

DEVELOPMENT PLAN
Paseo North
507 Paseo de Peralta
Case #2023-6271

Jurisdiction: City of Santa Fe
Section 24, Township: 17N, Range: 9E

CITY APPROVALS

Approval by Santa Fe Planning Commission at their meeting on

_____, 20____
as Case No. 2023-6271

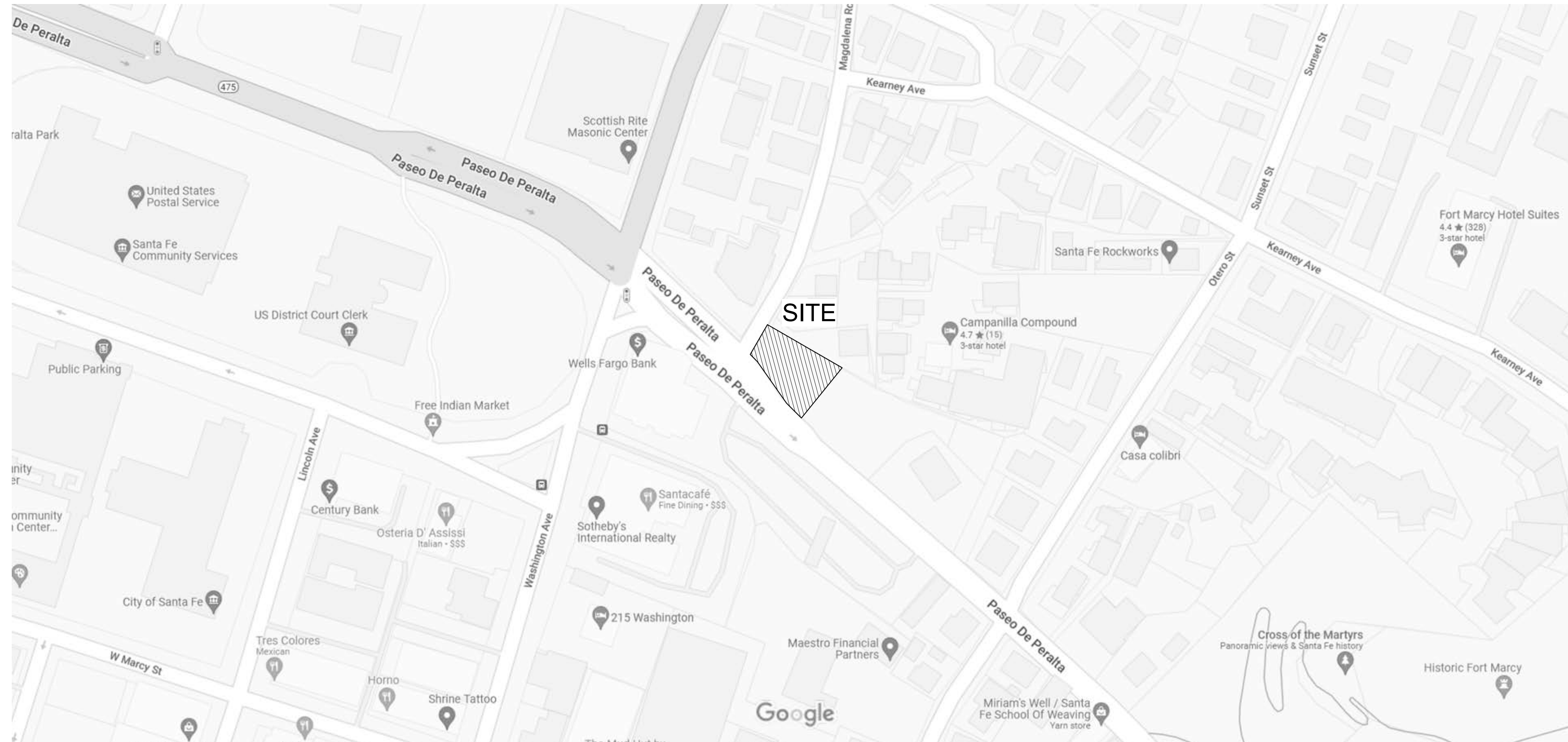
Planning Commission Chairperson Date

Planning Commission Secretary Date

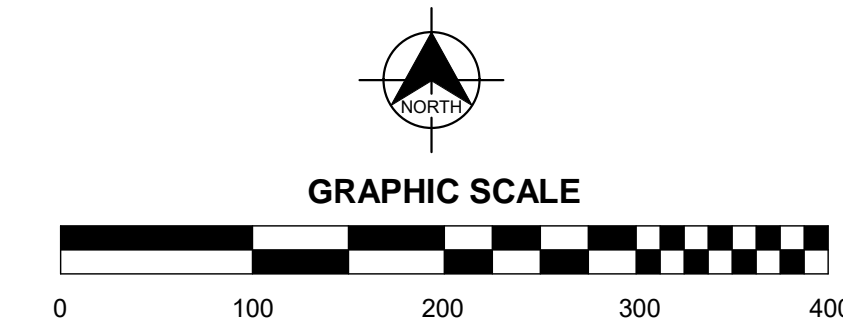
Approved by the City of Santa Fe Land Use Department

City Planner Date

City Engineer for Land Use Date



VICINITY MAP



NOTES

1. Additional Development Plan drawings such as: Elevations, Lighting, Civil, Engineering Plan sheets, Roof Plans, are filed in the Map Room with the City of Santa Fe Case #2023-6271
2. CITY OF SANTA FE DRAINAGE:
 - A. SUBJECT TO THE APPROVAL OF CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION/SEDIMENT CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF EACH SEGMENT OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
 - B. MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER. THE CITY OF SANTA FE IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THESE EASEMENTS AND DRAINAGE FACILITIES AT THE DISCRETION OF THE CITY. THE OWNER AGREES TO INDEMNIFY AND TO HOLD HARMLESS FROM ALL DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTION RIGHT.

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OWNER'S PRINTED NAME

OWNER'S SIGNATURE

THE FOREGOING WAS SWORN, ACKNOWLEDGED, AND SUBSCRIBED BEFORE ME BY:

THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

MY COMMISSION EXPIRES

	ARCHITECT'S SEAL	<p>JURISDICTION: CITY OF SANTA FE PROJECT NAME: PASEO NORTH DRAWING TYPE: COVER PAGE DRAWING DATE: 07/17/2024</p>
	BRADYN W. FURRY R.A. #6312	

PROPERTY INFORMATION

ZONING: BCDMAR (BUSINESS CAPITOL DISTRICT MARCY SUBDISTRICT)
 OVERLAYS: DOWNTOWN & EASTSIDE HISTORIC DISTRICT
 HISTORIC STATUS: N/A
 LOT SIZE: .185 ACRES
 EXISTING STRUCTURE SQ. FT.: N/A
 EXISTING UTILITIES: ELECTRIC, SEWER, WATER
 FLOOD ZONE: N/A

EXISTING CONDITIONS

Paseo North
 507 Paseo de Peralta
 Case #2023-6271

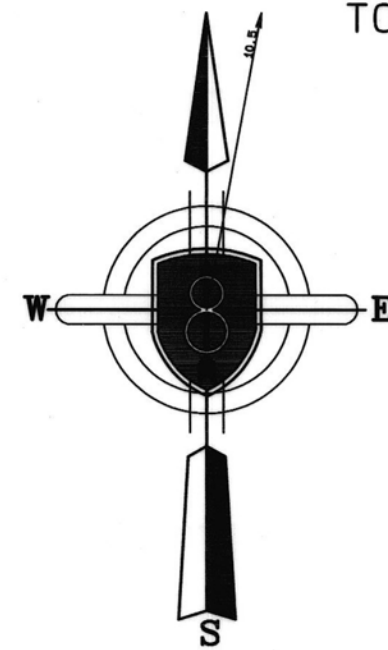
Jurisdiction: City of Santa Fe
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LEGAL LOT INFORMATION

TRACT 1, RECORDED AS PLAT BOOK 895, PAGE 47

BOUNDARY SURVEY FOR
 PERALTA'S WALK, LLC, OF TRACT 1 AND TRACT I-A

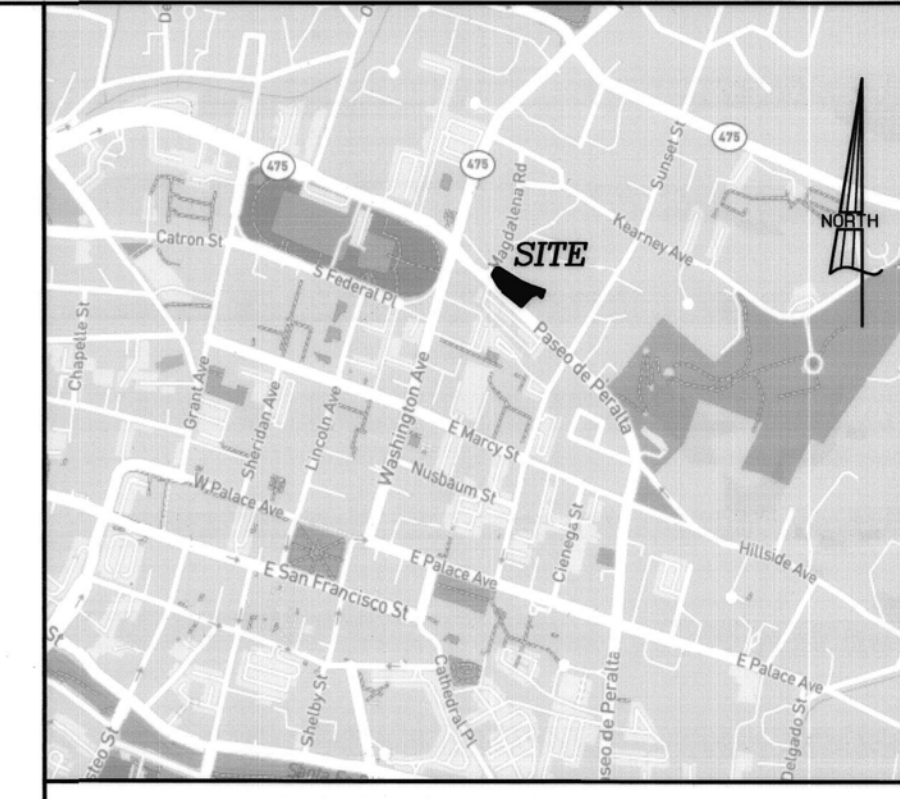
LYING IN THE SANTA FE GRANT AND BEING SITUATE IN PROJECTED SECTION 24,
 TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M. CITY & COUNTY OF SANTA FE, NEW MEXICO



PUBLIC NOTICE
 THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON,
 CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH
 AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL
 OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

SURVEYOR'S NOTES:

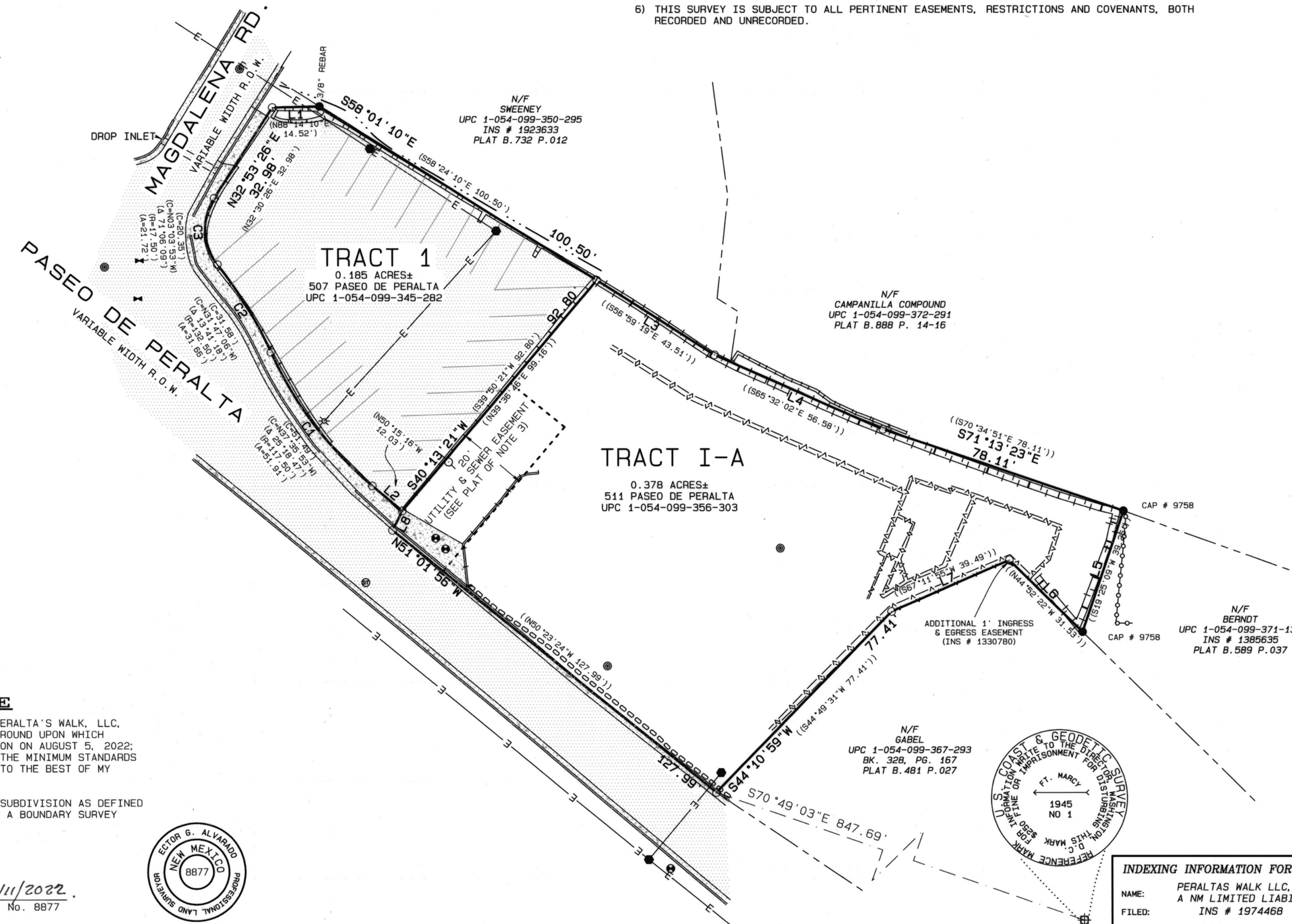
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- 4) REFER TO A WARRANTY DEED BETWEEN 511 PDP, LLC A NEW MEXICO LIMITED LIABILITY COMPANY (GRANTOR) AND PERALTA'S WALK, LLC A NEW MEXICO LIMITED LIABILITY COMPANY (GRANTEE), AND RECORDED WITH THE SANTA FE COUNTY CLERK'S OFFICE AS INS # 1974468.
- 5) LANDS SHOWN HEREON LIE WITHIN OTHER AREAS, ZONE 'X' - AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO THE FEMA DFIRM MAP 35049C0408E, DATED DECEMBER 4, 2012.
- 6) THIS SURVEY IS SUBJECT TO ALL PERTINENT EASEMENTS, RESTRICTIONS AND COVENANTS, BOTH RECORDED AND UNRECORDED.



VICINITY MAP (N.T.S.)

BOUNDARY LINE AND CURVE DATA CHART

LINE	CHORD/BEARING	ARC/DIST	RADIUS	DELTA	CHORD
L1	N88°37'10"E	14.52'			
L2	N49°52'16"W	12.03'			
D1	N37°12'53"W	51.91'	117.50'	26°18'47"	51.49'
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L4	S66°10'34"E	56.58'			
L5	S18°46'37"W	39.20'			
L6	N45°35'29"W	31.51'			
L7	S68°33'23"W	29.49'			
L8	N27°10'06"E	6.60'			



LEGEND:

- SURVEY MONUMENT FOUND (AS NOTED)
- SURVEY MONUMENT SET (CAP # 8877)
- CALCULATED POINT
- SANITARY SEWER MANHOLE
- UTILITY POLE
- ⊕ WATER METER
- ⊕ ELECTRIC TRANSFORMER
- △ TELEPHONE JUNCTION BOX
- ⊕ ELECTRIC METER
- ⊕ WATER VALVE
- ⊕ LIGHT STANDARD
- ⊕ SPIGOT
- BOUNDARY LINE
- - - ADJOINER BOUNDARY LINE
- ○ ○ ○ COYOTE FENCE
- ○ ○ ○ CHAINLINK FENCE
- - - OVERHEAD WIRES
- ⊕ ⊕ ⊕ EXISTING OLD FOUNDATION WALL
- ⊕ ⊕ ⊕ LARGE CONCRETE BLOCK WALL
- ⊕ ⊕ ⊕ CMU WALL
- ⊕ ⊕ ⊕ ROCK WALL
- ⊕ ⊕ ⊕ CONCRETE CURB & GUTTER/SURFACE
- ⊕ ⊕ ⊕ ASPHALT SURFACE

COUNTY OF SANTA FE } SS
 STATE OF NEW MEXICO }
 I HEREBY CERTIFY THAT THIS INSTRUMENT NO. 1999222 WAS FILED FOR RECORD ON THE 11 DAY OF OCT. A.D. 2022 AT 2:24 O'CLOCK AND WAS DULY RECORDED IN PLAT BOOK 895 PAGE 47 OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE
 KATHERINE CLARK
 COUNTY CLERK, SANTA FE COUNTY, N.M.
Katherine Clark
 DEPUTY



SURVEYOR'S CERTIFICATE

I, ECTOR G. ALVARADO, NMPLS NO. 8877, DO HEREBY CERTIFY TO PERALTA'S WALK, LLC, THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION ON AUGUST 5, 2022; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYS IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

Ector G. Alvarado 10/11/2022
 ECTOR G. ALVARADO N.M.P.L.S. No. 8877



INDEXING INFORMATION FOR COUNTY CLERK
 NAME: PERALTA'S WALK, LLC.
 FILED: A NM LIMITED LIABILITY CO.
 INS # 1974468
 SUBDIVISION: N/A
 SECTIONS: PROJ. SECTION 24, T17N, R9E
 UPC: 1-054-099-356-303 TRACT I-A
 1-054-099-345-282 TRACT 1

SOUTHWEST MOUNTAIN SURVEYS
 1114 HICKOX ST., SANTA FE, N.M. 87505
 (505) 982-9429 FAX (505) 986-3413
 DATE(S): AUGUST 5, 2022 DRAWN BY: PROJECT NO. C-3261

ARCHITECT'S SEAL
 JURISDICTION: CITY OF SANTA FE
 PROJECT NAME: PASEO NORTH
 DRAWING TYPE: EXISTING CONDITIONS
 DRAWING DATE: 07/17/2024

SITE DEVELOPMENT PLAN

Paseo North
507 Paseo de Peralta
Case #2023-6271

Jurisdiction: City of Santa Fe
Section 24, Township: 17N, Range: 9E

**507 PASEO DE PERALTA
TRACT 1
.185 ACRES±**

ZONING: BCD-MARCY

LOT COVERAGE CALCULATIONS:
BUILDING ROOF AREA = 4,235 S.F.
PORTAL ROOF AREAS = 684
TOTAL ROOF AREA = 4,919
TOTAL LOT SIZE = 8,059 S.F.
NO RESTRICTION

PROJECT DATA

PROJECT SITE:
Acreage: .185 acres
Flood Plain: N/A
Flood Way Square feet: N/A
Net Acreage: .185 acres
Zoning: BCDMAR (Business Capitol District Marcy Subdistrict)

OVERLAY ZONING:
Downtown and Eastside Historic District
Historic Downtown Archaeological Review District

BUILDINGS:
4,235 Sq. Ft.

HEIGHT:
Marcy Subdistrict Maximum Height: 42'
Downtown and Eastside Historic District: 24'
Building: 23'- 0 1/2"

LOT COVERAGE:
Marcy Subdistrict: No Restriction

BUILDING PLACEMENT:
No yard requirements:
Front required yard equal to the average depth of existing front yards on the block shall be required for (a) the east side of Washington Avenue between Place Avenue and Paseo de Peralta (Hillside); and the west side of Grant Avenue between Place Avenue and Paseo de Peralta. Elsewhere in the subdistrict there are no required yards.

OPEN SPACE:
10 percent of the lot area

LANDSCAPE:
Landscape treatment required in yards and open space. Street trees and landscape treatment required if planting strip exists. Asphalt or concrete pavement prohibited in planting strip.

HEIGHT OF WALLS AND FENCES:
Maximum 4'

PLACEMENT OF OFF-STREET PARKING
Parking prohibited in front yard.

PORTALS IN THE ROW:
None

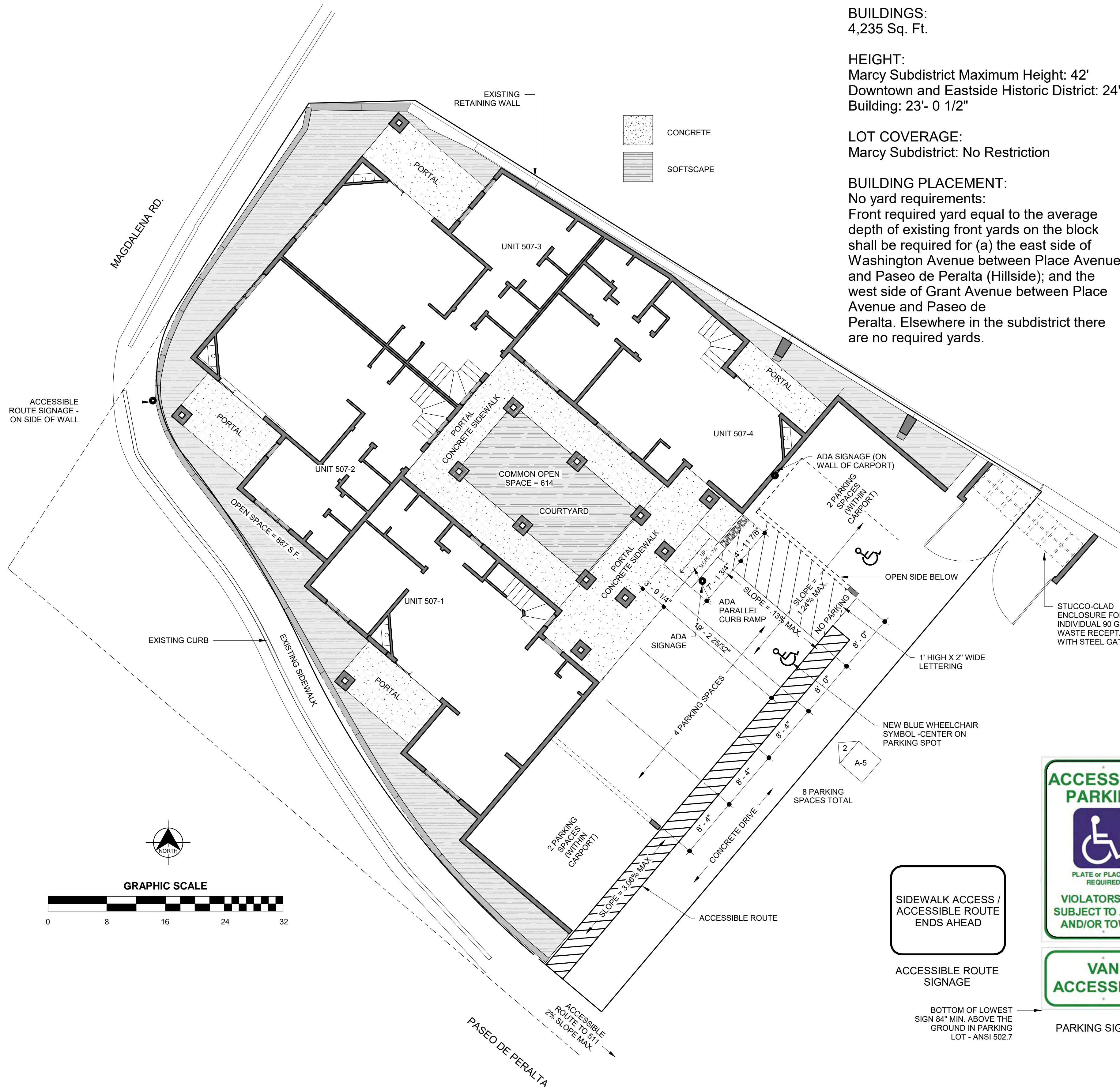
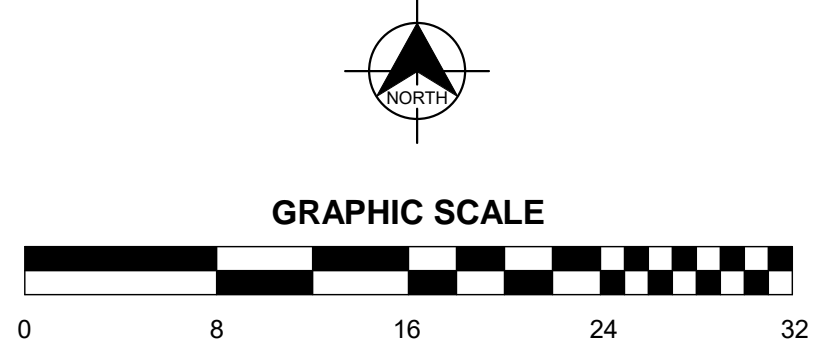
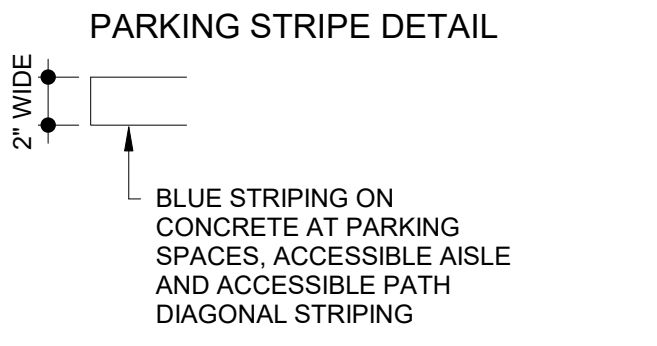


TABLE 1. CONDITIONS OF APPROVAL			
#	Condition of Approval	Dept. or Division	To be completed by:
1	Contractor shall ensure ADA compliance for construction of required ADA accessible features and appurtenances, as detailed and as required, in addition to the approved construction permit documents. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, MUTCD, DOJ, and NM State Statute and Code such as the New Mexico Accessible Parking Checklist, latest published version.	ADA	Permit Application
2	Include copies of Approved & recorded Development Plan prior to permitting.	Terrain Management	Permit Application
3	The existing public sewer system in Paseo de Peralta is only available to provide sewer service the two properties by connecting to a specific section of the existing public sewer line. There is a sewer manhole located in Paseo De Peralta at the point where the two properties share a common property line along Paseo de Peralta. The two properties may connect to the existing 8-inch public sewer line which goes downstream of this sewer manhole flowing toward the intersection of Bishops Lodge and Washington. The Applicant is required to contact the Wastewater Division for further assistance with the design of the sewer system to serve this project.	Wastewater	Prior to signature of Development Plan
4	An approved Development Water Budget including a 9.8% contingency per SFCC 14-8.13(E)(1) will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.	Water	Prior to Sign Off for Final Development Plan
5	An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.	Water	Prior to ACD
6	Each lot shall be served by separate water service at the time of development.	Water	Prior to Building Permit application
7	An agreement for metered service (AMS) will be required to install new services, including water offset fees.	Water	Prior to Building Permit application
8	If the landscaped area is greater than 1,000 square feet, a separate irrigation meter is recommended.	Water	Prior to Sign Off for Final Development Plan
9	A shared parking agreement shall be executed and filed as a part of the Development Plan.	Current Planning	Prior to signature of Development Plan
10	Archaeological Clearance shall be provided for both properties.	Historic Preservation	Prior to Permit Application



PARKING REQUIREMENTS
CITY OF SANTA FE CODES, TABLE 14-8.6, C.2
BCD
1 SPACE PER DWELLING UNIT
TOTAL REQUIRED = 4
PARKING SPACES PROVIDED = 4



ARCHITECT'S SEAL

JURISDICTION: CITY OF SANTA FE
PROJECT NAME: PASEO NORTH
DRAWING TYPE: SITE DEVELOPMENT PLAN
DRAWING DATE: 07/17/2024

BRADY W. FURRY
R.A. #6312

DEVELOPMENT PLAN
Paseo North
511 Paseo de Peralta
Case #2023-6271

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Approval by Santa Fe Planning Commission at their meeting on

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as Case No. 2023-6271

Planning Commission Chairperson Date

Planning Commission Secretary Date

Approved by the City of Santa Fe Land Use Department

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AFFIDAVIT

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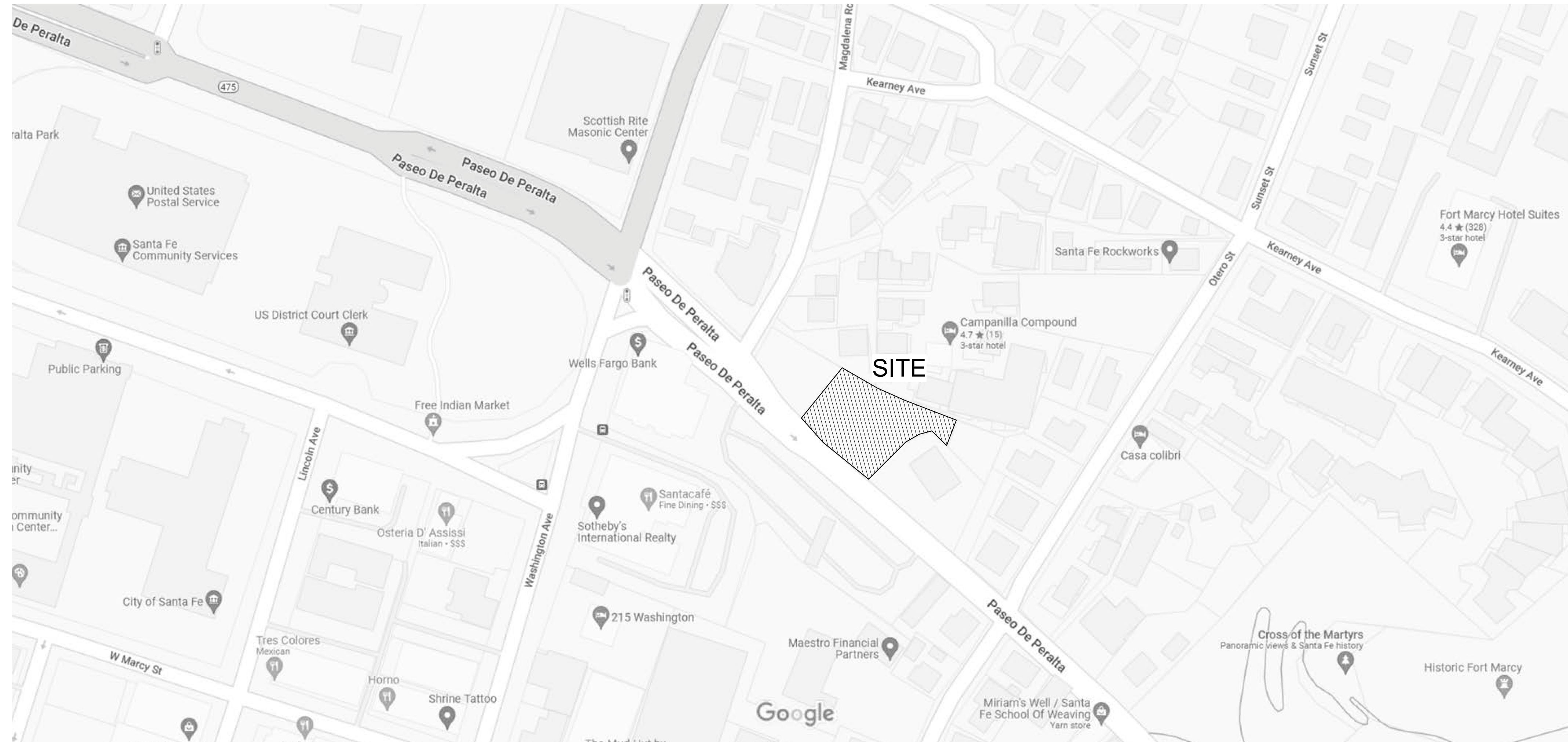
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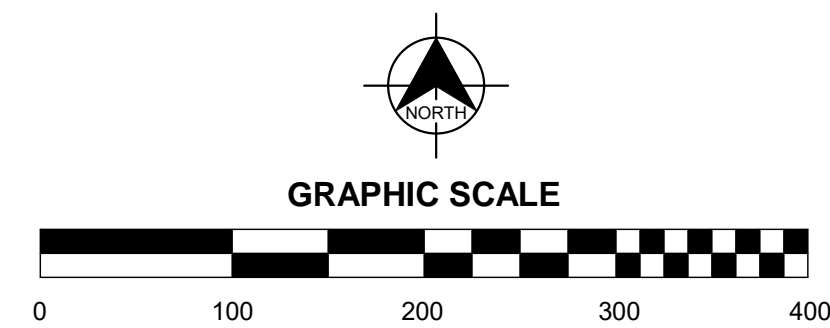
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PROJECT NAME: PASEO NORTH
DRAWING TYPE: COVER PAGE
DRAWING DATE: 06/01/2024

BRADYN W. FURRY
R.A. #6312

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Paseo North
511 Paseo de Peralta
Case #2023-6271

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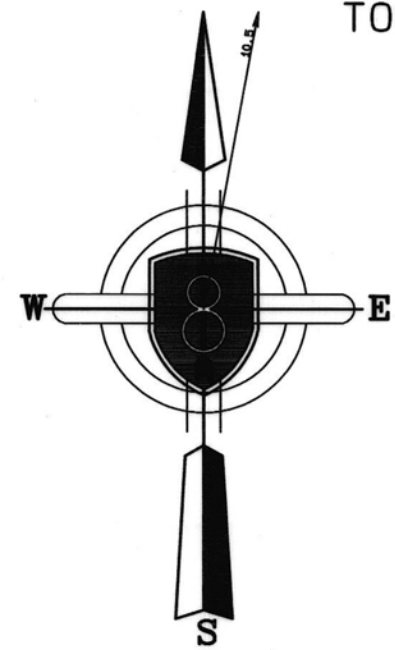
SHEET 2 OF 4

EXISTING CONDITIONS
Paseo North
511 Paseo de Peralta
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BOUNDARY SURVEY FOR
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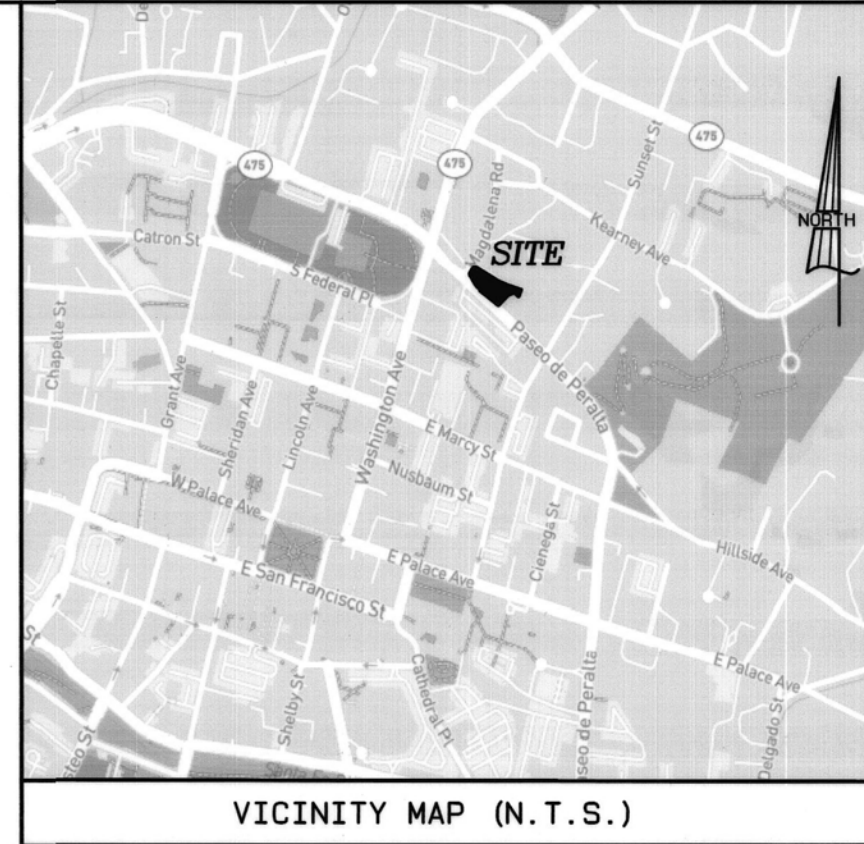


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895 47



VICINITY MAP (N.T.S.)

PROPERTY INFORMATION

ZONING: R21
OVERLAYS: DOWNTOWN & EASTSIDE HISTORIC DISTRICT
HISTORIC STATUS: N/A
LOT SIZE: .378 ACRES
EXISTING STRUCTURE SQ. FT.: N/A
EXISTING UTILITIES: ELECTRIC, SEWER, WATER
FLOOD ZONE: N/A

LEGAL LOT INFORMATION

TRACT 1-A, RECORDED AS PLAT BOOK 895, PAGE 47

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STATE OF NEW MEXICO }
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WITNESS MY HAND AND SEAL OF OFFICE
KATHERINE CLARK
COUNTY CLERK, SANTA FE COUNTY, N.M.
Katherine Clark
DEPUTY

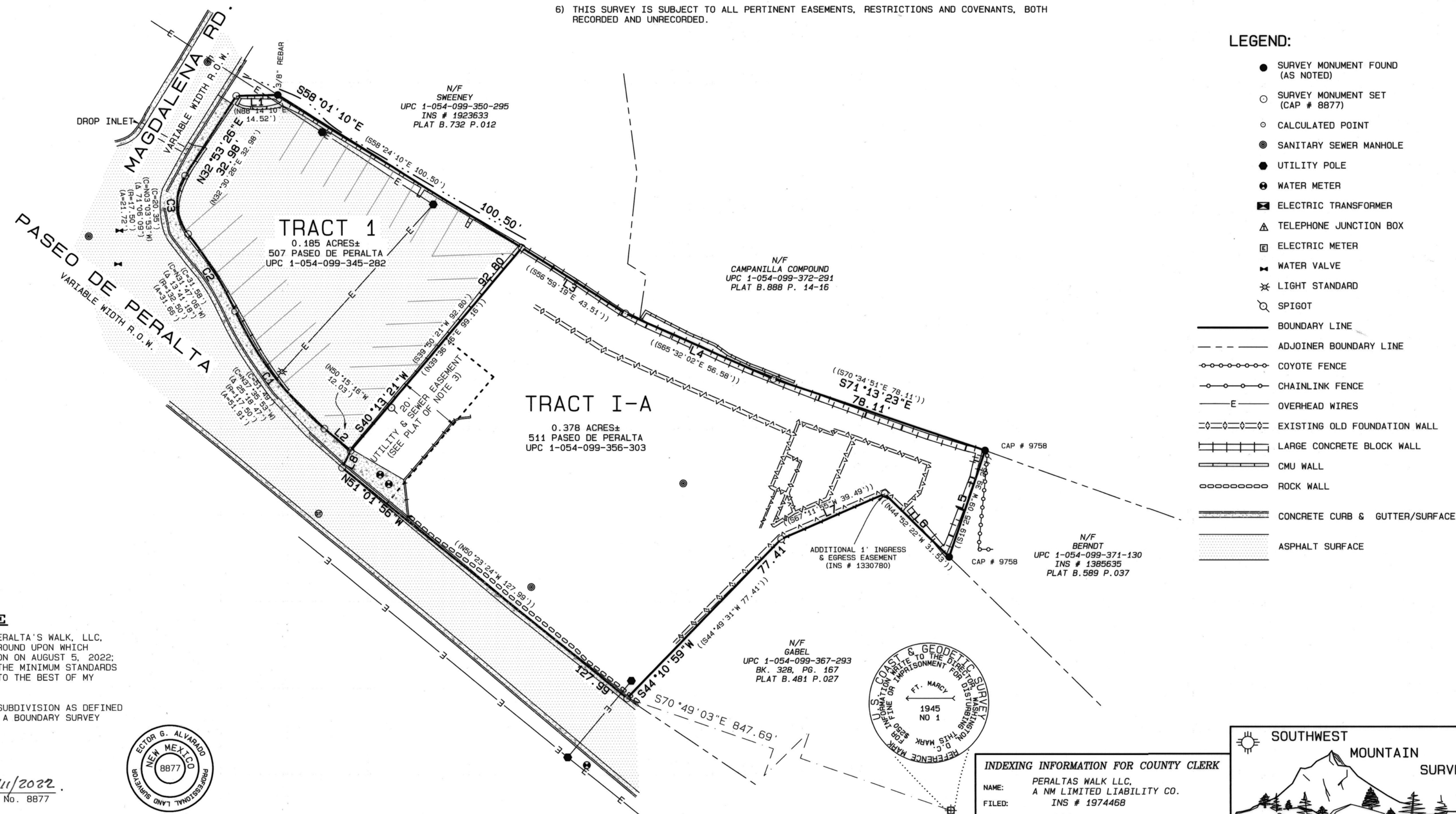


SURVEYOR'S CERTIFICATE

I, ECTOR G. ALVARADO, NMPLS NO. 8877, DO HEREBY CERTIFY TO PERALTA'S WALK, LLC, THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION ON AUGUST 5, 2022; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

Ector G. Alvarado
ECTOR G. ALVARADO
10/11/2022
N.M.P.L.S. No. 8877



LEGEND:

- SURVEY MONUMENT FOUND (AS NOTED)
- SURVEY MONUMENT SET (CAP # 8877)
- CALCULATED POINT
- SANITARY SEWER MANHOLE
- UTILITY POLE
- WATER METER
- ⊠ ELECTRIC TRANSFORMER
- △ TELEPHONE JUNCTION BOX
- ⊠ ELECTRIC METER
- ⊠ WATER VALVE
- ⊠ LIGHT STANDARD
- SPIGOT
- BOUNDARY LINE
- - - ADJOINER BOUNDARY LINE
- ○ ○ ○ COYOTE FENCE
- ○ ○ ○ CHAINLINK FENCE
- - - OVERHEAD WIRES
- ⊠ EXISTING OLD FOUNDATION WALL
- ⊠ LARGE CONCRETE BLOCK WALL
- ⊠ CMU WALL
- ⊠ ROCK WALL
- ⊠ CONCRETE CURB & GUTTER/SURFACE
- ⊠ ASPHALT SURFACE

INDEXING INFORMATION FOR COUNTY CLERK
NAME: PERALTA'S WALK, LLC.
A NEW MEXICO LIMITED LIABILITY CO.
FILED: INS # 1974468
SUBDIVISION: N/A
SECTIONS: PROJ. SECTION 24, T17N, R9E
UPC: 1-054-099-356-303 TRACT I-A
1-054-099-345-262 TRACT 1

SOUTHWEST MOUNTAIN SURVEYS
1114 HICKOX ST., SANTA FE, N.M. 87505
(505) 982-9429 FAX (505) 986-3413
DATE(S): AUGUST 5, 2022 DRAWN BY: PROJECT NO. C-3251

ARCHITECT'S SEAL
BRADY W. FURRY
R.A. #6312
JURISDICTION: CITY OF SANTA FE
PROJECT NAME: PASEO NORTH
DRAWING TYPE: EXISTING CONDITIONS
DRAWING DATE: 06/01/2024

SITE DEVELOPMENT PLAN
 Paseo North
 507 Paseo de Peralta
 Case #2023-6271

Jurisdiction: City of Santa Fe
 Section 24, Township: 17N, Range: 9E

511 PASEO DE PERALTA
TRACT I-A
.378 ACRES±

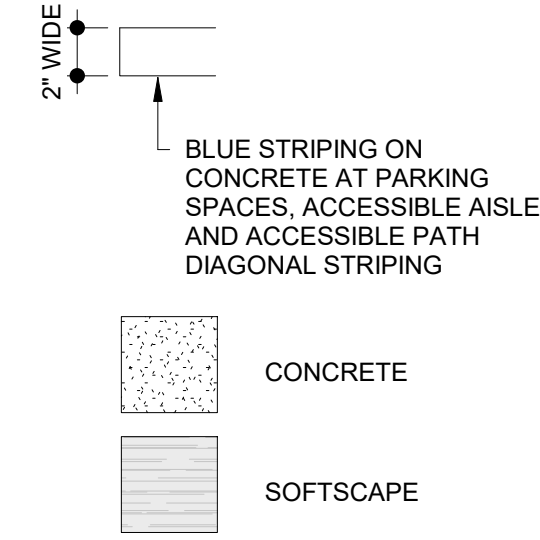
ZONING: R-21

LOT COVERAGE CALCULATIONS:
 BUILDING ROOF AREAS = 6,212 S.F.
 PORTAL ROOF AREAS = 1,562 S.F.
 TOTAL LOT COVERAGE = 7,774 S.F.
 TOTAL LOT SIZE = 16,466 S.F.
 7,519/16,466 = 47%
 ALLOWED = 55%

PARKING REQUIREMENTS

CITY OF SANTA FE, TABLE 14-8.6-1
 ATTACHED DWELLING UNIT (2-5 UNITS):
 2 SPACES PER DWELLING UNIT

PARKING STRIPE DETAIL



PROJECT DATA

PROJECT SITE:
 Acreage: .378 acres
 Flood Plain: N/A
 Flood Way Square feet: N/A
 Net Acreage: .378 acres
 Zoning: R21

OVERLAY ZONING:
 Downtown and Eastside Historic District
 Historic Downtown Archaeological Review District

BUILDINGS:
 6,212 Sq. Ft.

HEIGHT:
 Marcy Subdistrict Maximum Height: 24'
 Downtown and Eastside Historic District: 24'
 Building: 24'

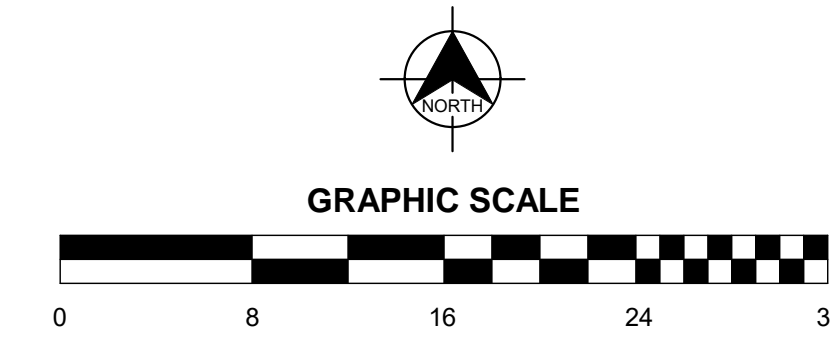
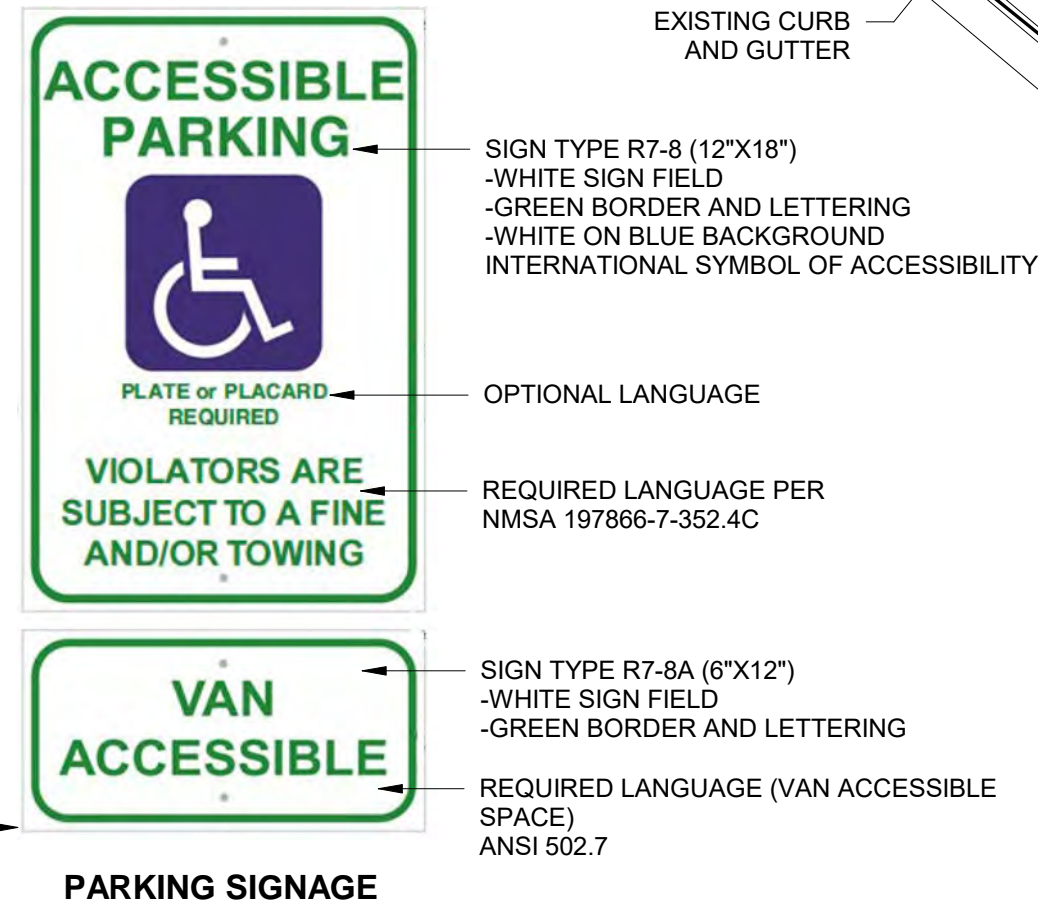
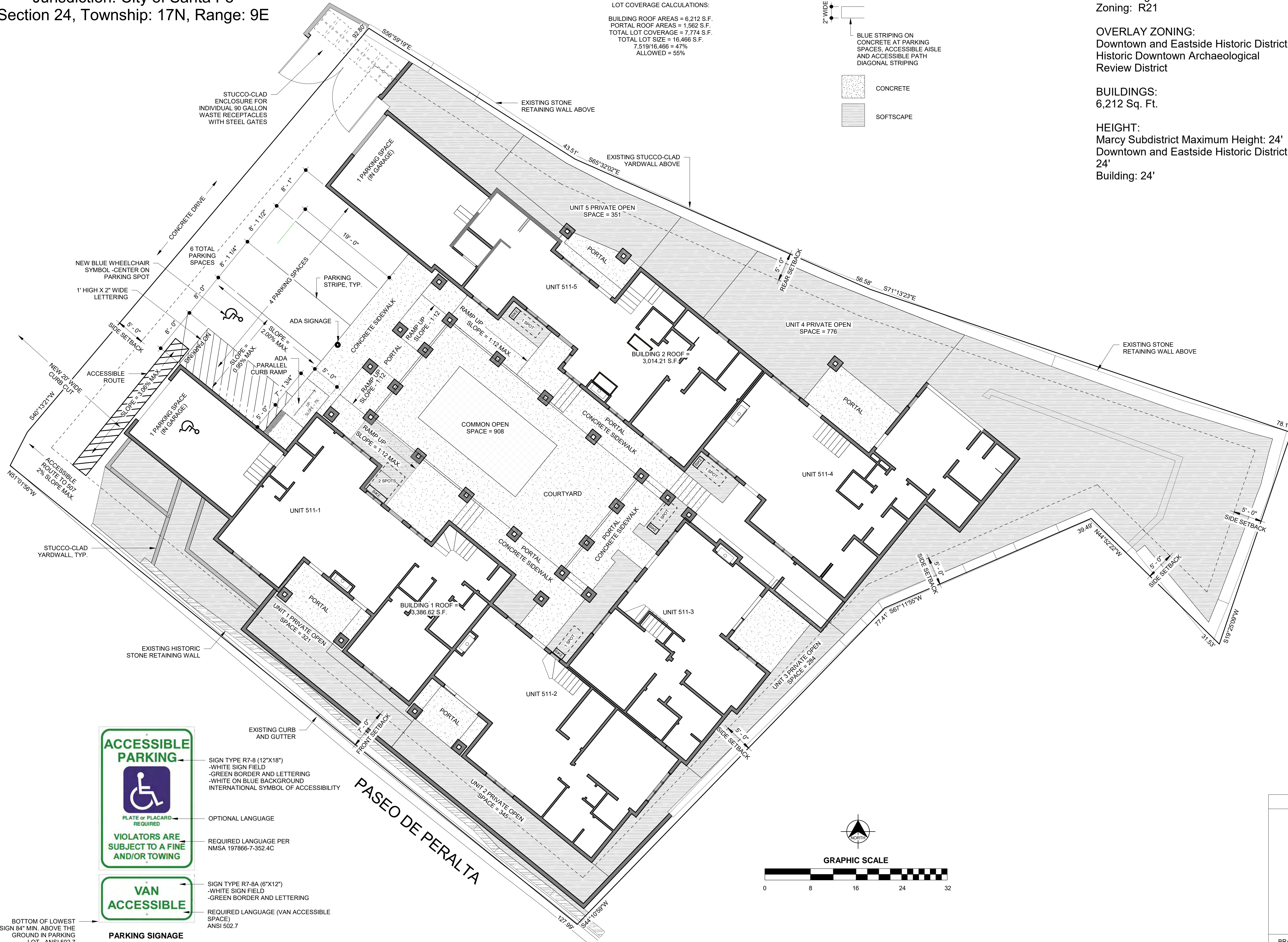
LOT COVERAGE:
 R21: Single-family or multiple-family of fewer than 6 units: 40%; 55% if private open space is provided.

BUILDING PLACEMENT:
 Generally, setbacks are established by a development plan approved by the Planning Commission.

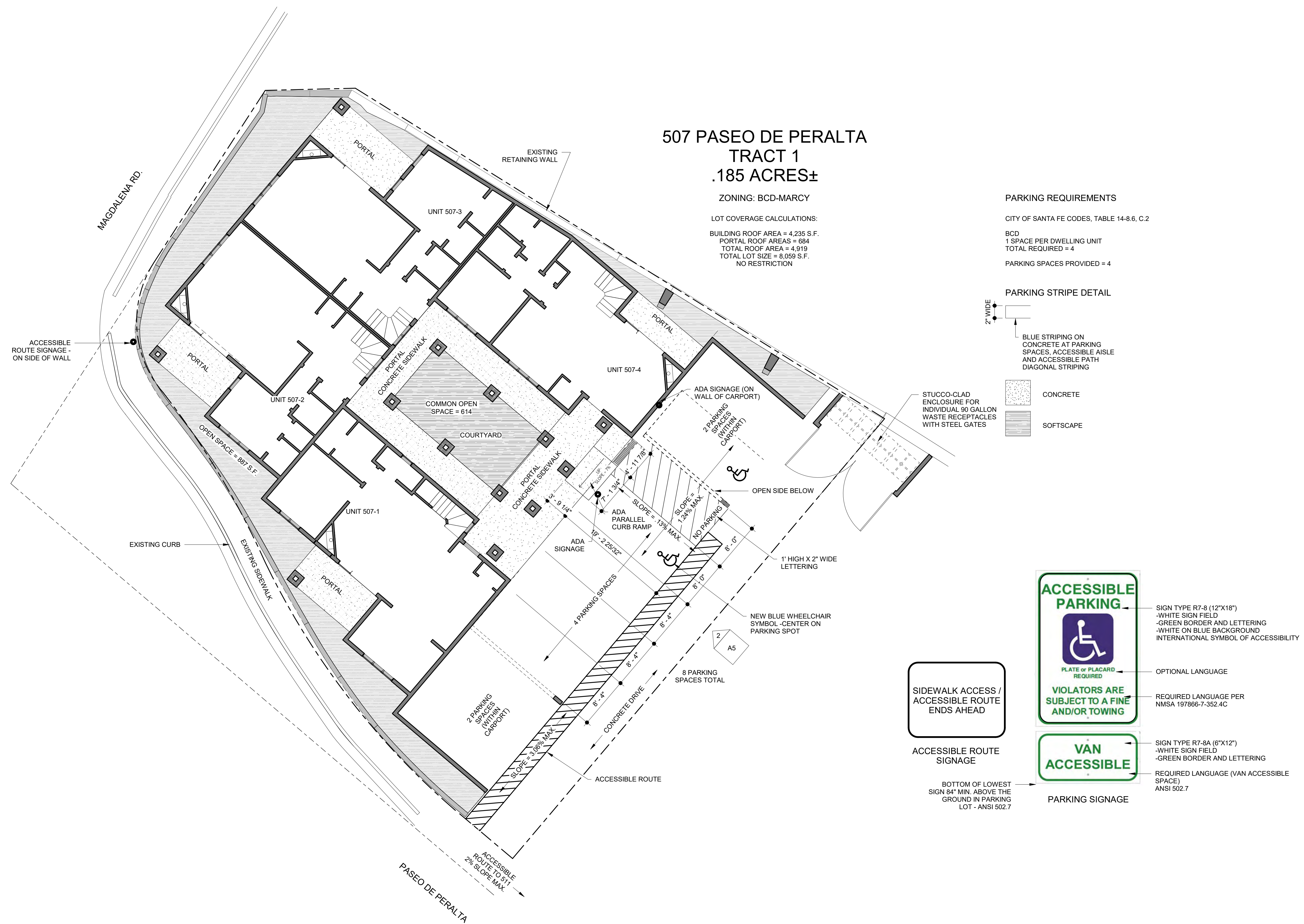
OPEN SPACE:
 Single-family dwellings or multiple-family dwellings : 250 square feet of common and/ or private open space for each unit

LANDSCAPE:
 Landscape treatment required in yards and open space. Street trees and landscape treatment required if planting strip exists. Asphalt or concrete pavement prohibited in planting strip.

PLACEMENT OF OFF-STREET PARKING
 Attached dwelling unit (2-5 units): 2 spaces per dwelling unit

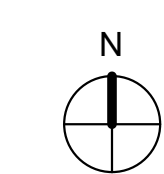


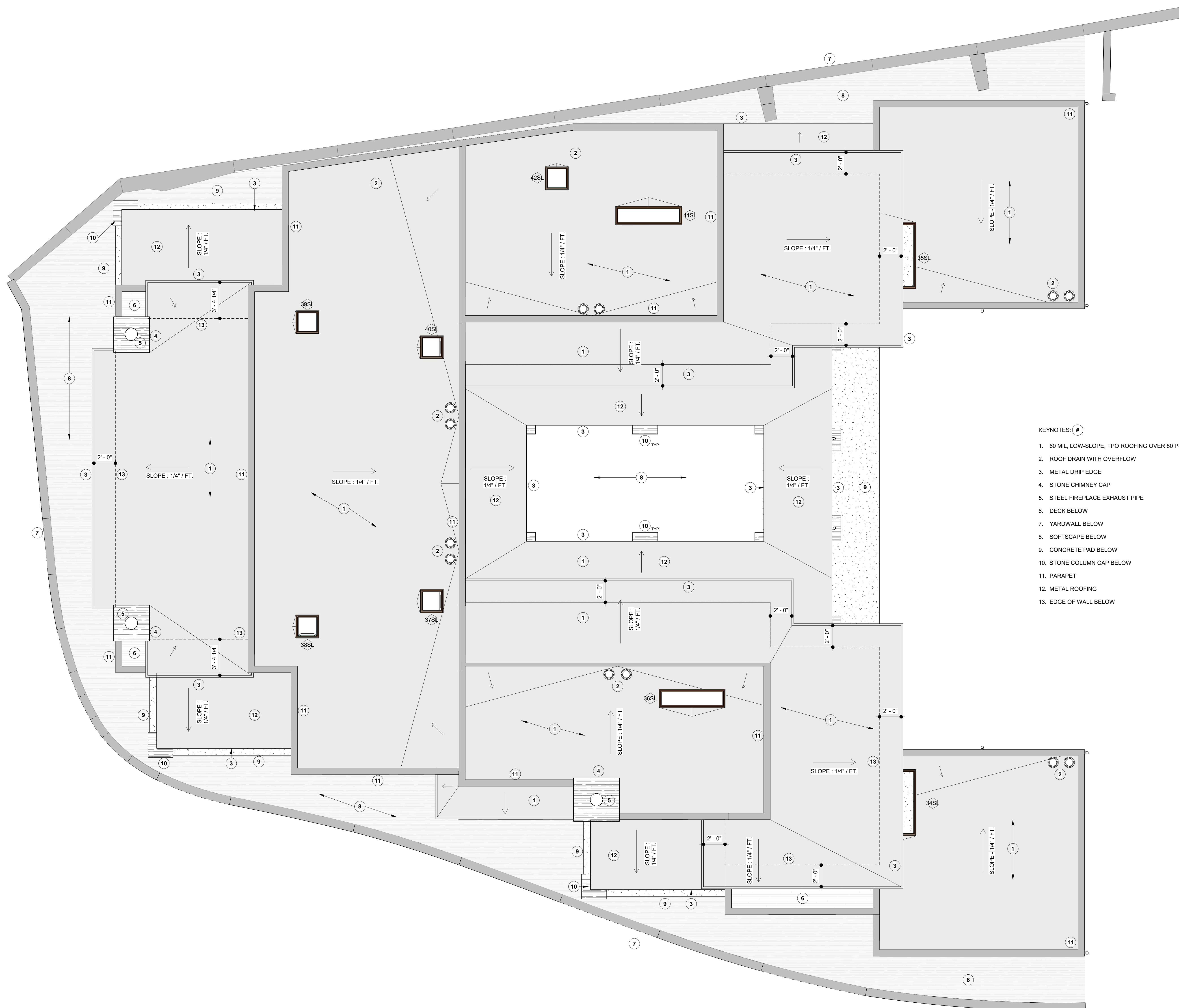
ARCHITECT'S SEAL	JURISDICTION: CITY OF SANTA FE PROJECT NAME: PASEO NORTH DRAWING TYPE: SITE DEVELOPMENT PLAN DRAWING DATE: 06/01/2024
BRADYN W. FURRY R.A. #6312	
SHEET 4 OF 4	



PERALTA'S WALK, LLC.
 507 Paseo de Peralta
 Santa Fe, NM
PASEO NORTH

SITE PLAN





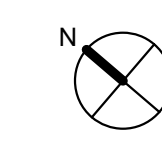
- KEYNOTES: #
1. 60 MIL, LOW-SLOPE, TPO ROOFING OVER 80 PSI RECOVERY BOARD
 2. ROOF DRAIN WITH OVERFLOW
 3. METAL DRIP EDGE
 4. STONE CHIMNEY CAP
 5. STEEL FIREPLACE EXHAUST PIPE
 6. DECK BELOW
 7. YARDWALL BELOW
 8. SOFTSCAPE BELOW
 9. CONCRETE PAD BELOW
 10. STONE COLUMN CAP BELOW
 11. PARAPET
 12. METAL ROOFING
 13. EDGE OF WALL BELOW



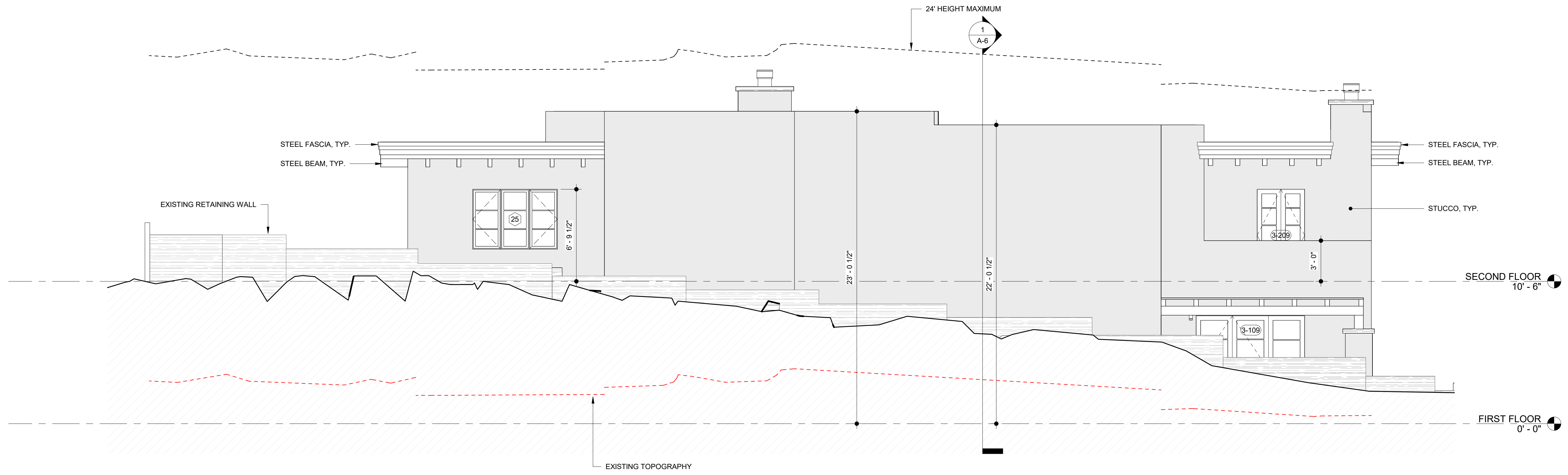
09/11/2024

PERALTA'S WALK, LLC.
507 Paseo de Peralta
Santa Fe, NM
PASEO NORTH

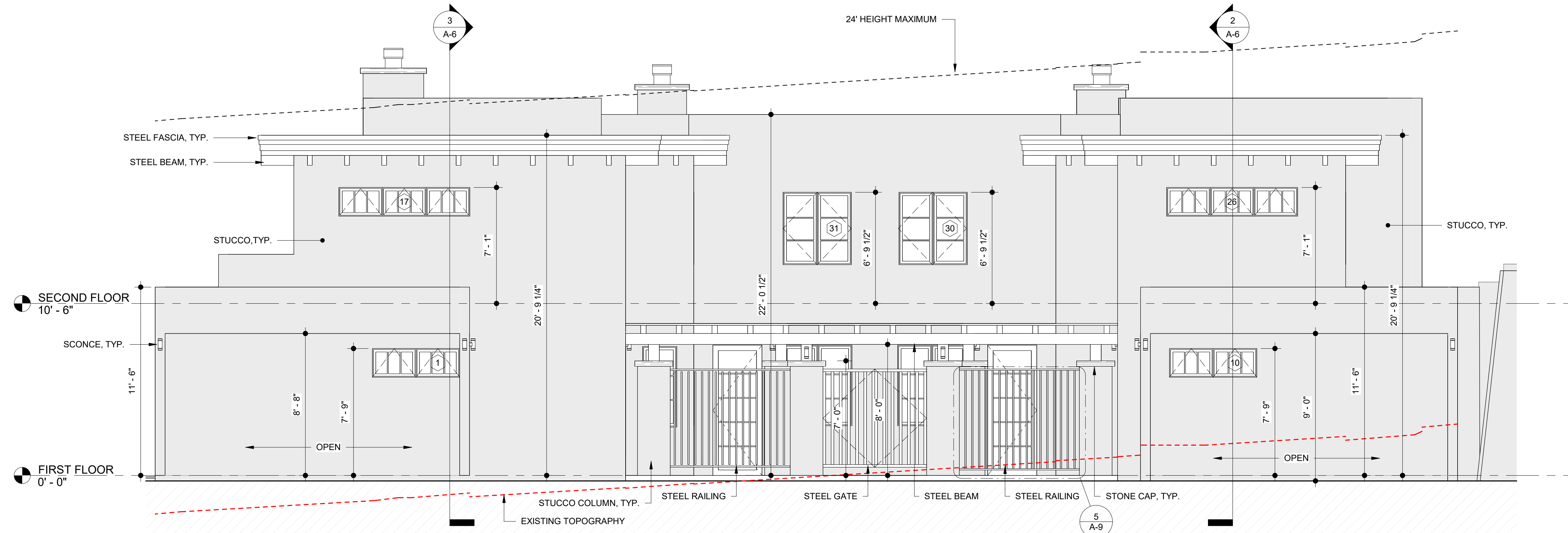
ROOF PLAN



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drawing scale: 1/4" = 1'-0"



1 NORTH
1/4" = 1'-0"



2 EAST
1/4" = 1'-0"



09/11/2024

PERALTA'S WALK,
LLC.

507 Paseo de Peralta
Santa Fe, NM

PASEO NORTH

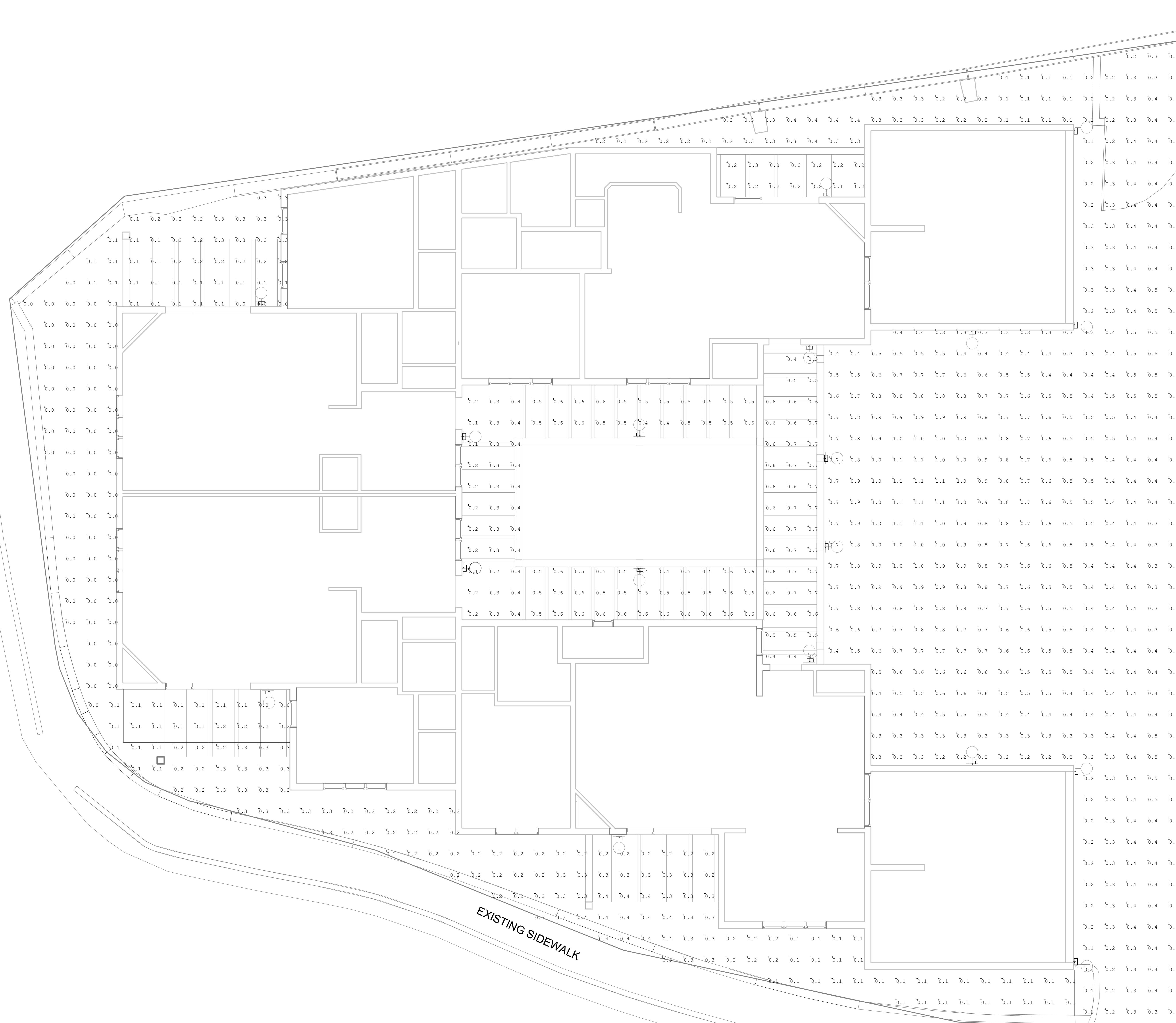
EXTERIOR
ELEVATIONS



ATLAS ENGINEERING

14 JOY LANE
SANTA FE, NM, 87508
505.795.1992

MAGDALENA RD.



PROPERTY LINE

PROPERTY LINE

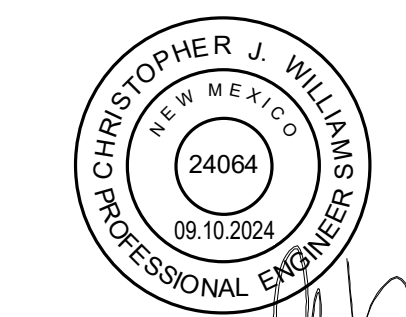
EXISTING SIDEWALK

PASEO DE PERALTA

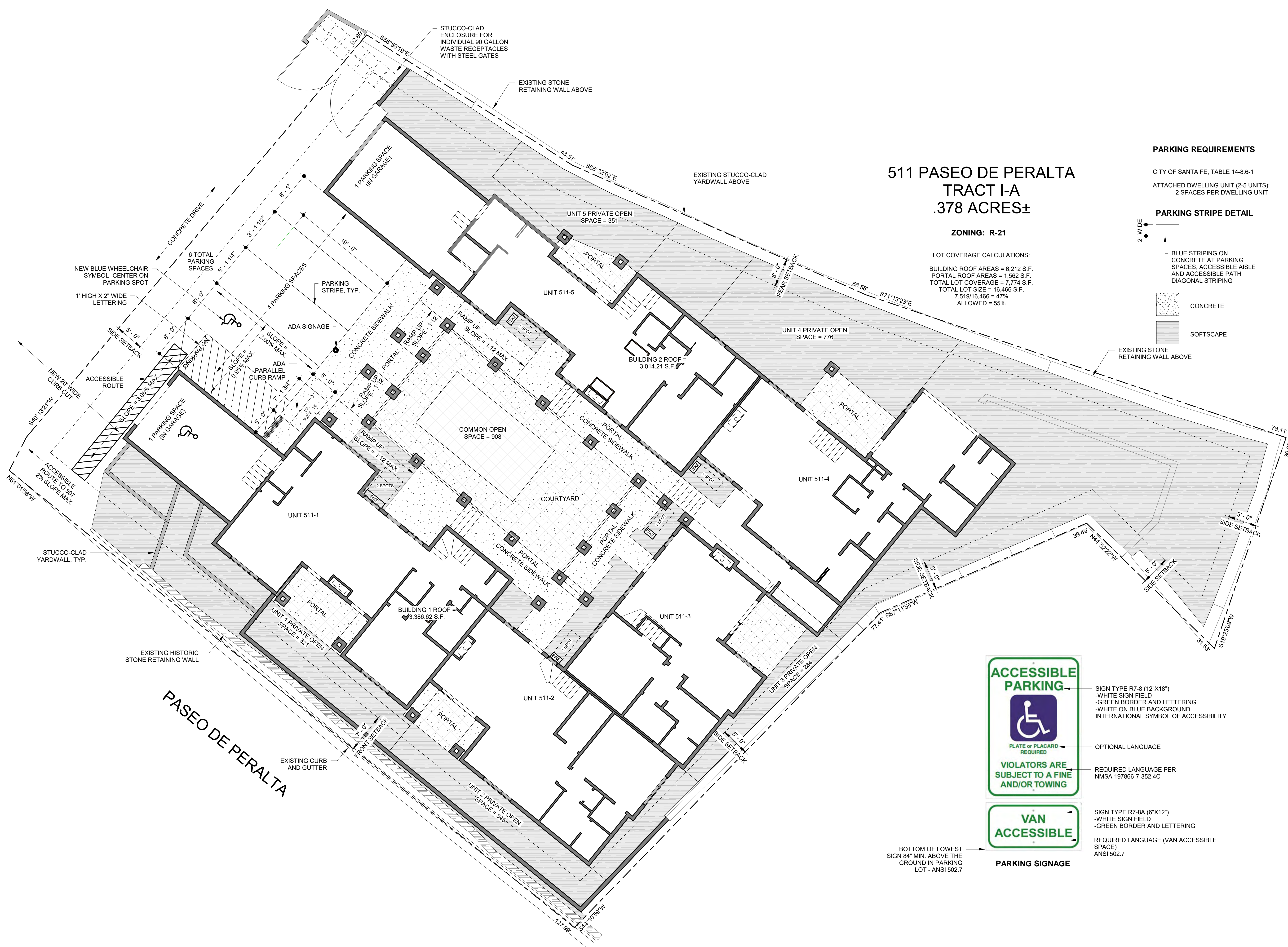
Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
[Symbol]	18	OLCS 8 WH	Single	OLCS 8 WH	1.000	522	8.93	160.74

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Max/Avg	
CalcPts_1	Illuminance	Fc	0.49	1.1	0.1	4.90	11.00	2.24	
CalcPts_2	Illuminance	Fc	0.21	0.4	0.0	N.A.	N.A.	1.90	
CalcPts_3	Illuminance	Fc	0.49	0.7	0.1	4.90	7.00	1.43	
CalcPts_4	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.	4.29	
CalcPts_5	Illuminance	Fc	0.21	0.3	0.1	2.10	3.00	1.43	

PERALTA'S WALK, LLC.
507 Paseo de Peralta
Santa Fe, NM
PASEO NORTH



ELECTRICAL PHOTOMETRIC PLAN



511 PASEO DE PERALTA TRACT I-A .378 ACRES±

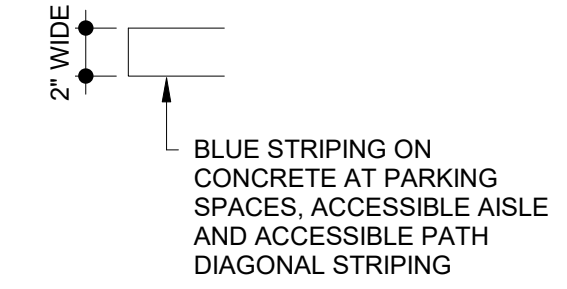
ZONING: R-21

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CITY OF SANTA FE, TABLE 14-8.6-1
 ATTACHED DWELLING UNIT (2-5 UNITS):
 2 SPACES PER DWELLING UNIT

PARKING STRIPE DETAIL



CONCRETE
 SOFTSCAPE



SIGN TYPE R7-8 (12"x18")
 -WHITE SIGN FIELD
 -GREEN BORDER AND LETTERING
 -WHITE ON BLUE BACKGROUND
 -INTERNATIONAL SYMBOL OF ACCESSIBILITY

OPTIONAL LANGUAGE
 REQUIRED LANGUAGE PER
 NMSA 197866-7-352.4C



SIGN TYPE R7-8A (6"x12")
 -WHITE SIGN FIELD
 -GREEN BORDER AND LETTERING
 REQUIRED LANGUAGE (VAN ACCESSIBLE SPACE)
 ANSI 502.7

PARKING SIGNAGE

BOTTOM OF LOWEST SIGN 84" MIN. ABOVE THE GROUND IN PARKING LOT - ANSI 502.7

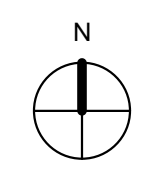


09/11/2024

PERALTA'S WALK, LLC.

511 Paseo de Peralta
 Santa Fe, NM
PASEO NORTH

SITE PLAN



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 drawing scale: 1/8" = 1'-0"

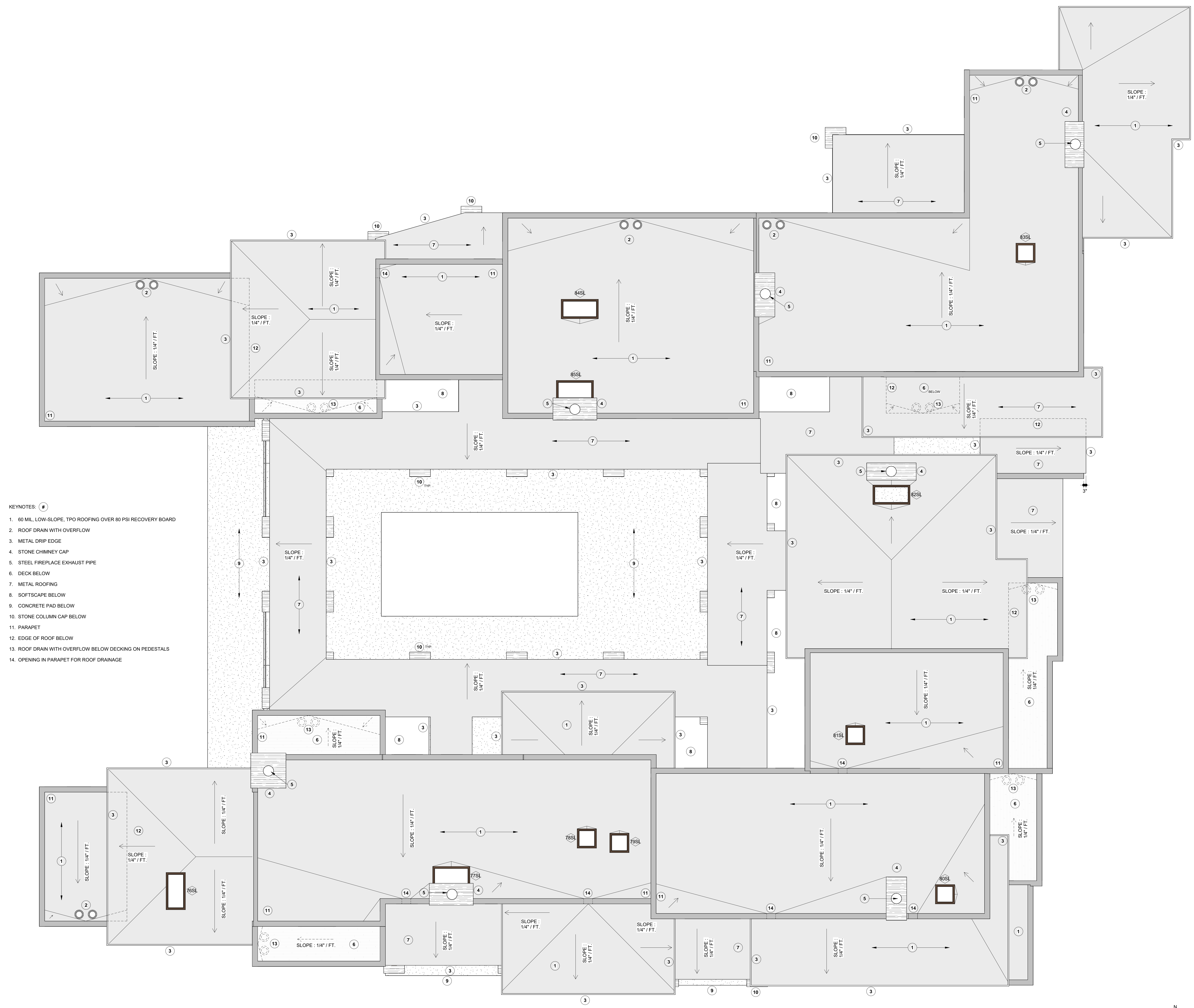


09/11/2024

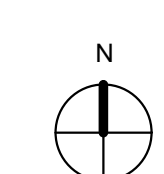
PERALTA'S WALK, LLC.

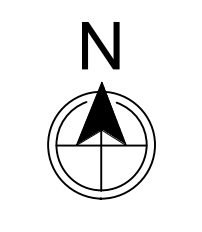
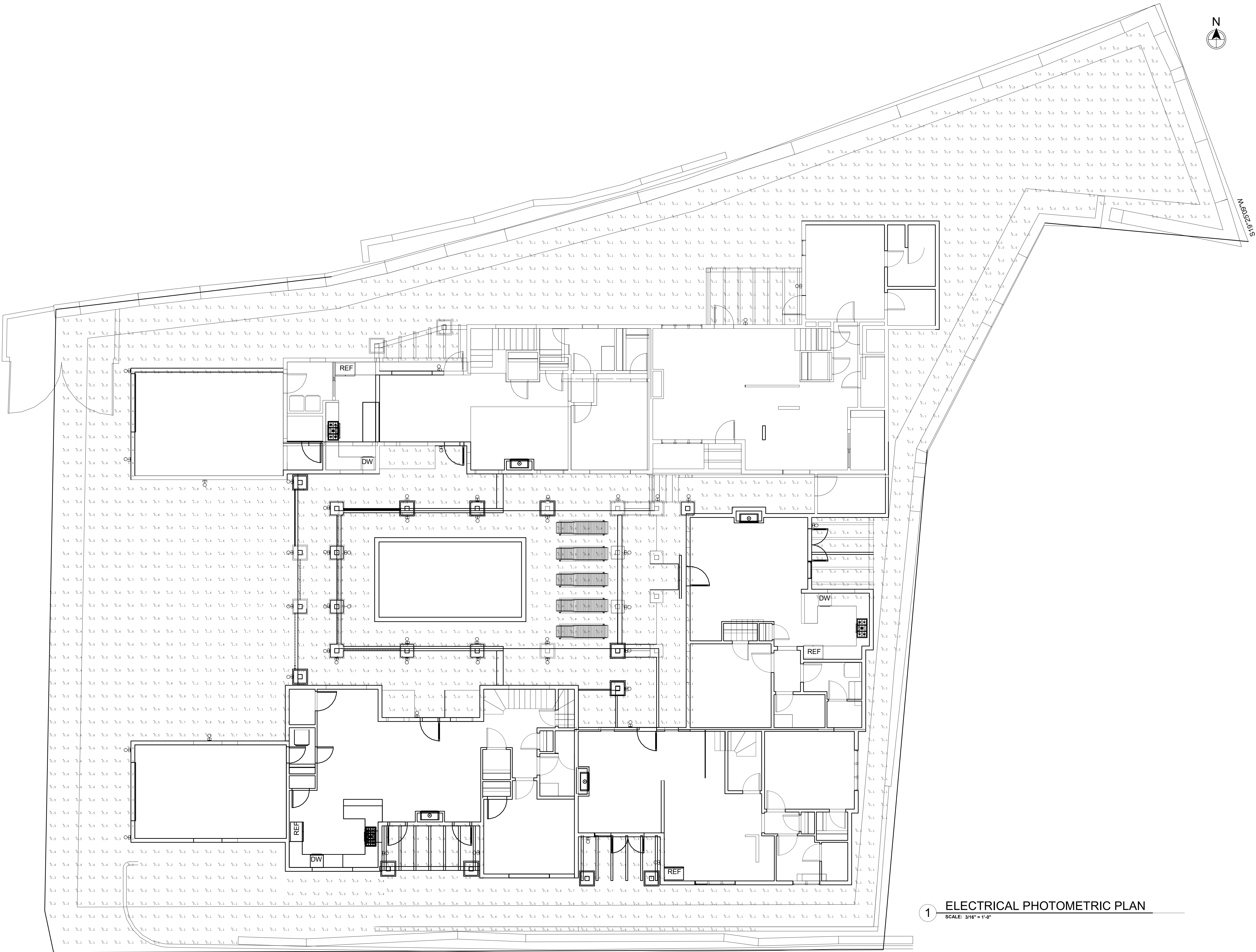
511 Paseo de Peralta
Santa Fe, NM
PASEO NORTH

ROOF PLAN



- KEYNOTES: (#)
1. 60 MIL. LOW-SLOPE, TPO ROOFING OVER 80 PSI RECOVERY BOARD
 2. ROOF DRAIN WITH OVERFLOW
 3. METAL DRIP EDGE
 4. STONE CHIMNEY CAP
 5. STEEL FIREPLACE EXHAUST PIPE
 6. DECK BELOW
 7. METAL ROOFING
 8. SOFTSCAPE BELOW
 9. CONCRETE PAD BELOW
 10. STONE COLUMN CAP BELOW
 11. PARAPET
 12. EDGE OF ROOF BELOW
 13. ROOF DRAIN WITH OVERFLOW BELOW DECKING ON PEDESTALS
 14. OPENING IN PARAPET FOR ROOF DRAINAGE





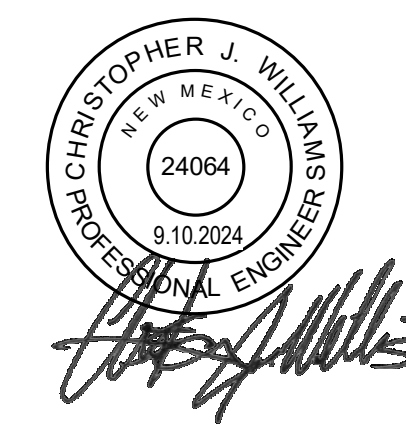
N. 63° 26' 30" S

1 ELECTRICAL PHOTOMETRIC PLAN
SCALE: 3/16" = 1'-0"



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14 JOY LANE
SANTE FE, NM. 87508
505.795.1992

PERALTA'S WALK, LLC.
511 Paseo de Peralta
Santa Fe, NM
PASEO NORTH



ELECTRICAL PHOTOMETRIC PLAN

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drawing scale: 3/16" = 1'-0"

E200

GENERAL NOTES:

- ALL IMPROVEMENTS, UNLESS OTHERWISE MODIFIED IN THE PROJECT SPECIFICATIONS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE COSE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OF THE CITY OF SANTA FE, NM, LATEST EDITION, EXCEPT WHERE OTHERWISE NOTED IN THE DRAWINGS.
- THE CONTRACTOR AGREES SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF PROJECT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, ENGINEER AND ALL APPLICABLE REGULATIONS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS OR TECHNIQUES OR FOR THE PROSECUTION OF THE WORK AS SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL DESIGNATE AT LEAST ONE EMERGENCY CONTACT PERSON, AND SHALL PROVIDE TELEPHONE NUMBERS WHERE THIS PERSON CAN BE CONTACTED AT ANY TIME, INCLUDING WEEKENDS, HOLIDAYS AND AFTER HOURS. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS FROM ALL JURISDICTIONAL AUTHORITIES PRIOR TO START OF CONSTRUCTION. PERMIT COSTS ARE INCIDENTAL TO BASE BID.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY, HEALTH, AND ENVIRONMENTAL PROTECTION.
- EXISTING SITE INFRASTRUCTURE WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING, IN ADVANCE OF CONSTRUCTION OPERATIONS, IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITY CONFLICTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- WHEN ABUTTING NEW PAVEMENT TO EXISTING INTERSECTING STREETS THE EXISTING PAVEMENT SHALL BE SAW CUT TO A STRAIGHT LINE AT RIGHT ANGLES AND ANY BROKEN OR CRACKED PAVEMENT SHALL BE REMOVED. SAW CUTTING SHALL BE INCIDENTAL TO PAVING, THEREFORE, NO DIRECT PAYMENT WILL BE MADE FOR THE SAW CUTTING.
- ANY PAVEMENT DISTURBED BY THE TRENCH SHALL BE REMOVED AND THE FULL SECTION OF PAVEMENT SHALL BE REPLACED. FOR THE PAVEMENT SECTION AND THAT AREA DISTURBED BY THE EXCAVATED TRENCH, THE FOLLOWING APPLIES UNLESS OTHERWISE NOTED ON PLANS: IF ONLY ONE LANE IS DISTURBED BY TRENCHING, THE REMAINDER OF THE ONE ENTIRE LANE SHALL BE MILLED AND RESURFACED. IN A FOUR-LANE STREET, IF MORE THAN ONE LANE BUT LESS THAN HALF THE STREET IS AFFECTED, THEN THE REMAINDER OF HALF THE STREET (TWO LANES MINIMUM) SHALL BE MILLED AND RESURFACED. IF MORE THAN ONE-HALF OF ANY STREET WIDTH IS AFFECTED, THEN ALL PAVING IN THE STREET FROM CURB TO CURB SHALL BE MILLED AND RESURFACED.
- DEWATERING DURING CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION.

GEOTECHNICAL INVESTIGATION:

- GEOTECHNICAL EXPLORATION, TESTING, AND ANALYSIS WILL ESTABLISH PARAMETERS REGARDING FOUNDATION AND EROSION CONTROL. CRITERIA WILL BE ESTABLISHED TO PERMIT THE MOST ECONOMIC DESIGN THAT IS COMPATIBLE WITH LIFE EXPECTANCY AND SERVICE OF STRUCTURES.
- DESIGN LOADS FOR ALL STRUCTURES WILL BE DETERMINED IN ACCORDANCE WITH THE CRITERIA DESCRIBED BELOW, UNLESS THE APPLICABLE BUILDING CODE REQUIREMENTS ARE MORE STRINGENT.
- VEHICLE LOADS: LOADS EXERTED ON ROADWAY PAVEMENTS, BURIED PIPING, BOX CULVERTS, AND EMBANKMENTS WILL BE REVIEWED AND SELECTED PRIOR TO DESIGN OF THE UNDERLYING ITEMS. TYPICALLY, HS20 LOADS WILL BE USED FOR THE DESIGN OF ROADWAY SUB GRADE. EQUIPMENT LOADING SUCH AS SCRAPERS (LOADED), CRAWLER CRANES, AND EQUIPMENT TRANSPORT TRAILERS COULD EXCEED THE TYPICAL HS20 LOADINGS. SUCH LOADS WILL BE CONSIDERED WHERE APPROPRIATE.
- SITE ARRANGEMENT: THE SITE ARRANGEMENT WILL CONFORM TO APPLICABLE LAWS, REGULATIONS, AND ENVIRONMENTAL STANDARDS. THE PRINCIPLE ELEMENTS IN THE SELECTION OF SITE ARRANGEMENT CRITERIA ARE THE PHYSICAL SPACE REQUIREMENTS AND RELATIONSHIPS DICTATED BY EACH OF THE MAJOR SYSTEMS. DISTANCES BETWEEN VARIOUS SYSTEMS WILL BE MINIMIZED FOR ECONOMY. UTILITY INTERCONNECTIONS WILL BE OPTIMIZED AS MUCH AS PRACTICAL. SPILL CONTAINMENT MEASURES WILL BE PROVIDED. TREATMENT SYSTEMS WILL BE PROVIDED FOR FACILITY WASTEWATER STREAMS, BEFORE DISCHARGE. SANITARY WASTEWATER WILL BE DISCHARGED TO AN ON-SITE LEACHING FIELD. INTERNAL ACCESS ROADS WILL BE PROVIDED. THE SITE ARRANGEMENT WILL BE DEVELOPED TO MINIMIZE FILL AND/OR EXCAVATION AND TO MAINTAIN THE EFFICIENCY OF PROJECT CONSTRUCTION, OPERATION, AND MAINTENANCE. THE SITE GRADING AND DRAINAGE PLAN WILL USE A SERIES OF ON-SITE LOCALIZED INFILTRATION AREAS, SHEET FLOW, WHICH FOLLOWS THE EXISTING NATURAL DRAINAGE COURSE, WHILE THE RUNOFF ACROSS THE SITE TO THE LOCALIZED INFILTRATION AREAS INCORPORATED INTO THE SITE GRADING AND DRAINAGE PLANS. THE USE OF LOW RUNOFF VELOCITIES AND INFILTRATION AREAS WILL ALLOW THE RUNOFF TO BE ROUTED THROUGH AN OIL-WATER SEPARATOR.

THE FOLLOWING CRITERIA WILL BE FOLLOWED REGARDING SITE INFRASTRUCTURE:

- CULVERTS AND SANITARY SEWER MANHOLES WILL BE INSTALLED AS REQUIRED.
 - LOCATIONS AND REQUIREMENTS FOR FENCING OR WALLS WILL CONFORM TO APPLICABLE BUILDING CODES AND COUNTY ORDINANCES.
- GRADING AND DRAINAGE: THE SITE GRADING AND DRAINAGE SYSTEM WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS. THE GENERAL SITE GRADING WILL ESTABLISH A WORKING SURFACE FOR CONSTRUCTION AND OPERATING AREAS, PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AND STRUCTURES, AND PROVIDE ADEQUATE SOIL COVERAGE FOR UNDERGROUND UTILITIES. ON-SITE DRAINAGE WILL BE ACCOMPLISHED THROUGH GRAVITY FLOW WHENEVER POSSIBLE. THE SURFACE DRAINAGE SYSTEM WILL CONSIST OF GENTLE SLOPES. THE BUILDINGS AND STRUCTURES WILL BE LOCATED WITH THE GROUND FLOOR ELEVATION AT A MINIMUM OF SIX INCHES ABOVE THE FINISHED GRADE. THE PREFERRED SLOPE OF THE GRADED AREAS AWAY FROM STRUCTURES WILL BE 1 PERCENT WITH A MINIMUM SLOPE OF 0.5 PERCENT. SITE DRAINAGE FACILITIES WILL BE DESIGNED FOR THE FLOW RESULTING FROM A 25-YEAR, 6-HOUR RAINFALL EVENT. TEMPORARY FACILITIES WILL GENERALLY BE DESIGNED FOR A 2-YEAR RAINFALL. ANY FACILITIES LOCATED WITHIN A FLOOD PLAIN WILL BE ELEVATED AND DESIGNED TO PREVENT FLOODING OF PERMANENT FACILITIES.

EXCAVATION AND FILL

- EXCAVATION AND FILL WILL BE BALANCED TO THE MAXIMUM EXTENT POSSIBLE.
- EXCAVATION: IN AREAS REQUIRING EXCAVATION, EARTH MATERIAL WILL BE REMOVED TO THE REQUIRED LINES AND GRADES. ANY UNDESIRABLE MATERIAL WILL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS. THE REMAINING IN-SITU MATERIAL WILL BE GRADED AND COMPACTED TO THE DEPTH AND DENSITY DETERMINED BY DETAILED DESIGN. EXCAVATED MATERIAL THAT MEETS THE DESIGN REQUIREMENTS WILL BE USED AS GENERAL SITE FILL WHERE POSSIBLE.
- FILL: COMPACTED FILL MATERIAL WILL BE OBTAINED FROM ON SITE EXCAVATIONS TO THE MAXIMUM EXTENT POSSIBLE. THE MATERIAL WILL BE PLACED AND COMPACTED TO THE GRADES AND DENSITY DETERMINED BY THE DESIGN. BASED UPON THE GEOTECHNICAL INVESTIGATION FINDINGS, COMPACTION WILL BE PROVIDED UNDER AND WITHIN FIVE FEET OF THE FOUNDATION FOOTPRINT. OPEN AREAS NOT SUPPORTING REFLECTOR FOUNDATIONS WILL BE SCARIFIED AND GRADED TO ACHIEVE HIGH SOIL PERMEABILITY. APPROXIMATELY SIX INCHES OF TOPSOIL WILL BE PLACED ON FILL IN ANY AREAS THAT ARE TO BE SEEDED OR OTHERWISE LANDSCAPED.

DRAINAGE SWALES

DRAINAGE SWALES WILL BE DESIGNED TO PROVIDE SLOW FLOW VELOCITIES AND TO ACCOMMODATE EXPECTED SITE RUNOFF AS WELL AS DIRECT AND CONTROL RUNOFF FROM ADJOINING PROPERTIES.

STORM WATER DRAINAGE

A STORM WATER DRAINAGE SYSTEM WILL BE DEVELOPED. DRAINAGE SWALES WILL BE USED ALONG THE PERIMETER TO CONTROL AND DIRECT STORM WATER RUNOFF FOR ABSORPTION INTO THE GROUND AS WELL AS DIRECT RUNOFF INTO THE EXISTING AREA DRAINAGE COURSE.

PRE- AND POST-DEVELOPMENT RUNOFF CONDITIONS

THE PEAK FLOW ASSOCIATED WITH THE 25-YEAR STORM EVENT AT THE SITE, BEFORE MODIFICATIONS (PRE-DEVELOPMENT), WILL BE COMPARED TO THE AFTER-CONSTRUCTION (POST-DEVELOPMENT) CONDITIONS.

EROSION AND SEDIMENTATION CONTROL

EROSION AND SEDIMENTATION CONTROL WILL BE PROVIDED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF WATER QUALITY STANDARDS. THE PROPOSED SITE DEVELOPMENT WILL SLIGHTLY ALTER THE LAND AREAS OF THE SITE. EXISTING, SPARSE VEGETATION WILL BE REMOVED AS REQUIRED DURING SITE PREPARATION. THE GENERAL PREPARATION OF THE OVERALL SITE WILL BE FOLLOWED BY EARTHMOVING ACTIVITIES. FINAL FINISH GRADING WILL BEGIN WHEN ALL OTHER GRADING OPERATIONS ARE COMPLETE. FINAL GRADING MAY INCLUDE SEEDING DISTURBED AREAS, SURFACED WITH CONCRETE, ASPHALT, OR CRUSHED AGGREGATE OR PROVIDED WITH A SOIL TREATMENT DESIGN TO LIMIT THE GROWTH OF GRASS AND WEEDS. TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES USED DURING CONSTRUCTION WILL BE DESIGNED TO PREVENT SEDIMENTS FROM BEING DISPLACED AND CARRIED OFF-SITE BY STORM WATER RUNOFF. PRIOR TO BEGINNING EXCAVATION ACTIVITIES, A SILT FENCE OR STRAW BALES WILL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT WORK AREAS WHERE RUNOFF TO OFF-SITE AREAS COULD OCCUR. THE SILT FENCE WILL FILTER SEDIMENTS FROM CONSTRUCTION RUNOFF. DURING CONSTRUCTION, THE EXTENT OF EARTH DISTURBANCES WILL BE MINIMIZED AS MUCH AS PRACTICAL. DIVERSION DITCHES AND/OR BERMS WILL BE CONSTRUCTED AS NECESSARY TO DIVERT RUNOFF FROM OFF-SITE AREAS AROUND THE CONSTRUCTION SITE. TEMPORARY CONTROL MEASURES WILL BE MAINTAINED AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD.

PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES WITHIN THE PROJECT SITE WILL INCLUDE THE RUNOFF COLLECTION SYSTEM AND INFILTRATION SYSTEM, SURFACED TRAFFIC AND WORK AREAS, AND SEEDED NON-WORKING AREAS. THESE MEASURES WILL MINIMIZE THE POSSIBILITY OF ANY APPRECIABLE EROSION OF THE RESULTING SEDIMENTATION OCCURRING ON THE PROJECT SITE.

TRAFFIC AND TRANSPORTATION

ACCESS WILL BE PROVIDED BY EXISTING ROADWAYS. ALL ROADS WILL BE APPROPRIATELY SURFACED DURING THE CONSTRUCTION PERIOD. PERIODIC WATERING OR APPLICATIONS OF A DUST PALLIATIVE MATERIAL WILL BE USED TO MINIMIZE DUST PROBLEMS. THE MINIMUM RADIUS TO THE INSIDE EDGE OF PAVEMENT (EOP) OR AGGREGATE SURFACE AT INTERSECTIONS OF THE ROAD WILL BE 20 FEET.

FENCING AND SECURITY

SECURITY AND VISUAL SCREENING FENCING WILL BE PROVIDED AROUND THE PROJECT SITE. ACCESS TO THE PROJECT SITE WILL BE PROVIDED THROUGH A CONTROLLED ACCESS GATE. FENCING HEIGHTS WILL BE IN ACCORDANCE WITH APPLICABLE CODES, REGULATORY REQUIREMENTS AND VISUAL CONSIDERATIONS.

EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN:

- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED BY THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR PLAN. INSTALLING SILT FENCES AT THE PROPERTY LINES.
- THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT WASHES BY INSTALLING CHECK DAMS IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW.
- THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR ANY IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING. WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 14 DAYS, STABILIZATION MEASURES MUST BE INITIATED, UNLESS INDICATED OTHERWISE ON THESE PLANS OR ON THE LANDSCAPING PLAN. SEEDING SHALL BE NATIVE GRASS SEEDING PER SECTION 1012 OF THE COA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING, EXCESS OIL MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HULL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-827-9329.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
- WHERE STORM INLETS ARE SUSCEPTIBLE TO IN FLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE INSTALLED ON THEIR UPSTREAM SIDE.

UTILITIES-GENERAL NOTE:

- IF ANY UTILITY LINES, PIPELINES OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY SURVEY PROVIDED BY CSTI, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS. LINE SIZES OR MATERIAL TYPE MAKES NO REPRESENTATION THERE TO, AND ASSUMES NO RESPONSIBILITY EITHER OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF ANY DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL NOTIFY NEW MEXICO ONE CALL, INC. AT 260-1990 AT LEAST TWO WORKING DAYS PRIOR TO STARTING WORK ON THIS PROJECT.

CLEARING AND GRUBBING:

- SCOPE: THIS SECTION GOVERNS THE FURNISHING OF ALL LABOR, EQUIPMENT, TOOLS AND MATERIALS AND THE PERFORMANCE OF ALL CLEARING, GRUBBING, AND DEMOLITION WITHIN THE LIMITS OF WORK AS DEFINED IN THIS SPECIFICATION, IN THE SPECIAL PROVISIONS OR AS SHOWN ON THE PLANS.
- CLEARING: CLEARING SHALL CONSIST OF REMOVING ALL VEGETABLE MATTER SUCH AS TREES, BRUSH, DOWN TIMBER AND OTHER OBJECTIONABLE MATERIALS FOUND ON OR ABOVE THE SURFACE OF THE SITE. IT SHALL INCLUDE REMOVING BUILDINGS, FENCES, LUMBER, WASTE DUMPS AND TRASH AND THE SALVAGING OF SUCH MATERIALS AS MAY BE SPECIFIED AND DISPOSING OF THE DEBRIS. THE CONTRACTOR SHALL SCALP ALL EXCAVATION AND EMBANKMENT AREAS. SCALPING SHALL INCLUDE THE REMOVAL OF MATERIAL SUCH AS SOIL, GRASS, RESIDUE OR AGRICULTURAL CROPS AND DECAYED VEGETABLE MATTER FROM THE SURFACE OF THE GROUND WITHOUT REMOVING MORE EARTH THAN IS NECESSARY.
- GRUBBING: GRUBBING SHALL CONSIST OF REMOVING AND DISPOSING OF ALL VEGETABLE MATTER SUCH AS STUMPS, ROOTS, BURIED TREES AND BRUSH ENCOUNTERED BELOW THE SURFACE OF THE GROUND OR SUBGRADE, WHICHEVER IS LOWER, WHICH HAVE NOT BEEN INCLUDED IN SECTION 2101.2A ENTITLED "CLEARING". IN ALL CASES OF GRUBBING, THE VEGETABLE MATTER SHALL BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES (30.48CM) BELOW GROUND LINE OR SUBGRADE, WHICHEVER IS LOWER, EXCEPT AS PROVIDED IN SECTION 311000. WHEN DELETERIOUS MATERIALS ARE ENCOUNTERED BELOW GROUND LINE WHICH MAY BE DETRIMENTAL TO THE PROPOSED IMPROVEMENT, THESE SHALL BE REMOVED TO A DEPTH NECESSARY TO PROVIDE ADEQUATE SUPPORT FOR THE PROPOSED IMPROVEMENT.
- DEMOLITION AND REMOVAL: THIS WORK SHALL CONSIST OF DEMOLISHING, REMOVING, AND DISPOSING OF ALL STRUCTURES AND IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS UNLESS INCLUDED IN OTHER ITEMS OF WORK AS SHOWN ON THE PLANS OR IN THE SPECIAL PROVISIONS. THIS WORK SHALL APPLY TO ALL STRUCTURES AND IMPROVEMENTS, WHETHER ON, ABOVE OR BELOW THE SURFACE OF THE GROUND OR SUBGRADE. DEMOLITION AND REMOVAL SHALL INCLUDE BUT NOT BE LIMITED TO ITEMS SUCH AS BUILDINGS, DRAINAGE STRUCTURES, PIPES, PAVEMENTS, FENCES, RETAINING WALLS, GUARD RAILS, AND SIGNS. ITEMS SUCH AS FENCES AND GUARD RAILS SHALL BE SALVAGED AND RELINQUISHED TO THE APPROPRIATE OWNER OR RELOCATED, WHERE INDICATED ON THE PLANS. RELOCATION OF SIGNS, FENCES, GUARD RAILS, ETC. SHALL BE CONSIDERED INCIDENTAL TO REMOVAL WORK EXCEPT WHERE SUCH RELOCATION IS LISTED SEPARATELY IN THE ITEMIZED PROPOSAL OF THE SPECIAL PROVISIONS. ALL PIPES WHICH ARE TO BE ABANDONED SHALL BE REMOVED UNLESS OTHERWISE SHOWN ON THE PLANS OR APPROVED BY THE ENGINEER.
- TREES: VEGETABLE GROWTH 6 INCHES (15.24CM) IN DIAMETER AND LARGER, MEASURED 3 FEET (91.44CM) ABOVE GROUND SHALL BE CLASSIFIED AS A TREE. E. BRUSH: VEGETABLE GROWTH LESS THAN 6 INCHES (15.24CM) IN DIAMETER, MEASURED 3 FEET (91.44CM) ABOVE GROUND SHALL BE CLASSIFIED AS BRUSH.

CONSTRUCTION DETAILS

- LIMITS OF WORK: THE LIMITS FOR CLEARING, GRUBBING, AND DEMOLITION SHALL EXTEND TO THE CONSTRUCTION LIMITS UNLESS OTHERWISE SHOWN ON THE PLANS.
 - PROTECTION OF GREENERY: EXISTING STRUCTURES AND PRIVATE FACILITIES, THE PLANS WILL DESIGNATE TREES, SHRUBS OR OTHER PLANTS THAT ARE TO BE SAVED AND THE CONTRACTOR WILL TAKE NECESSARY STEPS TO PROTECT THIS GREENERY. TREES MAY BE PRUNED, BUT ONLY IN ACCORDANCE WITH THE BEST PRACTICES OF ARBORICULTURE IN RESPECT TO THE INDIVIDUAL SPECIES WITH DUE REGARD TO THEIR NATURAL FORM AND GROWTH CHARACTERISTICS. EXISTING STRUCTURES WITHIN OR ADJACENT TO THE CONSTRUCTION LIMITS THAT ARE NOT TO BE REMOVED OR DEMOLISHED, SHALL BE PROTECTED BY THE CONTRACTOR DURING HIS OPERATIONS. ANY PRIVATE FACILITIES SUCH AS HOUSE SEWER LATERALS WHICH ARE DISTURBED OR DAMAGED BY THE CONTRACTOR'S WORK, SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO THE CLOSE OF THE WORK DAY. THIS REPAIR SHALL BE MADE IN A MANNER SUFFICIENT TO RESTORE UTILITY SERVICE TO THAT PROPERTY.
 - EMBANKMENT AREAS: WHEN UNDISTURBED STUMPS AND ROOTS ARE ENCOUNTERED WHERE THE FILL DEPTH WILL EXCEED 3 FEET (91.44CM), THE STUMPS AND ROOTS MAY BE LEFT IN PLACE PROVIDED THEY DO NOT EXTEND MORE THAN 3 INCHES (7.62CM) ABOVE THE ORIGINAL GROUND LINE.
 - BORROW AREAS: ALL STUMPS, ROOTS AND OTHER OBJECTIONABLE MATTER SHALL BE REMOVED FROM THE BORROW MATERIAL USED FOR EMBANKMENT OR FILL. THE BORROW AREA SHALL BE LEFT IN A WELL DRAINED AND SMOOTH CONDITION.
 - BACKFILLING THE SITE: ALL TRENCHES, HOLES, PITS, AND BASEMENT AREAS RESULTING FROM THE OPERATIONS OF CLEARING, GRUBBING, DEMOLITION AND REMOVAL ON THE SITE, SHALL BE BACKFILLED WITH SUITABLE MATERIAL PLACED AND COMPACTED IN CONFORMANCE WITH SECTION 311000.
 - DISPOSAL OF MATERIALS: ALL MATERIALS WITH THE EXCEPTION OF THOSE WHICH ARE DESIGNATED FOR SALVAGE OR WHICH ARE USED IN THE EMBANKMENT IN CONFORMANCE WITH THIS SPECIFICATION, SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE DISPOSED OF BY HIM, OUTSIDE THE PROJECT LIMITS.
- GRADING:**
- THIS SECTION GOVERNS THE PERFORMANCE OF ALL WORK REQUIRED TO EXCAVATE, REMOVE, DISPOSE OR COMPACT ALL MATERIALS ENCOUNTERED WITHIN THE LIMITS OF THE PROJECT, AT THE LOCATIONS SHOWN ON THE PLANS, IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE SECTIONS OF THE GENERAL PROVISIONS AND COVENANTS, AND AS PROVIDED FOR IN THE SPECIAL PROVISIONS.
 - DEFINITIONS:
 - GRADING: GRADING AS USED HEREIN SHALL MEAN THE PERFORMANCE OF ALL EXCAVATION, EMBANKMENT, AND BACKFILL IN CONNECTION WITH THE CONSTRUCTION OF ALL IMPROVEMENTS
 - EXCAVATION: EXCAVATION IS DEFINED AS THE REMOVAL OF MATERIALS FROM THE CONSTRUCTION AREA TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - UNCLASSIFIED EXCAVATION: UNCLASSIFIED EXCAVATION IS DEFINED AS THE REMOVAL OF ALL MATERIAL ENCOUNTERED REGARDLESS OF ITS NATURE. ALL MATERIAL EXCAVATED WILL BE CONSIDERED AS UNCLASSIFIED EXCAVATION UNLESS THE SPECIAL PROVISIONS SPECIFY CLASSIFIED MATERIALS.
 - ROCK EXCAVATION: ROCK EXCAVATION IS DEFINED AS THE REMOVAL OF ALL ROCK LEDGES 8 INCHES (15.24CM) OR MORE IN THICKNESS, AND DETACHED ROCK OR BouldERS HAVING A VOLUME OF MORE THAN 1 1/2 CUBIC YARDS (1.15 CUBIC METERS) AND SHALE OCCURRING IN ITS NATURAL STATE, HARD AND UN-WEATHERED. A ROCK LEDGE IS DEFINED AS A CONTINUOUS BODY OF ROCK WHICH MAY INCLUDE THIN INTERBEDDED SEAMS OF SHALE OR OTHER SOFT MATERIALS LESS THAN 12 INCHES (30.48CM) THICK. THE THICKNESS OF EACH LAYER SHALL BE DEFINED BY INTERBEDDED SEAMS OF SOFT MATERIALS 12 INCHES OR MORE IN THICKNESS. THE SEAMS OF SOFT INTERBEDDED MATERIAL 12 INCHES (30.48CM) OR MORE IN THICKNESS SHALL NOT BE INCLUDED IN THE MEASUREMENT FOR "ROCK EXCAVATION" BUT SHALL BE INCLUDED IN THE MEASUREMENT FOR "EARTH EXCAVATION".
 - EARTH EXCAVATION: EARTH EXCAVATION IS DEFINED AS THE REMOVAL OF ALL MATERIAL NOT DEFINED AS ROCK.
 - EMBANKMENT OR BACKFILL: EMBANKMENT OR BACKFILL IS DEFINED AS THE PLACING AND COMPACTING OF MATERIAL IN THE CONSTRUCTION AREA TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - UNSUITABLE MATERIAL: UNSUITABLE MATERIAL IS DEFINED AS MUCK, FROZEN MATERIAL, ORGANIC MATERIAL, TOP SOIL, RUBBISH, AND ROCK WITH A MAXIMUM DIMENSION GREATER THAN 24 INCHES (60.96CM).
 - SUITABLE MATERIAL: SUITABLE MATERIAL IS DEFINED AS ENTIRELY IMPERISHABLE WITH THAT PORTION PASSING THE NO. 40 (425MM) SIEVE HAVING A LIQUID LIMIT NOT EXCEEDING 40 AND A PLASTIC INDEX NOT EXCEEDING 26, WHEN TESTED IN ACCORDANCE WITH ASTM D-4242 AND D-4241, RESPECTIVELY.
 - ROCK EMBANKMENT: MATERIAL FOR ROCK EMBANKMENT SHALL BE FREE OF UNSUITABLE MATERIAL AND SHALL CONTAIN, BY VOLUME, GREATER THAN 10 PERCENT ROCK OR GRAVEL HAVING A MAXIMUM DIMENSION GREATER THAN 3 INCHES (7.62CM) BUT NOT GREATER THAN 24 INCHES (60.96CM).
 - EARTH EMBANKMENT: MATERIAL FOR EARTH EMBANKMENT SHALL BE FREE OF UNSUITABLE MATERIAL AND SHALL CONTAIN BY VOLUME, LESS THAN 10 PERCENT ROCK OR GRAVEL HAVING A MAXIMUM DIMENSION GREATER THAN 3 INCHES (7.62CM).
 - BORROW: BORROW IS DEFINED AS APPROVED MATERIAL EXCAVATED FROM AN AREA OUTSIDE OF THE PROJECT LIMITS AND REQUIRED FOR THE CONSTRUCTION OF THE EMBANKMENT.
 - WASTE: WASTE IS DEFINED AS EXCAVATION MATERIAL NOT USED IN THE EMBANKMENT AND DISPOSED OF OUTSIDE OF THE EMBANKMENT AREAS.
 - STRUCTURES: STRUCTURES AS USED HEREIN REFERS TO BRIDGES, CULVERTS, STORM SEWER AND/OR SANITARY APPURTENANCES, RETAINING WALLS AND SIMILAR CONSTRUCTION.
 - CONSTRUCTION DETAILS
 - THE CONTRACTOR SHALL ADHERE TO ANY AND ALL STATUTES REGARDING THE NOTIFICATION OF UTILITIES PRIOR TO BEGINNING ANY WORK WITHIN PUBLIC RIGHT-OF-WAY. RELOCATION OR PROTECTION OF ANY EXISTING UTILITIES LOCATED IN STREET RIGHT-OF-WAY SHALL BE GOVERNED BY SECTION 015000 AND 017300 OF THE GENERAL PROVISIONS. THE RELOCATION AND/OR PROTECTION OF ANY UTILITY THAT IS SHOWN ON THE PLANS, THAT LIES WITHIN A UTILITY EASEMENT AND IS ENDANGERED BY THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO PROTECT PRIVATE FACILITIES. THESE FACILITIES MAY NOT BE SHOWN ON THE PLANS, WHEN THESE FACILITIES ARE DISTURBED OR DAMAGED BY THE WORK, THE CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS FOR REPAIRS TO THE FACILITIES FOR CONTINUOUS SERVICE PRIOR TO THE CLOSE OF THAT WORK DAY.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PROPERTY LOT CORNERS AND CONTROL MONUMENTATION. SHOULD IT BE NECESSARY TO DISTURB ANY SUCH MONUMENT, WHETHER STAKE, PIN, BAR, DISK, BOX, OR OTHER, IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO REFERENCE SUCH MARKERS PRIOR TO REMOVAL, RESET THEM, AND FILE SUCH RELOCATIONS OR MONUMENTATION DOCUMENTS AS THE LAW MAY REQUIRE. ANY SUCH REFERENCES, REMOVAL, REPLACEMENT AND CERTIFICATION OF MONUMENTS SHALL BE PERFORMED BY A REGISTERED LICENSED SURVEYOR. A COPY OF ALL SUCH CERTIFICATION DOCUMENTS SHALL BE PROVIDED TO THE ENGINEER PRIOR TO FINAL PAYMENT. ANY MONUMENT DESTROYED OR IMPROPERLY RESET BY THE CONTRACTOR MAY BE REPLACED BY THE ENGINEER TO THE STANDARDS REQUIRED BY LAW AT THE EXPENSE OF THE CONTRACTOR.
 - GRADING, EXCAVATION, AND BACKFILLING FOR ALL IMPROVEMENTS, SHALL BE MADE TO THE LINES, GRADES, AND CROSS SECTIONS INDICATED BY THE PLANS.
 - FINISHING
 - IN AREAS WHERE SODDING OR SEEDING IS PROPOSED, THE UPPER 12 INCHES (30.48CM) OF THE SURFACE AREA SHALL BE EARTH MATERIAL. THE TOP 6 INCHES (15.24CM) SHALL BE SUITABLE FOR SUSTAINING GRASS.

- IN ADDITION, TO ANY EROSION CONTROL MEASURES SHOWN ON THE PLANS, THE CONTRACTOR SHALL SCHEDULE AND CONDUCT HIS OPERATION IN SUCH A MANNER AND SHALL PROVIDE ANY NECESSARY CONTROL FACILITIES TO PROTECT DOWNSTREAM AND ADJACENT PROPERTIES FROM POLLUTION, SEDIMENTATION, OR EROSION CAUSED BY THE GRADING OPERATIONS. ANY POLLUTION OR DAMAGE OCCURRING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DURING CONSTRUCTION, THE GRADED AREA SHALL BE MAINTAINED BY THE CONTRACTOR IN SUCH CONDITION THAT IT WILL BE WELL DRAINED AT ALL TIMES. ROADWAY DITCHES, CHANNEL CHANNELS, INLET AND OUTLET DITCHES AND OTHER DITCHES IN CONNECTION WITH THE ROADWAY SHALL BE CUT AND MAINTAINED TO THE REQUIRED CROSS SECTION. ALL DRAINAGE WORK SHALL BE PERFORMED IN PROPER SEQUENCE WITH OTHER OPERATIONS. ALL DITCHES AND CHANNELS SHALL BE KEPT FREE OF DEBRIS OR OBSTRUCTIONS.
- EXCAVATION
 - THIS SECTION GOVERNS THE EXCAVATION FOR ALL IMPROVEMENTS.
 - ALL SUITABLE MATERIAL REMOVED BY EXCAVATION SHALL BE USED AS FAR AS PRACTICABLE IN THE FORMATION OF EMBANKMENT AS REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL SORT ALL EXCAVATED MATERIAL AND STOCKPILE WHEN NECESSARY, SO AS TO PROVIDE SUITABLE MATERIALS FOR EMBANKMENTS.

4.3. AFTER REMOVAL OF THE ROADWAY EXCAVATION MATERIAL TO THE REQUIRED SECTION, ALL MATERIAL BETWEEN LINES 1 FOOT (30.48CM) OUTSIDE OF THE CURBS AND WITHIN THE TOP 6 INCHES (15.24CM) OF THE SUBGRADE SHALL BE COMPACTED TO 95 PERCENT OF OPTIMUM DENSITY. FOR THE MATERIAL AS DEFINED IN SECTION 2102.2C, A ROCK ENCOUNTERED WITHIN THE FULL WIDTH OF THE ROADWAY, TOE OF SLOPE TO TOE OF SLOPE, SHALL BE UNDERGRADED TO AN ELEVATION OF 8 INCHES (15.24CM) BELOW THE FINISHED SUBGRADE ELEVATION. CARE SHALL BE TAKEN TO AVOID OVERTHOUGHING WHEN BLASTING. ROCK SHALL BE REMOVED IN SUCH A MANNER AS TO LEAVE NO EXCESSIVE WATER POCKETS IN THE SURFACE.

SIEVE SIZE	PERCENT PASSING SIEVES	3/4 INCH MAXIMUM
2" INCH	100	100
1 1/2 INCH	90-100	100
1 INCH	----	----
3/4 INCH	50-85	90-100
No. 4	25-45	35-55
No. 30	10-25	10-30
No. 200	2-9	3-9

- WHERE MATERIALS ARE ENCOUNTERED WHICH ARE DEEMED AS UNSUITABLE BY THE ENGINEER FOR USE IN THE WORK, THEY SHALL BE REMOVED TO THE DEPTH AND LIMIT AS SPECIFIED ON THE PLANS. THE UNDERGRADED SHALL BE BACKFILLED WITH ONE OF THE FOLLOWING MATERIALS:
- ROCK FRAGMENTS OR SPALLS.
- A GRANULAR TYPE MATERIAL HAVING A PLASTICITY INDEX NOT TO EXCEED 10 AND A GRADATION SUCH THAT AT LEAST 50 PERCENT OF THE MATERIAL WILL BE RETAINED ON THE NO. 20 (0.85MM) SIEVE. D. A MATERIAL MEETING THE REQUIREMENTS OF SECTION 2102.2C.
- EMBANKMENT
 - THIS SECTION GOVERNS EMBANKMENT FOR ALL IMPROVEMENTS. THE EMBANKMENTS SHALL BE CONSTRUCTED USING SUITABLE MATERIALS. AS SOON AS FEASIBLE, THE EMBANKMENT SHALL BE REMOVED AND THE CLEARER GROUND SURFACE SHALL BE COMPACTED TO THE SPECIFIED DENSITY. WHERE EMBANKMENTS GREATER THAN 2 FEET (60.96CM) IN DEPTH ARE TO BE PLACED ON AREAS COVERED BY EXISTING PAVEMENT, THE EXISTING PAVEMENT SURFACE SHALL BE BROKEN INTO PIECES NO LARGER THAN 24 INCHES (60.96CM) MAXIMUM DIMENSION, LEFT IN PLACE AND THE EMBANKMENT STARRER THEREON.

- STARTING THE EMBANKMENT: WHERE EMBANKMENTS, REGARDLESS OF HEIGHT, ARE PLACED AGAINST HILLSIDES OR EXISTING EMBANKMENTS, EITHER OF WHICH HAVE A SLOPE STEEPER THAT 1 VERTICAL TO 4 HORIZONTAL, THE EXISTING SLOPE SHALL BE BENCHED OR STEPPED IN APPROXIMATELY 24 INCH (60.96CM) RISES AS THE NEW FILL IS BROUGHT UP IN 12 INCH MAXIMUM (30.48CM) LAYERS OR LIFTS. THE MATERIAL BLADED OUT, THE BOTTOM OF THE AREA CUT INTO, AND THE EMBANKMENT MATERIAL BEING PLACED, SHALL BE COMPACTED TO THE REQUIRED DENSITY. MATERIAL CUT OUT, BLADED OUT, PLACED AND COMPACTED SHALL NOT BE MEASURED AND PAID FOR DIRECTLY BUT WILL BE CONSIDERED AS INCIDENTAL WORK. THE EXISTING SURFACE UPON WHICH EMBANKMENT IS PLACED SHALL BE FREE OF ALL UNDESIRABLE, UNSTABLE AND UNSUITABLE MATERIAL. REMOVED BEFORE STARTING THE EMBANKMENT WORK. WHERE EMBANKMENTS 2 FEET (60.96CM) OR LESS IN DEPTH ARE TO BE PLACED ON AREAS COVERED BY EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE REMOVED AND THE CLEARER GROUND SURFACE SHALL BE COMPACTED TO THE SPECIFIED DENSITY. WHERE EMBANKMENTS GREATER THAN 2 FEET (60.96CM) IN DEPTH ARE TO BE PLACED ON AREAS COVERED BY EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE BROKEN INTO PIECES NO LARGER THAN 24 INCHES (60.96CM) MAXIMUM DIMENSION, LEFT IN PLACE AND THE EMBANKMENT STARRER THEREON.
- PLACING EARTH EMBANKMENT: EARTH SHALL BE PLACED IN SUCCESSIVE HORIZONTAL LAYERS DISTRIBUTED UNIFORMLY OVER THE FULL WIDTH OF THE EMBANKMENT AREA. EACH LAYER OF MATERIAL SHALL NOT EXCEED 12 INCHES MAXIMUM (30.48CM) IN THICKNESS (LOOSE STATE) AND SHALL BE COMPACTED TO NOT LESS THAN THE REQUIRED DENSITY BEFORE THE NEXT LAYER IS PLACED THEREON. AS THE COMPACTION OF EACH LAYER PROGRESSES, CONTINUOUS BLADING, OR DOZING WILL BE REQUIRED TO LEVEL THE SURFACE AND TO INSURE UNIFORM COMPACTION. EMBANKMENT CONSTRUCTION SHALL NOT BE PERFORMED WHEN MATERIAL CONTAINS FROST, IS FROZEN OR IS SNOW COVERED.

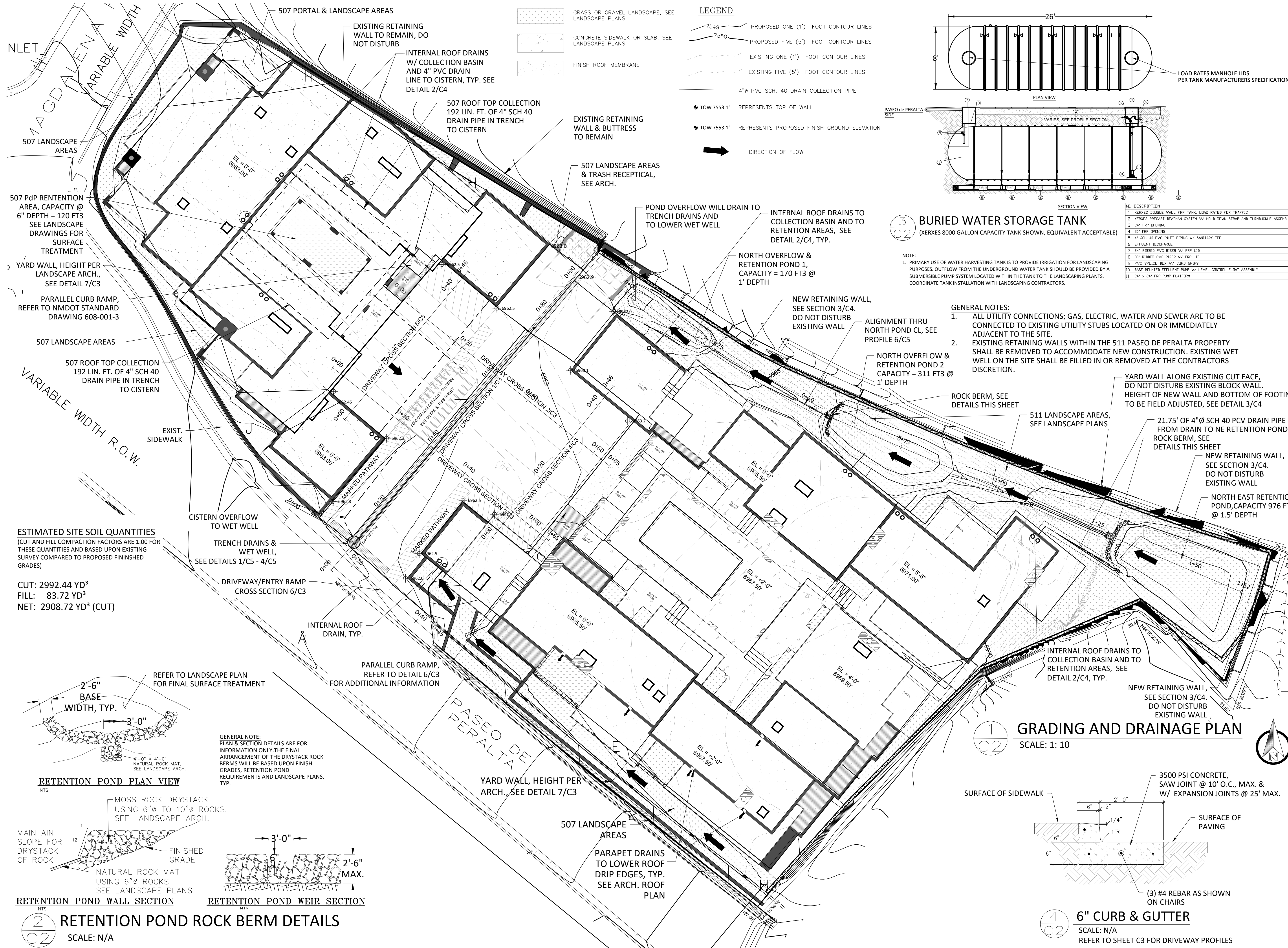
- PLACING EARTH AND ROCK EMBANKMENT: WHEN EARTH AND STONE OR ROCK FRAGMENTS ARE MIXED IN THE EMBANKMENT, ALL STONES OR ROCK FRAGMENTS EXCEEDING THE THICKNESS OF THE COMPACTED LIFT SHALL BE DISPOSED OF BY BEING INCORPORATED INTO THE EMBANKMENT OUTSIDE THE LIMIT OF THE PROPOSED SURFACED AREAS. THE THICKNESS OF THE LAYER IN THESE AREAS MAY BE INCREASED IF NECESSARY TO ACCOMMODATE THE ROCKS, BUT SHALL NOT EXCEED 15 INCHES (38.10CM) IN THICKNESS (LOOSE STATE). THE STONES OR ROCK FRAGMENTS ARE TO BE PLACED SO THERE WILL BE NO NESTING.
- CONSOLIDATED ROCK EMBANKMENT: WHEN THE EXCAVATED MATERIAL CONSISTS PREDOMINANTLY OF STONE OR ROCK FRAGMENTS OF SUCH SIZE THAT THE MATERIAL CANNOT BE PLACED IN LAYERS OF THE THICKNESS PRESCRIBED, SUCH MATERIAL SHALL BE PLACED IN THE EMBANKMENT IN LAYERS HAVING A THICKNESS OF THE APPROXIMATE AVERAGE SIZE OF THE LARGER ROCKS BUT NOT TO EXCEED 24 INCH (60.96CM), ROCKS OR BouldERS TOO LARGE TO PERMIT PLACING IN A 24 INCH (60.96CM) LAYER SHALL BE REDUCED IN SIZE AS NECESSARY TO PERMIT PLACEMENT. ROCK SHALL NOT BE DUMPED IN PLACE BUT SHALL BE DISTRIBUTED BY BLADING OR DOZING IN A MANNER TO INSURE PROPER PLACEMENT IN FINAL POSITION IN THE EMBANKMENT. THE SPALLS AND SMALLER STONE FRAGMENTS SHALL BE LEFT ON THE SURFACE OF EACH LAYER AS FORMED. EACH LAYER SHALL BE THOROUGHLY CONSOLIDATED BEFORE THE NEXT LAYER IS PLACED. THE TOP 12 INCHES (30.48CM) OF THE EMBANKMENT SHALL NOT CONTAIN MATERIAL HAVING A MAXIMUM DIMENSION GREATER THAN 10 INCHES (25.4CM). THE ROCK FRAGMENTS OR CRUSHED STONE SHALL BE WELL GRADED TO FORM A DENSE MASS WHEN COMPACTED.

- COMPACTING THE EMBANKMENT: BEFORE PLACING ANY EMBANKMENT, THE SURFACE OF THE EXISTING GROUND SHALL BE PREPARED AS HERETOFORE SPECIFIED, MOISTENED AS REQUIRED, AND THE TOP 6 INCHES (15.24CM) COMPACTED TO A DENSITY OF 90 PERCENT AS PRESCRIBED IN THE FOLLOWING PARAGRAPH. ALL EMBANKMENT SHALL BE COMPACTED TO A DENSITY OF AT LEAST 90 PERCENT OF THE MAXIMUM DENSITY FOR THE MATERIAL USED AS DETERMINED BY ASTM D-698 AND WITH A TOLERANCE OF MINUS 3 PERCENT AND PLUS 2 PERCENT OF THE OPTIMUM MOISTURE AT MAXIMUM DENSITY AS DETERMINED BY THE MOISTURE DENSITY CURVE OBTAINED. IN ADDITION TO THE ABOVE REQUIRED COMPACTION, THE SUBGRADE BETWEEN LINES 1 FOOT (30.48CM) OUTSIDE OF THE CURBS AND WITHIN THE TOP 6 INCHES (15.24CM) OF THE SUBGRADE SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95 PERCENT OF THE MAXIMUM DENSITY FOR MATERIAL USED AS DETERMINED BY ASTM D-698 AND WITH A TOLERANCE OF MINUS 3 PERCENT AND PLUS 2 PERCENT OF THE OPTIMUM MOISTURE AT MAXIMUM DENSITY AS DETERMINED BY THE MOISTURE DENSITY CURVE OBTAINED. ALL WORK INVOLVED IN EITHER ADDING MOISTURE TO OR REMOVING MOISTURE FROM EMBANKMENT MATERIAL TO WITHIN THE MOISTURE LIMITS SHALL BE CONSIDERED INCIDENTAL TO THE COMPLETION OF THE GRADING OPERATION.

- MOISTURE - DENSITY DETERMINATION: IN-PLACE DENSITY AND MOISTURE CONTENT OF THE EMBANKMENT WILL BE DETERMINED BY THE STANDARD METHOD OF TEST FOR DENSITY OF SOIL IN PLACE BY THE SAND-CONE METHOD, ASTM D1556, OR BY THE RUBBER BALL-OON METHOD, ASTM D-2167, OR BY NUCLEAR METHODS, ASTM D-2922.

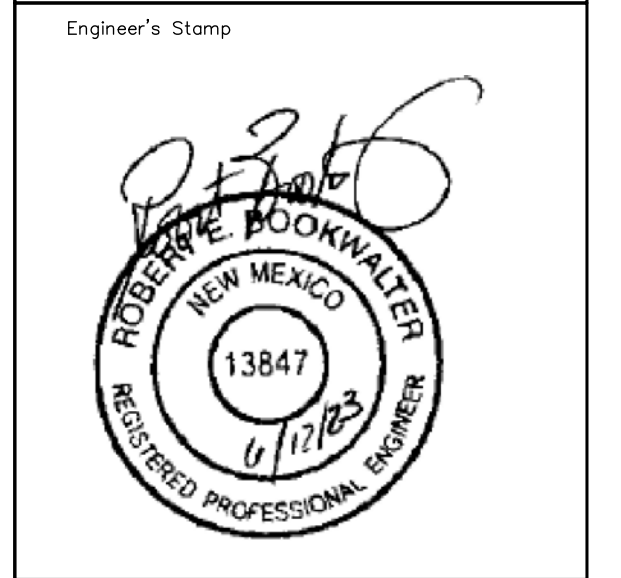
- EXCEPT WHERE OTHER PERMIT OR UTILITY WORK IS IN PROGRESS, THE GRADED SURFACE SHALL BE MADE FREE OF ROCK, CONCRETE, AND BRICK, OR FRAGMENTS THEREOF, OR RUBBISH AND SHALL BE FINISHED TO THE LINES, GRADES, AND CROSS SECTION INDICATED ON THE PLANS, INCLUDING SHOULDER, BERMS AND SIDEWALK SPACES.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGED SURFACE, AND SHALL NOT USE ANY FINISHING EQUIPMENT THAT WILL LEAVE A MARKED SURFACE. WHEN THE SUBGRADE PREPARATION IS INCLUDED AS A PART OF THE FINISHING, THE WORK SHALL BE ACCOMPLISHED ACCORDING TO THE REQUIREMENTS OF SECTION 312000, AND SHALL BE CONSIDERED INCIDENTAL TO FINISHING THE GRADING WORK.
- CLEANUP SHALL FOLLOW THE WORK PROGRESSIVELY AND FINAL CLEANUP SHALL FOLLOW IMMEDIATELY BEHIND THE FINISHING. THE CONTRACTOR SHALL REMOVE FROM THE SITE OF THE WORK ALL EQUIPMENT, TOOLS AND DISCARDED MATERIALS, AND OTHER CONSTRUCTION ITEMS. THE ENTIRE RIGHT-OF-WAY OR EASEMENT SHALL BE LEFT IN A FINISHED AND NEAT CONDITION. CLEANUP SHALL BE CONSIDERED AS INCIDENTAL TO THE COMPLETION OF GRADING WORK.
- BASE COARSE: CLASS 2 AGGREGATE BASE SHALL BE PLACED AFTER SITE GRADING ACTIVITIES ARE AT SUBSTANTIAL COMPLETION AND CONSIST OF THE FOLLOWING PROPERTIES:

SIEVE SIZE	PERCENT PASSING SIEVES	3/4 INCH MAXIMUM
2" INCH	100	100
1 1/2 INCH	90-100	100
1 INCH		



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Grading and Drainage Plan Preliminary
507 & 511 Paseo de Peralta

New Mexico

Santa Fe

Date: 06-24-24

Revised: 07-26-23: Added Driveway profile alignments and clarified trench drain opening dimension

08-11-23: Revised parking area grade for less than 2%. Add profile drawing. Add handicap ramps and curb detail.

09-27-23: Address City of SF comments of 8-17-23

02-01-24: Revised landscape areas & drainage calc's.

03-28-24: Revise drawings and calc's per meeting w/ CoSF.

04-10-24: Revise drawings and calc's per comments received 4/23/24. Add trench wet well details.

06-24-24: Address all previous comments, re-submit.

Drawn by: REB
Checked by: REB

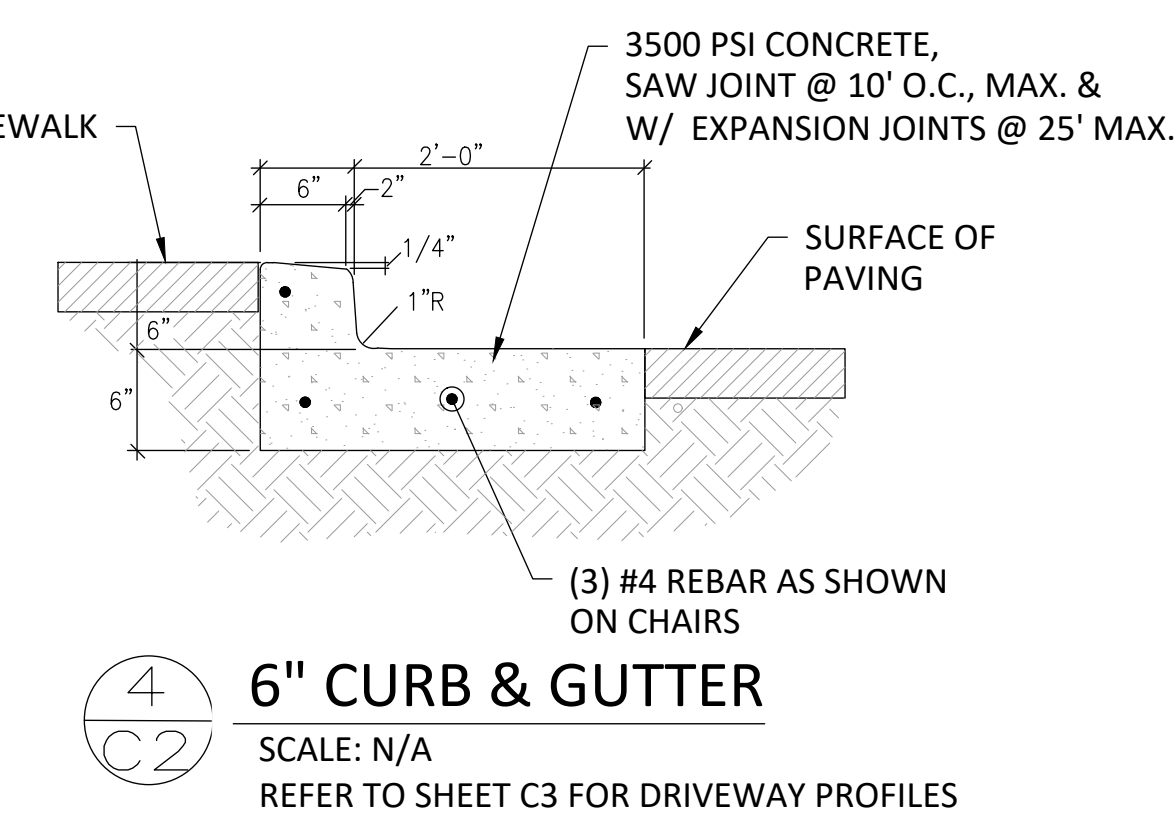
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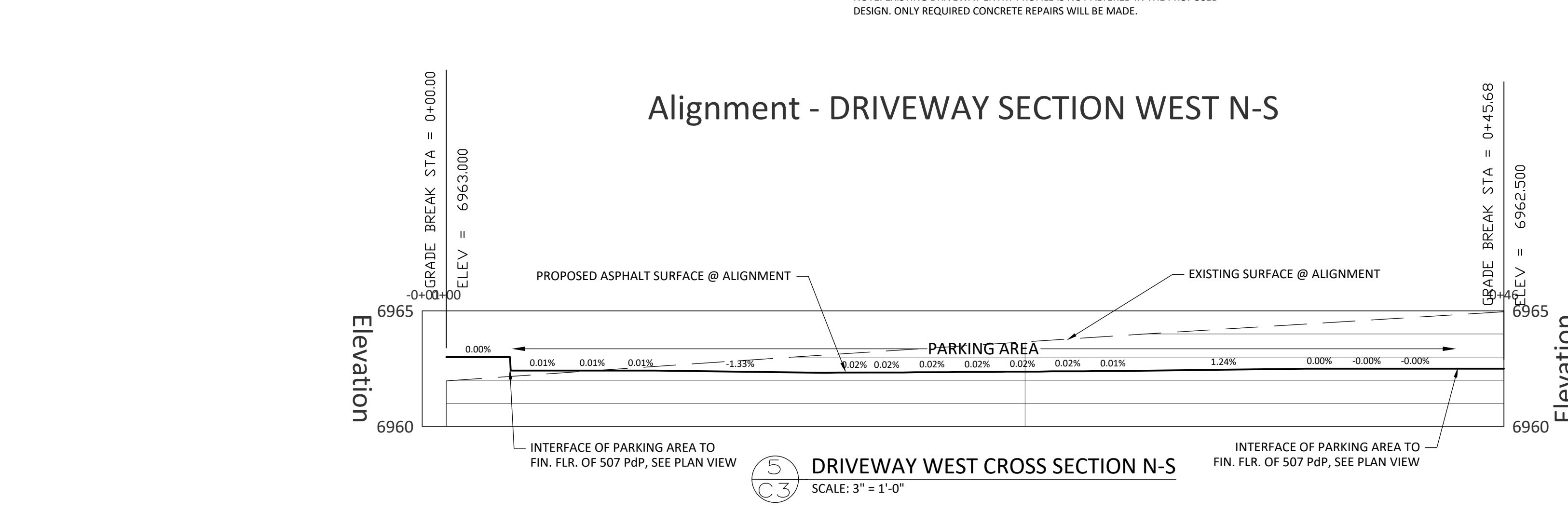
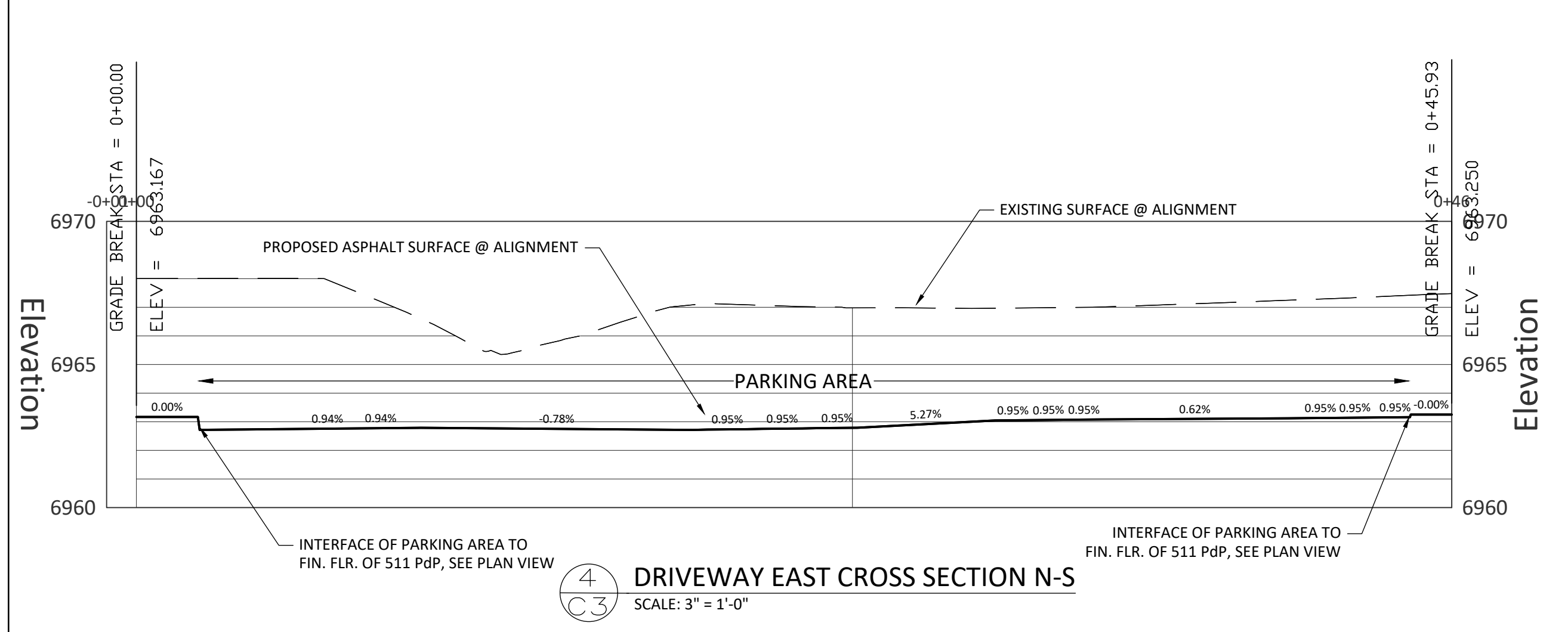
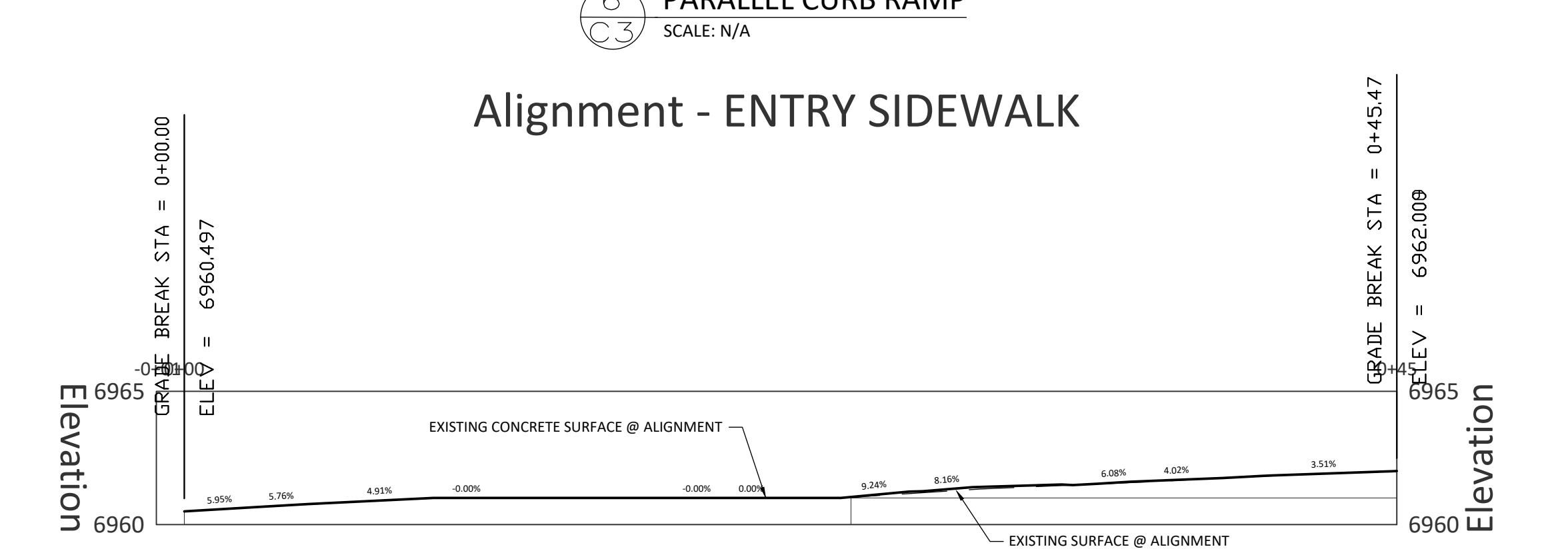
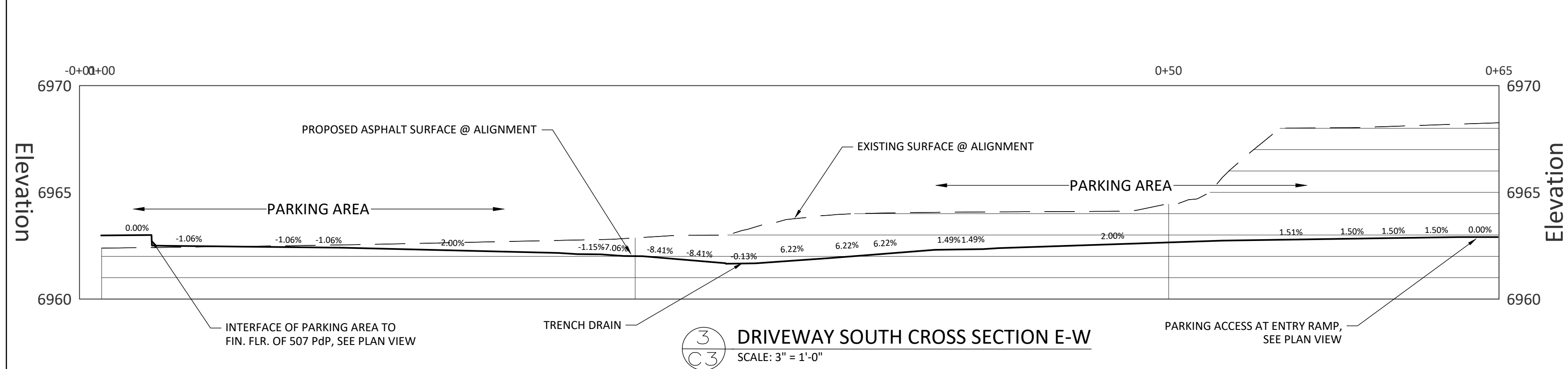
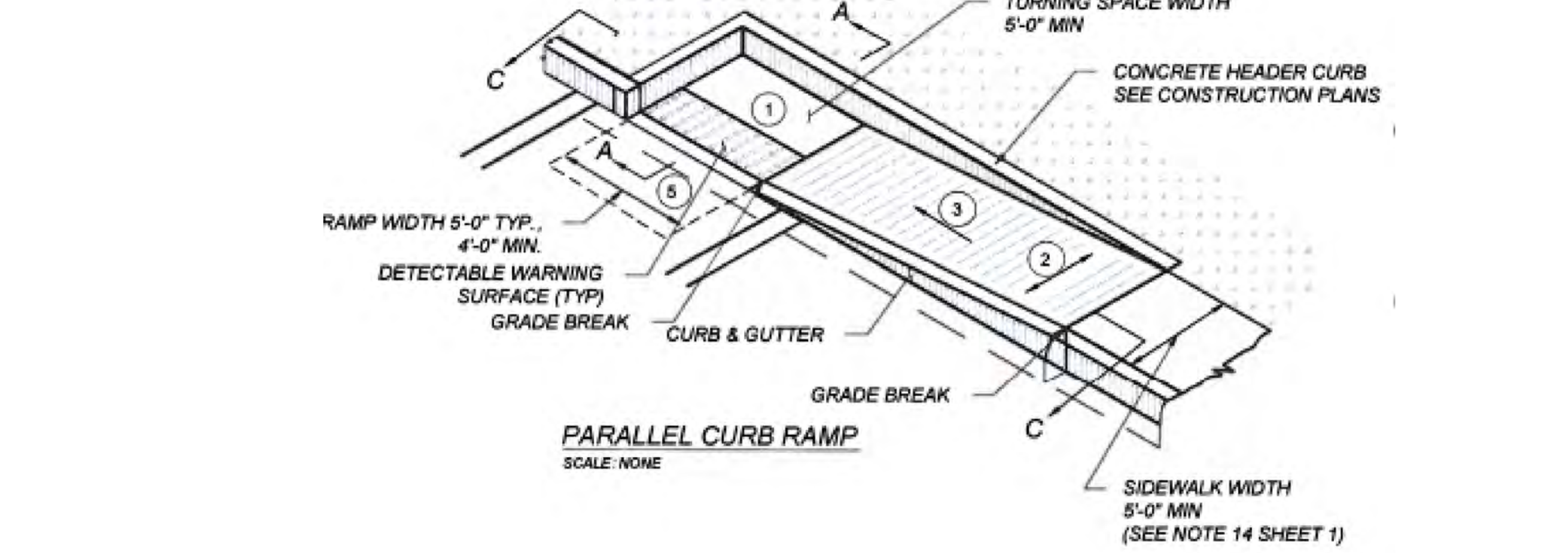
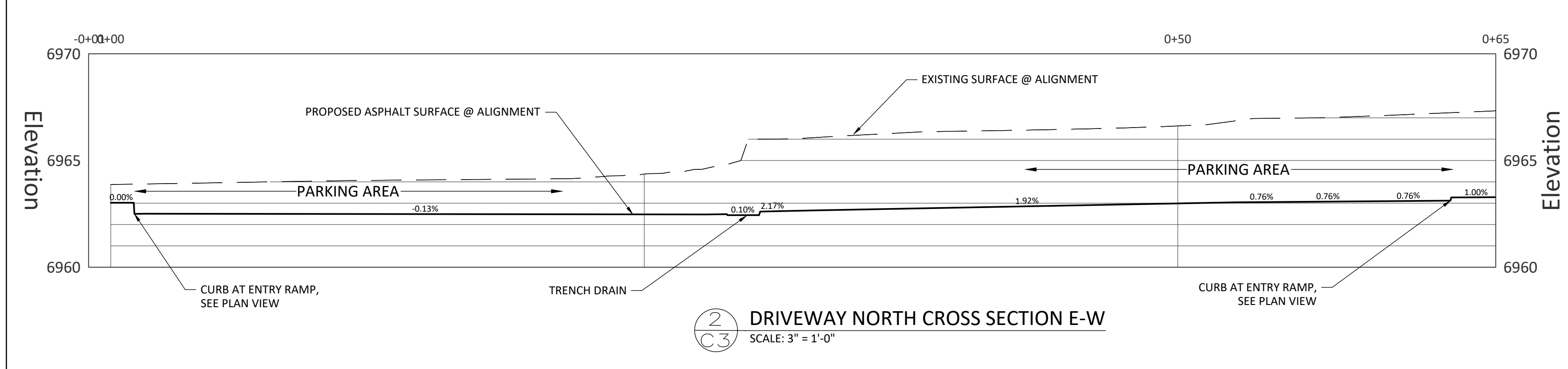
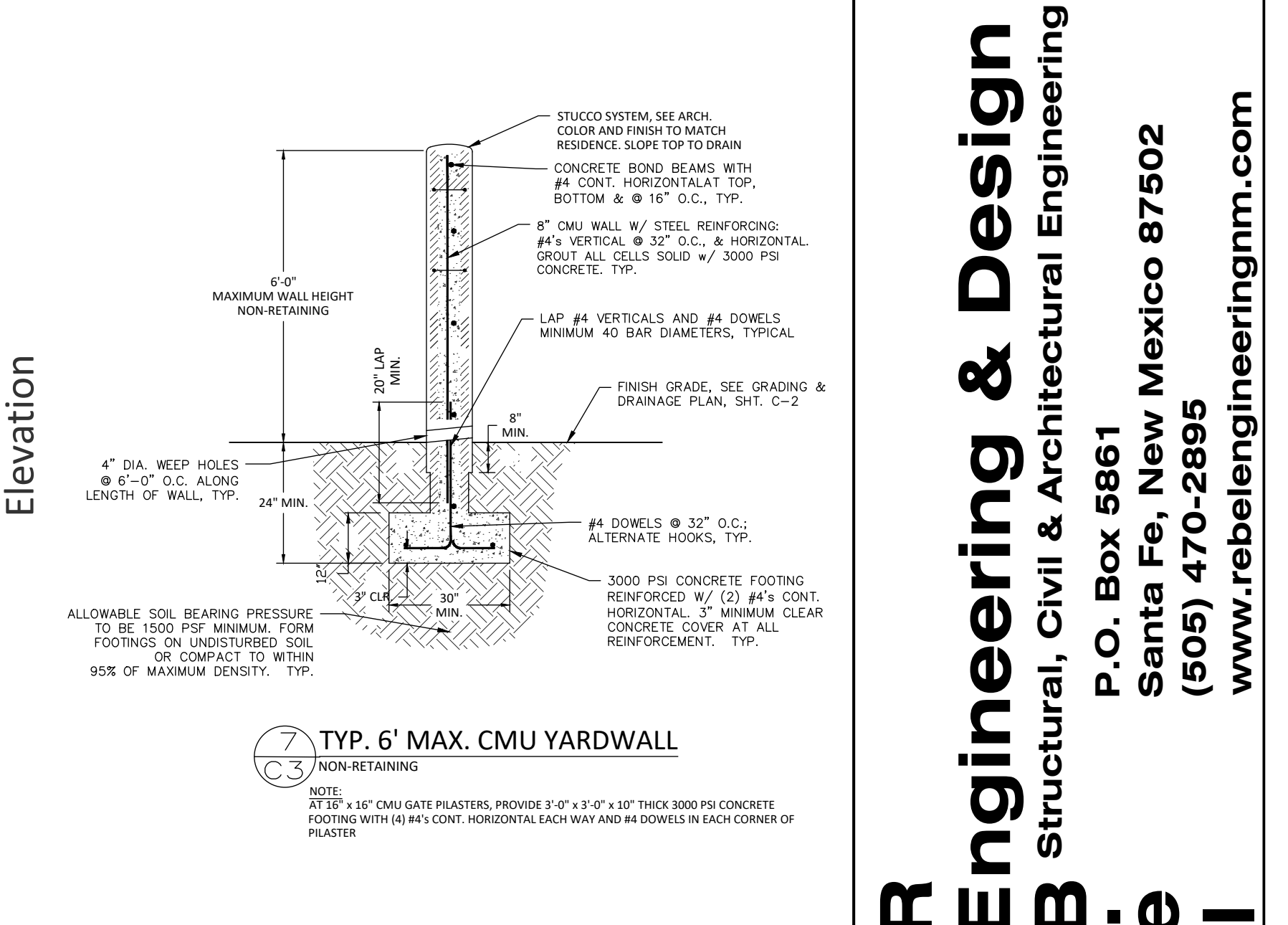
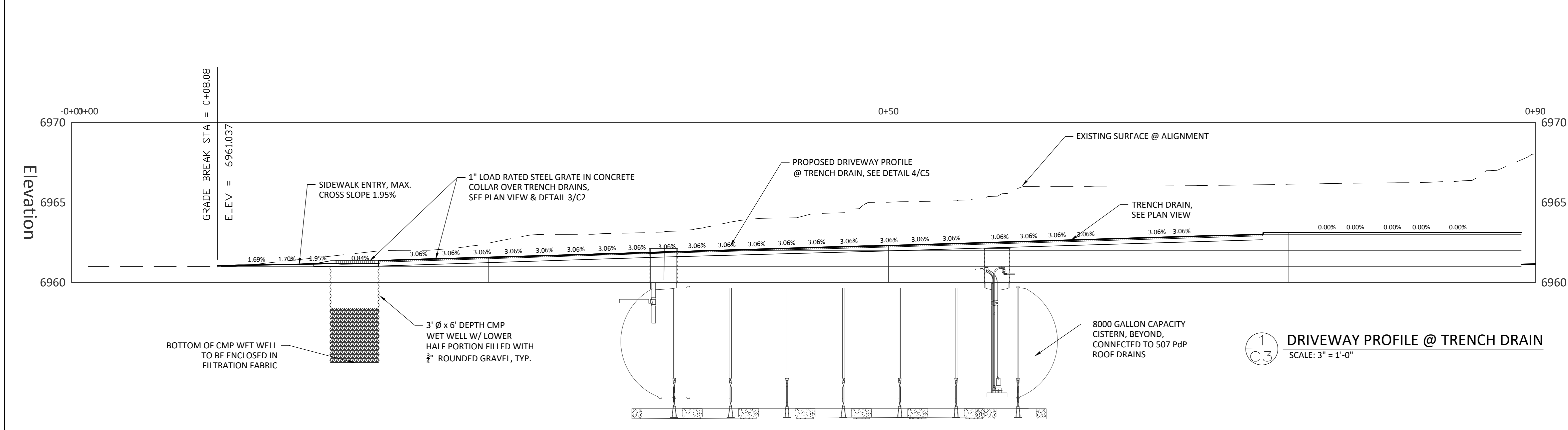
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Site Grading and Drainage

SCALE:
Sheet No. **C-2**

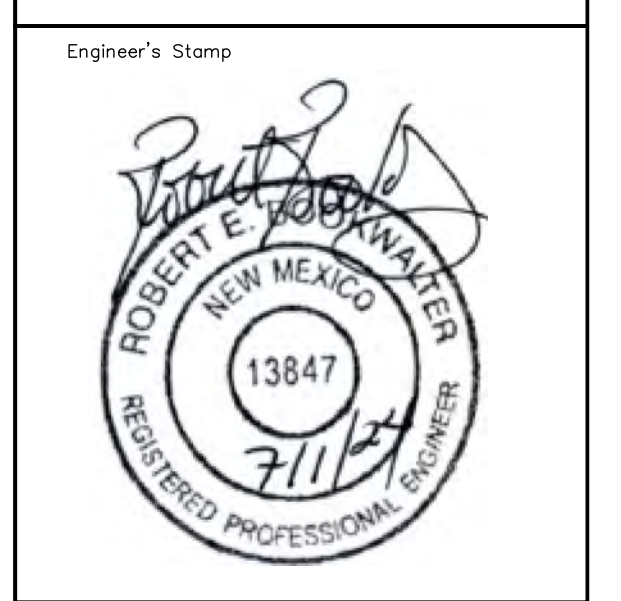
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1 GRADING AND DRAINAGE PLAN
SCALE: 1: 10





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Grading and Drainage Plan
Preliminary
507 & 511 Paseo de Peralta
Santa Fe
New Mexico

Date	07-01-24 PERMIT SET
Revised	07-26-23 Added Driveway profile alignments and clarified trench drain opening dimension
	08-11-23 Revised parking area grade for less than 2% Add profile drawing, Add handicap ramps and curb detail.
	09-27-23 Address City of SF comments of 9-17-23
	02-01-24 Revised landscape areas & drainage calc's.
	03-28-24 Add Entry Driveway profile view 6/C3
	05-10-24 Add driveway wet well to 1/C3 profile Edit callouts. Add additional yardwall detail. 7/C3.
	06-24-24 Address all previous comments, re-submittal.

Drawn by REB
Checked by REB
Job Number

Draw: 07-01-24 CIVL

Sheet title
Driveway & Parking Profiles

SCALE:
Sheet No.

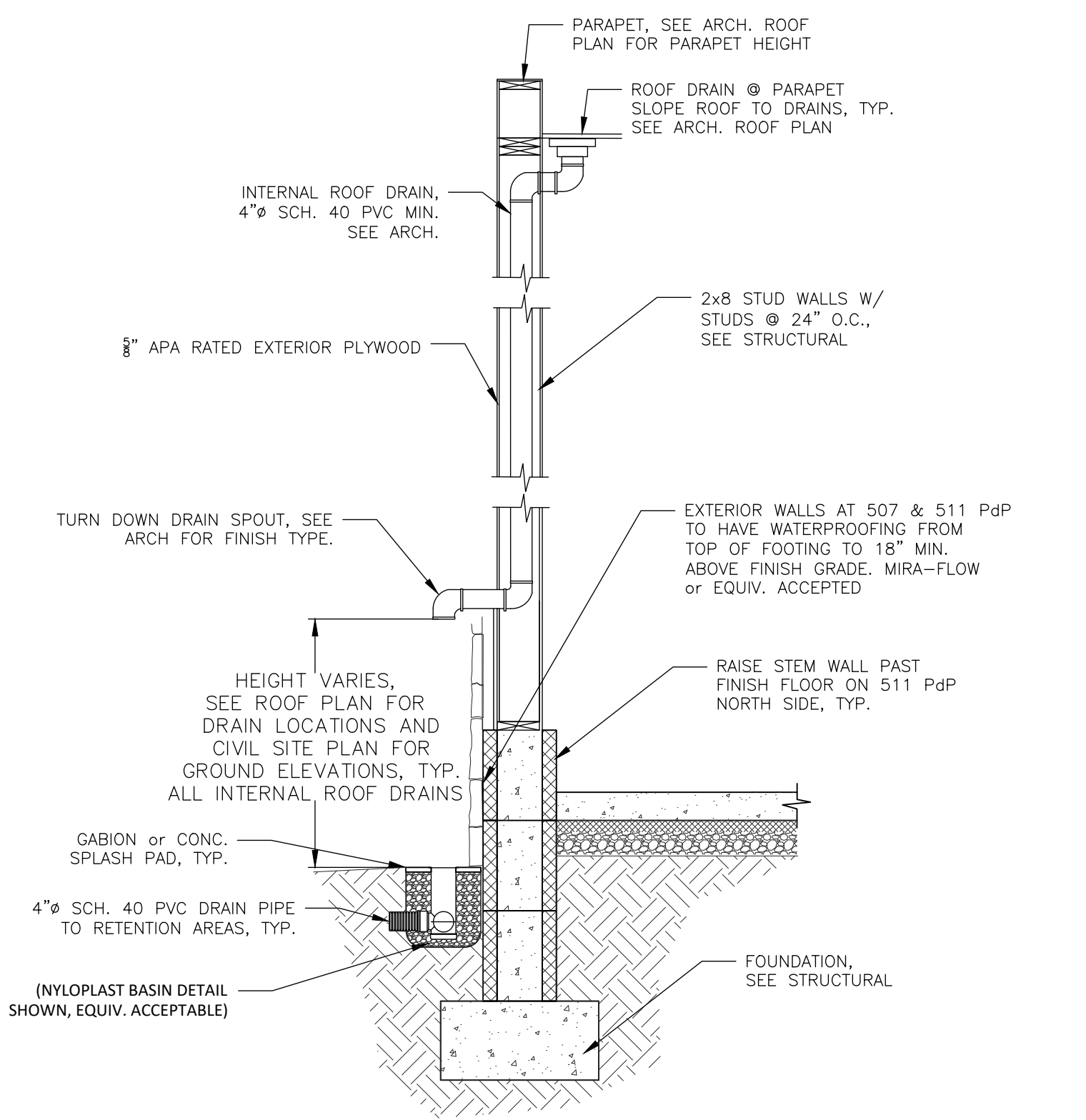
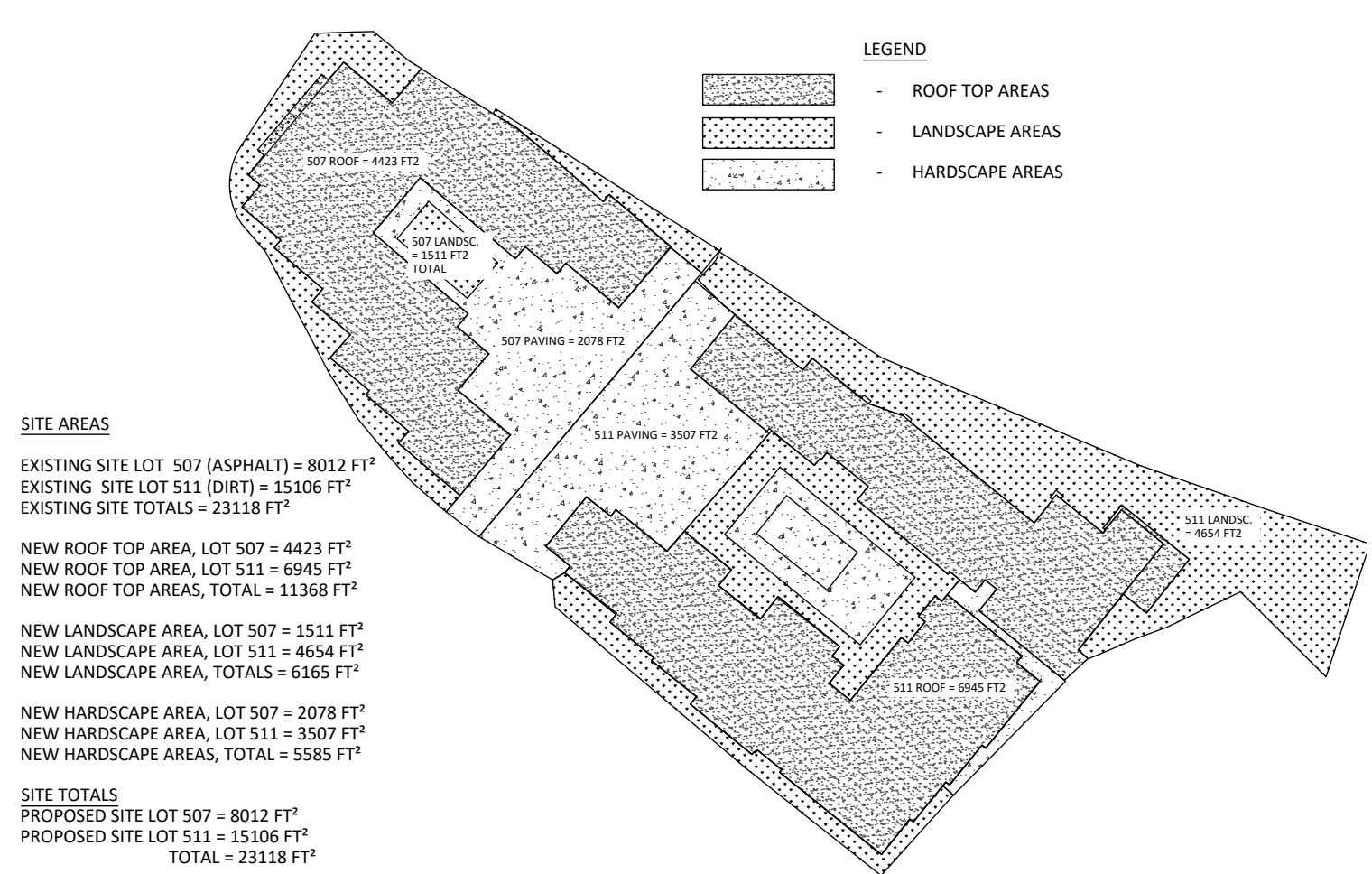
C-3
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POINT PRECIPITATION FREQUENCY (PF) ESTIMATES
WITH 90% CONFIDENCE INTERVALS AND SUPPLEMENTARY INFORMATION
NOAA Atlas 14, Volume 1, Worksheet 1

PDS-based precipitation frequency estimates with 80% confidence intervals (in inches)¹

Duration	1	2	5	10	25	50	100	200	500	1000	
5-min	0.197 (0.196-0.201)	0.255 (0.252-0.259)	0.318 (0.314-0.322)	0.404 (0.399-0.409)	0.495 (0.488-0.502)	0.590 (0.579-0.601)	0.694 (0.678-0.710)	0.807 (0.786-0.828)	0.927 (0.902-0.952)	1.057 (1.027-1.087)	1.197 (1.157-1.237)
10-min	0.299 (0.291-0.306)	0.385 (0.376-0.393)	0.474 (0.461-0.487)	0.573 (0.556-0.590)	0.679 (0.657-0.701)	0.793 (0.764-0.821)	0.916 (0.884-0.948)	1.047 (1.003-1.091)	1.185 (1.130-1.240)	1.331 (1.263-1.397)	1.487 (1.419-1.555)
15-min	0.371 (0.359-0.384)	0.481 (0.461-0.504)	0.594 (0.574-0.617)	0.720 (0.695-0.745)	0.859 (0.824-0.894)	1.009 (0.964-1.053)	1.169 (1.111-1.228)	1.339 (1.271-1.405)	1.517 (1.439-1.595)	1.703 (1.615-1.791)	1.897 (1.799-2.005)
30-min	0.469 (0.450-0.489)	0.587 (0.562-0.616)	0.713 (0.687-0.739)	0.851 (0.814-0.887)	1.001 (0.951-1.051)	1.161 (1.094-1.223)	1.331 (1.253-1.405)	1.509 (1.421-1.595)	1.695 (1.597-1.791)	1.890 (1.782-2.005)	2.094 (1.976-2.212)
60-min	0.579 (0.554-0.604)	0.709 (0.678-0.744)	0.847 (0.811-0.883)	1.000 (0.950-1.050)	1.161 (1.094-1.223)	1.331 (1.253-1.405)	1.509 (1.421-1.595)	1.695 (1.597-1.791)	1.890 (1.782-2.005)	2.094 (1.976-2.212)	2.308 (2.180-2.436)
2-hr	0.745 (0.703-0.811)	0.901 (0.850-1.019)	1.070 (1.015-1.144)	1.251 (1.182-1.323)	1.436 (1.358-1.520)	1.625 (1.528-1.731)	1.818 (1.702-1.934)	2.015 (1.879-2.151)	2.216 (2.062-2.383)	2.421 (2.249-2.593)	2.630 (2.441-2.816)
3-hr	0.820 (0.764-0.877)	1.011 (0.951-1.074)	1.200 (1.131-1.280)	1.399 (1.320-1.470)	1.598 (1.500-1.698)	1.797 (1.681-1.913)	1.996 (1.860-2.131)	2.195 (2.041-2.341)	2.394 (2.221-2.563)	2.593 (2.399-2.787)	2.792 (2.578-2.998)
6-hr	0.929 (0.858-1.009)	1.116 (1.051-1.189)	1.303 (1.234-1.374)	1.490 (1.401-1.581)	1.677 (1.561-1.797)	1.864 (1.728-1.997)	2.051 (1.895-2.208)	2.238 (2.062-2.416)	2.425 (2.229-2.629)	2.612 (2.396-2.828)	2.799 (2.563-3.035)
12-hr	1.091 (0.924-1.231)	1.322 (1.151-1.555)	1.553 (1.401-1.644)	1.784 (1.601-1.944)	2.015 (1.802-2.231)	2.246 (2.003-2.500)	2.477 (2.203-2.752)	2.708 (2.404-3.014)	2.939 (2.594-3.284)	3.170 (2.794-3.544)	3.401 (2.944-3.831)
24-hr	1.261 (1.111-1.383)	1.492 (1.318-1.673)	1.723 (1.561-1.883)	1.954 (1.751-2.154)	2.185 (1.951-2.414)	2.416 (2.151-2.681)	2.647 (2.351-2.943)	2.878 (2.551-3.203)	3.109 (2.751-3.465)	3.340 (2.951-3.721)	3.571 (3.141-4.001)
48-hr	1.541 (1.241-1.841)	1.812 (1.561-2.061)	2.083 (1.801-2.301)	2.354 (2.051-2.654)	2.625 (2.271-2.971)	2.896 (2.501-3.291)	3.167 (2.721-3.617)	3.438 (2.941-3.931)	3.709 (3.161-4.259)	3.980 (3.381-4.581)	4.251 (3.601-4.901)
96-hr	1.821 (1.451-2.191)	2.092 (1.761-2.421)	2.363 (2.001-2.713)	2.634 (2.251-2.971)	2.905 (2.451-3.351)	3.176 (2.681-3.671)	3.447 (2.911-3.981)	3.718 (3.141-4.281)	3.989 (3.361-4.611)	4.260 (3.581-4.941)	4.531 (3.811-5.251)
192-hr	2.091 (1.581-2.601)	2.362 (1.911-2.811)	2.633 (2.151-3.111)	2.904 (2.351-3.451)	3.175 (2.551-3.801)	3.446 (2.751-4.141)	3.717 (2.961-4.471)	3.988 (3.161-4.811)	4.259 (3.381-5.121)	4.530 (3.581-5.481)	4.801 (3.761-5.841)
384-hr	2.361 (1.711-3.011)	2.632 (2.081-3.181)	2.903 (2.301-3.501)	3.174 (2.501-3.841)	3.445 (2.711-4.171)	3.716 (2.911-4.511)	3.987 (3.061-4.911)	4.258 (3.261-5.251)	4.529 (3.461-5.591)	4.800 (3.661-5.941)	5.071 (3.861-6.281)
768-hr	2.631 (1.861-3.401)	2.902 (2.251-3.551)	3.173 (2.451-3.891)	3.444 (2.681-4.201)	3.715 (2.911-4.511)	3.986 (3.061-4.911)	4.257 (3.161-5.121)	4.528 (3.461-5.591)	4.799 (3.661-5.941)	5.070 (3.861-6.281)	5.341 (4.061-6.621)
1536-hr	2.901 (1.961-3.841)	3.172 (2.451-4.091)	3.443 (2.681-4.201)	3.714 (2.911-4.511)	3.985 (3.061-4.911)	4.256 (3.161-5.121)	4.527 (3.461-5.591)	4.798 (3.661-5.941)	5.069 (3.861-6.281)	5.340 (4.061-6.621)	5.611 (4.361-7.061)
3072-hr	3.171 (2.161-4.181)	3.442 (2.681-4.201)	3.713 (2.911-4.511)	3.984 (3.061-4.911)	4.255 (3.161-5.121)	4.526 (3.461-5.591)	4.797 (3.661-5.941)	5.068 (3.861-6.281)	5.340 (4.061-6.621)	5.610 (4.361-7.061)	5.881 (4.561-7.201)
6144-hr	3.441 (2.341-4.541)	3.712 (2.911-4.511)	3.983 (3.061-4.911)	4.254 (3.161-5.121)	4.525 (3.461-5.591)	4.796 (3.661-5.941)	5.067 (3.861-6.281)	5.340 (4.061-6.621)	5.610 (4.361-7.061)	5.880 (4.561-7.201)	6.151 (4.761-7.541)
12288-hr	3.711 (2.511-4.911)	3.982 (3.061-4.911)	4.253 (3.161-5.121)	4.524 (3.461-5.591)	4.795 (3.661-5.941)	5.066 (3.861-6.281)	5.340 (4.061-6.621)	5.610 (4.361-7.061)	5.880 (4.561-7.201)	6.150 (4.761-7.541)	6.421 (5.061-7.781)
24576-hr	3.981 (2.681-5.281)	4.252 (3.161-5.121)	4.523 (3.461-5.591)	4.794 (3.661-5.941)	5.065 (3.861-6.281)	5.340 (4.061-6.621)	5.610 (4.361-7.061)	5.880 (4.561-7.201)	6.150 (4.761-7.541)	6.420 (5.061-7.781)	6.691 (5.361-8.021)
49152-hr	4.251 (2.881-5.621)	4.522 (3.461-5.591)	4.793 (3.661-5.941)	5.064 (3.861-6.281)	5.340 (4.061-6.621)	5.610 (4.361-7.061)	5.880 (4.561-7.201)	6.150 (4.761-7.541)	6.420 (5.061-7.781)	6.690 (5.361-8.021)	6.961 (5.661-8.261)
98304-hr	4.521 (3.161-5.881)	4.792 (3.661-5.941)	5.063 (3.861-6.281)	5.340 (4.061-6.621)	5.610 (4.361-7.061)	5.880 (4.561-7.201)	6.150 (4.761-7.541)	6.420 (5.061-7.781)	6.690 (5.361-8.021)	6.960 (5.661-8.261)	7.231 (5.961-8.501)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parentheses are PF estimates at lower and upper bounds of the 80% confidence interval. The period for the precipitation frequency estimates (or a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than can carry safe PMP values. Please refer to NOAA Atlas 14, Volume 1, Worksheet 1 for more information.



507 511 Paseo de Peralta
 SITE DRAINAGE FOR RETENTION PURPOSES USING THE RATIONAL METHOD
 DRAINAGE PLAN
 THE FOLLOWING ITEMS CONCERN THE CALCULATION OF THE ESTIMATED AMOUNT OF WATER RUNOFF THAT CAN BE EXPECTED FROM THE CONSTRUCTION OF TWO STRUCTURES LOCATED AT 507 & 511 PASEO DE PERALTA IN SANTA FE, NM.

THE FOLLOWING INFORMATION CONTAINED HEREIN IS AS FOLLOWS:

- PROJECT DESCRIPTION
- PRE DEVELOPMENT RUNOFF CALCULATIONS
- POST DEVELOPMENT RUNOFF CALCULATIONS

PROJECT DESCRIPTION
 EXISTING CONDITIONS
 THE PROJECT SITE IS AT 507 511 Paseo de Peralta, Santa Fe, NM. CURRENTLY, THERE ARE NO STRUCTURES ON THE PROPERTY WHERE THE NEW STRUCTURES ARE TO BE CONSTRUCTED. THE CURRENT SITE IS SLOPING TERRAIN FROM THE NORTH EAST CORNER OF THE LOT 511 TO THE SOUTHWEST CORNER OF LOT 507 AND HAS AN ELEVATION CHANGE OF APPROXIMATELY 33' IN A LENGTH OF 280' FOR A GRADE OF APPROXIMATELY 11%. CURRENT SITE CONDITIONS ARE A PAVED PARKING LOT SURFACE ON LOT 507 AND LOT 511 WHERE PREVIOUS ATTEMPTS AT DEVELOPMENT WERE UNDERTAKEN RESULTING IN BARE DIRT WITH VARIOUS EXISTING WALL STRUCTURES ALONG THE PROPERTY BOUNDARIES AND WITHIN THE LOT. ADDITIONAL CURRENT SITE CONDITIONS ARE SHOWN ON THE SURVEY DRAWING, TOPOGRAPHIC SURVEY AND SLOPE ANALYSIS OF TRACT 1 AND TRACT 1-B BY SOUTHWEST MOUNTAIN SURVEYS. ACCESS TO BOTH LOTS ARE ALONG THE SOUTH EDGES OF THE PROPERTIES ON PASEO DE PERALTA.

PROPOSED CONDITIONS
 AS SHOWN BY THE PLANS, THE PROJECT IS THE CONSTRUCTION OF TWO NEW RESIDENTIAL STRUCTURES WITH A ROOF AREA OF APPROXIMATELY 4423 FT² FOR LOT 507 AND A ROOF AREA OF APPROXIMATELY 6945 FT² FOR LOT 511. FOR SITING PURPOSES THE BUILDINGS ARE SET AT FINISHED FLOOR ELEVATIONS OF 6963.3' FOR LOT 507 AND BETWEEN 6967.5' AND 6973' FOR LOT 511. THE DRIVEWAY ACCESS TO THE NEW BUILDING WILL BE CONSOLIDATED INTO ONE ENTRANCE FOR THE PROPOSED SITE ALONG THE SOUTH EDGE OF THE LOTS ON PASEO DE PERALTA. THE NEW STRUCTURES WILL BE LOCATED AS SHOWN ON THE PLANS AND HAVE A FINISHED FLOOR ELEVATION AS DESCRIBED ABOVE.

THE CALCULATIONS SHOWN BELOW DETAIL THE EXPECTED AMOUNT OF INCREASED WATER VOLUME CREATED BY THE NEW RESIDENCE. THESE VALUES WILL BE COMPARED WITH EXISTING SITE CONDITIONS. THESE CALCULATIONS WILL BE BASED UPON A 24 HR 100 YEAR EVENT FOR THE SITE AS SHOWN BELOW FROM NOAA DATA SETS. THE PROPERTY IS LOCATED AT A LATITUDE OF 35.690730 AND LONGITUDE OF -105.935700. RUNOFF VOLUME COMPARISONS WILL BE BASED UPON THE ENTIRE PROPERTY AREA OF 23203 FT² OR 0.522 ACRES.

RAINFALL INTENSITY, 100yr, 24 hr event = 3.15

RAINFALL INTENSITY, 2hr, 6 hr event = 1.16

RUNOFF CALCULATIONS

RUNOFF FACTORS:

EXIST. ROOF, PORTALS & ASPHALT	0.95
NEW ROOF, PORTALS & ASPHALT	0.98
COMPACTED GRAVEL	0.75
CRUSHER FINES	0.85
HARDSCAPE AREAS	0.98
NATIVE LANDSCAPE	0.65
NEW LANDSCAPE	0.45

EXIST. SITE DRAINAGE AREAS:

EXISTING SITE LOT 507 (ASPHALT)	8012.00	FT ²	0.184	ACRES	34.66%
EXISTING SITE LOT 511 (DIRT)	15106.00	FT ²	0.347	ACRES	65.34%
EXISTING SITE TOTALS	23118.00	FT ²	0.531	ACRES	100.00%

PROPOSED SITE DRAINAGE AREAS:

NEW ROOF TOP AREAS, LOT 507	4423.00	FT ²	0.102	ACRES	35.91%
NEW ROOF TOP AREAS, LOT 511	6945.00	FT ²	0.159	ACRES	61.06%
NEW ROOF TOP AREAS, TOTALS	11368.00	FT ²	0.261	ACRES	100.00%
NEW LANDSCAPE AREA, LOT 507	1511.00	FT ²	0.035	ACRES	23.45%
NEW LANDSCAPE AREA, LOT 511	4654.00	FT ²	0.113	ACRES	76.55%
NEW LANDSCAPE AREA, TOTALS	6165.00	FT ²	0.148	ACRES	100.00%
NEW HARDSCAPE AREA, LOT 507	2078.00	FT ²	0.048	ACRES	30.16%
NEW HARDSCAPE AREA, LOT 511	3229.00	FT ²	0.074	ACRES	60.84%
NEW HARDSCAPE AREA, TOTALS	5307.00	FT ²	0.122	ACRES	100.00%
NEW LOT 507 PROPOSED SITE AREA =	8012.00	FT ²	0.184	ACRES	34.66%
NEW LOT 507 PROPOSED SITE AREA =	15106.00	FT ²	0.347	ACRES	65.34%
NEW PROPOSED SITE TOTALS	23118.00	FT ²	0.531	ACRES	100.00%

BASIC ASSUMPTION:

WHERE: Q = CIA (CFS)
 Q = VOLUMETRIC FLOW RATE, FT³ / SEC
 C = RUNOFF COEFF.
 I = 1.16 IN (24HR, 100 YEAR EVENT)
 A = AREA IN ACRES

ORIGINAL SITE AREA

WEIGHTED "C" CALCULATION:

Pre-Developed Areas	ft ²	AREA (acres)	% of Total	C	A°C
EXISTING ASPHALT SITE LOT 507	8012.00	0.184	34.66%	0.95	0.17
EXISTING DIRT SITE LOT 511	15106.00	0.347	65.34%	0.65	0.23
EXISTING SITE TOTALS	23118.00	0.531	100.00%		

I = 3.15 IN (24HR, 100 YEAR EVENT)
 WEIGHTED "C" = 0.75 FOR EXISTING SITE CONDITIONS, BOTH LOTS
 Q = 1.26 CFS
 ESTIMATED STORM DURATION = 1.00 HRS
 VOL_{100yr, 24 hr event} = 4537.64 FT³
 33943.9 GALLONS

REPRESENTS 100 YR 24 HOURS EVENT FLOW FROM PRE-DEVELOPED SITE

Post-Developed Areas	ft ²	AREA (acres)	% of Total	C	A°C
NEW ROOF TOP AREAS	11368.00	0.26	49.17%	0.98	0.26
NEW LANDSCAPE AREAS	6165.00	0.15	27.07%	0.45	0.07
NEW HARDSCAPE AREAS	5307.00	0.12	22.96%	0.98	0.12
TOTALS	23118.00	0.531	100.00%		0.44

WEIGHTED "C" = 0.83
 I = 3.15 IN (24HR, 100 YEAR EVENT)
 Q = 0.83 CFS
 ESTIMATED STORM DURATION = 1.00 HRS
 VOL_{100yr, 24 hr event} = 5008.98 FT³
 37469.8 GALLONS

REPRESENTS AN INCREASE OF 471.3 FT³ OF ON SITE WATERS 3525.9 GALLONS, FROM A 100 YR 24 HR EVENT FOR THE SITE FOR A 60 MINUTE DURATION STORM EVENT

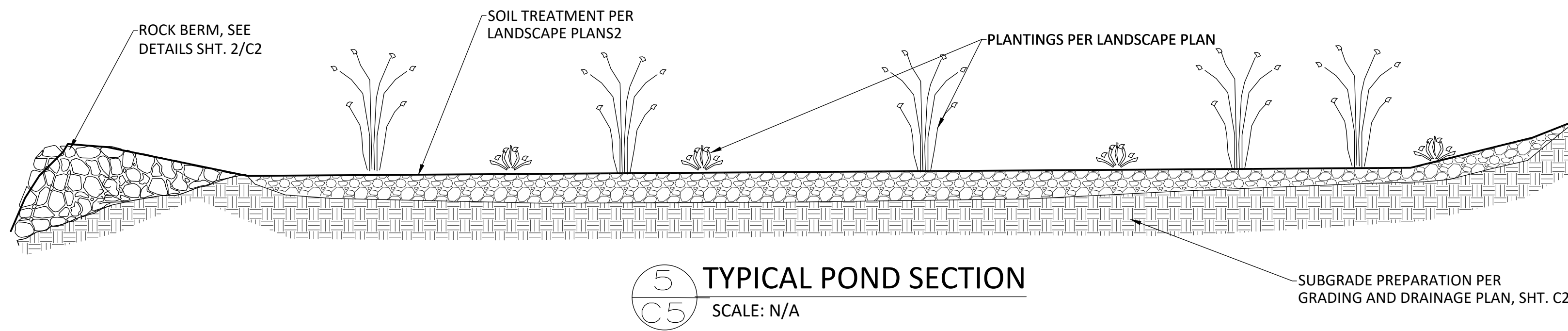
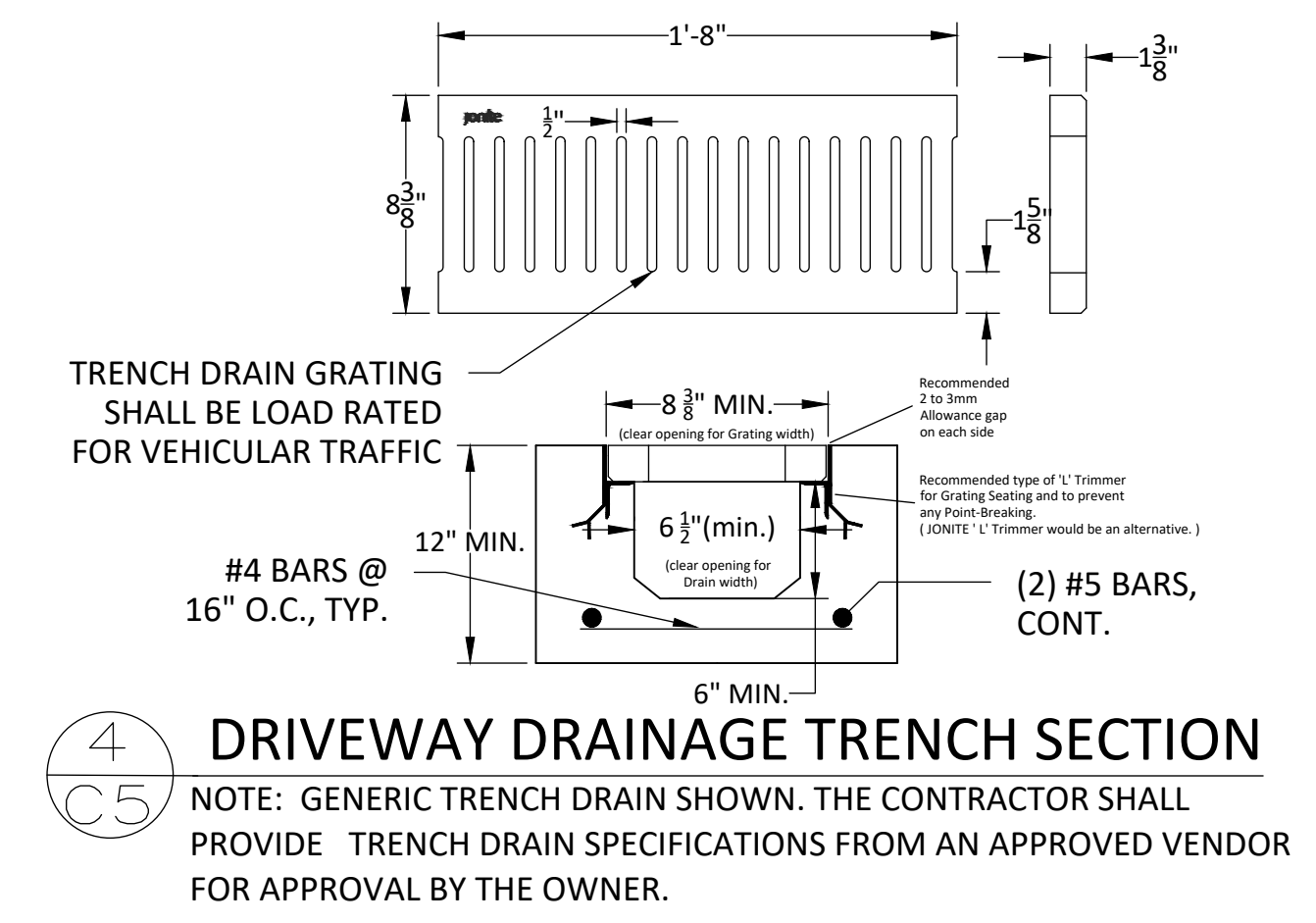
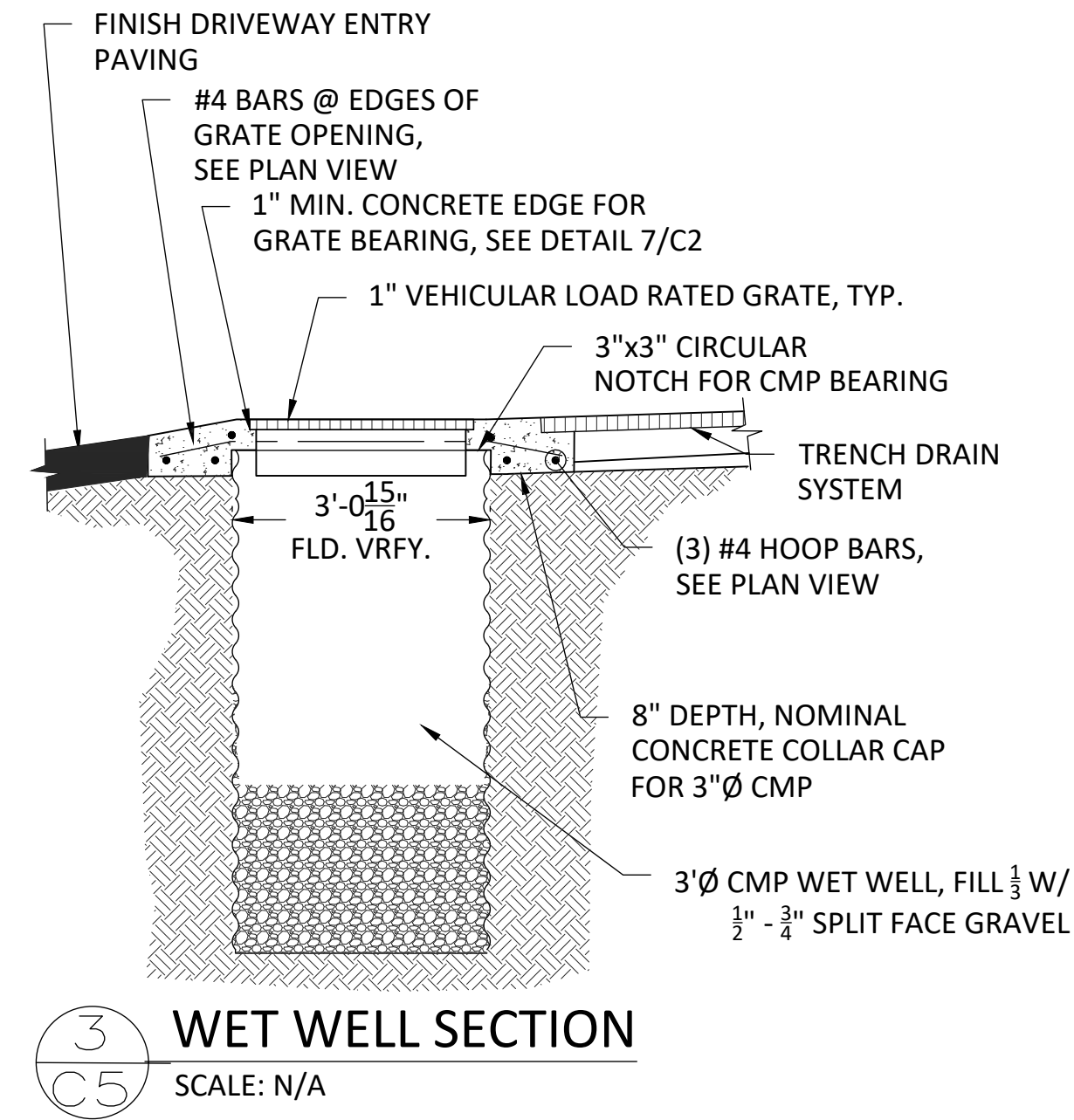
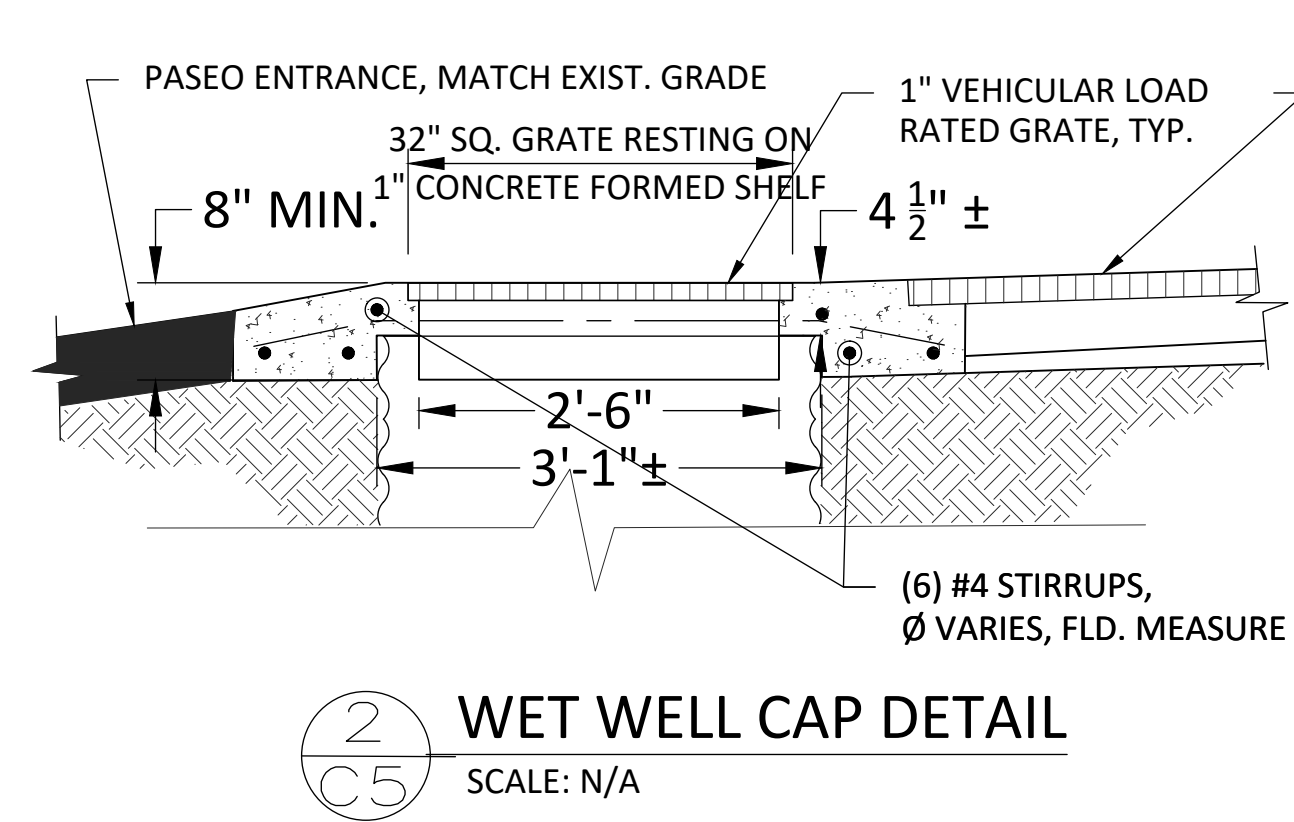
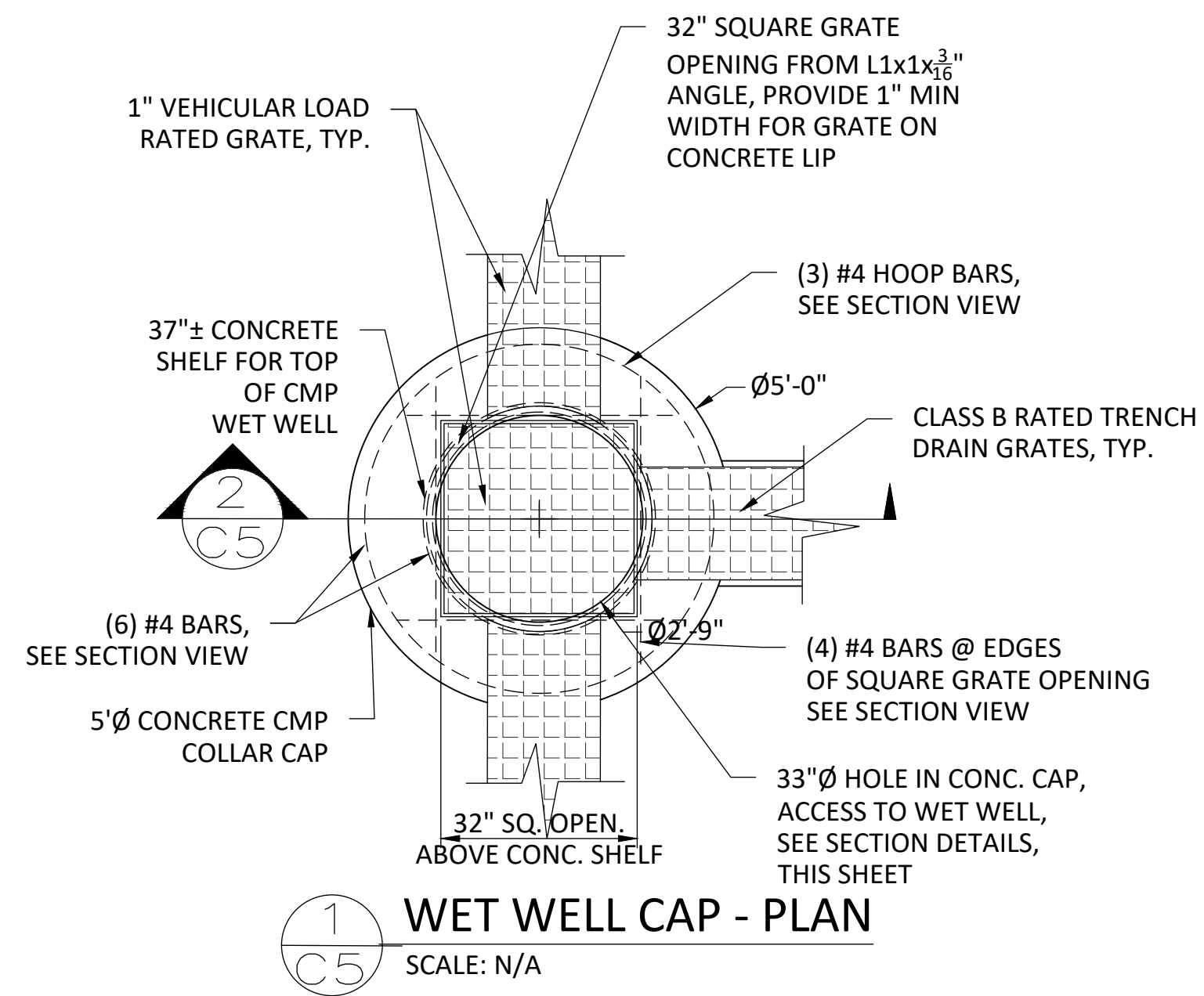
REPRESENTS A PERCENTAGE INCREASE OF 10.39% INCREASE OF FLOW FROM SITE THAT MUST BE RETAINED

511 PdP NORTH-EAST RETENTION POND 1 VOLUME CAPACITY =	170	FT ³	1273.7	GALLONS
511 PMP NORTH RETENTION POND 2 VOLUME CAPACITY =	311	FT ³	2326.4	GALLONS
511 PdP NORTH RETENTION POND 3 (INE POND) VOLUME CAPACITY =	976	FT ³	7309.0	GALLONS
507 PdP COURTYARD RETENTION VOLUME CAPACITY =	120	FT ³	897.7	GALLONS
TOTAL RETENTION POND CAPACITY =	1577	FT ³	11796.8	GALLONS
REPRESENTS AN OVER CAPACITY OF 1105.7 FT ³			8270.9	GALLONS, FROM A 100 YR 24 HR EVENT FOR THE SITE FOR A 60 MINUTE DURATION STORM EVENT
THIS IS AN OVERCAPACITY OF 28% (PERCENT)				

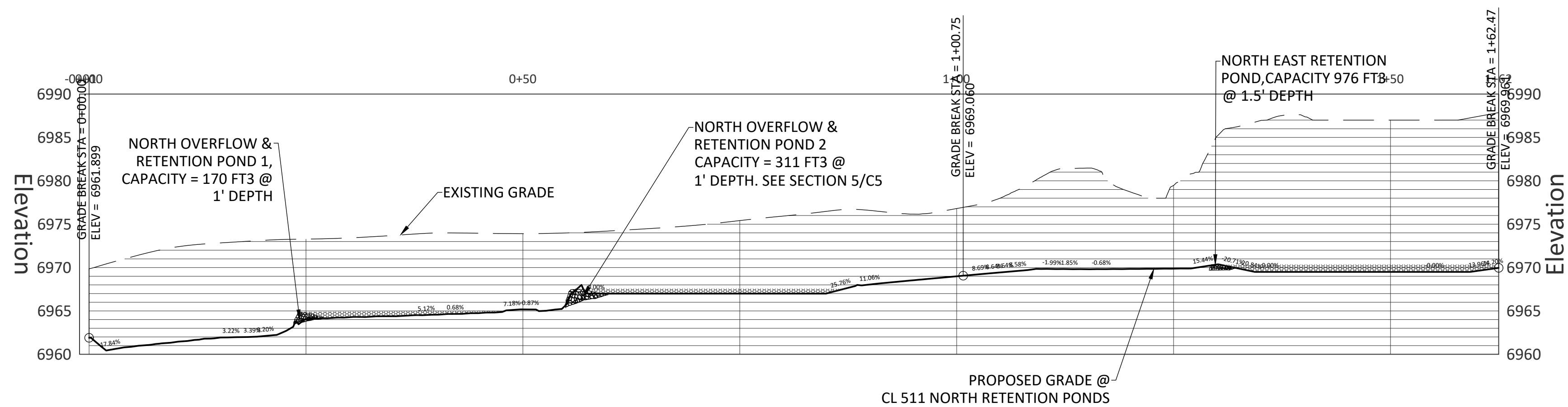
CONCLUSION
 THE CONSTRUCTION OF THE PROPOSED PROJECT INCREASES THE AMOUNT OF POTENTIAL OFFSITE FLOW FROM A 100 YEAR, 24 HOUR RAINFALL EVENT BY APPROXIMATELY 471 FT³ OF WATER. THE VARIOUS RETENTION AREAS ON THE SITE, INCLUDING THE THREE RETENTION PONDS ON THE NORTH SIDE OF 511 PASEO DE PERALTA AND THE ONE RETENTION AREA PROVIDED ON THE 507 PASEO DE PERALTA SITE PROVIDE A TOTAL RETENTION VOLUME OF APPROXIMATELY 1180 FT³ OF WATER. THIS REPRESENTS A RETENTION OVERCAPACITY OF 23% OVER THE REQUIRED AMOUNT CALCULATED THAT MUST BE CONTAINED ON THE PROPERTY.

507 511 Paseo de Peralta
 ROOF DRAINAGE FOR WATER HARVESTING PURPOSES
 PROJECT DESCRIPTION
 EXISTING CONDITIONS
 THE PROJECT SITE IS AT 507 511 Paseo de Peralta Santa Fe, NM. CURRENTLY, THERE ARE NO STRUCTURES ON THE PROPERTY WHERE THE NEW BUILDING IS TO BE CONSTRUCTED.

PROPOSED CONDITIONS
 AS SHOWN BY THE PLANS, THE PROJECT IS THE CONSTRUCTION OF A TWO NEW RESIDENTIAL BUILDINGS WITH A TOTAL ROOF AREA OF APPROXIMATELY 1

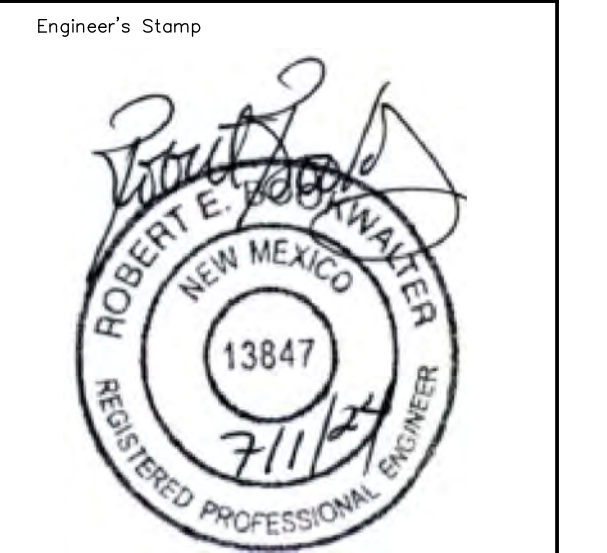


Alignment - CL THRU PONDS



6 SECTION PROFILE THRU 511 NORTH RETENTION PONDS
SCALE: 1 : 10

R B Engineering & Design
Structural, Civil & Architectural Engineering
P.O. Box 5861
Santa Fe, New Mexico 87502
(505) 470-2895
www.rebelengineeringnm.com



Grading and Drainage Plan
Preliminary
507 & 511 Paseo de Peralta
New Mexico
Santa Fe

Date	Description
07-01-24	PERMIT SET
07-28-23	Revised: Added Driveway profile alignments and clarified trench drain opening dimension
08-11-23	Revised parking area grade for less than 2% Add profile drawing. Add handicap ramps and curb detail.
09-27-23	Address City of SF comments of 9-17-23
02-01-24	Revised landscape areas & drainage calc's
03-28-24	Revised drainage Calc's, revise roof grain section detail 2/C4
05-10-24	Update ponding capacity calculation
06-24-24	Address all previous comments, re-submit

Drawn by: REB
Checked by: REB

Job Number:
Draw: 07-01-24 CIVL

Sheet Title:
Grading and Drainage Misc. Details

SCALE:
Sheet No.

C-5
OF TOT