

May 6, 2026

Historic Preservation Review Board
200 Lincoln Avenue
Santa Fe, NM 87504

RE: 998 Acequia Madre proposed carport structure

Dear Historic Preservation Review Board:

Please accept this proposal letter in your evaluation of the proposed carport structure addition of the referenced property.

We propose to construct a new, detached 400sf carport structure on the Northside of the property. The structure will be constructed using stuccoed masonry columns, exposed wood beams and corbels, and a stuccoed parapet. All new stucco will match the existing house. It will have a sloped, tan colored TPO roof. The parking surface will be brick-on-sand.

The referenced home was extensively remodeled in 2017-2018 but the carport was not included at the time due to budget constraints. The property is surrounded by large elm and box elder trees and has caused surface damage from sap and falling branches to all the cars parked below in the now uncovered driveway.

The current lot coverage is 43.8% (4277sf / 9754sf x 100) and should the structure be allowed, the resulting lot coverage would be 47.9% (4677sf / 9754sf x 100) with private open space of 5225 sf.

Thank you for your time.

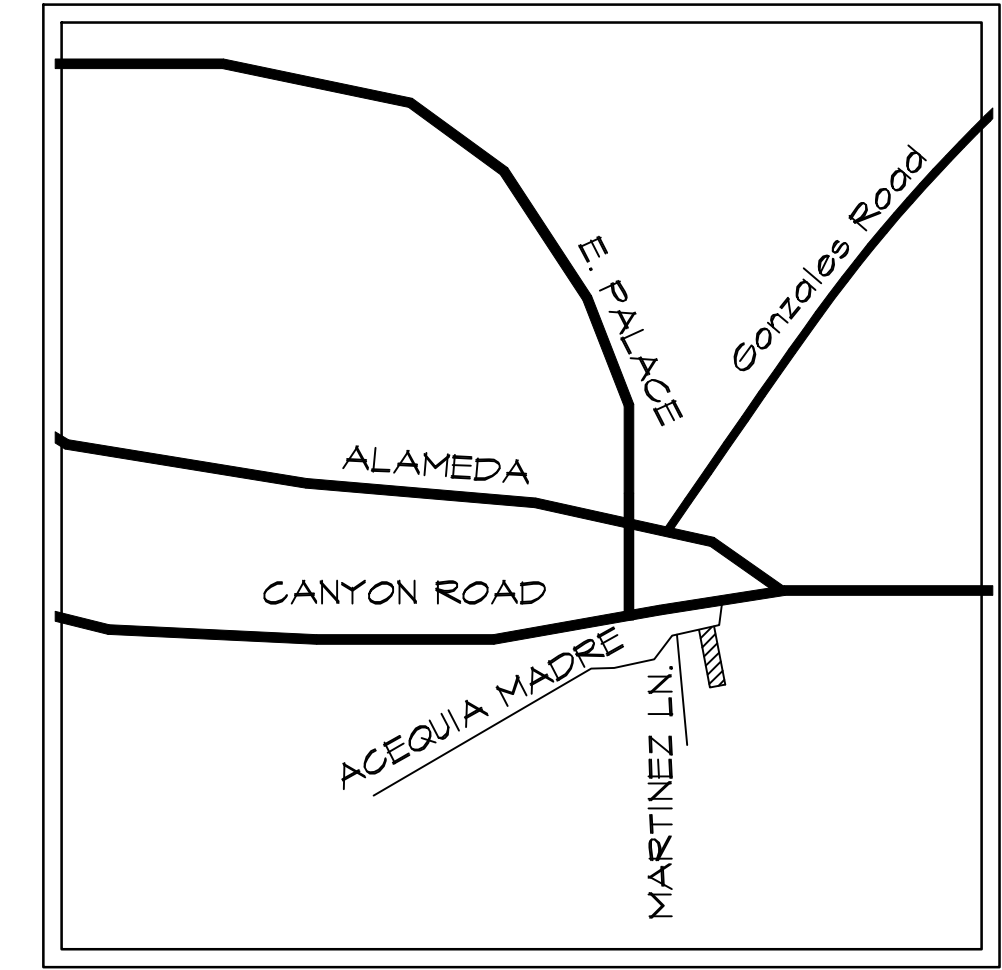
Respectfully,

Mark Brown

998 Acequia Madre

mark@sfbrown.com

505-920-7013



VICINITY MAP
N.T.S.

DIRECTIONS TO SITE:

TAKE S FEDERAL PL TO PASEPE PERALTA. FOLLOW PASEO DE PERALTA TO CANYON ROAD. TURN LEFT ONTO CANYON ROAD. THEN TURN RIGHT IN TO CAMINO DEL MONTE SOL. THEN TURN LEFT ONTO ACEQUIA MADRE. THE SITE IS ON RIGHT SIDE AFTER MARTINEZ LN.

GENERAL NOTES:

ALL CONSTRUCTION AND FINISH MATERIALS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE 2009 NM RESIDENTIAL CODE (Q009 IRC AS AMENDED) AND 2015 CITY OF SANTA FE GREEN BUILDING CODE.

BUILDING DATA:

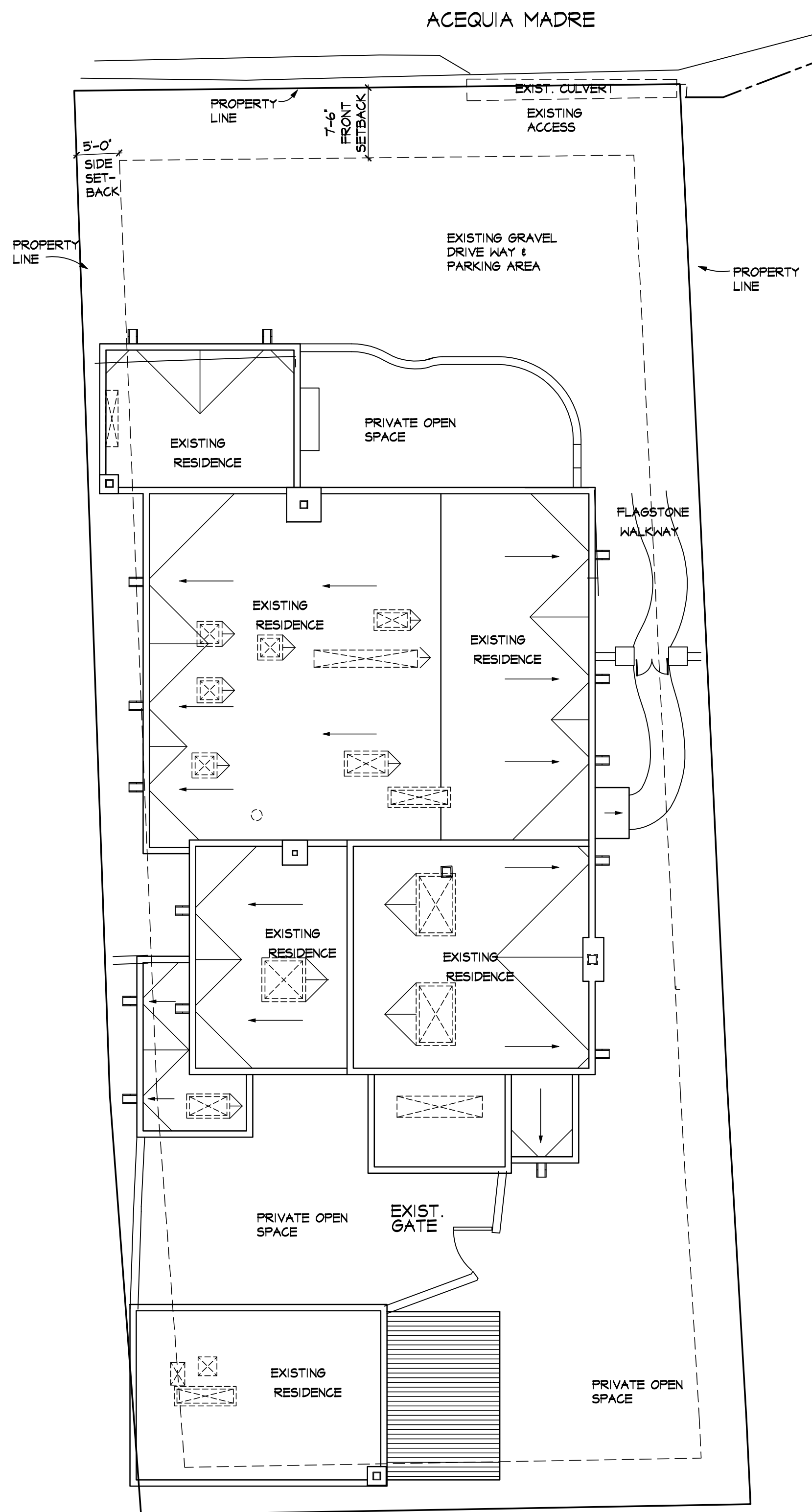
MAIN HOUSE	EXISTING:
HEATED:	3530 SQ. FT.
PORTALS:	24 SQ. FT.
GUEST HOUSE (CASITA)	EXISTING:
HEATED:	528 SQ. FT.
PORTALS:	195 SQ. FT.
EXISTING ROOFED:	4277 SQ. FT.
PROPOSED CARPORT:	426 SQ. FT.
TOTAL ROOFED:	4703 SQ. FT.

ZONING DATA:

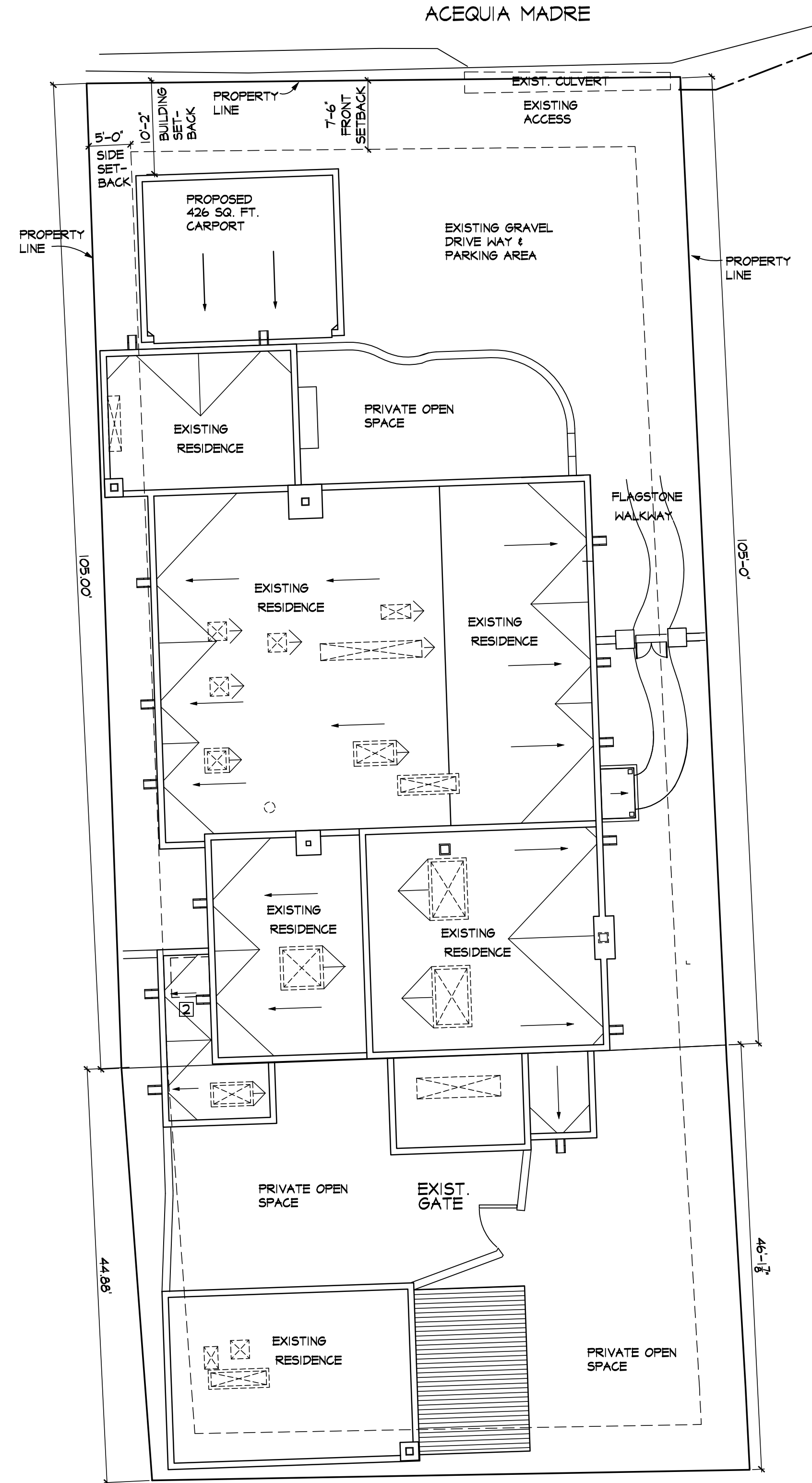
ZONING DISTRICT:	RAC
BUILDING TYPE:	V
OCCUPANCY:	SINGLE FAMILY RESIDENTIAL
LOT SIZE:	9754.7 SQ. FT. (0.224 ACRES)
BLDG COVERAGE AS A % OF LOT SIZE:	4703 / 9754 x 100 = 48.2%

PROJECT DATA:

STUCCO COLOR:	"EL REY" TO MATCH EXISTING
HEATING:	N/A
GAS:	NM GAS
ELECTRIC:	PNM
SEWER:	CITY SEWER
WATER:	CITY WATER



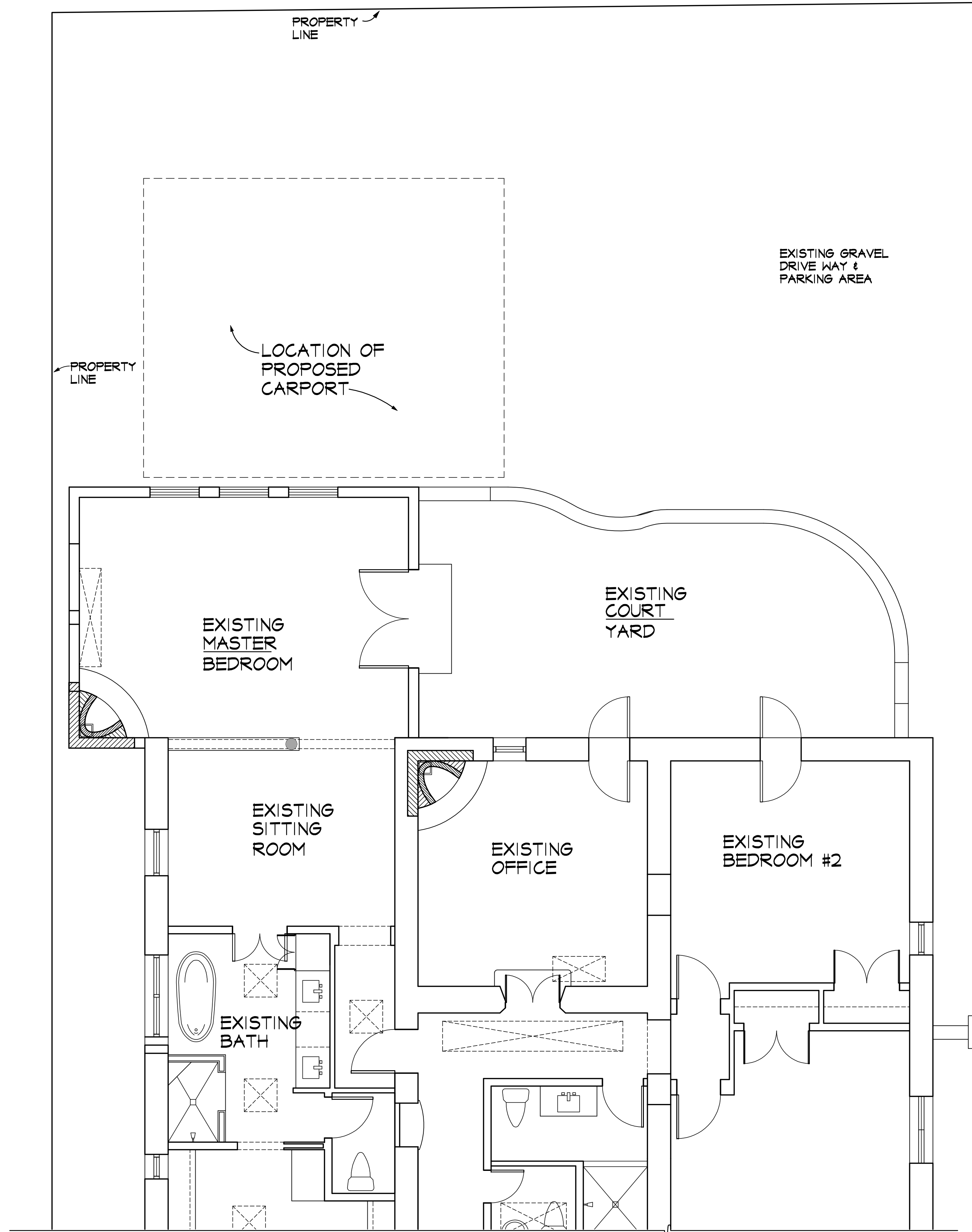
EXISTING SITE PLAN
1" = 10'



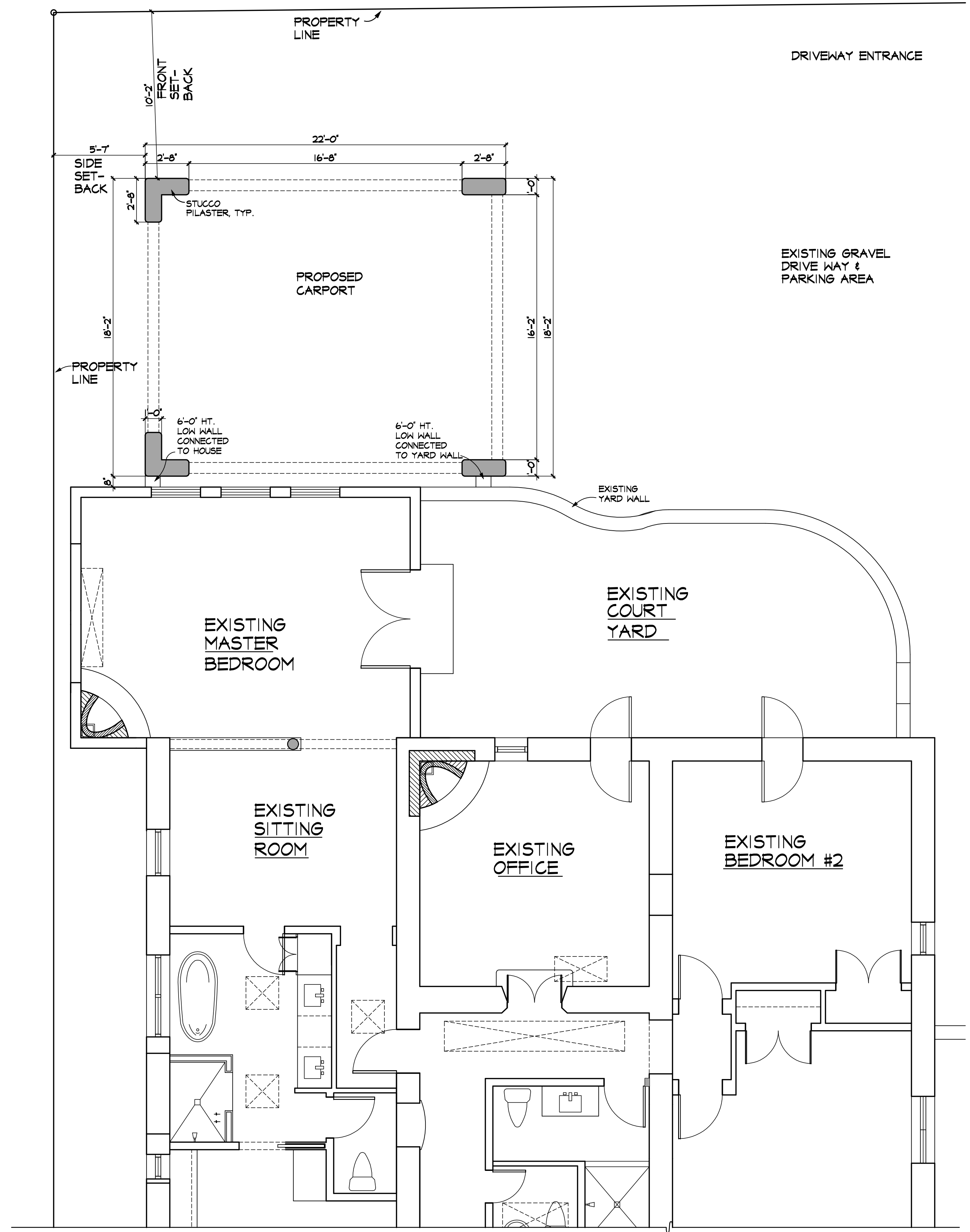
PROPOSED SITE PLAN
1" = 10'

SHEET INDEX

C-1	PROPOSED SITE PLAN & ELEVATIONS
A-1	EXISTING & PROPOSED FLOOR PLANS
A-1	PROPOSED ELEVATIONS



EXISTING FLOOR PLAN
1/4" = 1'-0"

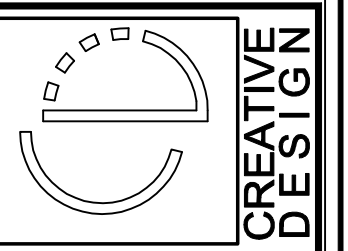


PROPOSED CARPORT PLAN
1/4" = 1'-0"

APPROVALS: DATE:
OWNER:

ENGINEER:

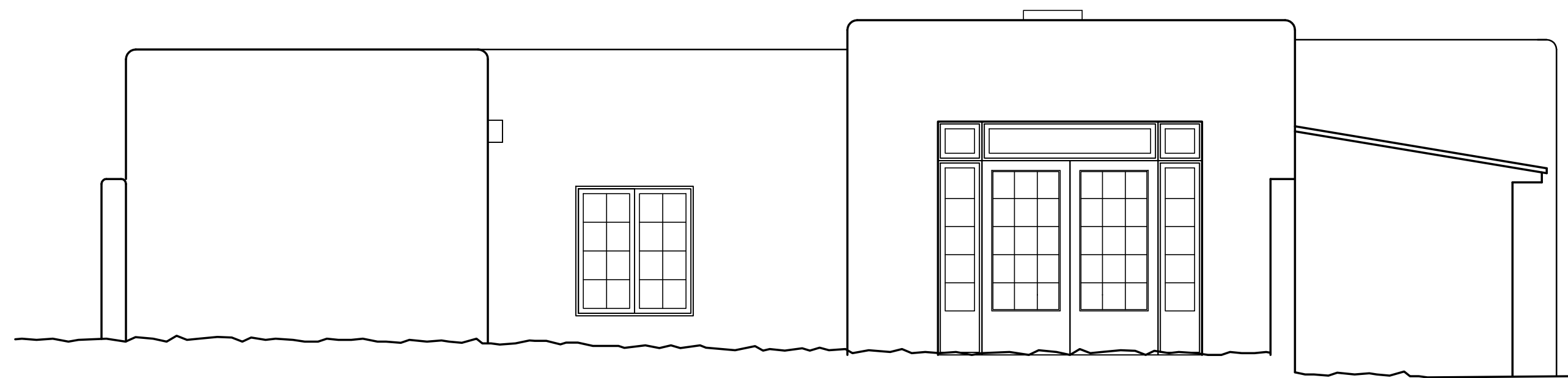
CREATIVE DESIGN
CUSTOM DESIGN OF UNIQUE STRUCTURES
30 CIENEGUILLA, EMBUDO, NEW MEXICO 87513
TIM CURRY
CYD SCHULTE
PH 505-660-7116
PH 505-429-9436



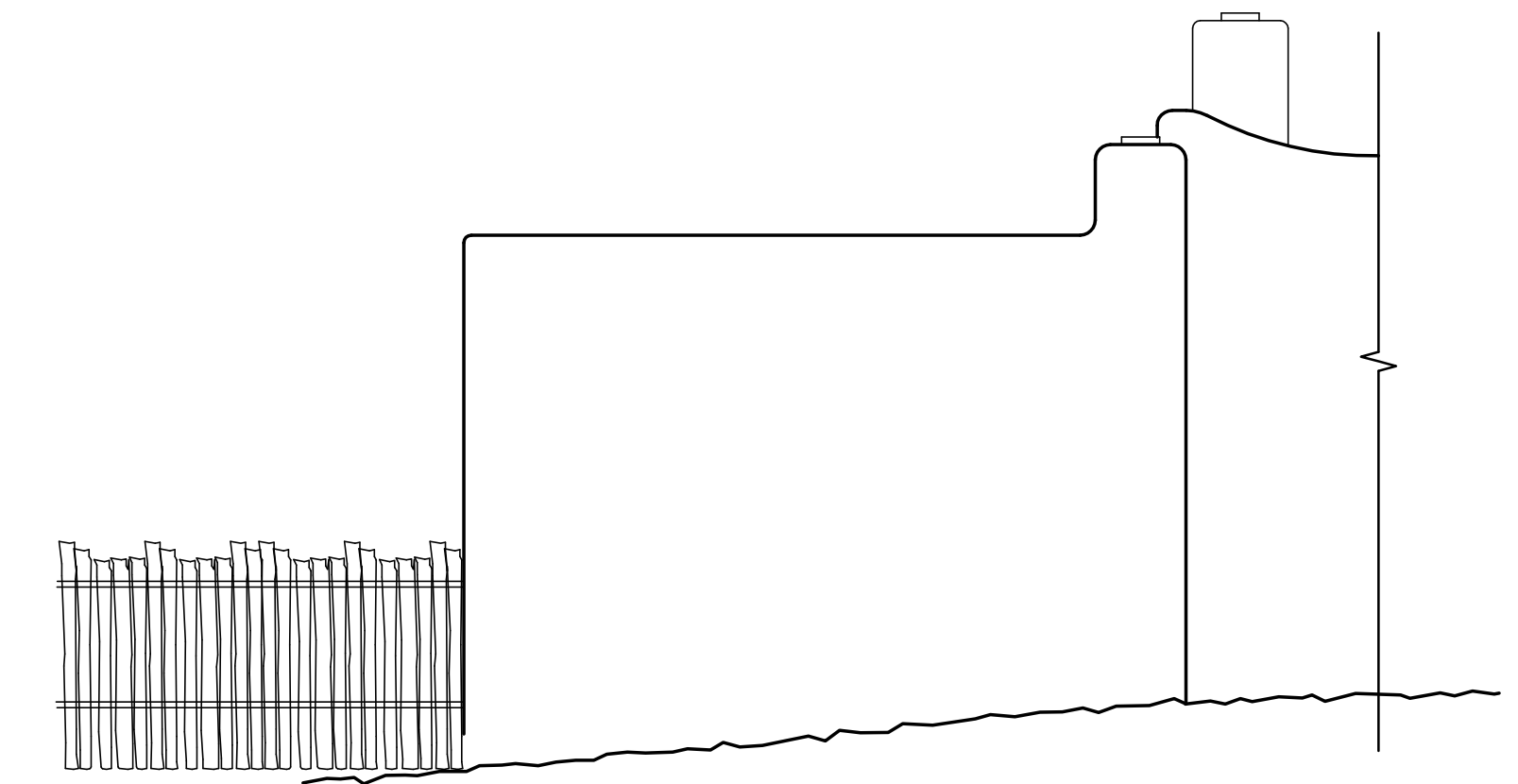
KOSKOVICH RESIDENCE
998 ACEQUIA MADRE
SANTA FE, NEW MEXICO

1 MAY 2026

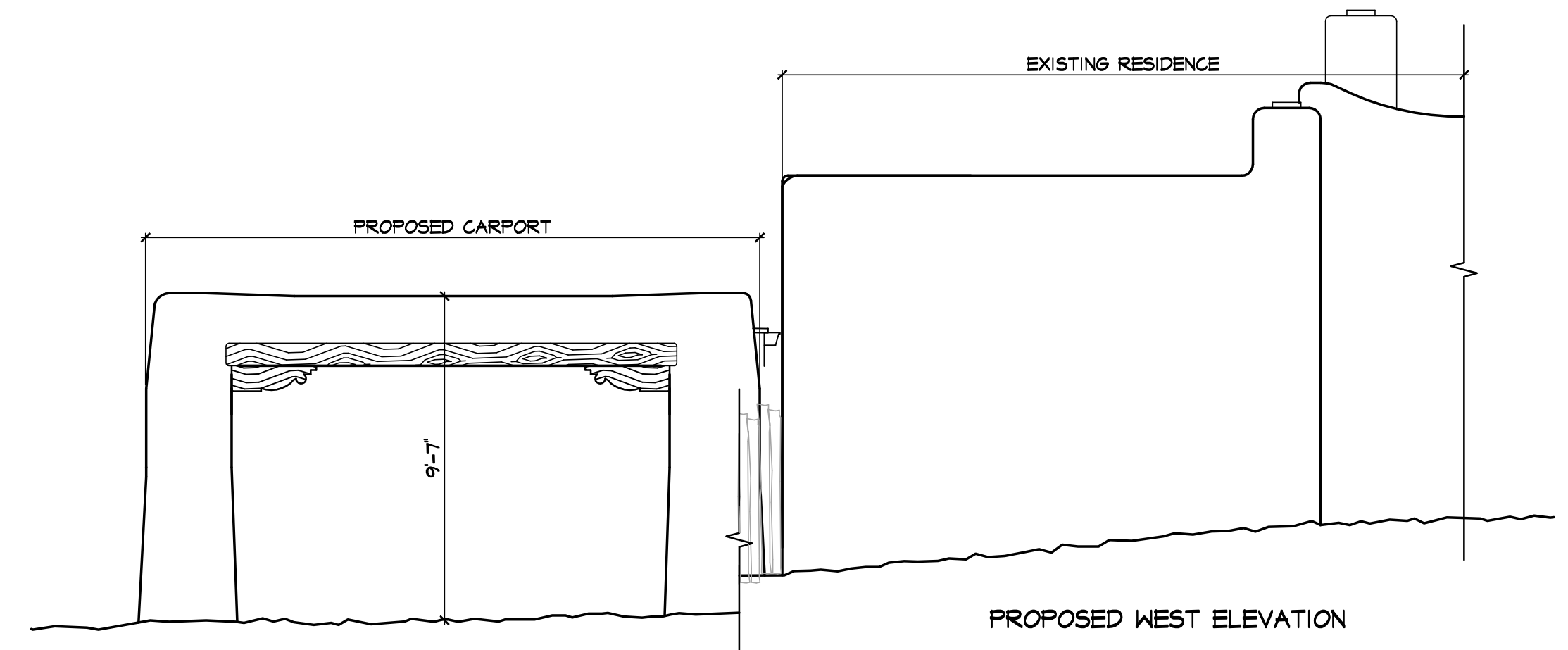
A-1



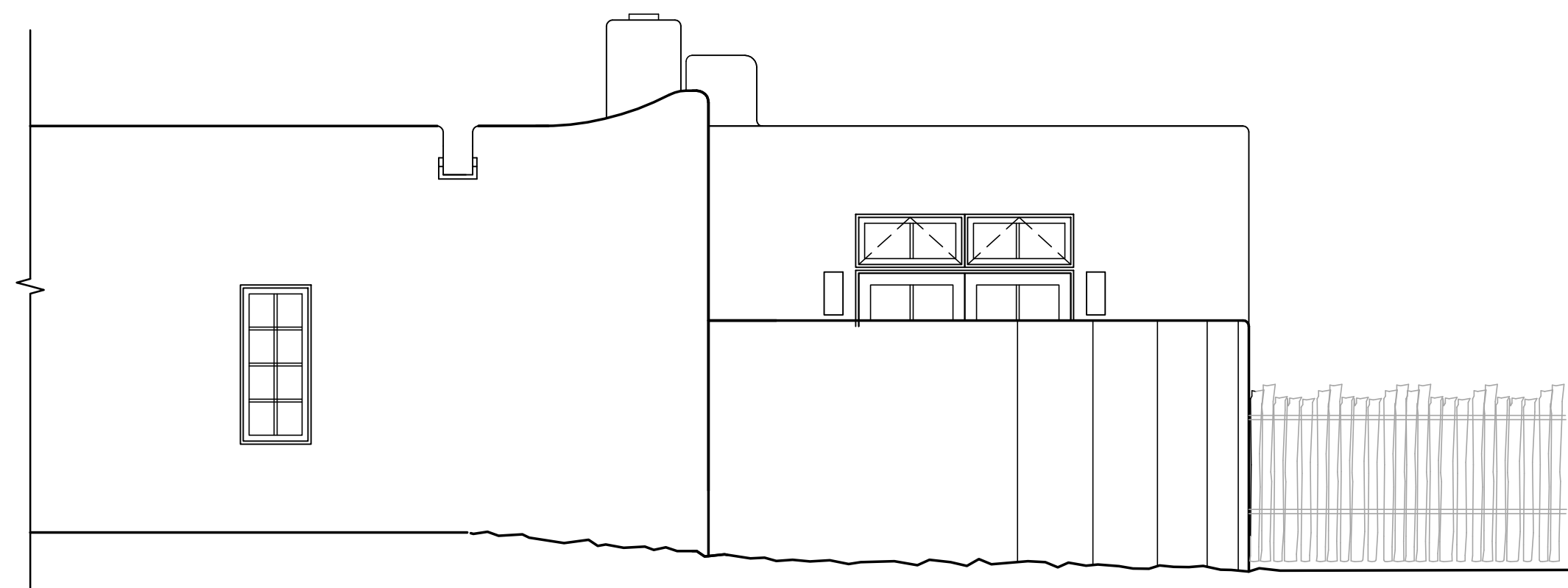
EXISTING & PROPOSED NORTH ELEVATION
(NO CHANGE)



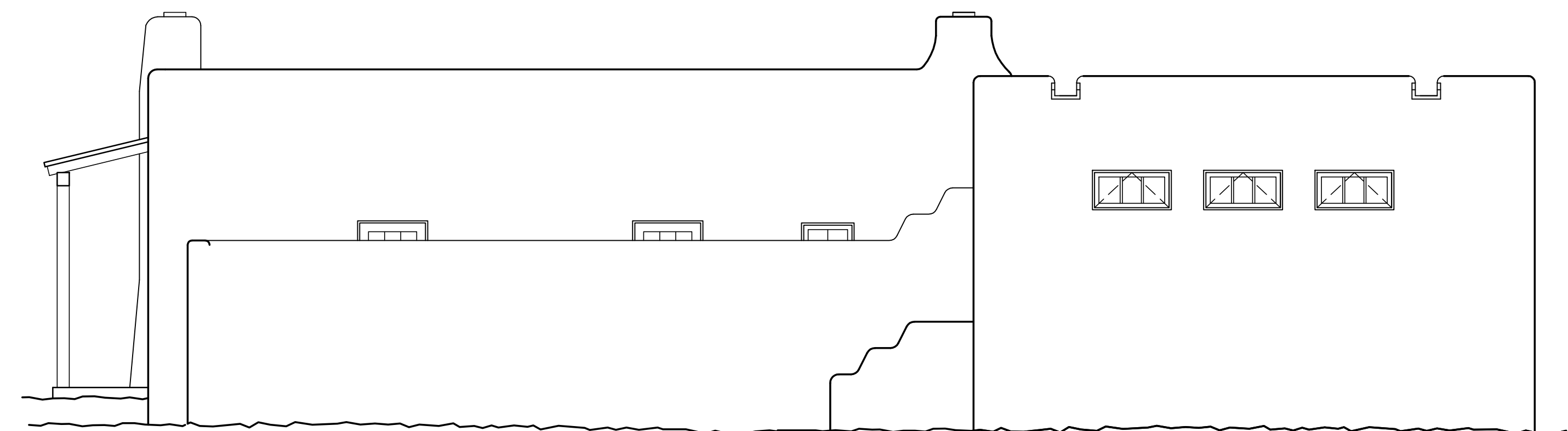
EXISTING WEST ELEVATION



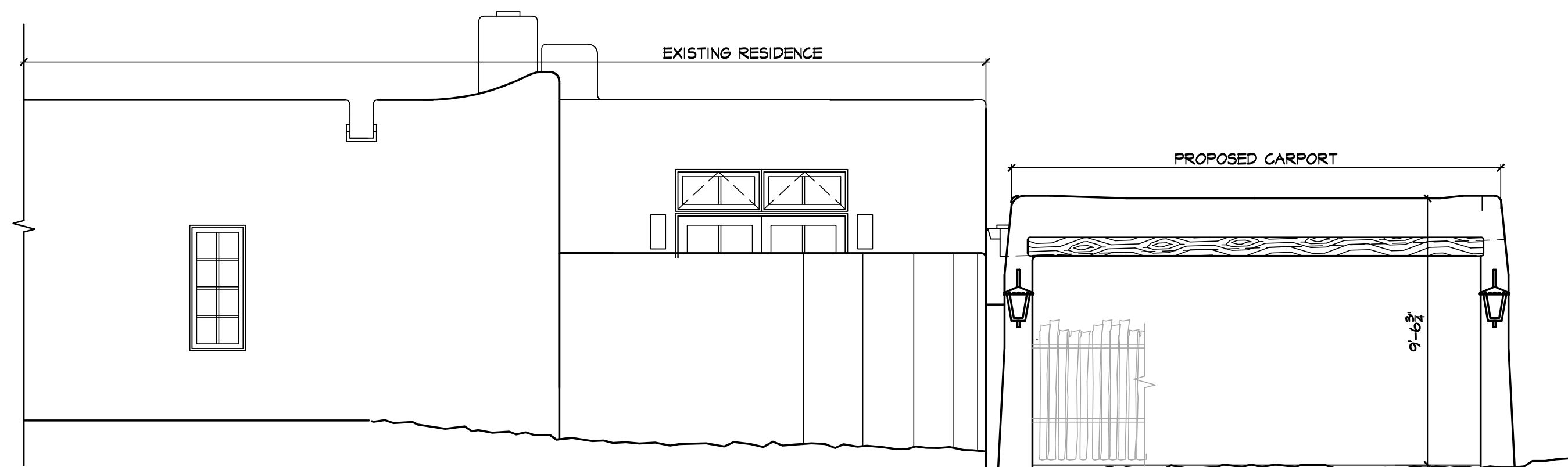
PROPOSED WEST ELEVATION



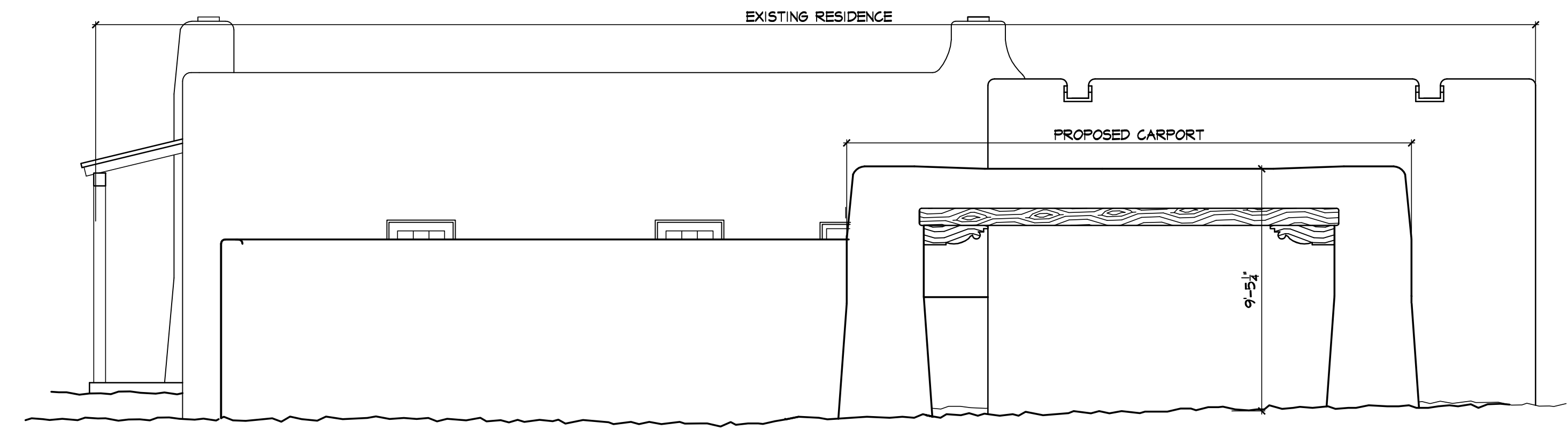
EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION
STREET FACING



PROPOSED EAST ELEVATION



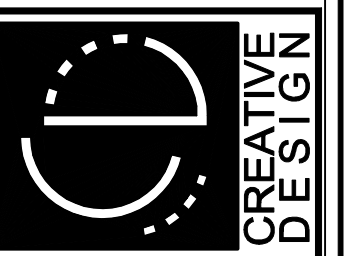
PROPOSED NORTH ELEVATION
STREET FACING

EXTERIOR ELEVATIONS
1/4" = 1'-0"

APPROVALS: DATE:
OWNER:

ENGINEER:

CREATIVE DESIGN
©
CUSTOM DESIGN OF UNIQUE STRUCTURES
30 CIENEGUILLA, EMBUDO, NEW MEXICO 87513
TIM CURRY
CYD SCHULTE
PH 505-660-7116
PH 505-429-9436

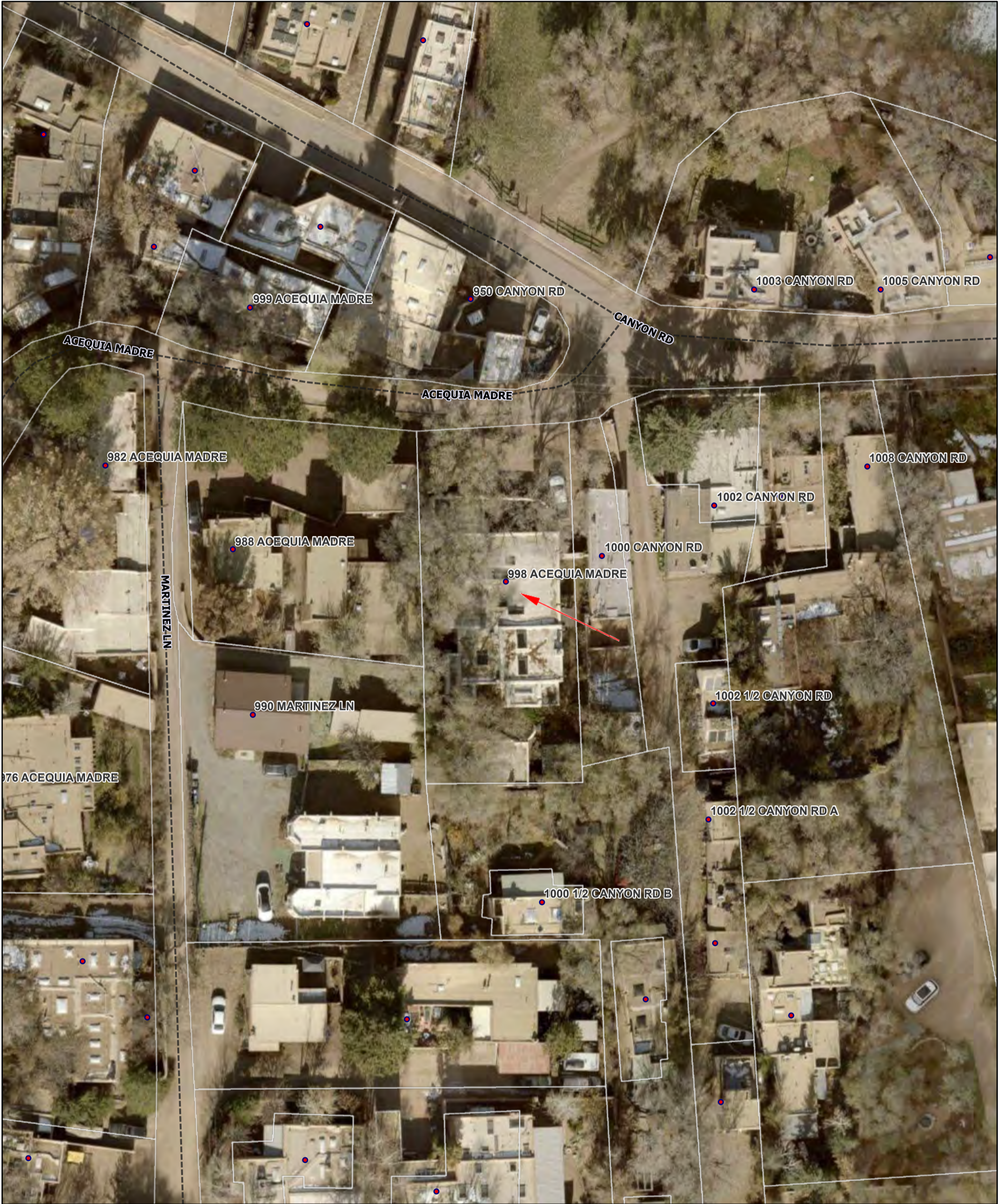


KOSKOVICH RESIDENCE
998 ACEQUIA MADRE
SANTA FE, NEW MEXICO

14 MAY 2026

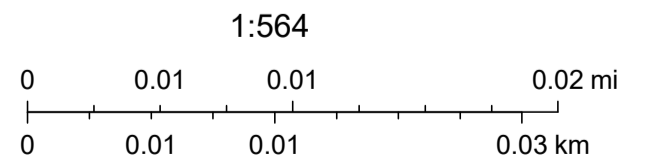
A-2

Santa Fe County Tax Parcel Viewer



11/4/2025, 10:55:10 AM

- City of Santa Fe Address Points
- Roads
- ▭ Santa Fe County Boundary
- ▭ Tax Parcels




2024/25 EagleView Pictometry - Santa Fe County

998 Acequia Madre

Street view of proposed pergola location.

Legend

 412 Sosaya Ln



Google Earth

© 2025 Google



5.90 ft



