

BACKGROUND & SUMMARY:

515 Paseo de Peralta, Tract 2 is a brick apartment building that was constructed before 1890 in the Neoclassical – Territorial Style. The building is finished with textured stucco and brick coping at the parapets. The building has undergone moderate historic alterations and is listed as Contributing to the Downtown & Eastside Historic District. There are associated historic buildings and stone walls on the property. The streetscape wall runs the length of the property, except for a driveway at the east end and lacks space for a sidewalk.

Tract 1 is a 20,350 square foot lot to the west of Tract 2 and with a slope down toward the street. This lot includes part of the streetscape stone wall and other stone retaining walls further back from the street. The applicant proposes to construct eight Units on this lot for a total of 11,176 square feet in four building blocks, two along the streetscape and two along the rear of the lot.

The buildings will be designed in the Spanish – Pueblo Revival Style with rounded parapets, second-floor balconies, projecting vigas, exposed wooden headers, and portals with carved corbels.

The buildings will be approximately 19' 6" high from finished grade to top of parapets. The maximum allowable height for this location is 17' 6", as determined by a linear calculation. Topographic information indicates that there is enough slope change on the lot for the Board to approve an additional 2' in height, for a total of 19' 6".

According to the previous preliminary hearing of this case on August 10, 2004, the applicant has reduced the second-story massing of Units 1 and 2 by 25% and Unit 4 by 15% and reduced the new streetscape wall in length by breaking it into several segments.

This application was postponed on August 24, 2004 pending a request for exception to demolish a portion of the historic stone wall at the west end of the streetscape.

The exception request has now been submitted. Further alterations of the application include: reducing the two Units along the streetscape to single-story buildings; eliminating Unit 8 at the east end of the property; and significantly stepping back the westernmost rear unit to reduce its visibility.



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

David Coss, *Mayor*
Asenath Kepler, *City Manager*

Councilors:

Miguel M. Chavez, Mayor Pro Tem, Dist. 3
Patti J. Bushee, Dist. 1
Chris Calvert, Dist. 1
Karen Heldmeyer, Dist. 2
Rebecca Wurzbarger, Dist. 2
Carmichael A. Dominguez, Dist. 3
Matthew E. Ortiz, Dist. 4
Ronald S. Trujillo, Dist. 4

Project description: Remodel an historic stone wall along the streetscape. An exception to remove historic material is requested to Sections 14-5.1 General Purpose and Relationship to General Use Zoning Districts, 14-5.2 (C,1,a,c and d) Regulation of Contributing Structures, 14-5.2 (D,1,a and b) General Design Standards for All H Districts, and 14-5.2 (D,5,a,ii and b) Design Standards for Windows, Doors, and Other Architectural Features.

Project number: 04-10100114
Case number: H-04-114
Project type: HDRB

PROJECT LOCATION (S): 511 Paseo de Peralta

PROJECT NAMES:

OW - Ron Blessey, Eric Fuentes, Michael Zehg
Lamy, NM 87540

#10 Camino Caballos Spur
505-466-2404

AP - Ron Blessey
Lamy, NM 87540


#10 Camino Caballos Spur
505-466-2404

BOARD ACTION

This is to certify that the Historic Design Review Board (HDRB) at their meeting on, June 26, 2007, acted on the above referenced case. The decision of the board was to approve your request.

For further information please call 955-6605.

Sincerely,


David A. Rasch
Historic Preservation Planner

NOTE: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.). YOUR PERMIT WILL BE DENIED IF THERE ARE ANY CHANGES ON PLANS THAT WERE APPROVED BY THE HDRB OR IF CONDITIONS OF THE APPROVAL ARE NOT MET. PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.

City of Santa Fe, New Mexico

memo

DATE: June 26, 2007
TO: Historic Design Review Board Members
VIA: Reed Liming, Long-Range Planning Division Director *RL*
FROM: David Rasch, Supervising Planner in Historic Preservation *DR*

CASE # H-04-114

ADDRESS: 511 Paseo de Peralta
Historic Status: Contributing/Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Survey Form
- Zoning Review Sheet
- Other: Chapter 14 visibility triangles
Public Works letter
code citations
previous case minutes

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: exception responses
appeal

STAFF RECOMMENDATION:

Staff recommends denial of the exception required for this application which does not meet Sections 14-5.1 General Purpose and Relationship to General Use Zoning Districts, 14-5.2 (C, 1, a, c, and d) Regulation of Contributing Structures, 14-5.2 (D, 1, a and b) General Design Standards for All H Districts, and 14-5.2 (D, 5, a, ii and b) Design Standards for Windows, Doors, and Other Architectural Features, unless the Board has a positive finding of fact to grant the exception to demolish 16 additional feet down to 3' high and approximately 22 additional feet with a height taper of an historic stone wall along the streetscape in the core historic district.

BACKGROUND & SUMMARY:

515 Paseo de Peralta, Tract 2 is a brick apartment building that was constructed before 1890 in the Neoclassical – Territorial Style. The building is finished with textured stucco and brick coping at the parapets. The building has undergone moderate historic alterations and is listed as Contributing to the Downtown & Eastside Historic District. There are associated historic buildings and stone walls on the property that were constructed at approximately the same date. The streetscape wall runs the length of the property right at the curblin, except for a driveway at the east end and a stone stair access at approximately the mid point.

Tract 1, also known as 511 Paseo de Peralta, is a 20,350 square foot lot to the west of Tract 2 and with a slope down toward the street. This lot includes part of the streetscape stone wall and other stone retaining walls further back from the street.

The HDRB approved an application on September 13, 2005 to construct seven single-family residences designed in the Spanish-Pueblo Revival style with rounded parapets, second-floor balconies, projecting vigas, exposed wooden headers, and portals with carved corbels.

The applicant provided the following responses for an exception that was granted in order for a minimal section of the historic streetscape stone wall to be demolished for driveway access into the site.

1. The proposed exception does not damage the character of the streetscape.

The proposed demolition of 30 feet of wall represents approximately 11% of the total length of the stone wall at the street. The applicant proposes to reuse the stone salvaged from the demolition to retain the side of the proposed a driveway in the area of the demolition.

2. The proposed exception prevents a hardship to the applicant or an injury to the public welfare.

The proposed demolition allows the applicant to access the project site in an area where it is topographically possible to put in a driveway with a slope that meets the city code. The location of the proposed demolition, at the very western end of the property, is the best location from a traffic standpoint, according to the City traffic engineer.

3. The proposed exception will strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic district.

This project will add seven housing units to the historic district. Without the exception, it would be difficult or impossible to add these residences.

4. The exception is due to special conditions and circumstances which are peculiar to the land or structure involved in which are not applicable to other land or structures in the related streetscape.

The request for demolition of a portion of the stone wall is to allow access to this site for a driveway. This is a condition that is unique to this site.

5. The exception is due to special conditions and circumstances which are not the result of the actions of the applicant.

The site and topographic conditions are part of this parcel. They were not a result of the actions of the applicant.

6. The exception will provide the least negative impact with respect to the purpose of this section as set forth in section 14 -5.2 (a) (1).

The area for the proposed demolition has the least negative impact visually, in that it is located at the western end of the wall rather than somewhere in the middle of the wall's length. The western end of the wall is located directly adjacent to a large concrete retaining wall and a surface parking lot. Construction of a new driveway in this location will reduce the height of the existing concrete retaining wall at the property line.

On April 12, 2007, Public Works Department staff found problems with traffic safety at the requested driveway access to the site, although Public Works staff had previously approved the design. Staff requires that a federal standard published by the American Association of State Highway and Transportation Officials (AASHTO) be used. That standard, which requires a sight triangle measuring 17' x 280', is being applied even though there are no federal funds being used on the project, the Paseo de Peralta is not a state highway, and the Chapter 14 driveway visibility triangle standards have been applied on numerous other projects both within and outside of the historic districts.

The driveway access, as approved by exception by the HDRB, used one of the legal standards in Section 14-7.4 (D). The standard used requires 10' of clearance along the street beyond the driveway with nothing obscuring vision between 3' and 8' high. The standard used was for a "public street" with a sidewalk or "parkway." Since no parkway exists at this site, perhaps the standard for "private streets" without a parkway should have been used. That standard requires a 26' clearance beyond the driveway.

On May 22, 2007, the HDRB denied a request to demolish an additional 72 feet of the historic wall to meet AASHTO federal highway standards for sight visibility safety and requested that other options be researched. The applicant filed an appeal to the Governing Body on May 29, 2007. City staff has worked with the applicant to propose additional alternatives for consideration before the appeal is heard.

Now, the applicant proposes one more additional option for remodeling of the historic wall. An additional 16' of the wall will be altered to retain only a 36" high wall. Then, for an additional approximately 22', the wall will be gradually tapered up to the existing height to mimic the taper on the east end. The applicant has submitted the following responses to the exception criteria.

1. The proposed exception does not damage the character of the streetscape.

The request of Public Works is to demolish most of the historic stone wall in order to provide site safety triangle for exiting the property. That request was denied by historic in May 2007. This current request angles the existing wall and requires the wall to be lowered to 36 inches from the ground elevation at an angle lowering the wall height but allows the remaining wall to be left in tact. Thus maintaining the character of the streetscape for which the wall is an important part of.

2. The proposed exception prevents a hardship to the applicant or an injury to the public welfare.

By angling the stone wall, we believe sufficient sight distance would be maintained and there would be no adverse impact on public safety to the citizens of Santa Fe.

3. The proposed exception will strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic district.

This proposal allows a greater portion of the historical wall to be maintained along property line, thus maintaining the historic feel of Paseo de Peralta.

4. The exception is due to special conditions and circumstances which are peculiar to the land or structure involved in which are not applicable to other land or structures in the related streetscape.

The topography and the narrowness of the lot make it very difficult to achieve a safe line of sight, and maintain the integrity of the existing wall. Also there is no other ingress or egress available to this property except for the driveway as proposed.

5. The exception is due to special conditions and circumstances which are not the result of the actions of the applicant.

The wall as it stands does not allow sufficient sight distance to allow safe egress from the lot. There are no other entry points to the lot.

6. The exception will provide the least negative impact with respect to the purpose of this section as set forth in section 14 -5.2 (a) (1).

If approved the lowering of the wall would require the wall to be removed stone by stone in order to preserve the lower portion of the wall. The wall is approximately 125 feet wide and 18 inches thick, making it impossible to cut through and lowered. A special precaution would need to be taken care of in order to protect the wall and allow it to withstand such impact.

Historic Districts applicable code citations are as follows:

14-5.1 General Purpose; Relationship to General Use Zoning Districts

"The requirements of an overlay district shall apply whenever they are in conflict with those in the general use district." The Historic Districts Zoning Overlay is intended to preserve the unique character of the historic districts and historic structures which may not be compliant to current zoning regulations.

14-5.2 (C, 1, a, c, + d) Regulation of Contributing Structures

"Changes that create a false sense of historical development...shall not be undertaken." The driveway visibility triangle is not a traditional or an historic principal for walls on an historic streetscape.

"Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved." This type of historic stone wall right along the right of way is very rare in the historic districts.

"New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired." Once this historic stone wall is removed, it cannot be replaced and the property cannot be returned to its original integrity.


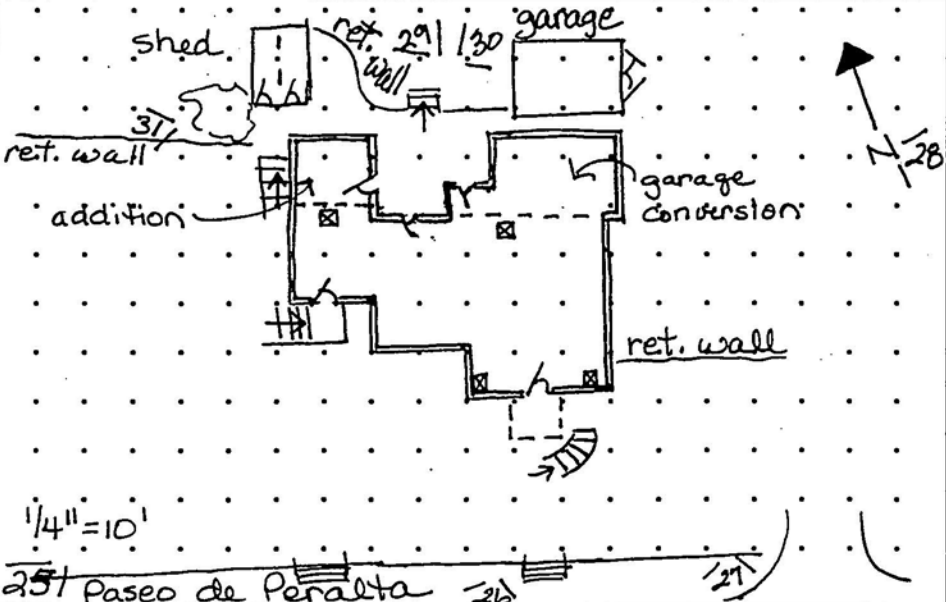
14-5.2 (D, 1, a + b) General Design Standards for All H Districts

"The status of a contributing structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its contributing status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited." And, "If a proposed alteration or new construction will cause an adjacent structure to lose its contributing status, the application may be denied." This wall is a significant feature in this streetscape which, along with several other walls in the nearby streetscape, narrows the Paseo more than anywhere else on the Paseo.

14-5.2 (D, 5, a, ii + b) Design Standards for Other Architectural Features

"No new opening shall be made where one presently does not exist..." and "For all facades of contributing structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced..." The proposed substantial demolition of this historic streetscape wall would set a precedent that could profoundly alter the character of the historic districts. The HDRB previously found that the applicant had a hardship for access to the site and met the criteria required for an exception to remove a small section of the historic wall. This proposal will remove more than a small portion for a standard which is not in Chapter 14.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE SURVEY 1996

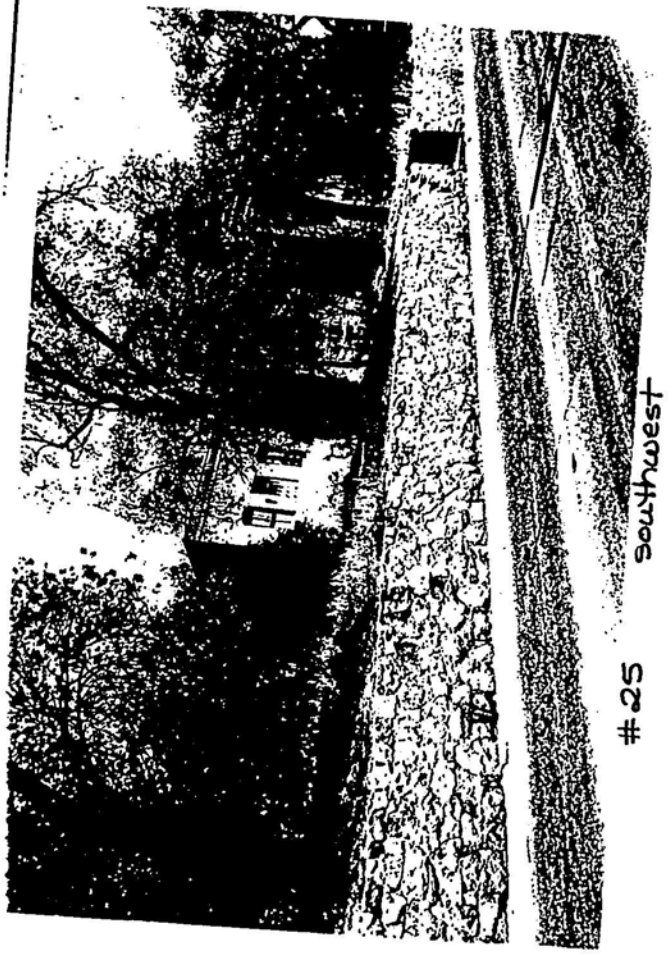
| | | | |
|----------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|
| IDENTIFICATION | ADDRESS: <u>515 Paseo de Peralta</u> <u>(previously 133 Hillside)</u> | OLD ID NUMBER: <u>051610566</u> | |
| | UTM REFERENCE EASTING NORTHING ZONE <u>12 13</u> | LEGAL DESCRIPTION: TNSP <u>17</u> (N) S RANGE <u>9</u> (E) W SEC <u>24</u> NE 1/4 SW 1/4 | BUILDING NAME: |
| | FIELD MAP <u>Santa Fe</u> Historic Status Map 1996 | SANTA FE ID NUMBER: <u>H 30040</u> | |
| BUILDING DATA | DATE OF CONSTRUCTION: ESTIMATE <u>1890</u> ACTUAL <u>by owners</u> |  <p>#26 south elevation</p> | |
| | SOURCE(S) <u>owners</u> | | |
| | ARCHITECTURAL STYLE: <u>Neoclassical</u> | | |
| | USE: HISTORIC: <u>residential</u> OTHER _____ PRESENT: <u>residential</u> OTHER _____ | | |
| SIGNIFICANCE | SURROUNDINGS: <u>residential/commercial</u> |  <p>1/4" = 10'</p> <p>251 Paseo de Peralta</p> | |
| | RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR | | |
| | ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO WHAT TYPE? <u>shed, garage</u> IF INVENTORIED, LIST ID NUMBER(S) <u>H 30041, H 30042</u> | | |
| | DEGREE OF REMODELING: <input type="checkbox"/> MINOR <input checked="" type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR <u>porch remodel</u> EXPLAIN: <u>addition 1940s</u> | | |
| SIGNIFICANCE | OVERALL CONDITION: <input type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input checked="" type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED | LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING | |
| | BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE LOCAL DESIGNATION: <u>Downtown-Eastside</u> HISTORIC DISTRICT <input checked="" type="checkbox"/> SIGNIFICANT <input type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | |

SURVEYED 5/96 BY DB

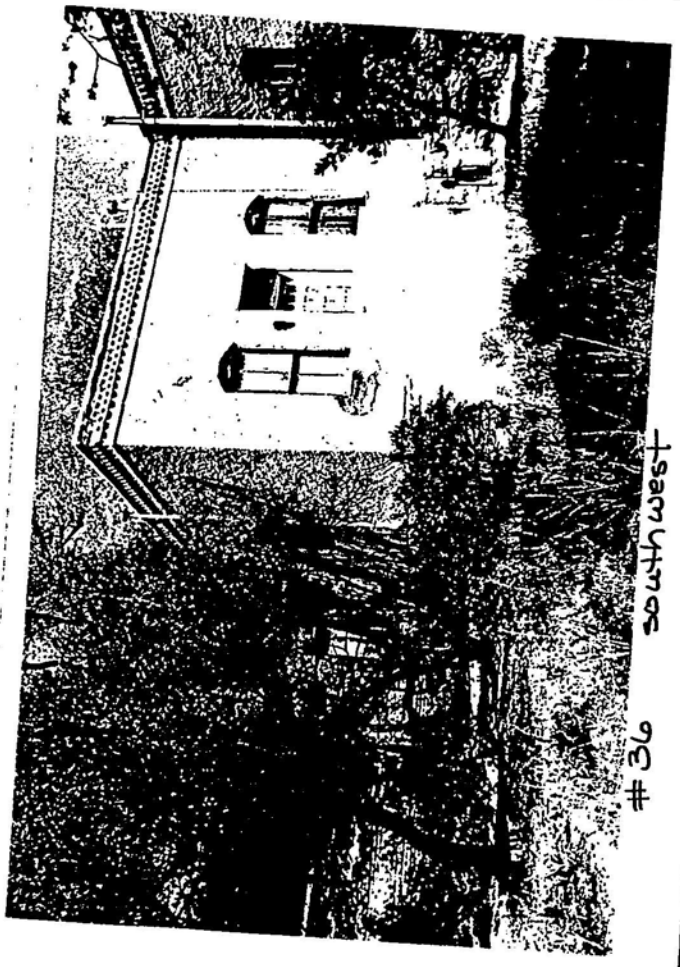
NEGATIVES WITH NMHPD ROLL # 201 NEG # 25 TO 31 & 36

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION

| | | |
|-----------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|
| ROOFS & DRAINS | Shed with brick coping, stabilized with concrete asphalt long top row; flat w/ asphalt roofing | |
| BUILDING WALLS | tan textured stucco over double brick | |
| FOUNDATIONS | stone (visible under porch) | APPROX. HEIGHT (FT.) 20 |
| DOORS | S - wood with double arched light N - wood panel w/ 4 lights, wood panel w/ 2 lights, wood panel w/ single light - all w/ old wood screens | |
| WINDOWS | paired and single 2/2 wood DHWs in double or single segmental openings, old glass (windows at S center in flat openings); 6/6 wood DHWs on NE | |
| PORCHES OR PORTALES | center S - projecting "tower" with arched openings, stuccoed brick banister, approached by curving steps on E; concrete stoop SE w/ steps; brick steps NE corner | |
| ARCHITECTURAL DETAILS | string course on parapet, windows in segmental recesses, brick evident under stucco - stucco has deteriorated & is patched on porch. | |
| FENCES/WALLS | stone wall all along property, S on street (no side-walks) with stone steps | |
| SITE FEATURES | stone retaining walls at street and at intervals up the slope; large concrete retaining wall on N | |
| OTHER/ COMMENTS | In 1940s, porch was partially demolished and west stairs removed. Addition on NW 1940s with clearly different windows (3 light awning). Shed at NW very old, exposed adobe w/ metal roof. | |



#25 southwest



#36 southwest

PRELIMINARY ZONING REVIEW WORKSHEET

TO BE COMPLETED BY APPLICANT:

Date Submitted 7/20/04
Property Owner of Record ERIK FUENTES, RONALD BLESSEI, MICHAEL ZENG
Applicant Name ERIK FUENTES AGENT: LORN TRYK Phone 982 5340 ext 1#
Site Address TRACT I, PASEO DE PERALTA - ADJACENT TO 515 PASEO DE PER
Proposed Construction RESIDENTIAL COMPOUND - 8 UNITS NEW CONSTRUCTION,
TOTAL NEW FLOOR AREA = 11,176 SF.

TO BE COMPLETED BY STAFF:

Zoning District RM1 Subdivision _____ Lot _____ Block _____

Permitted Use: Section # _____
Accessory Use: Section # _____
Special Exception: Case # _____
Variance: Case # _____
Prohibited Use: Section # _____

- Includes neighbor affidavits for lot line.

Setbacks:
(Front) Provided 10' Minimum 10' (Rear) Provided 15' Minimum 15'
(Left Side) Provided 5' Minimum 5' (Right Side) Provided 5' Minimum 5'

(Special Yard) Provided _____ Minimum _____

Density: ± 17 du/ac Open Space: _____

Lot Size: 20350 SF Total Roof Area: 7023 SF Lot Coverage: < 40%

Height: 20' - (approx.) Wall Requirement: _____

Parking: # Required 14 # Provided 14 Maneuverability _____

Other District Requirements: _____

Preliminary Approved
Preliminary Approval w/Conditions
Preliminary Rejection

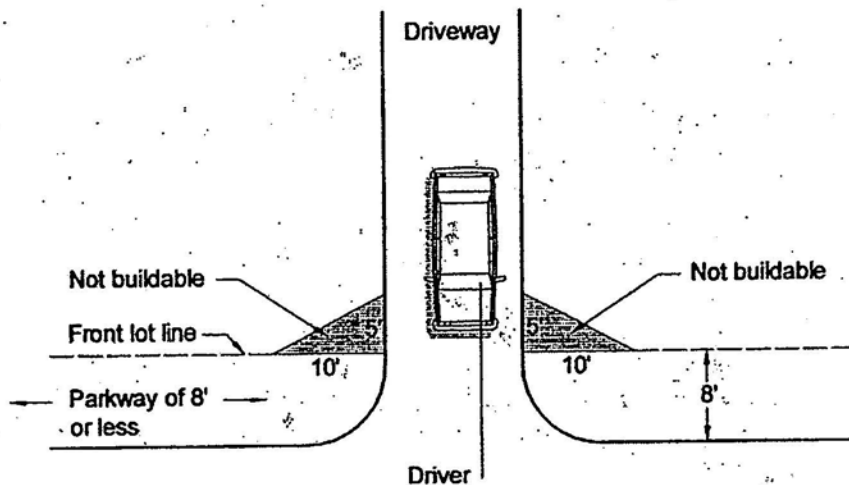
Comments: _____

Reviewer Andres Hadd Date 7-20-04

Conditional to Traffic Division approval for site access per 10m² St. off Paseo de Peralta w/ 5x10' visibility triangles.

- PZR does not include review of Terrain Management, Water & Sewer service, or Common Open Space as per Landscape Review.

PUBLIC STREETS



PRIVATE STREETS

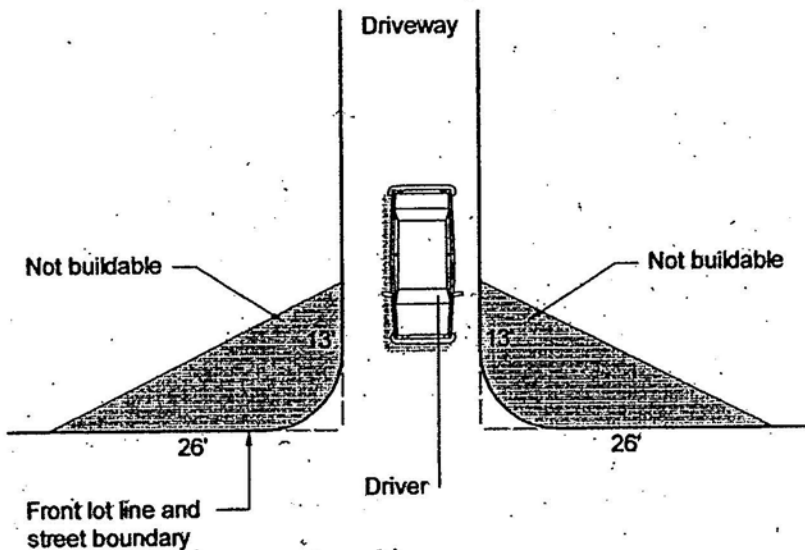


Illustration 14-7.4-1 Visibility at Driveways on Public and Private Streets



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

David Coss, *Mayor*

Councilors:

Miguel M. Chavez, Mayor Pro Tem, Dist. 3
 Patti J. Bushee, Dist. 1
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 Karen Heldmeyer, Dist. 2
 Rebecca Wurzbarger, Dist. 2
 Carmichael A. Dominguez, Dist. 3
 Matthew E. Ortiz, Dist. 4
 Ronald S. Trujillo, Dist. 4

April 12, 2007

Ameriwest Constructions Inc.

Attn: Wyatt Fenn
 P.O. Box 5707
 Santa Fe, NM 87502

RE: Paseo Compound Driveway Permit

Dear Mr. Fenn,

This letter is in reply to your letter received by my office on April 10, 2007, regarding the driveway permit for the Paseo Compound Development. In summary, the subject development received an approved driveway permit on February 8, 2005, which expired on October 30, 2005. It is my understanding that the Historic Review Board (HRB) has approved the removal of a certain portion of an existing historic wall, to accommodate access to the driveway. I have no record that this determination was made by the HRB in light of any intersection sight distance deficiencies.

The developer is now required to re-apply for a driveway permit of which I am currently responsible for reviewing and approving or denying. Article 23, under which the driveway permit is governed, states:

After examination and consideration of the application and plan, and examination of the premises, if deemed necessary, the public works department is authorized and directed to approve a permit for the curb cut and for construction of a driveway over a right-of-way, if the use of the driveway will not unreasonably interfere with the proper and safe use of the sidewalk or right-of-way to be crossed, or the proper and safe use of the street or other public way to which ingress and egress is made from private premises.

It is based on this that I'm exercising my authority and making my determination.

In reviewing the proposed driveway for the Paseo Compound Development onto Paseo de Peralta, I have concerns with the amount of intersection sight distance that will be provided. I am requiring that, in an order to ensure the "proper and safe use of the street to which ingress and egress is made from a private premises," that a sufficient sight triangle be provided for vehicles wanting to exit the development. I am requiring that the "A Policy on Geometric Design of Highways and Streets, 2004, 5th Edition" (Green Book), published by the American Association of State Highway and Transportation Officials, be used to determine the needed sight triangle to accommodate the appropriate intersection sight distance. The Green Book is a nationally recognized policy used for the design of transportation facilities.

During our April 5, 2007 meeting, a question arose regarding the definition of intersection and how driveways apply to intersection sight distance. The Public Works Department considers driveways to be intersections and therefore sees the need to accommodate adequate intersection sight distance. The Green Book states that "Driveway terminals are, in effect, low-volume intersections" (p.348). The Green Book also states that "sight distance is an important design control for driveways" (p.398).

Because of the proximity of the stop controlled intersection at Paseo de Peralta and Otero St. to the proposed access point, I believe that an alternative design approach may be used while remaining consistent with the principles described in the Green Book. I recommend that through field observation of vehicles traveling westbound on Paseo de Peralta, you determine what sight triangle would offer a 7.5 seconds time gap. This could reduce the sight triangle since it takes a while for cars to get up to speed coming from the Otero St. 4-way stop.

The ultimate product I would like you to provide me with is a plan view of the development plan including an appropriate amount of mapping of the surrounding structures, property lines, roadway features, etc. On this plan view I ask that you show:

- Sight Triangle for a left turn from stop, based on a design speed of 25mph, according to the Green Book.
- Sight Triangle base on field observation providing a 7.5 second time gap.
- Sight Triangle using the south east property corner as a control point.
- Initially proposed Sight Triangle.

Please include all dimensions correlating with Exhibit 9-50-B of the Green Book. Also include an appropriate record of all field observations used to determine the field measured 7.5 second gap. Remember the fact that the Green Book assumes a 3.5' driver's eye height and a 3.5' object height. You may use this, along with a profile, to demonstrate that only partial removal of the wall is needed. All plans pertaining to the sight triangle are to be stamped by a professional civil engineer licensed in the State of New Mexico.

After receiving the above mentioned submittals, I will make my determination on what appropriate measures are needed to accommodate adequate sight distance at this driveway location. If at this point it is felt that my determination is unreasonable, there is an appeal process. If you wish to appeal my decision, send me a formal driveway permit application showing what you deem reasonable. I will review and if considered unacceptable formally deny. Within ten (10) days after denial of the application or receipt of the notice, you may appeal the decision to the governing body, through the city manager. This is all explained under Article 23-3.4 of the City Code.

If you feel the HRB will deem it unacceptable to remove or alter the existing wall in any way other than what was previously approved, in light of any sight distance issues as determined by using the Green Book guidelines, please obtain and provide me with an official ruling from the HRB stating such.

The Transportation Research Board (who is supported by state transportation departments, the U.S. Department of Transportation, and other organizations and

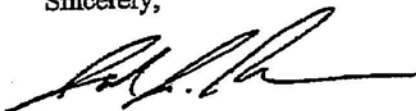
individuals interested in the development of transportation), through their National Cooperative Highway Research Program has made the following determination:

“Adequate sight distance for drivers at stop- or yield-controlled approaches to intersections has long been recognized as among the most important factors contributing to overall safety at unsignalized intersections. Estimates of the safety effectiveness of providing full intersection sight distance where it does not currently exist suggest that up to a 20% reduction in related crashes can be expected.”

I'd like to clarify that all of the decisions I've made to date are not intended to hold up your project in any way but intended to ensure proper and safe egress and ingress from the Paseo Compound site onto Paseo de Peralta.

If you have any questions or need further information, please contact me at 955-6638.

Sincerely,



John J. Romero
Traffic Impacts Section
Public Works Department/Engineering Division

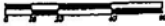
Attachments



NEIGHBORHOOD MAP
FACTORY MAP NOT TO SCALE



SCALE: 1"=20'



LEGEND

- 1/2" Brass Caps Bound and sealed.
- Public Road and used as such.
- 1/2" Copied Iron pins and 3/16" survey (2" 2750)
- Power lines.
- Fences.
- Easements.
- Contours.
- Private Improvements & Utility easements.

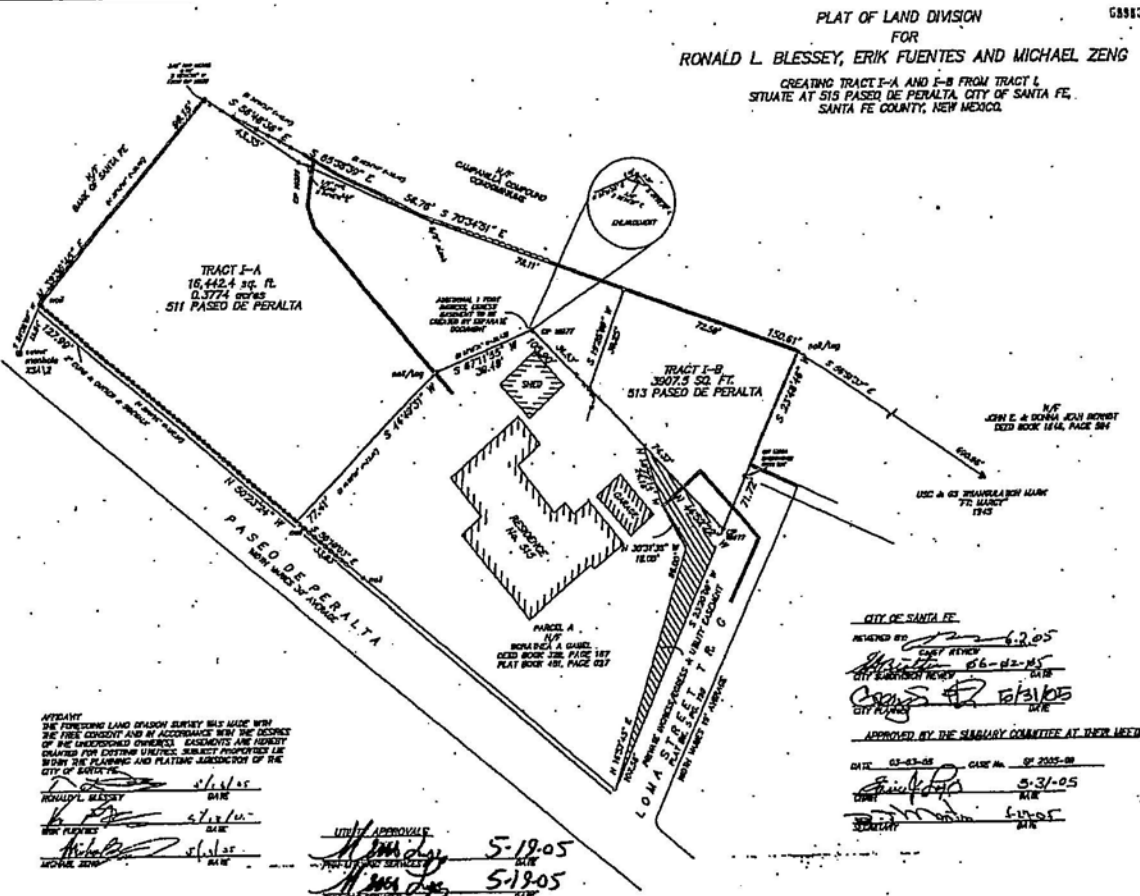
NOTICE

- 1.) BASIS OF RECORD FOR THIS SURVEY IS TAKEN FROM THE RECONSTRUCTION OF THE SOUTHWESTERN BOUNDARY OF TRACT I (IN 1927) BY THE AN GEORGIN LOCAL.
- 2.) THIS SURVEY IS BASED ON A PLAT OF BOUNDARY SURVEY FOR RONALD L. BLESSEY, ERIC FUENTES AND MICHAEL ZENG, RECORDED IN PLAT NO. 581 AT PAGE 255, RECORDS OF SANTA FE COUNTY, NEW MEXICO. CORRECTIONS ARE GIVEN FROM SAID PLAT REVERSE SURVEY. LOT LINE ADJUSTMENT BEHIND A LINES BY 2022" BY RECORDED IN PLAT NO. 465 AT PAGE 22, RECORDS OF SANTA FE COUNTY, N.M.
- 3.) FINAL PLAT NO. 350070-0005-C, ZONE C.
- 4.) SUBJECT TO SIGNED CITY OF SANTA FE AFFIDAVIT DATED 12 MAY 2004.
- 5.) EACH LOT SHALL BE SERVED BY SEWAGE SEWER AND WATER INCLUDING SETTING UP SERVICE METER SERVICE.
- 6.) PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, 2002 1887 AND SUBSEQUENT AMENDMENTS.
- 7.) PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH APPLICABLE CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND/OR DEVELOPMENT PLAN ACCORDING WITH THE COUNTY CLERK OF SANTIAGO FOR A BUILDING PERMIT APPLICATION THAT VIOLATES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, 2002 1887 AND SUBSEQUENT AMENDMENTS.
- 8.) BUILDABLE AREAS FOR PLATED PARCELS WILL BE DETERMINED AT THE TIME BUILDING PERMIT APPLICATION AS DETAIL IN THE LAND DEVELOPMENT CODE.

CERTIFICATE

I, Philip B. Weyand, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that the survey was not conducted as an actual survey made by the Surveyor in the field, but that the information contained herein is true and correct to the best of my knowledge, information and belief.

Philip B. Weyand 19 November 2004
 P.L. No. 8298 P.L. No. 8178
 P.L. No. 2273 Santa Fe, N.M.



AFFIDAVIT
 THE FOREGOING LAND DIVISION SURVEY WAS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS. EASEMENTS ARE HEREBY GRANTED FOR EXISTING UTILITIES. SUBJECT PROPERTIES ARE TO BEYOND THE PLANNING AND PLATING JURISDICTION OF THE CITY OF SANTA FE.

Ronald L. Blessey 5/18/05
 Erik Fuentes 5/18/05
 Michael Zeng 5/18/05

STATE OF NEW MEXICO
 COUNTY OF SANTA FE
 THE FOREGOING AFFIDAVIT WAS APPROVED BEFORE ME THIS DAY OF 11/19, 2004.

Judith A. P. [Signature]
 COUNTY CLERK

UTILITY APPROVALS

City of Santa Fe 5-19-05
 Santa Fe Electric 5-18-05
 Santa Fe Gas 5/18/05
 Santa Fe Water 5-24-05
 Santa Fe Sewer 5/18/05

THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE BOUNDARIES OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE RELIABLE SERVICE TO THE SUBDIVISION.

COUNTY OF SANTA FE
 STATE OF NEW MEXICO

I, Philip B. Weyand, a duly registered Professional Surveyor in the State of New Mexico, do hereby certify that the information contained herein is true and correct to the best of my knowledge, information and belief.

Philip B. Weyand
 COUNTY CLERK

RECORDING INFORMATION FOR COUNTY CLERK
 LAND DIVISION

OWNER: BLESSEY, FUENTES, ZENG
 LOCATION: PASEO DE PERALTA
 SECTION 24, T 17 N, R 9 E, S 10 NE
 PROJECTED INTO THE SANTA FE GRANT
 LOTS 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

SANTA FE COUNTY, N.M.
 DISTRICT SURVEYOR: JAY
 PG. BOOK 22773 SANTA FE, NM 188-2400
 PHASE NO. 0452463 DATE: 11/19/04

CITY OF SANTA FE

REVIEWED BY: [Signature] 6-2-05
 CITY ENGINEER: [Signature] 6-2-05
 CITY PLANNING: [Signature] 6/3/05
 CITY CLERK: [Signature]

APPROVED BY THE SANGUARY COMMITTEE AT THEIR MEETING OF:

DATE: 03-03-05 CASE NO.: 02-2005-04
 TIME: 5-31-05
 SIGNATURE: [Signature] DATE: [Signature]

PLAT OF LAND DIVISION 68827
 FOR
 RONALD L. BLESSEY, ERIC FUENTES AND MICHAEL ZENG
 CREATING TRACT I-A AND I-B FROM TRACT I,
 SITUATE AT 513 PASEO DE PERALTA, CITY OF SANTA FE,
 SANTA FE COUNTY, NEW MEXICO.

THIS DRAWING IS THE PROPERTY OF CHELSEA CONSTRUCTION, INC. AND MAY NOT BE USED OR REPRODUCED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF CHELSEA CONSTRUCTION, INC.

CHELSEA CONSTRUCTION
 300 Paseo de Peralta, Suite 100, Santa Fe, NM 87501
 Office: (505) 962-8669 FAX: (505) 962-8666

TOPOGRAPHIC SURVEY

PASEO COMPOUND
 513 Paseo de Peralta
 Santa Fe, N.M.

DATE: June 2005
 REVISION:

C3



City of Santa Fe
Public Works Department
Permit to Access Public Right-of-way

APPLICANT NAME Ron Blessey, as Agent for Paseo Compound

ACCESS PERMIT NUMBER 05-10-11

IN ACCORDANCE WITH THE SUBMITTED APPLICATION, AND CONDITIONS NOTED BELOW, PERMISSION IS HEREBY GRANTED FOR ACCESS TO PUBLIC RIGHT-OF-WAY FOR THE FOLLOWING LOCATION:

Temporary closure of Paseo De Peralta between Magdalena and Otero

Street for providing access to site for construction operations at 515

Paseo de Peralta

NAME OF SUBDIVISION (IF APPLICABLE) The Paseo Compound

THE WORK IS TO COMMENCE ON OR ABOUT November 4, 2005

THIS PERMIT EXPIRES November 30, 2005 (Surety Bond Expiration Date)

CONDITIONS NOTED:

This Permit for a legal access from private property onto a public right-of-way is governed by the requirements of City Code Chapter 14, "Visibility at Driveways" and Chapter 23 - Construction and Maintenance of Curb, Gutter, and Sidewalk (where applicable). All Conditions and restrictions required by law shall be complied with, and failure to comply with the conditions of this permit shall result in revocation of this permit and the reconstruction of any nonconforming driveway to City of Santa Fe standards at the property owner's expense.

Agent agrees to release and hold harmless the City of Santa Fe from any claims by reason of this work; Agent agrees to repair any CSF property damaged as a result of its work within 30 days of each occurrence.

Agent agrees to abide by Traffic Control Plan submitted by Southwest Safety and as amended by CSF. Agent agrees to hold a general liability insurance policy in the amount of \$1,000,000 and a \$10,000 surety bond that names CSF as a policyholder.

Traffic Engineering Supervisor *[Signature]* DATE 11/3/05

Inspection by _____ DATE _____

City of Santa Fe, New Mexico

memo

DATE: May 14, 2007

TO: David Rasch, Historic Preservation Supervising Planner

FROM: John Romero, Public Works Dpt/Engineering Div/Traffic Impacts Section JR

SUBJECT: Case #H-04-114, 511 Paseo de Peralta,
Downtown & Eastside Historic District

ISSUE

Roger Hunter agent for Blessey, Fuentes, & Zeug, proposes to remodel an historic stone wall along the streetscape. An exception to remove historic material is requested (Section 14-5.2 D, 5, b).

BACKGROUND & SUMMARY:

The Public Works Department (PWD) received a request to approve a driveway permit for the Paseo Compound onto Paseo de Peralta. The initial request included the removal of a certain portion of a historic wall as approved by the Historic Review Board. The PWD has concluded that the amount of removal approved by the Historic Review Board does not allow adequate sight distance for traffic wishing to exit the development onto Paseo de Peralta (see attached photos).

The developer has been asked by the PWD to design an access onto Paseo de Peralta with sufficient sight distance in order to accommodate a 25mph design speed (the posted speed limit on Paseo de Peralta). In order to provide adequate sight distance, the developer must remove a total of $\approx 103'$ of the wall measured from the south west corner of the subject property towards the east. This is based on requirements set forth in *A Policy on Geometric Design of Highways and Streets, 2004, 5th Edition* (Green Book), published by the American Association of State Highway and Transportation Officials. The Green Book is a nationally recognized policy used for the design of transportation facilities including urban arterials, collectors, and local roads. The guidance supplied by the Green Book is based on established practices and is supplemented by recent research.

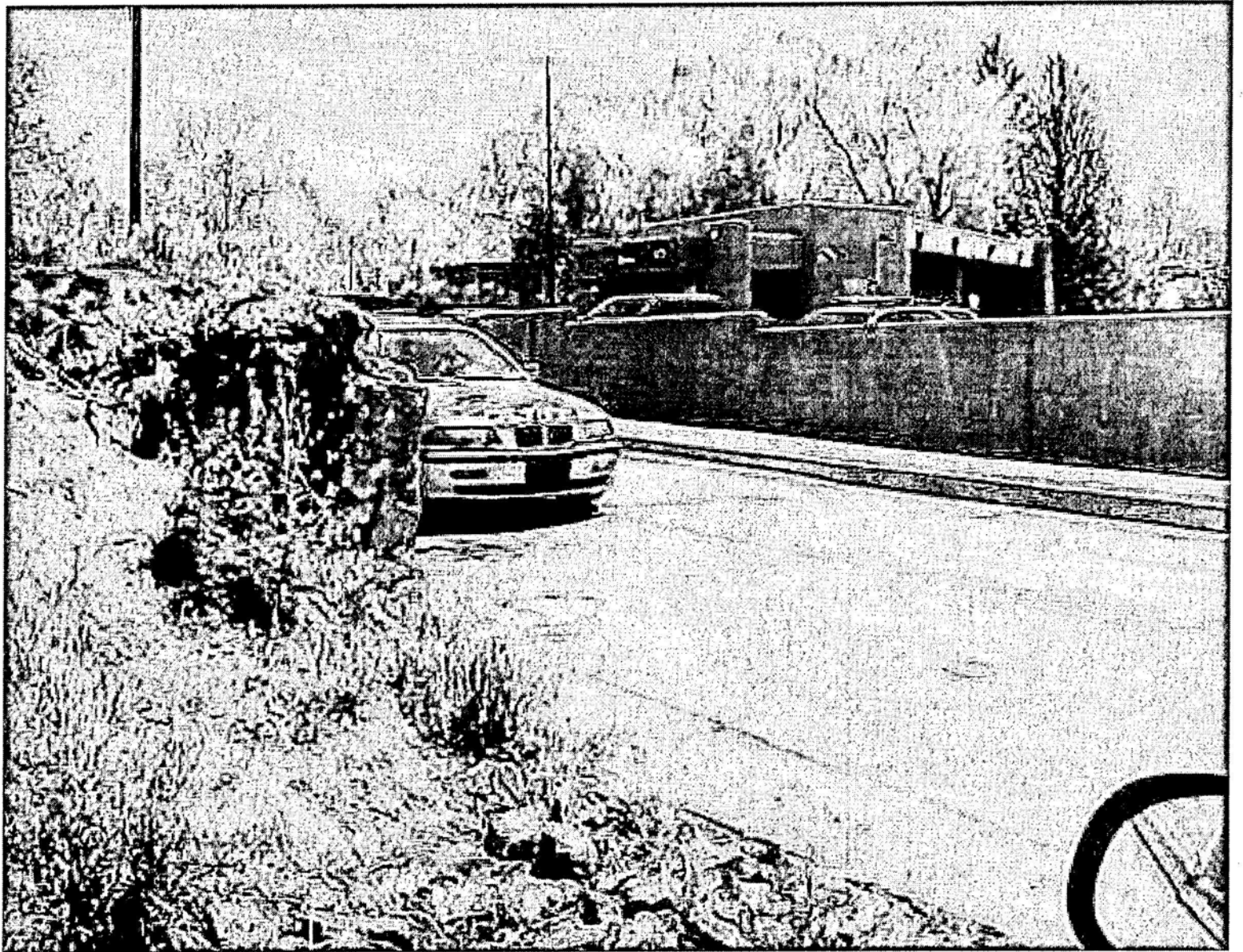
The PWD appreciates the importance of maintaining historical features within the City of Santa Fe, where feasible, but in this case feels it important to ensure proper and safe egress and ingress from the Paseo Compound. The Transportation Research Board (who is supported by state transportation departments, the U.S. Department of Transportation, and other organizations and individuals interested in the development of transportation), through their National Cooperative Highway Research Program has made the following determination:

“Adequate sight distance for drivers at stop- or yield-controlled approaches to intersections has long been recognized as among the most important factors contributing to overall safety at unsignalized intersections. Estimates of the safety effectiveness of providing full intersection sight distance where it does not currently exist suggest that up to a 20% reduction in related crashes can be expected.”

If you have any questions or need any more information, feel free to contact me at 955-6638. Thank you.

M:\Traffic Impacts\01-TIAs\2007\Paseo Compound\Paseo Compound HBRD 05-14-07.doc







City of Santa Fe
Public Works Department
Permit to Access Public Right-of-way

APPLICANT NAME Ameriwest Construction Inc.

ACCESS PERMIT NUMBER 07-05-06

IN ACCORDANCE WITH THE SUBMITTED APPLICATION, AND CONDITIONS NOTED BELOW, PERMISSION IS HEREBY GRANTED FOR ACCESS TO PUBLIC RIGHT-OF-WAY FOR THE FOLLOWING LOCATION:

SITE ADDRESS OR LOT NO 511 Paseo de Peralta

NAME OF SUBDIVISION (IF APPLICABLE) Paseo Compound

THE WORK IS TO COMMENCE ON OR ABOUT June 2007

THIS PERMIT EXPIRES December 31, 2007

CONDITIONS NOTED:

This Permit provides legal access from private property onto a public right-of-way and is governed by the requirements of City Code Chapter 14, "Visibility at Driveways" and Chapter 23 - Construction and Maintenance of Curb, Gutter, and Sidewalk (where applicable). All Conditions and restrictions required by law shall be complied with, and failure to comply with the conditions of this permit shall result in revocation of this permit and the reconstruction of any nonconforming driveway to City of Santa Fe standards at the property owner's expense.

Prior to commencing construction of the new or modified driveway, the property owner shall obtain a *Right-of-way Excavation & Restoration Permit* from the Streets, Drainage & Fleet Management Division (application attached) located at 1142 Siler Road (Phone - 955-3000). Alterations to the existing rock wall along the property's frontage with Paseo de Peralta shall be reviewed by the Historic Review Board. Any change to the attached drawing shall be reviewed by the Public Works Department and shall be in compliance with intersection sight distance requirements as set forth in the *A Policy on Geometric Design of Highways and Streets, 2004, 5th Edition* published by the American Association of State Highway and Transportation Officials.

REVIEWED AND SIGNED BY 

DATE 5/14/07

DRIVEWAY INSPECTED BY _____

DATE _____

FEE PAID 15.00

RECEIPT # 728307

Article 14-5: OVERLAY ZONING DISTRICTS

14-5.1 GENERAL PURPOSE; RELATIONSHIP TO GENERAL USE ZONING DISTRICTS

→ The overlay zoning districts of this article are intended to apply in combination with the underlying general use zoning districts to impose regulations and standards in addition to those required by the general use districts. The requirements of an overlay district shall apply whenever they are in conflict with those in the general use district. The following overlay districts are hereby created:

- (A) Historic Districts;
- (B) Archaeological Review Districts;
- (C) Arts and Crafts District;
- (D) Highway Corridor Protection Districts;
- (E) Escarpment Overlay Districts; and
- (F) PUD Planned Unit Development District.
- (G) Residential Suite Hotel/Motel District.

(Ord. No. 2001-38 § 2; Ord. No. 2002-37 § 22)

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the City and to ensure the harmonious, orderly and efficient growth and development of the City, it is deemed essential by the Governing Body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and

(C) Regulation of Significant and Contributing Structures in the Historic Districts

- (12) Defective or lack of weather protection for exterior wall covering, including lack of paint, or weathering due to lack of paint or other protective covering; or
- (13) Any fault or default in the building or structure that renders the same structurally unsafe or not properly watertight.

(C) Regulation of Significant and Contributing Structures in the Historic Districts

(Ord. No. 2004-26)

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

(2) Designation of Significant, Contributing, or Noncontributing Status within Historic Districts

(a) Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing" based upon the definitions of these terms in Article 14-12. Staff shall maintain a record as to the current status of structures located in the Historic Districts.

demonstrate and the Board shall make a positive finding of fact that such exceptions comply with all the criteria listed as follows:

- (i) Do not damage the character of the streetscape;
- (ii) Prevent a hardship to the applicant or an injury to the public welfare;
- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts;
- (iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape;
- (v) Are due to special conditions and circumstances which are not a result of the actions of the applicant; and
- (vi) Provide the least negative impact with respect to the purpose of this section as set forth in §14-5.2(A)(1).

(D) General Design Standards for All H Districts

In any review of proposed additions or alterations to structures that have been declared significant or contributing in any Historic District or a landmark in any part of the City, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
- (b) If a proposed alteration or new construction will cause an adjacent structure to lose its significant, contributing, or landmark status, the application may be denied.

(2) Additions

- (a) Additions shall have similar materials, architectural treatments and styles, features, and details as the existing structure, but shall not duplicate those of the existing structure in a manner that will make the addition indistinguishable from the existing structure.

(4) Porches and Portals

Existing porches or portals shall not be enclosed.

(5) Windows, Doors, and Other Architectural Features

(a) For all facades of significant and landmark structures and for the primary facades of contributing structures:

(i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.

(ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.

(iii) No existing opening shall be closed.

(b) For all facades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

(6) Roofs

The existing roof styles and materials shall be maintained or replaced in kind if necessary. The addition of dormers or other roof features should only be considered when they are an existing or historical feature of the structure.

(7) Surface Cleaning

The surface cleaning of structures, when undertaken, shall employ the gentlest means possible. Chemical or physical treatment, such as sandblasting, that causes damage to historic materials, is not permitted.

(8) Archaeological Resources

Discovery of archaeological resources made during the Historic Districts review process shall be referred to the Archaeological Review Committee.

Mr. Barrow asked what the windows would look like.

Mr. Durán said they would be true-divided light windows.

Ms. Rios moved for approval of Case #H 04-104, per staff recommendations, with positive finding of fact regarding the requested exceptions and with the condition that the portal be eliminated as well as the exposed viga ends and the windows being divided to meet the 30" rule and the final design submitted to staff for final approval. The motion was seconded by Mr. Barrow and passed by majority voice vote with all voting in favor except Ms. Farrar who voted against.

- 4. Case #H 03-114. 515 Paseo de Peralta, Tract 1. Downtown and Eastside Historic District. Lorn C. Tryk, agent for Erik Fuentes, propose architectural details for a residential compound of seven units, previously approved by the HDRB.**

Ms. Farrar recused herself from consideration of this case.

Mr. Rasch presented the staff report for this case [attached as Exhibit G]. The staff reported recommended approval of the project as submitted.

Present and sworn was Mr. Lorn Tryk, 206 McKenzie, who corrected the staff report by saying that the railings were 36" high, being 4" off the deck. He said they proposed the Artesano's Estrella fixture for use under the portal. He added that the stucco color was STO Pecos and Pella Tan for the windows.

Chair Purvis asked where the rail would be placed. Mr. Tryk said it was on Unit 5.

Chair Purvis asked where the shutters were. Mr. Tryk said they were on Units 4 and 5.

Chair Purvis asked where the exposed vigas were. Mr. Tryk said they were on units 2 and 7.

Mr. Tryk showed the other details. He said that all exterior wood would be stained brown.

Mr. Barrow asked about the viga end details. Mr. Tryk said they would be chopped, beveled and with caps.

Ms. Shapiro asked about the corbels. Mr. Tryk said they would be the same shape.

Mr. Tryk showed the interior wall details. He said they would be 12" thick and three to three and a half feet high.

Ms. Shapiro asked about the reveal around the window sides. Mr. Tryk said the windows would be recessed approximately 2.5". He said the doors would be done in the same way.

Chair Purvis asked if the viga ends would be publicly visible. Mr. Tryk said they would but the caps would not be seen.

There were no speakers from the public regarding this case.

Mr. Barrow moved for approval of Case #H 04-114 per staff recommendations. Mr. Montoya seconded the motion.

Mr. Barrow asked if there would be any other submittals. Mr. Tryk said there would be no others unless they made further changes.

The motion passed by majority voice vote with all voting in favor except Ms. Farrar who had recused herself.

Ms. Farrar rejoined the bench at this time.

5. **Case #H 04-120.** 767½ Acequia Madre. Downtown & Eastside Historic District. Howard Mier, agent for Diana Olguin, proposes to build a stucco wall at front, add gate, and re-construct carport.

Mr. Rasch presented the staff report for this case [attached as Exhibit H]. The staff report recommended approval of the project as submitted.

Mr. Rasch distributed copies of the letter of support by the Neighborhood Association [attached as Exhibit I].

Present and sworn was Mr. Howard Mier, 1704-B Llano Street. He said he felt the Council would like something other than chain link fence here. He said the gate was five feet, set back, and made of wood with a metal backing. He said it would have tongue and groove boards which were rough sawn and laminated. He said it would be stained an antique grey to match existing.

Ms. Shapiro asked about the acequia.

5. Case #H 04-114. Tract 1, Paseo de Peralta (adjacent to #515). Downtown and Eastside Historic District. Lorn C. Tryk, agent for Erik Fuentes, proposes to construct a residential compound of seven units at a total of 10,168 sq. ft. to the maximum allowable height of 17' 6" plus 2 additional feet per Board approval. An exception is requested to partially demolish an historic stone wall per Section 14-5.2 (D,1,a).

Mr. Rasch presented the staff report for this case [attached as Exhibit F]. The staff report recommended approval of all but the exception request for historic wall demolition and deferred to the Board on that issue.

Ms. Farrar recused herself from consideration of this case.

Present and sworn was Mr. Erik Fuentes, who said the objective for this property was to make the best use of it. He said they had talked with all the neighbors around it. He said the corner piece (formerly Unit 8) was 90% under contract with a neighbor to purchase it when the remaining issues were worked out. He said the neighbor told him he was not planning to do anything with it for at least a year.

He briefly introduced the other members of his team.

Ms. Rios asked if the removal of the wall was the only way this property could be accessed. Mr. Fuentes agreed and briefly explained all the other possibilities and why they could not be done. He added that the height of the wall was unsafe.

Ms. Rios asked how the erosion and run off issues would be addressed. She said she understood the City built the wall to deal with them.

Present and sworn was Mr. Lorn Tryk, 206 McKenzie Street, who said that he wanted to fill in a couple of the blanks. He said the project started in floor area at 11,176 and currently is proposed at 8,091 square feet for a reduction of approximately 20%. He said they removed about 1,420 square feet of second floor space. He noted that Unit 4 was moved back and stepped back. He said the open space had been increased 1750 square feet which was three to four times what was required.

Mr. Tryk said that by not accessing through Loma Street solved the erosion problem. He said the impact was considerably less than first proposed.

Regarding exceptions, he said that about 11% at the western end was proposed for demotion. He reminded them that last time there was a worry about the impact on the

street and particularly about Unit 8. He suggested that they had come a long way in meeting the concerns of the Board.

He said he walked around the neighborhood and he showed the pictures he took of those neighboring structures, all of which were taller.

Mr. Barrow said the pictures were helpful. He asked how old the wall was.

Mr. Rasch said the wall was the same age as the Contributing building, in the late 19th century. He said he thought the wall would have to be modified. He said he was concerned about the design. He said he favored transition to the new wall but did not favor having the new wall mimic the old one.

Mr. Rasch said that perhaps they could have the foundation of the wall revealed in the pavement at the access. He said that would help transition to the new design wall.

Mr. Tryk said they would come back with detail treatments.

Ms. Rios said the transition was a good suggestion to distinguish the old from the new. She complimented the applicants for their reductions.

Ms. Rios asked for the setback distance of the second stories. Mr. Tryk said they were 30', 45', and 37'. He said the impact was low because they were dug into the hillside. Mr. Rasch agreed.

Mr. Tryk said he did not find an exact date for the age of the stone wall. He said the survey said the apartment building was 1890's.

Ms. Rios asked what materials of construction would be used. Mr. Tryk said they would be frame stucco and concrete stucco. He said the entire back of the two-story buildings were concrete because they were retaining.

Chair Purvis said this was just preliminary. Mr. Tryk said he was seeking final approval but would bring back the details for approval.

Ms. Rios asked what would be on the rooftops. Mr. Tryk said there would be no rooftop equipment.

Mr. Barrow asked what lighting would be in the parking area. Mr. Tryk said there would be no up-lighting. He said it was all down lighting and no floodlights would be used.

Chair Purvis asked for the on-story height. Mr. Tryk said it was 13' 6".

Ms. Rios asked for the two-story heights. Mr. Tryk said they were 19' 6".

Mr. Montoya asked what additional open space there would be besides parking.

Mr. Tryk said there would be back yards and side yards.

Mr. Montoya asked about vegetation. Mr. Tryk said they would have trees and other plantings.

There were no speakers from the public regarding this case.

Ms. Rios asked for the square footage of the single story units. Mr. Tryk said #1 was 1,129 square feet, #2 was 1,178, #3 was 1,198, #4 was 1,199, #5 was 1,198, #6 was 1,191, and #7 was 1,198.

Mr. Montoya moved for approval of Case #H 04-114 per staff recommendations with a positive finding of fact for the exception, with the outline of the existing foundation of the wall to be retained in the drive and details, including details of the wall to be brought back to the Board. Ms. Rios seconded the motion. The motion passed by majority voice vote with all voting in favor except Ms. Farrar who voted against.

6. **Case #H 04-116.** 1104½ Camino San Acacio. Downtown & Eastside Historic District. Andy Lyons, agent for Jimmy and Jennifer Day, proposes to construct a 5,492 sq. ft. residence to the maximum allowable height of 16' 1" plus 2 additional feet per Board approval.

This case was postponed under Approval of the Agenda.

7. **Case #H 04-118.** 234-A Rodriguez. Downtown and Eastside Historic District. Christina Alfieri & Mike Schriber, agents/ owners, propose a 1277 sq. ft. single family residence to a height of 13' 2" where the maximum allowable height is 13' 7".

Mr. Rasch presented the staff report for this case [attached as Exhibit G]. The staff report recommended approval of this case without any conditions of approval.

Ms. Rios asked how this differed from the previous submittal. Mr. Rash said they changed the design style with brick coping and window and door surrounds.

Mr. Bell asked that the motion be amended to have the lights turned off at night.

Ms. Rios said she would keep the lights on but said **the Board should have the right to restrict the hours.**

Ms. Shapiro agreed.

The motion passed by unanimous voice vote.

Mr. Rasch clarified that if it appears this was too dim, the applicant could return to request more. The Board members agreed with this provision.

Ms. Bell said that the height not to exceed 17' was implied.

2. **Case #H 04-114** 511 Paseo de Peralta. Downtown & Eastside Historic District. Roger Hunter, agent for Blessey, Fuentes, & Zeug, proposes to alter a previously approved multi-family development with portal changes and stairway additions.

Mr. Rasch presented the staff report for this case [attached as Exhibit C]. The staff report recommended approval of this application which complies with Section 14-5.2 (E) Downtown & Eastside Historic District design standards.

Present and sworn was Mr. Steve Russell, 105 Camino Encantado, who showed each change (highlighted in yellow) beginning with the streetscape area. He said some portal reductions were to reduce lot coverage to less than 40% and acknowledging that the previous approval meant they had exceeded 40% of lot coverage. He said the windows that were removed were taken out because of the code requirements on zero lot line building.

Mr. Russell said that the common open space was on the back side and the west side has retaining walls. He added that they removed a section of wall that violated ADA standards. He said the stairways were to access open common areas. He briefly commented on the stair railings. He said that on the east elevation, windows were not allowed by zoning.

Mr. Bell said the staff report emphasized an overall change on the drawings. He pointed out that the old drawings were a different style. He pointed out that the new, non-battered walls and non-rounded edges were very different.

Mr. Russell said it was due to CAD drawings. He said they had no problem with battering but probably not the whole wall.

Chair Purvis said they could do battered walls. He pointed out that what the Board approved was the bottom three feet being battered. He said they could use wafer board and the Board should

not have to review what was approved for the character. He added that there was no height change in these drawings but said the air conditioner units could not be on the street side.

Ms. Shapiro referred to page 28 and asked where the shutters were located.

Mr. Russell said they were on the north elevation in the courtyard.

Ms. Shapiro said the reveal around the headers and windows needed to be soft.

Ms. Rios said that could be included in the motion.

In response to Ms. Farrar, Mr. Russell briefly explained the changes to the portals.

There were no speakers from the public regarding this case.

Mr. Bell referred to pages 28 and 29 and asked if that was part of the approval.

Mr. Rasch said it was at the final hearing.

Mr. Bell asked about the rails.

Mr. Russell said they could change the stairways with a screening plastered wall.

Ms. Shapiro noted the STO stucco listed on the detail sheet and asked if that had been approved by the Board.

Mr. Rasch said those were new details.

Chair Purvis said that, rather than going through point by point, it would be better to stick with what the Board originally approved and to identify changes from it which the Board approved. As an example, he said he did not want to go back to the height issue.

Mr. Rasch said nothing was stated about stucco in the original approval.

Ms. Farrar asked if she should recuse herself since she was not present at the prior approval.

Mr. Rasch said that was not necessary.

Ms. Rios said she felt the motion should go elevation by elevation.

Ms. Shapiro moved to approve Case #H 04-114 with the following conditions: 1) on the street-facing, south façade, that the portal remain as originally drawn and approved on Unit 2; that the window be removed because of zero lot line; that on Unit 7, the two windows be eliminated; that the railing become a stucco wall to cover the railing; that the air

conditioner units be moved to another location, not publicly visible nor on the roof; that on Unit 1, partial west-facing façade window remain the same size; that the little trash walls be included; that the handicapped ramp is approved with the small wall be removed and that the portal there be shortened; 2) on South-facing façade (Units 4-7), that the handrails on the stairwell become a solid masonry wall; that the air conditioning units be screened; that Unit 5 be stepped back as in the original drawings; that the planter be removed and a handicapped ramp be installed; 3) on the North façade of the back of Units 4, 6, 7, that the air conditioning units be screened; that the railings become a solid masonry wall with the handrails on the inside; 4) on the East façade, that the portal on Unit 7 be reduced in size, that the double French doors be changed to a window; that the chimney on the outside have a mechanical chase; that the windows on the zero lot line be removed; 5) on the West elevation, the portal on Unit 3 be changed as requested; that the window be relocated and smaller in size; that the staircase becomes a masonry wall; that the electrical cabinet be approved and the color notes on page 29 be approved Ms. Rios seconded the motion.

Mr. Rasch said having the portal on Unit 2 remain as originally approved would be a problem.

Chair Purvis said it meant that something that was not publicly visible would have to be reduced instead. He asked the applicant if that could be done.

Mr. Russell said it could be done.

Chair Purvis said that included in the motion should be: **that there be no changes in height, no floor height changes, no difference in the look of the building so the battering be preserved.**

Mr. Bell said that his understanding was that the drawings were only being used to identify changes from the original approval. Chair Purvis agreed.

Ms. Shapiro agreed

Chair Purvis said the nature of the stucco and the battering needed to be included.

Ms. Shapiro added to her motion that in the typical notes on page 29 where stucco was listed as a STO product would instead be a cementitious stucco and on page 26, the copper down spout be in a traditional material and color matching the building as reviewed and approved by staff; that the walls be battered, the parapets be rounded, the reveals be at least 4" in depth, including the lintels, and the corners rounded as in the original plans. Ms. Rios agreed with those additions to the motion.

Mr. Bell asked if there were directions on the specifications for the windows.

Mr. Russell requested that they allow simulated divided windows but true divided lights were in the original approval.

Mr. Bell said the window specs that were approved should remain. He said that the drawings given to the builder must be as the Board approved.

Mr. Russell said the notes would be changed.

Mr. Bell asked about the canales.

Mr. Rasch said the proposal was for copper lined canales with carved supports.

Ms. Shapiro said that copper patina'd canales were fine.

Mr. Bell asked if there were any changes to roof top appurtenances.

Mr. Russell said no.

The motion passed by unanimous voice vote.

3. **Case #H 05-145.** 201 Ambrosio. Westside-Guadalupe Historic District. Ted & Barbara Seeley, agents/owners, propose to construct an approximately 80 sq. ft. addition, an approximately 32 sq. ft. portal, and re-install a window on a Contributing property.

Ms. Barrett presented the staff report for this case [attached as Exhibit D]. The staff report recommended approval on the condition that the west elevation door detail be brought to staff for approval. Otherwise, this application complies with Section 14-5.2 (C) Regulations for Contributing Structures and Section 14-5.2 (I) Westside-Guadalupe Historic District design standards.

Present and sworn was Mr. Ted Seeley, Box 176, Tesuque, who said he had been thinking about the wall where it meets the coyote fence and said he would like to replace that section of coyote with adobe wall to the corner and a pillar there.

Mr. Rasch said that if it was altered, he would have to comply with the safety visibility triangle which would mean it had to come down to three feet high for a length of twenty feet.

Chair Purvis said if the design is approved by zoning, the applicant could bring it back for review. He asked about the condition.

Ms. Barrett said the detail for the door needed to be reviewed by staff.

Chair Purvis explained to the applicant that the detail did not have to be presented at this meeting but would have to be submitted to staff for review.

There were no speakers from the public regarding this case.

LAW OFFICES OF
ROSANNA C. VÁZQUEZ

May 14, 2007
VIA HAND-DELIVERY

Mr. David Rasch
Historic Preservation Planner
P.O. Box 909
Santa Fe, New Mexico 87504

Re: Request for Special Exception - Paseo Compound
Real Estate Investment Partners

Dear Mr. Rasch:

On behalf of owners of Real Estate Investment Partners owners of Paseo Compound, I submit application for a request for Special Exception to allow the applicant to make modifications to a stone wall bordering Paseo de Peralta and the lot in question. We would respectfully request this item to be placed on the May agenda.

As background for this particular request, Paseo Compound came before the Board in Fall of 2004, requesting a special exception for the partial removal of a wall, in order to expand the driveway entrance. The Board approved a partial removal of the wall, to accommodate access to the driveway. After such approval, the owners obtained a driveway permit (February 8, 2005), which was signed off by then Public Works Director John Nitzel. After obtaining a driveway permit, Real Estate Investment Partners was told that a development plan would need to be submitted and approved. This was completed and we were in the midst of obtaining signatures when Public Works concern of safety was brought to the forefront and our attention.

The concern raised by John Romero, was that the existing configuration as previously approved by Historic Review did not provide sufficient intersection sight distance. Public Works cites AASHTO standards stating "a sufficient sight triangle be provided for vehicles wanting to exit the development." In order to obtain sufficient sight distance, the existing wall will need to be removed and replaced with a lower stucco wall. As such we are submitting this request for a special exception to remove the wall as a result of such public safety concerns raised by Public Works.

The owners are caught between the concerns of the two departments focusing on their own concerns. Historic is concerned with protecting the historic nature of the city, and the integrity of the wall; whereas Public Works' concern is focused on site distance and public safety of citizens of Santa Fe.

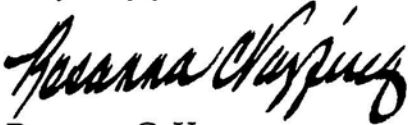
The decision previously made by Historic did not allow for a sufficient sight distance to protect passerby's and those exiting the driveway. The design submitted herewith removes the entire wall, and replaces the wall with a stucco wall. In our previous hearings, when the issue was raised as to what type of wall should replace the existing wall, there was very clear direction given that Historic did not look favorably on a wall constructed to look like an old wall, and rather preferred a stucco wall.

We respectfully request Historic Review consider the plans as submitted, balance the concern raised by Public Works, and provide a decision on this current proposal.

I enclose copies of the application, response to the special exception criteria, proposed and existing design plan, site plan, and correspondence from John Romero. It is our understanding from discussions with John Romero that a letter from Public Works will be forwarded directly to you on this matter.

On behalf of Real Estate Investment Partners, I thank you for your attention to this matter. I ask you to resolve this issue so that we may move forward with this project. Should you have any questions, please do not hesitate to call.

Very truly yours,



Rosanna C. Vazquez

cc: Real Estate Investment Partners

ANSWERS TO CRITERIA FOR SPECIAL EXCEPTION REQUEST
BY
REAL ESTATE INVESTMENT PARTNERS
PASEO COMPOUND
MAY 14, 2007

1. Damage the character of the streetscape:

The proposed request leaves intact the portion of the wall by the existing historic home. The new construction is directly across the street from a similar wall of the Bank parking lot. The portion of the wall being removed would front the new construction.

2. Prevent a hardship to the applicant or an injury to the public welfare:

Maintaining the rock wall would cause a deficiency in sufficient sight distance, and would have an adverse impact on the public safety of the citizens of Santa Fe. In addition, without removal of the rock wall and replacement of the wall with a lower stucco wall, Public Works will not issue a driveway permit.

3. Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts:

The integrity of the historic nature of the area is being maintained by retaining the wall in front of the existing historic home. The new construction will continue the pueblo style of the area, harmonizing with the wall and construction directly across the street and contrast with the adjacent architecture.

4. Are due to special circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape:

The topography and the narrowness of the lot makes it very difficult to achieve a safe line of sight and maintain the integrity of the existing wall.

5. Are due to special conditions and circumstances which are not a result of the actions of the applicant:

The wall as it stands does not allow sufficient sight distance to allow safe egress from the lot. There is no other ingress and egress to the lot.

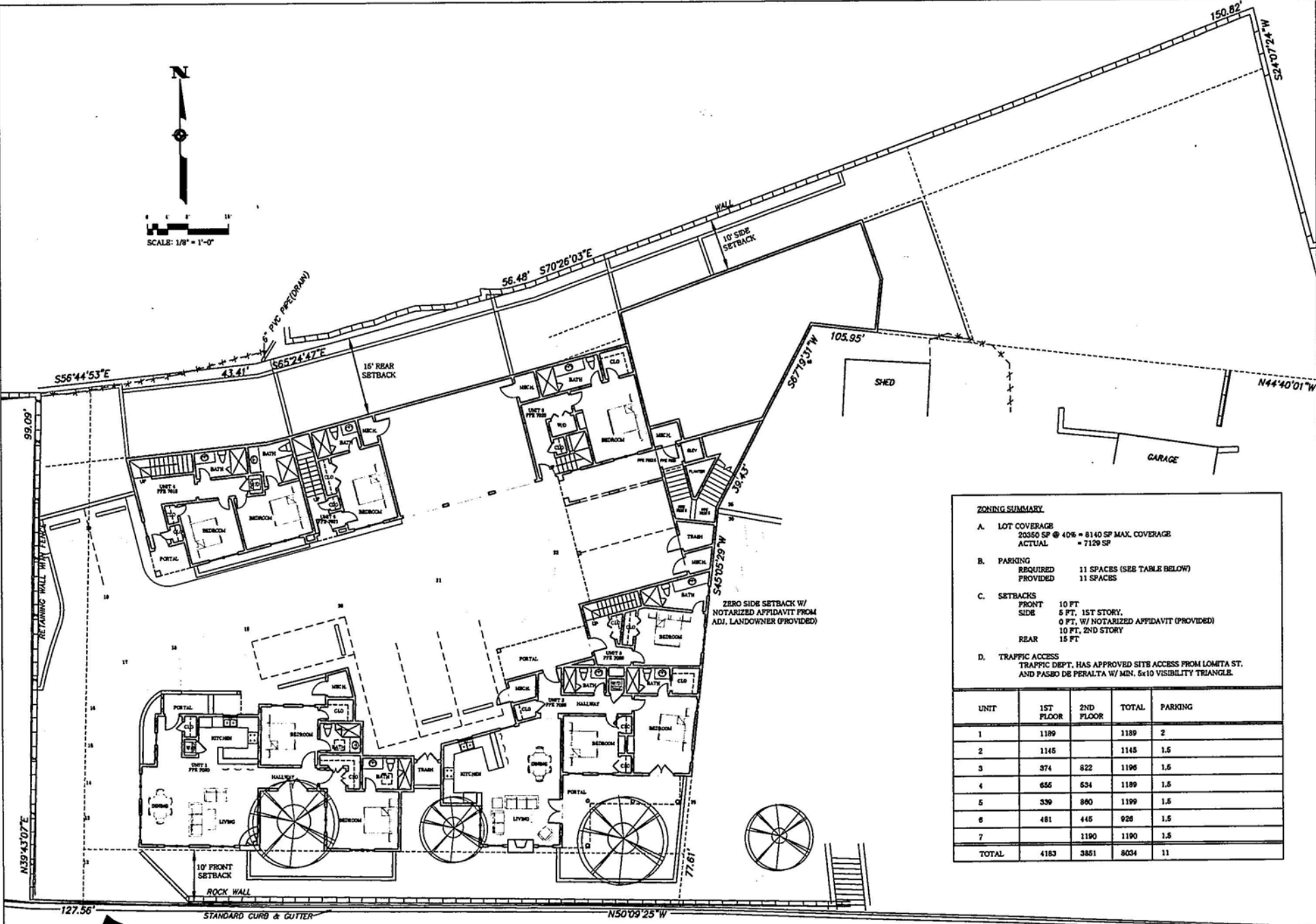
6. Provide the least negative impact with respect to the purpose of this section as set forth in Section 14-5.2(a)(1):

There is no manner to lower the height of the existing wall. The wall is approximately 125 feet wide and 18 inches thick, making it impossible to cut through and lowered. In addition the wall could not withstand such impact and would most likely fall apart. A stucco wall is the most prudent approach as it blends into the surrounding area, and does not mimic a historic wall.

RESPECTFULLY SUBMITTED,

REAL ESTATE INVESTMENT PARTNERS

By: 
Rosanna C. Vazquez
Legal Counsel



ZONING SUMMARY

A. LOT COVERAGE
 23350 SF @ 40% = 8140 SF MAX. COVERAGE
 ACTUAL = 7129 SF

B. PARKING
 REQUIRED 11 SPACES (SEE TABLE BELOW)
 PROVIDED 11 SPACES

C. SETBACKS
 FRONT 10 FT
 SIDE 5 FT, 1ST STORY,
 0 FT, W/ NOTARIZED AFFIDAVIT (PROVIDED)
 10 FT, 2ND STORY
 REAR 15 FT

D. TRAFFIC ACCESS
 TRAFFIC DEPT. HAS APPROVED SITE ACCESS FROM LOMITA ST.
 AND PASEO DE PERALTA W/ MIN. 5x10 VISIBILITY TRIANGLE.

| UNIT | 1ST FLOOR | 2ND FLOOR | TOTAL | PARKING |
|-------|-----------|-----------|-------|---------|
| 1 | 1189 | | 1189 | 2 |
| 2 | 1145 | | 1145 | 1.5 |
| 3 | 974 | 822 | 1196 | 1.5 |
| 4 | 656 | 634 | 1189 | 1.5 |
| 5 | 339 | 860 | 1199 | 1.5 |
| 6 | 481 | 445 | 926 | 1.5 |
| 7 | | 1190 | 1190 | 1.5 |
| TOTAL | 4183 | 3851 | 6034 | 11 |

LORN TYPK ARCHITECTS
 206 McManis, Suite B7
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5140 Fax: 505-982-5193
 E-Mail: lorn@lorn.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

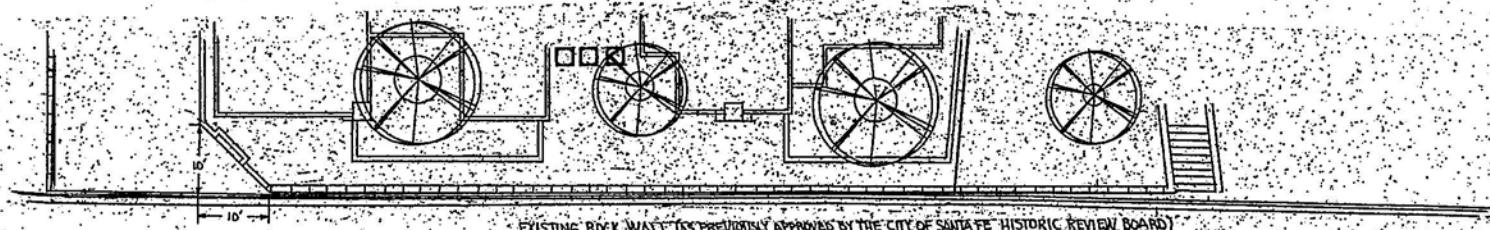
Date: _____
 Project: _____
 Drawn by: _____
 Checked by: _____
 Job Number: 0426
 Sheet Title: SITE PLAN/
 1ST FLOOR
 PLAN
 1/8" = 1'-0"
 Sheet No. _____

Z:\0426-PASEO COMPOUND\1ST FLOOR PLANS.DWG (10-28-04 4:07 PM) AKT

↑
driveway access

Paseo Compound

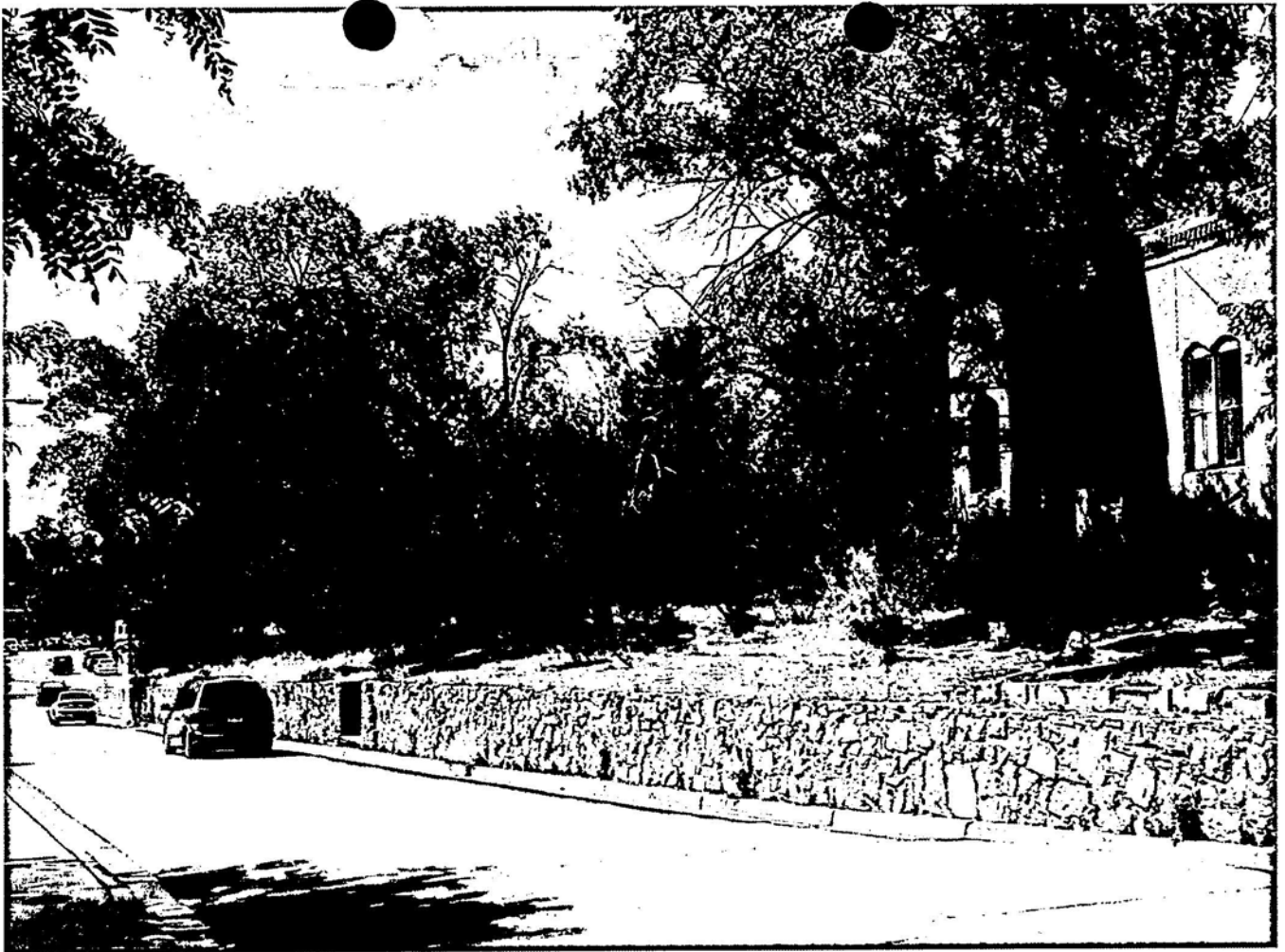
511 Paseo de Peralta
Santa Fe



EXISTING ROCK WALL (AS PREVIOUSLY APPROVED BY THE CITY OF SANTA FE HISTORIC REVIEW BOARD)

SCALE: 1/8"=1'

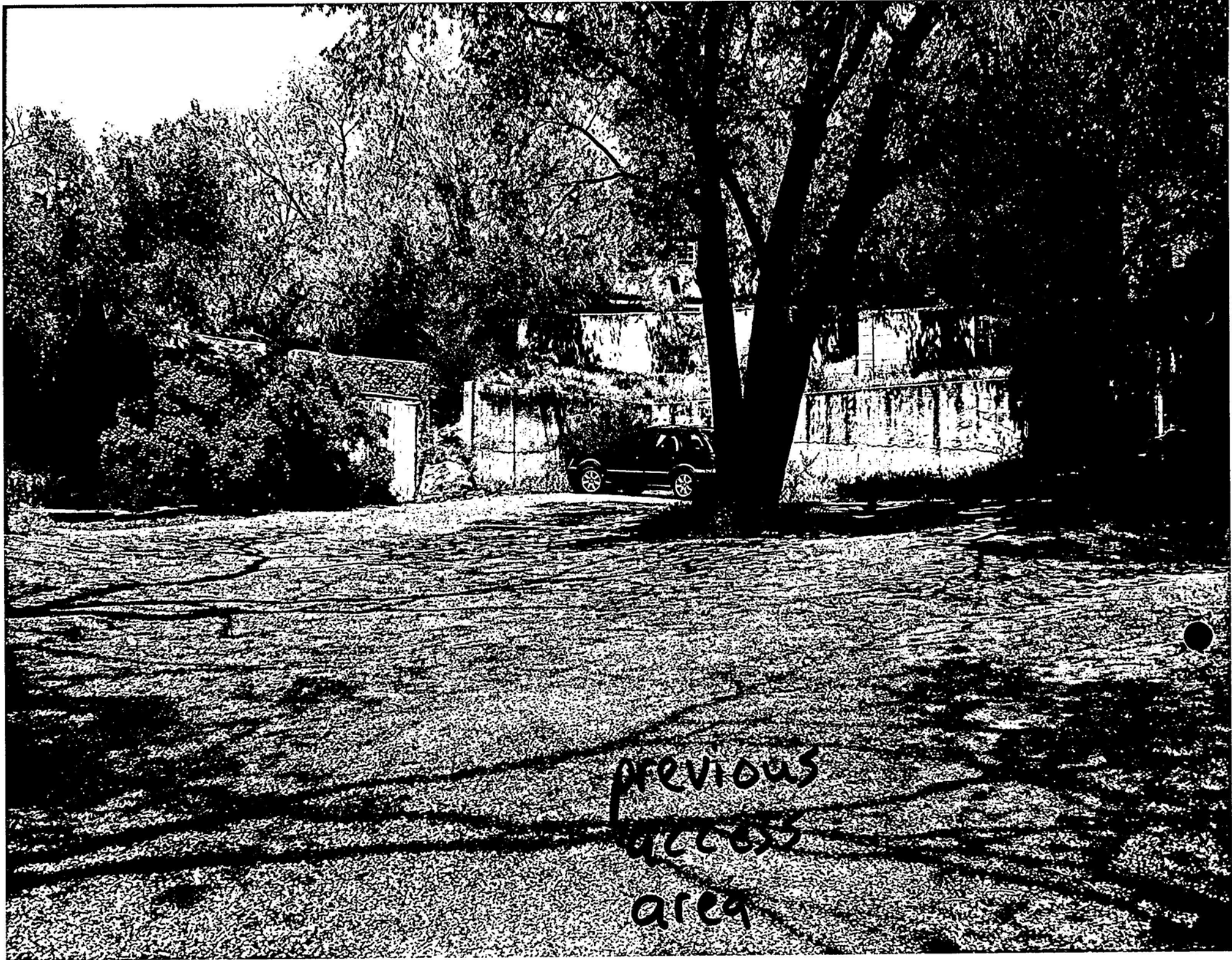
as approved September 2005



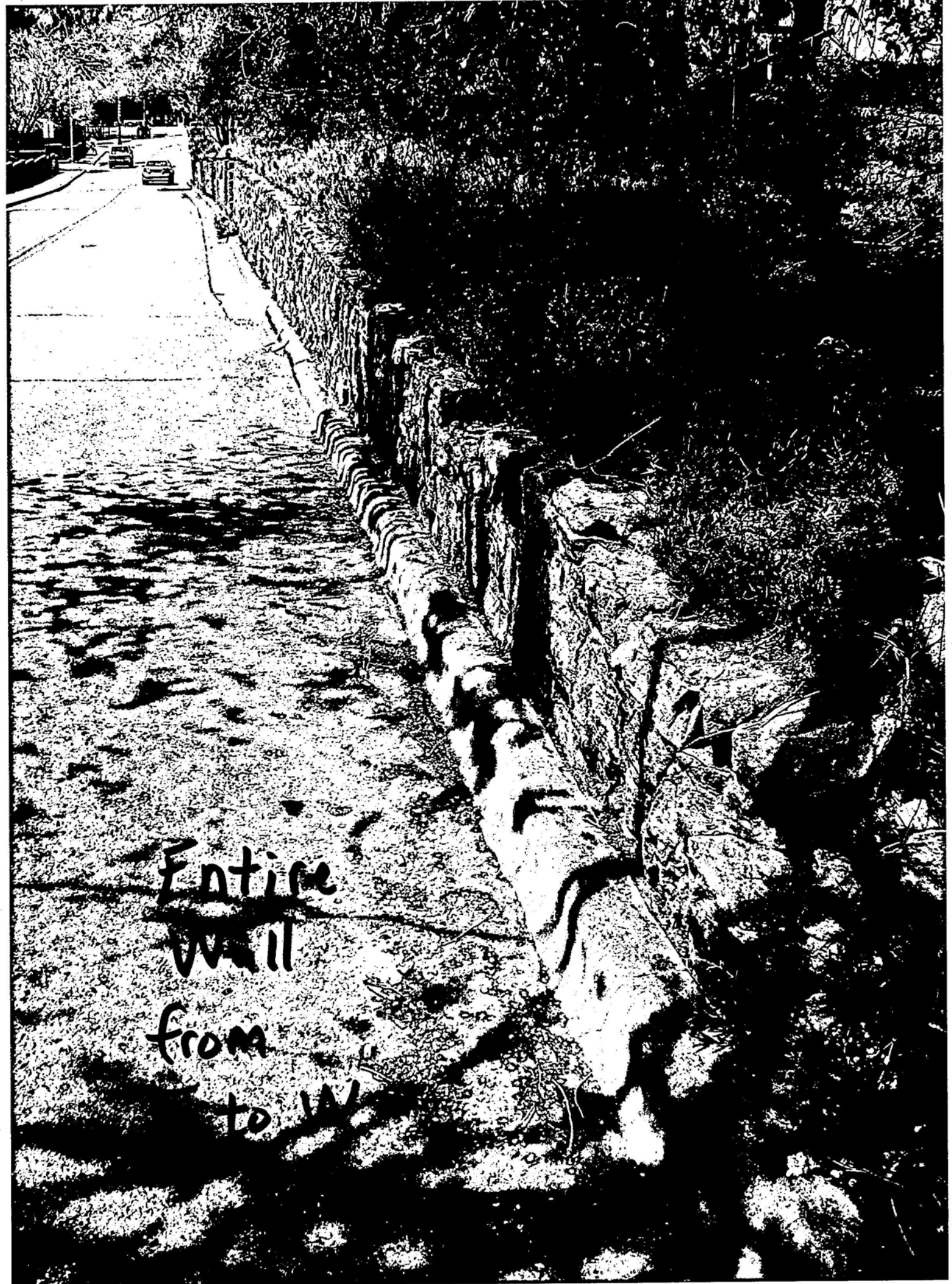
LOOKING NORTHWEST



LOOKING NORTHEAST



previous
access
area



Entire
Wall
from
to W

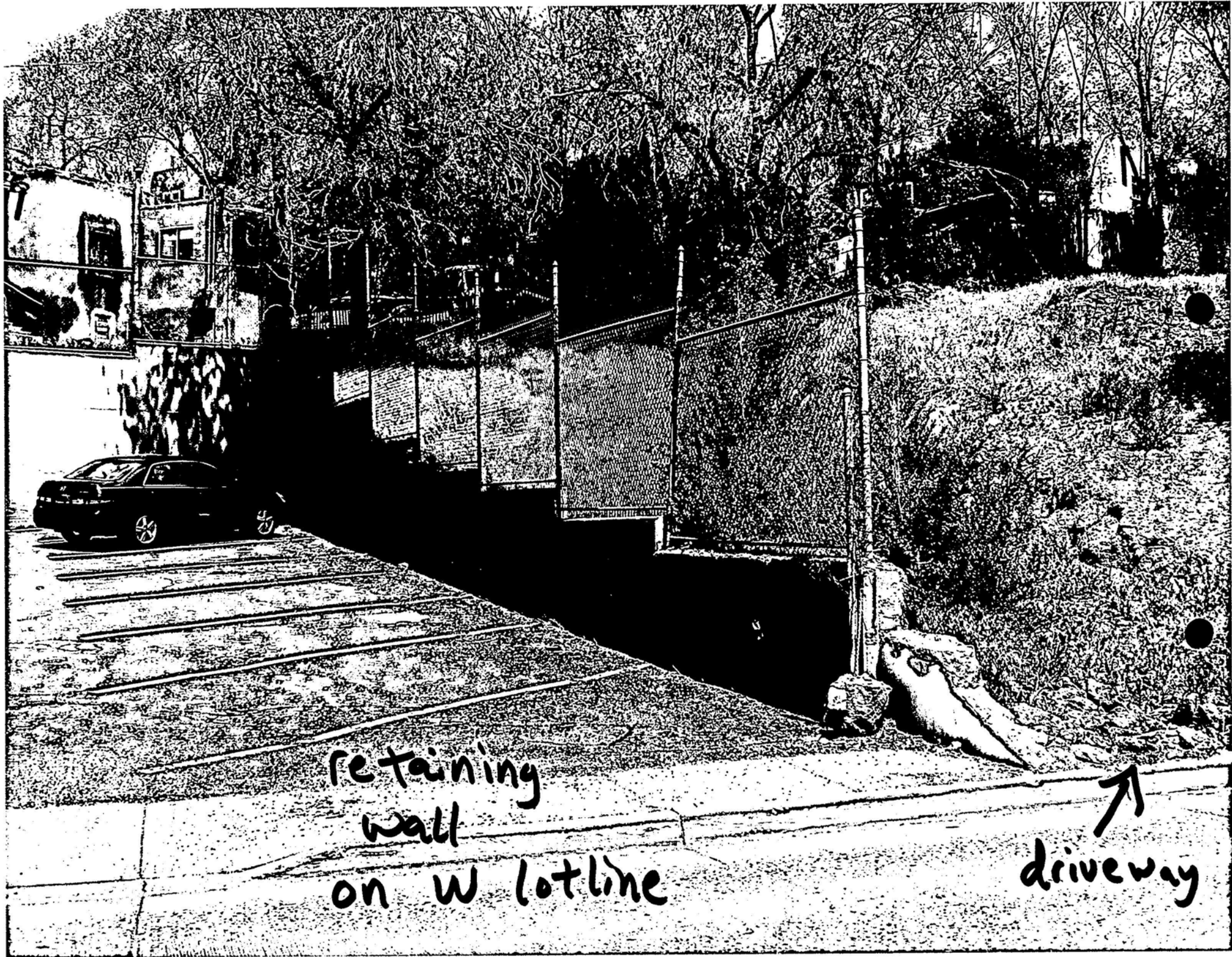


entire driveway
opening



↗
driveway

driveway opening
at W end



retaining
wall
on W lotline

↑
driveway



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

David Coss, *Mayor*
Asenath Kepler, *City Manager*

Councilors:
Miguel M. Chavez, Mayor Pro Tem, Dist. 3
Patti J. Bushee, Dist. 1
Chris Calvert, Dist. 1
Karen Heldmeyer, Dist. 2
Rebecca Wurzbarger, Dist. 2
Carmichael A. Dominguez, Dist. 3
Matthew E. Ortiz, Dist. 4
Ronald S. Trujillo, Dist. 4

Project description: Remodel an historic stone wall along the streetscape. An exception to remove historic material is requested (Section 14-5.2,D,5,b).
Project number: 04-10100114
Case number: H-04-114
Project type: HDRB

PROJECT LOCATION (S): 511 Paseo de Peralta

PROJECT NAMES:

OW - Ron Blessey, Eric Fuentes, Michael Zehg
Lamy, NM 87540

#10 Camino Caballos Spur
505-466-2404

AP - Roger Hunter
Santa Fe, NM 87501


300 Paseo de Peralta
505-986-8060

BOARD ACTION

This is to certify that the Historic Design Review Board (HDRB) at their meeting on, May 22, 2007, acted on the above referenced case. The decision of the board was to deny your request citing that exception criteria number 1 was not met by determining that the streetscape would indeed be damaged by removal of 72 feet of the historic stone wall and that the applicant should diligently pursue alternatives to demolition of historic fabric, of which many ideas were identified at the hearing.

For further information please call 955-6605.

Sincerely,


David A. Rasch
Historic Preservation Planner

NOTE: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.). YOUR PERMIT WILL BE DENIED IF THERE ARE ANY CHANGES ON PLANS THAT WERE APPROVED BY THE HDRB OR IF CONDITIONS OF THE APPROVAL ARE NOT MET. PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.

RASCH, DAVID A.

From: KATZ, FRANK D
Sent: Monday, May 07, 2007 11:45 AM
To: ROMERO, ROBERT P; HIATT, JOHN (JACK) B.; RASCH, DAVID A.
Cc: LOVELY, ANNE L.; BULLER, GALEN M.
Subject: RE: clarification needed

While I agree that these are the "minimum requirements" but we do have a conflict with the Historic Overlay District. Section 14-5.1 clearly states that "The requirements of an overlay district shall apply whenever they are in conflict with those in the general use district."

Historic would like to preserve the entire wall. Arguably that should control. But the H-Board has granted an exception to conform to the view triangle at 14-7.4(D)(4)(b). I think that is as far as we can push it.

I realize that a longer view triangle would be safer. So would a shoulder, a sidewalk and greater setback for the entire property. But if we required the maximum safety, the Historic District would be destroyed.

Yes I do think we need to meet.

Frank

-----Original Message-----

From: ROMERO, ROBERT P
Sent: Monday, May 07, 2007 11:28 AM
To: KATZ, FRANK D; HIATT, JOHN (JACK) B.; RASCH, DAVID A.
Cc: LOVELY, ANNE L.; BULLER, GALEN M.
Subject: FW: clarification needed

Frank,

Please read below. If you think we need to meet again, we'd be glad to sit down and discuss the issue.

Let me know.

Robert P. Romero, P.E.
 City Of Santa Fe
 Public Works Department Director
 (505)955-6621 - phone
 (505)955-6627 - fax

-----Original Message-----

From: ORTEGA, CHRIS A.
Sent: Monday, May 07, 2007 11:19 AM
To: ROMERO, ROBERT P
Cc: ROMERO, JOHN J
Subject: RE: clarification needed

I think John already sent you this, but I want to reemphasize the words "minimum requirements" and "safety" in this ordinance citation (also from Chapter 14). David is not correct if he is asserting that the (one) sight triangle in Chapter 14 is the singular legal "standard". Concluding that we are not following it would be correct ONLY if someone believes that it is the single, all-encompassing standard.

05/22/2007

Bottom line: the singular sight triangle in Chapter 14 is the minimum requirement, not the singular standard.

co

14-1.4 MINIMUM REQUIREMENTS

In their interpretation and application, the provisions of this chapter are minimum requirements, adopted for the promotion of the public health, safety, convenience, comfort, morals, prosperity, or general welfare. (Ord. No. 2001-38 § 2)

-----Original Message-----

From: ROMERO, ROBERT P
Sent: Monday, May 07, 2007 9:42 AM
To: ROMERO, JOHN J; ORTEGA, CHRIS A.
Subject: FW: clarification needed

Thoughts?

Robert P. Romero, P.E.
 City Of Santa Fe
 Public Works Department Director
 (505)955-6621 - phone
 (505)955-6627 - fax

-----Original Message-----

From: KATZ, FRANK D
Sent: Friday, May 04, 2007 11:43 AM
To: RASCH, DAVID A.; HIATT, JOHN (JACK) B.; LOVELY, ANNE L.
Cc: ROMERO, ROBERT P; BULLER, GALEN M.
Subject: RE: clarification needed

I do think David has a point.

Frank

-----Original Message-----

From: RASCH, DAVID A.
Sent: Friday, May 04, 2007 9:59 AM
To: HIATT, JOHN (JACK) B.; KATZ, FRANK D; LOVELY, ANNE L.
Subject: clarification needed

Hi All,

I need clarification regarding the historic stone wall at the Paseo Compound and the driveway visibility standard. I am unclear as to why a standard which is not in Chapter 14 is being applied to this project, especially since the Chapter 14 standard is clear and planners use it consistently elsewhere in the historic districts. The general rules for measurement and exceptions 14-7.4 D, 4, b, i page 739 is quite clear in requiring a 26' by 13' triangle in which nothing can be over 3' high and below 8' high. An exception was granted by the Historic Design Review Board for this triangle under the advice of John

Nitzel. Additionally, I understand from legal advice that interpretation of the code is allowable only when the code is unclear. I am not debating whether the current legal standard is safe or not, but need to know why we are not following it.

Thank you.

David Rasch
Historic Preservation Section Head
City of Santa Fe

LAW OFFICES OF
ROSANNA C. VÁZQUEZ

June 7, 2007
Hand Delivered and
Certified Mail

Frank Katz
City Attorney
PO Box 909
Santa Fe, NM 87504

Re: Paseo Compound

Dear Frank,

Thank you for your recent attempts at trying to find a solution between the issue of Public Works and the Historic Board. I am concerned however that my client Mr. Blessey is being brought in the middle of an internal problem which we have no control over and are at the whim of both departments to find a solution.

I am concerned that your suggestion that we go to Historic Board on June 26 only because we have made an appeal to City Council regarding the decision historic made in May. I am concerned that by seeking another decision on June 26th, and going to the board in July we will muddy the jurisdiction of the City Council. I do believe the City Council has the ability to override historic and make the judgment call between Public Works and the City. I believe that any design that is brought to City Council in July can be approved by them and will not affect historic review's jurisdiction. As such I would like your opinion as to whether or not this causes more problems for City Council to make a decision on this. Previously you had stated that you thought it was City Council's jurisdiction to override historic and make recommendations for what was prudent, in that they were balancing the interest of historic and the interest of Public Works. It is their purview to do so. I did research the code and I am comfortable with your legal position, and I am not exactly sure on what basis you've changed your mind. I respectfully ask that you provide us with a written legal analysis of this point by June 13.

As you are aware Mr. Blessey has attempted to get a development permit since November of 2006. There was a delay of almost five months because of issues with the planning and zoning department to get the development plan through the process. Thanks to the efforts from Jack Hiatt we are at the point that everyone in the process has signed off with the exception of John Romero in Public Works.

On March 23 of this year Mr. Blessey and Mr. Romero met at the site and this is when we were informed that he would not issue a driveway permit because of his assessment of the site triangle issue. He told Mr. Blessey at that point that he would have criteria for us to follow by the following week in order for the contractor to amend the plans per his directive. On April 12, Mr. Romero finally responded to a request that was sent to him via registered

mail; please see attached. He was adamant about our need to follow the Federal AASHTO Standards that he felt was applicable and claimed that he had the discretion to make us comply per Article 23 of the City Code. Keep in mind that we had been issued a driveway permit previously by the City in November 2005 which applied to Chapter 14 requirements and not AASHTO, which eventually lapsed due to the endless nature of this process. A plan that met Chapter 14 requirements was presented to Mr. Romero and he roundly rejected it, based on his opinion that AASHTO standards should govern.

In April, we met with Gaalen Buller, Jack Hiatt, John Romero, Rob Romero, and David Rasch at City hall. It was apparent neither Public Works nor H Board was going to compromise at this point and we were requested to go before the H Board on May 22nd. The decision was made to bring forth one design and one design only and that was the design that was brought forth on May 22nd.

The H Board's decision was unanimous in favor of leaving the wall alone, and upholding the previous decision to only cut 35 feet of the wall to provide access to what was a landlocked property. They further directed us not to demolish anymore of the wall and work with both departments to find another solution. Public Works was not present at the May 22nd H Board meeting to present their viewpoint. Your discussions with John Romero have apparently ended with his refusal to look at any other solutions other than those that conform to the AASHTO code. Mr. Romero indicated verbally to my client and in his letter of April 12 that if we presented him with a ruling from H Board on this issue that prevented us from removing the wall, that he would sign off on the driveway permit.

We are required to do an appeal to City Council. Currently we are not allowed to move forward in the position that we are in, and that is where we are. It was at this point that you and I had this discussion that City Council has the prerogative to not only over turn the H Board's decision but come up with alternate designs that would satisfy the concerns of Public Works and Historic.

While I am grateful for your attempts to try to mediate this situation I have some concerns with regards to legal interpretations and procedural interpretations which I would like to get your written opinion on by Wednesday, June 13. They are as follows:

1. What jurisdiction does Public Works have to impose the AASHTO standards in Chapter 14? Where in the code does it state that Public Works has discretionary powers to override the Chapter 14 code requirements? I do not believe that Chapter 23 is sufficient for the City Code to be overridden. Where in the City code is AASHTO mentioned?
2. We feel that there is precedent in the fact that the City has previously issued a permit for access to the project and is now going back on that permit. The permit has lapsed due to the inability of the city's planning and zoning department to deal with this case properly. John Romero has stated to my client that this precedent is irrelevant.

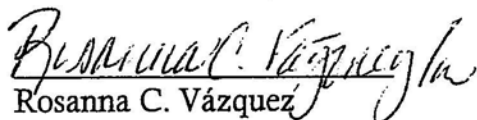
3. AASHTO standards are only recommendations and are being used by Public Works in an effort to enhance the Chapter 14 requirements instead of replacing such requirements. If the City makes a decision that AASHTO standards must apply, is the City prepared to enforce that code on scores of driveways that do not meet such AASHTO standards? You and I have both stated that this would end the historic nature of Santa Fe as we know it today because there aren't historic driveways in historic areas that could comply with the AASHTO standards. Furthermore, John Romero has stated to my clients that the City considers private driveways the same as any other city street and therefore he can enforce the AASHTO standard which is relevant only to the intersection of public streets and highways..

This is the only access to this property and H board and Public Works both agreed in November 2005 that the 35 foot cut to the wall is proper and appropriate and gave us the only access to what was previously a landmark property. Any denial in giving us access to this property would prompt an immediate condemnation of the property by the city.

Real Estate Investment Partners has a compromise scenario which we will present to all attending our meeting today, June 6 and eventually to City Council. We will do anything that we can to comply with any written directives with the final scenario but we will not assume the responsibility of trying to determine what these two departments want only to have to go back in forth in and endless attempt to resolve this problem. We will not get caught up in a process of reengineering this project from this point forward without clear, written direction from the City. Real Estate Investment Partners have spent and tied up an enormous amount of money in this project, and the interest continues to accrue on a daily basis.

Please provide us with written answers with regards to my legal questions set forth above and a written directive as to how we shall proceed no later than June 14 so that we have adequate time to prepare for the City Council meeting in July..

Very truly yours,


Rosanna C. Vázquez

cc: Ron Blessey
cc: Gaelen Buller
cc: John Romero
cc: David Rasch
cc: David Coss

LAW OFFICES OF
ROSANNA C. VÁZQUEZ

June 8, 2007
VIA HAND-DELIVERY

Mr. David Rasch
Historic Preservation Planner
P.O. Box 909
Santa Fe, New Mexico 87504

Re: Third Request for Special Exception - Paseo Compound
Real Estate Investment Partners

Dear Mr. Rasch:

In conjunction with the City of Santa Fe, and on behalf of the owners of Paseo compound, Real Estate Investment Partners, we submit a new application for a request for Special Exception to allow Real Estate Investment Partners to make modifications to a stone wall bordering Paseo de Peralta and the lot in question.

This is a joint request made both by the City and Real Estate Investment Partners. It is being submitted in this matter because as has been stated in the previous application, Real Estate Investment Partners is caught between meeting the Historic board's recommendations and desires for preservation of the historic wall, and meeting the Public Works' concern for a sufficient site triangle for vehicles wanting to exit the development. In our last Historic meeting in May 2007, there was a strong message that we go back to the drawing board, work with City Staff and come up with an alternate solution that will address the safety concerns cited by Public Works, while preserving the historical wall. In a good faith effort we have met numerous times with various City Officials and Staff to come up with a solution. What is before you is what we believe is a compromise. The design would allow a greater amount of safety site distance and while preserving a greater portion of the wall than what was recommended in the May 2007 public hearing. Rather than removing the entire wall as we had done in the May 2007 submittal, we are replacing the wall with a stucco wall. We submit before you a wall that is diagonally cut in such a manner to allow sight distance as a driver is exiting the property and preserving more of the original wall than our previous submittal.

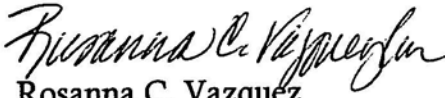
This is a joint request as an attempt to work together closely to satisfy the concerns of Historic Review and Public Works. We have not received a recommendation from Public Works with regard to this design. We believe that this is a compromise that relieves the concerns raised by both departments.

For purposes of procedural background it is important that you are aware that the May 2007 decision was appealed and sent to City Council. This was done because we were not going to be able to move forward with out a driveway permit from Public Works. In preparation for such appeal, and the on going discussions with City Staff, it was recommended that this design be brought forward to Historic Review so that when we went before the City Council in July 2007, we would be able to offer them yet another design that had been reviewed by Historic Review.

I enclose copies of the application, response to the special exception criteria, proposed and existing design plan, a colored pencil drawing of the same and a plan view of the development.

On behalf of Real Estate Investment Partners, I thank you for your attention to this matter. I thank you again for the interest you showed at the last Historic Review meeting in trying to work with us with this delicate situation. I ask you to look carefully at this proposal and look at it as a compromise between two very important aspects of the City's jurisdiction that is public safety and historic review. Should you have any questions, please do not hesitate to call.

Very truly yours,


Rosanna C. Vazquez

cc: Real Estate Investment Partners
Frank Katz
John Romero

ANSWERS TO CRITERIA FOR SPECIAL EXCEPTION REQUEST
BY
REAL ESTATE INVESTMENT PARTNERS
PASEO COMPOUND

June 8, 2007

1. Damage the character of the streetscape:

The request of Public Works is to demolish most of the historic stone wall in order to provide site safety triangle for exiting the property. That request was denied by historic in May 2007. This current request angles the existing wall and requires the wall to be lowered to 36 feet from the ground elevating at an angle lowering the wall height but allows the remaining wall to be left in tact. Thus maintaining the character of the streetscape for which the wall is an important part of.

(sic)

2. Prevent a hardship to the applicant or an injury to the public welfare:

By angling the stone wall, we believe sufficient sight distance would be maintained and there would be no adverse impact on public safety to the citizens of Santa Fe.

3. Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts:

This proposal allows a greater portion of the historical wall to be maintained along property line, thus maintaining the historic feel of Paseo de Peralta.

4. Are due to special circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape:

The topography and the narrowness of the lot make it very difficult to achieve a safe line of sight, and maintain the integrity of the existing wall. Also there is no other ingress or egress available to this property except for the driveway as proposed.

5. Are due to special conditions and circumstances which are not a result of the actions of the applicant:

The wall as it stands does not allow sufficient sight distance to allow safe egress from the lot. There are no other entry points to the lot.

6. Provide the least negative impact with respect to the purpose of this section as set forth in Section 14-5.2(a)(1):

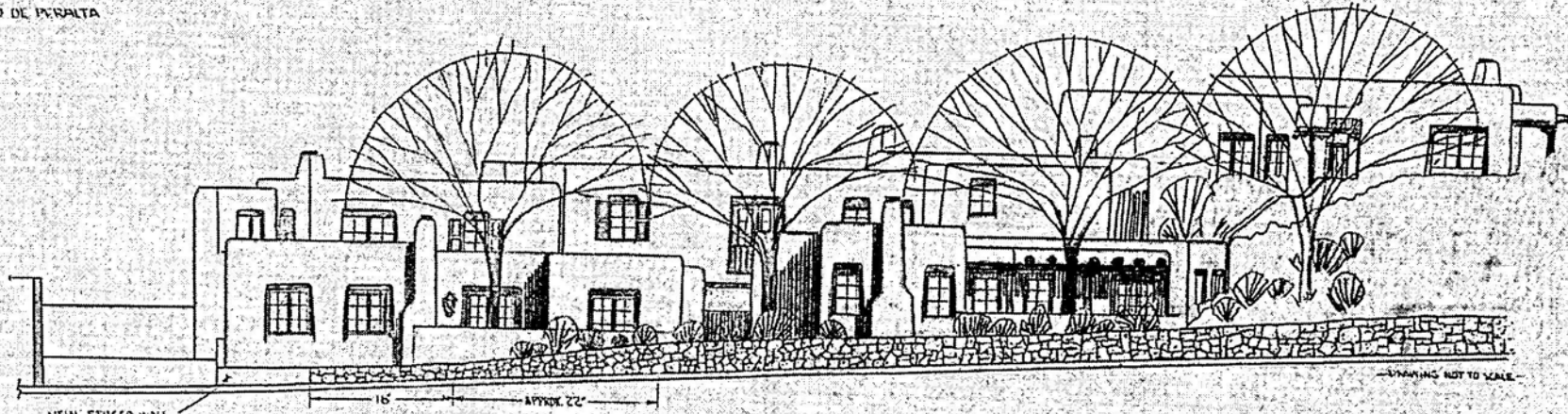
If approved the lowering of the wall would require the wall to be removed stone by stone in order to preserve the lower portion of the wall. The wall is approximately 125 feet wide and 18 inches thick, making it impossible to cut through and lowered. A special precaution would need to be taken care of in order to protect the wall and allow it to withstand with such impact. (sic)

RESPECTFULLY SUBMITTED,

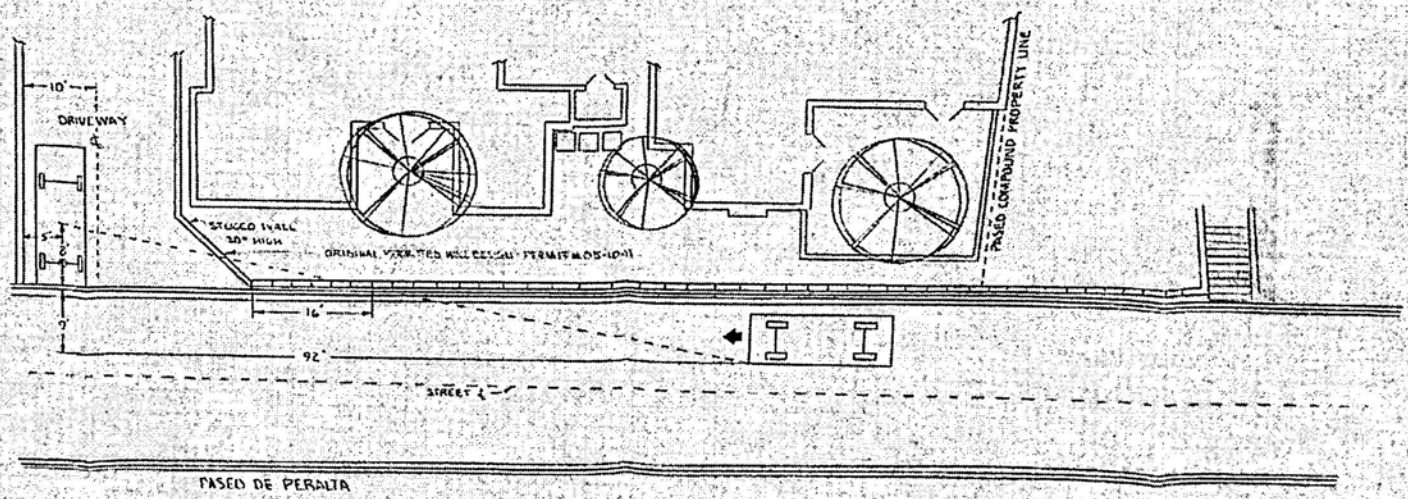
REAL ESTATE INVESTMENT PARTNERS

By: Rosanna C. Vazquez
Rosanna C. Vazquez
Legal Counsel

-PASEO COMPOUND-
511 PASEO DE PERALTA



- NOTES:
1. WITHIN THE 16' AREA THE STONE WALL IS 36" ABOVE THE ROAD SURFACE.
 2. WITHIN THE 22' AREA THE STONE WALL RISES FROM 36" ABOVE THE ROAD SURFACE TO MEET THE ORIGINAL WALL HEIGHT.



PASEO DE PERALTA

SCALE: 1/8" = 1'-0"

6.26.06 proposal



CITY OF SANTA FE, NEW MEXICO

PO BOX 909/200 LINCOLN AVE
SANTA FE, NM 87504-0909

appeal

VERIFIED PETITION

I/we, Real Estate Investment Partners, the undersigned first being sworn on my/our oath depose and hereby submit to the governing body this petition duly verified pursuant to Section 14-3.17 (D) (2) of the code setting forth the following:

1. How such petition constitutes an appeal

The Petitioner is an aggrieved party because the decision by H Board will not allow Petitioner to obtain a driveway permit from Public Works. The Petitioner meets all the requirements for a Special Exception

2. How such decision is illegal in whole or in part.

The decision is illegal in that the Petitioner has met the Special Exception requirements. Without a positive findings this development does not have any other access and cannot obtain a driveway permit

3. The specific grounds of the illegality.

The Special Exception requirements have been met. The issues at hand are due to a disagreement between Public Works + Historic Board, and application of AASHTO standards.

(Please use additional paper if necessary)

VERIFICATION

STATE OF NEW MEXICO }
COUNTY OF SANTA FE } SS.

I/we Ron Blessey, being duly sworn, deposes and says: That he/she has read the foregoing appeal and knows the contents thereof, and that the same are true of he/her own knowledge.

[Signature]
PETITIONER

Subscribed and sworn to me before this 29th day of May, 2007

[Signature]
NOTARY PUBLIC

OFFICIAL SEAL

Rosanna C. Vázquez

NOTARY PUBLIC
STATE OF NEW MEXICO

Commission Expires: 2/10/08

My commission expires: 2/10/08

LAW OFFICES OF
ROSANNA C. VÁZQUEZ

May 29, 2007
VIA HAND-DELIVERY

City Council
City of Santa Fe
P.O. Box 909
Santa Fe, New Mexico 87504

Re: Appeal of Decision for Paseo Compound
Real Estate Investment Partners

Dear City Council members:

On behalf of owners of Real Estate Investment Partners owners of Paseo Compound, I submit an appeal to City Council from a decision made by historic Review to deny a request to remove a stone wall. We would respectfully request this item to be placed on the June agenda.

As background for this particular request, Paseo Compound initially went before the Historic Board in Fall of 2004, requesting a special exception for the partial removal of a wall, in order to create a driveway entrance. The Board approved a partial removal of the wall, to accommodate access to the driveway. After such approval, the owners obtained a driveway permit (February 8, 2005), which was signed off by then Public Works Director John Nitzel. After obtaining a driveway permit, Real Estate Investment Partners, were told by Planning and Zoning that a development plan would need to be submitted and approved. This was complied with, and we were in the midst of obtaining signatures on such development plan, when Public Works concern of safety was brought to the forefront and our attention.

The concern raised by John Romero, was that the existing configuration as previously approved by Historic Review did not provide sufficient intersection sight distance to comply with AASHTO. Public Works cites AASHTO standards stating "a sufficient sight triangle be provided for vehicles wanting to exit the development." In order to obtain sufficient sight distance, the existing wall will need to be removed and replaced with a lower stucco wall. The previous Traffic engineer had applied principles found in Section 14, found that the driveway cut had complied, and granted a permit for the driveway entrance in February 8, 2005. As such we are submitting this request for a special exception to remove the wall as a result of such public safety concerns raised by Public Works.

The case currently before Historic, brought forth the request recommended by Public Works for removal of the wall to obtain proper site distance. The Historic Board denied the request.

The owners are caught between the concerns of the two departments focusing on their own concerns. Historic is concerned with protecting the historic nature of the city, and the integrity of the wall; whereas Public Works' concern is focused on site distance and public safety of citizens of Santa Fe.

The decision previously made by Historic did not allow for a sufficient sight distance to protect passerby's and those exiting the driveway. The design submitted herewith removes the entire wall, and replaces the wall with a stucco wall. In our previous hearings with Historic Review, when the issue was raised as to what type of wall should replace the existing wall, there was very clear direction given that Historic did not look favorably on a wall re-constructed to look like an old wall, and rather preferred a stucco wall.

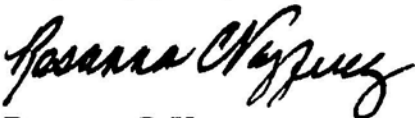
We respectfully request City Council to weigh the interests of Historic Board and the interests of Public Works and make a decision. We cannot move forward without such a decision.

In this last meeting Historic Review asked us if there were any other options. While there is a driveway behind the lot, it does not currently meet City standards and cannot be widened as it is private property. There are also historic walls that prohibit its expansion.

Real Estate Investment Partners tried to offer other solutions, keeping in mind, Historic Review Board direction of not creating a faux historic wall, but we were directed to submit a plan that complied with the site distance requirements as set forth in AASHTO. We are continuing the dialog to find a solution.

On behalf of Real Estate Investment Partners, I thank you for your attention to this matter. I ask you to resolve this issue so that we may move forward with this project. This project has been in the approval process for approximately two and half years. We would like direction as to whether the wall stays, or goes. Should you have any questions, please do not hesitate to call.

Very truly yours,



Rosanna C. Vazquez

cc: Real Estate Investment Partners

14-2.7 HISTORIC DESIGN REVIEW BOARD

(A) Powers and Duties

The Historic Design Review Board shall have the review and decision-making responsibilities set forth in Table 14-2.1-1, to be carried out in accordance with the terms of this chapter. In addition, the Board shall have the following additional responsibilities under this chapter:

- (1) The Board shall review and approve or deny all applications for new construction, exterior alteration, and demolition of structures, except signs, in the Historic District in accordance with the standards set forth in this chapter. Staff shall review signs in accordance with §14-3.10(D).
- (2) The Board shall hear appeals of parties aggrieved by the City Planning and Land Use Department's approvals or denials.
- (3) The Board may recommend to the Governing Body the erection of appropriate plaques and markers designating various historical sites and points of interest in the City.
- (4) The Board may make recommendations to the Governing Body relating to the purchase, acquisition by gift, grant, bequest, devise, or otherwise, of any real or personal property of historical background and interest;
- (5) The Board may make recommendations to the Governing Body as to the exercise of the Governing Body's power of eminent domain in the acquisition of real property of historical background and significance and the proposed ways and means of compensation;
- (6) The Board shall advise and assist officials, committees and commissions of the municipal government in making recommendations to the Governing Body;
- (7) The Board shall compile and maintain a list of historical sites and structures;
- (8) The Board shall perform such other acts providing that such acts relate specifically to this section as may be requested by the Governing Body; and
- (9) The Board may conduct field trips upon request of the applicant, or as determined by the chair.

(B) Creation; Membership

- (1) To carry out the purposes of this section, there is created a Historic Design Review Board, hereinafter referred to as the "Board."
- (2) The Board shall consist of seven members appointed by the mayor with the consent of the Governing Body. All members shall be persons who, in the opinion of the mayor, have demonstrated interest and knowledge in the historic character of the City. One member shall be a licensed architect, one shall be a qualified historian, one shall represent some aspect of the construction industry, and one shall have a business in the Historic District. One member shall be a member of the Old Santa Fe Association, and there shall be two members-at-large. Members of the Governing Body may serve as at-large members.
- (3) The following organizations are encouraged to recommend to the mayor up to three persons each for the appropriate position as designated in this section:

- (a) Santa Fe chapter of the American Institute of Architects;
- (b) Santa Fe Chamber of Commerce and Hispanic Chamber of Commerce;
- (c) Museum of New Mexico; and
- (d) Building Contractor's Association and Associated General Contractors of America, Building Branch (jointly).

Persons recommended are not required to be members or staff of the organization recommending them. This provision is in no way intended to prevent other organizations from recommending members, or to limit the appointment power of the Governing Body.

- (4) The initial term of three of the seven members appointed shall expire on the date of the first regular Governing Body meeting in January one year after their appointment, and the initial term of the other four members shall expire on the date of the first regular City council meeting in January two years thereafter. Following the initial terms, the terms of all members shall be two years. An appointment to fill an unexpired term shall be only for the remainder of the term. Any member failing to attend three consecutive Board meetings or a total of six meetings in one year without a justified reason shall be considered to have resigned. Members serve at the pleasure of the Governing Body and may be removed with or without cause.
- (5) A quorum shall consist of a majority of the members. The Board shall meet regularly twice a month and on the call of the chair. The Board shall follow Robert's Rules of Order.

(C) Functions of the Planning Division

The planning division shall provide administrative and advisory assistance to the Board, conduct site inspections, carry out reviews as set forth in §14-5.2, and shall have the authority to initiate all appropriate legal proceedings to enforce all provisions of this section and §14-5.2 (Ord. No. 2002-37 § 5)

(Ord. No. 2001-38 § 2)

(D) Appeals in the Historic Districts

(1) Appeals from Decisions of Planning and Land Use Department

Appeals based on action taken by the Planning and Land Use Department regarding the H District shall be heard by the Historic Design Review Board at its next regular meeting after the appeal is filed. Appeals may be filed by the applicant and must be filed within 7 days of the Division's action. The grounds for any such appeal shall be limited to a disagreement with the determination made by the Division under the procedures or required standards set forth in this section. Notice of the time and place of each such appeal shall be given by the Division. All appeals shall be in writing and shall state the specific standard or procedure that is being appealed.

(2) Appeals from Decisions of Historic Board

(a) Appeals from decisions of the Historic Board regarding the H District may be taken by any person aggrieved or by any officer, department, Board or bureau of the City affected by any decision of the Board in enforcement of this section or applicable rules or regulations. Such an appeal when taken shall stay all proceedings unless the officer, department, Board or bureau from whom the appeal is taken certifies that a stay would cause imminent peril to life or property. Appeals from the findings and recommendations of the Board on all matters under this section shall be taken to the Governing Body and the procedure, including the requirement of a public hearing, shall be the same as prescribed under paragraph (A) above and by the laws of the state.

(b) The grounds for the appeal shall be limited to a disagreement with the determination made by the Board under the procedures or standards set forth in this section. Appeals shall be in writing and shall state the specific standard or procedure that is being appealed. The appeal shall be filed within seven calendar days of the meeting at which the Board made the decision being appealed. Building permits shall not be granted until the appeal filing period is completed.

(Ord. No. 2001-38 § 2)

*

Editor's Note: Former subsection 14-3.1(D), New Building Permit Applications; Exceptions; New Development Approvals Other than Building Permits, previously codified herein and containing portions of Ordinance No. 2002-29 was repealed in its entirety by Ordinance No. 2003-36, § 4.



CITY OF SANTA FE, NEW MEXICO

Project description: Remodel an historic stone wall along the streetscape. An exception to remove historic material is requested (Section 14-5.2,D,5,b).

Project number: 04-10100114

Case number: H-04-114

Project type: HDRB

PROJECT LOCATION (S): 511 Paseo de Peralta

PROJECT NAMES:

OW – Ron Blessey, Eric Fuentes, Michael Zehg
Lamy, NM 87540

#10 Camino Caballos Spur
505-466-2404

AP – Roger Hunter
Santa Fe, NM 87501

300 Paseo de Peralta
505-986-8060

PROJECT DATA:

| | |
|---------------------------------|---------------------|
| HISTORIC DISTRICT | DOWNTOWN & EASTSIDE |
| HISTORIC BUILDING STATUS | N/A |
| PUBLICLY VISIBLE FACADE-EAST | YES |
| PUBLICLY VISIBLE FACADE-NORTH | NO |
| PUBLICLY VISIBLE FACADE-SOUTH | YES |
| PUBLICLY VISIBLE FACADE-WEST | YES |
| HISTORIC DISTRICT SURVEY NUMBER | N/A |
| YEAR OF CONSTRUCTION | N/A |
| PROJECT TYPE (NEW, ADD, ETC.) | NEW |
| USE, EXISTING | VACANT |
| USE, PROPOSE | RESIDENTIAL |
| HISTORIC BUILDING NAME | N/A |

City of Santa Fe, New Mexico

memo

DATE: May 22, 2007
TO: Historic Design Review Board Members
VIA: Reed Liming, Long-Range Planning Division Director *RL*
FROM: David Rasch, Supervising Planner in Historic Preservation *DR*

CASE # H-04-114

ADDRESS: 511 Paseo de Peralta
Historic Status: Contributing/Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Survey Form
- Zoning Review Sheet
- Other: Chapter 14 visibility triangles
Public Works letter
code citations
previous case minutes

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: exception responses

STAFF RECOMMENDATION:

Staff recommends denial of the exception required for this application which does not meet Sections 14-5.1 General Purpose and Relationship to General Use Zoning Districts, 14-5.2 (C, 1, a, c, and d) Regulation of Contributing Structures, 14-5.2 (D, 1, a and b) General Design Standards for All H Districts, and 14-5.2 (D, 5, a, ii and b) Design Standards for Windows, Doors, and Other Architectural Features, unless the Board has a positive finding of fact to grant the exception to demolish approximately 72 additional feet of an historic stone wall along the streetscape in the core historic district.

BACKGROUND & SUMMARY:

515 Paseo de Peralta, Tract 2 is a brick apartment building that was constructed before 1890 in the Neoclassical – Territorial Style. The building is finished with textured stucco and brick coping at the parapets. The building has undergone moderate historic alterations and is listed as Contributing to the Downtown & Eastside Historic District. There are associated historic buildings and stone walls on the property that were constructed at approximately the same date. The streetscape wall runs the length of the property right at the curblin, except for a driveway at the east end and a stone stair access at approximately the mid point.

Tract 1, also known as 511 Paseo de Peralta, is a 20,350 square foot lot to the west of Tract 2 and with a slope down toward the street. This lot includes part of the streetscape stone wall and other stone retaining walls further back from the street.

The HDRB approved an application on September 13, 2005 to construct seven single-family residences designed in the Spanish-Pueblo Revival style with rounded parapets, second-floor balconies, projecting vigas, exposed wooden headers, and portals with carved corbels.

The applicant provided the following responses for an exception that was granted in order for a section of the historic streetscape stone wall to be demolished for driveway access into the site.

1. The proposed exception does not damage the character of the streetscape.

The proposed demolition of 30 feet of wall represents approximately 11% of the total length of the stone wall at the street. The applicant proposes to reuse the stone salvaged from the demolition to retain the side of the proposed a driveway in the area of the demolition.

2. The proposed exception prevents a hardship to the applicant or an injury to the public welfare.

The proposed demolition allows the applicant to access the project site in an area where it is topographically possible to put in a driveway with a slope that meets the city code. The location of the proposed demolition, at the very western end of the property, is the best location from a traffic standpoint, according to the City traffic engineer.

3. The proposed exception will strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic district.

This project will add seven housing units to the historic district. Without the exception, it would be difficult or impossible to add these residences.

4. The exception is due to special conditions and circumstances which are peculiar to the land or structure involved in which are not applicable to other land or structures in the related streetscape.

The request for demolition of a portion of the stone wall is to allow access to this site for a driveway. This is a condition that is unique to this site.

5. The exception is due to special conditions and circumstances which are not the result of the actions of the applicant.

The site and topographic conditions are part of this parcel. They were not a result of the actions of the applicant.

6. The exception will provide the least negative impact with respect to the purpose of this section as set forth in section 14 -5.2 (a) (1).

The area for the proposed demolition has the least negative impact visually, in that it is located at the western end of the wall rather than somewhere in the middle of the wall's length. The western end of the wall is located directly adjacent to a large concrete retaining wall and a surface parking lot. Construction of a new driveway in this location will reduce the height of the existing concrete retaining wall at the property line.

On April 12, 2007, Public Works Department staff found problems with traffic safety at the requested driveway access to the site. Staff requires that a federal standard published by the American Association of State Highway and Transportation Officials (AASHTO) be used. That standard, which requires a sight triangle measuring 17' x 280', is being applied even though there are no federal funds being used on the project, the Paseo de Peralta is not a state highway, and the Chapter 14 driveway visibility triangle standards have been applied on numerous other projects both within and outside of the historic districts.

The driveway access, as approved by exception by the HDRB, used one of the legal standards in Section 14-7.4 (D). The standard used requires 10' of clearance along the street beyond the driveway with nothing obscuring vision between 3' and 8' high. The standard used was for a "public street" with a sidewalk or "parkway." Since no parkway exists at this site, perhaps the standard for "private streets" without a parkway should have been used. That standard requires a 26' clearance beyond the driveway.

Now, the applicant proposes to remove 72' of the streetscape wall in order to comply with AASHTO standards. The area behind the large triangle will need retaining and a stuccoed masonry wall is proposed along the diagonal line of the triangle. An exception to remove this historic material is required and the exception criteria responses are attached.

Historic Districts applicable code citations are as follows:

14-5.1 General Purpose; Relationship to General Use Zoning Districts

"The requirements of an overlay district shall apply whenever they are in conflict with those in the general use district." The Historic Districts Zoning Overlay is intended to preserve the unique character of the historic districts and historic structures which may not be compliant to current zoning regulations.

14-5.2 (C, 1, a, c, + d) Regulation of Contributing Structures

"Changes that create a false sense of historical development...shall not be undertaken." The driveway visibility triangle is not a traditional or an historic principal for walls on an historic streetscape.

"Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved." This type of historic stone wall right along the right of way is very rare in the historic districts.

"New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired." Once this historic stone wall is removed, it cannot be replaced and the property cannot be returned to its original integrity.

14-5.2 (D, 1, a + b) General Design Standards for All H Districts

"The status of a contributing structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its contributing status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited." And, "If a proposed alteration or new construction will cause an adjacent structure to lose its contributing status, the application may be denied." This wall is a significant feature in this streetscape which, along with several other walls in the nearby streetscape, narrows the Paseo more than anywhere else on the Paseo.

14-5.2 (D, 5, a, ii + b) Design Standards for Other Architectural Features

"No new opening shall be made where one presently does not exist..." and "For all facades of contributing structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced..." The proposed substantial demolition of this historic streetscape wall would set a precedent that could profoundly alter the character of the historic districts. The HDRB previously found that the applicant had a hardship for access to the site and met the criteria required for an exception to remove a small section of the historic wall. This proposal will remove more than a small portion for a standard which is not in Chapter 14.

PRELIMINARY ZONING REVIEW WORKSHEET

TO BE COMPLETED BY APPLICANT:

Date Submitted _____
Property Owner of Record Real Estate Investment Partners
Applicant Name Ron Blessy / Agent Rosanna Varquez Phone 8206400
Site Address 511 Paseo de Peralta
Proposed Construction modification of existing deck

TO BE COMPLETED BY STAFF:

Zoning District/Overlay _____ Subdivision _____ Lot _____ Block _____

Permitted Use: Section # _____
Accessory Use: Section # _____
Special Exception: Case # _____
Variance: Case # _____
Prohibited Use: Section # _____

Setbacks:
(Front) Provided _____ Required _____ (2nd Front) Provided _____ Required _____

(Left Side) Provided _____ Required _____ (Right Side) Provided _____ Required _____

(Rear) Provided _____ Required _____ (Special Yard) Provided _____ Required _____

Zero lot line affidavit (yes/no) side _____ rear _____

Density: _____ Open Space: _____

Lot Size: _____ Total Roof Area: _____ Lot Coverage (%): _____

Height of new construction: _____ Wall Requirement: _____ Visibility triangle: _____

Parking: #Spaces Required _____ #Spaces Provided _____ HC spaces: Van _____ Regular _____ Bike rack _____

Other District Requirements: _____

Preliminary Approval:

Preliminary Approval w/Conditions: _____

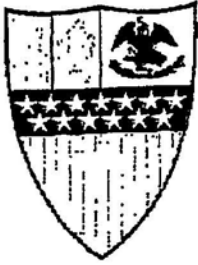
Comments: _____

Reviewer _____ Date _____

NOTE: Preliminary zoning reviews are provided as a courtesy and are intended to address general zoning compliance issues. Applicants are advised to do an independent search of applicable zoning ordinances and research documents related to property history which may affect permitting. Additionally, applicants are advised to contact appropriate City staff with questions related to terrain management, building, fire, water budget, Sangre de Cristo, wastewater, and other development codes which may affect permitting.

Rosanna Varquez
Applicant

5/15/07
Date



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

David Coss, *Mayor*

Councilors:

Miguel M. Chavez, Mayor Pro Tem, Dist. 3
 Patti J. Bushee, Dist. 1
 Chris Calvert, Dist. 1
 Karen Heldmeyer, Dist. 2
 Rebecca Wurzbarger, Dist. 2
 Carmichael A. Dominguez, Dist. 3
 Matthew E. Ortiz, Dist. 4
 Ronald S. Trujillo, Dist. 4

April 12, 2007

Ameriwest Constructions Inc.

Attn: Wyatt Fenn
 P.O. Box 5707
 Santa Fe, NM 87502

RE: Paseo Compound Driveway Permit

Dear Mr. Fenn,

This letter is in reply to your letter received by my office on April 10, 2007, regarding the driveway permit for the Paseo Compound Development. In summary, the subject development received an approved driveway permit on February 8, 2005, which expired on October 30, 2005. It is my understanding that the Historic Review Board (HRB) has approved the removal of a certain portion of an existing historic wall, to accommodate access to the driveway. I have no record that this determination was made by the HRB in light of any intersection sight distance deficiencies.

The developer is now required to re-apply for a driveway permit of which I am currently responsible for reviewing and approving or denying. Article 23, under which the driveway permit is governed, states:

After examination and consideration of the application and plan, and examination of the premises, if deemed necessary, the public works department is authorized and directed to approve a permit for the curb cut and for construction of a driveway over a right-of-way, if the use of the driveway will not unreasonably interfere with the proper and safe use of the sidewalk or right-of-way to be crossed, or the proper and safe use of the street or other public way to which ingress and egress is made from private premises.

It is based on this that I'm exercising my authority and making my determination.

In reviewing the proposed driveway for the Paseo Compound Development onto Paseo de Peralta, I have concerns with the amount of intersection sight distance that will be provided. I am requiring that, in an order to ensure the "proper and safe use of the street to which ingress and egress is made from a private premises," that a sufficient sight triangle be provided for vehicles wanting to exit the development. I am requiring that the "A Policy on Geometric Design of Highways and Streets, 2004, 5th Edition" (Green Book), published by the American Association of State Highway and Transportation Officials, be used to determine the needed sight triangle to accommodate the appropriate intersection sight distance. The Green Book is a nationally recognized policy used for the design of transportation facilities.

During our April 5, 2007 meeting, a question arose regarding the definition of intersection and how driveways apply to intersection sight distance. The Public Works Department considers driveways to be intersections and therefore sees the need to accommodate adequate intersection sight distance. The Green Book states that "Driveway terminals are, in effect, low-volume intersections" (p.348). The Green Book also states that "sight distance is an important design control for driveways" (p.398).

Because of the proximity of the stop controlled intersection at Paseo de Peralta and Otero St. to the proposed access point, I believe that an alternative design approach may be used while remaining consistent with the principles described in the Green Book. I recommend that through field observation of vehicles traveling westbound on Paseo de Peralta, you determine what sight triangle would offer a 7.5 seconds time gap. This could reduce the sight triangle since it takes a while for cars to get up to speed coming from the Otero St. 4-way stop.

The ultimate product I would like you to provide me with is a plan view of the development plan including an appropriate amount of mapping of the surrounding structures, property lines, roadway features, etc. On this plan view I ask that you show:

- Sight Triangle for a left turn from stop, based on a design speed of 25mph, according to the Green Book.
- Sight Triangle base on field observation providing a 7.5 second time gap.
- Sight Triangle using the south east property corner as a control point.
- Initially proposed Sight Triangle.

Please include all dimensions correlating with Exhibit 9-50-B of the Green Book. Also include an appropriate record of all field observations used to determine the field measured 7.5 second gap. Remember the fact that the Green Book assumes a 3.5' driver's eye height and a 3.5' object height. You may use this, along with a profile, to demonstrate that only partial removal of the wall is needed. All plans pertaining to the sight triangle are to be stamped by a professional civil engineer licensed in the State of New Mexico.

After receiving the above mentioned submittals, I will make my determination on what appropriate measures are needed to accommodate adequate sight distance at this driveway location. If at this point it is felt that my determination is unreasonable, there is an appeal process. If you wish to appeal my decision, send me a formal driveway permit application showing what you deem reasonable. I will review and if considered unacceptable formally deny. Within ten (10) days after denial of the application or receipt of the notice, you may appeal the decision to the governing body, through the city manager. This is all explained under Article 23-3.4 of the City Code.

If you feel the HRB will deem it unacceptable to remove or alter the existing wall in any way other than what was previously approved, in light of any sight distance issues as determined by using the Green Book guidelines, please obtain and provide me with an official ruling from the HRB stating such.

The Transportation Research Board (who is supported by state transportation departments, the U.S. Department of Transportation, and other organizations and

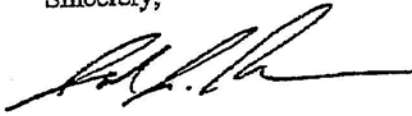
individuals interested in the development of transportation), through their National Cooperative Highway Research Program has made the following determination:

"Adequate sight distance for drivers at stop- or yield-controlled approaches to intersections has long been recognized as among the most important factors contributing to overall safety at unsignalized intersections. Estimates of the safety effectiveness of providing full intersection sight distance where it does not currently exist suggest that up to a 20% reduction in related crashes can be expected."

I'd like to clarify that all of the decisions I've made to date are not intended to hold up your project in any way but intended to ensure proper and safe egress and ingress from the Paseo Compound site onto Paseo de Peralta.

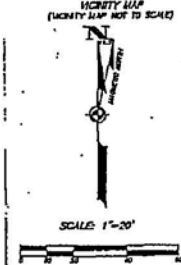
If you have any questions or need further information, please contact me at 955-6638.

Sincerely,



John J. Romero
Traffic Impacts Section
Public Works Department/Engineering Division

Attachments



- LEGEND**
- USDO & S&S Caps And and wood
 - Public Road and as of or later
 - 1/2" Copied from plat and this survey (P. 2722)
 - Power Lines
 - Private
 - Concrete
 - Private Impass/Bypass & Utility easement

- NOTES:**
- 1) BASIS OF MEASUREMENT FOR THIS SURVEY IS TAKEN FROM THE OBSERVATIONS OF THE SURVEYORS' BOUNDARY OF TRACT 1 (BY 3023247) AND THE 84 COORDINATE LOCAL.
 - 2) THIS SURVEY IS BASED ON A PLAT OF BOUNDARY SURVEY FOR TRACTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

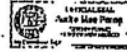
A) DEVELOPMENT OF TRACT I-B WILL REQUIRE EASEMENT ACCESS NORTH OF 30' FROM LOMA STREET TO STRUCTURES HAVING A MAXIMUM OCCUPANCY OF 100 PLANS TO SERVE HIS SMALL PART OF ANY DEVELOPMENT PLANS SUBMITTED.

ATTENTION:
THE FOREGOING LAND DIVISION SURVEY WAS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS. EASEMENTS ARE HEREBY GRANTED FOR CERTAIN UTILITIES SUBJECT PROPERTIES LIE WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE.

Ronald L. Blessey 5/18/05 DATE
Erik Fuentes 5/18/05 DATE
Michael Zeng 5/18/05 DATE

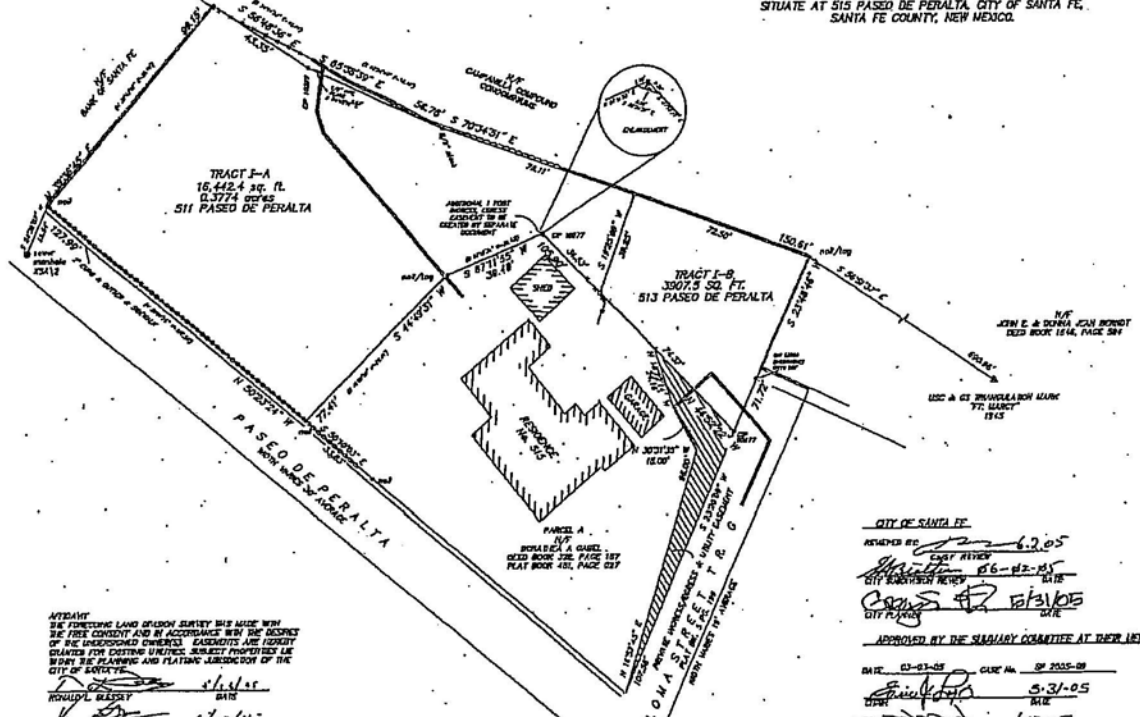
STATE OF NEW MEXICO
 COUNTY OF SANTA FE
 I, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2005.

Michael Zeng Notary Public
 My Comm. Expires 04/11/10



PLAT OF LAND DIVISION
 FOR
RONALD L. BLESSEY, ERIK FUENTES AND MICHAEL ZENG
 CREATING TRACT I-A AND I-B FROM TRACT 1,
 SITUATE AT 515 PASO DE PERALTA, CITY OF SANTA FE,
 SANTA FE COUNTY, NEW MEXICO.

68937



CITY OF SANTA FE
 APPROVED BY THE SURVEY COMMITTEE AT THEIR MEETING OF
 DATE 05-03-05 CASE No. 05-2005-08
 CITY ENGINEER
 DATE 5-31-05
 DATE 6-10-05

Michael Zeng 5-19-05 DATE
Erik Fuentes 5-19-05 DATE
Ronald L. Blessey 5/19/05 DATE
Michael Zeng 5/19/05 DATE
Ronald L. Blessey 5-24-05 DATE
Michael Zeng 5/19/05 DATE



COUNTY OF SANTA FE
 STATE OF NEW MEXICO
 I, _____, County Clerk, do hereby certify that the foregoing instrument was duly recorded in Book _____, Page _____ of the records of Santa Fe County.

| PAYING APOBILATION FOR COUNTY CLERK LAND DIVISION | | | |
|---------------------------------------------------|--------------------------|-------------|---------------|
| OWNER: BLESSEY, FUENTES, ZENG | LOCATOR: PASO DE PERALTA | SECTION: 16 | T & R: 9 & 9 |
| PROJECTED INTO THE SANTA FE GRANT | | | |
| LPO No: 1-04-000-380-000 | | | |
| SANTA FE COUNTY, N.M. | | | |
| DEV. RIO SURFBYS, INC. | | | |
| PO BOX 27723 | SANTA FE, NM | 875-8300 | DATE: 5/18/05 |
| Project No. 012323 | Doc. No. 68937 | Page 1 of 1 | |

CERTIFICATE
 I, Phil B. Wagner, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey. That this survey was not required as actual survey work in the State of New Mexico, and that the information contained herein is true and correct to the best of my knowledge, information and belief.

Phil B. Wagner 19 November 2004
 Phil B. Wagner P.L.C. No. 9738 Santa Fe, NM
 P.O. Box 27723



THIS DRAWING IS THE PROPERTY OF CHELSEA CONSTRUCTION. IT MAY NOT BE USED OR REPRODUCED FOR ANY OTHER PURPOSE UNLESS BY WRITTEN CONSENT FROM CHELSEA CONSTRUCTION, INC.

CHELSEA CONSTRUCTION
 300 Paseo de Peralta, Suite 100, Santa Fe, NM 87501
 Office: (505) 986-8600 FAX: (505) 986-8640

TOPOGRAPHIC SURVEY

PASEO COMPOUND
 515 Paseo de Peralta
 Santa Fe, N.M.

DATE: June 2005
 REVISION:

C3



Commercial/Residential
Construction

P.O. Box 5707, Santa Fe, N.M. 87502
1221 Mercantile Road, Santa Fe, N.M. 87507

Wyatt Fenn
Project Manager

(505) 438-8236 ext 103
(505) 438-3889 fax
(505) 660-1548 cell



City of Santa Fe
Public Works Department
Permit to Access Public Right-of-way

APPLICANT NAME Ron Blessey, as Agent for Paseo Compound

ACCESS PERMIT NUMBER 05-10-11

IN ACCORDANCE WITH THE SUBMITTED APPLICATION, AND CONDITIONS NOTED BELOW, PERMISSION IS HEREBY GRANTED FOR ACCESS TO PUBLIC RIGHT-OF-WAY FOR THE FOLLOWING LOCATION:

Temporary closure of Paseo De Peralta between Magdalena and Otero Street for providing access to site for construction operations at 515 Paseo de Peralta

NAME OF SUBDIVISION (IF APPLICABLE) The Paseo Compound

THE WORK IS TO COMMENCE ON OR ABOUT November 4, 2005

THIS PERMIT EXPIRES November 30, 2005 (Surety Bond Expiration Date)

CONDITIONS NOTED:

This Permit for a legal access from private property onto a public right-of-way is governed by the requirements of City Code Chapter 14, "Visibility at Driveways" and Chapter 23 - Construction and Maintenance of Curb, Gutter, and Sidewalk (where applicable). All Conditions and restrictions required by law shall be complied with, and failure to comply with the conditions of this permit shall result in revocation of this permit and the reconstruction of any nonconforming driveway to City of Santa Fe standards at the property owner's expense.

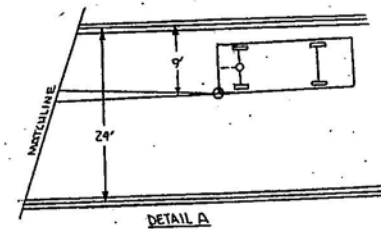
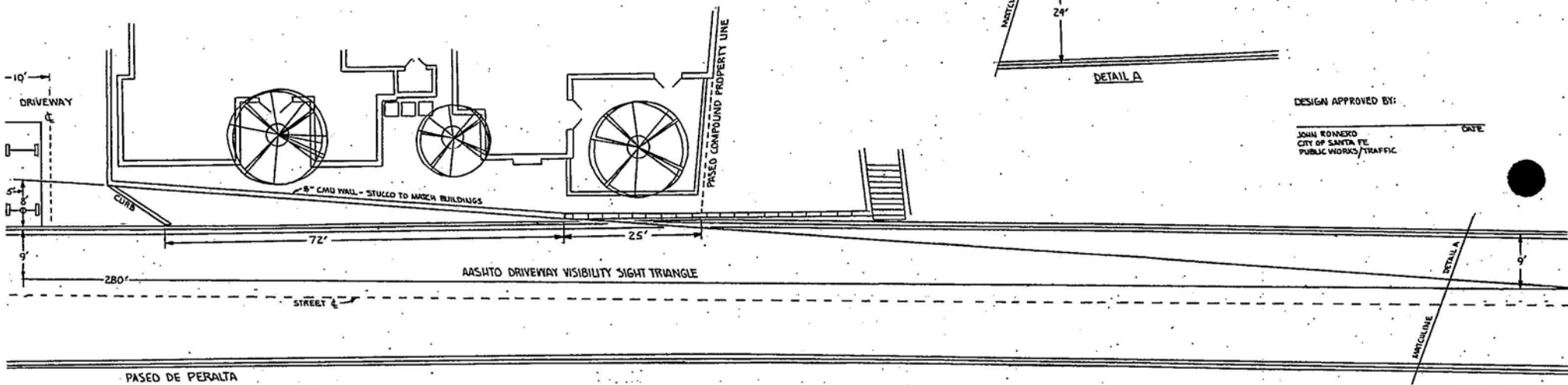
Agent agrees to release and hold harmless the City of Santa Fe from any claims by reason of this work; Agent agrees to repair any CSF property damaged as a result of its work within 30 days of each occurrence.

Agent agrees to abide by Traffic Control Plan submitted by Southwest Safety and as amended by CSF. Agent agrees to hold a general liability insurance policy in the amount of \$1,000,000 and a \$10,000 surety bond that names CSF as a policyholder.

Traffic Engineering Supervisor *[Signature]* DATE 11/3/05

Inspection by _____ DATE _____

-PASEO COMPOUND-
511 PASEO DE PERALTA



DESIGN APPROVED BY: _____ DATE _____
 JOHN RONNERO
 CITY OF SANTA FE
 PUBLIC WORKS/TRAFFIC

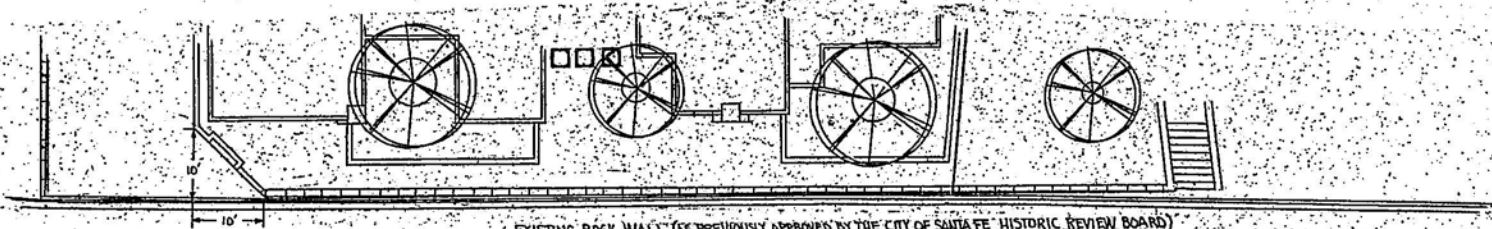
PASEO DE PERALTA

SCALE: 1/8" = 1'-0"



Paseo Compound

511 Paseo de Peralta
Santa Fe



EXISTING ROCK WALL (AS PREVIOUSLY APPROVED BY THE CITY OF SANTA FE HISTORIC REVIEW BOARD)

SCALE: 1/8"=1'



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

Larry A. Delgado, *Mayor*
Mike P. Lujan, *City Manager*

Councilors:

Carol Robertson-Lopez, Mayor Pro Tem, Dist. 4
Patti J. Bushee, Dist. 1
David Pfeffer, Dist. 1
Karen Heldmeyer, Dist. 2
Rebecca Wurzbarger, Dist. 2
Miguel M. Chavez, Dist. 3
David Coss, Dist. 3
Matthew E. Ortiz, Dist. 4

Project description: Alter a previously approved multi-family development with portal changes and stairway additions.

Project number: 04-10100114

Case number: H-04-114

Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): 511 Paseo de Peralta

PROJECT NAMES:

OW - Ron Blessey, Eric Fuentes, & Michael Zeug
Lamy, NM 87540

#10 Camino Caballos Spur
505-466-2404

AP - Roger Hunter
Santa Fe, NM 87501

300 Paseo de Peralta
505-986-8060

BOARD ACTION

This is to certify that the Historic Design Review Board (HDRB) at their meeting on September 13, 2005, acted on the above referenced case. The decision of the board was to approve your request with the following conditions: that the originally approved drawings shall maintain the height, wall-battering, cementitious stucco, and tone divided lights on new drawings; that the south elevation of Unit 2 portal shall remain as originally designed; that the Unit 1 portal shall remain as originally designed; that the stepback of the second story on Unit 5 be retained as originally designed; that all stair handrails be changed from balustrade to stuccoed walls; that all air-conditioning units be not publicly visible or screened; and that electric cabinet panels be stained like the lintels.

For further information please call 955-6605.

Sincerely,

Marissa C. Barrett
Historic Preservation Planner

Case #H-05-114

Page 2

NOTE: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.). YOUR PERMIT WILL BE DENIED IF THERE ARE ANY CHANGES ON PLANS THAT WERE APPROVED BY THE HDRB OR IF CONDITIONS OF THE APPROVAL ARE NOT MET. **PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.**



CITY OF SANTA FE, NEW MEXICO

Project description: Alter a previously approved multi-family development with portal changes and stairway additions.
Project number: 04-10100114
Case number: H-04-114
Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): 511 Paseo de Peralta

PROJECT NAMES:

| | |
|------------------------------------------------------------------|------------------------------------------|
| OW – Ron Blessey, Eric Fuentes, & Michael Zeug Lamy, NM 87540 | #10 Camino Caballos Spur 505-466-2404 |
| AP – Roger Hunter Santa Fe, NM 87501 | 300 Paseo de Peralta 505-986-8060 |

PROJECT DATA:

| | |
|---------------------------------|---------------------|
| HISTORIC DISTRICT | DOWNTOWN & EASTSIDE |
| HISTORIC BUILDING STATUS | N/A |
| PUBLICLY VISIBLE FACADE-EAST | YES |
| PUBLICLY VISIBLE FACADE-NORTH | NO |
| PUBLICLY VISIBLE FACADE-SOUTH | YES |
| PUBLICLY VISIBLE FACADE-WEST | YES |
| HISTORIC DISTRICT SURVEY NUMBER | N/A |
| YEAR OF CONSTRUCTION | N/A |
| PROJECT TYPE (NEW, ADD, ETC.) | NEW |
| USE, EXISTING | VACANT |
| USE, PROPOSE | RESIDENTIAL |
| HISTORIC BUILDING NAME | N/A |

City of Santa Fe, New Mexico

memo

DATE: September 13, 2005
TO: Historic Design Review Board Members
VIA: Reed Liming, Planning Division Director *RL*
FROM: David Rasch, Supervising Planner in Historic Preservation *DR*

CASE # H-04-114

ADDRESS: 515 Paseo de Peralta, Tract 1
Historic Status: Contributing/Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Survey Form
- Zoning Review Sheet
- Other: previous case

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of this application which complies with Section 14-5.2 (E) Downtown & Eastside Historic District design standards.

BACKGROUND & SUMMARY:

515 Paseo de Peralta, Tract 2 is a brick apartment building that was constructed before 1890 in the Neoclassical – Territorial Style. The building is finished with textured stucco and brick coping at the parapets. The building has undergone moderate historic alterations and is listed as Contributing to the Downtown & Eastside Historic District. There are associated historic buildings and stone walls on the property. The streetscape wall runs the length of the property, except for a driveway at the east end and lacks space for a sidewalk.

Tract 1 is a 20,350 square foot lot to the west of Tract 2 and with a slope down toward the street. This lot, also known as 511 Paseo de Peralta, includes part of the streetscape stone wall and other stone retaining walls further back from the street.

The HDRB approved an application on November 30, 2004 to construct seven single-family residences designed in the Spanish-Pueblo Revival style with rounded parapets, second-floor balconies, projecting vigas, exposed wooden headers, and portals with carved corbels.

When the permit came in for approval, there were enough changes to the original approval that staff requested Board review before the permit could be released. Now, the applicant is requesting the following changes.

1. There are several slight massing changes. The most notable change is the loss of the battered and stepped back second floor on the south elevation of Unit 5. Instead, the second floor has been expanded to the size of the first floor. There appears to be less battering of walls, but this may be due to a difference in drafting rather than an intentional change.

2. Several stairways have been added to the plan for easier access. These are located on the west end of Unit 4 and between Units 6 and 7 on the north elevation. The stairways will have simplified railings, but details of materials, colors, and finishes were not submitted.

3. Several portals will be altered in size. One larger portal on the south elevation of Unit 2 will be split into two smaller portals. A portal on the north elevation of Unit 1 will be reduced to approximately one half its approved size. Portals on the northeast corner of Unit 2 and on the east elevation of Unit 7 will be reduced in size.

4. Several window and door opening sizes and locations will be altered. The most notable changes are in Unit 7. Although, in general, the overall character of the fenestration is unchanged throughout.

5. The exterior lighting fixtures are drawn differently from the previously approved drawings. But, the numbered notes still list the approved Artesanos Nuevo Mexico sconces.



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

Larry A. Delgado, *Mayor*
Mike P. Lujan, *City Manager*

Councilors:

Carol Robertson-Lopez, Mayor Pro Tem, Dist. 4
Patti J. Bushee, Dist. 1
David Pfeffer, Dist. 1
Karen Heldmeyer, Dist. 2
Rebecca Wurzbarger, Dist. 2
Miguel M. Chavez, Dist. 3
David Coss, Dist. 3
Matthew E. Ortiz, Dist. 4

Project description: Architectural details for a residential compound of seven units,
previously approved by the HDRB.
Project number: 04-10100114
Case number: H-04-114
Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): 515 Paseo de Peralta, Tract 1

PROJECT NAMES:

OW - Erik Fuentes
Lamy, NM 87540

#10 Camino Caballos Spur
505-660-8320

AP - Lorn C. Tryk
Santa Fe, NM 87501-1888

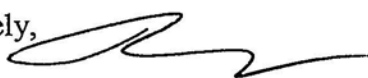
206 McKenzie St., Ste. F-2
505-982-5340

BOARD ACTION

This is to certify that the Historic Design Review Board (HDRB) at their meeting on November 30, 2004, acted on the above referenced case. The decision of the board was to approve your request.

For further information please call 955-6605.

Sincerely,


David A. Rasch
Historic Preservation Planner

NOTE: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.).
PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.

"Committed to our community, and making a difference"

City of Santa Fe, New Mexico

memo

DATE: November 9, 2004
TO: Historic Design Review Board Members
VIA: Reed Liming, Acting Planning & Land Use Department Director *RL*
FROM: David Rasch, Supervising Planner in Historic Preservation *DR*

CASE # H-04-114

ADDRESS: 515 Paseo de Peralta, Tract 1
Historic Status: Contributing/Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
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- Zoning Review Sheet
- Other: Board Action letter
Building height calculation

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: Details

STAFF RECOMMENDATION:

Staff recommends approval of this application complies with Section 14-5.2 (E) Downtown & Eastside Historic District design standards.

BACKGROUND & SUMMARY:

515 Paseo de Peralta, Tract 2 is a brick apartment building that was constructed before 1890 in the Neoclassical – Territorial Style. The building is finished with textured stucco and brick coping at the parapets. The building has undergone moderate historic alterations and is listed as Contributing to the Downtown & Eastside Historic District. There are associated historic buildings and stone walls on the property. The streetscape wall runs the length of the property, except for a driveway at the east end and lacks space for a sidewalk.

Tract 1 is a 20,350 square foot lot to the west of Tract 2 and with a slope down toward the street. This lot includes part of the streetscape stone wall and other stone retaining walls further back from the street. This Board approved the proposal for seven residential Units, the site plan, building footprints, and elevations on September 28, 2004 with the condition that architectural details be submitted for review at a later date. Now, the applicant is seeking approval of these details.

The buildings are designed in the Spanish-Pueblo Revival Style. The stucco-finished buildings will have battered and rounded parapets and rounded corners. Copper-lined canales will have carved corbel supports.

Portals will have exposed wooden headers, carved corbels, and viga posts. Exposed viga ends will be chisel-cut in vertical orientation.

Porches will have stucco-finished 3' high walls and 2" x 6" wooden decking.

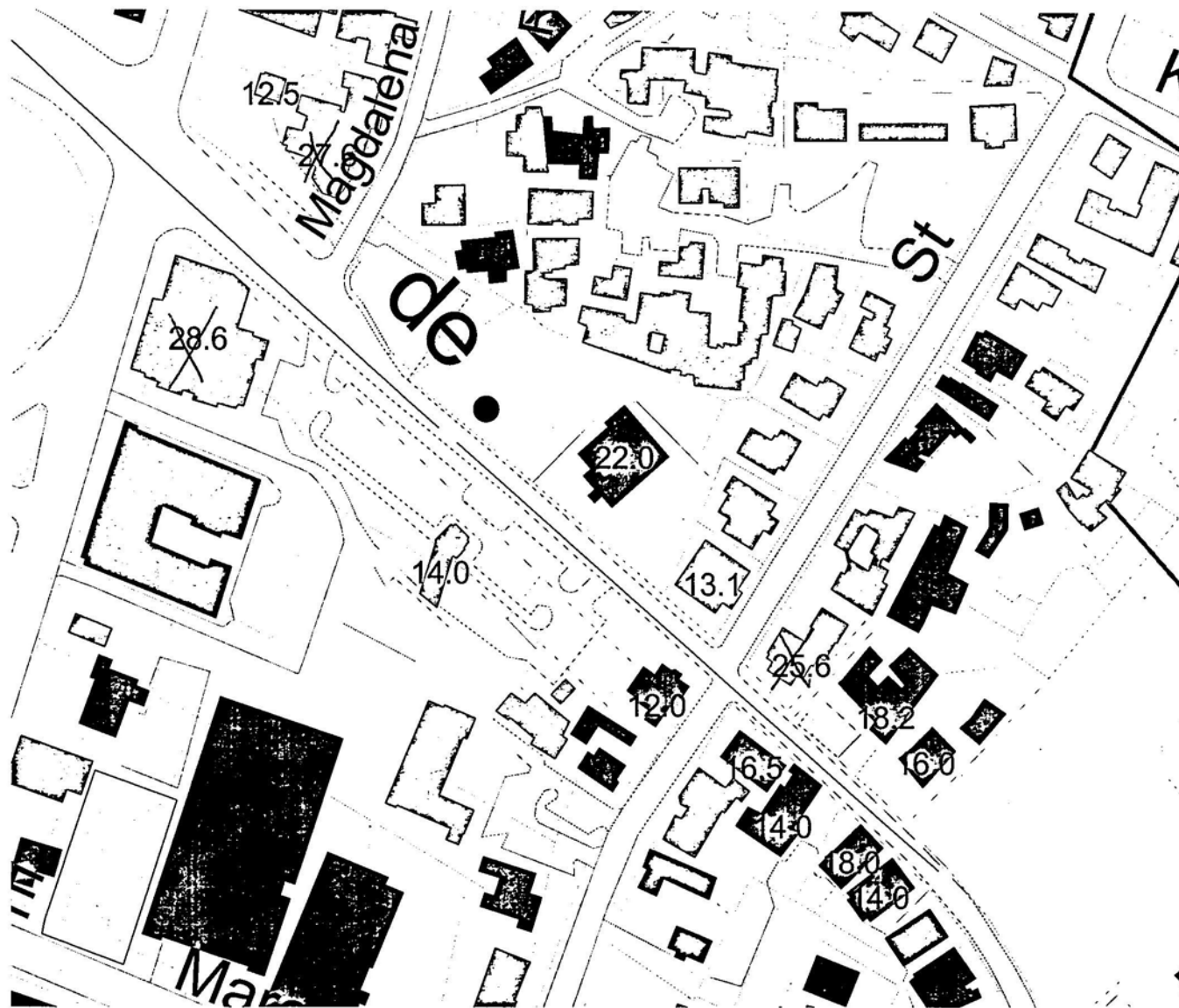
The balcony on Unit 5 will have 32" high simple square-rod steel railings.

Doors will be true-divided light or wooden panel with exposed wooden headers.

Windows will be true-divided light with exposed wooden headers. Sills will be stucco-finished bevels. Window shutters on Units 4 and 5 will be 1-over-1 wood panel. Window boxes on Units 3 and 4 will be 1' high and 1' deep with a simple panel design. They will be slightly wider than the windows and mounted below the sills.

Exterior lights will be Artesanos wall-mounted Nuevo Mexico design. They are 21" high x 13" wide and finished in either a copper oxide or pewter color.

515 Paseo de Peralta Height Calculation



total: 170.30
 count: 11
 average: 15.49
 Maximum Allowable Height: 17' 6"

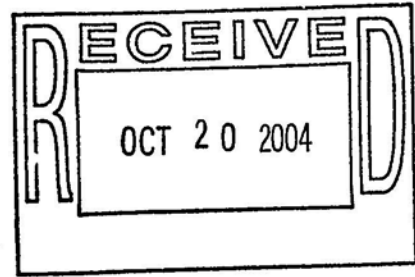
DAR
 8.22.03

- Text Arcvw
 Building rooflines
- C
 - L
 - N
 - NA
 - NON
 - NR
 - S
 - Sfparcll.shp
 - Hdist.shp



LORN TRYK ARCHITECTS

October 20, 2004



David Rasch
Historic Preservation Planner
City of Santa Fe
P. O. Box 909
Santa Fe, NM 87501

Re: Paseo Compound

Dear David,

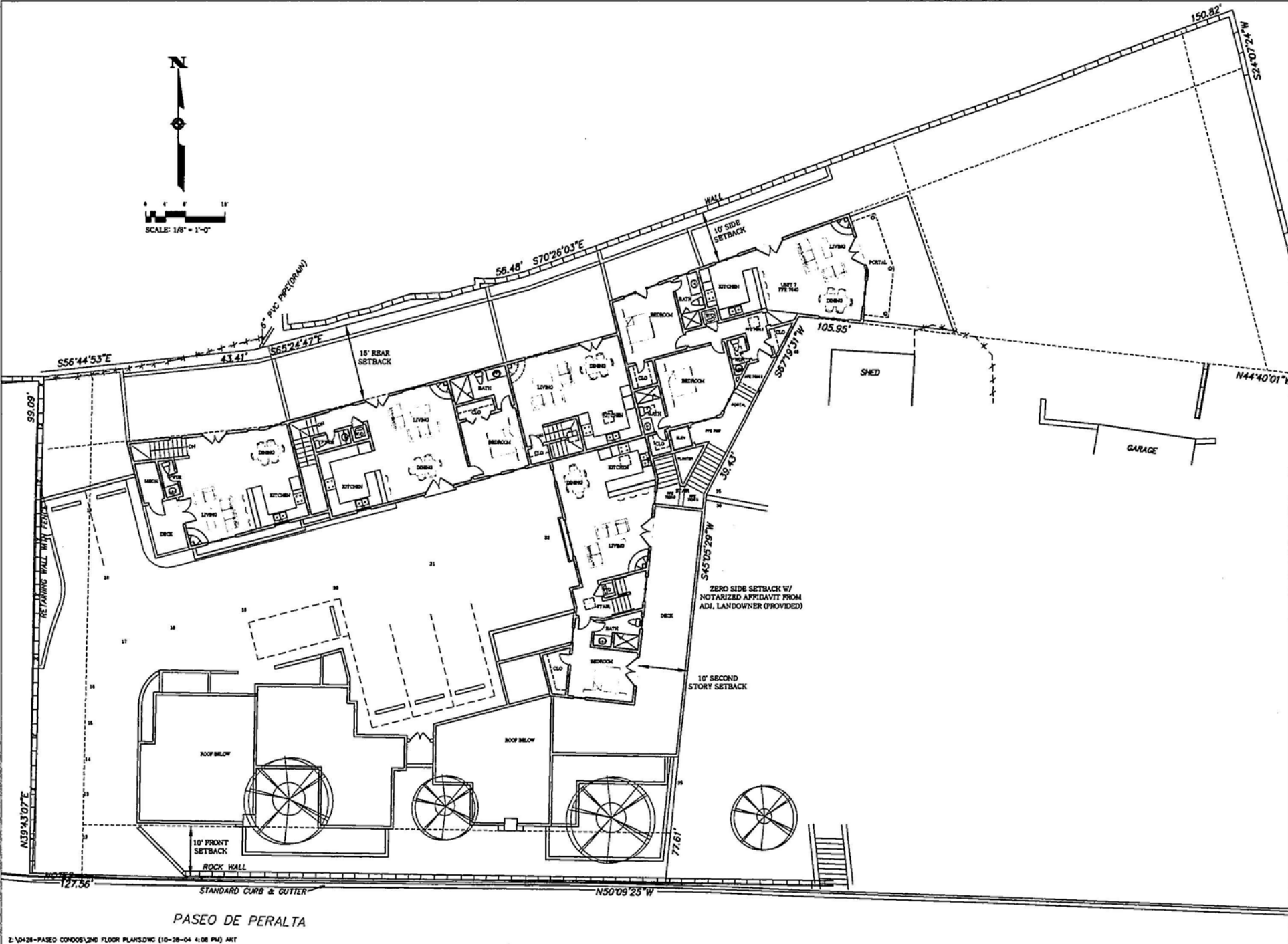
On behalf of the property owners of Tract I, Paseo de Peralta, we are submitting additional details for final approval of a 7 unit residential compound. The project has already received final approval, with the condition that we return to the Board with architectural details.

The enclosed drawings contain information on finishes, lighting and details of windows, railings, doors and other exterior features.

Thank you for your consideration.

Sincerely,

Lorn C. Tryk



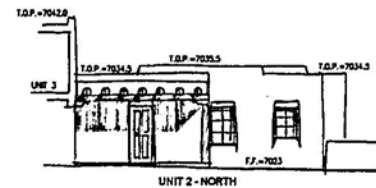
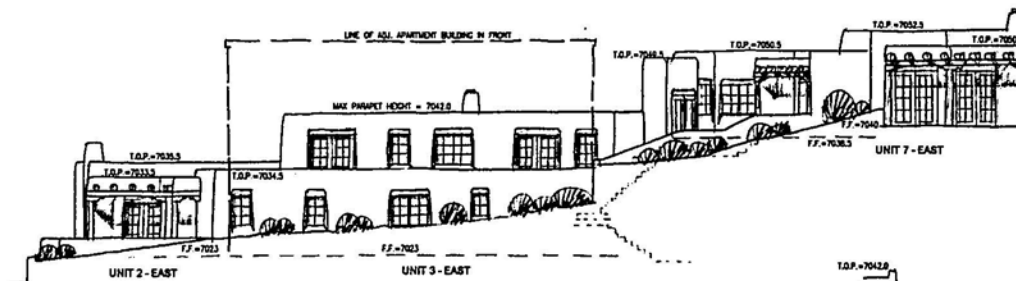
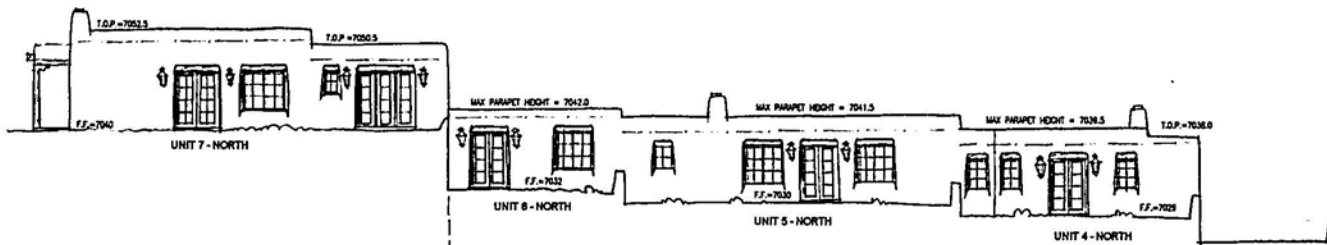
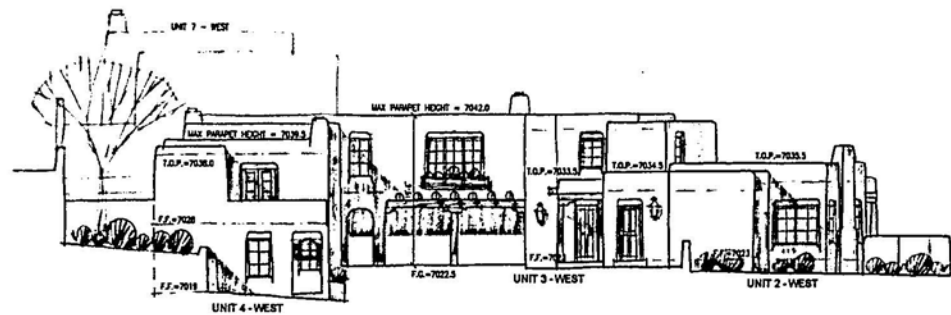
PASEO DE PERALTA

Z:\0428-PASEO COMPO05\2ND FLOOR PLANS.DWG (10-28-04 4:08 PM) AKT

LORN TRYK ARCHITECTS
 200 McKenna, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: ltr@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

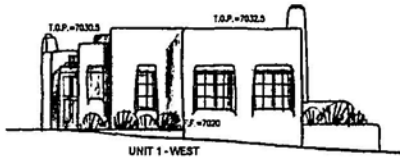
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 Occasion: _____
 Project: _____
 Drawn by: _____
 Checked by: _____
 Job Number: 0426
 Sheet Title: 2ND FLOOR PLAN
 Scale: 1/8" = 1'-0"



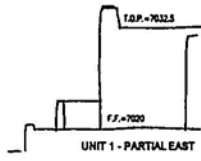
LORN IRYK ARCHITECTS
 206 McKenzie, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5540 Fax: 505-982-5593
 E-Mail: mail@liryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

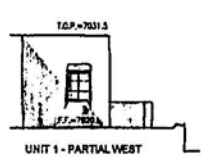
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|-------------|--------------|
| Date | 08 |
| Project | |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | ELEVATIONS |
| Scale | 1/8" = 1'-0" |
| Sheet No. | |
| Of | |



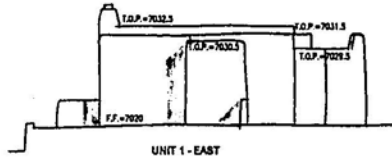
UNIT 1 - WEST



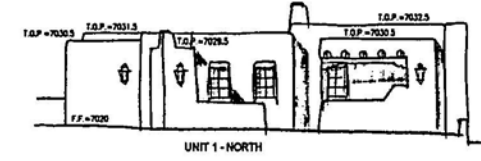
UNIT 1 - PARTIAL EAST



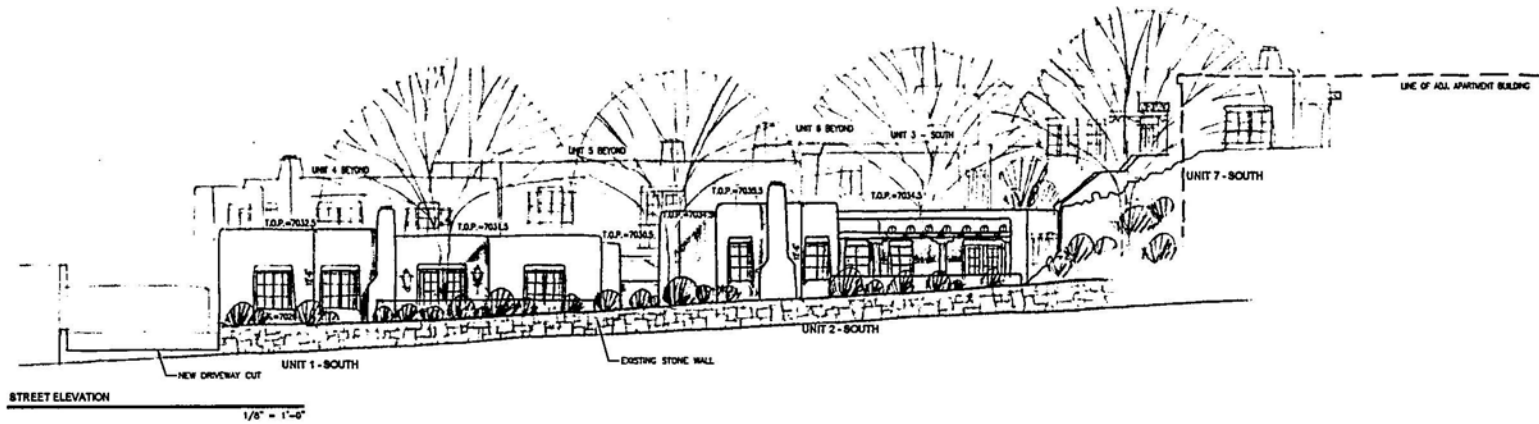
UNIT 1 - PARTIAL WEST



UNIT 1 - EAST

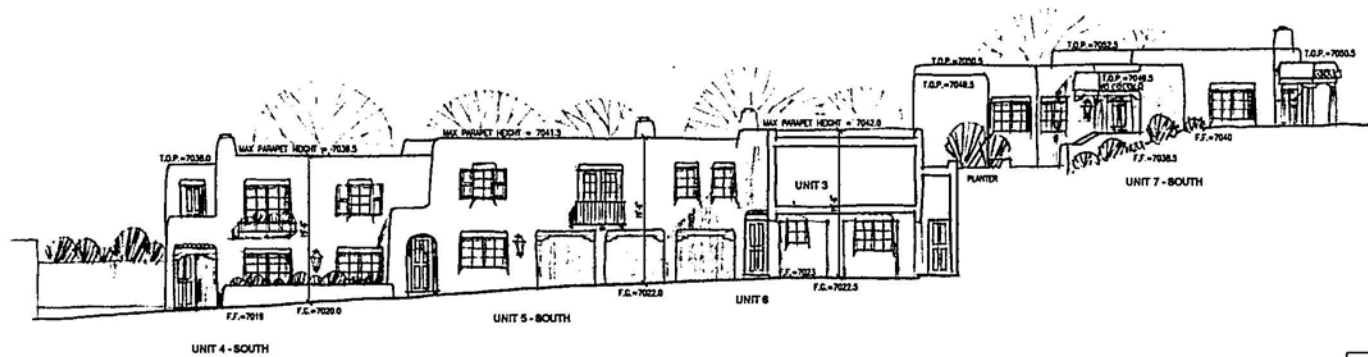


UNIT 1 - NORTH



STREET ELEVATION

1/8" = 1'-0"



UNIT 4 - SOUTH

UNIT 5 - SOUTH

UNIT 3

UNIT 7 - SOUTH

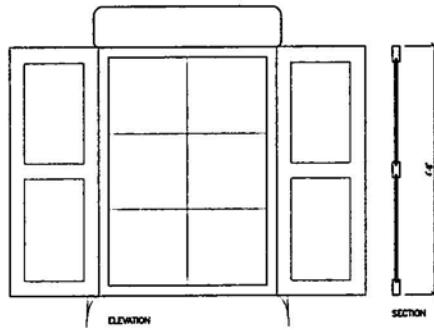
EXTERIOR COLORS:

| | |
|----------------|--------------|
| STUCCO = | STO PECOS |
| WINDOWS = | PELLA TAN |
| FRENCH DOORS = | PELLA TAN |
| WOOD STAIN = | MEDIUM BROWN |

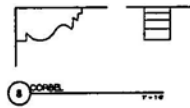
LORN TRIFE ARCHITECTS
 206 McKeen's, Suite P2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorn@lorntrife.com

PASEO COMPOUND
 Tract 1 Paseo De Peralta

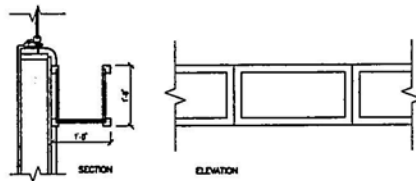
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 Checked by: _____
 Job Number: 0426
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 Sheet No. _____



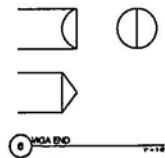
6 WINDOW SHUTTERS



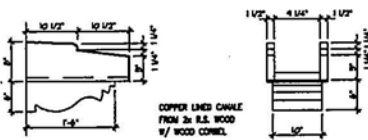
7 DOOR



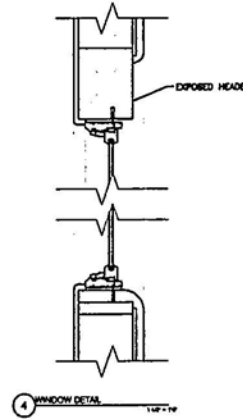
8 WINDOW BOX



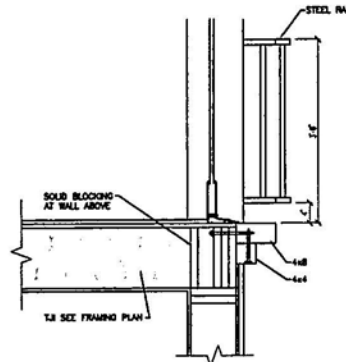
9 VOA END



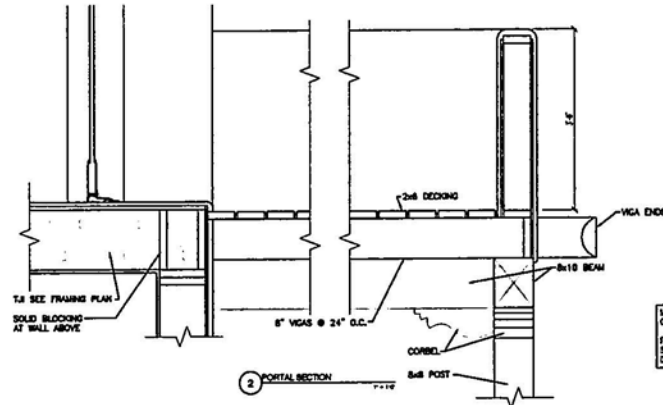
10 CHANNEL DETAIL



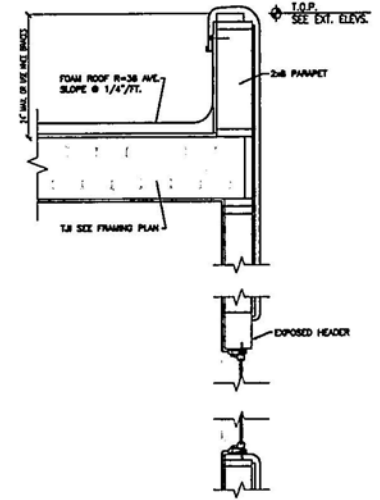
1 WINDOW DETAIL



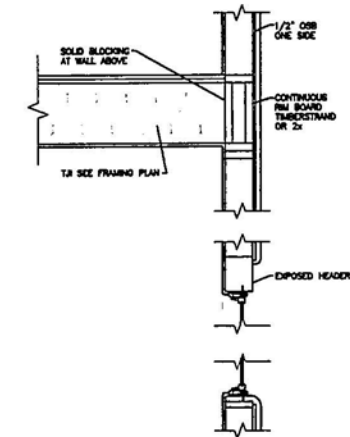
2 BALCONY SECTION



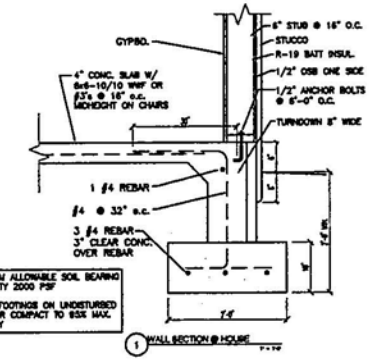
3 PORTAL SECTION



4 WALL SECTION @ HOUR



5 WALL SECTION @ HOUR



6 WALL SECTION @ HOUR

MINIMUM ALLOWABLE SOIL BEARING CAPACITY 2000 PSF
FORM FOOTINGS ON UNDISTURBED SOIL OR COMPACT TO 95% MAX. DENSITY

LORN IRYK ARCHITECTS
206 McKenna, Suite F2
Santa Fe, New Mexico 87501
Telephone: 505-982-5340 Fax: 505-982-5393
E-Mail: mail@lryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

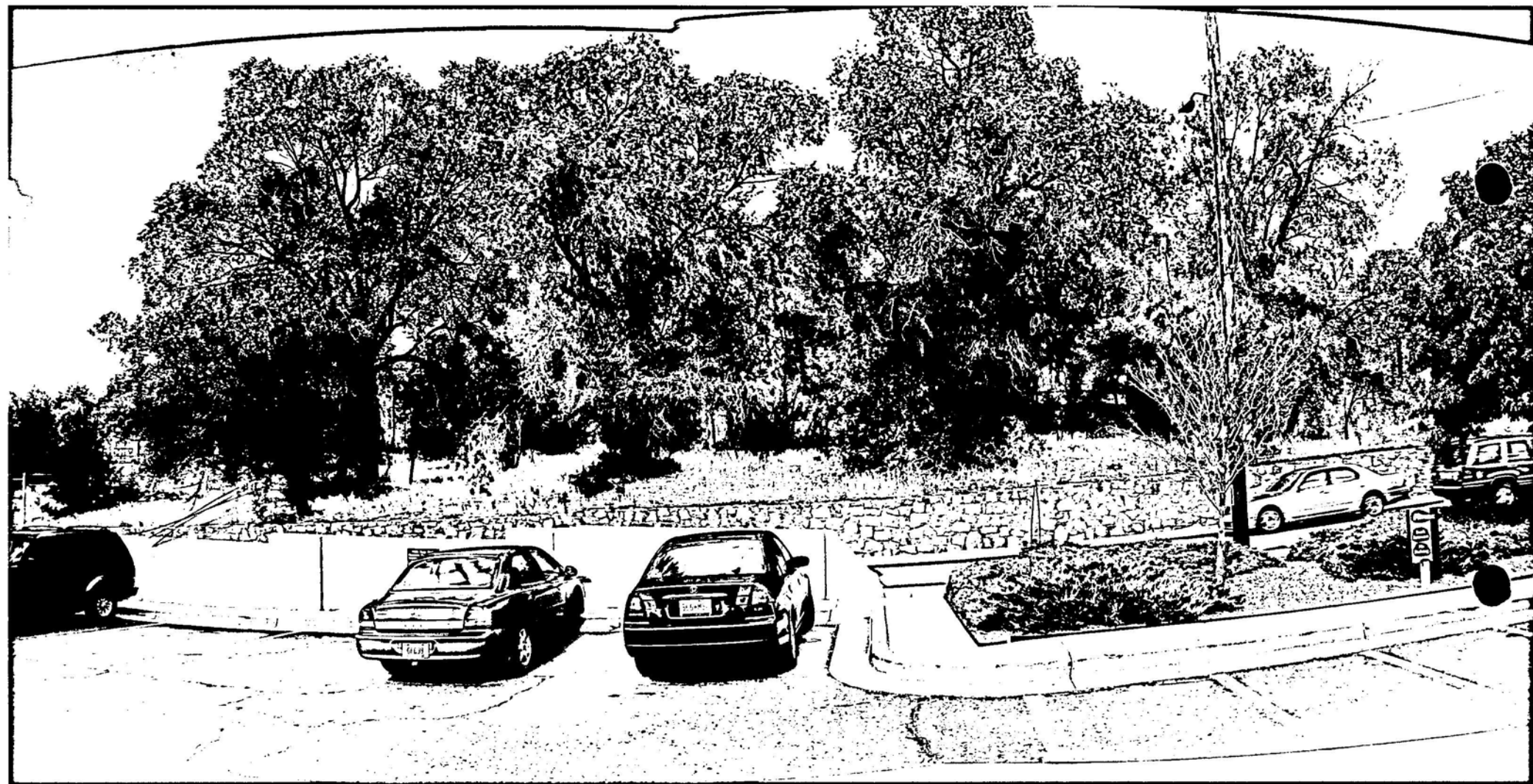
| | |
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| Date | 06 |
| Project | |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | DETAILS |
| 1" = 1'-0" | |
| Sheet No. | |
| of | |



wall mounted
Nuevo Mexico

21" x 13"

copper oxide
or
pewter



VIEW OF SITE FROM WELLS FARGO PARKING LOT
NOTE 4 SIGNIFICANT TREES AND STONE WALL.
APARTMENT BUILDING AT 515 PASEO ON RIGHT BEHIND TREES.

LORN TRYK ARCHITECTS
 205 McKinnis, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@ltryk.com

PASEO COMPOUND
ct 1 Paseo De Peralta

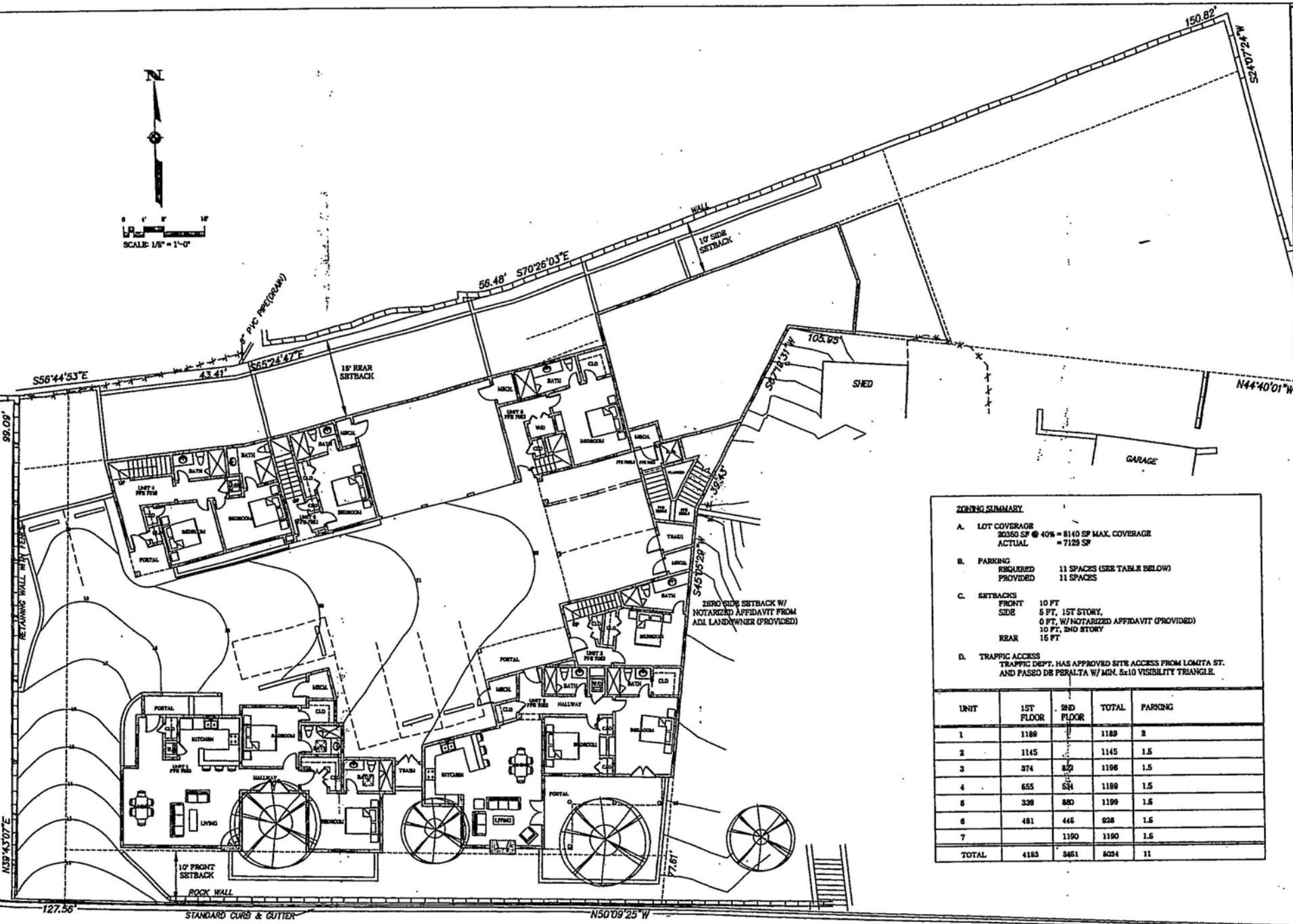
Date Oct 28, 04

Drawn by
 Checked by
 Job Number 0428

Sheet Title
**SITE PLAN/
 1ST FLOOR PLAN**

1/8" = 1'-0"

A-1



ZONING SUMMARY

A. LOT COVERAGE
 20350 SF @ 40% = 8140 SF MAX. COVERAGE
 ACTUAL = 7129 SF

B. PARKING
 REQUIRED 11 SPACES (SEE TABLE BELOW)
 PROVIDED 11 SPACES

C. SETBACKS
 FRONT 10 FT
 SIDE 6 FT, 1ST STORY,
 0 FT, W/NOTARIZED AFFIDAVIT (PROVIDED)
 10 FT, 2ND STORY
 REAR 15 FT

D. TRAFFIC ACCESS
 TRAFFIC DEPT. HAS APPROVED SITE ACCESS FROM LOMITA ST.
 AND PASEO DE PERALTA W/ MIN. 5x10 VISIBILITY TRIANGLE.

| UNIT | 1ST FLOOR | 2ND FLOOR | TOTAL | PARKING |
|--------------|-------------|-------------|-------------|-----------|
| 1 | 1189 | | 1189 | 2 |
| 2 | 1145 | | 1145 | 1.5 |
| 3 | 374 | 859 | 1199 | 1.5 |
| 4 | 655 | 634 | 1189 | 1.5 |
| 5 | 339 | 860 | 1199 | 1.5 |
| 6 | 481 | 445 | 928 | 1.5 |
| 7 | | 1190 | 1190 | 1.5 |
| TOTAL | 4183 | 3651 | 8034 | 11 |

PASEO DE PERALTA

— PREVIOUSLY H BOARD APPROVED —

COMMON OPEN SPACE



DENOTES COMMON OPEN SPACE:
 TOTAL REQUIRED FOR PROJECT: (7 UNITS X 250 = 1750 S.F.)
 1ST FLOOR PROVIDED = 1,342 S.F.
 1ST FLOOR PROVIDED (LEGAL) = 819 S.F.
 2ND FLOOR PROVIDED = 2,783 S.F.
 2ND FLOOR PROVIDED (LEGAL) = 2,307 S.F.
 TOTAL LEGAL COMMON OPEN SPACE PROVIDED = 2,828 S.F.

PRIVATE OPEN SPACE



DENOTES PRIVATE OPEN SPACE:
 TOTAL REQUIRED = 0.0 S.F.
 1ST FLOOR PROVIDED = 806 S.F.
 2ND FLOOR PROVIDED = 738 S.F.
 TOTAL PRIVATE OPEN SPACE PROVIDED = 1,544 S.F.

GENERAL NOTES:

- UTILITIES RUNS SHOWN ON THIS PLAN ARE SCHEMATIC ONLY
- UTILITIES SHALL BE ADJUSTED TO BEST FIT FIELD CONDITIONS
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES
- CONTRACTOR SHALL DETERMINE THE LOCATION, DEPTH, SIZE & TYPE OF ANY EXISTING UNDER OR ABOVE GROUND UTILITIES OR PIPELINES PRIOR TO & DURING ANY EXCAVATION WORK
- CONTRACTOR SHALL FOLLOW REQUIREMENTS OUTLINED IN THE TECHNICAL EVALUATION REPORT FROM WASTEWATER MANAGEMENT DIVISION
- GAS & ELECTRICAL RUNS TO BE DETERMINED & COORDINATED WITH PNM
- FIRE SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT
- CODE COMPLIANT HANDRAILS PROVIDED AT ALL STAIRS
- FIRST FLOOR OF UNITS 1 THRU 4 ARE TYPE "B" ACCESSIBLE PER ANSI 1003.11.3.2. OPTION "B" (A.D.A. ADAPTABLE BATHROOMS ARE SO NOTED)

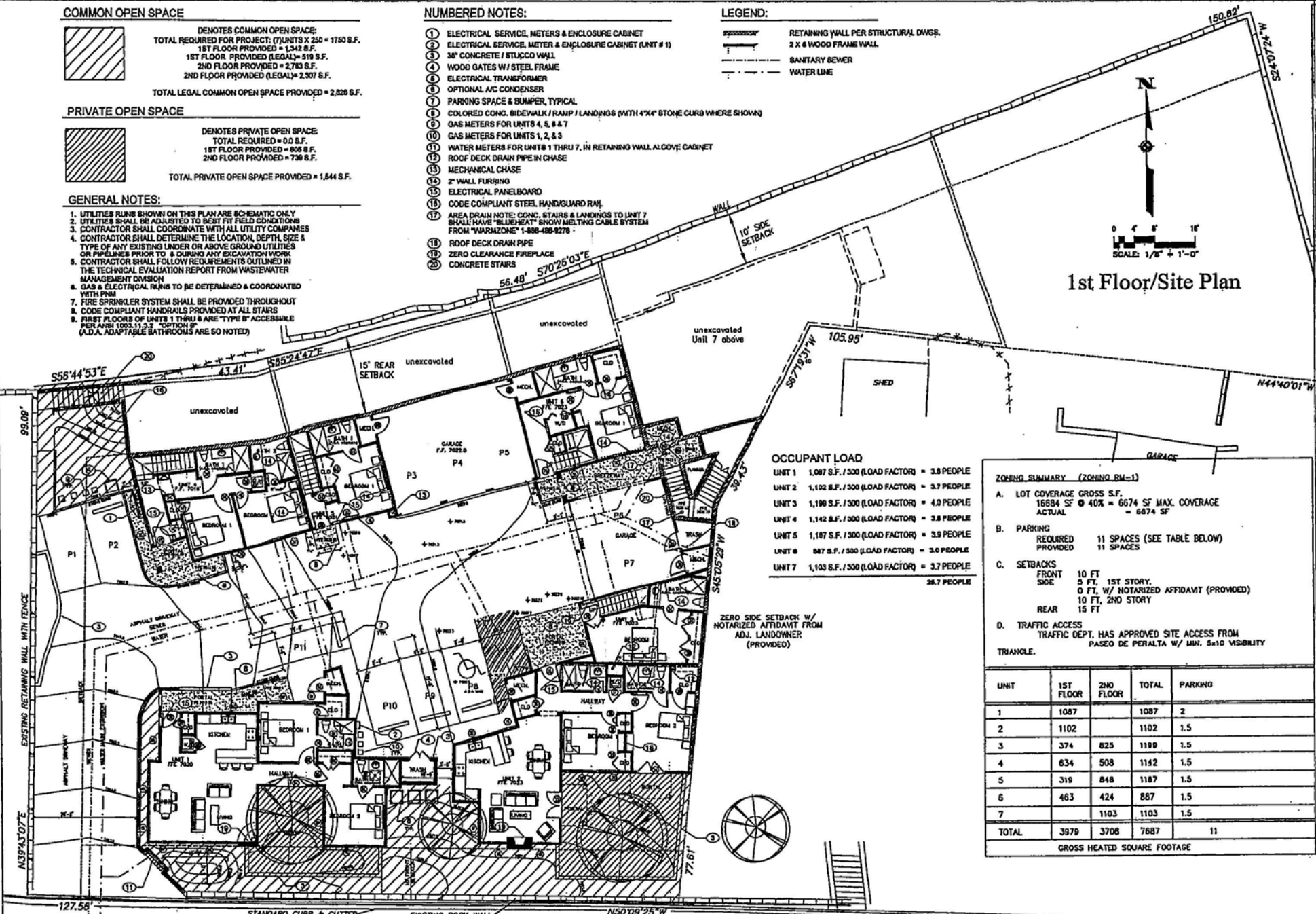
NUMBERED NOTES:

- ELECTRICAL SERVICE, METERS & ENCLOSURE CABINET
- ELECTRICAL SERVICE, METER & ENCLOSURE CABINET (UNIT # 1)
- 8" CONCRETE / STUCCO WALL
- WOOD GATES W/ STEEL FRAME
- ELECTRICAL TRANSFORMER
- OPTIONAL A/C CONDENSER
- PARKING SPACE & BUMPER, TYPICAL
- COLORLED CONC. SIDEWALK / RAMP / LANDINGS (WITH 4"x4" STONE CURB WHERE SHOWN)
- GAS METERS FOR UNITS 4, 5, 6 & 7
- GAS METERS FOR UNITS 1, 2, & 3
- WATER METERS FOR UNITS 1 THRU 7, IN RETAINING WALL ALCOVE CABINET
- ROOF DECK DRAIN PIPE IN CHASE
- MECHANICAL CHASE
- 2" WALL FURRING
- ELECTRICAL PANELBOARD
- CODE COMPLIANT STEEL HANDGUARD RAIL
- AREA DRAIN NOTE: CONC. STAIRS & LANDINGS TO UNIT 7 SHALL HAVE "BLUEHEAT" SNOW MELTING CABLE SYSTEM FROM "WARAZONE" 1-800-488-9278
- ROOF DECK DRAIN PIPE
- ZERO CLEARANCE FIREPLACE
- CONCRETE STAIRS

LEGEND:

- RETAINING WALL PER STRUCTURAL DWGS.
- 2 X 6 WOOD FRAME WALL
- SANITARY BEWER
- WATER LINE

1st Floor/Site Plan



OCCUPANT LOAD

- UNIT 1 1,087 S.F. / 300 (LOAD FACTOR) = 3.6 PEOPLE
- UNIT 2 1,102 S.F. / 300 (LOAD FACTOR) = 3.7 PEOPLE
- UNIT 3 1,196 S.F. / 300 (LOAD FACTOR) = 4.0 PEOPLE
- UNIT 4 1,142 S.F. / 300 (LOAD FACTOR) = 3.8 PEOPLE
- UNIT 5 1,187 S.F. / 300 (LOAD FACTOR) = 3.9 PEOPLE
- UNIT 6 887 S.F. / 300 (LOAD FACTOR) = 2.9 PEOPLE
- UNIT 7 1,103 S.F. / 300 (LOAD FACTOR) = 3.7 PEOPLE
- 28.7 PEOPLE**

ZONING SUMMARY (ZONING RM-1)

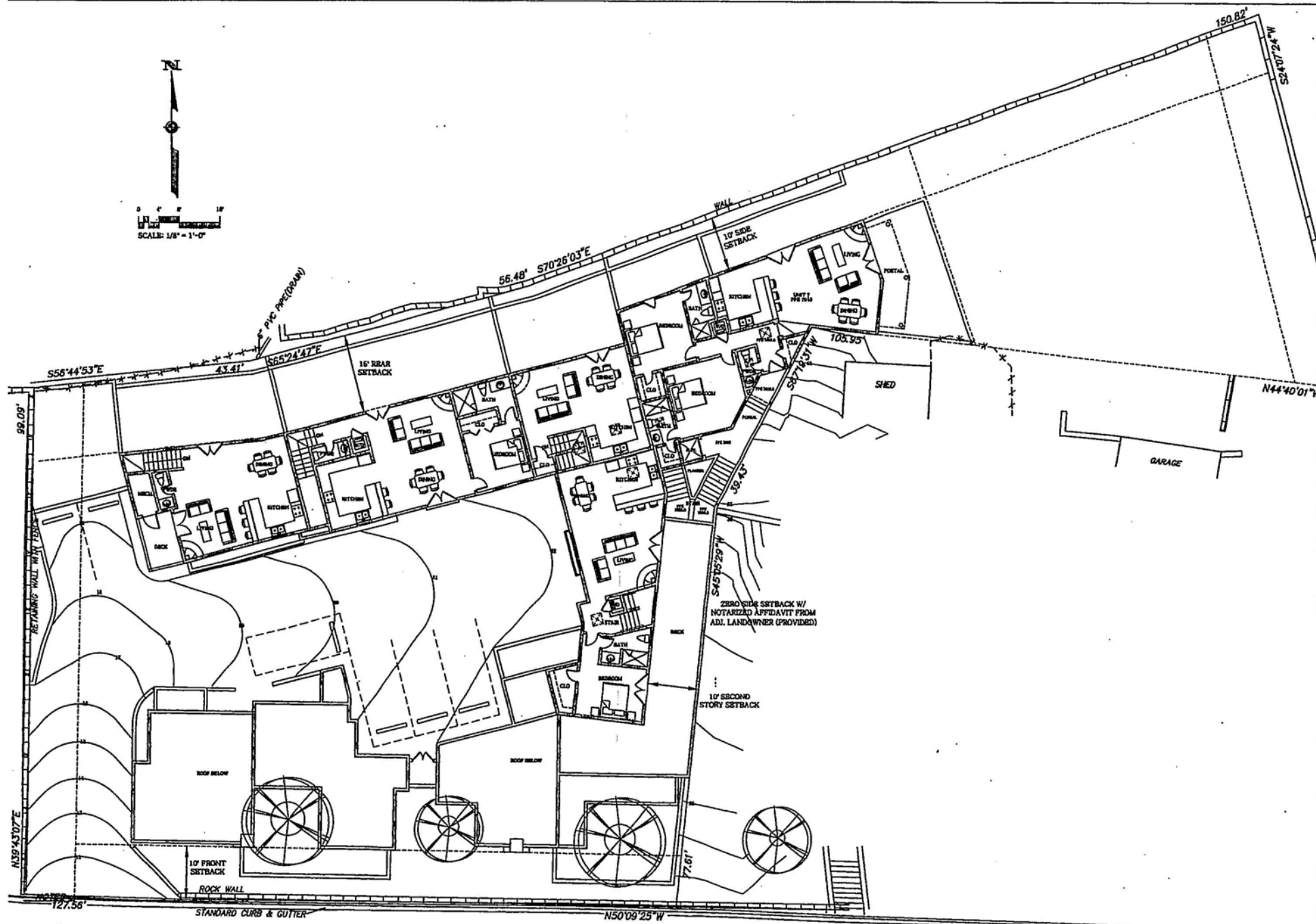
- A. LOT COVERAGE GROSS S.F.**
 16684 SF @ 40% = 6674 SF MAX. COVERAGE
 ACTUAL = 6674 SF
- B. PARKING**
 REQUIRED 11 SPACES (SEE TABLE BELOW)
 PROVIDED 11 SPACES
- C. SETBACKS**
 FRONT 10 FT
 SIDE 5 FT, 1ST STORY,
 0 FT, W/ NOTARIZED AFFIDAVIT (PROVIDED)
 REAR 10 FT, 2ND STORY
 15 FT
- D. TRAFFIC ACCESS**
 TRAFFIC DEPT. HAS APPROVED SITE ACCESS FROM PASEO DE PERALTA W/ MIN. 5x10 VISIBILITY TRIANGLE.

| UNIT | 1ST FLOOR | 2ND FLOOR | TOTAL | PARKING |
|--------------|-------------|-------------|-------------|-----------|
| 1 | 1087 | | 1087 | 2 |
| 2 | 1102 | | 1102 | 1.5 |
| 3 | 374 | 825 | 1199 | 1.5 |
| 4 | 634 | 508 | 1142 | 1.5 |
| 5 | 319 | 848 | 1167 | 1.5 |
| 6 | 463 | 424 | 887 | 1.5 |
| 7 | | 1103 | 1103 | 1.5 |
| TOTAL | 3979 | 3708 | 7687 | 11 |

GROSS HEATED SQUARE FOOTAGE

THIS DRAWING IS THE PROPERTY OF CHELSEA CONSTRUCTION INC. AND SHALL NOT BE USED OR REPRODUCED FOR ANY OTHER PURPOSE UNLESS BY WRITTEN PERMISSION OF CHELSEA CONSTRUCTION INC.
CHELSEA CONSTRUCTION
 300 Paseo de Peralta, Suite 100, Santa Fe, NM 87501
 OFFICE: (505) 966-8060 NM Lic. # 25666 Fax: (505) 966-8340
1ST FLOOR/SITE PLAN
PASEO COMPOUND
 515 Paseo de Peralta
 Santa Fe, N.M.
 DATE: May 2005
 REVISION:

PROPOSED FOR H-BOARD APPROVAL
 — PROPOSED FOR H-BOARD APPROVAL —



LORN TRYK ARCHITECTS
 206 McKeen's, Suite F2
 Santa Fe, New Mexico 87501
 Phone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorn@tryk.com

PASEO COMPOUND
Trt 1 Paseo De Peralta

Date: Oct 28, 04
 Project:
 Drawn by:
 Checked by:
 Job Number: 0426
 Sheet Title:
2ND FLOOR PLAN
 Scale: 1/8" = 1'-0"

— PREVIOUSLY H-BOARD APPROVED —

COMMON OPEN SPACE



DENOTES COMMON OPEN SPACE:
 TOTAL REQUIRED FOR PROJECT: (7) UNITS X 250 = 1750 S.F.
 1ST FLOOR PROVIDED = 1,242 S.F.
 1ST FLOOR PROVIDED (LEGAL) = 819 S.F.
 2ND FLOOR PROVIDED = 2,783 S.F.
 2ND FLOOR PROVIDED (LEGAL) = 2,307 S.F.
 TOTAL LEGAL COMMON OPEN SPACE PROVIDED = 2,828 S.F.

PRIVATE OPEN SPACE



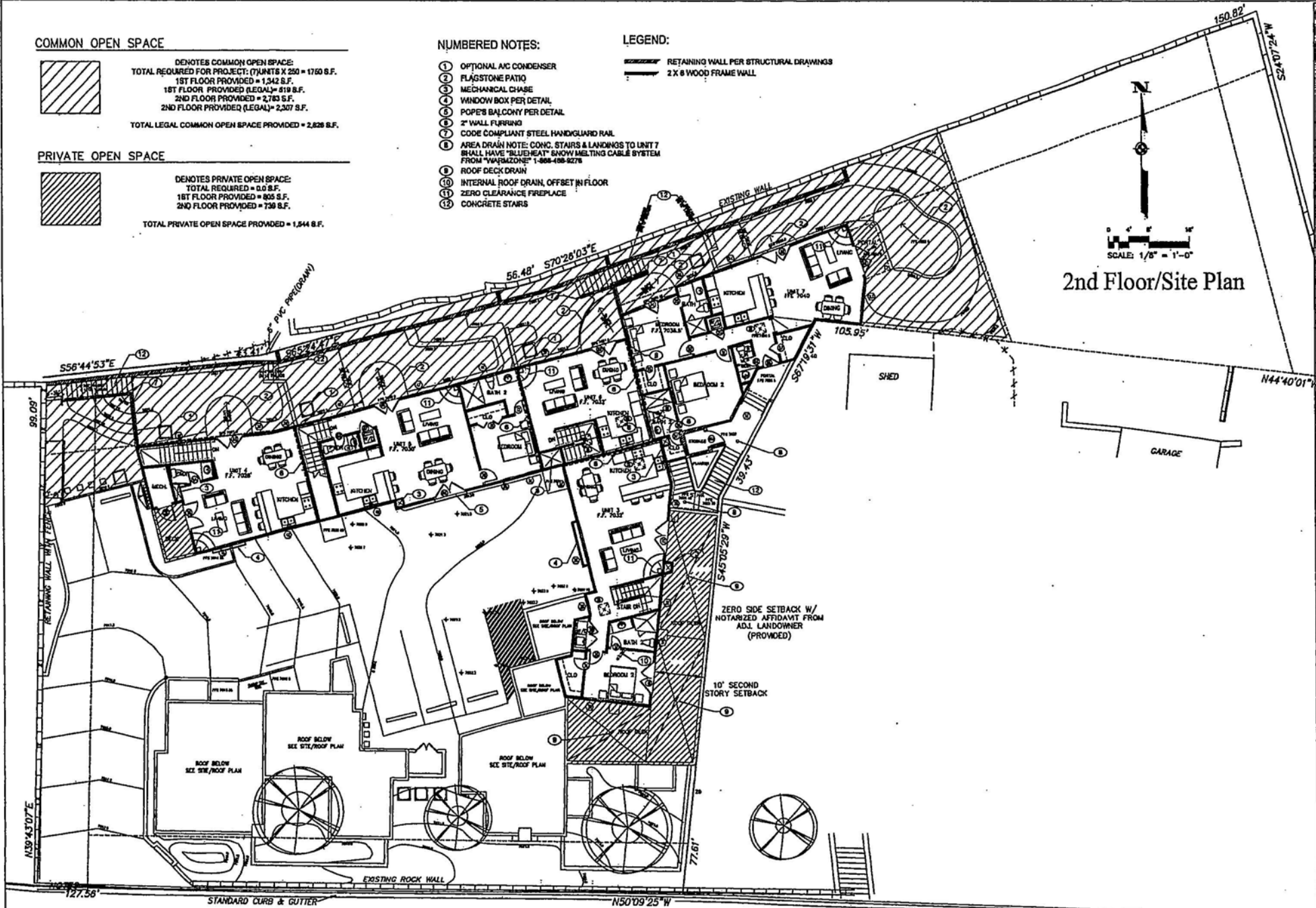
DENOTES PRIVATE OPEN SPACE:
 TOTAL REQUIRED = 630 S.F.
 1ST FLOOR PROVIDED = 805 S.F.
 2ND FLOOR PROVIDED = 738 S.F.
 TOTAL PRIVATE OPEN SPACE PROVIDED = 1,544 S.F.

NUMBERED NOTES:

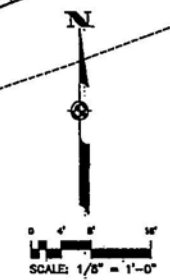
- ① OPTIONAL A/C CONDENSER
- ② FLAGSTONE PATIO
- ③ MECHANICAL CHASE
- ④ WINDOW BOX PER DETAIL
- ⑤ POPE'S BALCONY PER DETAIL
- ⑥ 2" WALL FURRING
- ⑦ CODE COMPLIANT STEEL HANDGUARD RAIL
- ⑧ AREA DRAIN NOTE: CONC. STAIRS & LANDINGS TO UNIT 7 SHALL HAVE "BLUED HEAT" SNOW MELTING CABLE SYSTEM FROM "WAYSZONE" 1-888-498-6278
- ⑨ ROOF DECK DRAIN
- ⑩ INTERNAL ROOF DRAIN, OFFSET IN FLOOR
- ⑪ ZERO CLEARANCE FIREPLACE
- ⑫ CONCRETE STAIRS

LEGEND:

- RETAINING WALL PER STRUCTURAL DRAWINGS
- 2 X 6 WOOD FRAME WALL



2nd Floor/Site Plan



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 SHALL NOT BE USED OR REPRODUCED
 FOR ANY OTHER PURPOSE UNLESS
 BY WRITTEN CONSENT FROM
 CHELSEA CONSTRUCTION INC.

CHELSEA CONSTRUCTION
 300 Paseo de Peralta, Suite 100, Santa Fe, NM 87501
 Office: (505) 986-8060 NM Lic. # 29666 Fax: (505) 986-8340

2ND FLOOR/SITE PLAN

PASEO COMPOUND
 515 Paseo de Peralta
 Santa Fe, N.M.

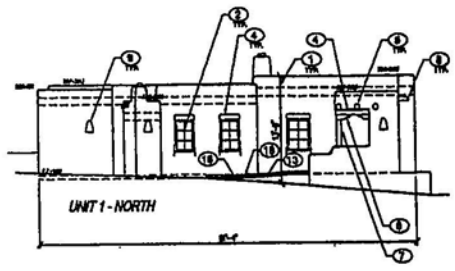
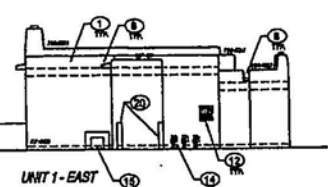
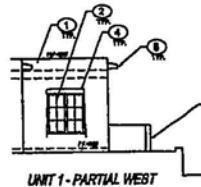
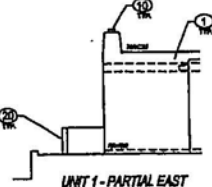
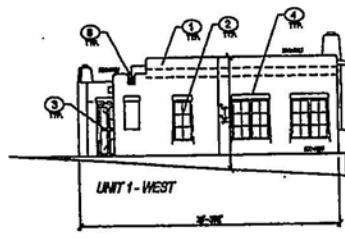
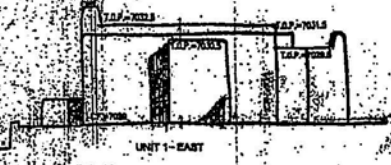
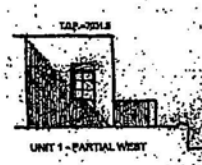
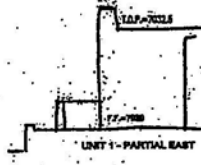
DATE: May 2005
 REVISION:

PASEO DE PERALTA

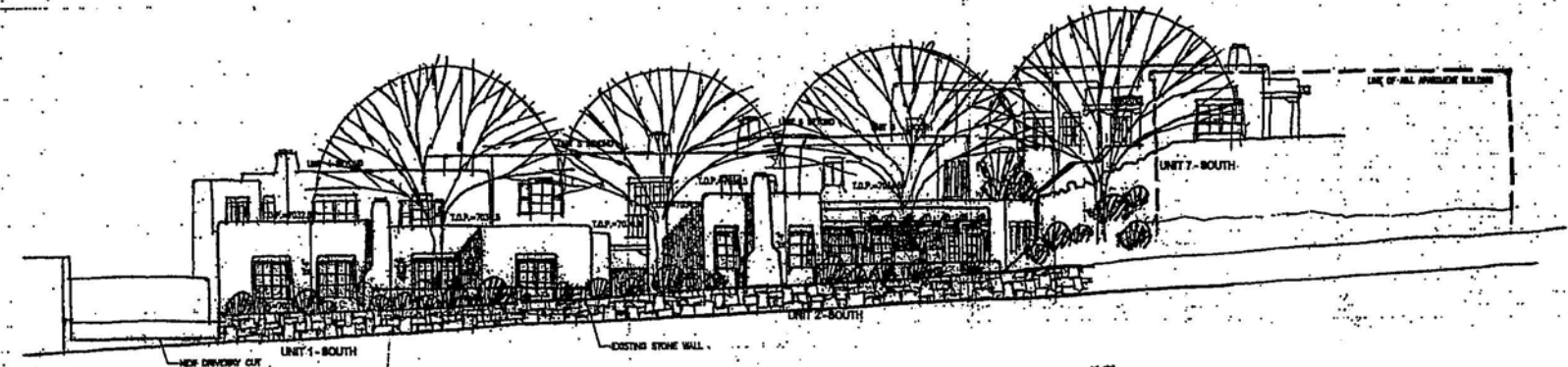
- PROPOSED FOR H-BOARD APPROVAL -



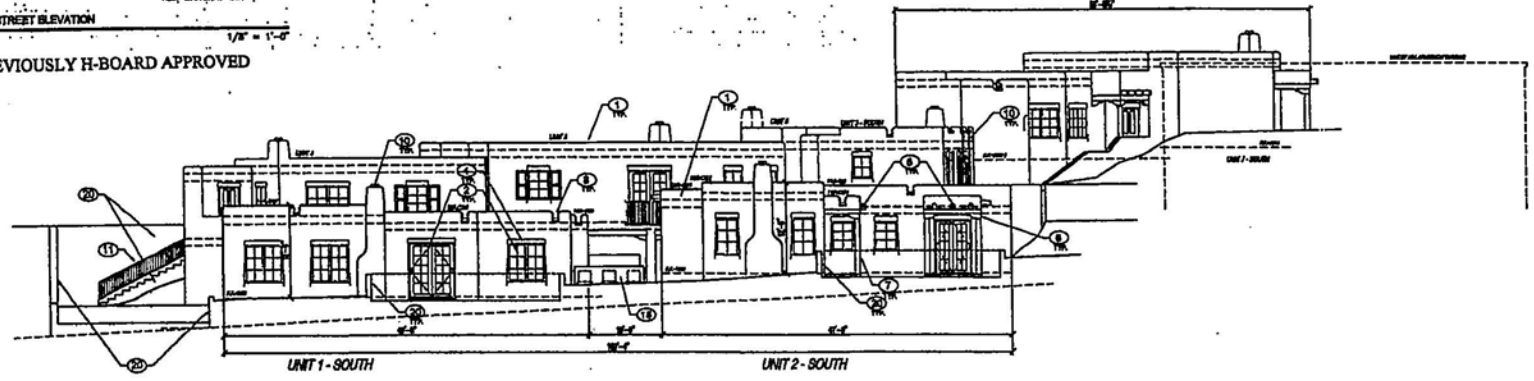
PREVIOUSLY H-BOARD APPROVED



PROPOSED FOR H-BOARD APPROVAL



PREVIOUSLY H-BOARD APPROVED



PROPOSED FOR H-BOARD APPROVAL

1/8" = 1'-0"

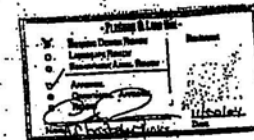
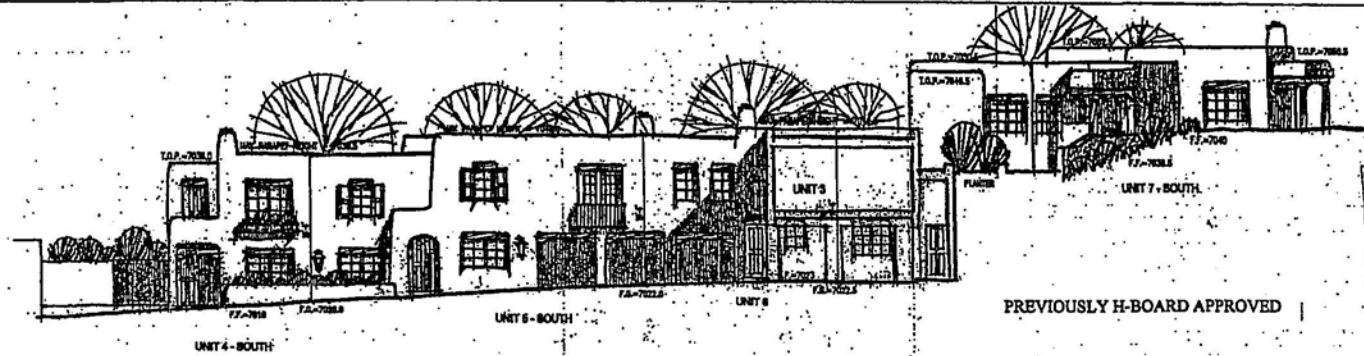
THIS DRAWING IS THE PROPERTY OF CHELSEA CONSTRUCTION INC. AND MAY NOT BE USED OR REPRODUCED FOR ANY OTHER PURPOSE UNLESS BY WRITTEN CONSENT FROM CHELSEA CONSTRUCTION INC.

CHELSEA CONSTRUCTION
 300 Paseo de Peralta, Suite 100, Santa Fe, NM 87501
 Office: (505) 966-8060 NM Lic. # 2506 (505) 966-8240

EXTERIOR ELEVATIONS

PASEO COMPOUND
 515 Paseo de Peralta
 Santa Fe, N.M.

DATE: August 2005
 REVISION:



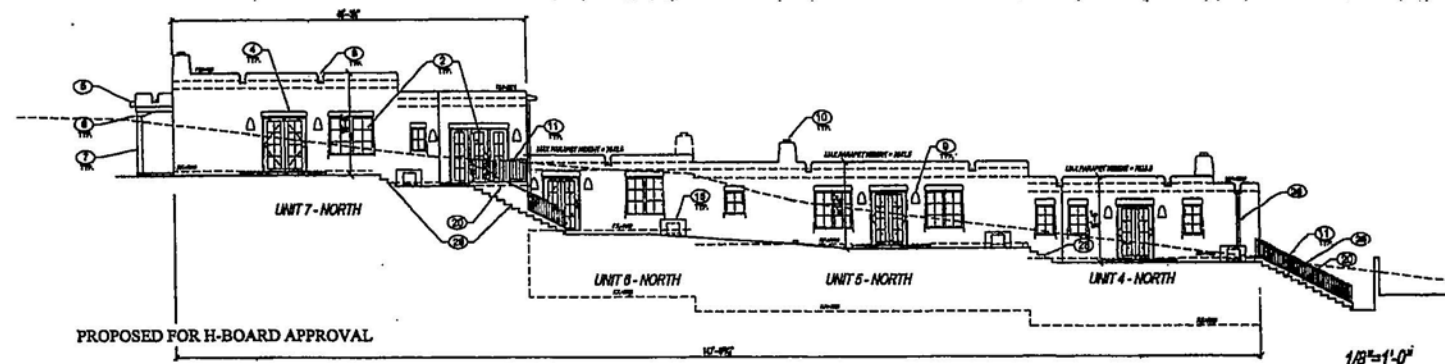
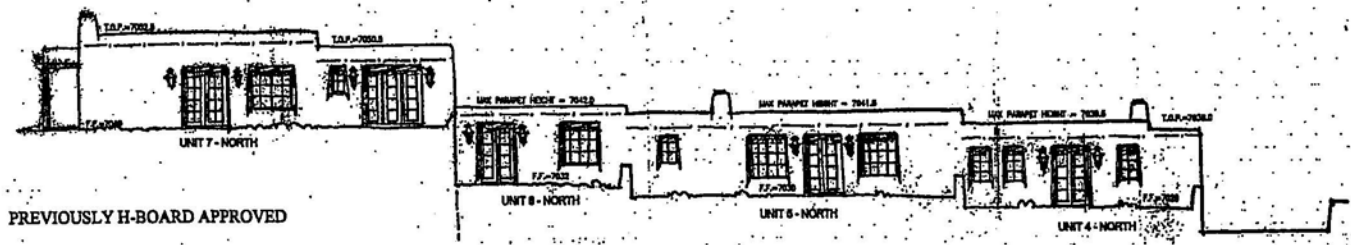
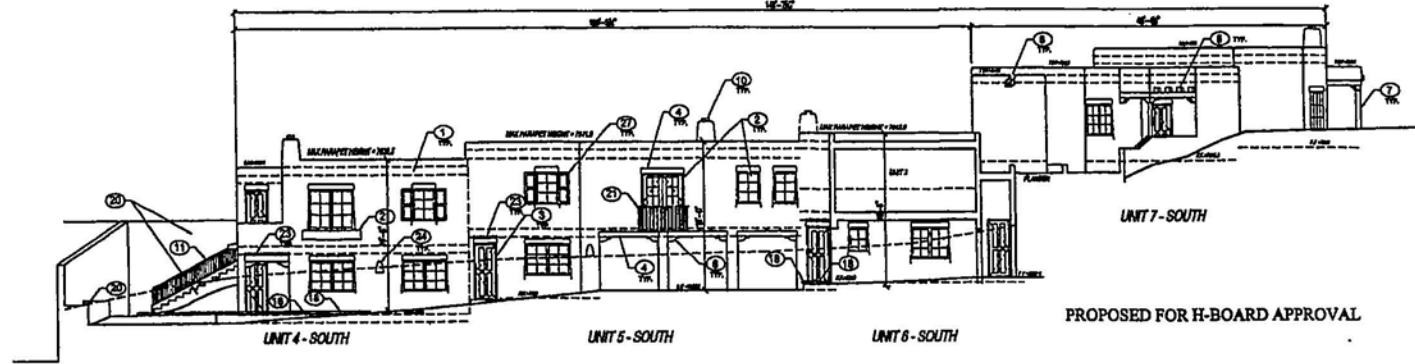
THIS DRAWING IS THE PROPERTY OF CHELSEA CONSTRUCTION INC. AND MAY NOT BE USED OR REPRODUCED FOR ANY OTHER PURPOSE UNLESS BY WRITTEN CONSENT FROM CHELSEA CONSTRUCTION INC.

CHELSEA CONSTRUCTION
 300 Paseo de Peralta, Suite 100, Santa Fe, NM 87501
 Office: (505) 966-9000 NM Lic. # 29662 (505) 966-8340

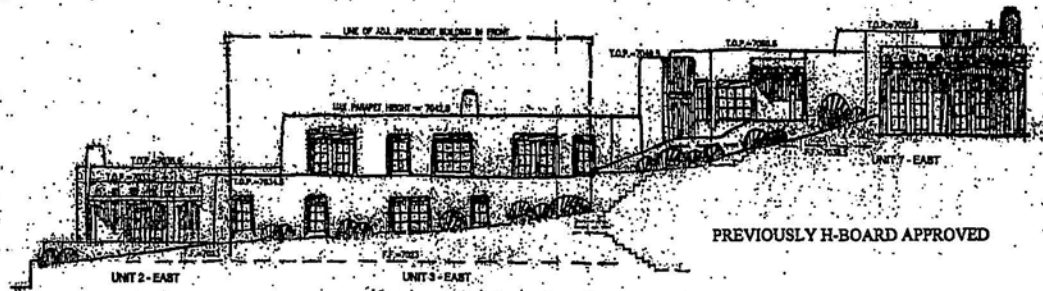
EXTERIOR ELEVATIONS

PASEO COMPOUND
 515 Paseo de Peralta
 Santa Fe, NM

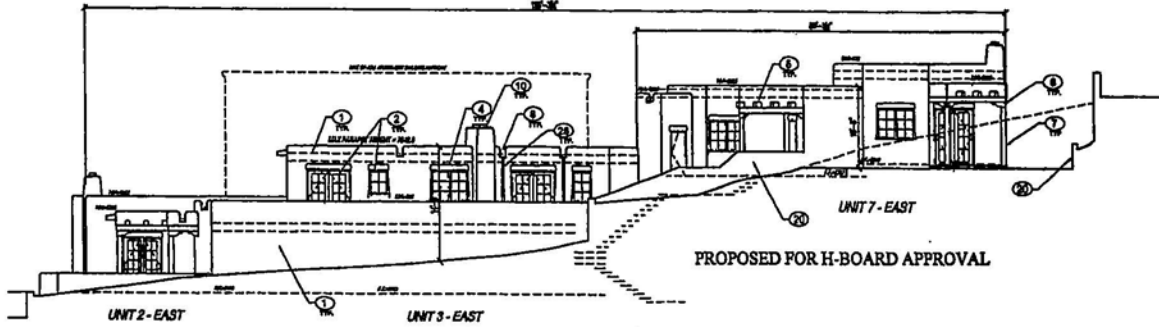
DATE: August 2005
 REVISION:



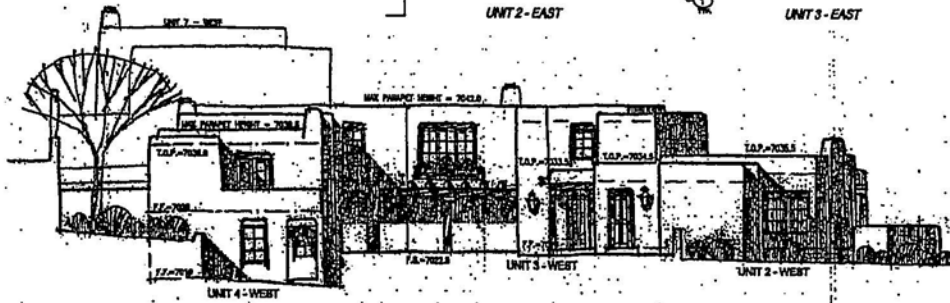
1/8"=1'-0"



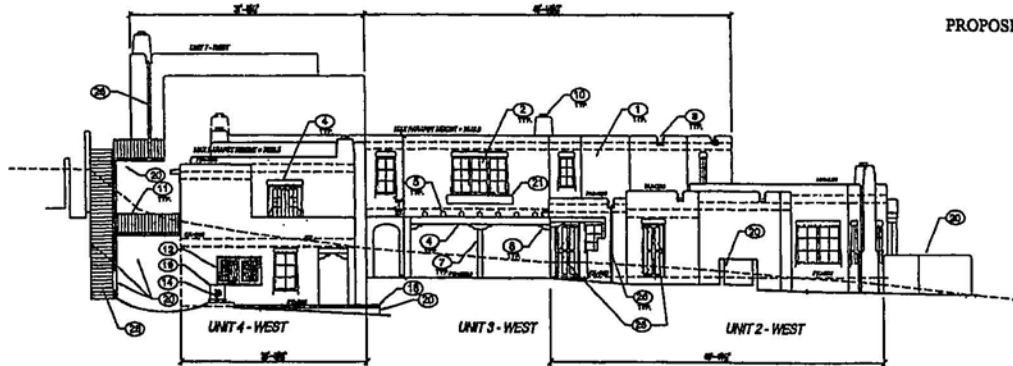
PREVIOUSLY H-BOARD APPROVED



PROPOSED FOR H-BOARD APPROVAL



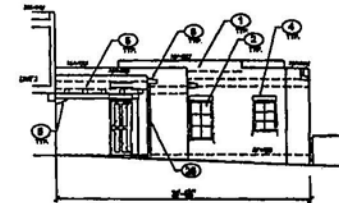
PROPOSED FOR H-BOARD APPROVAL



PROPOSED FOR H-BOARD APPROVAL



UNIT 2 - NORTH



UNIT 2 - NORTH

1/8"=1'-0"

THIS DRAWING IS THE PROPERTY OF CHELSEA CONSTRUCTION INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT FROM CHELSEA CONSTRUCTION INC.

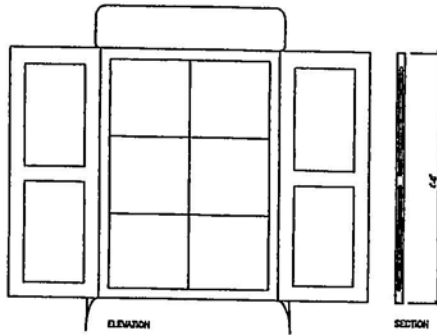
CHELSEA CONSTRUCTION
 300 Paseo de Peralta, Suite 100, Santa Fe, NM 87501
 Office: (505) 966-8060 NM Lic. # 29666

EXTERIOR
 ELEVATIONS

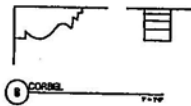
PASEO COMPOUND
 515 Paseo de Peralta
 Santa Fe,

DATE:
 August 2005
 REVISION:

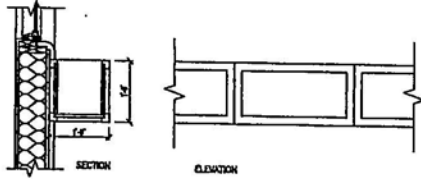
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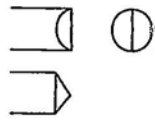
1 WINDOW SHUTTERS



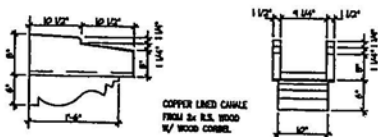
2 CORNICE



3 WINDOW BOX

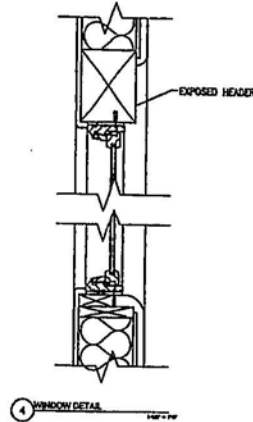


4 VINYL END

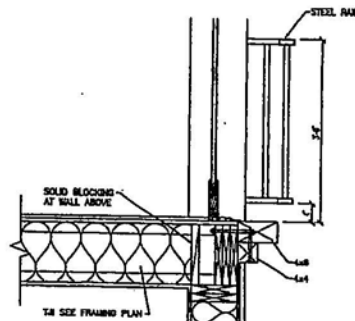


COPPER LINED CHANNEL FROM 2x8 WOOD W/ WOOD CORNICE

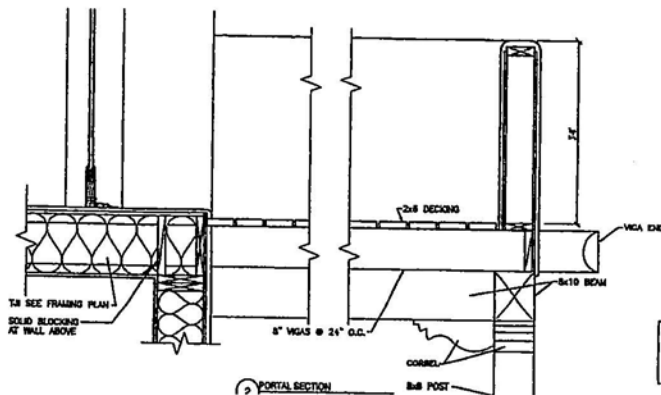
5 CHANNEL DETAIL



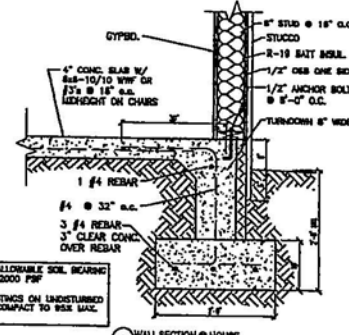
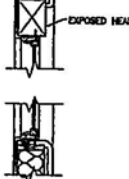
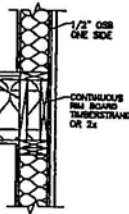
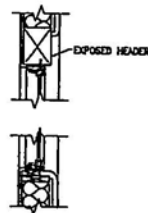
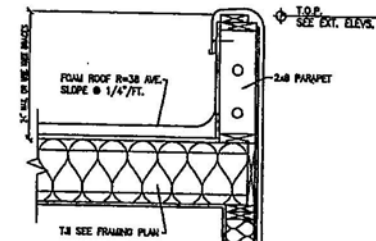
6 WINDOW DETAIL



7 BALCONY SECTION



8 PORTAL SECTION



MINIMUM ALLOWABLE SOIL BEARING CAPACITY 2000 PSF
FOAM FOOTINGS ON UNDISTURBED SOIL OR COMPACT TO 95% MAX. DENSITY

LORN TRYK ARCHITECTS
206 McKeon, Suite F2
Santa Fe, New Mexico 87501
Phone: 505-962-5340 Fax: 505-962-5393
E-Mail: mail@lorntryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date Oct 25, 04

Drawn by
Checked by
Job Number 0428

Sheet Title DETAILS

1" = 1'-0"

TYPICAL NUMBERED NOTES:

- ① *STUCCO (COLOR - "PECOS" BY "STO")*
- ② *ALUMINUM CLAD WOOD WINDOWS & PATIO DOORS
(COLOR - "PELLA TAN" OR MATCH)*
- ③ *STAINED WOOD ENTRY DOORS (MEDIUM BROWN)*
- ④ *STAINED WOOD BEAMS (MEDIUM BROWN)*
- ⑤ *STAINED WOOD VIGAS (MEDIUM BROWN)*
- ⑥ *STAINED WOOD CORBEL (MEDIUM BROWN)*
- ⑦ *STAINED WOOD POSTS (MEDIUM BROWN)*
- ⑧ *STAINED WOOD CANALE (MEDIUM BROWN) PER DETAIL*
- ⑨ *WALL SCONCE "ARTESANOS NEUVO MEXICO"*
- ⑩ *CHIMNEY CAP*
- ⑪ *STEEL HAND / GUARD RAIL*
- ⑫ *STAINED WOOD ELECT. METER CABINET (MEDIUM BROWN)*
- ⑬ *STAINED WOOD WATER METER CABINET (MEDIUM BROWN)*
- ⑭ *GAS METER*
- ⑮ *BUYERS OPTIONAL A/C CONDENSING UNIT
(WITH MEDIUM BROWN STAINED CEDAR SCREEN)*
- ⑯ *CONCRETE LANDING*
- ⑰ *CONCRETE RAMP 1:12 MAX*
- ⑱ *STONE CAP*
- ⑲ *ELECTRICAL TRANSFORMER*
- ⑳ *CONCRETE / STUCCO WALL*
- ㉑ *WINDOW BOX PER DETAIL*
- ㉒ *POPE'S BALCONY PER DETAIL*
- ㉓ *STAINED VIGA OVERHANG (MEDIUM BROWN)*
- ㉔ *WALL SCONCE - "ARTESANOS NUEVO MEXICO"*
- ㉕ *STAINED WOOD ENTRY DOOR (MEDIUM BROWN)*
- ㉖ *COPPER DOWNSPOUT*
- ㉗ *STAINED WOOD WINDOW SHUTTER (MEDIUM BROWN)*
- ㉘ *CONCRETE STEPS*

BACKGROUND & SUMMARY:

515 Paseo de Peralta, Tract 2 is a brick apartment building that was constructed before 1890 in the Neoclassical – Territorial Style. The building is finished with textured stucco and brick coping at the parapets. The building has undergone moderate historic alterations and is listed as Contributing to the Downtown & Eastside Historic District. There are associated historic buildings and stone walls on the property. The streetscape wall runs the length of the property, except for a driveway at the east end and lacks space for a sidewalk.

Tract 1 is a 20,350 square foot lot to the west of Tract 2 and with a slope down toward the street. This lot includes part of the streetscape stone wall and other stone retaining walls further back from the street. This Board approved the proposal for seven residential Units, the site plan, building footprints, and elevations on September 28, 2004 with the condition that architectural details be submitted for review at a later date. Now, the applicant is seeking approval of these details.

The buildings are designed in the Spanish-Pueblo Revival Style. The stucco-finished buildings will have battered and rounded parapets and rounded corners. Copper-lined canales will have carved corbel supports.

Portals will have exposed wooden headers, carved corbels, and viga posts. Exposed viga ends will be chisel-cut in vertical orientation.

Porches will have stucco-finished 3' high walls and 2" x 6" wooden decking.

The balcony on Unit 5 will have 32" high simple square-rod steel railings.

Doors will be true-divided light or wooden panel with exposed wooden headers.

Windows will be true-divided light with exposed wooden headers. Sills will be stucco-finished bevels. Window shutters on Units 4 and 5 will be 1-over-1 wood panel. Window boxes on Units 3 and 4 will be 1' high and 1' deep with a simple panel design. They will be slightly wider than the windows and mounted below the sills.

Exterior lights will be Artesanos wall-mounted Nuevo Mexico design. They are 21" high x 13" wide and finished in either a copper oxide or pewter color.



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

Larry A. Delgado, *Mayor*
Jim Romero, *City Manager*

Councilors:

Carol Robertson-Lopez, Mayor Pro Tem, Dist. 4
Patti J. Bushee, Dist. 1
David Pfeffer, Dist. 1
Karen Heldmeyer, Dist. 2
Rebecca Wurzbarger, Dist. 2
Miguel M. Chavez, Dist. 3
David Coss, Dist. 3
Matthew E. Ortiz, Dist. 4

Project description: Construct a residential compound of seven units at a total of 10,168 sq. ft. to the maximum allowable height of 17'6" plus 2 additional feet per Board approval. An exception is requested to partially demolish an historic stone wall per (Section 14-5.2 (D,1,a)).

Project number: 04-10100114

Case number: H-04-114

Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): 515 Paseo de Peralta, Tract 1

PROJECT NAMES:

OW - Erik Fuentes
Lamy, NM 87540

#10 Camino Caballos Spur
505-660-8320

AP - Lorn C. Tryk
Santa Fe, NM 87501-1888

206 McKenzie St., Suite F-2
505-982-5340

BOARD ACTION

This is to certify that the Historic Design Review Board (HDRB) at their meeting on September 28, 2004, acted on the above referenced case. The decision of the board was to approve your request with the following conditions: 1) that rock from the demolished section of the historic streetscape wall should be installed in the pavement along the original footprint; 2) that the new wall differ from the historic wall rather than mimic it; and 3) that architectural details be submitted for Board approval before a building permit is issued.

For further information please call 955-6605.

Sincerely,

David A. Rasch
Historic Preservation Planner

NOTE: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.). PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.

"Committed to our community, and making a difference"

City of Santa Fe, New Mexico

memo

DATE: November 9, 2004
TO: Historic Design Review Board Members
VIA: Reed Liming, Acting Planning & Land Use Department Director *RL*
FROM: David Rasch, Supervising Planner in Historic Preservation *DR*

CASE # H-04-114

ADDRESS: 515 Paseo de Peralta, Tract 1
Historic Status: Contributing/Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Survey Form
- Zoning Review Sheet
- Other: Board Action letter

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: Details

STAFF RECOMMENDATION:

Staff recommends approval of this application complies with Section 14-5.2 (E) Downtown & Eastside Historic District design standards.



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

Larry A. Delgado, *Mayor*
Mike P. Lujan, *City Manager*

Councilors:

Carol Robertson-Lopez, Mayor Pro Tem, Dist. 4
Patti J. Bushee, Dist. 1
David Pfeffer, Dist. 1
Karen Heldmeyer, Dist. 2
Rebecca Wurzbarger, Dist. 2
Miguel M. Chavez, Dist. 3
David Coss, Dist. 3
Matthew E. Ortiz, Dist. 4

Project description: Architectural details for a residential compound of seven units,
previously approved by the HDRB.
Project number: 04-10100114
Case number: H-04-114
Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): 515 Paseo de Peralta, Tract 1

PROJECT NAMES:

OW - Erik Fuentes
Lamy, NM 87540

#10 Camino Caballos Spur
505-660-8320

AP - Lorn C. Tryk
Santa Fe, NM 87501-1888

206 McKenzie St., Ste. F-2
505-982-5340

BOARD ACTION

This is to certify that the Historic Design Review Board (HDRB) at their meeting on November 30, 2004, acted on the above referenced case. The decision of the board was to approve your request.

For further information please call 955-6605.

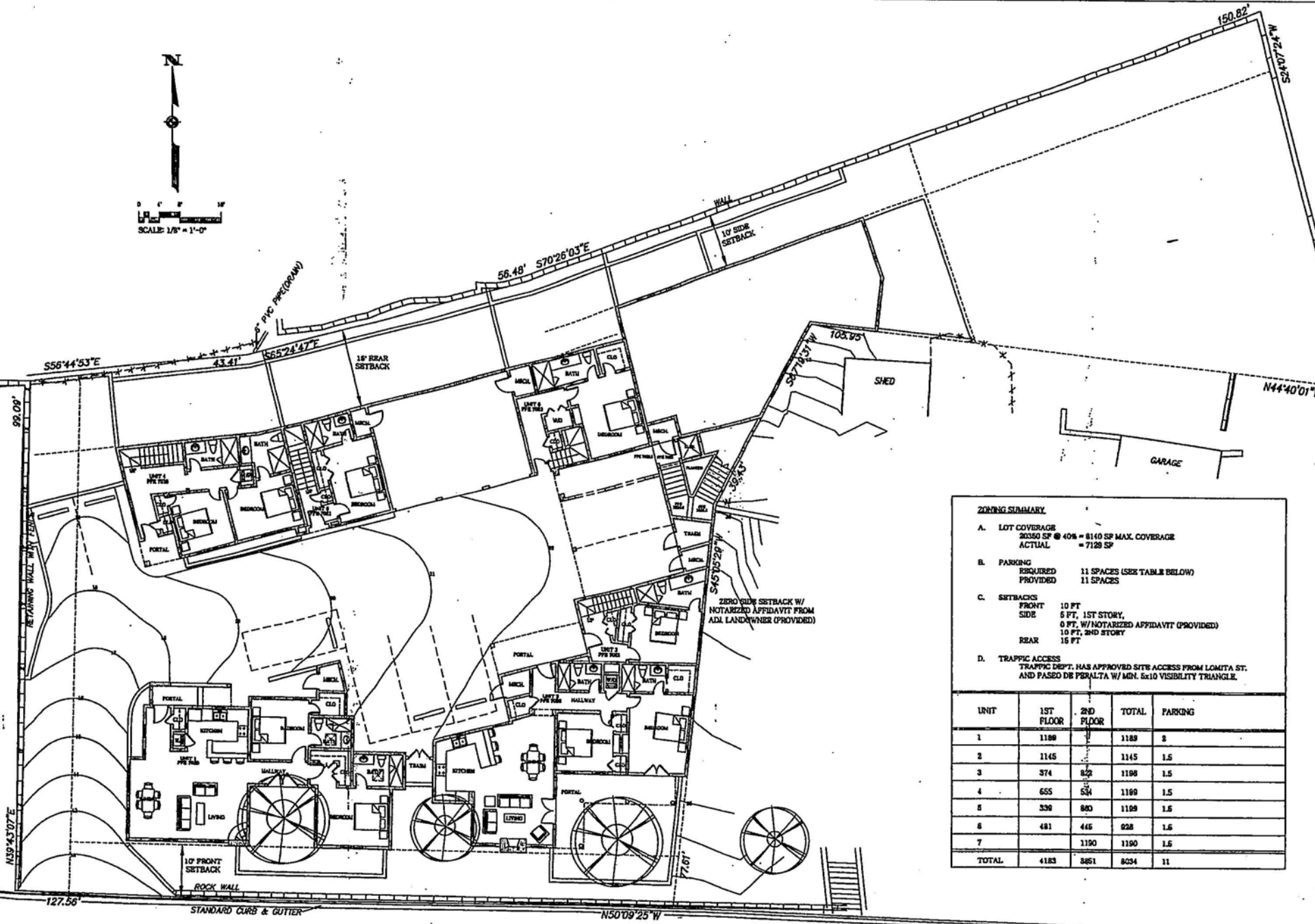
Sincerely,

David A. Rasch
Historic Preservation Planner

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PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.

"Committed to our community, and making a difference"



ZONING SUMMARY

A. LOT COVERAGE
 20350 SF @ 40% = 8140 SF MAX. COVERAGE
 ACTUAL = 7128 SF

B. PARKING
 REQUIRED 11 SPACES (SEE TABLE BELOW)
 PROVIDED 11 SPACES

C. SETBACKS
 FRONT 10 FT
 SIDE 5 FT, 1ST STORY,
 0 FT, W/NOTARIZED AFFIDAVIT (PROVIDED)
 REAR 10 FT, 2ND STORY
 15 FT

D. TRAFFIC ACCESS
 TRAFFIC DEPT. HAS APPROVED SITE ACCESS FROM LOMITA ST.
 AND PASEO DE PERALTA W/ MIN. 5x10 VISIBILITY TRIANGLE.

| UNIT | 1ST FLOOR | 2ND FLOOR | TOTAL | PARKING |
|-------|-----------|-----------|-------|---------|
| 1 | 1188 | | 1188 | 2 |
| 2 | 1145 | | 1145 | 1.5 |
| 3 | 374 | 822 | 1196 | 1.5 |
| 4 | 655 | 534 | 1189 | 1.5 |
| 5 | 338 | 880 | 1199 | 1.5 |
| 6 | 481 | 445 | 928 | 1.5 |
| 7 | | 1190 | 1190 | 1.5 |
| TOTAL | 4183 | 3451 | 8034 | 11 |

LORN TRYK ARCHITECTS
 2016 McKeen Ave, Suite E2
 Salem Pa, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorn@tryk.com

PASEO COMPOUND
 Unit 1 Paseo De Peralta

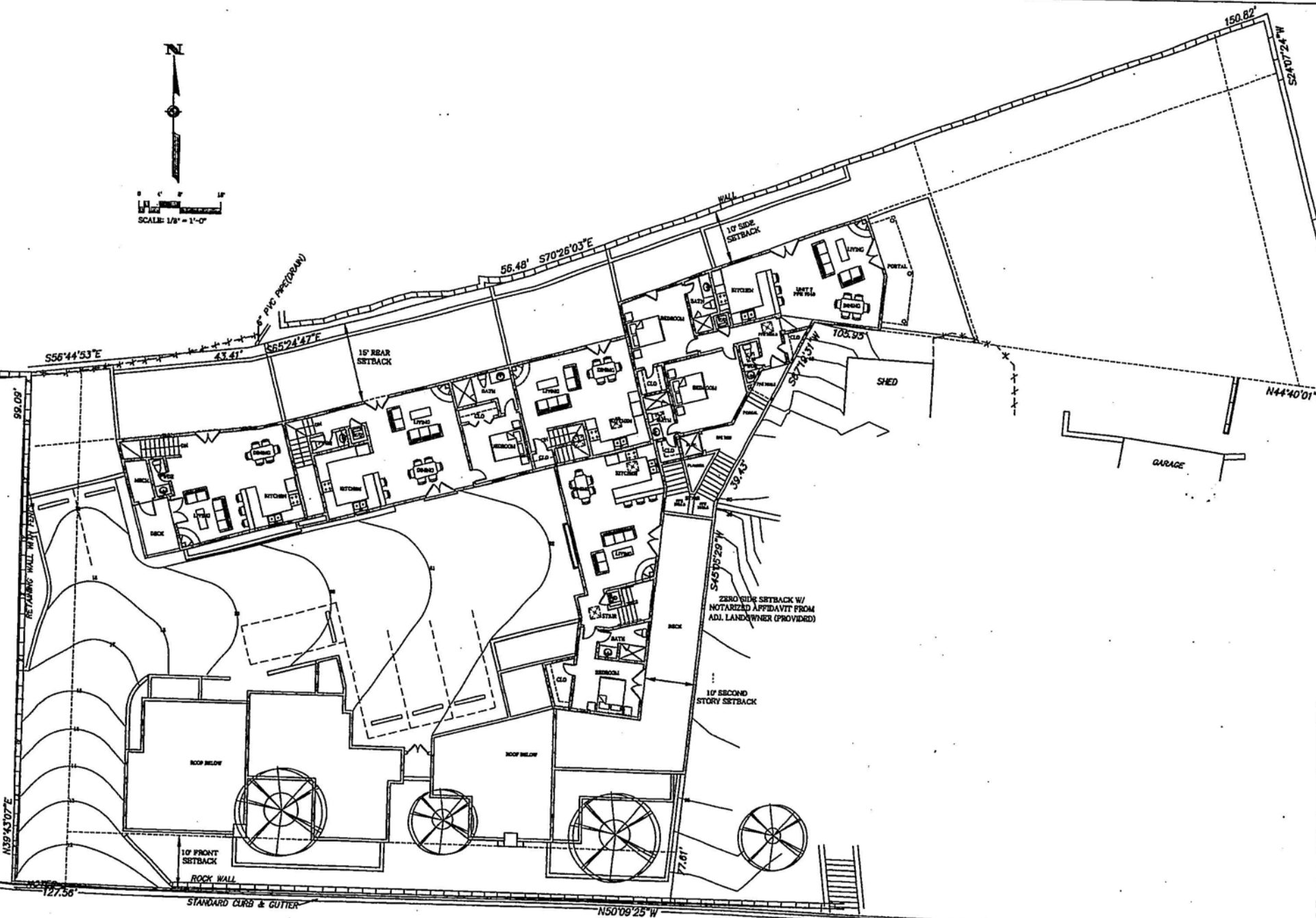
Date: Oct 28, 04

Drawn by:
 Checked by:
 Job Number: 0426

Sheet Title:
**SITE PLAN/
 1ST FLOOR
 PLAN**

1/8" = 1'-0"

- PREVIOUSLY H-BOARD APPROVED -



LORN TRYK ARCHITECTS
 206 McGowan, Suite F2
 Santa Fe, New Mexico 87501
 Phone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorn@ltryk.com

PASEO COMPOUND
 Tract 1 Paseo De Peralta

Date: Oct 28, 04
 Project:
 Drawn by:
 Checked by:
 Job Number: 0426

Sheet Title:
2ND FLOOR PLAN

1/8" = 1'-0"
 Date:

A-2

PASEO DE PERALTA

- PREVIOUSLY H-BOARD APPROVED -

COMMON OPEN SPACE



DENOTES COMMON OPEN SPACE:
 TOTAL REQUIRED FOR PROJECT: (7) UNITS X 250 = 1750 S.F.
 1ST FLOOR PROVIDED = 1,342 S.F.
 1ST FLOOR PROVIDED (LEGAL) = 519 S.F.
 2ND FLOOR PROVIDED = 2,783 S.F.
 2ND FLOOR PROVIDED (LEGAL) = 2,307 S.F.
 TOTAL LEGAL COMMON OPEN SPACE PROVIDED = 2,828 S.F.

PRIVATE OPEN SPACE



DENOTES PRIVATE OPEN SPACE:
 TOTAL REQUIRED = 0.0 S.F.
 1ST FLOOR PROVIDED = 805 S.F.
 2ND FLOOR PROVIDED = 738 S.F.
 TOTAL PRIVATE OPEN SPACE PROVIDED = 1,544 S.F.

GENERAL NOTES:

- UTILITIES RUNS SHOWN ON THIS PLAN ARE SCHEMATIC ONLY
- UTILITIES SHALL BE ADJUSTED TO BEST FIT FIELD CONDITIONS
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES
- CONTRACTOR SHALL DETERMINE THE LOCATION, DEPTH, SIZE & TYPE OF ANY EXISTING UNDER OR ABOVE GROUND UTILITIES OR PIPELINES PRIOR TO & DURING ANY EXCAVATION WORK
- CONTRACTOR SHALL FOLLOW REQUIREMENTS OUTLINED IN THE TECHNICAL EVALUATION REPORT FROM WASTEWATER MANAGEMENT DIVISION
- GAS & ELECTRICAL RUNS TO BE DETERMINED & COORDINATED WITH PNM
- FIRE SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT
- CODE COMPLIANT HANDRAILS PROVIDED AT ALL STAIRS
- FIRST FLOORS OF UNITS 1 THRU 6 ARE "TYPE B" ACCESSIBLE PER ANSI 1033.11 5.2 "OPTION B" (A.D.A. ADAPTABLE BATHROOMS ARE SO NOTED)

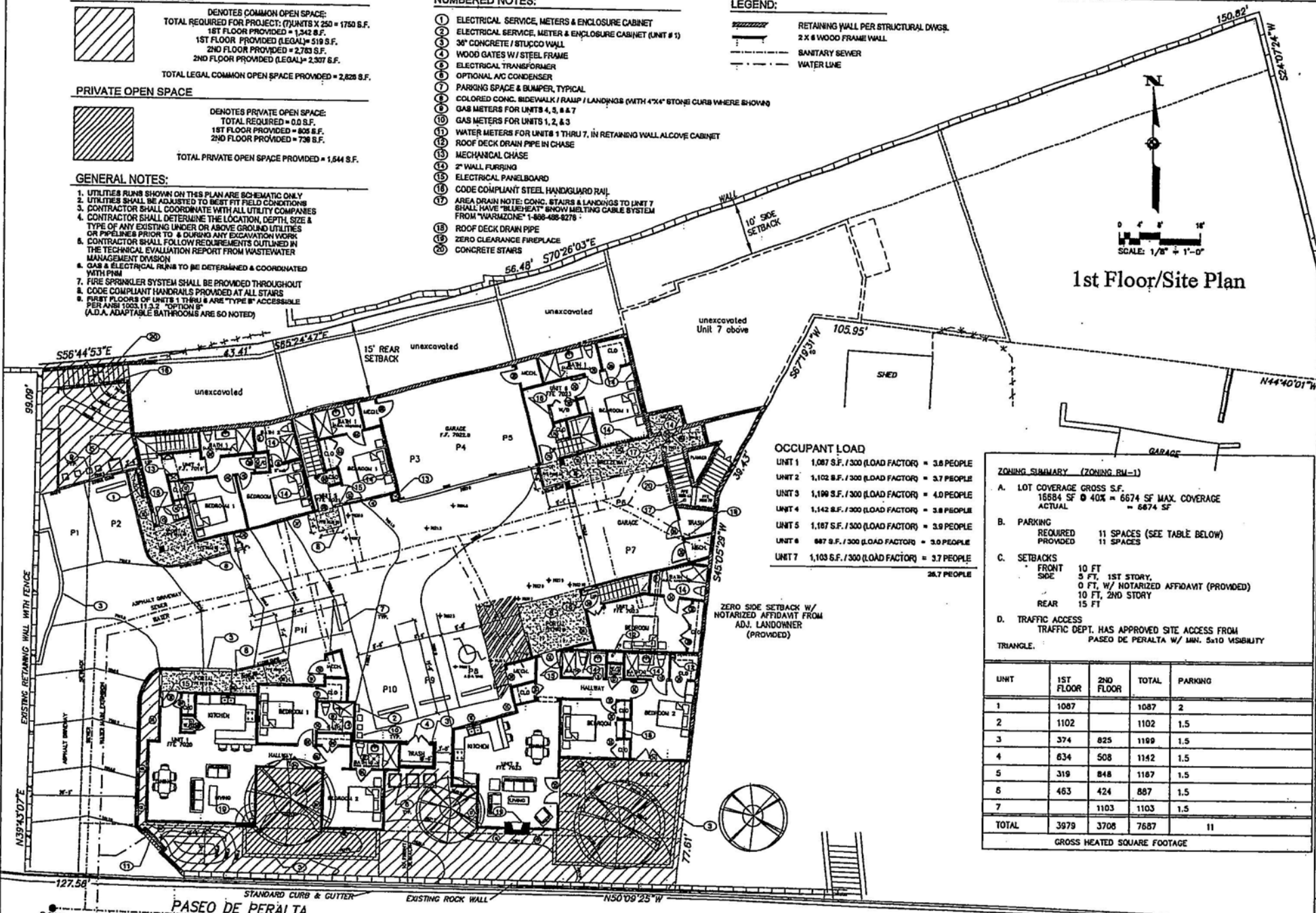
NUMBERED NOTES:

- ELECTRICAL SERVICE, METERS & ENCLOSURE CABINET
- ELECTRICAL SERVICE, METER & ENCLOSURE CABINET (UNIT # 1)
- 3" CONCRETE / STUCCO WALL
- WOOD GATES W/ STEEL FRAME
- ELECTRICAL TRANSFORMER
- OPTIONAL A/C CONDENSER
- PARKING SPACE & BUMPER, TYPICAL
- COLOR CONCRETE SIDEWALK / RAMP / LANDINGS (WITH 4"x4" STONE CURB WHERE SHOWN)
- GAS METERS FOR UNITS 4, 3, & 7
- GAS METERS FOR UNITS 1, 2, & 3
- WATER METERS FOR UNITS 1 THRU 7, IN RETAINING WALL ALCOVE CABINET
- ROOF DECK DRAIN PIPE IN CHASE
- MECHANICAL CHASE
- 2" WALL FURRING
- ELECTRICAL PANELBOARD
- CODE COMPLIANT STEEL HANDGUARD RAIL
- AREA DRAIN NOTE: CONG. STAIRS & LANDINGS TO UNIT 7 SHALL HAVE "HEATSEAT" SNOW MELTING CABLE SYSTEM FROM "WARMAZONE" 1-888-486-9279
- ROOF DECK DRAIN PIPE
- ZERO CLEARANCE FIREPLACE
- CONCRETE STAIRS

LEGEND:

- RETAINING WALL PER STRUCTURAL DWGS.
- 2 X 6 WOOD FRAME WALL
- SANITARY SEWER
- WATER LINE

1st Floor/Site Plan



OCCUPANT LOAD

| | |
|--------------|---------------------------------------------|
| UNIT 1 | 1,087 S.F. / 300 (LOAD FACTOR) = 3.6 PEOPLE |
| UNIT 2 | 1,102 S.F. / 300 (LOAD FACTOR) = 3.7 PEOPLE |
| UNIT 3 | 1,199 S.F. / 300 (LOAD FACTOR) = 4.0 PEOPLE |
| UNIT 4 | 1,142 S.F. / 300 (LOAD FACTOR) = 3.8 PEOPLE |
| UNIT 5 | 1,187 S.F. / 300 (LOAD FACTOR) = 3.9 PEOPLE |
| UNIT 6 | 887 S.F. / 300 (LOAD FACTOR) = 3.0 PEOPLE |
| UNIT 7 | 1,103 S.F. / 300 (LOAD FACTOR) = 3.7 PEOPLE |
| TOTAL | 26.7 PEOPLE |

ZONING SUMMARY (ZONING RM-1)

- A. LOT COVERAGE GROSS S.F.**
16684 SF @ 40% = 6674 SF MAX. COVERAGE
ACTUAL = 5874 SF
- B. PARKING**
REQUIRED 11 SPACES (SEE TABLE BELOW)
PROVIDED 11 SPACES
- C. SETBACKS**
FRONT 10 FT
SIDE 5 FT, 1ST STORY,
0 FT, W/ NOTARIZED AFFIDAVIT (PROVIDED)
REAR 10 FT, 2ND STORY
15 FT
- D. TRAFFIC ACCESS**
TRAFFIC DEPT. HAS APPROVED SITE ACCESS FROM PASEO DE PERALTA W/ MIN. 5:10 VISIBILITY TRIANGLE.

| UNIT | 1ST FLOOR | 2ND FLOOR | TOTAL | PARKING |
|--------------|-------------|-------------|-------------|-----------|
| 1 | 1087 | | 1087 | 2 |
| 2 | 1102 | | 1102 | 1.5 |
| 3 | 374 | 825 | 1199 | 1.5 |
| 4 | 834 | 508 | 1142 | 1.5 |
| 5 | 319 | 848 | 1167 | 1.5 |
| 6 | 463 | 424 | 887 | 1.5 |
| 7 | | 1103 | 1103 | 1.5 |
| TOTAL | 3979 | 3708 | 7687 | 11 |

GROSS HEATED SQUARE FOOTAGE

DRAWING IS THE PROPERTY OF CHELSEA CONSTRUCTION INC. AND MAY NOT BE USED OR REPRODUCED FOR ANY OTHER PURPOSE UNLESS BY WRITTEN CONSENT FROM CHELSEA CONSTRUCTION INC.

CHELSEA CONSTRUCTION
 300 Paseo de Peralta, Suite 100, Santa Fe, NM 87501
 Office: (505) 964-8060 NM 11.L. # 25666 Fax: (505) 964-8340

1ST FLOOR/SITE PLAN

PASEO COMPOUND
 515 Paseo de Peralta
 Santa Fe, N.M.

DATE: June 2005
 REVISION:

- PROPOSED FOR A BOARD APPROVAL -

COMMON OPEN SPACE



DENOTES COMMON OPEN SPACE:
 TOTAL REQUIRED FOR PROJECT: (7) UNITS X 250 = 1750 S.F.
 1ST FLOOR PROVIDED = 1,342 S.F.
 2ND FLOOR PROVIDED (LEGAL) = 619 S.F.
 2ND FLOOR PROVIDED = 2,763 S.F.
 TOTAL LEGAL COMMON OPEN SPACE PROVIDED = 2,826 S.F.

PRIVATE OPEN SPACE



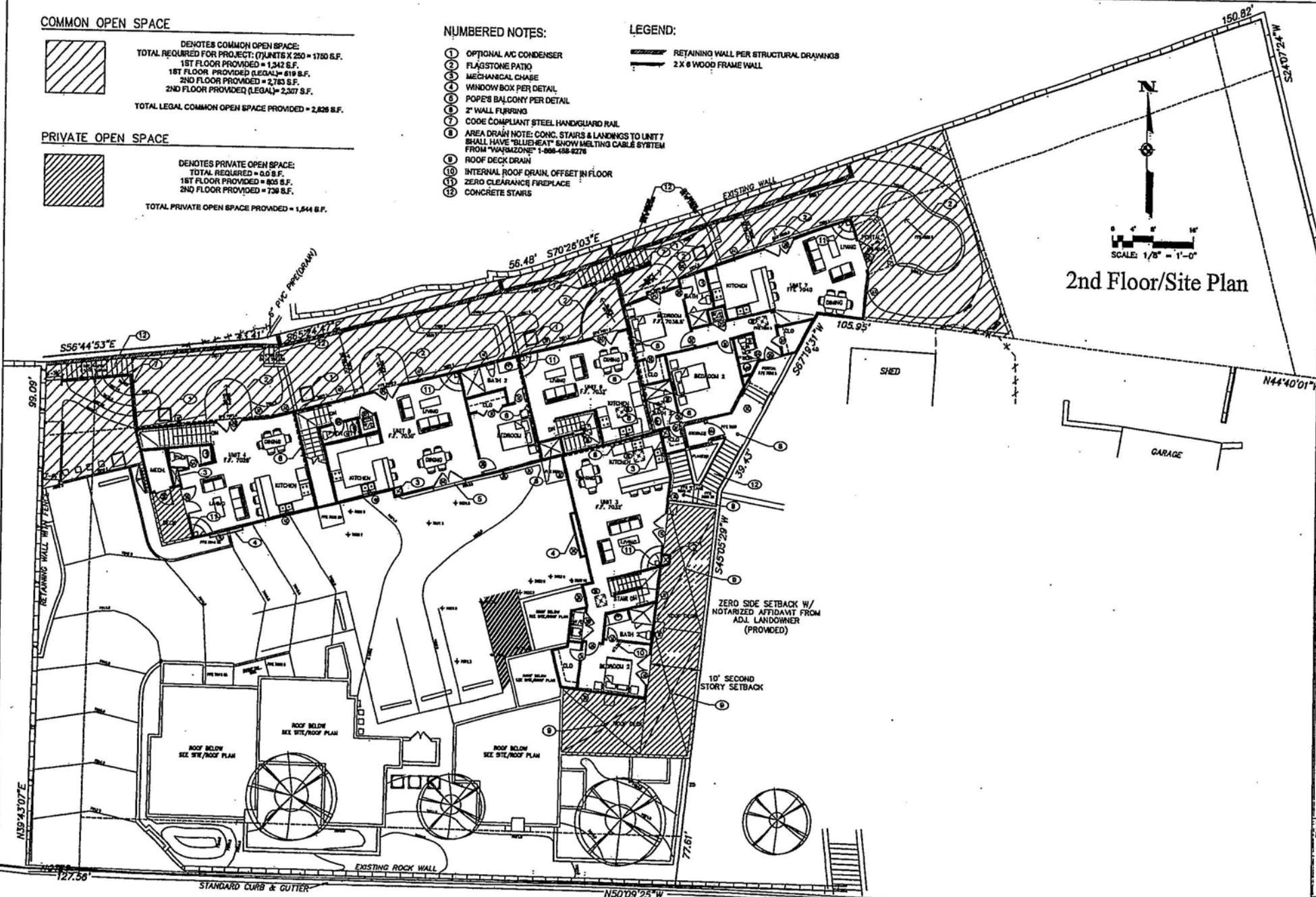
DENOTES PRIVATE OPEN SPACE:
 TOTAL REQUIRED = 810 S.F.
 1ST FLOOR PROVIDED = 803 S.F.
 2ND FLOOR PROVIDED = 728 S.F.
 TOTAL PRIVATE OPEN SPACE PROVIDED = 1,544 S.F.

NUMBERED NOTES:

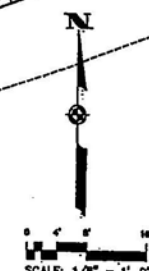
- 1 OPTIONAL A/C CONDENSER
- 2 FLAGSTONE PATIO
- 3 MECHANICAL CHASE
- 4 WINDOW BOX PER DETAIL
- 5 POPE'S BALCONY PER DETAIL
- 6 2" WALL FURRING
- 7 CODE COMPLIANT STEEL HANDGUARD RAIL
- 8 AREA DRAIN NOTE: CONC. STAIRS & LANDINGS TO UNIT 7 SHALL HAVE "BLUEHEAT" SNOW MELTING CABLE SYSTEM FROM "VARIAZONE" 1-800-438-8278
- 9 ROOF DECK DRAIN
- 10 INTERNAL ROOF DRAIN, OFFSET IN FLOOR
- 11 ZERO CLEARANCE FIREPLACE
- 12 CONCRETE STAIRS

LEGEND:

- RETAINING WALL PER STRUCTURAL DRAWINGS
- 2 X 6 WOOD FRAME WALL



2nd Floor/Site Plan



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 300 Paseo de Peralta, Suite 100, Santa Fe, NM 87501
 Office: (505) 986-8066 NM Lic. # 29666 Fax (505) 986-8340

2ND FLOOR/SITE PLAN

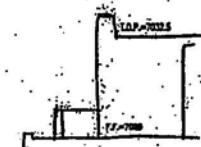
PASEO COMPOUND
 515 Paseo de Peralta
 Santa Fe, N.M.

DATE:
 May 2005
 REVISION:

- PROPOSED FOR H-BOARD APPROVAL -



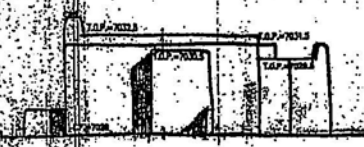
UNIT 1 - WEST



UNIT 1 - PARTIAL EAST



UNIT 1 - PARTIAL WEST

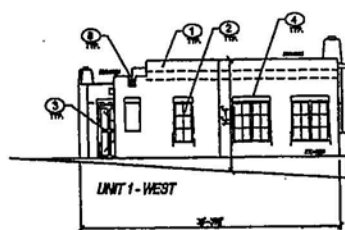


UNIT 1 - EAST

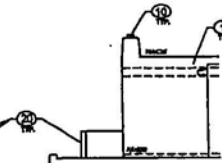


UNIT 1 - NORTH

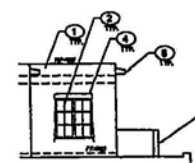
PREVIOUSLY H-BOARD APPROVED



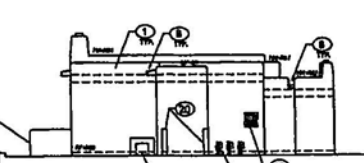
UNIT 1 - WEST



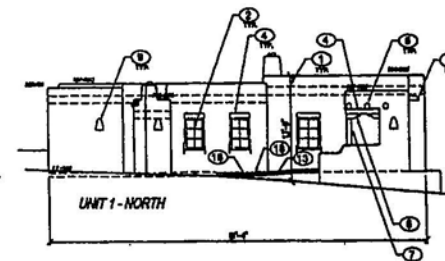
UNIT 1 - PARTIAL EAST



UNIT 1 - PARTIAL WEST

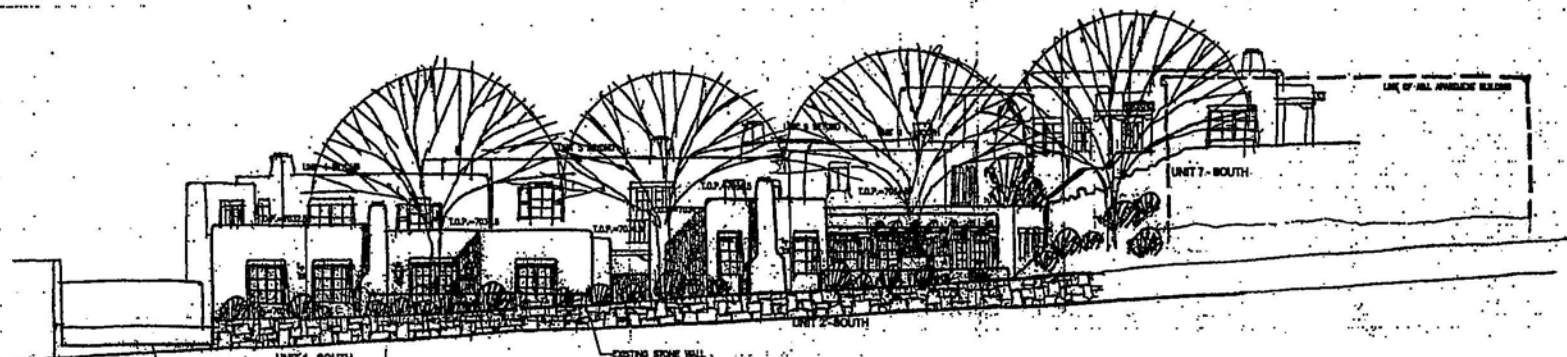


UNIT 1 - EAST



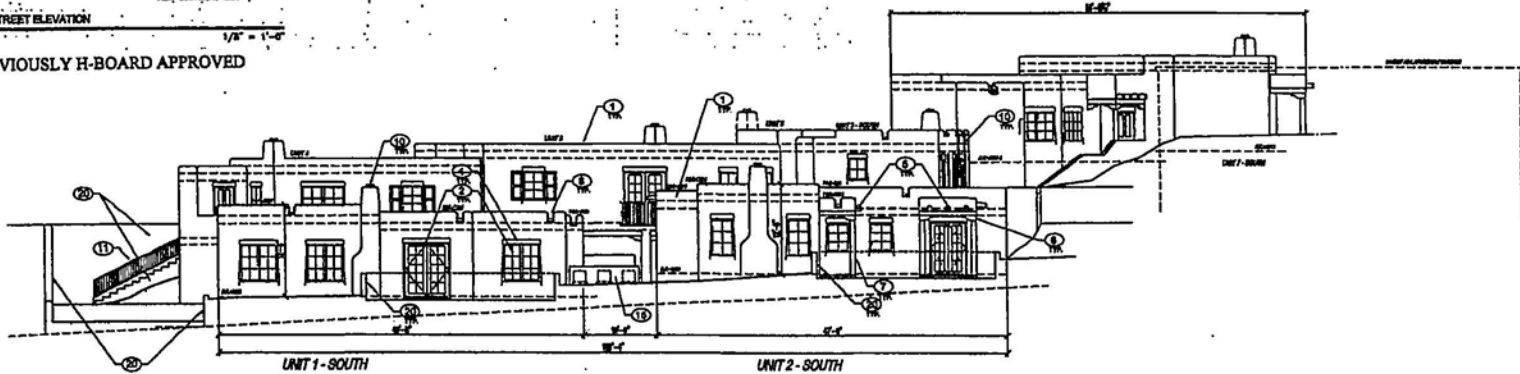
UNIT 1 - NORTH

PROPOSED FOR H-BOARD APPROVAL



STREET ELEVATION
1/8" = 1'-0"

PREVIOUSLY H-BOARD APPROVED



UNIT 1 - SOUTH

UNIT 2 - SOUTH

PROPOSED FOR H-BOARD APPROVAL

1/8" = 1'-0"

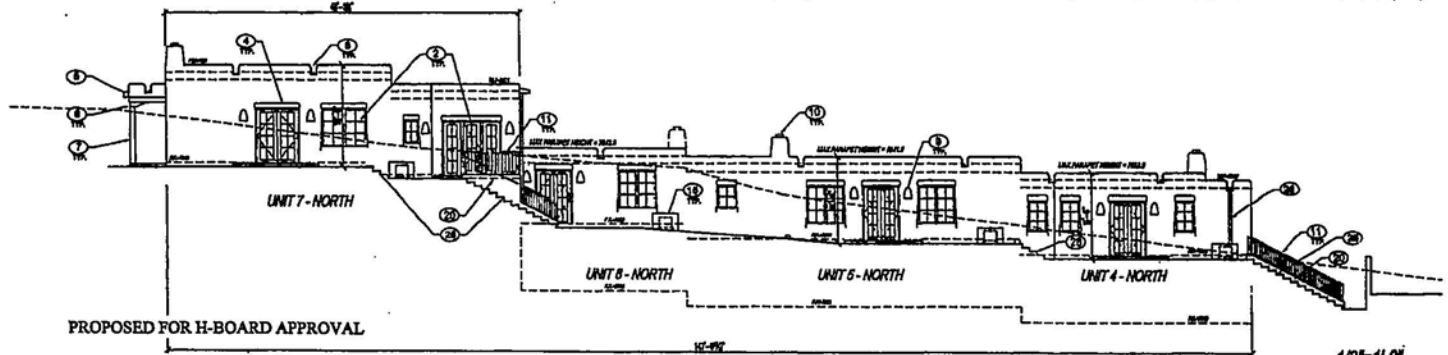
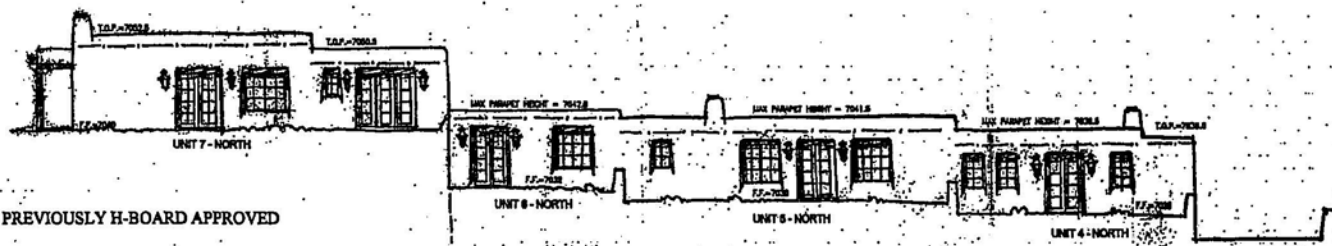
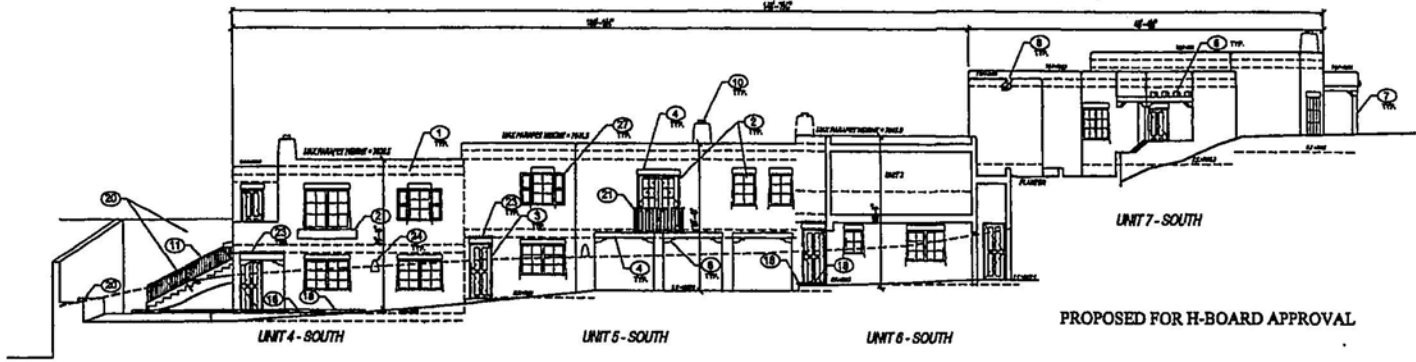
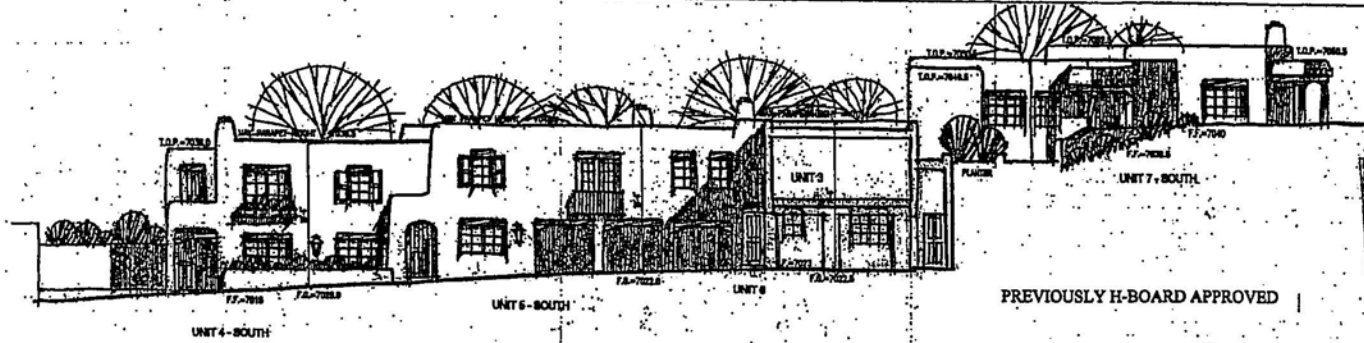
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CHELSEA CONSTRUCTION
300 Paseo de Perálta, Suite 100, Santa Fe, NM 87501
Office: (505) 966-8060 NM Lic. # 29666 Fax: (505) 966-8340

EXTERIOR ELEVATIONS

PASEO COMMUND
515 Paseo de Perálta
Santa Fe, N.M.

DATE: August 28, 2005
REVISION:



1/8"=1'-0"

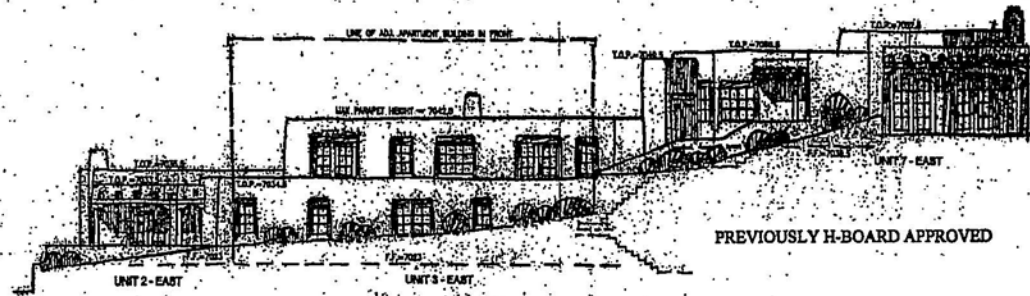
THIS DRAWING IS THE PROPERTY OF CHELSEA CONSTRUCTION INC. AND MAY NOT BE USED OR REPRODUCED FOR ANY OTHER PURPOSE UNLESS BY WRITTEN CONSENT FROM CHELSEA CONSTRUCTION INC.

CHELSEA CONSTRUCTION
 300 Paseo de Peralta, Suite 100, Santa Fe, NM 87501
 Office: (505) 966-8060 NM Lic. # 29666

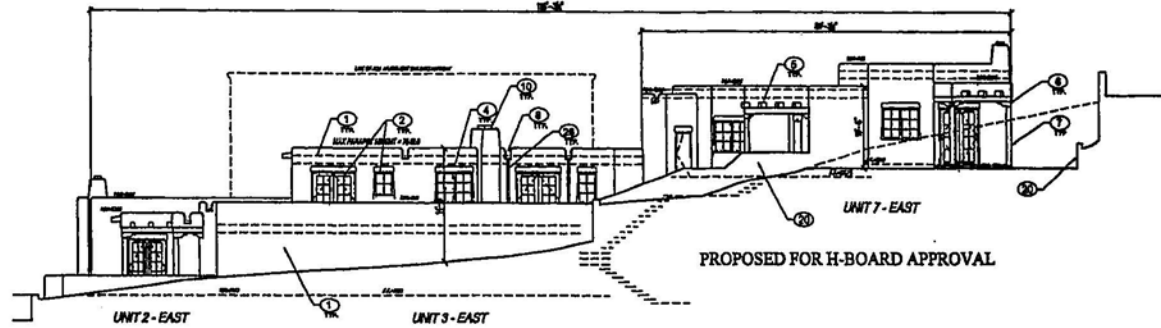
EXTERIOR ELEVATIONS

PASEO COMPOUND
 515 Paseo de Peralta
 Santa Fe, NM

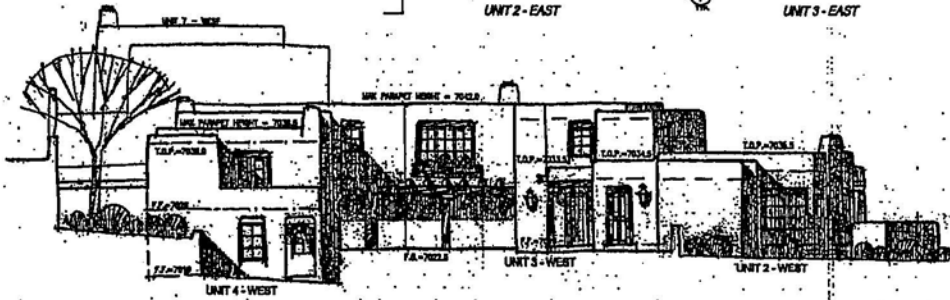
DATE: August 2005
 REVISION:



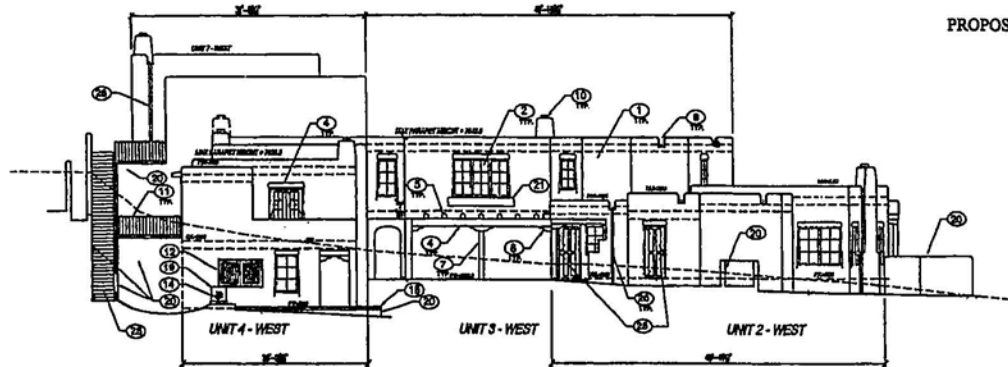
PREVIOUSLY H-BOARD APPROVED



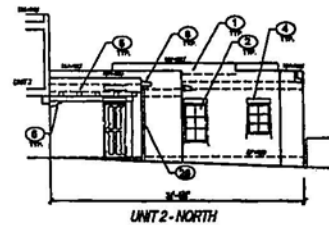
PROPOSED FOR H-BOARD APPROVAL



PROPOSED FOR H-BOARD APPROVAL



PROPOSED FOR H-BOARD APPROVAL



UNIT 2 - NORTH

1/8"=1'-0"

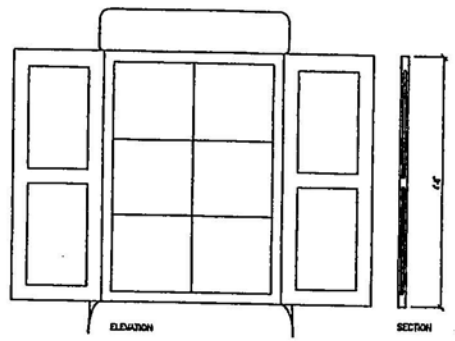
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300 Paseo de Peraltes, Suite 100, Santa Fe, NM 87501
Office: (505) 986-8060, N.M. Lic. # 29666, (505) 986-8340

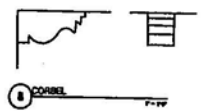
EXTERIOR
ELEVATIONS

PASEO COMPOUND
515 Paseo de Peraltes
Santa Fe, N.M.

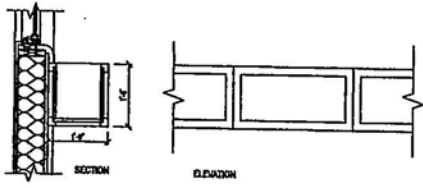
DATE: August 2005
REVISION:



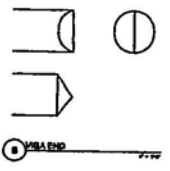
6 WINDOW SHUTTERS



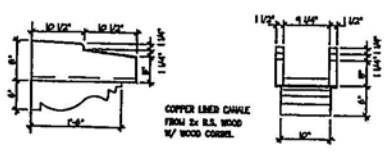
8 CORBEL



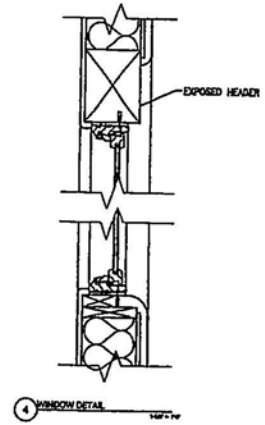
7 WINDOW BOX



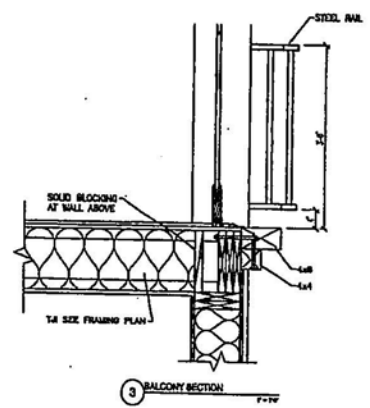
8 VINYL END



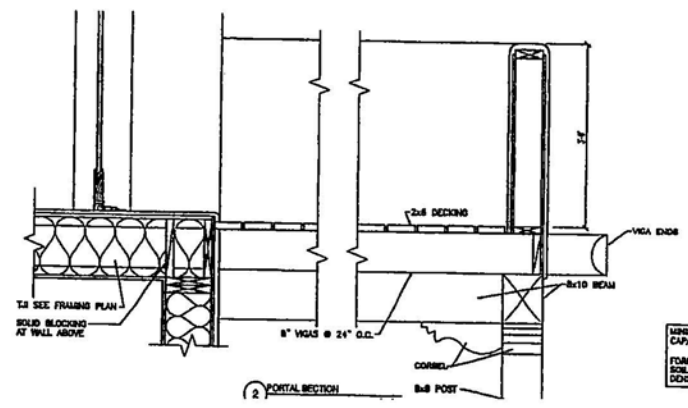
8 CHANNEL DETAIL



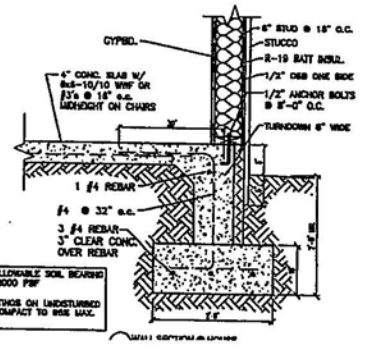
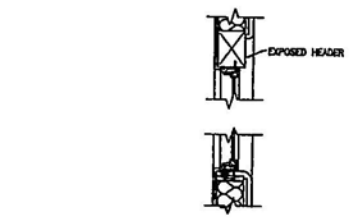
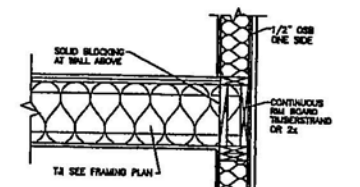
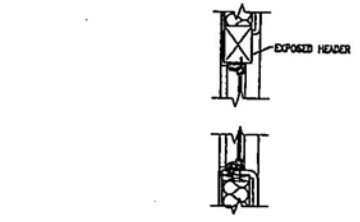
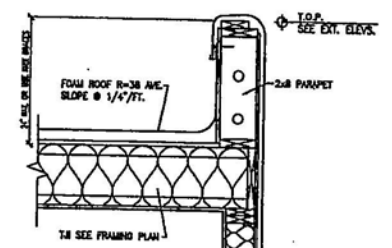
4 WINDOW DETAIL



3 BALCONY SECTION



2 PORTAL SECTION



MINIMUM ALLOWABLE SOIL BEARING CAPACITY 2000 PSF
FOAM FOOTINGS ON UNDISTURBED SOIL OR COMPACT TO MAX. DENSITY

LORN TRYK ARCHITECTS
208 MacKenzie, Suite P2
Sacramento, New Mexico 87501
Phone: 505-982-5340 Fax: 505-982-5393
E-Mail: mail@ltryk.com

Tr 1 Paseo Compound
Paseo Compound De Peralta

Date: Oct 25, 04
Project:
Drawn by:
Checked by:
Job Number: 0426
Sheet Title: DETAILS
Scale: 1" = 1'-0"



CITY OF SANTA FE, NEW MEXICO

Project description: Architectural details for a residential compound of seven units,
previously approved by the HDRB.
Project number: 04-10100114
Case number: H-04-114
Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): 515 Paseo de Peralta, Tract 1

PROJECT NAMES:

OW – Erik Fuentes
Lamy, NM 87540

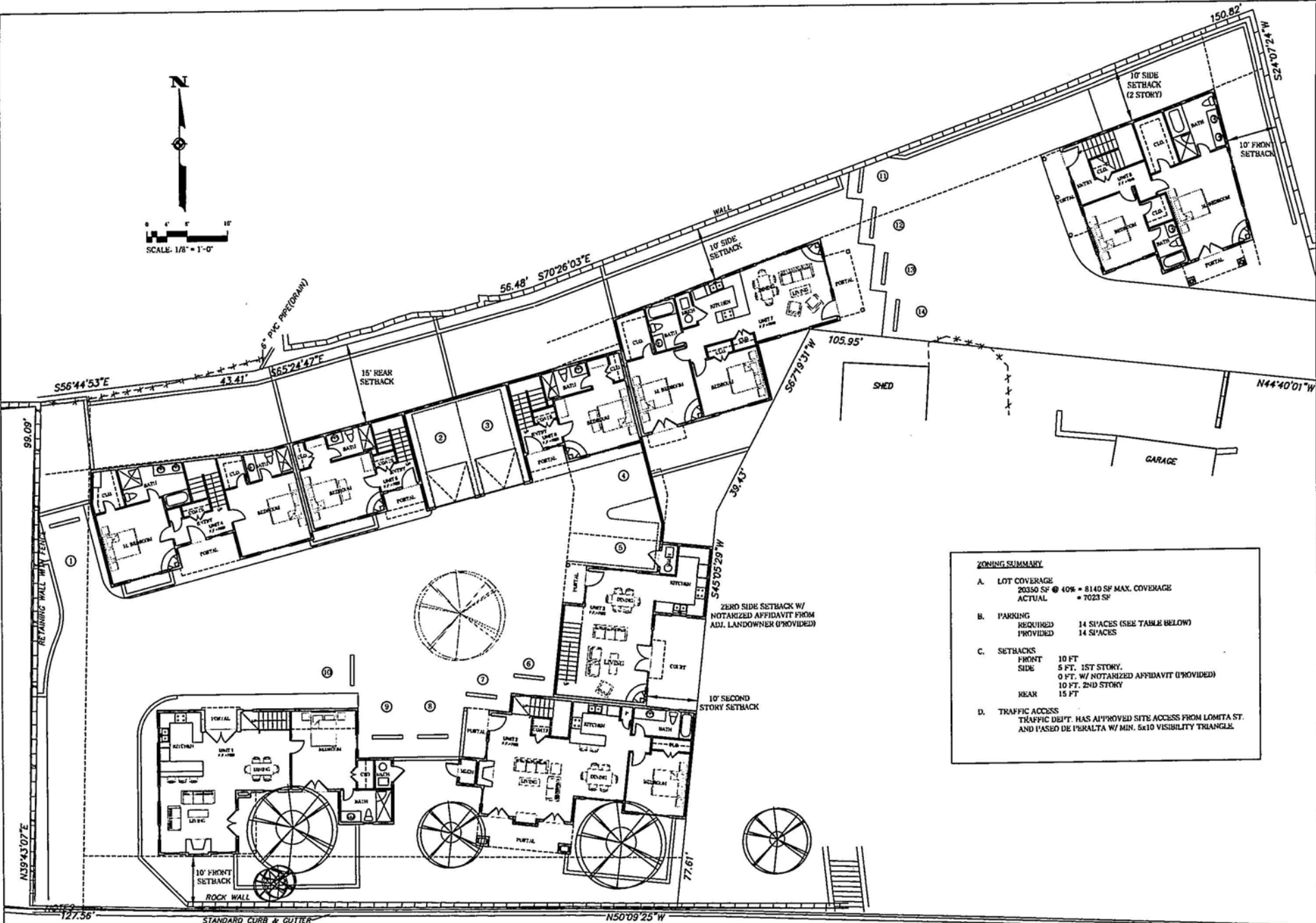
#10 Camino Caballos Spur
505-660-8320

AP – Lorn C. Tryk
Santa Fe, NM 87501-1888

206 McKenzie St., Ste. F-2
505-982-5340

PROJECT DATA:

| | |
|---------------------------------|---------------------|
| HISTORIC DISTRICT | DOWNTOWN & EASTSIDE |
| HISTORIC BUILDING STATUS | N/A |
| PUBLICLY VISIBLE FACADE-EAST | YES |
| PUBLICLY VISIBLE FACADE-NORTH | NO |
| PUBLICLY VISIBLE FACADE-SOUTH | YES |
| PUBLICLY VISIBLE FACADE-WEST | YES |
| HISTORIC DISTRICT SURVEY NUMBER | N/A |
| YEAR OF CONSTRUCTION | N/A |
| PROJECT TYPE (NEW, ADD, ETC.) | NEW |
| USE, EXISTING | VACANT |
| USE, PROPOSE | RESIDENTIAL |
| HISTORIC BUILDING NAME | N/A |



ZONING SUMMARY

| | |
|-------------------|-------------------------------------------------------------------------------------------------------------------|
| A. LOT COVERAGE | 20350 SF @ 40% = 8140 SF MAX. COVERAGE ACTUAL = 7023 SF |
| B. PARKING | REQUIRED 14 SPACES (SEE TABLE BELOW) PROVIDED 14 SPACES |
| C. SETBACKS | FRONT 10 FT SIDE 5 FT, 1ST STORY; 0 FT, W/ NOTARIZED AFFIDAVIT (PROVIDED) 10 FT, 2ND STORY REAR 15 FT |
| D. TRAFFIC ACCESS | TRAFFIC DEPT. HAS APPROVED SITE ACCESS FROM LOMITA ST. AND PASEO DE PERALTA W/ MIN. 5x10 VISIBILITY TRIANGLE. |

PASEO DE PERALTA

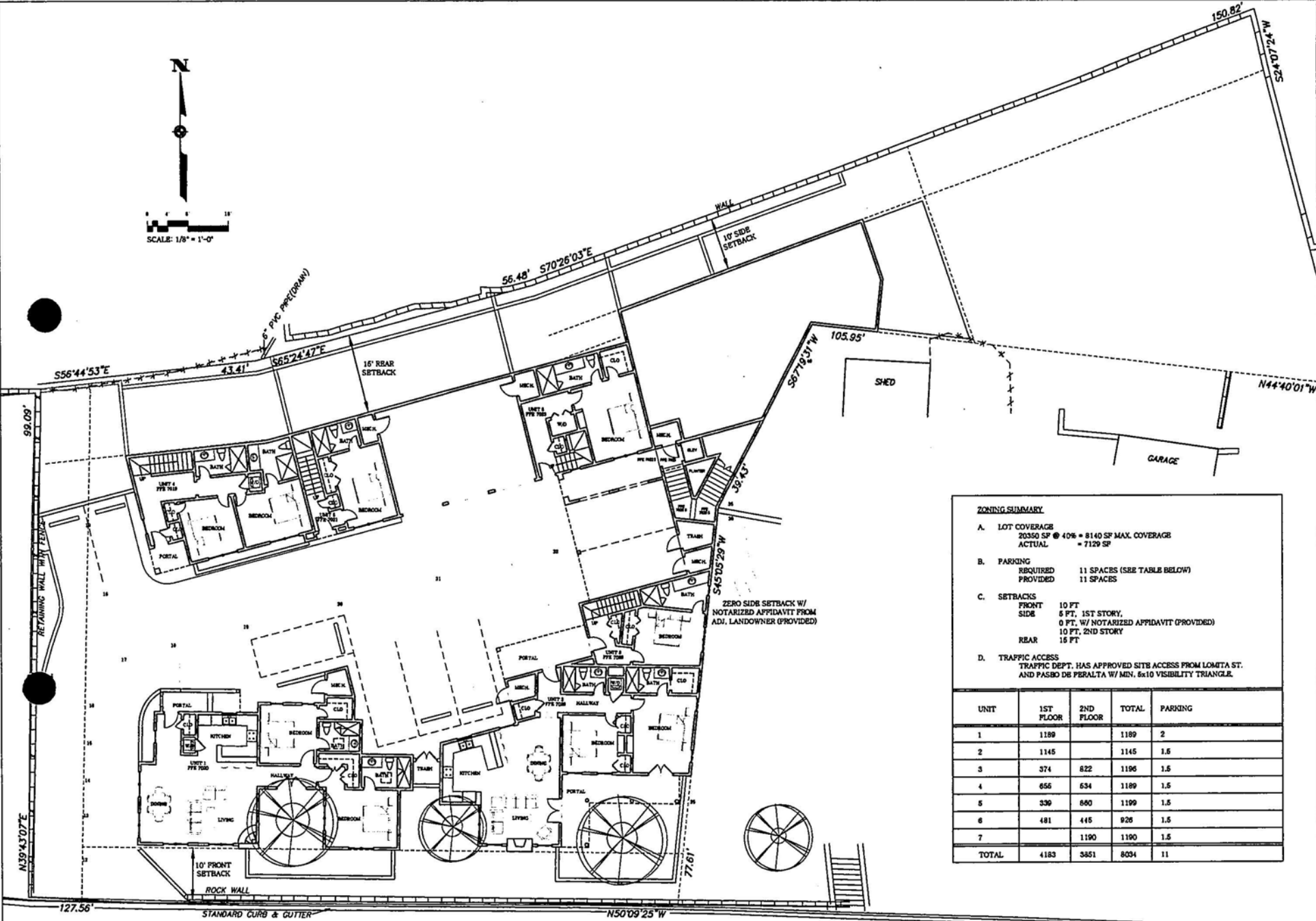
LORN TRYK ARCHITECTS
 206 McKinley, Suite B2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date: Aug 13, 04
 Project:
 Drawn by:
 Checked by:
 Job Number: 0426

Sheet Title:
**SITE PLAN/
 1ST FLOOR
 PLAN**

1/8" = 1'-0"



ZONING SUMMARY

A. LOT COVERAGE
 20350 SF @ 40% = 8140 SF MAX. COVERAGE
 ACTUAL = 7129 SF

B. PARKING
 REQUIRED 11 SPACES (SEE TABLE BELOW)
 PROVIDED 11 SPACES

C. SETBACKS
 FRONT 10 FT
 SIDE 5 FT, 1ST STORY,
 0 FT, W/ NOTARIZED AFFIDAVIT (PROVIDED)
 10 FT, 2ND STORY
 REAR 15 FT

D. TRAFFIC ACCESS
 TRAFFIC DEPT. HAS APPROVED SITE ACCESS FROM LOMITA ST.
 AND PASO DE PERALTA W/ MIN. 6x10 VISIBILITY TRIANGLE

| UNIT | 1ST FLOOR | 2ND FLOOR | TOTAL | PARKING |
|-------|-----------|-----------|-------|---------|
| 1 | 1189 | | 1189 | 2 |
| 2 | 1145 | | 1145 | 1.5 |
| 3 | 374 | 822 | 1196 | 1.5 |
| 4 | 656 | 634 | 1189 | 1.5 |
| 5 | 336 | 860 | 1199 | 1.5 |
| 6 | 481 | 445 | 926 | 1.5 |
| 7 | | 1190 | 1190 | 1.5 |
| TOTAL | 4183 | 3851 | 8034 | 11 |

PASEO DE PERALTA

Z:\0428-PASEO CONDOS\1ST FLOOR PLANS.DWG (10-28-04 4:07 PM) AKT

LORN TPYK ARCHITECTS
 206 McConsky, Suite P2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorn@lorn.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date Oct 28, 04

Project

Drawn by

Checked by

Job Number 0426

Sheet Title

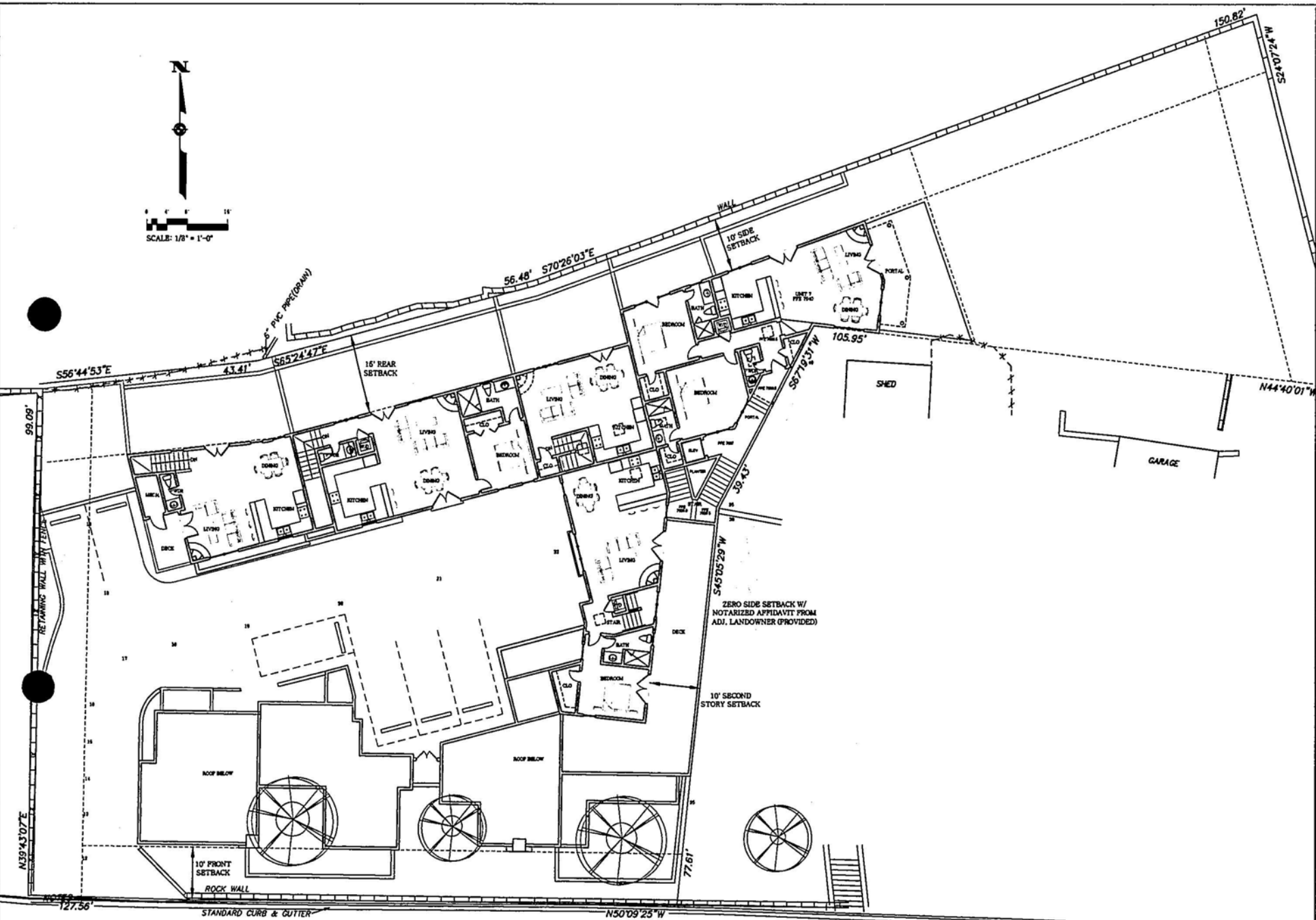
**SITE PLAN/
 1ST FLOOR
 PLAN**

1/8" = 1'-0"

Sheet No.

A-1

or



PASEO DE PERALTA

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LORN TFEY ARCHITECTS
 206 MacKenzie, Suite P2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorn@lornk.com

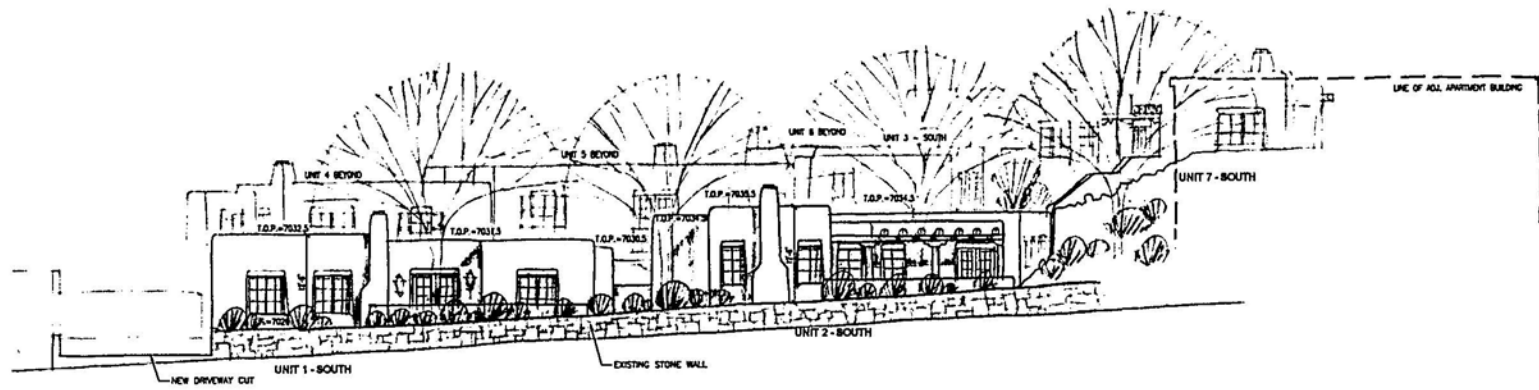
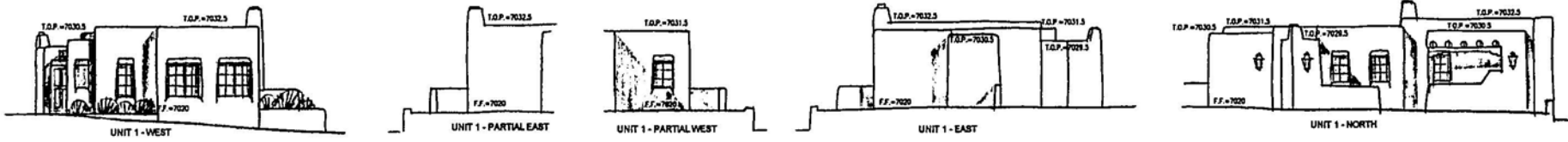
PASEO COMPOUND
Tract 1 Paseo De Peralta

Date: Oct 28, 04
 Permitted:
 Drawn by:
 Checked by:
 Job Number: 0426

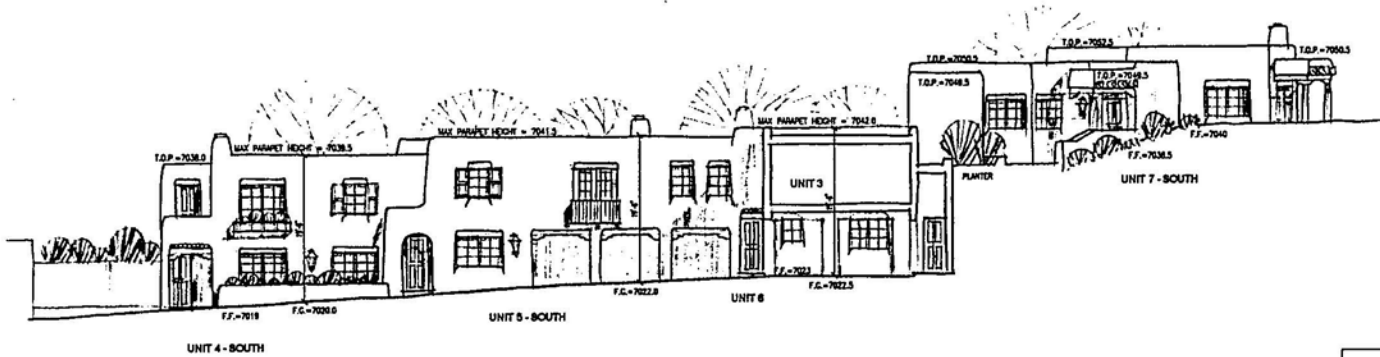
Sheet Title:
2ND FLOOR PLAN

1/8" = 1'-0"

A-2



STREET ELEVATION
1/8" = 1'-0"



EXTERIOR COLORS:
 STUCCO = STO PECOS
 WINDOWS = PELLA TAN
 FRENCH DOORS = PELLA TAN
 WOOD STAIN = MEDIUM BROWN

LORN TRYK ARCHITECTS
 206 McKeen, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorn@lorn.com

PASEO COMPOUND
 Tract 1 Paseo De Peralta

Date Oct 28, 04

Project

Drawn by

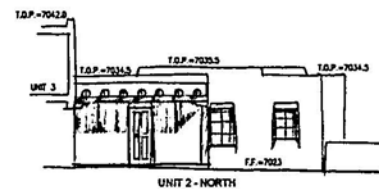
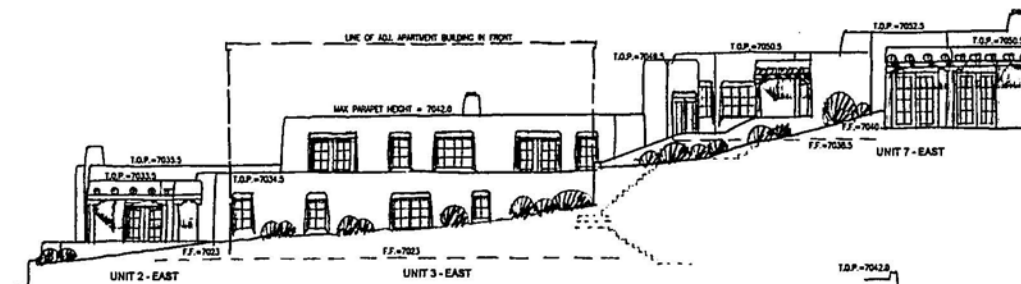
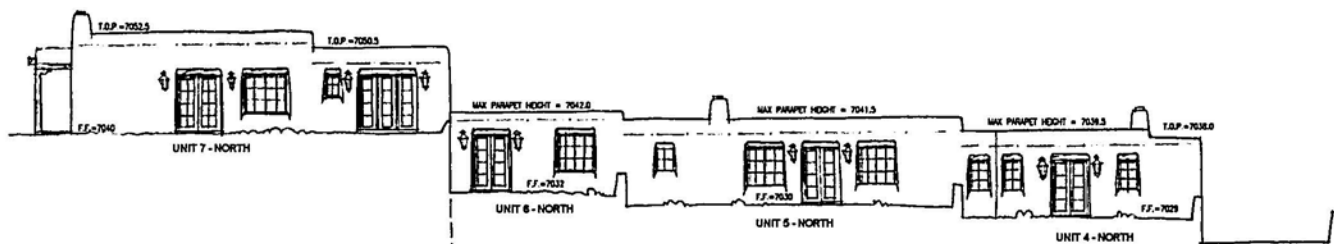
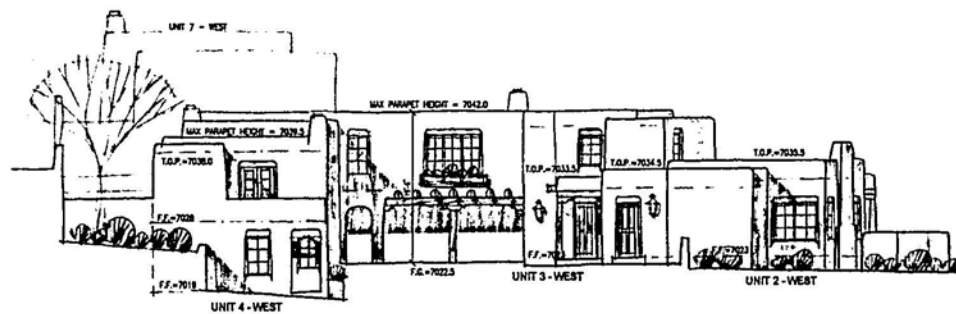
Checked by

Job Number 0426

Sheet Title ELEVATIONS

1/8" = 1'-0"

Sheet No.



LORN TYPK ARCHITECTS
 206 McVeeville, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@lortk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date Oct 28, 04

Revised

Drawn by

Checked by

Job Number

0426

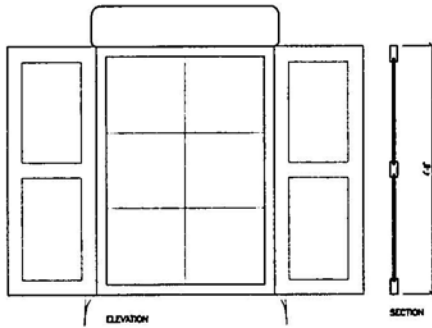
Sheet Title

ELEVATIONS

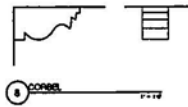
1/8" = 1'-0"

Sheet No.

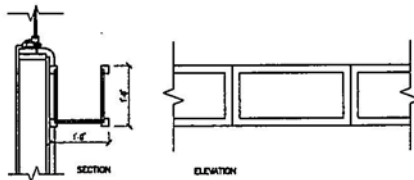
01



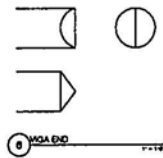
6 WINDOW SHUTTERS



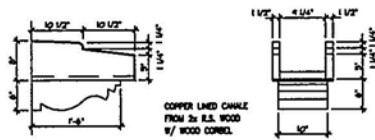
8 CORBEL



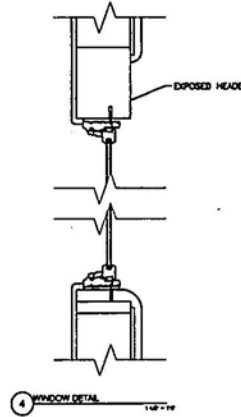
7 WINDOW BOX



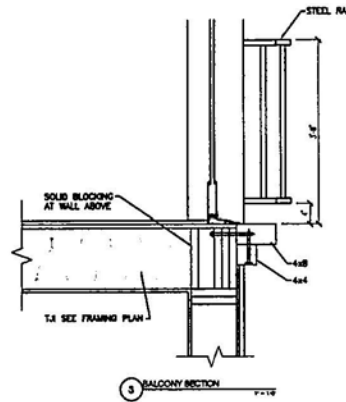
9 MOLA END



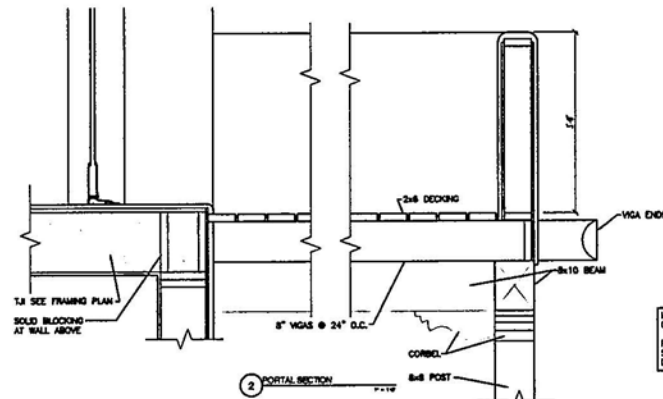
5 CANALE DETAIL



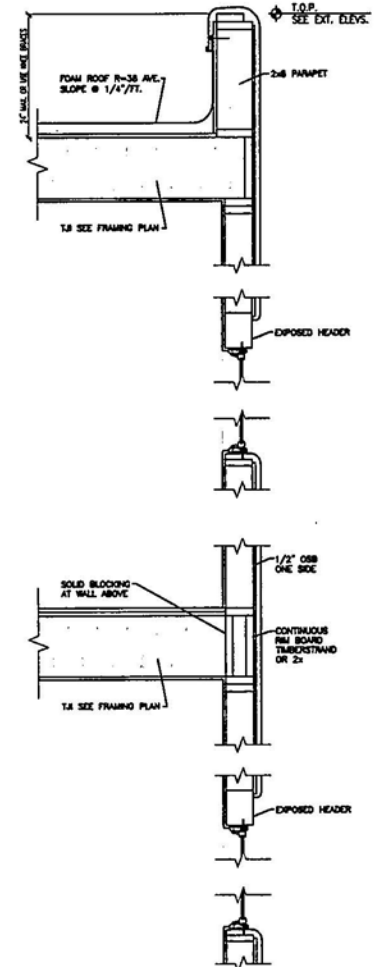
4 WINDOW DETAIL



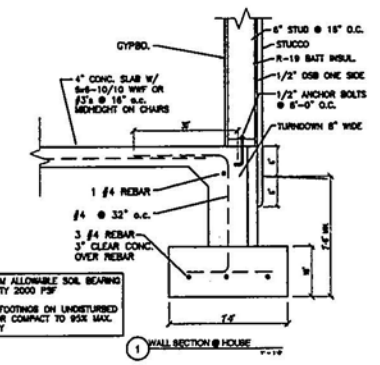
3 BALCONY SECTION



2 PORTAL SECTION



1 WALL SECTION @ HOUSE



MINIMUM ALLOWABLE SOIL BEARING CAPACITY 2000 PSF
FORM FOOTINGS ON UNDISTURBED SOIL OR COMPACT TO 95% MAX. DENSITY



CITY OF SANTA FE, NEW MEXICO

Project description: Construction of a residential compound of eight units at a total of 11,176 sq. ft.
Project number: 04-10100114
Case number: H-04-114
Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): Tract 1, Paseo de Peralta (Adjacent to #515)

PROJECT NAMES:

OW – Erik Fuentes
Lamy, NM 87540

#10 Camino Caballos Spur
505-660-8320

AP – Lorn C. Tryk
Santa Fe, NM 87501-1888

206 McKenzie St., Suite F-2
505-982-5340

PROJECT DATA:

| | |
|---------------------------------|---------------------|
| HISTORIC DISTRICT | DOWNTOWN & EASTSIDE |
| HISTORIC BUILDING STATUS | CONTRIBUTING/NA |
| PUBLICLY VISIBLE FACADE-EAST | YES |
| PUBLICLY VISIBLE FACADE-NORTH | NO |
| PUBLICLY VISIBLE FACADE-SOUTH | YES |
| PUBLICLY VISIBLE FACADE-WEST | YES |
| HISTORIC DISTRICT SURVEY NUMBER | N/A |
| YEAR OF CONSTRUCTION | N/A |
| PROJECT TYPE (NEW, ADD, ETC.) | NEW |
| USE, EXISTING | VACANT |
| USE, PROPOSE | RESIDENTIAL |
| HISTORIC BUILDING NAME | N/A |



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

Larry A. Delgado, *Mayor*
Jim Romero, *City Manager*

Councilors:

Carol Robertson-Lopez, Mayor Pro Tem, Dist. 4
Patti J. Bushee, Dist. 1
David Pfeffer, Dist. 1
Karen Heldmeyer, Dist. 2
Rebecca Wurzbarger, Dist. 2
Miguel M. Chavez, Dist. 3
David Coss, Dist. 3
Matthew E. Ortiz, Dist. 4

Project description: Construct a residential compound of seven units at a total of 10,168 sq. ft. to the maximum allowable height of 17'6" plus 2 additional feet per Board approval. An exception is requested to partially demolish an historic stone wall per (Section 14-5.2 (D,1,a)).
Project number: 04-10100114
Case number: H-04-114
Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): 515 Paseo de Peralta, Tract 1

PROJECT NAMES:

OW - Erik Fuentes
Lamy, NM 87540

#10 Camino Caballos Spur
505-660-8320

AP - Lorn C. Tryk
Santa Fe, NM 87501-1888

206 McKenzie St., Suite F-2
505-982-5340

BOARD ACTION

This is to certify that the Historic Design Review Board (HDRB) at their meeting on September 28, 2004, acted on the above referenced case. The decision of the board was to approve your request with the following conditions: 1) that rock from the demolished section of the historic streetscape wall should be installed in the pavement along the original footprint; 2) that the new wall differ from the historic wall rather than mimic it; and 3) that architectural details be submitted for Board approval before a building permit is issued.

For further information please call 955-6605.

Sincerely,

David A. Rasch
Historic Preservation Planner

NOTE: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.). PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.

"Committed to our community, and making a difference"

LORN TRYK ARCHITECTS

September 17, 2004

David Rasch
Historic Preservation Planner
City of Santa Fe
P. O. Box 909
Santa Fe, NM 87501

Re: Paseo Compound

Dear David,

On behalf of the property owners of Tract I, Paseo de Peralta, we are submitting for final approval of a 7 unit residential compound, as well as requesting an exception to allow demolition approval for portions of existing site walls.

Based upon input at our last hearing we have made substantial changes, including:

1. Reducing the units at the street to one story
2. Eliminating Unit 8, the unit at the east end of the property which impacted the immediate neighbors to the east.
3. Significantly stepping back the westernmost unit in back to reduce impact of the project when viewed from the west

In a previous submittal we included a structural engineers report as to the condition of the walls. Note that stone material will be salvaged from the site wall demolition for reuse on the most publicly visible new site walls.

206 McKenzie St., Suite F-2, Santa Fe, New Mexico 87501
505-982-5340 mail@ltryk.com Fax:505-982-5393

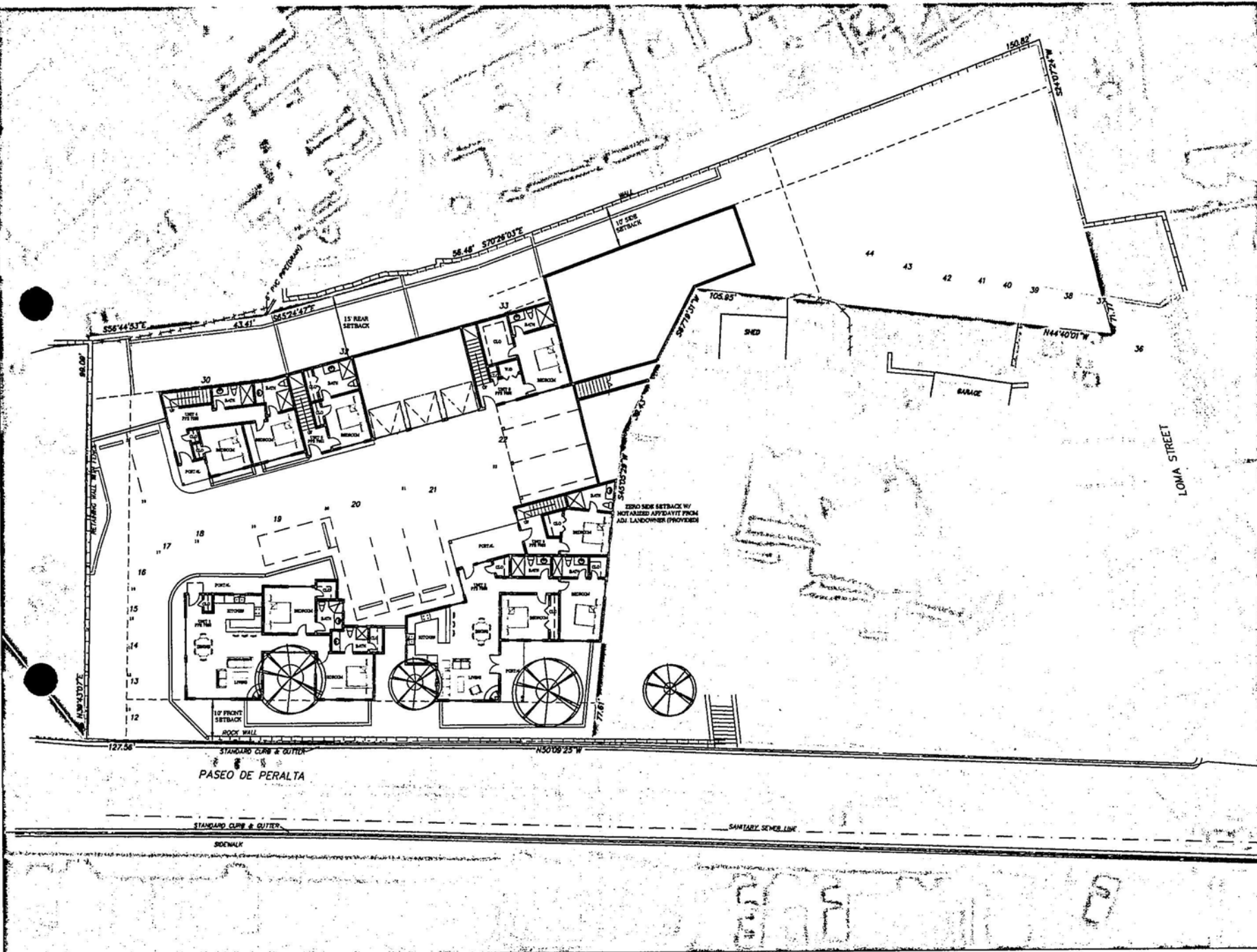
We will submit finishes, lighting and details of windows, railings, doors and other exterior features at a later date.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Lorn C. Tryk". The signature is fluid and cursive, with a long horizontal stroke at the end.

Lorn C. Tryk



LOPPI TYPE ARCHITECTS
 206 McKenzie, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@ltpk.com

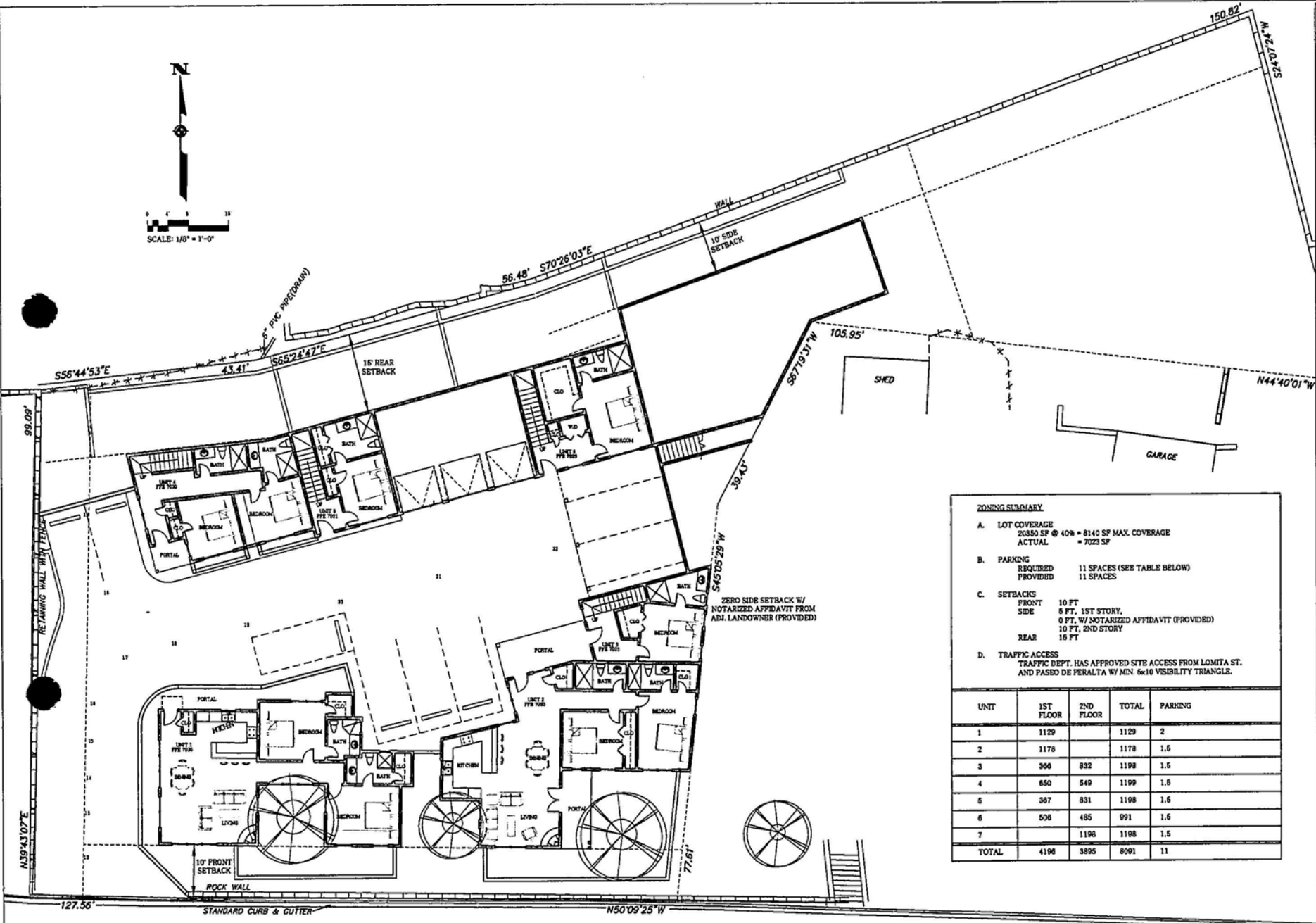
PASEO COMPOUND
Tract 1 Paseo De Peralta

Date Sep 19, 04
 Project
 Drawn by
 Checked by
 Job Number 0426

SHEET TITLE
**SITE PLAN/
 1ST FLOOR
 PLAN**

1" = 10'-0"
 Sheet No.

01



ZONING SUMMARY

A. LOT COVERAGE
 20350 SF @ 40% = 8140 SF MAX. COVERAGE
 ACTUAL = 7023 SF

B. PARKING
 REQUIRED 11 SPACES (SEE TABLE BELOW)
 PROVIDED 11 SPACES

C. SETBACKS
 FRONT 10 FT
 SIDE 5 FT, 1ST STORY,
 0 FT, W/ NOTARIZED AFFIDAVIT (PROVIDED)
 REAR 10 FT, 2ND STORY
 15 FT

D. TRAFFIC ACCESS
 TRAFFIC DEPT. HAS APPROVED SITE ACCESS FROM LOMITA ST.
 AND PASEO DE PERALTA W/ MIN. 6x10 VISIBILITY TRIANGLE.

| UNIT | 1ST FLOOR | 2ND FLOOR | TOTAL | PARKING |
|--------------|-------------|-------------|-------------|-----------|
| 1 | 1129 | | 1129 | 2 |
| 2 | 1178 | | 1178 | 1.5 |
| 3 | 366 | 832 | 1198 | 1.5 |
| 4 | 650 | 649 | 1199 | 1.5 |
| 5 | 367 | 831 | 1198 | 1.5 |
| 6 | 506 | 485 | 991 | 1.5 |
| 7 | | 1198 | 1198 | 1.5 |
| TOTAL | 4198 | 3895 | 8091 | 11 |

LORI TAYE ARCHITECTS
 206 McKean, Suite E3
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@ltya.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date Sep 18, 04

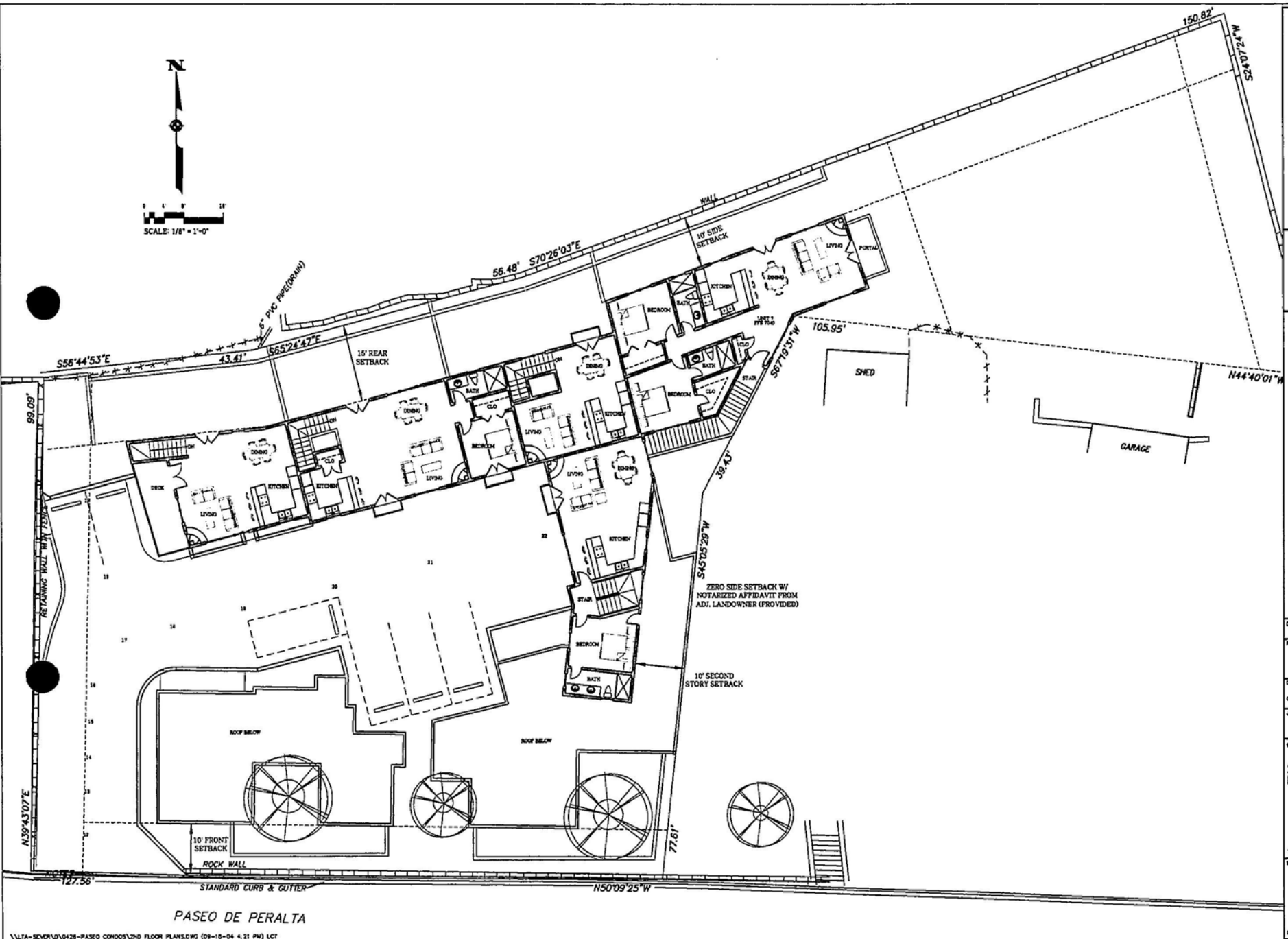
Drawn by
 Checked by
 Job Number 0426

Sheet Title
**SITE PLAN/
 1ST FLOOR
 PLAN**

1/8" = 1'-0"
 Sheet No.

PASEO DE PERALTA

\\LTA-SEVER\010428-PASEO COMPOUND\1ST FLOOR PLANS.DWG (08-18-04 4:24 PM) LCT



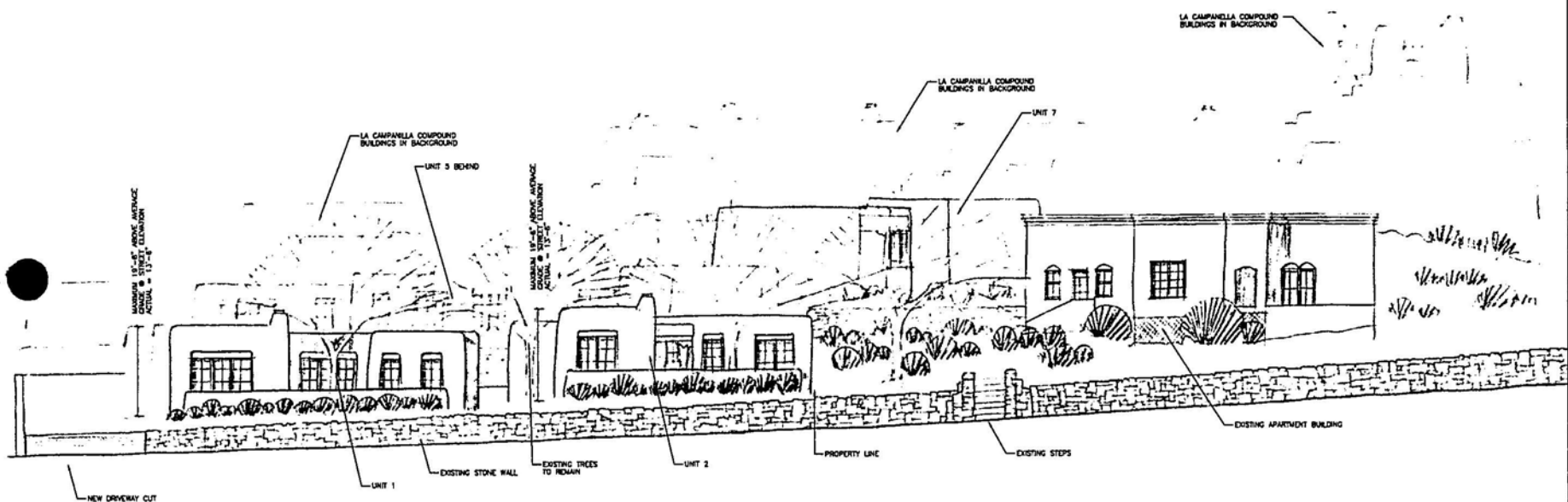
PASEO DE PERALTA

\\LTA-SERVER\0\0428-PASEO COMPOUND\FLOOR PLANS\DWG (09-18-04 4:21 PM) LCT

L O P H I I T Y P E A R C H I T E C T S
 206 McKeen Ave, Suite 103
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mal@ltpk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

| | |
|-------------|----------------|
| Date | Sep 18, 04 |
| Project | |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | 2ND FLOOR PLAN |
| Scale | 1/8" = 1'-0" |
| Sheet No. | |
| of | |



STREET ELEVATION
1/8" = 1'-0"



SOUTH COURTYARD ELEVATION
1/8" = 1'-0"

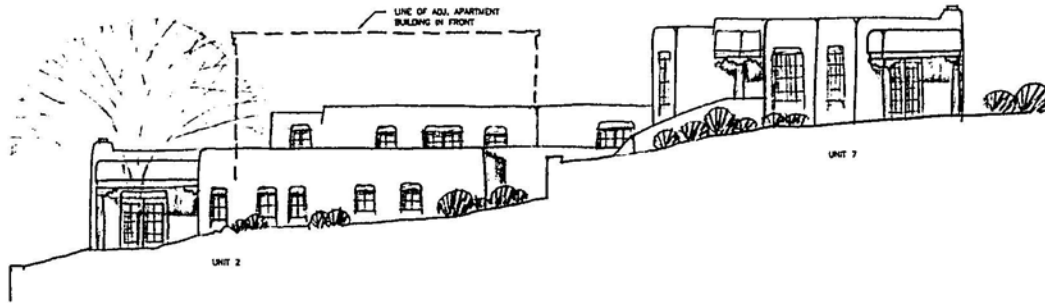
LOBBY TYPE ARCHITECTS
206 McKenna, Suite P2
San Francisco, CA 94101
Telephone: 505-982-5340 Fax: 505-982-5393
E-Mail: mail@ltya.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

| | |
|-------------|--------------|
| Date | Sep 18, 04 |
| Project | |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | ELEVATIONS |
| Scale | 1/8" = 1'-0" |
| Sheet No. | |



WEST ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

LORRI TAYE ARCHITECTS
 206 McKeanee, Suite E2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorri@lta.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date Sep 18, 04

Project

Drawn by

Checked by

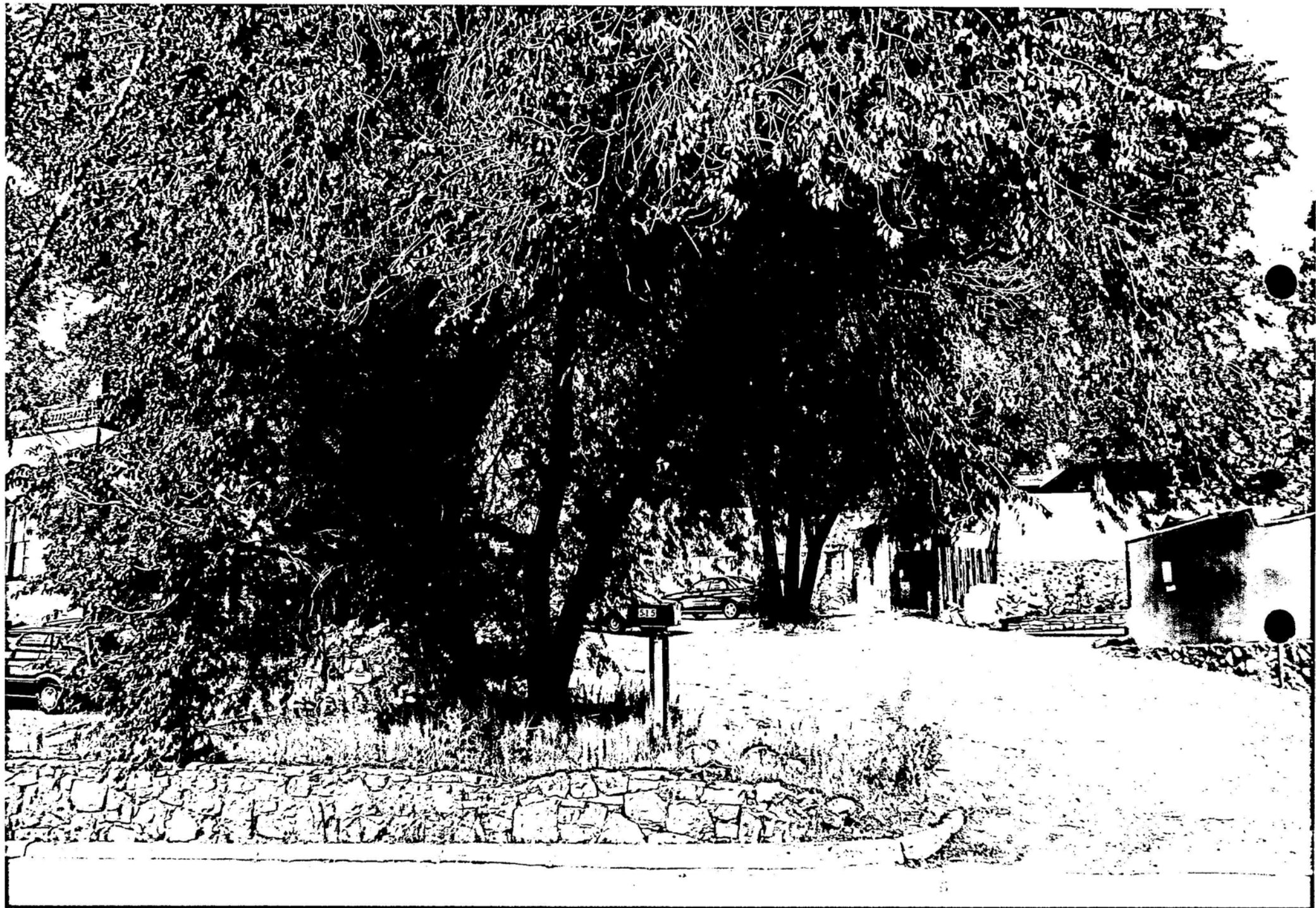
Job Number 0426

Sheet Title

ELEVATIONS

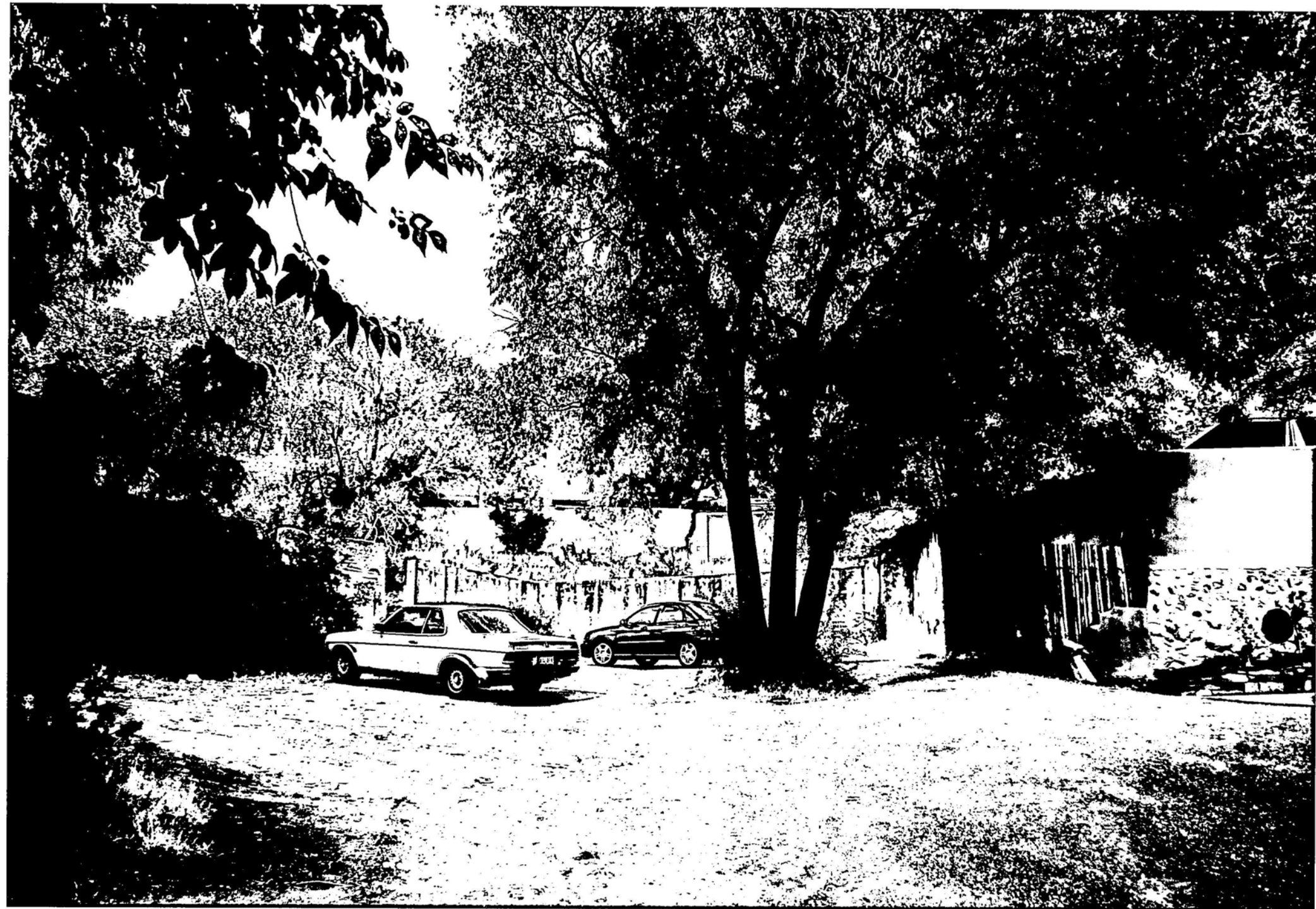
1/8" = 1'-0"

Sheet No.



VIEW OF PASEO DE PERALTA AT LOMA ST.

Second



VIEW UP LOMA ST. TO SITE FOR UNIT 8. (APT. BLDG AT 515 PASEO ON LEFT)

SELSN

September 2, 2004

Christopher Purvis
Santa Fe Historical Board
227 East Palace Avenue W1
Santa Fe, NM 87505

Dear Sir:

I attended the August 24, 2004 meeting pertaining to the development of property on 515 Paseo de Peralta. I wish to again voice my concerns which were raised at the meeting and again raise the same suggestions members of the board voiced. I am concerned about the retaining wall that is being torn down and then rebuilt by the owner on Loma Street. The city erected this wall to prevent erosion and run off from the Otero hillside. I do not understand why it cannot remain, be resurfaced and vehicular traffic rerouted thru a new driveway. I understand part of the wall will be cut away to provide a new 20 foot driveway for condo unit 7 and 8, but I am concerned about erosion from Otero which could result from homes on Otero eroding and washing past our driveway. I feel the builder and architect have not produced adequate engineering plans which show competent research. West of the 515 development there is a driveway off Magdalana and Paseo de Peralta that could serve as access to the new development from the rear of the property which could relieve possible traffic congestion directly off Paseo de Peralta. I question like members of the board if the owner exhausted all options and am concerned about the traffic entering Paseo de Peralta if the historical wall is cut away to allow access. I feel if the historical wall is touched to allow traffic access then the Gabel family who vacationed the land and realigned the boundary lines should be responsible for putting in handicap sidewalk in the interior part of the wall or northside of the wall. It appears they knowingly did this for greed and profit,

not knowing what adverse causes they may do to the community. Condo 8 is slated to be built east of the project on Loma Street on top of the existing 7'11" wall. Condo 8 measures at a finished height of 19'2". The overall height would be 27'1" - towering over adjacent homes. I understand the dirt presently on the wall will be graded 4' but this does not affect the overall height, according to the owner Erik Fuentes conversation I had with him on August 24, 2004.

I do question if there is enough green space and adequate parking not only for home owners but as well as for guest parking. The architect admitted he did not take into consideration a trash area for the development. I do agree with one board member who raised the question of eliminating one condo to satisfy these needs.

If the driveway is also cut into Loma Street east of the development, I would like to request that the Gabel family provide designated marked parking spaces for their tenants living at 515 Paseo de Peralta. There are on a daily basis 6 to 9 vehicles and they park anywhere in the street in front of the house, in front of the retaining wall. I am concerned about other individuals following suite from the development congesting our right of way to and from the driveway. This also could be a problem for emergency vehicles entering Loma Street.

LORN TRYK ARCHITECTS

September 17, 2004

David Rasch
Historic Preservation Planner
City of Santa Fe
P. O. Box 909
Santa Fe, NM 87501

Re: Paseo Compound

Dear David,

On behalf of the property owners of Tract I, Paseo de Peralta, we are submitting for final approval of a 7 unit residential compound, as well as requesting an exception to allow demolition approval for portions of existing site walls.

Based upon input at our last hearing we have made substantial changes, including:

1. Reducing the units at the street to one story
2. Eliminating Unit 8, the unit at the east end of the property which impacted the immediate neighbors to the east.
3. Significantly stepping back the westernmost unit in back to reduce impact of the project when viewed from the west

In a previous submittal we included a structural engineers report as to the condition of the walls. Note that stone material will be salvaged from the site wall demolition for reuse on the most publicly visible new site walls.

206 McKenzie St., Suite F-2, Santa Fe, New Mexico 87501
505-982-5340 mail@ltryk.com Fax:505-982-5393

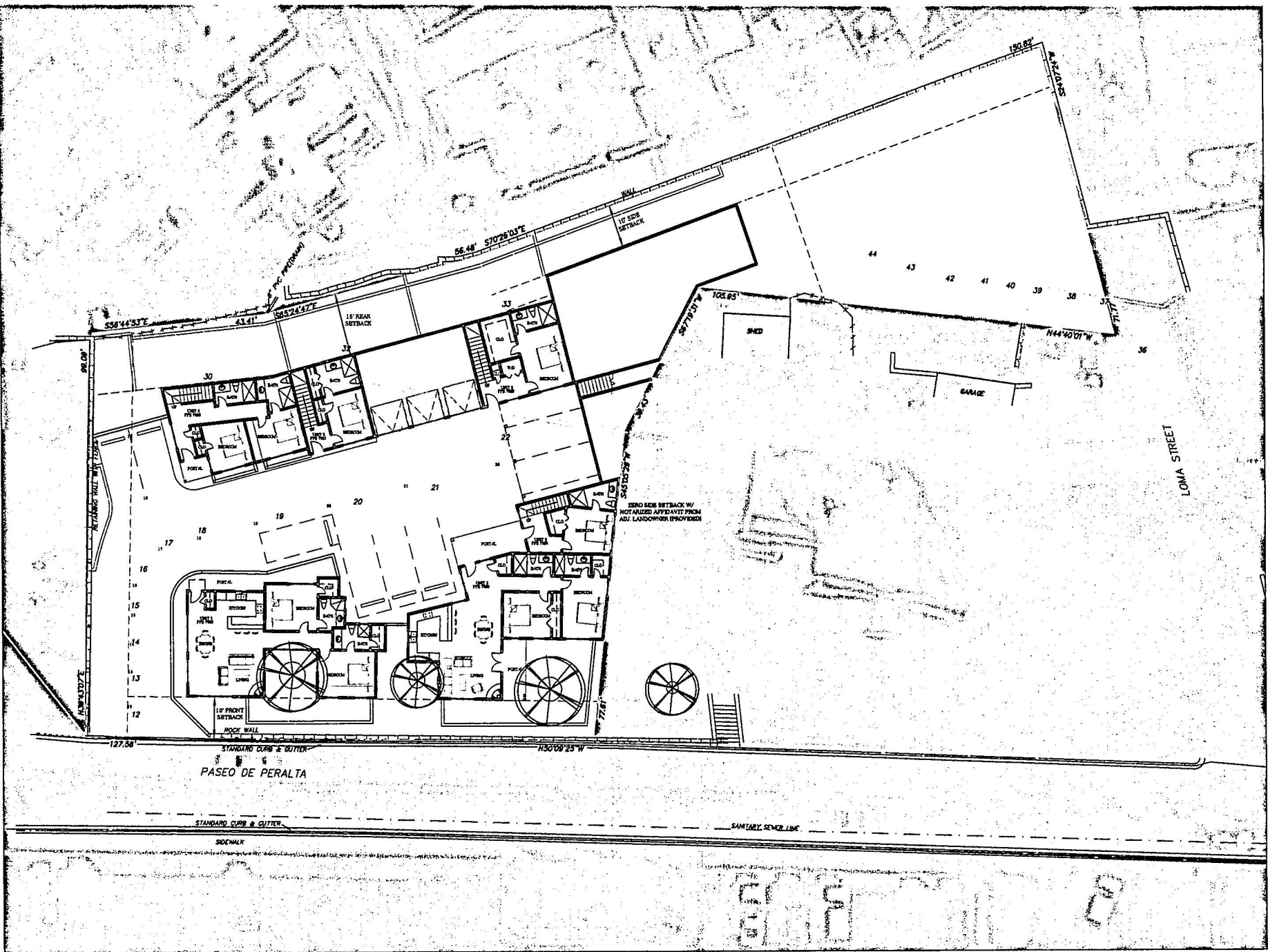
We will submit finishes, lighting and details of windows, railings, doors and other exterior features at a later date.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Lorn C. Tryk". The signature is written in a cursive style with a long, sweeping underline that extends to the right.

Lorn C. Tryk

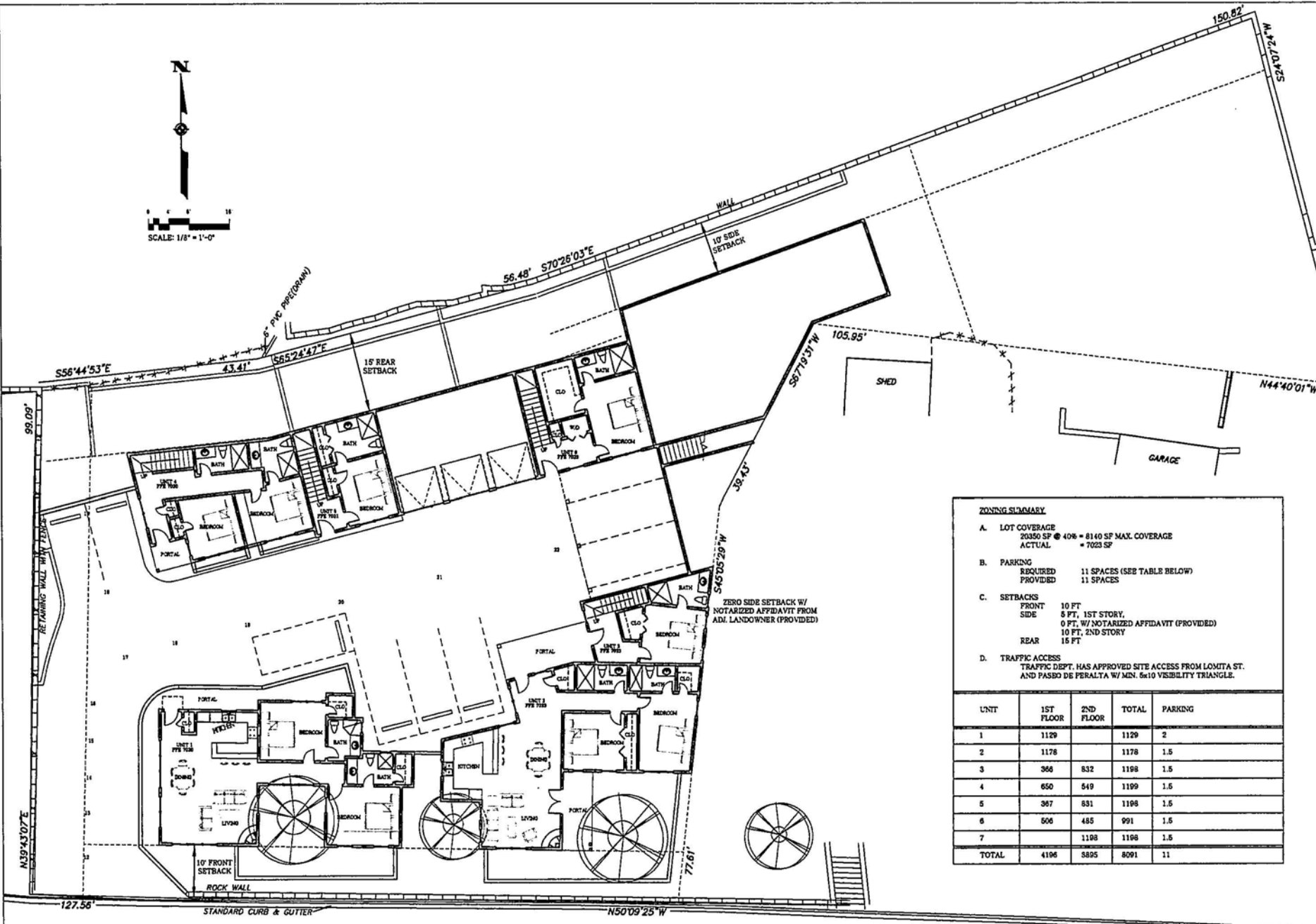


LORD TAYLOR ARCHITECTS
 206 McKenzie, Suite P2
 Santa Fe, New Mexico 87201
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mtl@lirt.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date Sep 19, 04
 Project
 Drawn by
 Checked by
 Job Number 0426

Sheet Title
**SITE PLAN/
 1ST FLOOR
 PLAN**
 1" = 10'-0"
 Plot No.



ZONING SUMMARY

A. LOT COVERAGE
 20350 SF @ 40% = 8140 SF MAX. COVERAGE
 ACTUAL = 7023 SF

B. PARKING
 REQUIRED 11 SPACES (SEE TABLE BELOW)
 PROVIDED 11 SPACES

C. SETBACKS
 FRONT 10 FT
 SIDE 5 FT, 1ST STORY,
 0 FT, W/NOTARIZED AFFIDAVIT (PROVIDED)
 REAR 10 FT, 2ND STORY
 15 FT

D. TRAFFIC ACCESS
 TRAFFIC DEPT. HAS APPROVED SITE ACCESS FROM LOMITA ST.
 AND PASO DE PERALTA W/ MIN. 5x10 VISIBILITY TRIANGLE.

| UNIT | 1ST FLOOR | 2ND FLOOR | TOTAL | PARKING |
|--------------|-------------|-------------|-------------|-----------|
| 1 | 1129 | | 1129 | 2 |
| 2 | 1178 | | 1178 | 1.5 |
| 3 | 366 | 832 | 1198 | 1.5 |
| 4 | 650 | 549 | 1199 | 1.5 |
| 5 | 367 | 831 | 1198 | 1.5 |
| 6 | 506 | 485 | 991 | 1.5 |
| 7 | | 1198 | 1198 | 1.5 |
| TOTAL | 4196 | 3895 | 8091 | 11 |

LOPEL TETE ARCHITECTS
 206 McKeever, Suite F3
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@lhtk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date Sep 18, 04

Drawn by

Checked by

Job Number 0426

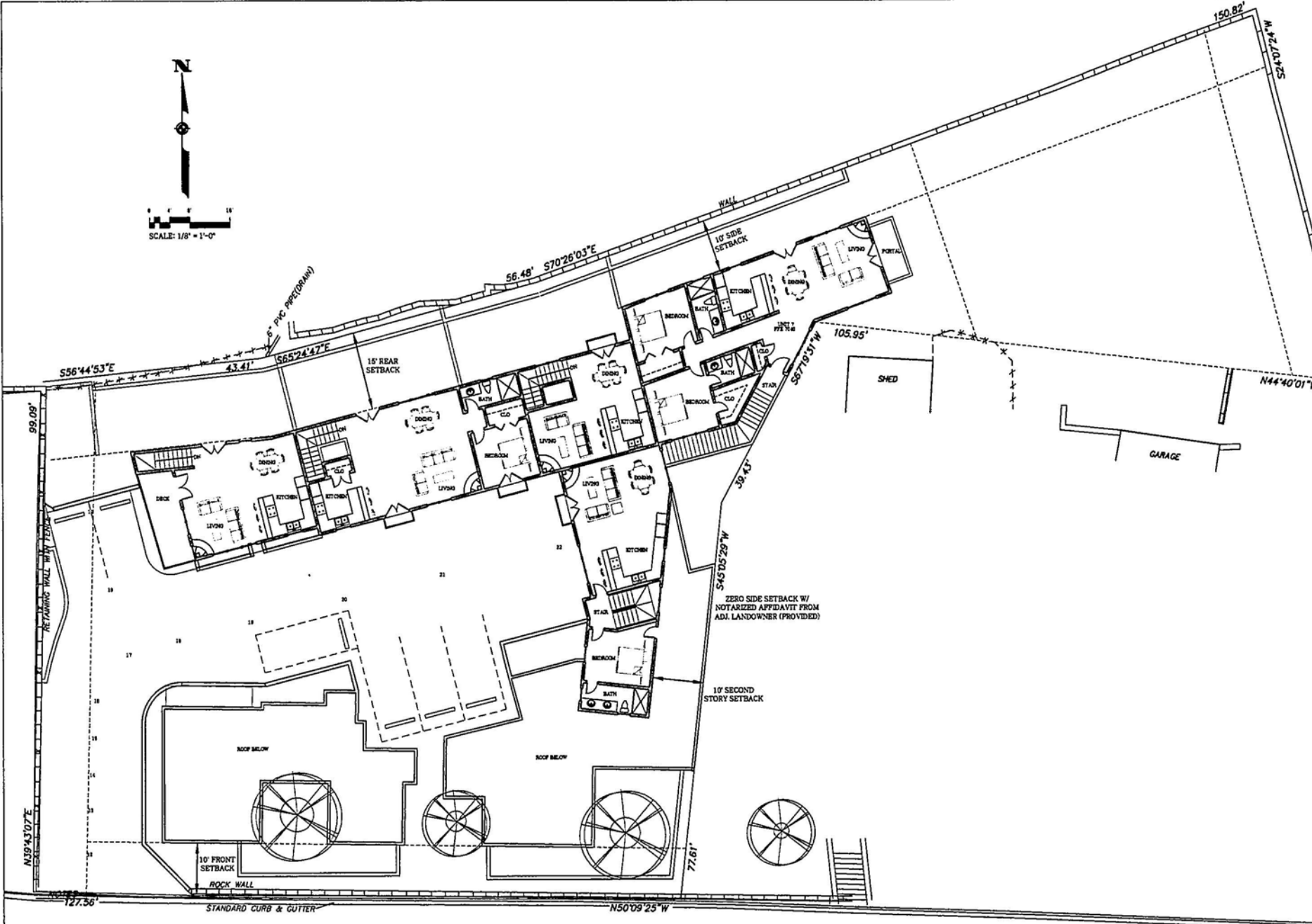
Sheet No.

**SITE PLAN/
 1ST FLOOR
 PLAN**

1/8" = 1'-0"

Sheet No.

PASEO DE PERALTA



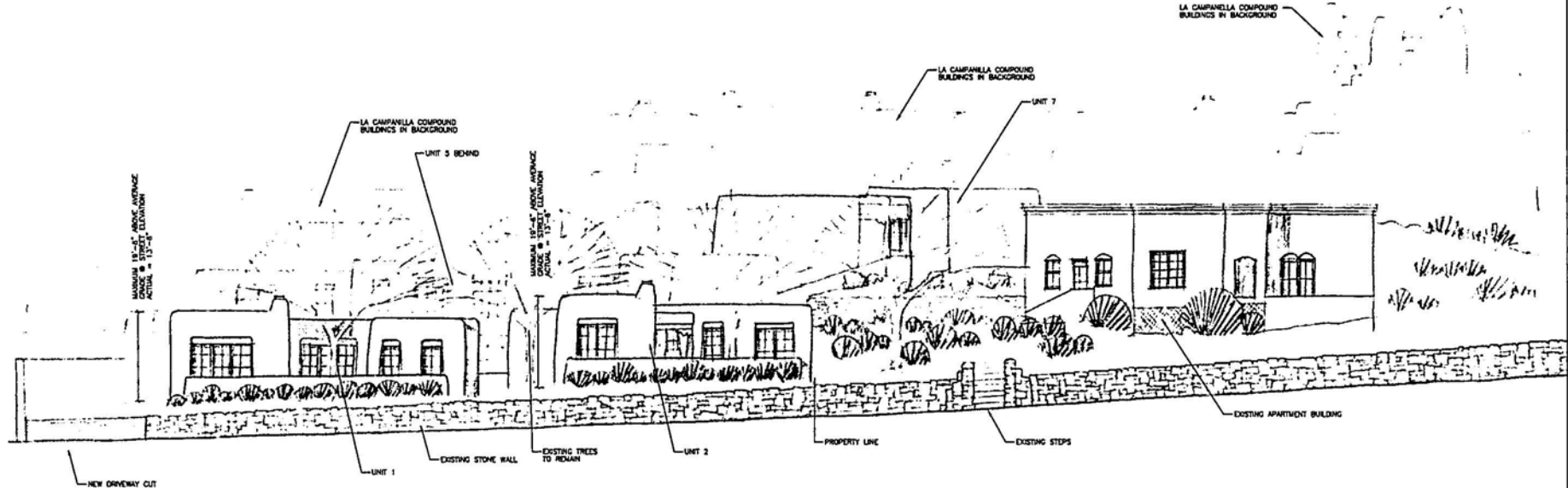
LOPE TRUJE ARCHITECTS
 206 McKenna, Suite P2,
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5140 Fax: 505-982-5393
 E-Mail: mail@lrta.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

| | |
|-------------|----------------|
| Date | Sep 18, 04 |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | 2ND FLOOR PLAN |
| Scale | 1/8" = 1'-0" |
| Sheet No. | |

PASEO DE PERALTA

\\LTA-SEVEN\0426-PASEO COMPOUND\FLOOR PLANS\2ND FLOOR PLAN\DWG (09-18-04 4:21 PM) LCT



STREET ELEVATION
1/8" = 1'-0"



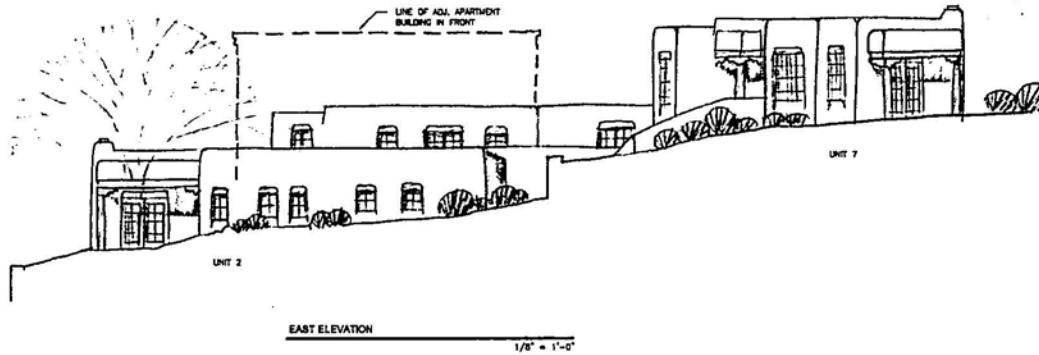
SOUTH COURTYARD ELEVATION
1/8" = 1'-0"

\\LA-SERVER\0438-PASEO CONDOS\HAND ELEVS NEW.DWG (09-18-04 3:30 PM) LCT

LOPIU TETTE ARCHITECTS
206 McKenzie, Suite E2
Santa Fe, New Mexico 87501
Telephone: 505-982-5340 Fax: 505-982-5393
E-MAIL: mail@lnt.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

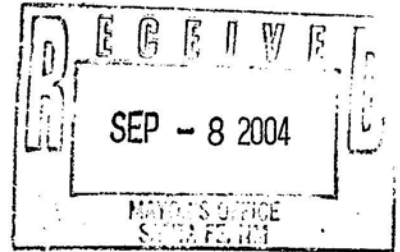
| | |
|--------------|------------|
| Date | Sep 18, 04 |
| Project | |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | ELEVATIONS |
| 1/8" = 1'-0" | |
| Sheet No. | |



LOPEZ TRIVETT ARCHITECTS
 206 McKeenaz, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@ltnk.com

PASEO COMPOUND
Tract 1 - Paseo De Peralta

| | |
|--------------|------------|
| Date | Sep 18, 04 |
| Revised | |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | ELEVATIONS |
| 1/8" = 1'-0" | |
| Sheet No. | |
| Of | |



September 2, 2004

Christopher Purvis
Santa Fe Historical Board
227 East Palace Avenue W1
Santa Fe, NM 87505

Dear Sir:

I attended the August 24, 2004 meeting pertaining to the development of property on 515 Paseo de Peralta. I wish to again voice my concerns which were raised at the meeting and again raise the same suggestions members of the board voiced. I am concerned about the retaining wall that is being torn down and then rebuilt by the owner on Loma Street. The city erected this wall to prevent erosion and run off from the Otero hillside. I do not understand why it cannot remain, be resurfaced and vehicular traffic rerouted thru a new driveway. I understand part of the wall will be cut away to provide a new 20 foot driveway for condo unit 7 and 8, but I am concerned about erosion from Otero which could result from homes on Otero eroding and washing past our driveway. I feel the builder and architect have not produced adequate engineering plans which show competent research. West of the 515 development there is a driveway off Magdalana and Paseo de Peralta that could serve as access to the new development from the rear of the property which could relieve possible traffic congestion directly off Paseo de Peralta. I question like members of the board if the owner exhausted all options and am concerned about the traffic entering Paseo de Peralta if the historical wall is cut away to allow access. I feel if the historical wall is touched to allow traffic access then the Gabel family who vacationed the land and realigned the boundary lines should be responsible for putting in handicap sidewalk in the interior part of the wall or northside of the wall. It appears they knowingly did this for greed and profit,

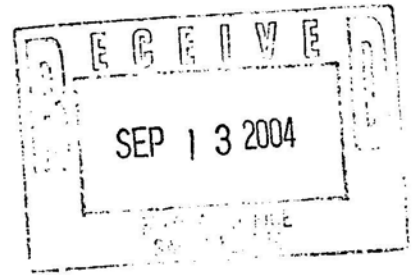
FORWARDED TO:
DAVID RAISCH -
DAVID LET ME KNOW
WHAT IS GOING ON!
WELLS - TRAY
David

not knowing what adverse causes they may do to the community. Condo 8 is slated to be built east of the project on Loma Street on top of the existing 7'11" wall. Condo 8 measures at a finished height of 19'2". The overall height would be 27'1" - towering over adjacent homes. I understand the dirt presently on the wall will be graded 4' but this does not affect the overall height, according to the owner Erik Fuentes conversation I had with him on August 24, 2004.

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If the driveway is also cut into Loma Street east of the development, I would like to request that the Gabel family provide designated marked parking spaces for their tenants living at 515 Paseo de Peralta. There are on a daily basis 6 to 9 vehicles and they park anywhere in the street in front of the house, in front of the retaining wall. I am concerned about other individuals following suite from the development congesting our right of way to and from the driveway. This also could be a problem for emergency vehicles entering Loma Street.

Clare Rosch
Planning





City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

Larry A. Delgado, *Mayor*
Jim Romero, *City Manager*

Councilors:

Carol Robertson-Lopez, Mayor Pro Tem, Dist. 4
Patti J. Bushee, Dist. 1
David Pfeffer, Dist. 1
Karen Heldmeyer, Dist. 2
Rebecca Wurzbarger, Dist. 2
Miguel M. Chavez, Dist. 3
David Coss, Dist. 3
Matthew E. Ortiz, Dist. 4

Project description: Construction of a residential compound of eight units at a total of 11,176 sq. ft.
Project number: 04-10100114
Case number: H-04-114
Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): Tract I, Paseo de Peralta (Adjacent to #515)

PROJECT NAMES:

OW - Erik Fuentes
Lamy, NM 87540

#10 Camino Caballos Spur
505-660-8320

AP - Lorn C. Tryk
Santa Fe, NM 87501-1888

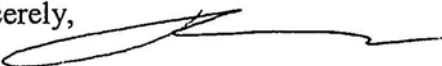
206 McKenzie St., Suite F-2
505-982-5340

BOARD ACTION

This is to certify that the Historic Design Review Board (HDRB) at their meeting on August 24, 2004, acted on the above referenced case. The decision of the board was to postpone your request with the condition that an exception be submitted to demolish a portion of the historic stone wall.

For further information please call 955-6605.

Sincerely,


David A. Rasch
Historic Preservation Planner

NOTE: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.).

PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.

“Committed to our community, and making a difference”



CITY OF SANTA FE, NEW MEXICO

Project description: Residential compound consisting of 8 units at a total of 11,176 sq. ft.
Project number: 04-10100114
Case number: H-04-114
Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): Tract I, Paseo de Peralta (Adjacent to #515)

PROJECT NAMES:

OW – Erik Fuentes
Lamy, NM 87540

#10 Camino Caballos Spur
505-660-8320

AP – Lorn C. Tryk
Santa Fe, NM 87501-1888

206 McKenzie St., Suite F-2
505-982-5340

PROJECT DATA:

HISTORIC DISTRICT
HISTORIC BUILDING STATUS
PUBLICLY VISIBLE FACADE-EAST
PUBLICLY VISIBLE FACADE-NORTH
PUBLICLY VISIBLE FACADE-SOUTH
PUBLICLY VISIBLE FACADE-WEST
HISTORIC DISTRICT SURVEY NUMBER
YEAR OF CONSTRUCTION
PROJECT TYPE (NEW, ADD, ETC.)
USE, EXISTING
USE, PROPOSE
HISTORIC BUILDING NAME

DOWNTOWN & EASTSIDE
CONTRIBUTING/NA
YES
NO
YES
YES
N/A
N/A
NEW
VACANT
RESIDENTIAL
N/A

City of Santa Fe, New Mexico

memo

DATE: August 24, 2004
TO: Historic Design Review Board Members
VIA: Reed Liming, Acting Planning & Land Use Department Director *RL by MRL*
FROM: David Rasch, Supervising Planner in Historic Preservation *DR*

CASE # H-04-114

ADDRESS: 515 Paseo de Peralta, Tract 1
Historic Status: Contributing/Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Survey Form
- Zoning Review Sheet
- Other: bldg height calculation

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: letter from neighbor

STAFF RECOMMENDATION:

Staff defers to the Board as to whether the applicant has conclusively demonstrated for the Board to have a positive finding of fact to grant the exception. Otherwise, this application complies with Section 14-5.2 (E) Downtown & Eastside Historic District design standards.

BACKGROUND & SUMMARY:

515 Paseo de Peralta, Tract 2 is a brick apartment building that was constructed before 1890 in the Neoclassical – Territorial Style. The building is finished with textured stucco and brick coping at the parapets. The building has undergone moderate historic alterations and is listed as Contributing to the Downtown & Eastside Historic District. There are associated historic buildings and stone walls on the property. The streetscape wall runs the length of the property, except for a driveway at the east end and lacks space for a sidewalk.

Tract 1 is a 20,350 square foot lot to the west of Tract 2 and with a slope down toward the street. This lot includes part of the streetscape stone wall and other stone retaining walls further back from the street. The applicant proposes to construct eight Units on this lot for a total of 11,176 square feet in four building blocks, two along the streetscape and two along the rear of the lot.

The buildings will be designed in the Spanish – Pueblo Revival Style with rounded parapets, second-floor balconies, projecting vigas, exposed wooden headers, and portals with carved corbels.

The buildings will be approximately 19' 6" high from finished grade to top of parapets. The maximum allowable height for this location is 17' 6", as determined by a linear calculation. Topographic information indicates that there is enough slope change on the lot for the Board to approve an additional 2' in height, for a total of 19' 6".

According to the previous preliminary hearing of this case on August 10, 2004, the applicant has reduced the second-story massing of Units 1 and 2 by 25% and Unit 4 by 15% and reduced the new streetscape wall in length by breaking it into several segments.

This application was postponed on August 24, 2004 pending a request for exception to demolish a portion of the historic stone wall at the west end of the streetscape.

The exception request has now been submitted. Further alterations of the application include: reducing the two Units along the streetscape to single-story buildings; eliminating Unit 8 at the east end of the property; and significantly stepping back the westernmost rear unit to reduce its visibility.

Approximately 30' of the westernmost section of the streetscape stone wall will be removed for driveway access to the lot. The lot interior stone walls will be partially or entirely removed. The stones will be reused to construct additional walls.

The applicant provided the following responses for an exception to be granted in order for a section of the historic streetscape stone wall to be demolished.

1. The proposed exception does not damage the character of the streetscape.

The proposed demolition of 30 feet of wall represents approximately 11% of the total length of the stone wall at the street. The applicant proposes to reuse the stone salvaged from the demolition to retain the side of the proposed a driveway in the area of the demolition.

2. The proposed exception prevents a hardship to the applicant or an injury to the public welfare.

The proposed demolition allows the applicant to access the project site in an area where it is topographically possible to put in a driveway with a slope that meets the city code. The location of the proposed demolition, at the very western end of the property, is the best location from a traffic standpoint, according to the City traffic engineer.

3. The proposed exception will strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic district.

This project will add seven housing units to the historic district. Without the exception, it would be difficult or impossible to add these residences.

4. The exception is due to special conditions and circumstances which are peculiar to the land or structure involved in which are not applicable to other land or structures in the related streetscape.

The request for demolition of a portion of the stone wall is to allow access to this site for a driveway. This is a condition that is unique to this site.

5. The exception is due to special conditions and circumstances which are not the result of the actions of the applicant.

The site and topographic conditions are part of this parcel. They were not a result of the actions of the applicant.

6. The exception will provide the least negative impact with respect to the purpose of this section as set forth in section 14 – 5.2 (a) (1)

The area for the proposed demolition has the least negative impact visually, in that it is located at the western end of the wall rather than somewhere in the middle of the wall's length. The western end of the wall is located directly adjacent to a large concrete retaining wall and a surface parking lot. Construction of a new driveway in this location will reduce the height of the existing concrete retaining wall at the property line.

City of Santa Fe, New Mexico

memo

DATE: August 24, 2004
TO: Historic Design Review Board Members
VIA: Reed Liming, Acting Planning & Land Use Department Director
FROM: David Rasch, Acting Supervising Planner in Historic Preservation DR

CASE # H-04-114

ADDRESS: 515 Paseo de Peralta, Tract 1
Historic Status: Contributing/Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Survey Form
- Zoning Review Sheet
- Other: bldg height calculation

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

The applicant is requesting preliminary review at this time. Staff is of the opinion that the demolition of the west end of the historic stone wall for vehicle access and the interior retaining walls for building location is problematic, however necessary. Otherwise, this application would comply with Section 14-5.2 (E) Downtown & Eastside Historic District design standards.

BACKGROUND & SUMMARY:

515 Paseo de Peralta, Tract 2 is a brick apartment building that was constructed before 1890 in the Neoclassical – Territorial Style. The building is finished with textured stucco and brick coping at the parapets. The building has undergone moderate historic alterations and is listed as Contributing to the Downtown & Eastside Historic District. There are associated historic buildings and stone walls on the property. The streetscape wall runs the length of the property, except for a driveway at the east end and lacks space for a sidewalk.

Tract 1 is a 20,350 square foot lot to the west of Tract 2 and with a slope down toward the street. This lot includes part of the streetscape stone wall and other stone retaining walls further back from the street. The applicant proposes to construct eight Units on this lot for a total of 11,176 square feet in four building blocks, two along the streetscape and two along the rear of the lot.

The buildings will be designed in the Spanish – Pueblo Revival Style with rounded parapets, second-floor balconies, projecting vigas, exposed wooden headers, and portals with carved corbels.

The buildings will be approximately 19' 6" high from finished grade to top of parapets. The maximum allowable height for this location is 17' 6", as determined by a linear calculation. Topographic information indicates that there is enough slope change on the lot for the Board to approve an additional 2' in height, for a total of 19' 6".

According to the previous preliminary hearing of this case on August 10, 2004, the applicant has reduced the second-story massing of Units 1 and 2 by 25% and Unit 4 by 15% and reduced the new streetscape wall in length by breaking it into several segments.

Approximately 30' of the westernmost section of the streetscape stone wall will be removed for driveway access to the lot. The lot interior stone walls will be partially or entirely removed. The stones will be reused to construct additional walls.

LORN TRYK ARCHITECTS

August 13, 2004

David Rasch
Historic Preservation Planner
City of Santa Fe
P. O. Box 909
Santa Fe, NM 87501

Re: Paseo Compound

Dear David,

On behalf of the property owners of Tract I, Paseo de Peralta, we are resubmitting for preliminary approval of an 8 unit residential compound, as well as demolition approval for portions of existing site walls. At the suggestion of the HDRB we have reduced the second floors of units 1 and 2 by 25%; we have also reduced the second floor of unit 4 by about 15% to break up the two story massing of that unit.

We are asking for permission to demolish portions of the stone walls. We have included a structural engineers report as to the condition of the walls.

Note that stone material will be salvaged from the site wall demolition for reuse on the most publicly visible new site walls.

We will submit finishes, lighting and details of windows, railings, doors and other exterior features at a later date.

Thank you for your consideration.

Sincerely,



Lorn C. Tryk

**RETAINING WALL AT A PASEO DE PERALTA VACANT LOT
SANTA FE, NEW MEXICO
ENGINEER'S REPORT**

**RANDALL ENGINEERING, LLC
SANTA FE, NEW MEXICO**

August 13, 2004



SCOPE

This report presents the observations of a partial site review made August 12, 2004 at a vacant lot with an existing retaining wall, on Paseo de Peralta, Santa Fe by Steve Randall, a New Mexico Registered Professional Engineer with experience in structural design. The purpose of the report is to evaluate the structural integrity and condition of a mortared, stacked stone retaining wall near the back lot line. The lot fronts on the north side of Paseo de Peralta, east of and adjacent to the Wells Fargo Bank employee parking lot on the northeast corner of Magdalena Street and Paseo de Peralta. Only structural features exposed for inspection are evaluated in this report.

OBSERVATIONS

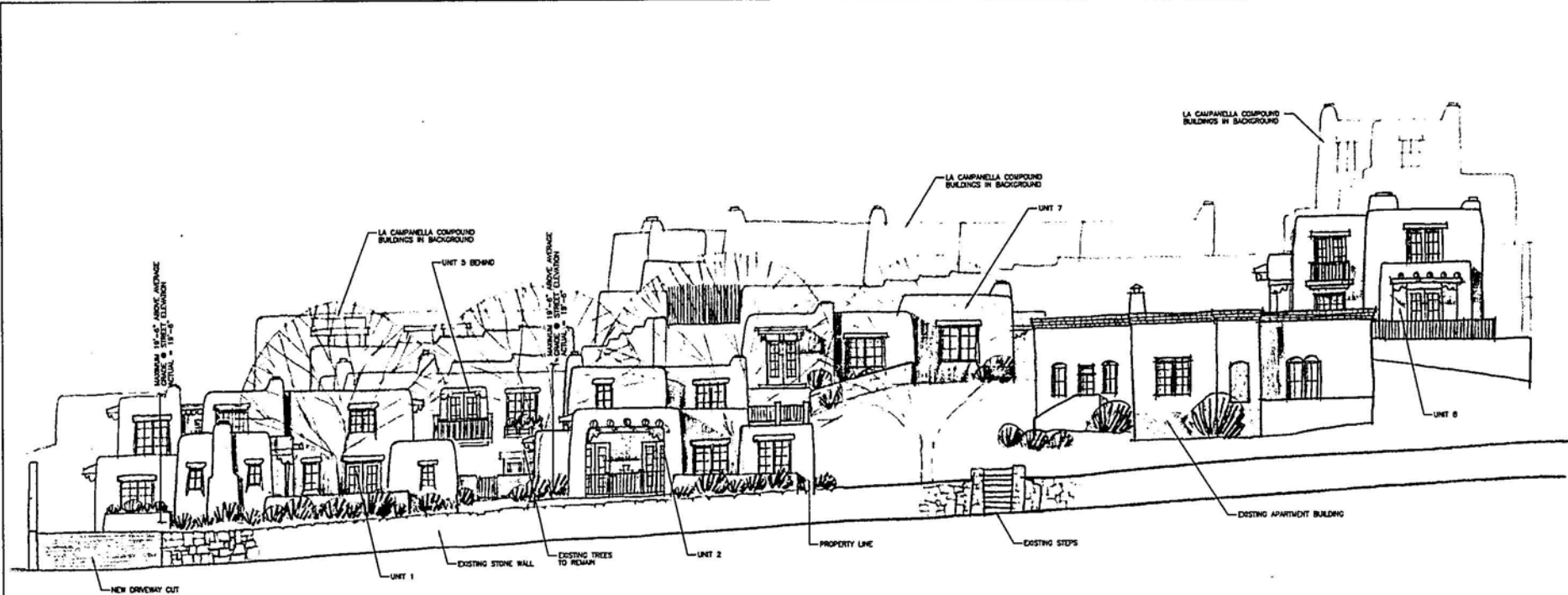
The 7 feet high mortared stacked stone retaining wall extends across most of the length of the lot running parallel to the street frontage. The wall appears to be fairly old - large trees are growing out of the backfill at the top of the wall. The mortar has evidently been repointed at most of the wall, and is standing proud of the joints. The wall is out of plumb in places, bowing and rotating outward at the top. Vertical and diagonal cracking exist through the mortar joints and through the stones. The top courses of stones, ranging to as much as two feet down the wall, are loose and shifting outward several inches in places where mortar has disintegrated. The

remaining mortar and stones are weathering well, and show no signs of decomposition. No footing is exposed, and no steel reinforcement is exposed to view.

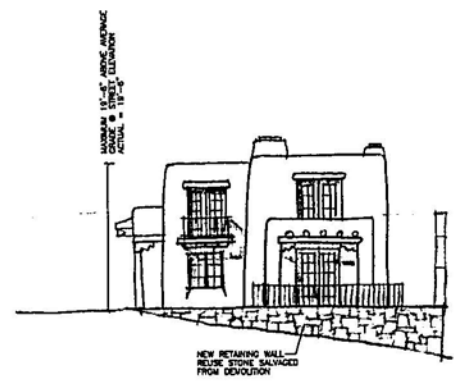
CONCLUSIONS

The wall was likely built without rebar reinforcement. It has been periodically repaired and is now in need of further repair, and periodic maintenance. It can be expected to continue to crack and bow out, and rotate outward at the top at a slow rate. The wall is not presently a threat to health and safety. The wall can not be expected to meet current Building Code requirements for retaining wall strength or construction. To ensure the stability of the wall now and in the future, the wall should be reinforced from the retaining side.

End of Report



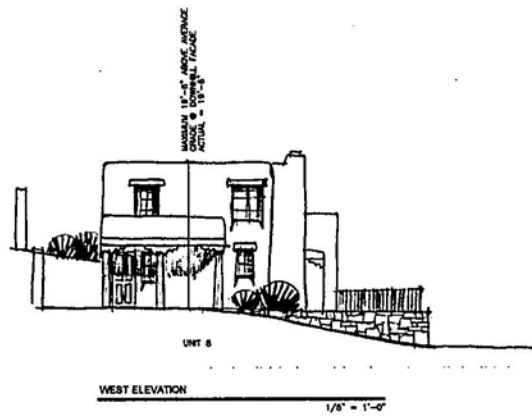
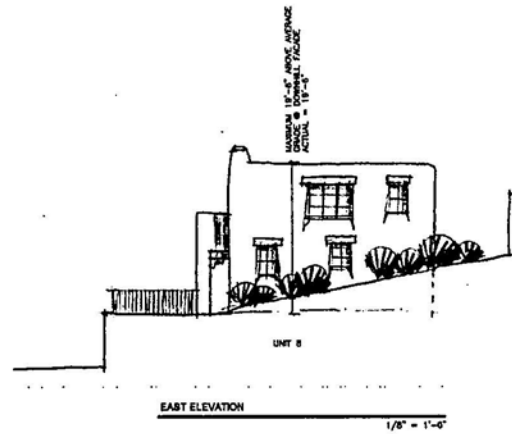
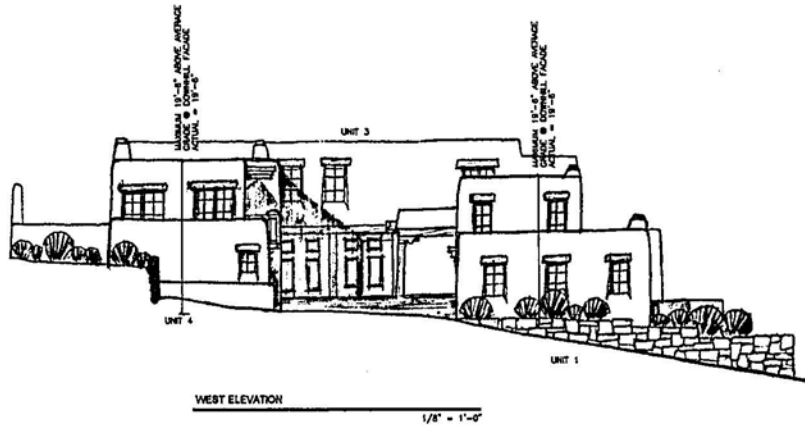
STREET ELEVATION
1/8" = 1'-0"



LORN TEVE ARCHITECTS
206 McKeane, Suite E2
Santa Fe, New Mexico 87501
Telephone: 505-982-5340 Fax: 505-982-5393
E-Mail: mail@ltnk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

| | |
|-------------|--------------|
| Date | Aug 14, 04 |
| Drawn by | |
| Checked by | |
| Job Number | 0428 |
| Sheet Title | ELEVATIONS |
| Scale | 1/8" = 1'-0" |
| Sheet No. | |



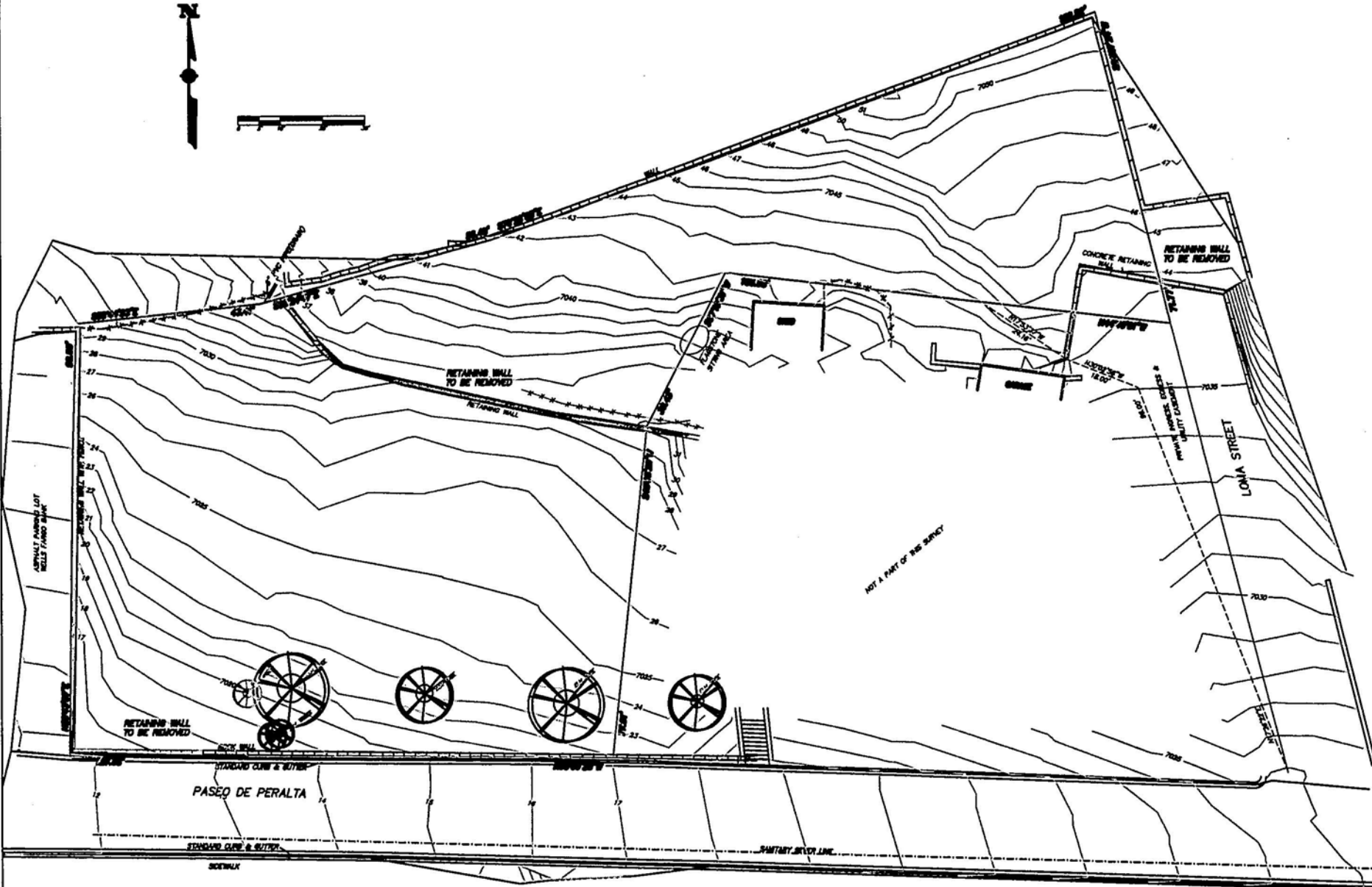
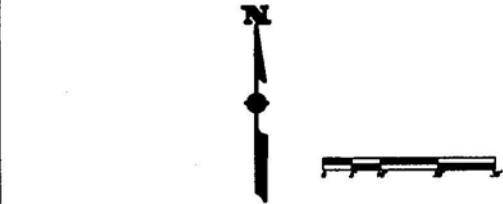
LORI TRYK ARCHITECTS
 206 McKinley, Suite 201
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lori@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date: Aug 14, 04
 Revision:
 Drawn by:
 Checked by:
 Job Number: 0428
 Sheet Title:

ELEVATIONS

1/8" = 1'-0"
 Sheet No.



LORI TRIVIA ARCHITECTS
 206 McKean, Suite E2
 Santa Fe, New Mexico 87501
 Telephone: 505-983-3310 Fax: 505-983-3393
 E-Mail: mail@lta.com

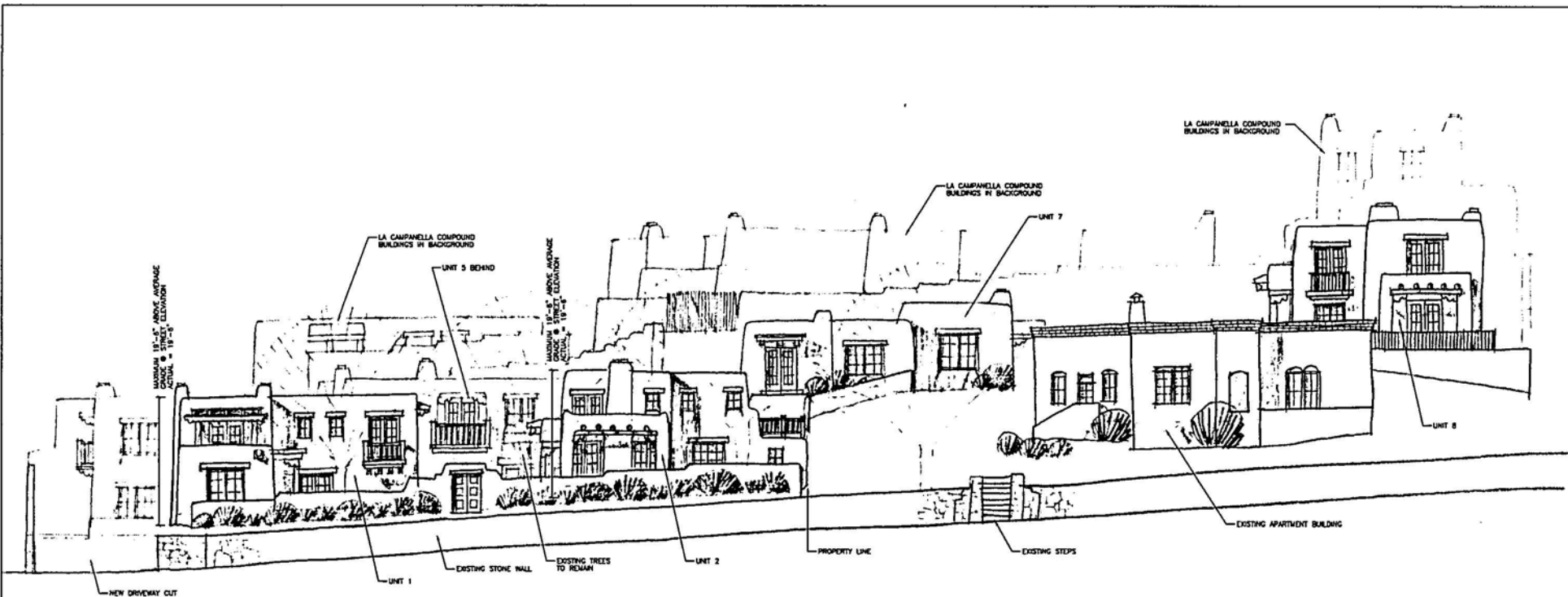
PASEO COMPOUND
Tract 1 Paseo De Peralta

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|------------|------------|
| Date | Aug 14, 04 |
| Drawn by | |
| Checked by | |
| All Notes | 0428 |
| Scale 1/8" | |

SITE DEMOLITION PLAN

1" = 10'-0"
 Date Pl.

\\124-BENEF\PLANS-PASEO COMPOUND\FIRST FLOOR PLAN\DEM (08-14-04) 3.23 PM QJL



STREET ELEVATION
1/8" = 1'-0"



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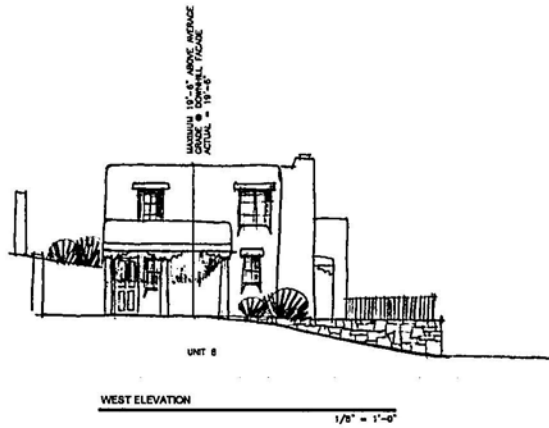
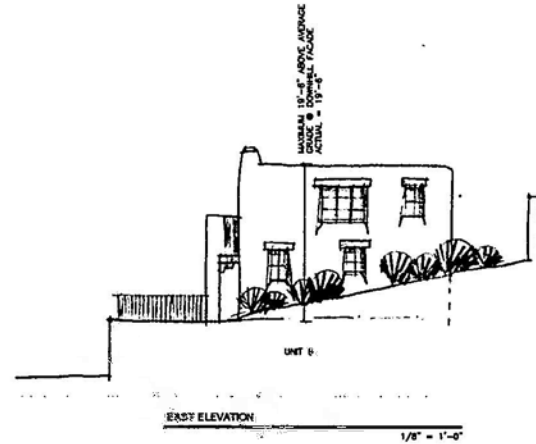
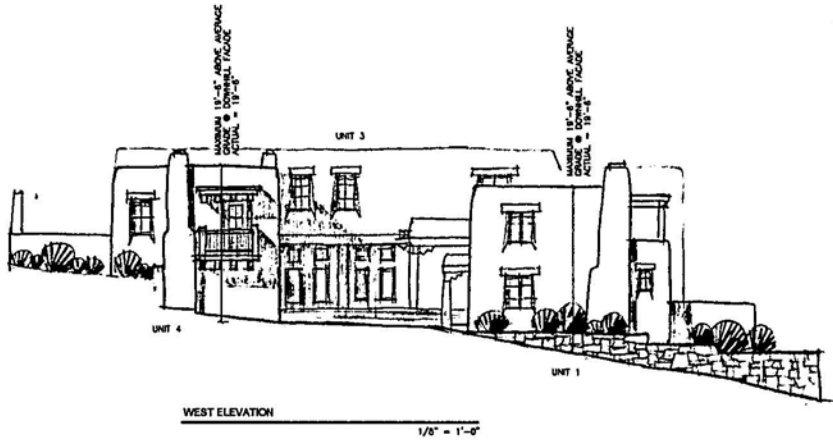
PASEO COMPOUND
Tract 1 Paseo De Peralta

Date: Jul
 Project:
 Drawn by:
 Checked by:
 Job Number: 0425

ELEVATIONS

1/8" = 1'-0"

Second



LORN TRYK ARCHITECTS
 200 McKinzie, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lma@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

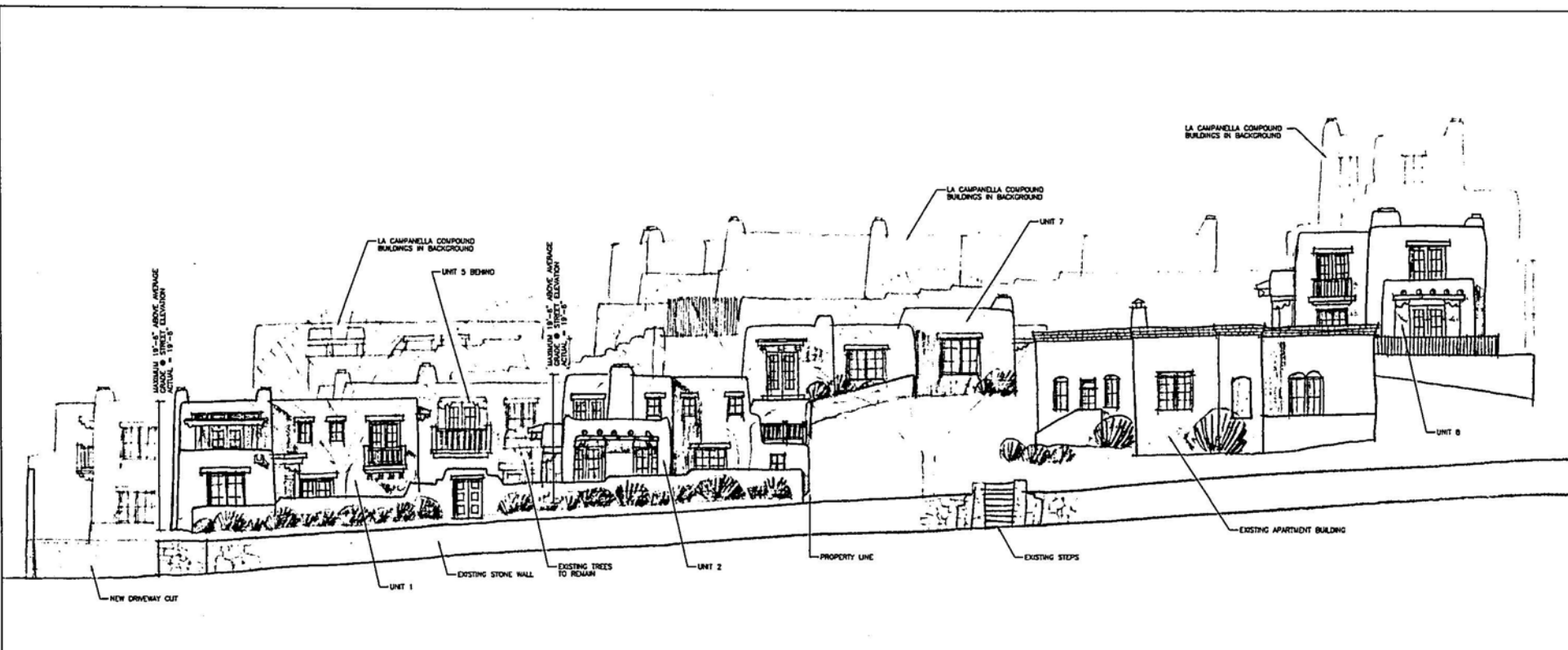
Date:
 Prepared:

Drawn by:
 Checked by:
 Job Number: 0426

Sheet Title:
ELEVATIONS

1/8" = 1'-0"
 Sheet No.

Send



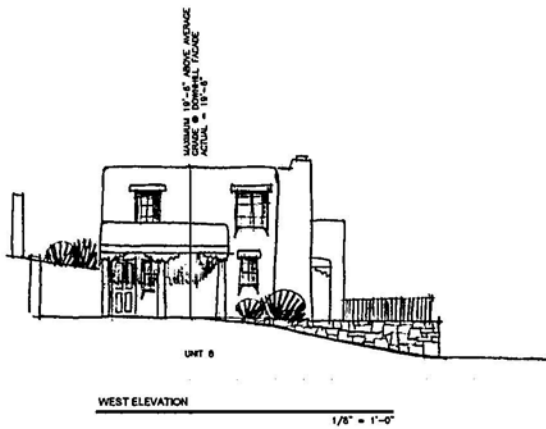
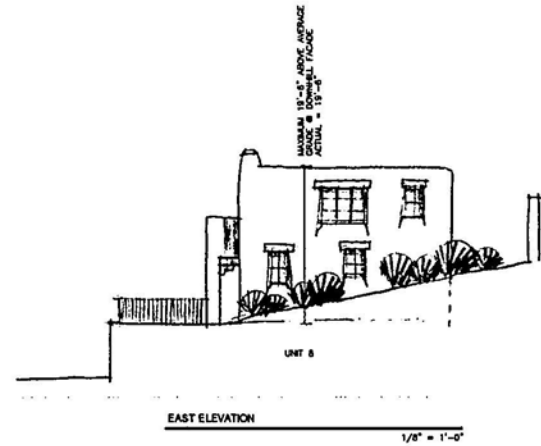
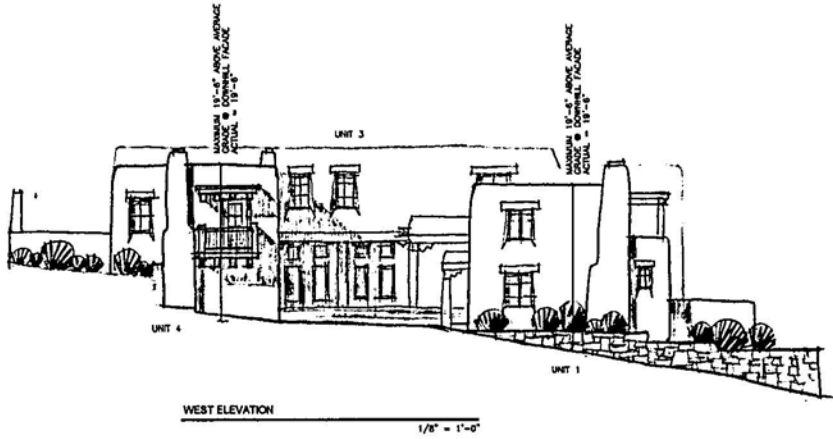
STREET ELEVATION
1/8" = 1'-0"



LORN TRYK ARCHITECTS
 206 McKenzie, Suite P2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorntk@lork.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

| | |
|--------------|------------|
| Date | Aug 04 |
| Permit | |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | ELEVATIONS |
| 1/8" = 1'-0" | |
| Sheet No. | |



LORN TRYK ARCHITECTS

206 McKenzie, Suite P2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mlt@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date Aug 08

Period

Drawn by

Created by

Job Number 0426

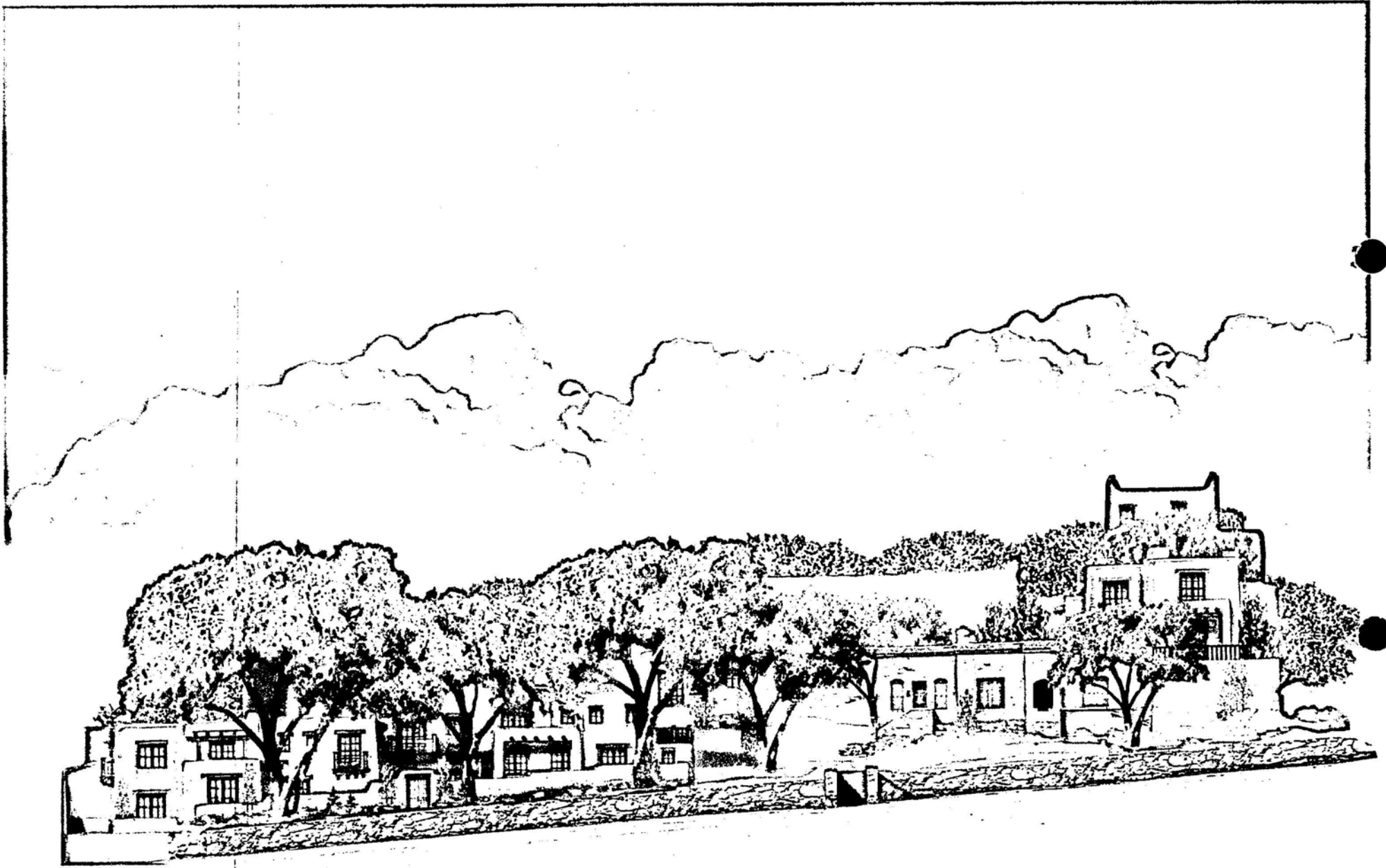
Sheet Title

ELEVATIONS

1/8" = 1'-0"

Sheet No.

01





City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

Larry A. Delgado, *Mayor*
Jim Romero, *City Manager*

Councilors:

Carol Robertson-Lopez, Mayor Pro Tem, Dist. 4
Patti J. Bushee, Dist. 1
David Pfeffer, Dist. 1
Karen Heldmeyer, Dist. 2
Rebecca Wurzburger, Dist. 2
Miguel M. Chavez, Dist. 3
David Coss, Dist. 3
Matthew E. Ortiz, Dist. 4

Project description: Residential compound consisting of 8 units at a total of 11,176 sq. ft.
Project number: 04-10100114
Case number: H-04-114
Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): Tract I, Paseo de Peralta (Adjacent to #515)

PROJECT NAMES:

OW - Erik Fuentes
Lamy, NM 87540

#10 Camino Caballos Spur
505-660-8320

AP - Lorn C. Tryk
Santa Fe, NM 87501-1888


206 McKenzie St., Suite F-2
505-982-5340

BOARD ACTION

This is to certify that the Historic Design Review Board (HDRB) at their meeting on August 10, 2004, acted on the above referenced case. The decision of the board was to postpone your request until re-design is submitted that addresses the following issues: 1) 25% decrease in second floors of units 1 and 2; 2) that unit 4 should have a less equal relationship between the 1st and 2nd floors; and 3) that you submit for an exception to demolish the historic stone walls with a plan to re-use the rocks in the new walls.

For further information please call 955-6605.

Sincerely,


David A. Rasch
Historic Preservation Planner

NOTE: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.).

PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.

"Committed to our community, and making a difference"

City of Santa Fe, New Mexico

memo

DATE: August 10, 2004
TO: Historic Design Review Board Members
VIA: Reed Liming, Acting Planning & Land Use Department Director *RL*
FROM: David Rasch, Acting Supervising Planner in Historic Preservation *DR*

CASE # H-04-114

ADDRESS: 515 Paseo de Peralta, Tract 1
Historic Status: Contributing/Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Survey Form
- Zoning Review Sheet
- Other: bldg height calculation

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

The applicant is requesting preliminary review at this time. Staff is of the opinion that the building heights exceed the maximum allowable heights for this location. Also, the demolition of the west end of the historic stone wall for vehicle access and the interior retaining walls for building location is problematic, however necessary. Otherwise, this application would comply with Section 14-5.2 (E) Downtown & Eastside Historic District design standards.

BACKGROUND & SUMMARY:

515 Paseo de Peralta, Tract 2 is a brick apartment building that was constructed before 1890 in the Neoclassical – Territorial Style. The building is finished with textured stucco and brick coping at the parapets. The building has undergone moderate historic alterations and is listed as Contributing to the Downtown & Eastside Historic District. There are associated historic buildings and stone walls on the property. The streetscape wall runs the length of the property, except for a driveway at the east end and lacks space for a sidewalk.

Tract 1 is a 20,350 square foot lot to the west of Tract 2 and with a slope down toward the street. This lot includes part of the streetscape stone wall and other stone retaining walls further back from the street. The applicant proposes to construct eight single-family residences on this lot for a total of 11,176 square feet in four building blocks, two along the streetscape and two along the rear of the lot.

The buildings will be designed in the Spanish – Pueblo Revival Style with rounded parapets, second-floor balconies, projecting vigas, exposed wooden headers, and portals with carved corbels.

The buildings will be approximately 20' high from finished grade to top of parapets. The heights from natural grade to top of parapets may be as much as 24' to 26' high, as shown on the south elevation drawing of Unit 8.

The maximum allowable height for this location is 17' 6", as determined by a linear calculation. Although topographic information was not submitted, there is probably enough slope on the lot for the Board to approve an additional 2' in height, for a total of 19' 6".

The westernmost section of the streetscape stone wall will be removed for driveway access to the lot. The lot interior stone walls will be partially or entirely removed. The stones will be reused to construct additional walls.

LORN TRYK ARCHITECTS

David Rasch
Historic Preservation Planner
City of Santa Fe
P. O. Box 909
Santa Fe, NM 87501

Re: Paseo Compound

Dear David,

On behalf of the property owners of Tract I, Paseo de Peralta, we are submitting for preliminary approval of an 8 unit residential compound, as well as demolition approval for portions of existing site walls. The project is a total of 11176 s.f. of new construction. It is located adjacent to 515 Paseo de Peralta, a contributing historic apartment building.

Note that stone material will be salvaged from the site wall demolition for reuse on the most publicly visible new site walls.

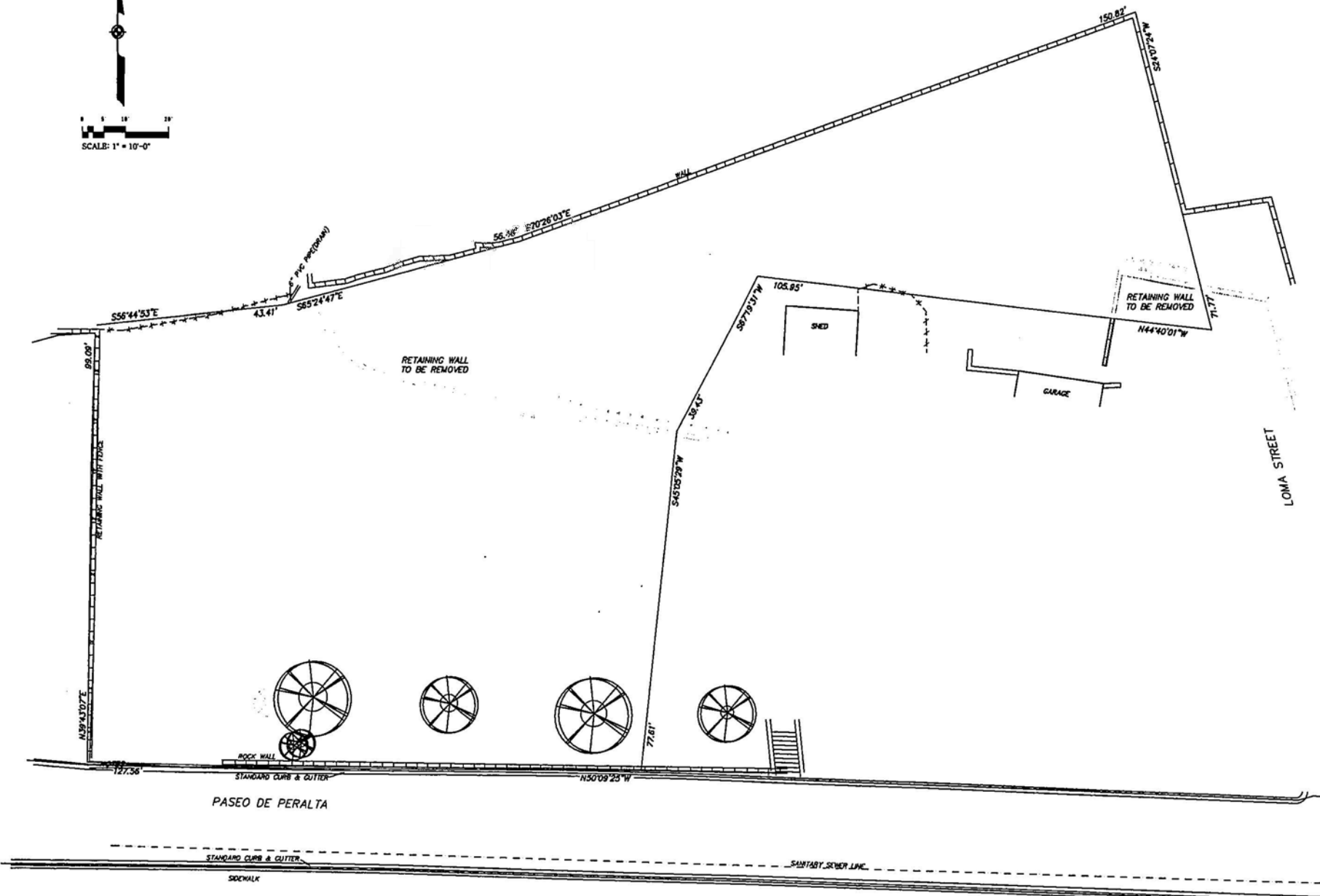
We intend to submit finishes, lighting and details of windows, railings, doors and other exterior features at a later date.

Thank you for your consideration.

Sincerely,



Lorn C. Tryk

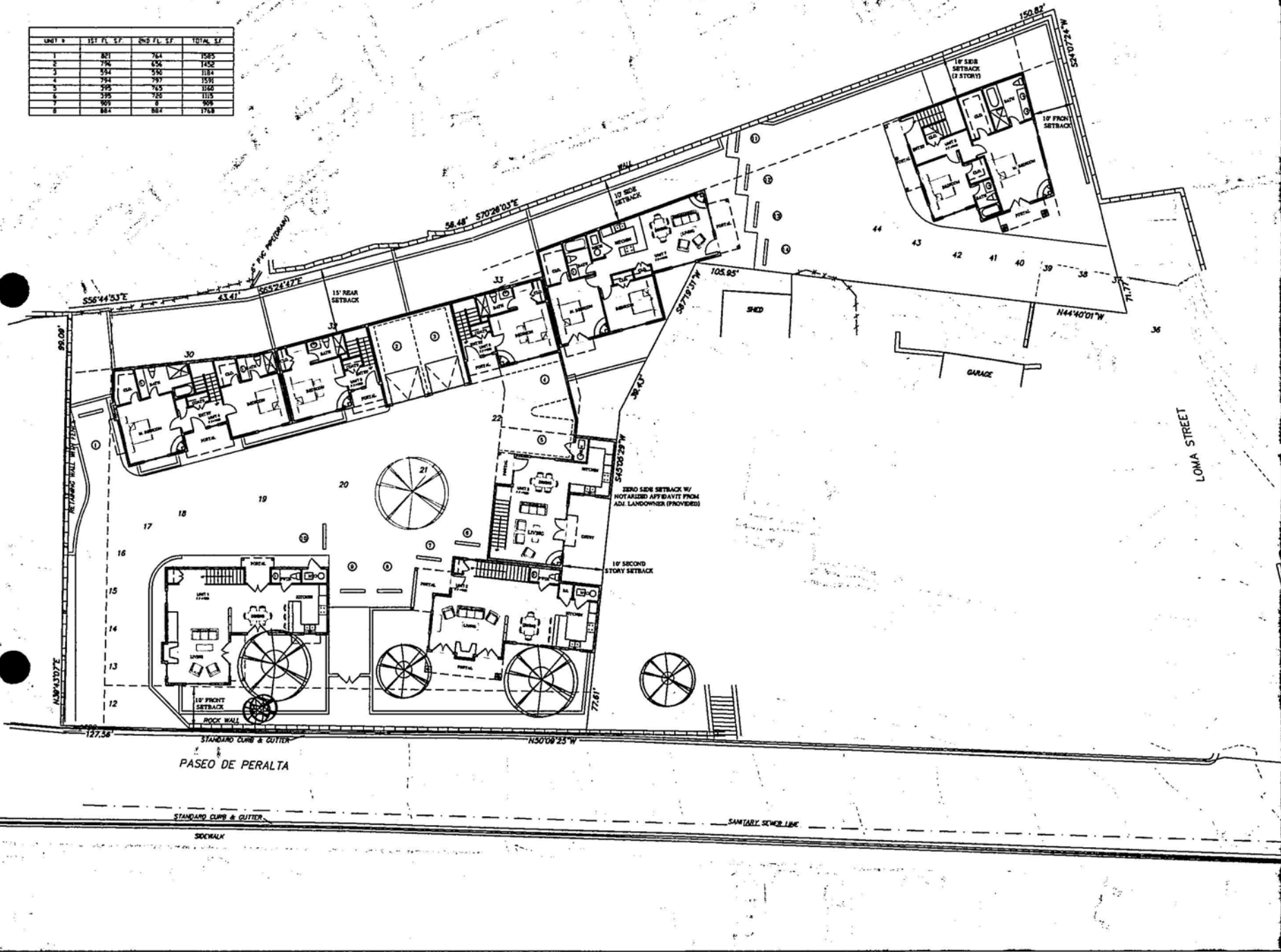


LORN TRYK ARCHITECTS
 200 McKenzie, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: ltrn@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

| | |
|-------------|----------------------|
| Date | Jul 21-04 |
| Project | |
| Drawn by | |
| Checked by | |
| Job Number | 0425 |
| Sheet Title | SITE DEMOLITION PLAN |
| 1" = 10'-0" | |
| Sheet No. | |
| Of | |

| UNIT # | 1ST FL. SF | 2ND FL. SF | TOTAL SF |
|--------|------------|------------|----------|
| 1 | 821 | 764 | 1585 |
| 2 | 796 | 656 | 1452 |
| 3 | 534 | 530 | 1064 |
| 4 | 794 | 797 | 1591 |
| 5 | 395 | 765 | 1160 |
| 6 | 395 | 720 | 1115 |
| 7 | 395 | 6 | 401 |
| 8 | 884 | 884 | 1768 |



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 E-Mail: ltrn@ltryk.com

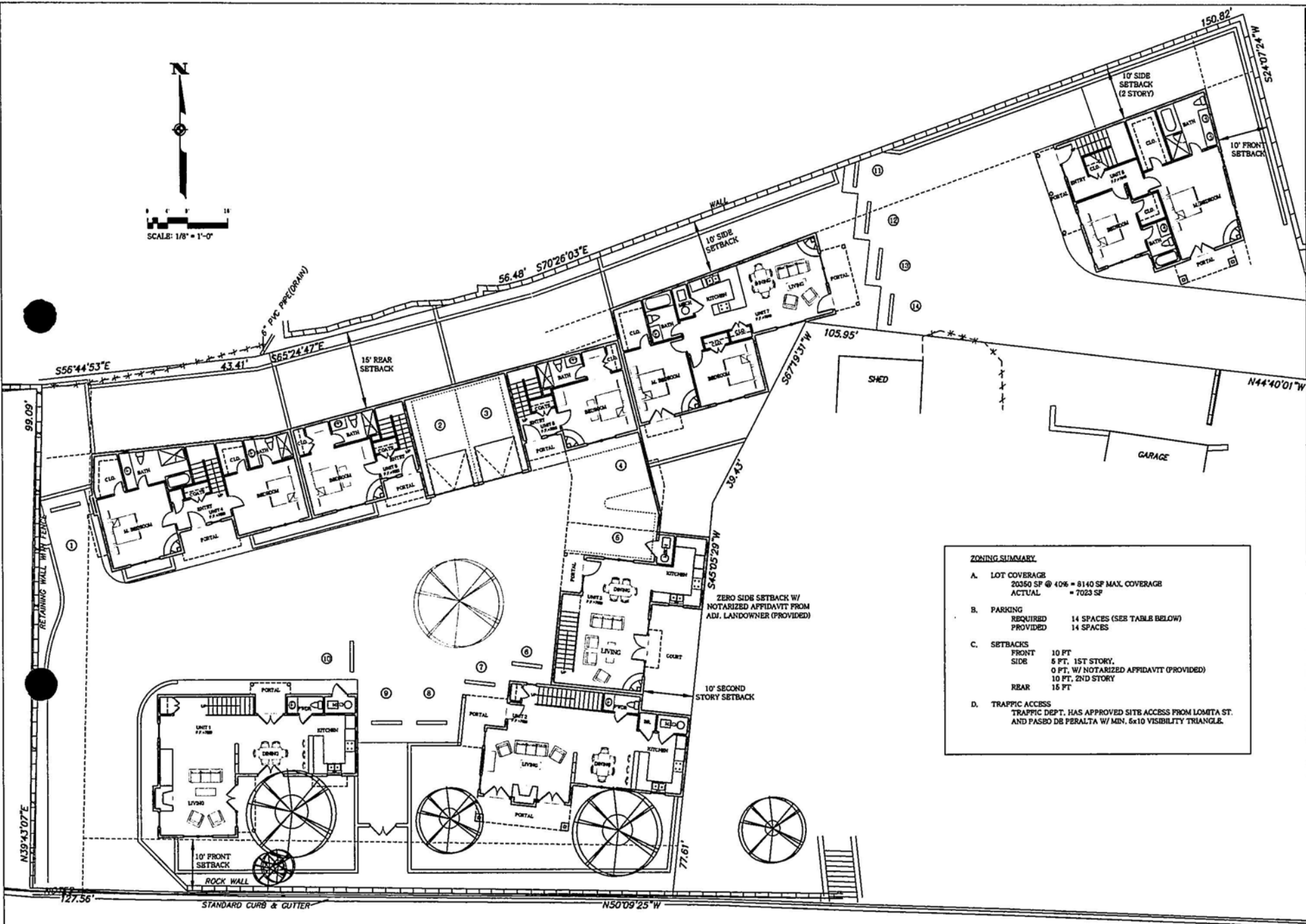
PASEO COMPOUND
Tract 1 Paseo De Peralta

Date: Jul 21, 04
 Drawn by:
 Checked by:
 Job Number: 0426

Sheet Title:
**SITE PLAN/
 1ST FLOOR
 PLAN**

1" = 10'-0"
 Sheet No.:

or



ZONING SUMMARY

| | |
|--------------------------|-------------------------------------------------------------------------------------------------------------------|
| A. LOT COVERAGE | 20350 SF @ 40% = 8140 SF MAX. COVERAGE ACTUAL = 7023 SF |
| B. PARKING | REQUIRED 14 SPACES (SEE TABLE BELOW) PROVIDED 14 SPACES |
| C. SETBACKS | FRONT 10 FT SIDE 8 FT, 1ST STORY, 0 FT, W/ NOTARIZED AFFIDAVIT (PROVIDED) 10 FT, 2ND STORY REAR 15 FT |
| D. TRAFFIC ACCESS | TRAFFIC DEPT. HAS APPROVED SITE ACCESS FROM LOMITA ST. AND PASO DE PERALTA W/ MIN. 6x10 VISIBILITY TRIANGLE. |

PASEO DE PERALTA

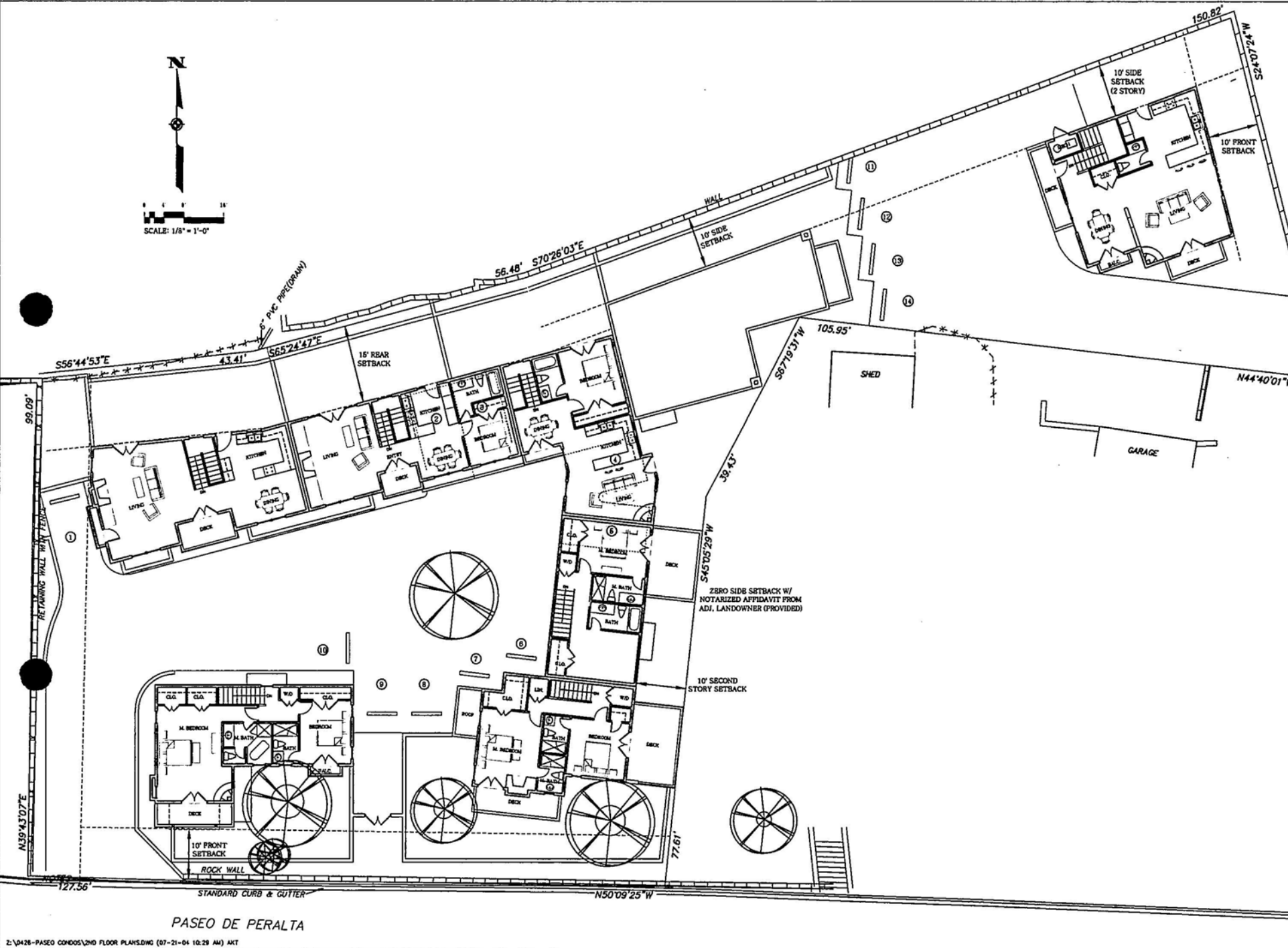
LORN TRYK ARCHITECTS
 206 McKeen's, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date Jul 21, 04
 Drawn by
 Checked by
 Job Number 0426

Sheet Title
**SITE PLAN/
 1ST FLOOR
 PLAN**

1/8" = 1'-0"
 Sheet No.



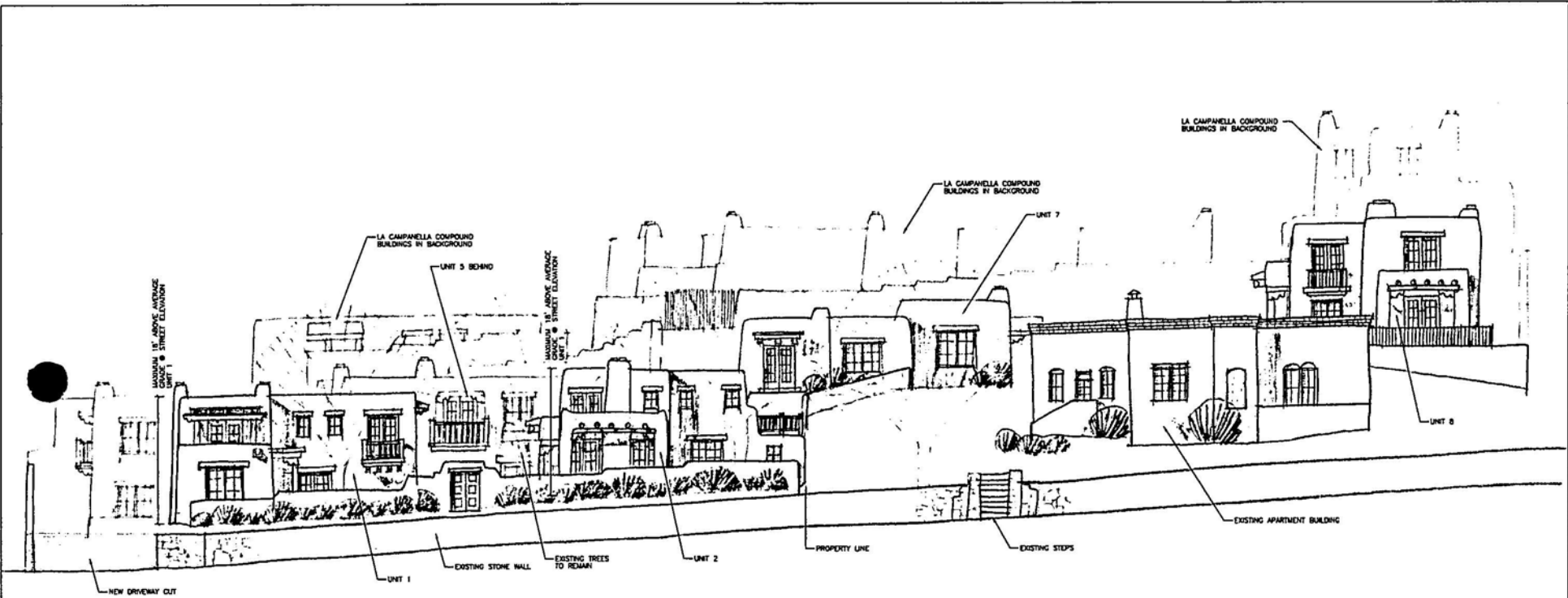
LORN TRYK ARCHITECTS
 206 McKean, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

| | |
|-------------|----------------|
| Date | Jul 21, 04 |
| Project | |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | 2ND FLOOR PLAN |
| Scale | 1/8" = 1'-0" |
| Other | |

PASEO DE PERALTA

Z:\0426-PASEO CONDOS\2ND FLOOR PLANS.DWG (07-21-04 10:29 AM) AKT



STREET ELEVATION
1/8" = 1'-0"



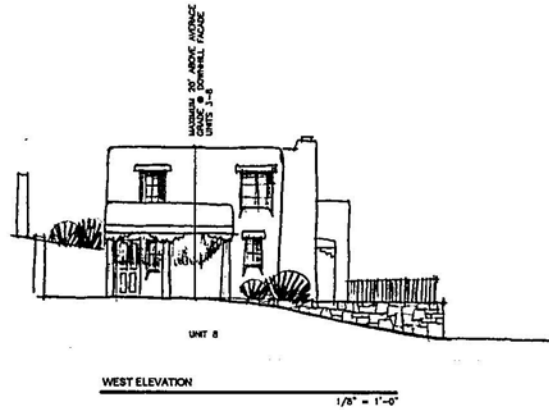
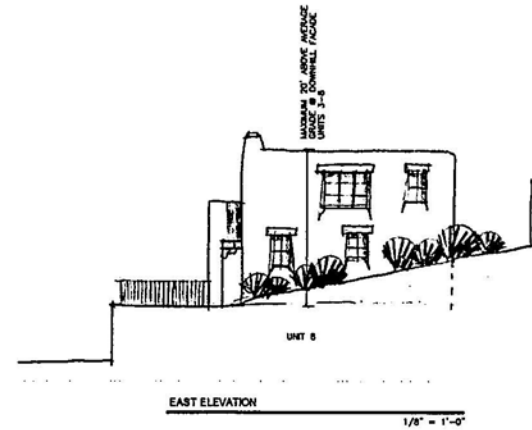
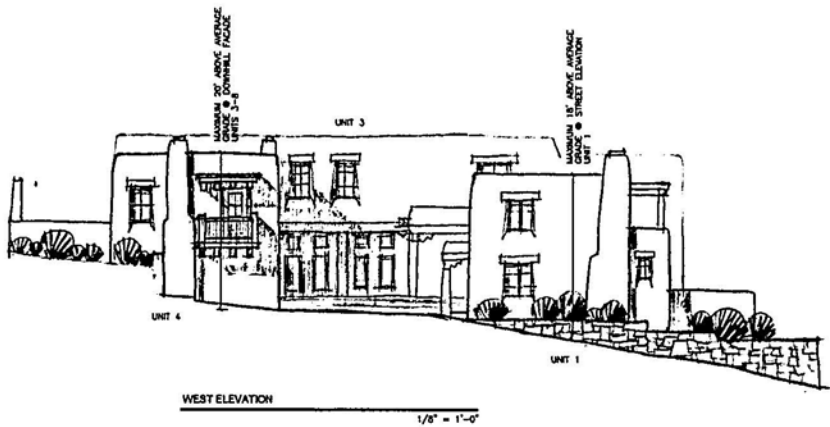
LORN TRYK ARCHITECTS
 206 McConnaughey, Suite P2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorn@lorn-ark.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date: Jul 21, 04
 Period:
 Drawn by:
 Created by:
 Job Number: 0426

Sheet Title: ELEVATIONS

1/8" = 1'-0"
 Sheet No.:

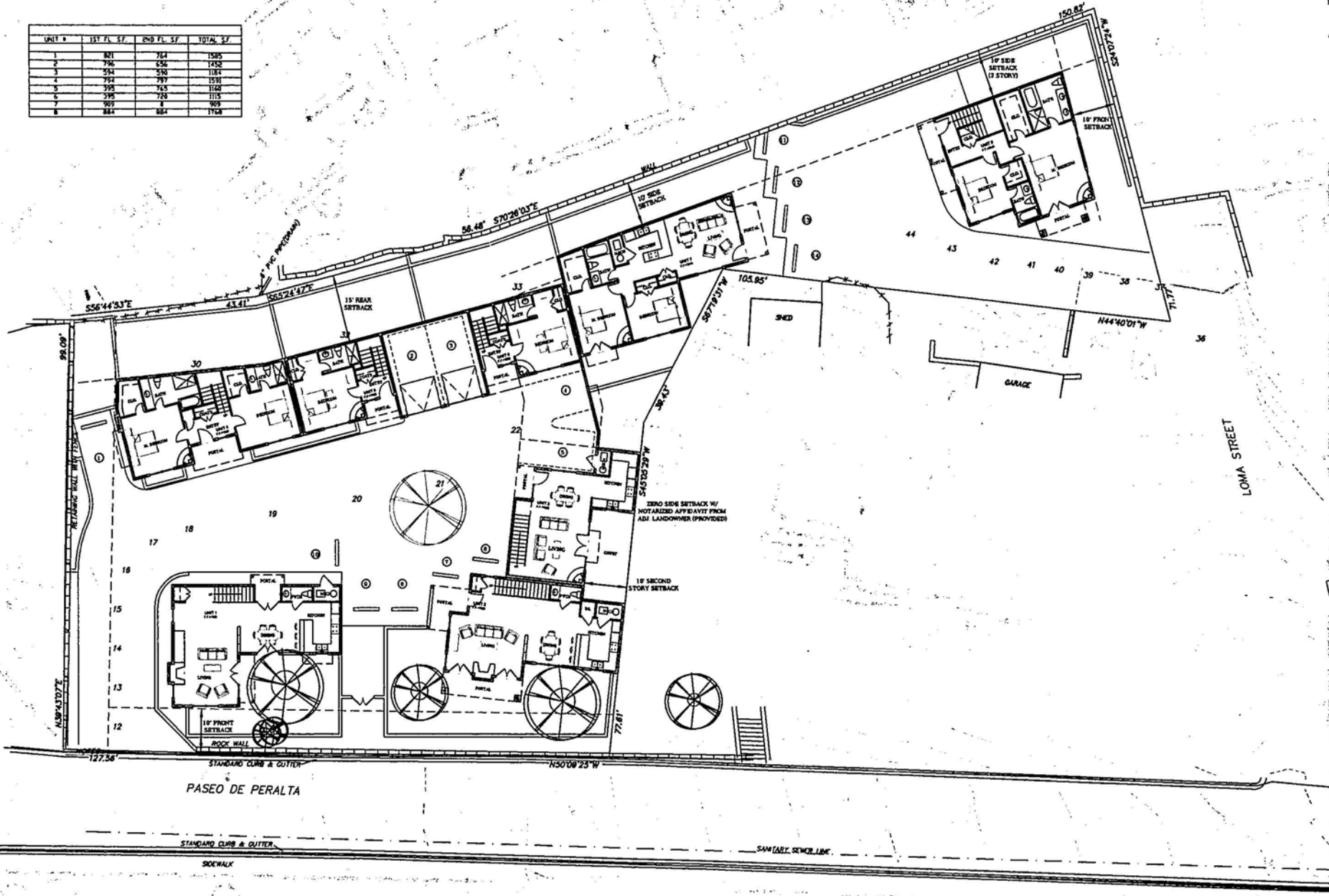


LORN TRYFF ARCHITECTS
 206 McKennie, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

| | |
|-------------|--------------|
| Date | Jul 21, 04 |
| Revised | |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | ELEVATIONS |
| Scale | 1/8" = 1'-0" |
| Sheet No. | |
| Of | |

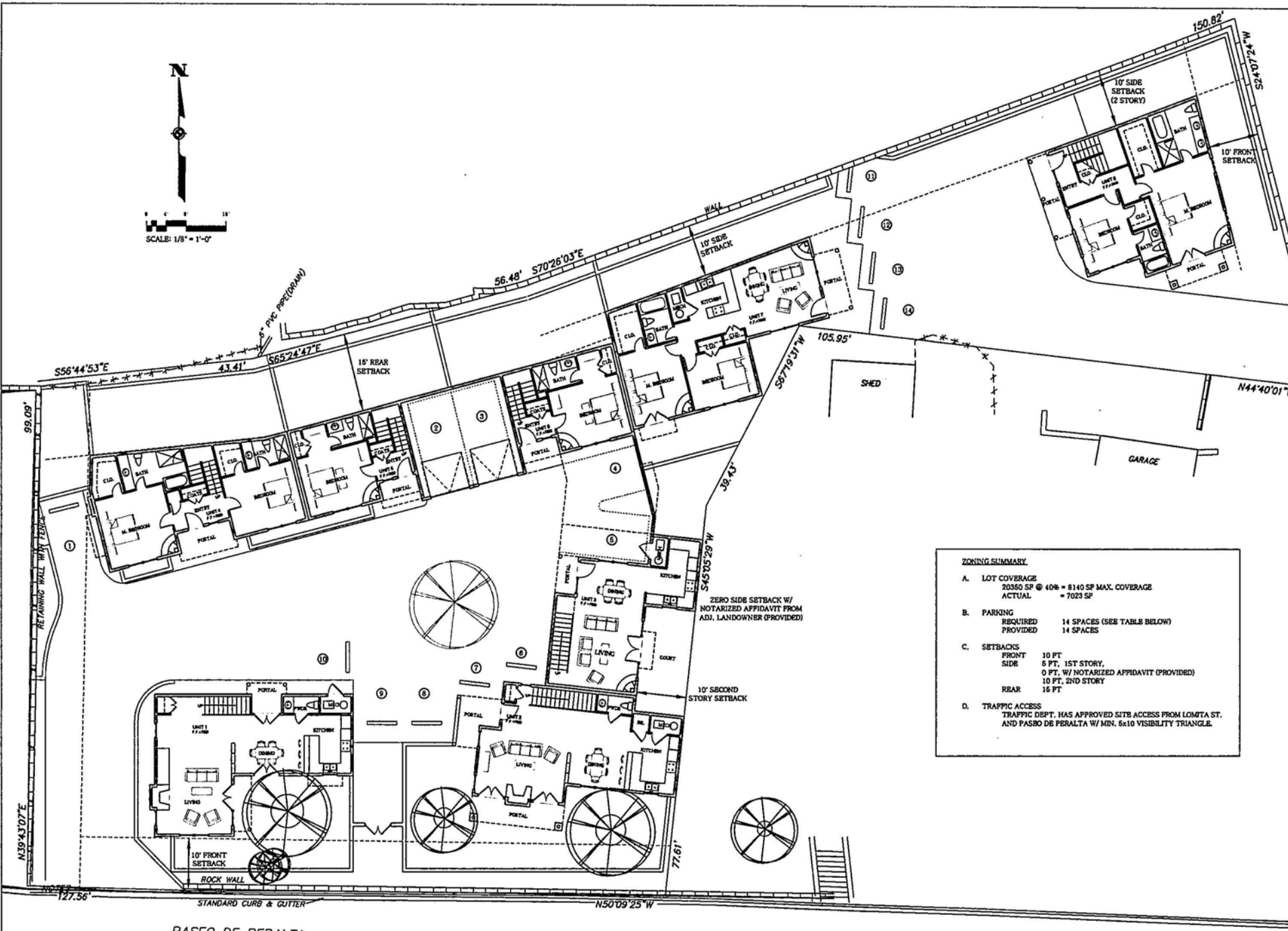
| UNIT # | 1ST FL. SF. | 2ND FL. SF. | TOTAL SF. |
|--------|-------------|-------------|-----------|
| 1 | 821 | 764 | 1585 |
| 2 | 796 | 656 | 1452 |
| 3 | 594 | 530 | 1124 |
| 4 | 754 | 791 | 1545 |
| 5 | 395 | 765 | 1160 |
| 6 | 395 | 726 | 1121 |
| 7 | 905 | 8 | 913 |
| 8 | 884 | 884 | 1768 |



LORN TRYK ARCHITECTS
 2006 McKeen's, Suite P2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mal@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date: Jul 2006
 Period:
 Drawn by:
 Checked by:
 Job Number: 0426
 Sheet Title:
**SITE PLAN/
 1ST FLOOR
 PLAN**
 1" = 10'-0"
 Plot No.
 0



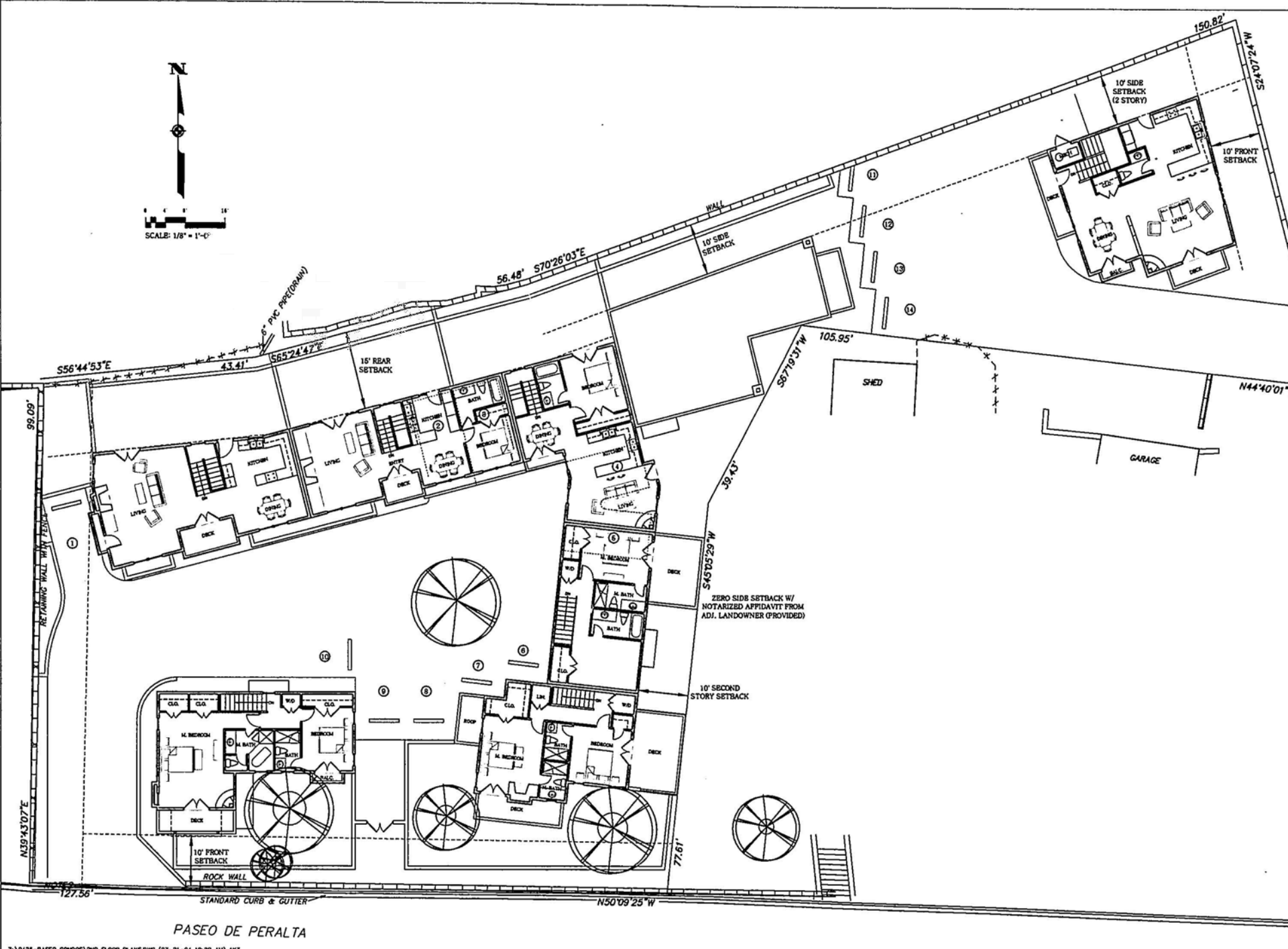
ZONING SUMMARY

| | |
|--------------------------|-------------------------------------------------------------------------------------------------------------------|
| A. LOT COVERAGE | 20360 SF @ 40% = 8146 SF MAX. COVERAGE ACTUAL = 7023 SF |
| B. PARKING | REQUIRED 14 SPACES (SEE TABLE BELOW) PROVIDED 14 SPACES |
| C. SETBACKS | FRONT 10 FT SIDE 5 FT, 1ST STORY; 0 FT, W/ NOTARIZED AFFIDAVIT (PROVIDED) REAR 10 FT, 2ND STORY 15 FT |
| D. TRAFFIC ACCESS | TRAFFIC DEPT. HAS APPROVED SITE ACCESS FROM LOMITA ST. AND PASO DE PERALTA W/ MIN. 5x10 VISIBILITY TRIANGLE. |

LORN TRYK ARCHITECTS
206 McKenzie, Suite F2
Santa Fe, New Mexico 87501
Telephone: 505-982-5340 Fax: 505-982-5393
E-Mail: lorn@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date: Jul
 Prepared:
 Drawn by:
 Checked by:
 Job Number: 0426
 Sheet Title: **SITE PLAN / 1ST FLOOR PLAN**
 1/8" = 1'-0"
 Sheet No.
 or



LORN TRYE ARCHITECTS
 206 McKeen's, Suite P2
 Serra Pt, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorn@ltrye.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

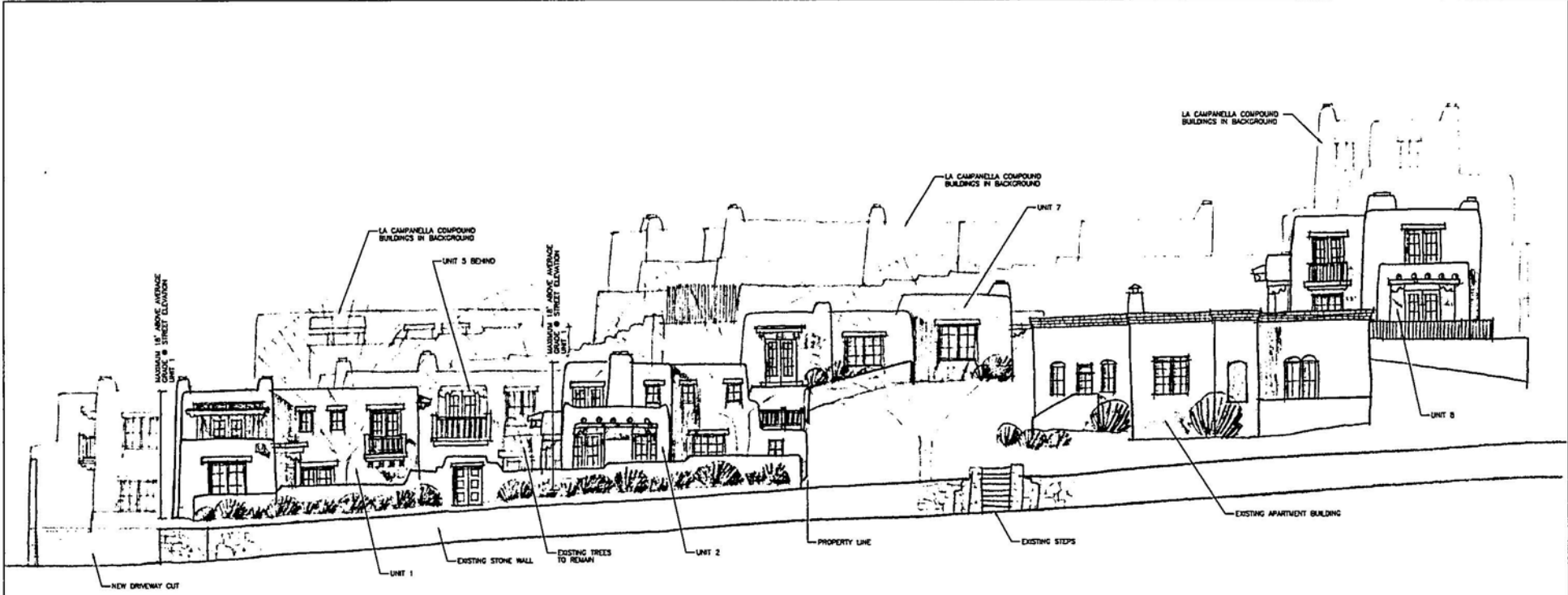
Date: Jul
 Project:
 Drawn by:
 Checked by:
 Job Number: 0426

Sheet Title:
2ND FLOOR PLAN

Scale: 1/8" = 1'-0"

PASEO DE PERALTA

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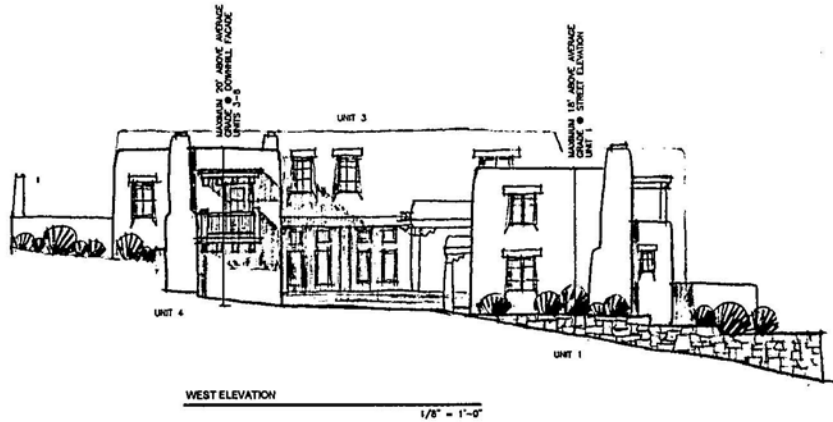
STREET ELEVATION
1/8" = 1'-0"



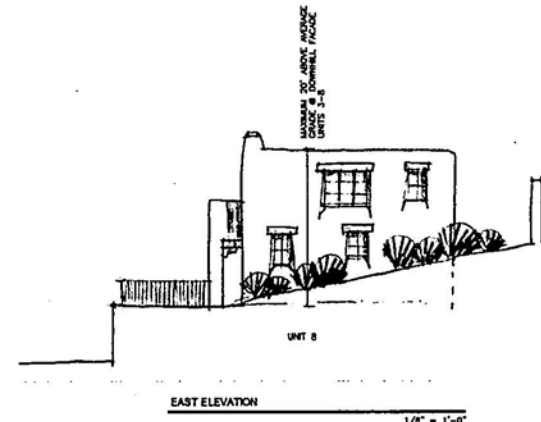
LORN TRYK ARCHITECTS
 206 McKenzie, Suite 818
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5140 Fax: 505-982-5193
 E-Mail: mail@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

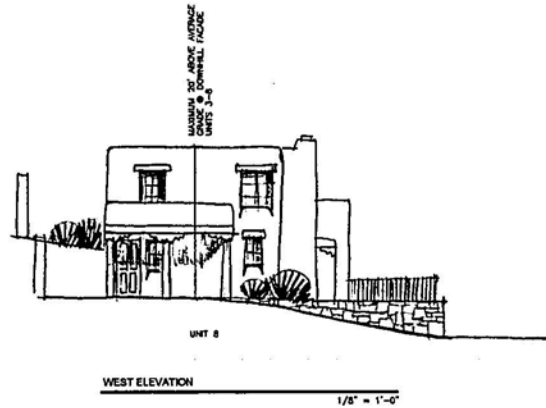
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|-------------|--------------|
| Date | Jul 11 |
| Project | |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | ELEVATIONS |
| Scale | 1/8" = 1'-0" |
| Sheet No. | |



WEST ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

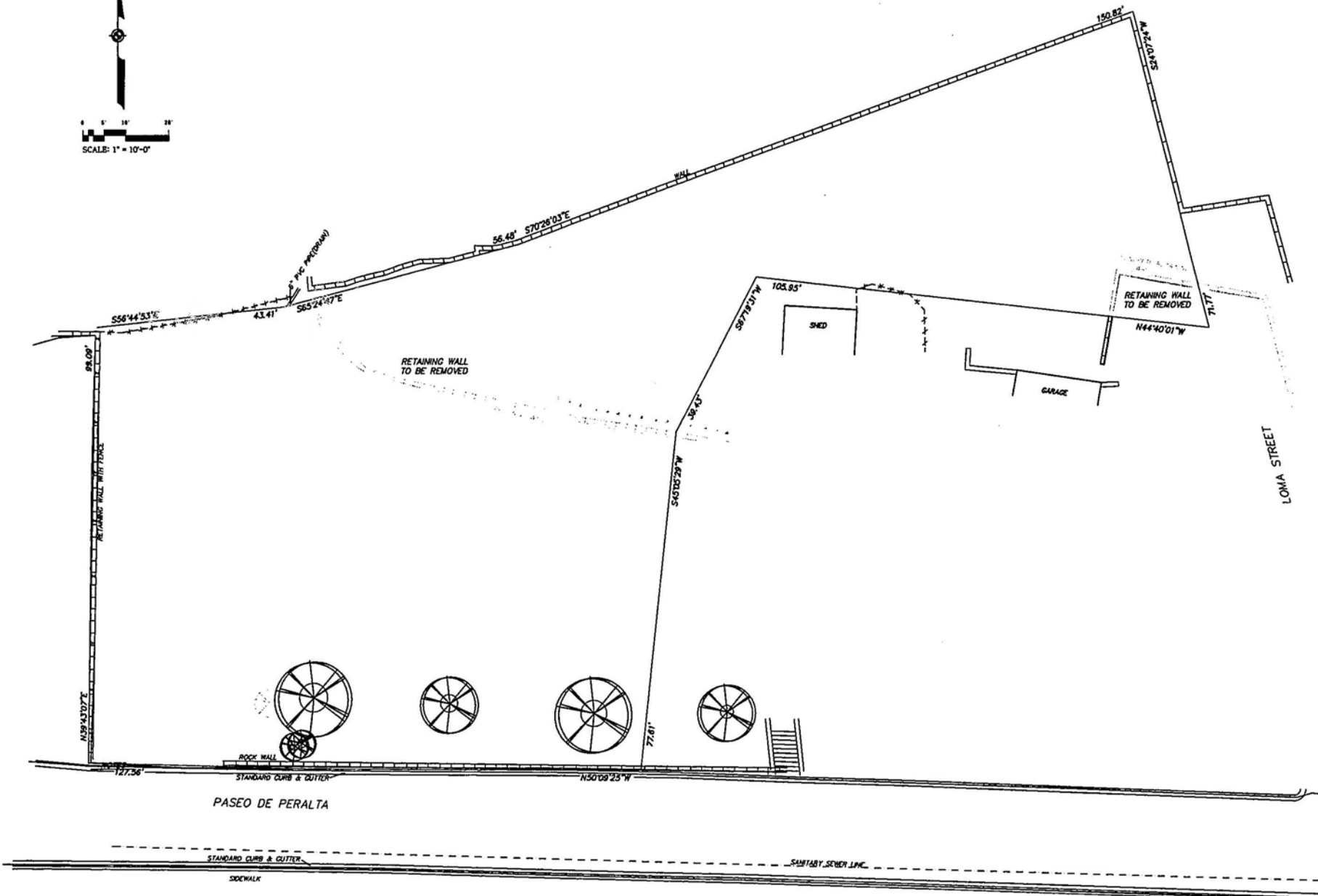


WEST ELEVATION
1/8" = 1'-0"

LORN TRYK ARCHITECTS
 206 McCarroll, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: lorn@lorntryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

| | |
|-------------|--------------|
| Date | Jul 2004 |
| Project | |
| Drawn by | |
| Checked by | |
| Job Number | 0426 |
| Sheet Title | ELEVATIONS |
| Scale | 1/8" = 1'-0" |
| Sheet No. | |
| CR | |



LORN TRYK ARCHITECTS
 206 McConahey, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: ltrn@ltryk.com

PASEO COMPOUND
Tract 1 Paseo De Peralta

Date: Jul
 Project:
 Drawn by:
 Checked by:
 Job Number: 0426

Sheet Title:
SITE DEMOLITION PLAN

1" = 10'-0"
 Sheet No.



HISTORIC DESIGN REVIEW BOARD APPLICATION

PROJECT LOCATION: 511 Paseo de Peralta

HISTORIC DISTRICT: Downtown & Eastside Don Gaspar Westside-Guadalupe
(Please see attached map) Transition Historic Review
Historic Landmark (outside of historic districts)

PROJECT PROPOSAL: removal of rock wall / modification for a stone wall

CONSTRUCTION COST: \$ _____ FEE: \$ _____ + \$20 Poster Cost = \$ _____

OWNER: Real Estate Investment Partners PHONE#: 9839222

OWNER ADDRESS: C/O Ron Blessy - Area Capitol Horta, 444 Galisteo Suite B7C

CITY, STATE, ZIP CODE: Santa Fe, NM 87501

Agent
APPLICANT: Law Offices of Rosanna C. Vazquez PHONE #: 820 6400

ADDRESS: PO Box 2435

CITY, STATE, ZIP CODE: Santa Fe, NM 87504

NEW CONSTRUCTION: Single-Family Residence Commercial Multi-Family Residence

OTHER CONSTRUCTION: Demolition Remodel Addition Residential Signs Wall/Fence
Antenna

PREAPPLICATION MEETING: Date: _____ Case Planner: David Rasch

PRELIMINARY ZONING REVIEW: Date: _____ Planner: _____

(You must schedule a meeting with Zoning Planner @ 955-6585 prior to the HDRB submittal deadline date: Worksheet will not be reviewed on the HDRB submittal deadline day/Preliminary Zoning Review Form must be submitted with proposal)

HEIGHT CALCULATION

Does the project include multi-story new construction, a building addition, and/or a wall or fence which will increase the height?
YES NO

If yes, please provide a written request for an updated maximum allowable height calculation.

What is the proposed height of your project? Wall height modifications 30" from rock wall 52" but varies as it runs

I certify that the documents submitted for the Historic Design Review Board meeting meets the minimum standards set forth in the Historic Districts Ordinance, Section 14-5.2 Santa Fe City Code 1987. Failure to meet these standards may result in rejection of my application. I also certify that I have met with a representative of the city's Zoning staff and verified the attached proposal is in compliance with the city's zoning requirements.

I agree to post notice of the proposed project on the site seven (7) days prior to the Historic Design Review Board meeting.

I am aware that a decision of the HDRB may be appealed by any aggrieved party within seven (7) days of the decision.

Rosanna Vazquez
Signature of Applicant/Owner

5/15/07
Date

CASE # 04-10100114



HISTORIC DESIGN REVIEW BOARD APPLICATION

PREVIOUSLY APPROVED - (RE-SUBMITTED FOR MINOR REVISIONS.)

PROJECT LOCATION: 511 PASEO DE PERALTA S.F.

HISTORIC DISTRICT: Downtown & Eastside Don Gaspar Westside-Guadalupe
(Please see attached map) Transition Historic Review
Historic Landmark (outside of historic districts)

PROJECT PROPOSAL: NEW CONSTRUCTION - (7) CONDOS

CONSTRUCTION COST: \$ _____ FEE: \$ _____ + \$20 Poster Cost = \$ 20.00

OWNER: RON BLESSEY, ERIC FUENTES, MICHAEL ZENG PHONE#: (505) 466-2404

OWNER ADDRESS: #10 CAMINO CABALLOS SPUR, CAMY NM 87540

CITY, STATE, ZIP CODE: CAMY NM 87540

APPLICANT: ROGER HUNTER, BUILDER PHONE #: 986-8060

ADDRESS: 300 PASEO DE PERALTA

CITY, STATE, ZIP CODE: SANTAFE NM 87501

NEW CONSTRUCTION: Single-Family Residence Commercial Multi-Family Residence

OTHER CONSTRUCTION: Demolition Remodel Addition Residential Signs Wall/Fence
Antenna

PREAPPLICATION MEETING: Date: AUG. 10 2005 Case Planner: DAVID PASCH

PRELIMINARY ZONING REVIEW: Date: _____ Planner: _____

(You must schedule a meeting with Zoning Planner Andrew Harnden @ 955-6654 prior to the HDRB submittal deadline date: Worksheet will not be reviewed on the HDRB submittal deadline day/Preliminary Zoning Review Form must be submitted with proposal)

HEIGHT CALCULATION

Does the project include multi-story new construction, a building addition, and/or a wall or fence which will increase the height?
YES NO

If yes, please provide a written request for an updated maximum allowable height calculation.

What is the proposed height of your project? 17'-0" + 2 ADD'L FT.

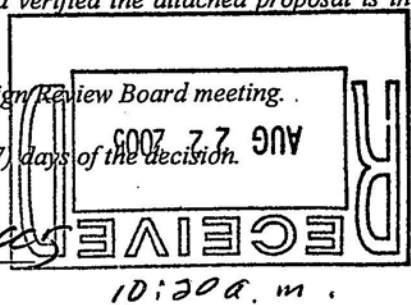
I certify that the documents submitted for the Historic Design Review Board meeting meets the minimum standards set forth in the Historic Districts Ordinance, Section 14-5.2 Santa Fe City Code 1987. Failure to meet these standards may result in rejection of my application. I also certify that I have met with a representative of the city's Zoning staff and verified the attached proposal is in compliance with the city's zoning requirements.

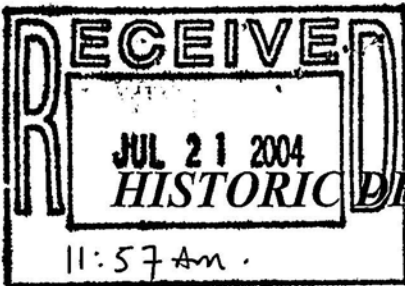
I agree to post notice of the proposed project on the site seven (7) days prior to the Historic Design Review Board meeting.

I am aware that a decision of the HDRB may be appealed by any aggrieved party within seven (7) days of the decision.

[Signature]
Signature of Applicant/Owner

August 22, 2005
Date





HISTORIC DESIGN REVIEW BOARD APPLICATION

PROJECT LOCATION: TRACT I, PASEO DE PERALTA (ADJACENT TO 515) #

HISTORIC DISTRICT: Downtown & Eastside Don Gaspar Westside-Guadalupe
(Please see attached map) Transition Historic Review
Historic Landmark (outside of historic districts)

PROJECT PROPOSAL: 1176 SF NEW CONSTRUCTION, SITE WALL DEMOLITION

CONSTRUCTION COST: \$ 1,500,000 FEE: \$ 1,000 + \$20 Poster Cost = \$ 1020

OWNER: ERIK FUENTES PHONE#: 660 8320

OWNER ADDRESS: #10 CAMINO CABALLOS SPUR

CITY, STATE, ZIP CODE: LAMY, NM 87540

APPLICANT: LORN C. TRYK PHONE #: 982 5340 ext 1#

ADDRESS: 206 MCKENZIE ST, SUITE F-2

CITY, STATE, ZIP CODE: SANTA FE 87501-1888

NEW CONSTRUCTION: Single-Family Residence Commercial Multi-Family Residence

OTHER CONSTRUCTION: Demolition Remodel Addition Residential Signs Wall/Fence
Antenna

PREAPPLICATION MEETING: Date: JUNE 18, 04 Case Planner: DAVID RASCH

PRELIMINARY ZONING REVIEW: Date: 7/20/04 Planner: ANDREW HARNDEN

(You must schedule a meeting with Zoning Planner Andrew Harnden @ 955-6654 prior to the HDRB submittal deadline date: Worksheet will not be reviewed on the HDRB submittal deadline day/Preliminary Zoning Review Form must be submitted with proposal)

HEIGHT CALCULATION
Does the project include multi-story new construction, a building addition, and/or a wall or fence which will increase the height?
YES NO
If yes, please provide a written request for an updated maximum allowable height calculation.

What is the proposed height of your project? 18 FT (FRONT) 20' (BACK)

I certify that the documents submitted for the Historic Design Review Board meeting meets the minimum standards set forth in the Historic Districts Ordinance, Section 14-5.2 Santa Fe City Code 1987. Failure to meet these standards may result in rejection of my application. I also certify that I have met with a representative of the city's Zoning staff and verified the attached proposal is in compliance with the city's zoning requirements.

I agree to post notice of the proposed project on the site seven (7) days prior to the Historic Design Review Board meeting.

I am aware that a decision of the HDRB may be appealed by any aggrieved party within seven (7) days of the decision.

[Signature]
Signature of Applicant/Owner

7/21/04
Date