

OWNER SUBMITTAL

Property Owner: Maxfield Scott
619 West Alameda
Santa Fe, New Mexico 87501

Date: 05/11/2026

To:

Historic Districts Review Board
City of Santa Fe Planning and Land Use Department
Santa Fe, New Mexico

Re: Historic Architectural Submittal – Addition and New Construction

Property: 619 West Alameda, Santa Fe, NM 87501

Dear Members of the Historic Districts Review Board,

This letter is submitted in support of the Historic Districts Review Board (HDRB) application for the proposed remodel of property located at **619 West Alameda, Santa Fe, New Mexico**, within the **Westside–Guadalupe Historic District**. This narrative is intended to serve as a complete written description of the scope of work and is provided to clearly describe each component of the proposed project, independent of the architectural drawings, in accordance with HDRB submittal requirements and standard review practices.

The proposed work has two primary components: 1. **Addition** to the existing historic structure and 2. **New Construction** of a smaller ADU in the rear of the property.

The project is designed to preserve and reinforce the historic streetscape along West Alameda. This is accomplished through expanding the historic building to be a comfortable living space and sensitively adds an ADU to capitalize the space of the property. The work will be in a manner that is compatible with the established architectural character of the historic district and in accordance with the work that has already been approved by the Historic Board.

I. Architectural History of the Property

The property at 619 West Alameda contains a small, single-story Pueblo Revival–style residential structure that is believed to have been constructed in the early-to-mid 1940s. While documentation is limited, the earliest recorded deed dates to 1945, and aerial photography confirms the presence of a building on the site by 1948, with a square footprint visible by 1951.

The historic structure was constructed in phases: - An original front (south) rectangular adobe structure; - A full-width rear (north) pen tile addition, likely completed by the early 1950s; and - A small wood-framed rear addition, constructed no later than the mid-1970s, which collapsed in late 2024 or early 2025 and no longer exists beyond its foundation.

While the building's West and South facades have been identified as contributing to the Westside-Guadalupe Historic District, the rest of the building does not hold that title. Yet, this building's scale, design, and materials are typical of the surrounding historic residences on West Alameda. The building has suffered decades of deterioration, including roof failure, cracking of exterior walls, exposed foundations, vandalism, and partial interior collapse. The proposed work seeks to add the collapsed portion back on to the original historic structure, as well as adding a small foyer. The goal is to bring back what already existed and add a small foyer to be a tasteful entry point to the building.

II. Existing Site Conditions

- **Lot size:** Approximately 4,967 square feet
 - **Zoning:** R-29
 - **Existing lot coverage:** Approximately 14.3%
 - **Setting:** Urban residential
 - **Topography:** Relatively flat
 - **Existing development:** One deteriorated single-story historic structure (Unit A), remnants of a collapsed wood-framed addition, perimeter fencing and yard walls of mixed age and condition
-

III. Proposed Scope of Work – Addition to Already Approved Historic Structure

A. Use and Function

The existing historic structure will remain at the front of the property facing West Alameda. We would just like to rebuild the collapsed pen-tile structure on the north side of the building and then add a small foyer to the west of the rebuilt addition.

B. Footprint and Square Footage

- **Existing footprint:** 892 square feet
- **Existing roofed area:** 710 square feet
- **Proposed footprint:** 937 square feet
- **Proposed roofed area:** 937 square feet
- **Pentile Addition:** 189 square feet

- **Foyer:** 52 square feet
- **Unroofed / flat exterior surfaces:** None beyond existing grade-level areas

C. Height

- **Existing height:** 9 feet 4 inches from finished grade to top of parapet
- **Proposed height:** 10 feet 6½ inches from finished grade to top of parapet

This modest increase in height results solely from the installation of a new structural bond beam and reconstructed roof system for the historic building that **has already been approved**. This installation is necessary to stabilize the historic adobe and pen tile walls. The parapet height will remain minimal and consistent with traditional Pueblo Revival proportions.

D. Roof

- **Type:** Flat roof with parapet
- **Drainage:** Traditional canales

E. Exterior Walls, Materials, and Finishes

- **Walls:** Existing pen tile walls retained and new construction walls made to look like existing historic adobe walls
- **Finish:** Cement stucco, repaired and refinished to match existing historic texture
- **Color:** Suede stucco from El Rey (to be finalized in coordination with HDRB staff)

F. Windows and Doors

- **Windows:** Existing wood, double-hung, single-glazed windows retained and rehabilitated
 - Wood frames
 - Painted finish
 - Concrete sills
- **Doors:** Existing wood doors retained where feasible and repaired; non-original doors replaced in-kind with appropriate wood doors

No enlargement, relocation, or new openings are proposed for the collapsed addition.

G. Yard Walls and Site Elements

- 3 foot masonry yard wall facing street frontage

IV. Proposed New Construction – Rear Unit

A. General Description

The project includes the construction of a new residential unit at the rear of the property, located behind the historic structure and accessed via an existing driveway from West Alameda. This unit is designed as a detached residential structure and is carefully sited to maintain the primacy of the historic building at the street frontage.

B. Use and Configuration

- New unit is proposed as two-bedroom, two-bath residential ADU
- Unit is located within the rear portion of the lot
- The unit is designed with a modest footprint and massing consistent with surrounding residential development

C. Square Footage

- Rear Unit: **745 square feet (heated area)**

D. Height and Massing

- **Proposed Height:** 10 feet 6 ½ inches from finished grade to top of parapet
- Single-story construction
- Height is kept low and consistent with traditional Pueblo Revival forms
- Structure is visually subordinate to the historic structure when viewed from West Alameda

E. Architectural Character

The new unit is designed to be **compatible** with the historic structure, incorporating:

- Flat roof with parapet
- Stucco finishes are consistent with traditional materials and will be the color Suede [please refer to the document “Stucco Styles, Material, and Color Guidance in the Historic Districts”]
- Window and door openings reflective of typical historic Santa Fe style

V. Site Improvements and Access

A. Access and Parking

- Existing driveway from West Alameda will continue to provide access to the rear of the property
- Stabilized and improved access drive with base course and paving as indicated in plans
- On-site parking provided at the rear

B. Landscaping and Hardscape

- Minimal disturbance to existing grade
 - Introduction of stabilized surfaces and pavers for access and circulation
 - Landscaping to remain consistent with residential character of the district
-

VI. Compatibility with Historic District

The proposed new construction has been carefully designed to:

- Maintain the visual dominance of the historic structure at the street frontage
 - Be subordinate in scale and placement
 - Utilize traditional materials and forms consistent with Pueblo Revival architecture
 - Avoid creating visual competition with contributing historic elements
-

VII. Conclusion

The proposed project at 619 West Alameda is a comprehensive preservation and infill effort that stabilizes and rehabilitates a deteriorated historic structure while introducing a thoughtfully designed new residential unit at the rear of the property.

The design prioritizes:

- Long-term preservation of the historic building
- Minimal visual impact on the streetscape
- Compatibility with surrounding historic development
- Appropriate scale and placement of new construction
- Use of traditional materials and finishes

We respectfully request the Historic Districts Review Board's approval of this proposal.

Sincerely,

Maxfield Scott
Mesa Verde Construction, LLC

W I N D O W S C H E D U L E		STYLE/TYPE		QTY	REMARKS
MARK	R.O. WIDTH	R.O. HEIGHT			
A	unused				
B	n/a	n/a	existing (1) double-hung, wood window	1	reconstruct window to exact dimensions in wood to match existing and replace in existing rough opening
C	n/a	n/a	existing (1) double-hung, wood window	1	reconstruct window to exact dimensions in wood to match existing and replace in existing rough opening
D	n/a	n/a	existing (1) double-hung, wood window	1	reconstruct window to exact dimensions in wood to match existing and replace in existing rough opening
E	n/a	n/a	existing (1) double-hung, wood window	1	reconstruct window to exact dimensions in wood to match existing and replace in existing rough opening
F	n/a	n/a	existing (2) double-hung, wood windows	1	reconstruct window to exact dimensions in wood to match existing and replace in existing rough opening
G	n/a	n/a	existing (1) double-hung, wood window	1	reconstruct window to exact dimensions in wood to match existing and replace in existing rough opening

Window notes

1. new windows to be perfect reproductions of existing wood, double-hung windows throughout home.
2. Confirm existing window rough opening sizes prior to fabrication of windows. Install new windows with full window wrap detail in existing rough openings.
3. windows shall have a maximum U factor of 0.30

S K Y L I G H T S C H E D U L E		MFR MODEL NUMBER		QTY	DESCRIPTION
ROOM	OUTSIDE CURB DIMENSIONS				
bath	25 1/2" x 25 1/2"	FCM2222 (fixed curb mount)		1	fixed, curb-mount skylight w/double-insulated glass lite. max U-factor = 0.30
office	25 1/2" x 25 1/2"	FCM2222 (fixed curb mount)		1	fixed, curb-mount skylight w/double-insulated glass lite. max U-factor = 0.30

619 west alameda remodel - window and skylight specifications

619 W Alameda

Previously

Approved

Documents

a remodel for a historic & contributing structure @ 619 west alameda, santa fe, new mexico

sheet index

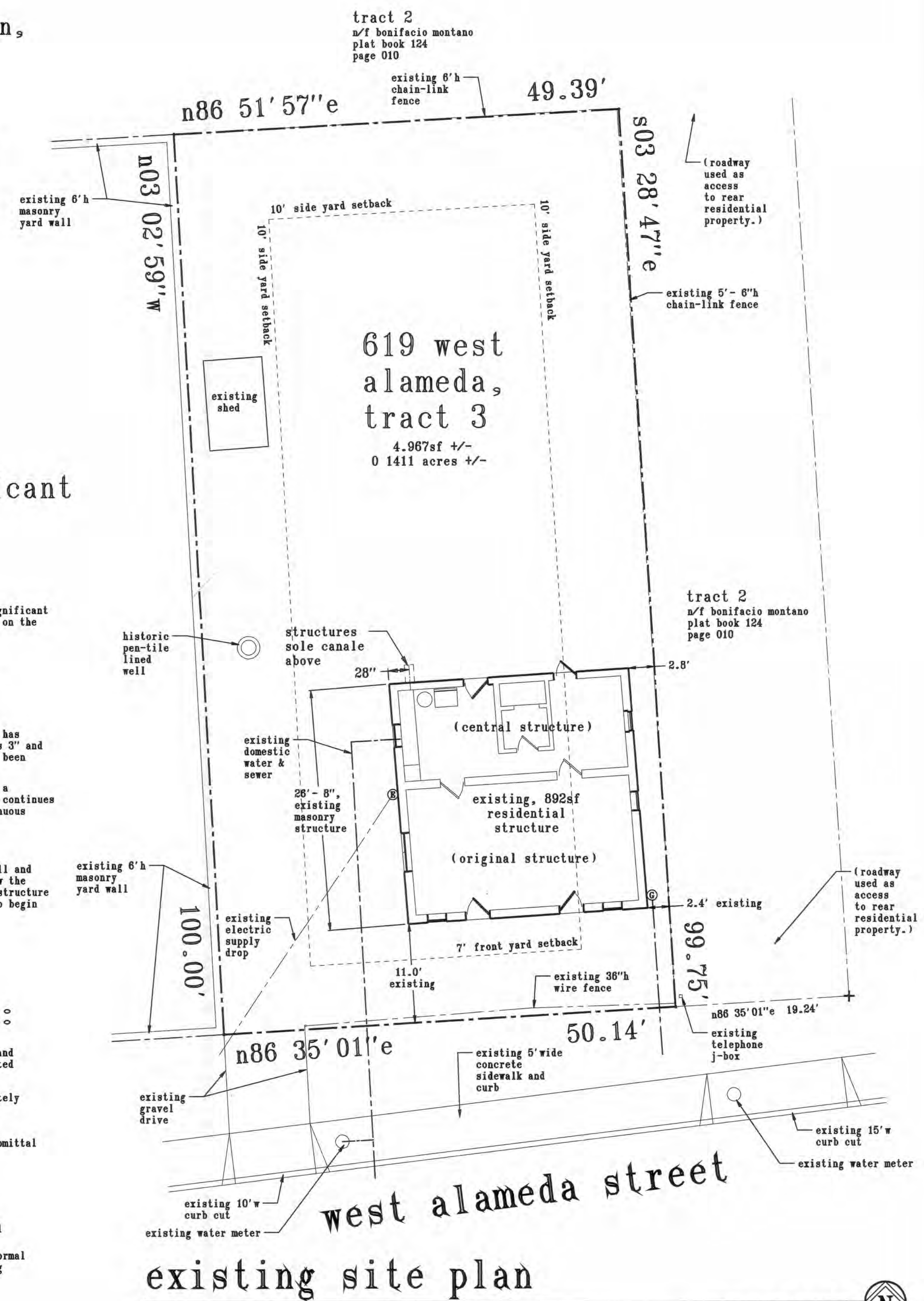
- a1.1 title, sheet index, existing site plan, analysis of historic structure and repair work required
- a1.2 proposed site plan
- a2.1 619 west alameda proposed floor plan
- a3.1 existing and proposed south & west exterior elevations
- a3.2 existing and proposed north & east exterior elevations

notes documenting significant issues with the existing construction:

- 1 the center structures attachment (if there is one) is failing and significant cracks between these structures are beginning to open up between them on the east and west facades.
- 2 the home was constructed with no bond beam installed. ceiling heights in public space vary by 3". ceilings have been replaced at some time with the original structures vigas protruding from the south wall along west alameda.
- 3 the original southerly, adobe section of the single family residence has significantly over-spanned roof-rafters. they are sagging as much as 3" and several rafters on the western side of the structure have failed and been scabbed to prevent a complete structural failure.
- 4 the southerly, original adobe structure's lack of a bond beam causes a structural break in the wall at window and door headers that has and continues to enable significant movement in the structure manifesting as continuous cracks from top to bottom of wall.
- 5 the southwest corner of the building is separating from the south wall and moving west. the large % of openings towards the corner hasn't allow the walls to buttress the corner preventing movement. cracks inside the structure between the floor and exterior wall have opened allowing the floor to begin sinking along length of the existing west wall.

scope of work to repair/rebuild structure:

1. carefully remove the existing windows with frames and kitchen door and frame from the home. reconstruct windows as described in the submitted "window condition assessment" prepared by Scott Ernst.
2. the existing roof(s) and insulation below must be removed to completely clear the roof.
3. remove the existing roof decking and roof rafters.
4. construct the concrete bond beam detailed in the building permit submittal atop existing adobe & pen-tile walls.
5. brace the sw building corner to prevent futher western movement.
6. unused
7. construct new structural roof membrane per building permit submittal and attach to new bond beam below.
8. follow the instructions in construction documents included in the formal building permit submittal to complete reconstruction of the existing single family residence.



existing site plan

scale: 1/8" = 1'-0"

drawn

date: 2/12/2028

project
a remodel for
619 West Alameda
santa fe, NM

sheet title
title, sheet index, existing
site plan, analysis of
historic structure
and repair work required

revisions

sheet no.
a1.1

2504 camino alfredo, santa fe, nm 87501
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checked

existing 6'h chain-link fence

n86 51' 57" e

49.39'

existing 6'h masonry yard wall

n03 02' 59" w

15' rear -yard setback

5' side-yard setback

5' side-yard setback

(roadway used as access to rear residential property.)

(2) - 8.5' w x 18' l parking spaces
guest parking

steel cap protects historic pen-tile well

619 west alameda, tract 3

4.967sf +/-
0.1411 acres +/-
ground floor enclosed area = 710sf
total lot coverage = 14.3%

new 40" h masonry yard wall, 2plcs

5' - 0"

2' - 10 1/2" existing setback

s03 28' 47" e
99.75'

90.21°

unit A
historic structure
1 bed, 1 bath
heated area = 710sf

2" base-course paved access drive
11' - 0" existing setback

2' - 5" existing setback

parking space 1

12"

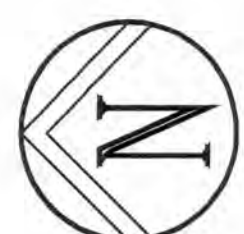
15' w base-course paved access

n86 35' 01" e
50.14'

new, 40" h masonry yard wall

(roadway used as access to rear residential property.)

proposed site plan



scale: 1/8" = 1' - 0"

sheet no.

a1.2

revisions

sheet title

proposed site plan

project

a remodel for
619 West Alameda
santa fe, NM

date:

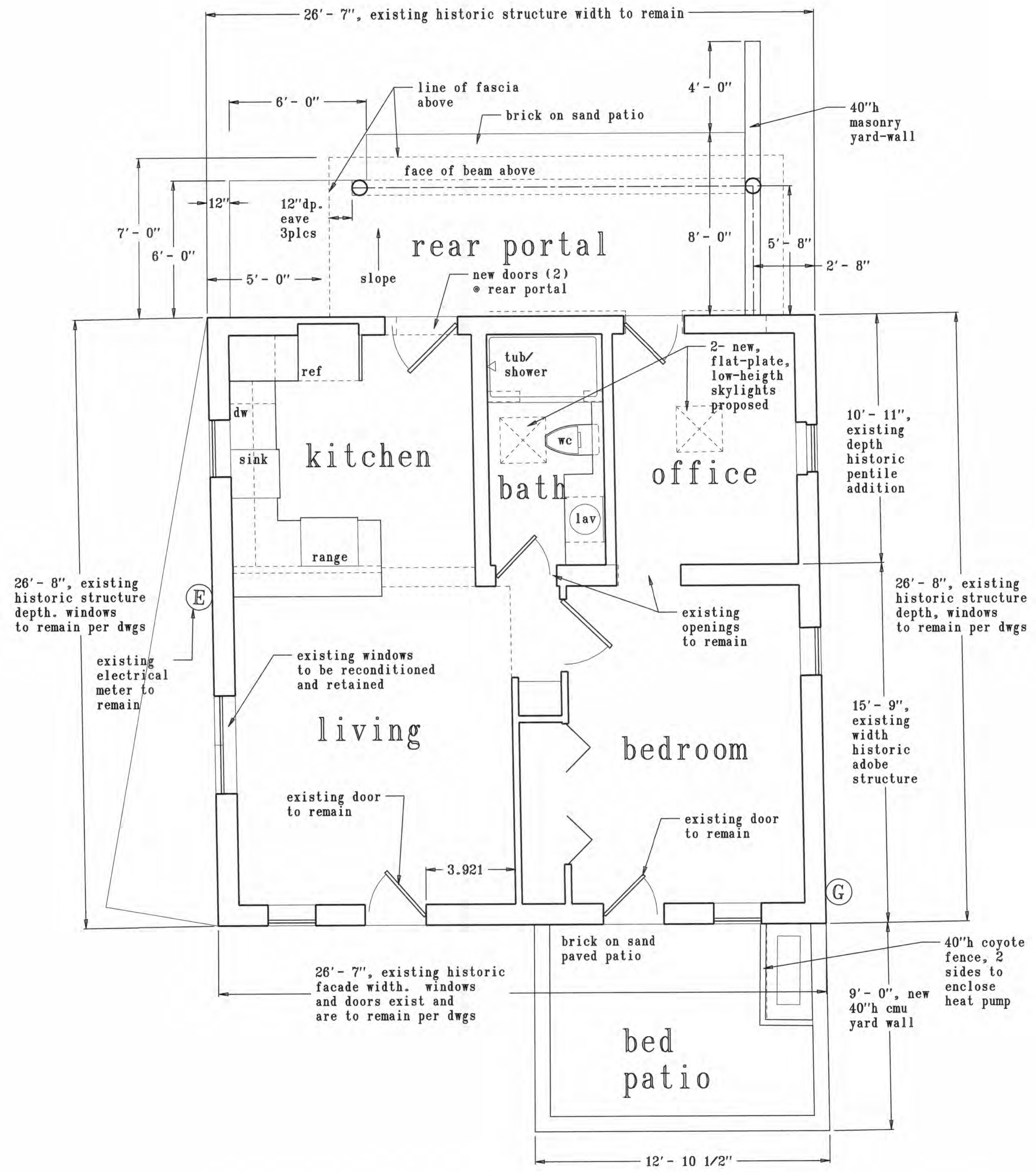
2/12/2026

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DESIGNERS

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dodderfan2504@gmail.com 505-670-8149

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proposed floor plan

scale: 3/8" = 1'-0"



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revisions

sheet title

project

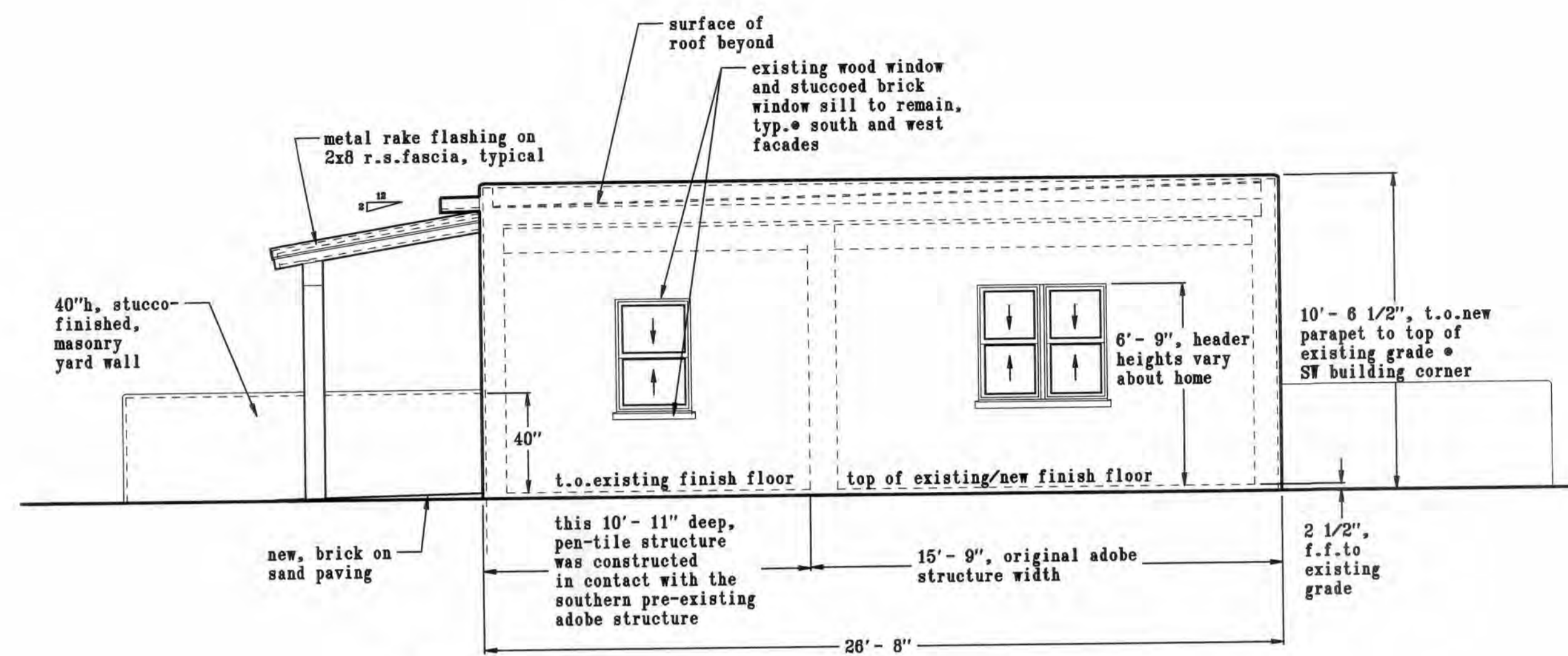
a remodel for
619 West Alameda
proposed floor plan
santa fe, NM

sheet no.

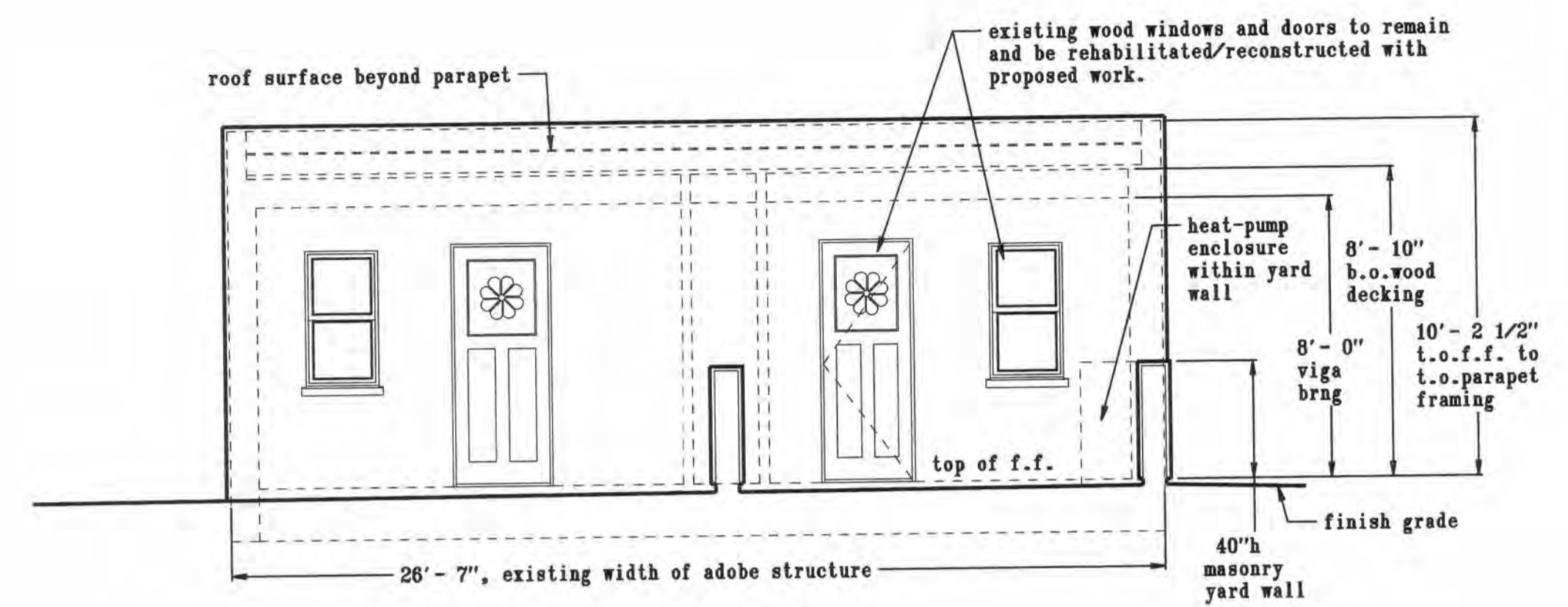
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date: 2/12/2026

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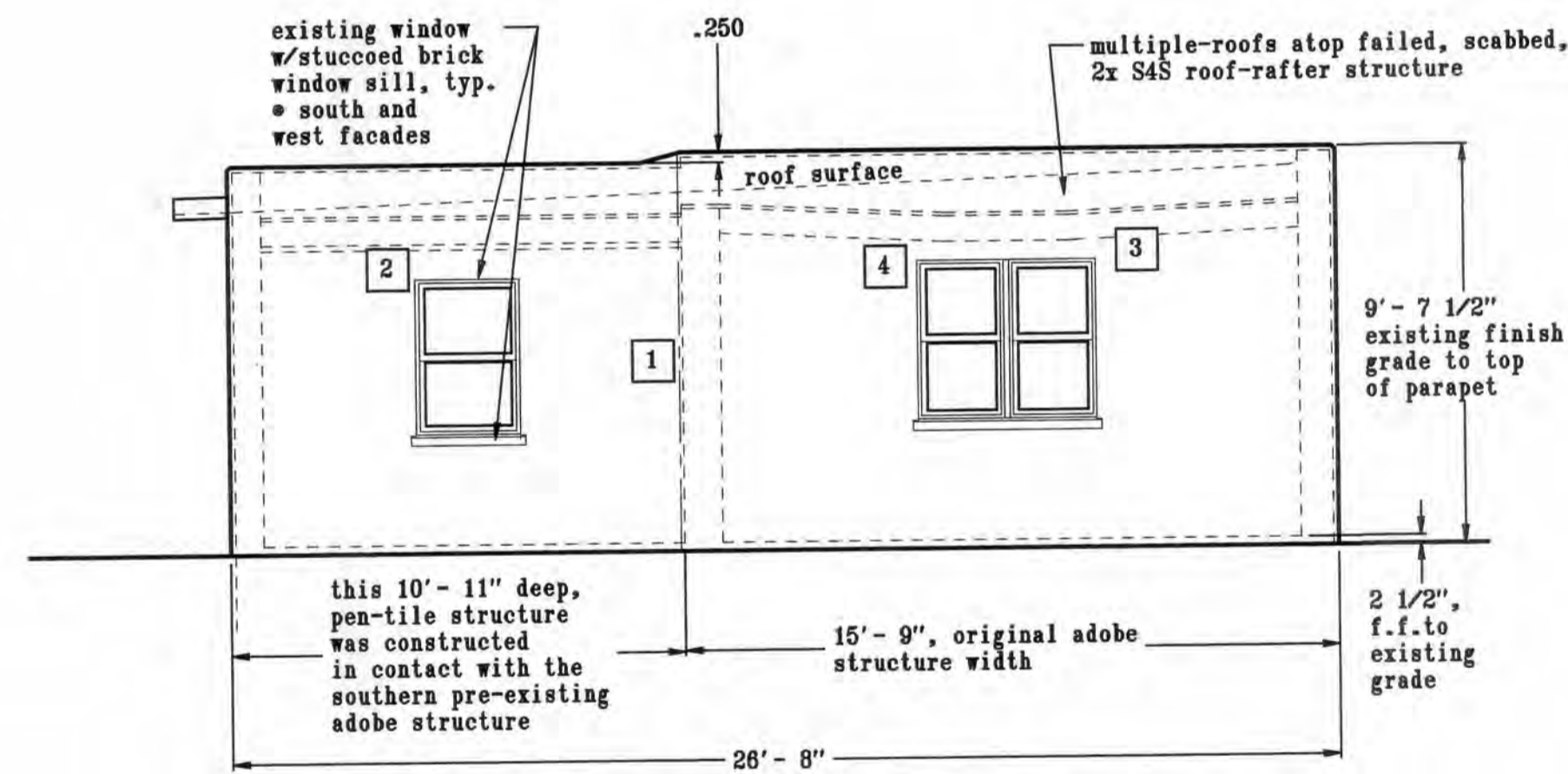
west elevation
proposed elevations



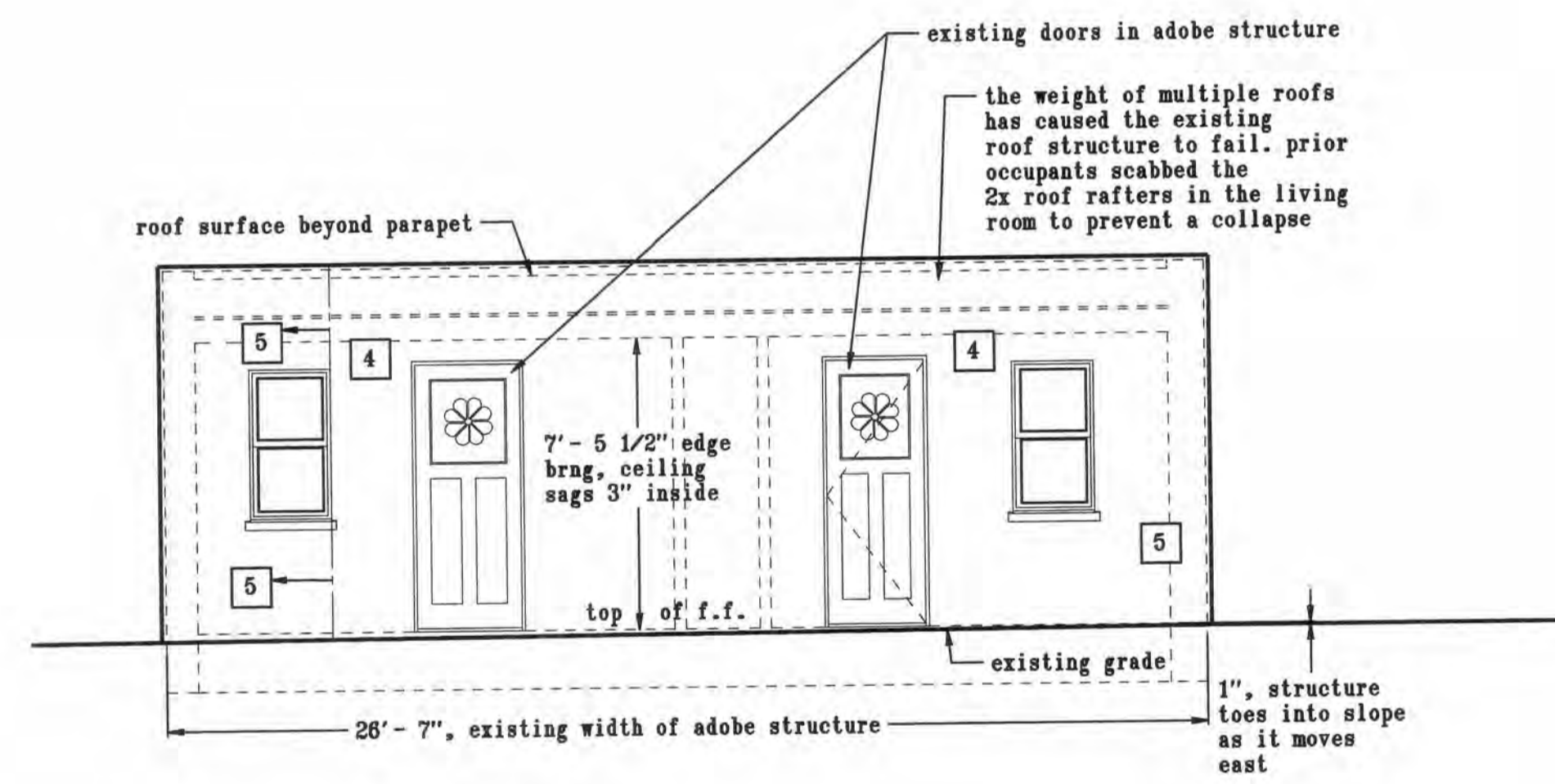
south (street) elevation

scale: 1/4" = 1'- 0"

west elevation



west elevation
existing elevations



south (street) elevation

scale: 1/4" = 1'- 0"

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date: 2/12/2008

project: a remodel for 619 West Alameda santa fe, NM

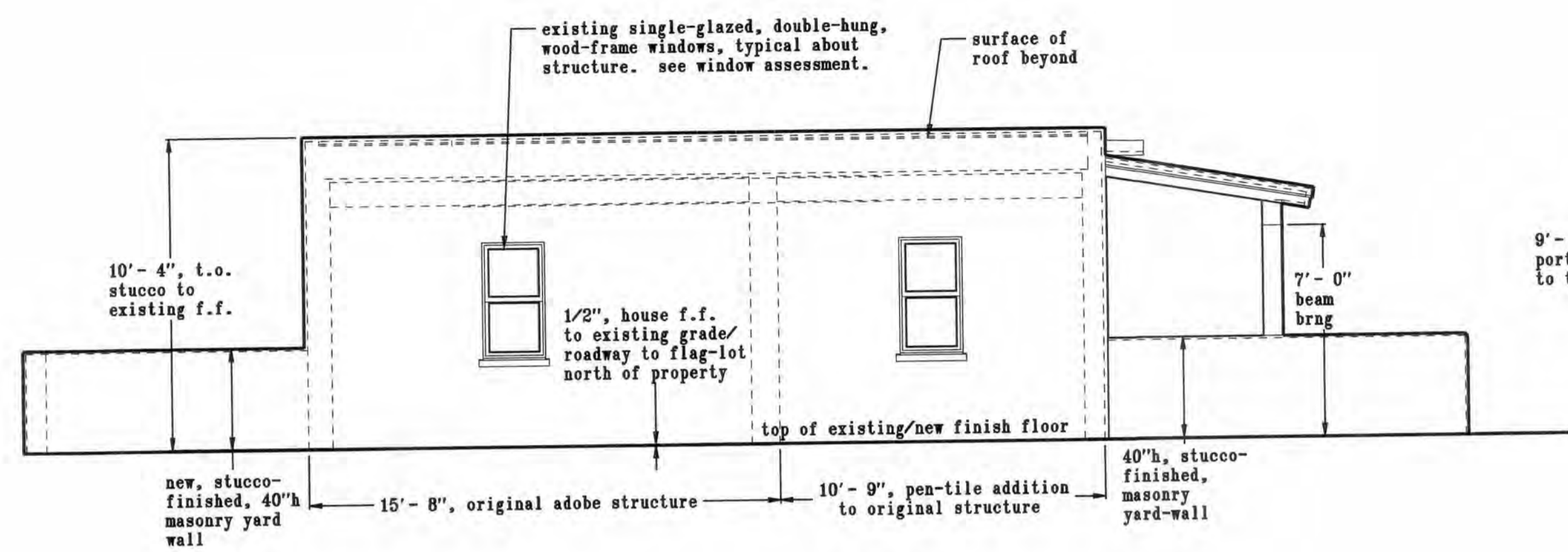
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revisions:

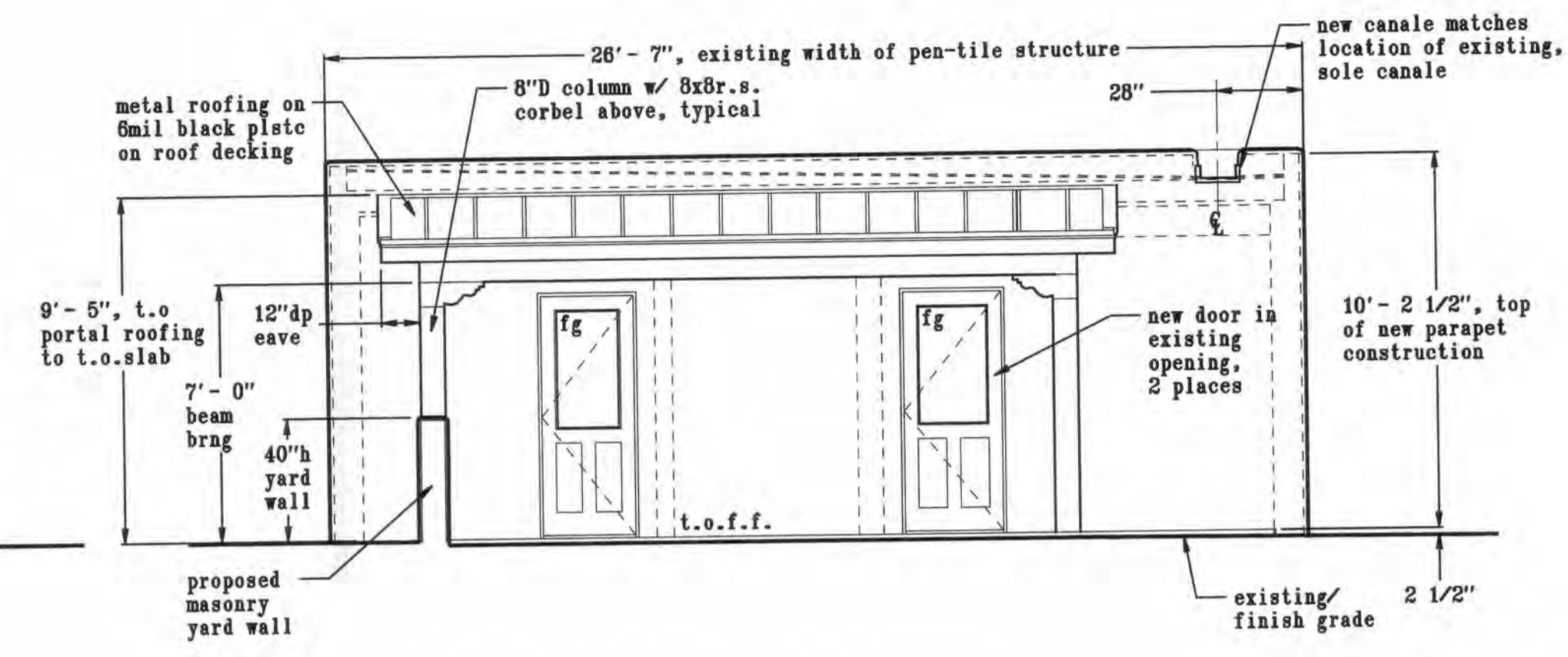
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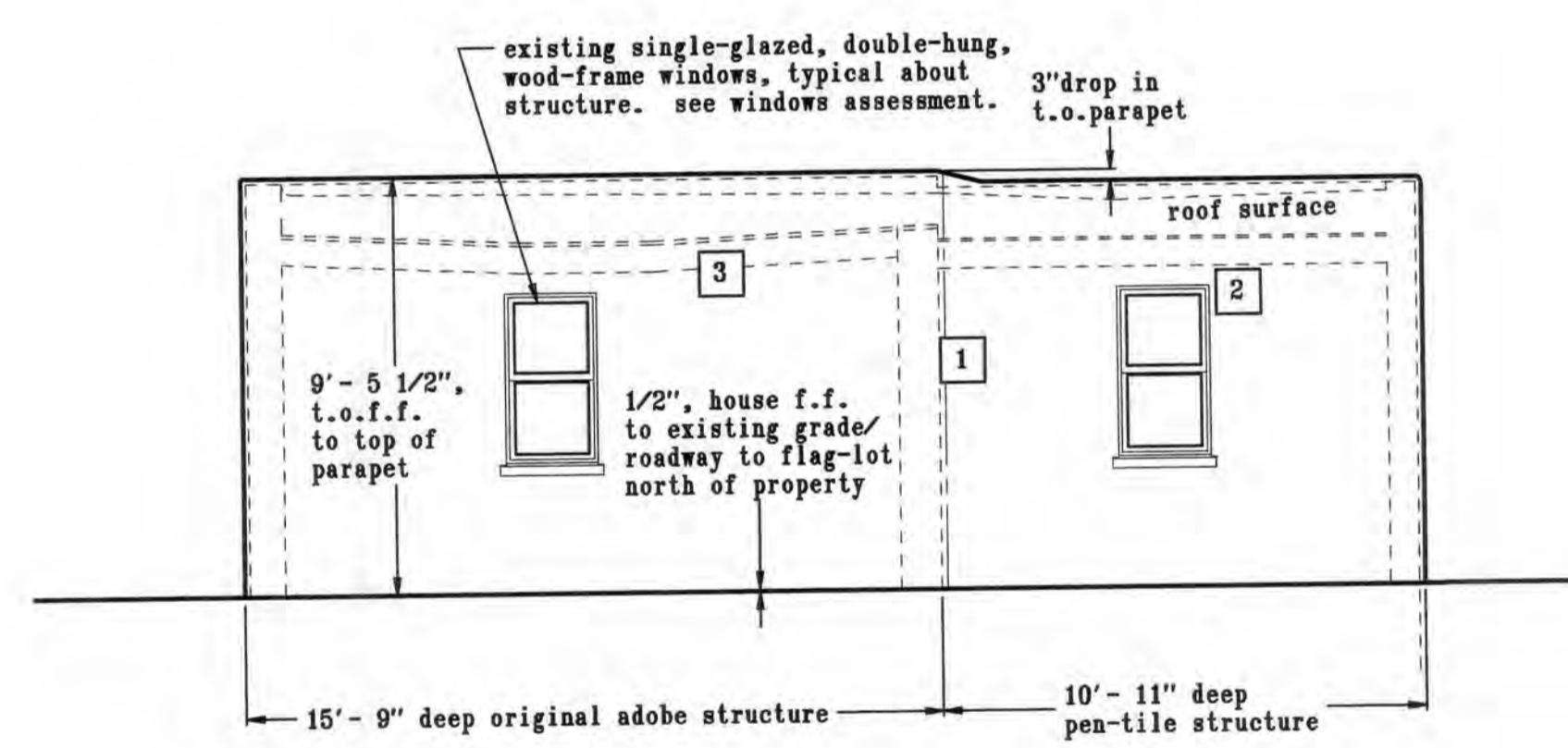
east elevation
proposed elevations



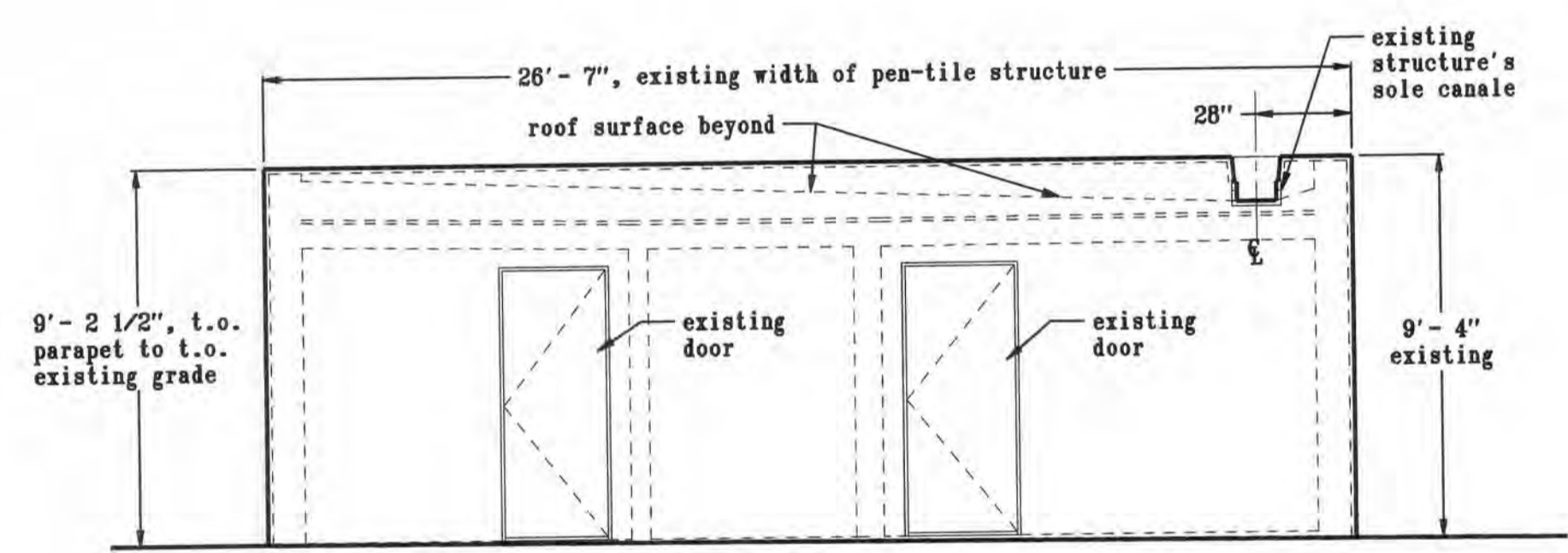
north elevation

scale: 1/4" = 1'-0"

west elevation



east elevation
east elevation
existing elevations



north elevation

scale: 1/4" = 1'-0"

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revisions

date: 2/12/2026

project
a remodel for
619 West Alameda
santa fe, NM

sheet title
existing & proposed,
north & east
exterior elevations

sheet no.
a3.2

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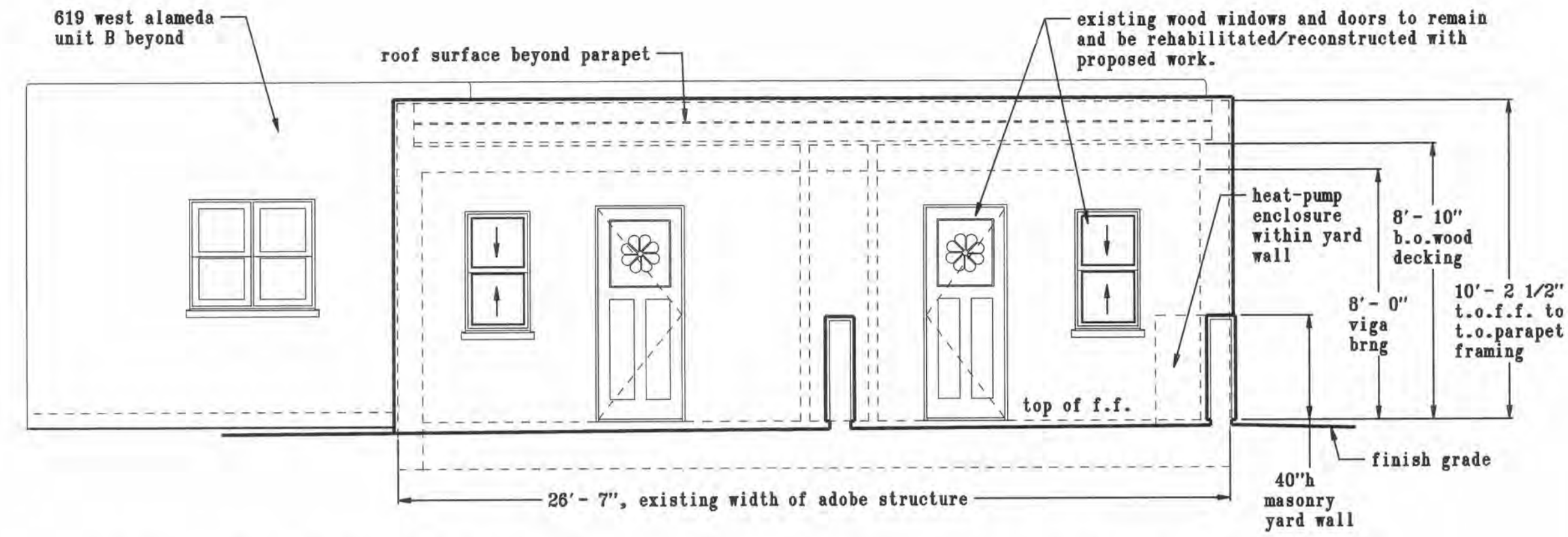
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619 W Alameda

Current

Request

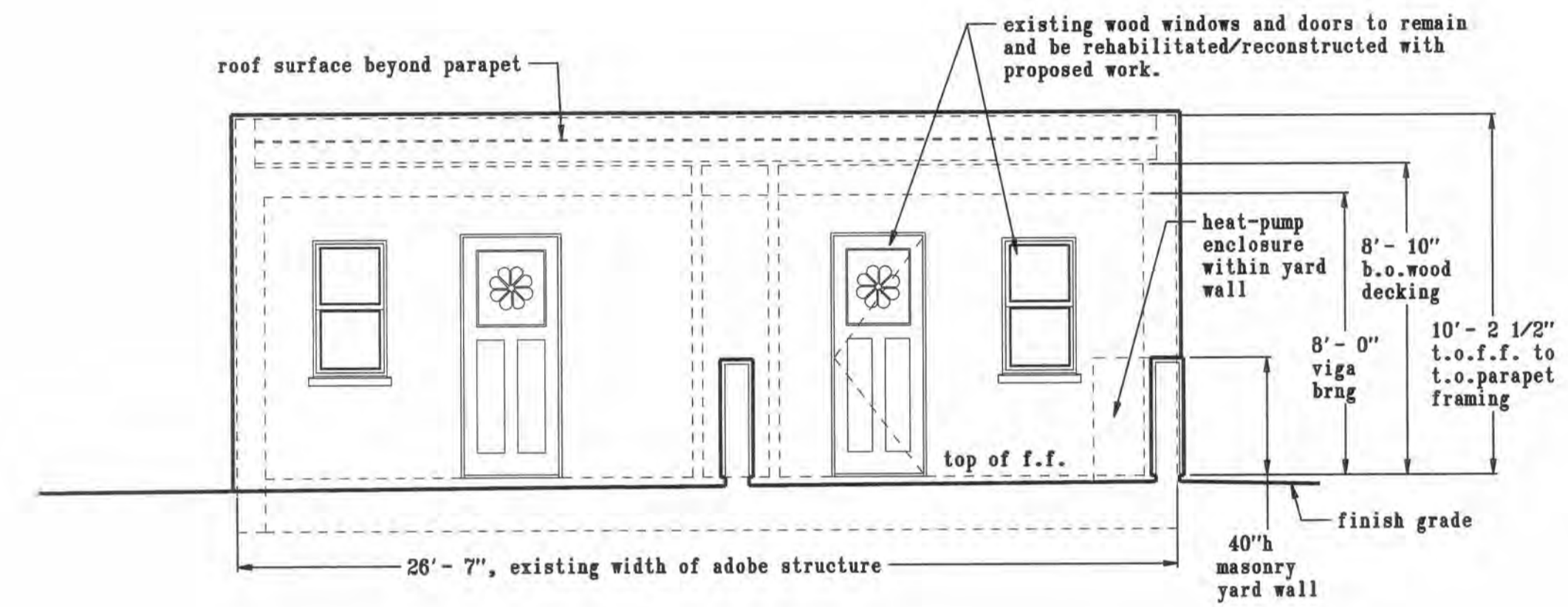
Documents



proposed 619A & B west alameda - south elevation

proposed elevation

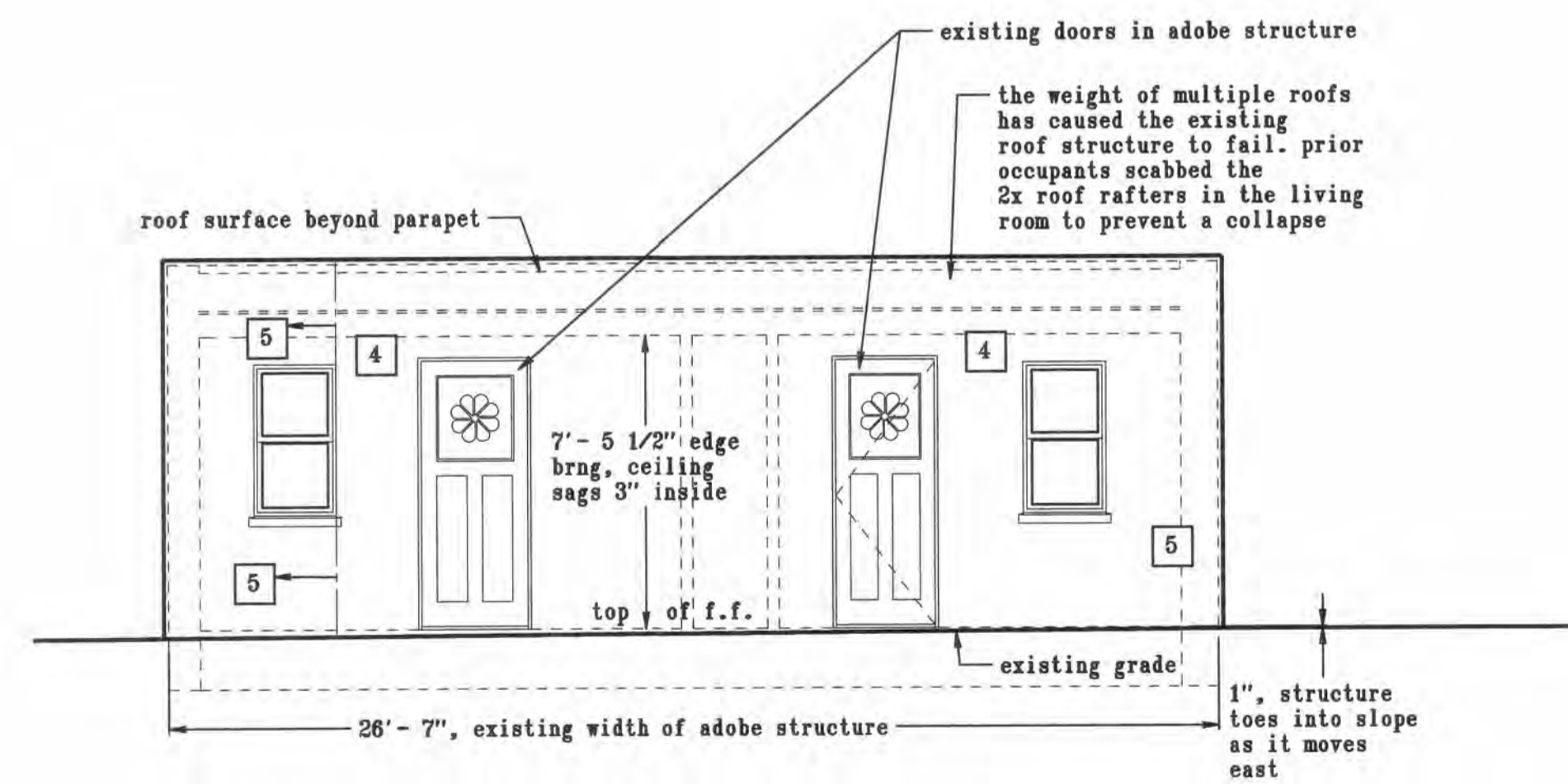
scale: 1/4" = 1'- 0"



south (street) elevation

approved elevation

scale: 1/4" = 1'- 0"



south (street) elevation
existing elevation

scale: 1/4" = 1'- 0"

SD

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CA

design
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date:
5/11/2026

project
a remodel and addition
for
619 West Alameda
santa fe, NM

sheet title
existing, approved,
& proposed (entry)
south elevations

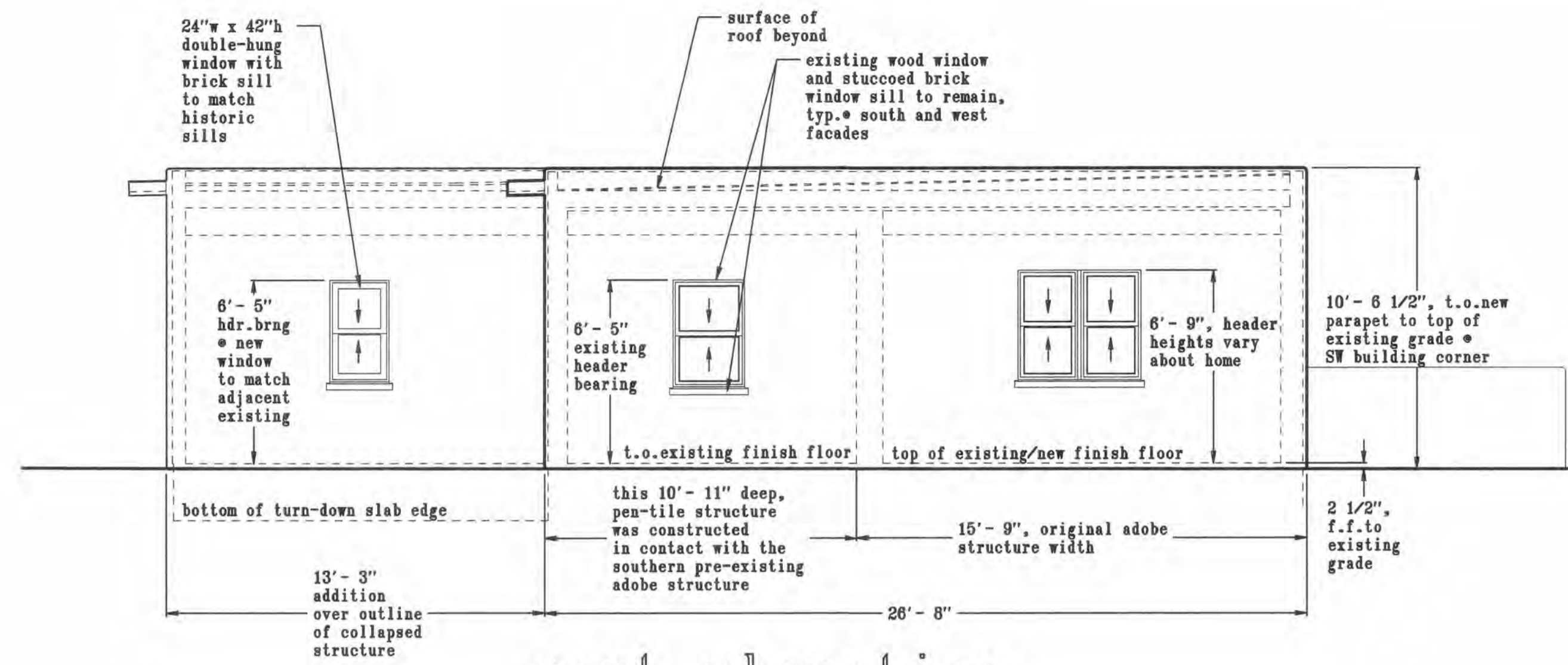
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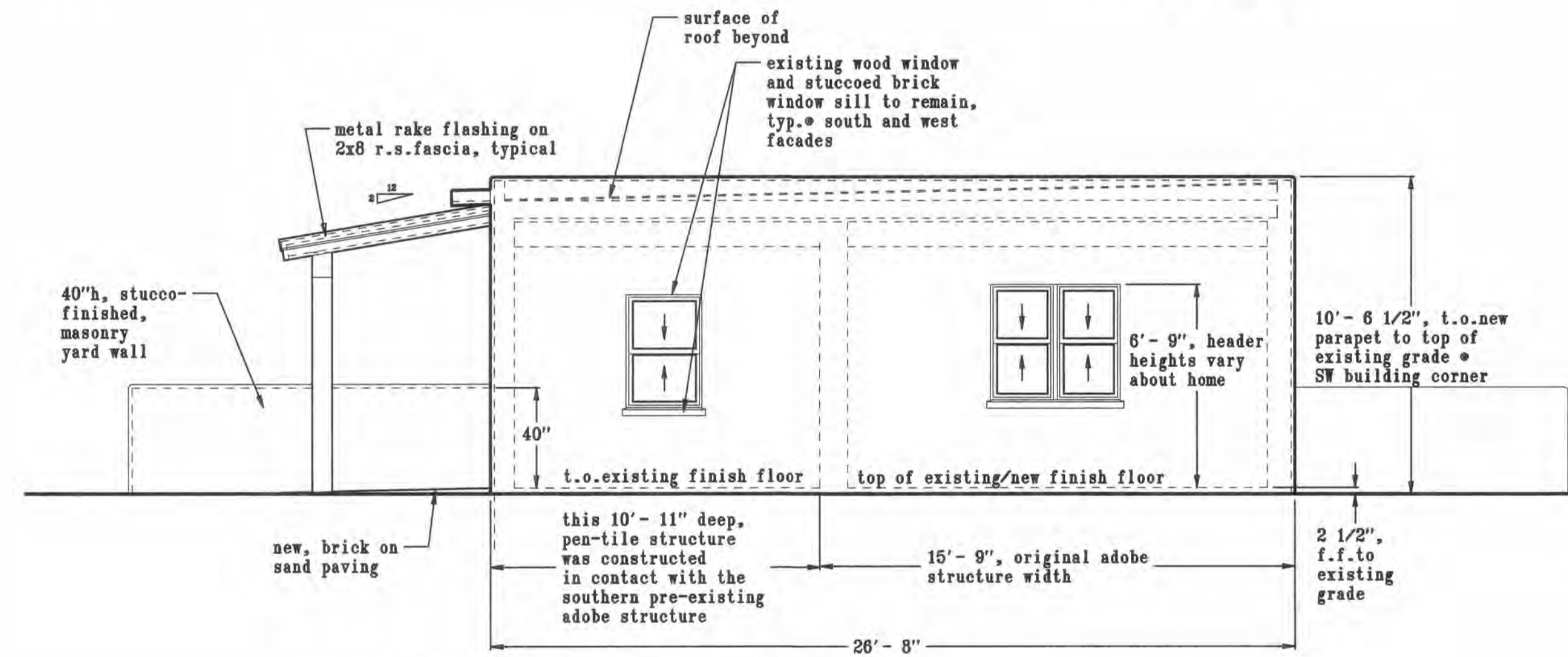
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docgerfan2504@gmail.com 505-670-8149

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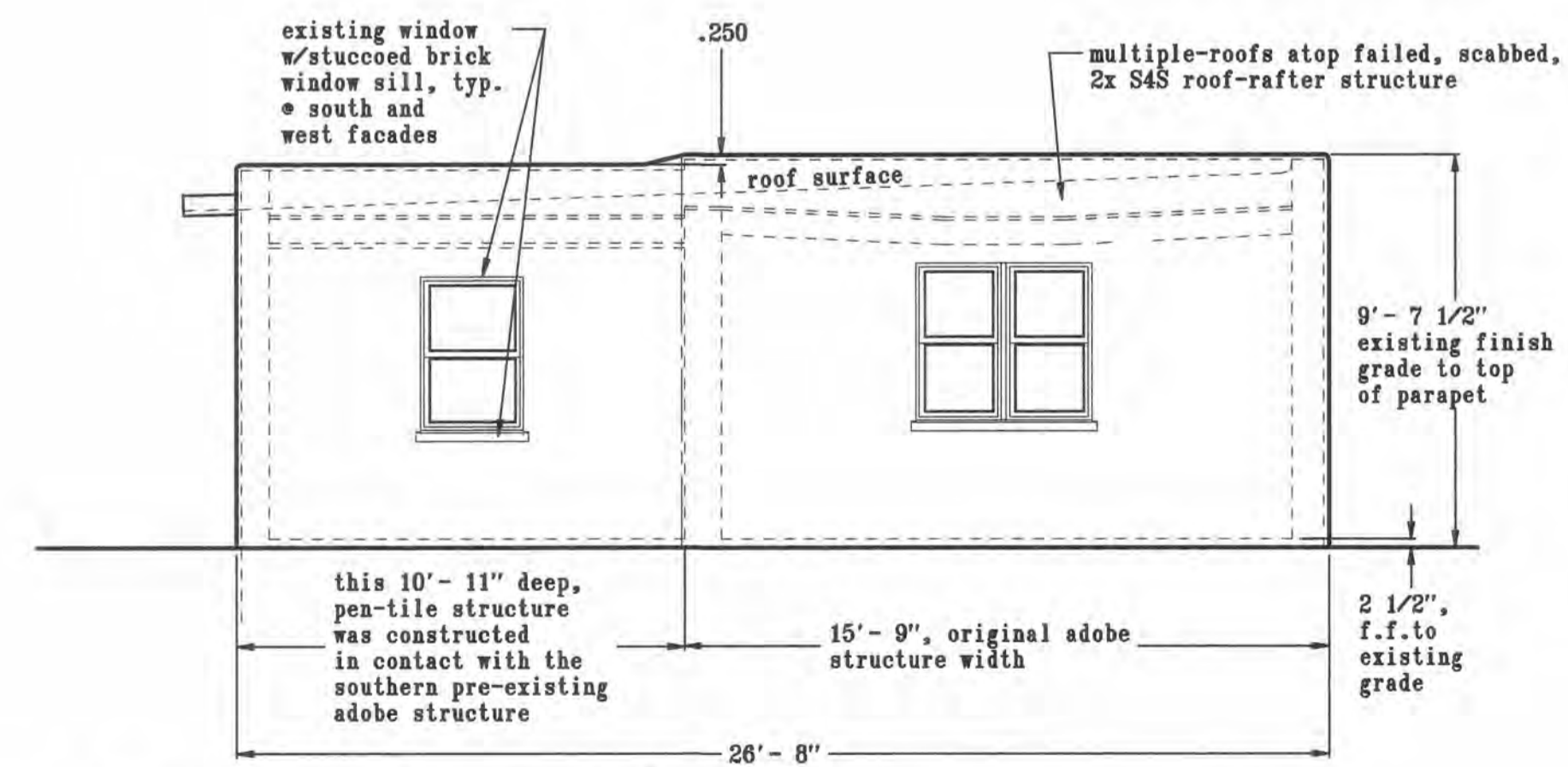
west elevation
proposed elevation

scale: 1/4" = 1'-0"



west elevation
approved elevation

scale: 1/4" = 1'-0"



west elevation
existing elevation

scale: 1/4" = 1'-0"

3030

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date: 6/11/2026

project
a remodel and addition
for
619 West Alameda
santa fe, NM

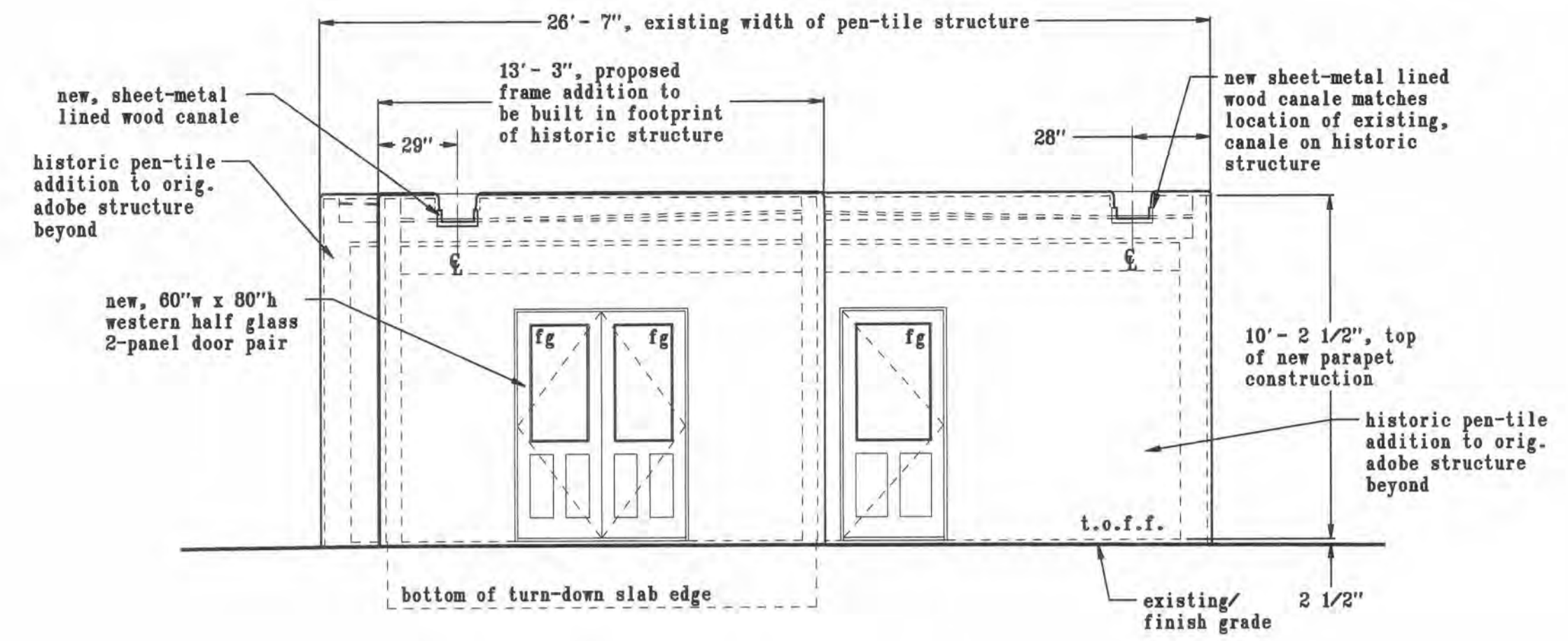
sheet title
existing, approved,
& proposed
west elevations,
historic structure

revisions

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a3.2

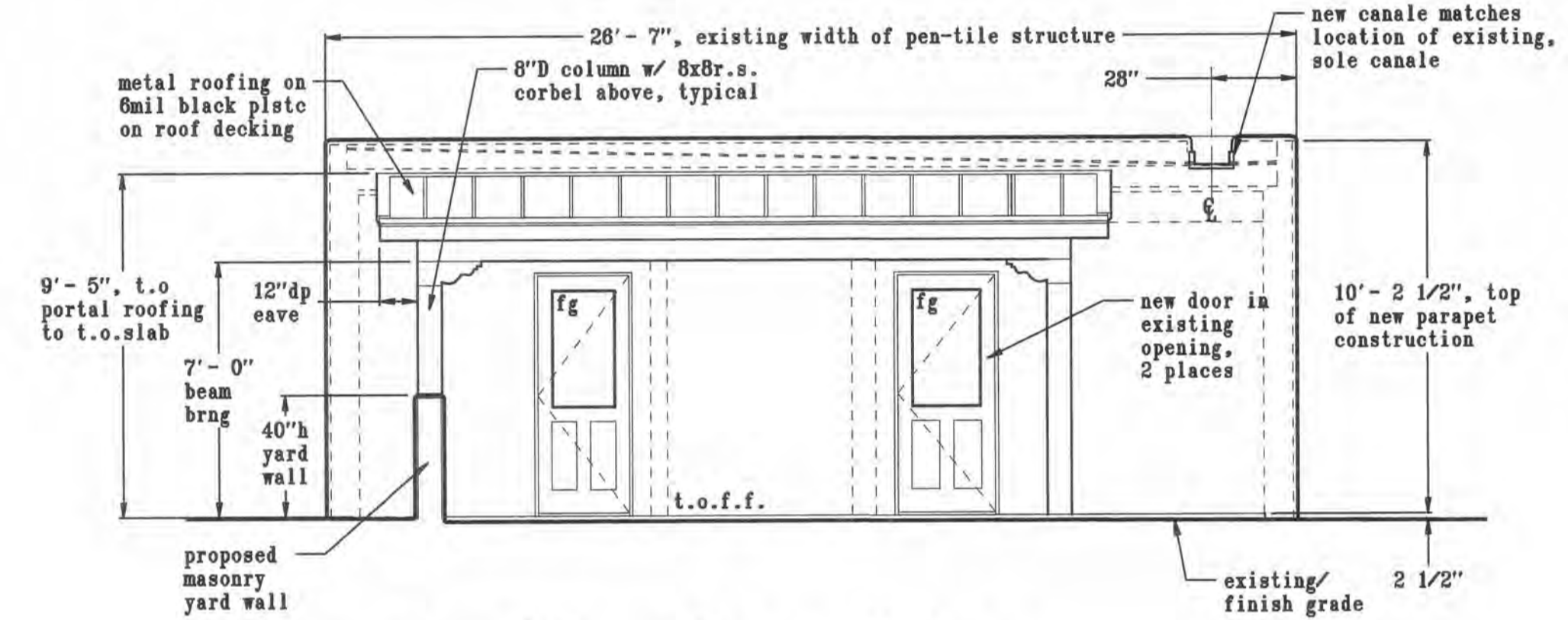
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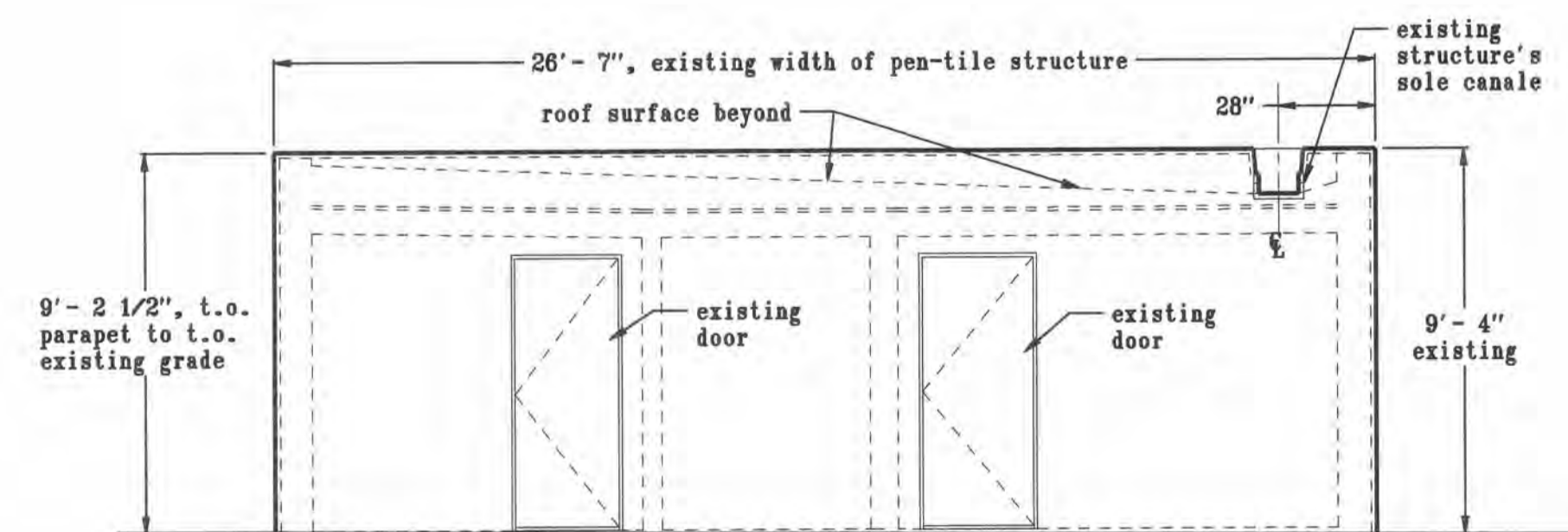
north elevation
proposed elevation

scale: 1/4" = 1'-0"



north elevation
approved elevation

scale: 1/4" = 1'-0"



north elevation
existing elevation

scale: 1/4" = 1'-0"

DOD

drawn 8/1/2026

S I R V I N G S
D O D S I R V I N G S

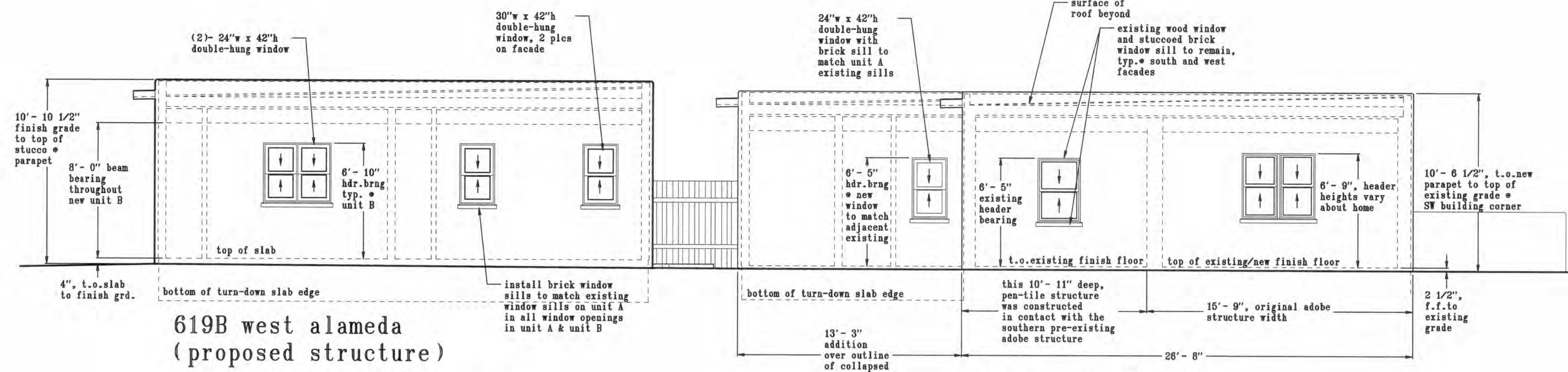
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a remodel and addition
for
619 West Alameda
santa fe, NM

sheet title
existing, approved,
& proposed
north elevations,
historic structure

revisions

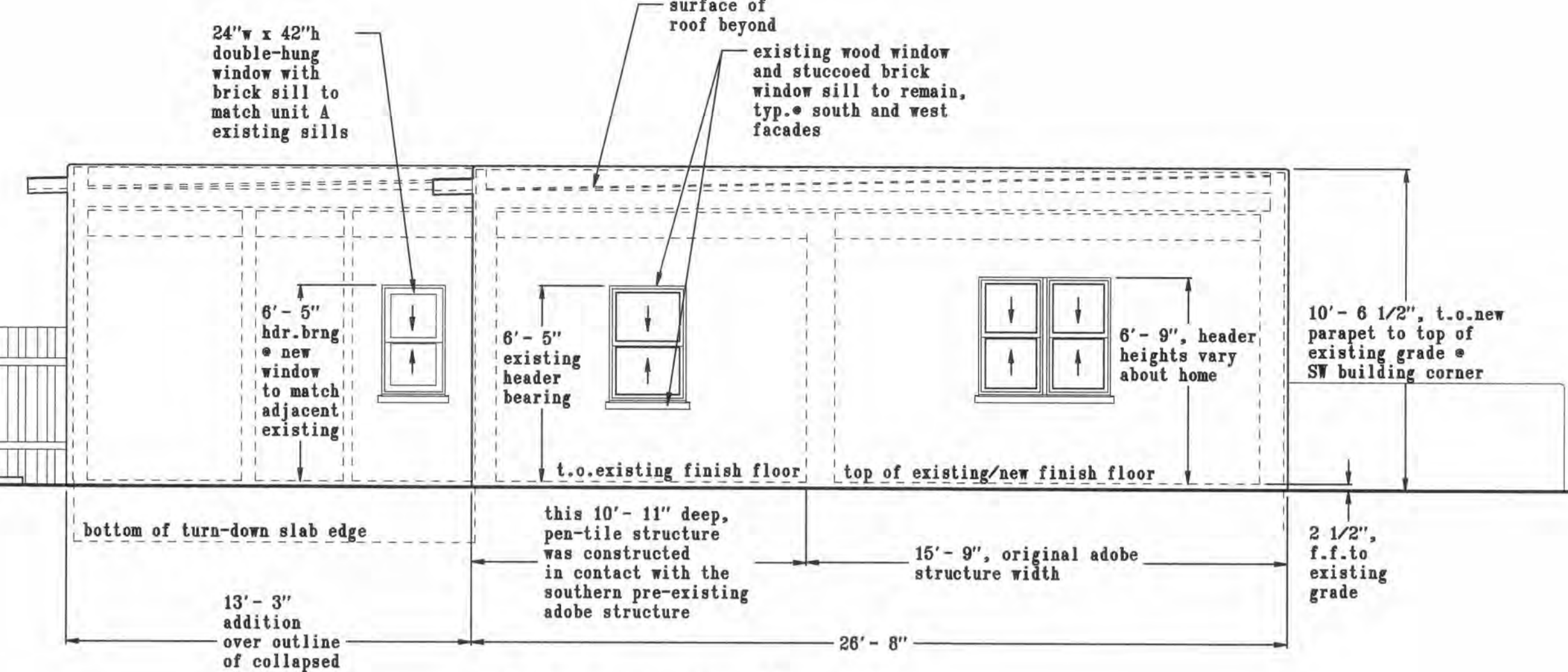
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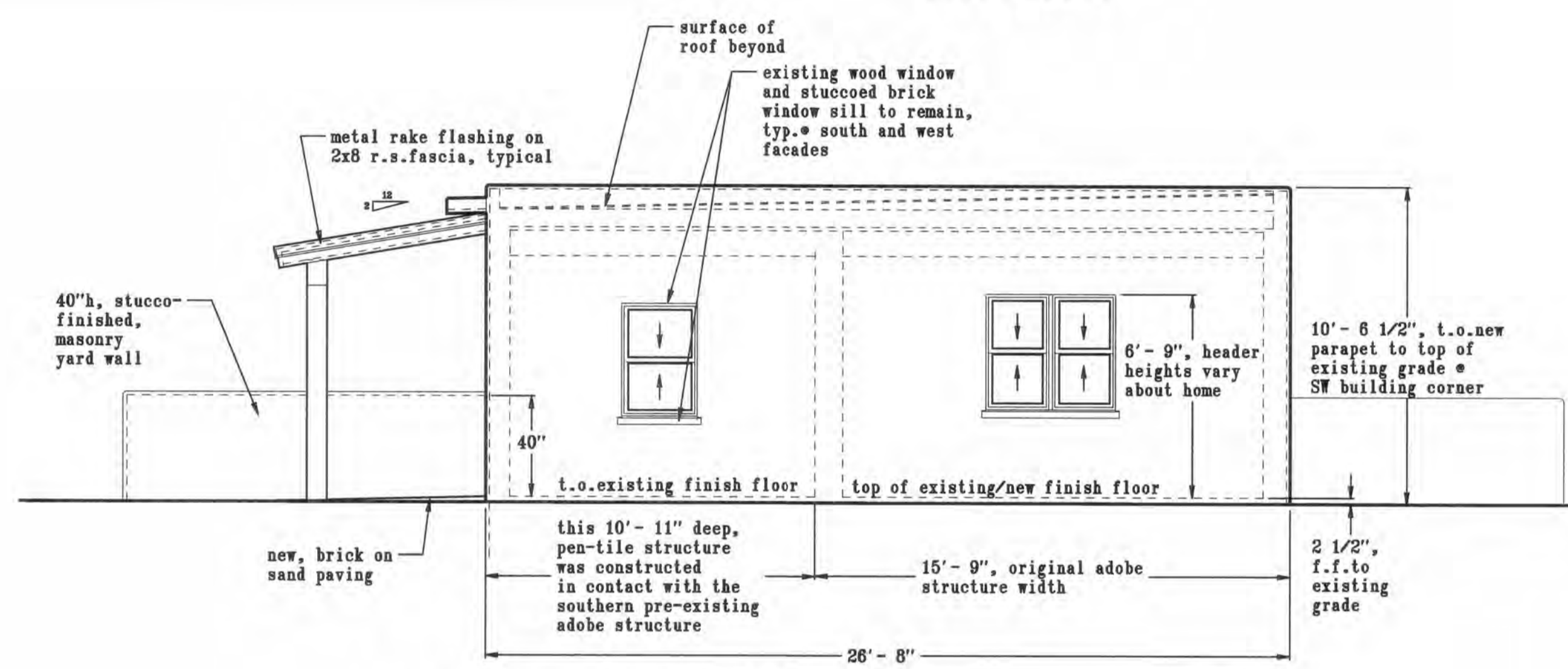
619B west alameda
(proposed structure)

proposed elevation



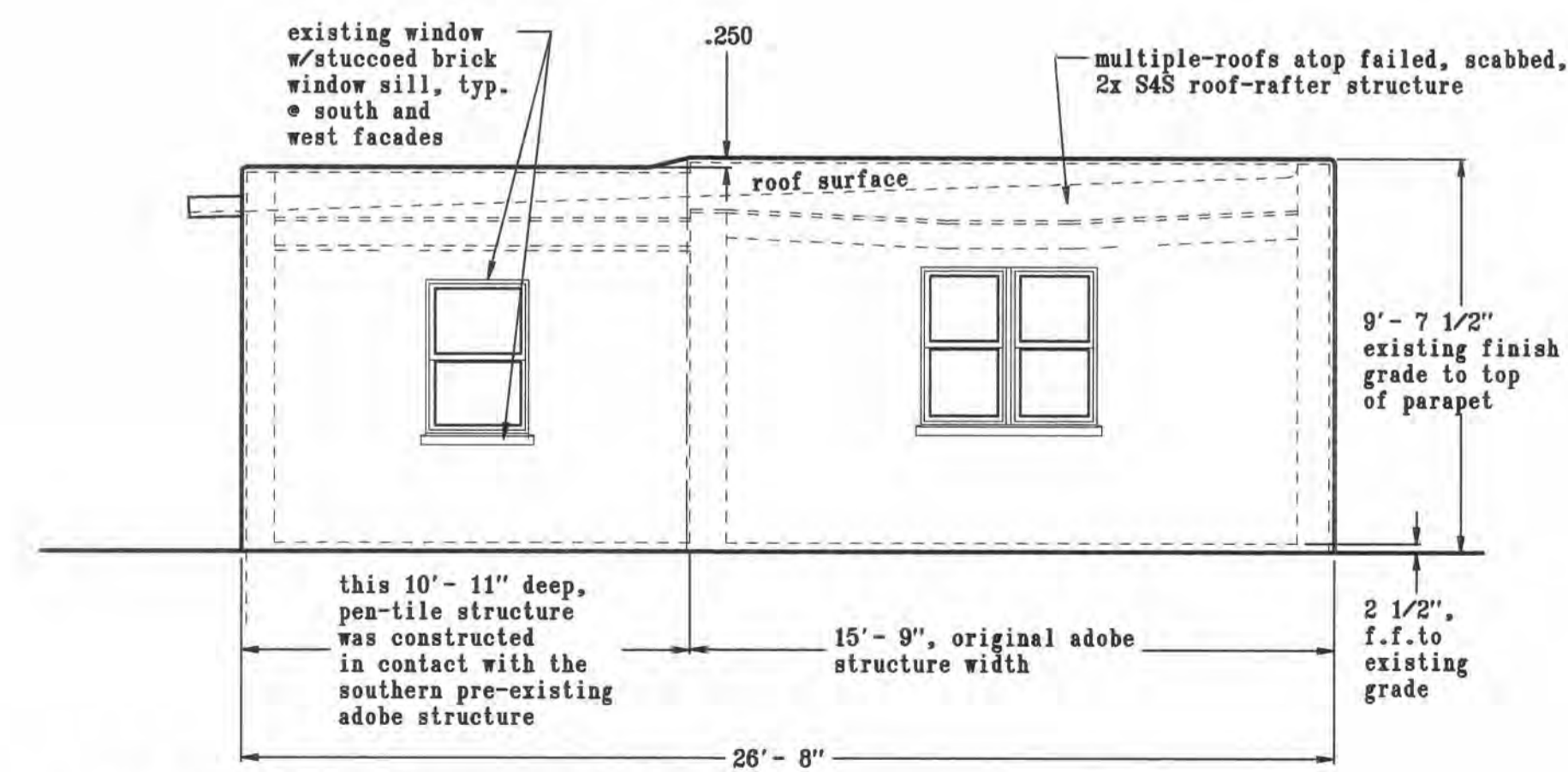
619A west alameda
(historic structure)

scale: 1/4" = 1'-0"



west elevation
approved elevation

scale: 1/4" = 1'-0"



west elevation
existing elevation

scale: 1/4" = 1'-0"

SD

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s d s i r v i n g s

date: 5/11/2026

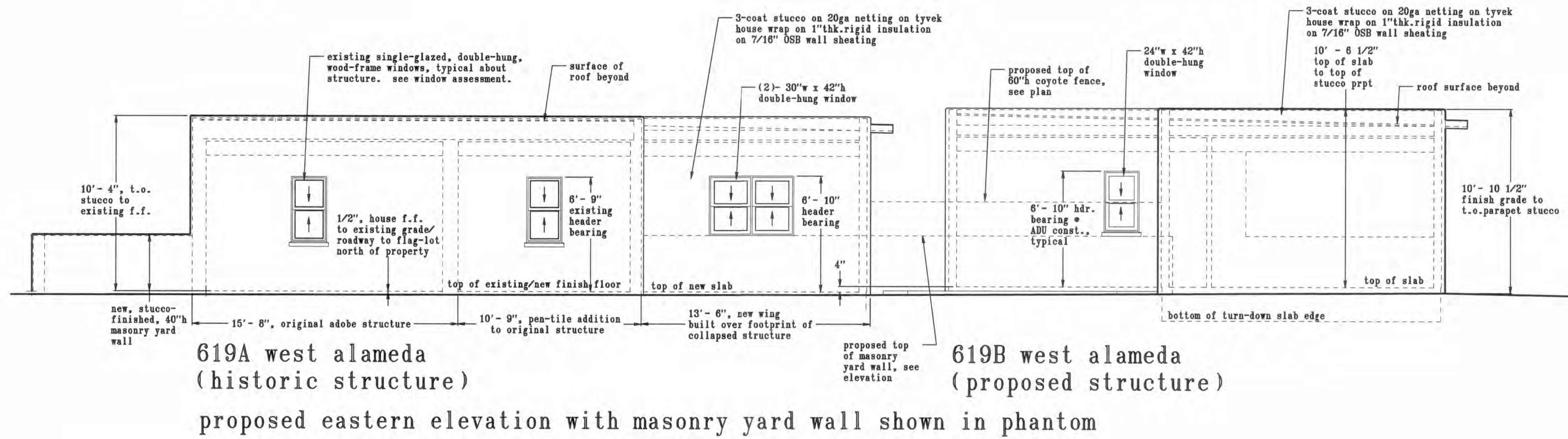
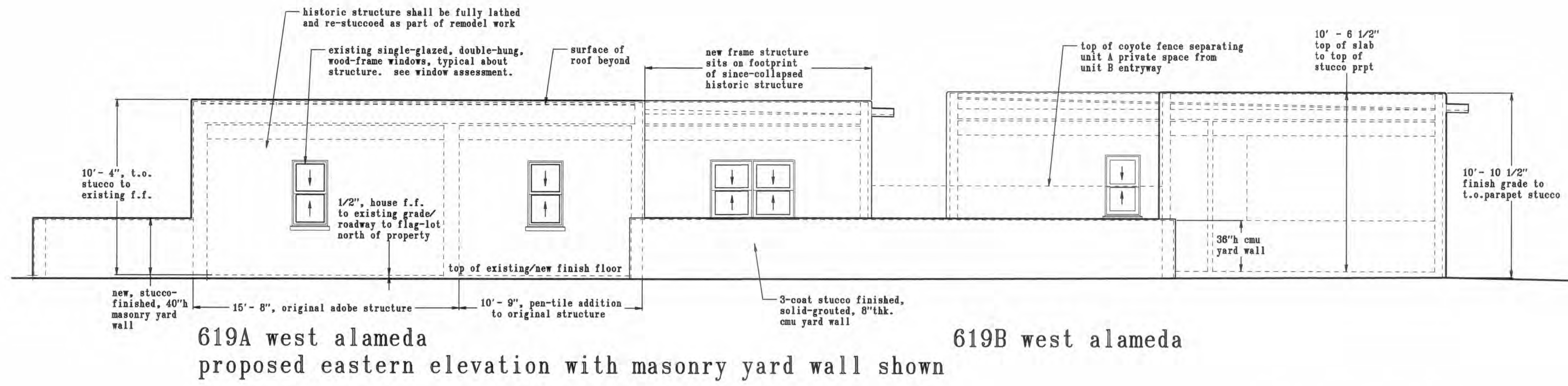
project: a remodel and addition for 619 West Alameda santa fe, NM

sheet title: existing, approved, & proposed west elevations

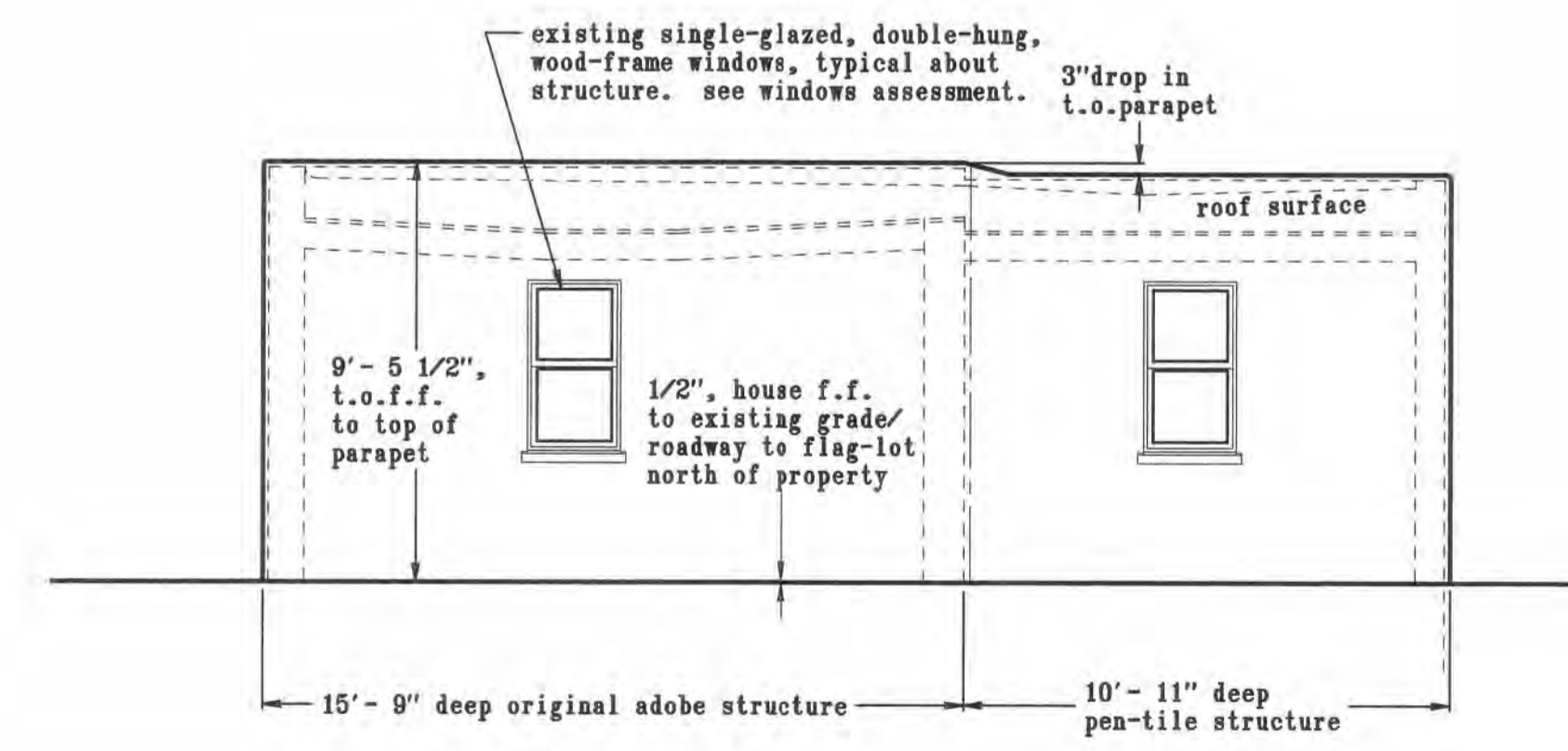
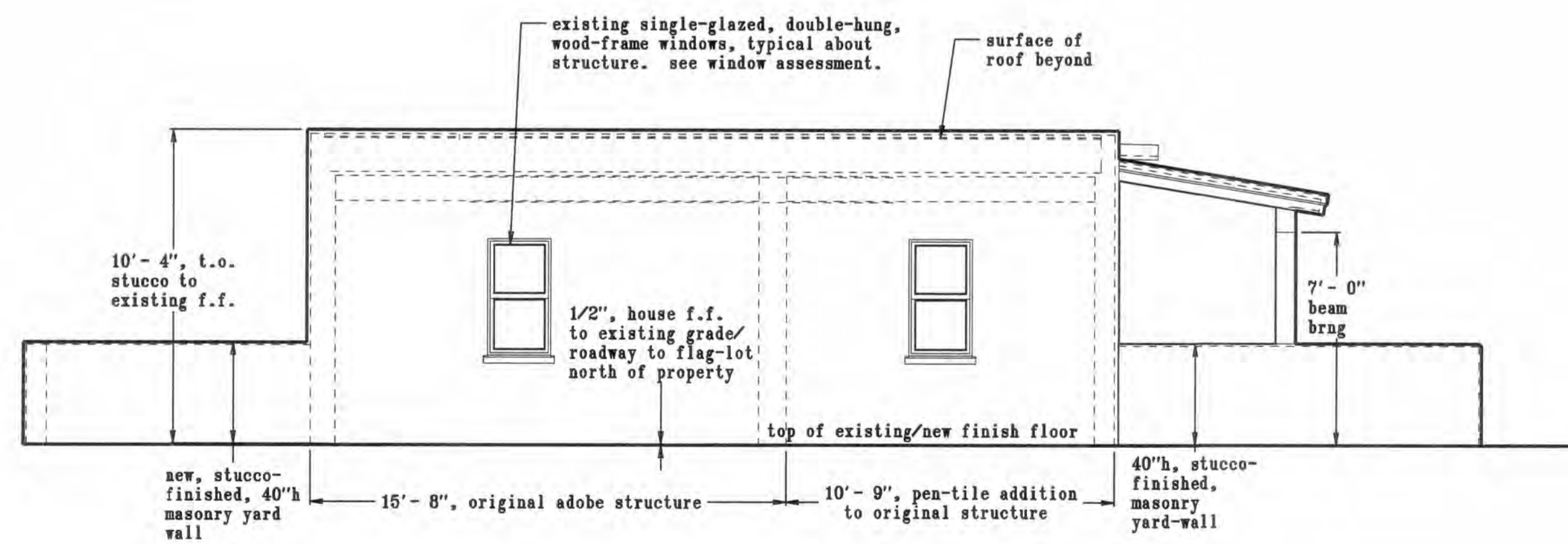
revisions:

sheet no. **a3.2**

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proposed elevation



scale: 1/4" = 1' - 0"

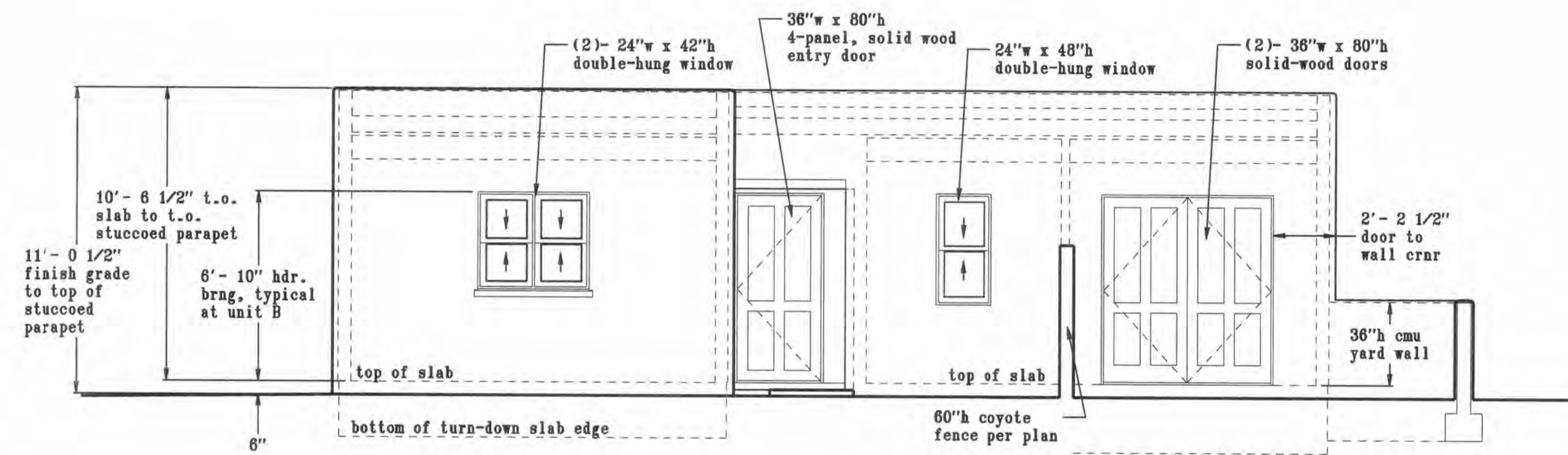
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3D

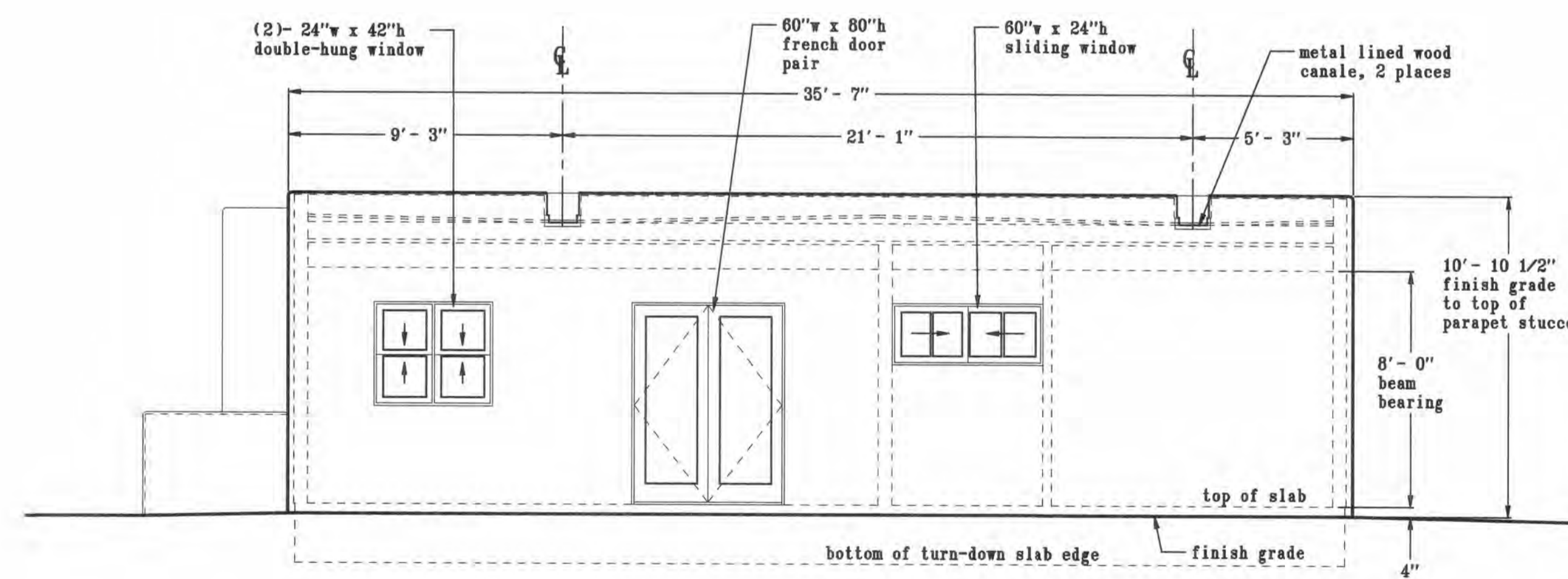
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project: a remodel and addition for 619 West Alameda santa fe, NM
 date: 5/11/2026
 sheet title: existing, approved, & proposed east elevations
 sheet no.: a3.3
 revisions:

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 checked



proposed 619B west alameda - south elevation



proposed 619B west alameda - north elevation

proposed elevations

scale: 1/4" = 1'-0"

ADD

drawn: *[Signature]*

project: a remodel and addition for 619 West Alameda santa fe, NM

date: 5/11/2028

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checked

sheet no. **a3.5**

revisions

sheet title: proposed north and south elevations of unit B