



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT 2026-011825-HDRB. 619 W. Alameda St. Westside-Guadalupe Historic District. Contributing.
DESC: Dura Build Construction, agent for Max Scott, owner, proposes to install a bond beam, repair historic windows, re-roof the existing residence, and construct 40” high yard walls. An exception is requested to section 14-4.6(E)(2)(IV)(b) to raise the height of a contributing structure.

CASE NUMBER: 2026-011825--HDRB

PROJECT TYPE: Remodel

LOCATION: 619 W ALAMEDA ST
Santa Fe, NM 87501

CONTACTS: Applicant Max Scott

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Mar 24, 2026. The decision of the Board was to approve the application as submitted finding that the exception criteria have been met.

For further information please call 505-955-6605.

Sincerely,

Lani McCulley

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**

City of Santa Fe, New Mexico

memo

DATE: March 24, 2026

TO: Historic Districts Review Board Members

VIA: Heather Lamboy, Planning & Land Use Department Director #LL
Maggie Moore, Assistant Land Use Director *MRM*
Gary Moquino, Historic Preservation Division Manager *GM*

FROM: Lani McCulley, Senior Planner, Historic Preservation Division *LJM*

2026-011825-HDRB. 619 W. Alameda St. Westside-Guadalupe Historic District. Contributing. Dura Build Construction, agent for Max Scott, owner, proposes to install a bond beam, repair historic windows, re-roof the existing residence, and construct 40" high yard walls. An exception is requested to section 14-4.6(E)(2)(IV)(b) to raise the height of a contributing structure.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: previous cases

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the exception to section 14-4.6(E)(2)(IV)(b) to raise the height of a contributing structure and recommends approval of the items that do not require an exception and finds that the application complies with 14-4.6(E) General Design Standards for all Historic Districts, and 14-4.6(G)(5) Westside-Guadalupe Historic District Design Standards.

Sample motions:

- a. In case 2026-011825-HDRB, for 619 West Alameda Street, approve or deny the exception to section 14-4.6(E)(2)(IV)(b) to raise the height of a contributing structure.
- b. In case 2026-011825-HDRB, 619 West Alameda Street, approve or deny the elements of the application that do not require an exception.

The property lies within the Historic Downtown Archaeological Review District. See Chapter 14, SFCC, Article 14-3.13(B)(1). There may be archaeological concerns associated with this project, and archaeological clearance may be required.

BACKGROUND & SUMMARY:

Streetscape and Context:

The property at 619 West Alameda is located across from the Santa Fe River Park, which is a passive recreational area with landscaping, picnic tables, and a walking path. The park is bounded on one side by the ten-foot drop to the riverbed and on the other side by Alameda Street. This parkway was developed for the visual enhancement of the nature of the site.

Across from the Santa Fe River is the residential sector of Alameda Street. The houses range in style, with the most prominent styles being Spanish Pueblo Revival and Vernacular in this area. Most of the residences are lower single-story buildings with an average height on the streetscape of 12’8”. The street is lined with low yard walls with an average height of 46” (3’10”). The yard walls are stuccoed concrete masonry units that are colored to match the corresponding building.



Figure 1: Location of Property.

Site Description:

The 702 sq. ft. single-family residence at 619 W Alameda Street is listed as contributing to the Westside-Guadalupe Historic District. The Spanish Pueblo Revival structure is constructed of adobe and pentile.

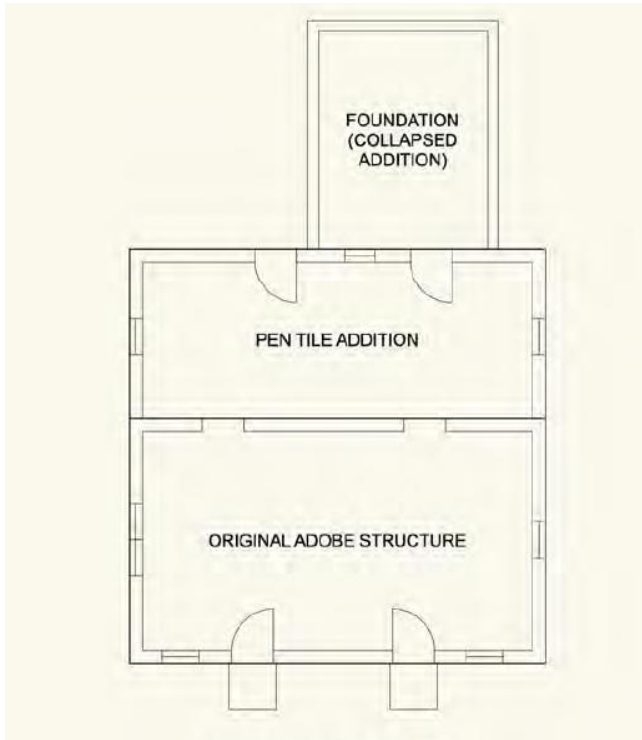


Figure 2: Residential Sections.

The adobe portion of the residence was constructed approximately around 1943, with the pen tile addition being constructed by 1951. The wood-framed addition appears to have been constructed in 1975 and collapsed in 2024 which has been removed from the property. There are projecting vigas at the exterior of the adobe south walls, though the interior portion of the vigas appears to have been removed at some point. The north wall has projecting roof joists on the pen tile addition. Roof drainage is a single-sheet metal channel on the north elevation. The exterior walls are cement stucco on chicken wire with paint on the stucco.

All except one window are wood, double-hung hung single-glazed one-over-one windows. There are some wood screens, though not all windows have these screens. The two front doors on the south may be handmade wood, frame, and panel with a glazed flower petal design. The western rear door is a frame and panel, and the eastern rear door is a hollow-core wood door. All windows and doors are recessed about 6", and the windows have projecting concrete sills. The two front doors have two small steps.

The property held a front wire fence with a wire gate, which has been removed. There is also a side chain link fence, short cast concrete posts, a couple of wood posts, and possible remains of a stone boundary. The residence is typical of the streetscape.



Figure 3: South Façade of Residence.

There is also a pentile-lined well on the west side of the property. The well is listed as a contributing structure.

PREVIOUS CASE SUMMARIES:

ARC:

No archaeological clearance has been issued for the property.

HDRB:

The property's status was reviewed on July 8, 2025, under case 2025-010664-HDRB. The residence was designated as contributing, and the south and west elevations as primary. The pentile-lined well was designated as contributing.

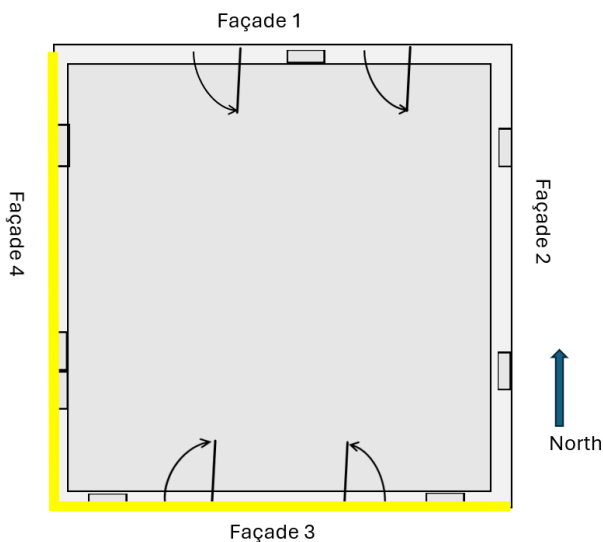


Figure 4: Primary Facades

ADMINISTRATIVE:

There are no administrative approval cases on record for the property in the Historic Preservation Division files.

APPLICANT'S REQUEST:

The applicant proposes the following exterior alterations:

Existing Structure:

- 1) Remove the existing windows with frames and restore the windows and frames. The concrete windowsills shall be retained. Existing windows are double-hung wood with single-lite panes.
- 2) Remove the south doors and frames to reconstruct the frames and repair the doors.
- 3) Install a concrete bond beam on top of the adobe and pen tile walls. The bond beam will raise the height of the structure from 9'-4" to 10'-6½". The maximum allowable height is 14'-5". An exception to section 14-4.6(E)(2)(IV)(b) to raise the height of a contributing structure is requested.
- 4) Reconstruct the roof and install a new roof.
- 5) Install a new canale in the existing canale space on the northwest corner of the building.
- 6) Install two skylights. Skylights will be low profile and shall not be publicly visible.
- 7) Brace the southwest building corner to prevent the wall from continuing to move westward.
- 8) Construct a 132 sq. ft. 9'-6" high portal on the north elevation. The portal will be supported by wood columns and have wood headers, corbels, and a metal roof.
- 9) Replace both north pedestrian doors with half-lite wood doors with panels.
- 10) Install a ground mounted HVAC condenser on the southeast corner of the building (publicly visible).
- 11) Install a 40" high coyote fence to screen the HVAC condenser.
- 12) Install a 40" high masonry yard wall courtyard on the southeast corner of the building.
- 13) Install a 40" high stucco finished masonry yard wall along the east property line north of the residence.

EXCEPTION CRITERIA AND RESPONSES:

Exception to section 14-4.6(E)(2)(IV)(b): The applicant requests an exception to increase the height of a contributing structure.

(i) *Do not damage the character of the district*

Applicant Response: The historic structure, Unit A in our proposal, will remain well below Ms. McCulley's maximum height (14'-5"), but we do request a height change to this structure. Unit A's combination of adobe and pen-tile construction was built without a unifying bond beam atop the exterior walls. This has allowed horizontal movement at material joints and window and door rough openings, causing considerable cracking in the exterior walls. The original viga ceilings were removed at some point in the past and replaced with 2x roof rafters. These 2x rafters were undersized and failed under the weight of the roof years ago. The Dutchmen patches used to prevent roof collapse are not providing adequate structure and are also failing. Mesa Verde wishes to remove the existing roof and place a stabilizing concrete bond beam atop the existing exterior wall. The bond beam will prevent further horizontal movement in the building's cracks and unify the adobe and pen tile structure thus preparing it for a new viga roof. The resulting change in roof construction will change the building's height from: 9' - 4" from existing grade to top of stucco-finished parapet walls, to: 10' - 6 1/2" from top of existing grade to top of stucco-finished parapet walls. This increase in height will not affect the character of this historic structure or streetscape. It keeps the parapet at minimum height and secures the preservation of the existing structure for the foreseeable future.

Staff Response: Staff find that this criterion is met. The height change is minimal, and the structure will have the same appearance but a bond beam will prevent further deterioration of the structure therefore, the character of the district will not be damaged.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The historic structure, Unit A in our proposal, will continue to deteriorate without the addition of the proposed bond beam. The engineered bond beam, viga ceiling structure, r-49 insulation tapered insulation and roofing have been proposed to be installed directly atop the top of the existing historic walls. We cannot shorten the structure without reducing the height of the exterior walls. This will prevent undue hardship to the owner and injury to the public welfare from the continued deterioration of the structure of Unit A.

Staff Response: Staff find that this criterion is met. The structure is at risk of full collapse and is not a viable living space at this time. To save the structure and make it a livable space a bond beam is necessary and will raise the height minimally. Bond beams are required by the current building code.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: Unit A's combination of adobe and pen-tile construction was built without a unifying bond beam atop the exterior walls. This has allowed horizontal movement at material joints and window and door rough openings, causing considerable cracking in the exterior walls. The original viga ceilings were removed at some point in the past and replaced with 2x roof rafters. These 2x rafters were undersized and failed under the weight of the roof years ago. The Dutchmen patches used to prevent roof collapse are not providing adequate structure and are also failing. Mesa Verde wishes to remove the existing roof and place a stabilizing concrete bond beam atop the existing exterior wall. The bond beam will prevent further horizontal movement in the building's cracks and unify the adobe and pen tile structure thus preparing it for a new viga roof. The resulting change in roof construction will change the building's height from: 9'- 4" from existing grade to top of stucco-finished parapet walls, to: 10'- 6 1/2" from top of existing grade to top of stucco-finished parapet walls.

Staff Response: Staff find that this criterion is met. This design option of a bond beam minimizes the impact to the structure and provides the necessary stability to rehabilitate the dilapidated structure.

(iv) *Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape;*

Applicant Response: Unit A's combination of adobe and pen-tile construction was built without a unifying bond beam atop the exterior walls. This has allowed horizontal movement at material joints and window and door rough openings, causing considerable cracking in the exterior walls. The original viga ceilings were removed at some point in the past and replaced with 2x roof rafters. These 2x rafters were undersized and failed under the weight of the roof years ago. The Dutchmen patches used to prevent roof collapse are not providing adequate structure and are also failing. Mesa Verde wishes to remove the existing roof and place a stabilizing concrete bond beam atop the existing exterior wall. The bond beam will prevent further horizontal movement in the building's cracks and unify the adobe and pen tile structure thus preparing it for a new viga roof. The resulting change in roof construction will change the building's height from: 9'- 4" from existing grade to top of stucco-finished parapet walls, to: 10'- 6 1/2" from top of existing grade to top of stucco-finished parapet walls.

Staff Response: Staff find that this criterion is met. The structure was not constructed with a uniform bond beam but would benefit from one. The bond beam will raise the height minimally but will make the building inhabitable.

(v) *Are due to special conditions and circumstances which are not a result of the actions of the applicant; and*

Applicant Response: The deterioration of the abandoned historic Unit A has been in process for decades. Mesa Verde Construction, LLC's remodel of this structure will save it for posterity and is not fault of the company's owner.

Staff Response: Staff find that this criterion is met. The deterioration of the structure is a result of the structure being abandoned for years. Rehabilitation is necessary to make the structure a livable space. The bond beam that will raise the roof will stabilize the building and restore it to a livable space.

(vi) *Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).*

Applicant Response: The resulting change in roof construction will change the building's height from: 9'- 4" from existing grade to top of stucco-finished parapet walls, to: 10'- 6 1/2" from top of existing grade to top of stucco-finished parapet walls while preserving the overall appearance of the unit.

Staff Response: Staff find that this criterion is met. The approximately one-foot change in height is minimal and since the overall structure appearance is not changing, the impact of the change is the least negative impact.

RELEVANT CODE CITATIONS:

14-4.6 HISTORIC DISTRICTS

A. General Provisions

1. Purpose

To promote the economic, cultural, and general welfare of the people of Santa Fe and to ensure the harmonious, orderly, and efficient growth and development of the City, the Governing Body deems it essential to preserve the qualities relating to the history and culture of Santa Fe, maintain a harmonious outward appearance to preserve property values, and attract residents and tourists alike. The specific purposes of this section are to preserve qualities relating to the history of Santa Fe, such as the following:

- I. Continue the existence and preservation of historic areas and buildings;
- II. Continued construction of buildings in Santa Fe's historic styles; and
- III. General harmony as to architectural style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

2. Conflicting Standards

I. Zoning District Regulations

All designated landmarks and all properties located in historic districts shall be subject to the regulations of the base zoning district in which they are located, except for height as regulated in Section 14-4.6E, *General Design Standards for All Historic Districts*. When the requirements of the base zoning district conflict with the requirements of this Section 14-4.6, *Historic Districts*, the more restrictive standard shall apply.

II. Multiple Overlay Regulations

When a designated landmark or property located in a historic district is also located within another overlay, and there is a conflict between the requirements of the historic district and the other applicable overlay district, the more restrictive standard shall apply.

5. Boundaries

- a. The boundaries for the historic districts are as shown on the Official Zoning Map and incorporated in this Code by reference.
- b. If the boundary line of a historic district bisects or crosses a property without encompassing the entire lot, the applicable requirements of the historic district shall be as determined by the Planning and Land Use Director.

6. Design of Buildings

Full responsibility for the design and development of structures is upon the applicant. The case file of any prior application related to a property is available for review by the applicant upon request.

7. Nonconforming Buildings and Structures

Any building or structure in the historic district that does not meet the standards for architectural style outlined in this section shall be considered nonconforming, and subject to the provisions of Section 14-1.13(), *Legal Nonconforming Structures*, unless given special approval by the HDRB for architectural or historic interest, or unless individually entered in the state register of cultural properties or in the national register of historic places or designated as significant on either register.

B. Minimum Maintenance Requirements

All historic landmarks and all buildings and structures in the historic districts shall be preserved against decay and deterioration and maintained free of structural defects.

C. Buildings with Significant or Contributing Historic Status

I. Purpose

Historic designation is intended to address the following:

- I. Recognizing each structure as a physical record of its time, place, and use.
- II. Preventing changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings;

- III. Preserving and retaining changes to structures that have acquired historic importance in their own right, recognizing that most structures change over time;
 - IV. Preserving distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure; and
 - V. Avoiding making new additions and related or adjacent new construction in such a manner that, if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.
2. Designation of Significant, Contributing, or Noncontributing Status
- I. Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing," as defined in Section 14-9.3, *General Definitions*. Staff shall maintain a record as to the current status of structures located in the historic districts.
 - II. HDRB Authority to Review Status Designation
 - a. The HDRB may change the status of a structure or designate a status for a structure that has no status designated.
 - b. A change in status or the designation of a status shall be based upon an evaluation of data provided through a survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."
 - c. When the HDRB designates a structure as contributing, it shall also specify which facades of the structure are primary.
 - V. Restoration of Status

If a property owner makes changes to a structure without the proper City approvals, which result in the lowering of the structure's status, staff or the Board may require the property owner to restore the structure such that its former status is restored.
3. Review by Historic Districts Review Board Required
- I. Except where this chapter provides for review by staff, the HDRB shall review all applications for new construction, alteration, or demolition in the historic districts and of landmark structures throughout the city, based on the standards set forth in this section.
 - II. The historic board shall judge any proposed alteration or new structure for harmony with adjacent buildings, preservation of historical and characteristic qualities, and conformity to the standards for architectural style set forth in this section.
 - III. The HDRB may approve, deny, approve with conditions, or, with the consent of the applicant, postpone an application.
 - a. For applications approved with conditions, no permit shall be issued until the HDRB conditions have been met.
 - b. An application that is postponed shall be heard at a date agreed upon by the HDRB and the applicant.

IV. No permit shall be issued until the time for appeal to the Governing Body has expired.

4. Compliance with General and Specific Design Standards Required

All development located within the historic districts and subject to this section shall comply with all applicable general development standards set forth in Section 14-4.6E), *General Design Standards for All Historic Districts*, as well as any applicable specific development standards set forth in Section 14-4.6G), *Additional District-Specific Design Standards*.

D. Exceptions

The HDRB may grant an exception to the regulations set forth in this section, provided that such exception does not exceed the underlying zoning, except when the board of adjustment grants a variance. Staff shall determine whether an exception to general design and preservation standards described in Section 14-4.6E is required and shall recommend that the HDRB approve, approve with conditions, or deny the exception.

E. General Design Standards for All Historic Districts

These standards shall apply to all additions or alterations to existing structures in the Historic Districts. Contributing, significant, and landmark structures may be subject to specific additional restrictions and district-specific standards in Section 14-4.6G).

I. General

- I. The historic status of a property with a historic status designation of significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a property to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status is prohibited.
- II. If a proposed alteration or new construction will cause an adjacent property to lose its significant, contributing, or landmark status, the application may be denied.
- III. For the regulations of this subsection, all facades of a significant structure are primary facades.

2. Building Additions

I. Design

- a. Building additions that meet the standards of Section 14-4.6G.2), *Downtown and Eastside Historic District*, shall continue to meet those standards, in addition to the standards set forth in this section.
- b. Building additions shall have similar materials, architectural treatments and styles, features, and details as the existing structure, but shall be distinguishable from and not attempt to duplicate the existing structure.

II. Size and Location

- a. Building additions are not permitted on primary facades.
- b. All building additions shall be set back a minimum of ten feet from the

primary facade.

- c. Building additions shall not exceed 50 percent of the square footage of the building's historic footprint and shall not exceed 50 percent of the historic length in linear feet of the primary facade.
- d. To the extent architecturally practicable, new building additions shall be attached to any existing non-primary facade of a structure rather than attaching them to the primary facade of a structure.

III. Height

- a. The maximum height of building additions to significant and landmark structures shall be at least six inches lower than the parapet or equivalent roof feature of the existing adjacent connecting facade.
- b. Building additions to contributing structures shall be no more than one additional story higher than the existing structure. To the extent architecturally practicable, two-story additions shall be set to the rear or the side rear of the structure. When an additional story is to be placed upon an existing contributing structure, that footprint may be no greater than fifty percent of the footprint of the existing structure, subject to the provisions of Subsection A(1) above. For the purposes of this paragraph, an additional story shall not exceed twelve (12) feet from the existing rooftop to the highest point of that story.

IV. Remodeling to Increase Height

- a. For remodeling of an existing significant or landmark structure, no increase in height of the structure is permitted.
- b. For remodeling an existing contributing structure, a height increase may be permitted through approval of an exception, as described in Section 14-4.6D.

V. Rooftop Equipment

Rooftop equipment, including but not limited to solar collectors, clerestories, decks, or mechanical equipment, may only be installed on contributing and noncontributing structures and shall not be publicly visible, nor shall a parapet be raised to conceal such equipment.

3. Porches and Portals

Existing porches or portals on significant and landmark structures, and on primary facades of contributing structures, shall not be permanently enclosed.

4. Windows, Doors, and Other Architectural Features

- i. For all facades of significant and landmark structures and for the primary facades of contributing structures:
 - a. Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double-pane glass may be used. No window opening shall be widened or narrowed.
 - b. Window depth and other characteristics of window and door fenestration shall be preserved.

- c. No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - d. No historic opening shall be closed.
 - II. For all facades of contributing, significant, and landmark structures:
 - a. Architectural features, finishes, and details other than doors and windows shall be repaired rather than replaced.
 - b. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities.
 - c. Replacement or duplication of missing features shall be substantiated by documentation, physical, or pictorial evidence.
- 5. Roofs

The existing historic roof styles and materials shall be maintained or replaced in kind if necessary. The addition of dormers or other roof features should only be considered when they are an existing historic feature of the structure.
- 6. Surface Cleaning

The surface cleaning of structures shall employ the gentlest means possible. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials are not permitted.
- 7. Archaeological Resources

Discovery of archaeological resources made during the development of a historic property shall be referred to the Archaeological Review Committee. See Section 14-2.1G.1.V.c, *Unexpected Discoveries*.
- 8. Signs

Sign applications and required submittals shall be reviewed by the Planning and Land Use Department. Approval or denial shall be indicated by the department on the application for the construction permit and on each of the required submittals.
- 9. Murals

If an application impacts a mural funded through the art in public places program or is otherwise within the scope of the arts commission's enabling responsibilities,
- 10. Pedestrian-Oriented Areas
 - I. The HDRB shall recommend to the Governing Body appropriate streets or portions of streets within the historic district to be set aside for pedestrian-oriented areas.
 - II. The Governing Body may set aside the areas recommended, provided that three-fourths of the property owners adjoining the street or portion of street affected have given consent thereto.

- III. Such pedestrian-oriented areas shall be closed to vehicular traffic, and any improvements made by the City in the public right-of-way within the area shall be for pedestrian purposes.
- IV. No pedestrian-oriented area shall be set aside unless there is adequate space available conveniently related to the area for vehicle parking. The HDRB's recommendation to the Governing Body shall include a statement of the available parking spaces.

F. Height, Pitch, Scale, Massing, and Floor Step backs.

The height, pitch, scale, and massing of any structure in a historic district, as defined in this section, shall be limited as provided for in this section, unless further restricted elsewhere within this chapter.

G. Additional District-Specific Design Standards

5. Westside-Guadalupe Historic District

I. District Standards

Compliance with the following structural standards shall occur whenever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished.

- a. Slump block, stucco, brick, or stone shall be used as exterior wall materials. Wood and other materials may be used for details. Aluminum siding, metal, panels, mirrored glass, and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials;
- b. The color of stuccoed buildings shall predominantly be in browns, tans, local earth tones, and soft pastels. Surfaces of stone or brick shall be in the natural color. Entryways, and portales or porches may be emphasized by the use of white or other colors. Painting of buildings with a color that causes arresting or spectacular effects, or with bold repetitive patterns, or using buildings as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation.
- c. Roof form, slope, and shape. It is intended that the buildings be designed to be "wall-dominated". "Wall-dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, or hipped roofs can be designed as "wall-dominated" solutions and are allowed. The height of the roof above the wall shall be no greater than the height of the wall. Folded plate, hyperbolic, or mansard roofs are not allowed;
- d. The use of solar and other energy-collecting and conserving strategies is encouraged. The use of large glazed areas on south-facing walls for trombe walls or other solar collectors, direct gain, or other energy-collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened as follows:

- raising the parapet;
 - setting back from the edge of the roof;
 - Framing the collector with wood.
 - In the case of pitched roofs, by integrating the collector into the pitch;
 - In the case of ground solar collectors, by a wall or vegetation;
 - In the case of wall collectors, by enclosing or other walls;
 - Other means that screen the collector or integrate it into the overall structure. Non-glare materials shall be used in solar collectors.
- e. Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obstructive equipment shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems.
 - f. Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of unstuccoed concrete block, unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in the street frontage.
 - g. Greenhouses;
 - h. Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends, and that greenhouses made from enclosed porches or portals maintain the shape of the porch or portal.
 - i. Porches and portales are encouraged;
 - j. When parking spaces are required for commercial or multi-family residential buildings, they shall be placed to the rear or side of the building.

II. Walls; Fences; Solar Collectors: Administration

Applications for the erection, alteration, or demolition of walls, fences, and solar collectors and required submittals shall be reviewed by the planning and land use department. Approval, disapproval, or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division staff shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30, Ord. No. 2020-22)

OWNER SUBMITTAL

Property Owner: Maxfield Scott
619 West Alameda
Santa Fe, New Mexico 87501

Date: 02/12/2025

To:

Historic Districts Review Board
City of Santa Fe Planning and Land Use Department
Santa Fe, New Mexico

Re: Historic Architectural Submittal – Stabilization and Rehabilitation

Property: 619 West Alameda, Santa Fe, NM 87501

Dear Members of the Historic Districts Review Board,

This letter is submitted in support of the Historic Districts Review Board (HDRB) application for the proposed remodel of property located at **619 West Alameda, Santa Fe, New Mexico**, within the **Westside–Guadalupe Historic District**. This narrative is intended to serve as a complete written description of the scope of work and is provided to clearly describe each component of the proposed project, independent of the architectural drawings, in accordance with HDRB submittal requirements and standard review practices.

The proposed work has two primary components: 1. **Stabilization** of the existing historic structure and 2. **Rehabilitation** of such same structure.

The project is designed to preserve and reinforce the historic streetscape along West Alameda. This is accomplished through stabilizing and reviving the deteriorated historic building and sensitively revitalizing the character the building has left behind. The work will be in a manner that is compatible with the established architectural character of the historic district.

I. Architectural History of the Property

The property at 619 West Alameda contains a small, single-story Pueblo Revival–style residential structure that is believed to have been constructed in the early-to-mid 1940s. While documentation is limited, the earliest recorded deed dates to 1945, and aerial photography confirms the presence of a building on the site by 1948, with a square footprint visible by 1951.

The historic structure was constructed in phases: - An **original front (south) rectangular adobe structure**; - A **full-width rear (north) pen tile addition**, likely completed by the early 1950s; and - A **small wood-framed rear addition**, constructed no later than the mid-1970s, which collapsed in late 2024 or early 2025 and no longer exists beyond its foundation.

While the building's **West** and **South facades** have been **identified as contributing** to the Westside-Guadalupe Historic District, the rest of the building **does not** hold that title. Yet, this building's scale, design, and materials are typical of the surrounding historic residences on West Alameda. The building has suffered decades of deterioration, including roof failure, cracking of exterior walls, exposed foundations, vandalism, and partial interior collapse. The proposed work seeks to arrest this deterioration, stabilize the remaining historic fabric, and ensure the building's long-term preservation in accordance with accepted historic preservation practices.

II. Existing Site Conditions

- **Lot size:** Approximately 4,967 square feet
 - **Zoning:** R-29
 - **Existing lot coverage:** Approximately 14.3%
 - **Setting:** Urban residential
 - **Topography:** Relatively flat
 - **Existing development:** One deteriorated single-story historic structure (Unit A), remnants of a collapsed wood-framed addition, perimeter fencing and yard walls of mixed age and condition
-

III. Proposed Scope of Work – Historic Structure

A. Use and Function

The existing historic structure will remain at the front of the property facing West Alameda and will be rehabilitated for use as a **one-bedroom, one-bath casita**.

B. Footprint and Square Footage

- **Existing footprint:** 892 square feet
- **Existing roofed area:** 710 square feet
- **Proposed footprint:** 710 square feet
- **Proposed roofed area:** 710 square feet
- **Unroofed / flat exterior surfaces:** None beyond existing grade-level areas
- **No expansion of footprint** is proposed for Unit A

C. Height

- **Existing height:** 9 feet 4 inches from finished grade to top of parapet
- **Proposed height:** 10 feet 6½ inches from finished grade to top of parapet

This modest increase in height results solely from the installation of a **new structural bond beam and reconstructed roof system**. This installation is necessary to stabilize the historic adobe and pen tile walls. The parapet height will remain minimal and consistent with traditional Pueblo Revival proportions.

D. Structural Stabilization

- Removal of the failing roof structure
- Installation of a reinforced concrete bond beam atop existing exterior walls to prevent further horizontal movement and cracking
- Reconstruction of a traditional viga roof system above the bond beam
- New roof decking, insulation, and roofing assembly

These measures are necessary to stabilize the historic structure, prevent continued structural failure, and allow for the retention of the existing historic walls and exterior appearance.

E. Roof

- **Type:** Flat roof with parapet
- **Drainage:** Traditional canales

F. Exterior Walls, Materials, and Finishes

- **Walls:** Existing adobe and pen tile walls retained
- **Finish:** Cement stucco, repaired and refinished to match existing historic texture
- **Color:** Suede stucco from El Rey (to be finalized in coordination with HDRB staff)

G. Windows and Doors

- **Windows:** Existing wood, double-hung, single-glazed windows retained and rehabilitated
 - Wood frames
 - Painted finish
 - Concrete sills
- **Doors:** Existing wood doors retained where feasible and repaired; non-original doors replaced in-kind with appropriate wood doors

No enlargement, relocation, or new openings are proposed for the historic structure.

H. Yard Walls and Site Elements (Unit A)

- 3 foot masonry yard wall facing street frontage

VI. Conclusion

The proposed project at 619 West Alameda is a **preservation-driven intervention** that stabilizes a deteriorated historic structure that additionally revitalizes it in a manner consistent with prior HDRB approvals for rehabilitation and contextual infill projects within the historic district. The design prioritizes:

- Long-term preservation of the historic building
- Minimal visual impact on the streetscape
- Compatibility with surrounding historic development
- Traditional materials and finishes

We respectfully request the Historic Districts Review Board's approval of this proposal.

Sincerely,

Maxfield Scott

Mesa Verde Construction, LLC

Date: March 10, 2026

To: Planning and Land Use Department
City of Santa Fe, NM

From: Scott Irving, Designer/Builder
Mesa Verde Construction, LLC
NM GB-98 #419455

Re: Request for height exceptions to proposed Remodel and Addition to property @ 619 West Alameda, Santa Fe, NM

Max Scott, the President and Qualifying party for Mesa Verde Construction, LLC and the owner of record of the R-29 zoned property @ 619 West Alameda, Santa Fe, New Mexico would like to request height exceptions for the historic single-family residence and additional dwelling unit proposed for 619 West Alameda, Santa Fe, New Mexico.

Ms. Lani McCulley, Senior Planner for the Historic Preservation Division of the City of Santa Fe Planning and Land Use Department identified the maximum height allowed by code for 619 West Alameda, without an allowance for exception, at 14'- 10" in an email on 11/18/2025. This request for exception is written in the format of the "Historic Districts and Historic Landmarks, Height, Pitch, Scale, Massing, and Floor Stepbacks Exception Criteria" to explain the proposal's need for height exceptions.

(i) Do not damage the character of the streetscape

The historic structure, Unit A in our proposal, will remain well below Ms. McCulley's maximum height (14'-10"), but we do request a height change to this structure. Unit A's combination of adobe and pen-tile construction was built without a unifying bond beam atop the exterior walls. This has allowed horizontal movement at material joints and window and door rough openings, causing considerable cracking in the exterior walls. The original viga ceilings were removed at some point in the past and replaced with 2x roof rafters. These 2x rafters were undersized and failed under the weight of the roof years ago. The dutchmen patches used to prevent roof collapse are not providing adequate structure and are also failing. Mesa Verde wishes to remove the existing roof and place a stabilizing concrete bond beam atop the existing exterior wall. The bond beam will prevent further horizontal movement in the building's cracks and unify the adobe and pen tile structure thus preparing it for a new viga roof. The resulting change in roof construction will change the building's height from: 9'- 4" from existing grade to top of stucco-finished parapet walls, to: 10'- 6 1/2" from top of existing grade to top of stucco-finished parapet walls. This increase in height will not affect the character of this historic structure or streetscape. It keeps the parapet at minimum height and secures the preservation of the existing structure for the foreseeable future.

(ii) Prevent hardship to the applicant or an injury to the public welfare

The historic structure, Unit A in our proposal, will continue to deteriorate without the addition of the proposed bond beam. The engineered bond beam, viga ceiling structure, r-49 insulation tapered insulation and roofing have been proposed to be installed directly atop the top of the existing historic walls. We cannot shorten the structure without reducing the height of the exterior walls.

This will prevent an undue hardship to the owner and injury to the public welfare from the continued deterioration of the structure of Unit A.

- (iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Unit A's combination of adobe and pen-tile construction was built without a unifying bond beam atop the exterior walls. This has allowed horizontal movement at material joints and window and door rough openings, causing considerable cracking in the exterior walls. The original viga ceilings were removed at some point in the past and replaced with 2x roof rafters. These 2x rafters were undersized and failed under the weight of the roof years ago. The dutchmen patches used to prevent roof collapse are not providing adequate structure and are also failing. Mesa Verde wishes to remove the existing roof and place a stabilizing concrete bond beam atop the existing exterior wall. The bond beam will prevent further horizontal movement in the building's cracks and unify the adobe and pen tile structure thus preparing it for a new viga roof. The resulting change in roof construction will change the building's height from: 9'- 4" from existing grade to top of stucco-finished parapet walls, to: 10'- 6 1/2" from top of existing grade to top of stucco-finished parapet walls.

- (iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape.

Unit A's combination of adobe and pen-tile construction was built without a unifying bond beam atop the exterior walls. This has allowed horizontal movement at material joints and window and door rough openings, causing considerable cracking in the exterior walls. The original viga ceilings were removed at some point in the past and replaced with 2x roof rafters. These 2x rafters were undersized and failed under the weight of the roof years ago. The dutchmen patches used to prevent roof collapse are not providing adequate structure and are also failing. Mesa Verde wishes to remove the existing roof and place a stabilizing concrete bond beam atop the existing exterior wall. The bond beam will prevent further horizontal movement in the building's cracks and unify the adobe and pen tile structure thus preparing it for a new viga roof. The resulting change in roof construction will change the building's height from: 9'- 4" from existing grade to top of stucco-finished parapet walls, to: 10'- 6 1/2" from top of existing grade to top of stucco-finished parapet walls.

- (v) Are due to special conditions and circumstances which are not the result of the actions of the applicant

The deterioration of the abandoned historic Unit A has been in process for decades. Mesa Verde Construction, LLC's remodel of this structure will save it for posterity and is no fault of the company's owner.

- (vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)

The resulting change in roof construction will change the building's height from: 9'- 4" from existing grade to top of stucco-finished parapet walls, to: 10'- 6 1/2" from top of existing grade to top of stucco-finished parapet walls while preserving the overall appearance of the unit.

Sincerely,

Scott Irving
Mesa Verde Construction, LLC

a remodel for a historic & contributing structure @ 619 west alameda, santa fe, new mexico

sheet index

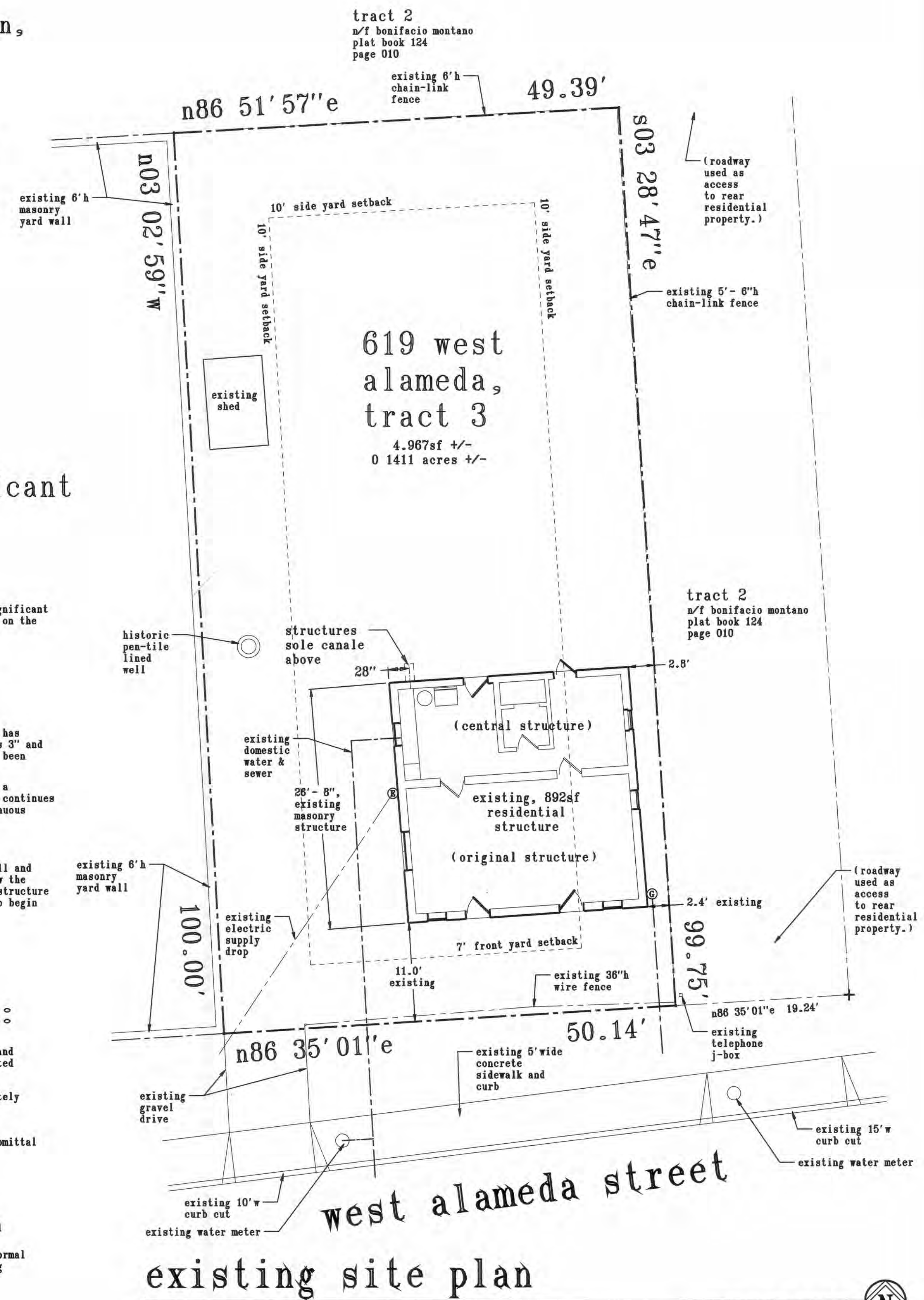
- a1.1 title, sheet index, existing site plan, analysis of historic structure and repair work required
- a1.2 proposed site plan
- a2.1 619 west alameda proposed floor plan
- a3.1 existing and proposed south & west exterior elevations
- a3.2 existing and proposed north & east exterior elevations

notes documenting significant issues with the existing construction:

- 1 the center structures attachment (if there is one) is failing and significant cracks between these structures are beginning to open up between them on the east and west facades.
- 2 the home was constructed with no bond beam installed. ceiling heights in public space vary by 3". ceilings have been replaced at some time with the original structures vigas protruding from the south wall along west alameda.
- 3 the original southerly, adobe section of the single family residence has significantly over-spanned roof-rafters. they are sagging as much as 3" and several rafters on the western side of the structure have failed and been scabbed to prevent a complete structural failure.
- 4 the southerly, original adobe structure's lack of a bond beam causes a structural break in the wall at window and door headers that has and continues to enable significant movement in the structure manifesting as continuous cracks from top to bottom of wall.
- 5 the southwest corner of the building is separating from the south wall and moving west. the large % of openings towards the corner hasn't allow the walls to buttress the corner preventing movement. cracks inside the structure between the floor and exterior wall have opened allowing the floor to begin sinking along length of the existing west wall.

scope of work to repair/rebuild structure:

1. carefully remove the existing windows with frames and kitchen door and frame from the home. reconstruct windows as described in the submitted "window condition assessment" prepared by Scott Ernst.
2. the existing roof(s) and insulation below must be removed to completely clear the roof.
3. remove the existing roof decking and roof rafters.
4. construct the concrete bond beam detailed in the building permit submittal atop existing adobe & pen-tile walls.
5. brace the sw building corner to prevent futher western movement.
6. unused
7. construct new structural roof membrane per building permit submittal and attach to new bond beam below.
8. follow the instructions in construction documents included in the formal building permit submittal to complete reconstruction of the existing single family residence.



existing site plan

scale: 1/8" = 1'-0"

drawn

date: 2/12/2028

project
a remodel for
619 West Alameda
santa fe, NM

sheet title
title, sheet index, existing
site plan, analysis of
historic structure
and repair work required

revisions

sheet
no. a1.1

checked

2504 camino alfredo, santa fe, nm 87501
dodgerfan2504@gmail.com 505-670-8149

existing 6'h chain-link fence

49.39'

n86 51' 57" e

existing 6'h masonry yard wall

n03 02' 59" w

15' rear -yard setback

5' side-yard setback

5' side-yard setback

(2) - 8.5' w x 18' l parking spaces
guest parking

steel cap protects historic pen-tile well

619 west alameda, tract 3

4.967sf +/-
0.1411 acres +/-
ground floor enclosed area = 710sf
total lot coverage = 14.3%

unit A
historic structure
1 bed, 1 bath
heated area = 710sf

s03 28' 47" e
99.75'

new 40" h masonry yard wall, 2plcs

5' - 0"

2' - 10 1/2" existing setback

(roadway used as access to rear residential property.)

2' - 5" existing setback

2' - 3"

parking space 1

11' - 0" existing setback

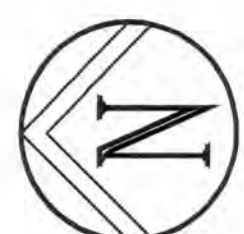
2" base-course paved access drive

new, 40" h masonry yard wall

n86 35' 01" e

50.14'

proposed site plan



scale: 1/8" = 1' - 0"

sheet no. a1.2

revisions

sheet title
proposed site plan

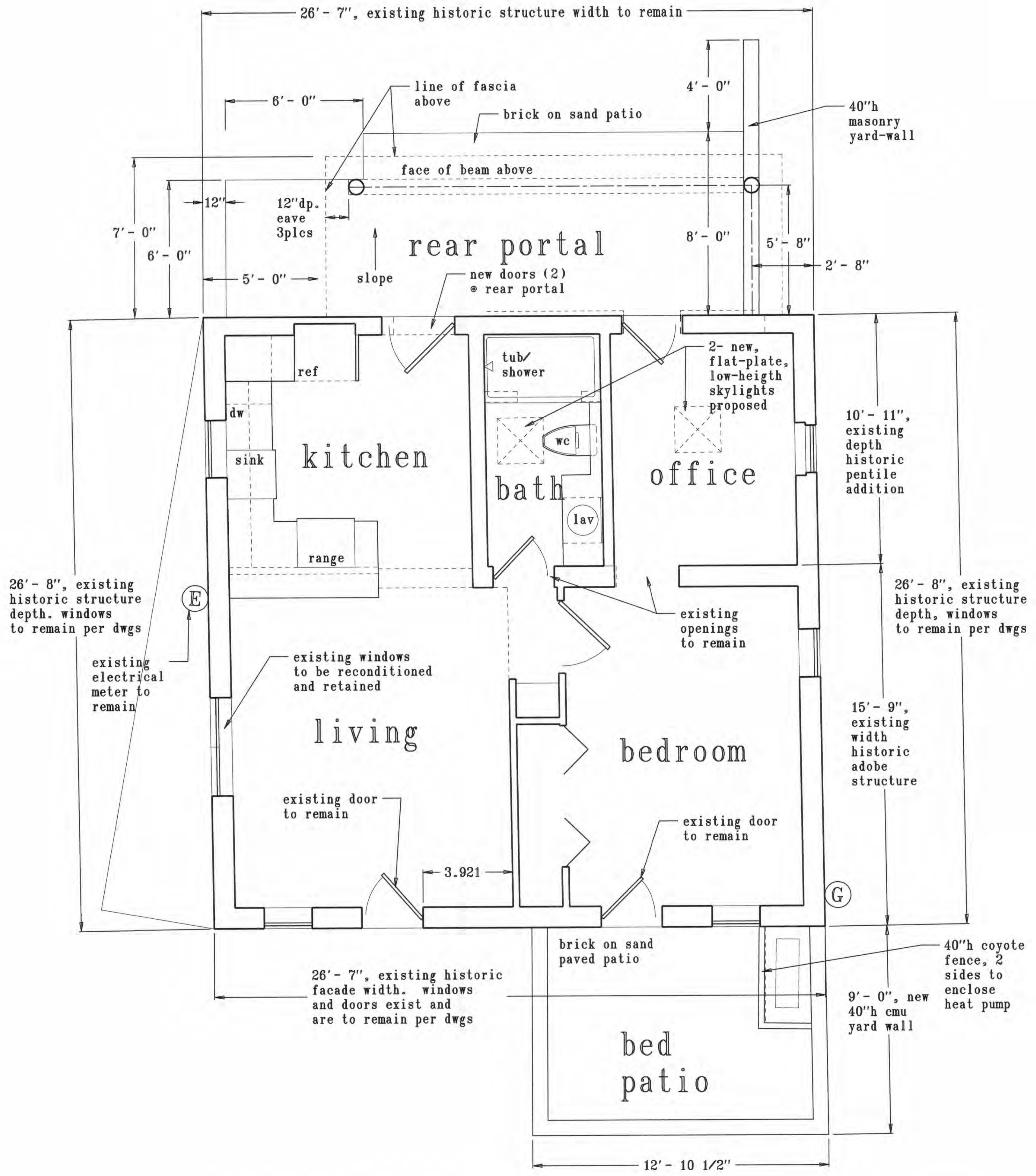
project
a remodel for
619 West Alameda
santa fe, NM

date:
2/12/2026

designers
DESIGNERS

drawn

2504 camino alfredo, santa fe, nm 87501
dodderfan2504@gmail.com 505-670-8149
checked



proposed floor plan

scale: 3/8" = 1'-0"



G D

drawn *[Signature]*

project a remodel for 619 west Alameda, 619 West Alameda proposed floor plan

sheet title

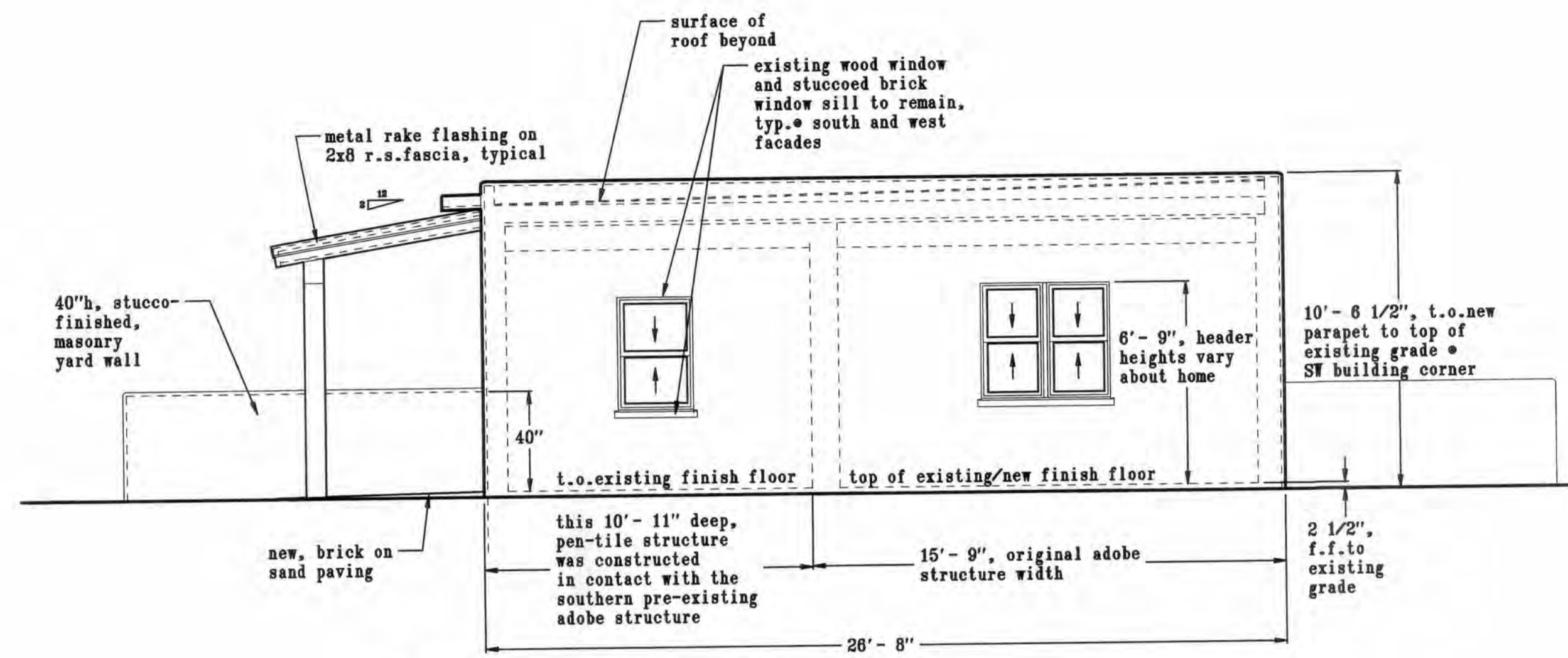
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sheet no. a2.1

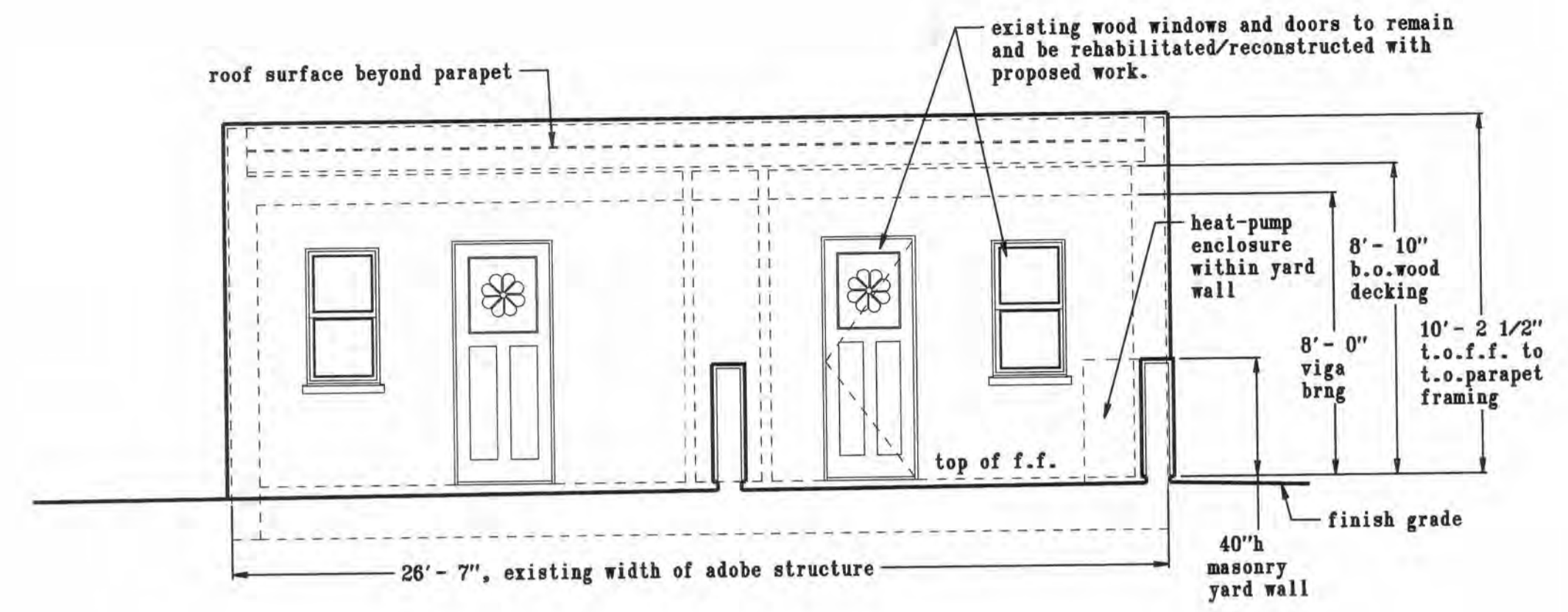
date: 2/12/2026

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dodgerfan2504@gmail.com 505-670-8149



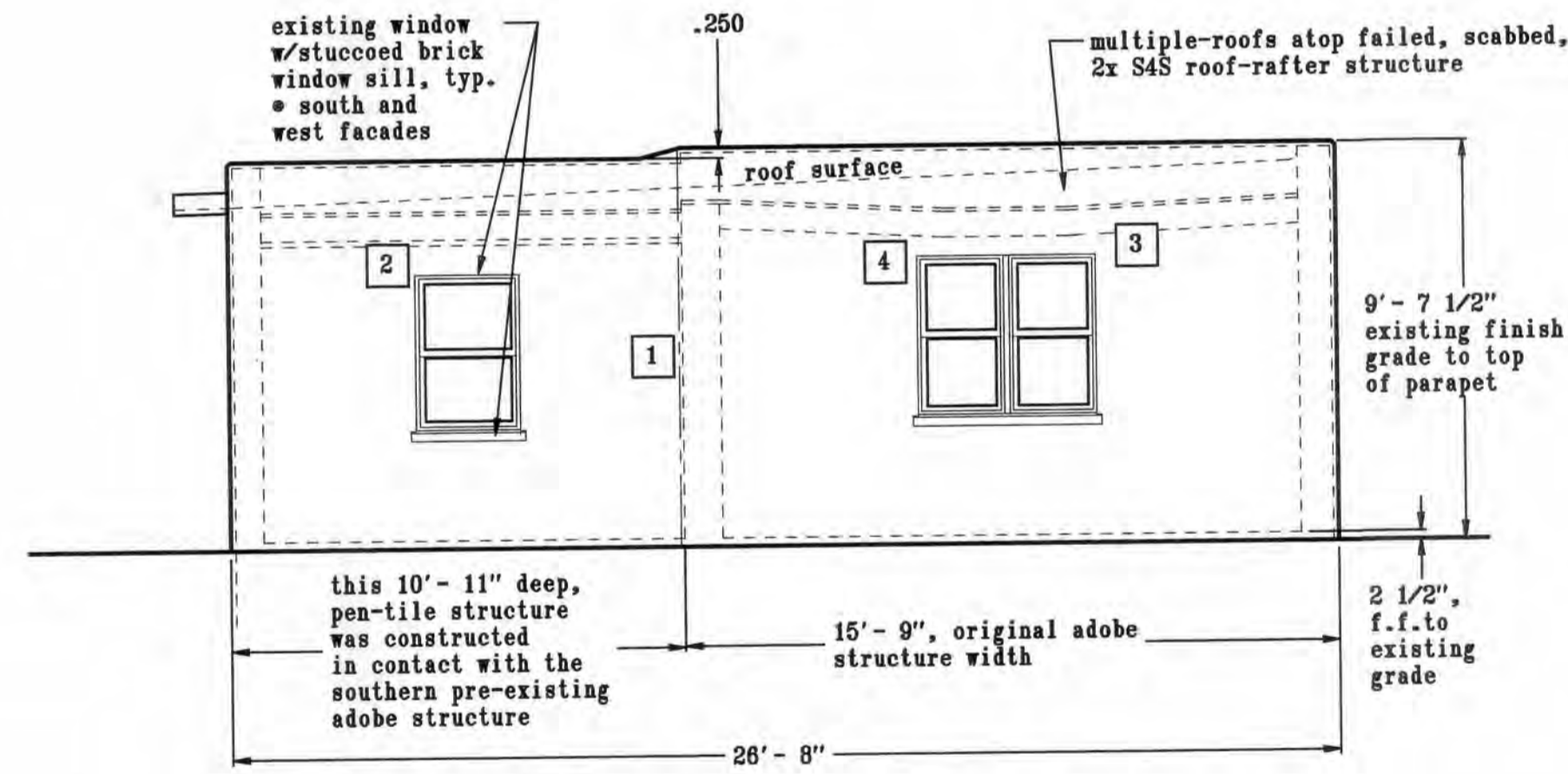
west elevation
proposed elevations



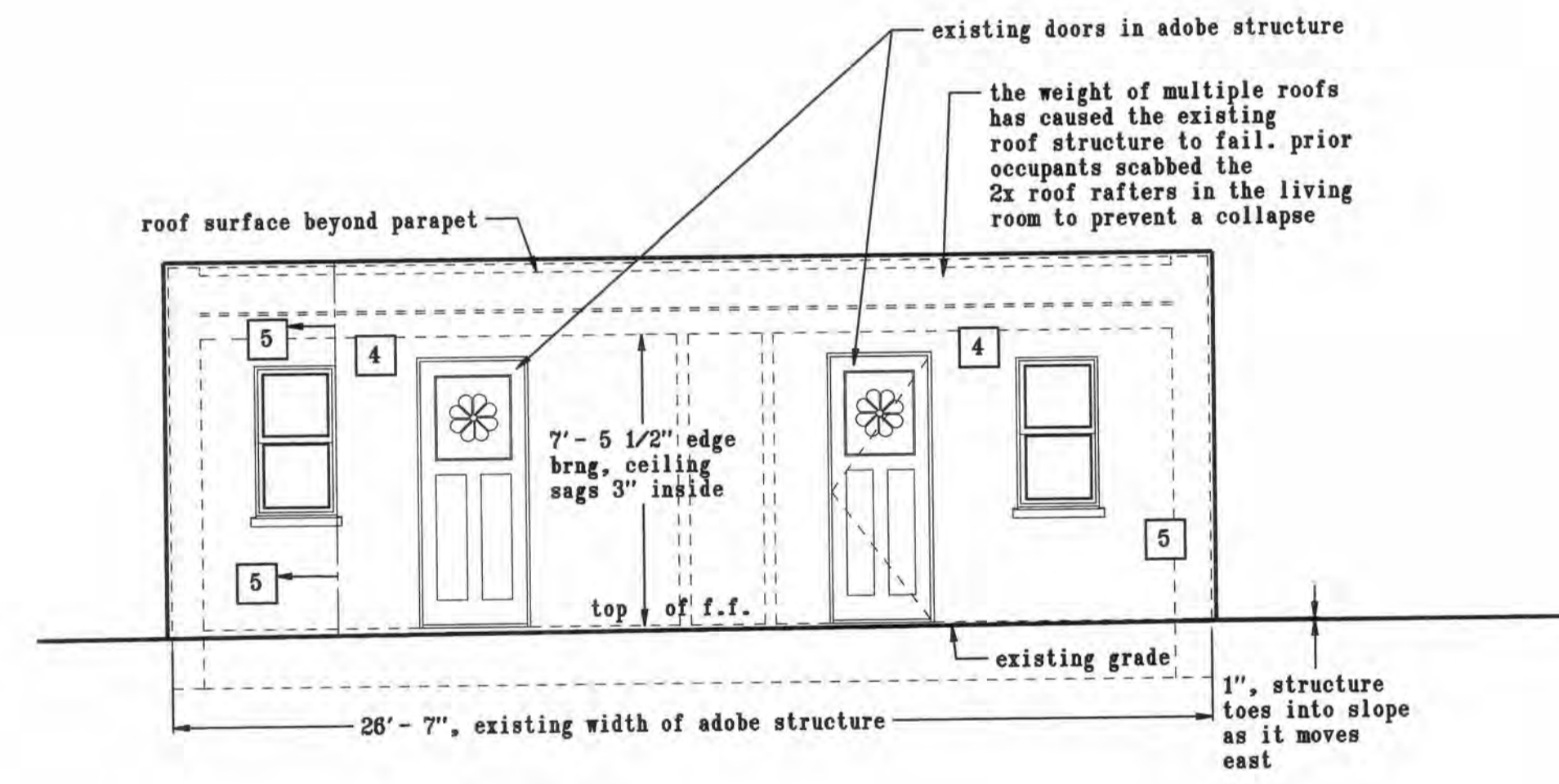
south (street) elevation

scale: 1/4" = 1'- 0"

west elevation



west elevation
existing elevations



south (street) elevation

scale: 1/4" = 1'- 0"

sheet no.

a3.1

revisions

existing & proposed,
south & west
exterior elevations

project

a remodel for
619 West Alameda
santa fe, NM

date

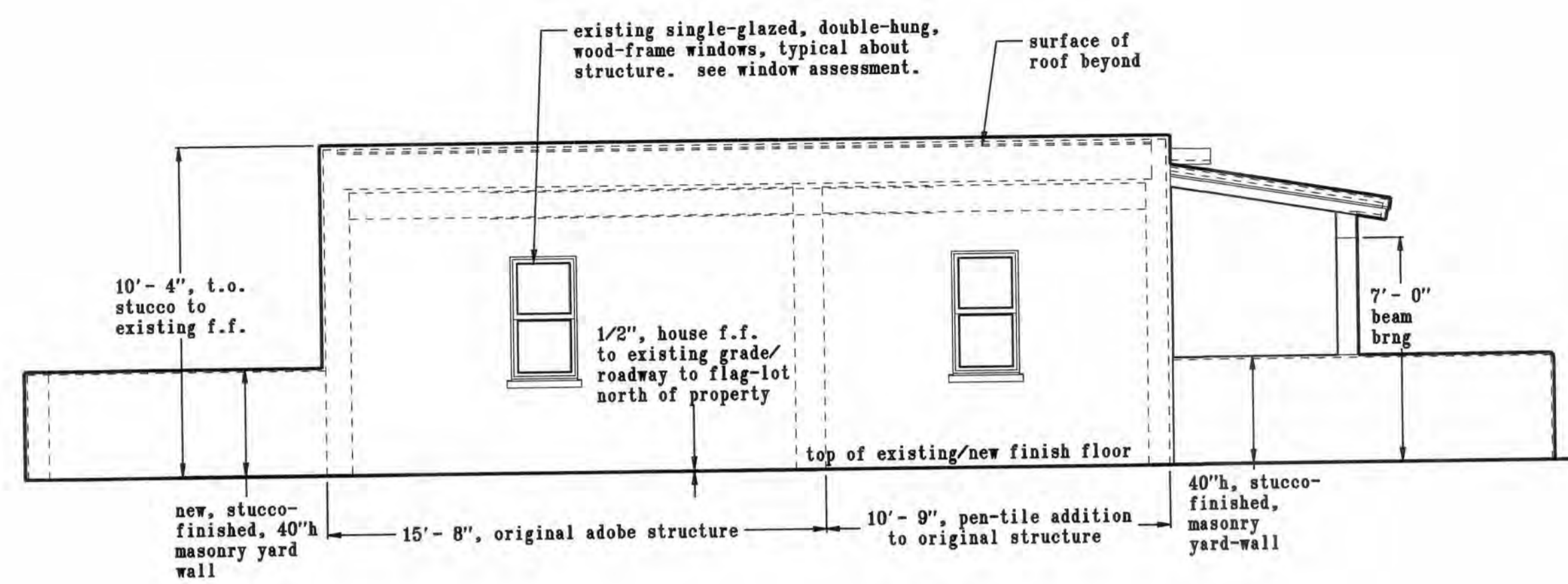
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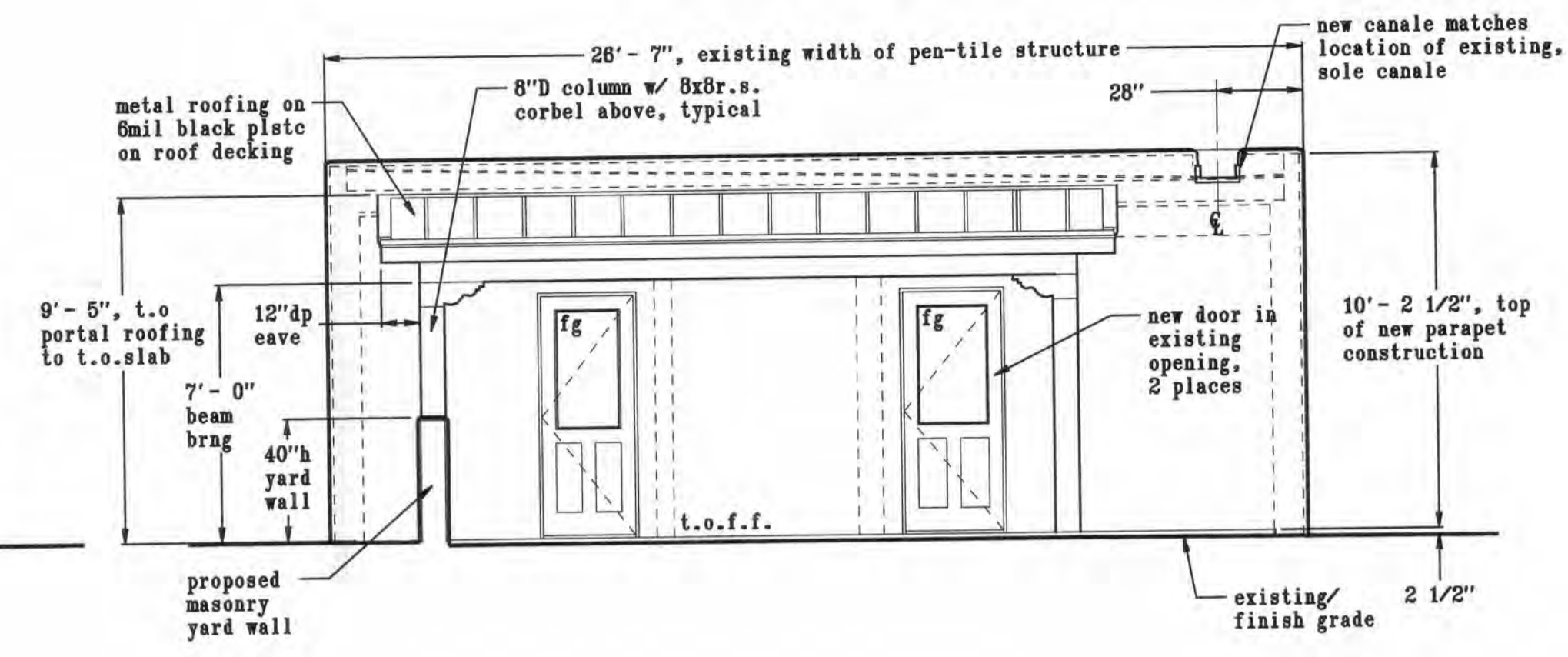
JD

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dodgerfan2504@gmail.com 505-670-8149

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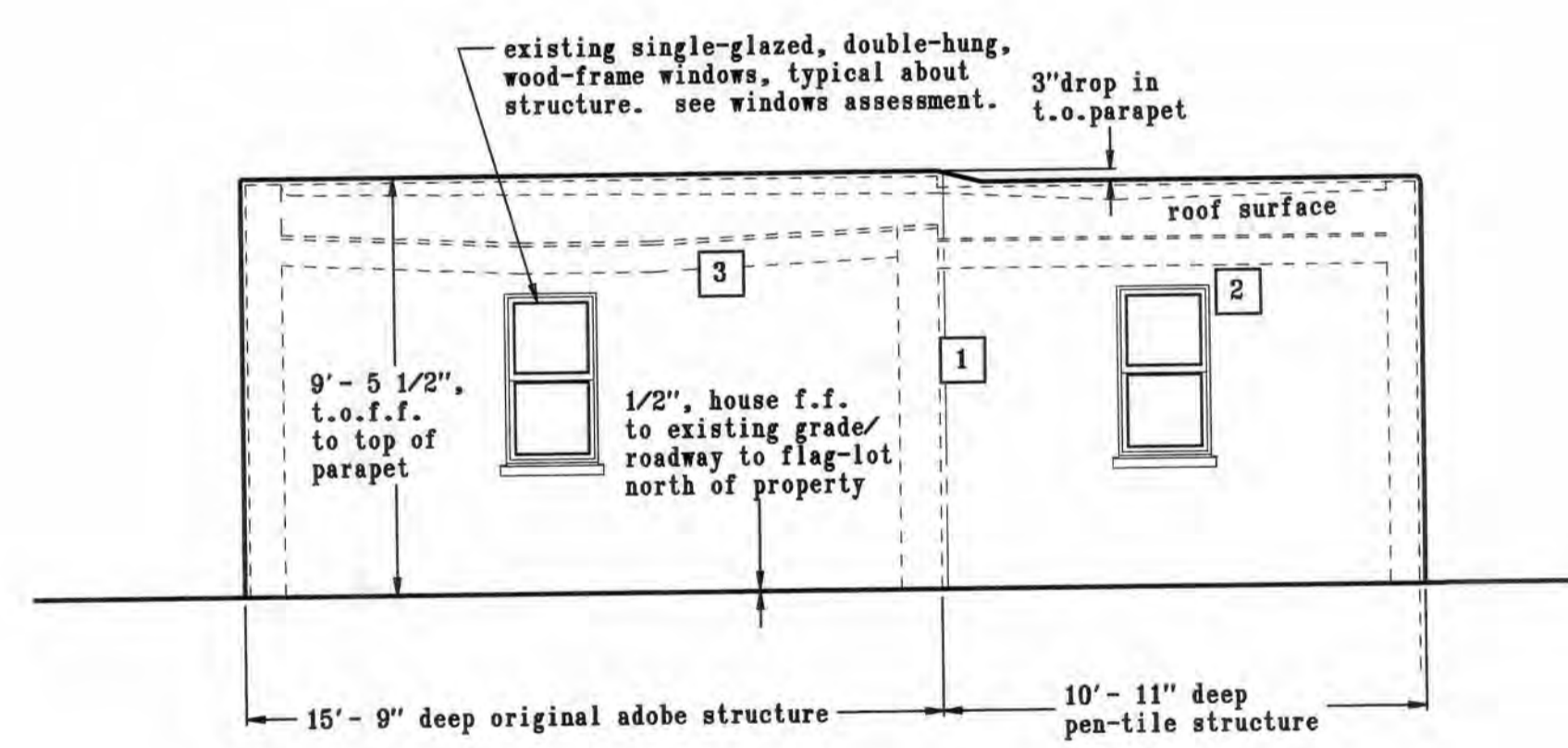
east elevation
proposed elevations



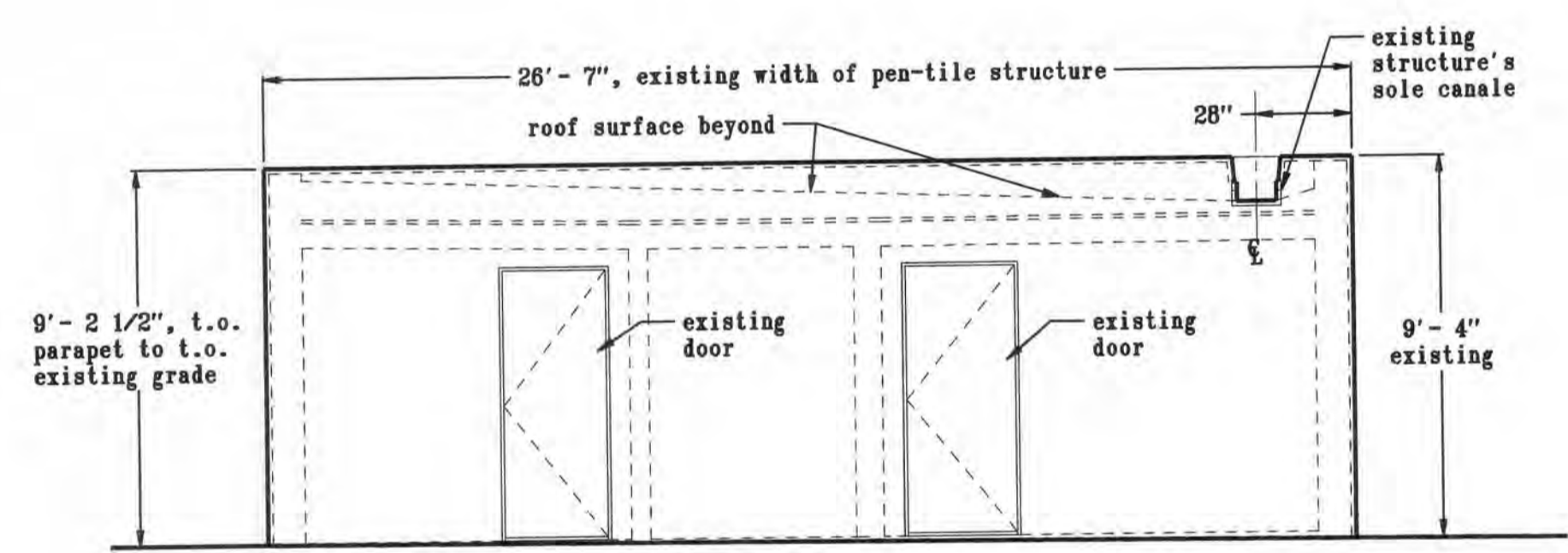
north elevation

scale: 1/4" = 1'-0"

west elevation



east elevation
east elevation
existing elevations



north elevation

scale: 1/4" = 1'-0"

drawn *[Signature]*

project
a remodel for
619 West Alameda
santa fe, NM

sheet title
existing & proposed,
north & east
exterior elevations

revisions

sheet no.
a3.2

date:
2/12/2026

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