



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
DECEMBER 08, 2020
5:30 PM
ATTEND VIRTUALLY

SPECIAL PROCEDURES FOR VIRTUAL ATTENDANCE AND PUBLIC COMMENT:

In response to the State's declaration of a Public Health Emergency, the Mayor's Proclamation of Emergency, and the ban on public gatherings of more than five (5) people, the Historic Districts Review Board meeting will be conducted virtually using Zoom.

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Attending on Zoom: Members of the public may attend the Zoom meeting on a computer, mobile device, or phone. The video conference link and teleconference number will be posted on the City of Santa Fe's Calendar of Events website at least seventy-two (72) hours before the meeting: <https://www.santafenm.gov/events>. The direct Zoom link is: <https://us02web.zoom.us/j/81005072259?pwd=ZkZ6OFp4Z2xRR1dIUzRIMSsvRXVMZz09> and use password: **786484**.

Attending Zoom by Phone: Members of the public can attend the Zoom meeting by phone by dialing:

US: **(253) 215-8782** or **(346) 248-7799** or **(929) 205-6099**

Webinar ID: **810 0507 2259**.

Public Comment:

- By video: A person attending the Zoom meeting by video conference (using a computer, mobile device, or smart phone) may provide public comment during the meeting. Attendees should use the "Raise Hand" function to be recognized by the chair to speak at the appropriate time.



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• By phone: A person attending the Zoom meeting by phone may provide public comment during the meeting. Phone attendees should press *9 to use the “Raise Hand” function to be recognized at the appropriate time.

• In writing: A person may submit written public comments by 5pm the Monday prior to the meeting via the virtual comment “button” at

<https://santafe.primegov.com/public/portal>.

A. ROLL CALL

B. APPROVAL OF AGENDA

C. APPROVAL OF MINUTES:

1. November 24, 2020

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. Case #2020-002819-HDRB. 425 Hillside Avenue.
2. Case #2020-002820-HDRB. 1369 Cerro Gordo Road.
3. Case #2020-002483-HDRB. 524 Calle Corvo.
4. Case #2020-002758-HDRB. 312 Catron Street.

E. MATTERS FROM THE PUBLIC

F. STAFF COMMUNICATIONS

G. OLD BUSINESS

H. NEW BUSINESS

1. Case #2020-002852-HDRB. 119 Kearny Road. Downtown & Eastside Historic District. Hoopes and Associates, agent for William and David Snead, owner, requests a historic status review with primary façade designation, if applicable, for a non-statused residential structure. (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafenm.gov)



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2. Case #2020-002864-HDRB. 1668 Cerro Gordo Road. Downtown & Eastside Historic District. Elisabeth Wagner, agent for Will Gorham, owner, requests window and door replacement, entry portal remodel, re-roof, HVAC and skylight installation on a non-contributing casita. (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafenm.gov)
3. Case #2020-002853-HDRB. 675 Alto Street. Westside-Guadalupe Historic District. John Utton, agent/owner, proposes to raise the height of a previously approved structure to 13' from 10'6" where the maximum allowable height is 14'2", alter window and door dimensions, remove yardwalls and construct a 72" high yardwall on a non-contributing residential structure. (previous case H-19-002) (Daniel Schwab, 955-6660, dnschwab@santafenm.gov)
4. Case #2020-002854-HDRB. 855 A Camino Ranchitos. Downtown & Eastside Historic District. Beili Studio, agent for Mark Botwin, owner, proposes to construct a 15'4" high residential structure where the maximum allowable height is 17'2", retaining walls, and hardscaping on a vacant lot. (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafenm.gov)
5. Case #2020-002809-HDRB. 601 San Antonio Street. Downtown & Eastside Historic District. Taylor Pardue, agent for Paul Markunas, owner, proposes to change windows, raise parapets, construct portals, door replacement, install a patio and yard walls and make other minor repairs on a contributing structure. An exception is requested to construct on a primary facade (14-5.2(D)(2)(c)). (Daniel Schwab, 955-6660, dnschwab@santafenm.gov)

I. DISCUSSION ITEMS

J. MATTERS FROM THE BOARD

K. NEXT MEETING: Tuesday, January 12, 2021

L. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

SUMMARY INDEX
HISTORIC DISTRICTS REVIEW BOARD
November 24, 2020

ITEM	ACTION TAKEN	PAGE(S)
Call to Order	5:30 pm	1
A. Roll Call	Quorum Present	1
B. Approval of Agenda	Approved as Published	2
C. Approval of Minutes October 27, 2020 Hearing	Approved as Amended	2
D. Findings of Fact & Conclusions of Law	Approved	2-3
E. Matters from the Public	Comments	3
F. Staff Communications	None	3
G. Old Business	None	3
H. New Business		
1. Case#2020-002810-HDRB. 586 Camino del Monte Sol	Postponed	3-10
2. Case #2020-002818-HDRB 324 McKenzie Street	Postponed	10-12
3. Case #2020-002813-HDRB 247 Anita Place	Postponed	12-18
4. Case #2020-002819-HDRB 425 Hillside Avenue	Approved	18-19
5. Case #2020-002820-HDRB 1369 Cerro Gordo Road	Approved	19-25
6. Case #2020-002483-HDRB 524 Calle Corvo	Approved Items 1-4	25-38
7. Case #2020-002758-HDRB		

312 Catron Street	Approved	38-45
I. Discussion Items	None	45
J. Matters from the Board	None	45
K. Next Meeting	December 8, 2020	45
L. Adjournment	Adjourned at 10:20 p.m.	45

**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
November 24, 2020
VIRTUAL HEARING**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:30 p.m. at a virtual meeting held at <https://www.youtube.com/user/cityofsantafe>.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chairwoman
Mr. Frank Katz, Vice Chair
Ms. Jennifer Biedscheid (arrived at 6:04 pm)
Mr. John Bienvenu
Mr. Anthony Guida

MEMBERS EXCUSED:

Ms. Flynn G. Larson
Mr. Buddy Roybal

OTHERS PRESENT:

Ms. Nicole Ramirez Thomas
Mr. Daniel Schwab, Senior Planner
Ms. Angela Bordegaray, Senior Planner
Ms. Sally Paez, Assistant City Attorney
Ms. Melissa Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

MOTION: Vice Chair Katz moved, seconded by Member Bienvenu to approve the agenda as presented.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Chair Rios voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. October 27, 2020

Chair Rios requested the following changes to the agenda:

- On page 16, the fourth paragraph down, should read: "Chair Rios said it appears the Board is moving in the direction to approve this application with the exception of the design railing and that can return to the Board."
- On page 17, under "Questions for Staff", third paragraph down, the word "do", should be changed to "did".

MOTION: Member Bienvenu moved, seconded by Member Biedscheid to approve the HDRB Hearing Minutes of October 27, 2020, as amended.

VOTE: The motion passed by majority (4-0) roll call vote with Members Biedscheid, Bienvenu, Katz and Chair Rios voting in favor, none voting against and Member Guida abstaining.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. Case #2020-002692-HDRB. 202 Galisteo Street.

2. Case #2020-002693-HDRB. 3 Placita Rafaela.

3. Case #2020-002694-HDRB. 801 Alto Street.

MOTION: Member Bienvenu moved, seconded by Member Biedscheid, to approve the Findings of Fact and Conclusions of Law, as presented.

VOTE: The motion passed by majority (4-0) roll call vote with Members Biedscheid, Bienvenu, Katz and Chair Rios voting in favor, none voting against and Member Guida abstaining.

E. MATTERS FROM THE PUBLIC

Eric Enfield wished everyone a happy Thanksgiving.

F. STAFF COMMUNICATIONS

Ms. Paez said the Land Use Department has submitted the opening for Historic Director to HR.

G. OLD BUSINESS

None.

H. NEW BUSINESS

Chair Rios explained the appeal process for anyone who disagreed with the Board's decision.

Ms. Paez clarified because of the holiday season and only one meeting this month if the Findings and Conclusions are not approved by the 35th day after this hearing, that will start the 15-day appeal period. Anyone with questions on the appeal process should contact their case manager.

1. **Case #2020-002810-HDRB. 586 Camino del Monte Sol. Downtown & Eastside Historic District.** Architectural Alliance, agent for David Krakauer and Jessica Flack, owners, proposes to construct a free-standing garage, replace windows, and coyote fencing at a contributing residential property. (Angela Schackel Bordegaray)

STAFF REPORT

586 Camino del Monte Sol is a contributing residential structure located in the Downtown and Eastside Historic District. It is Spanish-Pueblo Revival style single family home with flat roof, simple parapet, and concealed lintels. A non-contributing guest house is located southwest of the main house. The guest house had an attached carport at one time which was demolished at an unknown date. The House was the home of Fremont Ellis, a Santa Fe painter, printmaker, teacher, and founder of the Santa Fe group known as Los Cinco

Pinturas. Will Schuster was his next-door neighbor (From “An Artist’s Biography”). She noted that Historic District Review sheet did not make it in the packet.

The applicant proposes to construct a 576 sf 14’ x 4” high free-standing garage where the maximum allowable height is 15’. The garage will be located to the southwest of the main house. The proposed garage will match the Spanish-Pueblo Revival style of the main house. The garage door will be 19’ wide x 9’ tall with decorative wood panels and exposed wood lintels on its south façade. The windows and the door will have exposed wood lintels. The north elevation will have a wooden 3’ x 4’ double casement window with true divided lites painted Danube blue to match main house. The wood doors and lintels will be stained Antique Walnut to match the existing courtyard gate. The stucco will match main house and yard walls, El Rey Buckskin. Garage door will be stain grade cedar fencing.

The applicant also proposes to add a 6’ tall coyote fence where the maximum allowable height is 6’. The latillas will have staggered tops to create a new parking space for the existing guest house. The new fence will tie into the existing coyote fence that separates the driveway from the yard.

STAFF RECOMMENDATION

Staff recommended approval of the proposal and finds that the application complies with Section 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Chair Rios asked for a description of the public visibility, if any.

Ms. Bordegaray said there is very little. She referred to the photograph noting a vehicular gate. The gate is barely visible beyond the trees and from the street a little of the roofline can be seen.

Ms. Paez clarified the applicant is represented by Mr. Enfield.

Member Guida asked if the site is flat or if there is topography.

Ms. Bordegaray replied there is major topography. Walking down the driveway to the right of the proposed garage drops down significantly like a bowl.

APPLICANT’S PRESENTATION

Eric Enfield, 612 Old Santa Fe Trail was sworn in. He noted in a photograph shown where the large pine tree is located on the plan. A garage was previously approved in the exact location by this Board. This is the only visible spot to put a garage and the site plan shows the historic wall, which will not be touched. They will tie into a new coyote fence

going across and will be picked back up at the guest parking area. They hope to keep the foundation at the driveway level and have tried to capture some of the character defining features of the house. They plastered the majority of the header and left slivers to match the detail facing the house. That is the reason they see window detail on the northeast and northwest elevations. They are also mimicking the height of the header of the garage.

Chair Rios asked staff to put the elevations on screen.

Mr. Enfield continued that the two elevations (northeast and northwest) are visible from the house and matched some details of the windows and divided lites and door. Also, they did a cedar chevron pattern on the front of the garage door and detailed the sides to match the corners of the house. He thought there would not be any question that it was added at a later date. One side is almost 20 feet from the house and one about 40 feet from the house. The new flagstone walkway actually ties to an existing walkway inside the stucco wall. They have tried to incorporate it into the main house and grounds to match the details and make it a nice structure instead of just a boxed garage.

QUESTIONS FOR APPLICANT

Member Bienvenu asked if correct that the elevations in the packet seemed different than the east elevation and the door. They are different on the south and west elevations shown.

Ms. Bordegaray said they should match. She noted a second set of slides were included in the packet.

Member Bienvenu asked if the more accurate version of the application was on screen.

Mr. Enfield responded it was, but clarified it is the northeast elevation not east, the northwest elevation, not a true west, a southeast elevation not a true south, and a southwest that is not a true west. Those are elevations he presented in his packet and what he submitted matches.

Ms. Bordegaray said this came about because she received the packet when she asked about the garage door stains and finishes. She noted the correct set of drawings depict the garage door with the Chevron pattern.

Member Guida thought it a very nice garage and detailing. He asked Mr. Enfield to describe how the height was calculated from the adjacent grade of a flat site. Especially because they are so close to the height limit.

Mr. Enfield explained the front and sides are fairly representative of what is there. Some dirt work inside the backyard will be required but there is stonewalls and terracing. There is a requirement for a small amount more of stone terraces that he didn't include because he doesn't have topography for it. The front façade building when measured will not be 14 feet higher than the driveway surface. Any retainage will be done with the existing stonewalls.

Member Guida asked staff if correct that height would not be measured from the street, but from adjacent grade.

Ms. Bordegaray said it is correct; from the finished grade to the top of the parapet.

Mr. Enfield asked because it is a sloping site, wasn't he allowed to add three feet to the 15 up to a total of 18 feet.

Member Guida said that is a discretionary allowance.

Mr. Enfield said he would ask for that.

Member Guida said he wasn't trying to be difficult. His point is, it is a question that a big part of the materials the Board receives should properly represent the project. He said that is we are charged with and we don't want things to look different once built.

Mr. Enfield said he mentioned doing stonewalls beyond the face toward the house. That is what is there now - stone and terraces. He said we plan to provide the pad and using the stone and building the garage on the pad. The stone walls will not be part of the garage.

Member Guida said the Board needs to see from staff and the applicant where the ground is from the topography and grade line.

Mr. Enfield replied the problem is that many times in the preliminary design, people don't want to spend money for topo before the project is approved. He said he was expecting them to ask the question but wanted the Board to know we were going to do it in rock walls and landscaping. That will happen outside the footprint of the garage.

PUBLIC HEARING

John Eddy, 227 E. Palace Ave., Santa Fe was sworn in. He wanted discussion on whether the splaying of the buttresses on the garage suggest the details on the house.

Ms. Bordegaray replied yes, there are some buttresses on some corners of the main structure and are visible in the historic buildings inventory survey.

Mr. Enfield noted you can see a slight splay coming up to the gate, along the walls and the back of the house. The idea was to give some of the character of the house to the garage.

BOARD DISCUSSION

Member Guida expressed concern about the completeness of the packet received that is different than what was shown. And he has a lingering concern on the how the height is being calculated. He asked if the Board was comfortable with staff approving the height of the garage despite the significant topography.

Member Biedscheid said she wouldn't have known about the slope if Member Guida had not pointed it out. She asked staff to clarify if the Board should allow the discretionary 4 feet in their motion, or whether it is required, or it is needed by the applicant.

Chair Rios said allowable height is 15 feet and the applicant is asking for 19 feet.

Member Bienvenu asked if the Board knew whether the discretionary additional amount needs to be approved to build the project as submitted.

Ms. Bordegaray said she understood the height at the front of the driveway is 15 feet and the request is for the additional 4 feet.

Member Bienvenu said they need a resubmission of the drawings.

Chair Rios noted the statement in the staff report, "The garage door will be 19 feet *wide* and 9 feet high."

Member Katz added it also says the building will be 14 feet high.

Mr. Enfield clarified currently he is submitting a building that is 14 feet high, but he has mentioned to the Board they may be doing some stonework in the grade change. That would be separate from the garage. He thought he would be able to work with staff depending on what that is to ensure being within the 15 feet of the height on the garage. He thought that was what had been done in the past approval and he is ensured 14'4" but allowed to go to 15 feet. It would not be more than a foot or two difference when finished. The intent was always to redo 4-foot-high rock walls and he also can reduce the depth of the garage. All of that can be done with staff because that side is not publicly visible.

Mr. Enfield said it isn't fair if people have to hire a surveyor to do topography, but he understands the Board's concerns. He has presented a building that is 14 feet at the front and shows 14 feet high all the way around. He could do a 2 or 3 or 4 feet high dry-

stacked wall to level the pad. He could also reduce the depth to stay within the allowable height. He was hoping they could approve that tonight.

Ms. Ramirez Thomas said for the Board to grant the request for additional height would require it be noticed on the agenda.

Mr. Enfield said not if it is a sloping site; it is up to the discretion of the Board.

Ms. Ramirez Thomas replied it still has to be advertised but the decision is up to the discretion of the Board. She confirmed the allowable height and that the applicant proposed 14'4" to build up to. The height is measured not from the finished grade of the structure, but from the front grade of the property.

Mr. Enfield asked if that wouldn't be from the front door.

Ms. Ramirez Thomas replied it is, but in this case the front door is a separate structure. She asked to confirm the location of the door.

Mr. Enfield said the garage door out is on the southeast side which is the driveway side, and it is visible from Camino Del Monte Sol.

Ms. Ramirez Thomas said during inspection it will be measured from the garage door on the high portion of the property, not the part requiring the additional height.

Mr. Enfield said that was correct, it will be 14'4" high when measured.

Ms. Ramirez Thomas said it will be under the maximum allowable height.

Ms. Bordegaray asked to interject. She recognized some omissions; the drop of the slope is significant. Showing what the applicant wants and how that drops off would help alleviate much of the discussion. If the front of the garage is under the maximum allowed and the back of the garage drops down, would that be considered exceeding allowable height when Mr. Enfield reconfigures the site.

Ms. Ramirez Thomas asked if Mr. Enfield is changing the grade of the property so that the whole structure will be at maximum height.

Mr. Enfield explained there are rock walls there and currently you can go up to 4 feet with a dry stacked rock wall. It is not considered structural because it doesn't have a foundation. They will redo the landscaping with stone walls and create terraces off of the garage with 4 feet high walls. They are retaining 2-3 feet and that doesn't impact the design of the garage.

Ms. Bordegaray referred to the elevations of the garage and confirmed the elevation that is the back of the garage. She said he would be doing extensive site work and from that the Board knows what needs to happen.

Mr. Enfield said he mentioned he would redo the stone terraces in that area. It is not part of this application because he doesn't know to what extent yet. He does know he can go 15 feet and that can be conditionally approved. That is what is allowed. He will come back to the Board if he exceeds 15 feet.

Ms. Bordegaray asked if the site work would be separate or if he is building up the site.

Mr. Enfield asked if correct that Ms. Ramirez Thomas said during inspection they would measure 15 feet from the front street facing façade to be sure 14'4" isn't exceeded.

Ms. Bordegaray noted this is not street facing, it faces the side.

Vice Chair Katz expressed his thanks to Member Guida for saying the packet is incomplete. Initially he thought it straightforward but now the Board was seeing just how incomplete the packet is. They should get the graphics to know what is being talked about. He thought it was good to postpone and they should do it sooner rather than later.

Ms. Ramirez Thomas informed Mr. Enfield of the City's slope GIS layer that he could use to start.

Mr. Enfield said he couldn't count on the City topo because the property lines are never correct. He asked if the Board wanted him to come back with his plans for landscaping. He said, "Does a 4-foot wall require a permit - no it doesn't."

Vice Chair Katz said the Board wants to know how the back of the garage relates to the grade.

Mr. Enfield said it is reflected.

Ms. Bordegaray said no, it is not.

Mr. Enfield explained that he was saying when they do the stone terraces it will be less than four feet high. This was approved in the same area if you look at the previous approval and with less information than on this drawing. He said if the Board wanted him to clear it up he would and come back.

Member Bienvenu clarified his concern was for staff to inform the Board whether they needed to exercise their discretion and approve additional height for the project. He is not interested in the landscaping or retaining walls. He trusts staff's technical expertise on how to calculate the height.

Ms. Ramirez Thomas said yes, staff will notice this. She will be sure to include the need for height and amount of height requested based on slope, and the Board's discretion per Code.

MOTION: In Case #2020-002810-HDRB, 586 Camino Monte del Sol, Member Guida moved to postpone for resubmittal with the following: topographical lines around the project site; a HCPI in the packet; updated drawings that reflect what is shown on screen; an accurate description of the proposed height of the building relative to grade; and if a discretionary height allowance is requested, it be properly noticed and included in the packet. Vice Chair Katz seconded the motion.

VOTE: The motion passed by unanimous (4-0) roll call vote with Members Biedscheid, Bienvenu, Guida, and Katz voting in favor and none voting against.

2. **Case #2020-002818-HDRB. 324 McKenzie Street. Downtown & Eastside Historic District.** David C. Betzler, agent/owner, proposes to demolish, reconstruct, and extend an awning on the non-primary facades of a contributing structure. (Daniel Schwab)

STAFF REPORT

324 McKenzie Street is a 1540 square foot contributing residential structure located in the Downtown and Eastside Historic District. Primary façades have not been designated for this structure, however, staff recommends that this is not necessary for the consideration of this application, as the proposed changes are not publicly visible and would thus not be on primary façades. The structure is rectangular, of one-story, and faces north on McKenzie Street. The structure has a pitched roof with a street-facing gable, adobe walls with deeply recessed windows and a territorial-style portal on the front. On the east side, the rear portion of the property is gated and hidden from public view. Behind this gate is a wood awning and trellis that is not attached to the structure. The awning and trellis are not historic.

The applicant proposes to remove the non-publicly visible awning structure and replace it with an oxidized steel frame awning, similar in scale to the one to be removed, with pre-finished Pro Panel metal roofing in a brown color. This structure will extend around the non-publicly visible south side of the house to shade from sunlight. The roof of the awning will be bolted to the exterior wall, and will be partially supported by steel posts in a rust-brown color, partially by the ledger strip which will be connected to the wall.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for All Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Vice Chair Katz asked why the Board wouldn't need to know whether this will go on a primary façade.

Mr. Schwab said there are two parts to a primary façade. One is to see the main or most representative façade of the building, often the front. The other is that it contains character defining features. That is not the case here.

Vice Chair Katz said the Board would decide what façades are primary.

Mr. Schwab said the Board has the authority to ask that primary facades be designated before permitting the project.

Vice Chair Katz said that should have been done.

Mr. Schwab replied the Board has that authority to do that before the project is approved.

Member Bienvenu said he was about to make the same comment. This seems it could certainly be a primary façade. The project could not be approved until they were sure that determination is made and parts of it will be publicly visible.

Member Guida agreed that determining the primary façades seemed the logical first step. He asked if what is proposed is an awning or a pergola, the drawing is unclear.

Mr. Schwab preferred the applicant answer with more detail.

Chair Rios addressed staff and said her notes said, "Designation on primary façades" it seemed for a long time that projects before the Board, whether contributing or significant -obviously significant when all of the façades are primary - is an important thing to do. Any project will impact a primary façade.

She asked Board members if they wanted to go further, or talk with the applicant, or just designate primary façades.

Member Guida suggested in the interest of time and discussion of an incomplete packet, they postpone the case. They can ask the applicant to come back for the determination of façades first and then consider the project.

MOTION: In Case #2020-002818-HDRB, 324 McKenzie Street, Member Guida moved to postpone the case and have this come back to the Board to: 1) determine primary façades on a contributing building; and 2) consider the proposed project. Vice Chair Katz seconded the motion.

Mr. Schwab asked if this could be postponed to a date certain to move the case forward more quickly to the next hearing.

Ms. Paez noted the need to ensure notice of the designation of primary façades before the next hearing. She didn't think that was possible.

Chair Rios said the Board will put it in staff's hands to move as quickly as possible.

VOTE: The motion passed by unanimous (4-0) roll call vote with Members Biedscheid, Bienvenu, Guida, and Katz voting in favor and none voting against.

3. **Case #2020-002813-HDRB. 247 Anita Place. Don Gaspar Area Historic District.** Gene Tison, agent/owners, proposes to construct an addition on a contributing residential structure. (Angela Schackel Bordegaray)

STAFF REPORT

247 Anita Place is a contributing 1,300 sq. ft. Mission Revival style bungalow constructed between 1930 and 1936 and located in the Don Gaspar Area Historic District. Its defining features include an undulating parapet, round arch porch openings, red tile roofed tower over porch, and white, textured stucco. The white stucco has a unique textured pattern. Windows are double-hung with a 3/1 lite pattern. The bungalow is one of a few of this architectural style in this streetscape, which is dominated by Spanish-Pueblo Revival style homes and structures. There is a detached garage at the end of the driveway to the west of the house that was constructed along with the house.

In 2015 the HDRB (case #H-15-034A) designated the south and west façades primary and approved window replacements in the kitchen and bathroom (H-15-034B).

The applicant proposes the following:

1. Construct a 310 sf addition onto the northeast corner of the house. The addition extends 35' from the front (south) façade flush and 24'- 6" into the backyard to the north. The height of the addition is 12 feet and is proposed to have a flat roof and straight parapet. Its height is 12', three feet lower than the existing parapet of the house. The windows on the addition will have a 3/1 lite patten and will be white aluminum clad. They propose to install a French door with a side panel on the

addition's west façade. A skylight, which will not be visible above the parapet, is proposed for the addition.

2. Re-stucco the entire house. The existing stucco has several layers of paint ranging from medium tan to creamy white. As the stucco color and texture are character-defining features of this house, staff suggests that the applicant repair and match existing stucco texture and color as best possible.

No other changes are proposed at this time.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(H) Don Gaspar Area Historic District.

QUESTIONS FOR STAFF

Chair Rios asked to confirm that the primary façades are on the south and the west and the proposed addition on the northeast, and the addition will be lower than the existing house. The applicant has proposed removing the sun porch to put the addition there.

Ms. Bordegaray said that was correct. She referred to the photograph with the corner of the house where the proposed addition would be placed.

Chair Rios asked if in her opinion the proposal would not have a negative effect on the contributing status of the house.

Ms. Bordegaray replied staff recognizes it limits an existing condition but believes it will not compromise the historic status of the house.

Chair Rios said the house has very distinctive features with undulating parapets and the tower in the front and the color and texture of the stucco. She asked about the proposed color.

Ms. Bordegaray said the stucco is creamy in some areas and whiter in other areas. The applicant will need to match something between the two colors as well as to match the stucco color and texture.

Member Bienvenu asked if the window replacements in 2015 were wood or aluminum clad.

Ms. Bordegaray said the windows were replaced in kind and to her knowledge there are no aluminum clad windows on the building.

Member Bienvenu said the drawings appear to show an underlying parapet pattern designed to mimic the house. He asked if that was the intention.

Ms. Bordegaray said from that side it looks slightly undulating. The other side looks like it needs to be undulating and is somewhat misrepresented. It is up to the Board.

Member Bienvenu asked if the French doors are publicly visible. They are different than the others in terms of having no divided lites.

Ms. Bordegaray said there is no visibility to the public. The Don Gaspar Historic District does not require divided lites and the drawings do not show divided lites. The applicant expressed in the proposal letter that these are French doors.

Vice Chair Katz said he realizes the façade and the door is not supposed to look like it is original. But on the east elevation the windows seemed to make the house feel like a cohesive whole. He wondered on the one with the door if appropriate to try to have a door that matches and maybe even a window. The window on the other side really draws things together and this might pass muster but doesn't enhance the house, but it could.

Member Guida said his concerns were similar. This may meet the minimum requirements, but the design is minimal. He expressed concern about the fidelity of the drawings. It shows the porch volume will be kept and there is a change in level that exceeds possibility without a bump out on the roof for the visibility of the existing porch at the current house level.

APPLICANT'S PRESENTATION

Gene Tison, 226 Anita Place, was sworn in.

QUESTIONS FOR APPLICANT

Member Guida asked if Mr. Tison considered doing the addition at the floor level of the house.

Mr. Tison replied the tower where the arched doorway is at the front of the house reflects the floor level of the house. The lot is fairly flat at the back of the house and the new part will be more at ground level and go down one step down. Part of that is because of a steep basement stairwell and he tried to angle the stairs to meet the current Code. Where it shows the ground level of the house is really where the floor level would be.

Member Guida said his understanding is that the addition is connected internally inside the house.

Mr. Tison said yes, the back wall will become where the bathroom will be.

Member Guida said looking at the west or the south elevation proposed, his concern is what they see in drawings is what they get in reality. Looking at what is proposed is a porch higher in elevation than the addition. He wants to be sure what they are looking at is what is remaining and what will be what they get. Looking at what is proposed he sees a porch higher in elevation than the addition. He understands stairs from the porch get you down into the addition. He wants to be sure looking at the rear of the project they don't see a volume sticking out above the proposed parapet that isn't in the drawing. It comes down to whether the Board is accurately seeing the project. His preference and recommendation would be to increase the height of the proposed additions and parapet to make sure that is addressed.

Mr. Tison explained he took the current floor level of the kitchen and the floor level of the basement and divided it up in the current Code requirement for stairs. It looked like they could get by with a 12-foot parapet on the backside. But when you walk down into the addition you go down another two steps. He heard the discussion on case one and thought there is no way they would be above 15 feet, but it might be 6 inches higher on the backside. He didn't have any concept of anything but the old roof that meets the new roof as it is now. There wouldn't be an angled section coming off of that. He doesn't want to see that either.

Member Guida said he thought more design work was needed and could be done with staff. His note to the Board is the 12 feet high parapet is too low to work practically.

Mr. Tison said he was fine with raising that. He added he is not an architect. These are the original drawings submitted for the last requests with the addition on the back. This is a preliminary attempt to try to fix the stairs and add the small part on the back at the same time. The space with the old windows is unheated, he thought that was originally an enclosed porch.

Ms. Bordegaray referred to the current conditions shown on the north and east elevation slides.

Chair Rios asked Member Guida if he were indicating that the proposal of 12 feet would be at the same height as the existing house, or it could be lower.

Member Guida said it could be lower. At the very least the parapet needs to be as tall as where the existing porch roof meets the existing house. That is higher than 12 feet. It is great that the homeowner produced the drawings himself, but at some point he might want a professional for the permitting. What they are looking at is undeveloped for what is being considered. He was concerned other practicalities might change what is being shown to the Board.

Vice Chair Katz said the back looks tacked on, partly because of the height and partly that the level is lower than the rest of the house. On the east façade because there is no door, there is no sense of where the floor is exactly. He didn't know if there was a way to fix that, but it is a concern.

Mr. Tison said he understood what Member Katz meant. He designed the floor level on the east façade to appear like the other windows, including the bathroom window on that side that was replaced. The windows are aluminum clad and the windows that were replaced were white aluminum clad, not wood. If it is better to have the parapet higher, that would not be a problem. The current roof slopes to the north slightly at a low pitch. It would be easy to make the parapet even with that and it would give a higher ceiling in the back room. He went through a window catalog for the door on the west side because he wanted sunlight in the afternoon. It is not a problem if he needs to put in divided lites.

Chair Rios asked if the proposed addition would have an undulating parapet.

Mr. Tison said he likes the undulating parapet, but it is hard to draw. He does want to continue that as part of the feature of the house. It is a wonderful eccentricity of the person who built the house.

PUBLIC HEARING

Doug McDowell, 1317 Cerro Gordo Road, was sworn. He said he knows Mr. Tison and his family and is impressed with the unusual and unique house. He thought Mr. Katz's point about the door being too low was good. He wondered if they would consider a couple of steps up to the door and dividing the upper door into three panes. That would raise the door some and could have divided lights above and would undulate the roof more.

Mr. Eddy, previously sworn, said the house is really beautiful. He thought a lot of this came down to personal preference, but the questions raised are valid. The stucco sample from the west façade has a lot of integrity with the skip trowel technique. The depths of the different layers of stucco add a lot to the house. He encouraged the owner to adopt the technique as a standard but resist the temptation to re-stucco the entire house. If the parapet could come up he didn't think it should match the parapet of the house. He would split the difference in elevation. The undulations are a wonderful character of the house and should be added to the addition as well. The steps up to the French doors may be a good solution, but he suggested divided lites on the doors and matching the windows near the front of the house to bring the façade into a more interesting symmetry.

BOARD DISCUSSION

Chair Rios said there are a number of things on their plate. She agreed the addition should not be at the same height. She also thought the texture of the stucco is an important feature of the house. She agreed if the majority of the house doesn't need to be re-stuccoed that should be studied carefully. It contributes to the status of the house and is an important feature. She said Mr. McDowell's recommendations regarding the steps, she would like to see the direction the Board takes. There appears to be many things the Board needs to address.

MOTION: In Case #2020-002813-HDRB. 247 Anita Place, Westside, Member Guida moved to postpone the application to address a number of things and have the applicant return with updated drawings reflecting a taller parapet height but lower than the main design of the house. He recommended the applicant consider matching or splitting the floor level and ground level in the addition and the proportions of wall above the new windows. He asked for more information for the Board's consideration on the existing stucco condition of the house beyond color, how the applicant will match the existing texture and what areas need to be repaired or replaced. On the door, the applicant should have divided lites. Vice Chair Katz seconded the motion and asked a friendly amendment for the door to be higher with a step up. Member Guida agreed and could be part of raising the floor level of the addition.

VOTE: The motion passed by unanimous (4-0) roll call vote with Members Biedscheid, Bienvenu (with comment), Guida and Katz voting in favor and none voting against.

Member Bienvenu commented his vote in favor was because he agreed with the recommendations and the applicant had indicated they are willing to consider the recommendations.

Mr. Tison said regarding the stucco, the family had discussed the color. He wasn't sure if he was allowed to pick the color or if the Board would choose the color.

Chair Rios said the house will pick the color.

Mr. Tison agreed with the changes and recommendations. He asked if he would need to come back before the Board in a month and do this again.

Chair Rios said yes. She thanked him for being receptive to the changes. Staff will guide him through the process.

Mr. Tison said in the meantime he would engage a professional.

4. **Case #2020-002819-HDRB. 425 Hillside Avenue.** Downtown and Eastside Historic District. Martinez Architecture Studio, agent for Marian and Daniel Knowles, owners, proposes to construct a carport on a non-contributing structure. (Daniel Schwab)

STAFF REPORT

425 Hillside Avenue is a non-contributing residential structure constructed in the Spanish Pueblo Revival style. The house is located above the hill out of the public right of way with no public visibility. It was built in 1984 with subsequent additions and has a status of non-contributing.

The applicant proposes to construct an attached carport to the north-east side of the structure. The north wall will be stuccoed in the same color as the existing structure, El Rey "Pueblo." Wood elements will be stained a dark brown color. It will be 14 feet high, which is lower than the maximum height of the structure and will have an area of circa 500 square feet.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

APPLICANT'S PRESENTATION

Richard Martinez, 1524 Paseo de Peralta, was sworn in. He said the carport will be in the same style and match the house and will not be enclosed but will have a roof. They intend to have a colored concrete floor and pathway from the carport to the back door of the house. Both will be heated for snow melt. The project is attached to the house at the farthest point from the street and it is impossible to see the carport. The lot was leveled years ago and is about 6 feet below what was the natural grade.

QUESTIONS FOR THE APPLICANT

Chair Rios thanked the applicant for his submittal that included both the existing and the proposal on the same page. That makes it easier to compare the two and she has been pushing to have that for years.

Vice Chair Katz thanked Mr. Martinez for all of the drawings.

PUBLIC HEARING

There were no comments from the public.

BOARD DISCUSSION

MOTION: In Case #2020-002819-HDRB, 425 Hillside Avenue, Member Bienvenu moved to approve per staff recommendation and stated for the record that the application complies with section 14-5.2(D). Member Guida seconded the motion.

VOTE: The motion passed by unanimous (4-0) roll call vote with Members Biedscheid, Bienvenu, Guida, and Katz voting in favor and none voting against.

5. **Case #2020-002820-HDRB. 1369 Cerro Gordo Road. Downtown & Eastside Historic District.** Doug McDowell, agent for J. Midyette, owner, proposes to construct a freestanding garage, additions, and replace windows on a non-contributing residential structure. (Angela Schackel Bordegaray)

Member Bienvenu recused himself from this case and the next two cases.

STAFF REPORT

1369 Cerro Gordo is a large lot located away from the public way that has three structures listed as non-contributing to the Downtown and Eastside Historic District. The property's structures include an adobe residence and an adobe shop and garage, all in Spanish-Pueblo Revival style. The board approved a garage addition to the main house in 2016.

The applicant proposes the following changes:

Main House

- Add on to the kitchen on the north elevation. The north wall will be extended to enlarge the kitchen by 260 sf. Two new windows will be installed on this wall. The expanded kitchen will have a portal with corbels and beams.
- Revise the main entry. The new entry will feature double doors with windows. Patio will be reconfigured around the remodeled entry.

Guest House

- Addition of a 148 sf portal on the west side of the guesthouse. The portal will have wood beams and corbels. The existing doors and windows of the guesthouse will remain.

- The house's gate entry and yard wall will be shifted to the south realigning the exterior gate and walkway to the proposed portal addition to the west elevation of the guesthouse. The gate and yard wall will not change in material or style.
- Add exterior lights that will be night sky-approved.
- Windows are clad by Sierra Pacific, a custom green color; stain is brownish gray; the stucco is adobe, and the lights are dark sky as required.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(E) Downtown and Eastside Design Standards.

APPLICANT'S PRESENTATION

Mr. McDowell, previously sworn, had nothing further to add. He stood for questions.

DISCUSSION

Vice Chair Katz asked about the door that will be changed.

Chair Rios asked if it is on the north elevation.

Mr. McDowell said it is the north elevation and the main entry is above that.

Vice Chair Katz asked the applicant to tell them about it.

Mr. McDowell indicated there should be an existing and a proposed drawing in the packet.

Chair Rios noted the drawing is on page 21. She asked what the increase in height is.

Mr. McDowell said the doors as shown are quite a bit higher. The parapet is being taken up to half the mass over the doors but is well below the acceptable height. The applicant owns the antique doors and wants the oxeyes detail. They are not publicly visible. The main entrance of the house is narrow, and this is an attempt to open up the area and use doors the applicant likes.

Chair Rios asked how much the height would increase.

Mr. McDowell replied the height will be raised close to the height of the wall on the right side, to match the east wall. The height is on the drawing of the north elevation of the main entry.

Ms. Bordegaray noted it says "12 feet 6 inches."

Mr. McDowell said the heights are on the right of the drawing and he believed it to be 12 feet 8 inches.

Member Biedscheid asked if the long windows on the side of the main entrance, been evaluated for the thirty-inch rule (the east elevation, section A2).

Mr. McDowell said the window of the existing entry is a single pane unit and is 6 feet tall. They are raising the window because they are raising the ceiling in the extended entry and it will be the same type of window but slightly taller to match the doors.

Member Biedscheid asked staff to address if the 30-inch rule applies.

Ms. Bordegaray said she initially did not see these windows. She noted the oxeyes were referred to as something else and are not shown in the north elevation of the entry.

Mr. McDowell responded to the 30-inch rule. He stated the rule was not followed but it could be. He noted the oxeyes are shown on the proposed.

Ms. Bordegaray said she was confused. On one elevation it shows sidelights next to the vintage doors and on another the oxeyes are shown. She asked Mr. McDowell to describe exactly how that elevation will change.

Mr. McDowell explained on screen was the existing elevation and to the left is the proposed. The existing elevation has the old carved posts with the two doors in between. The opening behind that in the yard wall has an old shutter to the left. The tall window being discussed is below the drawing of the two doors and the oxeyes. That is the east and is around the corner to the left of the double doors and oxeyes. He noted this plan and the next are the only two related to the main entry.

Ms. Bordegaray asked Member Biedscheid if her question was adequately addressed.

Mr. McDowell added he did not think he answered, except that the 30-inch rule could not be met with the large new window. If he is required to meet the rule, he will do so.

Member Biedscheid confirmed there are two windows side by side and both are undivided lite.

Mr. McDowell said that is correct. Also, looking at the proposed floor entry plan, there is a yard wall to the east window that is seven feet tall. That window is in the corner of the courtyard area discussed.

Ms. Bordegaray referred to the photograph of the main entry.

Mr. McDowell indicated behind the tree is a small window he calls a shutter and to the left is the tall courtyard wall. Between the wall with the shutter and the face of the new entry addition, the window discussed is on the left side of the entry extension. It is in the corner of the shutter and the tree of the courtyard wall.

Member Biedscheid asked how many windows are undivided and if he was trying to maintain consistency with the rest of the house.

Mr. McDowell said the rest of the house is consistent. They are using the same type of windows in the same style and size approved for the master bedroom being done. The owner asked to have the window in the entry mimic the existing entry window except be taller. They felt that more in keeping with the tall doors and windows.

Ms. Ramirez Thomas noted that the three-foot corner along with the undivided lights might be an issue on that façade.

Chair Rios confirmed that is because it is not 3 feet from the corner.

Mr. McDowell said that is correct and the main reason is it is in a corner no one can see. He admires and respects the rules on the 3-foot corners and if needed, he will illuminate the window.

PUBLIC HEARING

There were no comments from the public.

BOARD DISCUSSION

Member Biedscheid asked staff if an exception to the rules is needed if the window is allowed as drawn.

Ms. Ramirez Thomas said it is an existing, non-conforming window with a request for remodel and would need an exception for the three-foot corner and 30-inch rule.

Chair Rios said Mr. McDowell indicated he is willing to do divided lites and doesn't have a problem with the three-foot rule. The maker of the motion can address that.

Mr. McDowell said the applicant will remove the window and if they want something else that requires a variance, will come back. He hasn't requested a variance and if there is no window he would not need divided lites.

Chair Rios asked if they were just talking about one window.

Mr. McDowell confirmed it was one. The other window exists and is not divided.

Ms. Bordegaray asked Mr. McDowell the elevation he was referring to.

Mr. McDowell said he referred to section 1A, upper sections, small window in the entry on the left that is existing. To the right of that section is a small window again, as well as the large, taller window with the same width in the proposed entry extensions. He proposed omitting the tall window and the extension. He will leave the existing window in the entry as is. Or if that also does not meet the 30-inch rule, he will revise the window to meet the rule. He wasn't sure Code required that be changed when he is not doing anything to it.

Chair Rios believed as an existing window with nothing being changed, he would not have to do anything. She asked Ms. Bordegaray to address that.

Ms. Bordegaray said if he is not changing the opening that the window is in. She understands if he is reconfiguring the entryway on that mass it would need to be brought into conformity.

Ms. Paez indicated Stephen Bellie had his hand raised but she wasn't sure he was related to the applicant.

Mr. McDowell did not know him or if he was related to the case.

Chair Rios indicated they were addressing the conformity and nonconformity.

Mr. McDowell thought he would have three feet from the corner. They are stepping out where the door is at the entry and extending beyond. So, looking at the proposed window and the distance between it and the outside wall, there is 3 feet.

Ms. Bordegaray clarified the discussion was the taller proposed window and whether it is less than 3 feet from corners defining the 30-inch rule.

Mr. McDowell said he thought the three-foot rule had been resolved and the question is whether they divide it or not.

Ms. Bordegaray said she was still not clear. The long window is proposed, and the short window already exists. The discussion is whether the long window meets the 3 foot rule.

Vice Chair Katz noted the other side is not 3 feet from the corner.

Mr. McDowell said it is 3 feet from the inside corner and that is why he wanted to look at the floor plan.

Vice Chair Katz said they are looking at it from inside the entryway looking east. It is not 3 feet from the *exterior* corner which is what the Board is interested in.

Mr. McDowell referred to a drawing noting the proposed window as 3 feet.

Vice Chair Katz indicated the plan said 3.2 feet to the middle of the drawing.

Mr. McDowell offered to shift the window over 6 inches.

Member Guida confirmed that the three-foot rule is only from the outside corner. He asked why there was the discussion on this.

Ms. Bordegaray said it does not need to be 3 feet from an inside corner. It has to be 3 feet from the exterior corner, not the interior.

Vice Chair Katz asked if two windows going to the south would be allowed by Code that could go to the wall.

Ms. Ramirez Thomas read the Code section, "*No door or window in a publicly visible façade shall be located nearer than 3 feet from the corner of the façade.*"

Vice Chair Katz said this façade has two corners.

Ms. Ramirez Thomas thought there was no distinction between the interior and exterior. They are trying to maintain wall mass.

Mr. McDowell said he agreed with Mr. Katz.

Vice Chair Katz said it is not publicly visible, so why waste the time.

Chair Rios said in reference to windows regarding the division, staff has followed if a façade is not publicly visible, in this district they do not need to be divided. That rule was not observed when she started on the Board but has been for at least 5 to 7 years.

Mr. McDowell said a bigger question is the window is only visible if someone is in the corner of the courtyard. It will never be seen. He offered to do what the Board feels is correct but wanted to point out it is not a visible nature of the building.

Member Biedscheid said she didn't realize it faces a wall in the exterior.

Chair Rios noted someone wanted to comment on the project.

Stephen Belli, 449 Camino Don Miguel, was sworn. He said he has a project on the agenda for the next meeting and is watching this closely. The Code rule as read by Ms. Ramirez Thomas is under the heading of recent Santa Fe Style. The rule is about 30 inches for the sills and lattice under the Old Santa Fe Style, and not the recent Santa Fe style. He wanted to point that out.

Ms. Paez said in her experience, the practice has been in the Downtown and Eastside Historic Districts and staff looked at the recent Santa Fe style portion of the Code. That says that windows upon publicly visible portions of the building and walls,

shall be one of the old Santa Fe styles. Staff has used the old Santa Fe styles link to take them to the rules in the old Santa Fe style portion. That is where they see the 30-inch rule and they incorporated that only the publicly visible wall applies. She agreed it clearly says the three-foot rule is for publicly visible façades.

Chair Rios said the Board has been following if not publicly visible it is not required to divide or follow the 30-inch.

Ms. Paez added it doesn't matter whether contributing or not.

MOTION: In Case #2020-002820-HDRB, 1369 Cerro Gordo Road, Member Biedscheid moved to approve as submitted, per staff recommendation. Vice Chair Katz seconded the motion.

VOTE: The motion passed by unanimous (4-0) roll call vote with Members Biedscheid, Guida, Katz and Chair Rios voting in favor and none voting against.

6. **Case #2020-002483-HDRB. 524 Calle Corvo. Downtown & Eastside Historic District.** Courtenay Mathey, agent for Glynis Dohn, owner, proposes to partially demolish a contributing yard wall, make additions, change windows and doors and construct a garage on a contributing residential structure. An exception to Section 14-5.2 (D)(1)(a) to remove historic material is requested. (Daniel Schwab)

Member Bienvenu was recused from this case.

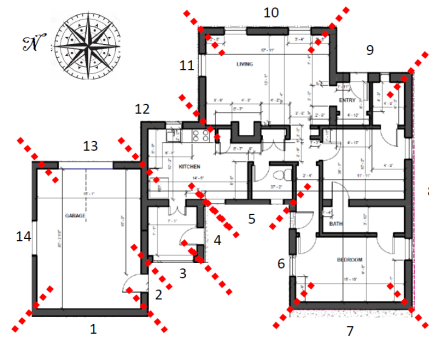
STAFF REPORT

524 Calle Corvo is a contributing residential structure located in the Downtown and Eastside Historic District. The structure was constructed as part of the "Hughes Subdivision" probably between 1949 and 1951. The subdivision is an exceptional example of urban design in Santa Fe. The subdivision contains 20 lots, 16 of which are essentially rectangular, and four of which curved along the street. These are lined by walls placed directly on the lot boundary to create a serpentine streetscape. The subject property is one of these curving lots, with a streetscape defining wall that takes up the full width of the view as one moves through the subdivision. The house and the yardwall were designated as contributing on October 13, 2020.

The house is a one-story structure originally with only one bedroom with Spanish Pueblo Revival Style elements such as rounded parapets, exposed vigas and asymmetrical stepped massing. The street-lining wall, also a contributing structure, has a vertically symmetrical form that steps down toward the center to a central driveway opening. This stepping vertical symmetry is presented in a varied form in the internal yard-wall separating the front garden from the driveway.

Facades 9 through 14 are publicly visible. Facades 9, 10, 11, and 12 have been designated primary.

The applicant now proposes the following changes:



1. Convert the existing garage (facades 1, 2, 13 and 14) to a new bedroom/bathroom space, raise the roof and parapets 12 inches on a portion of the existing garage. This is set back about 8 feet from the primary façade, but as a remodel does not qualify as an addition. This includes changes to the openings (garage door and steel casement window).
2. Expand the kitchen (façade 5) by converting 84 SF of existing portal on façades space to heated area and relocating the portal further west (facades 4, 5 and 6).
3. Re-stucco of entire structure. The color will be Sandalwood cementitious stucco from El Ray, which is a light earth tone.
4. Re-roof of existing structure.
5. Creating new interior yard walls and coyote fencing.
6. Construct a new detached 445 square foot single-car garage at the north end of the property. New windows and doors will be aluminum clad colored Sierra Pacific “Aqua Mist” which is a subdued green color.
7. Create new 12 foot wide driveway opening in the north portion of the existing Contributing street yard wall to serve as access to the proposed driveway. This item requires an exception to section 14-5.2(D)(1)(a).
8. Re-pave the existing driveway with concrete brick pavers and create new patio areas, one to the north of the house of 120 square feet, one to the west, including the new portal of 160 square feet.

Regarding item 7, the proposal to create a new driveway opening for vehicular access from the north, the applicant argues that it is necessary because access to the garage from the existing wall opening would result in two hardships for the owner:

- a) It would require the creation of a turnaround space which would eliminate two parking spaces that now exist that would need to be used for circulation instead.
- b) The distance from the garage to the house would be increased from 15 feet in the proposed design to 40 feet.

The applicant has applied for an exception per 14-5.2(D)(1)(a), to remove historic material from the contributing wall. The applicant's responses to the exception criteria are included in this report, as are the responses of the HPD staff.

STAFF RECOMMENDATION

Staff recommended approval of proposed item numbers 1- 6 and 8 and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

For item number 7, staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony.

QUESTIONS FOR STAFF

Chair Rios asked if the garage was designated as contributing.

Mr. Schwab said the house and garage are considered as one and all are designated as contributing.

Chair Rios asked if the front is designated as primary.

Mr. Schwab said no, it is not a primary façade.

Chair Rios asked if the existing yard walls vary in height.

Mr. Schwab referred to the diagram noting the yard walls along the street vary. It is symmetrical along a vertical access with the middle being the driveway entrance. The lowest is the center rising slightly at the end to different heights. The sections are approximately the same length with pilasters marking the changes in height.

Chair Rios asked the height of the wall portion with the little gate and the height of the walls of the driveway.

Mr. Schwab said the wall that includes the gate is 3'8" high with pilasters a couple of inches higher going up to 4 feet on the left and 4' immediately to the right, and 5 feet to the far right.

Chair Rios asked if the proposed square footage exceeds the 50% rule and is bigger than the existing house.

Mr. Schwab replied no, only the garage is new square footage.

Chair Rios asked to see the aerial view.

Mr. Schwab indicated the proposed garage is 445 ft.² and current heated space is 1165 ft.² and half of that is more than 445 square feet.

Vice Chair Katz said looking at the two drawings, he liked that it leaves the original house separate. It does a better job honoring the contributing status of the house. He understands the hardship. He thought it could be solved by knocking out 12 feet of the wall to the immediate left of the driveway, opposed to the proposal. That wouldn't disturb the parking spaces and moves the entrance a little more to the north. He isn't sure the other hardship of having to walk 25 feet measured up.

Member Biedscheid agreed the location further from the house is more deferential to the existing house and a better design. She had an issue with making any change to the existing wall. Mr. Schwab had described the importance of the step down of the wall and its symmetry to the wall across the street that is defining of the subdivision of the time. She thought that an important characteristic and its contributing designation was for a reason. She thought the exception criteria had not been met to alter that.

Chair Rios asked if the applicant could access the garage if the wall to the far right isn't broken up.

Mr. Schwab said yes. A turnaround area is not required, and Code specifically says a car may back out into the right-of-way. The driveway is sufficient.

Member Biedscheid said her impression from the status review is the stepping down of the existing house to the existing garage is the lowest part of the house. From there it steps up. She asked Mr. Schwab's opinion whether the proposal attempted to minimize that by raising the parapets to make the step down less apparent. It is a significant change to the parapet and structure as described in the HCPI.

Mr. Schwab said he has to differentiate between the facts of the designation and his personal opinion. The garage has not been designated a primary façade and there is nothing to limit the raising of the roof. His personal view of the design is a stepping down from the main mass in the front to the garage. It is hard to say how noticeable that would

be from the street because it is only the rear portion. The height of the front portion of the house is the same as the existing garage. The rear portion goes back about 8 feet before it goes up.

Vice Chair Katz said the façade isn't clear, so they are not raising the east façade of the garage.

Mr. Schwab said that is correct. It is the rear portion of the garage as shown on page 55 of the packet.

Member Guida said he is of two minds on the project. He agrees with the idea that the garage further from the house would preserve the integrity of the house better. The current design is a mix of parapet heights of articulated volume added to the original house. He is challenged by where they were when they designated the house. There was a lot of fondness for this house in terms of its original condition. Mr. Schwab's presentation and the Board's reception assigned a lot of importance to the existing details. Including the wall, which may or may not be that important.

He thought regardless of what is proposed in the design or drawing, in terms of designation of the house or what the applicant is able to do, the Board doesn't have a lot to say about that. Member Guida said he did not like having two wall entries but didn't know if it was the right decision to designate the wall as contributing. Other than both that one nets the property owner more courtyard and the other creates more differentiation from the original house. But it still follows a lot of rules in the historic district for differentiations; the garage being altered. It wasn't a primary façade. The parapet is stepped up at the back, not the front. Those are relatively minor adjustments. It will be interesting to see what falls out of the discussions, given most of this is allowed, with the exception of the opening if any, in the wall.

Vice Chair Katz said if the opening for the garage was not at the very north end, which is the tall wall. Instead it is next to where the opening currently is. It would seem to be one opening, in the middle and would be a low wall and wouldn't need to be as wide. It is not often two cars will be parked in front of the old garage and it would be less damage to the wall and the house.

Chair Rios asked how much higher the proposed garage is than the existing.

Mr. Schwab indicated it goes up about 12 inches.

Chair Rios said two letters of support from neighbors for the project are part of the record. She said Mr. Schwab could read those if he wanted into the record. She asked the applicant to speak first. ***The letters are attached, hereto, as Exhibit "1".***

APPLICANT'S PRESENTATION

Courtenay Mathey, 2 Camino Pequeno, Santa Fe was sworn in. He said the most contiguous part is the discussion on the second driveway. At the historic status meeting it was decided the brick wall would be contributing along with the house and was noted a significant feature. The Board elaborated at the meeting that even if something is designated as a significant feature it does not necessarily have to be retained. He originally looked at closing the existing opening and putting in a second opening to serve the driveway and garage on the north end. In light of the contributing status and significant features comments he decided to keep the existing opening.

Mr. Mathey said they looked at the options of relocating the garage at the north end of the site. He and his client felt first, that it is a hardship to be an additional 25 feet from the house. Although that doesn't sound like a lot when bringing groceries back-and-forth in bad weather it could be 80 feet instead of 30 feet. His client is older and has had a hip replacement a couple of years ago. She gets around okay now, but it is not easy. Additionally, they are looking at the long-term effect for anyone on the property.

Mr. Mathey said secondly moving the garage further to the north end of the site brings more aesthetic attention on the house. This is looked at not only individually as well as wanting to create a sense of community and place on the site. They feel having the buildings closer gives an architectural relationship and creates a nice courtyard.

Mr. Mathey said looking at the two options; having the garage further from the house there is more driveway. Turning into the driveway now and you make a sharp turn to the North end and it is close to the corner of the existing garage. The site is very narrow there. They received permission from the Land Use Department for the second driveway, so it is an aesthetic issue they are dealing with. They want to create something with relationship between the buildings. Also, if the garage is to the north, backing out of the driveway in snow and trying to turn out onto the street in reverse is not practical. The space needed to back out of the driveway wipes out any usable space and eliminates space that could be used for a courtyard.

He noted their neighbors to the north and south support the project and have no problems and feel it an improvement. He stood for questions.

BOARD DISCUSSION

Chair Rios asked with only the existing driveway, how close the car gets to the house.

Mr. Mathey said there is only about 18 feet from the existing garage to the wall. It is not an easy access and there is no way he could drive in and then reverse all the way

out of the driveway and back onto the street. This approach seems a good balance to the concerns of the property and technicality of use and is the best use of the space available.

Vice Chair Katz said he agreed that moving the garage closer to the house made it relate more to the house and looks architecturally whole. His question is whether that is what the Board should support instead of preserving an historic house. Part of the problem is having a house that is designated as contributing and the façade is contributing. Part of the historical fabric of the town and the contributing historic houses is they want to maintain them. They can be redone and in a way that doesn't fly in the face of the historic or preservation style, but you lose the historic house.

He thought the turnaround concerns and entering the garage is easily resolved by putting the opening on the north end of the current opening. There would be a wider opening that is easier to navigate. He would assume the client could back out of the garage and go out the driveway forward. He couldn't see any reason from the drawing on page 46 that he couldn't, especially if the opening is wider.

Vice Chair Katz said he is willing to make accommodation and grant an exception for hardship but thought the hardship could take care of both issues. He thought they were making a little more of the extra distance to the garage.

Chair Rios explained the applicant was welcome to respond anytime a Board member comments.

Mr. Mathey said he appreciated what Mr. Katz said, but if they widen the opening, they would still be changing the wall. It would then be a question of whether it is an acceptable change with what he proposed. Also, they would be limited to 20 feet, the maximum driveway width. That makes the opening 3 feet wider but is not significant. He said they want to avoid overly impacting the house and feel they achieve that with the proposal.

Chair Rios asked the width of the proposed opening.

Mr. Mathey replied the total of the new driveway would be 12 feet for a single car.

Member Guida referred to page 46 and said he wanted to be careful about what the Board is recommending. They do not want to redesign the project. Looking at the diagram it doesn't require two wall openings. It might require one but there is a limit to that. Another option could be filling in between the two pilasters where the current driveway is and shifting it to the north and having a carport between the two buildings and recovering some front yard. He wants to be clear about what the Board is after and if that is maintaining the integrity of the wall. And what is that integrity - to maintain as much of

the wall as possible. Therefore, two openings would be wrong. Or should it stay the same, or that the existing opening is the maximum allowed and only allow one opening.

He also wants to be clear on the nature of the design of the addition to the house. For any homeowner this is a potential hardship in terms of development. The lot is a weird shape, the garage is potentially in the middle of the site with the house in the back. There are few opportunities to add onto the house. The applicant could have requested, instead of two curb cuts for driveways, an addition almost the size of the original house. The lot would allow that, and our rules would allow that and even if the volume filled the space between the carport and garage, meets the letter of the law.

He wanted to be careful what the Board is arguing for and it may more than one thing. The two big questions for him were on the wall, are they talking about the integrity. And on the addition, what are they asking the applicant to do in terms of differentiating the massing on the new part of the building from the existing.

Member Biedscheid said Member Guida's comments were helpful. It made sense to her as well to have the garage closer to the house. That is consistent with the original configuration. She found the styling of the garage confusing. It almost looks like another entrance from the street facing façade and more like a guest house. She asked the applicant to speak to those design goals.

Chair Rios said looking at it that went through her mind as well. She asked Mr. Mathey if the garage would be strictly used as a garage.

Mr. Mathey said architecturally it started as a box stuck at the end of the site. By offsetting the masses some and configuring it as proposed, it relates architecturally to the house. He and his client want the garage to have character and as it is designed, it could be converted into a guest house. Also, that is not his client's intent. As an architect he thinks about how space might be used over time. The garage could be converted to a casita and meets Land Use requirements. His design is a garage that doesn't look like a garage but enables future users to use the space in a broader spectrum.

PUBLIC HEARING

Mr. Eddy, previously sworn, said he can only respond with his gut. His feeling when he saw the addition of the wall joining the new garage and the portal was, "My God, it's really demanding space there." The massing is demanding and imposes on a street with character devoid of demanding massing. He has a hard time with that. Also, the wall with another aperture is problematic. At the root of it, he does appreciate the thoughtful discussion. To him the decision is what the Board will allow that will do the least harm to the integrity and character without degrading the property's status. His concern is that this proposal will lead to potential degradation of the property.

BOARD DISCUSSION

Vice Chair Katz thought Member Guida was wise to point out a different wall opening. Moving the wall opening from in front of the current garage and opening it up on the north side, would allow access to the garage on the north end. Two cars could be parked parallel facing north/south in front of the current garage. For him, the decision is whether the proposal will damage too much of the nature of the house. But the first thing to decide is if the Board feels keeping the historical view of the house and its relationship to the neighborhood is more important. They are talking about an exception needed to change the wall, in any case. It would call for a different result if they are comfortable with the design and the fact that it detracts from the current style and sense of the house.

Mr. Schwab directed the Board to the exception criteria noting they did not make the wall contributing. He said the Board's question and one they work with often, is what constitutes hardship. The Board, after a lot of discussion did not grant a hardship exception earlier this year for someone who is almost blind. He wanted to point out regarding the wall, that the Board decisions create a precedent.

Chair Rios asked to confirm what she saw as an eyebrow over the garage door.

Mr. Mathey replied there is no eyebrow over the door.

Chair Rios noted there are a lot of skylights she assumed are all low profile.

Mr. Mathey said yes they will not be above the parapet at all.

Chair Rios pointed out on the elevation what appeared to be the garage door with a little eyebrow.

Mr. Mathey explained there is nothing over the door except a small awning to keep weather off the door.

Chair Rios asked the dimensions.

Mr. Mathey replied it is about 20 inches deep and four feet wide and made of wood. It will have a built-up roof like the rest of the house, similar to a small portal.

He asked to respond to Mr. Eddy's concerns regarding creating a dominating mass. He appreciated the concern but wanted to point out that the garage height is not as tall as the house massing. Also, the letter of support from one neighbor said they were happy something would be built on what appears to be a vacant lot.

Chair Rios asked the square footage of the new garage.

Mr. Mathey replied it will be 445 ft.² feet and he thought, 11 feet high, but will check.

Chair Rios said Vice Chair Katz suggested having another discussion on the wall.

Vice Chair Katz said it wasn't the wall, it was to move the garage further north to make the house more separate. He referenced page 46. He said he understood the neighbor's comment, the lot does look a little empty. This would make it look less like an empty lot and having the garage on the north end would resolve the problem equally well.

Mr. Mathey asked for clarification on moving the garage north. He explained that the garage couldn't move further north because it is already at the setback wall. He included the design option A proposal to show the difficulties, if there was no secondary driveway opening.

Vice Chair Katz asked if that wouldn't be resolved by moving it to the north.

Mr. Mathey apologized and said he misunderstood. The original intent was to put the whole driveway opening toward the north end of the property and fill in the existing driveway opening. After reviewing with staff and considering the wall's contributing status, they decided to leave the existing opening and add a second opening 50 feet further. The lot is very long with an unusual shape. A new garage would have to be attached to the existing building but would detract from the aesthetics of the existing structure. That option wasn't presented because it wasn't practical.

He and the applicant looked at a number of options; attaching it; moving it over 15 feet it; or shoving it all the way over to the north end. They felt the alternative proposed is the best balance. Staff pointed out the strong symmetry of the existing yard wall. But from the street it steps up about 8 inches on the left and 2 feet on the right and doesn't look balanced. He said they want to maintain the character of the wall while creating a practical siting and relationship between the structures. They feel that was achieved with the proposal.

Vice Chair Katz said he wasn't satisfied with the answers from the applicant; the wall is sacrosanct, but he is going to knock out a tall portion, rather than move it. That doesn't make sense as being more preservative of the wall. The Board may not agree with him there should be greater separation between the proposed garage, there is option A and option B. He prefers option A to move the opening to the north, the applicant prefers option B. He could understand why people like it better the other way. He appreciates the idea of a nice courtyard and appears to be whole. But it is less preservative of the house.

Member Guida said he was leaning in the direction Member Katz was heading but wanted to be clear about the reasons. Undoubtedly the most elegant solution is to

preserve the symmetry of the wall and natural fit for the property and historic home would be to move the new part away and preserve the integrity and massing of the wall. The Board would have to justify an exception criteria. But it is the least harm option if they approach it from the integrity of the wall scenario. He said he struggled with that the house is not an architectural monument. His preference is to move the opening over and push the garage to the north.

Ms. Ramirez Thomas said Chair Rios called in and explained she was having problems with her computer. She would be back online as soon as possible.

Member Biedscheid said the wall is a defining feature of the streetscape and she preferred doing the least amount of renovation to the wall. The wall is an important feature, but she wasn't sure the openings couldn't be adjusted. She agreed with respect to the house that none of the primary façades are affected. But the proposal in general seemed to change the focus of the house and confused the entry. It has to do with the fact that the yard wall connects to the detached garage so that it doesn't appear detached. The portal and the existing garage and the addition of the door on the new garage, seem like new entries. The original entry gets lost and detracts from what had been the focus of the house. The house is quite simple and the number of openings, windows, doors and gates, make it seem busier now. The applicant is not violating rules for changing primary façades, but the design in general detracts from what is special about the house.

Vice Chair Katz checked on Chair Rios' status. The Board lacked quorum without her. Ms. Ramirez Thomas offered to ask Chair Rios to call in

Mr. Mathey noted they would be allowed to add on to the house and connect directly to the garage and do a lot of things that would expand the house. That would dramatically change the view of the house from being a simple design. What we are proposing is already separating those structures. He thought they were already pulled back from what they were allowed to do. He didn't see a mandate for a 15-foot separation versus 20 feet, or 40 feet separation between the house and garage in any historic requirements or land-use guidelines.

To him it becomes very subjective and many of the issues are subjective and tough to know what is right or wrong a lot. A lot of it has to do with how someone feels about something. He said in terms of the rules, we are still inside the rules in what they proposed, with the exception of the yard wall change. They are very willing to fill in the existing opening and moving the entire opening over. That wasn't proposed because it is a big change on the yard wall and then it would become an argument if it is different because the opening had been moved; does that create a different streetscape? They would be back to the same argument of the impact of the street aesthetics. He doesn't

see a way without doing some change to the yard wall. They are trying to stay way within the balance of what they are allowed.

Ms. Ramirez Thomas said Chair Rios would call in soon.

She added the point that the Historic-Code is an overlay of underlying zoning. The applicant could comply with underlying zoning and not necessarily meet the standards of style or preservation of the property. Even substantially adding on to the house is regulated by the Historic section of the Code. It cannot be more than 50% of the original footprint. It was important to narrow the focus from other aspects of compliance with the Zoning Code and focus on the historic issues and where that might be a challenge.

Vice Chair Katz said even with historic issues, one of the standards is that the proposed addition on a contributing house not jeopardize status. It is not true that they can just add on to the existing house because it would come before the Board who would decide. He has been saying the same thing. What is being proposed can't detract from the contributing building. There is a level of subjectivity that makes it hard for everyone. But that is the Board's job to look at whether it detracts from the contributing status of the house.

Chair Rios returned and Ms. Paez filled her in on the conversation.

Chair Rios said she would entertain a motion.

MOTION: In Case #2020-002483-HDRB, 524 Calle Corvo, Vice Chair Katz moved to grant the application with design option A on the condition that the opening to the current driveway be moved to the north, the same amount of the opening of the driveway, and the current driveway is closed up making the view of the wall look the same from the street with a slight change in the opening.

Member Guida asked to clarify if the motion included relocating the garage.

Member Katz said it does, because that is design option A, to move the garage as far north as possible.

Member Guida seconded the motion.

Member Biedscheid requested further discussion. She felt they could not vote without revised drawings. She preferred to see a drawing of the façade elevation facing the street and have the applicant resubmit before voting. She suggested postponing the case because the project couldn't be approved without a revised drawing.

Vice Chair Katz clarified she proposed a friendly amendment that the garage be moved to the north with the opening as he described; half of what is there now and half an addition, and the case be postponed for revised drawings reflecting that change.

Member Biedscheid said that was correct, because in addition to the wall there could be additional buildings that result from that.

Vice Chair Katz asked to confirm that Member Biedscheid was saying that the applicant had not completed the Option A design and was suggesting he do that. He said he agreed.

Mr. Mathey asked if possible to approve the house and the existing garage remodel and postpone the yardwall and garage approvals. That would allow them to continue to proceed on the other.

Chair Rios said that is an option. She asked that Member Katz restate his motion.

Mr. Schwab informed the Board they could approve Items 1-4 and require a re-submission for the remaining items. The exception criteria might possibly need to be revisited.

**REVISED
MOTION:**

Vice Chair Katz moved to approve the application for Items 1-4, and have the applicant resubmit Items 5-8 with plans that follow design option A. Member Biedscheid seconded the motion. She noted that exception criteria had not been met for Item 7 at this time.

Vice Chair Katz explained the Board is not approving or disapproving a change to the wall at this point. Only suggesting that could be part of the change.

Ms. Paez noted that a motion was on the floor. Although clear, Vice Chair Katz's intent is to withdraw and revise his motion, she wanted to confirm that the second of the original motion was okay with that.

Member Guida said he was okay with the revision.

Ms. Paez clarified the motion is to approve Items 1-4 and postpone Items 5-8 and request the applicant to redesign Option A as shown on page 46.

Vice Chair Katz added and that the applicant returns to the Board with the proposal with the understanding that an exception may be required, and the Board would determine whether the exception criteria have been met.

VOTE: The motion passed by unanimous (4-0) roll call vote with Members Biedscheid, Guida, Katz and Chair Rios voting in favor and none voting against.

7. **Case #2020-002758-HDRB. 312 Catron Street.** Downtown & Eastside Historic District. Lloyd and Associates, agent for Johnathon Plaza, owner, proposes to construct additions to a height of 22'6" where the maximum allowable height is 15'0" on a non-contributing non-residential structure. An exception is requested to exceed the maximum allowable height (section 14-5.2(D)(9)). (Angela Schackel Bordegaray)

Member Bienvenu was recused from this case.

STAFF REPORT

312 Catron Street is single story, approximately 960 sf, southwestern vernacular office building non-contributing to the Downtown and Eastside Historic District. Built between 1935-37 it has undergone substantial alterations that include enclosing the front portal. There is a detached storage shed located to the south of the main structure.

The applicant proposes to add onto the south elevation connecting it to the existing storage shed on the south end of the lot and add a second story. Total square footage of the ground floor addition is 629 sf; the second story addition is 387 sf. The addition is set back from the front façade 34'-6". The proposed addition steps up to 19'. The two masses would read as separate facades on the north elevation of the addition versus one planed façade.

The applicant requests an exception to the maximum allowable height for the second floor. Heights of the existing office are 12'-6" on the south and 11'-8' at Catron Street. The proposed height of the second story is 19' from grade to top of parapet. The maximum allowable height in this streetscape is 15'. The applicant, therefore, requests 4' of additional height above the allowable height.

The addition will be styled the same as the existing building, which is characterized by a flat roof and is wall-dominated. New windows match existing and are wood, turquoise metal clad true divided lites. **Two** smaller (2'-3') fixed windows will be simulated divided lite. The addition will feature exposed stained wood lintels. Proposed doors will be six-

panel true-divided lite panels. Wood will be stained to match the existing door on the north façade, also turquoise. Stucco will be cementitious to match the existing building, El Rey's Buckskin in a sand finish.

STAFF RECOMMENDATION

Staff found that the applicant had adequately addressed five of the six exception criteria and defers to the Board for its final determination in considering this application. Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Chair Rios asked Ms. Bordegaray to address the criteria that the applicant may not have met.

Ms. Bordegaray said out of the six criteria it is #2, the hardship. She read her response for the Board: "Staff recognizes the desire of the applicants to work together and supports the location of the downtown serving businesses and services. However, it may not constitute a hardship to the applicant or a requirement to avoid injury to the public welfare."

Ms. Paez reminded, for the record that Member Bienvenu is recused from the case.

Chair Rios asked for a description of the neighborhood in terms of one and two stories.

Ms. Bordegaray said this is on a neighborhood street abutting a business and office/commercial area in the Business Capital District. The houses located along Catron Street are all single story, with some noncontributing and contributing structures. The height allowance maximum is 15 feet and takes into account that the predominant neighborhood structure is homes on Catron. Jefferson doesn't have many homes facing the street. The height for the Carlos Gilbert School across the street, John Gaw Meem Building, is an institutional building and, therefore, not part of the calculation. Heights, alterations and differences vary with respect to this house.

Chair Rios asked if correct that the proposal, the second story is 387 square feet.

Ms. Bordegaray agreed.

Vice Chair Katz asked although nearby has a mix of buildings and commercial, they were also all one story.

Ms. Bordegaray indicated the New York Deli, Bumble Bees, an old Taco Bell and Allsup's are single story. And there is a two-story office structure on the corner of Catron and Guadalupe.

APPLICANT'S PRESENTATION

Wayne Lloyd, 321 San Francisco St., Suite A was sworn in. He explained the reason for two stories is they need to comply with the City's ordinance. The building requires six parking spaces that he would not have without two stories. The hardship is if he is unable to build the two-story they cannot comply with the parking ordinance.

Mr. Lloyd added that another hardship is there are very few dentists in the downtown. A young couple from Colorado found this office, a former dental office, and one that can be expanded. Since two dentists are taking over from the former dentist, the first-floor plan is to add 3 chairs to the dental office. Also, at least one room is needed for a breakroom/kitchenette and the second story is the only place to put that. This will allow another dental office downtown and allow him to meet all of the ordinance requirements by adding the room upstairs.

Mr. Lloyd said the height average is 15 feet and he thought he would be allowed another 2 feet without an exception. But he has applied for the exception regardless and that puts them at 19 feet.

He asked if Ms. Bordegaray had the drawing he submitted of what is visible from Catron Street.

Ms. Bordegaray said it is not in the slides, but she thought it was in the packet.

Ms. Paez indicated she has page 27 of the staff report and would share it. She confirmed that Mr. Mirando, the project manager was with Mr. Lloyd and moved him to the panel to be sworn.

Ms. Ramirez Thomas clarified the additional two feet height Mr. Lloyd mentioned. An additional 2 feet is always added to the average height to account for any error. An exception is required if height is over the average plus the 2 feet for error. It is not at the Board's discretion.

Mr. Lloyd he said their exception asks for two feet, not 4 feet. He referred to the drawing onscreen of the view from Catron Street looking at the front of the building. The addition is on the south, or the back side of the building. On the south side of Catron, you can't see the addition at all. On the north side a person across the street could see approximately 24-30 inches of the second story.

Sheb Mirando, 1301 Declovina Street, was sworn in. He said he and Mr. Lloyd were going to handle the case as a team and are very sensitive to Catron Street. They want to limit the impact of the addition on Catron as much as possible. They feel that the added second floor does not present any dominant mass on Catron. Jefferson Street was different because it has higher heights all the way down, with fences and unscreened parking lots.

Vice Chair Katz asked to clarify that the second story consisted of a breakroom, a staff room with a toilet and a stairway.

Mr. Mirando said that was correct.

Vice Chair Katz asked if where the stairway will go on the first floor is office.

Mr. Lloyd said yes, there is one administrative person.

Vice Chair Katz confirmed the office is separate from the staff room upstairs.

Mr. Lloyd said yes, a person is always there.

Chair Rios asked Ms. Bordegaray what the second story would impact the most.

Ms. Bordegaray said from the Jefferson Street perspective looking at the property, the addition links the two existing single-story structures. The second floor is on top of that. The greatest impact would be on the Jefferson streetscape because it fills in between the buildings and adds the second story square footage. Part of her rationale to recommend approval was it is set back from Catron.

Member Guida noted this has come up in previous cases in the downtown district as well as the Eastside in general. He strongly favors increasing density and accommodating, whether additional living units or business/office space. That there is a mechanism that allows that in the Historic area is promising. He noted even with an exception requested, the request is an extremely modest second story addition. He thought it is skillfully done. The overall impression of the building will not appear to be a looming façade, and overall, the volume reads more like one and a half stories. The design makes it read less massive than it might have.

Member Guida said he wants to voice a positive note for accommodating change in a sensible way. This office building is extremely small. They cannot expect businesses to operate as they did in the 1930s and the request is not out of line. The scale of the streets and streetscapes the building faces across two corners is far greater in scale. Approving a height exception here is a no-brainer. The applicant squeezed everything into the property and did it skillfully with the least impact possible while still meeting all other requirements for an office.

PUBLIC HEARING

There were no comments from the public.

BOARD DISCUSSION

Vice Chair Katz said he has trouble ignoring what is on the ground. In that neighborhood virtually everything except the school is one story. What is being proposed is very visible from Catron. Coming down Guadalupe and turning left on Catron there is a parking lot. On the other side is Jefferson and the two-story addition is visible and to say it isn't visible from Catron is incorrect.

Vice Chair Katz said he agrees with Member Guida it is important to accommodate change downtown. He wouldn't want to do anything to prevent people practicing together in the building. His question is how necessary it is to have a second story and is there another place to put it. He said the answer was "no" because the applicant needs six parking spaces. He said he could draw the staff room downstairs in front of the Shed and the corridor of the addition. It could be the same size and have all of the needed facilities without taking a single parking place. It would remove a planter but although attractive, it is less so than the second story and the bike parking. The applicant could have the same thing and a more substantial office because it isn't taken up by the stairway. The applicant would have everything requested and space without the need for an exception.

Mr. Lloyd asked to have the site plan displayed. He asked where Member Katz would put the addition.

Vice Chair Katz explained it could go where it says, "Bike Parking" and the planter south of parking place #2 could be the addition. They would lose the window on the west side of the building and a room could be put in on the east side.

Mr. Lloyd indicated there is a 10 foot setback on the south side and according to zoning that whole space is not available. The existing building is a nonconforming structure with a 15-foot setback there. That is almost the depth of parking space #3 which leaves maybe 150 square feet.

Vice Chair Katz asked if he were correct by doing what he suggested they would lose parking space number two.

Mr. Lloyd thought it would be parking space number one.

Vice Chair Katz said no, he wouldn't think so. He thought it could be done easily.

Ms. Ramirez Thomas pointed to an area onscreen. She asked if that was the area Member Katz was talking about.

Vice Chair Katz replied yes, instead of putting it so close they would have to move the room north because of setback. That isn't something they could get a variance on.

Mr. Lloyd said they actually had a very difficult time getting the PZR approved because of the rear setback. Part of the problem is he had to follow the undulating rear property lines. The site plan shows that 15-foot setback as indicated by a dashed line.

Mr. Miranda said also looking at the existing site plan it was broken up more in property than now.

Mr. Lloyd said the west property line parallel is the northwest corner.

Mr. Miranda said they could propose something in that area but thought it would make a bigger statement on Catron. They believe this the best compromise.

Mr. Lloyd noted that they could do one story, but it would not comply with the parking requirement.

Vice Chair Katz asked why a parking space couldn't be on the north side of where it is proposed.

Mr. Lloyd pointed to nice landscaping he said was aged and well done.

Vice Chair Katz replied he saw a Bush that would have to be removed parallel to the sidewalk. It is prettier but he liked seeing the trees now and they will be blocked by the second story.

Mr. Lloyd said they will be blocked by the first story as well.

Mr. Miranda clarified you could still see half of the trees; the room isn't that big.

Vice Chair Katz replied it would totally block the trees.

Mr. Miranda said pushing parking out to Catron would only remove a few bushes. The main impact would be increasing the curb cut and bringing cars closer to Catron.

Vice Chair Katz thought they didn't understand what he was describing. Currently they have the curb cut and the driveway and when driving in they would go to the left, with a parking space in front of the building. It doesn't go near Catron.

Mr. Lloyd said running parallel to the sidewalk.

Member Guida voiced concern with the discussion. This is sensitive infill with the least impact on the side and the smallest footprint. It doesn't impact Catron streetscape in any significant way. Regarding the other visible angles, height is not scale. The overall measurement of the height of the building is a number. This isn't a big deal, particularly

at this street corner with two very wide roadways a short distance from an extremely busy and wide roadway that is surrounded by an ocean of parking. The Board has a mechanism to accept and the applicant easily meets five of the six exception criteria.

Member Guida said he thinks this is the best use of the site footprint and points to a responsible way to increase density without creating a future footprint. The small second-story in this vast space is not going to affect anything.

Member Biedscheid said when she first saw the proposal she thought it made a lot of sense to fill in the space between two buildings. She agrees with Member Guida the impact is minimal. This is not a towering height that is a challenge in downtown properties, and the setbacks are thoughtfully done. The second story is just one room and really not a big deal. This is the prettiest building, considering the Jefferson streetscape and would hate to see the landscape go. She supports the application as presented. It is actually an easy one for her to understand and support.

Member Guida said he had a small question/suggestion for Mr. Lloyd. He asked if there could be a new eyebrow or cover over the new door for the addition. He would like that because it is a bit stark.

Mr. Lloyd replied it made a lot of sense but did not have one drawn. He indicated it was actually an exit door, but he agreed a stoop there would protect the door and provides detail the side needs. The building is not contributing anymore partly because there have been two additions.

MOTION: In Case #2020-002758-HDRB, 312 Catron Street, Member Guida moved to approve the application as submitted with the recommendation that a small eyebrow or covering be added over the exit door on the addition, and that drawings be updated with staff. Member Biedscheid seconded the motion.

VOTE: The motion passed by majority (3-1) roll call vote with Members Biedscheid, Guida and Chair Rios voting in favor and Vice Chair Katz voting against.

Mr. Lloyd said everyone on the Board deserves a medal for what they go through at the meetings. He wished them a happy Thanksgiving.

Chair Rios said she agreed and wished them the same. She thanked staff and the Board for their complete and thorough work.

Ms. Bordegaray said this case conjured all of her urban planning principles on scale. She urged the Board if they haven't done so, to read the applicant's six criteria and her responses. It speaks to much of Member Guida's comments. She made a point to include that for the reasons that the Board approved the project.

Chair Rios noted that the maker of the motion needed to indicate that the exception criteria have been met.

Member Guida added to his motion that he was satisfied that the exception criteria has been met. Member Biedscheid agreed.

Member Guida thanked Ms. Bordegaray for a thorough job.

Member Bienvenu returned to the meeting.

I. DISCUSSION ITEMS

None

J. MATTERS FROM THE BOARD

None

K. NEXT MEETING: December 8, 2020

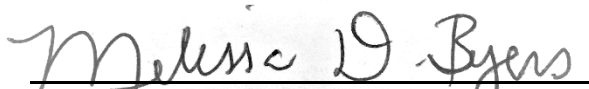
L. ADJOURNMENT

Chair Rios adjourned the meeting at approximately 10:20 pm.

Approved by:

Cecilia Rios, Chair

Submitted by:



Melissa D. Byers, Stenographer
For Byers Organizational Support Services

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2020-2819-HDRB

Address – 425 Hillside

Agent’s Name – Martinez Architecture Studio

Owner/Applicant’s Name – Marian and Daniel Knowles

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 24, 2020.

BACKGROUND

425 Hillside Street is a noncontributing residential structure constructed in the Spanish Pueblo Revival style. The house is located above the hill out of the public right of way with no public visibility. It was built in 1984 with subsequent additions.

The Applicant proposes to construct an attached carport to the northeast side of the structure. The north wall will be stuccoed in the same color as the existing structure, El Rey “Pueblo.” Wood elements will be stained a dark brown color. The carport will be 14 feet high, which is lower than the maximum height of the structure, and will have an area of 500 square feet.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts; and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve,

with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.

7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 8th DAY of DECEMBER, 2020, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Yolanda Y. Vigil
City Clerk

Date

APPROVED AS TO FORM:



Sally A. Paez
Assistant City Attorney

December 8, 2020

Date

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case #2020-0022820-HDRB

Address – 1369 Cerro Gordo

Agent’s Name – Doug McDowell

Owner’s Name – J. Midyette

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 24, 2020.

BACKGROUND

1369 Cerro Gordo is a large lot located away from the public way that has three structures listed as noncontributing to the Downtown and Eastside Historic District. The property’s structures include an adobe residence and an adobe shop and garage, all in Spanish-Pueblo Revival style. The Board approved a garage addition to the main house in 2016.

At this hearing, the Applicant proposed the following changes:

Main House

- Add on to the kitchen on the north elevation. The north wall will be extended to enlarge the kitchen by 260 square feet. Two new windows will be installed on this wall. The expanded kitchen will have a portal with corbels and beams.
- Revise the main entry. The new entry will feature double doors with windows. Patio will be reconfigured around the remodeled entry.

Guest House

- Addition of a 148 square foot portal on the west side of the guesthouse. The portal will have wood beams and corbels. The existing doors and windows of the guesthouse will remain.
- The house’s gate entry and yard wall will be shifted to the south, realigning the exterior gate and walkway to the proposed portal addition to the west elevation of the guesthouse. The gate and yard wall will not change in material or style.

Exterior Lights

- Add exterior lights that will be night sky-approved.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).

2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts; and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves all items in the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 8TH DAY of December, 2020, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Yolanda Y. Vigil
City Clerk

Date

APPROVED AS TO FORM:



Sally A. Paez
Assistant City Attorney

December 8, 2020

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2020-2483-HDRB

Address – 524 Calle Corvo

Agent’s Name – Courtenay Mathey

Owner/Applicant’s Name – Glynis Dohn

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 24, 2020.

BACKGROUND

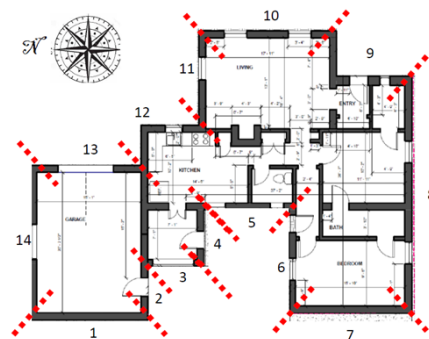
524 Calle Corvo is a contributing residential structure located in the Downtown and Eastside Historic District. The structure was constructed as part of the “Hughes Subdivision,” probably between 1949 and 1951. The subdivision is an exceptional example of urban design in Santa Fe. The subdivision contains twenty lots, sixteen of which are essentially rectangular, and four of which curved along the street. The curved lots are lined by walls placed directly on the lot boundary to create a serpentine streetscape. The subject property is one of these curving lots, with a streetscape defining wall that takes up the full width of the view as one moves through the subdivision.

The Board designated the house and the yard wall as contributing at a hearing held October 13, 2020 (Case #2020-002609-HDRB). The Board also designated Facades 9, 10, 11, and 12 as the primary façades. Facades 9 through 14 are publicly visible.

The contributing house is a one-story structure, originally with only one bedroom, with Spanish Pueblo Revival Style elements such as rounded parapets, exposed vigas, and asymmetrical stepped massing. The street-lining wall, also a contributing structure, has a vertically symmetrical form that steps down toward the center to a central driveway opening. This stepping vertical symmetry is presented in a varied form in the internal yard wall separating the front garden from the driveway.

At this hearing, the Applicant proposed the following Items:

1. Convert the existing garage (facades 1, 2, 13, and 14) to a new bedroom/bathroom space, and raise the roof and parapets 12 inches on a portion of the existing garage. The garage is set back about 8 feet from primary façade 12, but as a remodel does not qualify as an addition. Item



- 1 includes changes to the openings (garage door and steel casement window).
2. Expand the kitchen (façade 5) by converting 84 square feet of existing portal to heated area and relocating the portal further west (facades 4, 5, and 6).
3. Restucco the entire structure. The color will be “Sandalwood” cementitious stucco from El Rey, which is a light earth tone.
4. Reroof the existing structure.
5. Construct new interior yard walls and coyote fencing.
6. Construct a new detached 445 square-foot single-car garage at the north end of the property. New windows and doors will be aluminum clad colored Sierra Pacific “Aqua Mist,” which is a subdued green color.
7. Create a new 12-foot wide driveway opening in the north portion of the existing contributing street yard wall to serve as access to the proposed driveway.
8. Repave the existing driveway with concrete brick pavers and create new patio areas, one to the north of the house of 120 square feet, and one to the west of the house, which would include a new portal of 160 square feet.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended approval of Items 1 – 6 and 8 and found with regard to those items that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts; and 14-5.2(E), Downtown and Eastside Design Standards. For Item 7, staff did not find that all the exception criteria had been met in the Application and submitted materials but recommended that the Board may find the exception criteria met upon further testimony.
3. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Section 14-5.2(D)(1)(a), the removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

Finding of Fact and Conclusions of Law – Remodel or New Construction

Case #2020-2483-HDRB

7. In Item 7, the Applicant proposes to remove historic materials and alter the architectural features and spaces that embody the status of the street yard wall, a contributing structure.
8. Staff determined that an exception to SFCC Section 14-5.2(D)(1)(a) would be required for approval of the Application, and the Applicant requested an exception.
9. To obtain an exception, the Applicant must conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
10. In response to the exception criterion in SFCC Section 14-5.2(C)(5)(b)(i), the Applicant asserted that granting the exception would not damage the character of the historic district because the proposed new wall opening was designed to blend in with the existing design. The new opening would carry the theme of stepping the wall down as the street moves north and would be located fifty feet away from the existing driveway opening. Accordingly, the proposal would not damage the character of the district or the property.
11. In response to the exception criterion in SFCC Section 14-5.2(C)(5)(b)(ii), the Applicant asserted that the exception is required to prevent a hardship to the Applicant for the following two reasons:
 - a. Using the existing driveway opening to access the new garage would require the creation of a turnaround space, which would eliminate two parking spaces that now exist that would need to be used for circulation instead.
 - b. Choosing “Design Option A,” an alternative to the proposed design that was presented on page 46 of the hearing packet, would increase the distance from the garage to the house from 15 feet (proposed design) to 40 feet (Design Option A).
12. In response to the exception criterion in SFCC Section 14-5.2(C)(5)(b)(iii), the Applicant asserted that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts because the proposed design would allow for a closer connection between the house and new garage and would architecturally tie the structures together in a manner that is in keeping with the compound and cluster patterns common in the neighborhood. Granting the exception would allow for a design that would respond to the constrictions of the site, create and maintain better access between the parking and the house, and retain the character and use of the existing driveway and parking design.
13. Staff did not agree with the Applicant’s responses to the exception criteria.
14. At the hearing, individual members of the Board expressed concerns about proposed changes to the contributing yard wall and about the proposal to have more than one opening in the contributing yard wall.
15. At the hearing, the Board found “Design Option A,” as set forth on page 46 of the hearing packet, preferable because it would better preserve the integrity of the design of the contributing house, minimize the change in the contributing wall, and maintain separation between the historic house and the new garage structure.
16. At the hearing, individual members of the Board acknowledged that the unusual shape of the lot, and the location of the existing driveway and garage, limit options for additions and development on the lot.
17. At the hearing, the Board determined that “Design Option A” was the preferable alternative and that the driveway opening in the yard wall should be moved further north to accommodate this location for the new garage.
18. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve,

with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.

19. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
20. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items 1, 2, 3, and 4, as recommended by staff.
3. The Board postpones a decision on Items 5, 6, 7, and 8.
4. For Items 5, 6, 7, and 8, the Board requests that the Applicant return to the Board with a redesigned proposal based on the design option identified as "Design Option A" on page 46 of the hearing packet, which closes the existing driveway opening in the yard wall and creates a new driveway opening in the yard wall. The new driveway opening should be the same width as the existing driveway opening and should be moved to the north by a distance equal to the width of the existing driveway.

IT IS SO ORDERED ON THIS 8th DAY of DECEMBER, 2020, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Yolanda Y. Vigil
City Clerk

Date

APPROVED AS TO FORM:



Sally A. Paez
Assistant City Attorney

December 8, 2020

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2020--HDRB

Address – 312 Catron Street

Agent’s Name – Wayne Lloyd, Lloyd and Associates

Owner/Applicant’s Name – Johnathon Plaza

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 24, 2020.

BACKGROUND

312 Catron Street is single story, approximately 960 square foot, southwestern vernacular office building designated as noncontributing to the Downtown and Eastside Historic District. Built between 1935 and 1937, the building has undergone substantial alterations that include enclosing the front portal. There is a detached storage shed located to the south of the main structure.

The Applicant proposes to add onto the south elevation, connecting it to the existing storage shed on the south end of the lot, and to add a second story. Total square footage of the ground floor addition would be 629 square feet; the second story addition would be 387 square feet. The addition is set back from the front façade 34’-6”. The proposed addition steps up to 19’. The two masses would read as separate facades on the north elevation of the addition versus one planed façade.

The Applicant requests an exception to the maximum allowable height for the second floor. Heights of the existing office are 12’-6” on the south and 11’-8’ at Catron Street. The proposed height of the second story is 19’ from grade to top of parapet. The maximum allowable height in this streetscape is 15’. The Applicant, therefore, requests 4’ of additional height above the allowable height.

The addition will be styled the same as the existing building, which is characterized by a flat roof and is wall-dominated. New windows will match existing and will be wood turquoise metal clad true divided lites; smaller (2’-3’) fixed windows will be simulated divided lite. The addition will feature exposed stained wood lintels. Proposed doors will be six-panel true-divided lite panels. Wood will be stained to match the existing door on the north façade, also turquoise. Stucco will be cementitious to match the existing building, El Rey’s “Buckskin” in a sand finish.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff found that the Applicant had adequately addressed five of the six exception criteria and deferred to the Board for its final determination in considering this application. Staff otherwise recommended approval of the proposed project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts; and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Section 14-5.2(D)(5)(a), a proposed addition cannot be approved if the proposed height exceeds the maximum allowable height without an exception.
7. The Applicant proposes to construct a two-story addition that exceeds the maximum allowable height in this streetscape.
8. Staff determined that an exception to SFCC Section 14-5.2(D)(9) would be required for approval of the Application, and the Applicant requested an exception.
9. To obtain an exception, the Applicant was required to conclusively demonstrate that the six exception criteria set forth in SFCC Section 14-5.2(C)(5)(c) have been met.
10. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board finds that the Applicant has conclusively demonstrated that all six exception criteria have been met.
11. Pursuant to SFCC Section 14-5.2(C)(5)(c)(i), the Board finds that granting the exception would not damage the character of the streetscape because the streetscape includes parking lots and other buildings of greater heights. The increase in height visible from Jefferson Street is in keeping with the streetscape, which has homes that were converted into businesses, residential structures, residential complexes, and institutional buildings. The proposed second floor makes little to no visual impact on the Catron streetscape.
12. Pursuant to SFCC Section 14-5.2(C)(5)(c)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare because the Applicants are dentists who are married and wish to practice together. They need more space to accommodate three dental hygienist chairs and a breakroom, while still meeting underlying zoning requirements, including parking. The continuance of a dental office in this location furthers the public welfare.
13. Pursuant to SFCC Section 14-5.2(C)(5)(c)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts. The owners purchased the only property available for a dental office in the downtown. Allowing a second floor space gives the ability for a design which maximizes the building’s

setback from Jefferson Street and creates a terraced massing across the façade. It is important to maintain a dental office in this location.

14. Pursuant to SFCC Section 14-5.2(C)(5)(c)(iv), the Board finds that there are special conditions or circumstances that are peculiar to the land or structure involved that are not applicable to other lands or structures in the related streetscape. The site is part of an irregular pie-shaped lot, and the property's west side occupies a utility easement.
15. Pursuant to SFCC Section 14-5.2(C)(5)(c)(v), the Board finds that an exception is warranted due to special conditions and circumstances that are not a result of the actions of the Applicant. The subject property is sited on an unusual lot with limited options for additions and is located at the intersection of the Building Capitol District and the Historic District.
16. Pursuant to SFCC Section 14-5.2(C)(5)(c)(vi), the Board finds that granting the exception would provide the least negative impact with respect to the purposes set forth in SFCC Section 14-5.2(A)(1) because the project is designed within the context of the historic district's design standards, and the proposal improves the Jefferson Street streetscape.
17. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
18. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
19. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
20. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the exception requested in the Application.
3. The Board grants the Application, as recommended by Staff.
4. The Board recommends, as a design suggestion, that the Applicant add an "eyebrow" or shallow cover over the exit door on the addition. Of the Applicant is going to add an eyebrow, the Applicant must submit updated drawings to staff before seeking permits.

IT IS SO ORDERED ON THIS 8th DAY OF DECEMBER, 2020, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Yolanda Y. Vigil
City Clerk

Date

APPROVED AS TO FORM:



Sally A. Paez
Assistant City Attorney

December 8, 2020
Date



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Hoopes and Associates, agent for William and David Snead, owner, requests a historic status review with primary façade designation, if applicable, for a non-contributing residential structure.

Case number: **2020-002852-HDRB**
Project Type: **HDRB**

PROJECT LOCATION (S): **119 Kearny Road**

OW – William and David Snead 123 Kearny Road Santa Fe, NM 87501 david.snead@dsnead.com

AP -- Hoopes and Associates 333 Montezuma Avenue Santa Fe, NM 87501 craig@hoopesarchitects.com

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS:

North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER

H 2514

YEAR OF CONSTRUCTION

1967-68

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME

N/A

City of Santa Fe, New Mexico

memo

DATE: December 8, 2020
TO: Historic Districts Review Board Members
FROM: Angela Bordegaray, Senior Planner, Historic Preservation Division

Case # 2020-002852-HDRB

Address: 119 Kearny Road
Historic Status: Non-Statused
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards

Historic Inventory Form H2514

Zoning Review Sheet

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

RECOMMENDATION:

Staff recommends designating the house and the front yard wall as contributing to the Downtown and Eastside Historic District per 14-5.2 (C), Regulation of Significant and Contributing Structures in the Historic Districts.

Staff also recommends that the south, west, and east façades be designated primary, per 14-12 for Contributing Structure and Primary Façade.

BACKGROUND & SUMMARY:

119 Kearney Road is a bi-level 1,665 square foot single-family residence designed in the Spanish-Pueblo Revival style built in 1967-68. Its front on the south elevation appears as a single story house with a portal, detailed with stuccoed columns, wooden corbels, and exposed lintels. Its north elevation is two stories in height.

Windows are metal multi-lite casement units on all elevations. Windows on the front/south elevation are two sets of metal casements; one is a pair of 8-lite units and the other is a 12-lite fixed picture window unit with 4-lite casement sidelights. There are two sets of 8-lite fixed metal units on the west elevation. The east elevation has an 8-lite casement unit. All windows have exposed lintels.

The north elevation has a shed roof. There is a single 8-lite casement and 4-lite casement on the upper level. There is a roof-less deck on the upper level of the north elevation with a utilitarian wood railing.

The property is approximately one-half block east of Bishop's Lodge Road. The yard wall and gate enclose the front yard. Like many homes on the street, it features a low, cement-stucco yard wall that contributes to the house's historical context and setting and is consistent with homes in this streetscape. A steep, north-sloping driveway runs along the east side of the house. Chain link fencing runs across the north, east, and west side of the property.

The applicant is before the board for a historic status determination of 119 Kearny Road. The Historic Cultural Properties Inventory (HCPI) notes that it would be eligible for designation in 2018, when it reached 50 years old. Little has changed on its south, west, and east elevations.

H 2514

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. District No. NRHP SRCP Criteria: A B C D

NAME OF PROPERTY: LOCAL REFERENCE NUMBER: 40810
LOCATION OF PROPERTY: 119 Kearny Road UTM ZONE: 13
CITY OR TOWN: Santa Fe UTM EASTING: 415145
COUNTY: Santa Fe UTM NORTHING: 3249735

DATE OF SURVEY:
4/25/2006

PREVIOUS SURVEY?
No

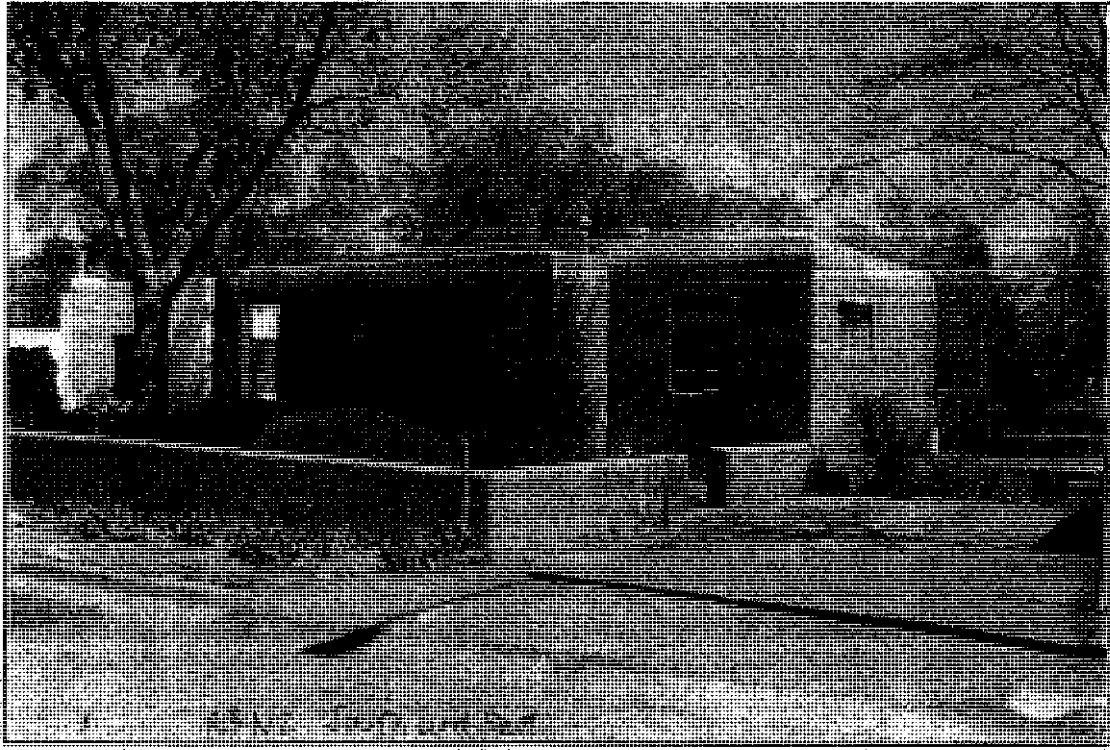
PREVIOUS SURVEY DATE:

NAME OF PROJECT:
Kearny Sunset Resurvey

PHOTOGRAPH: ROLL NUMBER
3

FRAME NUMBER:
2

NEGATIVE LOCATION:
NM HISTORIC PRESERVATION DIVISION



PHOTOGRAPH VIEW: south and east elevations

PROPERTY TYPE: Building

DESCRIPTION OF PROPERTY:

119 Kearny Road is a bi-level Spanish Pueblo Revival style residential building with medium stucco and a battered parapet. The building appears as a single story residence on the south/street side and is two stories in height on the north elevation. The upper level of the north elevation has a shed roof with exposed roof beams at the overhanging eaves. Windows are metal multi-lite casement units on all elevations. On the north elevation there is a single 8-lite casement and 4-lite casement on the upper level. Additional upper level units are paired and triplicate metal sliders in the shed roofed area. Lower level windows on this elevation are 12-lite slider units. Windows on the south elevation include two sets of metal casements; one is a pair of 8-lite units and the other is a 12-lite fixed picture unit with 4-lite casement sidelights. There are two sets of 8-lite fixed metal units on the west elevation. The east elevation has an 8-lite casement unit. All windows have exposed lintels. Entry to the structure is through a single-leaf multi-panel wooden door on the south. Secondary entrances include a pair of wooden sliding glass doors on the lower level of the north elevation, an 8-lite French door on the east that provides access to the north deck, and a single-leaf unit with a sidelight on the west. There is a partial-width portal on the south elevation. It is detailed with stuccoed corner piers, corbels, and exposed lintel. There is a roof-less deck on the upper level of the north elevation with a utilitarian wooden railing. A low block/stucco yard wall encloses the property on the south and the yard on the east. There is a chain link fence across the north, east, and west side of the property. The site slopes toward the north with a steep driveway on the east side of the building.

WHO USES THE PROPERTY?: (Current and historic users and uses made of property.)

Single Family Residential

CONSTRUCTION DATE KNOWN? Yes
DATE OF CONSTRUCTION: 1967-1968
SOURCE FOR CONSTRUCTION DATE: City Directory

SIGNIFICANT MODIFICATIONS?
window replacements [north elevation], shed-roofed addition on north [former porch?], north elevation deck.

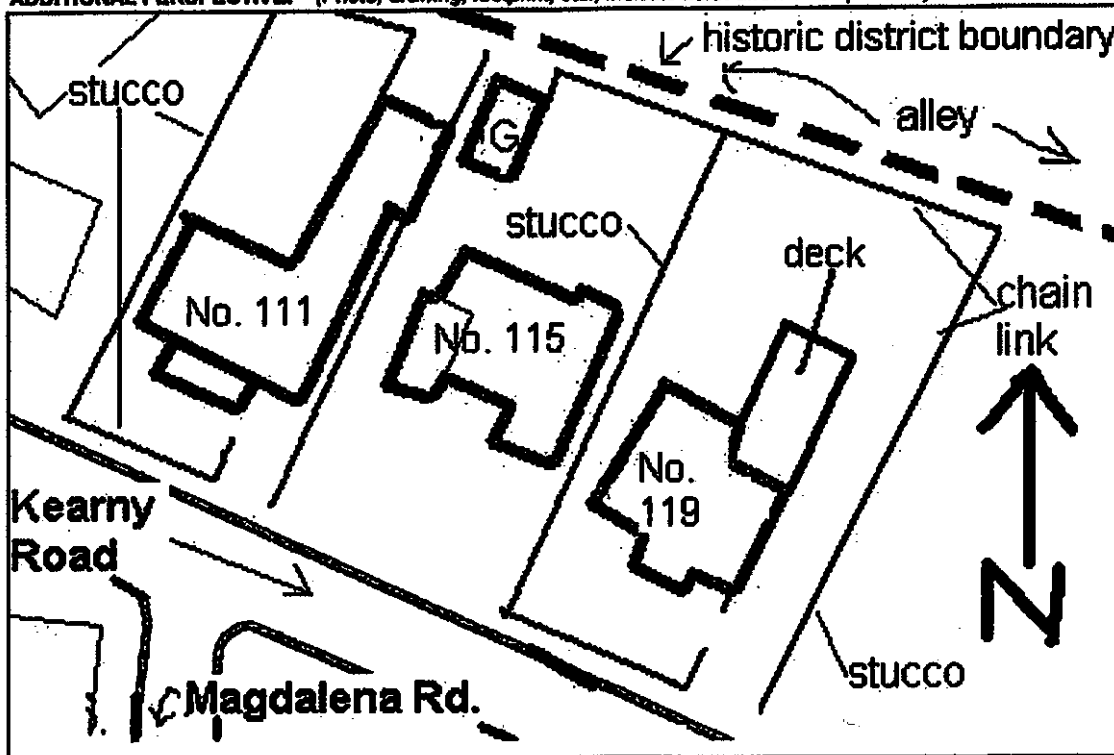
SETTING: Urban

RELATIONSHIP TO SURROUNDINGS: Similar

IF URBAN SETTING, NATURE OF IT: Residential

COMMENTS ON SURROUNDINGS:
compact single story residential area

ADDITIONAL PERSPECTIVE: (Photo, drawing, footprint, etc.; indicate north arrow when possible)



NOTES ON ADDITIONAL PERSPECTIVE: (If photo, include photo info, as in #10)
Site. Santa Fe GIS base map. NTS.

SURVEYOR BUSINESS NAME: Ragins Research and Planning
SURVEYOR FIRST NAME: Mary
SURVEYOR LAST NAME: Ragins
SURVEYOR STREET ADDRESS: 9 Stone Ridge Road
SURVEYOR CITY: Santa Fe
SURVEYOR ZIP CODE: 87505
SURVEYOR TELEPHONE: 5059950852
SURVEYOR EMAIL: rp@intergate.com

OWNER OR OTHER KNOWLEDGEABLE PEOPLE:

[Redacted box]

IS THE PROPERTY ENDANGERED?: No

HOW IS THE PROPERTY ENDANGERED?:

[Redacted box]

SIGNIFICANCE TO CURRENT COMMUNITY: Low

DESCRIPTION OF COMMUNITY SIGNIFICANCE:
non-historic structure, eligible for designation 2018

OTHER INFORMATION OF INTEREST: (Such as historical, legendary, structural, former ownership, character-defining features, etc.)

7-6-95 NM DOT aerial photo shows shed roof on north elevation in place. Deck on north elevation is not shown on this aerial.
 According to the Santa Fe County Property Record Card, the building stands on lot 4 of the Kearny Addition.

IS PROPERTY INDIVIDUALLY LISTED ON A REGISTER?: No
INDIVIDUALLY LISTED ON SRCP?: No
INDIVIDUALLY LISTED ON NRHP?: No
IF NOT LISTED, IS IT ELIGIBLE?: No
IF ELIGIBLE, WHY?

[Redacted box]

ARE CONTINUATION SHEETS ATTACHED?

CONTINUATION SHEET PAGE NUMBERS: 1

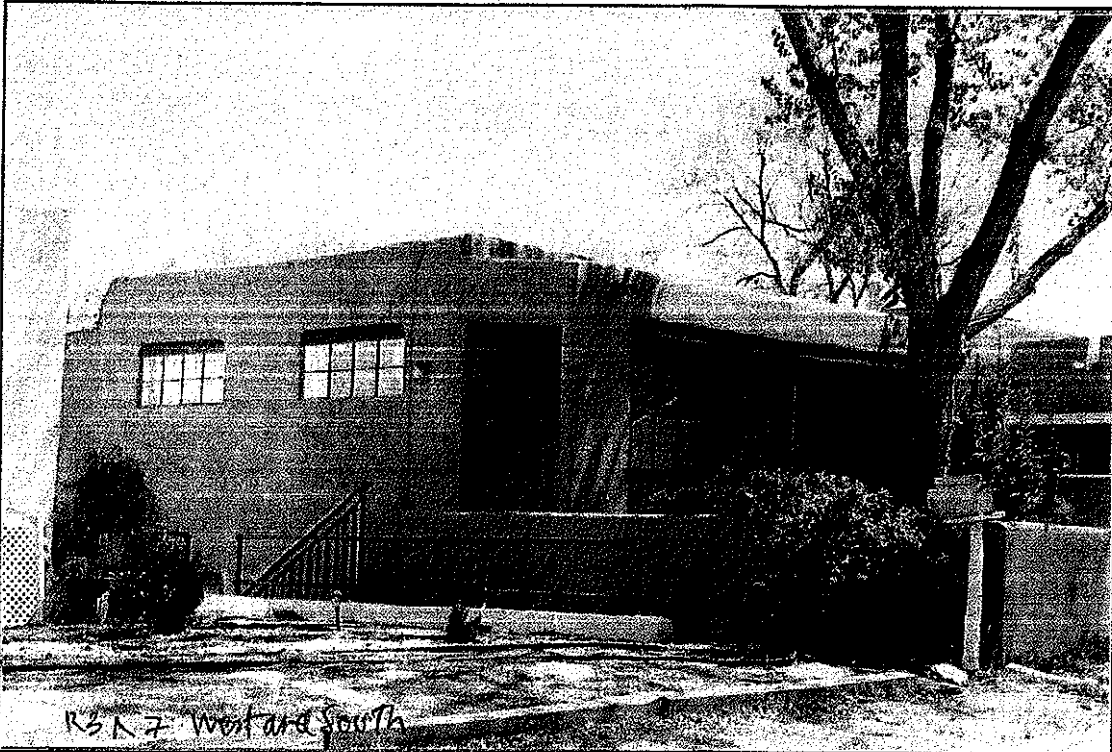
IS PROPERTY IN A REGISTERED DISTRICT?: Yes
DISTRICT DESIGNATION: Non-contributing
DISTRICT NAME:
Downtown and Eastside Historic District
DISTRICT IS ON THE SRCP?: Yes
DISTRICT IS ON THE NRHP?: Yes
IS HCPI FORM 2 ATTACHED?:

Historic Cultural Properties Inventory (HCPI) Continuation Sheet 1

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. District No. LOCAL REFERENCE NUMBER: 40810

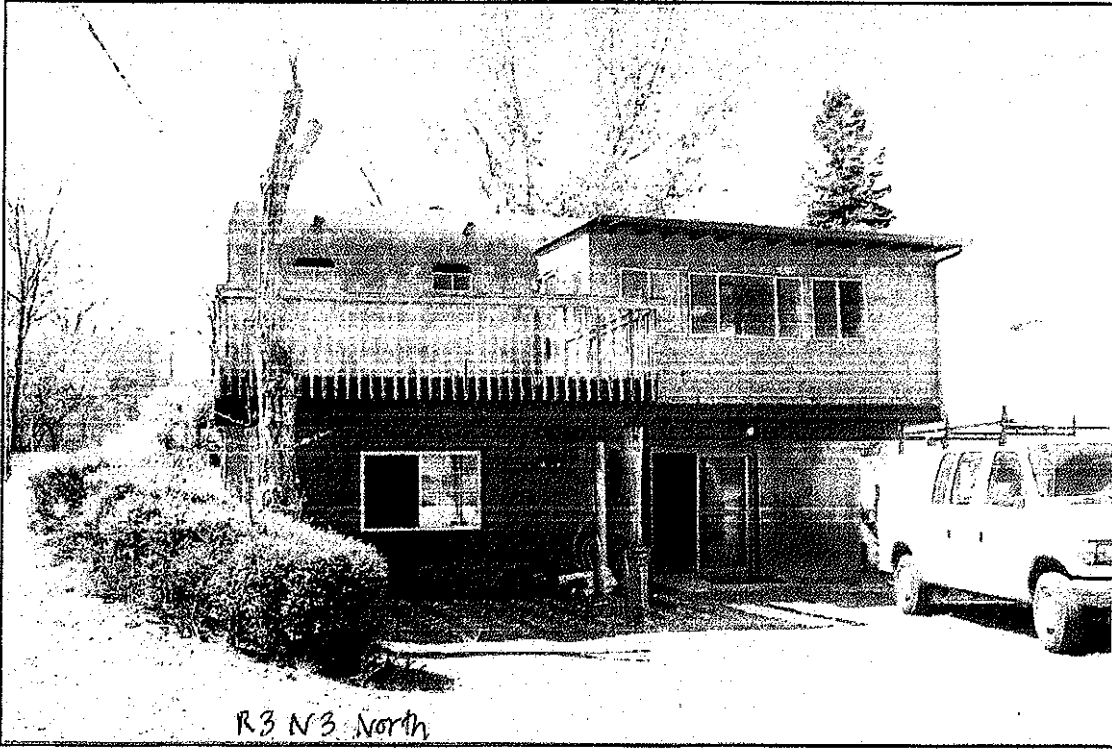
NAME OF PROPERTY: _____ LOCATION OF PROPERTY: 119 Keamy Road
COUNTY: Santa Fe CITY OR TOWN: Santa Fe DATE OF SURVEY: 4/25/2006



R3 N 7 West and South

Additional Photo #1:

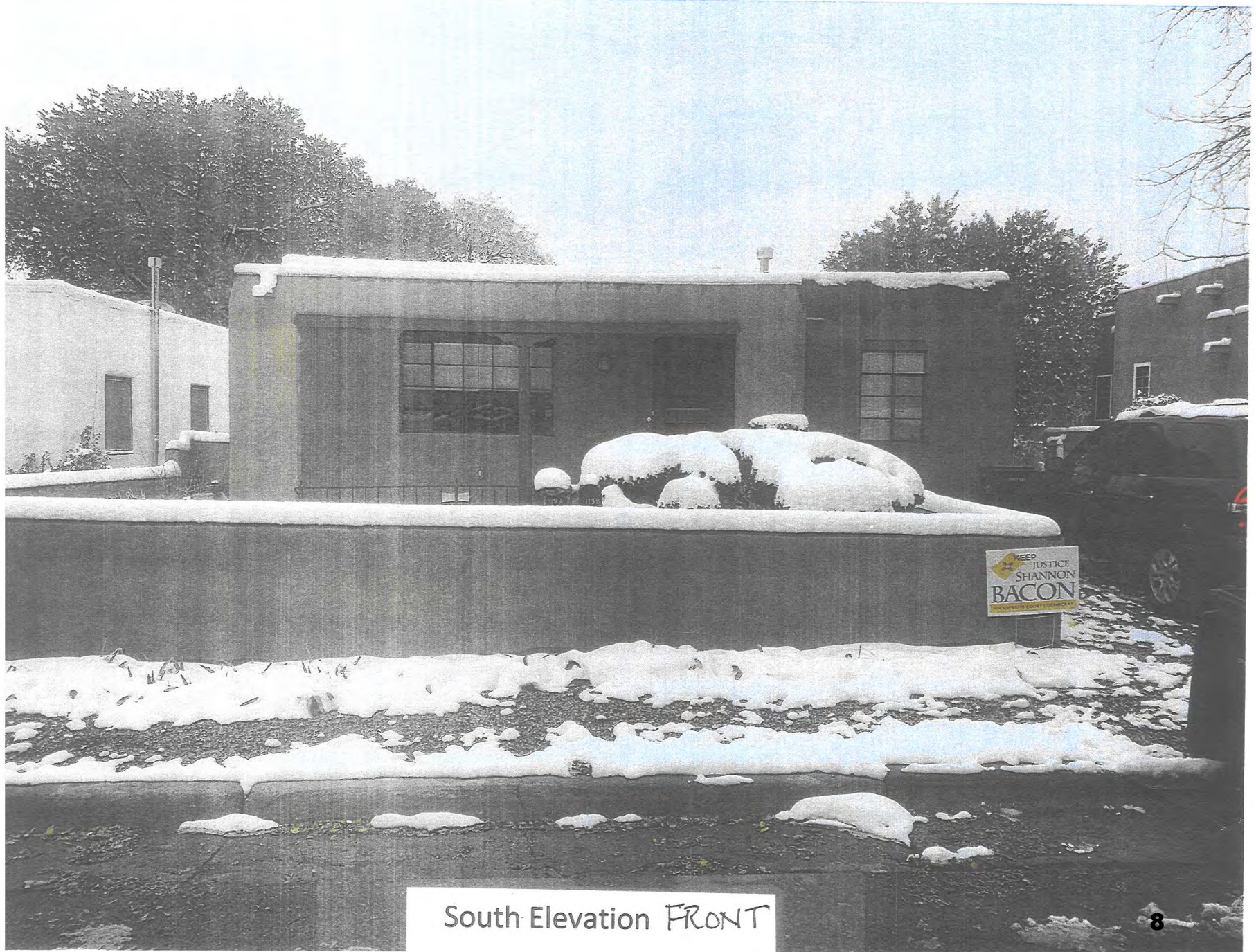
Photo #1 Notes:
roll 3, negative 7, west
and south elevations



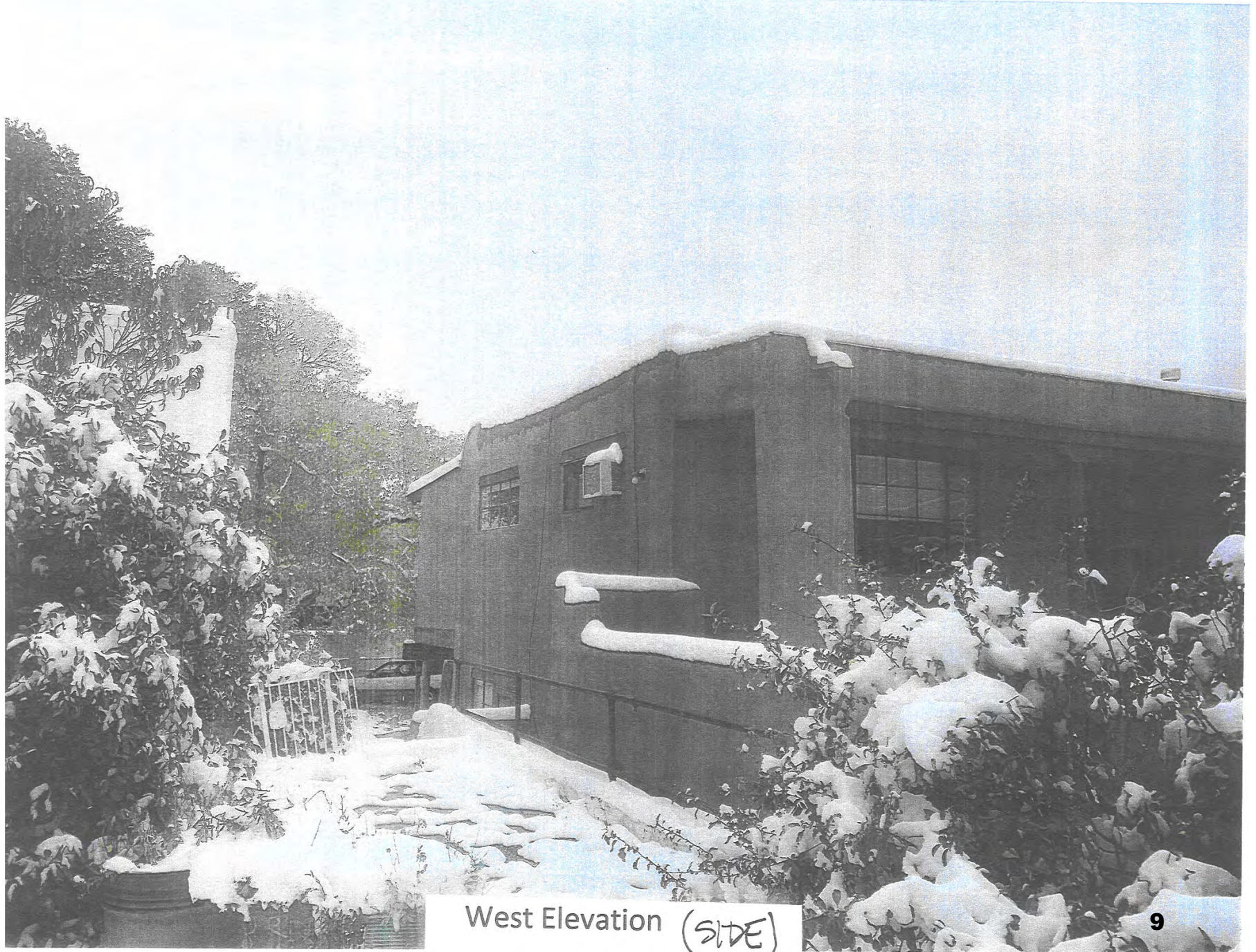
R3 N 3 North

Additional Photo #2:

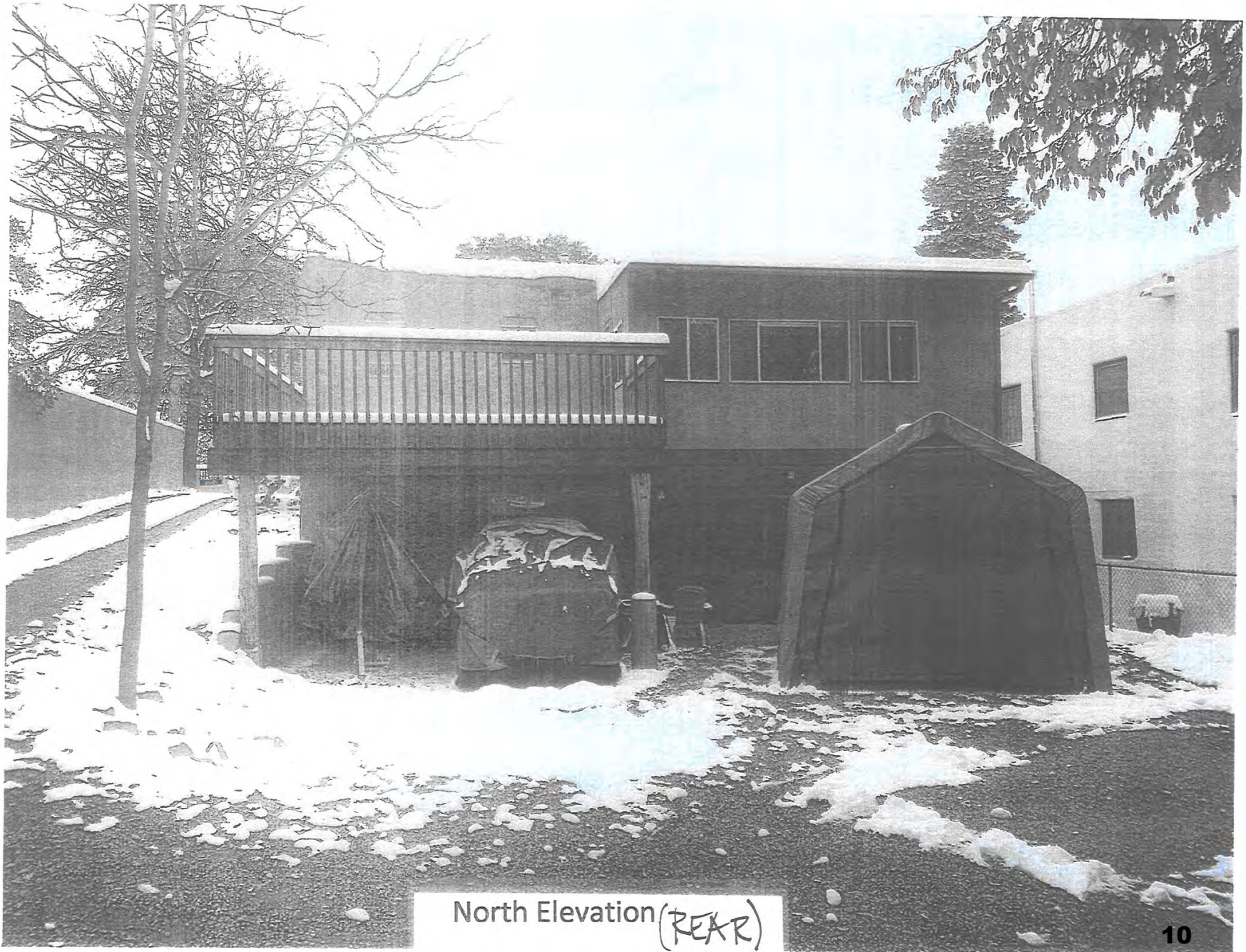
Photo #2 Notes:
roll 3, negative 3, north
elevation



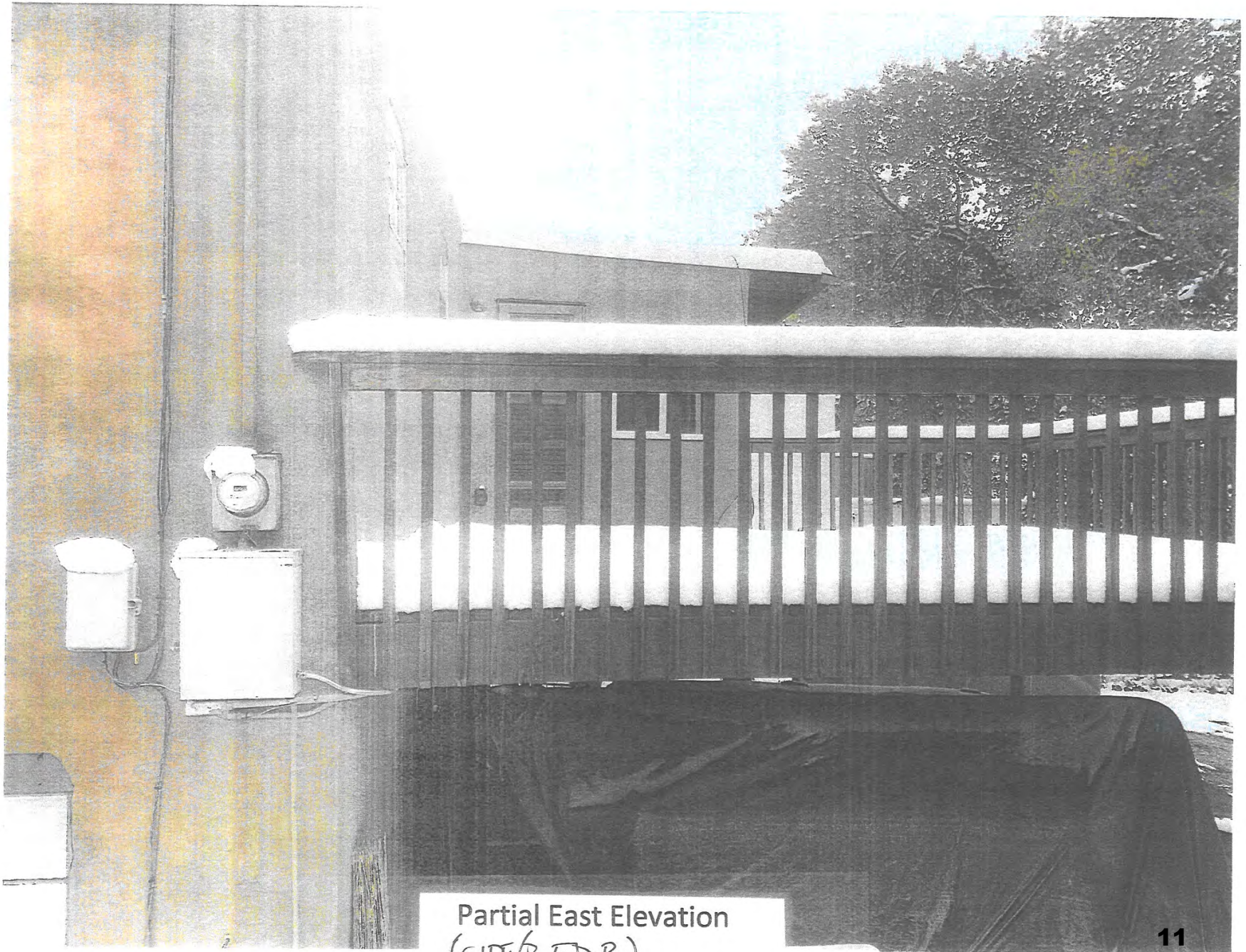
South Elevation FRONT



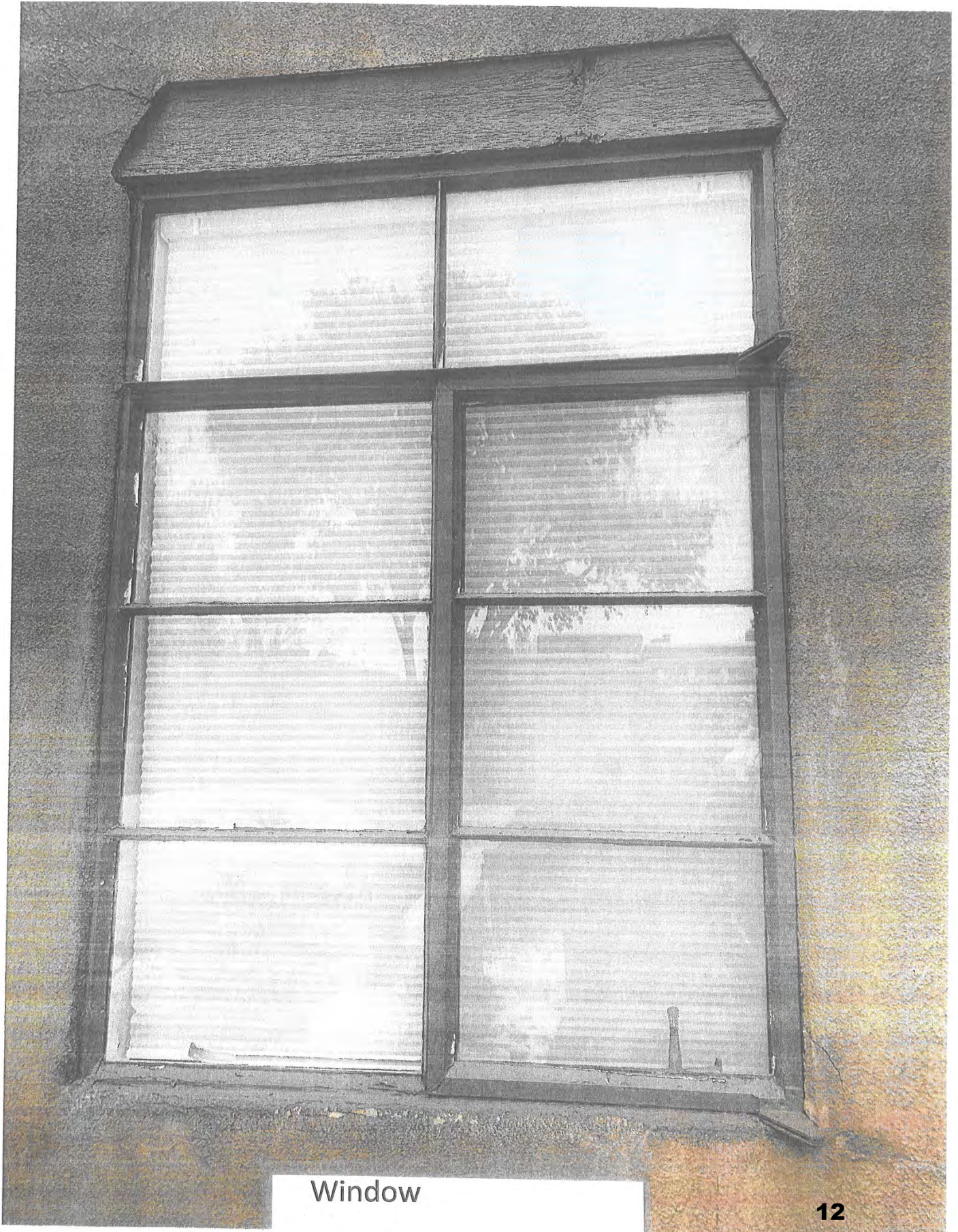
West Elevation (SIDE)



North Elevation (REAR)



Partial East Elevation
(SIDE/REAR)



Window

H+A

November 3, 2020

Historic Preservation Division
Land Use Department
City Hall
201 Lincoln Ave.
Santa Fe, NM 87501

Re: 119 Kearny Street

Dear HPD,

Please find attached the plans for the existing house at 119 Kearny Street. We are requesting a status review of this property. We have also included a copy of the HCPI for this property along with a plat and warranty deed.

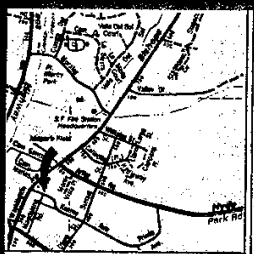
Thank you for reviewing this status.

Sincerely,



Craig Hoopes, AIA

Hoopes + Associates, Architects Ltd. Co.
PO Box 9427
Santa Fe, NM 87504
505.986.1010



PLAT OF BOUNDARY SURVEY
FOR
RALPH WILLIAM HUBER
LOT 4 OF THE KEARNEY ADDITION
CITY OF SANTA FE,
SANTA FE COUNTY, NEW MEXICO.

039#006

LOCALITY MAP



SCALE 1" = 100'



LEGEND

- USCLO brass caps found and used
- Points found and used as noted
- 1/2" Copied from plat set this survey
- Power poles
- Fences
- Wells
- Concrete

NOTES

1. BASIS OF RECORD: PLAT OF SURVEY OF THE KEARNEY ADDITION TO THE CITY OF SANTA FE, BY JAMES O. HARVEY DATED DECEMBER 1898, FILED IN PLAT BOOK 4, PAGE 333, RECORDS OF SANTA FE COUNTY, NM.
2. THIS SURVEY IS BASED ON THE ABOVE MENTIONED PLAT, RECORDS AND EXTENDED BY () AND FROM SAID PLAT.
3. THIS PLAT IS IN ZONE 14, NOT IN A DESIGNATED PLAT ZONE.

CERTIFICATE

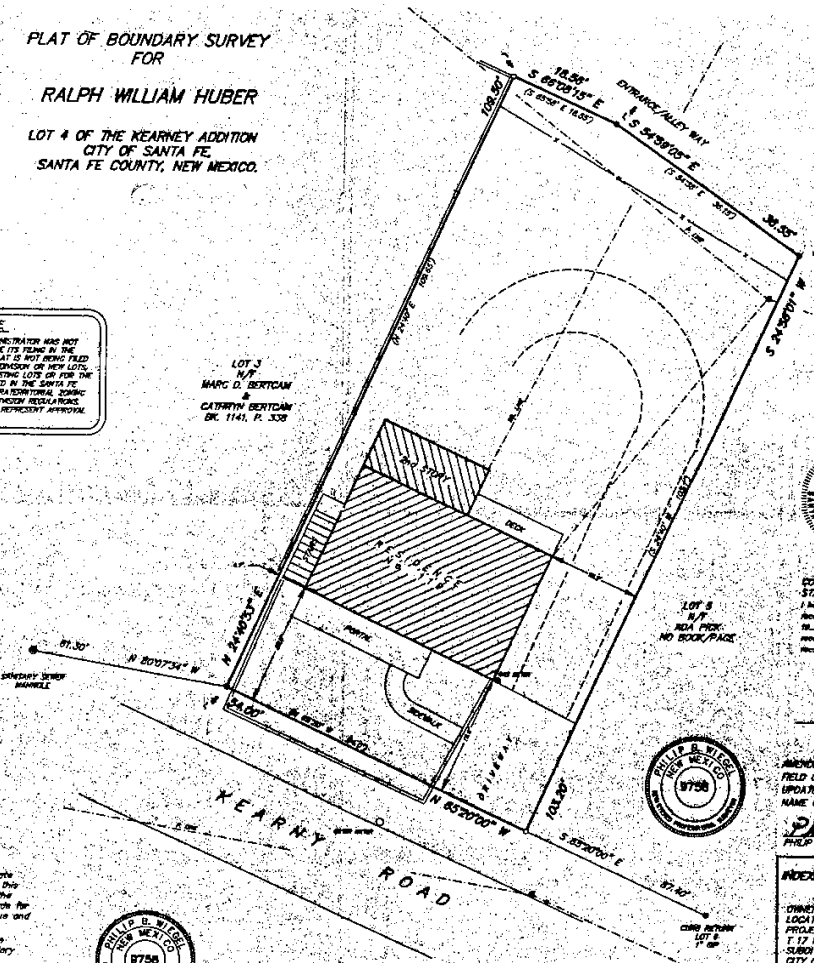
I, Philip B. Waigel, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that this survey and plat represent an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract or tracts.

Philip B. Waigel 13 October, 1992
Philip B. Waigel
P.O. Box 22773
Santa Fe, NM
P.S. No. 8758



LOT 3
M/F
MARG D. BERTICAM
&
CATHERINE BERTICAM
DK. 1141, P. 338



COUNTY OF SANTA FE
STATE OF NEW MEXICO
I hereby certify that the within plat was filed for record on the 13th day of October, 1992, and that the same is correct to the best of my knowledge and belief.
Records of Santa Fe County

Witness my Hand and Seal of Office
ROBERT BUSTAMANTE
County Clerk, Santa Fe County, New Mexico
Robert Bustamante

AMENDMENT:
FIELD CHECK AND IMPROVEMENTS
BROUGHT BY PH. WAIGEL
NAME CHANGED IN TITLE
Philip Waigel
PHILIP B. WAIGEL DATE

INDEXING INFORMATION FOR COUNTY CLERK
BOUNDARY SURVEY

DRAWN: JAMES A. GRANT
LOCATION: 118 KEARNEY ROAD
PROTECTED BY 1/4 OF SECTION 34
T. 17 N. R. 9 E. N.M.P.M.
SUBDIVISION: KEARNEY ADDITION
CITY OF SANTA FE, SANTA FE COUNTY, NM
UPC No.: T-054-099-359-330

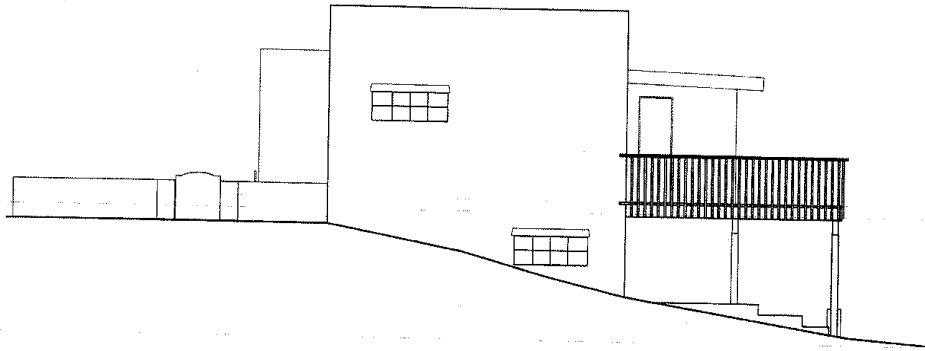
DEL RIO SURVEYS, INC.
P.O. BOX 22773 SANTA FE, NM 87500-9200
PROJECT No. 8858499 DATE OF THIS PLAT 10/13/92



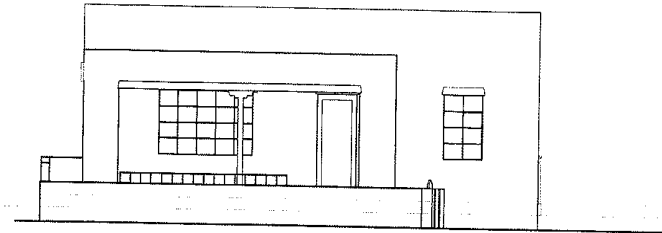
01 WEST ELEVATION
scale: 1/4" = 1'-0"



01 NORTH ELEVATION
scale: 1/4" = 1'-0"



01 EAST ELEVATION
scale: 1/4" = 1'-0"



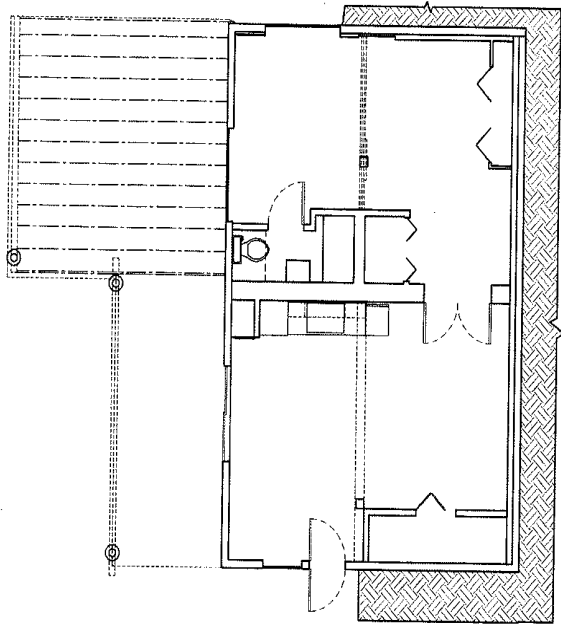
01 SOUTH ELEVATION
scale: 1/4" = 1'-0"


H+A
HOOKES + ASSOCIATES ARCHITECTS
334 ADAMS STREET, SUITE 200
SPRINGFIELD, MA 01103
P. 413.746.1310
F. 413.746.1311
WWW.HOOKESARCHITECTS.COM

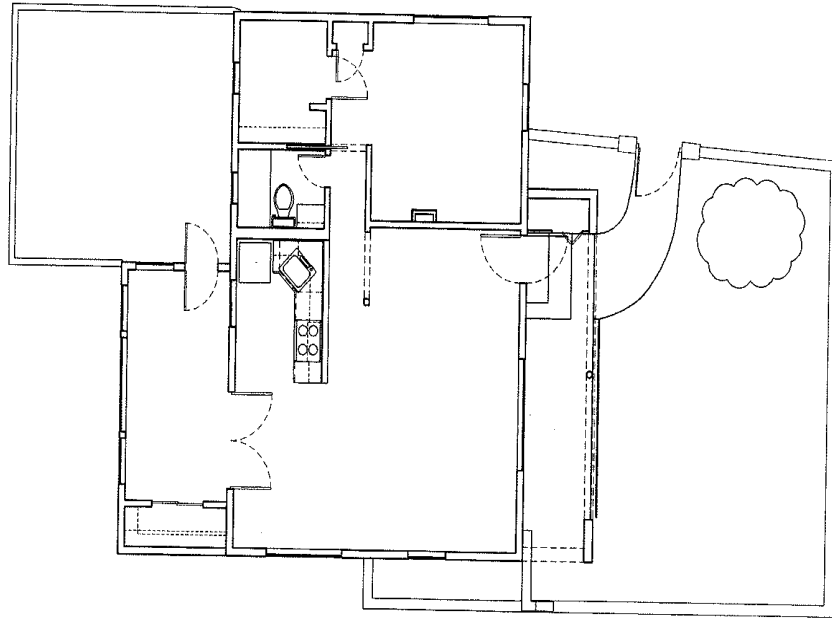
SNEAD RESIDENCE
REMODEL
2013
110 SPRINGFIELD
SHELTER, MA 01103
ISSUE DATE: 11.30.2010


EXISTING
ELEVATIONS

IN PROGRESS NOT FOR CONSTRUCTION



02 LOWER LEVEL
scale: 1/4" = 1'-0" 



01 UPPER FLOOR
scale: 1/4" = 1'-0" 

ORIGINAL PLAN sqft: 1515 sqft

ADDITION sqft: 150 sqft

H+A
HOOPER + ASSOCIATES ARCHITECTS
313 MONTEZUMA AVE. SUITE 209
SAN JOSE, CA 95128
P: 408.961.1212
W: WWW.HOOPERARCHITECTS.COM

SNEAD RESIDENCE
REMODEL

705
181 KETCHUM RD
SAN JOSE, CA 95128

ISSUE DATE: 11.20.2003

EXISTING FLOOR
PLAN

A-101₆



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Elisabeth Wagner, agent for Will Gorham, owner, replace windows and doors, re-roof, install HVAC and skylights, remodel the portal and entry, and install hardscaping on a non-contributing casita.

Case number: **2020-002864-HDRB**
Project Type: **HDRB**

PROJECT LOCATION (S): **1668 Cerro Gordo Road**

OW – Will Gorham 37 Clermont Lane St. Louis, MO63124 WillPGorham@gmail.com

AP – Elisabeth Wagner 810 east Palace Avenue Unit A Santa Fe, NM 87501 ewagner@newmexico.com

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtowu and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS:

North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER

YEAR OF CONSTRUCTION

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME

City of Santa Fe, New Mexico

memo

DATE: December 8, 2020
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner *ASB*
Historic Preservation Division

Case # 2020-002864-HDRB

Address: 1668 Cerro Gordo
Historic Status: Non-Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: Stucco, paint, stain, metal roof,
and light fixture samples

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with 14-12 Noncontributing Structure and 14-5.2(E) Downtown and Eastside Design Standards: (1) Old Santa Fe Style.

BACKGROUND & SUMMARY:

1668 Cerro Gordo is a 796 sf guesthouse (casita) listed as non-contributing to the Downtown and Eastside Historic District. South of the casita is the main house, out of public view. The casita fronts Cerro Gordo Road to the north. The casita blocks the main house (2,805 sf) from view. The house and casita are Spanish-Pueblo Revival style. The casita is referred to as a “cottage” listed on the NM Historic Building Inventory Form (HCPI). The date built is unknown. The current owners converted it into a garage in 1970. It was later converted to a casita in 1976, during which was added a small kitchen, bedroom, bath, and entry portal to the west. New doors and windows were added. Tags on the plumbing installed at that time reference the date 1972.

The main house was built before 1944. Information from the owner and visual evidence indicate that the oldest portion of the house, at the northeast corner, dates from the late 1930s or early 1940s. The southeast section was added in the 1940s. A much larger addition completed in the 1960s nearly doubled the size of the house. This addition includes the rooms along the west and the west and south-facing portales.

This proposal is for the casita only at this time. The applicants plan to restore and remodel the main house in the future. For now, the applicant proposes the following exterior alterations to the casita:

1. Replace windows. The applicant proposes to remove the existing north façade wall portion that “bumps out” and has four undivided lite casement windows. In its place, a new wall will be constructed to be flush with the existing west façade. New windows will be true divided lite casements. Other existing windows are metal sliding and/or do not meet egress code. The replacement windows will be true divided lite casements. All windows will be “K-Kron white” (Kolbe and Kolbe).
2. Replace the north elevation main entry door and the south elevation rear doors. Exterior doors also will be “K-Kron white”.
3. Reconfigure the casita’s west façade front entry. The existing entrance drops significantly from the driveway into a front entry alcove. Narrow and steep steps lead to the front door. The applicant wishes to shift the front door facing the north to face the south, so that the entry will no longer face the gravel parking area. The proposal is to enlarge the entry area by creating a brick landing and correct the rise and run of the exterior steps that would connect to new brick paths on the west side of the property leading to the rest of the property and to the main house.
4. The current front entry portal (approximately 25 sf) shed roof is steep. It will be rebuilt to have a shallower pitch. The new pitch will be 2/12, 2 inches vertical drop for every 12 inches of horizontal distance. A new standing seam metal roof, new decking, and columns will be added. The posts, beams, and decking will be Benjamin Moore’s “atrium

white". The existing portal's standing seam metal roof is dark red. New portal roof will be "galvalume", which is a highly reflective, silver spangled color that weathers in unique patterns over the life of the roof for a rustic, natural appearance. Galvalume® is the successor to the Galvanized coating that has been in use since the 1800s. In other teams, the color is gray and silver spangled. (from Galvalume website).

5. On the casita's rear façade, the south elevation, the applicant proposes to add an 8 sf overhang. The overhang will match that of the standing seam metal roof on the front of the house, also galvalume.
6. The applicant proposes to re-roof the casita and relocate canales. The canales will be stained Cabot semi-solid "Dark Gray".
7. The applicant also proposes to construct new parapets to level the roofline. The building height varies from 10'-0" to 8'1" above grade on the north elevation. On the west elevation it varies from approximately 12' to 13' to 14' above grade. It varies 10'-10" to 11'11" above grade on the south elevation. On the east elevation it varies from 7'8" to 10'-0" above grade.
8. New stucco will be cementitious El Rey "Buckskin".
9. An existing skylight will be replaced and two skylights will be added. They will not be visible from the public right-of-way.
10. New exterior lighting on all exterior doors. The lights will be Artesanos #526 "Bola Arriba/Bola Abajo" (closed cells) for exterior sconces.

The applicant has provided more details about all materials, colors and light fixtures in the packet.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant: Date Submitted: <u>Oct. 19, 2020</u> Property Owner of Record: <u>WIK GORKHAM</u> Applicant/Agent Name: <u>ELISABETH WAGNER</u> Contact Person Phone Number: <u>905 690-1014</u>	Site Address: <u>10668 1/2 CERRO GORDO</u> Proposed Construction Description: <u>replace doors/windows, rebuild entry porch, level porch, re-roof, re-structure, interior remodel</u> TOTAL ROOF AREA: <u>790 SF</u>
Zoning District: <u>R-2</u> Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____ Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____ Terrain: <input type="checkbox"/> 30% slopes _____	Lot Coverage: <u>22 %</u> <input type="checkbox"/> Open Space Required: _____ Setbacks: Proposed Front: _____ Minimum: <u>7'</u> 2 nd Front? _____ Proposed Rear: _____ Minimum: <u>15'</u> Proposed Sides: <u>L 10' R 10'</u> Minimum: <u>10'</u> Height: Proposed <u>14'-5" ± less</u> Maximum Height: <u>24'</u> or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District Parking Spaces: Proposed <u>4</u> Accessible _____ Minimum: <u>4</u> Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Elisabeth Wagner [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

EWagner Oct. 19, 2020
SIGNATURE DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

REVIEWER: _____ DATE: ___/___/___

elisabeth wagner aia

September 17, 2020

Historic Design Review Board
City of Santa Fe
P.O. Box 909
Santa Fe, NM 87504

Members of the Board,

It is our pleasure to submit a proposal to restore the Casita at 1668 Cerro Gordo Road. The Casita sits just north of the Main House of the same address. The Main House was built pre 1944 in the Spanish Pueblo Revival style. Visual evidence and owner information indicate that the oldest portion of the house, at the northeast corner, dates from the late 1930's or early 1940's. The first listing for this address in the Santa Fe Directory is 1944. The southeast section was added in the 1940's. A much larger addition, completed in the 1960's, nearly doubled the size of the house. This addition includes the rooms along the west and the west and south facing portals.

What is now the Casita is referred to as a cottage listed on the NM Historic Building Inventory Form. The date it was built is unknown. The current owners converted it into a garage in 1970. It was later converted to a Casita in 1976 by adding a small kitchen, and out of the footprint a bedroom and bath and entry portal to the west. New doors and windows were added. The date 1972 is referenced by tags on the plumbing installed at that time.

Both buildings are non-contributing.

We submit a proposal for the Casita only at this time. We plan to submit a proposal to restore the Main House at a later date.

The existing Casita is 634 square feet. The existing portal is 50 square feet. The building height varies from 10'-0" to 8'-1" above grade on the north elevation. 12'-2" to 13'-6" to 14'-5" above grade on the west elevation. 10'-10" to 11'-10" above grade on the south elevation. And 7'-8" to 10'-0" above grade on the east elevation.

810 E. PALACE AVENUE #A
SANTA FE, NEW MEXICO 87501

We propose to renovate completely the interior: new kitchen, bathroom, demo a banco, new HVAC system, new floors, new plaster walls and ceiling, skylights.

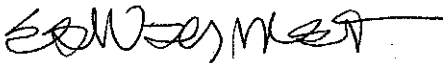
For the exterior, we propose to replace all the doors and windows. We would like to remove the projected wall at the north elevation and install large casement windows with muntins. This large window will flood the interior space with light and will project a lovely arrival ambiance. Some of the other windows are rather contemporary and do not meet egress code. We would like to replace with casement windows with muntins. The doors are old and rickety....actually the front door is an interior door 1-3/8" thick. We would replace with historically correct doors. Additionally, we propose to excavate the entry/arrival area. We would like to enter the front portal from the west instead of from the gravel parking lot on the north. The current steps are dangerously steep and very narrow. We would enlarge the arrival space from the west, create a comfortable brick landing and correct riser/run exterior steps that would connect to new brick paths leading to the rest of the property and to the Main House. The new arrival area will require retaining walls. We propose to rebuild the portal with a more gentle slope (2 in 12) install a new standing seam metal roof (galvalume) new decking, proper columns. Further exterior changes include new roof, new parapets to level the roofline, new stucco. The new roof will require new placement of canales. Nothing visible on the roof. New exterior lighting at all exterior doors.

We will provide:

- cut sheets for the exterior lighting
- color swatches for paint and stucco
- color sample for white K-Kron finish on Kolbe & Kolbe doors and windows
- stain color swatches for new roof canales
- color sample for galvalume metal roof

We respectfully submit our proposal and look forward to a favorable response and a successful collaboration for the restoration of the Casita at 1668 Cerro Gordo Road.

Cordially,



Elisabeth Wagner Architect



1668
Genio Gordo

FRONT
NORTH

8
north
elevation



1668
Cento Gordo

WEST
SIDE OF
FRONT PORTAL

West
9
elevation



7668

NORTH FACADE
(FRONT)

ENTRANCE PORTAL

10668
CERTO CERTO

NO 1911N
elevation
10

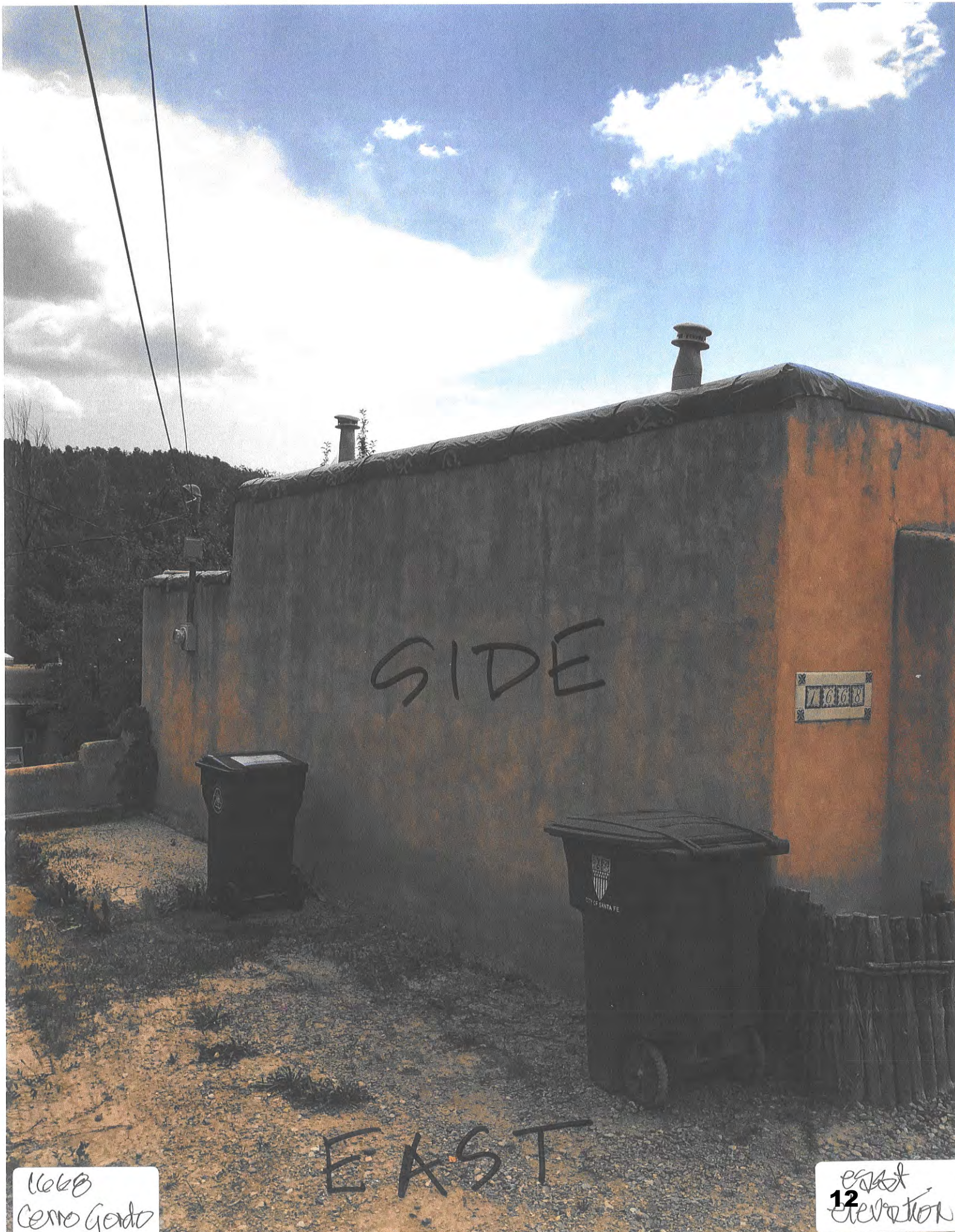


NORTH

FRONT ENTRY

1668
Cento Gordo

NORTH
11
deviation



SIDE

7161618

EAST

11668
Cerro Gordo

east
12
elevation

REAR

SOUTH

1668
Cerro Gordo

South
13
direction

SOUTH

EAST

W608
CENTO GORDO

east
14
elevation

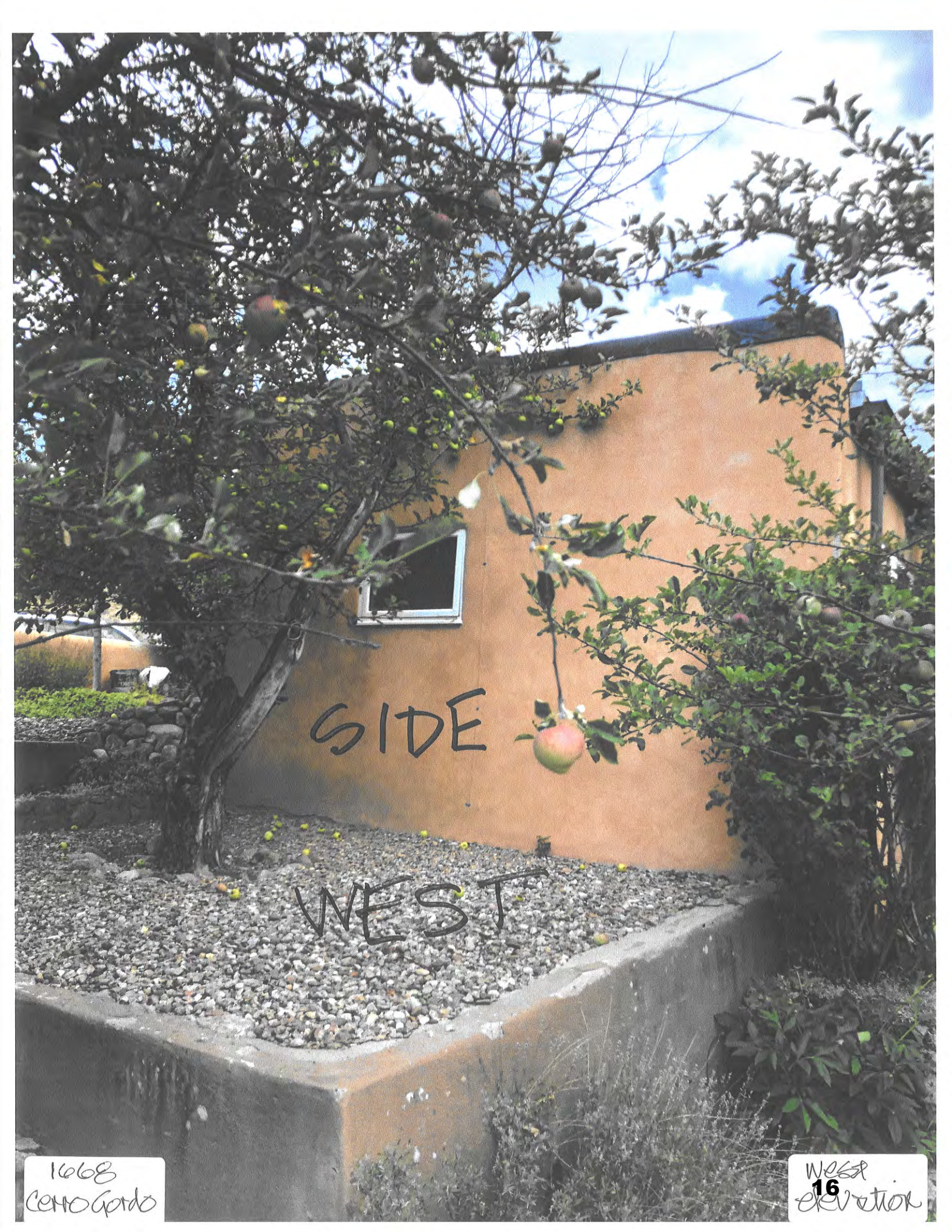
REAR

BACK
DOOR

SOUTH

1668
Cerro Gordo

40 Vpn.
15
Elevation




SIDE

WEST

1668
Cerro Gordo

WEST
16
elevation

A photograph showing the rear view of a house with a light-colored stucco exterior. A window with a white frame is visible on the right side. The house is partially obscured by green foliage. The sky is blue with some clouds. Handwritten text in black ink is overlaid on the image.

REAR
SOUTH

1668
Cento Gordo

South
17
direction

REAR
SOUTH

1608
Cento Gordo

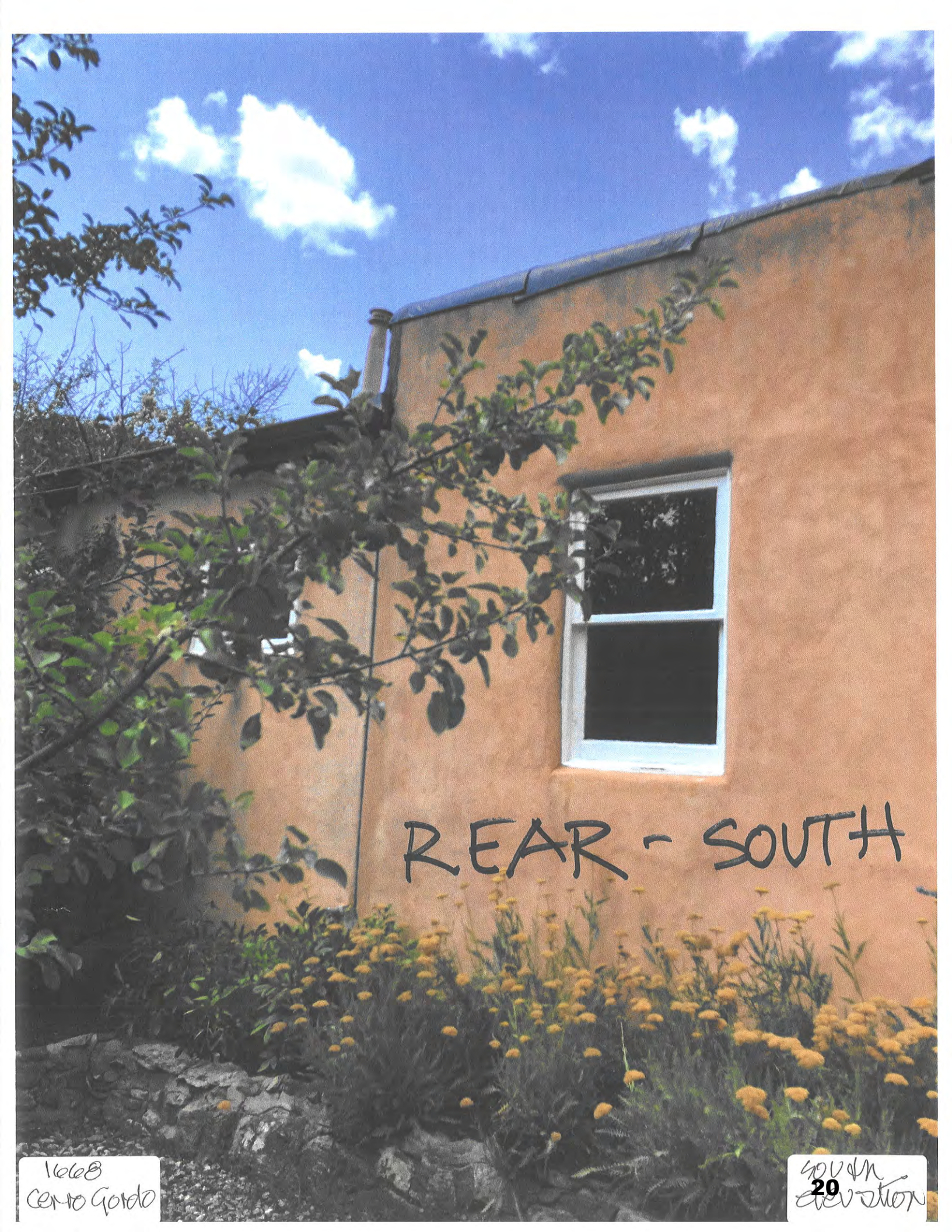
South
18
elevation



REAR
SOUTH

1668
Cerro Gordo

south
elevation
19



REAR - SOUTH

1668
Cerro Gordo

400 ft
elevation
20

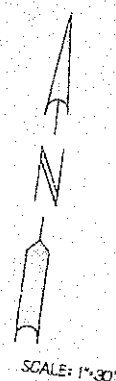
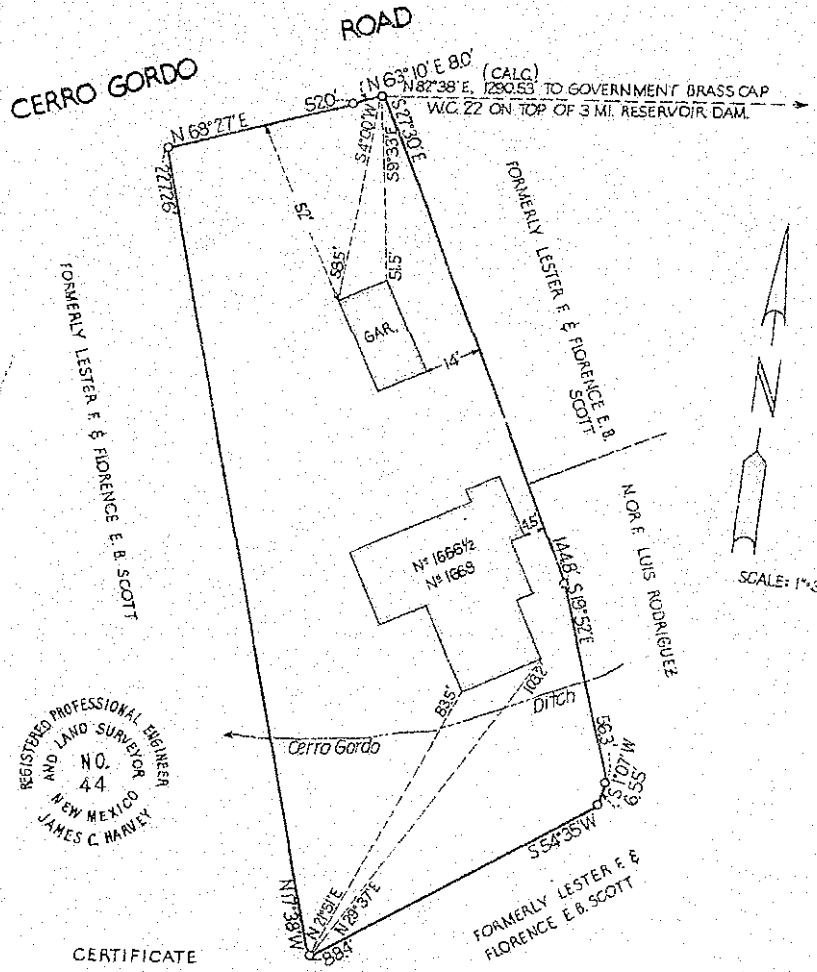
REAR
SOUTH

16008
Cemo Gordo

21
South
Elevation

o Indicates lot corners (all corners located).

7



REGISTERED PROFESSIONAL ENGINEER
AND LAND SURVEYOR
NO. 44
NEW MEXICO
JAMES C. HARVEY

CERTIFICATE

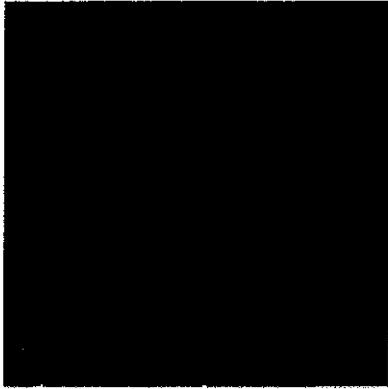
I hereby certify that this plat and the field notes thereon are a true and correct copy of an improvement survey made in the field under my direction and that there are no encroachments on this property as shown on this plat April 9th 1962. *James C. Harvey*

SURVEY MADE FOR
WILLIAM BOOKER KELLY
WARD 4-SANTA FÉ, N. MEX.

FL2132

BENJAMIN MOORE®
COLOR PREVIEW®

PM



PM-14

annapolis gray

PM-13

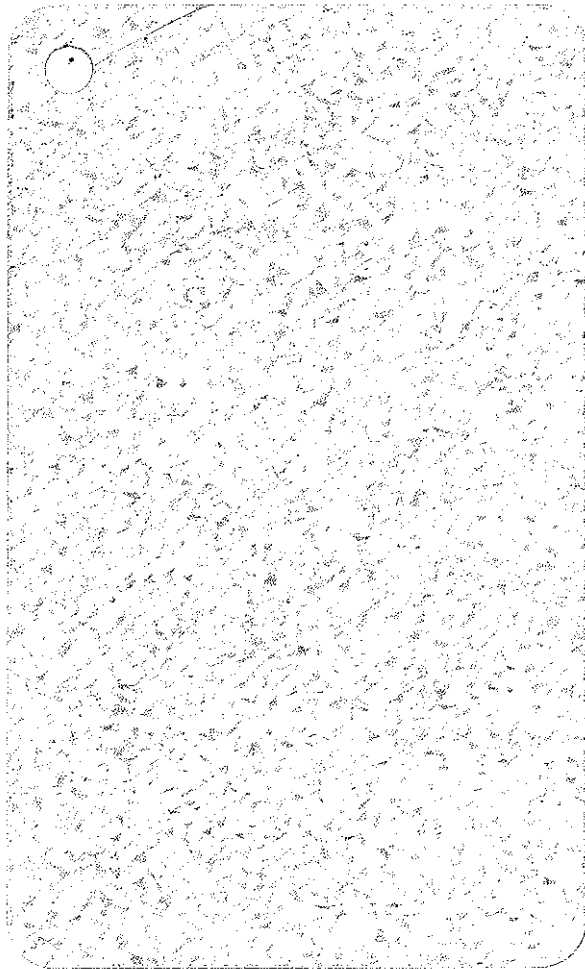
atrium white

Benjamin Moore "atrium white" @
portal posts, beams, & decking



Kolbe & Kolbe

"K. Kron white" @ all exterior doors &
windows




Submitted for your:

Reference
 Approval
(One sample must be returned)

Paint System _____
Paint Color **Galvalume Plus**
Project _____

Approved:
Company _____
By _____
Title _____
Signature _____
Date _____


Order Products Online at shop.MBCI.com
Home Office: 281-445-8555

MBCI standing seam metal roof @ port of \approx
over hang @ kitchen
"galvalume"



Semi-Solid Stains

FULL COLOR THAT SHOWS WOOD TEXTURE AND SOME GRAIN.

- > Beautiful color
- > Scuff-resistant protection waterproofs and resists fading and peeling

MOST POPULAR

Cordovan Brown	Mission Brown	Brickstone	Redwood	Chestnut Brown	New Cedar
Linen	Nantucket White	Silver Lining	Silver Beech	Seacoast Gray	Ultra White
Desert Blush	Tuscan Gold	Cape Cod Gray	Mulberry	Smoke Blue	Sky Gray
Terra	Colonial Yellow	Dune Gray	Sycamore	Victory Gray	Chesapeake
Indian Corn	Cavalry	Mountain Brush	Sagebrush	Newport Blue	Federal Blue
Tile Red	Frontier	Pepperwood	Thicket	Driftwood Gray	Foothill
Barn Red	Red Cedar	Salt Marsh	Evergreen	Fieldstone	Newburyport Blue
Oak Brown	New Redwood	Acorn	Rocky Tundra	Pewter Gray	Dark Slate
Plum Island	Taupe	Thatch	Wooded Bog	Dark Gray	Black

Want semi-solid "Dark Cedar" or Newburyport Blue



511 Guanajuato ♦



512 Esfera ♦



513 Abanico



514 Small Puebla ♦



515 Margarita ♦



516 Puebla ♦



517 San Francisco ♦



518 Espiga ♦



519 Uno ♦



520 Mexico ♦



521 Chiminea ♦



522 Parroquia ♦



523 Monja ♦



524 Cilindro ♦



525 Cascada ♦

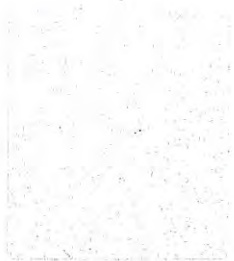


526 Bola Arriba/Bola Abajo

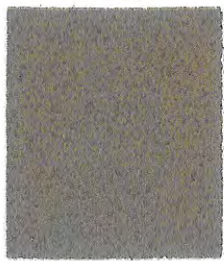
Antesanos # 526 (closed cells) for exterior sources 26



102 CAMEO (67)



100 COLONIAL WHITE (76)



212 MADERA (24)



90 CANDLELIGHT (75)



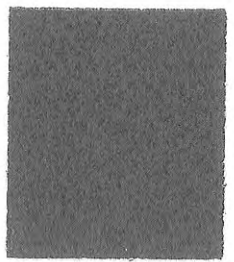
127 HACIENDA (52)



128 CREAM (70)



129 IVORY (70)



197 LA MORENA (19)



30 SOAPSTONE (66)



117 FAWN (45)



119 PALOMINO (55)



101 NAVAJO WHITE (71)



121 SANDALWOOD (56)



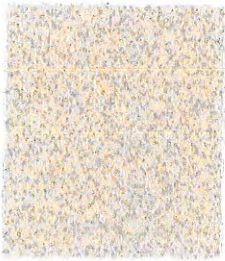
122 STRAW (42)



106 BUCKSKIN (35)



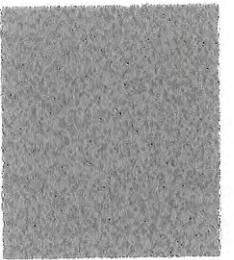
108 KOKANEE (54)



103 SAND (52)



107 DENIM (44)



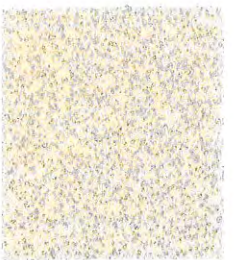
135 SAHARA (35)



116 ADOBE (24)



118 SUEDE (38)



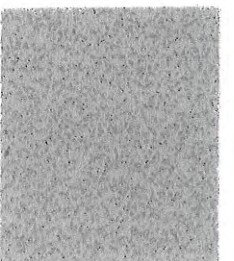
105 BAMBOO (47)



110 ASH (64)



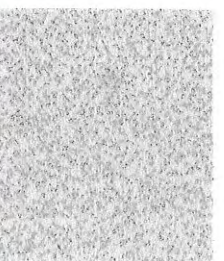
80 SOFT ROSE (60)



115 COTTONWOOD (32)



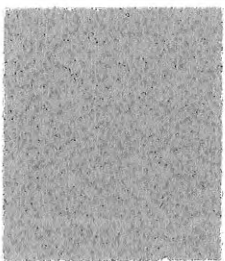
114 DESERT ROSE (39)



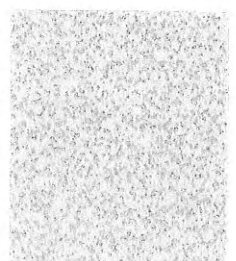
130 PUEBLO (53)



125 LA LUZ (20)



124 CORAL (35)



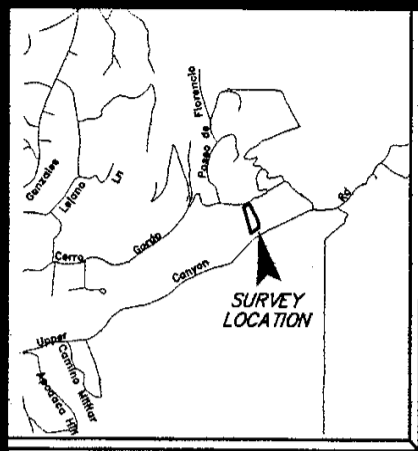
113 DOVE GRAY (50)

El Rey cementitious "BUCKSKIN"

Boundary Survey Plat for Daniel K. Gorham

448007

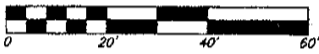
On a certain tract of land located within Section 20, T.17 N., R.10 E.
N.M.P.M., City and County of Santa Fe, New Mexico
1668 and 1668 1/2 Cerro Gordo Road.



VICINITY MAP



SCALE: 1" = 20'



LEGEND

- USGLO Brass Cops found and used.
- Points found and used as noted.
- 1/2" Capped iron pin set this survey.
- Power poles.
- x— Fences.
- x— Walls.
- Concrete.

NOTES

- 1.) Basis of survey and basis for this survey was taken GPS observations between found monuments in the field (W.G.S. 84- Grid Local).
- 2.) Reference Documents: Survey for William Booker Kelly, by James C. Harvey, dated April 9, 1962, as proj. #FL2132. Bearings and distances in () are from this plat.
Boundary and easement survey for Sangre De Cristo Water Co., recorded in Bk. 351, Pg. 44.
Right of Way easement recorded in Bk. 298, Pg. 56.
Right of Way easement recorded in Bk. 321, Pg. 40.
Right of Way easement recorded in Bk. 80, Pg. 141-146.
- 3.) F.I.R.M. Panel No. 350070-0006C, Zone "C", outside a designated 100 year flood plain area.

COUNTY OF SANTA FE 1121 } SS 804
STATE OF NEW MEXICO }
I hereby certify that this instrument was filed for record on the 3 day of July, A.D. 2000, at 7:44 o'clock, and was duly recorded in book 488 page 607 of the records.

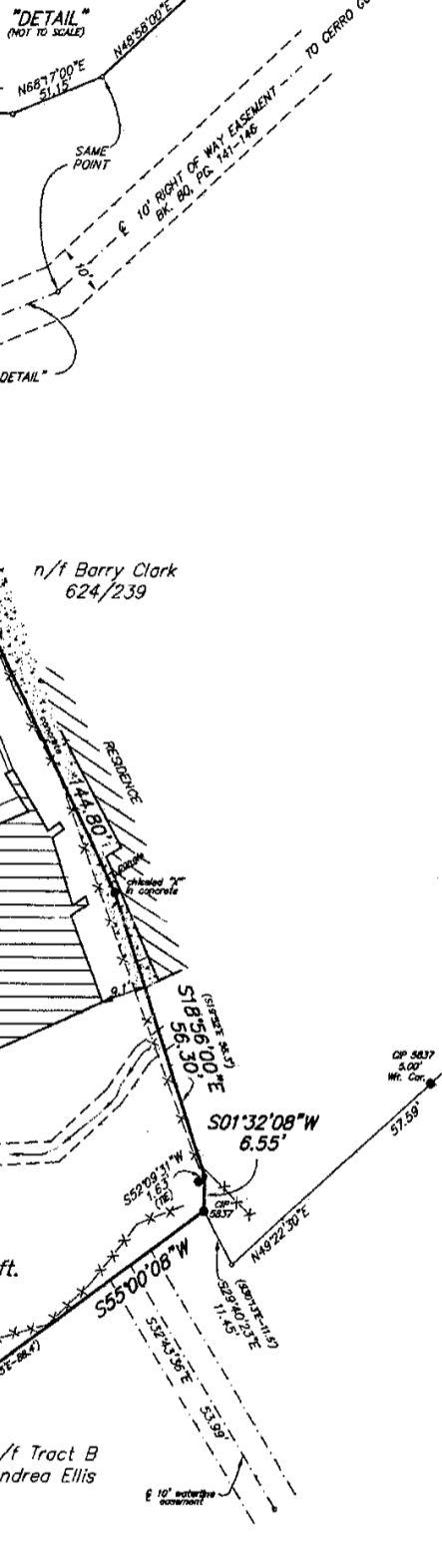
Witness my Hand and Seal of Office
Rebecca Buzamante
County Clerk, Santa Fe County, N.M.
Rebecca Buzamante



CERTIFICATE

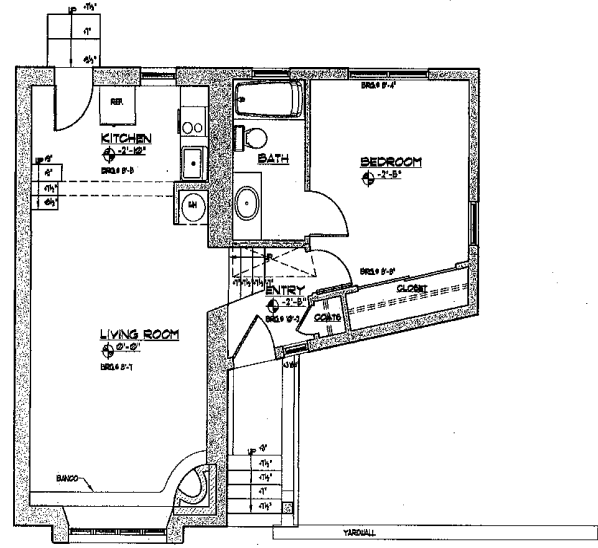
I, Allen C. Grace, a duly registered Professional Surveyor in the State of New Mexico hereby certify that this plat represents an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.
I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract or tracts.

Allen C. Grace June 16, 2000.
Allen C. Grace P.S. No. 12443
331 VILLEROS ST. Santa Fe, NM.

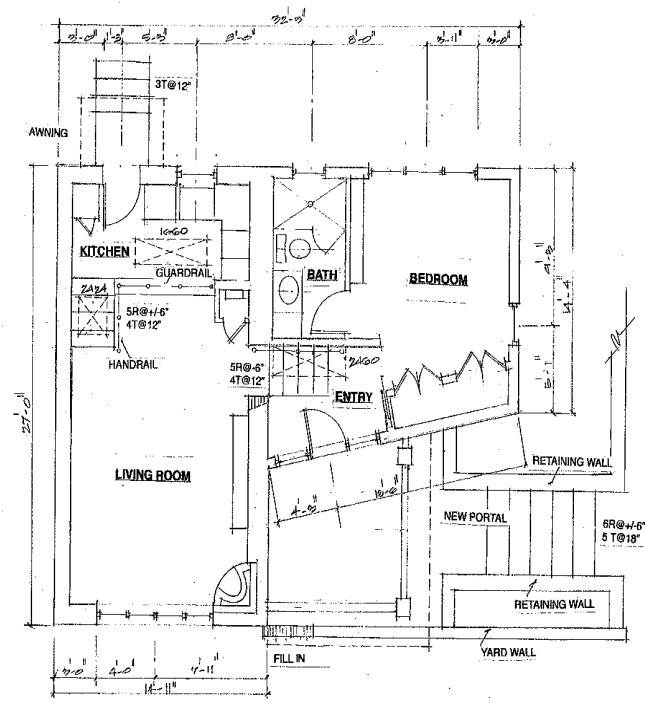


U.P.C. #1-056-099-365-148

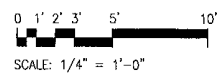
XYZ SURVEYING & DRAFTING		
331 VILLEROS ST.	SANTA FE, NM	982-5536
Project No. XYZ2K044	Dwg. ACG	Ck.
	File: 2K044	Bl. A
INDEXING INFORMATION FOR COUNTY CLERK		
NAME	LOCATION	SUBDIVISION
KELLY	SEC. 20, T17N, R10E	N/A

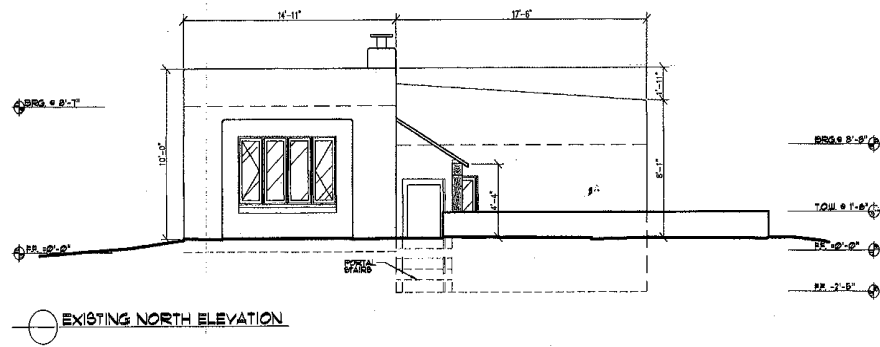


EXISTING FLOOR PLAN
1/4" = 1'-0"

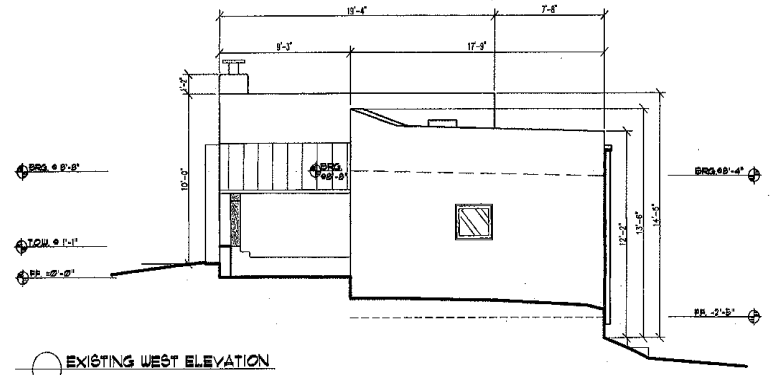


PROPOSED FLOOR PLAN
1/4" = 1'-0"

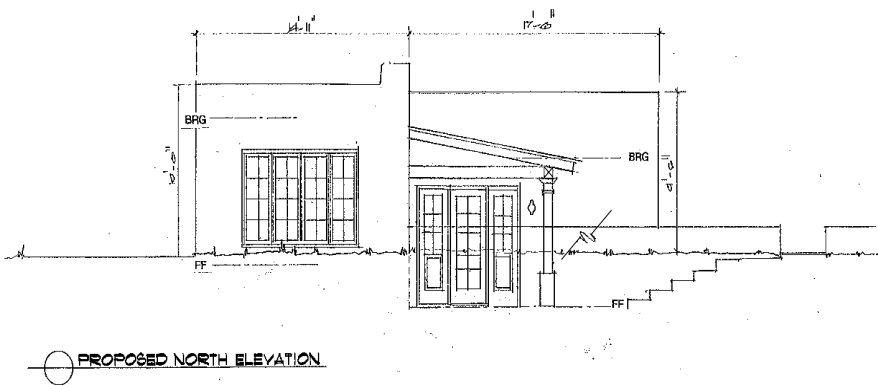




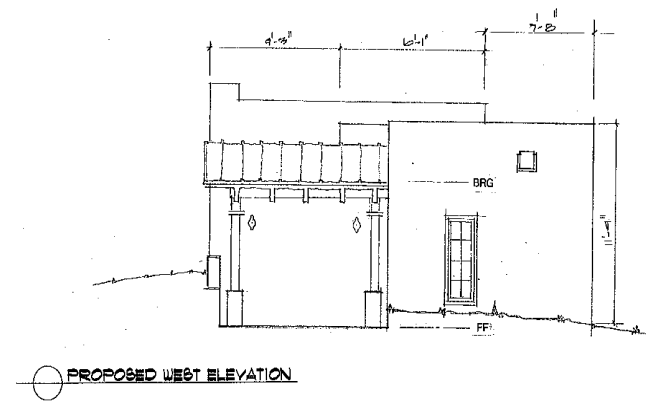
EXISTING NORTH ELEVATION



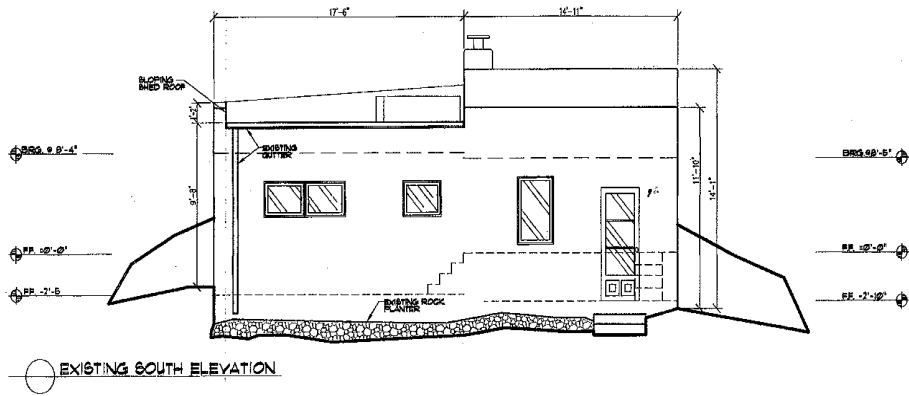
EXISTING WEST ELEVATION



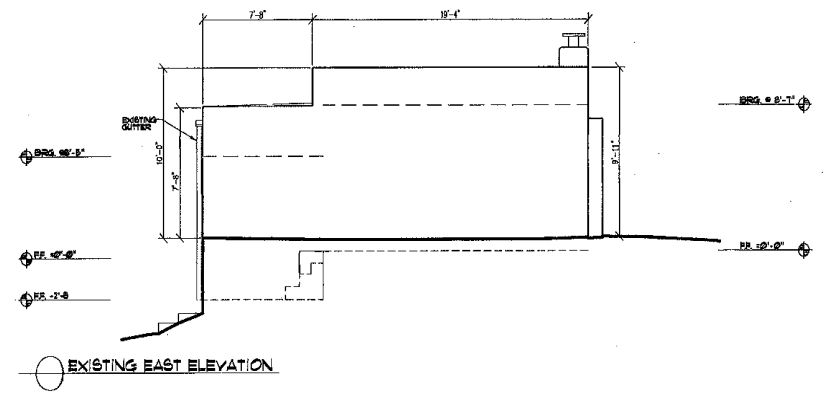
PROPOSED NORTH ELEVATION



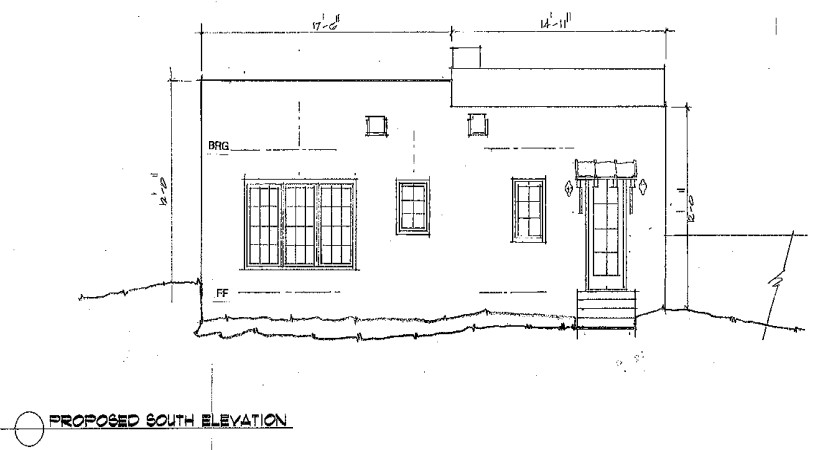
PROPOSED WEST ELEVATION



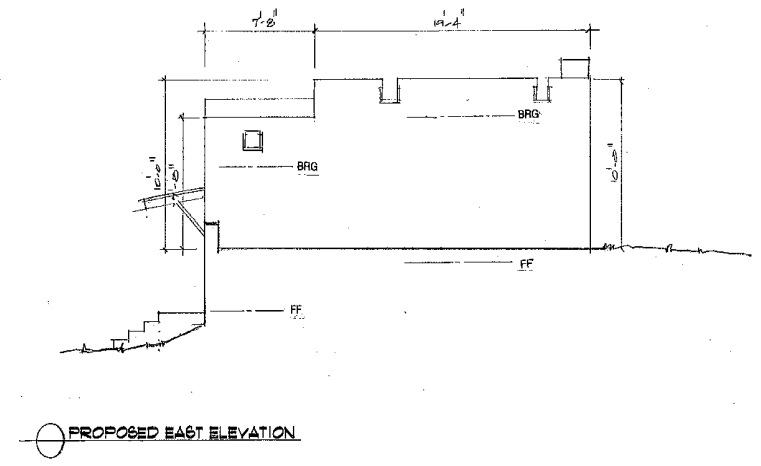
EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



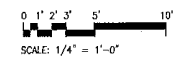
PROPOSED SOUTH ELEVATION

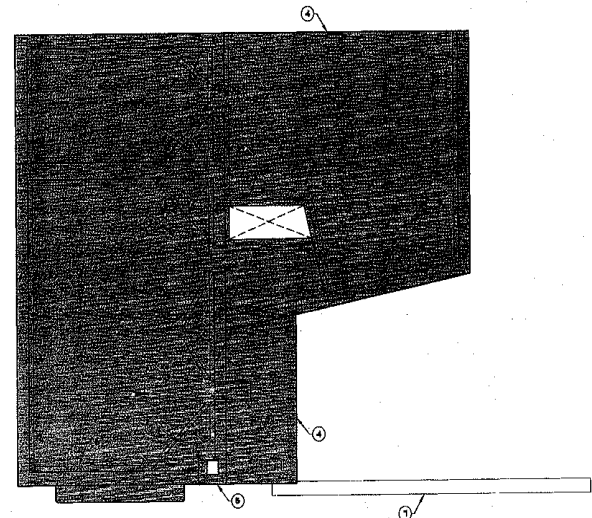


PROPOSED EAST ELEVATION

ELISABETH WAGNER-ARCHITECT
SANTA FE, NEW MEXICO

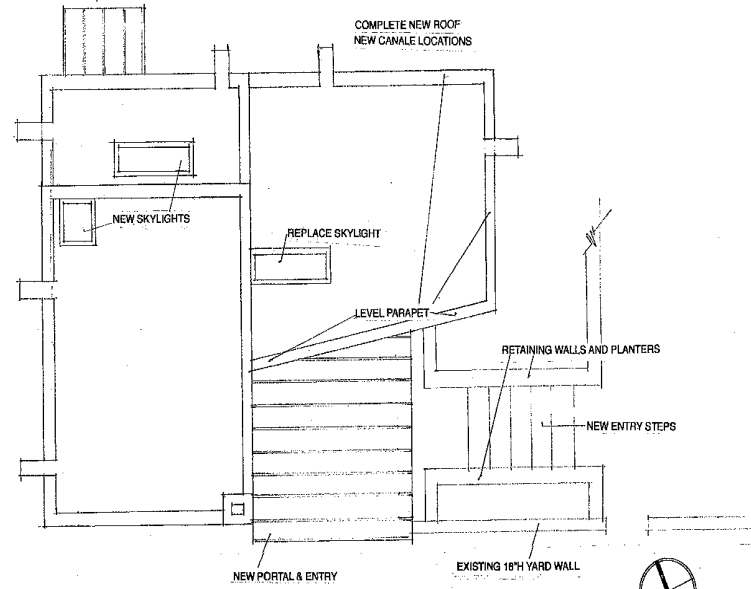
THE GORHAM RESIDENCE
1668 CERRO GORDO ROAD



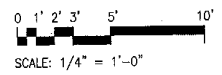


- KEY NOTES:
 1. SCUPPER THROUGH PARAPET WALL. 4. SHED ROOF. 7. STUCCOED CMU WALL BELOW.
 2. CRICKET CORNERS TO CANALES. 5. CHIMNEY FOR FIREPLACE.
 3. CANALE THROUGH PARAPET WALL. 6. INTEGRAL CANT. @ PERIMETER.

EXISTING ROOF PLAN
1/4" = 1'-0"



PROPOSED ROOF PLAN
1/4" = 1'-0"





CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Devendra Contractor, agent for John Utton, owner, proposes to raise the height of a previously approved structure to 13' from 10'6" where the maximum allowable height is 14'2", alter window and door dimensions, remove yardwalls and construct a 72" high yardwall on a non-contributing residential structure. (previous case H-19-002)

Case number: **2020-002853-HDRB**
Project Type: HDRB

PROJECT LOCATION (S): 675 Alto Street

OW – John Utton 675 Alto Street Santa Fe, NM 87501 utton@newmexico.com

AP – Devendra Contractor 924 Shoofly Street Santa Fe, NM 87501 devendra@dncarchitect.com

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS:

North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER

YEAR OF CONSTRUCTION

NEW

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME

City of Santa Fe, New Mexico

memo

DATE: December 8, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-002853-HDRB

Address: 675 Alto Street
Historic Status: Non-Contributing
Historic District: Westside-Guadalupe

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Yard wall
& fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(I) Westside-Guadalupe Historic District

BACKGROUND & SUMMARY:

675 Alto Street includes a residential building listed as non-contributing to the Westside-Guadalupe Historic District and new construction of a detached studio and guest house. The studio and guest house were approved by the Historic Districts Review Board on January 8, 2019 (Case # H-19-002) and are constructed of adobe brick and are still under construction. There is also a yard-wall on the north side of the property.

Now, the applicant proposes the following exterior alterations:

1. Replace and relocate the existing non-historic northern yard wall. The wall will be moved 6 feet to the north and will be built to a height of 5 feet, which is the maximum allowable height. Three openings approximately 1 foot 6 inches in height with arched tops will extend above this height to approximately 6 feet. This element is frequently found in the district and conforms to the district standards. The wall will be constructed from adobe and covered with a cementitious stucco colored either El Rey "Desert Rose" or "Adobe." The decorative doors in the wall openings will be constructed from wood and will be colored Sherwin Williams "Nifty Turquoise."
2. Raise the height of the studio from the proposed height of 10 feet 6 inches to 12 feet on the north side and 13 feet on the south side. The maximum allowable height is 14 feet 2 inches.

RELEVANT CODE CITATIONS:

14-5.2(D)

14-5.2(I) Westside-Guadalupe Historic District

(1) District Standards

Compliance with the following structural standards shall occur whenever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished:

- (a) Slump block, stucco, brick, or stone, shall be used as exterior wall materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials;
- (b) The color of stuccoed buildings shall predominantly be in browns, tans, local earth tones and soft pastels. Surfaces of stone or brick shall be in the natural color. Entryways, and portales or porches may be emphasized by the use of white or other colors. Painting of buildings with a color that causes arresting or spectacular effects or with bold repetitive patterns or using buildings as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation;
- (c) Roof form, slope, and shape. It is intended that buildings be designed to be "wall dominated". "Wall dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, or hipped roofs can be designed

as "wall dominated" solutions and are allowed. The height of the roof above the wall shall be no greater than the height of the wall. Folded plate, hyperbolic or mansard roofs are not allowed;

- (d) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south facing walls for trombe walls or other solar collectors, direct gain, or other energy collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened as follows:
 - (i) raising the parapet;
 - (ii) setting back from the edge of the roof;
 - (iii) framing the collector with wood;
 - (iv) in the case of pitched roofs, by integrating the collector into the pitch;
 - (v) in the case of ground solar collectors by a wall or vegetation;
 - (vi) in the case of wall collectors, by enclosing by end or other walls;
 - (vii) other means that screen the collector or integrate it into the overall structure. Non-glare materials shall be used in solar collectors.
- (e) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems;
- (f) Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of unstuccoed concrete block, unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in the street frontage;
- (g) Greenhouses
- (h) Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends and that greenhouses made from enclosed porches or portales maintain the shape of the porch or portal;
 - (i) Porches and portales are encouraged;
 - (j) When parking spaces are required for commercial or multi-family residential buildings, they shall be placed to the rear or side of the building.

(2) Walls; Fences; Solar Collectors; Administration

Applications for erection, alteration, or demolition of walls, fences, and solar collectors and required submittals shall be reviewed by the land use department. Approval, disapproval or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30)

WALL AND FENCE GUIDELINES SANTA FE HISTORIC DISTRICTS

[ADOPTED 24 AUGUST 1999]

Purpose and intent: These guidelines are offered to promote continuity and harmony of design elements that comprise streetscape in the Santa Fe Historic Districts, including, but not limited to walls, fences, open space and landscaping and their connectivity to the primary structure(s) on the property and the physical character of the street or public façade of the property. These guidelines are consistent with the purpose and intent, and standards in the Historic Districts Ordinance [Section 14-70 SFCC 1987].

SCALE:

Walls should not extend for more than 50 feet in a single, horizontal plane without a plane change of at least one foot.

Wall heights should modulate a minimum of 8 inches, or one block course, at least every 25'.

Walls should include openings such as gates, windows and niches at appropriate intervals.

Walls and fences in excess of 4 feet in height and having street frontage or visibility shall be brought to the HDRB for review and approval prior to submission for building permit review. Where there is a conflict between this guideline and the allowable height as calculated under Section 14-70.20 SFCC 1987, the latter shall prevail. [This supersedes the HDRB's 8/13/96 policy requiring the same for walls or fences in excess of 3 feet in height. It encourages the construction of lower privacy walls that still allow the structure on the site to make a contribution to the streetscape, and provide for a view shed into the property. This is recommended in response to the proliferation of inappropriately high yard walls that have been and are being constructed throughout the city's historic districts, causing an impact on the historic and visual character of the historic districts.]

Wall heights should be carefully regulated by the HDRB standards as calculable for the particular streetscapes [Section 14-70.20 SFCC 1987]; and should be restricted so as not to increase the allowable height for the streetscape by more than 20%.

Solid fences should be stepped back and modulated the same as walls.

Fences with fenestration, such as coyote fences, may continue in an unrestricted horizontal distance at the same height and in the same horizontal plane.

SETBACK:

Unfenestrated walls and fences (e.g. cedar stake, ponderosa slat) should setback from the front property line an average of 1 foot for every 10 feet of horizontal length of the wall. This could be accomplished in a single plane or with step backs as outlined above.

Open fences (e.g. wire and post, picket) or fenestrated fences (e.g. coyote) may be constructed without setback at the front property line, unless otherwise regulated by the underlying zoning.

Walls with openings comprising 20% of the surface area of a single plane may be constructed at the property line, unless restricted by the underlying zoning.

Side or rear walls or fences may be constructed at the property line as per that allowed by the underlying zoning.

Walls or fences within existing compounds should be restricted to privacy barriers to enclose courtyards, parking and private areas; and should be connected to and not extend more than 25 feet from the main structure. However, walls or fences should not be connected to significant structures. Desired connections may be made to significant structures by way of other means [e.g. Landscaping]. These treatments will help maintain traditional compound common elements, such as open space and the ability to communicate with neighbors, and therefore assist in the preservation of the character of existing compounds.

MATERIAL, TEXTURE AND COLOR:

Walls should be predominantly of the same material, texture and color as the main structure(s) to be located on the property, or may be of material indigenous or traditional for the area such as river rock, limestone, flagstone or slate.

Fences should be of the material, texture and color of fences typical of the existing streetscape or design vernacular if applicable to a particular H-District or streetscape.

GATES:

Vehicular gates should be permitted only at entrances to private driveways or compounds and set back in accordance with the underlying zoning.

Vehicular gating of subdivisions or other large-scale developments is strongly discouraged, and may be prohibited [See City of Santa Fe 1999 General Plan].

Gates should be designed to complement the wall or fence treatment containing them with respect to scale, height, material, texture and color. Fenestrated gates should be encouraged as opposed to solid gates.

LANDSCAPING (Suggested Options)

Walls and fences in excess of 50' in length should install landscaping along the exterior façade within the suggested setback or step back.

Landscaping on top of or over a wall is encouraged to provide for additional screening if desired from the interior of the property.

Terracing of walls is encouraged and should be landscaped.

The use of native, drought resistant plant material is encouraged in all wall, fence or terrace landscaping.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:	
Date Submitted: <u>11/19/18</u>		<u>675 ALZO ST., SANTA FE, NM 87501</u>	
Property Owner of Record: <u>John Utton</u>		Proposed Construction Description:	
Applicant/Agent Name: <u>DUCA APPLICANTS</u>		<u>ADDITION TO EXISTING HOME</u>	
Contact Person Phone Number: <u>651255-4033</u>		TOTAL ROOF AREA: <u>790 SQFT</u>	
Zoning District: <u>R-21 w/ WESTSIDE - GUADALUPE Hg. DISTRICT OVERLAY</u> Lot Coverage: _____ %			
Overlay: <input type="checkbox"/> Escarpment _____		<input type="checkbox"/> Open Space Required: _____	
<input type="checkbox"/> Flood Zone* <u>NONE</u>		Setbacks:	
<input type="checkbox"/> Other: _____		Proposed Front: <u>-</u> Minimum: <u>-</u>	
Submittals Reviewed with PZR:		2 nd Front? <u>7'-0"</u>	
<input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans		Proposed Rear: _____ Minimum: _____	
<input checked="" type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations		Proposed Side: <u>10' 8" 10'</u> Minimum: _____	
Supplemental Zoning Submittals Required for Building Permit:		Height: Proposed <u>13'-6"</u>	
<input type="checkbox"/> Zero Lot Line Affidavit		Maximum Height: <u>36'-0"</u> or	
Access and Visibility: <input type="checkbox"/> Arterial or Collector**		<input type="checkbox"/> Regulated by Historic Districts Ordinance	
<input type="checkbox"/> Visibility Triangle Required		<input type="checkbox"/> Regulated by Escarpment District	
Use of Structure: <input checked="" type="checkbox"/> Residential		Parking Spaces:	
<input type="checkbox"/> Commercial Type of Use; _____		Proposed <u>4-6</u> Accessible _____	
Terrain: <input type="checkbox"/> 30% slopes _____		Minimum: _____	
* Requires an additional review conducted by Technical Review Division.		Bicycle Parking**:	
** Requires an additional review conducted by the Traffic Engineering Division		Proposed: _____ Minimum: _____	
		** Commercial Requirement	

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

STANLEY N. WILSON OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE _____ DATE 11.19.2018

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: <u> / / </u>	
<input type="checkbox"/> Flood Plain Approval by _____ Date: <u> / / </u>	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: <u> / / </u>	
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: <u>L/L/R TO BE VERIFIED (CHECK 6.4.18 email)</u>	
<u>4th REPEAT OF PORTIONS OF LINES MAP, Bks. 61 & 62, Plat H, COSC Dist. Project # C-19, 1978</u>	
REVIEWER: <u>Margaret Ambrosino</u>	DATE: <u>11/19/18</u>

November 5, 2020 (rev 11-19-2020)

675 Alto Studio

H-19-002

Building Permit No: 19-1209

Summary of Proposed Changes

The Board approved construction of this adobe studio and a guesthouse at its meeting on January 8, 2019 (H-19-002) (See attached approval) and Building Permits were approved: Studio (Permit No. 19-1210) and Guesthouse (Permit No. 19-1209). The Guesthouse was finished last month and received a Certificate of Occupancy.

The Studio is under construction and we are requesting to:

- 1) Replace and relocate existing yard wall. We propose to demolish the existing concrete 7' high block yard wall and replace it with an adobe yard wall relocated 6' to the north along the property line. The new adobe wall will have three small openings (ventanitas) with decorative painted doors of approximately 1'-6" in height. The maximum height of the new yard wall will be 5' (measured from the lane) with the exception of a height of up to 6' over the three openings. See colors and example photos below. The wall will also have a decorative stone base.
- 2) Raise the height of the Studio. We previously requested and the Board approved a height of 10'-6". We request to increase the height to 12' on the lane side and 13' on the interior side. This increase is necessary to accommodate a thicker bond beam, bigger vigas and a built-up roof instead of a TPO roof. Because the constructed floor level is 1'-0" lower than the original approval, the net elevation increase in height ranges from 6" to 1'-6". Even with this increase, the Studio will still be slightly lower than the existing and recently completed Guesthouse.
- 3) Additional smaller items detailed below, including adding an exterior door and awning and modifying a window's dimension.

Detailed List of Proposed Changes

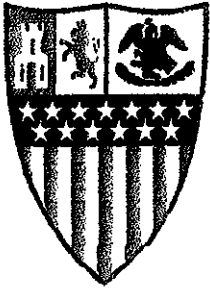
- 1) Remove existing CMU wall and replace with adobe wall with decorative stone base and including three small openings (ventanitas) with decorative painted doors of approximately 1'-6" in height.
- 2) Move existing yard wall approximately 6'-0" North inside property line.
- 3) Lower yard wall height by one to two feet to a height of 5' except up to 6' at peaks over 3 wall openings. See example photos below of wall peak over openings.
- 4) Lower finish floor level \pm 12".
- 5) Remove fireplace and chimney.
- 6) Step parapet and raise parapet height by approximately 18" in several steps. (Change due to Viga thickness and BUR requirements)
- 7) Add exterior door and awning on northside.
- 8) Modify dimensions of north window (taller and narrower).
- 9) Relocate canale.

Proposed Colors

Studio and yard wall will be stuccoed either Desert Rose (El Rey 114) or Adobe (El Rey 116) (concrete-based).

The new awning and the decorative ventanita doors will be painted Sherwin Williams Nifty Turquoise (SW 6941).





City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, NM 87504-0909
www.santafenm.gov

Alun Webber, Mayor

Councilors:

- Signe I. Lindell, Mayor Pro Tem, District 1
- Renee Villarreal, District 1
- Peter N. Ives, District 2
- Carol Romero-Wirth, District 2
- Roman "Tiger" Abeyta, District 3
- Chris Rivera, District 3
- Mike Harris, District 4
- JoAnne Vigil Coppler, District 4

PROJECT DESCRIPTION: Shane Williams agent for John Utton, owner, proposes to construct a 273 sq. ft. freestanding accessory structure to the height of 10'6", a 517 sq. ft. addition to a height of 12'0", a portal, and install HVAC and hardscaping on a non-stated residential property.

Case number: **H-19-002**
Project Type: **HDRB**

PROJECT LOCATION (S): 675 Alto Street

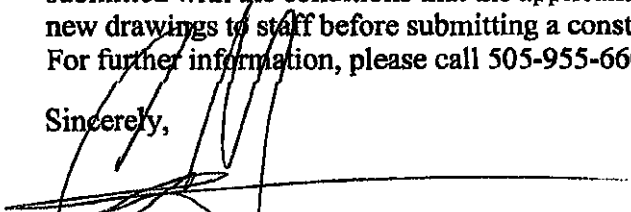
PROJECT NAMES:

OW – John Utton	675 Alto Street	Santa Fe NM 87501
AP – Shane Williams	125 Jefferson Street NE	Albuquerque NM 87106

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on January 8, 2019. The decision of the Board was to approve the application as submitted with the conditions that the applicant shall decrease buttresses height and shall submit new drawings to staff before submitting a construction permit. For further information, please call 505-955-6605.

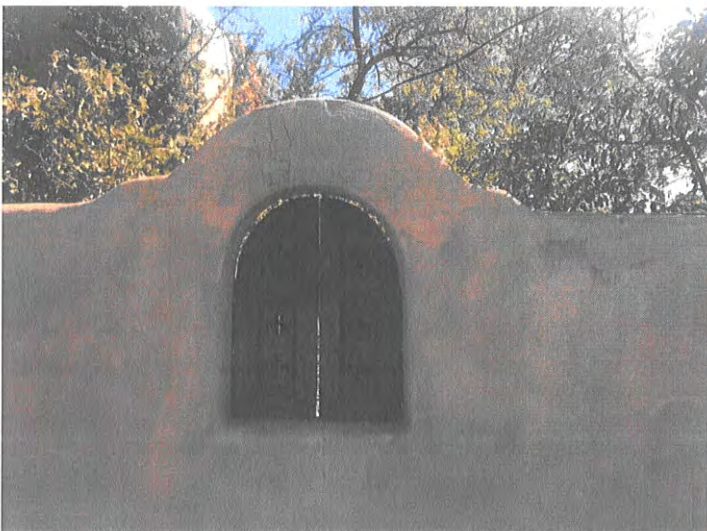
Sincerely,



Carlos Gemora
Land Use Planner

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permits.

Examples of Ventanitas



675 Alto St. Studio & Yard Wall



1. North side of adobe studio and yard wall – looking southeast from Santa Fe River Park.



2. North side of adobe studio and yard wall – looking south from W. Alameda St.



3. East side of adobe studio – looking west down lane



4. Northeast side of adobe studio and connected yard wall – looking southwest



5. North side of adobe studio and yard wall – looking south from River Park



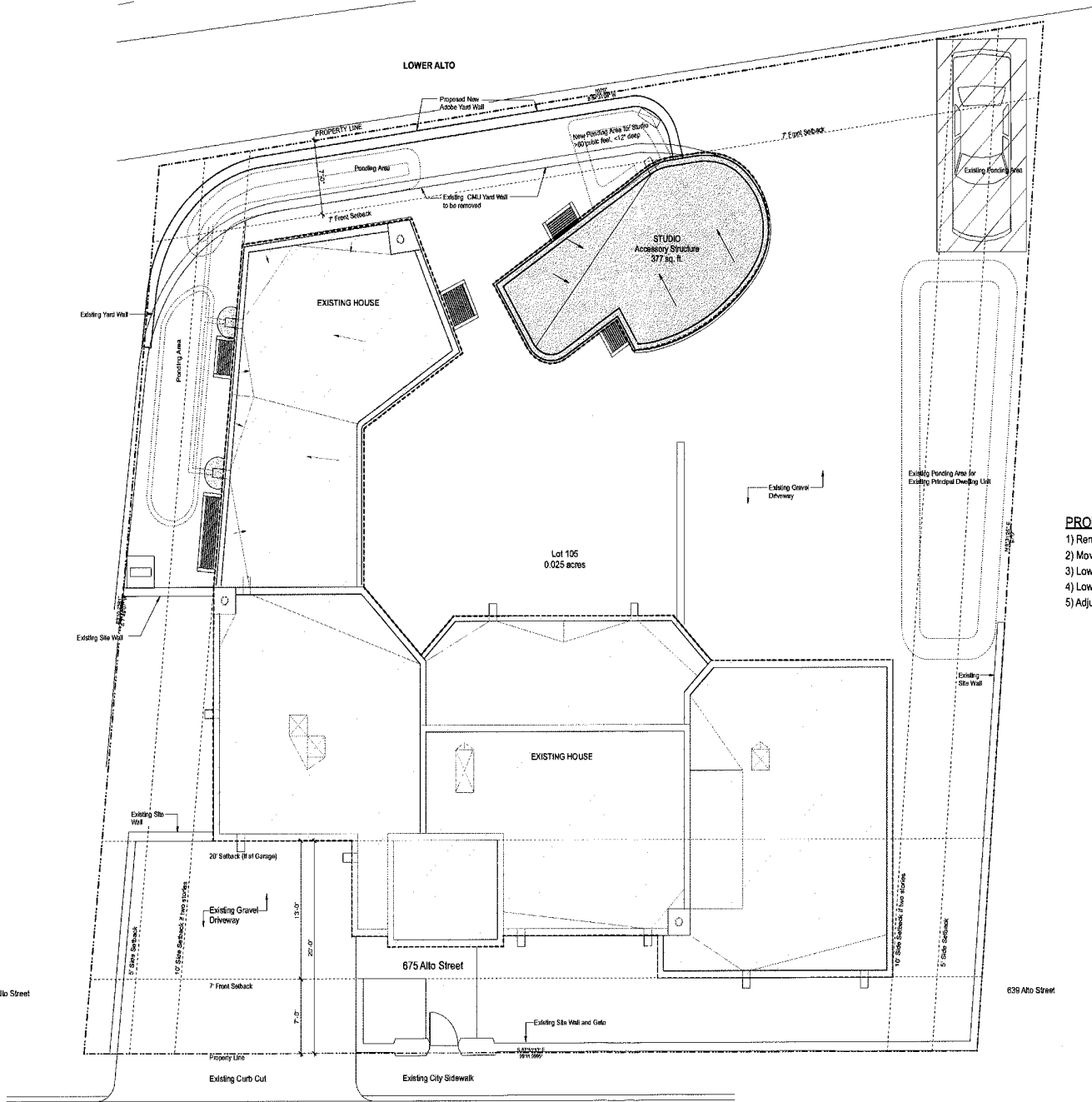
6. North side of adobe studio and yard wall – looking southeast from lane



7. North and northwest portions of yard wall – looking east down lane



8. Northwest portion of yard wall – looking southwest towards 701 Alto St.



- PROPOSED CHANGES**
- 1) Remove existing CMU wall and replace with Adobe wall
 - 2) Move existing yard wall approximately 6'-0" North inside property line
 - 3) Lower yard wall height by 1'-0" to approximately 5' to 6' along lane
 - 4) Lower finish floor level ± 12"
 - 5) Adjust location of onsite ponding

NOV 24 2020
 BY: _____

dnc 125 Jefferson Street ne Albuquerque nm 87108
 PH (505) 256-4033 fx (505) 266-0251

Utton Residence Addition
 675 Alto Street
 Santa Fe, New Mexico 87501

Date Issue



ALTO STREET

PONDING		
BUILDING	ROOF AREA	PROVIDED PONDING AREA
Studio	377 sf	60 sf

October 5, 2020
 Proposed Revisions Documents

G1.1
 16 Site Plan



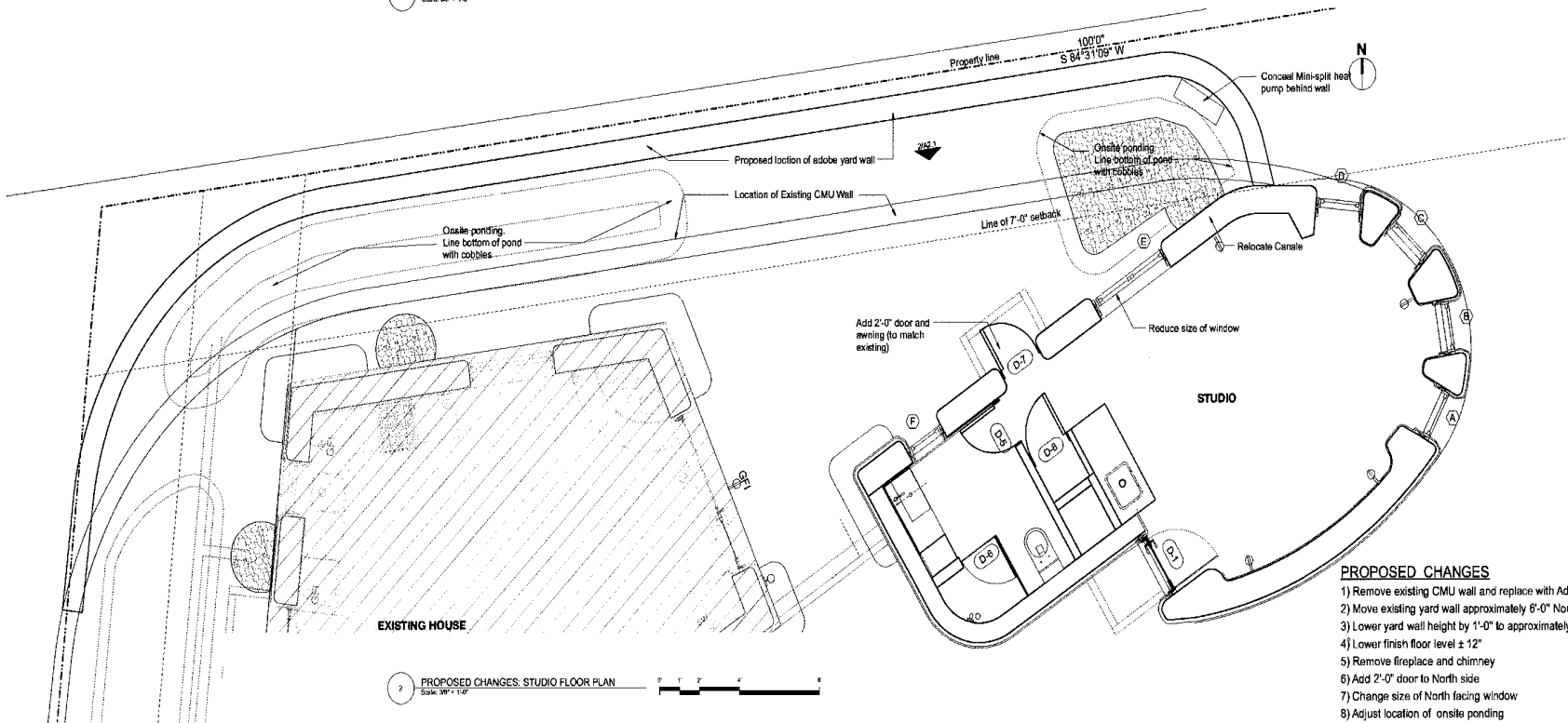
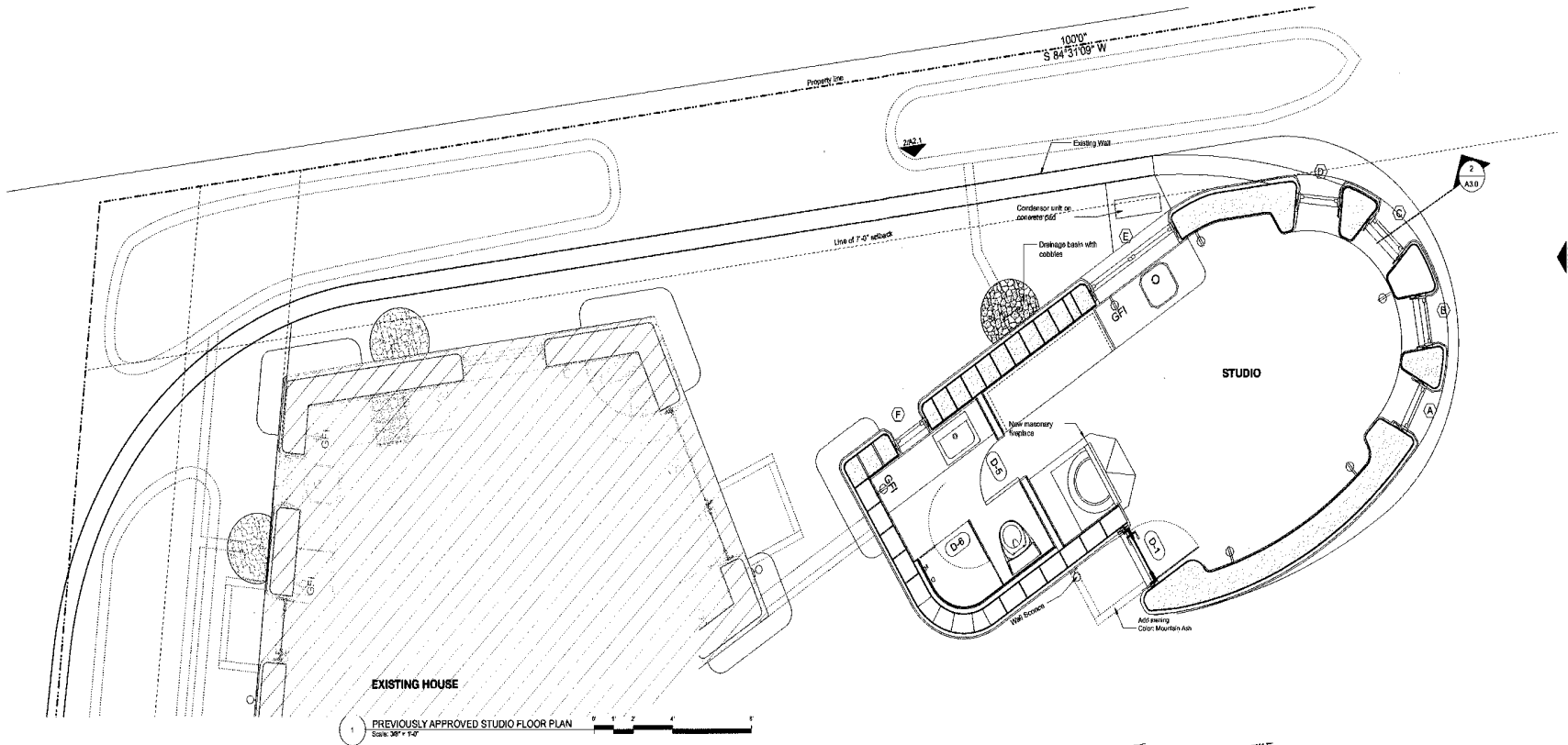
dncra 125 Jefferson Street ne Albuquerque Nm 87108
 P: (505) 265-4033 F: (505) 266-0251

Utton Residence Addition
 675 Alto Street
 Santa Fe, New Mexico 87501

Date Issued

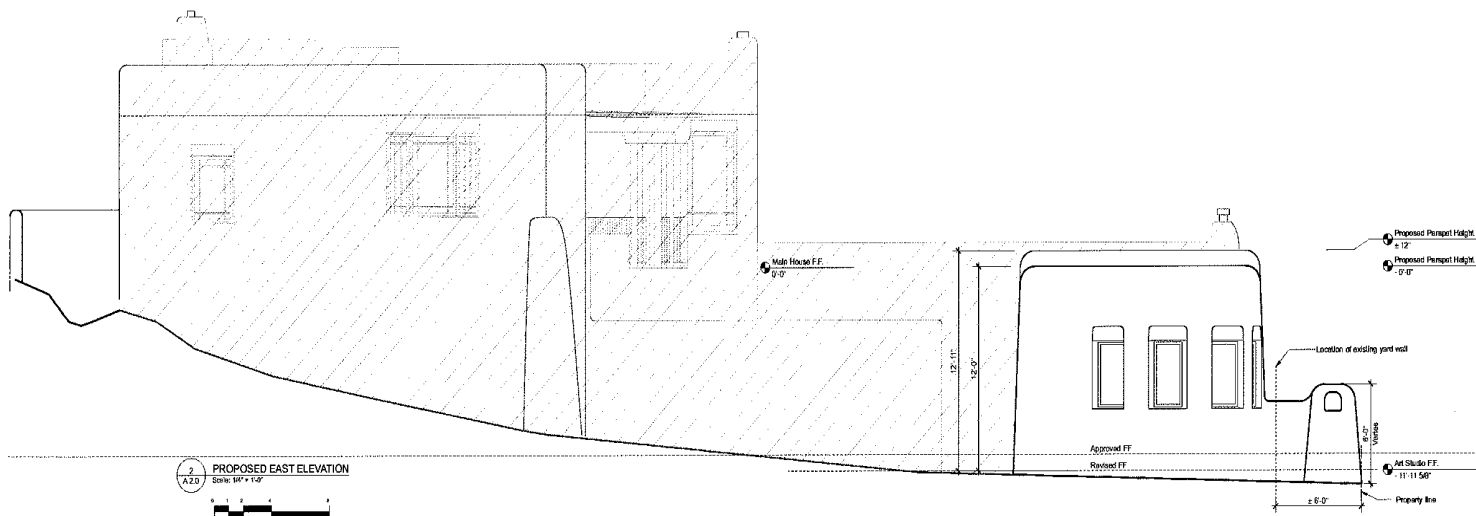
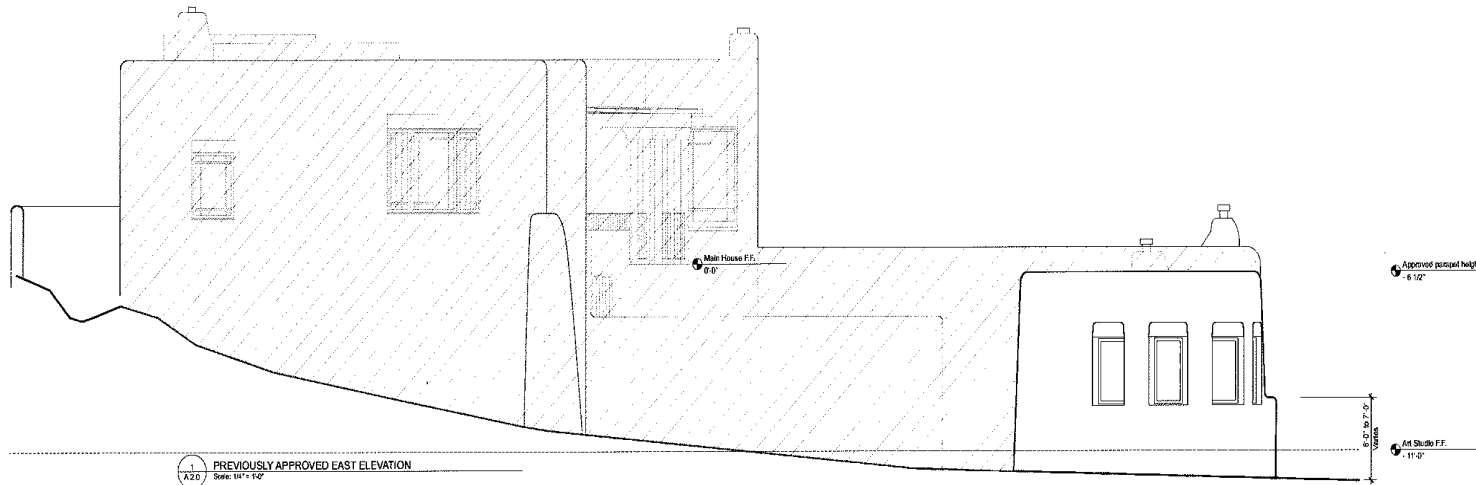
October 12, 2020
 Proposed Revisions
 Documents

A1.0
 17 Floor Plan



PROPOSED CHANGES

- 1) Remove existing CMU wall and replace with Adobe wall with decorative stone base.
- 2) Move existing yard wall approximately 6'-0" North inside property line
- 3) Lower yard wall height by 1'-0" to approximately 5' to 6' along lane
- 4) Lower finish floor level ± 12"
- 5) Remove fireplace and chimney
- 6) Add 2'-0" door to North side
- 7) Change size of North facing window
- 8) Adjust location of onsite ponding



PROPOSED CHANGES

- 1) Remove existing CMU wall and replace with Adobe wall with decorative stone base.
- 2) Move existing yard wall approximately 8'-11" North inside property line.
- 3) Lower parapet wall height by 1'-0" to 5' except up to 6' at peak, over 3 wall openings.
- 4) Lower finish floor level ± 12'.
- 5) Remove fireplace and chimney.
- 6) Step parapet and other parapet height by approximately 18" in two steps.
(Change due to Vign distance and GUR requirements)

dnc 125 Jefferson Street ne Albuquerque nm 87108
 PH (505) 255-4033 FX (505) 266-0251

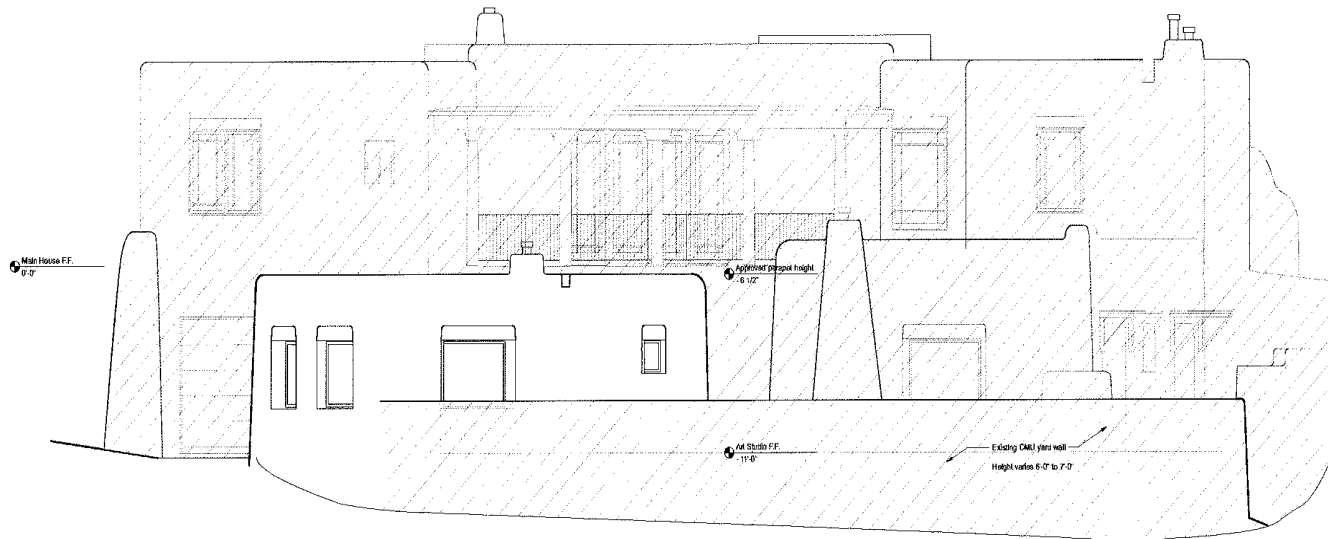
Utton Residence Addition
 675 Alto Street
 Santa Fe, New Mexico 87501

Date	Issue
02/2/20	Revised 4

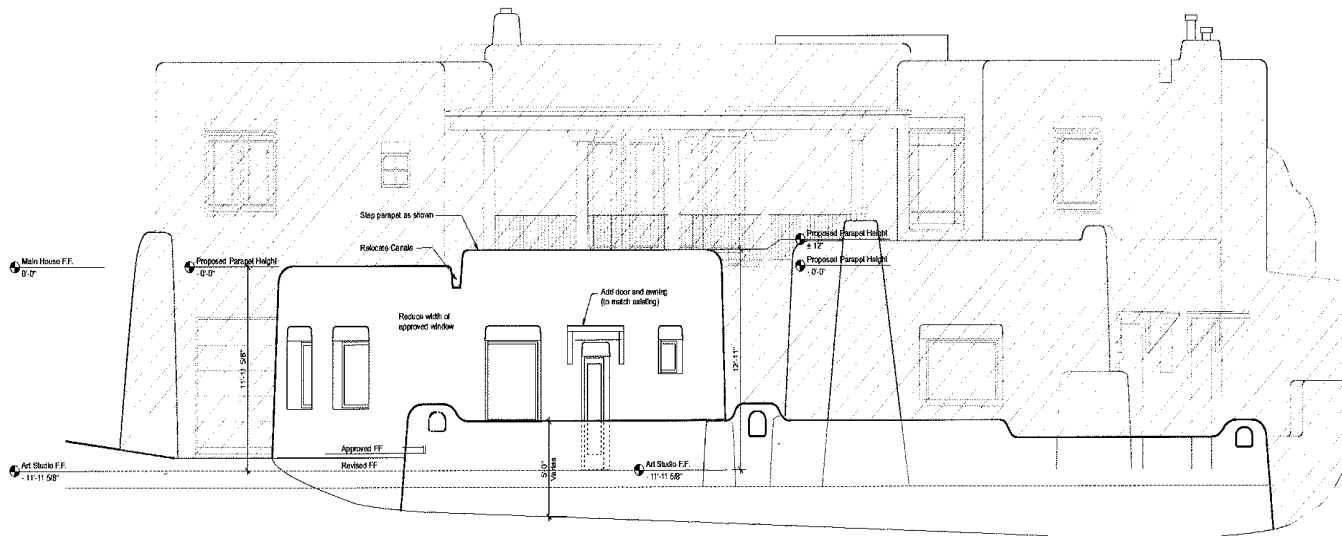
Oct 12, 2020 revised Nov 19, 2020

Proposed Revisions Documents

A2.0
18 Elevations



1 PREVIOUSLY APPROVED NORTH ELEVATION
Scale 1/8" = 1'-0"



2 PROPOSED NORTH ELEVATION
Scale 1/8" = 1'-0"

PROPOSED CHANGES

- 1) Remove existing CMU wall and replace with Adobe wall with decorative stone base.
- 2) Move existing yoni wall approximately 6'-0" North inside property line
- 3) Lower yoni wall height by 1'-0" to 5' sets up to 6' at the peak of the 3 openings
- 4) Lower brick floor level 6 1/2"
- 5) Remove fireplace and chimney
- 6) Step parapet and muller parapet height by approximately 18" in two steps (Changes due to Vign thickness and DRK requirements)
- 7) Add door and setting
- 8) Modify dimensions of North window
- 9) Relocate cornice

dnca 125 Jefferson Street ne Albuquerque, nm 87108
 P: (505) 255-4033 F: (505) 266-0251

Utton Residence Addition
 675 Alto Street
 Santa Fe, New Mexico 87501

Date Issue
10/27/20 Revise 4

Oct 12, 2020 revised Nov 19, 2020

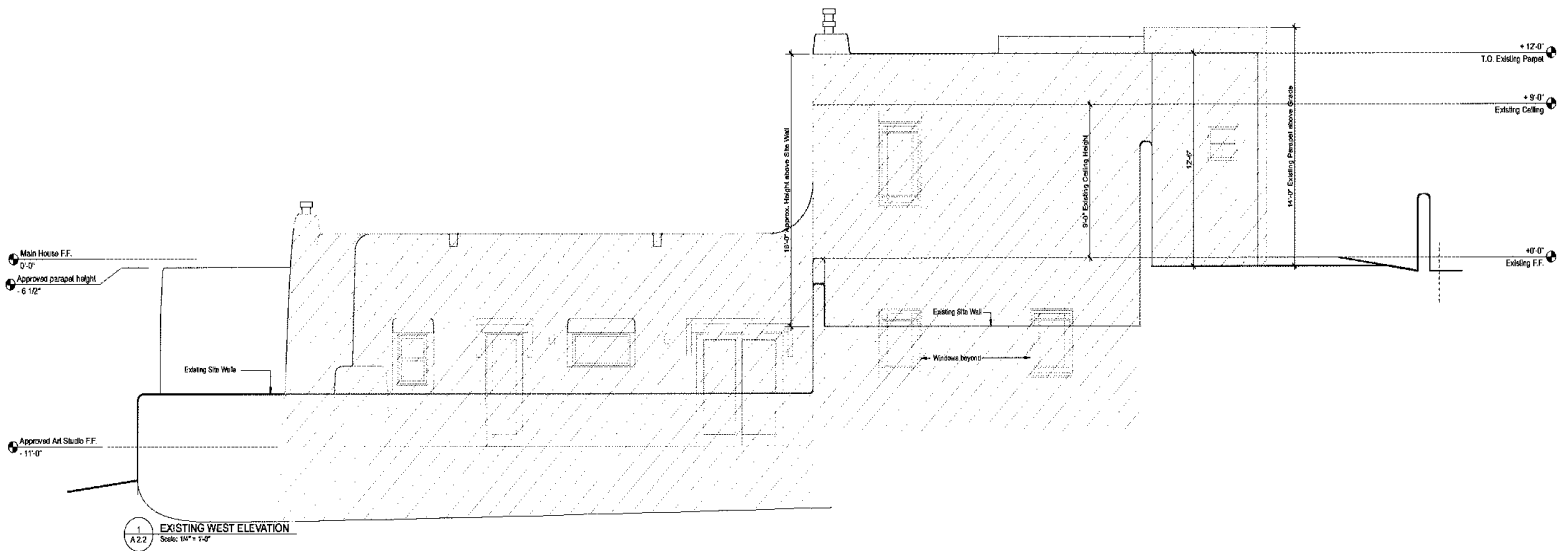
Proposed Revisions
Documents

A2.1
19 Elevations



dnca
 125 Jefferson Street ne Albuquerque, nm 87108
 ph (505) 255-4033 fx (505) 256-0261

Utton Residence Addition
 675 Alto Street
 Santa Fe, New Mexico 87501



EXISTING WEST ELEVATION
 Scale: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
 Scale: 1/4" = 1'-0"

- PROPOSED CHANGES
- 1) Remove existing CMU wall and replace with Adobe wall with decorative stone base
 - 2) Move existing yard wall approximately 9'-0" North (into property line)
 - 3) Lower parapet wall height by 1'-0" to 5'-0" parapet up to 6" at peak over 3 wall openings
 - 4) Lower finish floor level 2'-12"
 - 5) Remove lintels and chimney
 - 6) Step parapet and miter parapet height by approximately 18" in two steps.
- (Change per to Vign thickness and BUR requirements)

Oct 12, 2020 revised 11-19-2020

Proposed Revisions Documents

A2.2
 Elevations



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Beili Studio, agent for Mark Botwin, owner, proposes to construct a 20'8" high residential structure where the maximum allowable height is 17'5", retaining walls, and hardscaping on a vacant lot. The applicant is requesting an additional 3'3" in height per section 14-5.2(D)(9)(c)(ii)(F).

Case number: **2020-002854-HDRB**
Project Type: **HDRB**

PROJECT LOCATION (S): **855 A Camino Ranchitos**

OW – Mark Botwin 369 Montezuma Avenue Unit 208 Santa Fe, NM 87501 mbotwin@hotmail.com

AP – Beili Studio 449 Camino Don Miguel Santa Fe, NM 87505 stephen@studiobeili.com

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS:

North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER

N/A

YEAR OF CONSTRUCTION

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant


USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME

N/A

City of Santa Fe, New Mexico

memo

DATE: December 8, 2020
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner 
Historic Preservation Division

Case # 2020-002854-HDRB

Address: 855 A Camino Ranchitos
Historic Status: New Construction
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: Building height calculation

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: Window, Door, Lighting, Paint, Stain, Stucco information, and samples

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with 14-5.2(A)(1) General Purpose and "Recent Santa Fe Style" and all Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

855 A Camino Ranchitos is a vacant lot located in the Downtown & Eastside Historic District.

The applicant proposes to construct a 4,604 sf single-family residence that includes a garage, workshop, storage room, mechanical coverage, and portales. The design is Recent Santa Fe Style with a variety of rectangular masses to break up the size and heights of the home. The house will have a flat roof, most of the masses have parapets, and some have roofs that extend out as minor overhangs to balance the horizontal and vertical lines of the exterior. The latter roofs will have a steel fascia at their edges. The fascias, portal posts, and canales will be a darkened, distressed finish. The stucco, Dryvit "Sandpebble", color: Pecos will have 3/4" bullnose radius on corners.

The proposed height is 15'-2", under the maximum allowable height of 17'-5". The lot slopes at least 16' from the southwestern corner down to the northeast corner. The applicant is not requesting additional height for slope. The applicant has sited the house to conform to its contours. The siting allows for guest parking in the southwestern corner and a garden and retention pond in the northeast.

The house's entry on the west façade includes a gate and wall around a courtyard.

The back of the proposed house contains more contemporary aspects of the structure with larger areas of glass and corner windows, which are not publicly visible.

The windows will be a combination of awning, casement, picture, and door. Detail is found in the packet's window bid/schedule. Garage door will be horizontal wood slats, approximately 4" tall applied to the door. Doors are solid horizontal wood grain with 9" wide steel panel and 2" tall horizontal strips applied to wood door. Skylights will be a combination of glass, lean-to skylights (against a parapet), and, Solatubes; all are below parapet heights and not publicly visible.

Exterior lights are: recessed cans in overhangs, step lights in bench at entry portal, lead strip lights at edges of walkway flooring and underneath the entry gate portal, and sconces at entry and guest portales.

BACKGROUND & SUMMARY:

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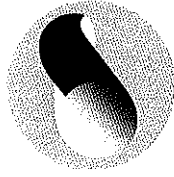
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Exterior lights are: recessed cans in overhangs, step lights in bench at entry portal, lead strip lights at edges of walkway flooring and underneath the entry gate portal, and sconces at entry and guest portales.



studio beili
modern home design

November 25, 2020

Angela Schackel Bordegaray
Historic Preservation Division
City of Santa Fe, New Mexico

RE: 855a Camino Ranchitos

Dear Angela and the Historic Districts Review Board,

Please find attached my submittal for a new residence.

- HDRB Application Form
- Photographs
 - District
 - Story poles
 - Streetscape
- Exterior Finishes Color Board
- Exterior Light Fixture Cut Sheets
- Drawings
 - A1 Site Plan
 - A2 Reference Plan
 - A3 Floor Plan
 - A5 Elevations
 - A5a Elevations w/ existing fence and story poles shown
 - A6 Building Sections and door/gate details
 - C1 Grading/drainage Plan
- Miscellaneous other documents
 - ✓ Location along Camino Ranchitos
 - ✓ Location within Downtown and Eastside District
 - ✓ Max. Allowable Building Height
 - ✓ Window Bid

stephen beili 505 699 2372 stephen@studiobeili.com studiobeili.com

Location

Please see the attached diagrams which show the location of the subject property along Camino Ranchitos and at the periphery of the Downtown and Eastside District, two lots away from the Historic Review District.

Style

The proposed design is Recent Santa Fe style with a variety of rectangular masses breaking up the overall size and height of the home, building to the highest mass (the Great Room) in the middle of the house. The house will have a flat roof; most of the masses have parapets, and some have roofs that extend out as minor overhangs to balance the horizontal and vertical lines of the exterior; these latter roofs will have a steel fascia at their edges. The materials are brown stucco with some wood and steel accents (please see the Materials section below for more specific information).

Please see the attached District Photos. Within the Downtown and Eastside District, one can see a wide range of designs within the ongoing tradition of Santa Fe style, including some houses which are at least as - or more - contemporary than what we are proposing, for instance at 282 Calle Juanita, 630 Garcia, or several of the houses along S. Armijo Lane.

Please see the attached Streetscape Photos. Similar to the district in general, our specific streetscape includes quite a variety of styles within the overarching context of Santa Fe style:

- Pueblo style wall with wood gate, fanciful stucco detail, and steel gate (854 Camino Ranchitos),
- Pueblo with low-pitched standing seam portal roof and decorative wood details (855 Camino Ranchitos),
- Territorial with portales with no parapet, just a drip edge and cantilevering roof (858 Camino Ranchitos, 2 photos),
- Pueblo with a low-pitched standing seam portal roof (851 Camino Ranchitos),
- 70's or 80's very organic passive-solar with sloping clerestory windows and viga extensions (850½ El Caminito, two photos),
- Pueblo style with regularly spaced vigas posts and corbels on a long portal (528 Abeyta),
- Pueblo style with aqua paint on wood details (525 - 527 Abeyta), and
- 2-story pueblo with a second floor corner sunroom under a slightly cantilevered roof form (601 Abeyta).

All of these have brown stucco walls and mostly flat roofs, but with quite a variety of form and detail. We believe our design fits within the range of what is present on the street, working within the context of brown stucco walls and slightly cantilevering portal roofs and that it achieves harmony within the streetscape's variety.

The back of the proposed design reveals more of the contemporary aspects of the design with larger areas of glass and corner windows, but these are not publicly visible. Over the walkway in the garden space between the Great Room and the East Portal is a steel frame w/ a translucent material called polygal that provides protection from rain while simultaneously allowing light into the garden space and the Great Room; this armature and material are behind the surrounding parapets on all sides.

The front of the house shields the view of the larger areas of glass by way of the gate and wall around the Courtyard and by refraining from large areas of glass facing west.

Heights

The grade on this site slopes along the front (west) property line by nearly 7' from 7143' above sea level to nearly 7150'. It also falls towards the back (northeast corner), down to 7134', so there is a 16' drop from the southwest corner to the northeast corner of the lot.

To manage this, we have done two things:

1. We have designed the house to be longest from the northwest corner to the southeast corner, thereby keeping it more on contour than if the house filled the other two corners. This has left us space for guest parking in the southwest corner and a garden and retention ponding in the northeast.
2. We have also cut the house into the hill on the south side by up to 30".

Per the attached Max. Allowable Building Height document, our height restriction for this property is 17'-5". The tallest part of the proposed design is 15'-2" above the existing grade at the midpoint of the West (street-facing) façade.

Please refer to the Elevations (A5 and A5a) to visually see the various heights of the building as well as an indication of where the story poles are being placed. A5a shows the existing fence and the story pole information; A5 is easier to read the design.

Materials, colors and finishes

Please see A5 and/or the attached Color Board for the following exterior materials.

- Driveway and guest parking
 - Earthtone gravel and basecourse
- Garage apron
 - Pavestone Venetian concrete pavers in 'Three Tone Brown' color
- Hardscaping for path through Courtyard, all portal flooring, and caps on Entry bench, Guest Portal half wall, and grill area walls
 - Bluestone rectangular pavers
- Mulch in Courtyard and East Garden
 - ¾" crushed grey gravel
- Retaining walls on southwest and northeast corners of property
 - Dry stack moss rock
- Wood portal carrier beams, portal ceilings, underside of overhangs, and wood doors (see below)
 - Clear sealer over spruce/pine/fir
- Steel (canales, fascias, and portal posts)
 - Darkened, distressed finish
- Stucco
 - Dryvit Sandpebble Fine E Midbase, color: Pecos
 - ¾" bullnose radius on corners
- Windows and glass doors
 - Sierra Pacific Colorstay Collection Bronze 024
 - Please see the attached Window Bid which gives the following additional information:
 - Unit type - see 'product code' for awning, casement, picture, or door
 - Size - see 'rough opening'
 - Symbol - see 'sym'

- Location - see 'location'
- Drawings of each window and glass door follow the specs.

Doors and gates

- Please see 6/A6 for door and gate details.
- Garage door
 - Horizontal wood slats, approx. 4" tall, applied to garage door
- Doors 1, 2, 3, and 7
 - Solid core, exterior-rated door with horizontal wood grain
 - 9" wide steel side panel and 2" tall horizontal strips applied to wood door
 - Door 1: 3'0 x 7'0 front door
 - Door 2: 3'0 x 8'4 entry gate
 - Door 3: pair of 3'4 x 7'0 trash can storage gates
 - Door 7: 3'0 x 7'0 guest bedroom entry door

Skylights

- The skylights are a combination of glass skylights, lean-to glass skylights (against a parapet), and Solatubes. All of them are below the height of their surrounding parapets and are listed in more detail on A4 (Roof Drainage Plan).

Light fixtures

- Please see the attached cut sheets for exterior light fixtures.
 - A recessed cans in overhangs (Trash Can Storage, Garage Overhang, Gate Portal)
 - B step lights in bench at Entry Portal
 - C led strip lighting at edges of East Walkway flooring and underneath Gate Portal
 - E recessed cans at Entry Portal and East Portal
 - F sconces (larger version) at Entry Portal, East Walkway/planting bed, East Portal
 - F1 sconces (smaller version) at Guest Portal and Main Shower Overhang

Square footages

- 2793 sf Heated space
- 807 sf Garage, Workshop, Garage Storage, and Mechanical
- 1004 sf Portales
- 4604 sf Total roofed area

Thank you so much for your consideration.

Sincerely,

Stephen Beili

855 A Camino Ranchitos

Vacant Lot Camino Ranchitos Height Calculation

Count: 7

Total: 108

Average: 15.428

Maximum Allowable Height: 17' 5"



Legend

- Historic Districts
- Roads
- Landmark
- Significant
- Contributing
- Non-Contributing
- Not Resurveyed



MCB

08/8/08

850 1/2 EL CAMINITO
21178

859 CAMINO RANCHITOS
6666

601 ABEYTA ST
4780

603 ABEYTA ST
4811

605 ABEYTA ST
4840

834 EL CAMINITO
46861

851 CAMINO RANCHITOS
51166

609 ABEYTA ST
4902

858 CAMINO RANCHITOS
45447

853 CAMINO RANCHITOS
21181

855 CAMINO RANCHITOS A
50376

854 CAMINO RANCHITOS
21182

855 CAMINO RANCHITOS
6650

516 CAMINO RANCHEROS
4273

852 CAMINO RANCHITOS
6636

518 CAMINO RANCHEROS
4312

846 CAMINO RANCHITOS
6600

825 CAMINO RANCHITOS
6407

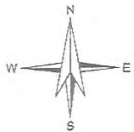


City of Santa Fe Historic Districts



Legend

- Historic Districts
- Parcel Boundaries
- Building Footprint
- City Limits



inch = 500 feet



Printing Date: Friday, April 16, 2010 7:40 AM
 AS2/TTCGIS City of Santa Fe
 200 Lincoln Avenue, Ste 200
 Santa Fe, NM 87504-0600
 Phone: (505) 849-5249 Email: gis@ci.santafe.nm.gov
 Prepared by: AS2/TTCGIS LPP

Coordinate System:
 NAD 1983 StatePlane New Mexico Central FIPS 5002 Feet
 Datum: North American 1983
 Since this information is for reference only, The City of Santa Fe
 assumes no liability for errors associated with the use of
 this data. Users are solely responsible for confirming

SOUTHEAST
NEIGHBOR



9 8 10 19 11 20 12 5 7 4 16 6
14 13 17 18

(FRONT)

NORTH
NEIGHBOR



8 9 7 6 10 19 5 20

(FRONT)

NORTH
NEIGHBOR



8

79

6

10

19

5

20

11

(SIDE)

NORTH
NEIGHBOR



9 17 19 10 20 11 13 12

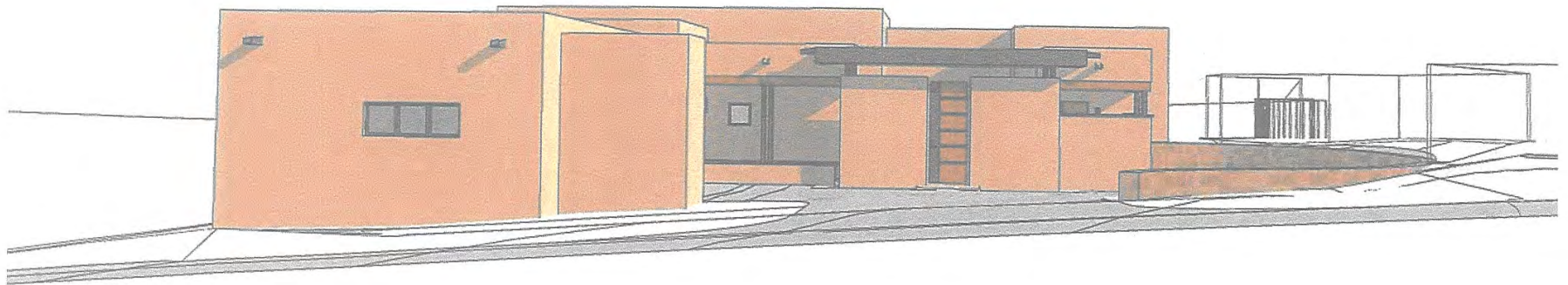
(SIDE)

SOUTH WEST
NEIGHBOR



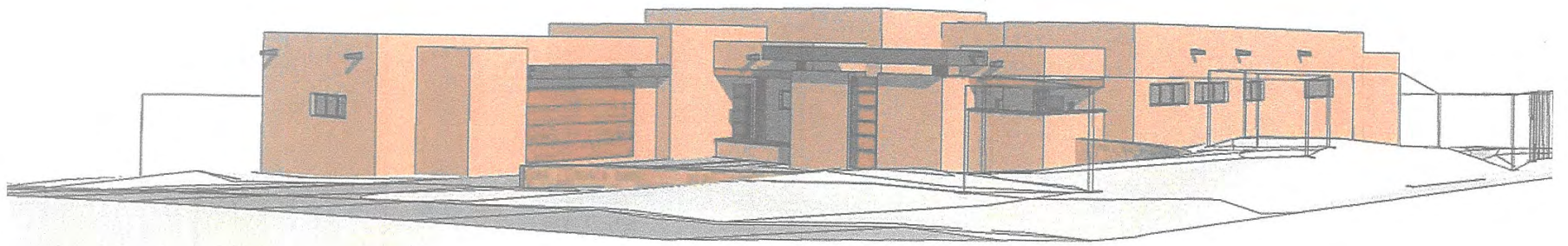
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(REAR)



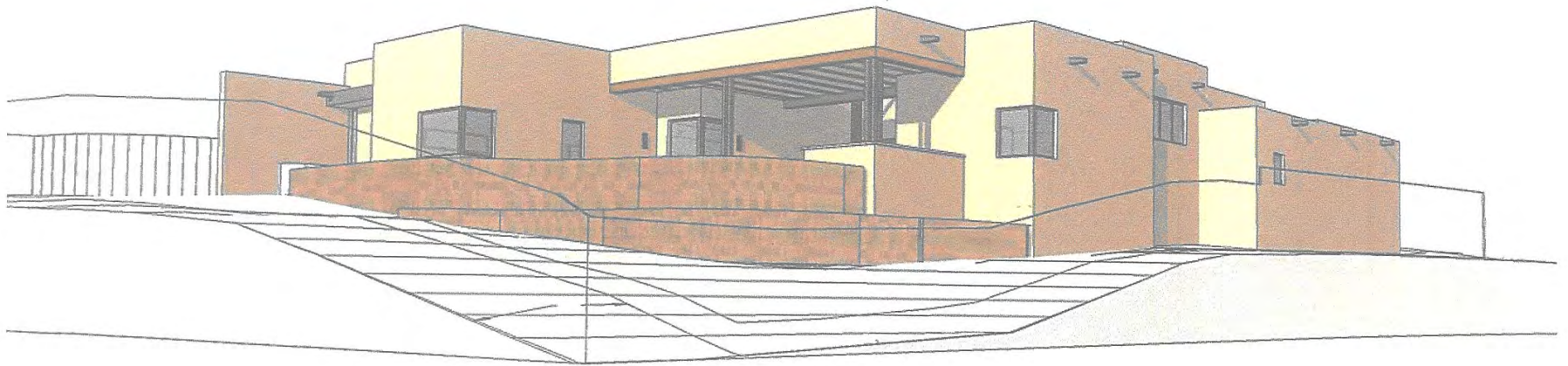
FRONT WEST

FRONT WEST ELEVATION



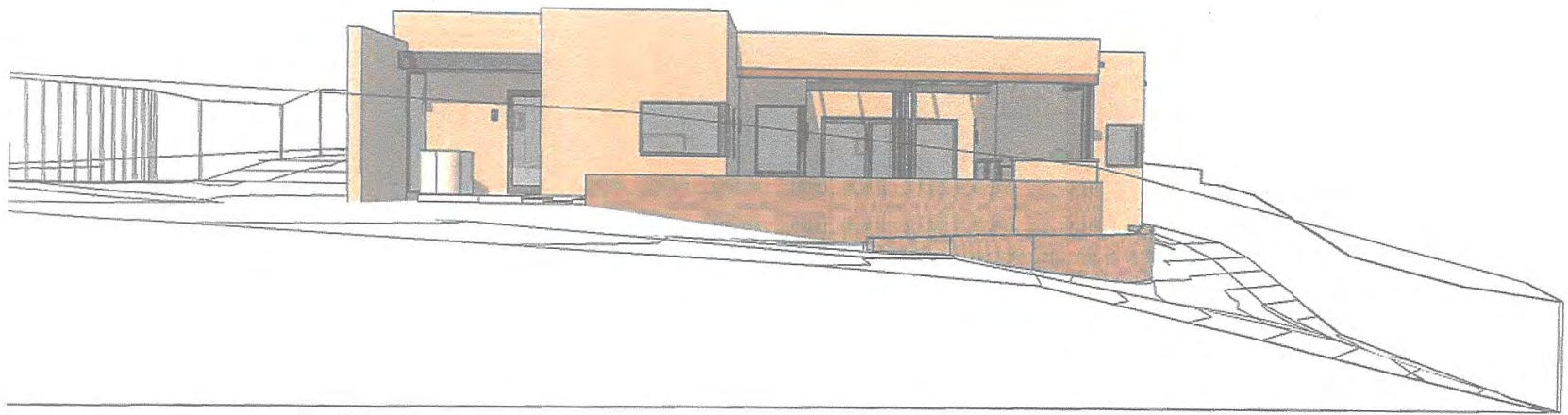
FRONT & EAST ELEVATIONS

FROM SOUTHWEST



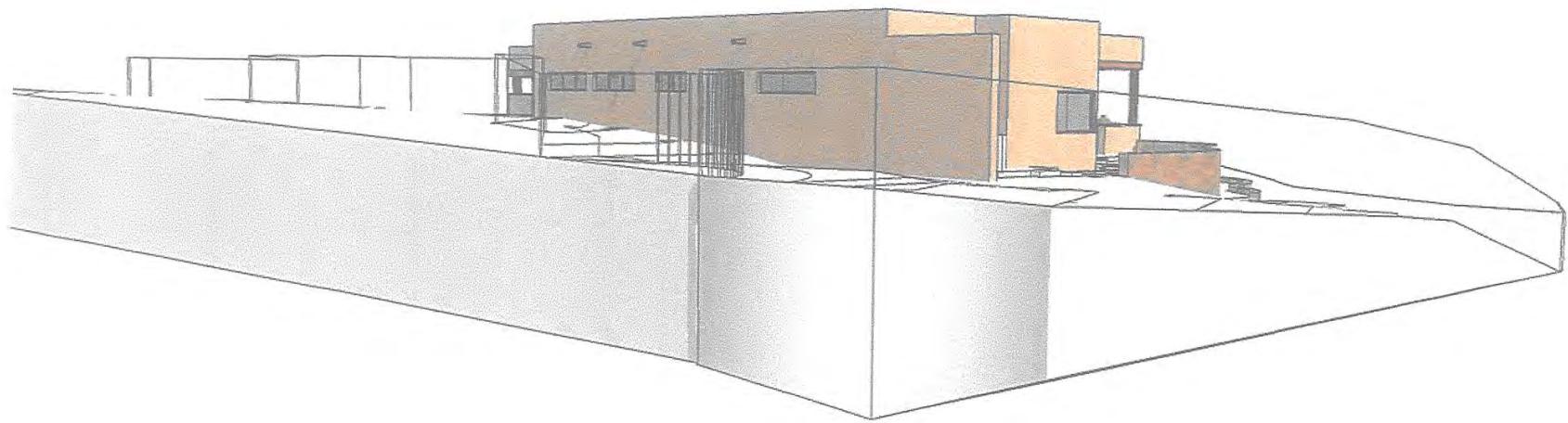
REAR + SIDE
EAST & NORTH ELEVATIONS
1

FROM NORTHEAST



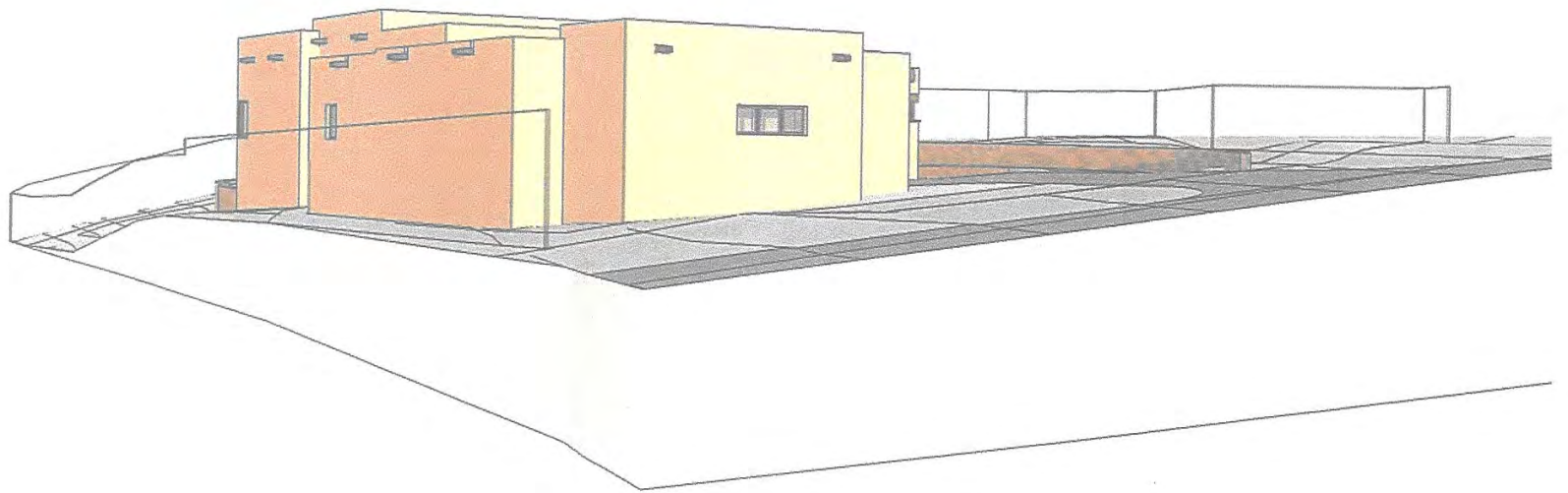
REAR
EAST ELEVATION

FROM EAST



FROM SOUTHEAST

SIDE + REAR
SOUTH & EAST ELEVATIONS



FROM NORTHWEST

SIDE
NORTH ELEVATION

Sierra Pacific Windows

1624 St. Michael's Drive
 Santa Fe, New Mexico
 (505)992-1475 (Office)
 (505)470-2639 (Cell)
 (505) 992-1469 (Fax)
 jrui@spi-ind.com

Sold To: GREEN STAR BUILDERS
 211 W.CORDOVA ROAD

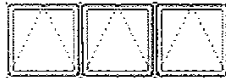
Ship To: RANCHITOS RESIDENCE
 855A CAMINO RANCHITOS

Drawings

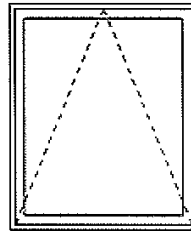
31008841

September 14, 2020

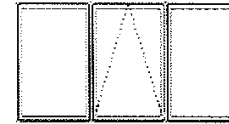
Page 11 of 13



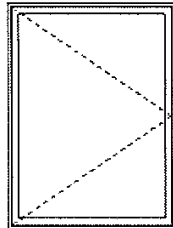
1) C-WA-2424-3(XXX)
 Qty: 1
 RO: 72 3/4"x24 3/4"
 Jamb: 4 9/16"
 Loc: WORKSHOP
 Sym: A
 Clad: 024-Bronze



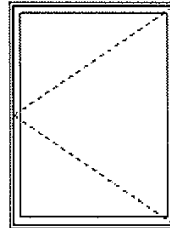
2) C-WA-3036-1(X)
 Qty: 1
 RO: 30 3/4"x36 3/4"
 Jamb: 4 9/16"
 Loc: PANTRY
 Sym: B
 Clad: 024-Bronze



3) C-WA-3048-3(OXO)
 Qty: 1
 RO: 90 3/4"x48 3/4"
 Jamb: 4 9/16"
 Loc: KITCHEN
 Sym: C
 Clad: 024-Bronze



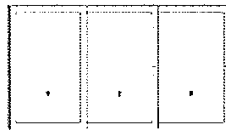
4) C-WC-3648-1(R)
 Qty: 1
 RO: 36 3/4"x48 3/4"
 Jamb: 4 9/16"
 Loc: MEDIA
 Sym: D
 Clad: 024-Bronze



8) C-WC-3648-1(L)
 Qty: 1
 RO: 36 3/4"x48 3/4"
 Jamb: 4 9/16"
 Loc: MEDIA
 Sym: E
 Clad: 024-Bronze



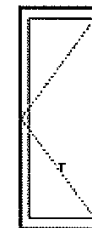
9) C-WCP-2496-1(S)
 Qty: 1
 RO: 24 3/4"x96 3/4"
 Jamb: 4 9/16"
 Loc: MEDIA
 Sym: F
 Clad: 024-Bronze



10) C-LSS-6096-3(OXX)
 Qty: 1
 RO: 173 3/4"x99 1/8"
 Jamb: 12"
 Loc: GREAT ROOM
 Sym: 4
 Clad: 024-Bronze



11) C-WCP-2496-1(S)
 Qty: 1
 RO: 24 3/4"x96 3/4"
 Jamb: 4 9/16"
 Loc: M.BR HALL
 Sym: G
 Clad: 024-Bronze



12) C-ID-3696-1(L)
 Qty: 1
 RO: 38 7/16"x98 1/2"
 Jamb: 4 9/16"
 Loc: MAIN BED
 Sym: 5
 Clad: 024-Bronze

All Window/Door operations are viewed from exterior. Pictures are NOT to scale. They are offered as a rough approximation of design and mulling sequence, therefore CAD drawings may still be required on some units.

Sierra Pacific Windows

1624 St. Michael's Drive
 Santa Fe, New Mexico
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 (505)470-2639 (Cell)
 (505) 992-1469 (Fax)
 jrui@spi-ind.com

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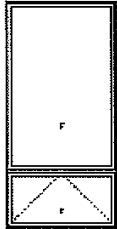
Ship To: RANCHITOS RESIDENCE
 855A CAMINO RANCHITOS

Drawings

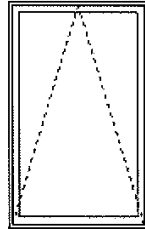
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September 14, 2020

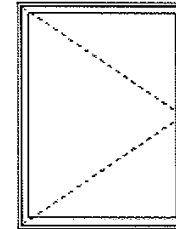
Page 12 of 13



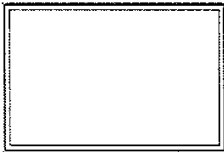
016) C-WCP-4872-1(S)
 017) C-WA-4824-1(X)
 Box Mull @Plant
 Qty: 1
 RO: 48 3/4"x96 3/4"
 Proj: 0"
 Jamb: 4 9/16"
 Loc: MAIN BED
 Sym: H
 Clad: 024-Bronze



18) C-WA-3048-1(X)
 Qty: 1
 RO: 30 3/4"x48 3/4"
 Jamb: 4 9/16"
 Loc: MAIN WC
 Sym: J
 Clad: 024-Bronze



19) C-WC-3648-1(R)
 Qty: 1
 RO: 36 3/4"x48 3/4"
 Jamb: 4 9/16"
 Loc: CRISTINA'S RM
 Sym: K
 Clad: 024-Bronze



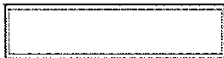
24) C-WCP-7248-1(S)
 Qty: 1
 RO: 72 3/4"x48 3/4"
 Jamb: 4 9/16"
 Loc: CRISTINA'S RM
 Sym: L
 Clad: 024-Bronze



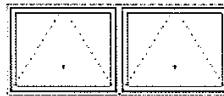
25) C-ID-3696-1(R)
 Qty: 1
 RO: 38 7/16"x98 1/2"
 Jamb: 4 9/16"
 Loc: MAIN SHOWER
 Sym: 6
 Clad: 024-Bronze



26) C-WCP-018113 1/2-1(S)
 Qty: 1
 RO: 18 3/4"x114 1/4"
 Jamb: 4 9/16"
 Loc: MAIN SHOWER
 Sym: M
 Clad: 024-Bronze



27) C-WCP-9624-1(S)
 Qty: 1
 RO: 96 3/4"x24 3/4"
 Jamb: 4 9/16"
 Loc: MAIN BATH
 Sym: N
 Clad: 024-Bronze



28) C-WA-3024-2(XX)
 Qty: 1
 RO: 60 3/4"x24 3/4"
 Jamb: 4 9/16"
 Loc: G.BATH
 Sym: O
 Clad: 024-Bronze



29) C-WA-3024-3(XXX)
 Qty: 1
 RO: 90 3/4"x24 3/4"
 Jamb: 4 9/16"
 Loc: G.BED
 Sym: P
 Clad: 024-Bronze

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(505) 992-1469 (Fax)
jruiiz@spl-ind.com

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211 W.CORDOVA ROAD

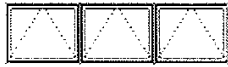
Ship To: RANCHITOS RESIDENCE
855A CAMINO RANCHITOS

Drawings

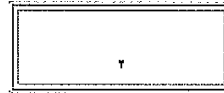
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September 14, 2020

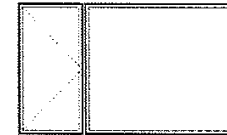
Page 13 of 13



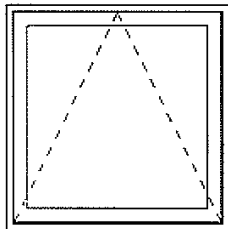
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Qty: 1
RO: 90 3/4"x24 3/4"
Jamb: 4 9/16"
Loc: G.BED
Sym: Q
Clad: 024-Bronze



31) C-WCP-6024-1(S)
Qty: 1
RO: 60 3/4"x24 3/4"
Jamb: 4 9/16"
Loc: GUEST HALL
Sym: R
Clad: 024-Bronze

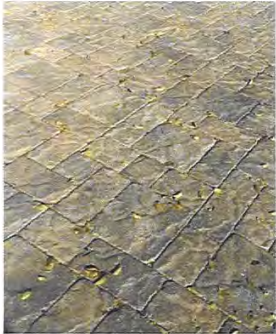


032) C-WC-3060-1(R)
033) C-WCP-7260-1(S)
Box Mull @Plant
Qty: 1
RO: 102 3/4"x60 3/4"
Proj: 0"
Jamb: 4 9/16"
Loc: GREAT ROOM
Sym: S
Clad: 024-Bronze

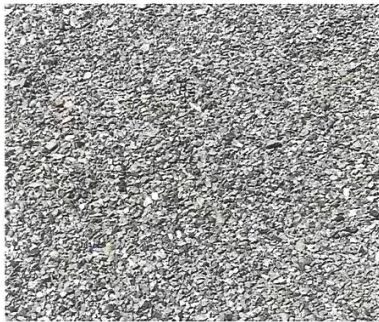


34) C-WA-2424-1(X)
Qty: 1
RO: 24 3/4"x24 3/4"
Jamb: 4 9/16"
Loc: GREAT ROOM
Sym: T
Clad: 024-Bronze

All Window/Door operations are viewed from exterior. Pictures are NOT to scale. They are offered as a rough approximation of design and mulling sequence, therefore CAD drawings may still be required on some units.



Pavestone Venetian
Concrete pavers in
'Three Tone Brown' color
for garage apron



Grey Gravel for
Courtyard and East
garden as Mulch



Exposed Exterior Wood: Stained SPF
(spruce, pine or fir) with clear sealer:

Portal carrier beams/ (2) 4x10 s4s
(smooth 4 sides) beams
Portal ceilings and undersides of
overhangs/ t&g decking without a v-
groove
Wood Doors/ solid core fir, exterior-
rated doors with a horizontal wood
grain

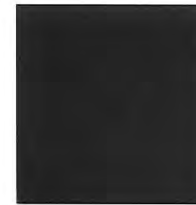


Dry stack Moss rock wall
for retaining soil on
southwest corner of the
property & for northeast
corner of the property



Bluestone Rectangular pavers
for Courtyard and all Portals
and caps on Entry Bench, Guest
Portal half wall, and Grill area
walls.

855a Camino Ranchitos 11/4/20



Window
Cladding: Sierra
Pacific Colorstay
Collection
Bronze 024



Exterior Steel:
Darkened,
distressed finish



Stucco: Dryvit Sandpebble;
fine-E midbase, color:
Pecos

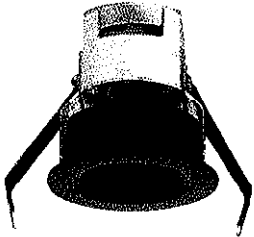


95511S-171: 24V 2700K Fixed Round Down Light-171

Dimensions:

Diameter: 2 5/8"
Width: 2 5/8"
Height: 2 11/16"
Weight: 0.45 lbs.

Bulb Type: Array
Bulb Base: Integrated
Volts: 24
Watts: 5.5
Watts Consumed: 5.5
Watts Rated: 5.5
Hours Rated: 50000
Lumens: 300
Bulb Temp: 2700 °K
CRI: 90



Bulbs:

1 - LED Integrated Array 5.5w 24v - included

Material List:

1 Body - Aluminum - Painted Antique Bronze

Safety Listing:

Safety Listed for Wet Locations / IC
 Safety Listed for Wet Locations / IC

Collections: Lucarne LED Niche (Primary)
 Recessed Lighting

The Lucarne LED Niche lights combine a compact size with advanced LEDs to provide superior quality light from a small package. Available in fixed or adjustable downlights, these units feature 90 CRI in white or antique bronze finishes, 2700K or 3000K CCTs, and can be had in either 12 or 24 volts. For added flexibility, each light ships with both a 30° and 65° beam spread lens included so you can adjust as needed during installation or easily reconfigure at a later date.

UPC #:785652114298

Finish: Painted Antique Bronze (171)

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	95511S-171	1	785652114298	3.175	3.175	3.75	0.022	0.5	65	Yes
Master Pack	95511S-171	24	10785652114295	13	9.5	8.25	0.59	11.3	65	Yes

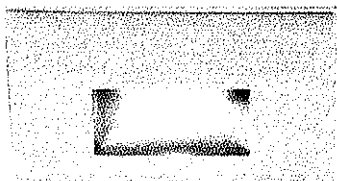
Model: WL-LED100

LEDme® Step Light



WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

Project: _____

Location: _____

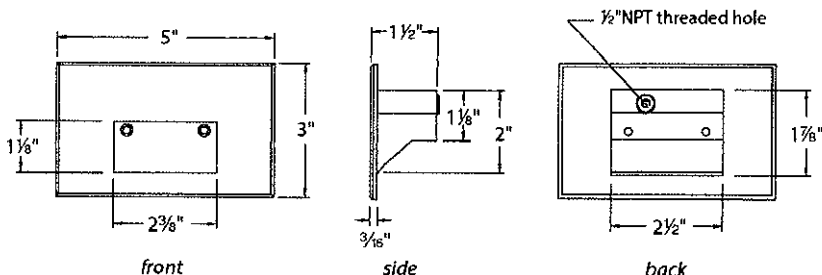
PRODUCT DESCRIPTION

Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- IP66 rated, Protected against high-pressure water jets
- Up to 200 fixtures can be connected in parallel
- 5 year WAC Lighting product warranty



SPECIFICATIONS

Construction: Die-cast aluminum or 316 marine grade cast stainless steel

Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz

Light Source: 3000K CCT Samsung HV-AC High Power LED, CRI: 90
Optional color lenses. Total power consumption of 3.5W

Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H
Includes bracket for J-Box mount.

Dimming: Dim to 10% with electronic low voltage (ELV) dimmer
Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vietri VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600

Standards: IP66, UL & cUL Listed for wet locations, Title 24 JA8-2016 Compliant.

ORDER NUMBER

Model #	Light Color	Finish
WL-LED100	C	BK
WL-LED100F	AM	BN*
	RD	BZ
	BL	GH
		SS
		WT
WL-LED100	C	BBR
	AM	

*Brushed Nickel Finish is for interior use only



Example: WL-LED100F-BL-SS

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

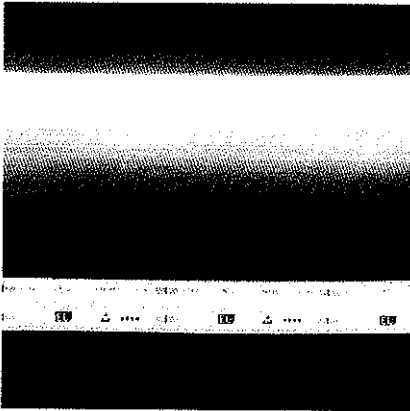
Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760



CALL 888-880-1880 · 7AM-5PM M-F (PT)



Waterproof Continuous LED Strip Light - 2,700K - 5m Reel

Product No.: wp-2700K-CL-10-5m

SHIPS IN: 1 day, typicallyView the [Product Description Page](#) for required parts, accessories, photos and videos.

Product Features

Sold by the [5m reel](#), [10m reel](#) and [sample kit](#).

Waterproof Continuous LED Strip Light is a new style of strip light that utilizes chip on board LEDs to create one diffused line of light. It is ideal for use around reflective surfaces, such as marble floors and countertops, because it eliminates the dots seen with standard SMD LED strip light. With the LEDs integrated into the circuit board, Waterproof Continuous LED Strip Light creates the appearance of an uninterrupted line of hotspot-free LEDs. It also enables designers to use diffused light in tight spaces where standard channel systems wouldn't be ideal.

Waterproof Continuous LED Strip Light has been engineered to be UL Listed and can be used in run lengths up to 5 meters when powered from one end. It features a CCT of 2,700K and is easy to control utilizing any of our compatible controllers and dimmers. Waterproof Continuous LED Strip Light is powered by 24 VDC.

Features List:

- Waterproof – IP65 Rated
- Hotspot-free appearance
- Durable, flexible and low profile
- 2,700K
- Fully dimmable
- UL Listed and RoHS
- 90 watts per reel | 18 watts per meter
- 1290 lumens per meter
- Cuttable every 1.52 in | 38.5 mm

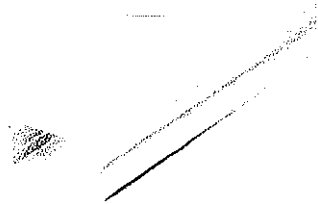


CS179-2m LED Channel System Including Base and Top-2m

Product No.: CS179-2m

SHIPS IN: 1 day, typically

View the [Product Description Page](#) for required parts, accessories, photos and videos.



Product Features

The CS179 LED Channel System utilizes high-quality aluminum channel and includes a frosted, flat-top diffuser. It is the optimal solution for maintaining a low profile and narrow width in combination with waterproof or silicone sheathed LED strip light. Aluminum channel protects LED strip light while the frosted diffuser softens the light output and creates a professional finished appearance.

Features List:

- 19.5mm wide by 10.7mm high
- Frosted diffuser included
- Comes in 2-meter segments and can be cut to any length
- Perfect for mounting LED Strip Light up to 15mm in width
- The frosted diffuser protects LED strip light from the elements and softens light effects
- Compatible end caps are available (sold separately)

NOTE: This product is not returnable.

Specifications

Application	Universal
Diffuser (Finish)	Frosted
Height (English)	0.42 in
Height (Metric)	10.7 mm
Inside Width	16.2
Length (English)	78.74 in
Length (Metric)	2 m
Manufacturer	EnvironmentalLights
Strip Width	15 mm
Width (English)	0.77 in
Width (Metric)	19.5 mm



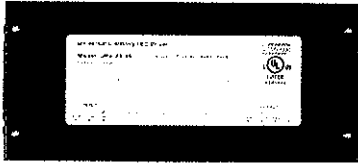
CALL 888-880-1880 7AM-5PM M-F (PT)

Universal Dimming Driver - 24 VDC - 96W

Product No.: UNV-24-96

SHIPS IN: 1 day, typically

View the [Product Description Page](#) for required parts, accessories, photos and videos.



Product Features

The Universal Dimming LED Driver from Environmental Lights is one of the most exciting LED power supplies that we offer. What makes this driver unique is that it is compatible with all dimmers, including phase dimmers and 0-10V dimmers. Additionally, it works with an input voltage of 120-277VAC so you can utilize it for many commercial applications. It is a full capacity driver so there is no need to de-rate this power supply. It is incredibly robust and includes a five-year warranty. With an IP66 rating, you can utilize this power supply in both indoor and outdoor applications. It features an integrated wiring compartment for a streamlined installation.

Note: To avoid damaging the LEDs, the lead-length between the driver and the lights should be no more than 25-feet.

Features:

- Compatible with ALL dimmers, including phase dimmers and 0-10V dimmers
- Continuous, flicker-free dimming from 100% to 1%.
- 96 watts maximum output
- 24 DC volts DC output per channel
- Accepts 100-277VAC
- Integrated wiring compartment
- IP66
- Optimal dimming performance for loads greater than 10 W
- Five-year warranty



DESCRIPTION

H36ICAT is a shallow IC AIR-TITE™ fixture for use with H3 3" series trims. Housing is AIR-TITE rated to prevent airflow between heated or air conditioned spaces and unconditioned attic areas. For use with 120V GU10 lamps.

H36ICAT is IC rated and may be used in insulated 2x6 ceilings and be covered with insulation material.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Housing

IC and AIR-TITE™ rated double wall aluminum construction. Shallow height for 2x6 joist spaces.

Plaster Frame

Housing adjusts in plaster frame to accommodate up to 1-1/2" ceiling thickness. Galvanized steel construction.

Plaster frame features include:

- Regressed locking screw for securing hanger bars.
- Cutouts for easily crimping hanger bars in position.
- Halo name embossed on plaster frame.
- The inner can housing may be removed from the plaster frame to provide access to the junction box.
- Pre-installed AIR-TITE gasket.

Got NAIL!™ Bar Hangers

- Pre-installed nail easily installs in regular lumber, engineered lumber and laminated beams.
- Safety and guidance system prevents snagging, ensures smooth straight nail penetration and allows bar hangers to be easily removed if necessary.
- Automatic levelling flange aligns the housing and lets you hold the housing in place with one hand while driving nails.

• Housing can be positioned at any point within 24" joist span

• Pass-N-Thru™ feature allows bar hangers to be shortened without removing from plaster frame.

• Score lines allow "toolless" shortening.

• Bar hangers may be repositioned 90°.

• Integral T-bar clip snaps onto T-bars - no additional clips required.

Junction Box

• UL Listed for through branch circuit wiring (maximum 8 No.12 ga., 90°C conductors).

• Four 1/2" trade size conduit knockouts with true pry-out slots are positioned to accommodate straight conduit runs.

• Three Slide-N-Side™ wire traps allow non-metallic sheathed cable to be installed without tools and without removing knockouts. Accepts a wide range of non-metallic sheathed cable.

- Allows wiring connections to be made outside the junction box
- Simply insert the cable directly into the trap after connections are made.

- Three push-in wire connectors are included and eliminate the need for separate wire nuts.

- Accommodates the following standard non-metallic sheathed cable sizes:

- (US) #14/2, #14/3, #12/2, #12/3
- (Canada) #14/2, #14/3, #12/2

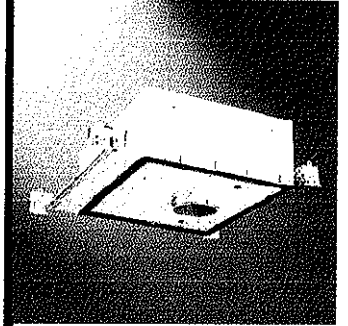
Socket

GU10 socket for 120V GU10 lamps.

Labels

- UL/cUL Listed 1598 Luminaire
- UL/cUL Damp Location Listed
- UL/cUL Listed for Feed Through
- UL/cUL listed for Direct Contact with Insulation and combustible material*
- Meets following IC - AIR-TITE™ requirements:
- State of California Title 24
- Washington State Energy Code
- International Energy Conservation Code (IECC)
- New York State Energy Conservation Construction Code
- Certified Under ASTM-E283 for air tight construction.

*Not for use in direct contact with spray foam insulation (Refer to NEMA LSD57-2013)



H36ICAT

3" Insulated Ceiling
AIR-TITE™ Recessed Shallow
Housing
120V GU10

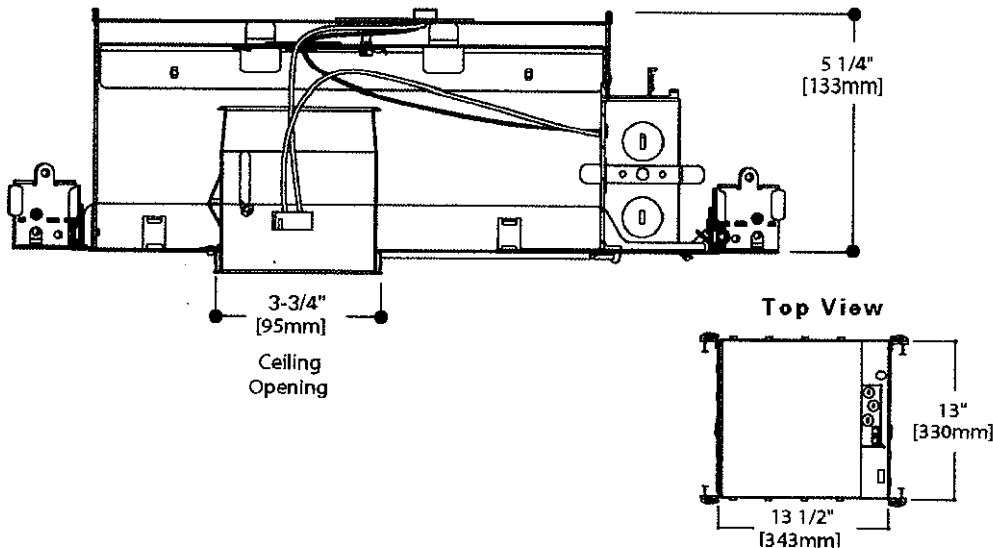
FOR USE IN INSULATED
CEILING

CAN BE COVERED WITH
INSULATION



120V GU10

Transformer Data:



- Slide-N-Side™ Junction Box
- GOT NAIL!™ Bar Hangers
- Pass-N-Thru™ Bar Hangers
- Regressed Locking Screw
- Quick-Connect Wiring Connectors
- HALO ID on Plaster Frame

E

DESCRIPTION

Regressed glass lens adjustable downlight shower trim with reflector is designed for use with IC or Non-IC AIR-TITE™ 3" Halo small aperture line and low voltage housings. Models 3007WHC, 3007PCC and 3007SN are "dead-front" featuring a glass lens with non-conductive and non-corrosive polymer trim rings. Model 3007TBZ has a die-cast trim ring. This wet location listed shower trim uses MR16 low voltage or GU10 line voltage lamps, ideal for accent and task lighting. Regressed lens trim offers 15° tilt with 360° orientation within housing.

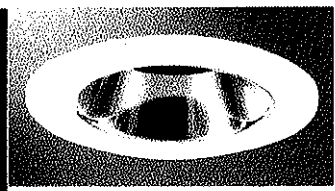
Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

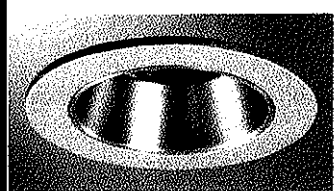
Trim combinations include Specular Clear Reflector with Matte White or Polished Chrome trim ring, Satin Nickel reflector and trim ring, and Tuscan Bronze reflector and trim ring. Three pressure springs ensure positive retention in housing.

3007 is designed for use with the following Halo H3 small aperture housings:

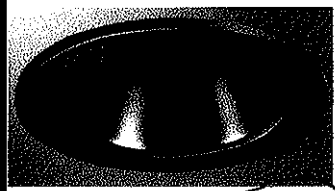
- Line Voltage Housing (for 120V GU10 lamps).
 - H36ICAT 50W IC Air-Tite Housing
 - H36TAT 50W Non-IC Air-Tite Housing
 - H36RTAT 50W Non-IC Air-Tite Remodel Housing
- Low Voltage Housing (for 12V MR16 lamps).
 - H36LVICAT 50W IC Air-Tite Housing
 - H36LVTAT 50W Non-IC Air-Tite Housing
 - H36LVRTAT 50W Non-IC Air-Tite Remodel Housing
 - H36LVTAT277 50W Non-IC Air-Tite Housing, 120/277V
 - H36LVRTAT277 50W Non-IC Air-Tite Remodel Housing, 120/277V
- Line Voltage Housing (for 120V GU10 lamps).
 - H38ICAT 50W IC Air-Tite Housing
- Low Voltage Housing (for 12V MR16 lamps).
 - H38LVICAT 37W IC Air-Tite Housing



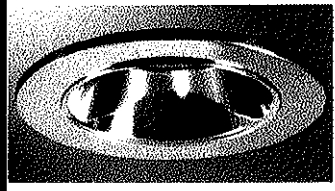
3007WHC
White with Specular Clear Reflector



3007SN
Satin Nickel with Satin Nickel Reflector



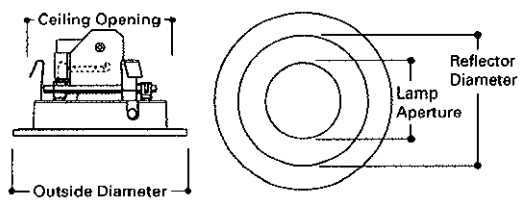
3007TBZ
Tuscan Bronze with Tuscan Bronze Reflector



3007PCC
Polished Chrome with Specular Clear Reflector

3007

3" Regressed Lens Showerlight Trim



- Lamp Aperture: 2" [51mm]
- Reflector Diameter: 3" [75mm]
- Ceiling Opening: 3-3/4" [95mm]
- Outside Diameter: 4-1/4" [108mm]

ORDERING INFORMATION

SAMPLE NUMBER: 3007PCC
Order housing and trims separately.

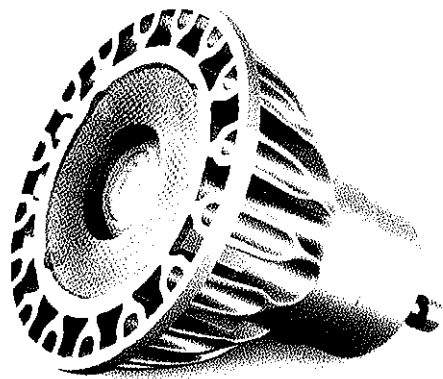


3007= 3" Lensed Showerlight Trim
 WHC=White with Specular Clear Reflector, Glass Lens, and Polymer Trim Ring "Dead-Front"
 PCC=Polished Chrome with Specular Clear Reflector, Glass Lens, and Polymer Trim Ring "Dead-Front"
 SN=Satin Nickel with Satin Nickel Reflector, Glass Lens, and Polymer Trim Ring "Dead-Front"
 TBZ=Tuscan Bronze with Tuscan Bronze Reflector, Glass Lens, and Die-Cast Trim Ring "Dead-Front"



3" TRIMS

SORAA brilliant



25° - OVER
COUNTERS
36° - ALL OTHER
EXTERIOR
LOCATIONS

SORAA BRILLIANT HL™

The Soraa Brilliant HL single-source COB lamp combines Soraa's world-class optics design and driver technology with a photopically efficacious LED

SORAA POINT SOURCE OPTICS™

With a point source and sophisticated folded optics, Soraa creates very controlled beam angles from 10 to 60 degrees, in form factors as challenging as the compact GU10 resulting in smooth uniform beams and crisp shadows

FLICKER

Soraa lamps demonstrate low levels of flicker in both dimmed and undimmed states

ENERGY EFFICIENCY AND LONG LIFE

85% more energy efficient than standard halogen lamps
Typical payback of one year or less
Rated lifetime to L70: 35,000hrs
Warranty: 3yrs or 25,000hrs whichever comes first
Warranty information: soraa.com/resources/legal

ACCESSORIES

Narrow spot compatible with the Soraa SNAP System™

MR16 GU10 7.5W 120V

Output Range	575 - 630 lumen
Beam Angle Range	10°, 25°, 36°, 60°
Color Metrics	CCT: 2700K, 3000K Color Rendering CIE Metrics: CRI 90, R9 50

Application: This lamp is suitable for use in fully enclosed fixtures, subject to the maximum heatsink temperature limits stated in this data sheet. Halogen replacement for indoor applications.



HIGHLY COMPATIBLE

Geometrically compatible with standard fixtures and suitable for damp locations

This lamp is suitable for use in fully enclosed fixtures, subject to the maximum heatsink temperature limits stated in this data sheet. A list of qualified enclosed fixtures can be found at www.soraa.com/resources

Works with trailing edge and leading edge phase cut dimmers (see www.soraa.com/resources)

INTENDED USE AND APPLICATIONS

Intended for use in GU10 compatible recessed downlights, track lighting and other indoor and outdoor applications

Soraa lamps are designed to safely turn down in any thermal environment not conducive to minimum airflow or proper ventilation

CERTIFICATIONS

Title 20 compliant, UL/CUL, FCC Title 47 Part 15B, RoHS



GENERAL SPECIFICATIONS

Form Factor	Operating Temperature	Electrical	Dimming and Flicker
Width: 49.9mm (1.96")	Minimum: -40°C (ambient)	Wattage: 7.5W	T24/JA8 compliant.
Height: 53.5mm (2.10")	Typical: 85°C - 95°C (base)	Power factor: 0.93	Please reference our compatibility chart for dimmer and transformer information.
Weight: 61g	Maximum: 100°C (base)	Voltage: 120V +/- 12V	
		Frequency: 50/60Hz	



Inspired by the profile of modern lever door hardware, the sleek Nate outdoor wall sconce reflects LED light off the wall to create a perfect grazing light effect on architectural surfaces-either indoors or outside. Cleverly hidden hardware ensures a clean look.

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

SPECIFICATIONS

DELIVERED LUMENS	136
WATTS	11
VOLTAGE	120V
DIMMING	ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Wall (Up or Down)
CCT	3000K
CRI	90
COLOR BINNING	3-Step
BUG RATING	N/A
DARK SKY	Compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2016 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; 70,000 hours
WARRANTY*	5 years
WEIGHT	4.5 lbs.



NATE 17
shown in bronze



NATE 17
shown in graphite

* Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

7000WNTE	SIZE	FINISH	LAMP
17	17"	Z BRONZE I SILVER	LED930 LED 90CRI, 3000K, 120V



Inspired by the profile of modern lever door hardware, the sleek Nate outdoor wall sconce reflects LED light off the wall to create a perfect grazing light effect on architectural surfaces—either indoors or outside. Cleverly hidden hardware ensures a clean look.

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

SPECIFICATIONS

DELIVERED LUMENS	30
WATTS	6
VOLTAGE	120V
DIMMING	ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Wall (Up or Down)
CCT	3000K
CRI	90
COLOR BINNING	3-Step
BUG RATING	N/A
DARK SKY	Compliant
WET LISTED	IP65
GENERAL LISTING	ETL, ADA
CALIFORNIA TITLE 24	Can be used to comply with CEC 2016 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; 70,000 hours
WARRANTY*	5 years
WEIGHT	2 lbs.



NATE 09
shown in bronze



NATE 09
shown in silver

* Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

7000WNTE	SIZE	FINISH	LAMP
	9 9"	Z BRONZE I SILVER	LED930 LED 90CRI, 3000K, 120V



RANCHITOS RESIDENCE
855A CAMINO RANCHITOS
SANTA FE, NEW MEXICO

NOT FOR CONSTRUCTION

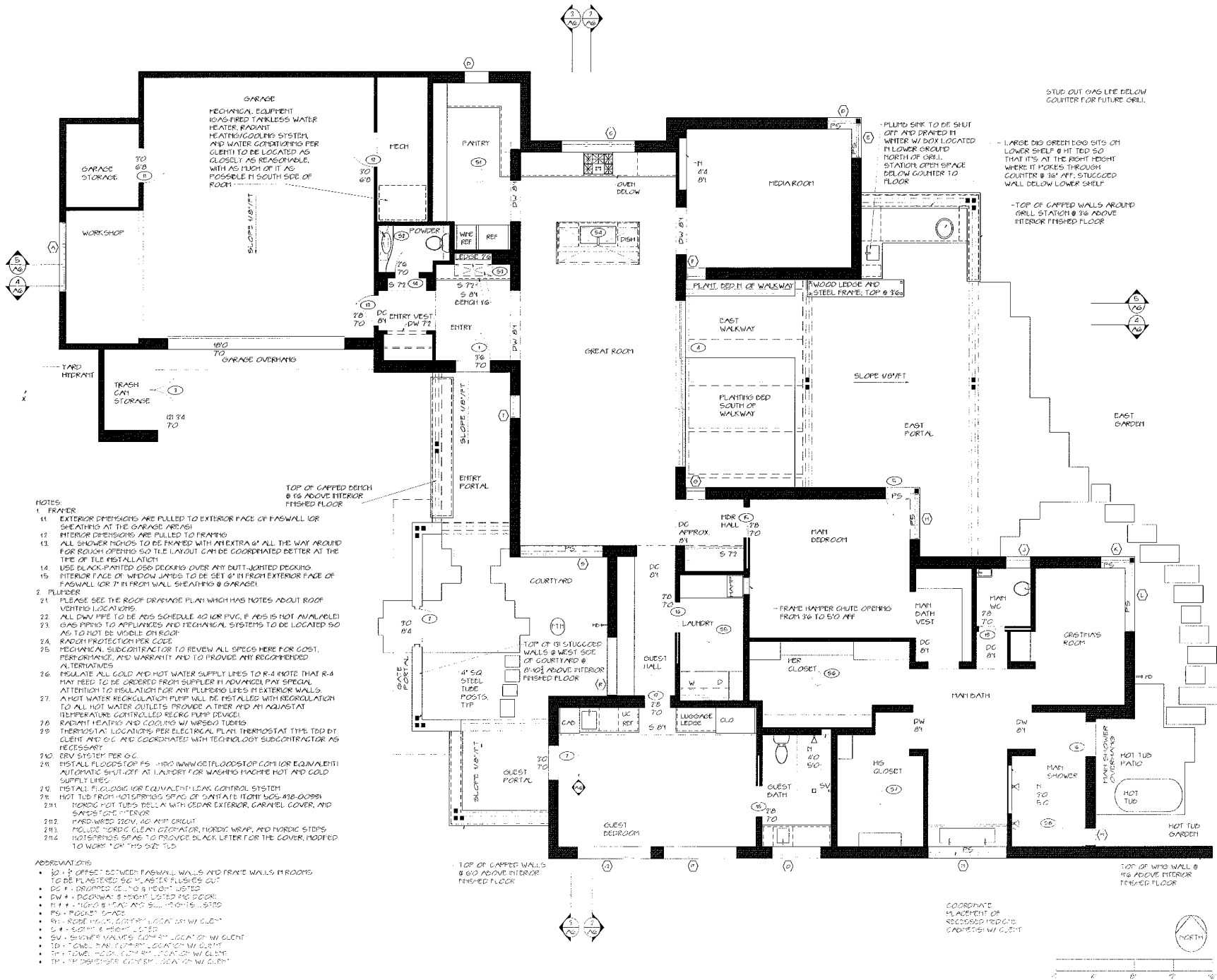
1.00 NORTH 2021
21.00 WORKSHEET

PRELIMINARY 2020-11-25

SCALE 1/8" = 1'-0"

REFERENCE PLAN

A2
39



NOTES:

1. FRAMER
 - 11. EXTERIOR DIMENSIONS ARE PULLED TO EXTERIOR FACE OF FASWALL OR SHEATHING AT THE GARAGE AREA(S)
 - 12. INTERIOR DIMENSIONS ARE PULLED TO FRAMING
 - 13. ALL SHOWER NICHOS TO BE FRAMED WITH AN EXTRA 6" ALL THE WAY AROUND FOR ROUGH OPENINGS SO THE LAYOUT CAN BE COORDINATED BETTER AT THE TIME OF THE INSTALLATION
 - 14. USE BLACK-PAINTED OSB DECKING OVER ANY BUTT-JOINTED DECKING
 - 15. INTERIOR FACE OF WINDOW JAMBS TO BE SET 6" IN FROM EXTERIOR FACE OF FASWALL (OR 7" IN FRONT WALL SHEATHING @ GARAGE)
2. PLUMBER
 - 21. PLEASE SEE THE ROOF DRAINAGE PLAN WHICH HAS NOTES ABOUT ROOF VENTING LOCATIONS
 - 22. ALL DRAIN PIPE TO BE ADS SCHEDULE 40 OR PVC, IF ADS IS NOT AVAILABLE
 - 23. GAS PIPING TO APPLIANCES AND MECHANICAL SYSTEMS TO BE LOCATED SO AS TO NOT BE VISIBLE OR POOR
 - 24. RADON PROTECTION PER CODE
 - 25. MECHANICAL SUBCONTRACTOR TO REVIEW ALL SPECS HERE FOR COST, PERFORMANCE, AND WARRANTY AND TO PROVIDE ANY RECOMMENDED ALTERNATIVES
 - 26. INSULATE ALL COLD AND HOT WATER SUPPLY LINES TO R-4 NOTE THAT R-4 MAY NEED TO BE ORDERED FROM SUPPLIER IN ADVANCE, PAY SPECIAL ATTENTION TO INSULATION FOR ANY PLUMBING LINES IN EXTERIOR WALLS
 - 27. A HOT WATER REGULATION PUMP WILL BE INSTALLED WITH REGULATION TO ALL HOT WATER OUTLETS. PROVIDE A THER AND AN AQUASTAT (TEMPERATURE CONTROLLED RECIRC PUMP DEVICE)
 - 28. RADIANT HEATING AND COOLING W/ WURSD TUBING
 - 29. THERMOSTAT LOCATIONS PER ELECTRICAL PLAN. THERMOSTAT TYPE TBD BY CLIENT AND O/C AND COORDINATED WITH TECHNOLOGY SUBCONTRACTOR AS NECESSARY
 - 210. DRV SYSTEM PER O/C
 - 211. INSTALL FLOORS TOP FS - 1" PRO IN WAINSCOT FLOOR TOP OF COM (OR EQUIVALENT) AUTOMATIC SHUT-OFF AT LAUNDRY FOR WASHING MACHINE HOT AND COLD SUPPLY LINES
 - 212. INSTALL FLOORLOGIC OR EQUIVALENT LEAK CONTROL SYSTEM
 - 213. HOT TUB FROM HOT SPRINGS SPA OF DATELINE ITEM 505-438-0089
 - 2131. HANGING HOT TUBS SHALL A WITH CEDAR EXTERIOR, CARAMEL COVER, AND SANDSTONE INTERIOR
 - 2132. HARD WOOD TUB, 40 AMP CIRCUIT
 - 2133. INCLUDE HORDIC CLEAN OPERATOR, HORDIC WRAP, AND HORDIC STEPS
 - 2134. HOT SPRINGS SPA TO PROVIDE BLACK LETTER FOR THE COVER, MODIFIED TO WORK 1" OF THIS SIZE TUB

ABBREVIATIONS

- 30" ± OFFSET BETWEEN FASWALL WALLS AND FRAME WALLS IN ROOMS
- TO BE PLANTED 30" PLASTER FLASHES OUT
- DC = DROPPED CEILING HEIGHT LISTED
- DW = DOWNWALL - HEIGHT LISTED OR CODED
- FH = FINISH FLOOR AND SLOPE INDICATED
- FS = FINISH GRADE
- G1 = ROBE HOOK, CENTER LOCATION W/ CLIENT
- S = SLOTTED SHEATHING LISTED
- SV = SERVICE WALLS, CENTER LOCATION W/ CLIENT
- TD = TOWEL DRY, CENTER LOCATION W/ CLIENT
- TP = TOWEL HOOK, CENTER LOCATION W/ CLIENT
- TR = TRAY DIVISOR, CENTER LOCATION W/ CLIENT

STUD OUT GAS LINE BELOW COUNTER FOR FUTURE GRILL

PLUMB SINK TO BE SHUT OFF AND DRAINED BY WINTER W/ BOX LOCATED FLOWER GROUND NORTH OF GRILL. STATION OPEN SPACE BELOW COUNTER TO FLOOR

LARGE DIO GREEN LOG SITS ON LOWER SHELF @ HT. TBD SO THAT IT'S AT THE RIGHT HEIGHT WHERE IT POKES THROUGH COUNTER @ 36" AFF. STUCCOED WALL BELOW LOWER SHELF

TOP OF CAPPED WALLS AROUND GRILL STATION @ 36" ABOVE INTERIOR FINISHED FLOOR

TOP OF CAPPED WALLS @ 60" ABOVE INTERIOR FINISHED FLOOR

TOP OF WINE WALL @ 116" ABOVE INTERIOR FINISHED FLOOR

COORDINATE PLACEMENT OF RECESSED MEDIC CABINETS W/ CLIENT





RANCHITOS RESIDENCE
 855A CAMINO RANCHITOS
 SANTA FE, NEW MEXICO

NOT FOR CONSTRUCTION

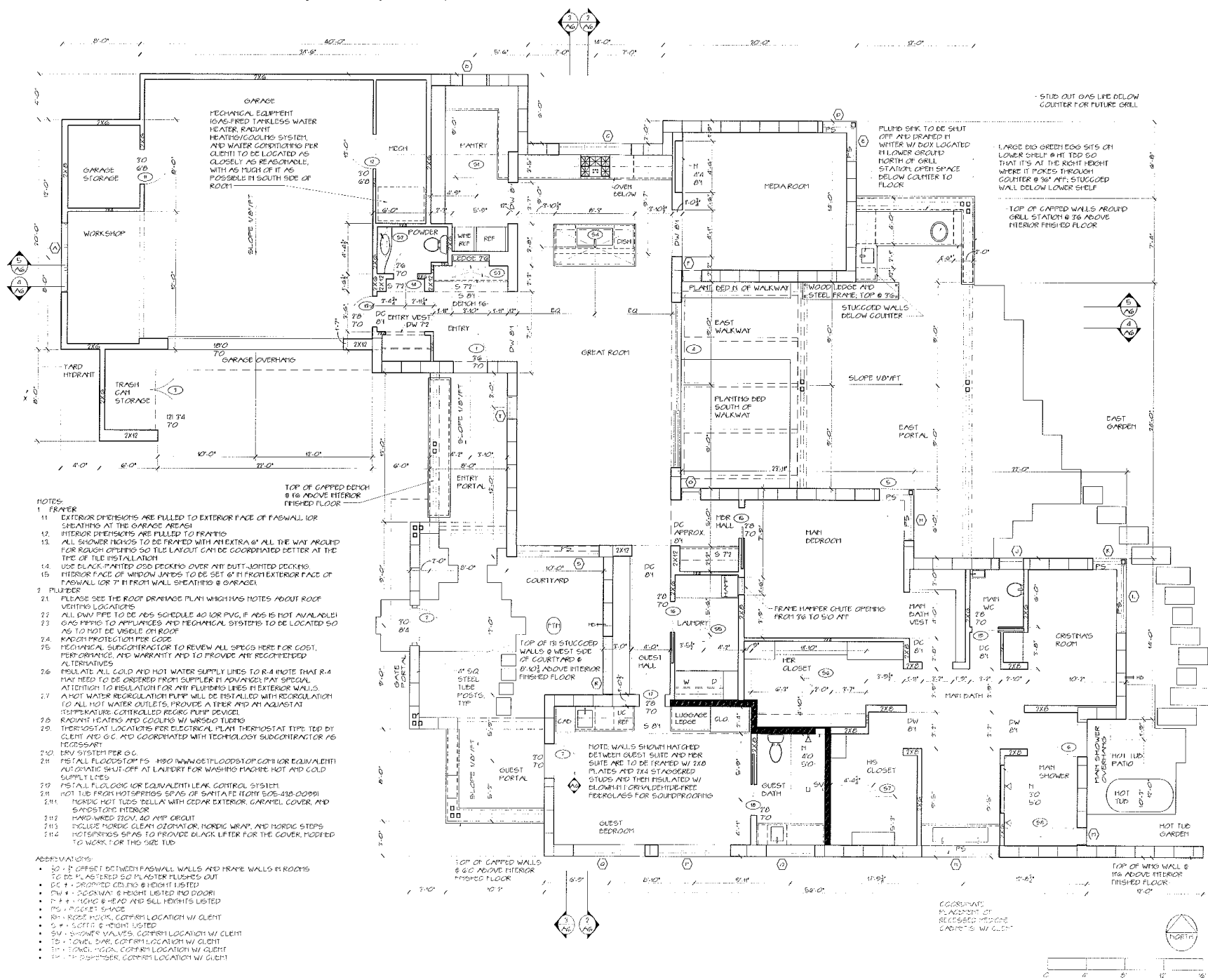
© 2020 BY
 STUDIO BEILI ARCHITECTS

PRELIMINARY 2020.11.25

SCALE 1/4" = 1'-0"

FLOOR PLAN

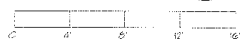
A3
 40

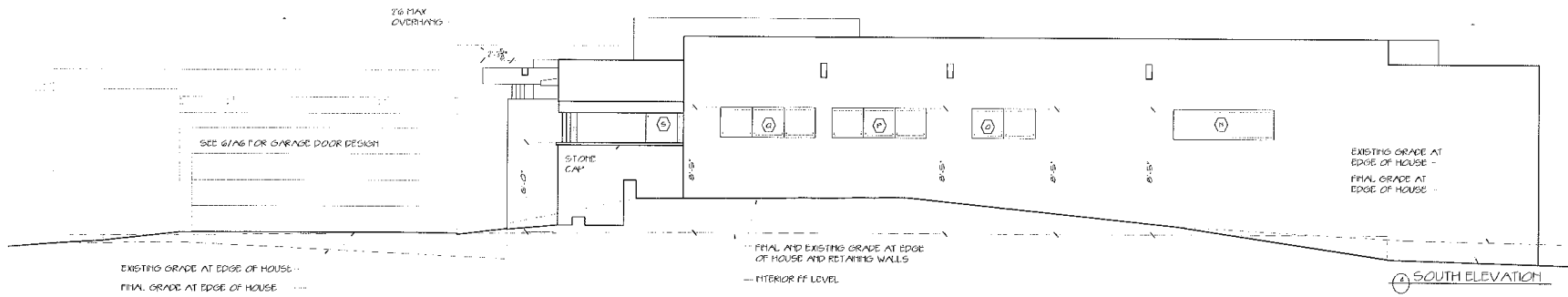


- NOTES**
- FRAYER
 - EXTERIOR DIMENSIONS ARE PULLED TO EXTERIOR FACE OF FABWALL OR SHEATHING AT THE GARAGE AREAS
 - INTERIOR DIMENSIONS ARE PULLED TO FRAMING
 - ALL SHOWER NICHES TO BE FRAMED WITH AN EXTRA 6" ALL THE WAY AROUND FOR RAUGH OPENING SO TILE LAYOUT CAN BE COORDINATED BETTER AT THE TIME OF TILE INSTALLATION
 - USE BLACK PAINTED OSB DECKING OVER ANY BUTT-JOINTED DECKING
 - INTERIOR FACE OF WINDOW JAMBS TO BE SET 6" FROM EXTERIOR FACE OF FABWALL OR 7" FROM WALL SHEATHING @ GARAGE
 - PLUMBER
 - PLEASE SEE THE ROOF DRAINAGE PLAN WHICH HAS NOTES ABOUT ROOF VENTING LOCATIONS
 - ALL DRAIN PIPES TO BE ADS SCHEDULE 40 OR PVC, IF ADS IS NOT AVAILABLE AS TO NOT BE VISIBLE ON ROOF
 - GAS PIPES TO APPLIANCES AND MECHANICAL SYSTEMS TO BE LOCATED SO AS TO NOT BE VISIBLE ON ROOF
 - MECHANICAL SUBCONTRACTOR TO REVIEW ALL SPECS HERE FOR COST, PERFORMANCE, AND WARRANTY AND TO PROVIDE ANY RECOMMENDED ALTERNATIVES
 - INSULATE ALL COLD AND HOT WATER SUPPLY LINES TO R-4 (NOTE THAT R-4 MAY NEED TO BE ORDERED FROM SUPPLIER IN ADVANCE) PER SPECIAL ATTENTION TO INSULATION FOR ANY FLOORING LINES IN EXTERIOR WALLS
 - A HOT WATER REGENERATION PUMP WILL BE INSTALLED WITH REGULATION TO ALL HOT WATER OUTLETS. PROVIDE A THERMOSTAT AND AN ADJUSTABLE TEMPERATURE CONTROLLED REGRU PUMP DEVICE
 - RADIANT HEATING AND COOLING W/ WIRELESS THERMS
 - THERMOSTAT LOCATIONS PER ELECTRICAL PLAN THERMOSTAT TYPE TOP BY CLIENT AND E.C. AND COORDINATED WITH TECHNOLOGY SUBCONTRACTOR AS NECESSARY
 - DHW SYSTEM FOR GC
 - RECALL FLOORING FOR FS - H90 (WWW.GETITGOODSTOP.COM) OR EQUIVALENT AUTOMATIC SHUT-OFF AT LAUNDRY FOR WASHING MACHINE HOT AND COLD SUPPLY LINES
 - RECALL FLOORING OR EQUIVALENT LEAK CONTROL SYSTEM
 - HOT TUB FROM HOTSPRINGS SPAS OF SANTA FE (800-430-0099)
 - HARDY HOT TUBS "BELLA" WITH CEDAR EXTERIOR, GRANITE COVER, AND SANDSTONE INTERIOR
 - HARDY WOOD 2000 40 AMP CIRCUIT
 - INCLUDE MORDIC CLEAN OPERATOR, MORDIC WRAP, AND MORDIC STEPS
 - HOTSPRINGS SPAS TO PROVIDE BLACK LETTER FOR THE COVER, MODIFIED TO WORK FOR THIS SIZE TUB

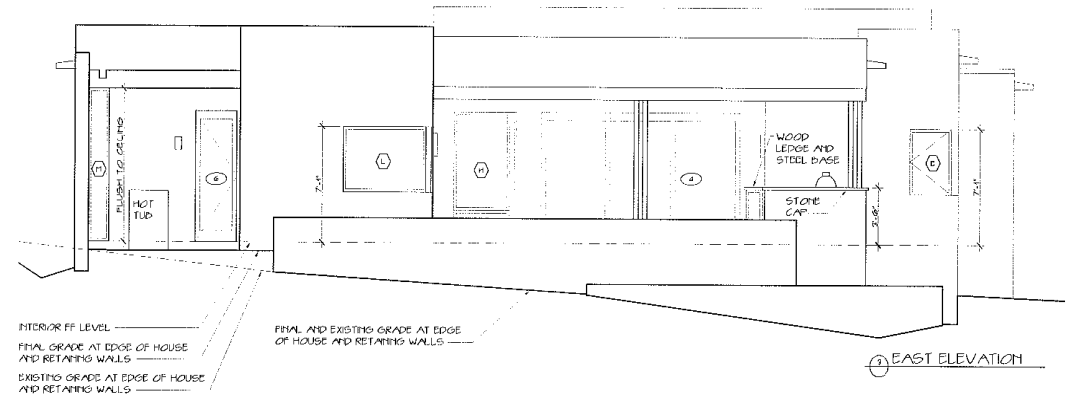
- ABBREVIATIONS:**
- NO. 1 OFFSET BETWEEN FABWALL WALLS AND FRAME WALLS IN ROOMS TO BE PLASTERED SO PLASTER FINISHES OUT
 - DC # - CROWN MOULDING @ HEIGHT LISTED
 - DW # - DOORWAY @ HEIGHT LISTED (NO DOOR)
 - T # - TRIM @ HEIGHT & HEAD AND SILL HEIGHTS LISTED
 - PS - PICTURE SHADE
 - R# - ROSE MOULD, CORNER LOCATION W/ CLIENT
 - S # - SILL @ HEIGHT LISTED
 - SW - SHOWER VALVES, CORNER LOCATION W/ CLIENT
 - TS - TOWER SINK, CORNER LOCATION W/ CLIENT
 - TL - TOWER TUB, CORNER LOCATION W/ CLIENT
 - TR - TRIM/DOOR, CORNER LOCATION W/ CLIENT

COORDINATE PLACEMENT OF SELECTED FIXTURES & APPLIANCES W/ CLIENT

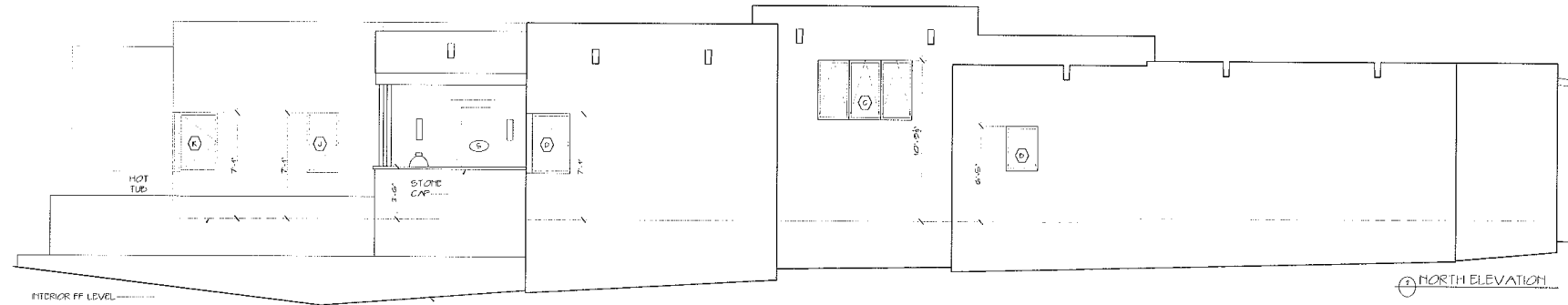




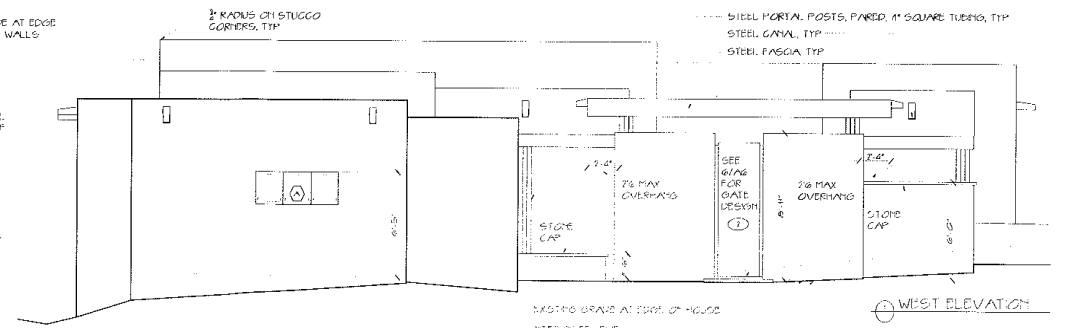
② SOUTH ELEVATION



③ EAST ELEVATION



④ NORTH ELEVATION



⑤ WEST ELEVATION

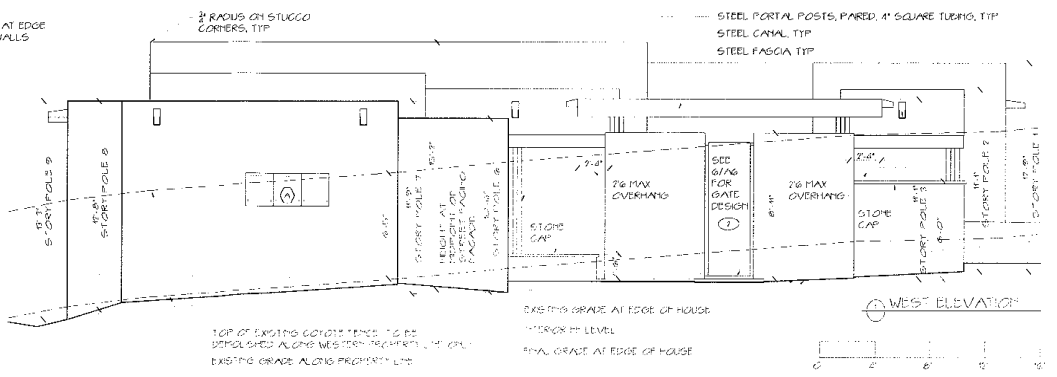
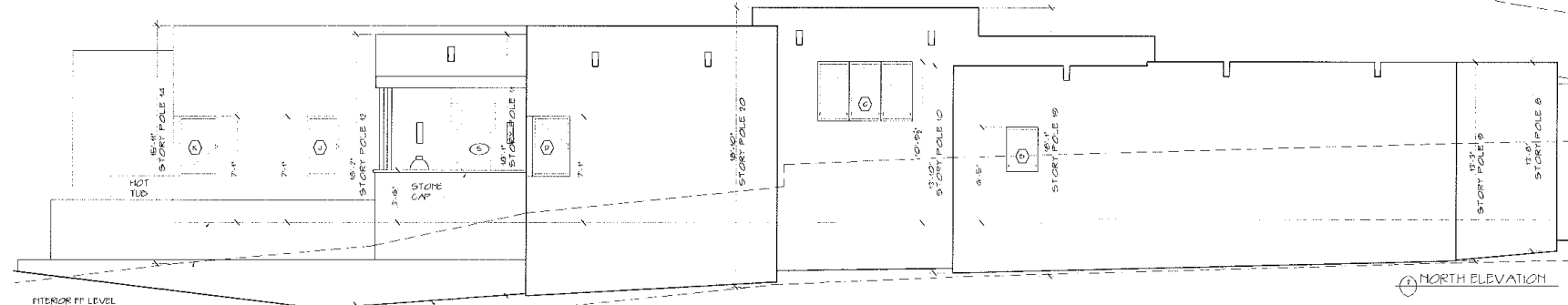
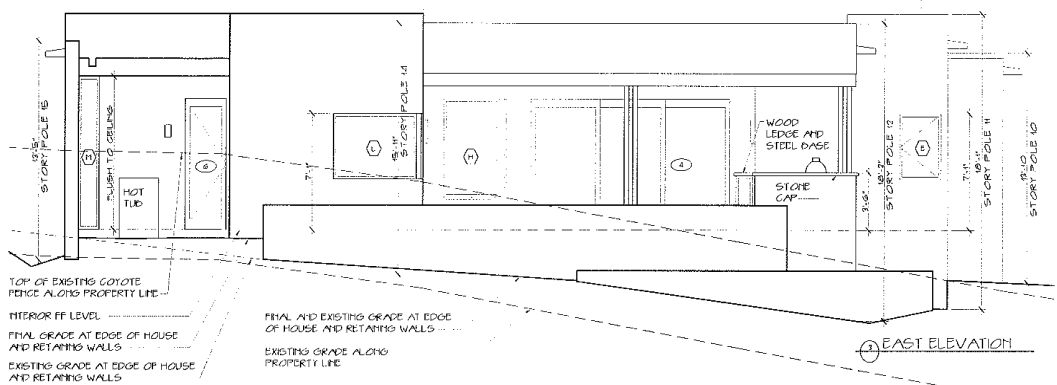
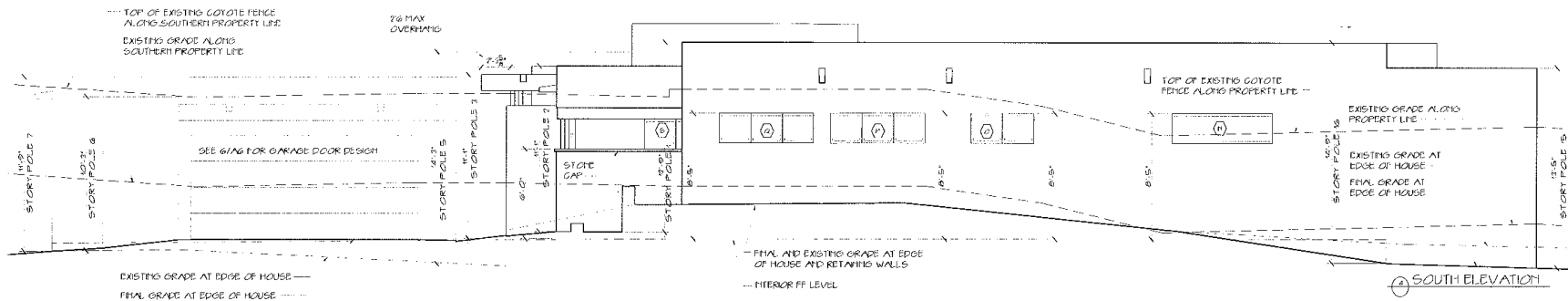
- EXTERIOR MATERIALS AND COLORS**
1. DRIVEWAY AND GUEST PARKING
 2. GARAGE APRON PAVESTONE, VENEZIAN CONCRETE PAVERS IN THREE TONE BROWN COLOR
 3. HARDSCAPING FOR PATH THROUGH COURTYARD, ALL PORTALS, FLOORING, AND CAPS ON ENTRY BENCH, GUEST PORTAL MAIL WALL, AND GRILL AREA WALLS: BLUESTONE
 4. MULCH IN COURTYARD AND EAST GARDEN: 3" CRUSHED GREY GRAVEL
 5. RETAINING WALLS ON SOUTHWEST AND NORTHEAST CORNERS OF PROPERTY: DRY STACK MOSS ROCK
 6. FINISH FOR PORTAL, CARRIES, ISLAND, PORTAL CEILING, UNDERSIDE OF OVERHANGS, AND WOOD DOORS: CLEAR SEALER ON SPRUCE/PINE
 7. STEEL: GRANULES, PAVINGS, AND PORTAL POSTS: DARKENED, DISTRESSED FINISH
 8. STUCCO: DRIVIT SANDPREDIBLE FINE MESH, COLOR FELCOS
 9. WARDROBS AND GLASS DOORS: SERRA MAGGIO COLORISTAI COLLECTION BRONZE C74

- STEEL PORTAL POSTS, PAIRED, 4" SQUARE TUBING, TYP
- STEEL CANAL, TYP
- STEEL FASCIA, TYP

RANCHITOS RESIDENCE
 855A CAMINO RANCHITOS
 SANTA FE, NEW MEXICO

NOT FOR CONSTRUCTION
 CONSULT THE ARCHITECTURE
 PRELIMINARY 2020-11-25

SCALE 1/4" = 1'-0"
 ELEVATIONS



- EXTERIOR MATERIALS AND COLORS
1. DRIVEWAY AND GUEST PARKING
 2. GARAGE ARCH: PAVESTONE VENETIAN CONCRETE PAVERS IN THREE TONE BROWN COLOR
 3. HARDWARE: BRASS FOR PATH THROUGH COURTYARD, ALL PORTAL FLOORING, AND CAPS ON ENTRY BENCH, GUEST PORTAL HALF WALL, AND DRILL AREA WALLS. DUSTY BLUE
 4. TROUGH COURTYARD AND EAST GARDEN: 3/4" CRUSHED GREY GRAVEL
 5. RETAINING WALLS ON SOUTHWEST AND NORTHEAST CORNERS OF PROTEST: DRY STACK MOSS ROCK
 6. FINISH FOR PORTAL: GARBAGE DECKS, PORTAL CEILING, UNDERSIDE OF OVERHANGS, AND WOOD DOORS: CLEAR SCALE ON SPRUCE/PINE
 7. STEEL: GALVALUM FASCIA, AND PORTAL POSTS: DARKENED, DISTRESSED FINISH
 8. STUCCO: DRIFT SAND/PEBBLE AND 2 HIDEABLE COLOR PIECES
 9. WINDOWS AND GLASS DOORS: SOLAR-FACING COLORSTAY COLLECTION-BRONZE 024



ph: 505.692.2372
studio@studiobeili.com

studio beili

RANCHITOS RESIDENCE
855A CAMINO RANCHITOS
SANTA FE, NEW MEXICO

NOT FOR CONSTRUCTION

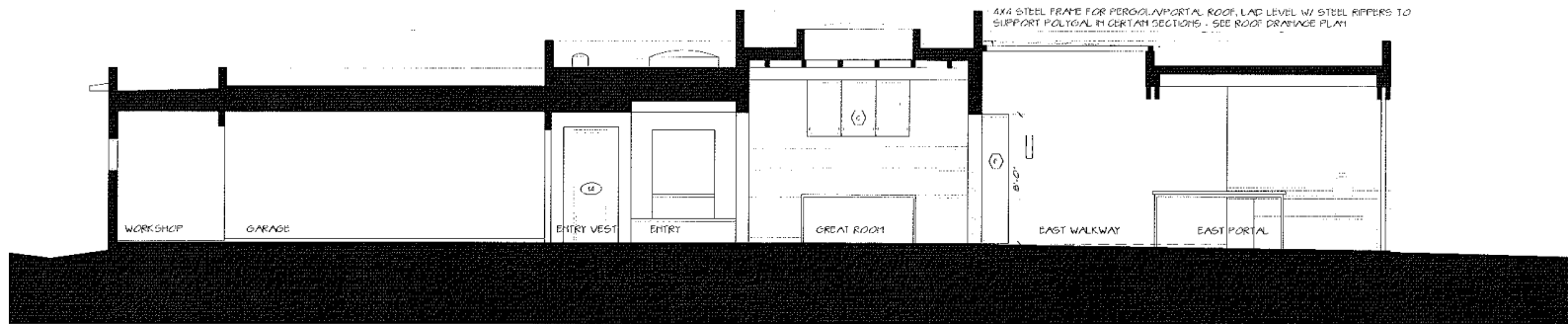
© 2006 TYP
STUDIO BEILI ARCHITECTURE

PRELIMINARY 2006-11-25

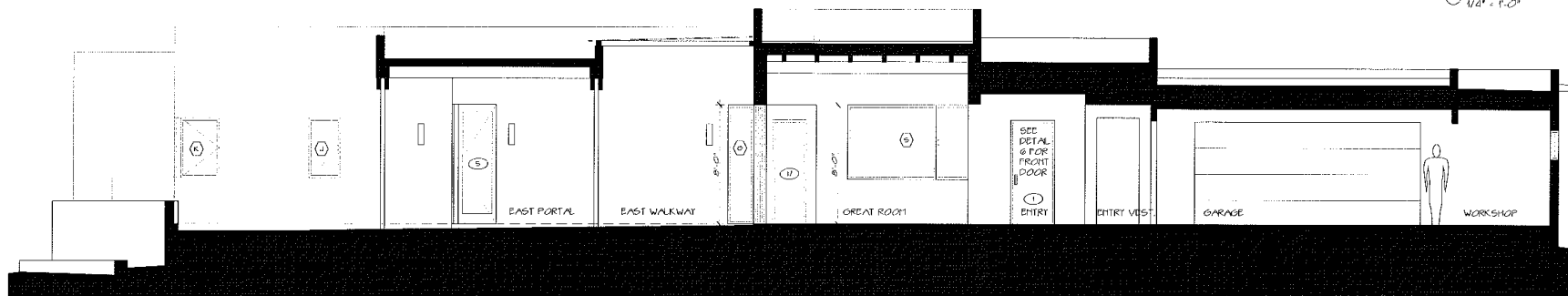
SCALE: 1/4" = 1'-0"

ELEVATIONS w/
FENCE AND
STORY POLES

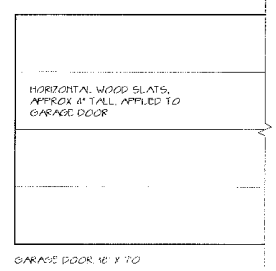
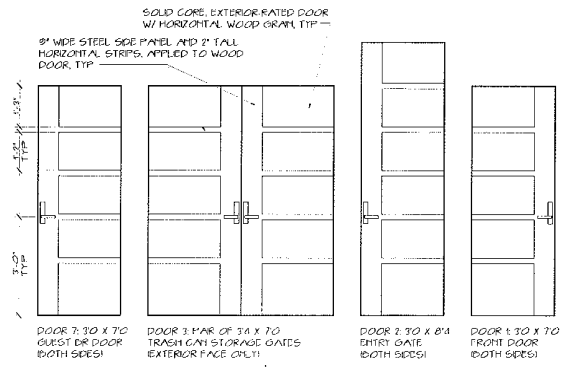
A5a
42



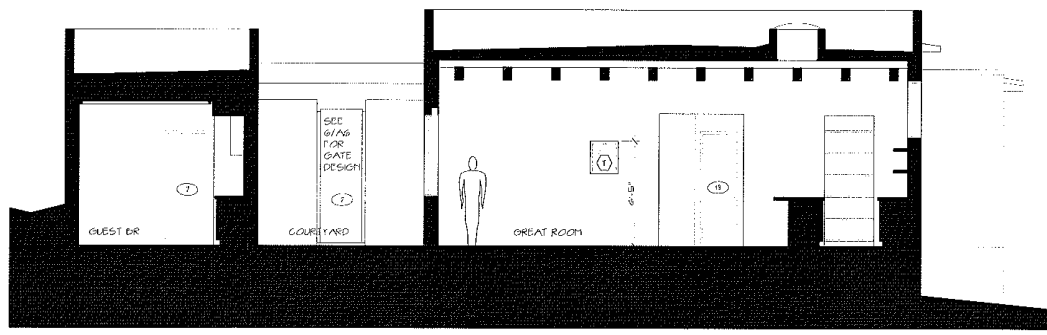
SECTION
1/4" = 1'-0"



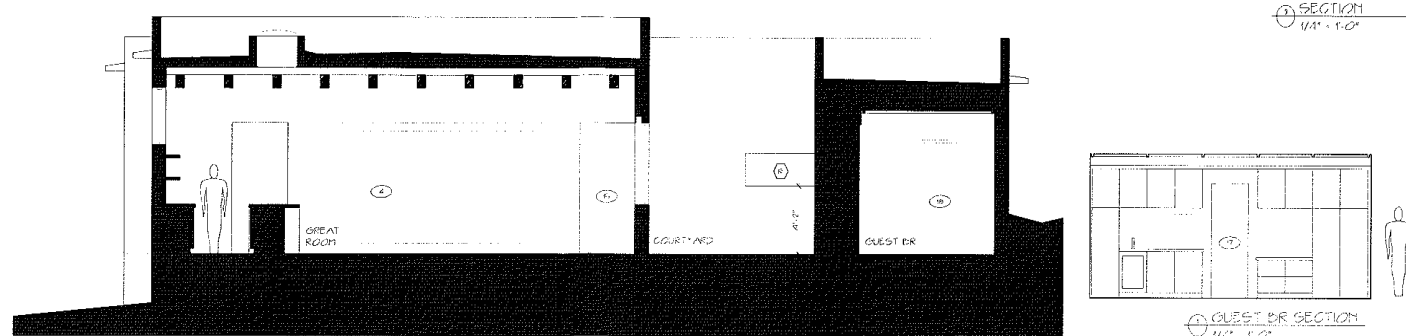
SECTION
1/8" = 1'-0"



DOOR AND GATE DETAILS
1/4" = 1'-0"



SECTION
1/4" = 1'-0"



GUEST DR SECTION
1/4" = 1'-0"

SECTION
1/4" = 1'-0"



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studio beili

RANCHITOS RESIDENCE
855A CAMINO RANCHITOS
SANTA FE, NEW MEXICO

NOT FOR CONSTRUCTION
1:00 HIGH 200
1:00 HIGH 200
PRELIMINARY 2026.11.25

SCALE: VARIES
BUILDING SECTIONS

**STORM DRAINAGE CALCULATION
FOR RESIDENCE ROOF OF 3,600 S.F.
OUTDOORS PORTALS OF 1004 S.F.
AND DRIVEWAY AND PARKING OF 1,504 S.F.**

SITE: 14,041.53 S.F. (0.322 AC)

TIME OF CONCENTRATION: = 10.0 MIN
UNITS DISCHARGE: 2.3 CFS/AC-IN
100-YR RAINFALL: 3.8 IN

PRE-DEVELOPMENT			POST DEVELOPMENT		
CN	SF	%	CN	SF	%
UNDISTURBED:	82	14041.53	100.00	82.00	7933.53
ROOF/PORTALS:	95	0.00	0.00	4604.00	32.79
GRAVEL DRIVE:	78	0.00	0.00	1504.00	10.71
WEIGHTED CN:				82.00	85.83

RUNOFF: 2.03 IN 2.35 IN
PEAK: 1.507CFS 1.743 CFS
VOLUME: 0.0546 AC-FT 0.0632 AC-FT
RETAINAGE NEEDED FOR RESIDENTIAL UNITS: 373 CF
RETAINAGE AVAILABLE: 376 CF

PUMICE TRENCH 168 FT X 4 50 FT X 50% VOIDS+PERCOLATION = 336 CF + 40 = 376 C.F.
ADDITIONAL PONDING VOLUME OF 140 CF FOR SURFACE RUNOFF. PERCOLATION < 24 HRS

REVISIONS	
DATE	BY

**TERRAIN MANAGEMENT
GRADING AND
DRAINAGE
PLAN**

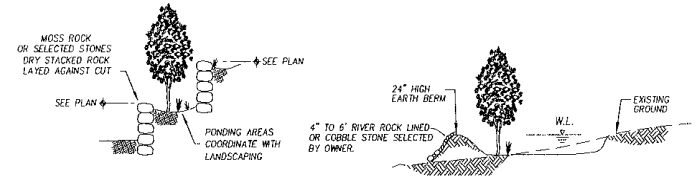
SHEET NAME

PROJECT NAME:
**RANCHITOS RESIDENCE
855A CAMINO RANCHITOS
GALT COMPOUND
SANTA FE, NM 87501**

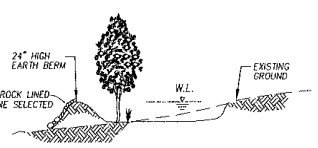
DATE	BY
10-15-2020	J.G.
	S.B.

SCALE: 1"=10'-0"
JOB NO: M-432-20 RANCHITOS
SHEET

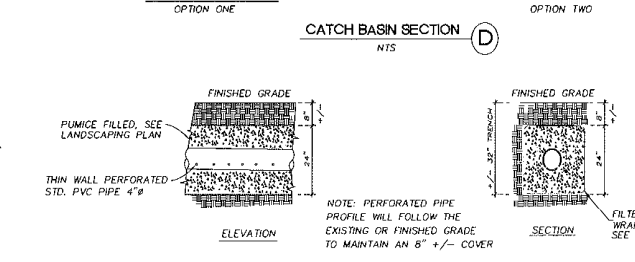
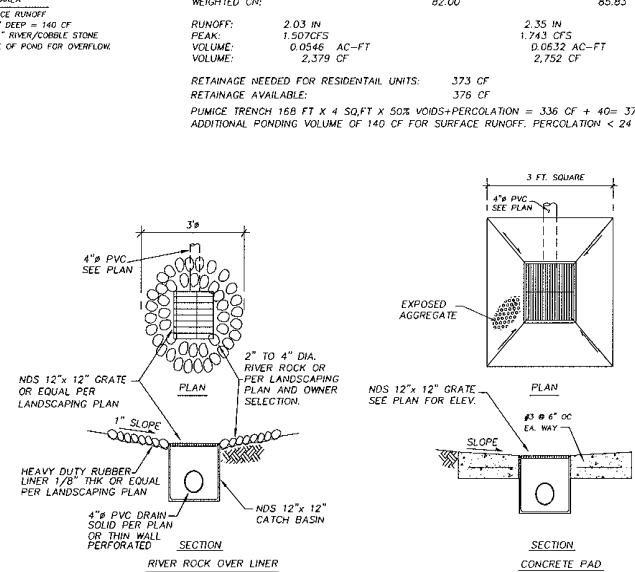
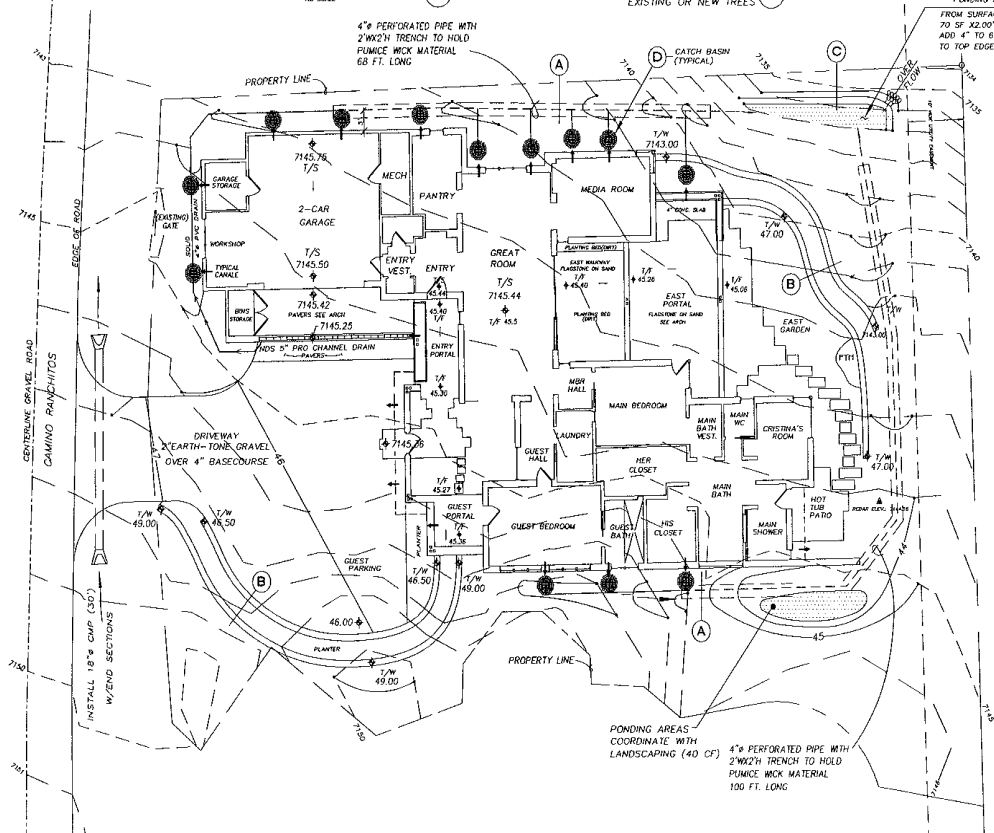
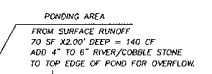
C-1



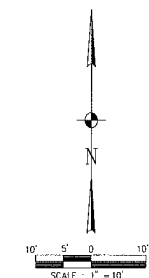
DRY STACKED RETAINING WALL (B)
NO SCALE



PONDING DETAIL (C)
NO SCALE



- LEGEND**
- 1/5 FINISHED CONCRETE TO OF SLAB ELEVATION
 - 7144.94 FINISHED FLOOR ELEVATION
 - 1/8 FINISHED GRADE CONTOURS
 - 7145.00 EXISTING GROUND CONTOURS
 - 41 FINISHED GRADE CONTOURS
 - STORM WATER FLOW DIRECTION
 - CANAL-ROOF DRAIN SEE ROOF PLAN FOR LOCATIONS



H. NEW BUSINESS

4. Case #2020-002854-HDRB. 855 A Camino Ranchitos. Downtown & Eastside Historic District. Beili Studio, agent for Mark Botwin, owner, proposes to construct a 15'4" high residential structure where the maximum allowable height is 17'2", retaining walls, and hardscaping on a vacant lot. (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafenm.gov)

Name: Paul Berlowitz

Comment - 12/07/2020 03:03 PM: (Against)

Paul Berlowitz and Malinda Bailey, 853 Camino Ranchitos oppose the current proposal. We have submitted a detailed written document in support of this position to Lani McCulley on Monday, December 7 at 3pm. We would ask that this document be made available to all HDRB members prior to the meeting. Document contains photos and detailed arguments for rejection of this proposal.

We will attend the Zoom call and reference this document when the case is discussed.

Thank you.

Response to Case 2020-002854-HDRB: 855A Camino Ranchitos

Prepared by:

Paul Berlowitz & Malinda Bailey

853 Camino Ranchitos

We have consulted with immediate neighbors at 858, 852, 859 Camino Ranchitos, 605, 609 and 601 Abeyta and others in the area. Some will be submitting additional separate documents. Three quotes from neighbors on the proposed 855A development:

Kathleen Rockhill, 601 Abeyta:

My name is Kathleen Rockhill. I live at 601 Abeyta St. As a full-time resident, I am concerned about the proposed development of the site, especially its height variances and the obstruction of views throughout this historic neighbourhood.

Heather Miles, 858 Camino Ranchitos

The proposed construction for 855A Camino Ranchitos is a lovely house for a large lot outside of the historic district. At the proposed location on Camino Ranchitos it will instead be a McMansion on a small lot towering over the neighborhood and dominating the skyline.

Rolf Wallengren, 859 Camino Ranchitos:

My name is Rolf Wallengren and I live at 859 Camino Ranchitos, just a few doors down from the proposed Botwin house. I'm disturbed by the stake markers going up on that empty lot, both by their breadth and height. This is a neighborhood that breathes, relaxes, and soothes the soul. What is being proposed is akin to the McMansions I saw sprouting up in Los Angeles in the 80's and 90's. Every house in our neighborhood has space around the borders and nobody encroaches on anybody else, but this proposed house seems to be pushing out in all directions with little leeway between neighbors. Also, that lot already sits up high and any house that is built on it should be of a minimal height so we all can enjoy the borrowed landscape of the Sangres. Please consider our neighborhood, the scale of this project, and how it would impact us all.

The Residents of Camino Ranchitos OBJECT in the strongest terms to the construction of the home at 855a Camino Ranchitos, and are asking the HDRB to reject the application for 855A Camino Ranchitos, on each of the following bases:

- 1) The style of the house does not conform to the norms of the neighborhood. Though referred to
- 2) as "Recent Santa Fe Style", the house is more properly viewed as ultra-modern "California" contemporary. The houses in the immediate neighborhood all conform to either the Pueblo Revival or Territorial styles.
- 3) The lot elevation and heights of the proposed structure will visually dominate the neighborhood to a disproportionate extent. No other dwelling in this neighborhood will have the visual impact from distance than that of the proposed imposing structure.

- 4) The overall land use development proposed is too large – essentially developing the property in all four directions to the absolute limits allowed. As with the first two points, this is at clear variance from the norms in the neighborhood, especially with respect to larger homes.
- 5) Such a structure will overlook many homes in the neighborhood, blocking the view and impinging on the privacy of those residences. The height, combined with the placement of windows, etc., on the proposed structure will have a direct line of sight into several properties in the immediate area.

For each of the above points we will provide examples from photographs or references that illustrate these issues. It is our view that each of these, taken individually, are enough to disqualify the current proposal and result in the HDRB rejecting the plans as submitted. Taken as a whole, the sum of these issues should require the owner/builder to produce substantial modification of the design.

We should also point out that 855a is the smallest lot in the neighborhood, but, if constructed, the proposed house will be the single largest structure in the neighborhood. This situation is clearly out of balance with the style and flavor of our community.

Style

The buildings along Camino Ranchitos and in the immediate neighborhood all belong to one of the two standard styles that are emblematic of the Historic District in Santa Fe: Pueblo Revival https://en.wikipedia.org/wiki/Pueblo_Revival_architecture, or Territorial https://en.wikipedia.org/wiki/Territorial_Revival_architecture. The architect’s description of “ongoing Santa Fe style” is imprecise and inaccurate – it justifies a radically different style by relying on minor details and variations among the houses, rather than looking at the broad commonalities. This is not simply a modern interpretation of one of these styles, but an importation of the ultra-modern style more commonly found in California. The sharp rectilinear nature and “building block” style of the proposal does not incorporate classic Santa Fe architectural elements such as the “rounded corners, irregular [parapets](#), and thick, [battered](#) walls” that common to Pueblo Revival. Nor does it embrace common themes present in many of the territorial-style and/or ranch houses found locally.

If the stucco walls of the current proposal were replaced with siding more common in other areas, the house would be perfectly at home in either La Jolla or Malibu California.

Though the proposal claims to have “streetscape photos”, none are in evidence. On the other hand, we have provided photos that show that all of the nearby houses are consistently of distinct Santa Fe style, appropriate to both the immediate neighborhood and the historic nature of the surrounding area.



851 Camino Ranchitos



853 Camino Ranchitos, just north of the proposed house



854 El Caminito (bottom): home of Monica Sosaya Halford, one of the oldest houses in the area



855 Camino Ranchitos – Just south of proposed house – proposal would fit between 853 and 855 running to lot edge in both directions

We note that the current proposal reflects an ultra-modern style that, while it can be found within the Santa Fe area, is uncommon and represents significantly less than .5% of approx. 62,000 single-family dwellings in the community. We believe that this home would be more appropriate placed in La Tierra, Las Campanas, nestled in the hills off Hyde Park Road, or on a side street off Old Santa Fe Trail south of Zia Road, where there would be both more property and a more harmonious fit with the style of the surrounding neighborhood.

The architect has done a few homes of similar style (<https://www.houzz.com/professionals/building-designers-and-drafters/studio-beili-incorporated-pfvwus-pf~344230117>), almost all of which are located well outside the historic district. Of the few homes he cited as examples within the historic district in his proposal, none were visible from a main street, and all were significantly smaller in stature than the proposed dwelling. Despite the attempt to justify the style offered in the proposal, the examples are vastly different from the properties in our neighborhood within the historic district.

Some specific features that are discordant with the surrounding area:

- 1) The entire front of the house is occupied by car housing – both a large garage and a large outdoor car park with no vegetation, natural barriers or other shielding from the road.
- 2) The overtly angular façade and ultra-contemporary nature of the structure is not in keeping with any nearby structure. This rectilinear, block-type structure is simply architecturally aberrant when compared with the style of long-existing neighborhood structures.
- 3) Cherry picking minor, individual details from a few of the existing homes within the neighborhood, and attempting to assemble them into a justification for a new structure which breaks the neighborhood norms, is disingenuous. The neighborhood is proud of being part of the historic district, and wishes its aesthetic to continue to reflect this.



View of “modern” house on Calle Juanita from street cited by architect – note red box is profile of house – compare with profile on Page 11



View of S. Armijo street cited: “modern” house is not visible from road, located ~ 0.5 miles down the alley at the end. Note: “630 Garcia” cited by document does not exist.

Elevation, Height and Visibility

There is some confusion and discrepancy within the applicant’s document. The first section under Proposal calls for a roof height of over 20’ and the need for a variance. The document further on calls for a height of only about 15’. The pipes put on the lot to indicate height are clearly at/above 20’ in height in some places. The proposal is not clear on these matters. (see photos)

There are several issues that are concerning in this proposal and which are not present in our neighborhood:

- 1) The house is visible to the north for over 500’. The photo provided shows how the wall of the house will be clearly visible all way to El Caminito, looming above the landscape. No other house in our neighborhood is as visually domineering, blocking the views of almost all its immediate neighbors. The house is also clearly visible from Abeyta street (about 500’ away) and from many neighbors on the north end of Camino Rancheros (about 600’ away).
 - a. In contrast – the largest house in this area, 854 Camino Ranchitos, is well hidden and cannot be seen except from the very immediate area of to the house.

- b. Other houses that are “up slope” of next-door properties are generally built to lower heights so as not to dominate the view from far distances. This home will be readily visible from many directions and at considerable distance.
 - 2) The north façade of the house will directly impinge upon the view from the casita of 853 Camino Ranchitos such that south-facing windows of said casita will be blocked entirely by the structure of 855A. Additionally, the shadow of 855A will cover almost the entirety of this building in the winter months.
 - a. The house elevation is so tall that the building will easily look into the private courtyard between the house and casita of 853, as well as other neighborhood homes. Photos from the south-facing rooms of 853 clearly show that this extreme height will directly impact the privacy of this courtyard.
 - b. In addition, the north-facing windows will have a direct view into the casita itself, destroying any privacy within. 855a’s placement uphill of the casita belonging to 853 gives it unique and over-bearing access to the casita and its residents.
 - 3) Houses along the steep slope of Camino Ranchitos are placed such that privacy is preserved by means of moderate housing heights, off-set spacing between houses and set-backs, as well as ample vegetation. A photo illustrating the comfortable balance between 859, 851 and 853 Camino Ranchitos (which encompasses considerable height differential) shows that each house has sufficient remediation to accommodate the slope.
 - 4) Where houses are occasionally close together (e.g. 852 and 854) one always sees that when homes have similar height structures, vegetation and walls preserve separation.



View of profile of new house from Monica Sosaya Halford's house on El Caminito: Red box indicates blocked views

The current proposal violates all of these norms. The structure, while nominally within the height restrictions (assuming the above-mentioned document discrepancies are resolved), will completely overhang the adjacent building. No space is allotted for vegetation to ameliorate this, and the slope differences are exacerbated by a very tall center structure that will dominate the entire area.



House profile from Front of street and blocked view from 858 Camino Ranchitos : Red indicates pole positions showing house completely obscures view of mountains.

Lot Usage

The current plan incorporates a design which was clearly intended to maximize buildable square footage to the detriment of fitting in with the norms of the neighborhood. (see page 38). The house will reach the absolute edge of buildable space in all 4 directions. The only unused space is on the south side, where an undulating and irregular property line makes extending the rectilinear block structure impractical.

Compare the proposed build on page 38 (and the approach to the property lines) with the satellite photo on Page 11. There is no house – not one – in that photo that overtakes anywhere near the same percentage of land. All have significant areas of vegetation. Where a house might approach the property line in one direction, it never does so in all four.

It is worth taking special notice of the largest property in the neighborhood, 854 Ranchitos; this house is listed as over 6000 sq. ft., however it is set well back from the road and is well-shielded by a wall and

mature trees so as not to be visibly imposing. The lot is much larger than 855a and can easily accommodate the main building without overwhelming the property itself. In addition, the square footage of 854 Camino Ranchitos is divided among four individual structures rather than a single, massive structure.



Sharp approach of house to south facing lot lines showing towering height without separation

Sadly, this home shares many features of the “McMansion” style of building which have blighted many neighborhoods:

“McMansion may either refer to oversized ... built houses ..., or refer to a dwelling that replaces a smaller house, in a neighborhood of smaller houses, which seems far too large for its lot.

(<https://en.wikipedia.org/wiki/McMansion>).

“A McMansion has many of these characteristics: (1) over-sized in proportion to the building lot, which is usually a defined space in a suburban neighborhood; (<https://www.thoughtco.com/what-kind-of-house-mcmansion-178015>)

Again, we are not passing judgment on the architect or overall-independent design. However, it is clearly oversized to the building lot/area, and in the proportion of the lot used in comparison to the rest of the neighborhood.



View of house profile from 853 Driveway/Garage

We have personal experience with this type of “edge-to-edge” overbuilding, and if allowed, it will likely lead to future proposals that will increasingly consume nearly all available lot space for housing, resulting in a neighborhood that no longer resembles the current Camino Ranchitos. If allowed to go forward, this home will be used as precedent for such constructions. Simply because it is legally permissible to build to the very edge of a lot in a specific dimension, this does not imply that building to the edge in every dimension should be allowed, nor one that such is in accordance with the general purpose, goals and aims of the HDRB.

Privacy

A number of examples illustrating the privacy implications of the proposal have been cited in the examples above.

We would stress that the proposed house would have a serious and irreversible effect on the privacy of numerous neighbors within sight distance of 855A. The size and height of the structure proposed, in combination with the lack of set-backs, vegetation and other privacy-enhancing features, would allow unobstructed sight lines from its windows into the homes of most nearby neighbors.



View of house profile from the inner patio of 853 Camino Ranchitos



Near complete blockage of view from 853 Casita Window #1

The result will be a substantial loss of personal privacy from the norm present in our neighborhood today. Sight lines from windows in our house, and from around the neighborhood, are such that every home is able to maintain, without worry, significant private space both within their homes and in patio/outdoor areas.

As an example: even though 853 and 851 Camino Ranchitos are separated by only ~ 30', there is no view from any window in either house that has a view into any window in the other house or into the patio spaces in the other house. This type of considerate respect for the privacy of neighbors is the norm in this area. The same is true for 852 and 854 Camino Ranchitos.



Near complete blockage of view from 853 Casita window #2

In an historic area, with homes of valuations typical to this neighborhood, this is - and should be - a universal expectation, especially when considering new construction. Introducing the proposed structure into the neighborhood will eliminate this norm and is therefore unacceptable.

Conclusion

We would all be happy to have new neighbors, and as such have no objection to the development of the lot at 855A Camino Ranchitos. We believe that an appropriate home can be easily designed and built here. However, the currently proposed home is not that home.

We thank you for your time and consideration.



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Taylor Pardue, agent for Paul Markunas, owner, proposes to change windows, raise parapets, construct portals, door replacement, install a patio and yard walls and make other minor repairs on a contributing structure. An exception is requested to construct on a primary facade (14-5.2(D)(2)(c)).

Case number: **2020-002809-HDRB**
Project Type: **HDRB**

PROJECT LOCATION (S): **601 San Antonio Street**

OW – Paul Markunas PO Box 3111, Seattle, WA 98103 pjm357@gmail.com

AP -- Taylor Pardue 905 Nicole Place, Santa Fe, NM 87505 taylor@commoblockstudio.com

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS:

North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER

1992

YEAR OF CONSTRUCTION

1959

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME

City of Santa Fe, New Mexico

memo

DATE: December 8, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-002809-HDRB

Address: 601 San Antonio Street
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: window assessment

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Design Standards. Staff recommends that the exception criteria for Section 14-5.2(D)(2)(c) have been met.

BACKGROUND & SUMMARY:

601 San Antonio Street is a single-family residential structure with contributing status to the Downtown and Eastside Historic District. The west façade has been designated primary by the HDRB.

It is built in a Territorial Style. It has a rectangular form, deep inset windows with concrete sills, exposed viga ends and canales, a flat roof with parapet and brick coping. On the west and east

facades are non-historic doors with no form of protective roofing. Most of the windows are historic. Details as to their condition are provided in the assessment attached to this packet.

Now, the applicant proposes the following exterior alterations:

1. Construct two small portales on the west and east elevations to protect the entry doors. These will have Territorial detailing including wooden square posts with a dark brown wood stain and brick coping. The portales will be constructed on a slabs with a masonry finish.

To construct the portal on the west façade, the applicant requests an exception to Section 14-5.2(D)(2)(c) to construct on a primary facade.

2. Widen the 30-inch door to a 36-inch door opening on the east façade.
3. Repair the historic windows on all the façades and add storm windows. This does not require an exception, as the windows on the primary façade will not be replaced, but restored. Window jambs will be added that enable seasonal removal of screens and storm windows. New screen doors will replace the two existing ones, which are non-historic.
4. Raise the parapet height one foot to a maximum of 12 feet 6 inches above finished grade. The maximum allowable height is 14 feet 10 inches. The existing brick coping will be repaired. Repair roof and beams, possibly raise the roof and beams about 8 inches should it be structurally necessary to install a bond-beam.
5. Remove a concrete basement-access stairwell located to the south of the structure and construct a freestanding shade structure in that location. This will be 12 by 10 feet, constructed to a height of about 10 feet and will be constructed of square wood posts with a dark brown natural wood stain and wood vigas and a parapet with brick coping and stucco to match the house.
6. Construct stucco yard walls to the maximum allowable height of 6 feet on the east, west and south with a wooden gate on the west side and a coyote fence on the east with a color to match the house, close to El Rey “Colonial White”.

EXCEPTION CRITERIA AND RESPONSES:

Exception to Section 14-5.2(D)(2)(c) to construct on a primary façade.

(i) *Do not damage the character of the district*

Applicant Response: The proposal for two small territorial revival portals on the East and West facades is in keeping with the architectural context of the building and neighborhood.

Staff Response: Staff agrees with this response.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: There is no exterior protection at either entry for the homeowners when entering and exiting the house.

Staff Response: Staff agrees with this evaluation. Portals will help to protect the building and provide weather shading for its inhabitants.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The scale of the proposed portals helps maintain the overall character of the house while enabling occupants to live in the house as their primary residence.

Staff Response: In the view of staff there are no other alternatives to protecting the entry way other than a covering such as a portal. Thus all design options have been considered. Staff agrees with the applicant's response.

RELEVANT CODE CITATIONS:

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

Removal of Historic Material/Demolition:

14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

Additions

- (2)(c) Additions are not permitted to primary façades.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and


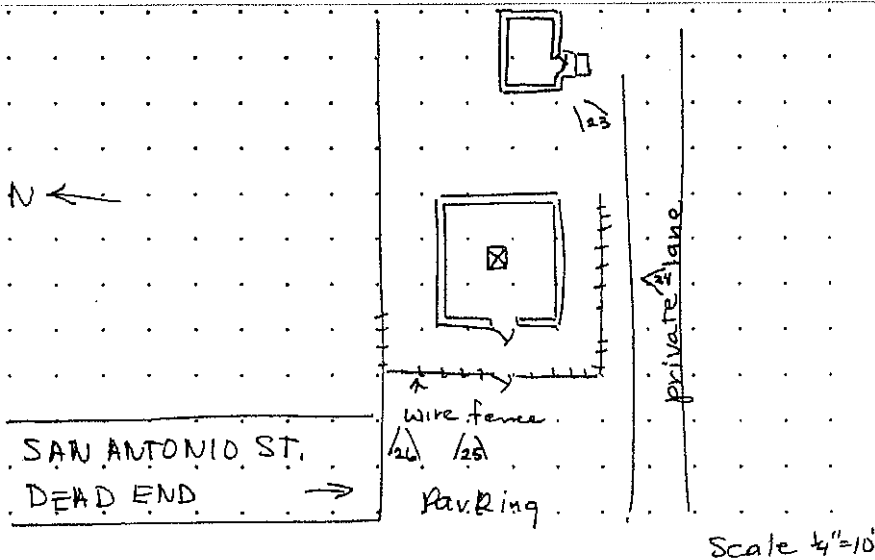
(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1992

H3222

IDENTIFICATION	ADDRESS: 601 SAN ANTONIO STREET J. ALIRE	ID NUMBER: 051600026
		BUILDING NAME:
	UTM REFERENCE EASTING NORTHING ZONE 12 13	LEGAL DESCRIPTION: TNSP 17 (N) S RANGE 9 (E) W SEC 25 NE 1/4 SE 1/4
	FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85	
	DATE OF CONSTRUCTION: ____ ESTIMATE 1959 ACTUAL	
	SOURCE(S) CITY DIRECTORY	
	ARCHITECTURAL STYLE: TERRITORIAL REVIVAL	
BUILDING DATA	USE: HISTORIC: <u>residential</u> OTHER _____ PRESENT: <u>residential</u> OTHER _____	
	SURROUNDINGS: RESIDENTIAL	
	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR _____ NOT SIMILAR	
	ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES _____ NO	
	WHAT TYPE? LARGE STORAGE BLD. IF INVENTORIED, LIST ID NUMBER(S)	
	DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR _____ MODERATE _____ MAJOR	SIGNIFICANCE
	EXPLAIN: NONE VISIBLE	
	OVERALL CONDITION: _____ EXCELLENT _____ GOOD <input checked="" type="checkbox"/> FAIR _____ DETERIORATED	
	BUILDING THREATENED? _____ YES <input checked="" type="checkbox"/> NO	
		LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? _____ YES <input checked="" type="checkbox"/> NO _____ ELIGIBLE _____ CONTRIBUTING _____ NON-CONTRIBUTING
		LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? _____ YES <input checked="" type="checkbox"/> NO _____ ELIGIBLE
		LOCAL DESIGNATION: <u>Core</u> _____ HISTORIC DISTRICT _____ SIGNIFICANT _____ CONTRIBUTING <input checked="" type="checkbox"/> NON-CONTRIBUTING
		LOCAL LANDMARK _____ YES <input checked="" type="checkbox"/> NO

SURVEYED 6/9/92 BY AC

NEGATIVES WITH NMHPD ROLL # AC 12 NEG # 23 TO 26

ARCHITECTURAL AND LANDSCAPE FEATURES	FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
	BUILDING WALLS	BEIGE STUCCO	BLD IN FAIR CONDITION
	FOUNDATIONS	NOT VISIBLE	
	DOORS	NOT VISIBLE	
	WINDOWS	MULTI PANE CASEMENT (NOT FULLY VISIBLE)	
	PORTALES		
	CANALES	VIGAS SOUTH SIDE CANALES NORTH SIDE	
	PORCHES		
	BALCONIES		
	ROOFS	FLAT WITH PARAPETS BRICK COPING	
	COURTYARDS		
	FENCES/WALLS	WIRE FENCES	
	ARCH. DETAILS	BRICK CHIMNEY	
OTHER			

COMMENTS THIS SIMPLE BLD. IS A TYPICAL TERRITORIAL REVIVAL STYLE, PROBABLY OWNER BUILT.

ADDITIONAL PHOTOGRAPHS



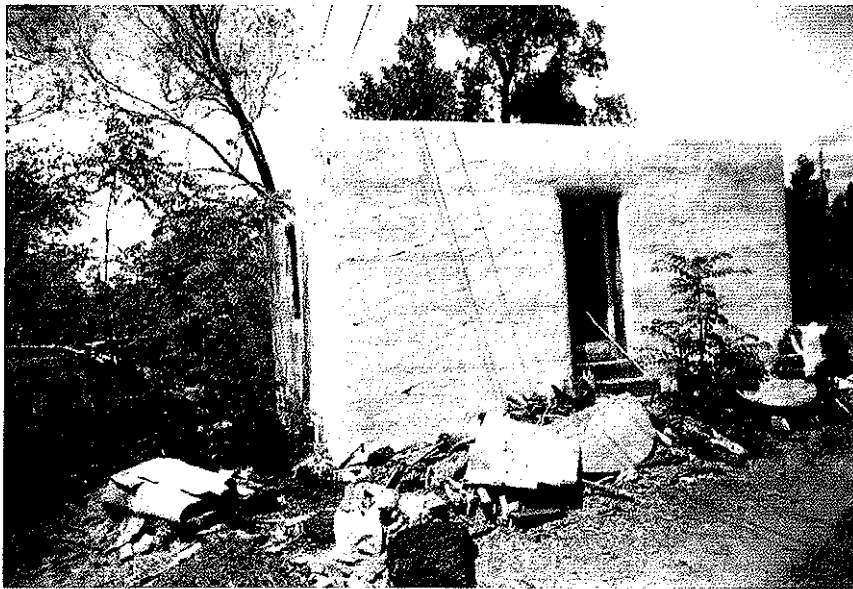
FIG - 24 SOUTH ELEVATION



FIG - 25 WEST ELEVATION

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1992 (concluded)

IDENTIFICATION	ADDRESS 601 SAN ANTONIO STREET	ID NUMBER 051600026
		SURVEYED/RESEARCHED DATE 6/9/92 BY Ac



#12-23 STORAGE SHED SW CORNER.

Attachment B
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

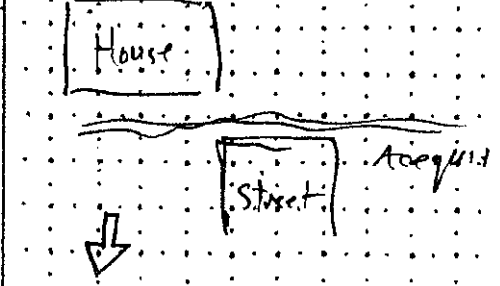
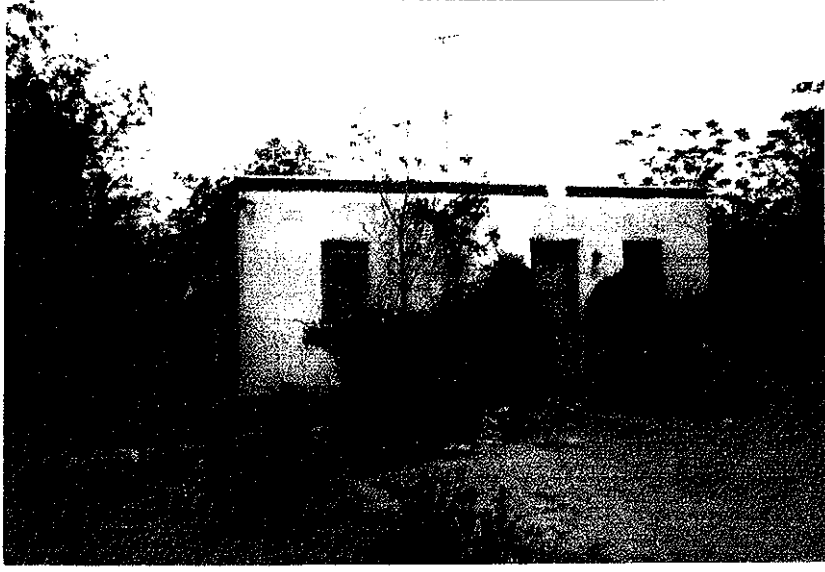
*

building threatened? yes	surveyed date 6/6/83 by mb	county Santa Fe	ID no. 0516 00026
field map Santa Fe, N.M.	number 1	UTM reference easting zone 12 13 northing	

location description 601 San Antonio	city/town Santa Fe
land grant/reservation	

building name Aliso	legal description Tnsp 17 N Range 9 E Sec 25 NE 1/4 NE 1/4
------------------------	---

film roll by mb no. 2	negative nos. 22	loc. of neg. HPB	plan shape
--------------------------	---------------------	---------------------	------------



date of construction * 1920 estimate actual
source

use present residential
other
historic residential
other

condition ___ excellent ___ fair ___ good ___ deteriorating
--

degree of remodeling ___ minor ___ moderate ___ major
describe:

style Territorial Revival	foundation material Not Vis
	wall material/surface Stucco

architectural features Detail course capped w concrete. Windows 1/2 double hung wood. Tuset lintels Vigas & canales on N side Thick Concrete window sills.

surroundings Residential

relationship to surroundings ___ similar ___ not similar

district potential ___ yes ___ no

significance ___ eligible ___ of ___ none
--

if eligible, interest why?

comments wall hedge Wire fence wood fence landscape street trees stone curb 0 setback Acquia

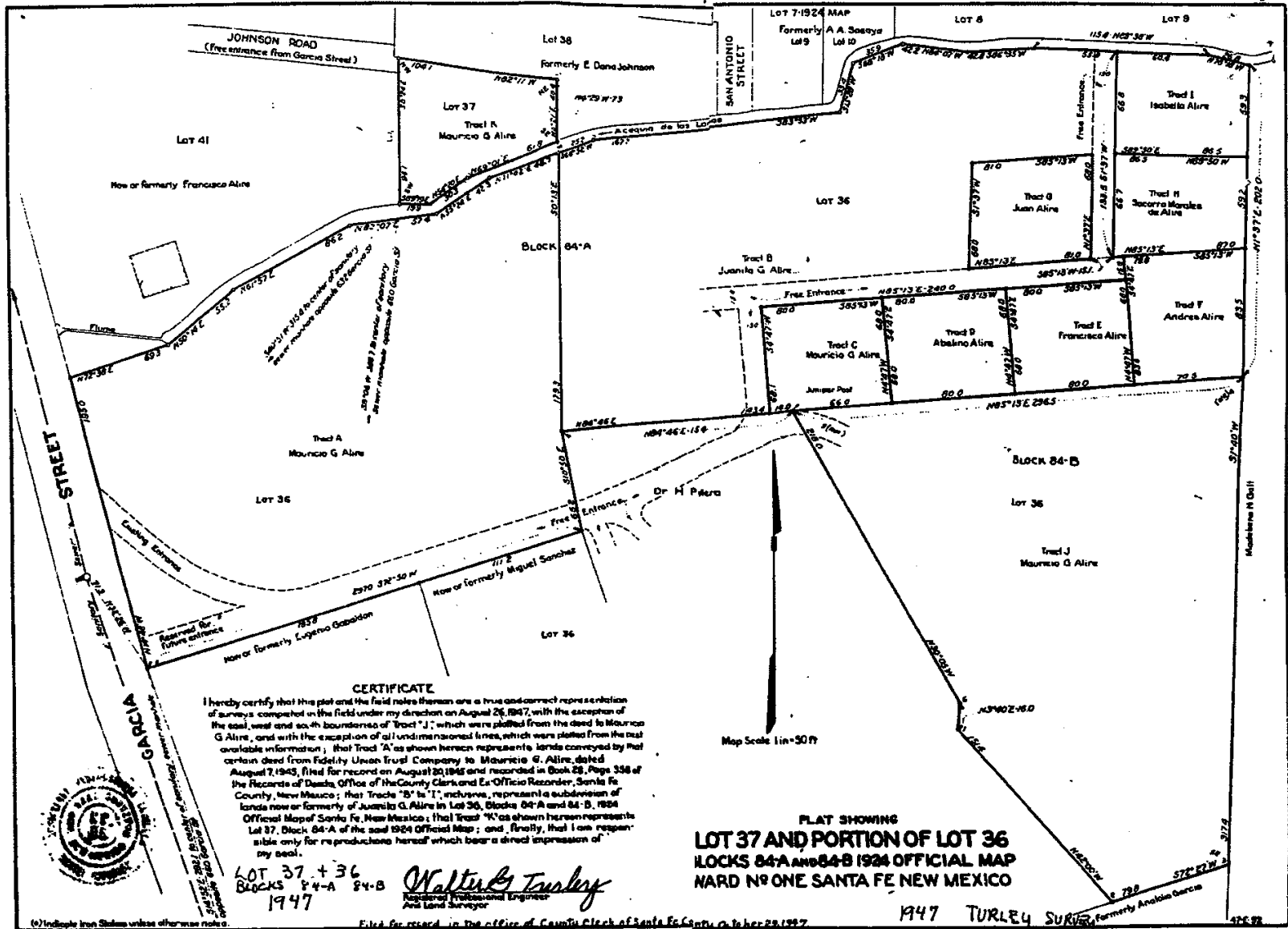
associated buildings? ___ yes ___ no what type?
--

if inventoried, list ID nos.

* Shows only in 1982 directory but clearly older

see back? ___ yes ___ no

Streetscope



CERTIFICATE
 I hereby certify that this plat and the field notes thereon are a true and correct representation of surveys completed in the field under my direction on August 26, 1947, with the exception of the east, west and south boundaries of Tract "J", which were plotted from the deed to Maurice G. Alire, and with the exception of all undimensional lines, which were plotted from the best available information; that Tract "A" as shown hereon represents lands conveyed by that certain deed from Fidelity Union Trust Company to Maurice G. Alire, dated August 7, 1945, filed for record on August 20, 1945 and recorded in Book 28, Page 358 of the Records of Deeds, Office of the County Clerk and Ex-Officio Recorder, Santa Fe County, New Mexico; that Tracts "B" to "I", inclusive, represent a subdivision of lands now or formerly of Juanita G. Alire in Lot 36, Blocks 84-A and 84-B, 1924 Official Map of Santa Fe, New Mexico; that Tract "K" as shown hereon represents Lot 37, Block 84-A of the said 1924 Official Map; and, finally, that I am responsible only for reproductions hereof which bear a direct impression of my seal.



LOT 37 + 36
 BLOCKS 84-A 84-B
 1947
Walter Turley
 Registered Professional Engineer
 and Land Surveyor

**PLAT SHOWING
 LOT 37 AND PORTION OF LOT 36
 BLOCKS 84-A AND 84-B 1924 OFFICIAL MAP
 TARD NO ONE SANTA FE NEW MEXICO**

1947 TURLEY SURVEY

Filed for record in the office of County Clerk of Santa Fe County, N.M. on 8-29-1947

M-415
 501
 Santa Fe
 N.M.
 11



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address: 601 SW ANTONIO	
Date Submitted: 10/27/20		Proposed Construction Description: REMODEL INTERIOR - RESTORE EXTERIOR	
Property Owner of Record: PAUL MARKOWAS		TOTAL ROOF AREA:	
Applicant/Agent Name: TAYLOR PAROVE			
Contact Person Phone Number: (505) 660-7468			
Zoning District: R-3 EAST SIDE HISTORIC		Lot Coverage: 17% 40% max Open Space Required: _____	
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____		Setbacks: Proposed Front: 5' Minimum: 5' 2 nd Front? 5' Proposed Rear: 0 Minimum: 0 Proposed Sides: L _____ R _____ Minimum: _____	
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Height: Proposed 12-6 Maximum Height: 14-10 or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit		Parking Spaces: NO CHANGE Proposed _____ Accessible _____ Minimum: _____	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement	
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____			
Terrain: <input type="checkbox"/> 30% slopes _____			

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

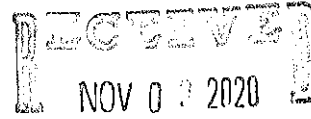
TAYLOR PAROVE [] OWNER [] APPLICANT [X] AGENT
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Taylor Parove 10/27/20
SIGNATURE DATE

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by N/A Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by N/A Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by N/A Date: ___/___/___	
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
REVIEWER: Noah L Berke DATE: 10/27/20	

10/20/20



BY: _____

Dear Board Members,

This letter is meant to serve as an outline for the proposal for design and construction alterations at 601 San Antonio St. in the Eastside Historic District of Santa Fe. The current property is a 1023 Sq. ft. residence that was originally built in 1959. It is accessed from a private drive off of Garcia St. The building exterior is white stucco. It is square shaped and measures approximately 35' x 29'. It consists of territorial style construction details, including brick coping along the entire parapet. The west elevation has been designated primary. The building is non-contributing.

We are requesting Historic Design Review Board approval for the following:

- **Exterior door entries:** We are proposing to add two small portals measuring approximately 3' x 7' to protect both entry doors. Currently, there is no protection from the natural elements over either entry door. We feel the small portals will provide much needed weather protection for the adobe walls, doors and new homeowners. Both existing exterior doors measure approximately 30" in width. We would like to honor the human scale of the existing building by replacing the existing front door with a similar door of the same size and scale. We are proposing the back door (west elevation) be enlarged to 36" wide for ease of access and movement of furnishings. Neither door heights will change.
- **Windows:** The existing windows appear original and are in need of repair and/or replacement. We are attaching a separate window assessment with our proposal to clarify the current state of the windows. Our goal is to restore most of the windows to their original state while adding window jambs that enable the seasonal removal of screens, and storm windows that will be built to match the historic context of the building. There will be no change to window opening sizes nor are there any additional window openings proposed.
- **Parapets:** The current parapet height of the house is approximately 10'-6" above finish grade. The allowable parapet height based upon the average of adjacent properties is 14'-10" above finish grade. We are requesting approval to raise the parapets to approximately 12'-6". This is less than half the allowable difference to ensure adequate roof insulation and proper drainage while maintaining a scale appropriate to the existing architecture. The existing brick coping requires repair. This will be done in concert with the re-roofing and will remain consistent with the new proposed parapet height.
- **Existing exterior basement entry:** There is currently a basement access door from the exterior of the building on the south. It is an unfinished CMU stairwell wall with concrete steps leading into a

crawlspace. We are requesting the removal of the stairs and access to the basement from the outside, and to re-landscape in its place a small garden patio with a shade structure.

- **Yard walls and gate:** Currently, the house is partially visible from a private drive. Invasive species of trees and shrubs have grown in front of the primary designated facade. We are requesting that all trees along the west side of the property be removed and replaced with a 6' height stuccoed yard wall with a front gate. The yard wall will consist of a traditional 4"-6"radius top and stuccoed pillars on either side of the gate with a territorial brick cap to match the residence. The stucco wall will continue around and within the property perimeter per set back requirements. The wall will form a privacy screen on the west, south and east sides of the property. A 6' height coyote fence is requested along the north side of the property line. New landscaping will be designed with the proposed perimeter yard walls.
- **Finishes:** There will be no change in color to the stucco finish and all windows will be rebuilt, refinished or replaced with wood windows with the same dark bronze finish as the existing windows.

In summary, our intention with the overall project is to provide the new homeowners with habitable interior and exterior living spaces that do not currently exist. We feel we are honoring the historic architecture of the project by restoring windows to their original state and providing crucial features to protect the structure from further environmental damage. We anticipate the proposed yard walls to contribute to the beauty and historic character of the Historic Eastside while providing the new homeowners privacy and ease of access to their home. We sincerely ask for your approval of the above mentioned requests.

Sincerely,

Taylor Pardue
Owners Representative
taylor@commonblockstudio.com

601 SAN ANTONIO

EXCEPTION CRITERIA responses to the criteria below are required if you are requesting an exception.

Historic Districts and Historic Landmarks
Design Standards and Signage Exception Criteria

(i) Do not damage the character of the district

Response: The proposal for two small territorial revival portals on the East and West facades is in keeping with the architectural context of the building and neighborhood

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Response: There is no exterior protection at either entry for the homeowners when entering and exiting the house.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response: The scale of the proposed portals helps maintain the overall character of the house while enabling occupants to live in the house as their primary residence.

Revised 1 November 2019

Historic Districts and Historic Landmarks
Height, Pitch, Scale, Massing, and Floor Stepbacks Exception Criteria

(i) Do not damage the character of the streetscape

Response: The house property is located on a private drive and will contribute to the historic character of the streetscape

(ii) Prevent a hardship to the applicant or an injury to the public welfare

Response: The homeowners need protection from the natural elements when entering and exiting their residence. The portals further protect the building from future damage from rain and sun. Raising the existing parapets will enable an energy efficient roofing system by providing an increase in roof

insulation concealed by the increased parapet ht. which is allowable per height calculations of adjacent properties.

(iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response: The scale of the proposed portals and parapets helps maintain the overall character of the house while enabling occupants to live in the house as their primary residence.

(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape

Response:

(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant

Response:

(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)

Response:



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address: <u>601 SAN ANTONIO</u>	
Date Submitted: <u>10/27/20</u>		Proposed Construction Description: <u>REMODEL INTERIOR - RESTORE EXTERIOR</u>	
Property Owner of Record: <u>PAUL MARKOWAS</u>		TOTAL ROOF AREA: _____	
Applicant/Agent Name: <u>Taylor Parove</u>		Lot Coverage: <u>17%</u> <u>40% max</u>	
Contact Person Phone Number: <u>(505) 660-7468</u>		□ Open Space Required: _____	
Zoning District: <u>R-3 EAST SIDE HISTORIC</u>		Setbacks:	
Overlay: <input type="checkbox"/> Escarpment _____		Proposed Front: <u>5'</u> Minimum: <u>5'</u>	
<input type="checkbox"/> Flood Zone*		2 nd Front? <u>5'</u>	
<input type="checkbox"/> Other: _____		Proposed Rear: <u>0</u> Minimum: <u>0</u>	
Submittals Reviewed with PZR:		Proposed Sides: L _____ R _____ Minimum: _____	
<input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans		Height: Proposed <u>12-6</u>	
<input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Maximum Height: <u>14-10"</u> or	
Supplemental Zoning Submittals Required for Building Permit:		<input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance	
<input type="checkbox"/> Zero Lot Line Affidavit		<input type="checkbox"/> Regulated by Escarpment District	
Access and Visibility: <input type="checkbox"/> Arterial or Collector**		Parking Spaces: <u>NO CHANGE</u>	
<input type="checkbox"/> Visibility Triangle Required		Proposed _____ Accessible _____	
Use of Structure: <input checked="" type="checkbox"/> Residential		Minimum: _____	
<input type="checkbox"/> Commercial Type of Use: _____		Bicycle Parking**:	
Terrain: <input type="checkbox"/> 30% slopes _____		Proposed: _____ Minimum: _____	
* Requires an additional review conducted by Technical Review Division.		** Commercial Requirement	
** Requires an additional review conducted by the Traffic Engineering Division.			

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Taylor Parove _____ [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Taylor Parove _____ 10/27/20
SIGNATURE DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by N/A Date: / /

Flood Plain Approval by N/A Date: / /

Traffic Engineering Approval by N/A Date: / /

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

REVIEWER: Noah L Berke DATE: 10/27/20



601 SAN ANTONIO. SOUTH ELEVATION



601 SAN ANTONIO. VIEW FROM PRIVATE DRIVE. (WEST)



RECEIVED
NOV 03 2020
BY: _____

601 SAN ANTONIO. EAST ELEVATION



601 SAN ANTONIO. PARTIAL NORTH/WEST ELEVATION



601 SAN ANTONIO. WEST ELEVATION FROM PRIVATE DRIVE.



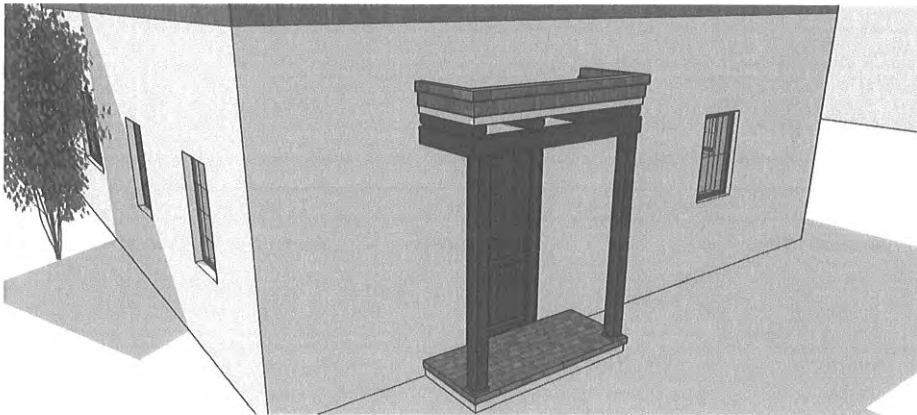
601 SAN ANTONIO. PARTIAL NORTH ELEVATION



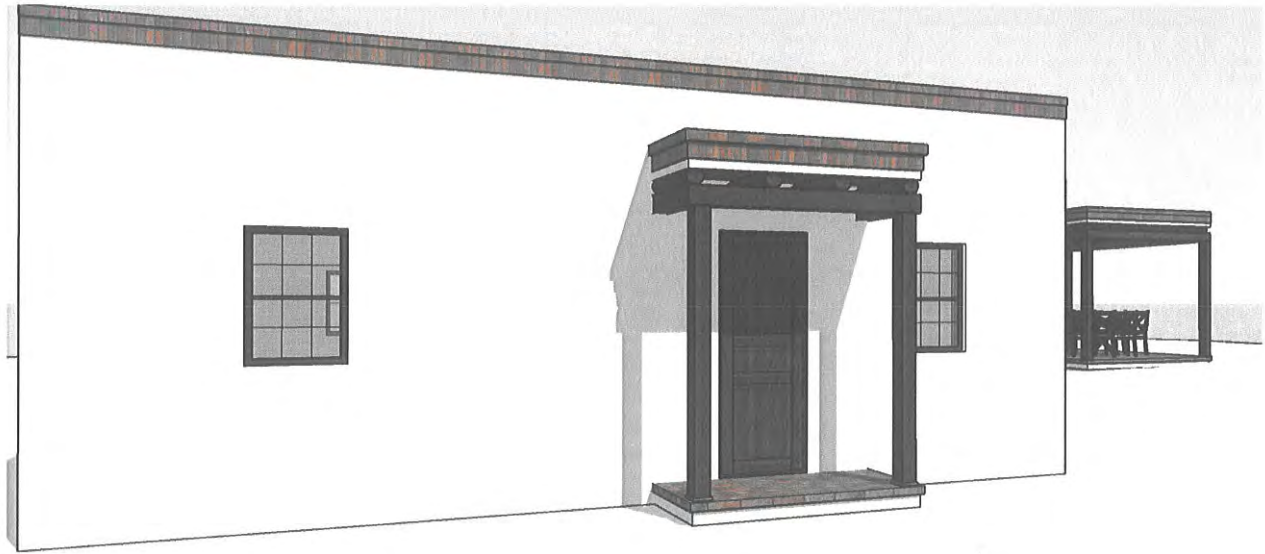
601 SAN ANTONIO. PARTIAL NORTH ELEVATION



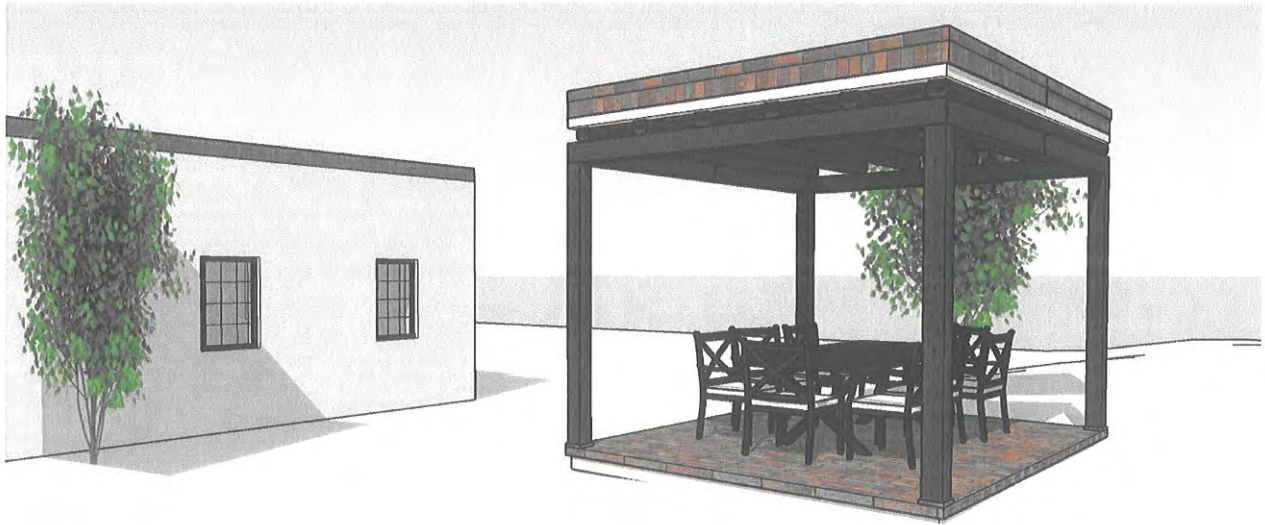
Example of Portal design for 601 San Antonio



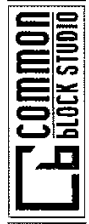
Rendering of East portal



Rendering of West Portal with shade structure in background, view from west-north-west



Rendering of shade structure viewed from southwest



700 N. GARDEN ST. SUITE 100
SANTA FE, NM 87505

PROJECT

601 SAN ANTONIO

SANTA FE, NM 87505

DATE: 10/20/20
PROJECT NO.:

DESIGN DATE:

REVISION DATE:

REVISION DATE:

REVISION DATE:

REVISION DATE:

REVISION DATE:

REVISION DATE:

REVISION DATE:

REVISION DATE:

REVISION DATE:

REVISION DATE:

REVISION DATE:

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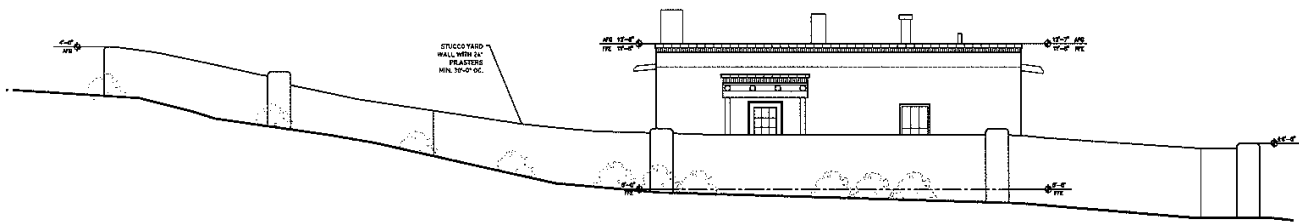
REVISION DATE:

REVISION DATE:

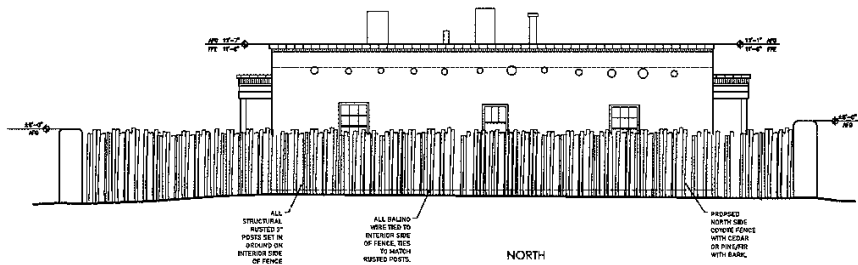
REVISION DATE:

REVISION DATE:

REVISION DATE:



2 PROPOSED YARD WALL ELEVATION EAST
SCALE: 1/4" = 1'-0"



1 PROPOSED YARD WALL ELEVATION NORTH
SCALE: 1/4" = 1'-0"

PHASE
HISTORIC DESIGN REVIEW

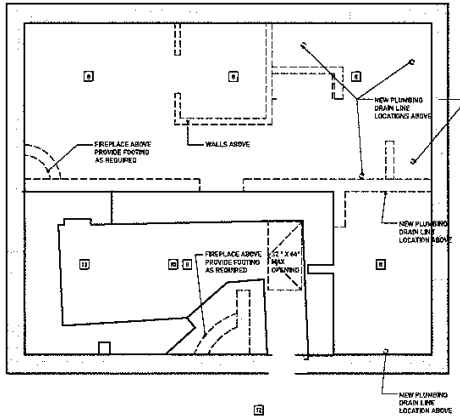
NOT FOR CONSTRUCTION

ELEVATIONS

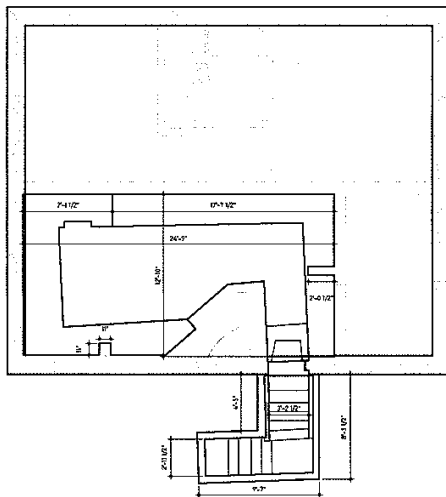
SCALE: SEE DRAWING

A3.2

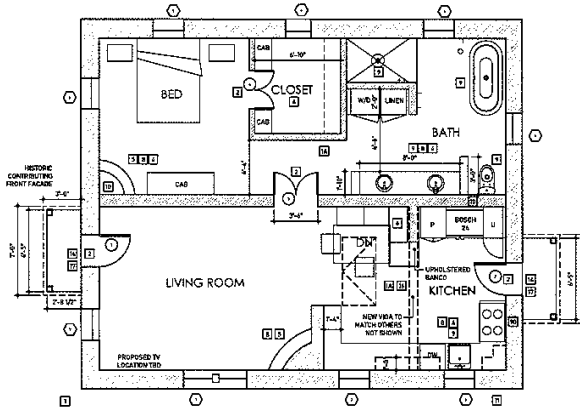
DRAWN BY: TO



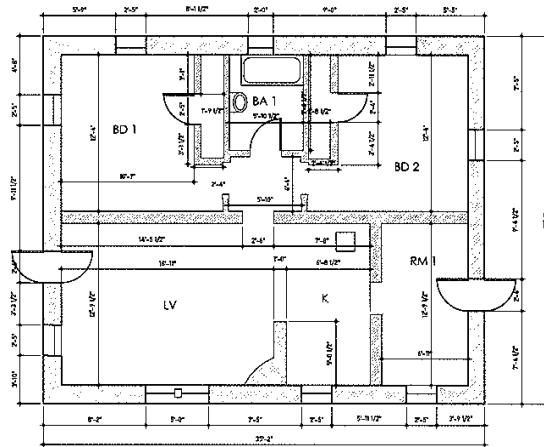
PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"



PROPOSED 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"



EXISTING 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

SCHEMATIC NOTES

- 1 ALL EXTERIOR FACADES TO REMAIN UNLESS OTHERWISE NOTED
- 2 INTERIOR NON LOAD BEARING FRAMED WALLS REMOVED AS INDICATED. NEW FRAMED WALLS PROVIDED WITH GYP. BD EACH SIDE PREPARED FOR DRUMBED PLASTER FINISH
- 3 CROWN DOORS REMOVED. NEW CUSTOM DOOR BUILT AND SHIPPED TO MATCH HISTORIC CONTEXT. PROVIDE EXTERIOR SCREENS WHERE APPLICABLE.
- 4 NEW CABINETS, APPLIANCES, PLUMBING FEATURES AND COUNTERTOPS AS NEEDED.
- 5 NEW GAS INSERT FIREPLACE TO BE PROVIDED NEW AND/OR EXISTING CONVERTED
- 6 NEW BUILT IN BENCH FOR DINING AREA WITH STORAGE CABINETS BELOW AS REQUIRED
- 7 EXISTING FLOOR FINISH TO INCREASED AND NEW FINISH FLOORING APPLIED ON FIRST FLOOR
- 8 NEW PLUMBING SUPPLY AND WASTE LINES REQUIRED TO LOCATION OF PLUMBING FIXTURES
- 9 NEW GAS SUPPLY LOCATION
- 10 NEW ELECTRICAL LIGHTING AND POWER PROVIDED THROUGHOUT TO MEET PER CODE REQUIREMENTS. EXISTING POWER SUPPLY TO BE TRENCED TO NEW PANEL LOCATION(S).
- 11 BASEMENT ACCESS STAIRS TO BE MODIFIED
- 12 NEW MECHANICAL EQUIPMENT LOCATION
- 13 NEW EXTERIOR NIGHT SKY WALL SCREENS
- 14 NEW COATED MINI SPIRES WITH COMPRESSORS LOCATED ON ROOF AND DUSTED BELLS LOCATED INSIDE AS NEEDED.
- 15 NEW STRUCTURAL BEAM
- 16 NEW PORTAL



395 NICOLE PLACE
SANTA FE, NM 87515

PROJECT
601 SAN ANTONIO

SANTA FE, NM 87505
DATE: 10/20/20
PROJECT #1: NO.
REVISION: DATE

NOTES:
1. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
2. HOUSE DATA: 307 - 507

PHASE
HISTORIC DESIGN REVIEW

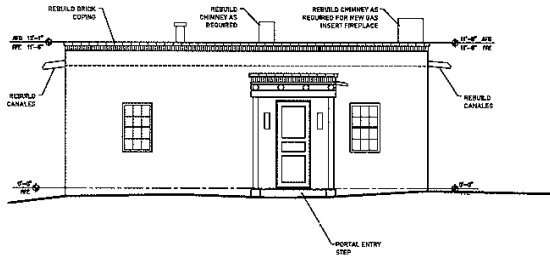
NOT FOR CONSTRUCTION

FLOOR PLANS

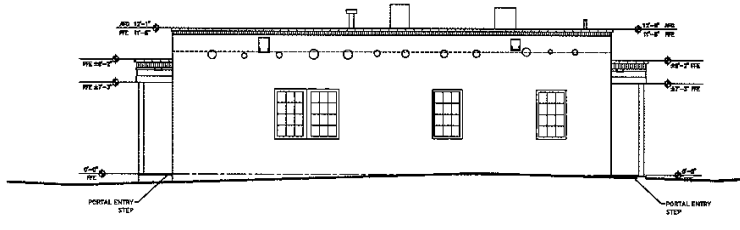
SCALE: 1/8" = 1'-0"

A2.1

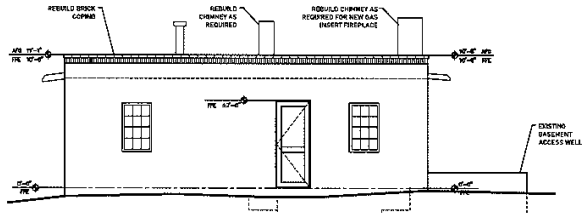
DRAWN BY: JP



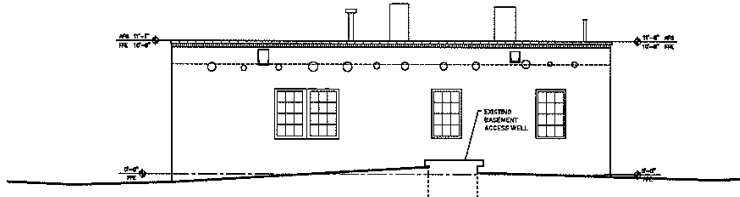
8 PROPOSED EXTERIOR ELEVATION WEST
SCALE: 1/4" = 1'-0"



4 PROPOSED EXTERIOR ELEVATION SOUTH
SCALE: 1/4" = 1'-0"



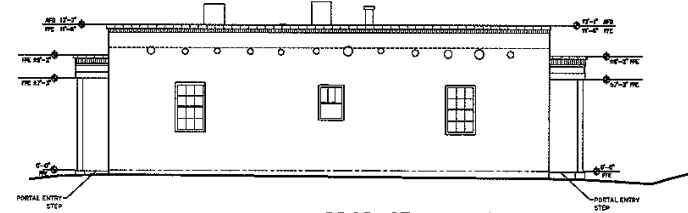
7 EXISTING EXTERIOR ELEVATION WEST
SCALE: 1/4" = 1'-0"



3 EXISTING EXTERIOR ELEVATION SOUTH
SCALE: 1/4" = 1'-0"



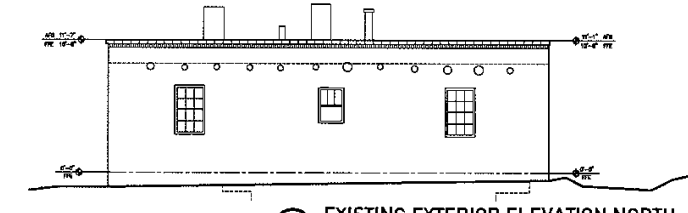
6 PROPOSED EXTERIOR ELEVATION EAST
SCALE: 1/4" = 1'-0"



2 PROPOSED EXTERIOR ELEVATION NORTH
SCALE: 1/4" = 1'-0"



5 EXISTING EXTERIOR ELEVATION EAST
SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION NORTH
SCALE: 1/4" = 1'-0"



PROJECT
601 SAN ANTONIO
SANTA FE, NM 87505
DATE: 10/19/19
PROJECT NO. NO.
REVISION DATE

NOTES:
1. ALL DIMENSIONS SHOWN AND TO ALL STUD UNLESS OTHERWISE NOTED.
2. VERIFY DATA: 1/4" = 1'-0"

PHASE
HISTORIC DESIGN REVIEW

NOT FOR CONSTRUCTION

ELEVATIONS

SCALE: PER DRAWING

A3.1

DRAWN BY: TP

601 San Antonio

Window Condition Assessment

South Window #1
Pair of double hung windows
28" x 48"



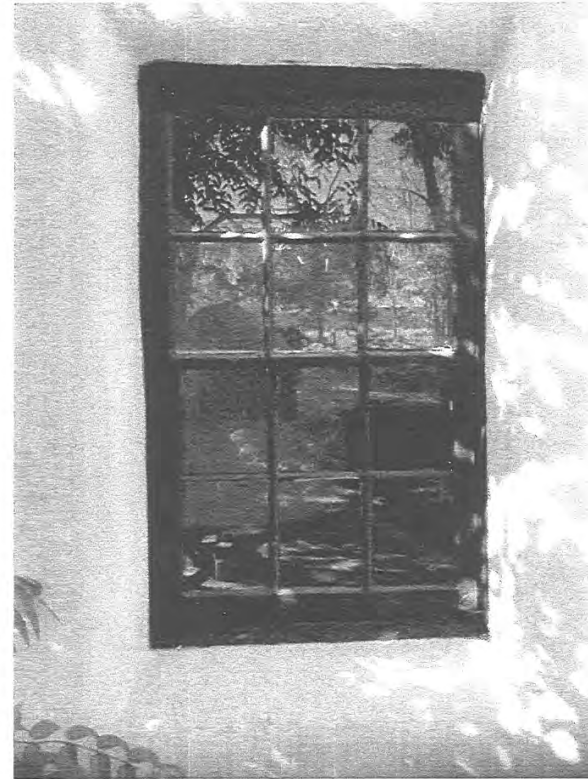
Prepared by:
Scott Ernst
10/8/2020

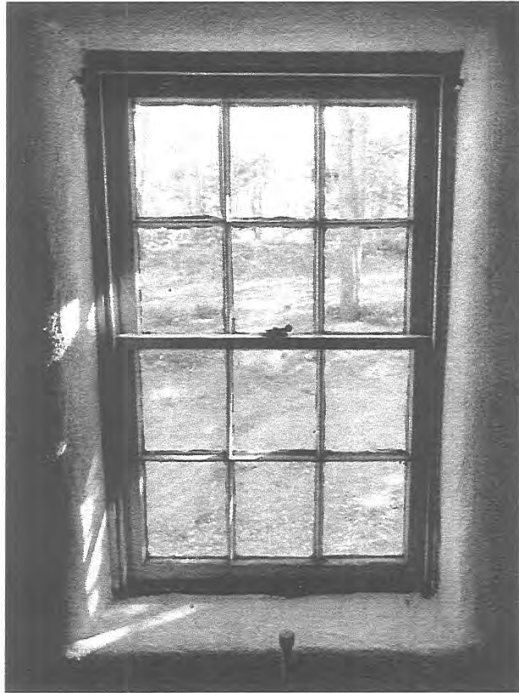


Condition

This unit is in the worst condition of all of the windows in the house. Due to what looks to be multiple layers of plaster building up in front of the sill, water has been puddling on it and it is completely rotten. The rest of the jamb also seems to be rotten where it is against the adobe. The sashes are in reasonably good shape although some joints are coming loose and there are a few warped muntins. The meeting rails are a little warped and weathered from dripping condensation and may have to be replaced. The interior paint is peeling, no doubt also due to condensation. The exteriors of the sashes are weathered under a recent coat of paint.

South Window #2
Double hung
28" x 48"





Condition

This unit is in similar condition to south window #2. The sashes are generally sound but the profiles on the interior are weathered from condensation and the paint is peeling. The exterior is weathered. I suspect jamb rot.

East door #1
30" x 80"



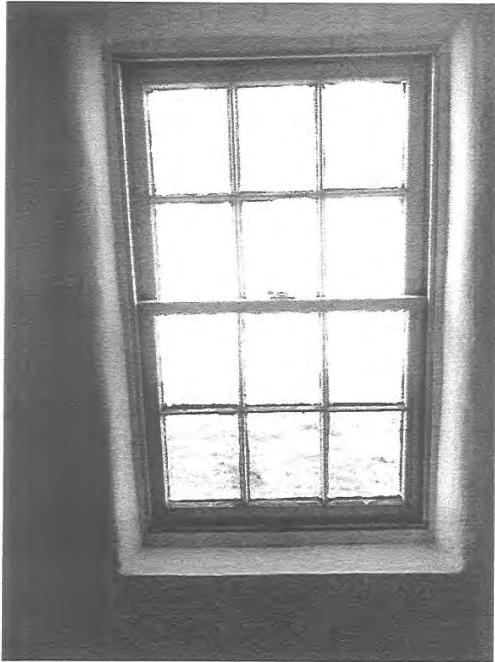


Condition

This unit is in slightly better condition than south window #1 although the jamb also appears to have rot. The exterior is weathered and the interior paint is peeling.

South Window #3
Double hung
28" x 48"





Condition

This unit is in moderately good condition. The exterior is weathered and the interior paint is peeling. Some of the joints are open and show signs of repair. I suspect jamb rot.

North Window #1
Double hung
28" x 48"





Condition

This unit is in very good condition.

North Window #3
Double hung
28" x 48"





Condition

As is typical for north facing windows, this unit is in very good condition

North Window #2
Double hung
24" x 33"





Condition

This unit is in pretty good condition. It is weathered on the outside and some paint is peeling on the inside.

West Door #1
30" x 80"

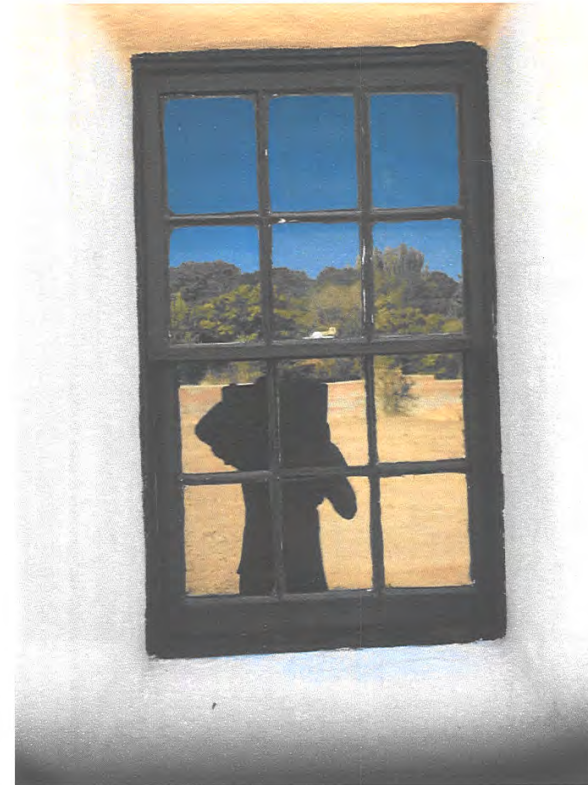




Condition

This door appears to be a somewhat recent factory door. It is in good condition but isn't anything special.

East Window #1
Double Hung
28" x 48"





Condition

Despite some paint peeling on the interior, this unit is in good condition.

West Window #1
Double hung
28" x 48"





Condition

Like the east door, this appears to be a recent factory door.

West Window #2
Double hung
28" x 48"





Condition

The jamb on this unit is in pretty hard shape. The sashes are in relatively good condition although there is some exterior weathering and interior paint issues. One muntin is warped and may need to be replaced.

Conclusions

Generally all of the windows on this house show signs of having been recently maintained, since the exterior paint and glazing compound look to be pretty new. From my experience with old windows in Santa Fe, I suspect that most of the jambs will have rot where they abut the adobe. Some are clearly rotten. Others don't look too bad.

The south and east facing sashes are weathered on their exterior faces but the paint is new. I believe that during some period they were not maintained, the paint peeled and the wood weathered. Then someone painted over that and replaced the putty, which is soft and new.

Despite the weathering and some muntin issues, all of the sashes can be restored.

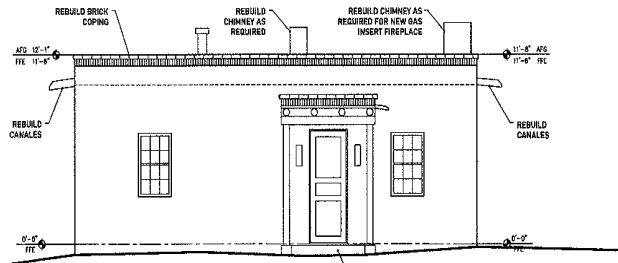
Recommendations

I suggest pulling all of the units out of the building during the remodel. The sashes should have all of their paint and putty stripped and glass removed. Any weathered wood can be stabilized with epoxy. Bent muntins and meeting rails should be replaced. Once they are restored, the sashes would get new paint and putty.

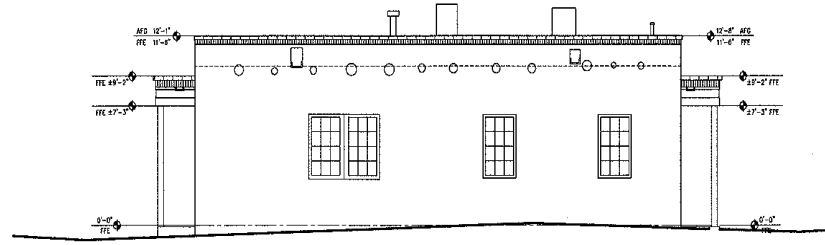
I also suggest that all of the jambs be replaced. This would allow new jambs to be built with rabbets for traditional storm sashes. Having storms will help to keep the weather off of the sashes and increase the thermal efficiency of the building. Along with keeping the house warm, this will also help to prevent interior condensation which is a major contributor to interior paint issues.

None of the windows were built with any balances, sash weights or sash pins. I would recommend retrofitting the units with spiral balances.

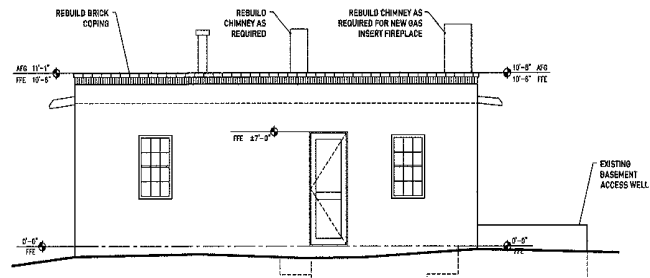
There are some nice (and inconspicuous) modern weather stripping options that work well on old windows and help with building efficiency. They could easily be incorporated into a restoration.



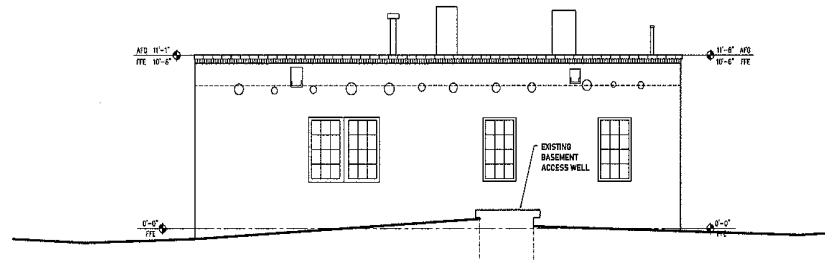
8 PROPOSED EXTERIOR ELEVATION WEST
SCALE: 1/4" = 1'-0"



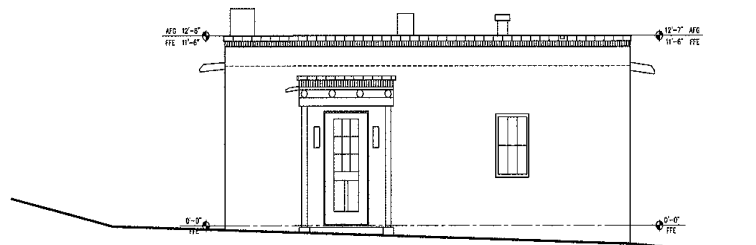
4 PROPOSED EXTERIOR ELEVATION SOUTH
SCALE: 1/4" = 1'-0"



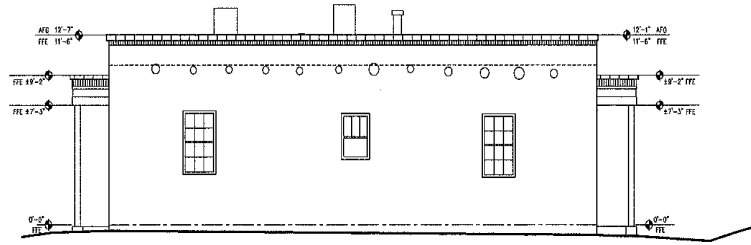
7 EXISTING EXTERIOR ELEVATION WEST
SCALE: 1/4" = 1'-0"



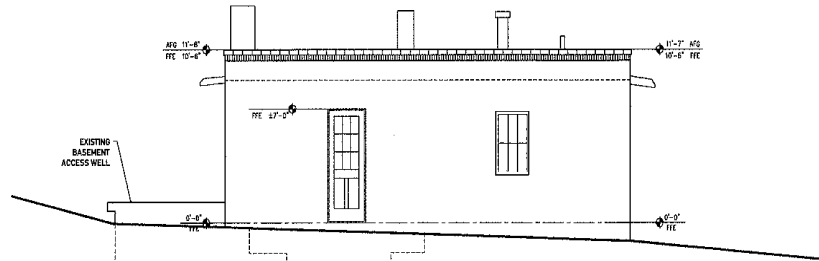
3 EXISTING EXTERIOR ELEVATION SOUTH
SCALE: 1/4" = 1'-0"



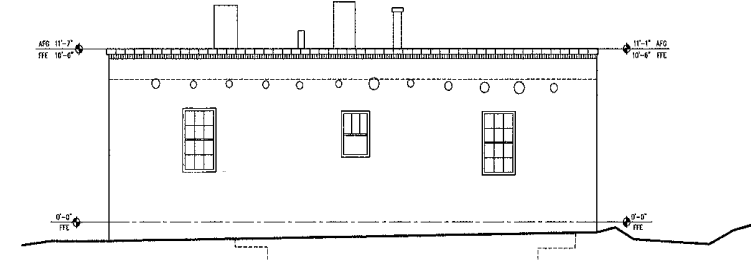
6 PROPOSED EXTERIOR ELEVATION EAST
SCALE: 1/4" = 1'-0"



2 PROPOSED EXTERIOR ELEVATION NORTH
SCALE: 1/4" = 1'-0"



5 EXISTING EXTERIOR ELEVATION EAST
SCALE: 1/4" = 1'-0"



1 EXISTING EXTERIOR ELEVATION NORTH
SCALE: 1/4" = 1'-0"

PROJECT

601 SAN ANTONIO

SANTA FE, NM 87505

DATE: 10/20/20
PROJECT NO. 100

REVISION	DATE
1	
2	
3	
4	
5	
6	

NOTES:
1. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: 3'-0" @ 0'-0"

PHASE

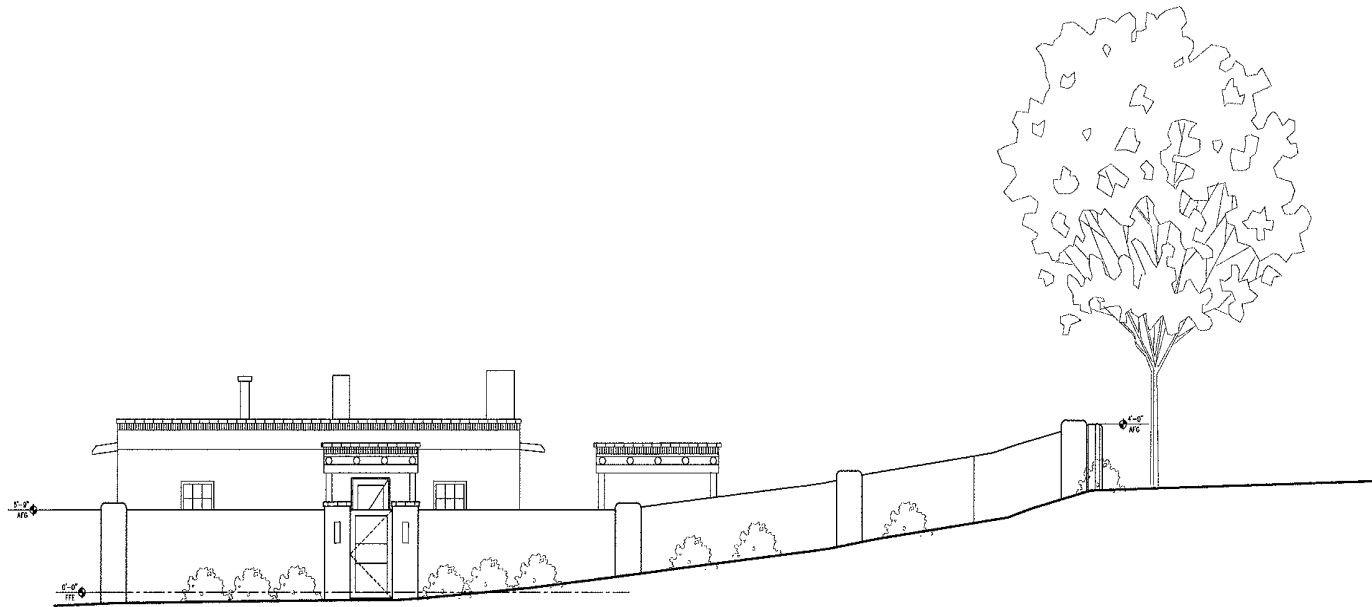
HISTORIC DESIGN REVIEW

NOT FOR CONSTRUCTION

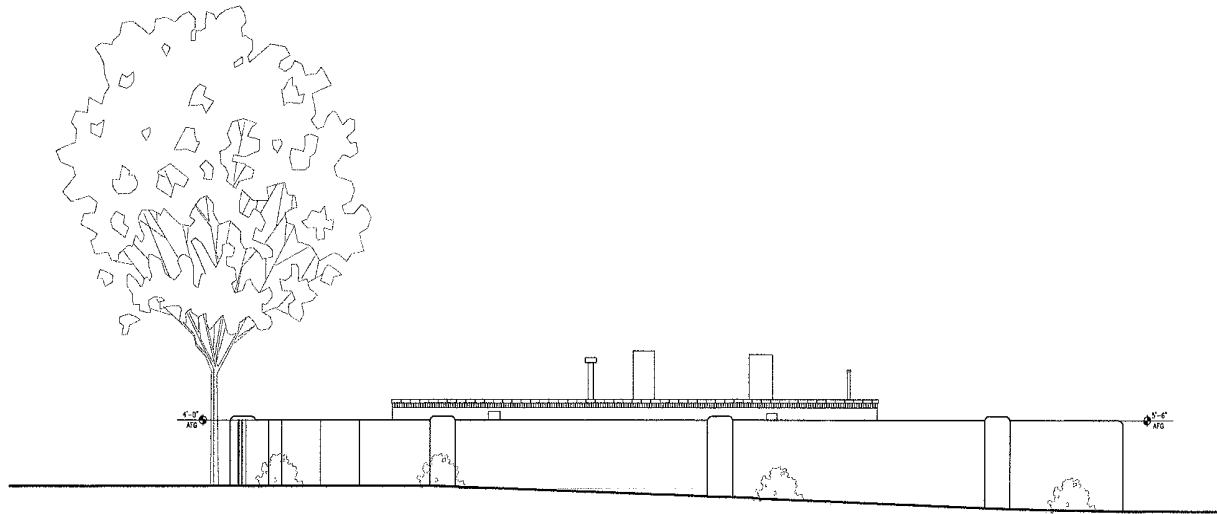
ELEVATIONS

SCALE: PER DRAWING

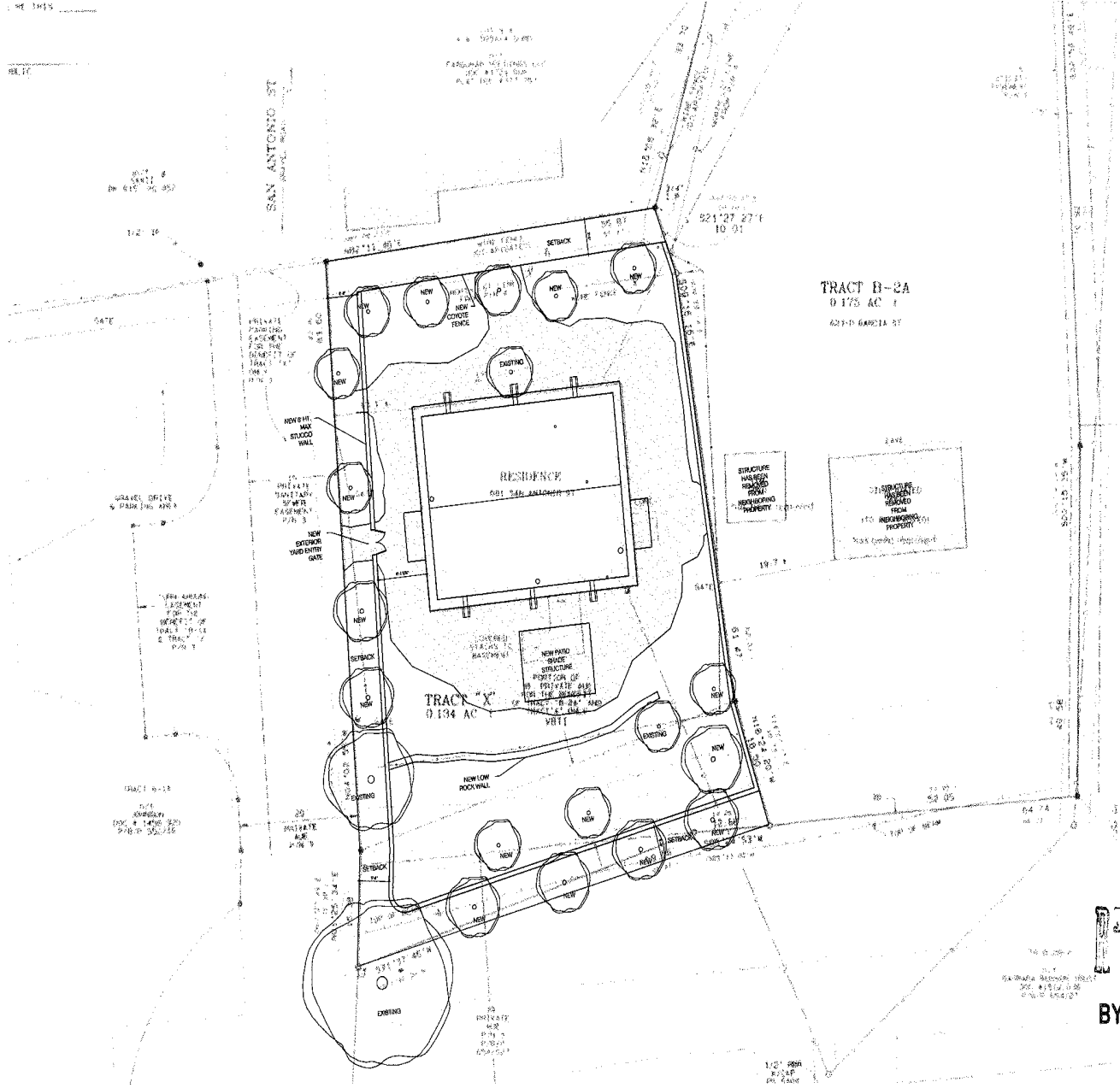
A3.2



2 PROPOSED YARD WALL ELEVATION WEST
SCALE: 1/4" = 1'-0"



1 PROPOSED YARD WALL ELEVATION SOUTH
SCALE: 1/4" = 1'-0"



RECEIVED
NOV 03 2020

BY: _____

PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



105 NICOLE PLACE #302
SANTA FE, NM 87505

PROJECT
601 SAN ANTONIO

SANTA FE, NM 87505

DATE	PROJECT NO.	NO.
10/20/20		
REVISION	DATE	

NOTES
1. ALL DIMENSIONS SHOWN ARE TO F.O. STD. UNLESS OTHERWISE NOTED.
2. HOUSE DATA XXX-4-P-0

PHASE
HISTORIC DESIGN REVIEW

SITE PLAN

SCALE: 1/8" = 1'-0"

A1.1

DRAWN BY: TP
42

