



City of Santa Fe
 Land Use Department
 200 Lincoln Ave.
 Santa Fe, New Mexico 87504-0909

PROJECT 2026-012105-HDRB, 1103 Canyon Rd. Downtown & Eastside Historic District, contributing,
DESC: Thomas Gifford Architect LLC, agent for GypHills, LLC, owner, requests status review with primary façade designation, if applicable, for a residential structure.

CASE NUMBER: 2026-012105--HDRB

PROJECT TYPE: Historic Status Review

LOCATION: 1103 CANYON RD
 Santa Fe, NM 87505

CONTACTS: Applicant

THOMAS GIFFORD 1709 PASEO DE PERALTA
 ARCHITECT SANTA FE, NM 87501

Property Owner

Ian and Laurie Kovach

PO Box 394
 Pratt, KS 67124

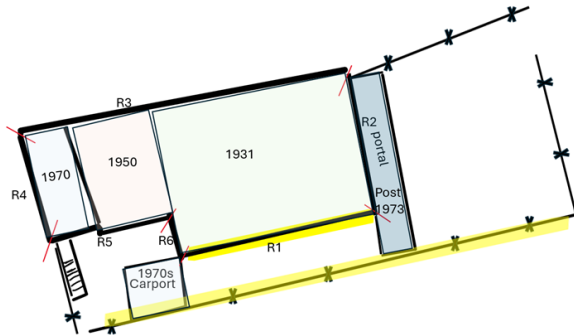
BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Apr 14, 2026. The decision of the Board was to retain the residence as contributing with the South facade, excluding the non-historic windows, glass block, and attached additions as the primary façade (R1), designate the south property yard wall as contributing, and the north, west, and east yard walls as non-contributing.

For further information please call 505-955-6605.

Sincerely,

Lani McCulley





NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: March 16, 2026

For HPD Office use only: HCPI No. _____ District No. _____ NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: Romero Family Property/ James and Marie White Residence	2. Location: 1103 Canyon Road Downtown and Eastside Historic District – Santa Fe	3. Local Reference Number: Santa Fe ID: H-1142 4. County: Santa Fe Parcel # 13010816
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input checked="" type="checkbox"/> Structures: street wall <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: March 10, 2026		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: November 9, 1984, Michael Belshaw <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6802658,-105.921483		
10. Photo Information; Jim Rodman, photographer. Photo 1: View of south (front) elevation. Camera facing northeast.		
11. Brief Description of the Property: <p>Sitting at the base of Camino Cerrito is a two-story residence with its ground floor largely concealed behind a tall privacy wall. Erected in the early 1930s and presumed to be of adobe construction, the building has a rigid rectangular plan with its southwest corner slightly offset to lend interest to the otherwise plain façade. Attached at the west end, at a lower height, is a one-story addition constructed in the 1970s. The residence is characterized by its blocky massing, roof decks, and turquoise-painted trim. It is Contributing to the Downtown and Eastside Historic District.</p> <p><i>Continued on Page 5.</i></p>		
12. Who uses the property? Residence		
13. Construction Date: Date: c.1931 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: city directories		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

<p>16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)</p>  <p>Source: Office of the Santa Fe County Assessor <i>parcel lines are not accurate</i></p>	<p>17. Surveyor: (your name, address, telephone number, and any group affiliation)</p> <p>John W. Murphey Architectural Historian Architectural History Services w/ Jim Rodman</p> <p>For owner, via Thomas Gifford, Architect</p>
<p>18. Owner (if known) and other knowledgeable people:</p> <p>Current owner: Gyphills, LLC</p> <p>N/A</p>	
<p>19. Is Property Endangered? <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes How?</p>	
<p>20. Significance to Current Community: <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Moderate <input type="checkbox"/> High Describe: Unknown</p>	
<p>21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.) See Historical Overview.</p>	
<p>22. National or State Register:</p> <p>Is this property individually listed on a historic register? <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes: <input type="checkbox"/> State <input type="checkbox"/> National</p> <p>If 'no' or unknown, do you think this property is eligible for listing? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Why? See Evaluation of Historical Status</p>	
<p>23. National or State Historic District: City of Santa Fe</p> <p>Is this property in a historic district? <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If yes: <input type="checkbox"/> Significant <input checked="" type="checkbox"/> Contributing; house <input type="checkbox"/> Non-contributing <input checked="" type="checkbox"/> No Status: walls Per City of Santa Fe official designation map</p> <p>If 'yes', what is the name of the district? <input type="checkbox"/> State <input type="checkbox"/> National <input checked="" type="checkbox"/> City of Santa Fe: Downtown and Eastside Historic District</p>	
<p>24. Supplemental Forms:</p> <p><input type="checkbox"/> None <input checked="" type="checkbox"/> HCPI Detail Form (FORM 2) <input type="checkbox"/> Continuation Sheets, # pages: _____</p>	

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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6. Visible Construction Material: <input checked="" type="checkbox"/> _x_ Adobe <input checked="" type="checkbox"/> _x_ Brick <input type="checkbox"/> _ Composition <input type="checkbox"/> _ Concrete: Block <input type="checkbox"/> _ Concrete: Cast Stone <input type="checkbox"/> _ Concrete: Poured <input type="checkbox"/> _ Earth Plaster <input type="checkbox"/> _ Masonry: Simulated <input type="checkbox"/> _ Metal: Corrugated <input type="checkbox"/> _ Metal: Structural Siding <input type="checkbox"/> _ Metal: V-Crimp <input type="checkbox"/> _ Stone: Random Ashlar Stone: <input type="checkbox"/> _ Random Coursed <input type="checkbox"/> _ Stone: River Rock <input checked="" type="checkbox"/> _x_ Stone: Rusticated <input type="checkbox"/> _ Stone: Tabular <input checked="" type="checkbox"/> _x_ Stucco: <input type="checkbox"/> _ Tile: Clay <input type="checkbox"/> _ Vinyl Siding <input type="checkbox"/> _ Wood: Board and Batten Wood: <input type="checkbox"/> _ Horizontal Siding <input type="checkbox"/> _ Wood: Jacal <input checked="" type="checkbox"/> _x_ Wood: Log <input type="checkbox"/> _ Wood: Shingle <input type="checkbox"/> _ Wood: Tongue and Groove <input checked="" type="checkbox"/> _x_ Other: Cut block stone		7. Number of Stories: <u> </u> N/A Number: <u> </u> 1 <u> </u> 1 1/2 <u> </u> x_ 2 <u> </u> 2 1/2 Other: _____ 8. Foundation: <u> </u> N/A <input type="checkbox"/> _ Not visible <input type="checkbox"/> _ None <input type="checkbox"/> _ At Grade <input checked="" type="checkbox"/> _x_ Raised: Materials: <input checked="" type="checkbox"/> _x_ Concrete: <input checked="" type="checkbox"/> _x_ Stone Other: Notes 9. Roof: <u> </u> N/A Shape: <input checked="" type="checkbox"/> _x_ Flat <input type="checkbox"/> _ Gabled <input type="checkbox"/> _ Hipped <input type="checkbox"/> _ Pyramidal <input type="checkbox"/> _ Shed Other: Pitch: <input type="checkbox"/> _ None <input type="checkbox"/> _ Low <input type="checkbox"/> _ Medium <input type="checkbox"/> _ Steep Features: <input type="checkbox"/> _ Eave: <input checked="" type="checkbox"/> _x_ Parapets Materials: <u> </u> <input checked="" type="checkbox"/> _x_ Asphalt <input type="checkbox"/> _ Earth <input type="checkbox"/> _ Composition shingle <input type="checkbox"/> _ Metal: Pressed <input type="checkbox"/> _ Composition Roll <input type="checkbox"/> _ Metal: Corrugated <input type="checkbox"/> _ Metal: Standing Seam <input type="checkbox"/> _ Metal: Standing Seam <input type="checkbox"/> _ Tile: Terra Cotta <input type="checkbox"/> _ Wood: Shingle Other:																																																																					
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12. Chimneys <input checked="" type="checkbox"/> _x_ 3, stuccoed, at corner or exterior		13. Porches <u> </u> N/A Type: <input type="checkbox"/> _ Entry <input type="checkbox"/> _ Partial-Width <input checked="" type="checkbox"/> _x_ Full-Width <input type="checkbox"/> _ Wrap																																																																					
14. Other Significant Features N/A																																																																							

15. Modifications: ___ No known modifications

#1 Date: late 1960s, early 1970s: one-story addition to west elevation; aerial photographs.

#2 Date: late 1960s, early 1970s: erection of covered parking area with related street wall extension; aerial photographs.

#3 Date: c.1970s: installation roof decks and related railing; aerial photographs and 1984 HBI.

#4 Date: c.1993-94; replacement of windows, addition of glass blocks, as part of remodeling project: HDRB case descriptions and visual and material evidence.

16. Primary Architectural Style ___ Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: ___ Other:

17. Documents Available and Their Locations

Historic Preservation Division
Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504
(505) 955-6605
<https://www.santafenm.gov/land-use/historic-preservation>

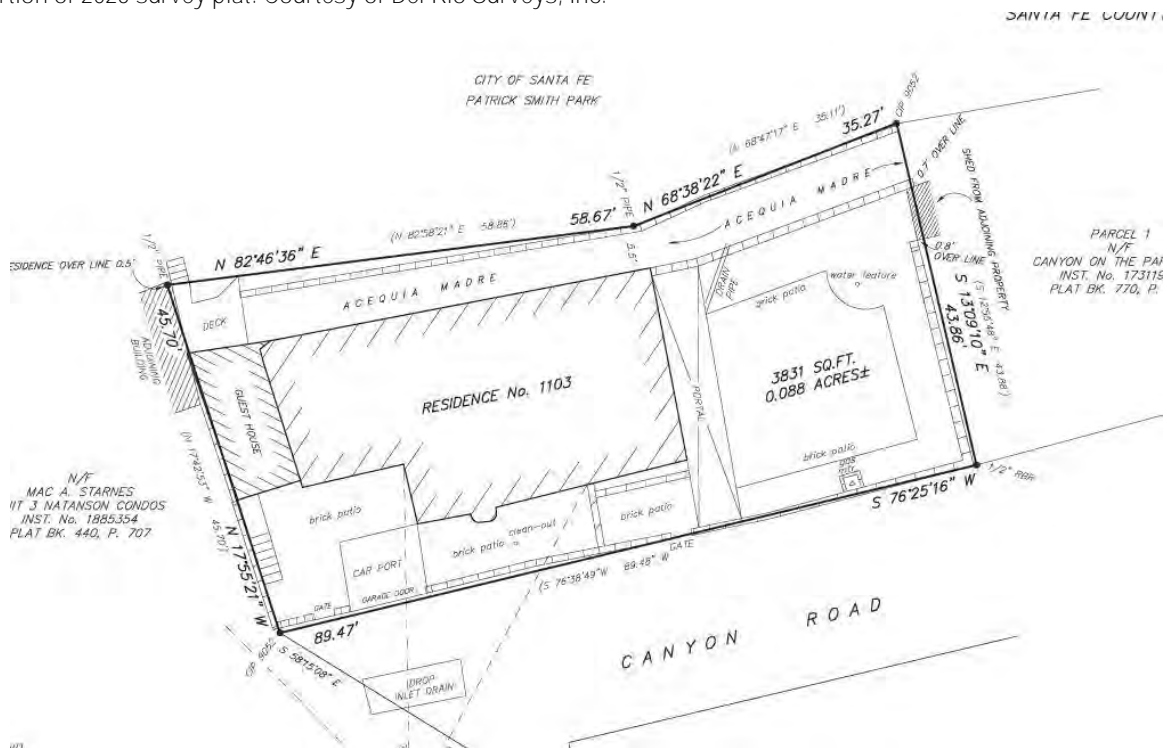
Archaeological Records Management Section
Laboratory of Anthropology
708 Camino Lejo
Santa Fe, NM 87501
(505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: Portion of 2025 survey plat. Courtesy of Del Rio Surveys, Inc.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Romero Family Property/ James and Marie White Residence	2. Location: 1103 Canyon Road Downtown and Eastside Historic District – Santa Fe	3. Local Reference Number: Santa Fe ID: H-1142			
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		5. Date of Survey: March 10, 2026			

Architectural Description Continued

Setting

The house sits on the north side of Canyon Road within a line of two-story Pueblo Revival homes that back onto the Acequia Madre and, beyond it, Patrick Smith Park (Photo 2). Like neighboring properties, the subject is enclosed along Canyon Road by a tall privacy wall (Photos 3 & 4). In contrast, the building is openly visible from the north along its park-facing elevation.

The house sits uncomfortably close to the street wall, creating a narrow passage along the front elevation (Photo 5). This cramped condition is relieved at the east end of the property, where a generous brick-paved courtyard opens the site. What appears from the street to be a garage is in fact a lightly roofed parking area (Photos 3 & 5). The section of wall extending westward from the garage door to the pedestrian gate is not historic.

South (Front) Elevation

The house presents a two-story, flat-roofed mass typical of Pueblo Revival construction. The exterior walls are finished in earth-toned stucco with slightly rounded parapets and irregular contours that soften the roofline. The building appears to be constructed of adobe or adobe-like construction, although the material cannot be confirmed from the exterior. An unusual feature is a rounded, stuccoed stove flue that scales the exterior of the façade.

Fenestration across the second story consists of horizontally aligned openings containing mostly older wood casement windows covered with weathered screens (Photo 6). The paired six-light sash are set several inches back from the wall within openings with soft stuccoed reveals. They have simple wood casings and lack projecting sills or exposed heads. Real estate images indicate that the windows have pedimented head casings on the interior. The window in the offset portion of the façade has been replaced with a modern unit of similar size (Photo 7).

The ground level contains fewer openings but includes one bank of six-light casements that appear to be replacement units (Photo 8). The opening is crowned with an exposed wood head simulating a lintel. West of this grouping is a single window composed of a

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fixed lower pane surmounted by a six-light ventilating sash (Photo 9). The upper sash is hinged at the head and tilts outward and downward in an unusual hopper-like configuration. It has an idiosyncratic appearance and appears to be a field-built unit, likely fabricated by a carpenter rather than a commercial manufacturer. Similar windows occur on the north elevation. The opening is capped with an exposed wood head.

The south elevation ends with a one-story 1970s addition altering the older portion of the building (Photo 10). Of a different construction idiom, it features a field of glass block and is entered through an applied wood plank door with a diamond-shaped light.

West Elevation

An open steel staircase at the west end of the front of the building leads to a roof deck over the addition (Fig. 7). Opening onto the deck from the second story of the older portion of the building is a raised-panel door with a vision light spanned by a wood grille (Photo 11). Above the door at the roofline is a double-flue stuccoed chimney.

East Elevation

Facing the courtyard, the east elevation is the most gracious façade of the house (Photo 12). The ground story is sheltered by a shallow portal that extends southward to meet the Canyon Road privacy wall. Its roof appears to retain older construction, with small-diameter vigas supporting random-width decking (Photo 13). The elaborate 24-light entry door with right sidelight is not original (Photo 14).

Above, the portal roof forms a deck reached from the second story by a half-light diagonal-plank door fitted with a wood grille. To the left of the door is a set of six-light wood casement windows that appear to be of similar age to those on the south elevation. A stucco chimney rises at the southeast corner.

North Elevation

Set on a slight rise overlooking Patrick Smith Park, the north elevation has a severe, almost institutional character (Photo 15). The west end is occupied by the 1970s addition, which is entered through a pieced wood plank door with an adjacent double-hung sash window (Photo 16). The older portion of the house rests on a raised

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foundation combining cobble, stone blocks, concrete, and brick, suggesting mixed construction phases or later repairs (Photo 2).

Above, the largely unarticulated stucco façade contains a series of window openings aligned roughly along a horizontal band. These hold replacement units, many with outward-opening ventilating sashes similar to those on the front façade (Photo 17). Uneven stucco and areas of patching suggest that some original openings have been altered—either reduced in size or filled (Photo 18). Spanning the middle of the building is a deteriorated wood overhang.

The ends of the building are marked by larger openings containing five-light outward-opening upper sashes (Photo 19). These windows, along with other details, suggest field-built construction.

Historical Overview

Small Fields

At first impression, 1103 Canyon Road—a two-story adobe house concealed behind a foreboding privacy wall—appears to be part of the cordillera of adobe dwellings strung along the Acequia Madre, many of which date to the nineteenth century. That impression is checked, however, when consulting the 1914 hydrographic survey map, which shows the subject parcel under agricultural cultivation.

What is presumed to correspond to the present property appears on the map as part of an agricultural tract lying between land owned by Pedro Tellez [sic.] and Juan Gonzales. Telles, whose name later appeared in a quiet title action associated with the property, was a shepherd who lived with his wife, Carmen, elsewhere along Canyon Road. After his death in 1928—reportedly from an infection caused by a splinter—the land passed into the possession of the Romero family, which appears to have held it into the 1950s.

A Rental

The present house, or an earlier iteration of it, was likely constructed in 1931. This corresponds with the first appearance of the address, 1103 Canyon Road, in the city directory. That entry, along with subsequent listings in the early 1930s, suggests the property was either vacant or briefly leased, as occupants appear for short intervals and are replaced the following year. The first known tenant was Harvey Breit, a young New

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York poet and author and a writer for *Time* magazine, who rented the house in 1936 while working for the Federal Writers’ Program (Fig.).¹ Following Breit were Joseph P. Conway, a surveying assistant, and his wife, Zeitna.

An advertisement placed in 1939 for a furnished apartment provides a clue to the building’s configuration at the time. The listing described a “modern” one-bedroom unit with a kitchenette, bath, and corner fireplace.² This suggests either a smaller original dwelling or the early presence of a separate apartment unit, a configuration the house is known to have possessed in later years.

The property continued to be rented through the 1940s and early 1950s, with a relatively high rate of turnover. Known tenants between 1953 and 1954 include a husband and wife. The latter was a reverend who operated the Dorcas Gift Shop from the house, selling women’s clothing, accessories, and jewelry.

The first transfer out of the Romero family occurred in 1956, when a deed from the estate of Maclovia Romero conveyed the property to David L. Weber and his wife, Mary Julia Weber.³ David Weber was listed in the Santa Fe city directory as a journalist, and he and his wife occupied the dwelling for approximately four years. They appear to have lived in the principal, or “A,” unit of the building, while the “B” unit was maintained as a rental. In 1958 the Webers sold the property to James and Marie White, who owned the house through the 1970s and became its longest-term and most closely associated occupants.⁴

¹ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1936* (El Paso: Hudspeth Directory Company, 1936), 229.

² “For Rent, Furnished Apartments, Houses,” *Santa Fe New Mexican*, October 7, 1939, 8.

³ Warranty Deed, Marian de Romero to David E. and Mary Jullia Weber, recorded June 14, 1956, Book 119, Page 37A, Instrument # 215612, Santa Fe County, New Mexico.

⁴ Warranty Deed, Mary Jullia and David E. Weber to James and Marie E. White, recorded August 4, 1958, recorded June 14, 1956, Book 146, Page 381, Instrument # 229420, Santa Fe County, New Mexico.

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James and Marie White – Young Democrats

Born in Santa Fe in 1929—two months before the stock market crash that ushered in the Great Depression—James Arthur White, Jr., grew up in the city’s South Capitol neighborhood, attending local schools and graduating from Santa Fe High School in 1947.

During the Korean Conflict he enlisted in the Army Air Corps and, as an Airman First Class, was assigned to March Air Force Base in California.⁵ Like his father, James Arthur White, Sr., he pursued a career in engineering, graduating from the University of New Mexico’s School of Engineering in 1956. After returning to Santa Fe he met Marie Antoinette Vasaturo, a native of Massachusetts who had come west to teach at Cristo Rey School. The couple were married in Medfield, Massachusetts, where her brother, Reverend Vasaturo, conducted the ceremony.⁶

The Webers conveyed the Canyon Road property to James and Marie White on March 6, 1958, and the following day the Whites filed a quiet title action.⁷ The suit named more than sixty individuals who might have held a claim to the land, including Pedro Telles, who appears as the landowner on the 1914 hydrographic map. The Whites moved onto the property that same year, welcoming their first child, Ann Elizabeth, followed the next year by Mary Martha.

From newspaper accounts, the house served as a setting for entertaining by James and Marie White. Supporters of the Democratic Party and members of the Santa Fe Democratic Club, they hosted frequent teas and meet-and-greet events for candidates seeking office. Their social gatherings were not limited to politics, however. In September 1960 they hosted a post-Zozobra party described by the *Santa Fe New Mexican* as a gathering in which a “freshly-liberated Fiesta spirit manifested ... with much gaiety, with Spanish music both live and recorded, [and] farolitos decorat[ing] the patio.”⁸

⁵“James White” [obituary], *Santa Fe New Mexican*, September 5, 2018, A-9.

⁶ “Vasaturo-White Wedding Vows Solemnized In Medfield,” *Santa Fe New Mexican*, September 8, 1957, 17.

⁷ David E. Weber and Mary Julia Weber v. Unknown Heirs of Fermin Rodriguez, et al., Santa Fe County District Court, Case No. 29485.

⁸ “Paso Por Aquí,” *Santa Fe New Mexican*, September 6, 1960, 7.

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The Whites lived in the two-story house overlooking Canyon Road through the early 1970s. While the subsequent deed chain is unclear, the property later came under the ownership of LaMere Boyd, who placed it on the market in 1980 as a “remodeled beauty,” complete with a tiled courtyard and fountain.⁹ It was advertised for sale again later in the decade and appears to have been used as a rental property. The house changed hands several times during the 1980s.

Changes of Use and Alterations

In 1992 the property was acquired by artist Dirk W. Wales. The following year, Wales appeared before the Historic Districts Review Board with a proposal to construct an addition along the west elevation (H-93-172). In 1994 he returned with a request to install a new window on the north elevation (H-94-20), which, based on the case titling, may have accompanied additional changes to windows on that side of the house. These proposals appear to have been approved, as Wales subsequently obtained a permit for a \$30,000 remodeling project.¹⁰

Although the full scope of the work is not documented, it likely included interior renovation—reflected in finishes dating from this period—reworking of the 1970s addition, and installation of replacement windows along the north façade and elsewhere on the house. Following the renovation, the property was used in part for commercial purposes, including operation as an art gallery.

In 2024 the property became the subject of a foreclosure action filed in the First Judicial District Court of Santa Fe County by U.S. Bank National Association, acting as trustee.¹¹ The complaint named numerous individuals and heirs associated with earlier ownership of the parcel. Following the court proceedings, the property was sold and later acquired by the present owner.

⁹ “Open Saturday” [advertisement], *Santa Fe New Mexican*, June 7, 1980, C-3.

¹⁰ “City Building Permits – Sept. 15-22,” *Santa Fe New Mexican*, September 26, 1993, G-12.

¹¹ *Wilmington Savings Fund Society, FSB, not in its individual capacity but solely as trustee of HECMREIS Trust 2023-1 v. The Unknown Heirs, Devisees, or Legatees of Dirk W. Wales, Deceased, et al.*, Santa Fe County First Judicial District Court, Case No. 92477.

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Integrity and Evaluation of Historical Status

Based on aerial photographs, the core footprint of the building dates to at least 1948. While this core has received additions and once included roof decks (some now removed), its overall ground plan has remained consistent. Minor impacts on historic integrity include the 1970s addition, which affected the west elevation, and the likely removal or alteration of windows along the north elevation. The introduction of ventilating-type sash has somewhat altered the building’s presentation of its historic period and associations.

It is recommended that the building retain its Contributing status, with the longer section of the south (front) elevation identified as the primary façade. This elevation best conveys the building’s public presentation and historic character. This recommendation also acknowledges the presence of non-historic intrusions, including replacement windows, sections of glass block, and attached secondary structures, which would be excluded.

Sections of the street wall appear in historic aerial photographs, and the western portion—including the garage door and second pedestrian gate—are now over 50 years of age. It is therefore recommended that the street wall be considered a Contributing resource to the Downtown and Eastside Historic District.

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Illustrations

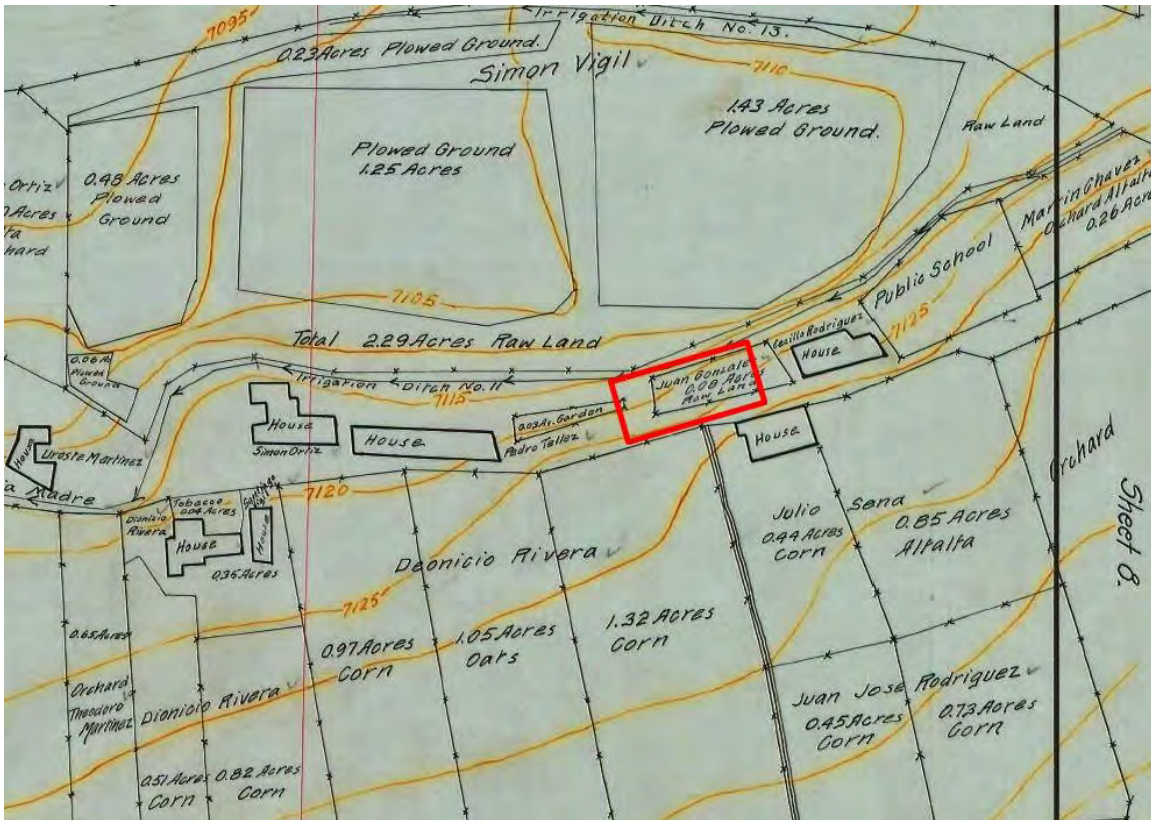


Figure 1: Approximate location of current parcel.
State Engineer's Office, "Santa Fe Hydrological Survey," [series of maps] (Santa Fe: State Engineer's Office, 1914 (published 1919).

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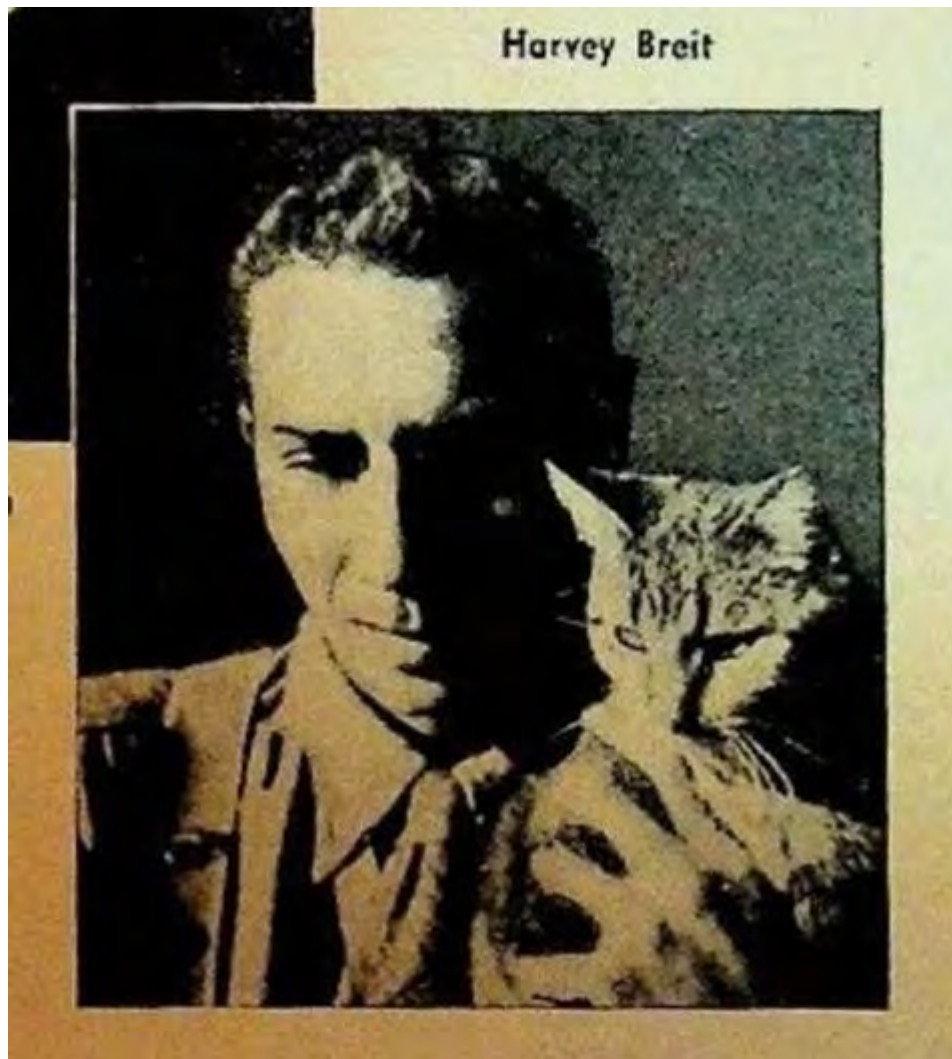


Figure 2: Harvey Breit photographed in Santa Fe with cat, 1937. Source: *Household Magazine*, August 1937.

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Figure 3: October 25, 1948, aerial photograph.

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Figure 3: November 10, 1958, aerial photograph.

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Figure 4: May 2, 1966, aerial photograph. Note open area along west side of house and no presence of parking and associated wall.

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Figure 5: May 11, 1973, aerial photograph.
1. one-story addition; 2. covered parking area and roof deck; and 3. unknown, now removed.

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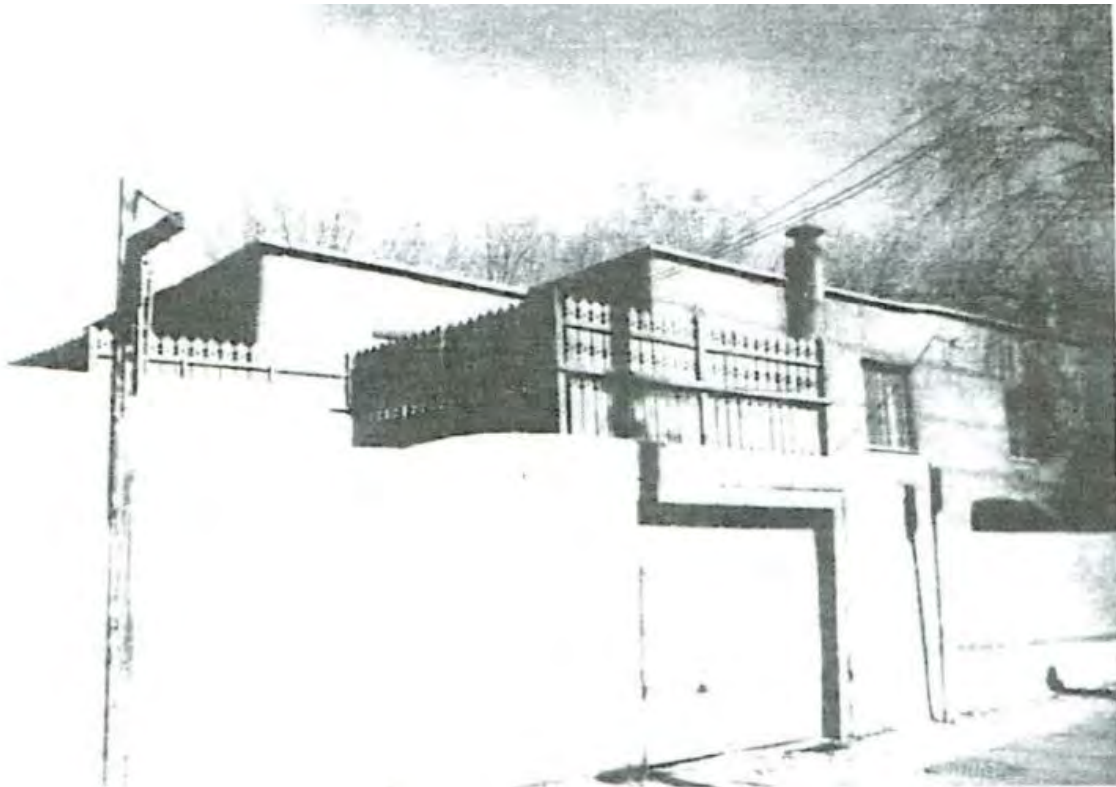


Figure 6: 1984 HBI survey photograph. Michael Belshaw. Note deck above parking area, now removed.

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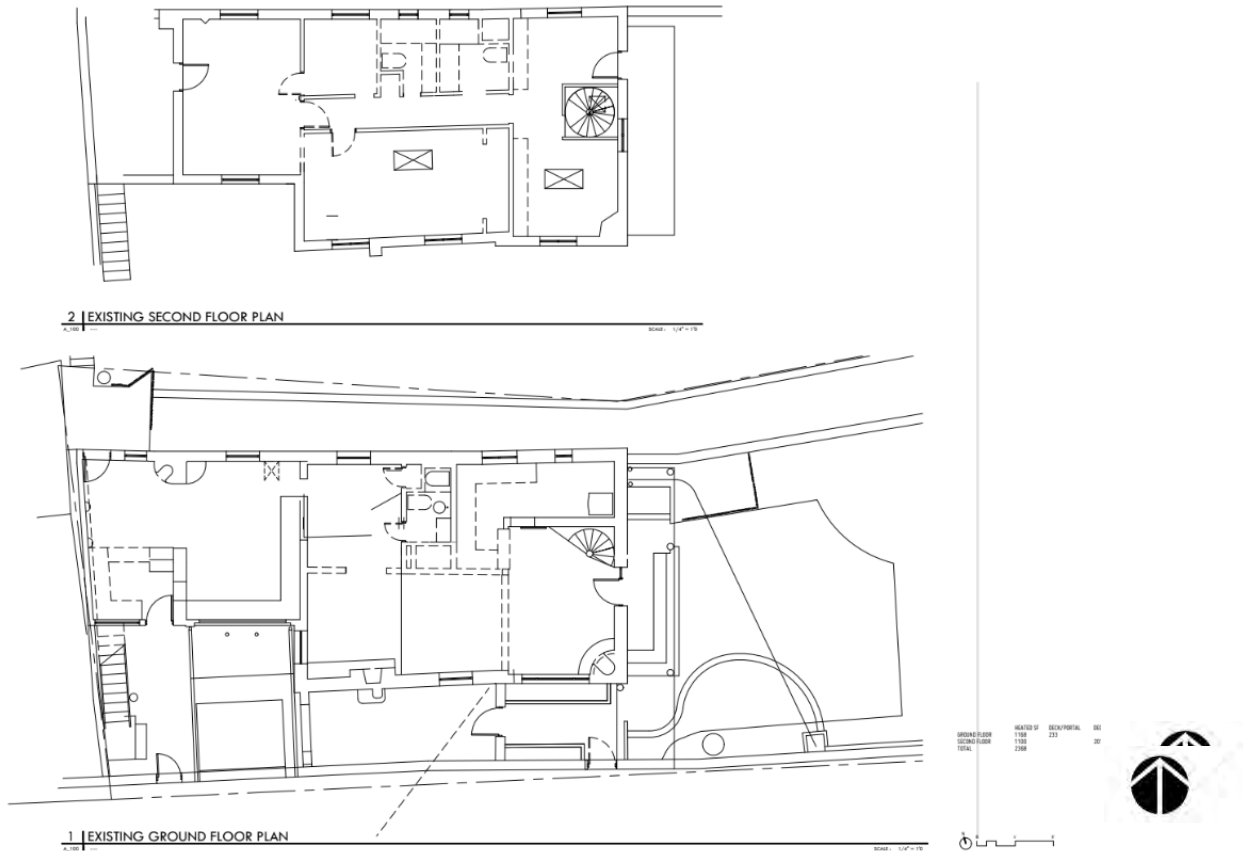


Figure 7: Existing floor plans. Courtesy of Thomas Gifford, Architect.

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Photographs

(All images taken by Jim Rodman, on March 10, 2026, except where noted).



Photo 2: The Acequia Madre located behind the house. Camera facing southeast.

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Free



Photo 3: South elevation, west side. Camera facing north.

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Photo 4: South elevation, east side. Camera facing north.

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Photo 5: Narrow passage between house and street wall. Roof parking area in background. Camera facing west.

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Photo 6: South elevation, second-story window. Camera facing up.

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Photo 7: South elevation with stepped back volume. Camera facing up.

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Photo 8: South elevation, ground floor window. Camera facing north.

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Photo 9: South elevation, ground floor window. Camera facing north.

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Photo 10: South elevation, original building and addition. Real estate photo.

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Photo 11: West elevation, second story roof deck entrance. Camera facing northeast.

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Photo 12: East elevation. Camera facing northwest.

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Photo 13: East elevation, portal. Camera facing north.

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Photo 14: East elevation, ground floor entry. Camera facing down.

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Photo 15: North elevation. Camera facing southeast.

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Photo 16: North elevation, addition at west end. Camera facing up.

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Photo 17: North elevation, typical window. Camera facing up.

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Photo 18: North elevation, window opening alteration. Camera facing up.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

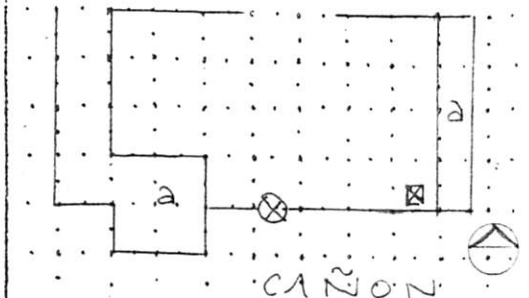
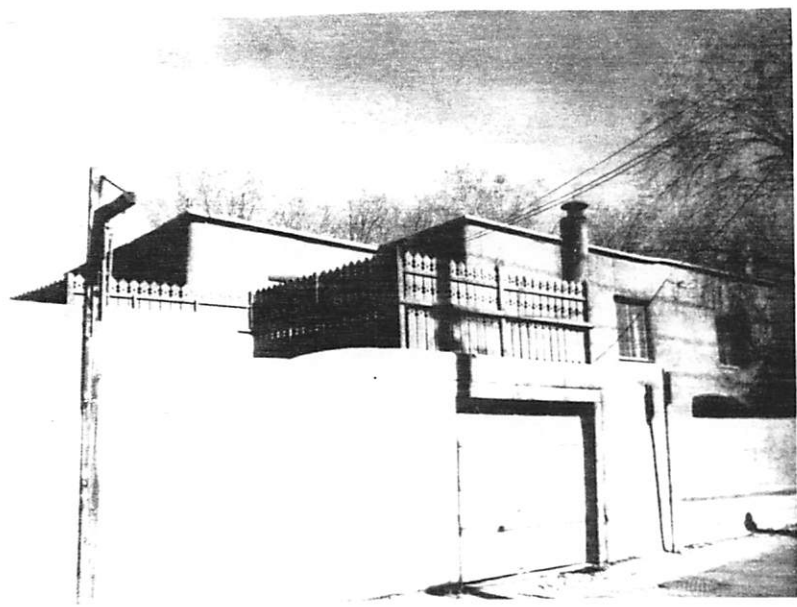
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Photo 19: North elevation, east end. Camera facing up.

year	date 9-11-84 by	loc. Santa Fe	051611430	A1142
field map number	SFHD-6-1430	UTM reference zone	12 13	casting northing
location description		city/town		
1103 CANYON		Santa Fe		
building name		legal description		
		tnsp N S range E W sec		
film roll by no. 16	negative nos. 31	loc. of neg. HPE	plan shape	



date of construction
1929-32 estimate _____ actual _____

source
Boys Directory


use
present residential
other _____
historic residential
other _____

condition
_____ excellent _____ good
_____ fair _____ deteriorating

style
~~SW Vernacular~~
NM Urb. Vern.

location material
NV

wall material/surface
Adobe? Stucco

architectural features
Roof - Flat w parapet. Brick coping slightly overhung
2 mny chimneys. Small vents under copings (2 story)
Windows - dble 6lt cent, bullnosed w wd slip sill
Door - NV
Balconies - Balusters cut out → 
Change - Door - 4 part pldy overhnd
Street entry - wd panel w mail slot.
Heavy lintel over -

degree of remodeling
_____ minor moderate _____ major

Describe:
Beside addition of balconies at (a)

surroundings
Res Com

relationship to surroundings
 similar _____ not similar

District potential
_____ yes _____ no

significance
_____ eligible of _____ none
interest

if eligible, why? contrib -

associated buildings? _____ yes
what type?

if inventoried, list 10 nos.

see back? _____ yes



PURPOSE AND INSTRUCTIONS

Prior to a public hearing in front of the Historic District Review Board (HDRB) all applicants must obtain Historic Districts Preliminary Zoning Review (HPZR) from the Current Planning Division. The HPZR does not grant zoning approval. Following design approval from the HDRB, final zoning review will be performed at the time of building permit.

Applicants must submit complete and accurate information for review. Incomplete submittals will not be processed. All HPZR requests must be submitted to Current Planning via zoningcounter@santafenm.gov

PROJECT INFORMATION

Form with fields for Date (4-3-26), Property Owner of Record (GypHills, LLC), Applicant/Agent Contact (Thomas Gifford Architect, LLC), Site Address (1103 Canyon Road), Suite or Space #, Subdivision Name, Lot #, Block #, Total Roof Area (square feet) 1546, Lot Coverage % 40, Lot Size (square feet) 3831, Proposed Construction Description (A complete building renovation interior and exterior...), The following documents are required for review as applicable: (checkboxes for Legal Lot of Record, Building Plans, Existing site plan w/ setbacks, Proposed site plan w/ setbacks, Existing & Proposed Elevations, Development Plan), Zoning District (RAC), Overlay Districts (Escarpment, Flood Plain, Other), Proposed Setbacks (Front 0'0, Rear 4'0, Left Side 0'0/8'0, Right Side 10'0), Required Setbacks (Front 7'0, Rear 9'0, Left Side 5'0/10'0, Right Side 10'0), Proposed Height (25'0), Max Height (25'0), Parking Required (2), Provided (0), Bike Parking (0), Provided (0)

Historic Planning Case Manager Lani McCulley

If you selected "other," please write in the name of your case manager.

ADDITIONAL SUBMITTALS (IF APPLICABLE)

Form with checkboxes for: Affidavit Restricting Use of an Accessory Structure Containing a Bathroom or Kitchen, Setback Affidavit and Agreement, Site Visibility Triangle, Escarpment Slope Analysis, Flood Plain Grading Plan

This hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting the Land Use Department staff prior to HDRB hearing.

Signature of Lani McCulley, Owner, Applicant, Agent (checked)

To Be Completed by Land Use Department Staff

PRELIMINARY REVIEW STATUS

Form with fields for Preliminary Review Status (X Preliminarily Reviewed, Reviewed w/ conditions, Denied), Comments/Conditions, Preliminary Zoning Review completed by Benjamin Pfeifer, Date 04/30/2026, Preliminary Zoning Review # 20226-012350-PAR