Cultural Affairs

16 Primary Architectural Style

Not Applicable

Art Deco/Streamline Moderne

Gothic Revival

Mission Revival

Pueblo

Spanish-Pueblo Revival

Bungalow/Craftsman

International

Neo-Classical

Queen Anne

Territorial

Colonial Revival

Italianate

Northern New Mexico

Ranch

Territorial Revival

Folk Victorian

Mediterranean

Prairie

Spanish-Colonial

Tudor Revival

Notes:

Other: \_\_\_\_\_

17 Documents Available and Their Locations

(Plans, histories, oral histories, maps, aerial photos, bibliographical references, etc.)

SITE

18 Attached or Associated Properties

(List & describe. Indicate whether surveys exist for these and provide survey numbers, if known.)

GARAGE/DWELLING AT REAR

Are associated properties eligible for listing?

19 Site Plan

SEE  
CONTINUATION  
SHEET

**Please Include:**

- Footprint of building
- Porches and balconies
- Major landscape features
- North arrow
- Associated properties
- Walls, fences, gates
- Nearby roads
- Driveways

**Notes:**

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only:

HCPI No. \_\_\_\_\_

District No. \_\_\_\_\_

3 Local Reference Number \_\_\_\_\_

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

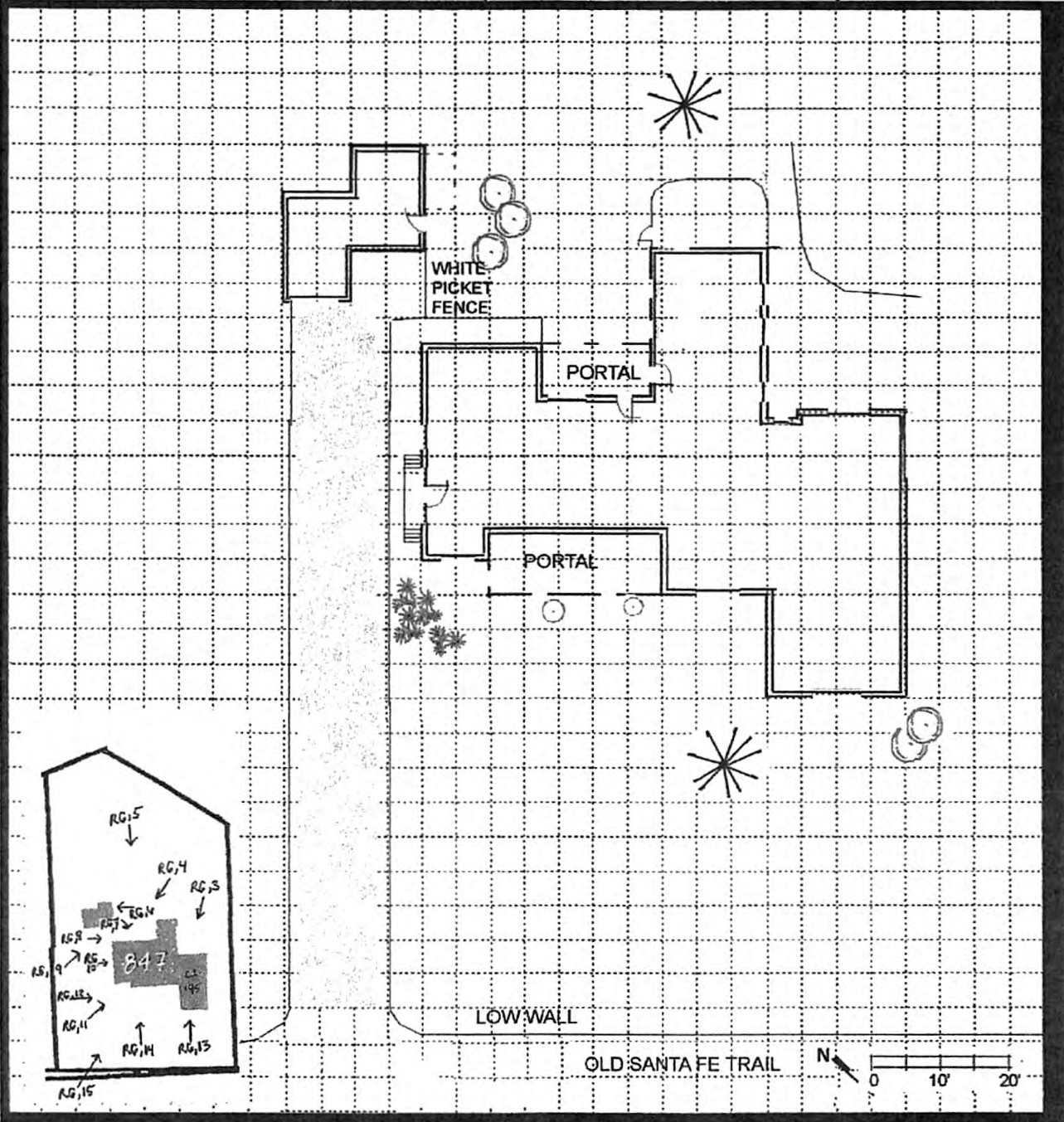
4 County \_\_\_\_\_

SANTA FE

847 OLD SANTA FE TRAIL

5 Date of Survey \_\_\_\_\_

5/02



Continued on other side

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only:

HCPI No. \_\_\_\_\_

District No. \_\_\_\_\_

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2 Location (Address or description of location)

4 County \_\_\_\_\_

SANTA FE

847 OLD SANTA FE TRAIL

5 Date of Survey \_\_\_\_\_

5/02



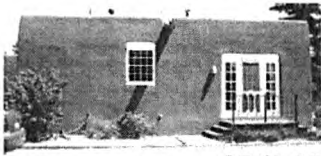
R6 15 SOUTH CD#3 93



R6 11 SW CD#3 97



R6 14 SOUTH CD#3 94



R6 10 WEST CD#3 98



R6 12 SOUTH CD#3 96



R6 13 SOUTH CD#3 95



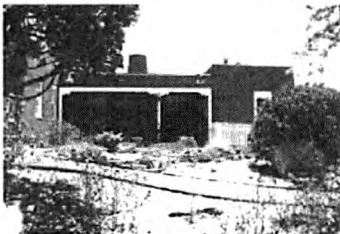
R6 3 N E CD#3 105



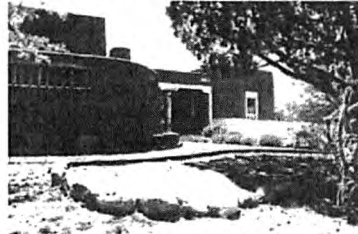
R6 7 N W CD#3 101



R6 8 N W CD#3 100



R6 5 NORTH CD#3 103



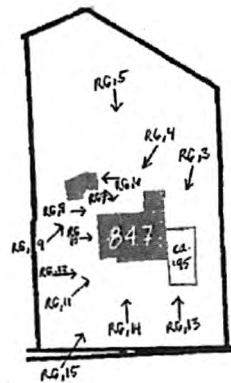
R6 4 NORTH CD#3 104



R6 9 SW CD#3 99



R6 6 EAST CD#3 102



Continued on other side

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only:

HCPI No. \_\_\_\_\_

District No. \_\_\_\_\_

3 Local Reference Number \_\_\_\_\_

1 Name of Property (Historic and/or current name for property)

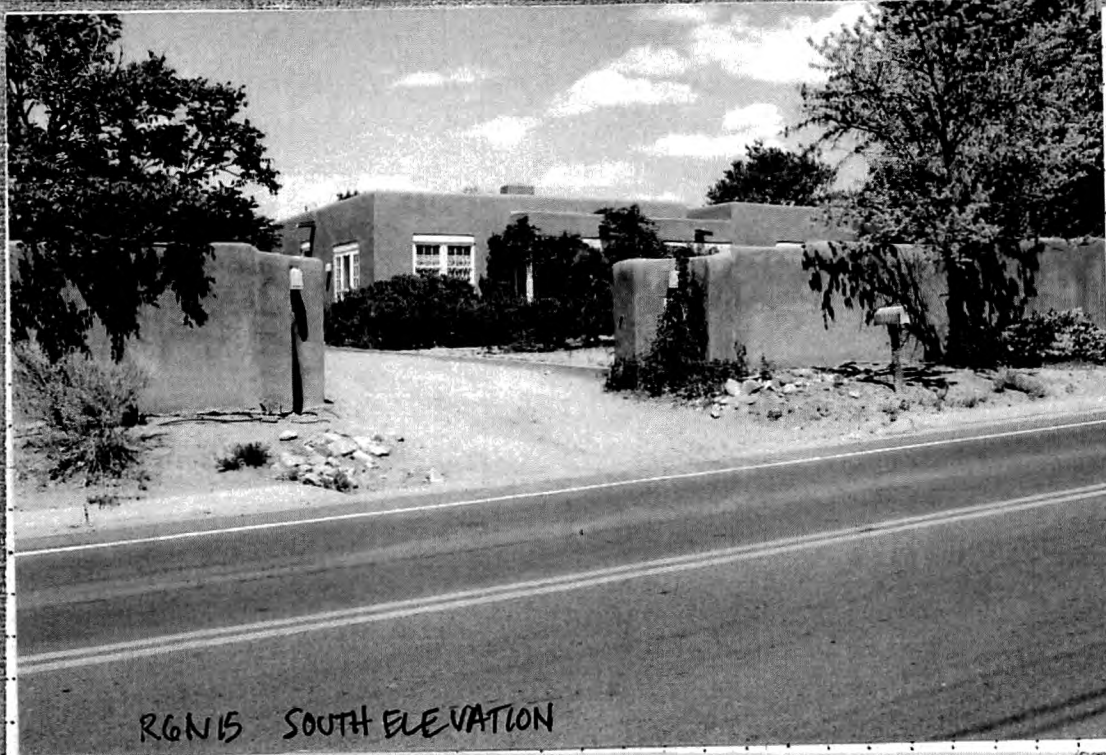
2 Location (Address or description of location)

4 County \_\_\_\_\_

5 Date of Survey \_\_\_\_\_

847 OLD SANTA FE TRAIL

SANTA FE



R6 N15 SOUTH ELEVATION



R6 N14 SOUTH ELEVATION

if on other side

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only

HCPI No. \_\_\_\_\_

District No. \_\_\_\_\_

3 Local Reference Number \_\_\_\_\_

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

4 County \_\_\_\_\_

SANTA FE

5 Date of Survey \_\_\_\_\_

5/02

847  
OLD SANTA FE  
TRAIL



R6 N 12 SOUTH ELEVATION



R6 N 11 SOUTH / WEST ELEVATION

used on other side

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only

HCPI No. \_\_\_\_\_

District No. \_\_\_\_\_

3 Local Reference Number \_\_\_\_\_

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

4 County \_\_\_\_\_

5 Date of Survey \_\_\_\_\_

847  
OLD SANTA FE  
TRAIL

SANTA FE

5/02



R 6 N 3 NORTH/EAST ELEVATION



R 6 N 8 NORTH/WEST ELEVATION

Continued on other side

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only:

HCPI No. \_\_\_\_\_

District No. \_\_\_\_\_

3 Local Reference Number \_\_\_\_\_

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

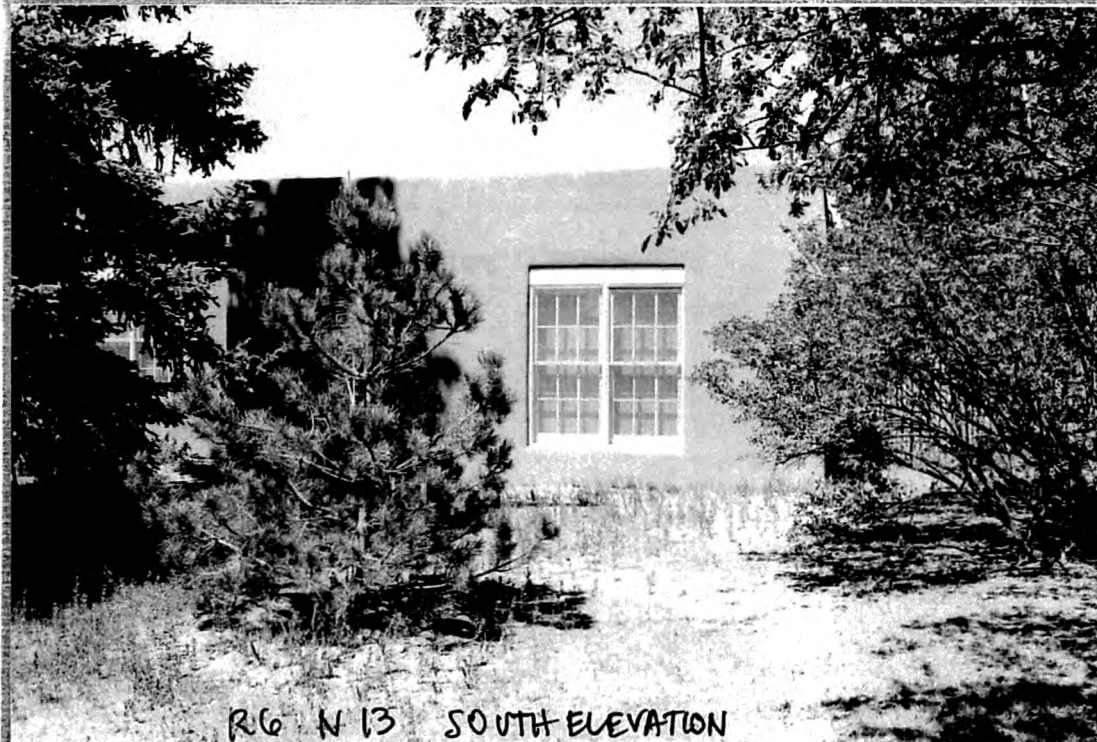
4 County

SANTA FE

5 Date of Survey

5/02

847  
OLD SANTA FE  
TRAIL



R6 N 13 SOUTH ELEVATION



R6 N 10 WEST ELEVATION

ed on other side

# Historic Cultural Properties Inventory (HCP) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only

HCP No. \_\_\_\_\_

District No. \_\_\_\_\_

3 Local Reference Number \_\_\_\_\_

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

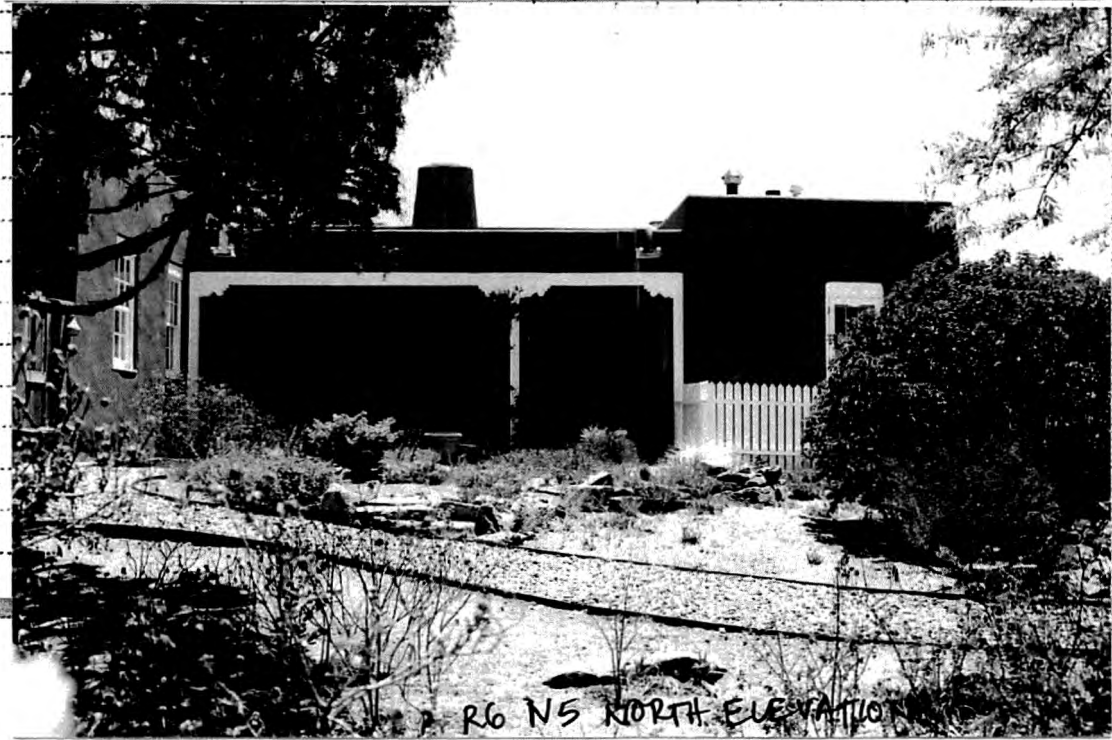
4 County SANTA FE

5 Date of Survey \_\_\_\_\_

847 OLD SANTA FE TRAIL



R 6 N 7 NORTH/WEST ELEVATION



R 6 N 5 NORTH ELEVATION

and on other side

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

1	Name of Property <i>(Historic or/for current name for property)</i>	2	Location <i>(Address or description of location)</i>	3	Local Reference Number
			847 OLD SANTA FE TRAIL	4	County SANTA FE
				5	Date of Survey 5/02



Continued on other side

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only

HCPI No. \_\_\_\_\_

District No. \_\_\_\_\_

3 Local Reference Number \_\_\_\_\_

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

4 County

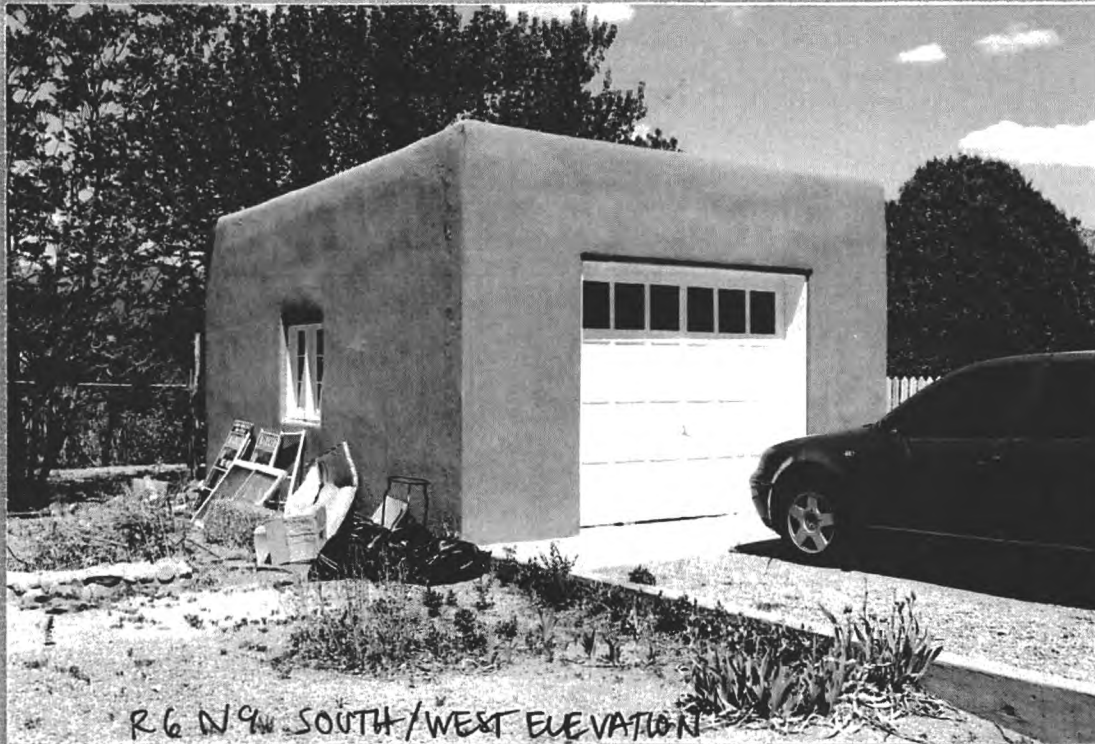
SANTA FE

5 Date of Survey

5/02

G

847 OLD SANTA FE TRAIL



R 6 N 9 W SOUTH/WEST ELEVATION



R 6 N 9 W EAST ELEVATION



used on other side

# A. CHRISTOPHER PURVIS

ARCHITECTS

Historic Districts Review Board  
City of Santa Fe, City Hall  
Santa Fe NM 87501

Monday, November 9, 2020

RE: 847 Old Santa fe Trail  
Enclosed (1) 24"x36"  
and (1) 11"x17" copies


A-1 Site & Floor Plans Existing 9/7/20  
Photographs of elevations  
1967 DOT aerial photo  
HCPI form May 2002

Dear Angela Bordegaray and  
Members of the Historic Districts Review Board

This house built in the 1950's See attached HCPI form. Received a major addition in 1996 designed by Dutch and Germans and has had most of the openings replaced with more modern windows.

The buildings are non contributing so we ask that you designate the status of the buildings and if necessary designate primary elevations

Please call if you have any questions on the project 982-5461  
Sincerely,



Christopher Purvis.



HOUSE NORTH ELEVATION

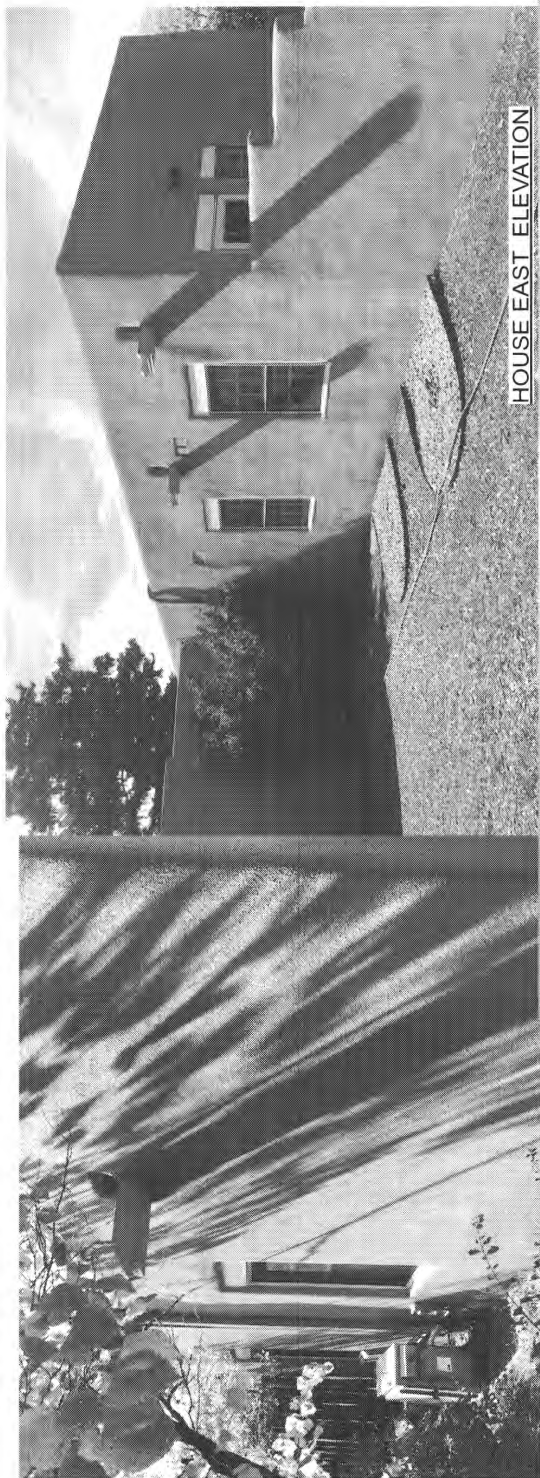
REAR



HOUSE SOUTH ELEVATION

FRONT

847 OLD SANTA FE TRAIL



HOUSE EAST ELEVATION

SIDE



HOUSE WEST ELEVATION

SIDE



847 OLD SANTA FE TRAIL

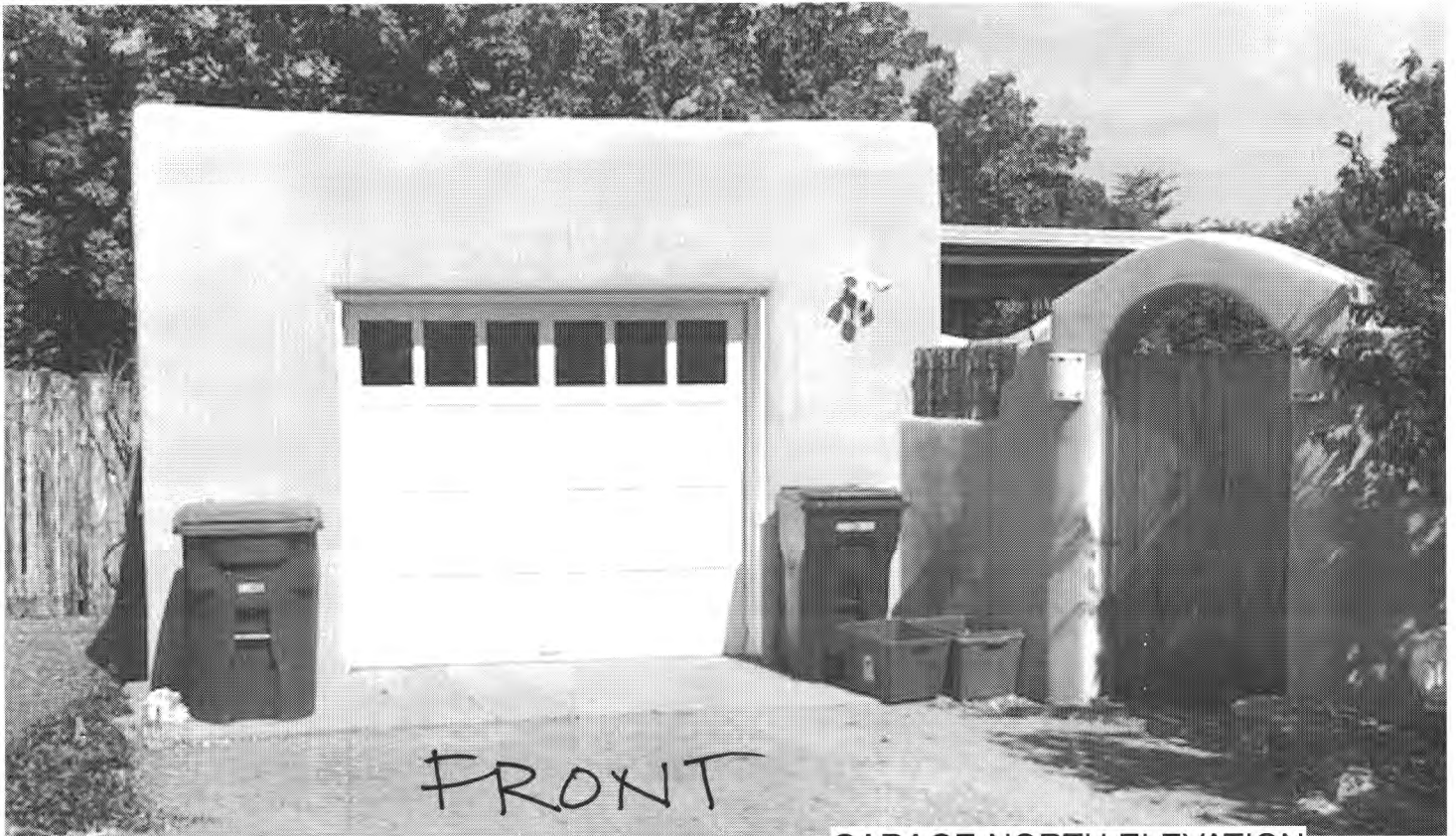


GARAGE EAST ELEVATION



847 OLD SANTA FE TRAIL

GARAGE WEST ELEVATION



GARAGE NORTH ELEVATION



847 OLD SANTA FE TRAIL

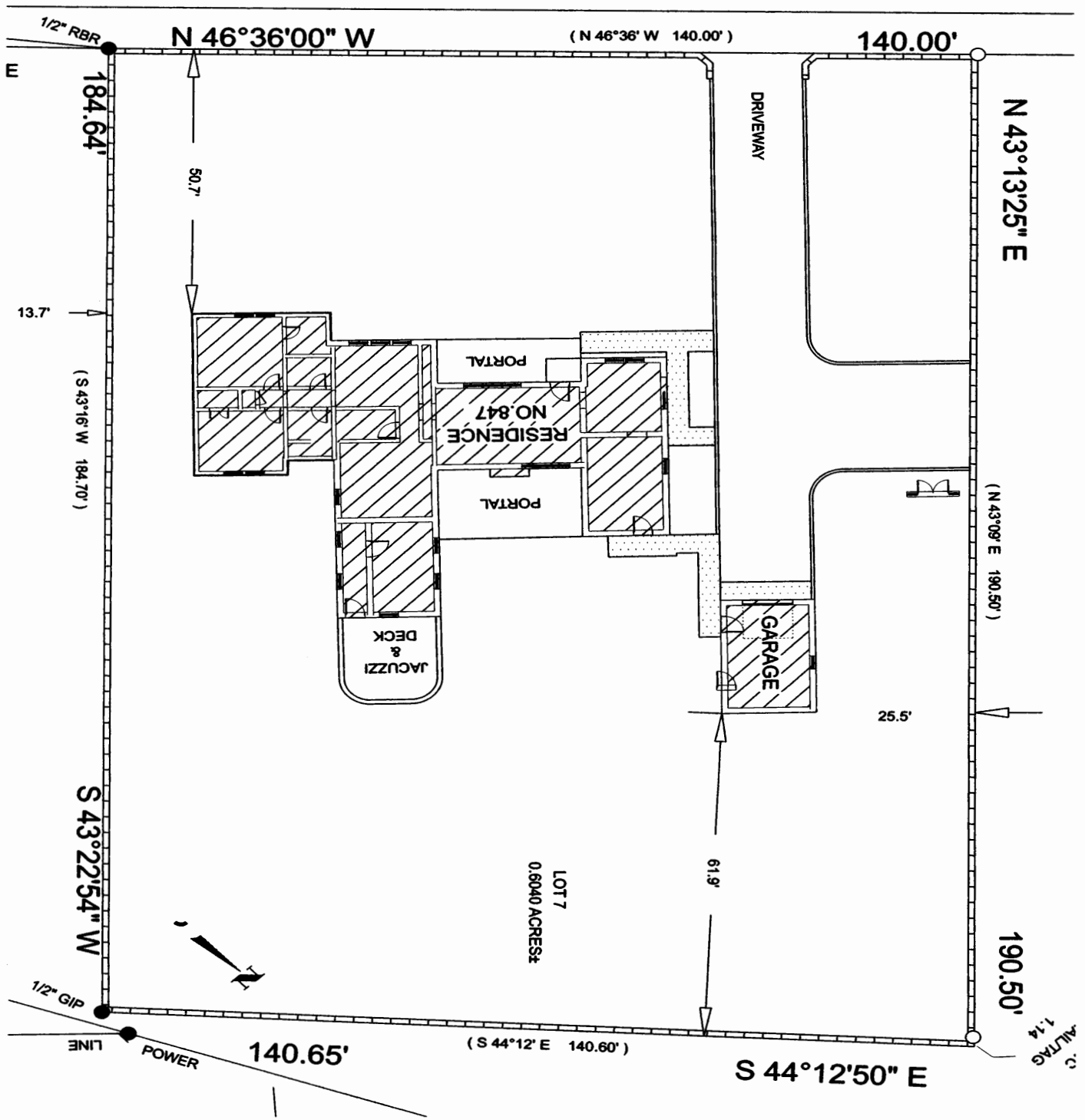
GARAGE SOUTH ELEVATION

SIDE



1967 AIREAL

# OLD SANTA FE TRAIL



**FREEMAN GUEST/GARAGE ADDITIONS**  
 847 OLD SANTA FE TRAIL  
 SANTA FE, NEW MEXICO

**A. CHRISTOPHER PURVIS**

222 East Marcy #19  
 Santa Fe New Mexico 87501 Tel 505 982 5461  
 E Mail Architect@ACP-AIA.com

9/7/2020  
**A-1**  
 JOB NO. 4012  
 23



# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** Sandra Donner, agent for Gail Mills and Phil Haworth, owners, requests a status review for a yard wall.

Case number: **2020-002974-HDRB**  
Project Type: **HDRB**

**PROJECT LOCATION (S):** **530 East Alameda Street**

OW – Gail Mills and Phil Haworth 530 East Alameda Street, Santa Fe, NM 87501  
[gaylemariemills@gmail.com](mailto:gaylemariemills@gmail.com) and [philhaworth@yahoo.com](mailto:philhaworth@yahoo.com)

AP – Sandra Donner Surroundings Studio 1611 Paseo de Peralta, Santa Fe, NM 87501 [Sandra@surroundings.studio](mailto:Sandra@surroundings.studio)

## PROJECT DATA:

### HISTORIC DISTRICT

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

### HISTORIC BUILDING STATUS

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

PRIMARY ELEVATIONS: North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

HISTORIC DISTRICT INVENTORY NUMBER \_\_\_\_\_

YEAR OF CONSTRUCTION \_\_\_\_\_

### PROJECT TYPE

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSED Residential  Non-Residential

HISTORIC BUILDING NAME \_\_\_\_\_

# City of Santa Fe, New Mexico

# memo

**DATE:** January 12, 2020  
**TO:** Historic Districts Review Board Members  
**FROM:** Daniel Schwab, Senior Planner, Historic Preservation Division

---

**Case # 2020-002974-HDRB**

**Address: 530 East Alameda Street**  
**Historic Status: Contributing**  
**Historic District: Downtown and Eastside**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

District Standards & yard wall  
& fence standards.

Historic Inventory Form 2020

Zoning Review Sheet

Other:

**APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

**STAFF RECOMMENDATION:**

Staff recommends that the historic status of the structure be designated contributing per Section 14-5.2(C)(2) Designation of Significant, Contributing or Noncontributing Status within Historic Districts.

## **BACKGROUND & SUMMARY:**

530 East Alameda is a single-family residential structure with contributing status to the Downtown and Eastside Historic District. The house was constructed in a Spanish Colonial Revival style popular in California around 1934, with a red-tile roof, smooth stucco walls, arched openings and glazed painted tile steps.

This case is in reference to the brick wall which extends along the northern perimeter of the property and to the south along the sides of the driveway and includes a small brick stair. This wall has not been designated a historic preservation status. The bricks are concrete and are most likely made through a wire-cut process. A detailed description is given in the HCPI. The eastern portion of the wall dates from around 1958, while the western and southern portions are later, from around 1966. It is likely that at one time the walls were stuccoed. Small portions reveal traces of a stucco covering.

The HCPI states that the style of the brick wall is incongruous with that of the Spanish Colonial Revival house. In the opinion of staff, this does not detract from the significance of the wall, which, per Section 14-5.2 (C)(1) is a historic record of its time, place through its materials, construction techniques of the bricks and craftsmanship of the wall's concave mortar joints and has such has a high level of historic integrity.

# surroundings

landscape  
architecture  
urbanism

16 December 2020

To: Mr. Daniel Schwab  
Historic Districts Review Board

From: Sandra Donner

Re: 540 East Alameda #7 (AKA 530 East Alameda) Brick Wall Status review

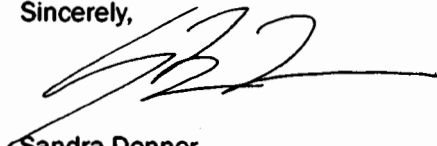
Gayle Mills and Phil Haworth, owners of 540 East Alameda #7 (AKA 530 East Alameda), are requesting a status review of low brick walls on their property.

We have attached multiple exhibits, as shown below, and have included a research document on the existing bricks. The low, lying, brick wall that currently exists on the property is composed of "wire cut" bricks and may have been installed as early as 1958. It is our assertion that the bricks are completely incongruous to the 1930's Spanish Colonial Revival Home. The bricks are also in poor condition. The bricks themselves appear to have been stuccoed before (see Exhibit D).

**Attachments:**

1. Exhibit A: Brick Wall Research
2. Exhibit B: Existing Site Plan
3. Exhibit C: Exterior Wall and Fence Elevations
4. Exhibit D: Brick Photographs
5. Exhibit E: Existing Photographs

Sincerely,



Sandra Donner,  
RA  
Principal/Partner

# ARCHITECTURAL History Services

**John W. Murphey**  
Architectural Historian/Researcher/Planner  
Santa Fe, New Mexico  
San Francisco Bay Area, California  
john@archhistoryservices.com

October 26, 2020

Sandra Donner  
Surroundings Studio  
1611 Paseo De Peralta  
Santa Fe, NM 87505

RE: 530 East Alameda Street (Parcel# 910013852) – Brick Wall Research

Dear Ms. Donner:

Responding to your request, I researched the background of a brick wall defining the north (front) side and a driveway of a lot addressed at 530 East Alameda Street. The project's scope was informed by communications from your office and guidance provided by Santa Fe Historic Preservation Division planner Daniel Schwab.

The goal of the effort was to determine the wall's era of construction, the age and origin of the brick, and whether this brick is in keeping with the house's style.

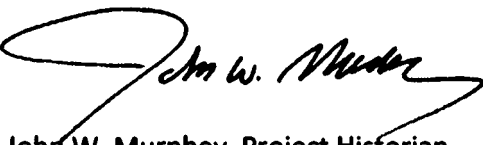
The research involved reviewing historical aerial photographs and period maps. Further study included a limited review of government documents, newspaper accounts, and Santa Fe city directories. In addition, period building construction books and materials catalogs were reviewed. The author further drew upon his knowledge of the brick type, based on surveys conducted in New Mexico and surrounding states.

In summary, based on aerial photographs, the street-facing portion of the wall may have been in existence since 1958. The west portion, edging the driveway, postdates that period. The existing wall material, a standard-dimension, wire-cut brick, appears to be of historical vintage but is not harmonious with the Spanish Colonial Revival style of the house and its landscape.

The findings of this research follows.

Please feel free to contact me if you have any questions about this report.

Sincerely,



John W. Murphey, Project Historian

## Property Overview

There is no existing Historic Cultural Property Inventory for the house. It is associated with Ellen-Dexter Fales, a New York socialite and Santa Fe summer resident. Born in Canada in 1889, Ellen grew up in Newburyport, where her father was a prominent cotton dealer. In 1911, she married Haliburton Fales, Jr., a Boston Brahmin, who worked as a stockbroker in New York. After their divorce, Ellen, and her daughter, Ellen Dexter, spent their summers in Santa Fe. In c.1934, Dexter-Fales commissioned the house along the Alameda. Designed in California's popular Spanish Colonial mode, the resulting house was stylish with its cross-gabled plan, red-tile roof, smooth stucco walls, arched openings, and glazed painted tile entry steps. It arguably the best example of the style in Santa Fe. Ellen Dexter-Fales died at the house in 1942, after suffering a heart attack.

## Existing Conditions

The subject wall comprises three sections and works to retain and define the front yard of a Spanish Colonial Revival house, set back from the street (Figure 1). The longest piece edges the front (north) side of the property along East Alameda. This section, roughly 85', is divided into two heights (Photo 1). A non-historic latilla fence tops this section. The west end terminates at the driveway entrance. A short section, also with coyote fence, continues to the west.

At the entrance, the wall makes a right angle, continuing south, which along with another section, parallels the driveway (Photo 2). The east side includes a short run of brick steps to the yard (Photo 3). The east wall reduces in height and terminates at a right angle, joining another brick wall of a different vintage, framing the house's entrance steps (Photo 4).

The tallest portion along the driveway's east side is the most articulated example of the wall (Photo). Beginning at the ground is a concrete or cement base and foundation faced with reddish stucco. Above this is a single course of rowlock brick. Surmounting this are seven courses laid in a common band pattern. The wall is crowned with a single course of header brick on the outside (facing the driveway) and shiner brick on the inside. The top of the wall indicates that the structure is two wythes deep.

The mortar joints are concave and seem to be finished with a tool or stick. The material appears to be a cement mortar mix and may be the result of repointing. The eighth course from the bottom shows heavy delamination, revealing likely an older, possibly lime-based mortar. The bricks are concrete, fired units of standard dimension. Their stretcher (front) and header (side) faces are marked with vertical grooves, likely made through the wire-cut process.

Introduced in the 1860s, wire-cut (wirecut) bricks are made by forcing a column of wet clay through a cutter, which by its taut wires, slices individual bricks. The cutting wires and often a

secondary texturing treatment leave distinctive vertical drag marks across the stretcher face. Unusual for these bricks, is the vertical scores on the headers.

The sooty, multi-hued face of the crowning bricks is reminiscent of bricks manufactured at the New Mexico State Penitentiary.

From the author's field experience, wire-cut bricks were used in New Mexico, starting in the 1920s. They are typically found in early- to pre-war commercial districts, used as cladding to improve a commercial building's appearance (Photo 5). Early applications had red and polychromatic bricks, with buff, tan, and yellow units, used through the 1950s. Bricks of this type are found in commercial areas in Alamogordo, Roswell, Clovis, Mosquero, and neighboring Texas and Oklahoma. The brick type has not observed this brick type in Santa Fe.

### **Aerial Photographs**

The first available aerial photograph from 1958 shows what seems to be a low wall paralleling street (Figure 2). This is evident by a faint shadow line. The same photo shows there is no wall along the west side of the driveway. A 1966 aerial reveals the street wall and the section paralleling the driveway (Figure 3). This arrangement is confirmed with greater clarity in a 1973 aerial (Figure 4).

### **Conclusion**

Based on aerial photographs, a wall existed in the same position as the current structure along East Alameda since 1958. This structure continues to appear in relatively the same form through 1973. The fact that the west driveway does appear on the 1966 photograph could indicate that the entire wall (street and driveway) was constructed after that point.

The bricks observed along the driveway appear of historic vintage. They are an example of a vertically scored brick, likely made through the wire-cut process. The clay's composition is reminiscent of New Mexico State Penitentiary's output, which produced various brick types between 1893 and 1956.

The use of wire-cut brick is incongruous with the house's style. The landscape of a Spanish Colonial Revival home typically included low, shaped hedging and yard walls faced with the same stucco finish and color as the house (Photo 6). Retaining walls were typically made of the same material or stone.<sup>1</sup>

---

<sup>1</sup> See, Llewellyn Price, "A Gardened American House of Spanish Beauty," *Better Homes and Garden*, April 1931: 20-21; William I. Garren, "Before Designing Your Western House," *Sunset Magazine*, August 1930: 15-18; David Gebhard, "The Stucco Walls and Arches: The Spanish Tradition in the Popular American House," in *Home Sweet Home: American Domestic Vernacular*

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*Architecture* (Los Angeles: Rizzoli International Publications, Inc., 1983), 104-111; Arrol Gellner, *Red Tiles Style: America's Spanish Revival Architecture* (New York: Viking Studio, 2002).

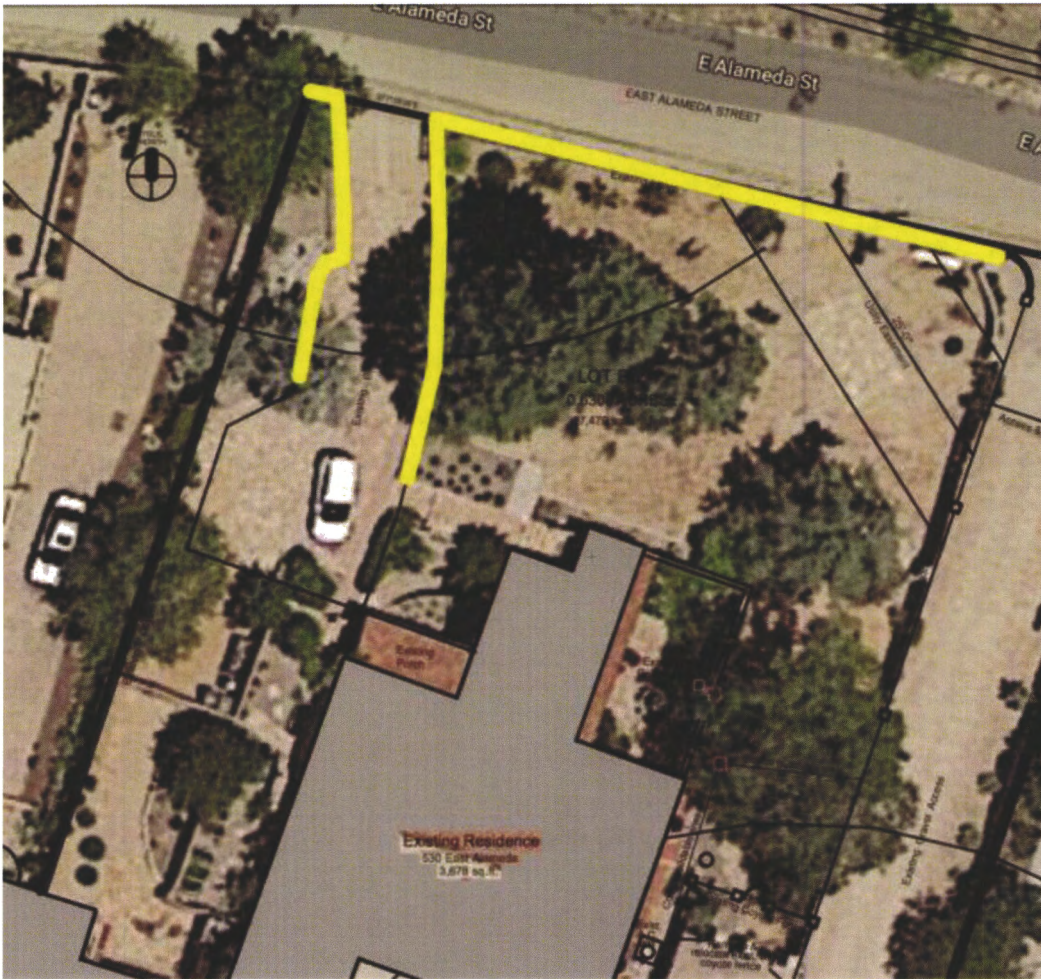
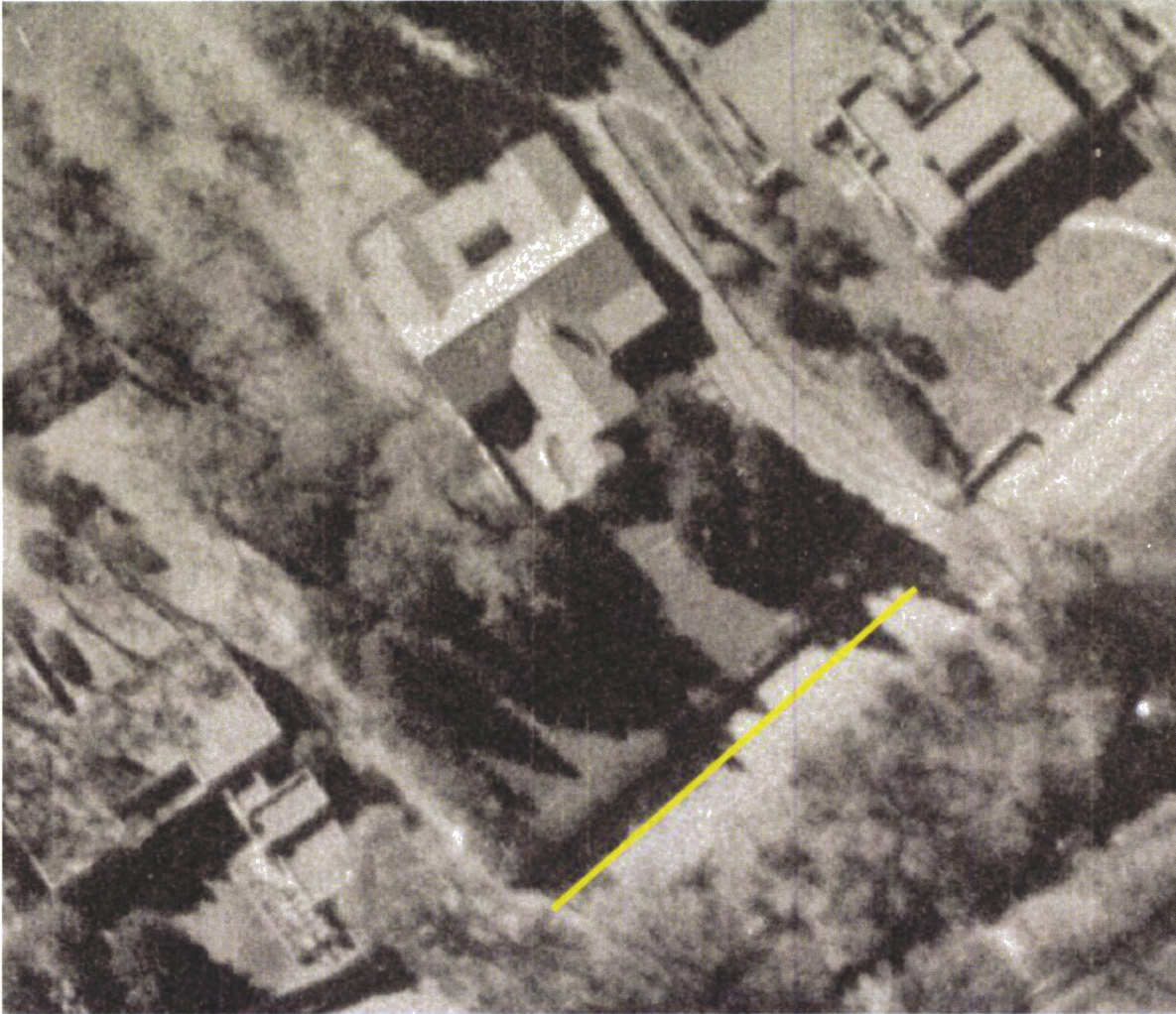


Figure 1: Layout of brick walls.



**Figure 2: 1958 aerial photograph.**  
**Wall along street likely in place, west side of driveway wall not evident.**  
**Courtesy NMDOT: 11-10-58\_0001.**



**Figure 3: 1966 aerial photograph.  
Existence of wall at street and driveway.  
Courtesy NMDOT: 05-02-66\_0017.**



**Figure 4: 1973 aerial photograph.  
Existence of wall at street and driveway.  
Courtesy NMDOT: 05-11-73\_0064.**



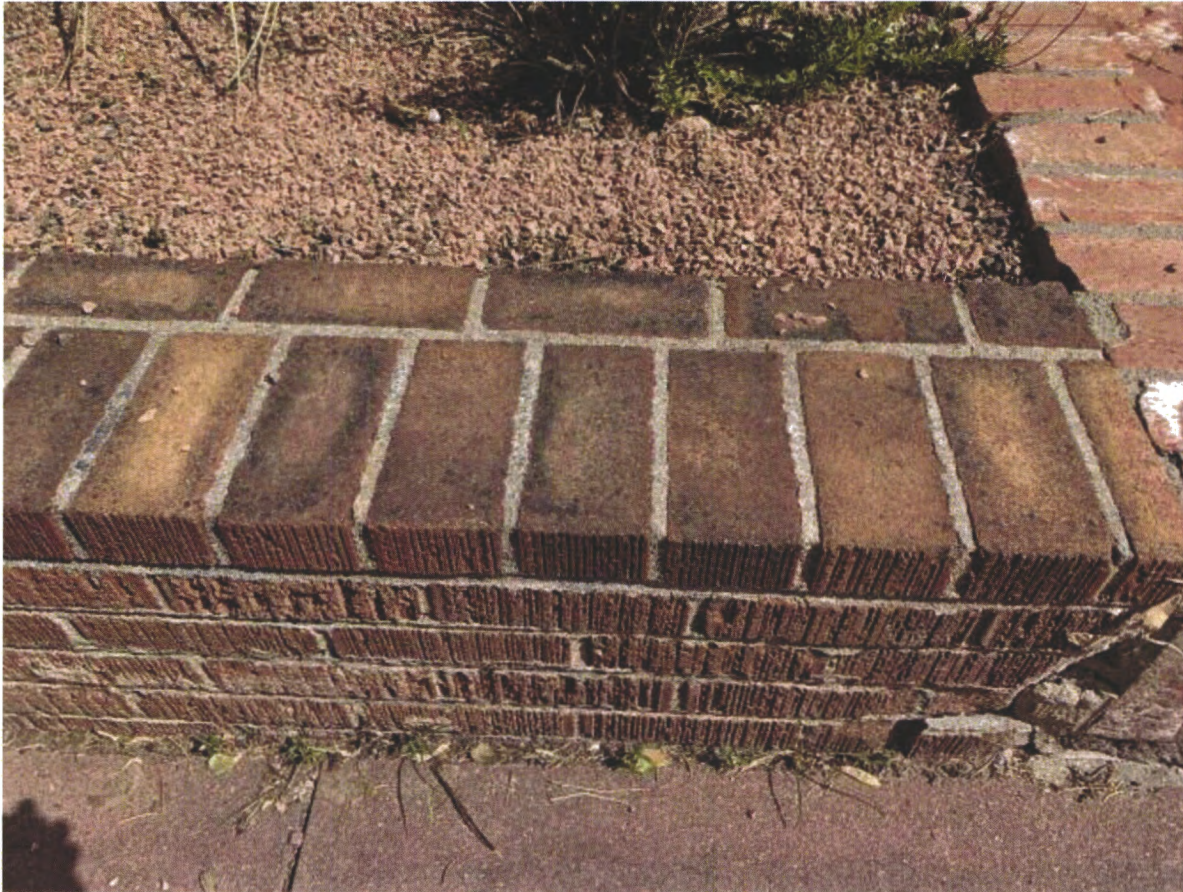
**Photo 1: Taller portion of street section.  
Camera facing southeast.  
Sandra Donner, July 8, 2020.**



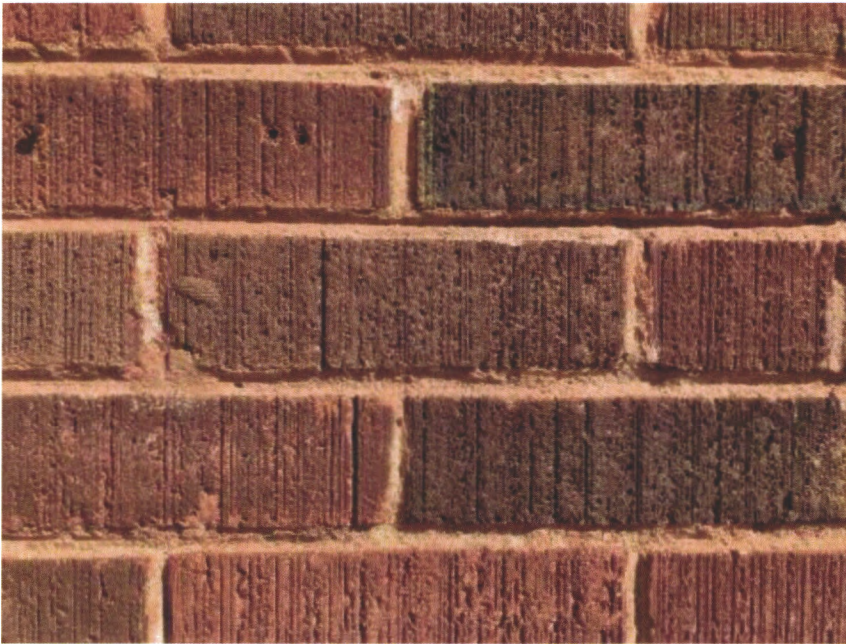
**Photo 2: East driveway section.  
Camera facing southeast.  
Sandra Donner, September 14, 2020.**



**Photo 3: East driveway section, at steps to garden.  
Camera facing southeast.  
Sandra Donner, September 14, 2020.**



**Photo 4: East driveway section; corner at steps to house.  
Sandra Donner, September 14, 2020.**

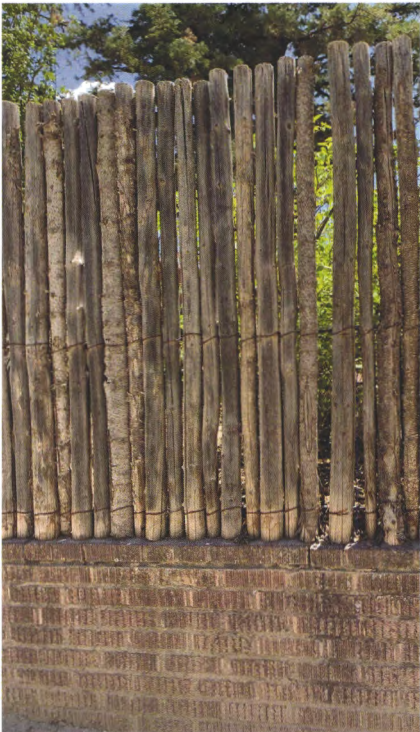


**Photo 5: Typical application of wire-cut cladding brick.  
Elk City, Oklahoma.  
John Murphey, February 29, 2020.**



**Photo 6: Typical appearance of Spanish Colonial Revival yard and retaining walls.  
Santa Barbara, California.  
John W. Murphey, August 14, 2020.**

EXHIBIT D:Brick Photographs



Brick at Frontage Fence



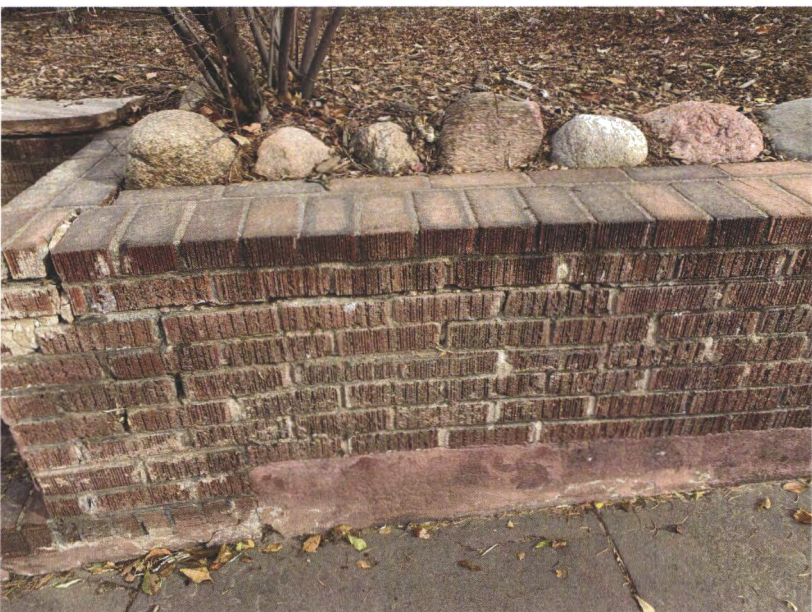
Old Stucco at Driveway Brick



Brick at Frontage Fence



Old Stucco at Driveway Brick



Old Stucco at Driveway Brick



Driveway Brick Wall



Driveway Brick Wall

NOTES

- (01) EXISTING WROUGHT IRON FENCE
- (02) EXISTING WOOD FENCE
- (03) EXISTING BRICK WALL
- (04) NA



DESIGN DEVELOPMENT

REVISIONS		
NO.	DATE	NOTE

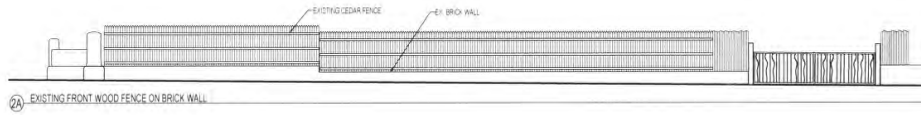
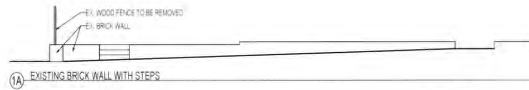
NOT FOR CONSTRUCTION

Duplication or reproduction by any means without written consent of Surroundings Studio LLC is a violation of Federal and state laws. The information contained on this document is the intellectual property of Surroundings Studio LLC and drawings herein are reserved. For exceptions, refer to the Surroundings Studio LLC Contract Processors.

540 EAST ALAMEDA ST. #7  
SANTA FE, NM 87501

SCALE AS NOTED  
DATE 28 AUGUST 2020  
PROJECT 1454  
DRAWN BY SD

EXISTING PLAN



DESIGN  
DEVELOPMENT

REVISIONS		
NO	DATE	NOTE

NOT FOR  
CONSTRUCTION

Discipline or reproduction by any means without written consent of Surroundings Studio LLC is a violation of federal and international law. The information contained on this document is the intellectual property of Surroundings Studio LLC and all rights therein are reserved. For exceptions, refer to the Surroundings Studio LLC Contract Procedures.

540 EAST ALAMEDA ST. #7  
SANTA FE, NM 87501

SCALE AS NOTED  
DATE 28 AUGUST 2020  
PROJECT 1454  
DRAWN BY SD

FENCE AND WALL  
ELEVATIONS

**L.301**





# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** David Smith, agent for Ivo Nelson, owner, proposes to construct a 475 sq. ft. addition, on a non-contributing property.

Case number: **2020-002983-HDRB**  
Project Type: **HDRB**

**PROJECT LOCATION (S):** **209 Delgado Street**

OW – Ivo and Sally Nelson 70 Sunset Lake Road, Huntsville, TX 77340 [ivo@ivo.com](mailto:ivo@ivo.com)

AP -- David Smith 132 West Berger Street, Santa Fe, NM 87505 [DSmitharchitect@mac.com](mailto:DSmitharchitect@mac.com)

## PROJECT DATA:

### HISTORIC DISTRICT

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

### HISTORIC BUILDING STATUS

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

### PRIMARY ELEVATIONS:

North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

HISTORIC DISTRICT INVENTORY NUMBER \_\_\_\_\_

YEAR OF CONSTRUCTION \_\_\_\_\_

### PROJECT TYPE

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSED Residential  Non-Residential

HISTORIC BUILDING NAME \_\_\_\_\_

# City of Santa Fe, New Mexico

# memo

**DATE:** January 12, 2021  
**TO:** Historic Districts Review Board Members  
**FROM:** Angela S. Bordegaray, Senior Planner, Historic Preservation Division <sup>ASB</sup>

---

**Case # 2020-002983-HDRB**

**Address: 209 Delgado Street**  
**Historic Status: Non-Contributing**  
**Historic District: Downtown & Eastside**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:

**APPLICANT SUBMITTALS**

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

**STAFF RECOMMENDATION:**

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all H Districts and 14-5.2(E)(2) Downtown and Eastside Design Standards, Recent Santa Fe Style.

## **BACKGROUND & SUMMARY:**

209 Delgado is an approximately 600 square foot single-story New Mexico vernacular structure built before 1928. It features a cross-gabled roof and a lower shed roof addition on its east side. It is located in the compound at 209 Delgado Street. In 2013, the board designated it as non-contributing to the Downtown and Eastside Historic District due to significant alterations.

The applicant proposes to add a 475 square foot living room on the west elevation. The applicant proposes to add a 475 square foot living room on the west elevation. This proposal is before the board because it is an addition to an existing house in the Downtown and Eastside Historic District. The addition will be 14' in height where the maximum allowable height is 14'-7". The addition's north façade will have divided lite wood clad units and awning windows above the French doors. New windows will be clad in "Sea Green Foam" by Jel Wend, manufacturer. This façade is not publicly visible. A skylight is called out on the plans on the south (front) elevation. The applicant did not provide this item in the proposal letter but can offer testimony to the HDRB at the hearing.

The stucco will match the existing house, El Rey "Adobe."

November 9,2020

TO: Historical Board and Staff  
From: David Smith as agent of Ivo and Sally Nelson

Dear Board Members and Staff,

Attached are documents required for application for an addition of a living room on the west side of 209 Delgado Street.

In 2018, I submitted and received approval for a larger project that included living room, carports and cosmetic changes to the main facade. The approved submission changed the character of the existing house as well as adding a new large living room. Mr and Mrs Nelson have decided to scale back the project, leaving the existing house essentially unchanged. I have included elevations of previous proposal in the documents

This new submission represents a smaller project consisting only of a 475 Sq ft living room addition on the west side off the existing house. We have attempted to reduce the scale of the living room. The addition of the living room will provide living space for an otherwise small house with a very small living area.

I include previously approved elevations to help show the changes more clearly.

French doors will be divided light wood clad units as shown on proposed elevations

The stucco and visible roofing material will match the existing house. Existing color of stucco is el rey "Adobe" the new windows will be metal clad in a sea foam green by Jel Wend

I stand ready to provide any other necessary information necessary for your consideration.

Sincerely

David Smith  
Agent for Ivo and Sally Nelson

# SUBDIVISION SURVEY OF LOT 8-A, BLOCK 1, DELGADO ADDITION

LYING WITHIN THE CITY OF SANTA FE GRANT AND BEING SITUATED IN PROJECTED SECTION 24, TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M. CITY & COUNTY OF SANTA FE, NEW MEXICO

PURPOSE: THIS PLAT CREATES 4 RESIDENTIAL LOTS.

*[Signature]* 7-26-16  
SANTA FE COUNTY TREASURER DATE

N/F KAREN WALKER TRUST  
UPC 1-054-099-492-069  
B. 1922 P. 914  
PLAT B. 409 P. 039

N/F ROBINSON  
UPC 1-054-099-497-066  
B/P N/A  
PLAT B. 9 P. 182

N/F ZAMBER  
UPC 1-054-099-509-065  
B. 065 P. 285  
PLAT B. 9 P. 182

N/F NSFO LLC  
UPC 1-054-099-462-063  
DISTR. 104-005  
PLAT B. 740 P. 012

N/F MEROZKY  
UPC 1-054-099-477-047  
DISTR. 151-003  
PLAT NISC B. 540 P. 006

N/F GONZALES FRANK  
UPC 1-054-099-488-045  
B/P N/A  
PLAT NISC B. 540 P. 006

N/F GONZALES EDWARD  
UPC 1-054-099-493-043  
B. 705 P. 006  
PLAT NISC B. 540 P. 006

N/F GONZALES LUAMBA  
UPC 1-054-099-500-041  
B. 213 P. 919  
PLAT NISC B. 540 P. 006

REVIEWED BY:  
CITY OF SANTA FE  
*[Signature]* 9/16  
*[Signature]* 9/16  
PLANNING & DEVELOPMENT REVIEW

APPROVED BY THE SANTA FE CITY PLANNING COMMISSION AT THEIR MEETING OF MAY 7, 2016 AS FINAL PERM CASES 2015-2A & 2015-

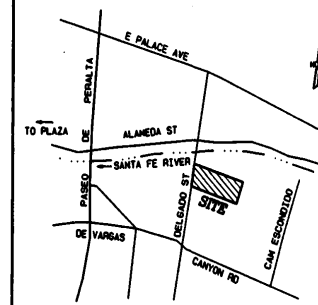
*[Signature]* 9-1-16  
PLANNING COMMISSION CHAIRMAN DATE  
*[Signature]* 9-1-16  
PLANNING COMMISSION SECRETARY DATE

## LEGEND:

- BOUNDARY LINE
- - - ADJOINER BOUNDARY LINE
- - - EASEMENT LINE
- COYOTE FENCE
- WOOD FENCE
- OVERHEAD WIPES
- STONE YARD WALL
- SETBACK
- SANITARY SEWER MANHOLE
- WATER STUB OUT
- SEWER STUB OUT
- SURVEY MONUMENT FOUND (AS NOTED)
- 1/2" REBAR w/ CAP 17321 SET
- CALCULATED POINT
- SANITARY SEWER MANHOLE
- UTILITY POLE
- WATER VALVE
- WATER METER
- ELECTRIC METER
- GAS METER
- SPIGOT
- TEL PEDESTAL
- CLEAN-OUT

807020

## CITY OF SANTA FE



VICINITY MAP (N.T.S.)

## OWNER'S CONSENT

THE UNDERSIGNED OWNER(S) DO HEREBY ATTEST THAT THE SUBDIVISION AND PLATTING AS SHOWN HEREON IS MADE WITH THEIR FREE CONSENT AND IS IN ACCORDANCE WITH THEIR WISHES AND DESIRES. THE UNDERSIGNED OWNER(S) DO HEREBY GRANT EASEMENTS FOR ALL EXISTING UTILITIES SERVING THIS PARCEL, AND 20' WIDE ACCESS, EMERGENCY TURNAROUND, 18' WIDE EMERGENCY TURNAROUND EASEMENT & 3' UTILITY EASEMENT. THE UNDERSIGNED OWNER(S) DO HEREBY VACATE THE PORTION OF THE UTILITY EASEMENT ON LOT 8-A1 (MONEY WATCHED AREA). THESE LINES LIE WITHIN THE PLATTING AND PLANNING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO.

*[Signature]*  
NEXT HAVE VENTURES, LLC  
STATE OF NEW MEXICO } SS  
COUNTY OF SANTA FE }  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21 DAY OF July 2016.  
*[Signature]* 11/19/2017  
NOTARY PUBLIC BY COMMISSION EXPIRES

## SURVEYOR'S NOTES:

- 1) BASIS OF BEARINGS IS TAKEN FROM AUTONOMOUS GPS OBSERVATIONS OF ASTROMONIC NORTH ON OCT 13, 2011. ANY MONUMENTED LINE NOTED HEREON MAY BE USED AS A LOCAL BASIS OF BEARING.
- 2) (a) REFER TO A PLAT OF SURVEY ENTITLED "BLOCK NO. 1, DELGADO ADDITION", PART A PORTION OF SAID PLAT IS HELD BY THIS SURVEYOR, NO RECORDED COPY HAS BEEN RECEIVED BY A SEARCH AT THE SANTA FE COUNTY CLERK'S OFFICE.  
(b) REFER TO ADJOINER PLATS RECORDED AT THE SANTA FE COUNTY CLERK'S OFFICE: PLAT B. 005, P. 182; PLAT B. 409, P. 039; PLAT B. 818, P. 025; AND PLAT AT NISC B. 540, P. 006.
- 3) REFER TO A WARRANTY DEED BETWEEN DEBORAH MAY DOE & BRIAN DOE (GRANTOR) AND NEXT HAVE VENTURES, LLC (GRANTEE), RECORDED WITH THE SANTA FE COUNTY CLERK'S OFFICE AS INSTRUMENT #1752184.
- 4) LANDS SHOWN HEREON LIE WITHIN ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP 35049C04160, DATED JUNE 17, 2006, AND PRELIMINARY FIRM PANEL 35049C04110, DATED FEB 16, 2011.
- 5) THIS SURVEY IS SUBJECT TO ALL RELEVANT EASEMENTS, RESTRICTIONS AND COVENANTS, BOTH RECORDED AND UNRECORDED.
- 6) REFER TO PLAT ENTITLED "LOT LINE ADJUSTMENT SURVEY FOR NSFO, LLC OF LOTS 7 & 8, BLOCK 1, DELGADO ADDITION" PREPARED BY ROBERT R. RUTEN, N.M.P.L.S. NO. 17321, RECORDED IN BOOK 740, PAGE 12 AT THE SANTA FE COUNTY CLERK'S OFFICE.
- 7) THE TERRAIN ON ALL OF LOTS 8-A1 THRU LOT 8-A4 IS LESS THAN 20% SLOPE.
- 8) THE ZONING DISTRICT FOR THE LAND DEALT WITH HEREON IS RC-BAC.

CITY OF SANTA FE } SS  
STATE OF NEW MEXICO }  
I HEREBY CERTIFY THAT THIS INSTRUMENT NO. 1504044 WAS FILED FOR RECORD ON THE 3 DAY OF Sept. A.D. 2016 AT 8:23 O'CLOCK AND HAS BEEN DULY RECORDED IN PLAT BOOK 301, PAGE 30 OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE  
BERNALDINE SALAZAR  
COUNTY CLERK, SANTA FE COUNTY, N.M.  
*[Signature]*  
DEPUTY



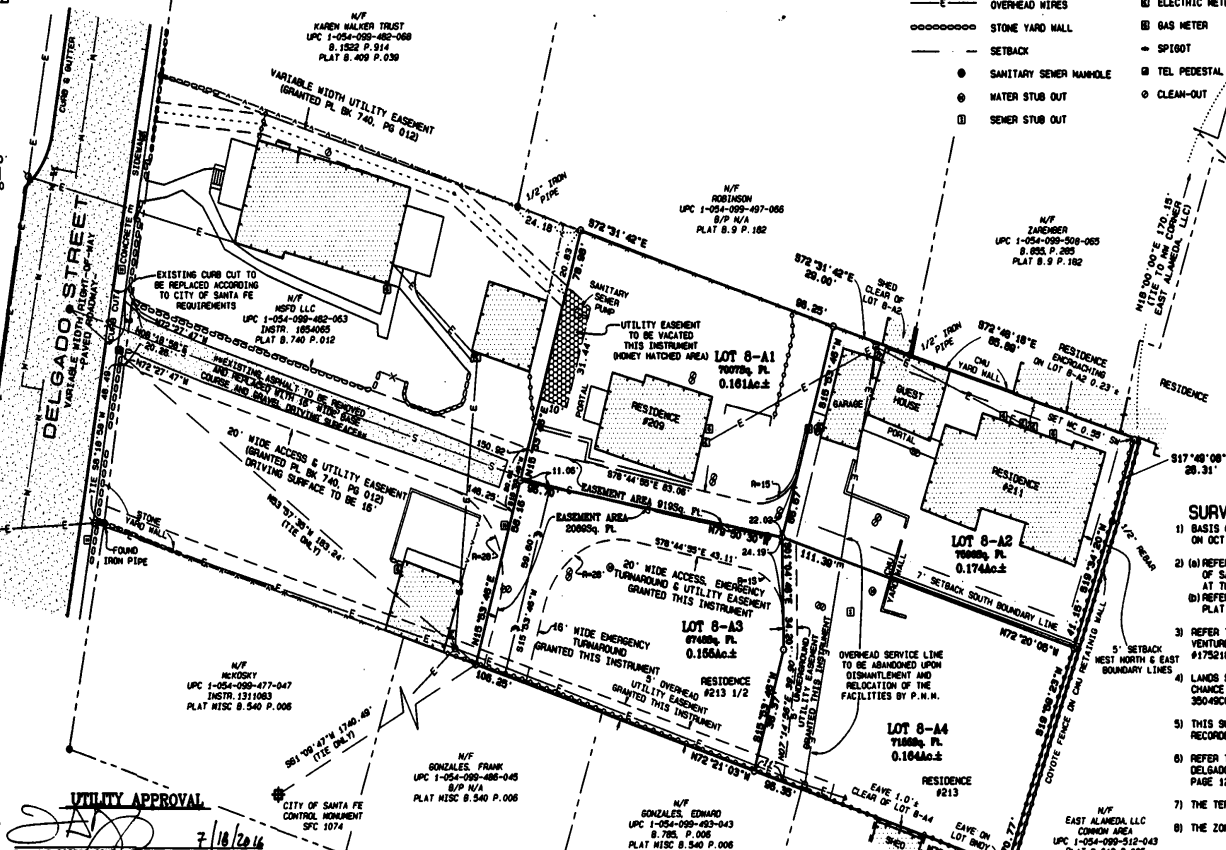
ORIGINAL 1 OF 2

**SOUTHWEST MOUNTAIN SURVEYS**  
1114 HICKOCK ST., SANTA FE, N.M. 87505  
505 982-9200 FAX 505 982-3413  
DATE: 12/19/14 PROJ. NO. C-2343LS

INDEXING INFORMATION FOR COUNTY CLERK  
NAME: NEXT HAVE VENTURES, LLC  
FILED: INSTR. 1752184  
SUBDIVISION: DELGADO ADDITION  
SECTION: SECTION 24, 17N, 9E  
UPC: 1-054-099-499-050



GRAPHIC SCALE 1" = 20'



**UTILITY APPROVAL**  
7/18/2016  
*[Signature]*  
7-15-16  
*[Signature]* 7-19-2016

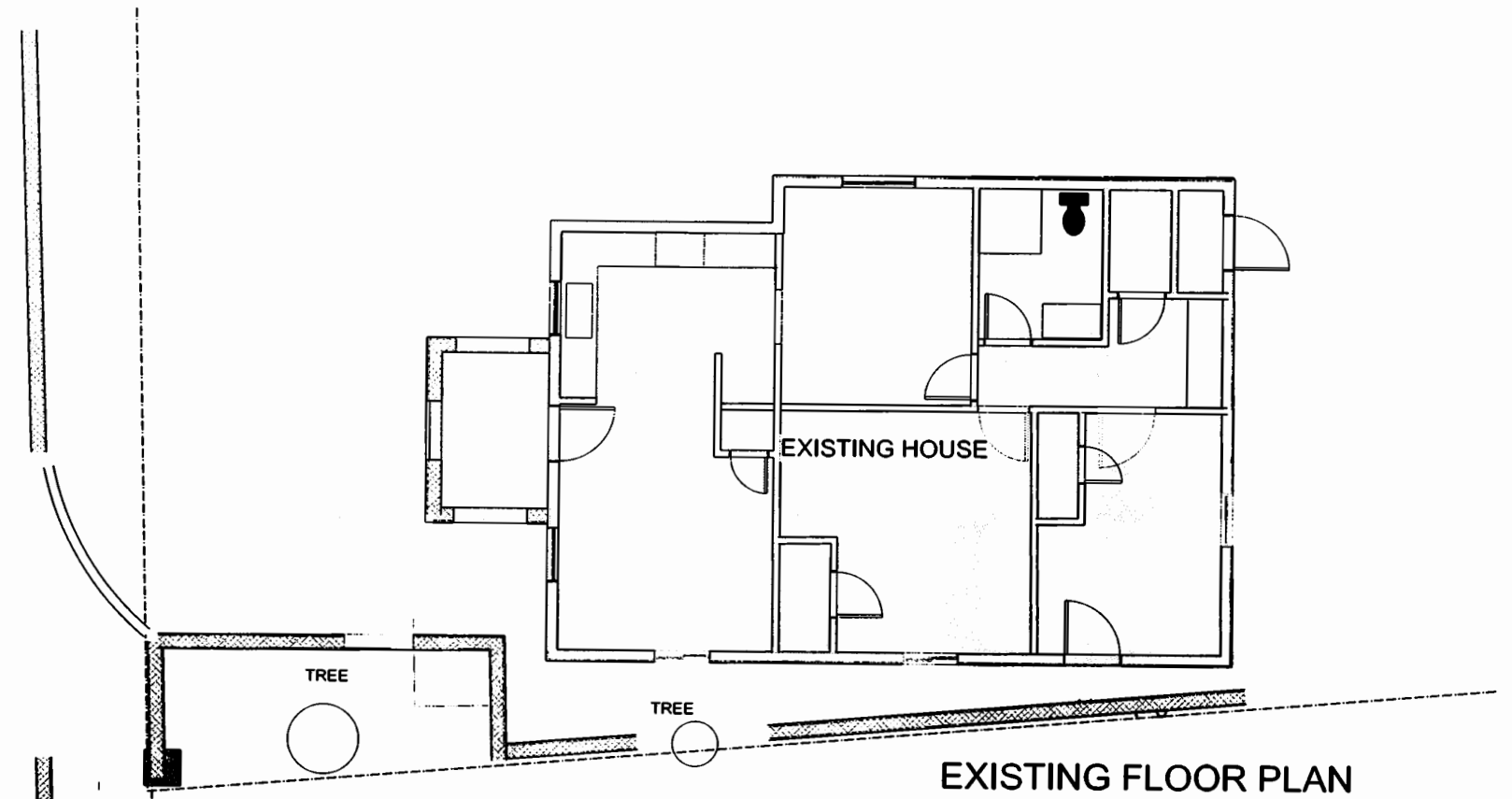
## CITY OF SANTA FE NOTES & CONDITIONS

- 1) PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 2001 AND SUBSEQUENT AMENDMENTS.
- 2) PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND/OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 2001 AND SUBSEQUENT AMENDMENTS.
- 3) BUILDABLE AREAS FOR PLATTED PARCELS WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION AS DETAILED IN THE LAND DEVELOPMENT CODE. ANY BUILDABLE AREAS SHOWN HEREON ARE SUBJECT TO RELOCATION PER CODE REQUIREMENTS.
- 4) EACH LOT SHALL BE SERVICED WITH SEPARATE SEWER AND WATER SERVICES.
- 5) AS OUTLINED BY THE FIRE MARSHAL'S REPORT (BARBARA SALAZAR), A CONDITION OF APPROVAL FOR THE CITY OF SANTA FE FIRE DEPARTMENT IS: PRIOR TO NEW CONSTRUCTION, A FIRE ACCESS ROAD IN ACCORDANCE WITH CHAPTER 12 OF SANTA FE CITY CODE SHALL BE PROVIDED. FIRE ACCESS ROAD REQUIREMENTS SHALL ACCESS WIDTH, GRADE AND REQUIRED TURN RADIUS WHERE REQUIRED. NEW CONSTRUCTION WILL REQUIRE SPRINKLERS.
- 6) NO FENCES, WALLS, OR OTHER OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED ACROSS OR WITHIN THE UTILITY EASEMENTS.
- 7) MAINTENANCE FEES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION.
- 8) 6' HIGH YARD WALL TO BE BUILT ALONG THE UTILITY EASEMENT IN FRONT OF 200 DELGADO LOT 8-A1 BEFORE ANY NEW BUILDING PERMITS ISSUED FOR CONSTRUCTION IN SUBDIVISION.

## SURVEYOR'S CERTIFICATE

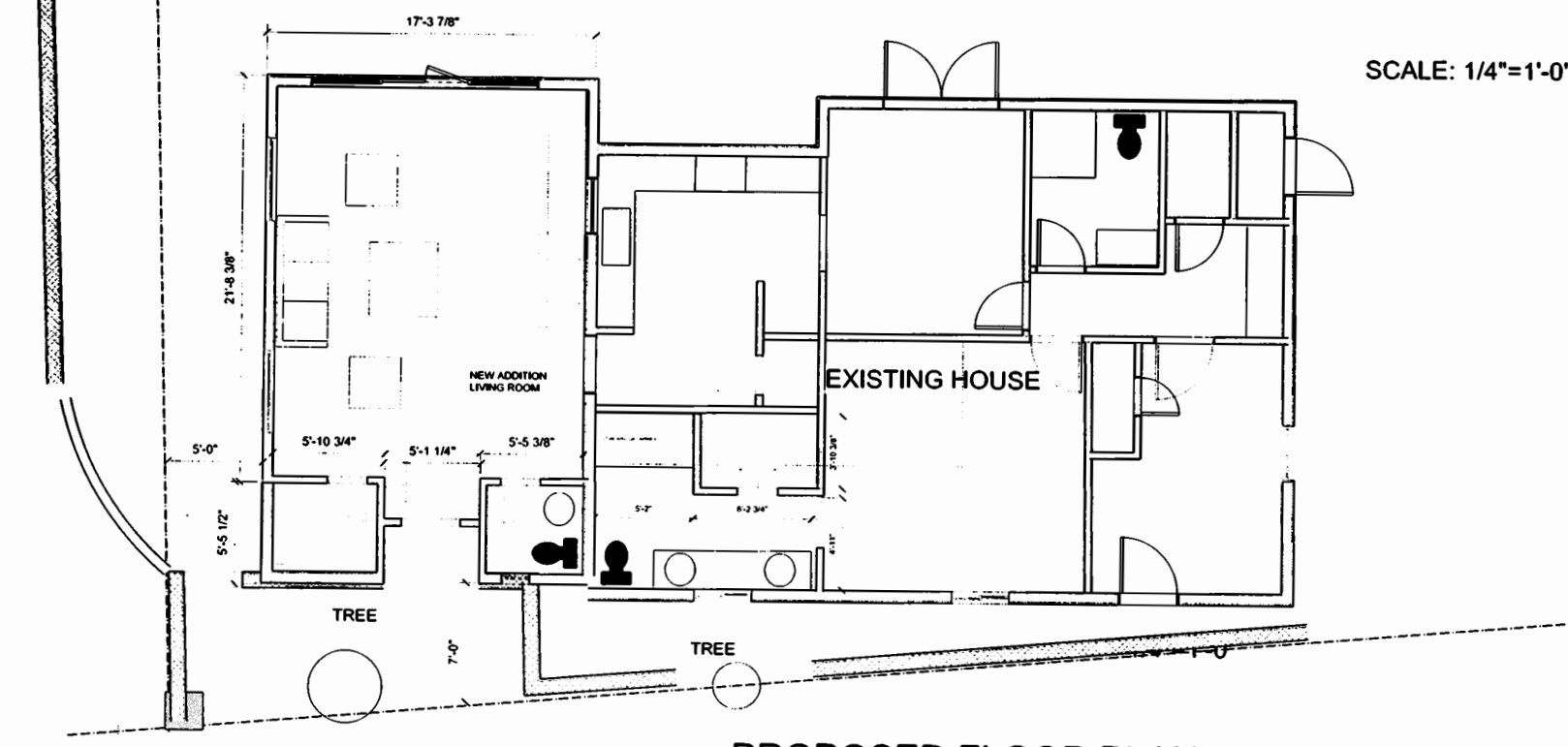
I MITCHEL K. MOON, N.M.P.L.S. NO. 6990 DO HEREBY CERTIFY THAT THIS LOT SPLIT SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. 07/27/16  
*[Signature]* 07/27/16  
MITCHEL K. MOON N.M.P.L.S. NO. 6990





EXISTING FLOOR PLAN

SCALE: 1/4"=1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

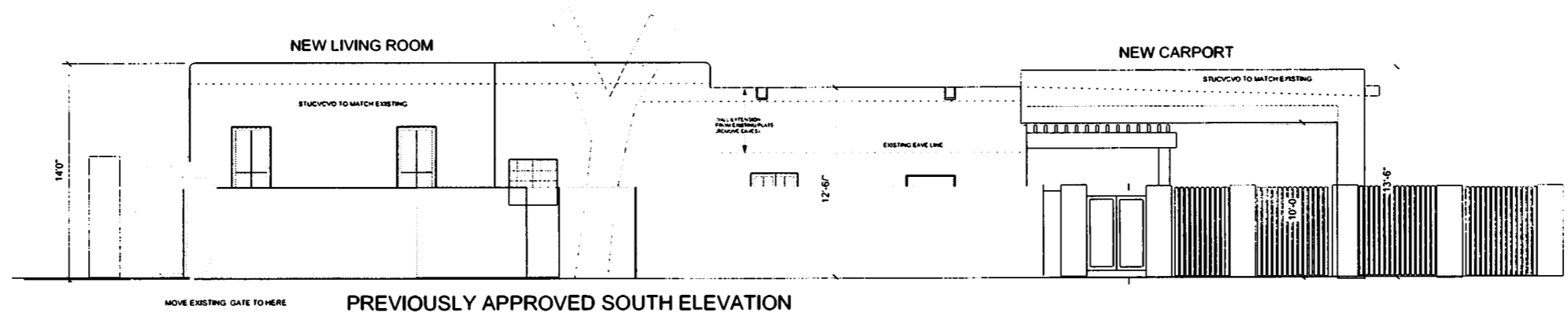
DAVID SMITH architect

233 DELGADO ST  
SANTA FE NM 87501 505 577 5012

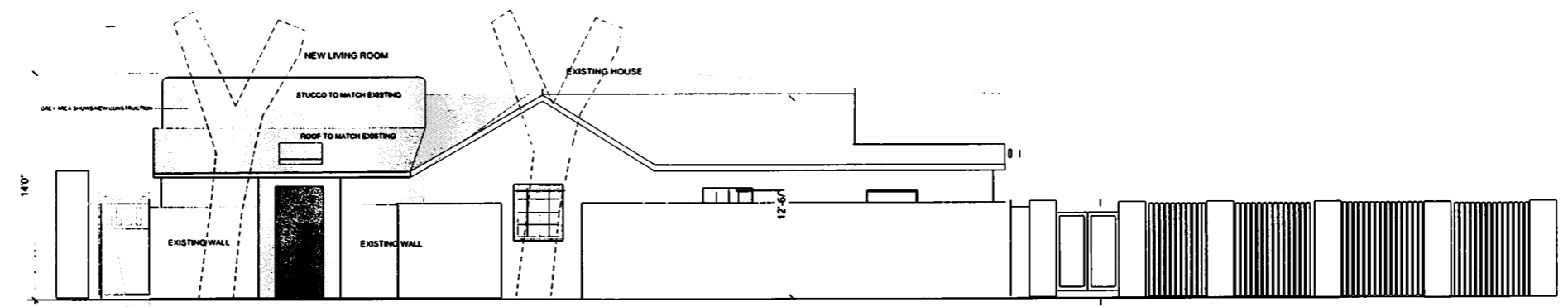
209 DELGADO ST  
SANTA FE NEW MEXICO

SCALE 1/4"=1'-0"  
DATE APRIL 2015

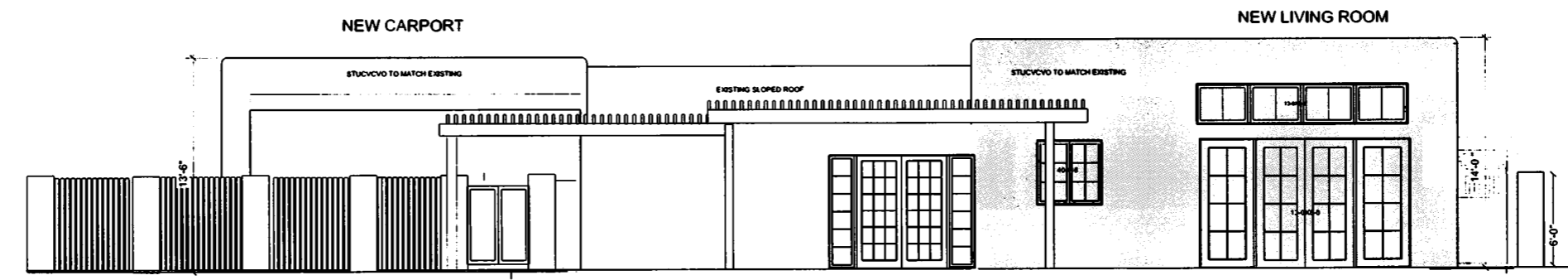
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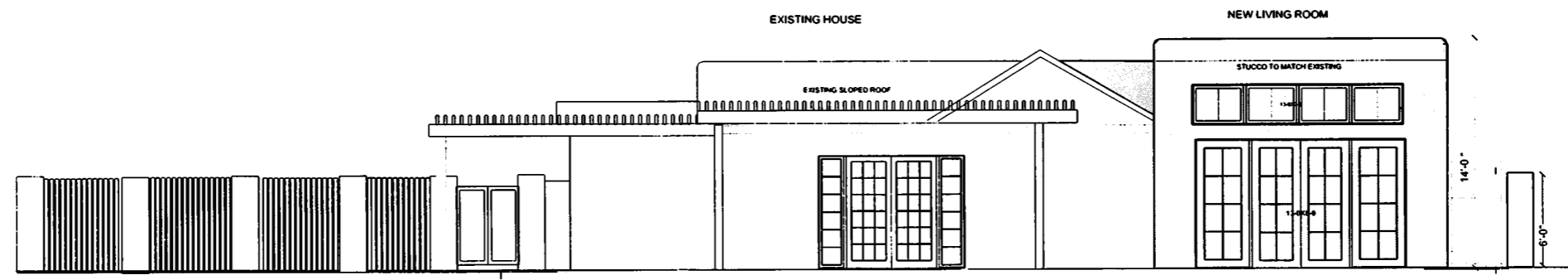
MOVE EXISTING GATE TO HERE PREVIOUSLY APPROVED SOUTH ELEVATION



MOVE EXISTING GATE TO HERE PROPOSED SOUTH ELEVATION



PREVIOUSLY APPROVED NORTH ELEVATION



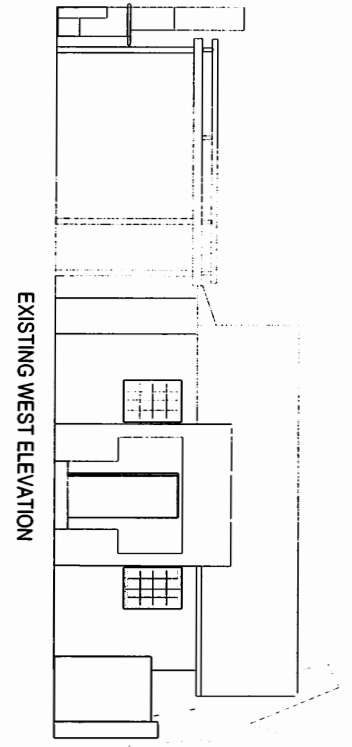
PROPOSED NORTH ELEVATION

**DAVID SMITH architect**  
 233 DELGADO ST  
 SANTA FE NM 87501 505 577 5012

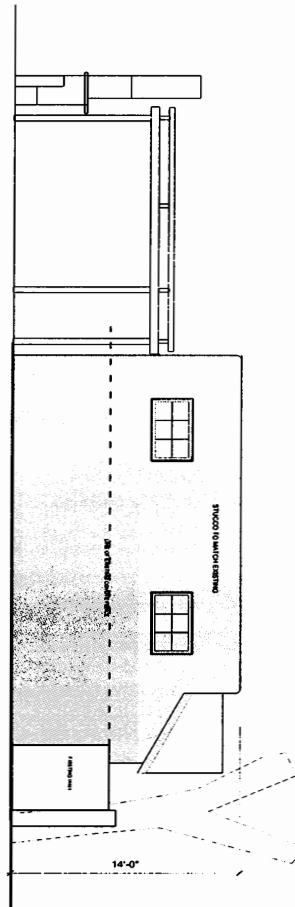
**209 DELGADO ST**  
**SANTA FE NEW MEXICO**

SCALE  
 1/4"=1'-0"  
 DATE  
 OCT 2015

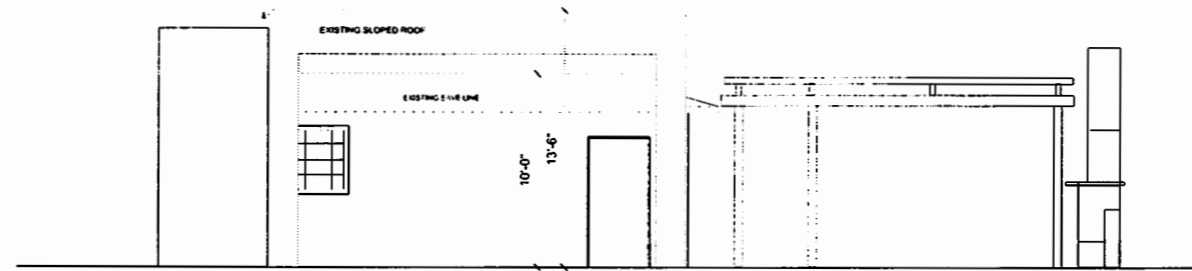




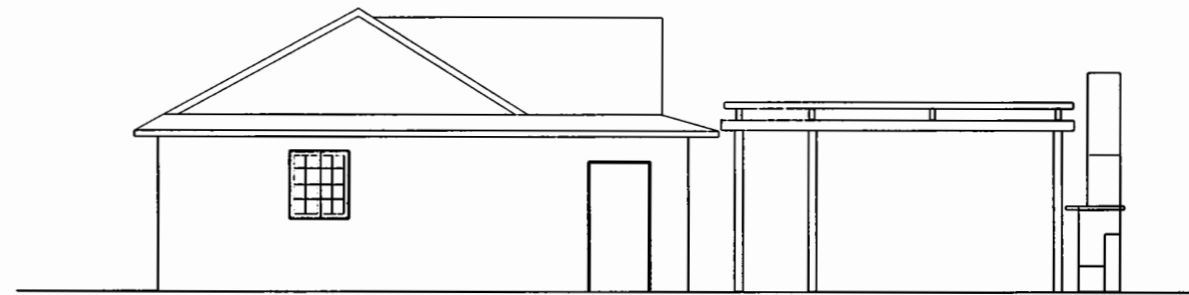
EXISTING WEST ELEVATION



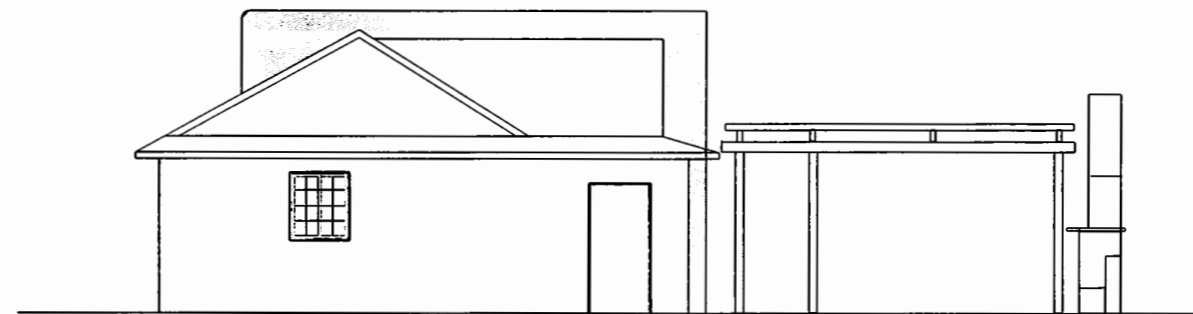
PROPOSED WEST ELEVATION



PREVIOUSLY APPROVED EAST ELEVATION



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

<p><b>DAVID SMITH</b>          233 DELGADO ST          SANTA FE NM 87501 505 577 5012</p>
<p><b>209 DELGADO ST</b>  <b>SANTA FE NEW MEXICO</b></p>
<p>SCALE          1/4"=1'-0"          DATE          OCT 2015</p>
<p><b>5</b></p>

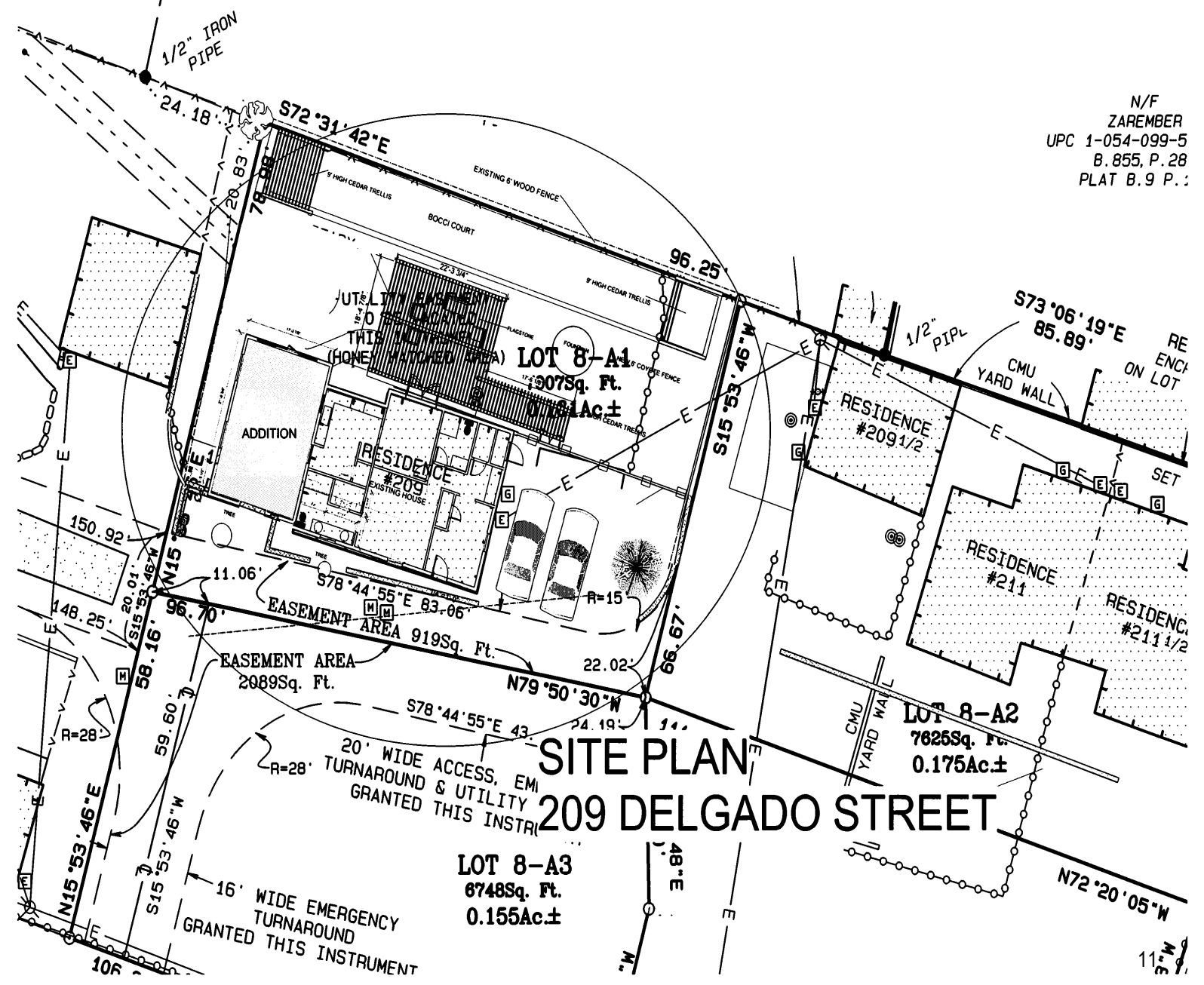
ABLE WIDTH UTILIT  
ANTED PL

DATE

— E — OVERHEAD WI  
○○○○○○○○ STONE YARD

145°56'46" 78'98

N/F  
ZAREMBER  
UPC 1-054-099-5  
B. 855, P. 28  
PLAT B.9 P. :



# SITE PLAN 209 DELGADO STREET

LOT 8-A3  
8748Sq. Ft.  
0.155Ac.±

16' WIDE EMERGENCY  
TURNAROUND  
GRANTED THIS INSTRUMENT

EASEMENT AREA  
2089Sq. Ft.

EASEMENT AREA  
919Sq. Ft.

ADDITION

RESIDENCE  
#209  
EXISTING HOUSE

LOT 8-A1  
907Sq. Ft.  
0.125Ac.±

RESIDENCE  
#209 1/2

RESIDENCE  
#211

RESIDENCE  
#211 1/2

LOT 8-A2  
7825Sq. Ft.  
0.175Ac.±



EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** Architectural Alliance, agent for Shehan Prull and Quincey Sweeny, owners, requests with primary facade designation for a contributing residential structure.

Case number: **2020-002986-HDRB**  
Project Type: **HDRB**

**PROJECT LOCATION (S):** **310 Magdalena Street**

OW -- Shehan Prull and Quincey Sweeny 22 Pinte Road, Santa Fe, NM 87505 [Quinls@gmail.com](mailto:Quinls@gmail.com)

AP -- Architectural Alliance 612 Old Santa Fe Trail, Santa Fe, NM 87505 [Eric@ArchAllinc.com](mailto:Eric@ArchAllinc.com)

**PROJECT DATA:**

**HISTORIC DISTRICT**

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

**HISTORIC BUILDING STATUS**

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

**PRIMARY ELEVATIONS:**

North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

**HISTORIC DISTRICT INVENTORY NUMBER**

H 2562

**YEAR OF CONSTRUCTION**

Pre 1912; 1800s

**PROJECT TYPE**

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

**USE, EXISTING**

Residential  Non-Residential  Vacant

**USE, PROPOSED**

Residential  Non-Residential

**HISTORIC BUILDING NAME**

Archuleta House

# City of Santa Fe, New Mexico

# memo

**DATE:** January 12, 2021  
**TO:** Historic Districts Review Board Members  
**FROM:** Angela Bordegaray, Senior Planner, Historic Preservation Division

---

**Case # 2020-002986-HDRB**

**Address: 310 Magdalena**  
**Historic Status: Contributing**  
**Historic District: Downtown and Eastside**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

District Standards & yard wall & fence standards

Historic Inventory Form H 2562

Zoning Review Sheet

Previous Case: H-01-138

Other:

**APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

New HCPI (Number not assigned )

**RECOMMENDATION:**

Staff recommends retaining the structure's Contributing status per 14-5.2 C Regulation of Significant and Contributing Structures in the Historic Districts. Staff recommends designating its west façade primary and the stonewall as non-contributing.


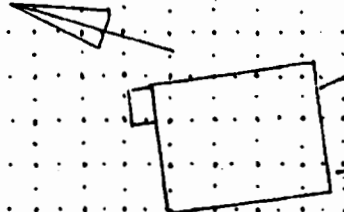
## **BACKGROUND & SUMMARY:**

310 Magdalena is a vernacular style single-family residence which has a historic status of contributing to the Downtown and Eastside Historic District. The home was owned by the Archuleta Family. It is partially built into the hillside and sits prominently on a hill above the intersection of Magdalena and Paseo de Peralta. It is publicly visible from the west and south elevations. Its core likely predates statehood. It has undergone several expansions over its lifetime of housing three generations of the Archuleta Family. The south elevation was added onto sometime before 1970. It has few of its original windows. Windows on the south addition are metal sliding; its overhang is modern has a metal fascia.

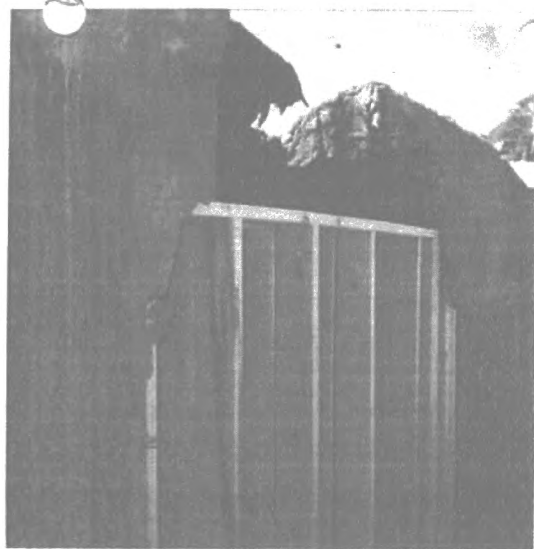
The driveway has a low stonewall situated at the base of its front (west) façade. Based on several alterations over the years, it lost a section at the east end and deterioration of the surviving east termination has affected its overall historic integrity. The house maintains its historic status as contributing to the Downtown and Eastside Historic District. The stonewall along the driveway appears to be of historical vintage but has had materials removed and is in a state of deterioration. The stone facing along the landing is non-historic.

The applicant is before the board for a historic status review and designation of primary façade(s) as applicable. The applicant has provided a new Historic Cultural Properties Inventory (HCPI) form that extensively describes both the construction sequence and family history.

42303

building mentioned? yes	surveyed date 11/20/85 by HMW	county SANTA FE	ID no. 051610547
field map SFHD # 1	number 547	UTM reference zone 12 13	easting northing
location description 30810(?) MAODALENA		city/town SANTA FE	
building name		land grant/reservation	
legal description		tensp N S range E W sec	
film roll by HMW no. SFHD # 21	negative nos. 15	loc. of neg. HPB	plan shape
			
		date of construction 1895- PRE 1912+ estimate actual source KING'S.	
style NMUV		use present residential other historic residential other	
foundation material UNIK. wall material/surface ADOBE / STUCCO		condition excellent fair good deteriorating	
architectural features FLAT ROOF; PROJ. VIGAS. 8/8. WD. CASHT WOODS w/ WD. SURF. SILL W/ DURA FINISH; 4 LIGHT SILL W/ WD DOOR @ SIDE. STONE RETAINING WALL		degree of remodeling X minor moderate major describe:	
comments GOOD NMUV IN CONDO DEV. AREA.		surroundings RES. relationship to surroundings X similar not similar	
		district potential yes no	
		significance eligible X of none if eligible, interest why? CONTRA.	
		associated buildings? yes what type?	
		if inventoried, list ID nos.	
		see back? yes	

Pasig 1-70  
3107 Magdalena





City of Santa Fe  
Historic Preservation Division  
Attn: Angela Bordegaray  
100 Lincoln Ave.  
Santa Fe, NM 87501

December 15, 2020

Via Hand-Delivery

Re: Status Review  
310 Magdalena  
"Archuleta House"

Dear Ms. Bordegaray,

Thank you for working with us on the above project. Please find enclosed our new HCPI base form as completed by John Murphy and a legal lot of record to show the present configuration of the property in question. As we discussed in our site visit of 11/18/20 this property is considered contributing per the HCPI dated 11/20/1985 and per the city mapping.

As you can see John Murphy is recommending the house retain its contributing status but that only the West Elevation appears unaltered except for the concrete patio and stone wall which have been altered on the West Façade. It appeared the two window and doors openings are original but the metal canales and metal viga caps were added at a more recent date and probably are not historic material.

As for the stone work on the stone wall of the concrete patio and the low stone wall along the Northside of the driveway it appears that the stone wall was altered and stone facing on the concrete patio was done after the 1970's and a portion of the original stone wall was apparently removed and used to "reface" the CMU built in front of the original concrete patios. That is probably why the stone wall has deteriorated so much and appears to be incomplete and not its original length. We hope the HDRB can consider the West Façade primary only. The other faces appear to be altered and use recycled doors/windows from an unknown date. By looking at the site plan the only area that could be altered would be the South Façade where the laundry room and aluminum sliders are. The North and East Elevations are on or too close to the property line to expand the footprints these directions.

My clients want to use this residence as their primary residence but first we want to be clear on what are historic materials and what aren't and most importantly what are primary facades.

I look forward to the meeting and presenting to the Board.  
Please let us know if you have any questions or concerns.  
Sincerely,


Eric P. Enfield, AIA  
Architectural Alliance, Inc.

Cc: Quincy Sweeny Best  
Shehan Prull  
File



# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: H2562		
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 1 <input checked="" type="checkbox"/> Structures: walls: 2 <input type="checkbox"/> Site <input type="checkbox"/> Object				
<b>6. Date of Survey:</b> October 20, 2020				
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: November 20, 1985 <input type="checkbox"/> No:				
<b>8. Name of Project:</b> HDRB status review				
<b>9. Lat/Long:</b>  35.690793,-105.9354036				
<b>10. Photo Information:</b> Robyn Powell, photographer.		View of west (front) façade, facing east.		
<b>11. Brief Description of the Property:</b>  The Archuleta House, an older home with its core likely predating statehood, sits on a dirt shelf overlooking the intersection of Washington Avenue and Paseo de Peralta (Photo 1). A gravel driveway approaches it off Magdalena Road. The house is arranged near the back of its pie-shaped lot. A low stone wall prevents direct access to the front of the home (Photo 2).  Built partially into the hillside, it is roughly a swollen "L" in shape, representing several expansions. Abutted to the L is a 120-square-foot bump-out across the south elevation, enclosing a porch and laundry room. The roughly 1,595-square foot home holds two bedrooms, two baths, a kitchen, a living room, and a dining room.  <i>Continued on Page 5.</i>				
<b>12. Who uses the property?</b> Residence				
<b>13. Construction Date:</b> Unknown Date: Core of house, at least by 1920s, with accretions made thereafter in 1940s and 1970s <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs and newspaper accounts				
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input checked="" type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public				
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A				

**HCPI Base Form (FORM 1)**

*(Continued from other side)*

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



17. Surveyor:  
(your name, address, telephone number, and any group affiliation)

John W. Murphey  
Architectural Historian  
Architectural History Services  
505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)  
w/ Robyn Powell

For: Quincy Sweeney

18. Owner (if known) and other knowledgeable people:

Owner: Quincy Sweeney

Source: Office of the Santa Fe County Assessor

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register?  Unknown  No  Yes  
If yes:  State  National  
If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
Why? See Evaluation of Historical Status.

23. National or State Historic District: City of Santa Fe

Is this property in a historic district?  Unknown  No  Yes  
If yes:  Significant  Contributing  Non-contributing:  No Status: walls  
Per City of Santa Fe official designation map.

If 'yes', what is the name of the district?  State  National  City of Santa:  
Downtown and Eastside Historic District

**Recommend House  
Contributing Structure to the  
Downtown and Eastside  
Historic District, 12/14/2020**

24. Supplemental Forms:  
 None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_





# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria    A    B    C    D	
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 20, 2020			

## Architectural Description Continued

### House

#### West Elevation

A large concrete retaining wall supports a landing and buttresses the front (west) elevation (Photos 3 & 14).<sup>1</sup> Stretching 25', the main façade is divided into three openings. The center holds a wood panel door, oddly cut with two porthole "windows" (Photo 4). The door is flanked by two sets of 8-8 pattern wood casement windows set into the wall (Photo 4). Their outer casings are wider than the opening and flush to the stucco. Both screens and security bars obscure the windows.

Above is a line of stubbed vigas wrapped in sheet metal, potentially used as a preservative (Photo 5). They are painted or stained brown to give the appearance of wood. Four metal canales, of unknown origin, punch through the parapet. The lumpy quality of the stucco suggests this is an older portion of the building. A secondary part of the elevation sits back 25' from the façade. This short section has a single wood-and-glass door (Photo 6).

#### South Elevation

Rounding the corner, at a lower grade, is the altered south elevation. The first 12 or so feet appear to be *mostly* unchanged (Photo 7). This includes another set of wood casement windows, but with the framing pushing out beyond the wall and lipped with stucco, suggesting later introduction. Below is a small hand-made door with a cross, leading to a crawl space.

Beyond is a c.1970s addition or porch enclosure, as referenced by the County Assessor's sketch map. The expansion presents an entirely different expression, with its wide, metal fascia-trimmed overhang and symmetrical display of aluminum sliding windows (Photos 8 & 9). Finishing the south elevation is likely an older part of the building. A series of steps leads to a ¾-light wood door, giving entry to this back section.

<sup>1</sup> The designation of building elevations is informed by the house's skewed axis and does not represent true cardinal directions.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		<b>5. Date of Survey:</b> October 20, 2020			

### East Elevation

The east elevation faces directly on to the neighboring property (Photo 10). Its construction required excavating into the slope, which results in a sunken, sloped appearance. It is fenestrated with three wood casement windows of a 6-6 pattern. These, like other openings, are covered with security grates.

### North Elevation

The house's northeast corner runs directly into the hillside, with humped-up earth sitting just a few feet below the parapet (Photo 12). The elevation's exposed section reveals a 6-6 wood casement unit and a steel casement window.

The house's flat roof is finished with rolled asphalt and is penetrated by an array of vents, potentially corroborating the idea that it was once divided into two residential units (Photo 11). The roof also reveals, through interior parapet lines, its probable evolution.

The house is painted in a tan-to-flesh tone, with its window and door frames colored blue.

### Walls

#### Driveway Wall

Situated along the driveway is a stone wall delineating the south edge of the front yard (Photo 2). At one point it indicated the property line. The structure is approximately 47' long and varies in height, with the tallest section at the west end (4'-5"). It tapers as it moves toward the house, reaching its lowest point at 1'-6". Aerial photographs indicate that it originally continued toward the house, but was breached at some point, and its stones removed at that end (Figures 2 & 3). The wall is made of pieces of square-cut sandstone arranged in regular courses. A single course of uncut stones set vertically caps the structure. The stone crown disappears near the east end, where the wall is disintegrated (Photo 3). The mortar, with its varied sized aggregate, suggests older or homemade construction. A vertical line of stones terminates the street end. Based on its mortar, this piece is not original.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D				
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A	<b>4. County:</b> Santa Fe			<b>5. Date of Survey:</b> October 20, 2020			

## Stone Facing

More recent stonework faces the concrete landing along the house's west elevation (Photo 3). This stone skirting covers about 30' of the landing and varies in height depending on grade. It appears to be adhered to a CMU wall behind it (Photo 13). The pieces, primarily sandstone with granite bits, are laid in random courses and bonded with a contemporary gray cement mortar.

## Historical Overview

The small house carved into the hillside — witness to nearly a century of change — is historically linked to the Archuleta family, who lived there for at least three generations. Like many houses on the "Loma," its origin, and even its address, are hard to decipher.

These houses perched above Hillside Avenue were marginal, treated as second to proper homes aligned along the street. In city directories, most, at first, are not even given an address, but designated "behind," "rear," and "n. s.," meaning no street. They were homes of the poor and working class.

## Archuleta Family

The house may have been standing in 1900, when census takers recorded a man named Octaviano Archuleta living on the hill.<sup>2</sup> Octaviano, whose delightful first name traces back to Rome (from Octavia, a plebeian family raised to patrician status by Caesar), was born in 1865, while the United States was under civil war.

Octaviano lived in the home with his wife, Juanita, whom he had married in 1889, and two children: Conrado and Paulina. Along with a partner, Octaviano owned a barbershop on Galisteo Street, where Seret & Sons stands today.

The family is again recorded in 1910, with an additional son, Manuel, born just after the earlier enumeration.<sup>3</sup>

<sup>2</sup> United States Federal Census, 1900, Census Place: Santa Fe Ward 4, Santa Fe, New Mexico; Page: 18; Enumeration District: 0126; FHL microfilm: 1241002.

<sup>3</sup> Ibid., Census Place, Santa Fe Ward 4, Santa Fe, New Mexico; Roll: T624\_918; Page: 4A; Enumeration District: 0226; FHL microfilm: 1374931. Manuel, Jr. would die in a jeep accident in Santa Fe in 1947.

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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 20, 2020			

### Archuleta House

Their home — the subject house — seems to appear on the 1912 King’s Map of Santa Fe, though the footprint on that map does not entirely align with the present structure (Figure 1). The map also shows a different terrain than what is seen today. There was no Magdalena Road connecting to Hillside Avenue (now Paseo de Peralta). Instead, there was Clarabel Place, now erased from the landscape, coming from the west.<sup>4</sup>

Octaviano’s home is registered in the first city directory of 1928, taking on an “n. s.” classification.<sup>5</sup> Over the years, it gained the addresses 115 and 125 Hillside Avenue, of which the former seems more stable.

In the early 1930s, as Santa Fe hunkered down in the Great Depression, the home sheltered two households: Octaviano and Juanita, with their son Conrado and his wife Cleotilde. Octaviano and Juanita’s youngest son, Manuel, had moved away by then, marrying and starting a family with his wife Guadalupita, on Abeyta Street.

Octaviano Archuleta died at home on March 9, 1936. Juanita continued to reside in the house. In 1940, likely tied to Juanita’s death, Manuel moved back into the home on the hill, bringing his family.

A year later, Manuel received a building permit for a project valued at \$300.<sup>6</sup> The remodeling was likely an addition for his growing household. Manuel and Guadalupita would raise eight children in the home, four daughters and four sons. One can imagine the small army of children — Charlie, Dolores, Odelia, Isaac, Erlanda, Ramona, Arthur, Manuel, Jr. — scrambling up and down the hillside.

Manuel, who had a tattoo of a woman on his right forearm<sup>7</sup>, worked downtown at the New Canton Café on West San Francisco Street. His brother, Conrado (sometimes Conrad), had a porter job nearby at the Lencic Theatre.

<sup>4</sup> A neighbor to the northwest, archaeologist Sylvanus Griswold Morley, had recently revised one of the old hillside homes, touting it as the pinnacle of the old-new Santa Fe style.

<sup>5</sup> Hudspeth Directory Company, *Hudspeth’s Santa Fe City Directory, 1928* (El Paso: Hudspeth Directory Co. and Publishers, 1928), 127.

<sup>6</sup> “Building Permits,” *Santa Fe New Mexican*, June 24, 1941, 3.

<sup>7</sup> The National Archives in St. Louis, Missouri; St. Louis, Missouri; WWII Draft Registration Cards for New Mexico, 10/16/1940-03/31/1947; Record Group: Records of the Selective Service System, 147; Box: 5.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Manuel and his family were surrounded on the Loma by people with Spanish surnames, many from the Ortega family, who spoke Spanish at home. Below, on Washington Avenue, lived families with Anglo names, all born outside of New Mexico. It was a divided world.

Guadalupita passed in 1963. Manuel stayed on the property, watching a changing neighborhood. A year before his wife’s death, a bulldozer removed an older home at the southeast corner of Hillside and Washington to make way for the Bank of Santa Fe, a massive Pueblo Revival edifice complete with a drive-through teller and a 70-car parking lot.

In the 1970s, Hillside was realigned to become part of the “Loop,” later retitled Paseo de Peralta. It was a road that was meant to relieve congestion but caused some chaos. A decade later, the city permitted the removal of another older building to expand the Bank of Santa Fe into a Wells Fargo. By this time, Magdalena Road had been improved and paved down to Paseo de Peralta.

Manuel died in 1988, leaving the house to his son Isaac R. Archuleta, a former Santa Fe magistrate judge. The house gained its alleyway approach in 2004, receiving the access from the City of Santa Fe. With Isaac’s death, 20 years later, the family home passed out of Archuleta ownership.

## **Evolution of Property**

While not precise, aerial photographs help establish the evolution of a building’s footprint.

The first useable aerial photograph from 1958 shows the outline of the roughly L-plan house, without the extension across the south elevation (Figure 2). The next available aerial from 1973, shows the bump-out and the wall along the driveway (Figure 3). The southeast corner of the house appears to be penetrated by a window rather than the door which is currently present. The window at the west end of the same elevation appears to be absent.

From the 1973 image, it is unclear whether the north steps of the front façade landing were in place at the time. The west edge of the landing appears to be higher than the abutting surface, suggesting the stone cladding had been added by this time.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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## Evaluation of Historical Status

### House

The basic outline of the house, minus the south extension, is more than 50 years of age, being discernable on a 1958 aerial photograph. There is some question as to the vintage of the south elevation openings, with what appears to be a different arrangement of doors and windows as seen on the 1973 aerial.

Whether representing an enclosed porch or a new room, the south bump-out introduced a non-harmonious façade, with its rigid grouping of sliding windows and modern overhang and metal fascia.

### Walls

#### **Driveway Wall**

Aerial photographs and construction material suggest the wall along the driveway may be of historical vintage. However, probable loss of a section at the east end and deterioration of the surviving east termination have affected its overall historic integrity.

#### **Stone Facing**

Based on its material and aerial photographs, the stone cladding across the west façade landing is not historic. It is disharmonious with the home's prominent earthen construction and vernacular Pueblo style.

### **Conclusion**

Given these indications, the recommendation is to maintain Contributing Structure status for the house and to reevaluate the primary façades assigned in 2001. The Driveway Wall appears to be of historical vintage but compromised by removed material and deterioration. The Stone Facing along the landing is non-historic. Both walls are recommended Noncontributing.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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## Illustrations

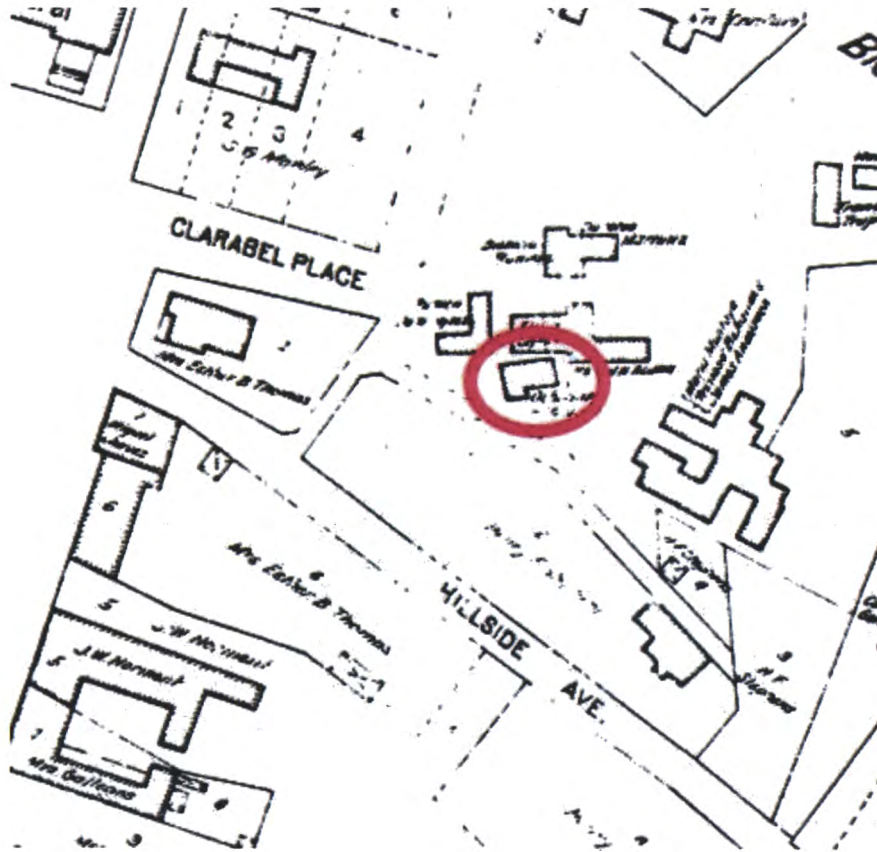
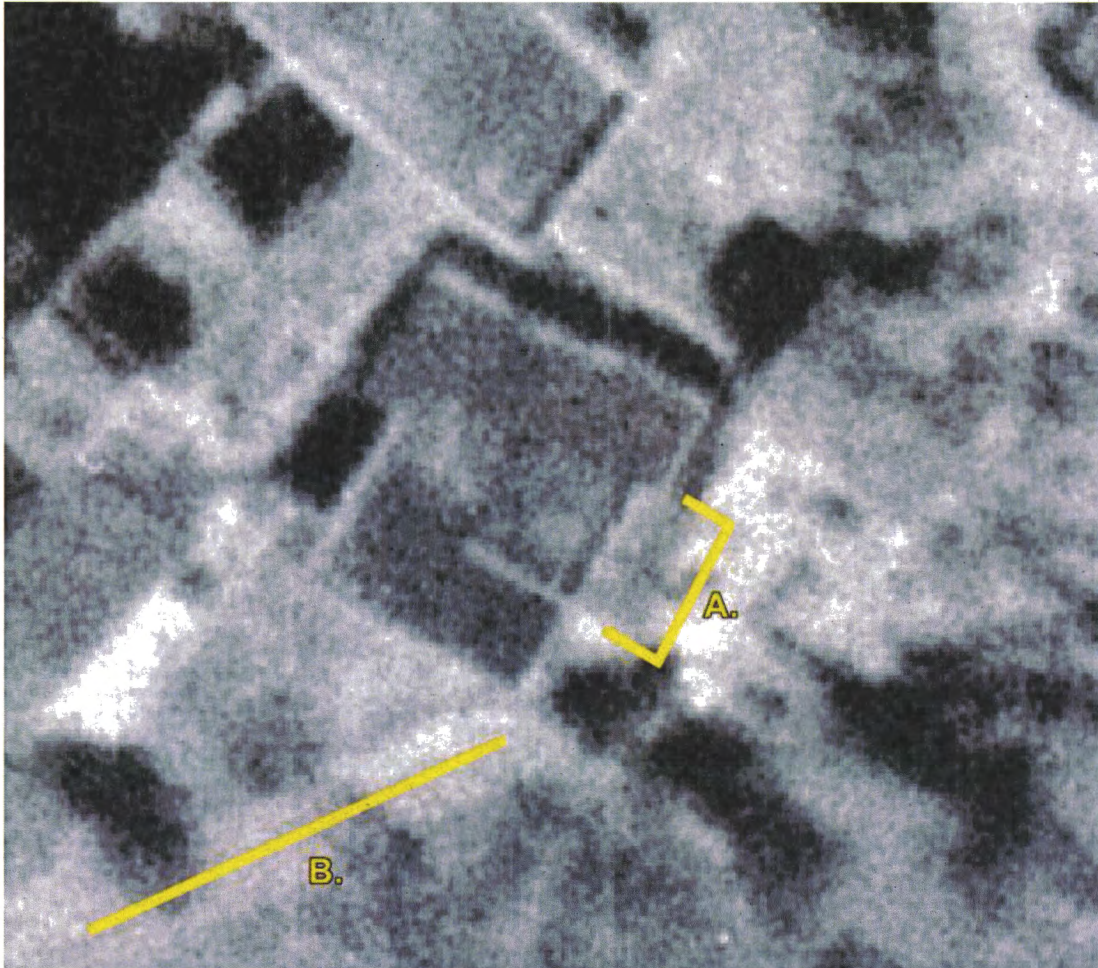


Figure 1: Circled building may indicate presence of subject structure.  
N. L. King, "King's Official Map of the City of Santa Fe, New Mexico," 1912.

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Figure 2: November 10, 1958, aerial photograph.**  
**A. shadow may indicate presence of a patio or landing;**  
**B. line may indicate presence of a wall.**  
 Courtesy NMDOT, State of New Mexico.

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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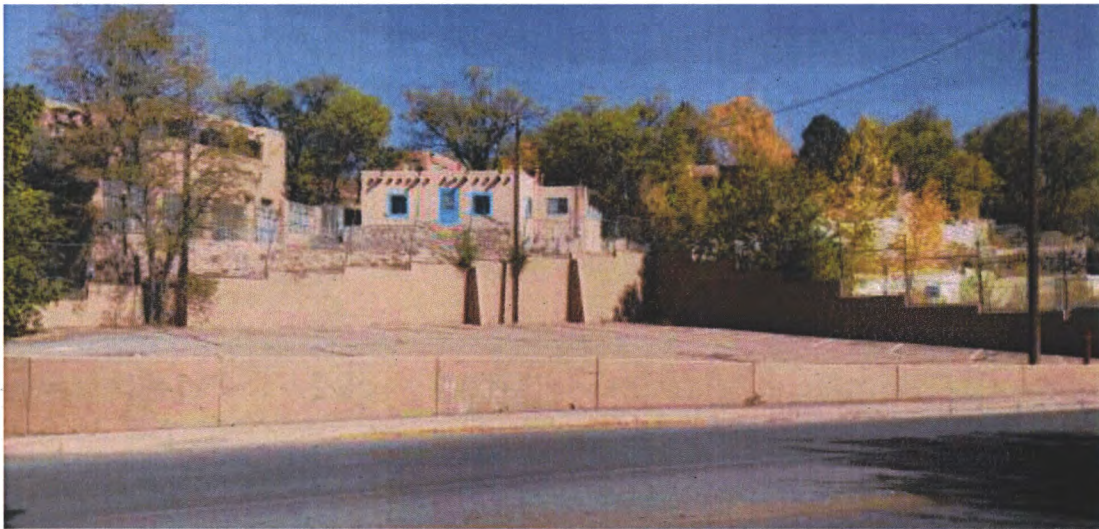
**Figure 3: May 11, 1973, aerial photograph.**  
**A. wall present, though then longer in length;**  
**B. current wood casement window not shown;**  
**C. bump-out present; D. window is shown where a door is now.**  
 Courtesy NMDOT, State of New Mexico.

**Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)**  
*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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**Survey Photographs**

(All images taken by Robyn Powell on October 20, 2020, unless otherwise noted)

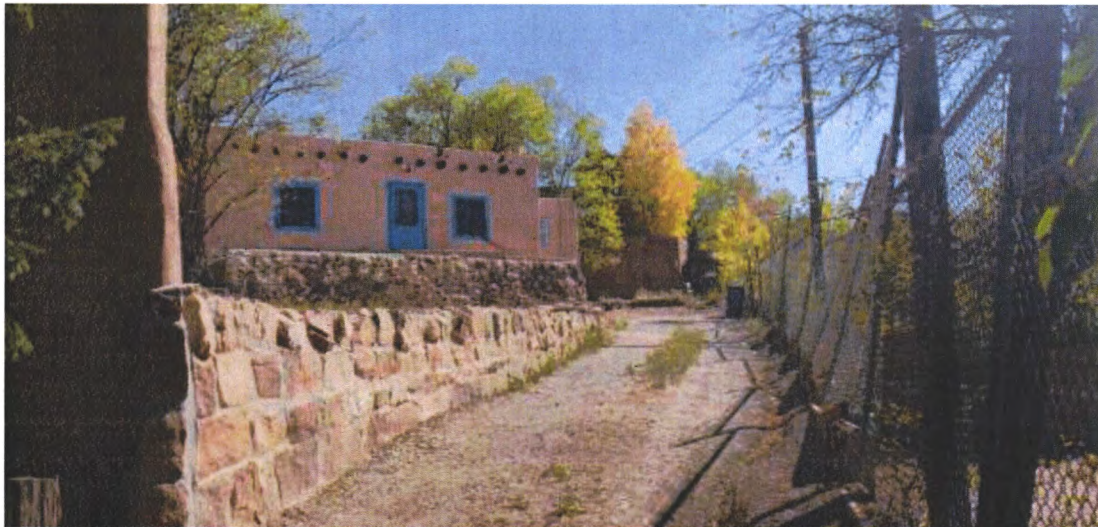


**Photo 1: View of property from Paseo de Peralta.  
 Camera facing northeast.**

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> October 20, 2020			

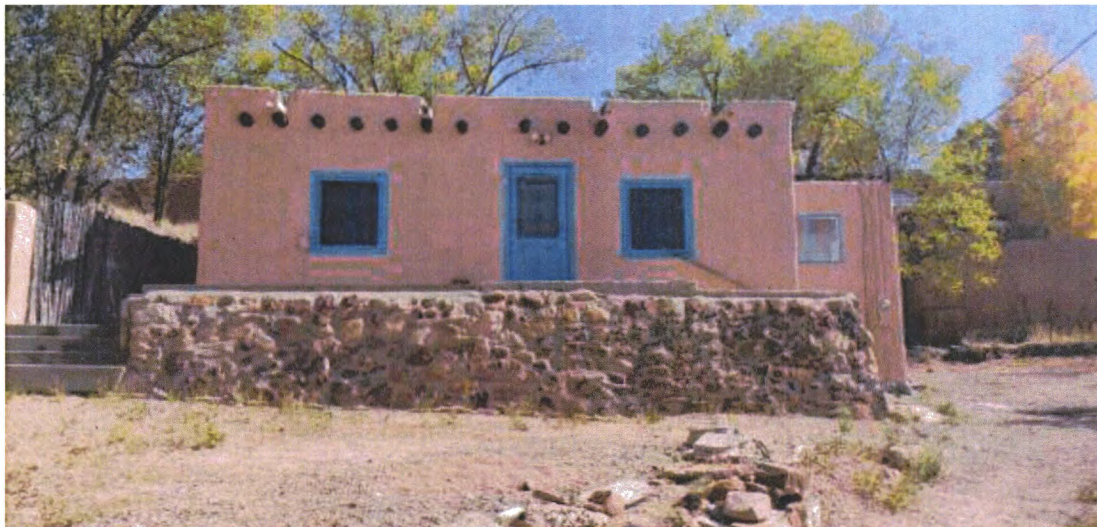


**Photo 2: Driveway Wall and House.  
Camera facing east.**

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i> NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> October 20, 2020	



**Photo 3: View of west (front) façade.  
Deteriorated east end of Driveway Wall in foreground.  
Camera facing east.**

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 20, 2020			



**Photo 4: West (front) façade entry door (left); typical casement window (right).  
Camera facing east.**

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		NRHP	SRCP	Criteria
		A   B   C   D		
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A		
		<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> October 20, 2020		

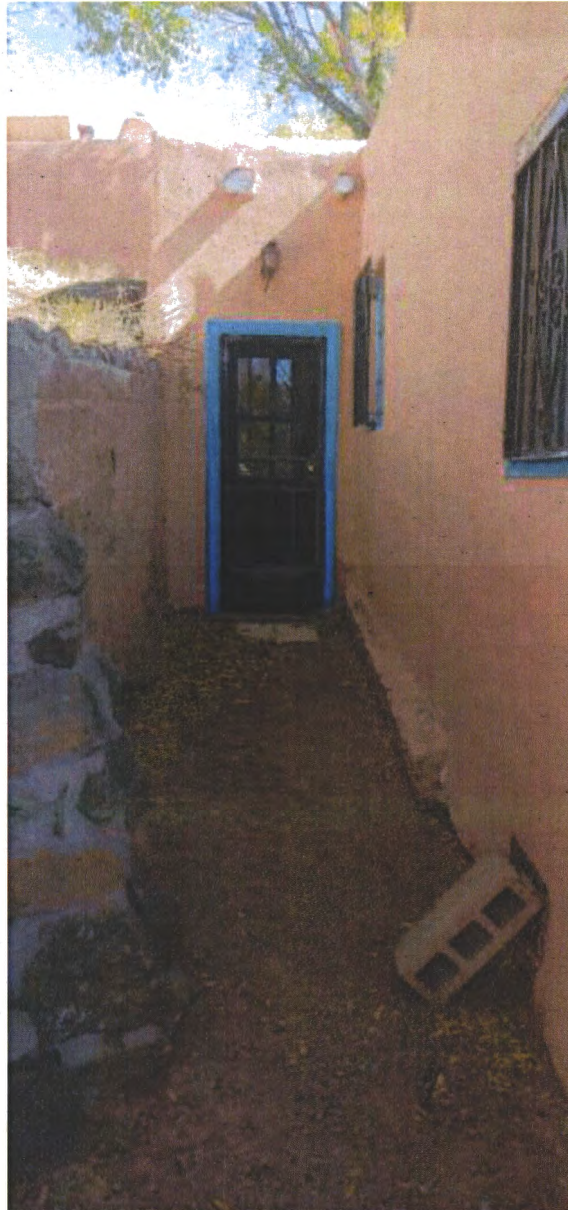


**Photo 5: West (front) façade metal vigas.  
Camera facing northeast.**

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> October 20, 2020			



**Photo 6: Secondary west façade entry.  
Camera facing east.**

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		NRHP	SRCP	Criteria    A    B    C    D	
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 20, 2020			



**Photo 7: South elevation; 1970s bump-out at right.  
Camera facing northwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i> NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> October 20, 2020	



**Photo 8: South elevation; 1970s bump-out at center.  
Camera facing north.**

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> October 20, 2020			



**Photo 9: South elevation; 1970s bump-out overhang.  
Camera facing north.**

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		NRHP	SRCP	Criteria
		A B C D		
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A		
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		<b>5. Date of Survey:</b> October 20, 2020		

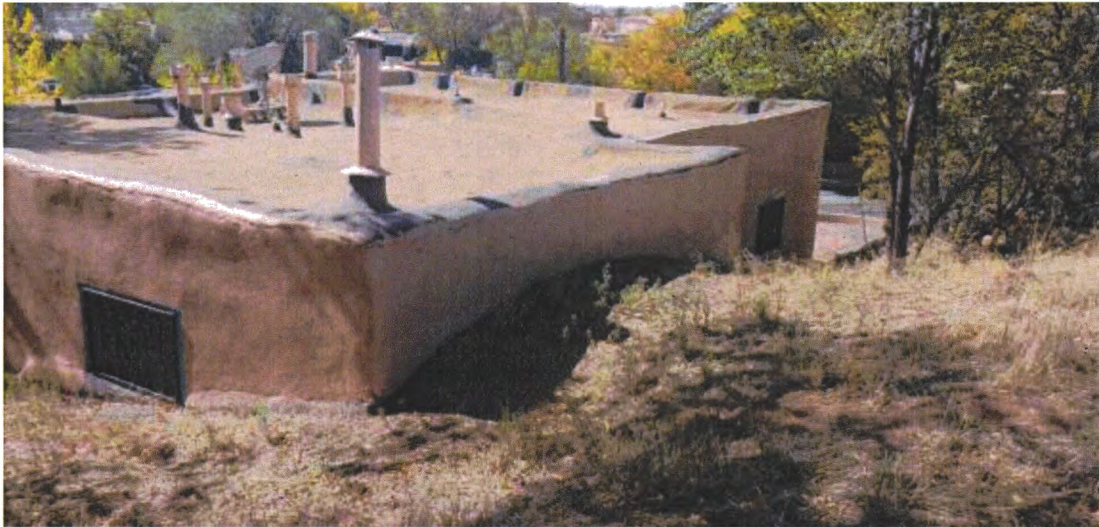


**Photo 10: East elevation.  
Camera facing north.**

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A		
		<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> October 20, 2020		



**Photo 11: Northeast corner.  
Camera facing southwest.**

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>	
		NRHP _____ SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>	<b>2. Location:</b>	<b>3. Local Reference Number:</b>	
Archuleta House	310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	Santa Fe ID #: N/A	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> October 20, 2020	



**Photo 12: North elevation.  
Camera facing southwest.**

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No.      District No.		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		NRHP    SRCP    Criteria    A    B    C    D	
<b>1. Name of property:</b>  Archuleta House	<b>2. Location:</b>  310 Magdalena Road Santa Fe: <i>Downtown and Eastside Historic District</i>	<b>3. Local Reference Number:</b> Santa Fe ID #: N/A		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> October 20, 2020			



**Photo 13: West (front) façade landing; stone cladding.  
Camera facing southeast.**



# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** Robin Smith, agent/owner proposes to reroof a contributing structure and requests an exception to change roofing materials, per Section 14-5.2(C)(5)(b).

Case number: **2020-002973-HDRB**  
Project Type: **HDRB**

**PROJECT LOCATION (S):** **717 West Manhattan Avenue**

OW/AP – Robin Smith TTEE O’Neil Smith Revocable Trust 121A Arroyo Calabasas Road, Santa Fe, NM 87506  
robinsmith046@gmail.com

### PROJECT DATA:

#### HISTORIC DISTRICT

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

#### HISTORIC BUILDING STATUS

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

#### PRIMARY ELEVATIONS:

North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

#### HISTORIC DISTRICT INVENTORY NUMBER

#### YEAR OF CONSTRUCTION

1928

#### PROJECT TYPE

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSED Residential  Non-Residential

#### HISTORIC BUILDING NAME

\_\_\_\_\_

# City of Santa Fe, New Mexico

# memo

**DATE:** January 12, 2020  
**TO:** Historic Districts Review Board Members  
**FROM:** Daniel Schwab, Senior Planner, Historic Preservation Division

---

**Case # 2020-002973-HDRB**

**Address: 717 West Manhattan Avenue**  
**Historic Status: Contributing**  
**Historic District: Westside-Guadalupe**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

District Standards & yard wall  
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

**APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: exception criteria responses

**STAFF RECOMMENDATION:**

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Staff recommends that the exception criteria per Section 14-5.2(C)(5)(b) for an exception to Section 14-5.2(D)(6) have been met.

## **BACKGROUND & SUMMARY:**

717 West Manhattan Avenue is a single-family residential structure with contributing status to the Westside-Guadalupe Historic District. It was built by 1928. It has adobe walls and a hipped tar-shingle roof, a style that is common in this historic district. The material of tar shingles is assumed not to be original. The roof materials are 14 years old.

The roof is in poor condition and needs to be replaced. The applicant is requesting an exception to Section 14-5.2(D)(6), which requires that existing roof materials be maintained or replaced in kind. The applicant argues that there are several houses in the district with similar metal roofs so that this change would not harm the district. Additionally the change would prevent the hardship of having to replace again in a short period of time.

## **EXCEPTION CRITERIA AND RESPONSES:**

**Exception to 14-5.2(C)(5)(b):** Staff request an exception to change the existing roof materials

*(i) Do not damage the character of the district*

**Applicant Response:** I believe that a metal roof on this structure will do no damage to the character of the Guadalupe District. On the contrary, I believe the change to a metal roof will enhance the structure and blend in well with surrounding homes on West Manhattan Avenue and Romero Street (photos attached). The adobe bungalow with pitched roof is a common typology in the district, and many of these structures have metal roofs.

**Staff Response:** Staff agrees with the applicant.

*(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare*

**Applicant Response:** Replacing the current shingle roof with like material will create a hardship for the applicant due to the much shorter lifespan of such a roof. The current shingle roof is only 13 years old and is already in need of replacement. Shingles have blown off into the driveway and could present a danger to the public welfare should they land on the sidewalk or in the street. A metal roof will have a lifespan of 30 years.

**Staff Response:** Staff agrees with the applicant.

*(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

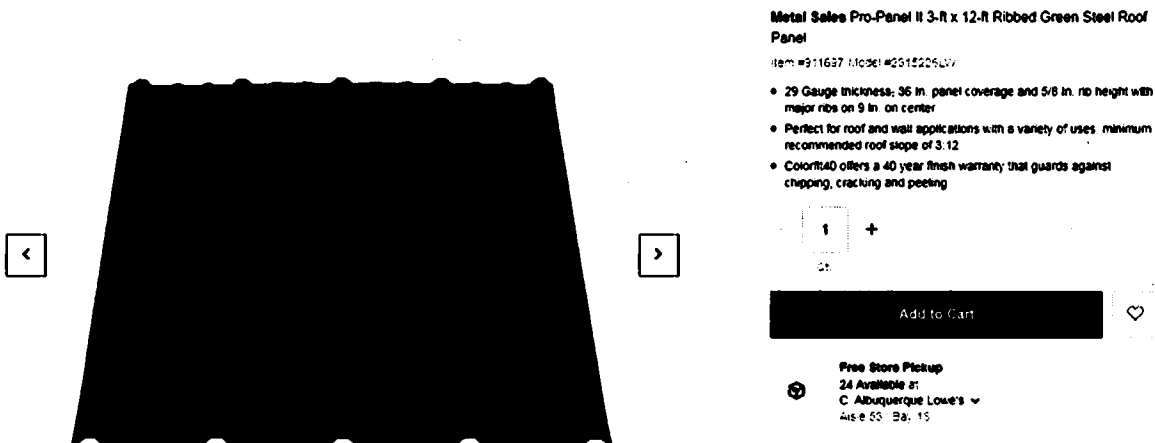
**Applicant Response:** The current roofing material, asphalt shingle, is clearly not as durable as a Pro Panel roof. A metal roof on this structure will provide an attractive alternative design option which will add to the appeal of the Guadalupe District while remaining in keeping with the historic precedent of pitched metal roofs throughout Santa Fe and northern New Mexico.

**Staff Response:** Staff agrees with the applicant. This choice reflects an examination of the surrounding relevant structures and represents a choice that fits with the district and will serve the long-term protection of the structure.

Historic Districts Review Board  
City of Santa Fe  
200 Lincoln Avenue  
Santa Fe, NM 87504

To Whom It May Concern:

I, Robin Smith, owner of 717 West Manhattan Avenue, Santa Fe, NM 87501, do respectfully request an Exception to the City Land Development Code as it applies to Historic Districts. The existing asphalt shingle roof on the property is damaged and deteriorating. I would like to replace this roof with a dark green metal roof.



The house was built sometime between 1928 and 1935 and has had at least two major alterations: an addition added to the rear of the structure in the 1970's and a complete renovation of the exterior and interior in 2006, including a new asphalt shingle roof.

The structure covers 1,296 square feet and is approximately 14' high with dormers on the front and back. This structure has a hipped roof that can easily be converted to ribbed metal as opposed to asphalt shingle. The current roof is only 14 years old and has already deteriorated significantly. I have included examples of several homes in the neighborhood that have metal roofs. All are of similar typology (bungalow/craftsman) with hipped roofs and dormers. As you can see, the metal roofs blend in well with surrounding structures and offer a more durable alternative to shingle.

The trim on this house is dark green, and I would like to preserve and emphasize this color scheme. I also plan to have the dormers restored exactly as constructed as the roof replacement work is done.

I hope you will grant this exception, as I believe it will enhance the value of my property and improve the neighborhood while preserving the character of the Westside-Guadalupe district.

Sincerely,

Robin Smith

## **Historic Districts and Historic Landmarks Design Standards and Signage Exception Criteria**

**(i) Do not damage the character of the district**

Response: I believe that a metal roof on this structure will do no damage to the character of the Guadalupe District. On the contrary, I believe the change to a metal roof will enhance the structure and blend in well with surrounding homes on West Manhattan Avenue and Romero Street (photos attached). The adobe bungalow with pitched roof is a common typology in the district, and many of these structures have metal roofs.

**(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare**

Response: Replacing the current shingle roof with like material will create a hardship for the applicant due to the much shorter lifespan of such a roof. The current shingle roof is only 13 years old and is already in need of replacement. Shingles have blown off into the driveway and could present a danger to the public welfare should they land on the sidewalk or in the street. A metal roof will have a lifespan of 30 years.

**(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts**

Response: The current roofing material, asphalt shingle, is clearly not as durable as a Pro Panel roof. A metal roof on this structure will provide an attractive alternative design option which will add to the appeal of the Guadalupe District while remaining in keeping with the historic precedent of pitched metal roofs throughout Santa Fe and northern New Mexico.

## **Historic Districts and Historic Landmarks Design Standards and Signage Exception Criteria**

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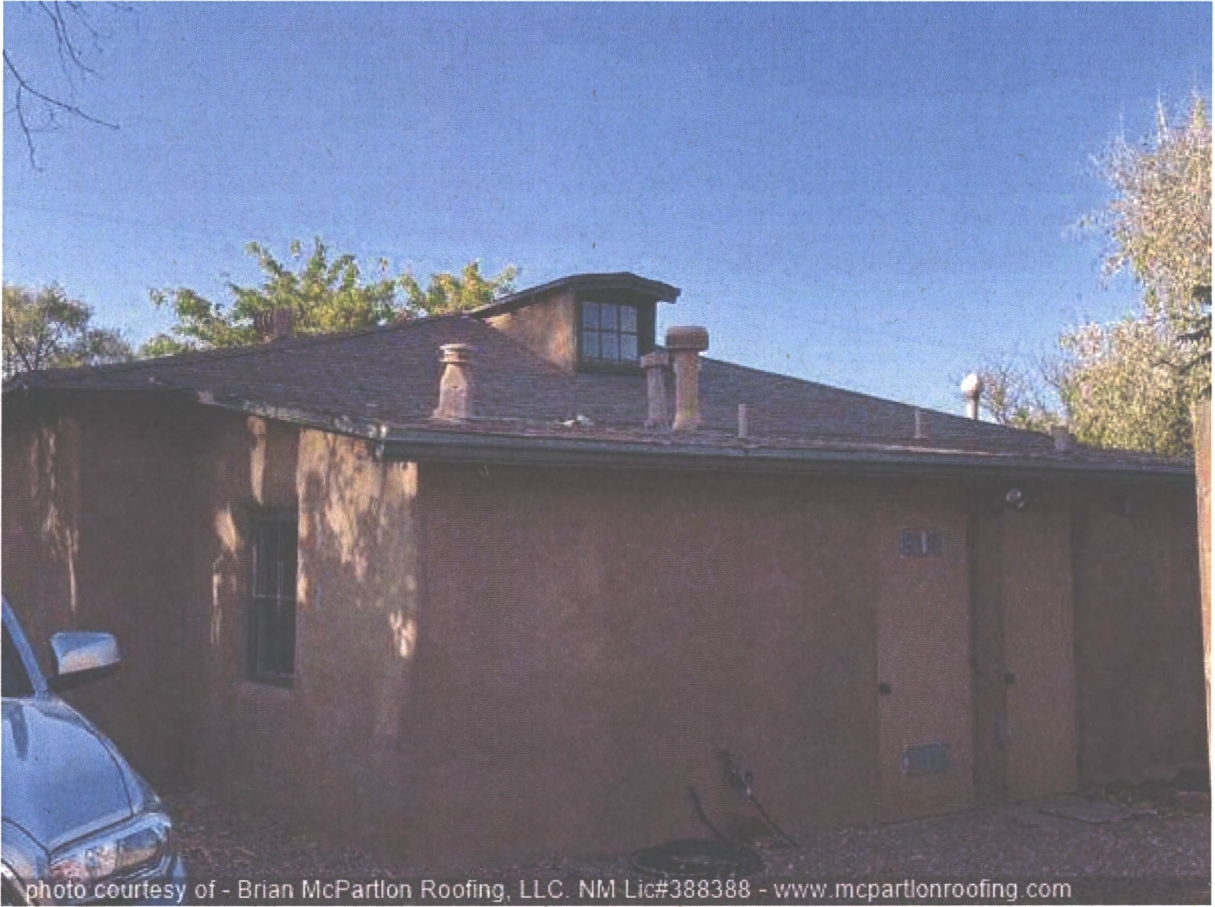
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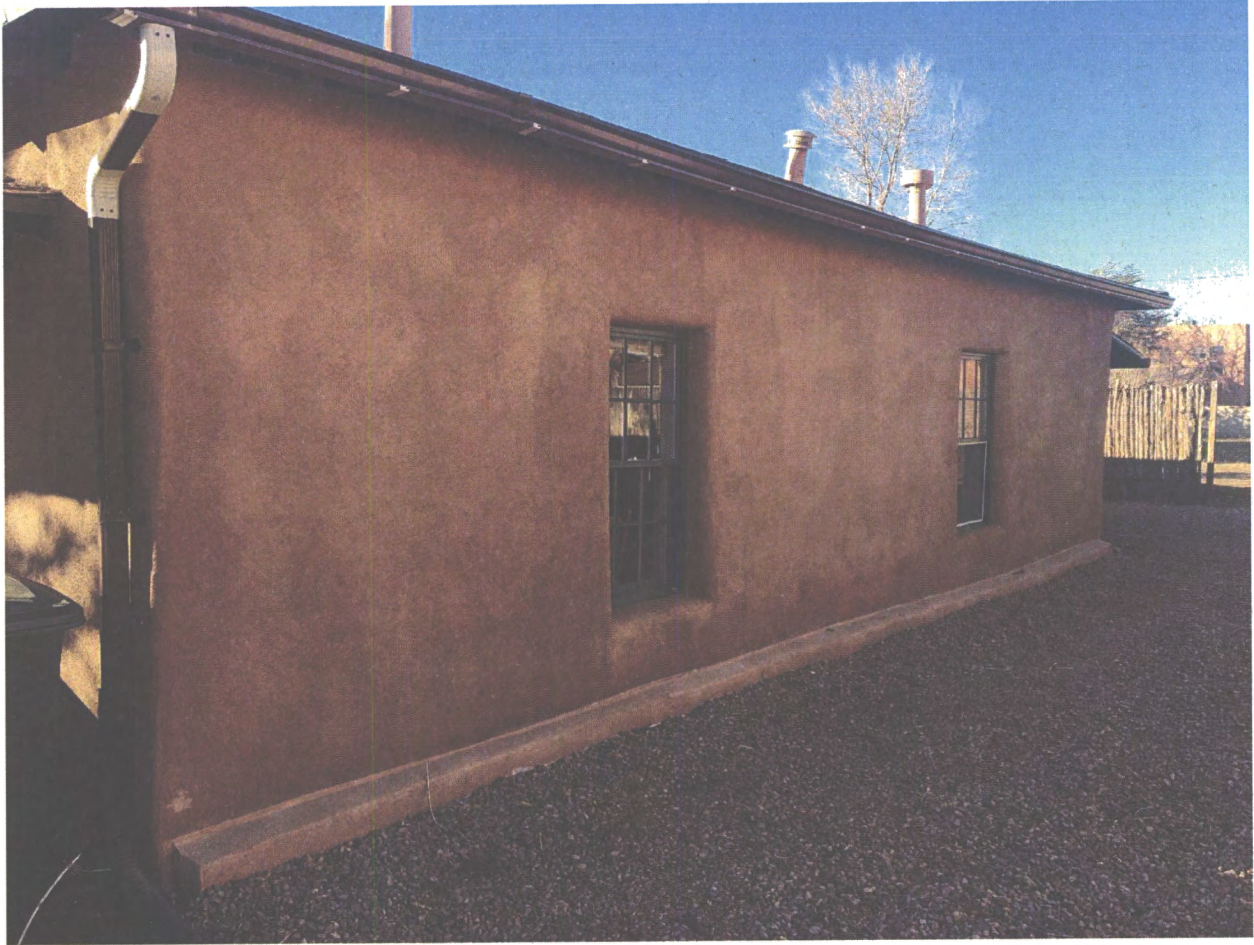
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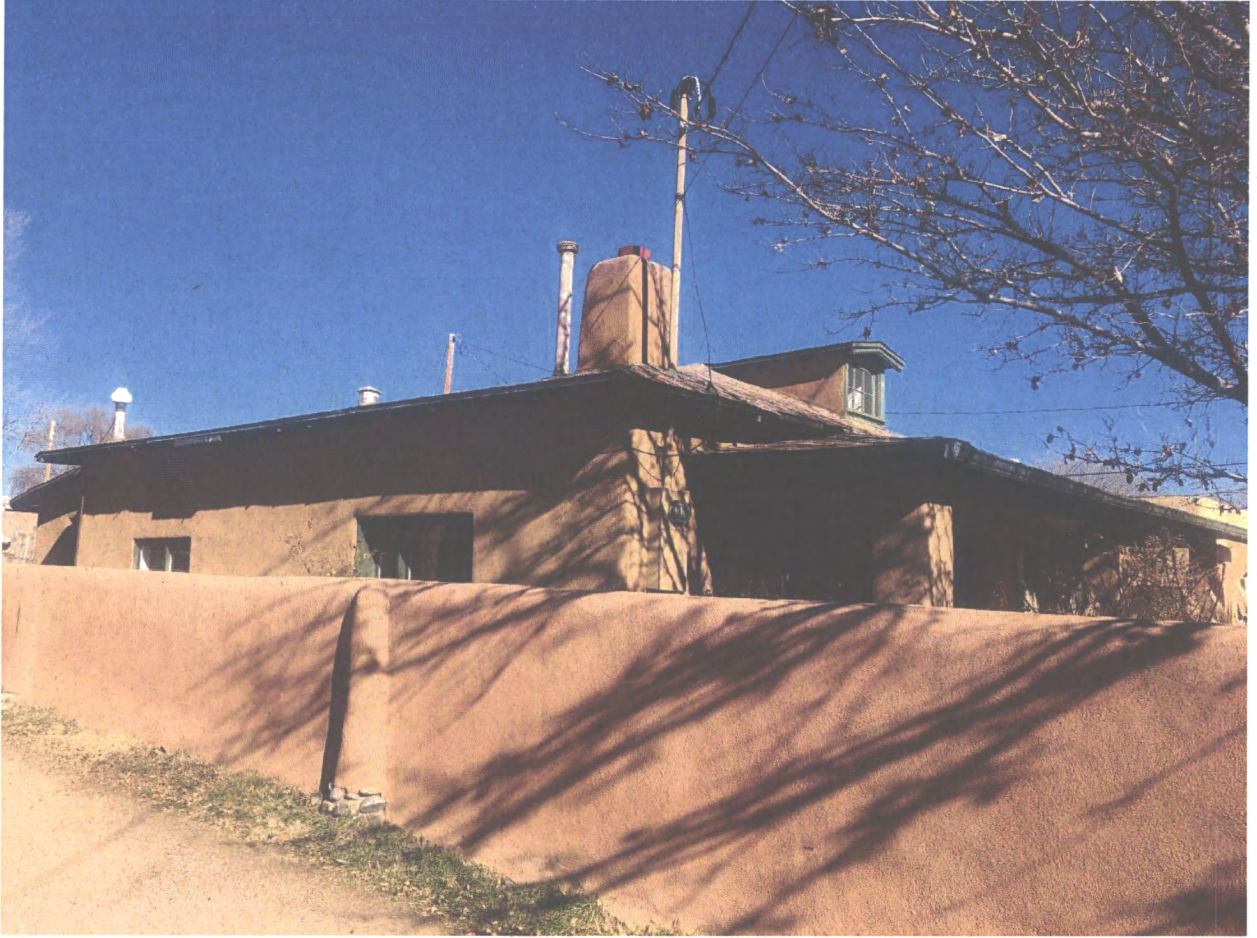
Street frontage – South elevation



North elevation



East elevation



West elevation



Detail of roof damage

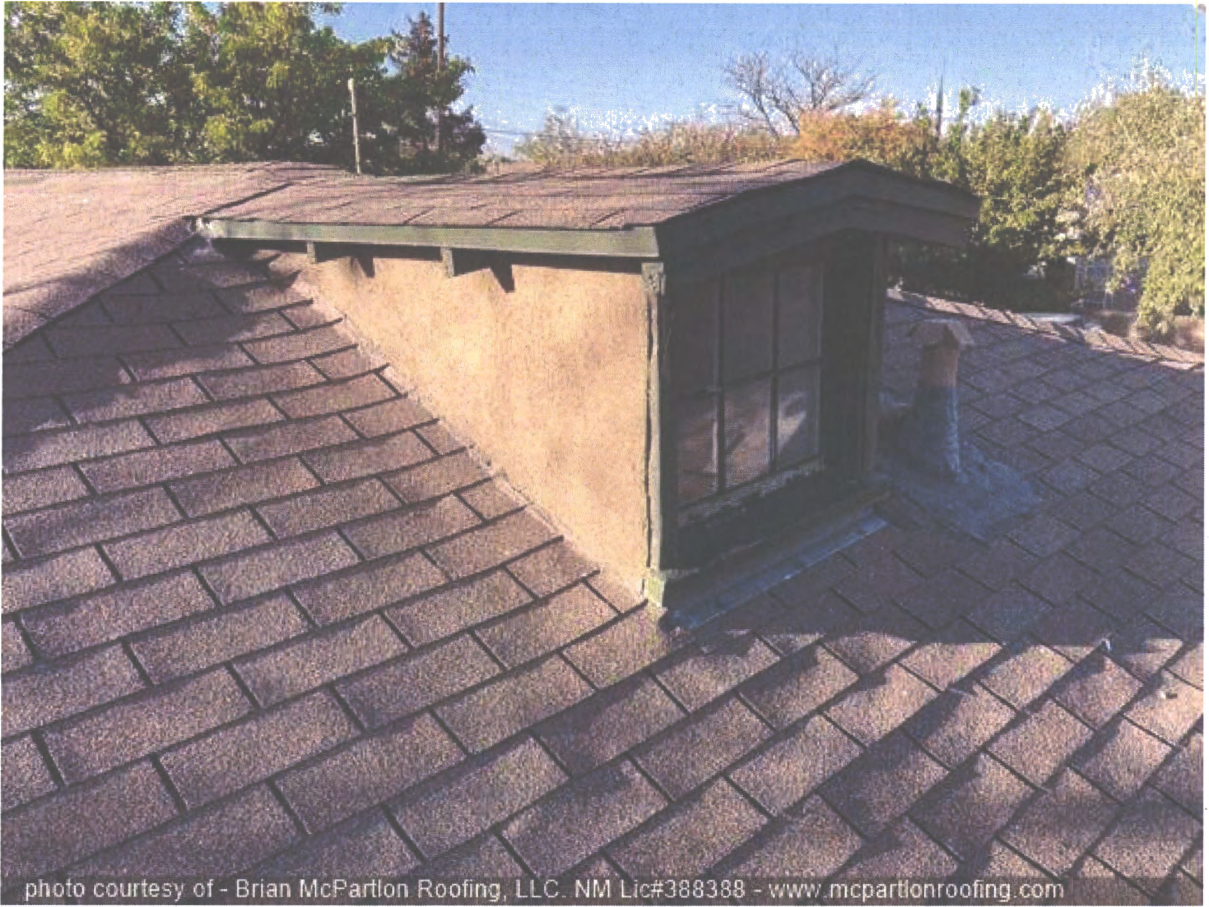


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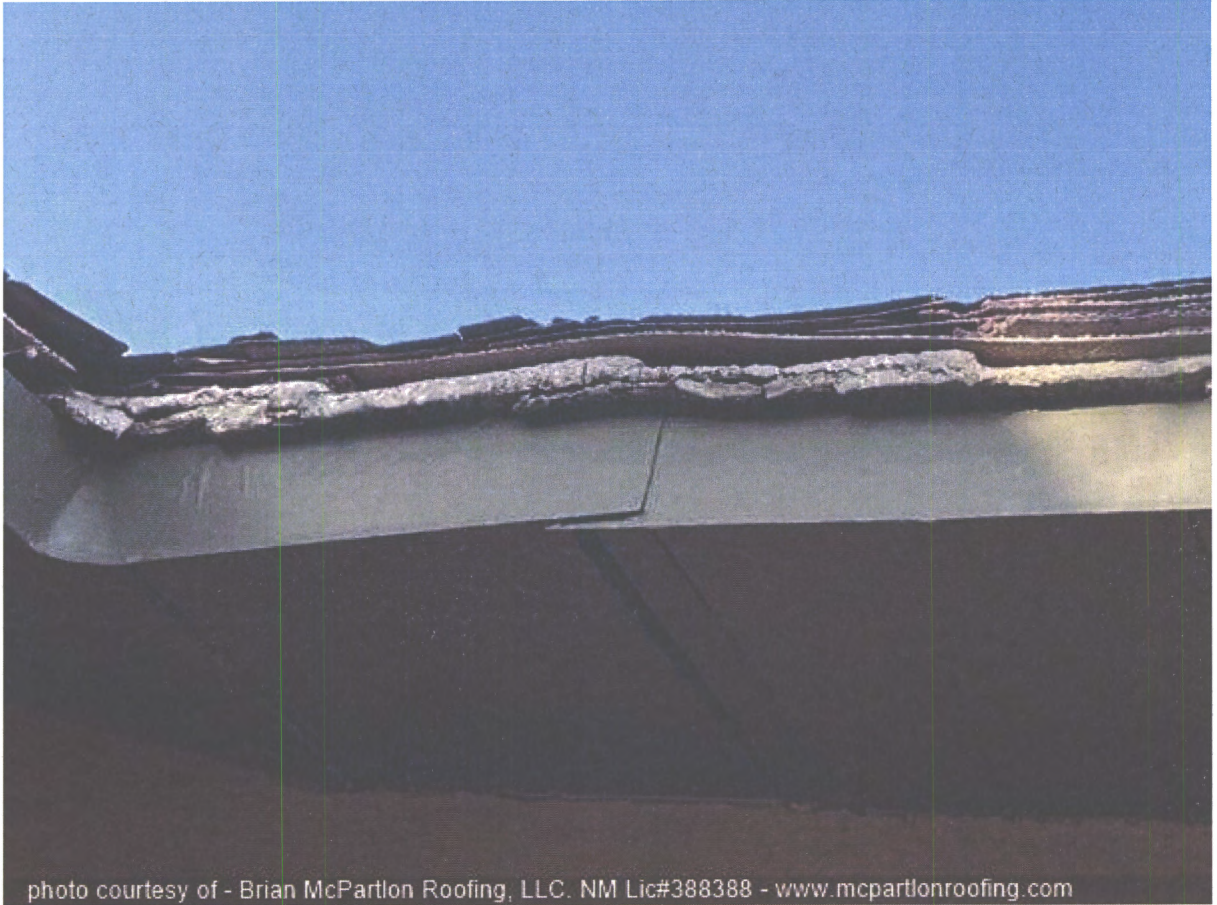


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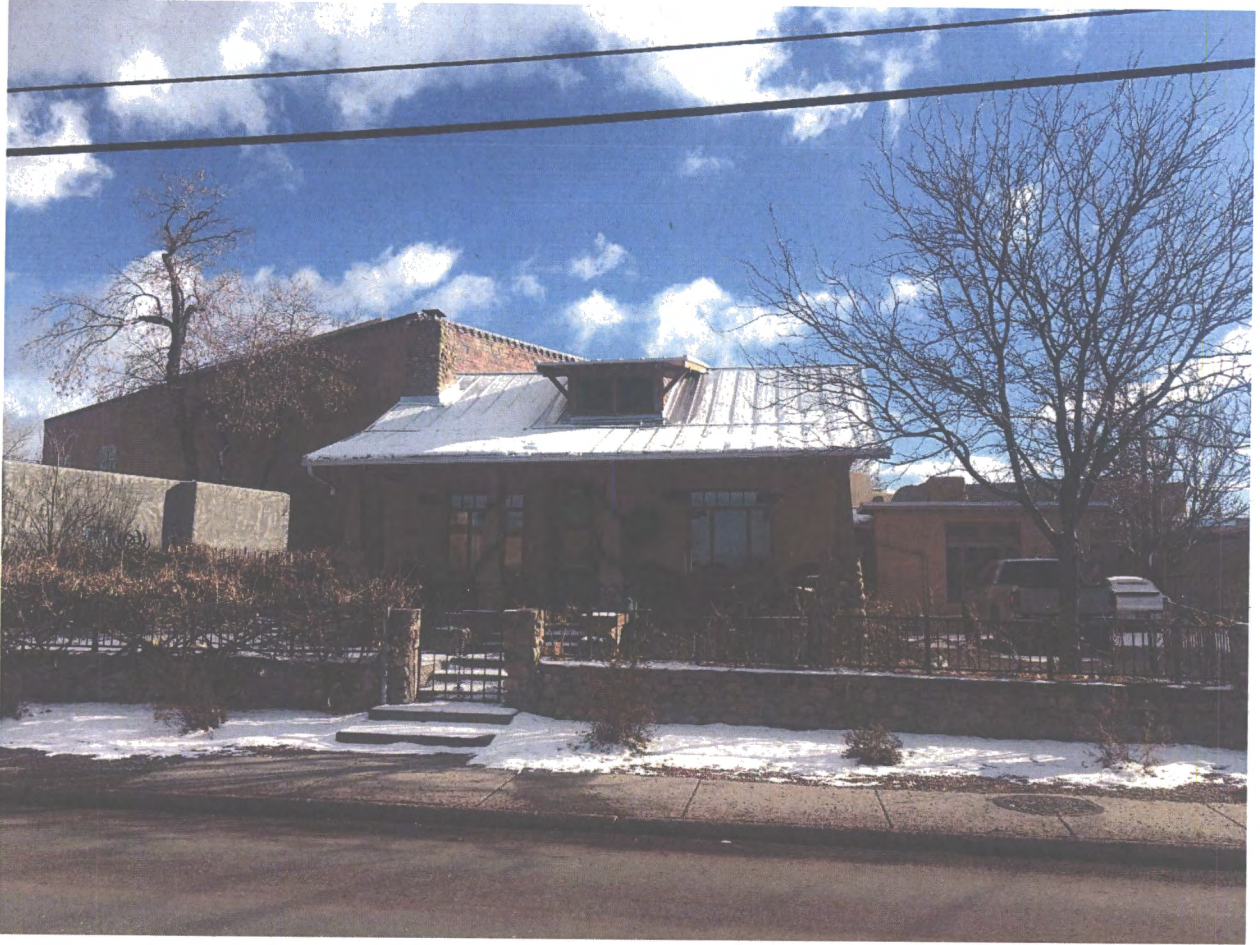
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DeFouri Street



Agua Fria



Agua Fria



West Manhattan – corner of Romero



Romero



Detail on Romero house