

MINI-STORAGE UNIT FACILITY

PROJECT INFORMATION

PROJECT:	Mini-Storage Unit Facility 27700 W. Frontage Rd. (Lot 1) 2.840 Acres 27698 W. Frontage Rd. (Lot 2) 2.075 Acres Santa Fe, New Mexico 87507
CITY/COUNTY	City of Santa Fe, Santa Fe County, NM
T.M. LOT(S) / BLOCK	Section 24, T.16N., R.8E., N.M.P.M.
AREA OF CONSTRUCTION FLOOR AREA/ PROPOSED	New Construction / 2.020 acres / 87,985 sq.ft. Seven Proposed Buildings / 29,920 sq.ft.
BUILDING CODE OCCUPANCY TYPE CONSTRUCTION TYPE FIRE PROTECTION	IBC 2021 - Bldg., Plumbing, Mech., Elec. Storage Group S; Business Group B (office) 5A; unprotected; no sprinklers required. Smoke / Carbon Monoxide detectors
OWNER	RZX Property, LLC; Ian D. Bond, Manager 1420 Mystic Valley Parkway Medford, MA 02155
DEVELOPER/ AGENT FOR LLC	Peter R. Bond, Agent / Developer Victoria Dalton, NM Land Solutions, LLC 15 Bosque Loop, Santa Fe, NM 87508 505/ 992-0500 pbond.mail@gmail.com
ARCHITECT	Peter R. Bond, NM Lic. Architect, No. 4946
LANDSCAPE ARCHITECT CIVIL ENGINEER STRUCTURAL ENGINEER MECH. ELEC. PLUMB. ENGINEERS	Surroundings Studio LLC; F. Okuma, FASLA Incline Engineering & Services; T. Barber, PE
SURVEYOR	Michael V. Trujillo, N.M.P.S. No. I2130

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E 104	ELEC. - SECURITY SYSTEMS
REF1	TOPOGRAPHIC SURVEY EXISTING
REF2	EASEMENTS; COMPLETED & EXPIRED PERMITS

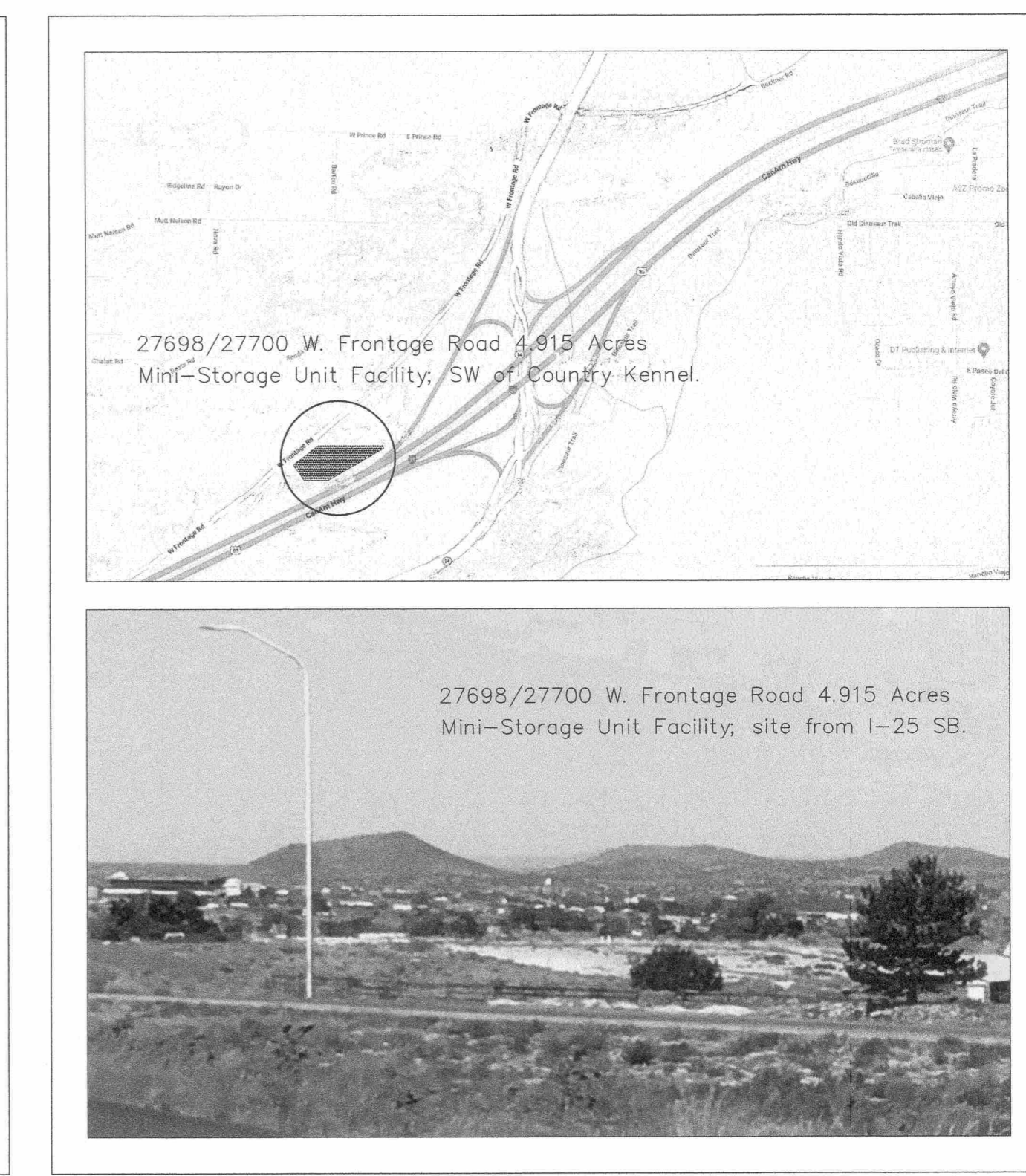
ABBREVIATIONS

a.d.a. - Amer. Disabilities Act	insul. - insulation
a.f.f. - above finished floor	int. - interior
a.c.t. - acoustical ceiling tile	lt. - light
alum. - aluminum	max. - maximum
bm. - beam	mech. - mechanical
cab. - cabinet	manu. - manufacturer
cpt. - carpet	m.s. - metal stud
clg. - ceiling	min. - minimum
c.l. - centerline	m.o. - masonry opening
cer. - ceramic	mdl. - metal
col. - column	n.i.c. - not in contract
conc. - concrete	o.c. - on center
cont. - continuous	p.lam. - plastic laminate
dk. - dark	plwd. - plywood
dia. - diameter	prep. - prepare
dr. - door	refl. - reflected
ds. - downspout	rebar. - reinf. bar
dwg. - drawing	reinf. - reinforcement
dw. - drywall	req. - required
ea. - each	r.o. - rough opening
e.w. - each way	sim. - similar
elec. - electrical	spec. - specifications
emerg. - emergency	stl. - steel
equip. - equipment	str. - structural
exist. - existing	t.b.d. - to be determined
ext. - exterior	t.o.s. - top of steel
e.i.f.s. - ext. insul. fin. system	t.o.f. - top of framing
fin. - finish	typ. - typical
h.v.a.c. - hvac	vert. - vertical
f.e. - fire extinguisher	v.b. - vinyl base
fg. - footing	v.c.t. - vinyl comp. tile
galv. - galvanized	wc. - wallcover
gwb. - gypsum wall board	w.w.m. - weld wire mesh
hc. - handicap	w/ - with
hdr. - header	wdw. - window
h.m. - hollow metal	wd. - wood
horiz. - horizontal	

ZONING SUMMARY

Proposed Mini-Storage Unit Facility			
ZONING DISTRICT: C-2 ("C2"); City of Santa Fe, Conditional Use Permit.			
27700 W. Frontage Road (Lot 1) Santa Fe, NM; Parcel No. 99309269			
27698 W. Frontage Road (Lot 2) Santa Fe, NM; Parcel No. 99309268			
	Required	Existing	Proposed
LOT 1 & 2 SIZE:	Not Required.	4.915 acres	4.915 acres
LOT MIN. FRONTAGE:	Not Required.	409.93'	409.93'
SETBACKS:			
FRONT YARDS:	15.0' (C2)	Building 100	26.25'
REAR YARDS:	50.0' (lot split)	Building 600	59.00'
SIDE YARDS:	0.0' (C2)	Building 100	28.08'
BUILDING MAX. HT.:	45' MAX. (C2)	0.0'	14.8'
LOT AREA 4.915 ACRES:	214,098 SF	100.0%	100.0%
LOT COVERAGE/SITE IMPROV.:	87,985 SF	0.0%	41.1%
LOT COV./STRUC. 60% MAX.(C2)	29,920 SF	0.0%	16.4%
LOT COV./BLDG. 30,000 MAX.	29,920 SF	0.0%	12.3%
City of Santa Fe Water: exist. 5/8" dom.meter / new 5/8" Irrig.meter.			
City of Santa Fe Fire: relocate exist. fire hydrant to W. Frontage ROW.			
City of Santa Fe sewer N/A; septic to be relocated. NMDOT culvert 30'.			
Mini-Storage Units:	15,867 SF		
Climate Controlled Units:	11,348 SF		
Business Office:	2,705 SF		
	29,920 SF		
Special Use Permit for Mini-Storage Units (Case No. 2016-71) approved by City of Santa Fe Board of Adjustment, August 2, 2016.			

AREA MAP/LOCATION MAP



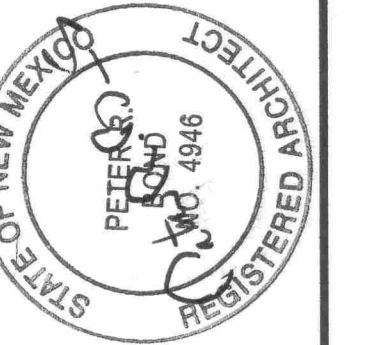
NORTH
N.T.S.

All construction shall conform to the 2021 International Building, Plumbing, Mechanical, Electrical & Energy Code for commercial projects, as amended by the City of Santa Fe ordinance and NM statute. Work to comply with the City of Santa Fe Building Department and NM CID requirements.

GENERAL NOTE:
This work to be completed in compliance with all Federal, State and Local codes and regulations. Do not scale drawings in lieu of dimensions provided or implied. This drawing is for informational purposes only and shall not be used for any other project without the Architect's prior written consent.

DEVELOPER/AGENT FOR LLC
Peter R. Bond, Agent/Architect
15 Bosque Loop
Santa Fe, NM 87508
505/992-0500
pbond.mail@gmail.com

REVISION / DATE



PROJECT:
Mini-Storage Unit Facility
27700/27698 W. Frontage Road
Santa Fe, New Mexico
ARCHITECT:
Peter R. Bond, Architect
NM License No. 004946

RZX PROPERTY, LLC
MINI-STORAGE UNIT FACILITY
SANTA FE, NM
PROJECT: 2001

DATE: March 9, 2026

COVER SHEET



CUP

CONDITIONAL USE PERMIT APPLICATION

NM PORTFOLIO, LLC
124 E. MARCY STREET
SANTA FE, NM 87501
(Across W. Frontage Road)

W. Frontage Road
Interstate 25

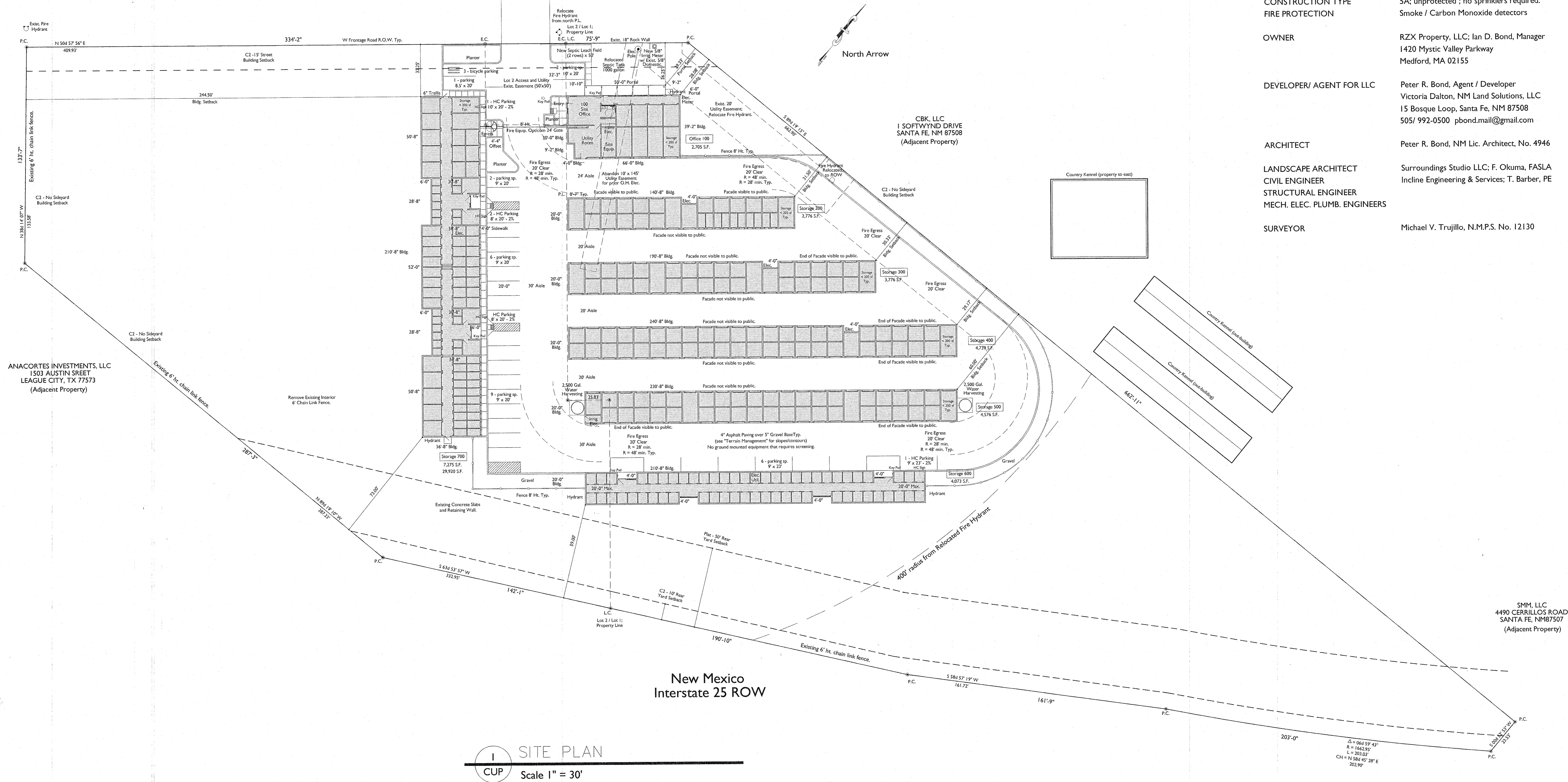
27694 / 27698 W. FRONTAGE ROAD

ARCHITECTURAL POINT CALCULATION - 205 Points

1. Surface stucco at bldgs & integr. color CMU at storage. 25
2. Earthtone color used on exterior surfaces. 30
3. C.I. wall surface > 75% one material and one color. 10
4. Flat roofs w/ parapets and < 3:12 sloped metal roofs. 10
5. Flat membrane roofs & sloped batton seam roofs. 15
6. Flat block membrane w/ parapets; sloped earthtone color. 10
7. One-story buildings w/ 6' deep portal or 4' bldg offsets. 30
8. Facade doors, window & garage openings recessed > 2". 20
9. Doors, windows & glazing < 50% of each ext. wall surface. 20
10. Doors, windows, glazing located > 2' from bldg. corner. 20
11. All glazing to be clear. 10
12. Roof & wall-mounted equip. screened from public view. 5

LOT 2
2,075 AC
27694 W. FRONTAGE ROAD

LOT 1
2,840 AC
27698 W. FRONTAGE ROAD



SITE PLAN
Scale 1" = 30'

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27698 W. Frontage Rd. (Lot 1) 2.840 Acres
27694 W. Frontage Rd. (Lot 2) 2.075 Acres
Santa Fe, New Mexico 87507

OFFICIAL PROPERTY ADDRESS: 27698 / 27694 West Frontage Road
Santa Fe, NM 87507

LOT AREA AND ACREAGE: 214,098 square feet; 4.915 acres.

T.M. LOT(S) BLOCK / ZONING: Section 24, T.16N., R.8E., N.M.P.M. / C2

AREA OF CONSTRUCTION FLOOR AREA/ PROPOSED: New Construction / 2,020 acres / 87,985 sq.ft.
Seven Proposed Buildings / 29,920 sq.ft.

BUILDING CODE PROPOSED USE OF PROPERTY CONSTRUCTION TYPE FIRE PROTECTION: IBC 2021 - Bldg., Plumbing, Mech., Elec.
Storage Group S; Mini Storage Unit Facility
5A; unprotected; no sprinklers required.
Smoke / Carbon Monoxide detectors

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1420 Mystic Valley Parkway
Medford, MA 02155

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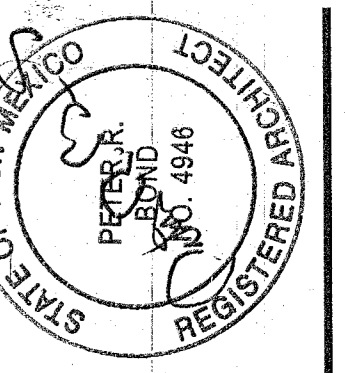
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SURVEYOR: Michael V. Trujillo, N.M.P.S. No. 12130

GENERAL NOTES:
All work to be completed in compliance with all Federal, State, and local codes, ordinances, and regulations. Do not make drawings or instruments of service provided or implied. This drawing is the property of the architect and shall remain the property of the architect prior to written consent.

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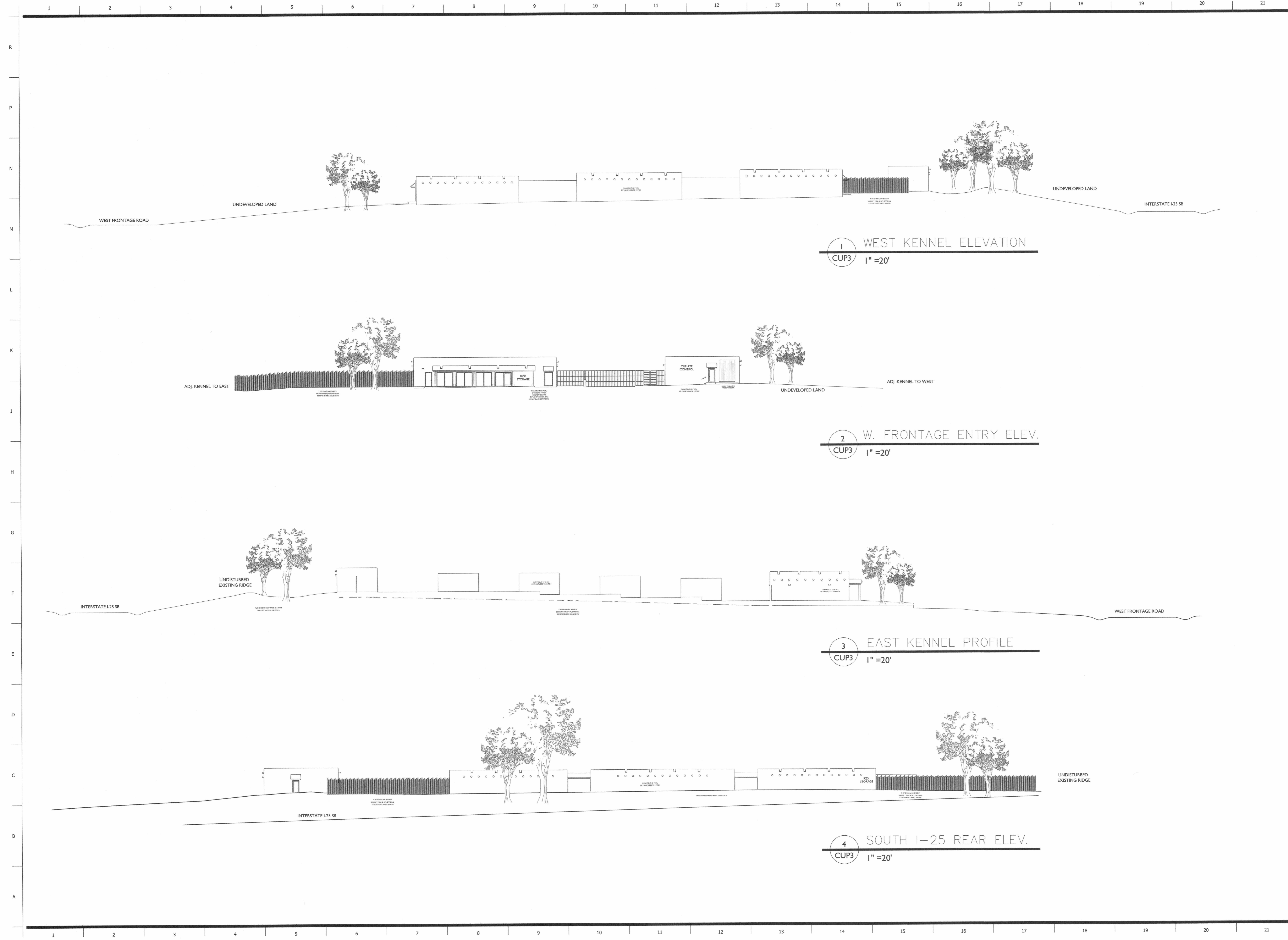


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SITE PLAN
CUP-1

CONDITIONAL USE PERMIT APPLICATION



1 WEST KENNEL ELEVATION
CUP3 1" = 20'

2 W. FRONTAGE ENTRY ELEV.
CUP3 1" = 20'

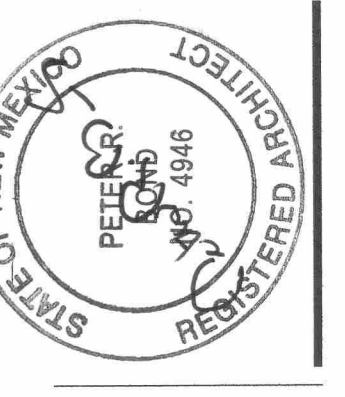
3 EAST KENNEL PROFILE
CUP3 1" = 20'

4 SOUTH I-25 REAR ELEV.
CUP3 1" = 20'

GENERAL NOTES:
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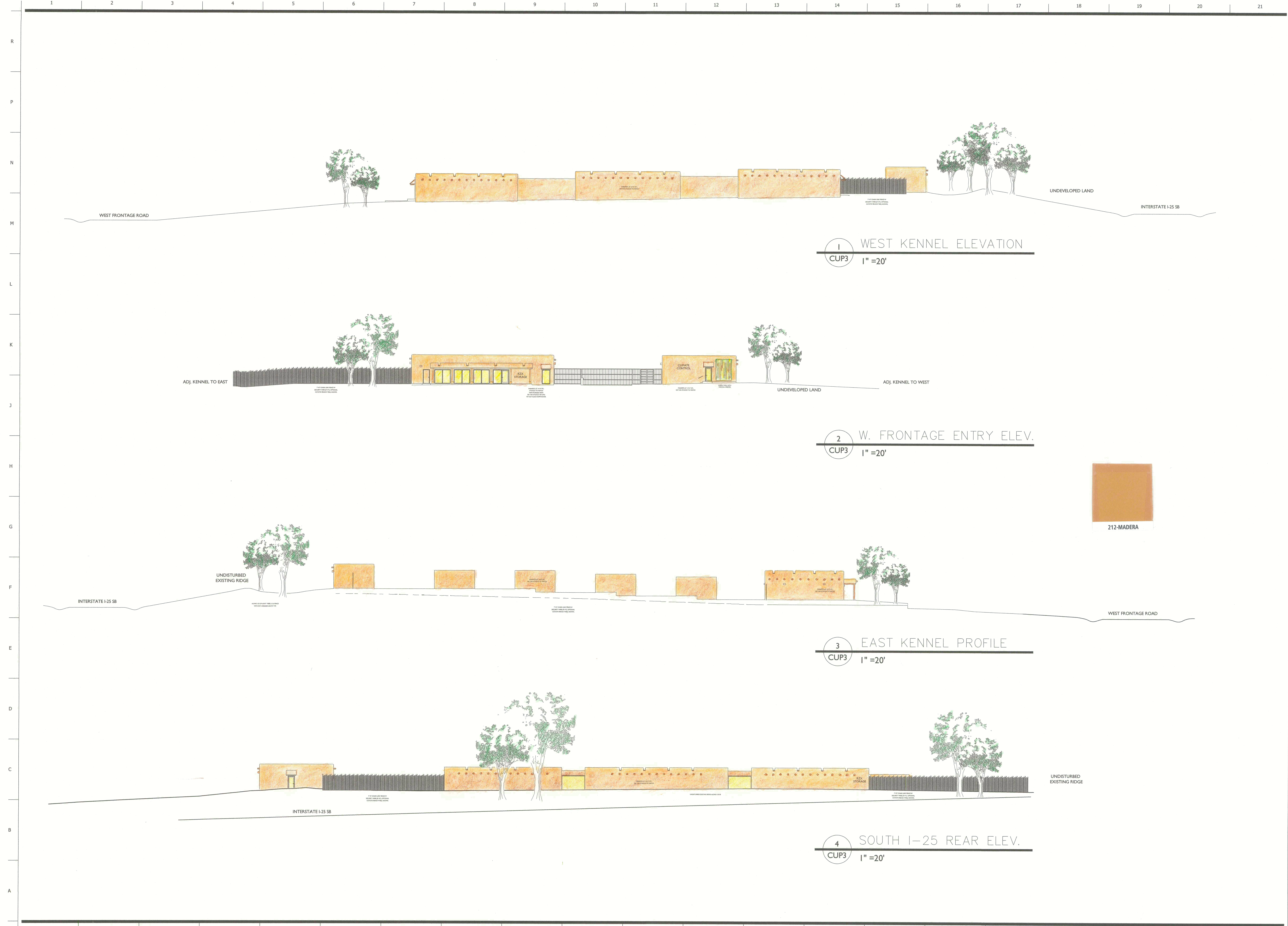
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 SANTA FE, NM
 PROJECT: 2001

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SITE ELEVATIONS & SITE PROFILE



CONDITIONAL USE PERMIT APPLICATION



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CUP3 1" = 20'

2 W. FRONTAGE ENTRY ELEV.
CUP3 1" = 20'

3 EAST KENNEL PROFILE
CUP3 1" = 20'

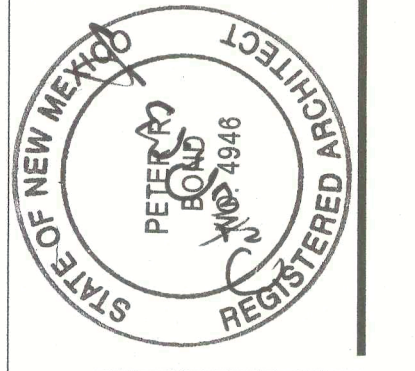
4 SOUTH I-25 REAR ELEV.
CUP3 1" = 20'

212-MADERA

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NM Registration No.: 004946

RXX PROPERTY, LLC
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SANTA FE, NM
PROJECT: 2001
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SITE ELEVATIONS & SITE PROFILE



CUP-3

CONDITIONAL USE PERMIT APPLICATION