

NM PORTFOLIO, LLC
124 E. MARCY STREET
SANTA FE, NM 87501
(Across W. Frontage Road)

W. Frontage Road NMDOT SR for NM Interstate 25

27698 / 27700 W. I-25 FRONTAGE ROAD (GIS)

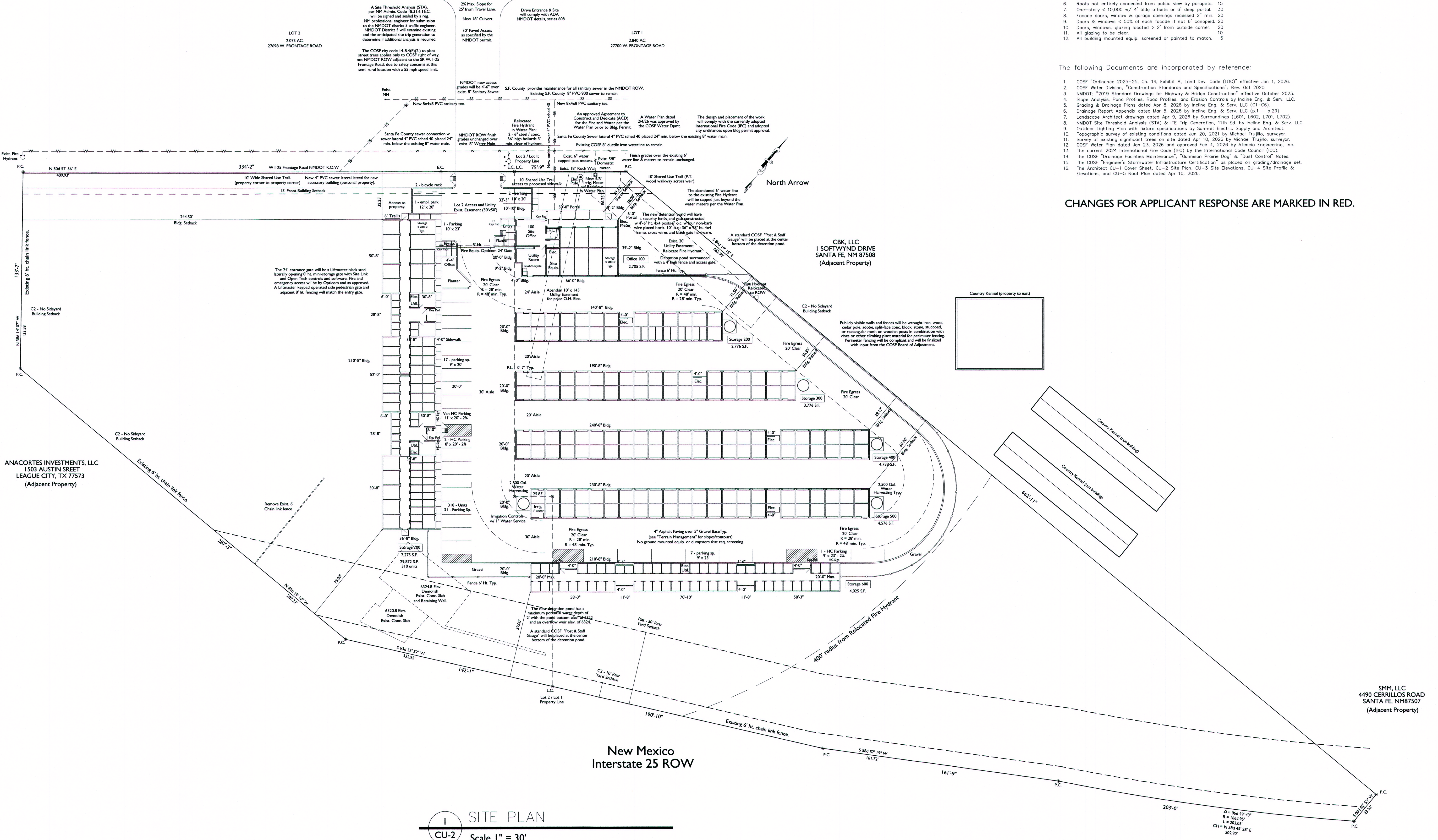
ARCHITECTURAL POINT CALCULATION - 210 Points

1. Predominant exterior surface is stucco. 30
2. Predominant exterior surface color is earthtone dark tan. 30
3. Ext. wall surfaces > 75% one material and one color. 10
4. Block membrane materials may be exposed to public view. 15
5. Black membrane color may be exposed to public view. 5
6. Roofs not entirely concealed from public view by parapets. 15
7. One-story < 10,000 w/ 4' bldg offsets or 6' deep portal. 30
8. Facade doors, window & garage openings recessed 2" min. 20
9. Doors & windows < 50% of each facade if not 6' canopied. 20
10. Doors, windows, glazing located > 2' from outside corner. 20
11. All glazing to be clear. 10
12. All building mounted equip. screened or painted to match. 5

The following Documents are incorporated by reference:

1. COSF "Ordinance 2023-25, Ch. 14, Exhibit A, Land Dev. Code (LDC)" effective Jan 1, 2026.
2. COSF Water Division, "Construction Standards and Specifications", Rev. Oct 2020.
3. NMDOT, "2019 Standard Drawings for Highway & Bridge Construction" effective October 2023.
4. Slope Analysis, Pond Profiles, Road Profiles, and Erosion Controls by Incline Eng. & Serv. LLC.
5. Grading & Drainage Plans dated Apr 8, 2026 by Incline Eng. & Serv. LLC (CI-C6).
6. Drainage Report Appendix dated Mar 5, 2026 by Incline Eng. & Serv. LLC (p.1 - p.29).
7. Landscape Architect drawings dated Apr 9, 2026 by Surroundings (L601, L602, L701, L702).
8. NMDOT Site Threshold Analysis (STA) & ITE Trip Generation, 11th Ed. by Incline Eng. & Serv. LLC.
9. Outdoor Lighting Plan with fixture specifications by Summit Electric Supply and Architect.
10. Topographic survey of existing conditions dated Jun 20, 2021 by Michael Trujillo, surveyor.
11. Survey of existing significant trees on site dated Apr 10, 2026 by Michael Trujillo, surveyor.
12. COSF Water Plan dated Jan 23, 2026 and approved Feb 4, 2026 by Alencio Engineering, Inc.
13. The current 2024 International Fire Code (IFC) by the International Code Council (ICC).
14. The COSF "Drainage Facilities Maintenance", "Gumston Prairie Dog" & "Dust Control" Notes.
15. The COSF "Engineer's Stormwater Infrastructure Certification" as placed on grading/drainage set.
16. The Architect CU-1 Cover Sheet, CU-2 Site Plan, CU-3 Site Elevations, CU-4 Site Profile & Elevations, and CU-5 Roof Plan dated Apr 10, 2026.

CHANGES FOR APPLICANT RESPONSE ARE MARKED IN RED.

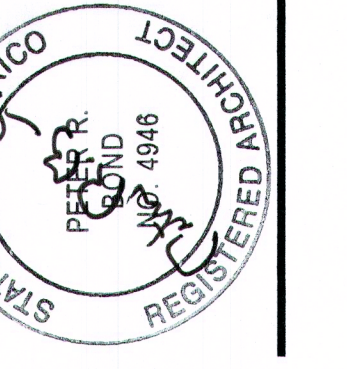


SITE PLAN
Scale 1" = 30'

GENERAL NOTES:
1. All work to be completed in accordance with all Federal, State, and local codes and ordinances.
2. All dimensions are in feet and inches unless otherwise noted.
3. All dimensions are to be taken from the centerline of the building unless otherwise noted.
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DEVELOPER/AGENT FOR LLC
Peter R. Bond, Agent/Architect
15 Bozque Loop
Santa Fe, NM 87508
505/992-0500
pbondmail@gmail.com

REVISION / DATE

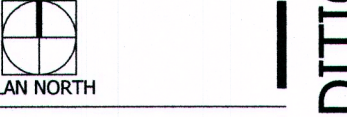


PROJECT:
Mini-Storage Unit Facility
27700/27698 W. Frontage Road
Santa Fe, New Mexico
ARCHITECT:
Peter R. Bond, Architect
NM License No.: 004946

RZX PROPERTY, LLC
MINI-STORAGE UNIT FACILITY
SANTA FE, NM
PROJECT: 2001

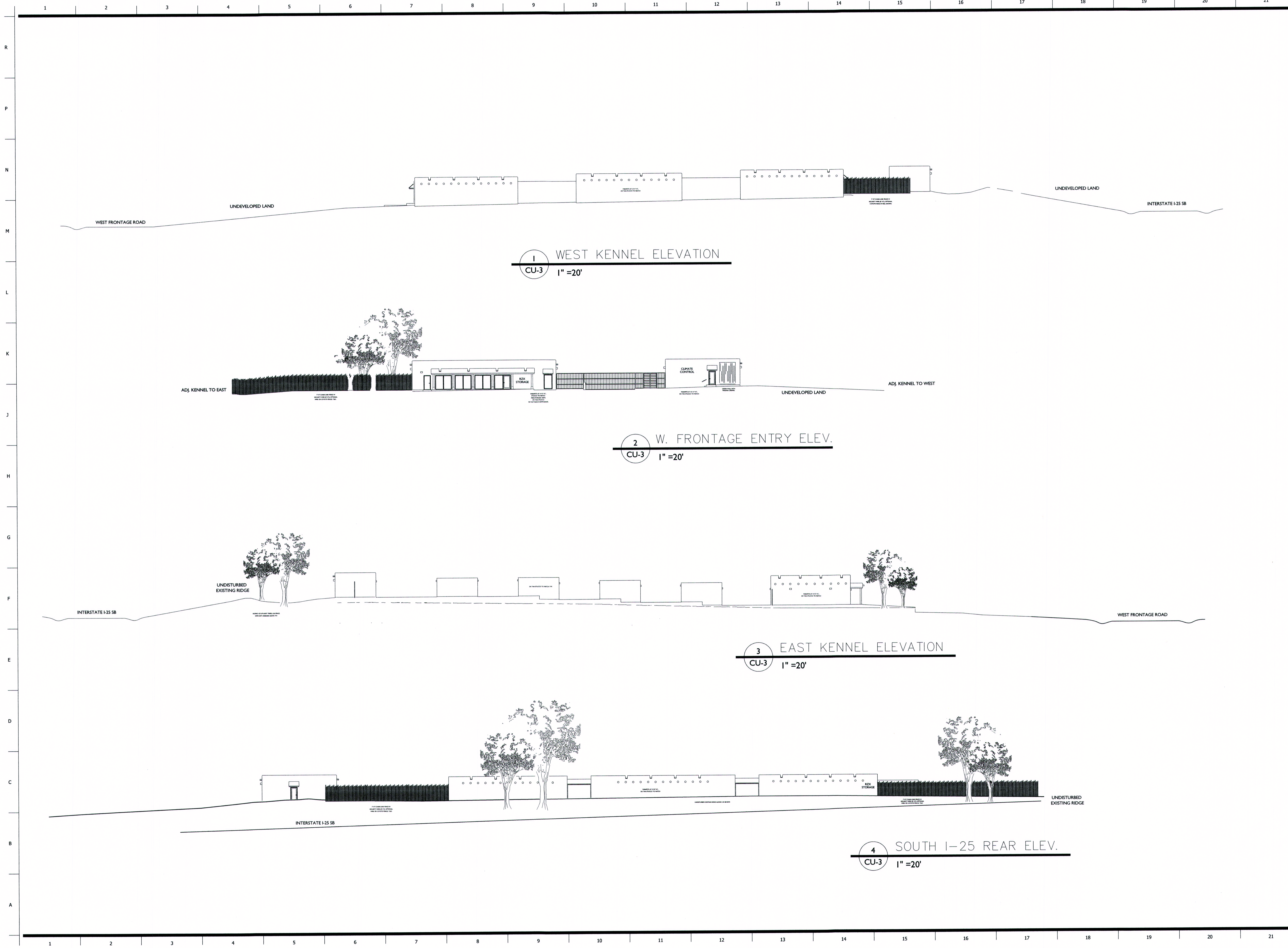
DATE: April 10, 2026

SITE PLAN



CU-2

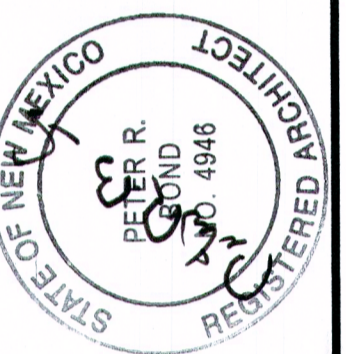
CONDITIONAL USE PERMIT APPLICATION



GENERAL NOTES:
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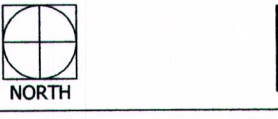
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PROJECT:
 Mini-Storage Unit Facility
 77700/27698 West Frontage Road
 Santa Fe, New Mexico
ARCHITECT:
 Peter R. Bond, Architect
 NI Registration No.: 004946

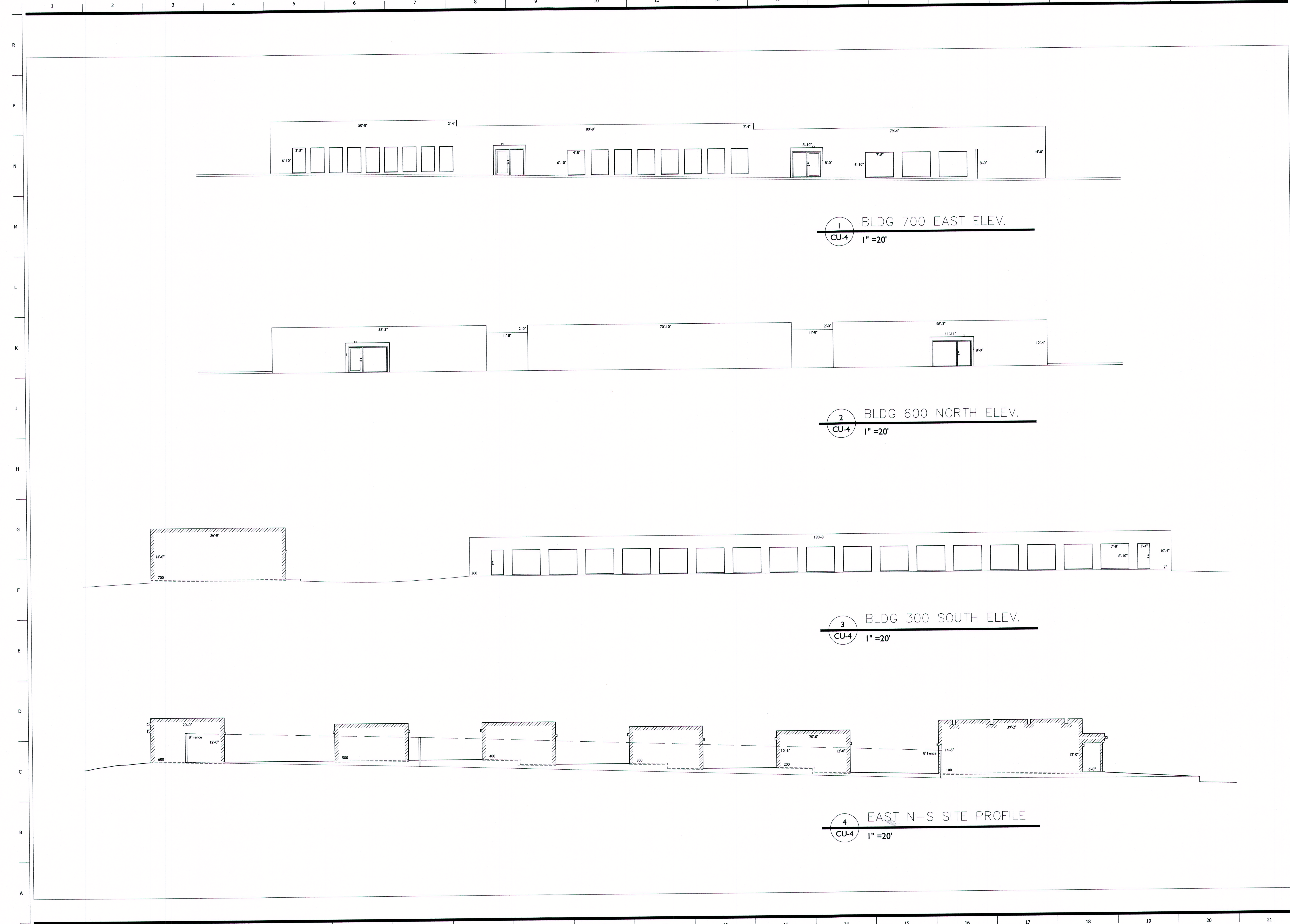
RZX PROPERTY, LLC
MINI-STORAGE UNIT FACILITY
SANTA FE, NM
 PROJECT: 2001
 DATE: March 9, 2026

SITE ELEVATIONS



CU-3

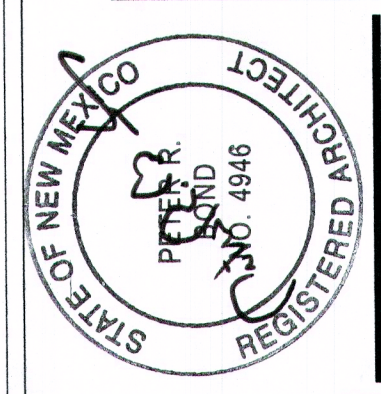
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REVISION / DATE



PROJECT:
 Mini-Storage Unit Facility
 27700/27698 W. Frontage Road
 Santa Fe, New Mexico

ARCHITECT:
 Peter R. Bond, Architect
 NM Registration No.: 004946

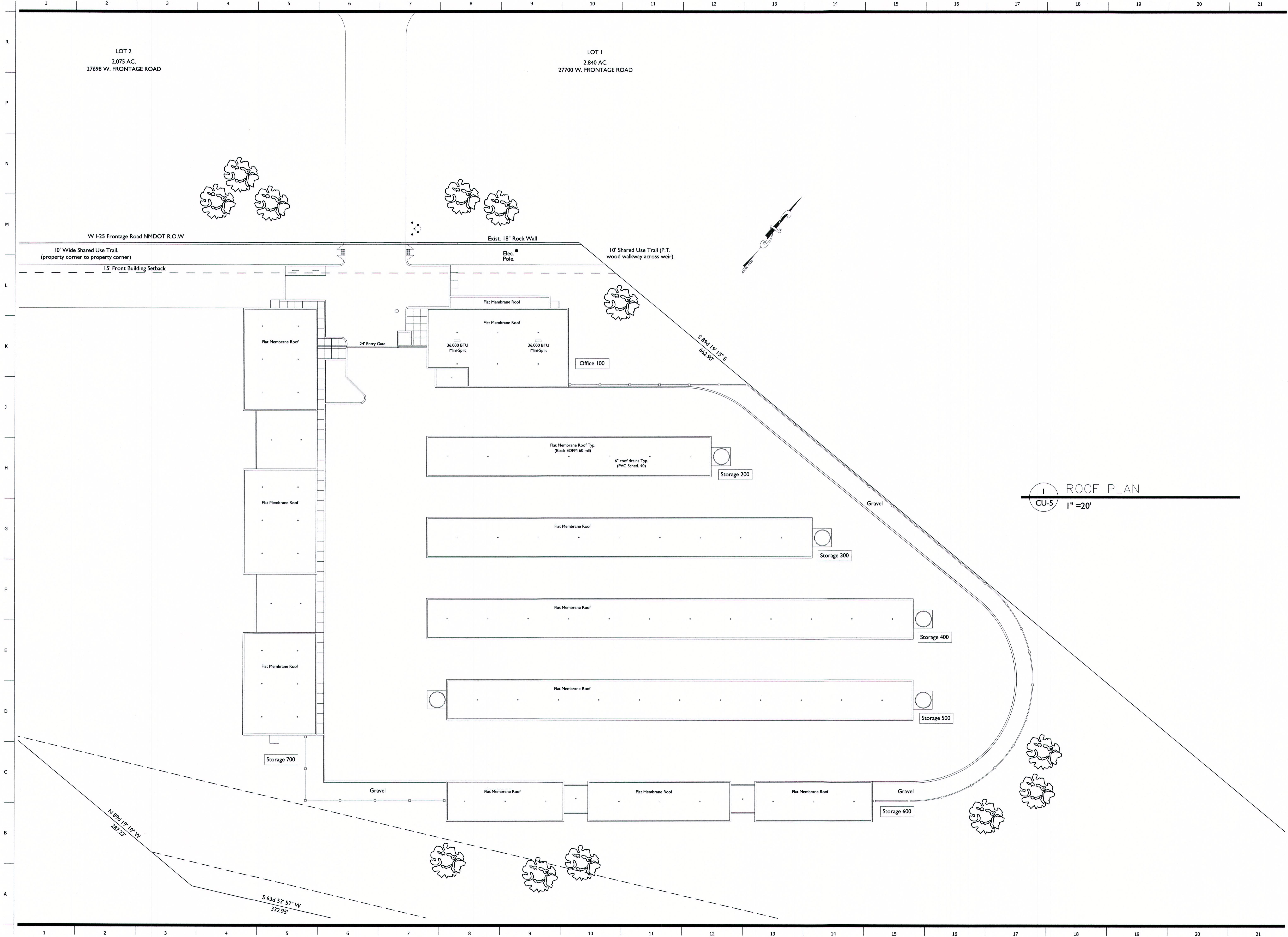
RZX PROPERTY, LLC
MINI-STORAGE UNIT FACILITY
SANTA FE, NM
 PROJECT: 2001

SITE PROFILE
& BLDG ELEVATIONS

CU-4

CONDITIONAL USE PERMIT APPLICATION

DATE: April 10, 2026

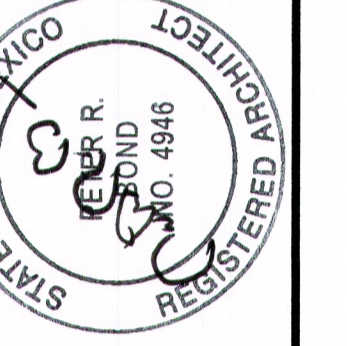


1 ROOF PLAN
 CU-5 1" = 20'

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DEVELOPER/AGENT FOR LLC:
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REVISION DATE:



PROJECT:
 Business Offices/Mini-Storage Units
 27700/27698 W. Frontage Road
 Santa Fe, New Mexico
ARCHITECT:
 Peter R. Bond, Architect
 NM Registration No.: 904946

RZX PROPERTY, LLC
MINI-STORAGE UNIT FACILITY
SANTA FE, NM
 PROJECT: 2001
 DATE: April 10, 2026

ROOF PLAN

CU-5

CONDITIONAL USE PERMIT APPLICATION

Zoning District	Points Required
C-1, C-2, C-4, BCD, PRR, SC, HZ, MU	205
RR, R-1 through R-6, R-7, R-8, R-9, R10 through R-29, RC-5, RC-8, PRC, RAC, AC (1)	180
I-1, I-2, BIP	155

210

Design Element	Points	In Midtown LINC	
WALLS			
Predominant Wall Surface Material	Stucco, adobe	30	
	Brick, natural stone, and integrally colored unit masonry	25	30
	Concrete and non-integrally colored unit masonry	20	30
Color of Predominant	Metal siding, glass curtainwall systems, glass block, wood siding, and simulated materials	10	30
	Mirrored glass curtainwall systems	-10	
Exterior Surface Material	Earthy tones, creams, and pastels of earthtone hues including but not necessarily limited to rose, peach, and terra cotta colors	30	
	Pastel colors of non-earthtone hues, whites, grays, and grayish greens	15	30
	High-intensity colors	-10	10
Exterior Surface Treatment	Metallic colors, glass and black	-10	
	OPTION A: <ul style="list-style-type: none"> Wall surfaces appear monolithic with at least 75% of the total wall area one material and one color. Differing shades of the same general hue shall not be considered different colors. Non-solar fenestration, window and door awnings, applied trim, and accent materials, colors, and decorative bands, with the exception of stucco, masonry or concrete control joints, are used in such a way that they do not give a panelized or prefabricated appearance, produce striped or checkerboard patterns, or exceed 25% of the surface area of any façade. Fenestration and/or accent colors on wall surfaces under portals or canopies having a horizontal depth of at least 6 feet shall be exempt from area calculations. 	10	
	OPTION B: Wall surfaces do not meet the criteria set forth in OPTION A above.	-10	

Design Element	Points	In Midtown LINC	
ROOFS			
Form	Flat roof surfaces entirely concealed from public view by parapets	20	
	Flat roof surfaces not entirely concealed from public view by parapets, uniformly sloping roofs, or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with greater than or equal to four feet of vertical rise for every 12 feet of horizontal run and less than or equal to 12 feet of vertical rise for every 12 feet of horizontal run	15	
	Uniformly sloping roofs or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with less than four feet of vertical rise for every 12 feet of horizontal run or having a slope with greater than 12 feet of vertical rise for every 12 feet of horizontal run	10	
	Any type of sloping roof having a height, from springline to peak, that exceeds the average height of the supporting walls; non-uniformly sloping roofs; or any combination of flat and non-uniformly sloping roofs	-10	
	All surfaces are concealed from public view	20	
Predominant Material	Standing, flat, or batten seam metal roofing, or membrane, asphalt or gravel surfaces exposed to public view	15	
	Flat tiles of clay, concrete or slate	10	
	Barrel tiles of clay, concrete, or slate; and asphalt shingles	5	
Predominant Color	Wood shingles or shakes and other materials including but not necessarily limited to plastic, fiberglass or metal roof tiles	-10	
	All roof surfaces are concealed from public view by parapet	15	
	Dark reds, browns, and earthtones, and natural metals including aluminum, zinc, tin, and lead	10	
	Low-intensity colors other than those stated above	5	
	White	0	
	Bright, non-fading, high-intensity colors and any use of multiple colors	-15	

Design Element	Points	In Midtown LINC	
BUILDING FORM			
Massing	OPTION A: One-story buildings with over 10,000 square feet of gross floor area and multi-story buildings with over 20,000 square feet of gross floor area which are designed with wall plane projections or setbacks on each publicly visible façade having a depth of at least 3% of the length of the façade and extending at least 20% of the length of the façade	30	
	OPTION B: One-story buildings with less than or equal to 10,000 square feet of gross floor area and multi-story buildings with less than or equal to 20,000 square feet of gross floor area which are designed with either offsetting wall planes or upper story setbacks of at least four horizontal feet, or a recessed entry space or projecting canopy or portal having a depth of at least six horizontal feet, or at least one publicly visible façade	30	
	Buildings not using the massing techniques described in OPTION A or B above	0	

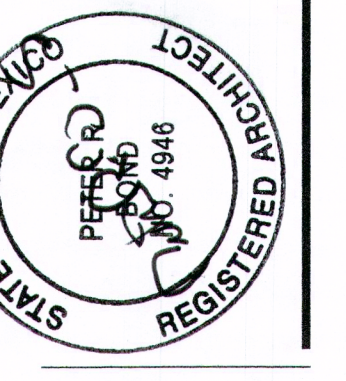
Design Element	Points	In Midtown LINC	
DOORS AND WINDOWS			
Treatment	More than 50% of doors, windows, and glazed surfaces, which are not located under portales or canopies having a horizontal depth of at least six feet, have either frames recessed a minimum of two inches, are cased with trim, have divided lintels, or have exposed or otherwise articulated lintels	20	
	More than 50% of doors, windows and glazed surfaces do not meet the requirements set forth above	0	20
Area	All wall surfaces which are not located under portales or canopies having a horizontal depth of at least six feet, and which do not include solar fenestration, have less than or equal to 50 percent openings consisting of doors, windows, glazing and other penetrations	20	
	Wall surfaces do not meet the requirements as set forth above	0	20
Location	All doors, windows and glazed surfaces, on structures having a gross floor area greater than 150 square feet, are located at least two feet from outside building corners	20	
	All doors, windows and glazed surfaces, on structures having a gross floor area less than or equal to 150 square feet, have at least a two inch mullion at inside and outside building corners	20	
Glazing	All glazing is clear or tinted neutral gray	10	
	Any use of colored glazing	0	10
	Any use of mirrored glazing	-10	

Design Element	Points	In Midtown LINC	
EQUIPMENT			
Screening	All roof and wall mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, are screened from public view by parapets, walls, fences, dense evergreen foliage, or by other means	10	
	All building mounted equipment set forth above is either screened; and/or painted to match visually adjacent surfaces	5	
	All building mounted equipment set forth is not screened and/or painted to match visually adjacent surfaces	-10	

GENERAL NOTES:
 1. All work shall be in accordance with the applicable building codes and standards.
 2. The contractor shall be responsible for obtaining all necessary permits.
 3. The contractor shall be responsible for coordinating with all other trades.
 4. The contractor shall be responsible for protecting existing conditions.
 5. The contractor shall be responsible for maintaining site access.
 6. The contractor shall be responsible for maintaining site safety.
 7. The contractor shall be responsible for maintaining site cleanliness.
 8. The contractor shall be responsible for maintaining site security.
 9. The contractor shall be responsible for maintaining site records.
 10. The contractor shall be responsible for maintaining site communication.

DEVELOPER/AGENT FOR LLC
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REVISION / DATE

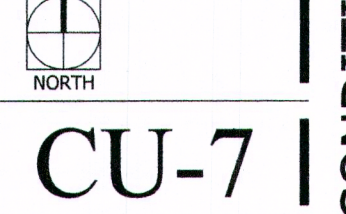


PROJECT:
 Business Offices/Mini-Storage Units
 27700/27698 W. Frontage Road
 Santa Fe, New Mexico
 ARCHITECT:
 Peter R. Bond, Architect
 NM Registration No.: 004946

DATE: May 28, 2026

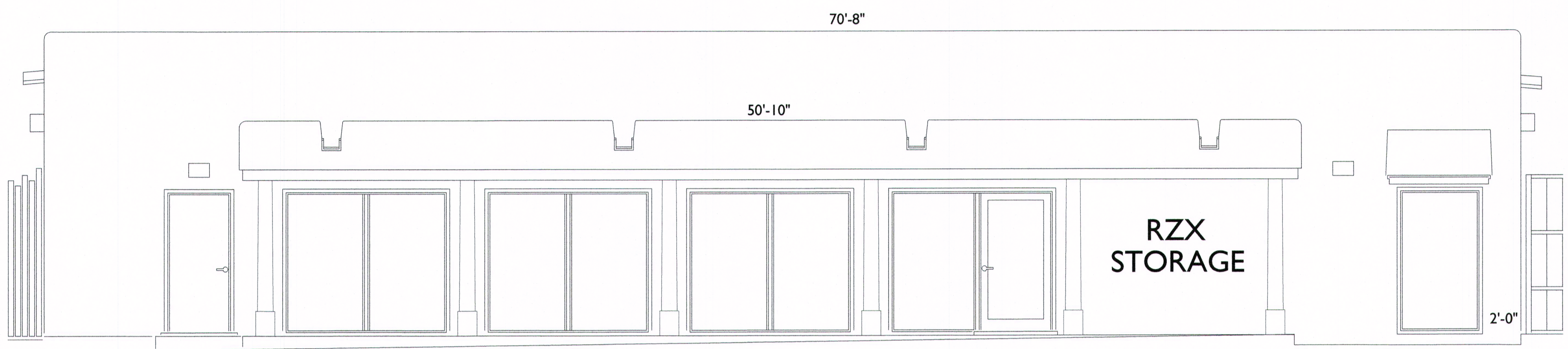
RZX PROPERTY, LLC
 MINI-STORAGE UNIT FACILITY
 SANTA FE, NM
 PROJECT: 2001

ARCHITECT POINTS
 14-7.3 TABLES 7-2 / 7-3



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21

PUEBLO STYLE ARCHITECTURE
W/ PARAPETS AND CANALES TYP.;
10" WOOD VIGAS W/ 8" EXPOSED.

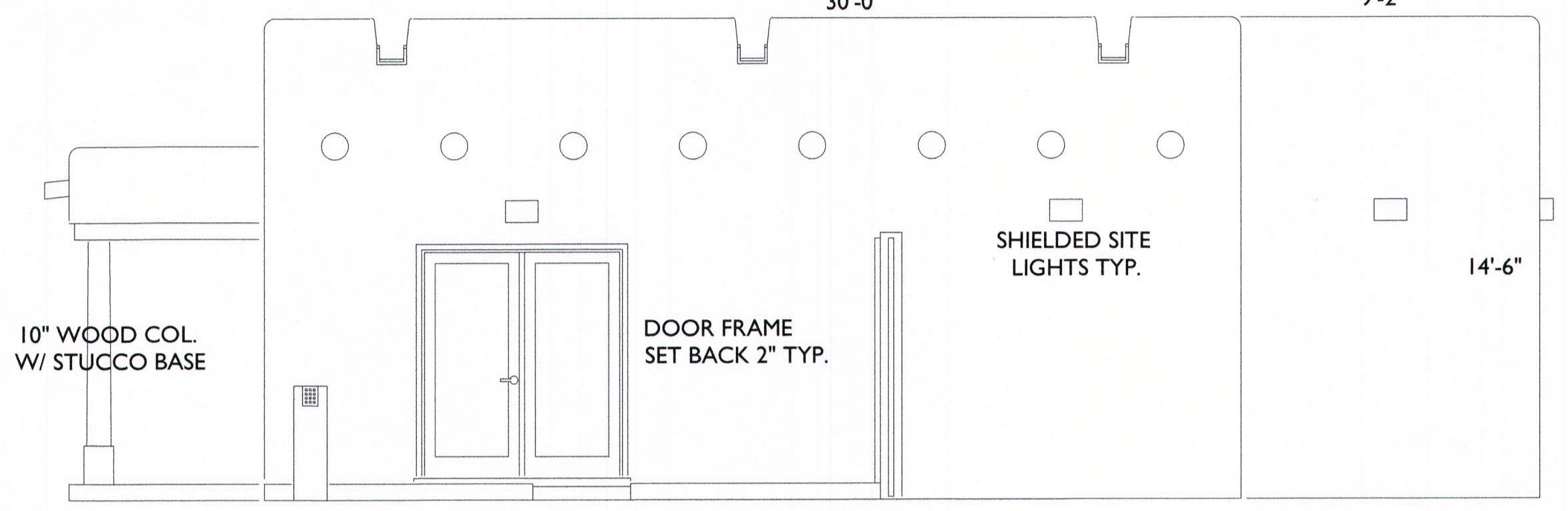


PARAPETS AT 14'-6" HT.;
STUCCO TO MATCH
MINI-STORAGE UNITS
DK TAN STUCCO
W/ FLAT BLACK EDPM ROOFS.

1 BLDG 100 - NORTH ELEV.
Scale 1/4" = 1'-0"

PUEBLO STYLE ARCHITECTURE
W/ PARAPETS AND CANALES TYP.;
10" WOOD VIGAS W/ 8" EXPOSED.

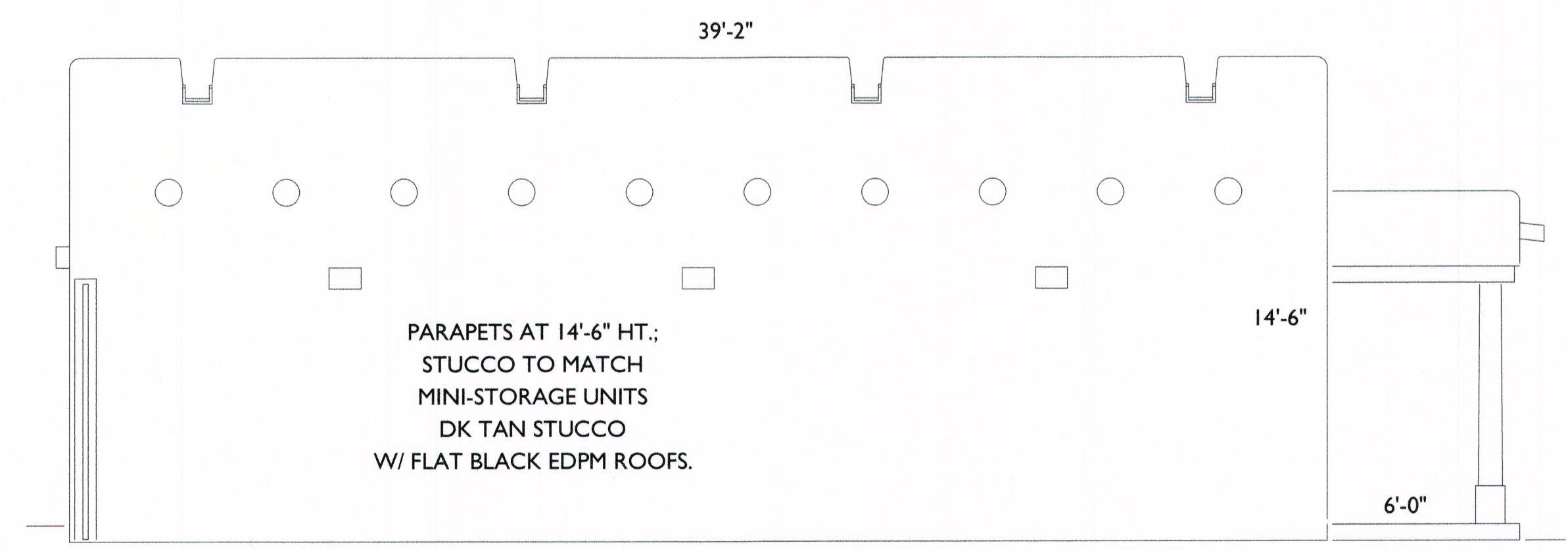
FRONT BLDG. PORTAL STUCCO
W/ PARAPET AT 10'-6" HT.;
6' DEPTH W/ 4' UP TO UPPER ROOF.



PARAPETS AT 14'-6" HT.;
STUCCO TO MATCH
MINI-STORAGE UNIT
DARK TAN STUCCO
W/ FLAT BLACK EDPM ROOFS.

2 BLDG 100 - WEST ELEV.
Scale 1/4" = 1'-0"

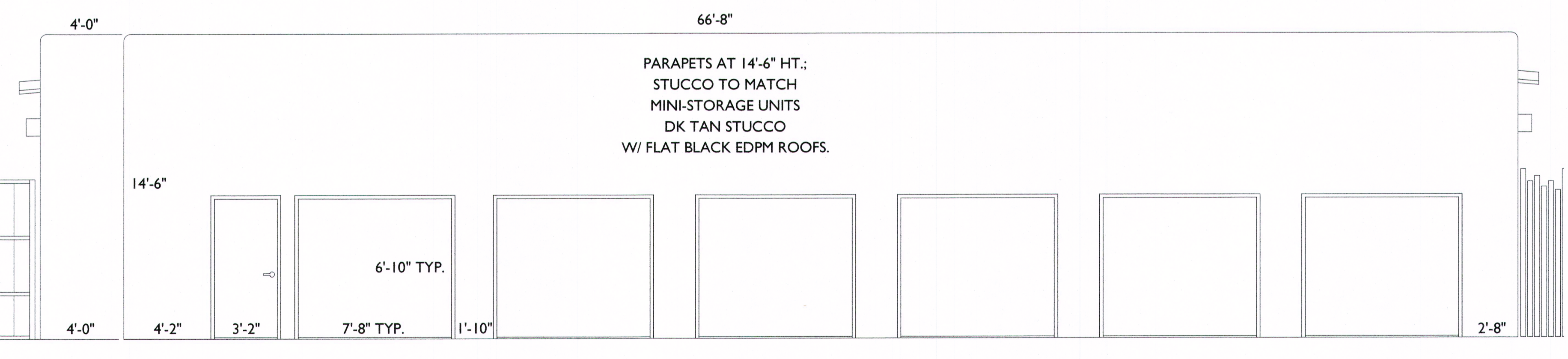
PUEBLO STYLE ARCHITECTURE
W/ PARAPETS AND CANALES TYP.;
10" WOOD VIGAS W/ 8" EXPOSED.



PARAPETS AT 14'-6" HT.;
STUCCO TO MATCH
MINI-STORAGE UNITS
DK TAN STUCCO
W/ FLAT BLACK EDPM ROOFS.

3 BLDG 100 - EAST ELEV.
Scale 1/4" = 1'-0"

PUEBLO STYLE ARCHITECTURE
W/ PARAPETS AND CANALES TYP.;
10" WOOD VIGAS W/ 8" EXPOSED.

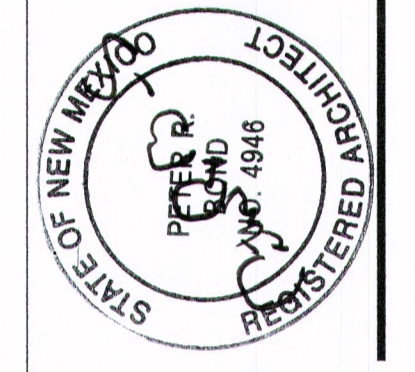


PARAPETS AT 14'-6" HT.;
STUCCO TO MATCH
MINI-STORAGE UNITS
DK TAN STUCCO
W/ FLAT BLACK EDPM ROOFS.

4 BLDG 100 - SOUTH ELEV.
Scale 1/4" = 1'-0"

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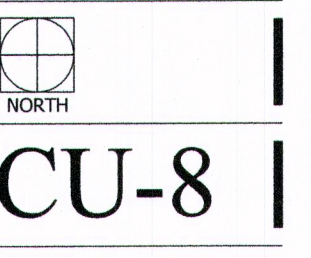


PROJECT:
Mini-Storage Facility
1420 Mystic Valley Parkway
Medford, NM 87505
ARCHITECT:
Peter R. Bond, Architect
NM License No.: 004946

DATE: May 28, 2026

RZX PROPERTY, LLC
MINI-STORAGE UNITS
SANTA FE, NM
PROJECT: 2001

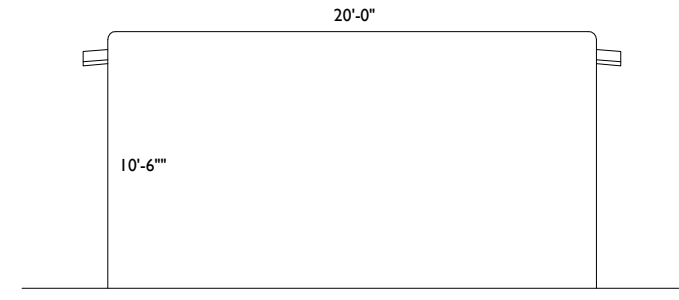
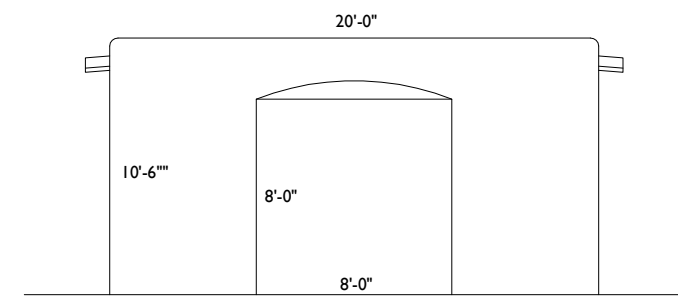
BLDG 100 EXTERIOR
ELEVATIONS



CONDITIONAL USE PERMIT APPLICATION

R
P
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M
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K
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D
C
B
A

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21

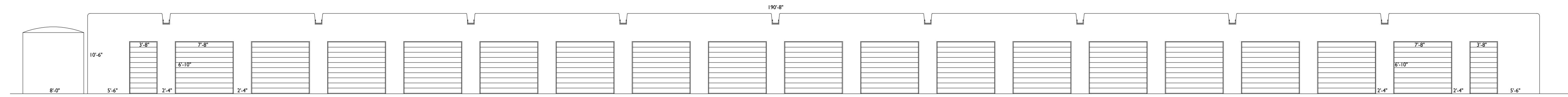


1 BLDG 300 – EAST ELEV.
 CU-9 Scale 1/8" = 1'-0"

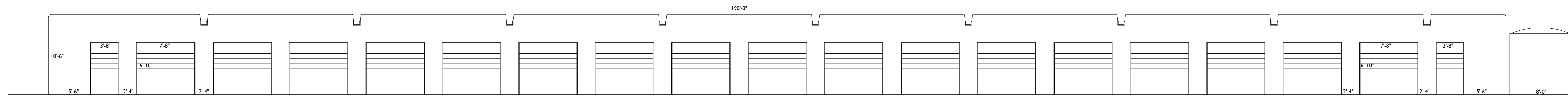
2 BLDG 300 – WEST ELEV.
 CU-9 Scale 1/8" = 1'-0"



Roll up unit doors will match the stucco adobe exterior (may be lighter or darker)



3 BLDG 300 – NORTH ELEV.
 CU-9 Scale 1/8" = 1'-0"



4 BLDG 300 – SOUTH ELEV.
 CU-9 Scale 1/8" = 1'-0"

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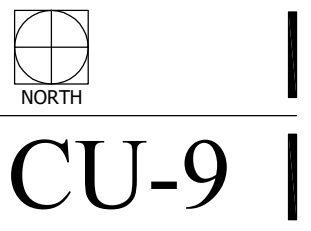
REVISION / DATE

PROJECT:
 Mini-Storage Facility
 1420 Mystic Valley Parkway
 Medford, MA 02155
 ARCHITECT:
 Peter B. Bond, Architect
 NM License No. 004946

DATE: May 28, 2026

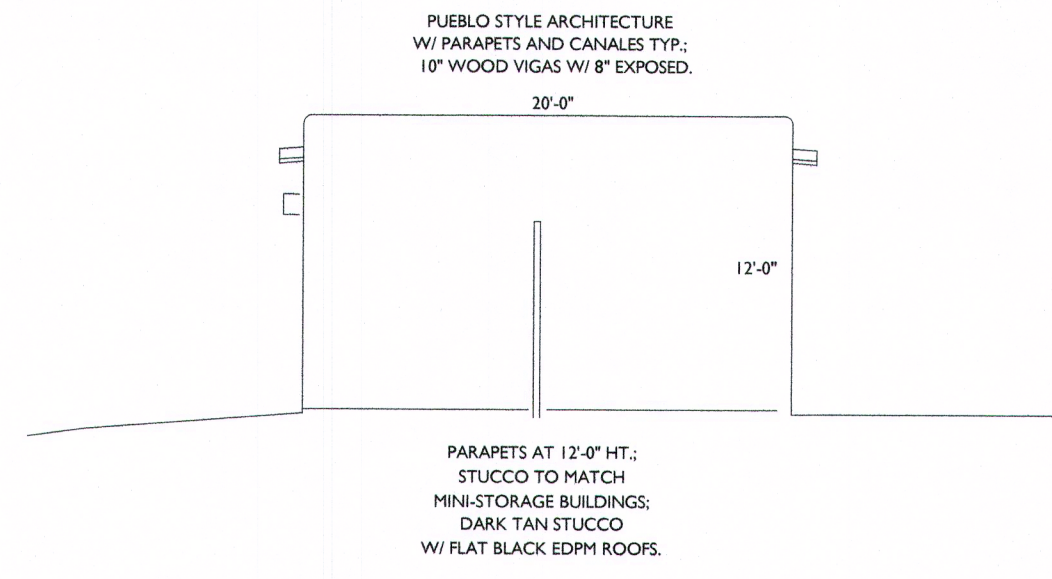
RZX PROPERTY, LLC
 MINI-STORAGE UNITS
 SANTA FE, NM
 PROJECT: 2001

BLDG 200-500 EXTERIOR
 ELEVATIONS

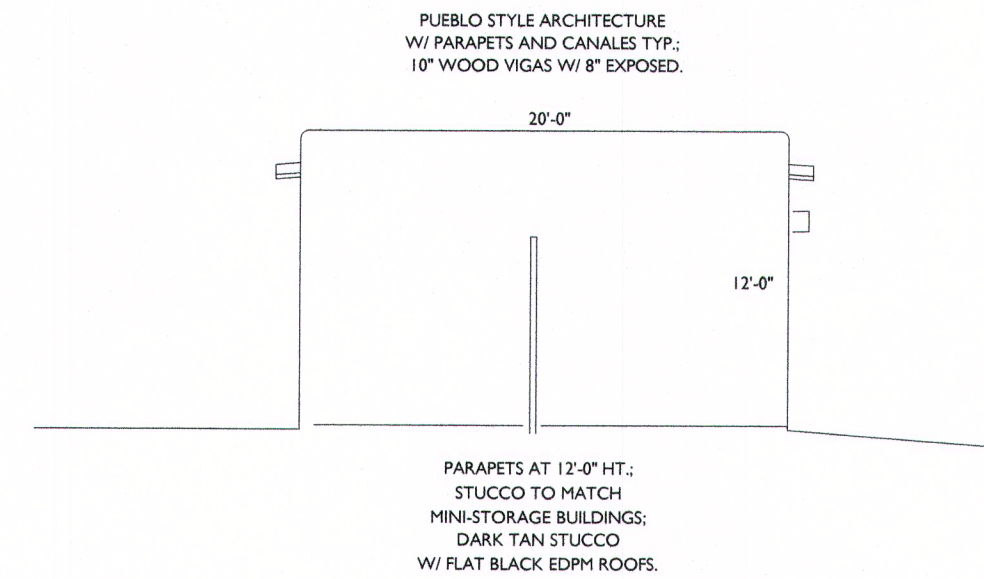


CU-9

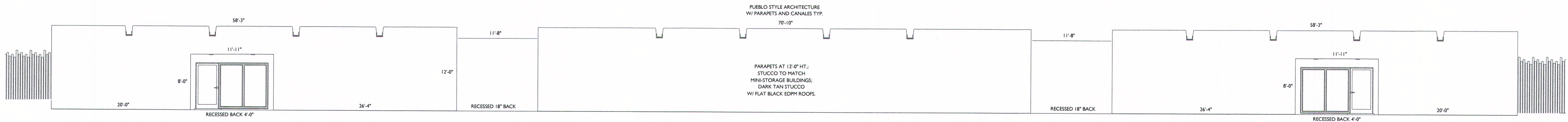
CONDITIONAL USE PERMIT APPLICATION



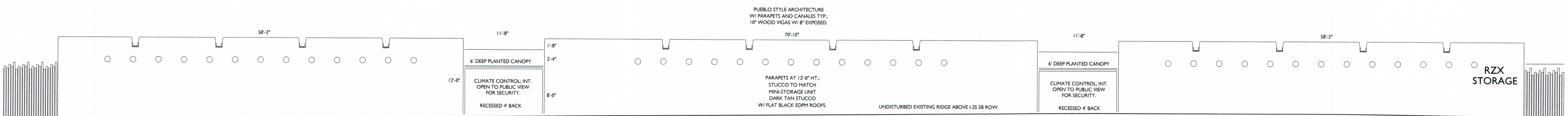
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 Scale 1/8" = 1'-0"



2 BLDG 600 – WEST ELEV.
 Scale 1/8" = 1'-0"



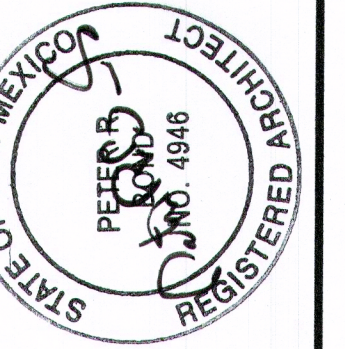
3 BLDG 600 – NORTH ELEV.
 Scale 1/8" = 1'-0"



4 BLDG 600 – SOUTH ELEV.
 Scale 1/8" = 1'-0"

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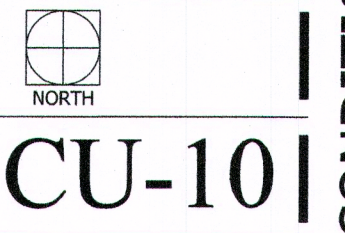
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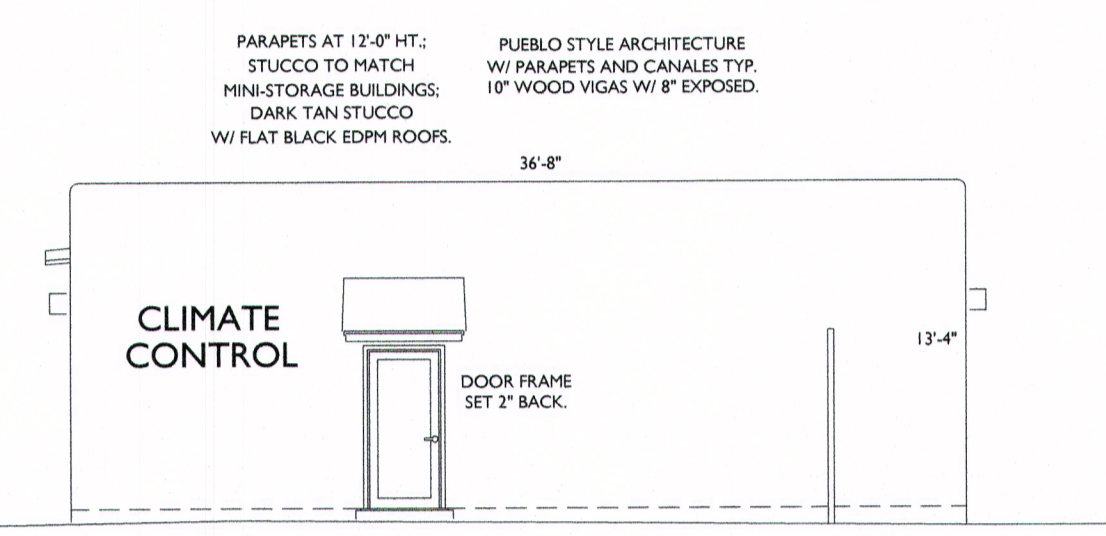
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SANTA FE, NM
 PROJECT: 2001

BLDG 600 EXTERIOR ELEVATIONS

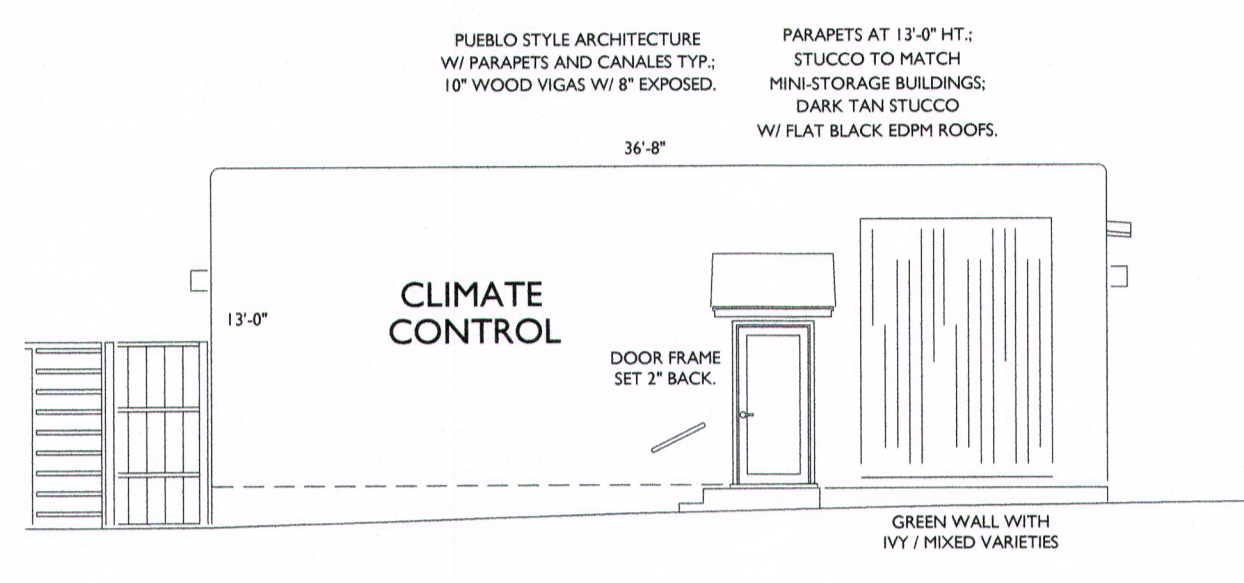


ICU-10

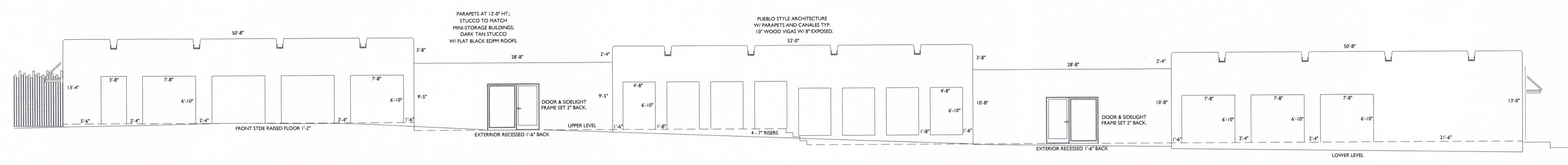
CONDITIONAL USE PERMIT APPLICATION



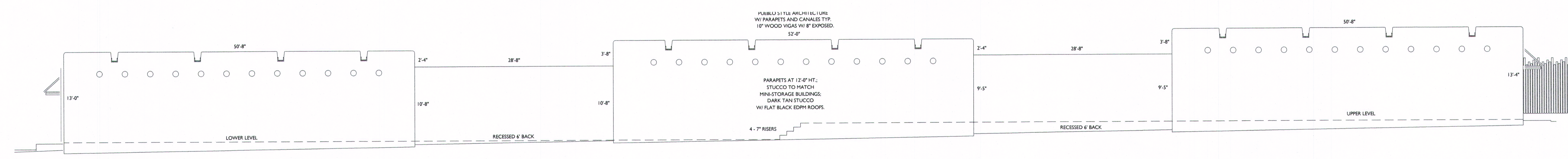
1 BLDG 700 - SOUTH ELEV.
 CU-11 Scale 1/8" = 1'-0"



2 BLDG 700 - NORTH ELEV.
 CU-11 Scale 1/8" = 1'-0"



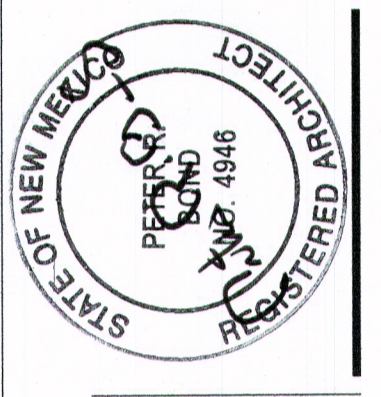
3 BLDG 700 - EAST ELEV.
 CU-11 Scale 1/8" = 1'-0"



4 BLDG 700 - WEST ELEV.
 CU-11 Scale 1/8" = 1'-0"

GENERAL NOTES:
 All work to be completed in compliance with all Federal, State and Local codes and regulations.
 All dimensions are to be confirmed prior to construction. Do not scale drawings in lieu of dimensions provided or implied. This drawing is an instrument of service of the Architect. Peter R. Bond, Architect, is not responsible for any errors or omissions without his prior written consent.

REVISION / DATE



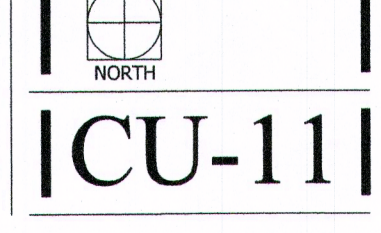
PROJECT:
 Mini-Storage Facility
 1420 Mystic Valley Parkway
 Medford, MA 02155

ARCHITECT:
 Peter R. Bond, Architect
 NM License No.: 004946

DATE: May 28, 2026

RZX PROPERTY, LLC
 MINI-STORAGE UNITS
 SANTA FE, NM
 PROJECT: 2001

BLDG 700 EXTERIOR
 ELEVATIONS



CONDITIONAL USE PERMIT APPLICATION