

# **City of Santa Fe, New Mexico**

## **Attachment C-3 Development Plans**

- a. Development Plan**
- b. Landscape Plan**
- c. Architectural Plan**
- d. Architectural Points Analysis**
- e. Material Board and Renderings**
- f. Stucco Detail**



# EMPIRE SELF STORAGE CONDITIONS OF APPROVAL

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SANTA FE, NM  
**EMPIRE SELF STORAGE  
SANTA FE, NEW MEXICO**  
DEVELOPMENT PLAN NOTES AND CONDITIONS OF APPROVAL

- CITY OF SANTA FE NOTES**
1. COMPLIANCE WITH GUNNISON'S PRAIRIE DOG ORDINANCE SHALL BE COMPLETED PRIOR TO GRADING OPERATIONS.
  2. FENCES, WALLS OR OTHER OBSTRUCTIONS SHALL NOT BE PLACED OR CONSTRUCTED ACROSS PUBLIC SANITARY SEWER EASEMENTS.
  3. UTILITY EXPANSION CHARGES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION FOR EACH LOT. CONTACT THE CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION TO PAY THESE CHARGES.
  4. EACH LOT SHALL BE SERVED THROUGH A SEPARATE SEWER AND WATER SERVICE.
  5. ALL PROPOSED CHANGES TO THE APPROVED IMPROVEMENT PLANS SHALL RECEIVE PRIOR APPROVAL BY THE CITY OF SANTA FE LAND USE DEPARTMENT.
  6. COMPLY WITH THE CURRENT COSF WATER CONSERVATION STAGE.
  7. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF COSF ORDINANCE NO. 2008-02 (IMPACT FEES).
  8. PROPERTY DEVELOPMENT, BOTH PUBLIC AND PRIVATE OWNERSHIP, SHALL COMPLY WITH THE COSF ORDINANCE NO. 2002-20 (TERRAIN AND STORMWATER MANAGEMENT) AT THE TIME OF BUILDING PERMIT APPLICATION.
  9. BUILDING SETBACKS SHALL APPLY TO ALL PERMANENT STRUCTURES, INCLUDING ACCESSORY STRUCTURES.
  10. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENT.
  11. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH APPLICABLE CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO FINAL PLAT RECORDING WITH THE COUNTY CLERK OR SUBMITTAL WITH BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISIONS OF REQUIREMENTS CALLED FOR IN CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
  12. PROPERTY DEVELOPMENT IS SUBJECT TO THE PROVISIONS OF SECTION 14-8-4(F) (5). "PLANT MATERIAL STANDARDS", WHEREIN PRESERVATION OF SIGNIFICANT TREES IS REQUIRED.
  13. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED THROUGHOUT ALL DEVELOPMENT CONSTRUCTION PHASES AS PER IFC14-19.1
  14. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE AS PER IFC 14-12.1.
  15. PERMANENT TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER APPROVED.
  16. ALL IMPROVEMENTS NOT MAINTAINED AND OPERATED BY PUBLIC UTILITIES OR GOVERNMENTAL BODIES WHICH AFFECT THE GENERAL WELL BEING OF THIS DEVELOPMENT WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
  17. THIS PARCEL LIES WITHIN ZONE "X" AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS PER F.I.R.M. PANEL# 35049C0411E DATED 12/4/2012.
  18. FURTHER SUBDIVISION OF LOTS IS PROHIBITED.
  19. THE LOTS SHOWN HEREON ARE SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR \_\_\_\_\_ HOMEOWNERS' ASSOCIATION, INC. RECORDED IN THE RECORDS OF SANTA FE COUNTY, NEW MEXICO ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2025 AS INSTRUMENT # \_\_\_\_\_.
  20. THIS DEVELOPMENT SHALL COMPLY WITH THE MOST CURRENT REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT (ADA).

**DRAINAGE FACILITIES DESIGN NOTE**

ALL STORM WATER DETENTION / RETENTION AREAS SHALL DRAIN WITHIN 24 HOURS OF A STORM EVENT AS PER ARTICLE 14-8.2(D)(4)(c)(i)

- PUBLIC UTILITY EASEMENTS**
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- A. PUBLIC SERVICE COMPANY OF NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATE FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
  - B. NEW MEXICO GAS COMPANY (NMGCCO) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
  - C. LUMEN TECHNOLOGIES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
  - D. XFINITY &/OR LUMEN TECHNOLOGIES FOR THE INSTALATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.
  - E. CITY OF SANTA FE (PUBLIC WATER AND PRIVATE SEWER) FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF LIES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE SERVICES TO PUBLIC UTILITY EASEMENTS.
- INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, WITHIN THE EASEMENT, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTEE FOR THE PURPOSE SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGH-OF-WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.
- EASEMENTS FOR ELECTRIC, TRANSFORMERS / SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER / SWITCHGEAR GEARS AND FIVE (5) FEET ON EACH SIDE.
- A. QWEST CORP, D/B/A CENTURYLINK QC FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTAL AND CLOSURES. THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE TELEPHONE SERVICES TO THE DEVELOPMENT.
- UTILITY DISCLAIMER:  
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SPECIFICALLY DESCRIBED AND SHOWN ON THIS PLAT.

**DUST CONTROL**

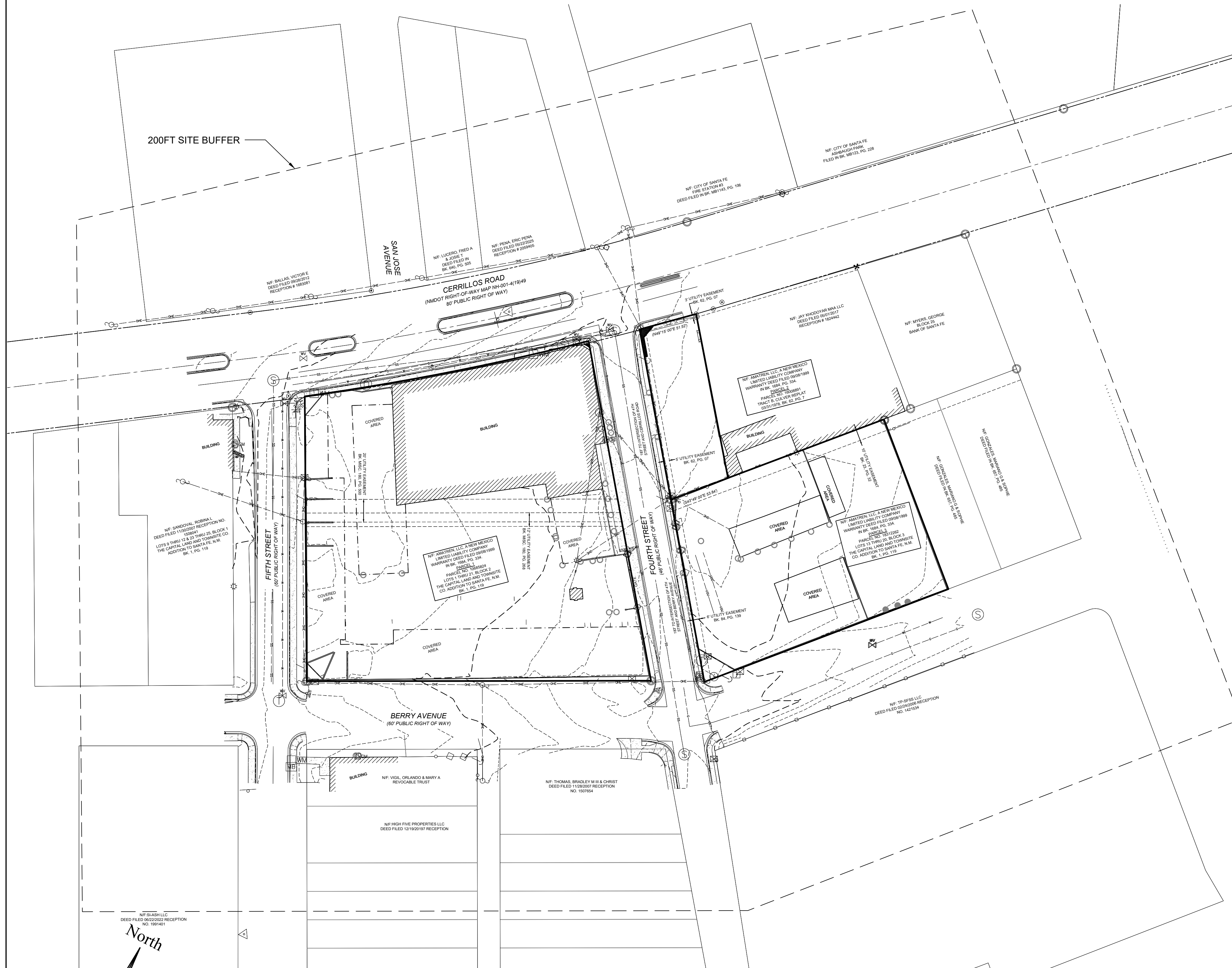
ALL ON-SITE SOIL DISTURBING CONSTRUCTION ACTIVITIES SHALL BE ADDRESSED AND PROVIDE MEASURES TO MITIGATE OR CONTROL DUST FROM BEING TRANSPORTED OFFSITE AND POLLUTING NEIGHBOING PROPERTIES. ANY PERSON, OWNER, CONTRACTOR OR OPERATOR WHO CONDUCTS EARTHMOVING AND/OR DUST GENERATING ACTIVITIES IS RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPS) IN ORDER TO MITIGATE OFF-PROPERTY TRANSPORT OF FUGITIVE DUST EMISSIONS. A PLAN, OR STORMWATER PREVENTION PLAN (SWPP) WHEN APPLICABLE, LISTING BEST MANAGEMENT PRACTICES (BMPS), SHALL BE PROVIDED TO THE CITY ENGINEER, OR THEIR DESIGNEE FOR REVIEW AND APPROVAL. THE APPROVED BMPS SHALL BE APPLIED TO THE GRADED AND/OR DISTURBED SOIL IN ORDER TO STABILIZE THE SITE. THE INITIAL BMP SHALL ADDRESS HOW THE CONTRACTOR WILL MINIMIZE THE AMOUNT OF DISTURBED SOIL, AND HOW THE CONTRACTOR WILL STABILIZE THE DISTURBED SURFACE AREA EXPOSED TO WIND OR VEHICLE TRAFFIC DURING CONSTRUCTION.

CASE #: #2025-11753 & 11756	
ADDRESS: 1802 CERRILLOS RD. SANTA FE, NM 87505 1361 FOURTH ST. SANTA FE, NM 87505 1750 CERRILLOS RD. SANTA FE, NM 87505 3 RD BERRY AVE. SANTA FE, NM 87505	
SHEET NAME: <b>DEVELOPMENT PLAN CONDITIONS AND NOTES</b>	SHEET #: <b>DP-101</b> <small>SHEET # 2 OF 4</small>

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed RJC	Drawn CLW	Checked RJC
Date: April 2026		

# EMPIRE SELF STORAGE EXISTING CONDITIONS PLAN



## PROPERTY INFORMATION

ZONING: C2 - GENERAL COMMERCIAL  
 OVERLAYS: - CERRILLOS ROAD HIGHWAY CORRIDOR PROTECTION DISTRICT (ZONE 1)  
 - SUBURBAN ARCHEOLOGICAL REVIEW DISTRICT

HISTORIC STATUS: N/A  
 NATIONAL REGISTRY: N/A

LOT SIZE: SITE 1:  
 LOTS 1 THRU 21, BLOCK 2, THE CAPITOL LAND & TOWNSITE CO. ADD'N - 1.7479 ± AC  
SITE 2:  
 LOTS 13 THRU 17, BLOCK 3, THE CAPITAL LAND AND TOWNSITE CO. ADD'N - 0.5561 ± AC.  
 LOTS 18 THRU 20, BLOCK 3, THE CAPITAL LAND AND TOWNSITE CO. ADD'N - 0.2350 ± AC.  
 TRACT B, CULVER REPLAT - 0.1794 ± AC.

EXISTING STRUCTURE SQFT: 20,700 ± SQFT  
 EXISTING UTILITIES: SITE 1: SEWER, WATER, ELECTRIC  
SITE 2: ELECTRIC  
 FLOOD ZONE: X

## LEGAL LOT INFORMATION

Lots 1 Thru 21, Block 2, The Capitol Land and Townsite co. Add'n - Bk. 1, Pg. 119  
 Lots 13 Thru 20, Block 3, The Capitol Land and Townsite co. Add'n - Bk. 1, Pg. 119  
 Tract B, Culver Replat - Bk. 62, Pg. 7

## GENERAL NOTES

- SOLID WASTER COLLECTION WILL BE PROVIDED BY THE CITY OF SANTA FE.
- EXTERIOR LUMINARIES SHALL COMPLY WITH CHAPTER 14-8.9 SFCC.
- THE SITE SHALL COMPLY WITH INTERNATIONAL FIRE CODE (IFC) 2015.
- THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' AND 26' AROUND THE RESIDENTIAL BUILDING.
- THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIR FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IF REQUIREMENTS.
- ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.
- FIRE LANE SURFACE SHALL BE ALL WEATHER AND SUPPORT 75,000 LBS.

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Designed RJC	Drawn CLW	Checked RJC
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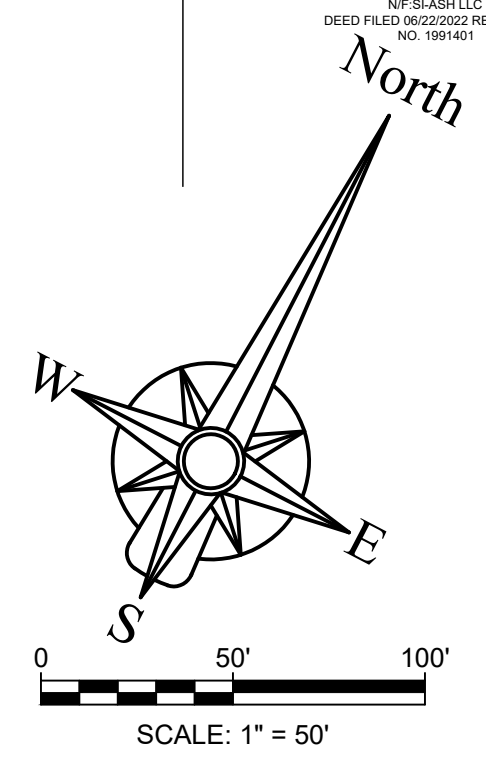
Date: April 2026

CASE #: #2025-11753 & 11756

ADDRESS: 1802 CERRILLOS RD. SANTA FE, NM 87505  
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 3 RD BERRY AVE. SANTA FE, NM 87505

SHEET NAME:  
**EXISTING  
 CONDITIONS PLAN**

SHEET #:  
**DP-102**  
 SHEET # 3 OF 4



## LINETYPE LEGEND

- PROPERTY LINE
- ROW LINE
- EASEMENT
- SETBACKS

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 EXISTING CONDITIONS PLAN

# EMPIRE SELF STORAGE DEVELOPMENT PLAN

**SITE DATA:**

**ZONING:** C2 (GENERAL COMMERCIAL)

**LEGAL DESCRIPTION:**

Lots 1 Thru 21, Block 2, The Capitol Land & Townsite co. add'n  
 Lots 13 Thru 17, Block 3, The Capitol Land and Townsite Co, Add'n  
 Lots 18 Thru 20, Block 3, The Capitol Land and Townsite Co, Add'n  
 Tract B, Culver Replat

**SITE AREA:**

**SITE 1:** Lots 1 Thru 21, Block 2, The Capitol Land & Townsite co. add'n: ±1.7479 ACRES

**SITE 2:** Tract B, Culver Replat: ±0.1794 ACRES &

Lots 13 Thru 17, Block 3, The Capitol Land and Townsite Co, Add'n: ±0.5561 ACRES  
 Lots 18 Thru 20, Block 3, The Capitol Land and Townsite Co, Add'n: ±0.2350 ACRES

**GROSS FLOOR AREA (GFA):**

**SITE 1:**  
 Basement Storage = 32,550 sf  
 1st Floor Storage (gsf) = 27,512 sf  
 Community Room = 900 sf  
 Community Space Restroom = 100 sf  
 2nd Floor (gsf) = 28,586 sf  
 Total = 89,648 sf

**SITE 2:**  
 Total = 12,448 sf

**LOT COVERAGE (per SFCC Table 14-7.3-1):**

<b>SITE 1:</b>	<b>SITE 2:</b>
<b>Maximum Allowable:</b> 60%	<b>Maximum Allowable:</b> 60%
<b>Proposed:</b> 28,512 sf / 37%	<b>Proposed:</b> 12,448 sf / 29%

**BUILDING HEIGHT (per SFCC Table 14-7.3-1):**

<b>SITE 1:</b>	<b>SITE 2:</b>
<b>Maximum Allowable:</b> 45 feet	<b>Maximum Allowable:</b> 45 feet
<b>Proposed:</b> 29'-6"	<b>Proposed:</b> 16'-0"

**BUILDING SETBACKS:**

**SITE 1:**  
**Street (Cerrillos Road):** Min. required 15' : Provided 31.89' min.  
**Rear:** Min. required 10' : Provided 64.35' min  
**Side (west):** Min. required none  
**Side (east):** Min. required none

**SITE 2:**  
**Street (Berry Avenue):** Min. required 15' : Provided 15.00' min.  
**Rear:** Min. required 10' : Provided 10.00' min  
**Side (east):** Min. required none  
**Side (west):** Min. required none

**OPEN SPACE (per SFCC §14-7.5(D):**

<b>SITE 1:</b>	<b>SITE 2:</b>	
<b>Required:</b> 19,034 sf (25%)	<b>Required:</b> 10,568 sf (25%)	
<b>Provided:</b> 23,542 sf / 30.91%	<b>Provided:</b> 10,831 sf / 25.62%	

**PARKING CALCULATIONS (per SFCC Table 14-8.6):**

**Required:** 1 Space / 10 Storage Units  
 1 Space / Every 350 sq.ft. of Non-Medical Office

<b>SITE 1:</b>	<b>SITE 2:</b>	<b>TOTAL:</b>
<b>Required:</b> 63 Spaces	<b>Required:</b> 6 Spaces	<b>Required:</b> 69 Spaces
<b>Provided:</b> 39 Spaces	<b>Provided:</b> 34 Spaces	<b>Provided:</b> 73 Spaces

**ACCESSIBLE PARKING:**

**SITE 1 & 2:**  
**Required:** 5 ADA Spaces Including 1 Van  
**Provided:** 6 ADA Spaces Including 4 Van

**BICYCLE PARKING (SFCC Table 14-8.6-3):**

<b>SITE 1:</b>	<b>SITE 2:</b>
<b>Required:</b> 10 Spaces	<b>Required:</b> 4 Spaces
<b>Provided:</b> 10 Spaces	<b>Provided:</b> 4 Spaces

**GUNNISON'S PRAIRIE DOG NOTE**

THE PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE GUNNISON'S PRAIRIE DOG ORDINANCE (ARTICLE 14-8.12).

**DRAINAGE FACILITIES DESIGN NOTE**

ALL STORM WATER DETENTION / RETENTION AREAS SHALL DRAIN WITHIN 24 HOURS OF A STORM EVENT AS PER ARTICLE 14-8.2(D)(4)(c)(i)

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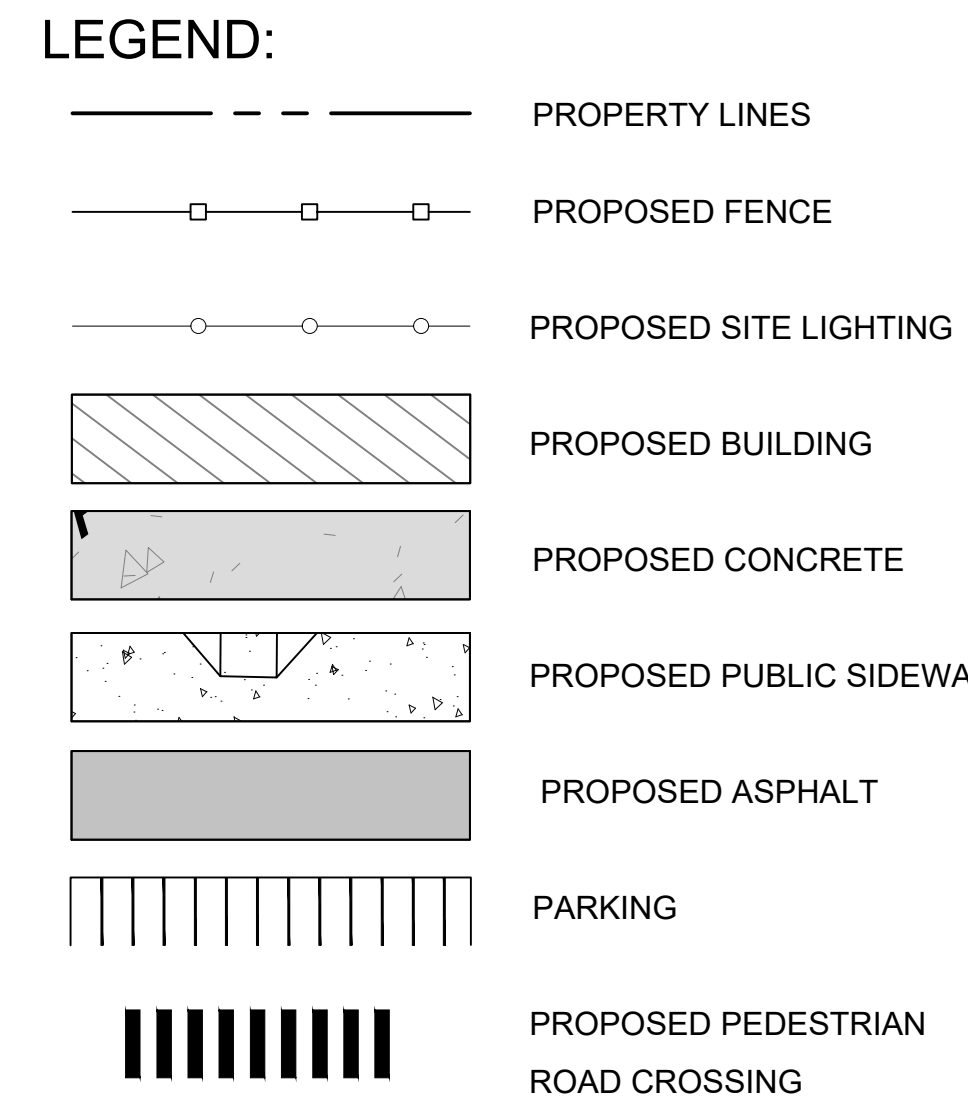
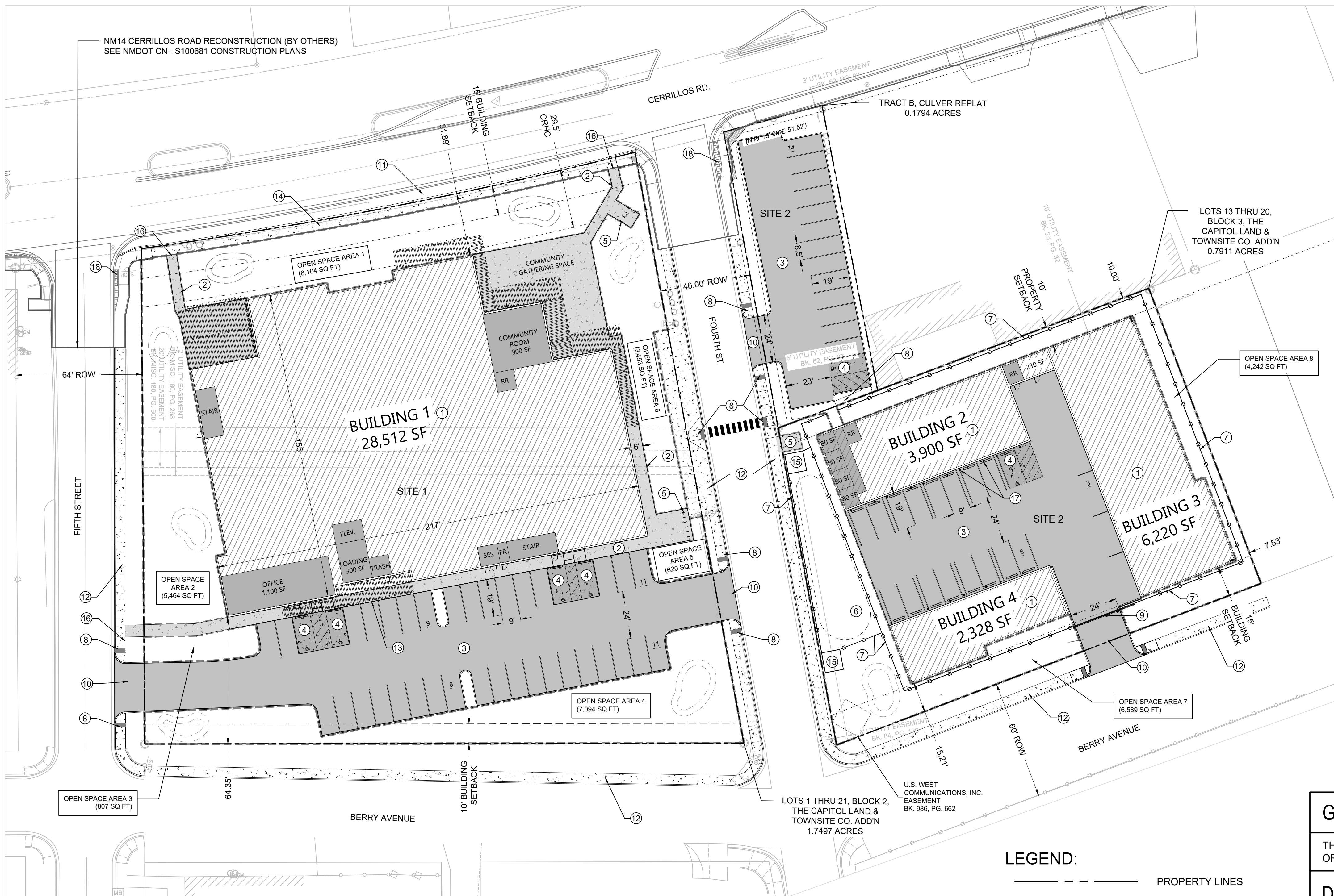
**SHEET NAME:**

**DEVELOPMENT PLAN**

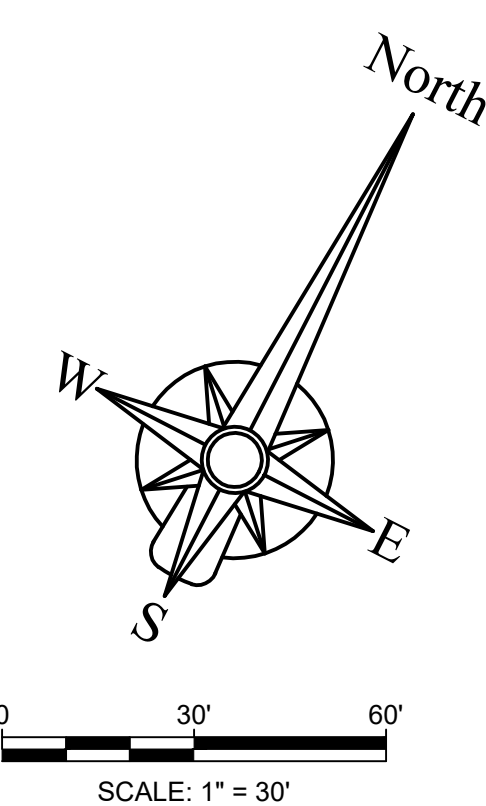
**SHEET #:**

**DP-103**

SHEET # 4 OF 4



- KEYED NOTES:**
1. PROPOSED BUILDING
  2. PROPOSED 6' SIDEWALK (ON-SITE)
  3. PROPOSED ASPHALT PARKING
  4. PROPOSED ADA PARKING
  5. PROPOSED BIKE RACKS
  6. PROPOSED DOG PARK
  7. PROPOSED 6' FENCING
  8. PROPOSED ADA CURB RAMP
  9. PROPOSED VEHICLE GATE
  10. PROPOSED DRIVEPAD
  11. PROPOSED 5' LANDSCAPE BUFFER (SEE NMDOT CN - S100681)
  12. PROPOSED 5' PUBLIC SIDEWALK
  13. PROPOSED LOADING AREA
  14. PROPOSED 6' PUBLIC SIDEWALK (SEE NMDOT CN - S100681)
  15. PROPOSED SALLY PORT
  16. PROPOSED PUBLIC SIDEWALK CONNECTION
  17. PROPOSED BOLLARD TYP.
  18. CONCRETE MEDIAN PAVEMENT 4" (COLORED AND PATTERNED) (SEE NMDOT CN - S100681)



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SANTA FE, NM  
 DXD CAPITAL  
 EMPIRE SELF STORAGE  
 SANTA FE, NEW MEXICO  
 DEVELOPMENT PLAN

# EMPIRE SELF STORAGE CIVIL GENERAL NOTES

## PROJECTED SECTION 34, TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M., CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO



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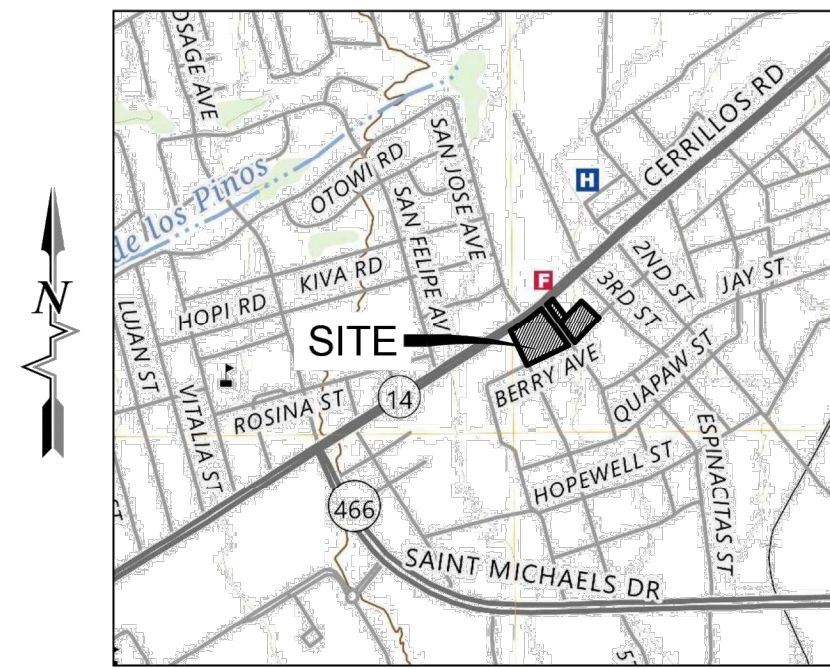
**EMPIRE SELF STORAGE  
SANTA FE, NEW MEXICO**

CIVIL GENERAL NOTES

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Designed RJC	Drawn CLW	Checked RJC
Date: April 2026		

GENERAL CIVIL NOTES	GRADING NOTES	UTILITY NOTES	STORM DRAIN NOTES	STORM DRAIN NOTES
<p>A. THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.</p> <p>B. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED ON OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE CITY OF SANTA FE CODE STANDARDS</p> <p>C. NO WORK SHALL BE PERFORMED WITHOUT THE APPROPRIATE PERMITS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.</p> <p>D. COORDINATE WORK WITH SITE PLAN, GRADING &amp; DRAINAGE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.</p> <p>E. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.</p> <p>F. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.</p> <p>G. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES.</p> <p>H. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. THE CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.</p> <p>I. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.</p> <p>J. CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS. EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.</p> <p>K. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.</p> <p>L. THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.</p> <p>M. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS FIVE WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.</p> <p>N. FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NM811 (811) FOR LOCATION OF EXISTING UTILITIES. PROVIDE GPS COORDINATES OF THE SITE TO NM811.</p> <p>O. ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR CoSF STANDARD SPECIFICATIONS FOR PUBLIC WORK (SECOND PRIORITY).</p> <p>P. ALL TRASH, DEBRIS, &amp; SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.</p> <p>Q. VIBRATORY COMPACTION SHALL NOT BE USED OVER IN-PLACE UTILITIES.</p> <p>R. SOIL TESTING AND INSPECTION SERVICES DURING SITE OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.</p> <p>S. CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR. ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.</p> <p>T. CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.</p>	<p>A. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN IN THIS PLANSET.</p> <p>B. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES. CITY ENGINEER/TERRAIN MANAGEMENT STAFF MAY REQUIRE AN AMENDMENT OR UPDATES TO THE AS-BUILT DRAWINGS.</p> <p>C. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.</p> <p>D. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD, (SWPPP AND NPDES PERMIT) CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE WHO WILL PREPARE SWPPP AND INSPECT REQUIRED EROSIONS IF EPA THRESHOLD IS EXCEEDED.</p> <p>E. ALL EROSION CONTROL MUST BE COMPLETED TO CITY STANDARD, AND PASS ALL INSPECTIONS</p> <p>F. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE ±0.05' FROM PLAN ELEVATION.</p> <p>G. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.</p> <p>H. PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.</p> <p>I. ALL EROSION PROTECTION TO BE INSTALLED AS 4" AVG. DIA. ANGULAR FACED ROCK (F.F. ROCK) PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.).</p> <p>J. SIDESLOPES STEEPER THAN 3:1 MUST HAVE PERMANENT EROSION PROTECTION INSTALLED, TYPICAL.</p> <p>K. STORMWATER QUALITY CONTROL MEASURES SHOWN ON THIS PLAN (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.</p> <p>L. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.</p> <p>M. FOR ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE (FOR CERTIFICATE OF OCCUPANCY) CONTRACTOR SHALL PROVIDE AN AUTOCAD FORMAT AS-BUILT SURVEY PREPARED BY A LICENSED SURVEYOR WHICH INCLUDES:</p> <ul style="list-style-type: none"> <li>· AS-BUILT SPOT ELEVATIONS AT EACH DESIGN SPOT ELEVATION SHOWN ON THE APPROVED PLAN;</li> <li>· TOP AND BOTTOM ELEVATIONS AS REQUIRED TO DEFINE THE PERIMETER OF PONDS (TO BE USED BY ENGINEER TO CALCULATE AS-BUILT VOLUME PROVIDED);</li> <li>· POND OVERFLOW ELEVATIONS</li> <li>· ALL CONSTRUCTION, INCLUDING DRAIN INLETS, PIPES AND PONDS SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION.</li> </ul> <p>P. GRADING OF FIRST FLUSH BASINS WILL BE INSPECTED AS PART OF ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY. DURING LANDSCAPING, FIRST FLUSH BASINS WILL BE SMOOTHLY INTEGRATED INTO LANDSCAPING WHILE MAINTAINING REQUIRED TOP AND BOTTOM ELEVATION, VOLUME AND INLET / OVERFLOW ELEVATIONS.</p> <p>V. UPON WRITTEN REQUEST COORDINATED THROUGH THE PROJECT ARCHITECT, THE ELECTRONIC FILE OF THE GRADING AND DRAINAGE WILL BE PROVIDED TO THE CONTRACTOR FOR VERTICAL CONTROL. DO NOT USE THIS PLAN FOR PROJECT STAKING AS THERE IS NO CERTAINTY THAT IT IS USING THE MOST CURRENT SITE BASE.</p> <p>W. SITE CONSTRUCTION HORIZONTAL LAYOUT / STAKING SHALL BE COORDINATED WITH THE ARCHITECT USING THE ARCHITECT PROVIDED SITE PLAN.</p>	<p>A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO PROPOSED UTILITIES SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.</p> <p>B. MINIMUM COVER SHALL BE 36" FOR WATERLINES AND 48" FOR SANITARY SEWER, EXCEPT AT BUILDING CONNECTIONS.</p> <p>C. UTILITY LINES SHALL BE INSTALLED AFTER COMPLETION OF THE SITE ROUGH GRADING.</p> <p>D. UTILITY LINES SHALL BE INSTALLED PRIOR TO SURFACE IMPROVEMENTS SUCH AS PAVEMENT, SIDEWALKS, AND LANDSCAPING.</p> <p>E. CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING PLUMBING AND ALL NECESSARY FITTINGS. FITTING COSTS SHALL BE INCIDENTAL. REFER TO THE MECHANICAL AND/OR PLUMBING PLANS FOR SERVICE CONNECTIONS</p> <p>F. DRY UTILITY LOCATIONS AND DESIGN ARE NOT A PART OF THIS PLAN. CONTRACTOR SHALL COORDINATE WITH THE LOCAL DRY UTILITY COMPANIES TO DETERMINE THE SIZE, DEPTH, LOCATION, FITTINGS AND REQUIRED APPURTENANCES FOR THE DRY UTILITY SERVICE LINES ON THE SITE. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR SERVICE CONNECTIONS.</p> <p>G. TRENCHING, BORING, AND JACKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CoSF SPEC. SECT. 700. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY PER ASTM D-1557.</p> <p>H. ALL WATER VALVE BOXES, MANHOLE RINGS &amp; COVERS, AND OTHER SURFACE ITEMS FOR THE UTILITIES SHALL BE ADJUSTED TO FINISHED GRADE.</p> <p>I. ALL CROSSINGS OF WATER AND SEWER LINES SHALL HAVE 12" MIN CLEARANCE. IF 12" CLEARANCE IS NOT POSSIBLE, BOTH PIPES SHALL BE ENCASED IN CONCRETE OR AS DIRECTED BY THE ENGINEER.</p> <p>J. VALVES, METERS, SERVICE LINES, METER AND VALVE BOXES, TAPPING SLEEVES, HYDRANTS, AND OTHER WATER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CoSF SPECIFICATIONS.</p> <p>K. WATERLINES LESS THAN 4" DIAMETER SHALL BE COPPER TYPE K MEETING ASTM B 88 REQUIREMENTS. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.</p> <p>L. ALL FITTINGS AND COUPLINGS FOR WATERLINES LESS THAN 4" IN DIAMETER ARE TO BE COPPER. SOLDER JOINT FITTINGS IN ACCORDANCE WITH ASME 16.18 OR ASME B16.22.</p> <p>M. ALL FITTINGS AND COUPLINGS FOR WATERLINES 4" IN DIAMETER OR LARGER ARE TO BE MEGA LUG MECHANICAL JOINTS OR ENGINEER APPROVED EQUIVALENT.</p> <p>N. JOINTS SHALL BE RESTRAINED BY MEGA LUG HARNESSSES, OR ENGINEER APPROVED EQUIVALENT. JOINT RESTRAINTS SHALL BE INSTALLED AT DISTANCES FROM THE FITTINGS AS SHOWN ON THE JOINT RESTRAINT TABLE IN THESE PLANS.</p> <p>O. BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.</p> <p>P. FIRE LINES SHALL USE PIPE MATERIALS LISTED AND APPROVED FOR FIRE SERVICE BY UNDERWRITERS LABORATORIES.</p> <p>Q. FIRE DEPARTMENT CONNECTIONS SHALL MEET UL 405, NFPA-13 (2019 EDITION), LOCAL FIRE DEPARTMENT REQUIREMENTS, AND IFC 2024.</p> <p>R. ADJUST WATER AND FIRE LINES TO AVOID FOOTINGS, SEWER LINES, AND OTHER CONDUITS. INSTALL FITTINGS AS NEEDED.</p> <p>S. SEWER MANHOLES, CLEANOUTS, SEWER SERVICE TAPS, AND OTHER SEWER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CoSF SPECIFICATIONS.</p> <p>T. SEWER SERVICE LINES SHALL BE INSTALLED AT A 1% MINIMUM SLOPE, UNLESS OTHERWISE SPECIFIED ON THE PLANS. THE PIPE SHALL DRAIN AT A CONSTANT SLOPE BETWEEN FITTINGS. THE PIPE SHALL DRAIN TOWARD THE SEWER MAIN AT ALL LOCATIONS.</p> <p>U. ALL SANITARY SEWER LINE MATERIALS SHALL BE PVC SCH 40 PIPE.</p> <p>V. ANY RE-GRADING OF SITE OVER EXISTING WATER MAINS SHALL MAINTAIN A MINIMUM OF 4-FT OF COVER AND NOT EXCEED 5-FT OF COVER. DEPTH OF EXISTING MAIN TO BE ADJUSTED TO MAINTAIN A MINIMUM OF 4-FT OF COVER AND NOT EXCEED 5-F</p>	<p>A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO PROPOSED STORM DRAINS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, INLET AND MANHOLE COLLARS, MANHOLES, WATER QUALITY FEATURES, EROSION CONTROL FEATURES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.</p> <p>B. MINIMUM COVER FOR STORM DRAIN PIPES SHALL BE 12", UNLESS OTHERWISE NOTED.</p> <p>C. STORM DRAINS SHALL BE INSTALLED AFTER COMPLETION OF THE SITE ROUGH GRADING.</p> <p>D. STORM DRAINS SHALL BE INSTALLED PRIOR TO SURFACE IMPROVEMENTS SUCH AS PAVEMENT, SIDEWALKS, AND LANDSCAPING.</p> <p>E. CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTIONS TO ROOF DOWNSPOUTS AND ALL NECESSARY FITTINGS. FITTING COSTS SHALL BE INCIDENTAL.</p> <p>F. TRENCHING, BORING, AND JACKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CoSF SPECIFICATIONS. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY PER ASTM D-1557.</p> <p>G. ALL INLET AND AREA DRAIN RINGS &amp; GRATES, MANHOLE RINGS &amp; COVERS, AND OTHER SURFACE ITEMS FOR THE STORM DRAINS SHALL BE ADJUSTED TO FINISHED GRADE UNLESS OTHERWISE NOTED ON THE PLANS.</p> <p>H. ALL STORM DRAIN CROSSINGS OF WATER AND SEWER LINES SHALL HAVE 18" MIN CLEARANCE. IF 18" CLEARANCE IS NOT POSSIBLE, CONTACT THE ENGINEER IMMEDIATELY.</p> <p>I. RCP PIPES, PP PIPES, CONCRETE INLETS, MANHOLES, AND CLEANOUTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NM APWA SPECIFICATIONS.</p> <p>J. HDPE PIPE SHALL BE ADS N-12 (WATERTIGHT) OR ENGINEER APPROVED EQUIVALENT. HDPE PIPE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>K. PVC PIPES SHALL BE PVC SDR-35, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>L. STORM DRAINS SHALL BE INSTALLED AT INVERTS AND SLOPES SPECIFIED ON THE PLANS. THE PIPE SHALL DRAIN AT A CONSTANT SLOPE BETWEEN FITTINGS AND MANHOLES. THE PIPE SHALL DRAIN TOWARD THE OUTLET AT ALL LOCATIONS.</p>	<p>A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO PROPOSED PAVING SHOWN ON THE PAVING PLANS INCLUDING: ASPHALT AND OR CONCRETE PAVING, CURBS, GUTTERS, SIDEWALKS, RAMPS, PAVEMENT MARKINGS AND SIGNAGE. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.</p> <p>B. ALL PAVING, INCLUDING ASPHALT PAVEMENT, CONCRETE PAVEMENT, CURBS, GUTTERS, SIDEWALKS, AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NMDOT SPECIFICATIONS.</p> <p>C. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH NMDOT SPECIFICATIONS.</p> <p>D. ALL PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT EDITION OF THE CITY OF SANTA FE STANDARD SPECIFICATIONS FOR PUBLIC WORKS (CoSF SPEC.)</p> <p>E. ADJUST ANY RIMS OR COVERS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. RIMS AND COVERS IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.</p>
			<p>CASE #:</p> <p style="text-align: right;">#2025-11753 &amp; 11756</p>	
			<p>ADDRESS:</p> <p style="text-align: right;">1802 CERRILLOS RD. SANTA FE, NM 87505 1361 FOURTH ST. SANTA FE, NM 87505 1750 CERRILLOS RD. SANTA FE, NM 87505 3 RD BERRY AVE. SANTA FE, NM 87505</p>	
			<p>SHEET NAME:</p> <p style="text-align: right;"><b>CIVIL GENERAL NOTES</b></p>	<p>SHEET #:</p> <p style="text-align: right;"><b>C-100</b></p> <p style="text-align: right;">SHEET # ___ OF ___</p>



VICINITY MAP  
NOT TO SCALE

# TOPOGRAPHIC SURVEY

LOTS 1 THRU 21, BLOCK 2 & LOTS 13 THRU 20, BLOCK 3,  
THE CAPITAL LAND AND TOWNSHIP CO. ADDITION TO SANTA FE, NM  
AND TRACT B, CULVER REPLAT  
PROJECTED SECTION 34, TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M.,  
CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO

**NOTES:**

1. BEARINGS AND DISTANCES IN PARENTHESIS ( ) ARE THE RECORD DIMENSIONS AS SHOWN ON PLAT ENTITLED "BOUNDARY SURVEY PREPARED FOR EMPIRE BUILDERS SUPPLY CO., INC.", FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF SANTA FE COUNTY IN BOOK 391, PAGE 28.  
  
BEARINGS AND DISTANCES IN DOUBLE PARENTHESIS ( ) ARE THE RECORD DIMENSIONS TAKEN FROM WARRANTY DEED FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF SANTA FE COUNTY ON 05/19/2025 AS INSTRUMENT NO. 2059167.  
  
BEARINGS AND DISTANCES IN BRACKETS { } ARE THE RECORD DIMENSIONS TAKEN FROM WARRANTY DEED FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF SANTA FE COUNTY ON 04/29/2025 AS INSTRUMENT NO. 2057798.  
  
BEARINGS AND DISTANCES IN SQUARE BRACKETS [ ] ARE THE RECORD DIMENSIONS AS SHOWN ON PLAT ENTITLED "CULVER REPLAT" FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF SANTA FE COUNTY ON 03/31/1978 IN BOOK 62, PAGE 7.
2. TITLE COMMITMENT NO. 2934199-AL01 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, EFFECTIVE DATE: MAY 23, 2025, ISSUE DATE MAY 23, 2025.
3. PROPERTY CORNERS, EASEMENT LINES, RIGHT-OF-WAY LINES, AND PROPERTY LINES AS SHOWN ARE DERIVED FROM AN ALTA/NSPS LAND TITLE SURVEY PERFORMED BY SMA IN JULY 2025 AND RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS AND DEEDS REFERENCED HEREON. THIS TOPOGRAPHIC SURVEY IS NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF EASEMENT OR PROPERTY LINES.
4. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND IN RESPONSE TO NM811 DESIGN LOCATE REQUEST (NM811 TICKET# 25MY300613 DATE: MAY 30, 2025, 15.02 P.M.). LOCATIONS AND SIZES OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. BURIED UTILITIES/STRUCTURES SHOWN HEREON MAY NOT EXIST. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO FIND OR VERIFY BURIED UTILITIES LOCATIONS.
5. SUBJECT PROPERTY LOCATED IN FLOOD ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN ACCORDING TO THE FEMA MAP NO. 35049C0411E EFFECTIVE DATE DECEMBER 4, 2012.
6. THE WORD CERTIFY OR CERTIFICATION AS USED HEREIN IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, BASED UPON THEIR BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH, AND DOES NOT CONSTITUTE A GUARANTEE, NOR A WARRANTY, EXPRESSED OR IMPLIED.
7. FIELDWORK COMPLETED: JUNE 20, 2025.

**BASIS OF BEARINGS:**

BEARINGS SHOWN HEREON ARE GRID NORTH BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (3002), DISTANCES AND COORDINATES ARE MODIFIED (GROUND) NAD83, NEW MEXICO STATE PLANE, CENTRAL ZONE (3002), FROM A CONTROL POINT DETERMINED BY AN OPUS SOLUTION.

HORIZONTAL DATUM: MODIFIED NAD83(2011) (EPOCH:2010.0000)  
ORIGIN OF SCALE: N=1697026.95 E=1723085.71 (N35°39'49.87199" W105°58'18.06218")  
GRID TO GROUND SCALE FACTOR: 1.0004161479  
CONVERGENCE ANGLE: 00° 09' 44.16"

VERTICAL DATUM: NAVD88 (GEOID18)  
ELEVATION (ORTHOMETRIC HEIGHT): 6832.71  
UNITS ARE U.S. SURVEY FEET

**METHODS**  
FIELD DATA WAS COLLECTED USING TRIMBLE R12I GPS RECEIVERS, UTILIZING RTK GPS METHODS AND TRIMBLE SX10 ROBOTIC TOTAL STATION BETWEEN JUNE 13 TO JUNE 20, 2025. FINAL ADJUSTMENTS WERE MADE ON JUNE 24, 2025, UTILIZING TRIMBLE BUSINESS CENTER SOFTWARE.

**LEGAL DESCRIPTION (PER TITLE DOCUMENTS)**

**PARCEL 1**  
ALL OF LOTS 1, THRU 21, INCLUSIVE, OF BLOCK 2 OF THE CAPITAL LAND AND TOWNSHIP CO. ADDITION TO THE CITY OF SANTA FE, NEW MEXICO, ACCORDING TO THE ORIGINAL PLAT AND SURVEY THEREOF BY CORBETT & SMYTHE, SURVEYORS, ON AUGUST 1908, SAID PLAT APPROVED BY THE CITY COUNCIL OF SANTA FE, NEW MEXICO, AND FILED WITH THE COUNTY CLERK OF SANTA FE COUNTY, NEW MEXICO.

LESS AND EXCEPT:  
CONDEMNATION PARCEL 4-1 AS CONVEYED TO THE NEW MEXICO DEPARTMENT OF TRANSPORTATION BY WARRANTY DEED FILED APRIL 29, 2025, AS INSTRUMENT NO. 2057798, RECORDS OF SANTA FE COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
A CERTAIN PARCEL OF LAND SITUATE WITHIN PROJECTED SECTION 34, TOWNSHIP 17N, RANGE 9E, N.M.P.M., WITHIN THE SANTA FE GRANT, CITY OF SANTA FE, SANTA FE COUNTY, STATE OF NEW MEXICO, COMPRISING A NORTHEASTERLY PORTION OF BLOCK 2, CAPITAL LAND AND TOWNSHIP, AS THE SAME IS SHOWN ON THE PLAT ENTITLED "BOUNDARY SURVEY PREPARED FOR EMPIRE BUILDERS SUPPLY CO., INC.", FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF SANTA FE COUNTY ON JULY 22, 1998, IN BOOK 391, PAGE 028, AND BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID, CENTRAL ZONE (NAD 83) BEARINGS AND GROUND DISTANCES AS FOLLOWS:  
BEGINNING AT A POINT 42.74 FEET TO THE RIGHT OF, SOUTHERLY AND OPPOSITE OF CONSTRUCTION CENTERLINE NMP #S1 00680, POC STATION 187+96.76, A POINT ON THE PRESENT (2024) EXISTING SOUTHERLY RIGHT-OF-WAY LINE OF CERRILLOS ROAD, NMP # NH-001-4(19)49, BEING THE INTERSECTION OF SAID EXISTING SOUTHERLY RIGHT-OF-WAY LINE OF CERRILLOS ROAD AND THE PRESENT (2024) EXISTING WESTERLY RIGHT-OF-WAY LINE OF FOURTH STREET, WHENCE A FOUND NATIONAL GEODETIC SURVEY 3D MONUMENT DESIGNATED "E 439 1984" BEARS N.49°18'23"E., A DISTANCE OF 5119.57 FEET;  
THENCE S.35°54'46"E., ALONG SAID EXISTING WESTERLY RIGHT-OF-WAY LINE OF FOURTH STREET, A DISTANCE OF 4.06 FEET TO A POINT;  
THENCE NORTHWESTERLY ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF NMP # S100680 ON A NON-TANGENT CURVE (RADIUS= 12.00 FEET, CHORD= N.84°13'54"W., A DISTANCE OF 5.72 FEET) THROUGH AN ARC OF 27°33'22" TO THE LEFT, A DISTANCE OF 5.77 FEET TO A POINT ON SAID EXISTING SOUTHERLY RIGHT-OF-WAY LINE OF CERRILLOS ROAD; THENCE NORTHEASTERLY ALONG SAID EXISTING SOUTHERLY RIGHT-OF-WAY LINE OF CERRILLOS ROAD ON A NON-TANGENT CURVE (RADIUS= 2324.90 FEET, CHORD=N.50°38'23"E., A DISTANCE OF 4.28 FEET) THROUGH AN ARC OF 00°06'19" TO THE LEFT, A DISTANCE OF 4.28 FEET TO THE POINT AND PLACE OF BEGINNING.

**LEGAL DESCRIPTION (PER TITLE DOCUMENTS)**

**PARCEL 2**  
A CERTAIN TRACT OF LAND LYING AND BEING SITUATE AT 1742 CERRILLOS ROAD, AT THE SOUTHEAST CORNER OF THE INTERSECTION OF CERRILLOS ROAD AND FOURTH STREET, WITHIN THE SANTA FE GRANT, T.17N., R.9E., N.M.P.M., WITHIN THE CITY OF SANTA FE, COUNTY OF SANTA FE, STATE OF NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE CENTER OF SANITARY SEWER MANHOLE #C-1-15 LOCATED AT FOURTH STREET AND CERRILLOS ROAD, THENCE N.62°04'E., A DISTANCE OF 22.4 FEET, TO THE TRUE POINT AND PLACE OF BEGINNING, THE WESTERNMOST CORNER OF THE TRACT DESCRIBED HEREIN;  
THENCE N.49°15'E., A DISTANCE OF 51.58 FEET, THE NORTHERNMOST CORNER OF THE TRACT DESCRIBED HEREIN; THENCE S.36°25'E., A DISTANCE OF 147.3 FEET, THE EASTERNMOST CORNER OF THE TRACT DESCRIBED HEREIN; THENCE S.43°49'W., A DISTANCE OF 53.9 FEET, THE SOUTHERNMOST CORNER OF THE TRACT DESCRIBED HEREIN; THENCE N.35°48'W., A DISTANCE OF 152.6 FEET, THE TRUE POINT AND PLACE OF BEGINNING.  
SHOWN AS TRACT B ON PLAT TITLED "CULVER REPLAT", FILED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO ON MARCH 31, 1978, IN PLAT BOOK 62, PAGE 7, AS DOCUMENT NO. 417.951.


LESS AND EXCEPT:  
CONDEMNATION PARCEL 4-4 AS CONVEYED TO THE NEW MEXICO DEPARTMENT OF TRANSPORTATION BY WARRANTY DEED FILED MAY 19, 2025, AS INSTRUMENT NO. 2059167, RECORDS OF SANTA FE COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
A CERTAIN PARCEL OF LAND SITUATE WITHIN PROJECTED SECTION 34, TOWNSHIP 17N., RANGE 9E., N.M.P.M., WITHIN THE SANTA FE GRANT, CITY OF SANTA FE, SANTA FE COUNTY, STATE OF NEW MEXICO, COMPRISING A NORTHWESTERLY PORTION OF TRACT B, CULVER REPLAT, AS THE SAME IS SHOWN ON THE PLAT ENTITLED "BOUNDARY SURVEY PREPARED FOR EMPIRE BUILDERS SUPPLY CO., INC.", FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF SANTA FE COUNTY ON JULY 22, 1998, IN BOOK 391, PAGE 028, AND BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID, CENTRAL ZONE (NAD 83) BEARINGS AND GROUND DISTANCES AS FOLLOWS:  
BEGINNING AT A POINT 42.70 FEET TO THE RIGHT OF, SOUTHERLY AND OPPOSITE OF CONSTRUCTION CENTERLINE NMP # S100680, POC STATION 188+42.05 A POINT ON THE PRESENT (2024) EXISTING SOUTHERLY RIGHT-OF-WAY LINE OF CERRILLOS ROAD, NMP # NH-001-4(19)49, BEING THE NORTHWEST OF SAID TRACT B, WHENCE A FOUND NATIONAL GEODETIC SURVEY 3D MONUMENT DESIGNATED "E 439 1984" BEARS N.49°18'00"E., A DISTANCE OF 5073.51 FEET;  
THENCE NORTHEASTERLY ALONG SAID EXISTING SOUTHERLY RIGHT-OF-WAY LINE OF CERRILLOS ROAD ON A CURVE (RADIUS= 2324.90 FEET, CHORD=N.49°18'11"E., A DISTANCE OF 12.08 FEET) THROUGH AN ARC OF 00°17'52" TO THE LEFT A DISTANCE OF 12.08 FEET TO A POINT;  
THENCE S.14°36'37"W., ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF NMP # S100680, A DISTANCE OF 12.81 FEET TO A POINT;  
THENCE S.38°00'58"E., A DISTANCE OF 16.87 FEET TO A POINT;  
THENCE S.53°59'02"W., A DISTANCE OF 2.18 FEET TO A POINT ON THE PRESENT (2024) EXISTING EASTERLY RIGHT-OF-WAY LINE OF FOURTH STREET;  
THENCE N.35°54'46"W., ALONG SAID EXISTING EASTERLY RIGHT-OF-WAY LINE OF FOURTH STREET, A DISTANCE OF 24.01 FEET TO THE POINT AND PLACE OF BEGINNING.

**LEGAL DESCRIPTION (PER TITLE DOCUMENTS)**

**PARCEL 3**  
ALL OF LOTS 13, 14, 15, 16, 17, 18, 19 AND 20 OF BLOCK 3 OF THE CAPITAL LAND AND TOWNSHIP CO. ADDITION TO THE CITY OF SANTA FE, NEW MEXICO, ACCORDING TO THE ORIGINAL PLAT AND SURVEY THEREOF BY CORBETT & SMYTHE, SURVEYORS, ON AUGUST 1908, SAID PLAT APPROVED BY THE CITY COUNCIL OF SANTA FE, NEW MEXICO, AND FILED MODELED ON, BUT NOT NECESSARILY IDENTICAL TO, ALTA COMMITMENT FOR TITLE POLICY FORM, 2021 V. 01.00 (ADOPTED 07-01-2021) FORM 50241335 (1-29-24) PAGE 13 OF 13 WITH THE COUNTY CLERK OF SANTA FE COUNTY, NEW MEXICO, AS AMENDED AND SHOWN ON VACATION OF ALLEY WITHIN THE BISHOP HEIGHTS ADDITION OF THE CAPITAL LAND AND TOWNSHIP CO. ADDITION, FILED SEPTEMBER 22, 1971 IN PLAT BOOK 23, PAGE 32, AS DOCUMENT NO. 336.603, RECORDS OF SANTA FE COUNTY, NEW MEXICO.

**SURVEYOR'S CERTIFICATION**

I, JAYSON NATERA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 27749, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS IS NOT A BOUNDARY SURVEY OF AN EXISTING TRACT AND THAT IT IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT NMSA §47-6-2.

  
JAYSON NATERA, N.M.P.S. 27749  
Jayson Natera  
Digitally signed by Jayson Natera  
DN: cn=Jayson Natera, o=Souder, Miller & Associates, email=jnatera@soudermiller.com, c=US



7/18/2025  
DATE

Rev #	Date	Description	By	Chkd

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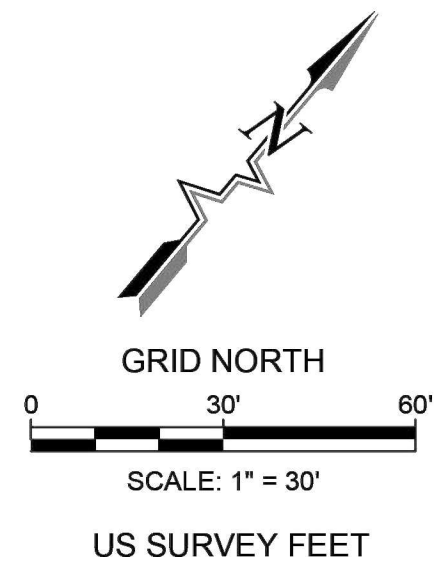
**TOPOGRAPHIC SURVEY**  
LOTS 1 THRU 21, BLOCK 2 & LOTS 13 THRU 20, BLOCK 3,  
THE CAPITAL LAND AND TOWNSHIP CO. ADDITION TO SANTA FE, NM  
AND TRACT B, CULVER REPLAT  
PROJECTED SECTION 34, TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M.,  
CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO

SANTA FE, NEW MEXICO

Fieldwork AC	Drawn KRH	Checked JN
Date:	July 2025	
Scale:	Horiz: N/A Vert: N/A	
Project No:	9234397	
Sheet:	1 OF 3	

# TOPOGRAPHIC SURVEY

LOTS 1 THRU 21, BLOCK 2 & LOTS 13 THRU 20, BLOCK 3,  
THE CAPITAL LAND AND TOWNSHIP CO. ADDITION TO SANTA FE, NM  
AND TRACT B, CULVER REPLAT  
PROJECTED SECTION 34, TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M.,  
CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO



- LEGEND**
- SURVEY CONTROL POINT, AS NOTED
  - FOUND PROPERTY CORNER, AS NOTED
  - FOUND BRASS CAP, AS NOTED
  - FOUND CHISELED X
  - FOUND PK NAIL, AS NOTED
  - SANITARY SEWER MANHOLE
  - STORM DRAIN MANHOLE
  - TELECOM MANHOLE
  - WATER VALVE
  - WATER METER
  - BOLLARD
  - TELECOM PEDESTAL
  - GAS METER
  - ELECTRIC BOX
  - FIRE HYDRANT
  - ELECTRIC METER
  - SANITARY SEWER CLEAN OUT
  - LIGHT POLE
  - MAILBOX
  - SIGN
  - STOP SIGN
  - SIGN STOP AHEAD
  - UTILITY POLE
  - UTILITY POLE GUY WIRE
  - BUILDING FINISHED FLOOR ELEVATION
  - TRAFFIC LIGHT MAST
  - CMU BLOCK WALL
  - PROPERTY LINE
  - ADJOINING PROPERTY LINE
  - EASEMENT LINE
  - WATERLINE
  - SANITARY SEWER LINE
  - UNKNOWN UNDERGROUND LINE
  - UNDERGROUND COMMUNICATION LINE
  - PIPE FENCE
  - CHAIN LINK FENCE
  - OVERHEAD ELECTRIC LINE
  - BUILDING OVERHANG
  - UNDERGROUND GAS LINE
  - SETBACK LINE
  - 2 POST SIGN
  - MEASURED DIMENSION
  - RECORD DIMENSION
  - MINOR CONTOUR LINE
  - MAJOR CONTOUR LINE
  - BUILDING
  - CONCRETE
  - ASPHALT PAVING

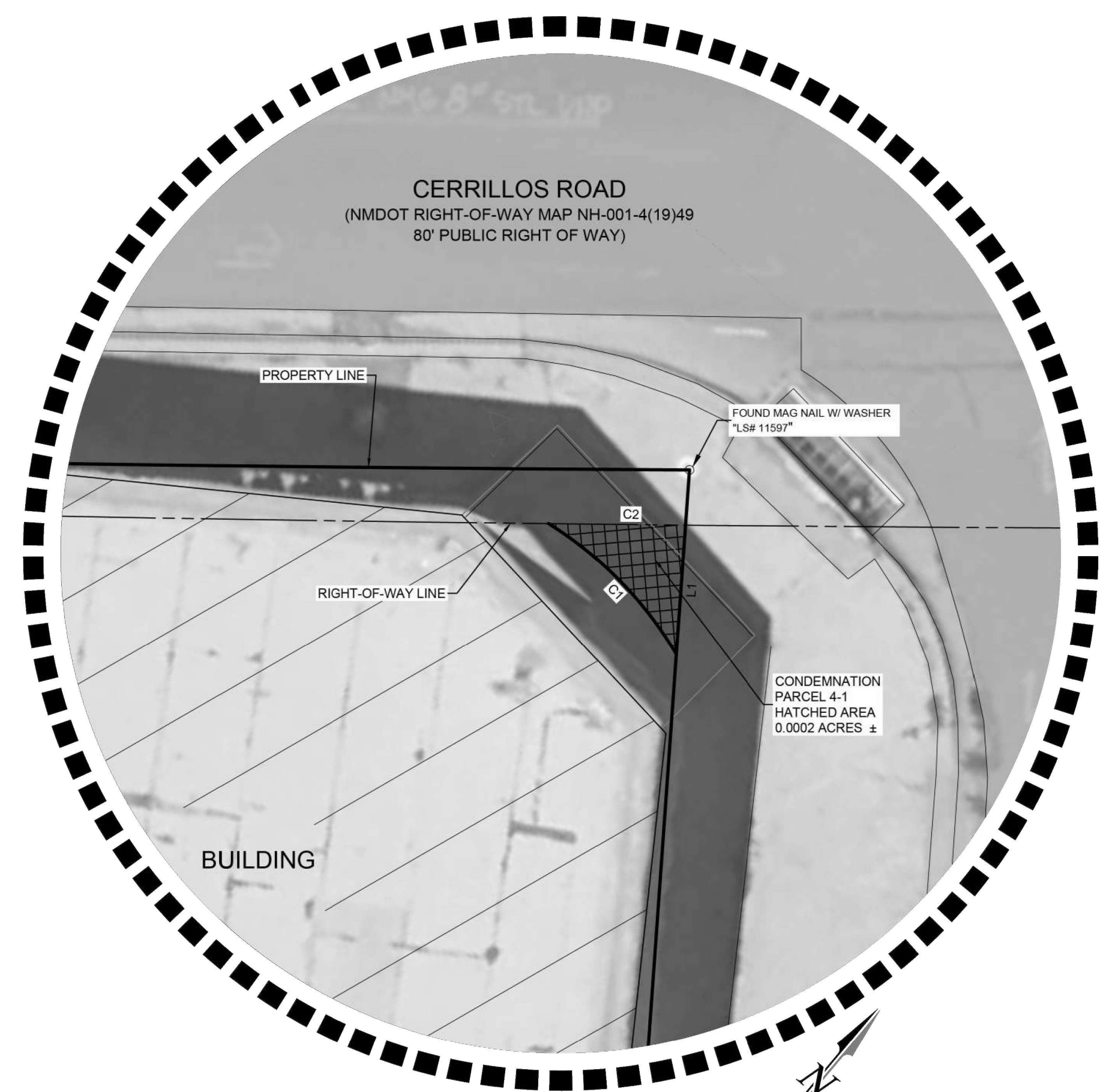


Rev#		Date							
<p><b>SMA</b> SOUDER, MILLER &amp; ASSOCIATES Engineering • Environmental • Surveying Serving the Southwest &amp; Rocky Mountains 5454 Venice Avenue NE, Suite D Albuquerque, NM 87113 Phone (505) 295-0942 Fax (505) 295-3430 www.soudermiller.com</p>									
<p><b>TOPOGRAPHIC SURVEY</b> LOTS 1 THRU 21, BLOCK 2 &amp; LOTS 13 THRU 20, BLOCK 3, THE CAPITAL LAND AND TOWNSHIP CO. ADDITION TO SANTA FE, NM AND TRACT B, CULVER REPLAT PROJECTED SECTION 34, TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M., CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO</p>									
<p>SANTA FE, NEW MEXICO</p>									
<p>DXD S2 F2 LAND, LLC</p>									
Fieldwork	AC	Drawn	KRH	Checked	JN				
Date:						July 2025			
Scale:						Horiz: 1"=30' Vert: 1"=1'			
Project No:						9234397			
Sheet:						2 OF 3			

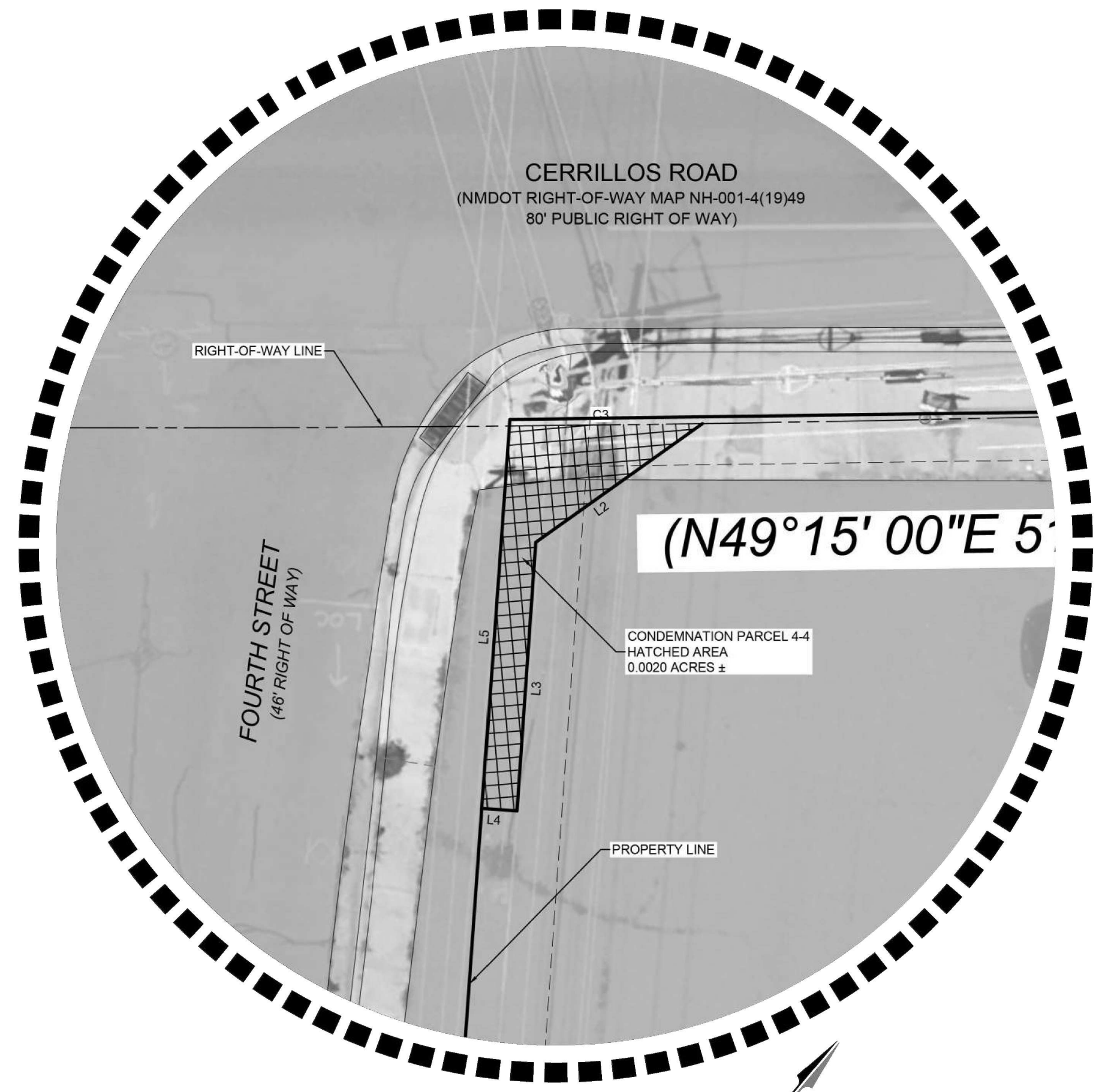
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PROJECTED SECTION 34, TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M.,  
CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO

- LEGEND**
- SURVEY CONTROL POINT, AS NOTED
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  - 2 POST SIGN
  - MEASURED DIMENSION
  - RECORD DIMENSION
  - MINOR CONTOUR LINE
  - MAJOR CONTOUR LINE
  - BUILDING
  - CONCRETE



DETAIL "A"  
(NOT TO SCALE)



DETAIL "B"  
(NOT TO SCALE)

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S35°54'40"E (S35°54'46"E)	4.06 (4.06)
L2	S14°32'46"W (S14°36'37"W)	12.81 (12.81)
L3	S36°00'52"E (S36°00'58"E)	16.87 (16.87)
L4	S54°14'04"W (S53°59'02"W)	2.19 (2.18)
L5	N35°54'40"W (N35°54'46"W)	24.01 (24.01)

CURVE TABLE					
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	5.77 (5.77)	12.00 (12.00)	27°34'12" (27°33'22")	N84°14'49"W (N84°13'54"W)	5.72 (5.72)
C2	4.28 (4.28)	2332.00 (2324.90)	0°06'19" (0°06'19")	N50°37'39"E (N50°38'23"E)	4.28 (4.28)
C3	12.08 (12.08)	2332.00 (2324.90)	0°17'48" (0°17'52")	N49°17'36"E (N49°18'11"E)	12.08 (12.08)

CONTROL POINT TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
701	1697026.95	1723085.71	6832.71	CP MAGNAIL W/WASHER SMA CONTROL POINT
702	1697818.79	1723232.99	6837.28	3" BRASS CAP US DOI BLM S FG TR C AP7 AP1 TR E TR F 2005
704	1697621.91	1723060.49	6833.22	CP SPIKE

DXD SS F2 LAND, LLC

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Fieldwork	Drawn	Checked
AC	KRH	JN

Date: July 2025

Scale: Horiz: N/A  
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Project No: 9234397

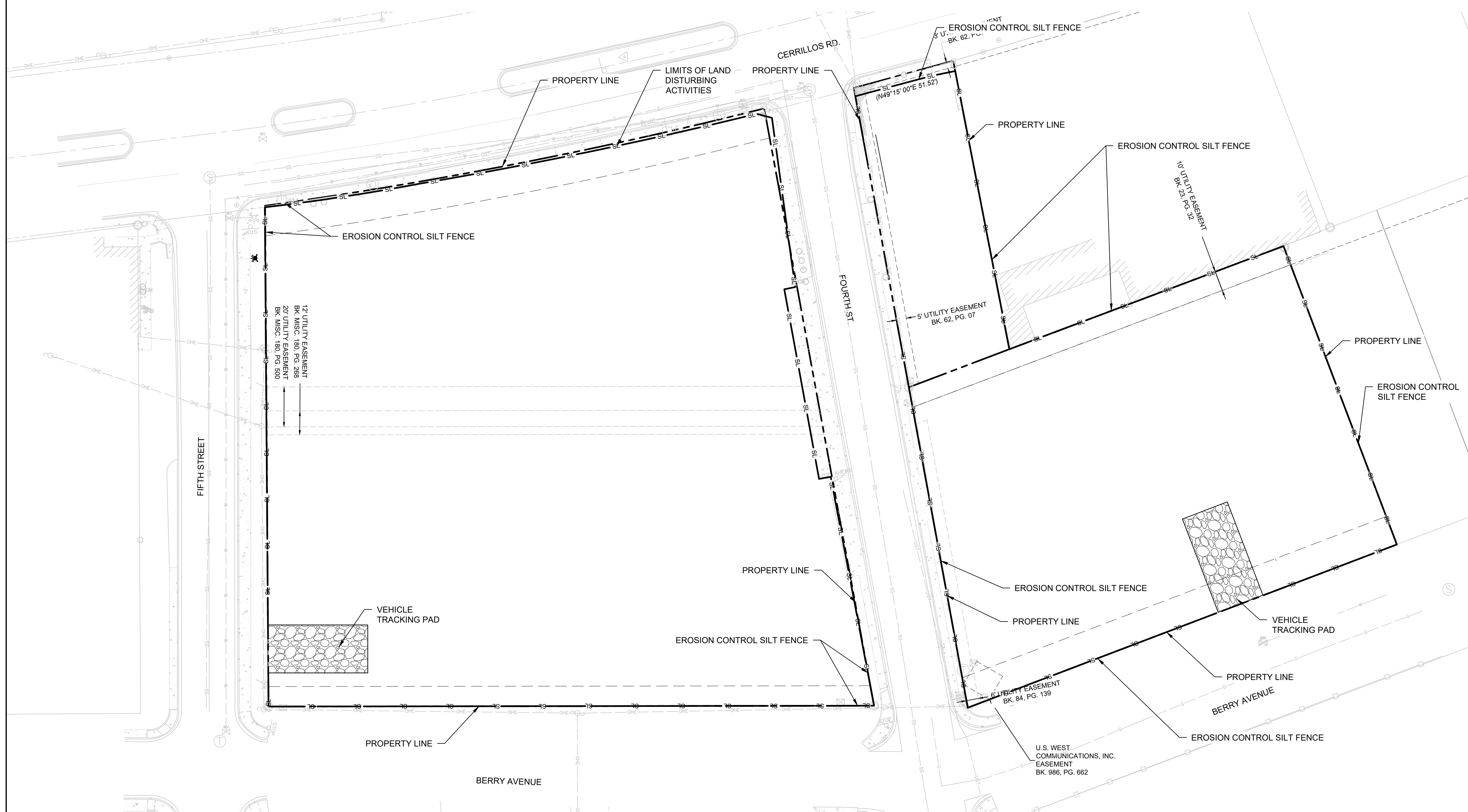
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# EMPIRE SELF STORAGE EROSION CONTROL PLAN



## GENERAL NOTES

1. THIS PLAN DOES NOT SUPERSEDE THE NEED FOR A SWPPP TO BE PREPARED & IMPLEMENTED.
2. VEHICLE TRACKING PAD TO BE INSTALLED AT CONSTRUCTION ENTRANCE. VEHICLE TRACKING PAD SHALL BE WIDTH OF PAVED SURFACE & 50' IN DEPTH.
3. TEMPORARY SEDIMENT POND SHALL HAVE 4:1 SIDE SLOPES AND SHALL BE A MIN. 3' DEEP. LOCATIONS INDICATED ON PLAN VIEW.
4. SILT PROTECTION AT NEW DROP INLETS TO BE PROVIDED. METHOD OF SILT PROTECTION SHALL BE APPROVED BY ENGINEER PRIOR TO PURCHASE &/OR INSTALLATION.
5. VEHICLE TRACKING PAD AT EXITS MUST BE SWEEPED EVERY 24 HOURS.
6. NOI # MUST BE PROVIDED TO THE CITY PRIOR TO CONSTRUCTION. PRIOR TO GRADING OPERATIONS BEGINNING, THE CONTRACTOR IS RESPONSIBLE TO CONTACT CITY OF SANTA FE TO SCHEDULE AN INSPECTION OF BMP'S.
7. NOI AND SWPPP INFORMATION SHALL BE POSTED IN A CONSPICUOUS AREA IN FULL VIEW OF THE PUBLIC.
8. INSPECTIONS SHALL BE CONDUCTED EVERY 14 CALENDAR DAYS AND AFTER A 25-YR RAIN EVENT.
9. A RAIN GAUGE IS TO BE INSTALLED ON SITE.
10. KEEP DIRT AND DEBRIS ON SITE.
11. CLEAN FUGITIVE DIRT/DEBRIS FROM STREET AT END OF EACH DAY, AND MAINTAIN GOOD HOUSEKEEPING PER SWPPP.

## SILT FENCE NOTES

1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
2. WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
3. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16" ABOVE THE ORIGINAL GROUND SURFACE.
4. THE SILT FENCE SHALL BE PLACED IN A TRENCH CUT A MINIMUM OF 6" DEEP. THE TRENCH SHALL BE CUT WITH A TRENCHER, OR OTHER SUITABLE DEVICE WHICH WILL ENSURE ADEQUATE UNIFORM TRENCH DEPTH.
5. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8" OF THE CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6" DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
6. SEAMS BETWEEN SECTIONS OF THE SILT FENCE SHALL BE OVERLAPPED WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
7. SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.
8. SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN FABRIC IS AT 75% CAPACITY.

## LEGEND

	LIMITS OF LAND-DISTURBANCE ACTIVITY
	SILT FENCE
	PROPERTY LINE
	EXISTING STORM DRAIN PIPE
	PROPOSED FENCE
	VEHICLE TRACKING PAD

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SANTA FE, NM  
DXD CAPITAL  
EMPIRE SELF STORAGE  
SANTA FE, NEW MEXICO  
EROSION CONTROL PLAN

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED  
Designed: RJC Drawn: CLW Checked: RJC  
Date: April 2026

CASE #: #2025-11753 & 11756

ADDRESS: 1802 CERRILLOS RD. SANTA FE, NM 87505  
1361 FOURTH ST. SANTA FE, NM 87505  
1750 CERRILLOS RD. SANTA FE, NM 87505  
3 RD BERRY AVE. SANTA FE, NM 87505

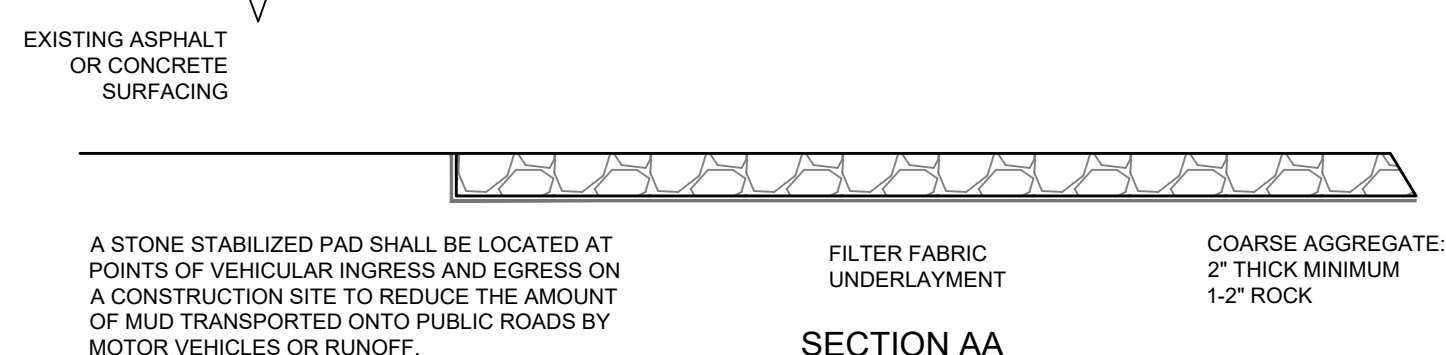
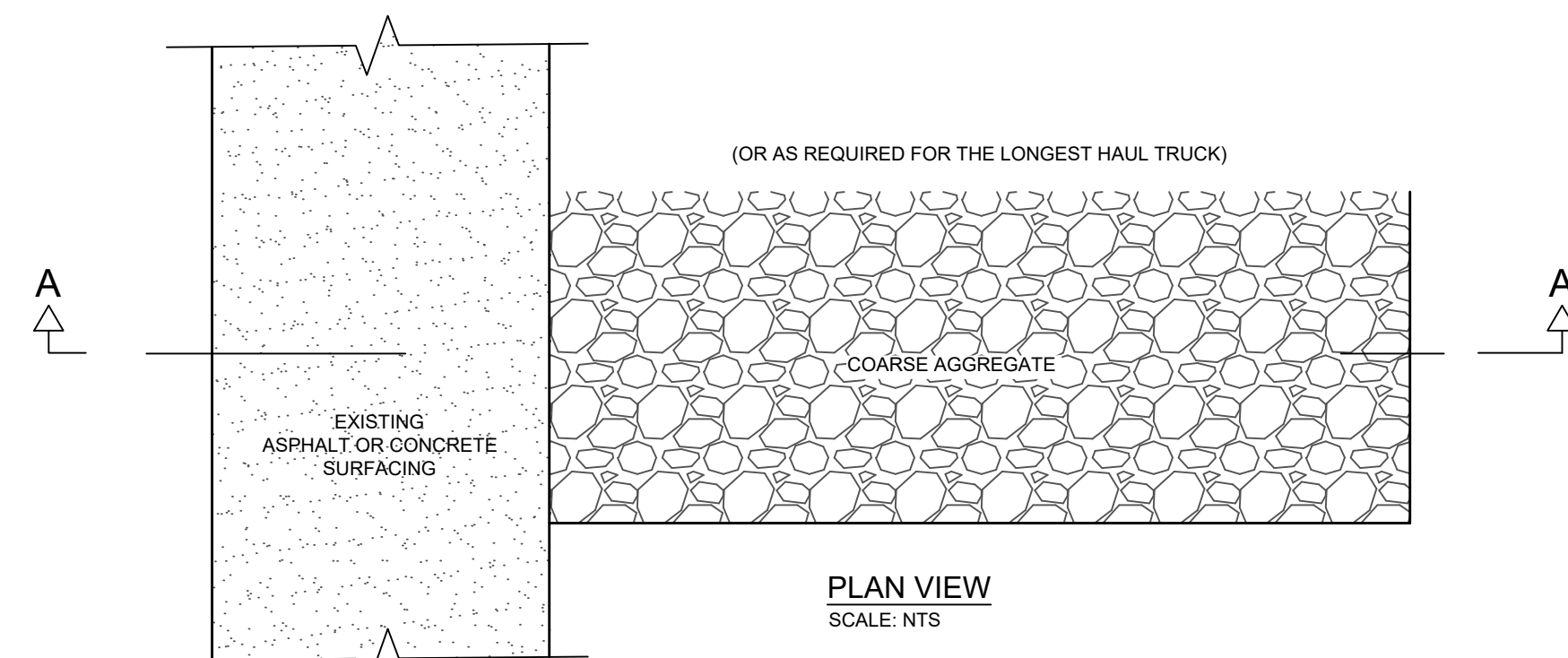
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# EROSION CONTROL PLAN

SHEET #:

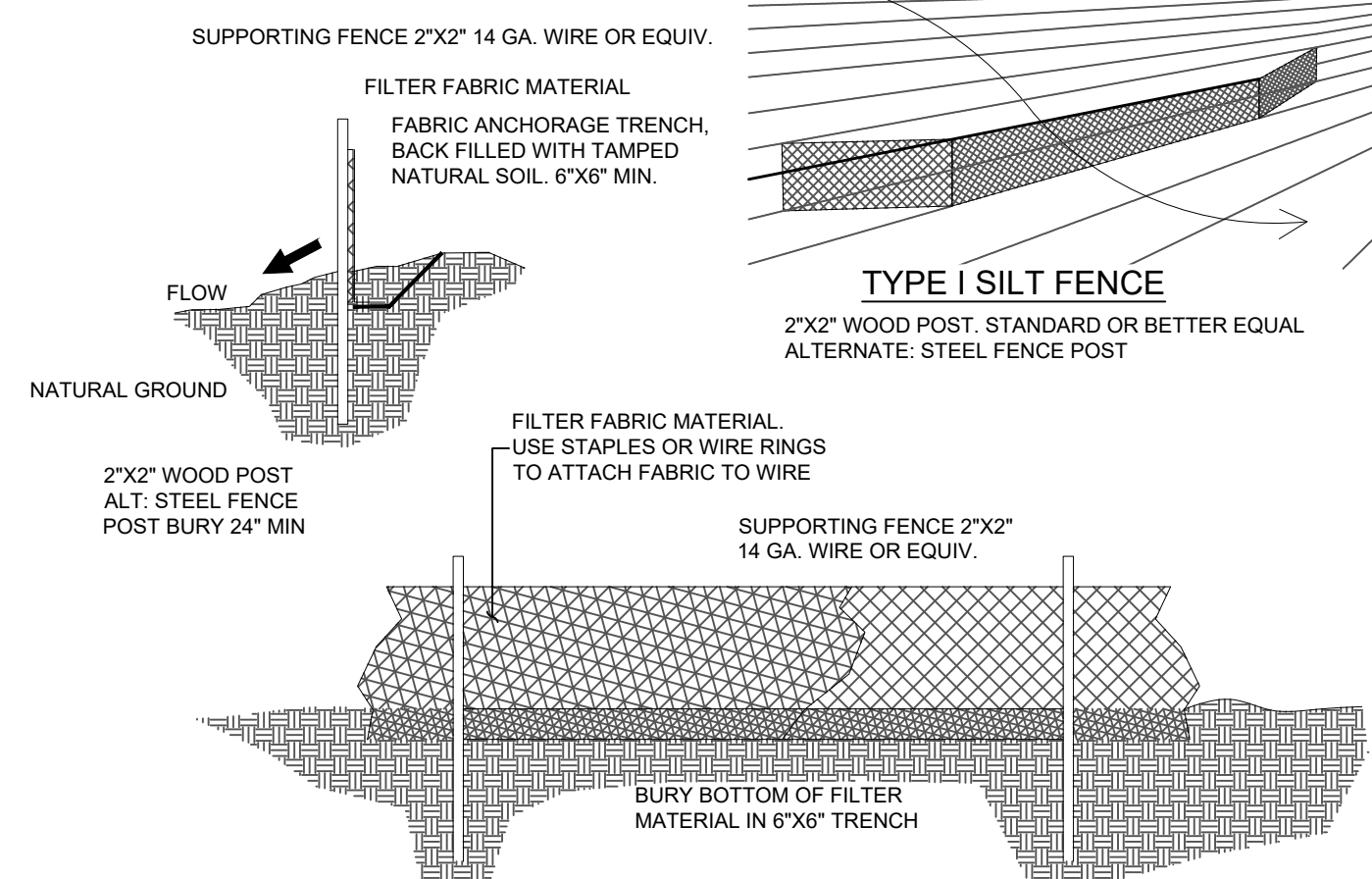
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SHEET # \_\_\_ OF \_\_\_

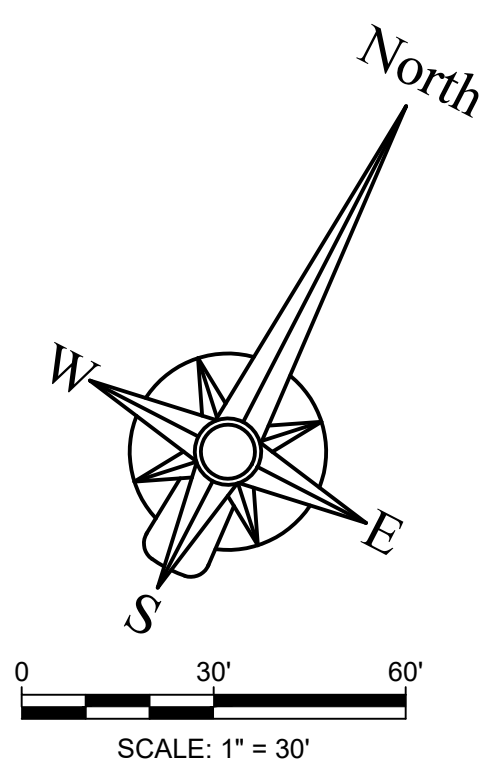


A STONE STABILIZED PAD SHALL BE LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.

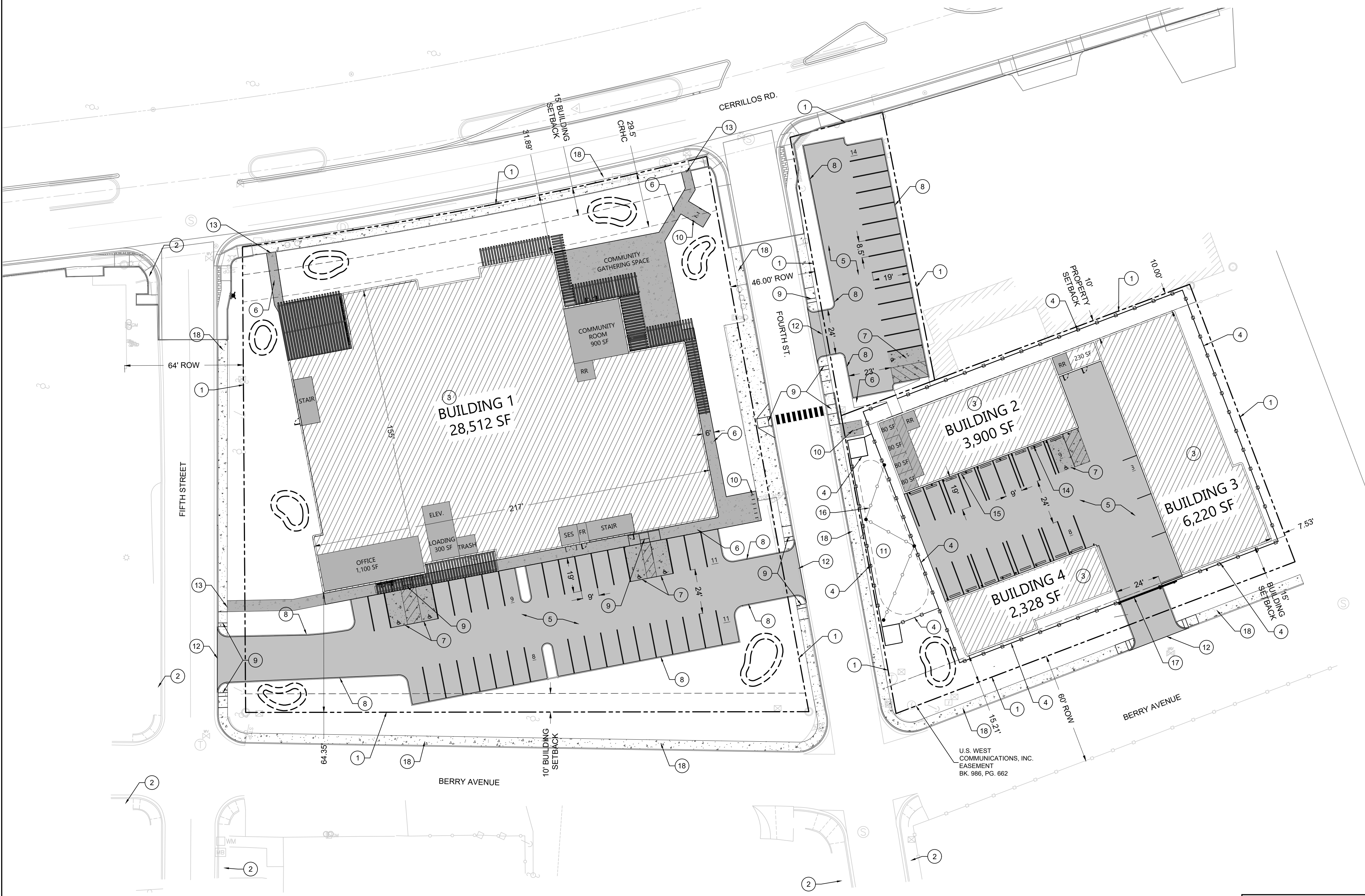
VEHICLE TRACKING PAD  
SCALE: NTS



SILT FENCE DETAIL  
SCALE: NTS



# EMPIRE SELF STORAGE SITE PLAN



### GENERAL NOTES

- SOLID WASTER COLLECTION WILL BE PROVIDED BY THE CITY OF SANTA FE.
- EXTERIOR LUMINARIES SHALL COMPLY WITH CHAPTER 14-8.9 SFCC.
- THE SITE SHALL COMPLY WITH INTERNATIONAL FIRE CODE (IFC) 2015.
- THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' AND 26' AROUND THE RESIDENTIAL BUILDING.
- THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIR FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IF REQUIREMENTS.
- ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10% .
- FIRE LANE SURFACE SHALL BE ALL WEATHER AND SUPPORT 75,000 LBS.

### KEYED NOTES

- PROPERTY LINE
- EXISTING PUBLIC SIDEWALK
- PROPOSED BUILDING
- PROPOSED FENCING, SEE ARCH PLANS
- PROPOSED ASPHALT PARKING, SEE SECTION, SHEET C-505
- PROPOSED 6' CONCRETE SIDEWALK, SEE DETAIL, SHEET C-506
- PROPOSED CONCRETE ADA PARKING, SEE SHEET C-203
- PROPOSED CONCRETE CURB AND GUTTER, SEE DETAIL, SHEET C-505
- PROPOSED ADA CURB RAMP, SEE DETAILS, SHEET C-504
- PROPOSED BIKE RACKS, SEE DETAILS, SHEET C-504
- PROPOSED DOG PARK, SEE ARCH PLANS
- PROPOSED DRIVEPAD, SEE DETAIL, SHEET C-507
- PROPOSED PUBLIC SIDEWALK CONNECTION
- PROPOSED BOLLARDS, TYP. SEE DETAIL, SHEET C-504
- PROPOSED CONCRETE WHEEL STOPS, TYP. SEE DETAIL, SHEET C-203
- PROPOSED SITE LIGHTING PER ELECTRICAL PLANS
- PROPOSED VEHICLE GATE
- PROPOSED PUBLIC SIDEWALK, SEE DETAIL, SHEET C-506

### LEGEND

	PROPERTY LINES
	EASEMENTS
	PROPOSED FENCE
	PROPOSED SITE LIGHTING
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PARKING

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SANTA FE, NM  
 DXD CAPITAL  
**EMPIRE SELF STORAGE**  
 SANTA FE, NEW MEXICO  
 SITE PLAN

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed RJC	Drawn CLW	Checked RJC
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Date: April 2026

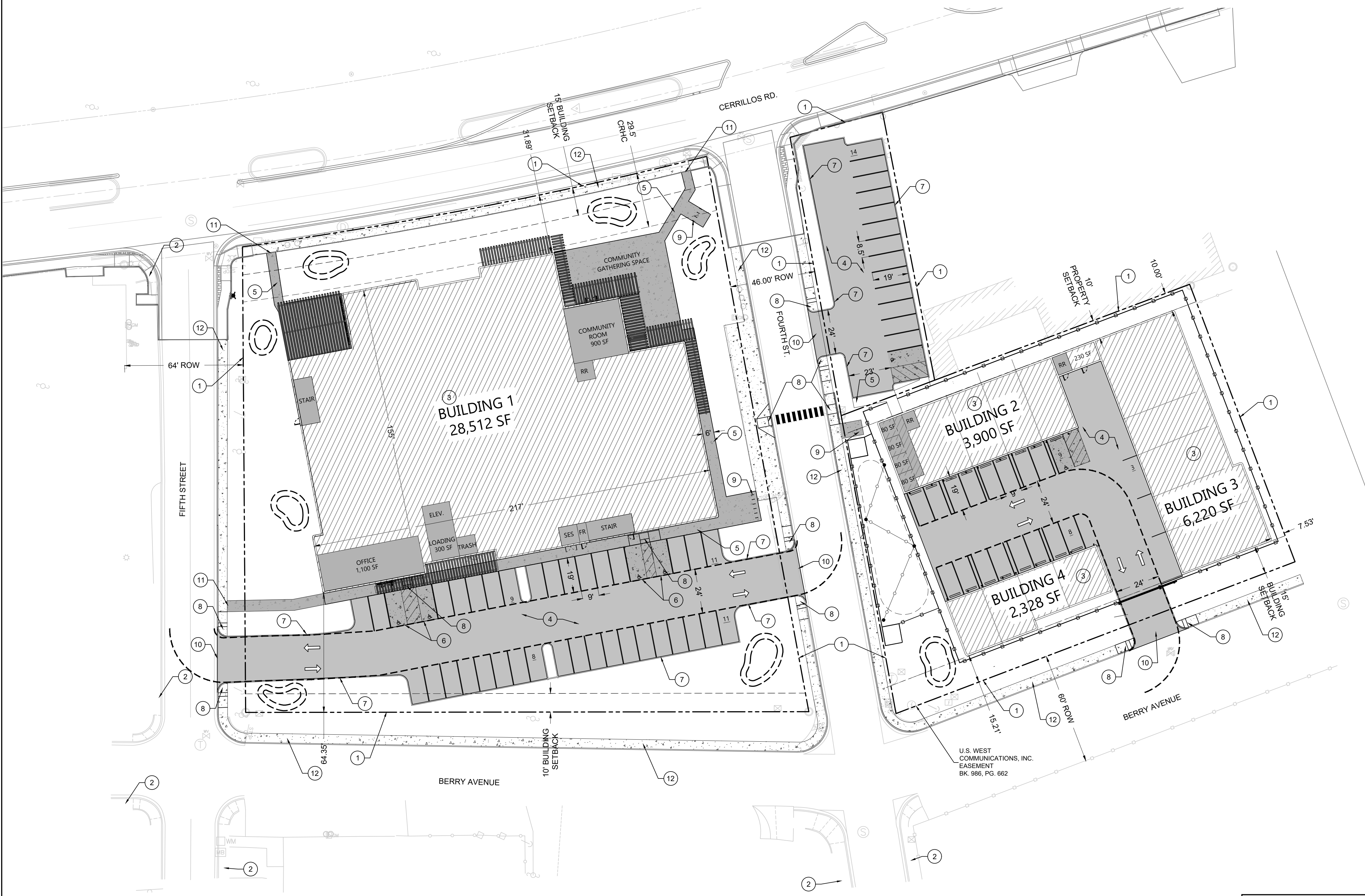
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 3 RD BERRY AVE. SANTA FE, NM 87505

SHEET NAME:  
**SITE PLAN**

SHEET #:  
**C-201**  
 SHEET # \_\_\_ OF \_\_\_

# EMPIRE SELF STORAGE PAVING PLAN



### GENERAL NOTES

- SOLID WASTER COLLECTION WILL BE PROVIDED BY THE CITY OF SANTA FE.
- EXTERIOR LUMINARIES SHALL COMPLY WITH CHAPTER 14-8.9 SFCC.
- THE SITE SHALL COMPLY WITH INTERNATIONAL FIRE CODE (IFC) 2015.
- THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' AND 26' AROUND THE RESIDENTIAL BUILDING.
- THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIR FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IF REQUIREMENTS.
- ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.
- FIRE LANE SURFACE SHALL BE ALL WEATHER AND SUPPORT 75,000 LBS.

### KEYED NOTES

- ① PROPERTY LINE
- ② EXISTING PUBLIC SIDEWALK
- ③ PROPOSED BUILDING
- ④ PROPOSED ASPHALT PARKING
- ⑤ PROPOSED 6' CONCRETE SIDEWALK
- ⑥ PROPOSED CONCRETE ADA PARKING
- ⑦ PROPOSED CONCRETE CURB AND GUTTER
- ⑧ PROPOSED ADA CURB RAMP
- ⑨ PROPOSED BIKE RACKS
- ⑩ PROPOSED DRIVEPAD
- ⑪ PROPOSED PUBLIC SIDEWALK CONNECTION
- ⑫ PROPOSED PUBLIC SIDEWALK

### LEGEND

- PROPERTY LINES
- - - EASEMENTS
- PROPOSED FENCE
- PROPOSED SITE LIGHTING
- ▨ PROPOSED BUILDING
- VEHICLE CIRCULATION
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED ASPHALT
- ▨ PARKING

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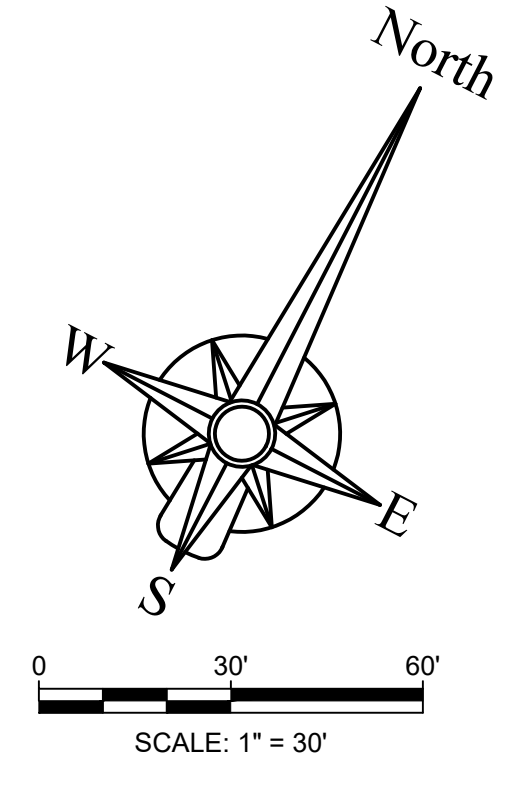
SANTA FE, NM  
**EMPIRE SELF STORAGE**  
 SANTA FE, NEW MEXICO  
 PAVING PLAN

DXD CAPITAL  
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 Designed RJC Drawn CLW Checked RJC  
 Date: April 2026

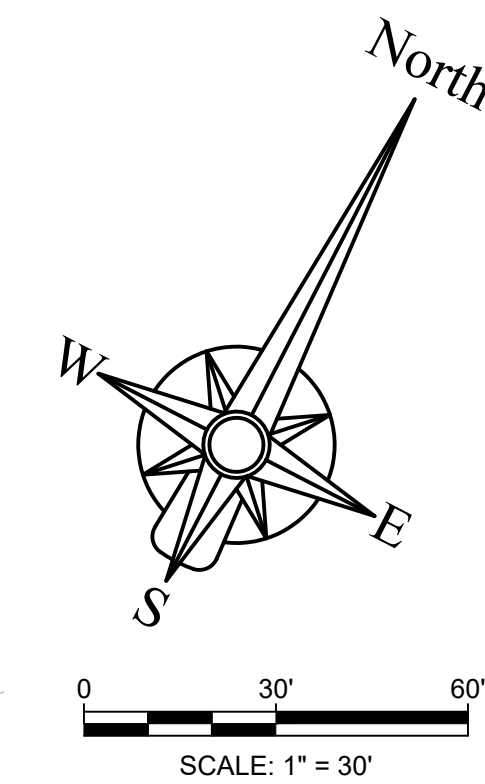
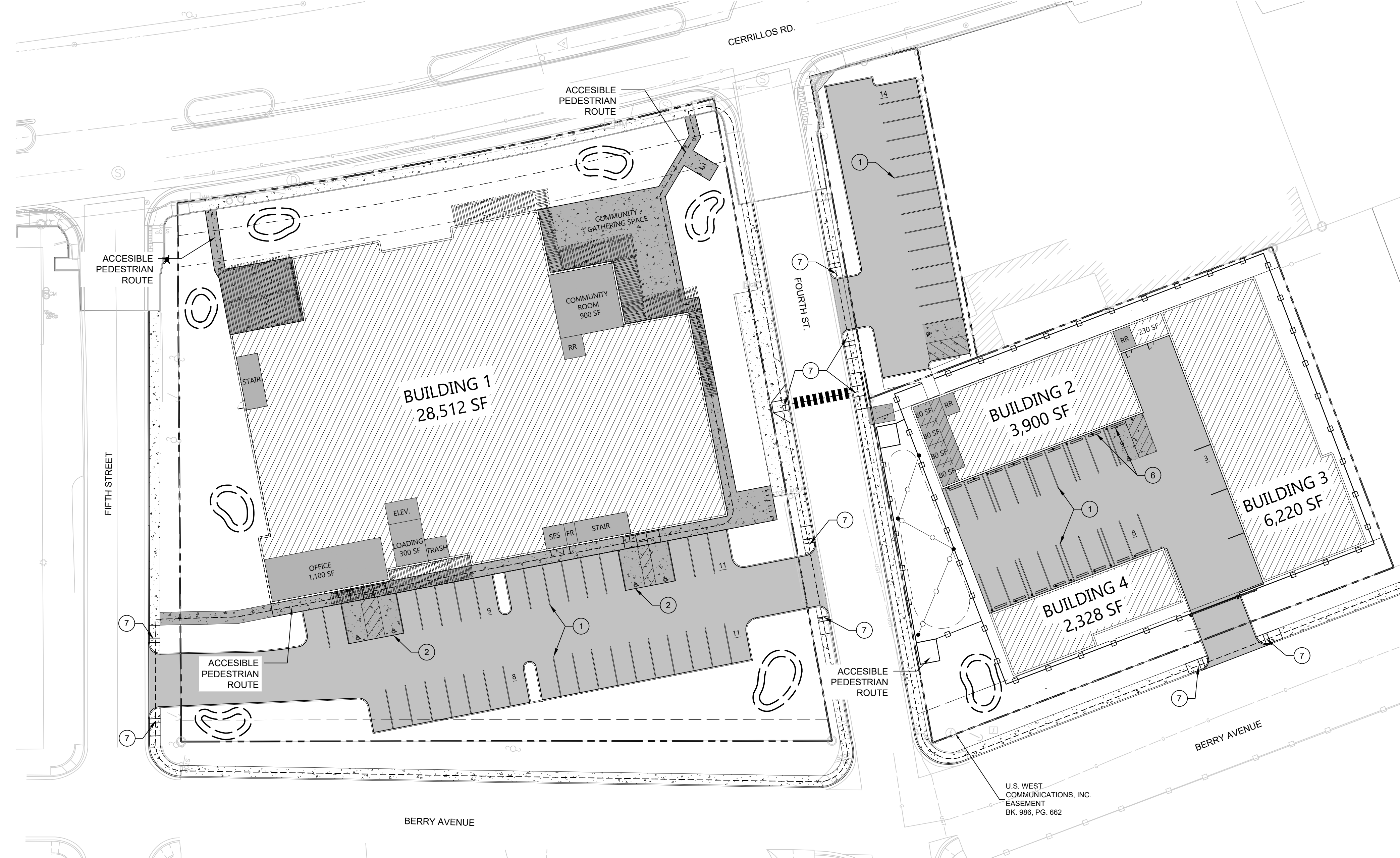
CASE #: #2025-11753 & 11756

ADDRESS: 1802 CERRILLOS RD. SANTA FE, NM 87505  
 1361 FOURTH ST. SANTA FE, NM 87505  
 1750 CERRILLOS RD. SANTA FE, NM 87505  
 3 RD BERRY AVE. SANTA FE, NM 87505

SHEET NAME: **PAVING PLAN**  
 SHEET #: **C-202**  
 SHEET # \_\_\_ OF \_\_\_



# EMPIRE SELF STORAGE SIGNING AND STRIPING - ADA PLAN



## NOTES FOR PAVEMENT MARKINGS

1. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF THE MUTCD.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT AND INSTALLATION OF PAVEMENT MARKINGS ON FINAL SURFACE COURSE. THE LAYOUT OF ALL PAVEMENT MARKINGS SHALL BE APPROVED BY THE PROJECT MANAGER PRIOR TO THE APPLICATION OF MATERIALS.
3. ALL LANE DIMENSIONS ARE FROM CENTER OF LANE STRIPE, CENTER OF DOUBLE LANE STRIPE, FACE OF CURB, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

## NOTES FOR PERMANENT SIGNING

1. ALL SIGNS UNLESS OTHERWISE SPECIFIED, SHALL MEET THE REFLECTIVITY REQUIREMENTS IN THE TABLE ON SHEET C-18 FOR THE SHEETING, LEGEND, BORDER AND BACKGROUND. ONLY ALUMINUM PANEL SIGNS ARE PERMITTED.
2. ALL TRAFFIC CONTROL SIGNS AND DEVICES SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
3. THE LATERAL CLEARANCE OF SIGNS SHALL BE NOT LESS THAN 2 FT. FROM THE FACE OF CURB OR SIDEWALK.
4. ALL SIGNING HARDWARE, INCLUDING BRACKETS, (FOR MOUNTING ALL STREET NAME SIGNS, ETC.) ARE CONSIDERED INCIDENTAL TO SIGN INSTALLATION AND THEREFORE NO ADDITIONAL PAYMENT SHALL BE MADE.

## GENERAL NOTES

1. AT TIME OF CONSTRUCTION, THE CONTRACTOR SHALL ENSURE ADA COMPLIANCE FOR CONSTRUCTION OF REQUIRED ADA ACCESSIBLE FEATURES AND APPURTENANCES, AS DETAILED IN, AND IN ADDITION TO, THE APPROVED CONSTRUCTION PERMIT DOCUMENTS.
2. IMPROVEMENTS SHALL COMPLY WITH ICC ANSI A117.1-2009 CHAPTERS 1-5 AND CHAPTER 7, MUTCD, DOJ, AND NM STATE STATUTE AND CODE SUCH AS THE NEW MEXICO ACCESSIBLE PARKING CHECKLIST, LATEST PUBLISHED VERSION. SIGNAGE WITH REQUIRED LANGUAGE PER THE NM ACCESSIBLE PARKING CHECKLIST IS REQUIRED AT ALL ADA PARKING SPACES.
3. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION. 1%-1.5% IS THE PREFERRED TARGET SLOPE.
4. ALL WALK SURFACES ALONG THE ACCESSIBLE PATH OF TRAVEL SHALL BE FIRM, STABLE AND SLIP RESISTANT. SIDEWALKS AND WALKWAYS ALONG THE ACCESSIBLE PATH OF TRAVEL SHALL NOT EXCEED 1:20 (5%) RUNNING SLOPES WITHOUT HANDRAIL(S) IN ACCORDANCE WITH CURRENT ANSI 117.1 STANDARDS 505 2015 IBC 1014. CROSS SLOPES SHALL NOT EXCEED 2% STAFF RECOMMENDS 1% TO 1.5% AS A TARGET CROSS SLOPE.
5. RAMPS WITHIN THE SITE SHALL HAVE 1:12 (8.33%) RUNNING SLOPE AND 1:48 (2%) CROSS SLOPE MAX. WITH A MAX. RISE OF 30" AND WITH 5' CLEAR LENGTH LANDINGS WHERE STRAIGHT. CHANGES IN DIRECTION SHALL COMPLY WITH 304.3. LANDING TYPICAL SLOPE IS 1.5% AND SHALL NOT EXCEED 2% RUNNING AND CROSS SLOPE. WALKWAYS SHALL PROVIDE 5' DIAMETER TURNING SPACE EVERY 200 LINEAR FEET OF RUN.
6. ENSURE ACCESSIBLE ROUTE(S) FROM ACCESSIBLE PARKING SPACE AISLE(S) TO BUILDING ENTRANCE ARE PROVIDED/MAINTAINED.

## KEYED NOTES

- ① 4" SOLID WHITE, TYPICAL
- ② ADA ACCESSIBLE PARKING, SEE DETAIL A
- ③ 4" SOLID BLUE, TYPICAL
- ④ ADA ACCESSIBLE PARKING SYMBOL, SEE DETAIL B
- ⑤ VAN ACCESSIBLE SIGN, SEE DETAIL C
- ⑥ PRECAST CONCRETE WHEEL STOP, SEE DETAIL D
- ⑦ ADA ACCESSIBLE CURB RAMP
- ⑧ DETECTABLE WARNING SURFACE

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SIGNING AND STRIPING - ADA PLAN

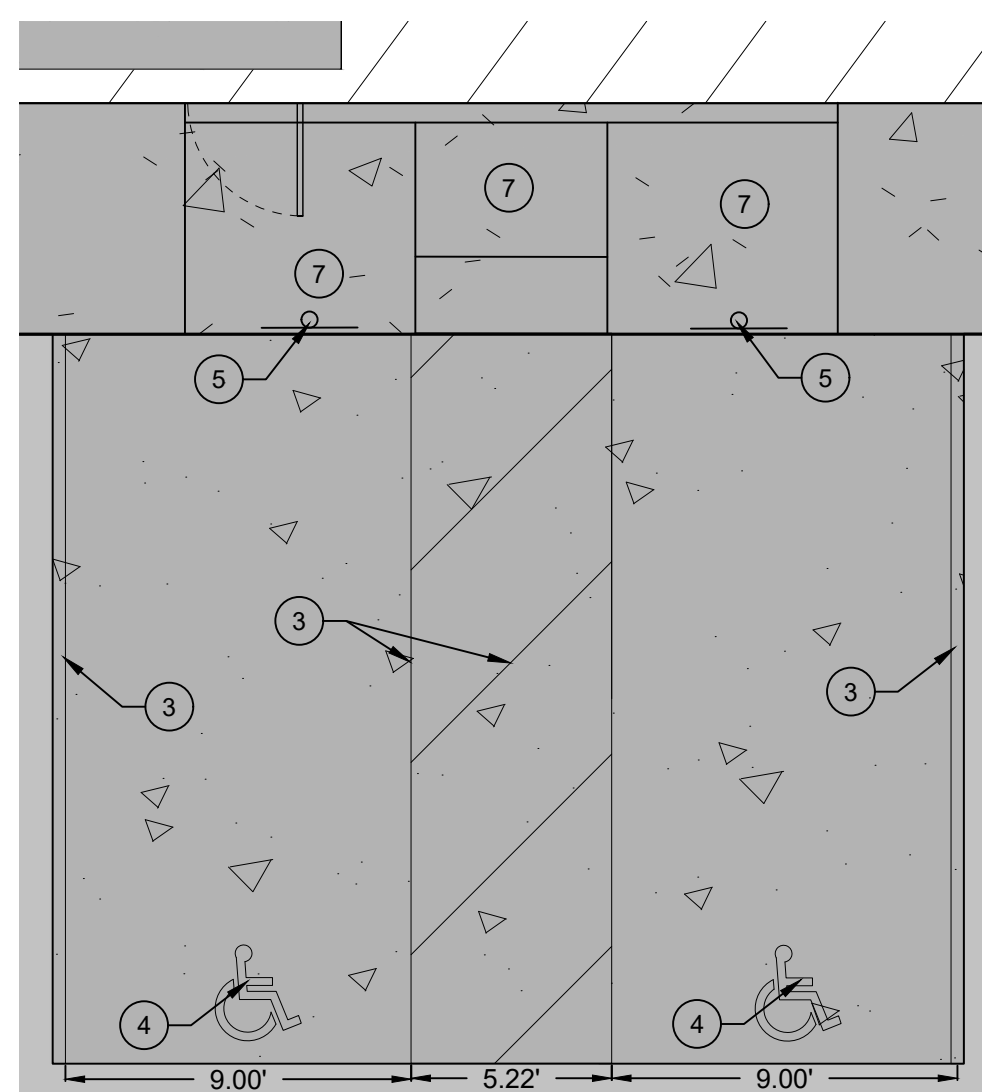
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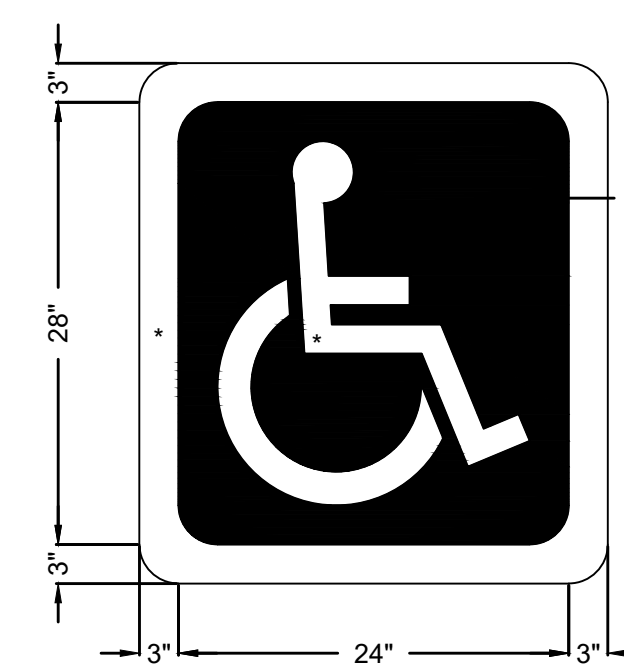
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SHEET NAME:  
**SIGNING AND STRIPING - ADA PLAN**

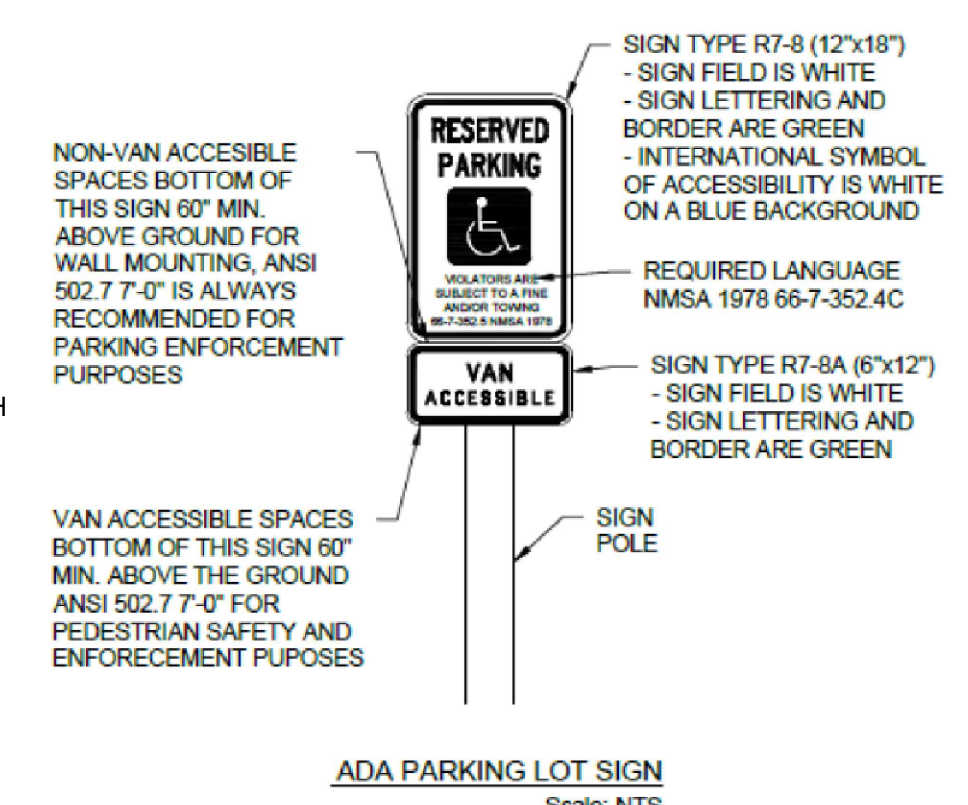
SHEET #:  
**C-203**  
SHEET # \_\_\_ OF \_\_\_



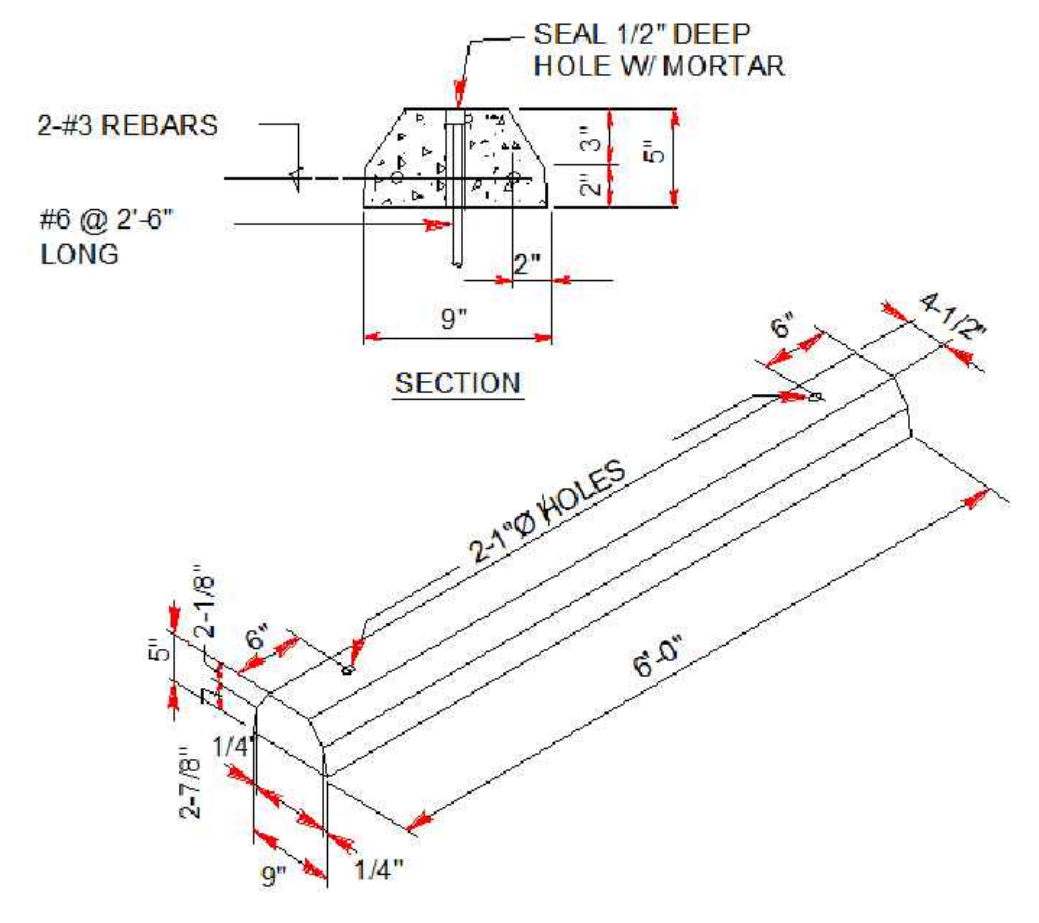
**A** ACCESSIBLE PARKING DETAIL  
SCALE: NTS



**B** ADA ACCESSIBLE SYMBOL DETAIL  
SCALE: NTS



**C** ADA PARKING LOT SIGN  
SCALE: NTS



**D** PRECAST CONCRETE WHEEL STOP DETAIL  
SCALE: NTS

# EMPIRE SELF STORAGE FIRE CHECKLIST



**Fire Prevention Bureau**  
P.O. Box 999, 1751 Cerrillos Rd.  
Santa Fe, NM 87504-0909  
Phone (505) 955-3310 Fax (505) 955-3320

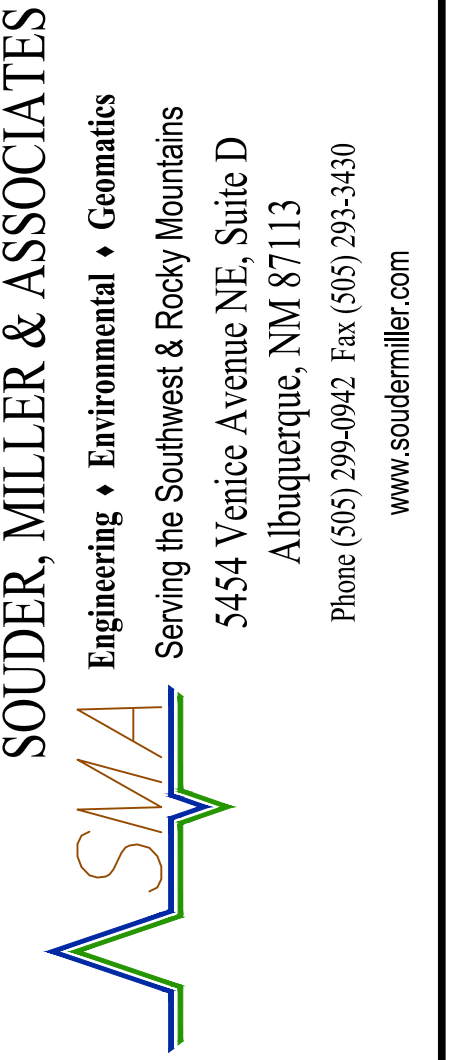
## FP 1 SITE PLAN CHECKLIST

**DISCLAIMER:** Below is a comprehensive list of the most common life safety features. Not all check boxes apply to every permit. FP-1/FP-2 plans shall reflect all applicable features of the submittal for the appropriate plan page. The intent of the Fire Plans set is to assist the fire plans reviewer and expedite the review process for all involved. All submitted criteria shall be subject to review by the most current adopted International Fire Code (IFC) with adopted appendices B & D and city ordinances, International Building Code, all referenced NFPA standards and city adopted ordinances. This is a minimum review checklist to assist developers.

Project Name: \_\_\_\_\_ Address: \_\_\_\_\_ Permit Number: \_\_\_\_\_

Yes	No	N/A	Requirement	Code Reference
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Fire Flow Requirements:</b> The construction type and the total square footage shall be indicated under the code criteria. Construction Type: _____ Total Roofed Sq ft: _____ Fire Flow: _____	<b>IFC Appendix B</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Fire Hydrant supply line location and dimensions:</b> Fire hydrant supply lines that branch off from the water mains shall be indicated with their diameters. Showing the hydrants they serve.	<b>IFC 507.1</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Apparatus Access around buildings:</b> Fire apparatus access roads shall extend to within 150 feet of all portions of the first floor of the facility and all portions of the exterior walls.	<b>IFC 503.1.1</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Buildings Exceeding Three Stories or 30 feet in Height:</b> Buildings or facilities exceeding 30 feet or three stories in height shall have at least two means of fire apparatus access for each structure.	<b>IFC D104.1</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Buildings exceeding 62,000 SQFT:</b> Buildings exceeding 62,000 gross square feet in area shall be provided with two separate and approved fire apparatus access roads. Exception: Projects having a gross building area of up to 124,000 square feet (11 520 m <sup>2</sup> ) that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems.	<b>IFC D104.2</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Multiple Family Residential Projects with more than 100 units:</b> Multiple Family Residential Projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads.	<b>IFC D106.1</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>One- or two-Family Dwelling Residential Developments:</b> Developments of one- or two-family dwellings where the number dwelling units exceed 30 shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.	<b>IFC D107.1</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Remoteness:</b> Where two access roads are required, they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the property or area to be served. Measured in a straight line between accesses.	<b>IFC D104.3</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Aerial Apparatus Road Width and Proximity:</b> Buildings which exceed 30 feet in height require unobstructed aerial apparatus access roads not less than 26 feet in width exclusive of shoulders. Access is required on two sides of the structure and overhead obstructions are prohibited. At least one of the required access routes shall be located within a minimum 15 feet and a maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building.	<b>IFC D105.2, D105.3</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Fire Apparatus Road Dimensions:</b> Fire apparatus roads shall have an unobstructed width of not less than 20 feet and an unobstructed height not less than 13 feet 6 inches. They shall have an unobstructed width not less than 26 feet in width when fire department access road exceeds 300 feet.	<b>IFC 503.2.1</b>

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Access road width with a Hydrant:</b> Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.	<b>IFC D103.1</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Fire Lanes:</b> Fire apparatus access roads 20 ft. to 26 ft. shall have a fire lane marked on both sides of the road. Roads 26 ft. to 32 ft. wide shall be marked fire lane on one side.	<b>IFC D103.6.1</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Turning Radius:</b> The minimum turning radius shall be 28 feet as determined by the fire code official. The 28ft. radius will be measured from the inside radius.	<b>IFC D103.3</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Dead End:</b> Apparatus access roads which exceed 150 feet require an approved turnaround area for the fire apparatus. Refer to Appendix D for approved turnarounds.	<b>IFC 503.2.5</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Access and Loading:</b> An approved fire apparatus access roads shall have an asphalt, concrete, or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.	<b>IFC D102.1</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Engineering Data:</b> Engineering data shall be submitted to substantiate weight bearing capacity and all-weather driving capabilities for fire apparatus access roads.	<b>IFC 3310.1</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Grade:</b> Fire apparatus access roads shall not exceed 10 percent in grade.	<b>IFC D103.2</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Security Gates:</b> Security gates that extend across fire apparatus access roads or impede fire apparatus access shall have an approved means of operation to allow fire department access.	<b>IFC 503.6</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Security Gate Emergency Access:</b> Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed, and installed to comply with the requirements of ASTM F 2200. (Shall provide OPTICOM STROBE SENSOR for automatic gates as per AHJ) IFC 503.6	<b>SF City Ord 1999-7</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Fire Separation:</b> In order for occupancies to be considered separated they shall meet the International Building Code 2015 section 506.4. The separation shall be constructed as fire barriers in accordance with IBC section 707. Fire separation shall be indicated on the plan. The level (hour rating) of the separation shall also be indicated.	<b>IBC 506.4 506.4.4.1 707.3.9 707.3.10</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Sprinkler Systems:</b> New and existing sprinkler systems shall be indicated on the Plans. It shall be indicated as "sprinklered or non-sprinklered" under the code criteria.	<b>IFC 901.2</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Sprinkler FDC Obstructions:</b> The FDC shall be unobstructed from any permanent object for a minimum distance of A 3ft. radius around the connection and 6.5 feet in height.	<b>IFC 912.4.2</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>The Post or Wall Indicator Valve (PIV or WIV)</b> shall be located on the Plans and installed as per NFPA 13	<b>IFC 903.3</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Class 1 Standpipe:</b> Standpipe systems shall be installed throughout buildings where the floor level of the highest story is located more than 30 feet above the lowest level of the fire dept. vehicle access.	<b>IFC 905.3</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Standpipe FDC:</b> The standpipe FDC shall be located within 100 feet of a hydrant.	<b>NFPA 14.6.4.5.4</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Premise Identification:</b> New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property.	<b>IFC 505.1</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Fire flow requirements:</b> Shall comply with fire flow requirements per Appendix B and adopted city ordinance.	<b>IFC B105 IFC Tables B105.1(1), B105.1(2), B105.2 SF City Ord 2024-2</b>



SANTA FE, NM

EMPIRE SELF STORAGE  
SANTA FE, NEW MEXICO

FIRE CHECKLIST

DXD CAPITAL

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Designed RJC	Drawn CLW	Checked RJC
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Date: April 2026

CASE #: #2025-11753 & 11756

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1361 FOURTH ST. SANTA FE, NM 87505  
1750 CERRILLOS RD. SANTA FE, NM 87505  
3 RD BERRY AVE. SANTA FE, NM 87505

SHEET NAME:

FIRE CHECKLIST

SHEET #:

FC-100

SHEET # \_\_\_ OF \_\_\_

# EMPIRE SELF STORAGE FIRE ONE PLAN

**FIRE PROTECTION DATA**

AUTHORITY HAVING JURISDICTION: SANTA FE FIRE DEPARTMENT/FIRE MARSHALL  
 TYPE OF FIRE SPRINKLER SYSTEM: WET-PIPE  
 DESIGN STANDARD: NFPA-13 (2019 EDITION)  
 OCCUPANCY CLASSIFICATION: ORDINARY HAZARD/GROUP II  
 DESIGN DENSITY: 0.20 GPM/3,000 SQ.FT.  
 MAX. SPRINKLER COVERAGE: 400 SQ.FT (20'-0" x 20'-0")  
 SYSTEM DEMAND: 650.0 GPM  
 DURATION: 60.0 MINUTES  
 AVAILABLE WATER SUPPLY:  
 STATIC: TBD  
 DATE: N/A  
 SOURCE: CITY OF SANTA FE WATER DIVISION  
 LOCATION: N/A

**BUILDING INFORMATION**

ADDRESS: 1802 CERRILLOS RD. SANTA FE, NM 87505  
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 3 RD BERRY AVE. SANTA FE, NM 87505

LEGAL DESCRIPTION SITE 1:  
 Lots 1 Thru 21, Block 2, The Capitol Land & Townsite co. Add'n  
 LEGAL DESCRIPTION SITE 2:  
 Lots 13 Thru 17, Block 3, The Capitol Land & Townsite co. Add'n  
 Lots 18 Thru 20, Block 3, The Capitol Land & Townsite co. Add'n  
 Tract B, Culver Replat

NEW CONSTRUCTION - CLIMATE CONTROLLED SELF STORAGE

- CONSTRUCTION TYPE: IIB
- DEVELOPMENT TYPE: NEW CONSTRUCTION
- SPRINKLERED: YES
- BUILDING GSF SITE 1: 95,400 sf
- BUILDING GSF SITE 2: 13,882 sf
- BUILDING HEIGHT: 29'-6"
- FIRE FLOW: 1,625 (75% AUTO-SPRINKLER REDUCTION)  
 PER IFC APPENDIX B
- HYDRANTS REQUIRED: 1
- HYDRANTS PROVIDED: 3

**GENERAL NOTES**

- FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON ONE SIDE.
- ALL FIRE ACCESS AREAS SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
- SLOPES WILL NOT EXCEED 10% IN GRADE FOR THE FIRE ACCESS ROADS
- PROPOSED BUILDINGS SHALL HAVE AN EXTERNAL DOMESTIC AND FIRE BACKFLOW PREVENTION DEVICE
- ALL INSTALLED FIRE SERVICE LINES SHALL BE 6" UNLESS OTHERWISE NOTED.
- ALL BUILDINGS AND VEHICULAR ACCESS GATES SHALL HAVE A KNOX BOX FOR FIRE ACCESS

**KEYED NOTES**

- ① EXISTING FIRE HYDRANT
- ② CONNECT TO EXISTING WATER LINE
- ③ REMOVE AND RELOCATE EXISTING FIRE HYDRANT.
- ④ INSTALL POST INDICATOR VALVE
- ⑤ INSTALL FIRE DEPARTMENT CONNECTION
- ⑥ PROPOSED FIRE ACCESS ROUTE
- ⑦ NEW 2" DOMESTIC SERVICE
- ⑧ NEW 6" FIRE SERVICE

**LEGEND**

	PROPERTY LINES
	EASEMENTS
	DOMESTIC WATER
	FIRE PROTECTION
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT

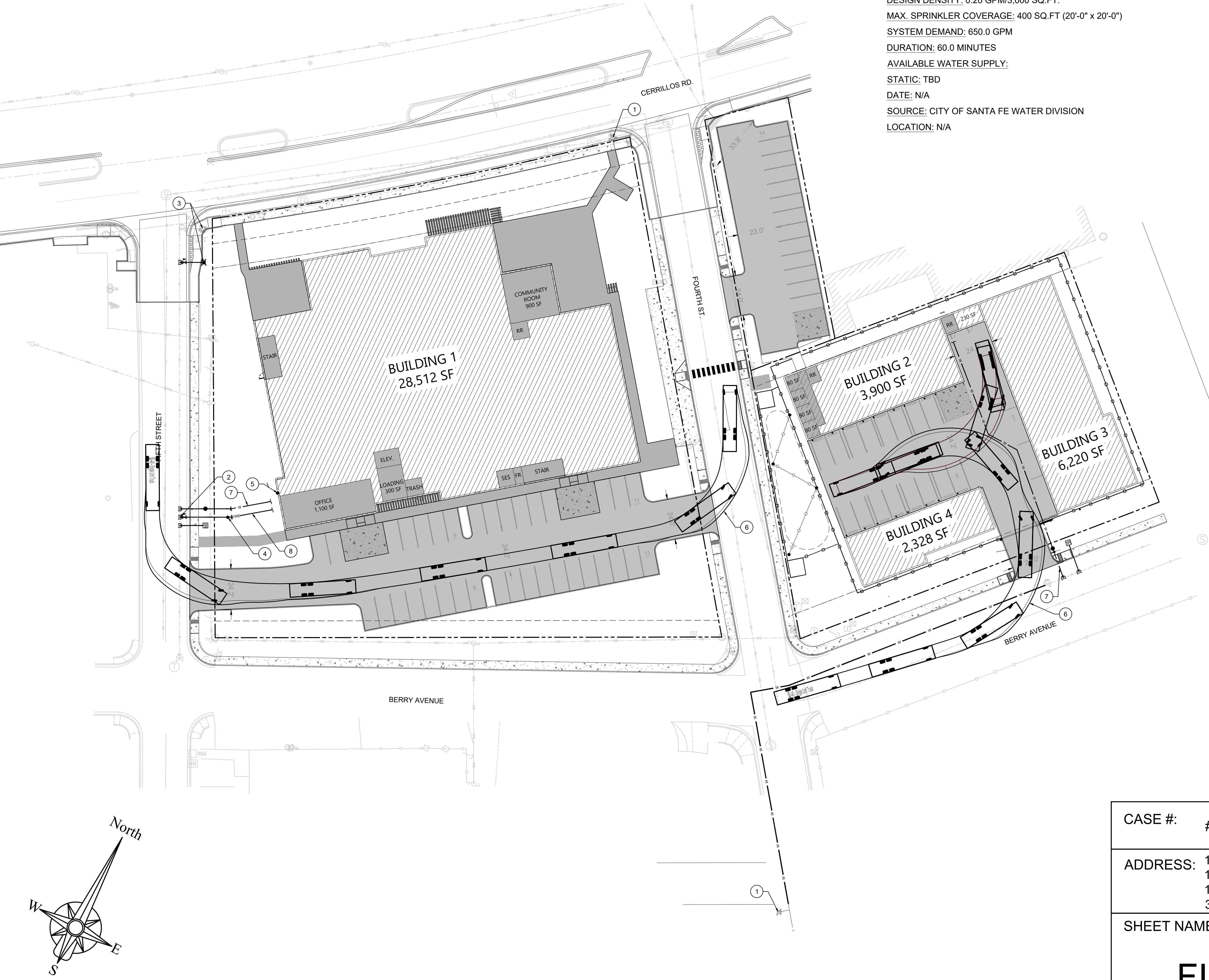
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 SANTA FE, NEW MEXICO  
 FIRE ONE PLAN

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SHEET NAME: **FIRE ONE PLAN**

SHEET #: **FC-101**

SHEET # \_\_\_ OF \_\_\_



**Terrain and Stormwater Management Checklist**  
 City of Santa Fe Land Use Department - Technical Review Division  
 200 Lincoln Ave., Santa Fe, NM 87501 • (505) 955-6641 • [City of Santa Fe Technical Review Link](#)

This document *does not* substitute the requirement of providing the information on the plan. This document is for *your information only*, and to help expedite the Terrain Management review for requirements.  
 Not all conditions may be mentioned, other conditions may apply. See Santa Fe City Code § 14-8.2 for all requirements.  
 Compliance will be verified during permit review, in the field at the time of the required Final Grading and Drainage Inspection, Interim Inspection, and any other inspections, as applicable.

ITEM (Per SFCC § 14-8.2)	RESULT
<b>Submittals</b>	
1. Legal Lot of Record with City Signatures	
<b>Standards for All Grading §14-8.2(D)(2)</b>	
2. Exposed cut slopes on a site shall not exceed ten (10) feet in height. In no case shall the height of a cut exceed the height of any building constructed in the excavated area. §14-8.2(D)(1)(a)	
3. Fill slopes on a site shall not exceed 15 feet in height, and be no steeper than 3:1 unless a structural alternative such as a retaining wall or some other measure acceptable to the city engineer is provided §14-8.2(D)(1)(b)	
4. Cut or fill slopes for road shall not exceed fifteen (15) feet in height. §14-8.2(D)(1)(c)	
5. All cut slopes not stabilized by a retaining wall or other measure acceptable to the city engineer shall be no steeper than 2:1. §14-8.2(D)(1)(d)	
6. Grading for buildings is limited to fifteen (15) feet beyond the outer edge of the building foundation, patio, wall, driveway, road, parking area, or other constructed facility. §14-8.2(D)(2)(a)	
7. Natural slopes (defined as slopes existing prior to any disturbance) thirty percent or greater shall remain undisturbed. §14-8.2(D)(2)(a)	
<b>Topography §14-8.2(D)(3)</b>	
8. At least one-half of the area designated as suitable for building and at least one-half of any building footprint shall have a natural slope of less than twenty percent; the remainder of the area or building footprint may have a natural slope of twenty percent or greater, but less than thirty percent; §14-8.2(D)(3)(b)	
9. The first-floor finished floor elevation at any point of a building built on a natural slope of twenty percent or greater shall not exceed five (5) vertical feet above the natural slope at that point. §14-8.2(D)(3)(c)	
10. A structure shall not be built on a natural slope of thirty (30) percent or greater. §14-8.2(D)(2)(b) and §14-8.2(D)(3)(d)	
11. Any disturbance directly adjacent to natural slopes of thirty (30) percent or greater, shall have at minimum a three (3) foot buffer. COSF Policy. Inquire with staff for financial guarantee as an alternate option.	
<b>Stormwater Management §14-8.2(D)(4)</b>	
12. Stormwater management measures shall be designed to directly address 100% of the additional flows from the proposed development. Compliance with these standards shall not be achieved solely by alterations to flows upstream of a proposed development. §14-8.2(D)(4)(a)(ii)	
13. The stormwater runoff peak flow rate discharged from a site shall not exceed pre-development conditions for any frequency storm event up to the one percent chance, twenty-four-hour storm event at each discharge point. §14-8.2(D)(4)(b)	
14. Runoff control measures may include the use of detention or retention basins and active water harvesting and passive water harvesting techniques, swales, berms, check dams, vegetative ground cover, permeable pavements, tree wells, dry wells, cisterns and other techniques appropriate for retaining and infiltrating water on site. §14-8.2(D)(4)(b)	
15. Stormwater management measures must integrate into the landscape and site planning process as set forth in Section 14-8.4 (Landscape and Site Design). §14-8.2(A)(11).	

ITEM (Per SFCC § 14-8.2)	RESULT
53. Areas of soils with severe limitations for the intended use. §14-8.2(F)	
54. The location of temporary erosion control structures and methods used, including staging and stockpile areas. §14-8.2(F)	
55. All significant trees and areas with substantial grass coverage to be removed. §14-8.2(F)	
56. A construction schedule when the project will be developed in phases. §14-8.2(F)	
57. The location of temporary fencing around the areas to be protected from construction. §14-8.2(F)	
58. The ratio of horizontal to vertical measurement for cut and fill slopes. §14-8.2(F)	
59. The total volume, in cubic yards, of earth to be moved. §14-8.2(F)	
60. All existing disturbed areas. §14-8.2(F)	
61. Special flood hazard areas designated by FEMA on the Flood Insurance Rate Map. §14-8.2(F)	
62. Date, method of survey and certification from a New Mexico professional engineer or professional land surveyor that the plan is following national map accuracy standards. §14-8.2(F)	
<b>Standards for Master Plans, Preliminary Development Plans and Preliminary Subdivision Plans; Requirements §14-8.2(G)</b>	
<i>Requirements in addition to the minimum standards of subsection 14-8.2(D)</i>	
63. Stormwater management submittals for master plans, subdivisions and development plans shall be prepared and certified by a professional engineer. §14-8.2(G)(2)(b)	
64. All land below the base flood elevation for a one percent chance event shall be dedicated as a drainage easement and as public or private open space or public right of way. §14-8.2(G)(1)(b)	
65. For all development where one-half or more of the land within the project site exceeds twenty percent slope, the quantity and peak flow rate of post-development stormwater runoff on all developed or disturbed land shall not exceed seventy-five percent of the quantity and peak flow rate of the pre-development runoff. §14-8.2(G)(1)(c)	
66. A conceptual plan and report that shows the general approach proposed for terrain and stormwater management, and how the proposed development meets all the minimum standards described in Subsection 14-8.2(D). §14-8.2(G)(2)(a)	
67. A topographic survey and grading plan as outlined in §14-8.2(F). §14-8.2(G)(2)(b) Topography, with Slope Analysis to be prepared and certified by a professional engineer or professional land surveyor. §14-8.2(C)(2)(b)	
68. A brief description of the watershed directly upstream and downstream of the parcel, including the size, terrain, type and extent of vegetation cover and degree of development for all areas draining to the project site. §14-8.2(G)(2)(c)	
<b>Final Development Plans and Subdivision Plans; §14-8.2(H)</b>	
<i>Requirements in addition to the minimum standards of subsection 14-8.2(D), 14-8.2(F), and 14-8.2(G)</i>	
69. A long-term maintenance schedule for the life of the stormwater management measures, including the time frame for completion and the party who shall perform the maintenance. §14-8.2(H)(b)	
70. An as-built certification signature block to be executed by a professional engineer after the project completion to ensure that the constructed stormwater management systems comply with the approved stormwater plans. §14-8.2(H)(c)	
<b>Inspections and Violations During Construction Process §14-8.2(I)</b>	
<i>For all nonresidential projects and all residential projects that do not qualify as minor development, an applicant shall notify the land use director, or the director's designee, to set up an inspection at the following times:</i>	
71. When construction erosion, sediment control devices, and measures are in place. §14-8.2(I)(1)(a)	
72. When final stormwater management measures are completed. §14-8.2(I)(1)(b)	
73. When the final site restoration measures are completed; or, when temporary erosion control measures, for use until site restoration is complete, are ready for inspection. §14-8.2(I)(1)(c)	
<i>Further construction or issuance of any permits shall not occur until written approval has been granted by the inspector after each inspection that the best management practices and stormwater management control methods have been completed in accordance with approved plans. §14-8.2(I)(1)(a)</i>	
<b>Exemptions §14-8.2(B)(2)</b>	
<i>Development is exempt from requirements of §14-8.2 if all of the following conditions are met:</i>	
74. Less than two hundred fifty (250) square feet of total land area being disturbed.	
75. No slopes greater than ten (10) percent are disturbed.	
76. Existing drainage patterns on the property are not changed in a way that would increase the amount of stormwater runoff leaving the property or cause significant change.	
77. Adequate erosion control is provided	
<b>Driveway Construction</b>	
78. Require City Engineer approval, must provide access to a buildable area §14-8.2(D)(2)(d).	

ITEM (Per SFCC § 14-8.2)	RESULT
16. Stormwater shall not be discharged into any watercourse or drainage channel without adequate reduction of flow velocity, accomplished by erosion control techniques. The techniques used shall be sufficient to diminish runoff velocity and spread runoff flow adequately to avoid erosion upon entering the watercourse. §14-8.2(D)(4)(b)	
17. Stormwater runoff shall not be routed into irrigation ditches, canals, acequias or watercourses related to an acequia system, unless approved prior to submittal by city engineer and person legally responsible for the operation and maintenance of the facility. §14-8.2(D)(4)(b)	developer is responsible for obtaining all such approvals before submittal of an application
18. An active, historic acequia, whether on site or off site, shall not be disturbed in any way by building development or construction activity, unless approved prior to submittal by person legally responsible for the operation and maintenance of the facility §14-8.2(D)(4)(b)	developer is responsible for obtaining all such approvals before submittal of an application
<b>Detention Basins §14-8.2(D)(4)(c)</b>	
<i>discharge standards for minor development see §14-8.2(E)(2).</i>	
19. Stormwater detention basins and overflow structures shall be sized and designed to adequately accommodate flows from one percent chance, twenty-four-hour storm events; provided however, that such basins shall also be equipped with outflow structures that limit flow-through from lesser magnitude storms to runoff rates equal to or less than pre-development runoff rates. §14-8.2(D)(4)(c)	
20. Infiltration, detention and retention basins shall provide a means of controlling and removing sediment. Basins shall be designed to empty within no more than 24 hours. §14-8.2(D)(4)(c)(ii)	
21. Landscape treatment of detention and retention ponding is required. 1 tree and 3 shrubs are required per five hundred (500) square feet of provided ponding area and shall be planted in accordance with Landscape and Site Design. see §14-8.4(F)(2)(e). §14-8.2(D)(4)(c)	
22. Fencing is required around stormwater ponds that hold over three (3) feet of water. COSF Policy.	
23. Stormwater ponds must have a sediment measuring post installed to establish the bottom of pond elevation, and provide notice for when removal of sediment is necessary. COSF Policy	
<b>Cisterns §14-8.2(D)(4)(d)</b>	
24. Cisterns must be connected to an irrigation system or other water use. §14-8.2(D)(4)(d)	
25. A maximum of fifty percent of required stormwater detention volume may be stored in cisterns, except that one hundred percent may be stored in cisterns for minor development. §14-8.2(D)(4)(d) <i>Enough stormwater volume must be discharged within twenty-four hours to ensure there is an appropriate void volume for the next storm. §14-8.2(D)(4)(c)(ii)</i>	
26. Cisterns shall be installed and operated in compliance with applicable provisions of other regulations, including Section 14-8.4 Landscape and Site Design and Chapter 7 SFCC 1987 Building and Housing. §14-8.2(D)(4)(d)	
<b>Arroyo, Stream and Watercourse §14-8.2(D)(4)(e)</b>	
27. For arroyos, streams or watercourses that carry one hundred (100) cubic feet per second or more of stormwater flow in a one percent chance event, all structures, paved roads, driveways and parking lots shall be set back a minimum of twenty-five (25) feet from the top shoulder of an arroyo plus the depth of the arroyo channel. §14-8.2(D)(4)(e)	
28. For arroyos, streams or watercourses that carry less than one hundred (100) cubic feet per second in a one percent chance event, the city engineer may require a setback based on soils and hydrologic information supplied by the applicant; no grading shall occur within the setback area, with exception. §14-8.2(D)(4)(e)	
29. Erosion control and channel stability in arroyos, streams or watercourses shall be achieved using techniques that reduce stormwater velocity and pollution, preserve active floodplains, provide adequate room for flood waters to spread safely and use native vegetation. Arroyo and watercourse banks shall not be armored with concrete, gabion baskets, sheet piling, rip-rap or similar hardened material unless no reasonable alternative exists to protect public infrastructure or pre-existing structures. §14-8.2(D)(4)(e)	
30. Fences, walls, and similar structures may not be constructed in or across an arroyo, stream or watercourse. §14-8.2(D)(4)(e)	
<b>Site Restoration §14-8.2(D)</b>	
31. Site restoration submittals shall be prepared and certified by a professional engineer, architect or landscape architect licensed in New Mexico. §14-8.2(C)(2)(b)	
32. Soil stabilization and erosion control measures for all land disturbed by construction shall be completed within twenty-one days after completion of construction or other activities on site that	

ITEM (Per SFCC § 14-8.2)	RESULT
* City Engineer may determine completeness, compliance, acceptability, and the need for additional information to submittals, standards, and methods, including requiring a licensed professional. §14-8.2(C), §14-8.2(D). *	

**\*\*ALL APPLICABLE REQUIREMENTS MUST BE PROVIDED ON THE PLAN\*\***

ITEM (Per SFCC § 14-8.2)	RESULT
interfere with soil stabilization measures. If the time of year is not conducive to planting, it may be delayed until the next appropriate planting season if all appropriate temporary erosion control measures are maintained until permanent erosion control measures are implemented.	
33. Revegetation with appropriate drought-tolerant plant materials, including grasses or other ground cover, or restoration with techniques such as live staking, brush layering, brush mattress and live crib walls, stabilization with stones, terracing or similar techniques. §14-8.2(D)(5)	
34. All trees and shrubs shall be mulched and irrigated until established. Grass seed should either be hydroseeded or covered with biodegradable material or synthetic soil erosion control blankets or matting and irrigated until established. Irrigation shall be pursuant to the irrigation requirements in Section 14-8.4 Landscape and Site Design. §14-8.2(D)(5)	
<b>Minor Development §14-8.2(E) and Submittal Requirement for Minor Development §14-8.2(E)(3)</b>	
<i>Requirements in addition to the minimum standards of subsection 14-8.2(D)</i>	
35. Any structure meeting all of the following criteria is considered minor development: a) taking place on a single lot or a subdivision of fewer than three lots; b) it results in cumulative total disturbance of less than 5,000 square feet of land on a lot; c) it disturbs no slope equal to or greater than twenty percent; d) no more than three thousand five hundred (3,500) square feet of new impervious surface is created per lot. §14-8.2(E)(1)	
36. Minimum volume of water to be contained or infiltrated on site shall be determined by multiplying the total area of new impervious surface, in square feet, by 0.16 feet to arrive at a value expressed in cubic feet, i.e. one hundred sixty (160) cubic feet of water containment is required per one thousand (1,000) square feet of impervious surface. §14-8.2(E)(2)	
37. A brief narrative description of the proposed project. §14-8.2(E)(3)(a)	
38. A brief written description or representative photographs of the type of existing vegetation, such as piñon and juniper trees, annual weeds, grass cover, bare ground and so on, and approximate coverage of existing vegetation, and a plan for vegetation removal at the site. §14-8.2(E)(3)(c)	
39. A description of all proposed grading or ground disturbance. §14-8.2(E)(3)(d) Grading submittals may be prepared by any person, including the homeowner, who has the legal authority to design the structure. The City Engineer may require that submittals be prepared and signed by a professional engineer, architect, professional land surveyor or landscape architect licensed in New Mexico if necessary to fulfill the requirements. §14-8.2(C)(2)(a)	
40. Calculations and a plan drawing showing the size, volume, dimensions and location of all proposed runoff containment structures or methods and how water will be directed to the structures or methods. §14-8.2(E)(3)(e)	
41. Percolation test results or other means of demonstrating that containment structures will empty within twenty-four hours, if stormwater storage exceeds 12" in depth. §14-8.2(C)(2)(e)	
42. Roof run-off drainage plan. §14-8.2(E)(3)(f)	
43. Planting plan for revegetation showing proposed plant materials and a description of the proposed irrigation method or other methods used to establish vegetation and prevent erosion until vegetation becomes established. §14-8.2(E)(3)(g)	
<b>Submittal Requirement for All Other Development §14-8.2(F)(1)</b>	
<i>Requirements in addition to the minimum standards of subsection 14-8.2(D) and 14-8.2(E)</i>	
44. Stormwater management for all other types of development shall be prepared by a professional engineer or an architect or landscape architect registered in New Mexico. §14-8.2(C)(2)(b)	
45. Topography, with Slope Analysis to be prepared and certified by a professional engineer or professional land surveyor. §14-8.2(C)(2)(b)	
46. A topographic survey and grading plan with elevation contours shown at not more than two (2) foot intervals on slopes less than thirty percent and five (5) foot intervals on slopes of thirty percent or greater. §14-8.2(F)	
47. All sloped areas of zero to twenty percent, twenty-one to thirty percent and greater than thirty percent shall be clearly marked and differentiated by shade, tone or color at a scale sufficient to allow verification of the calculations. §14-8.2(F)	
48. Ground elevations. §14-8.2(F)	
49. The designated buildable sites or buildable areas. §14-8.2(F)	
50. All areas to be graded on the site and the final contours to be achieved by the grading. §14-8.2(F)	
51. All finished floor or grade elevations. §14-8.2(F)	
52. Spot elevations, as needed. §14-8.2(F)	

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SANTA FE, NM  
 DXD CAPITAL  
 EMPIRE SELF STORAGE  
 SANTA FE, NEW MEXICO  
 TERRAIN MANAGEMENT CHECKLIST

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed RJC	Drawn CLW	Checked RJC
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Date: April 2026

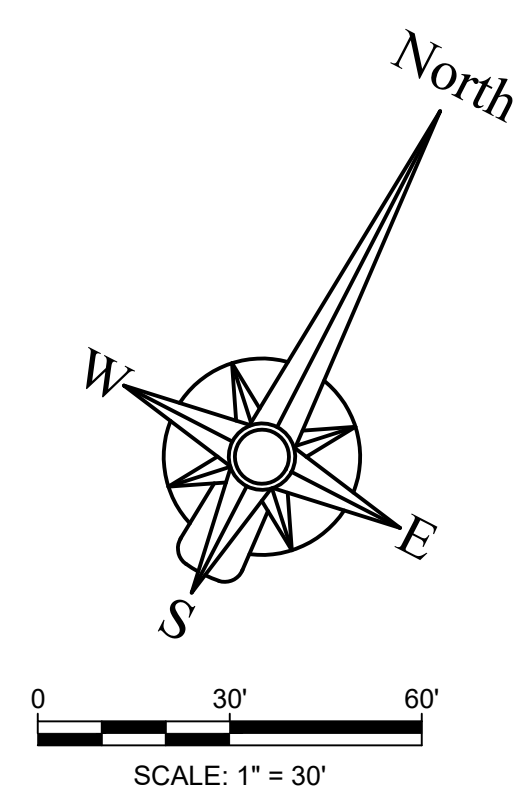
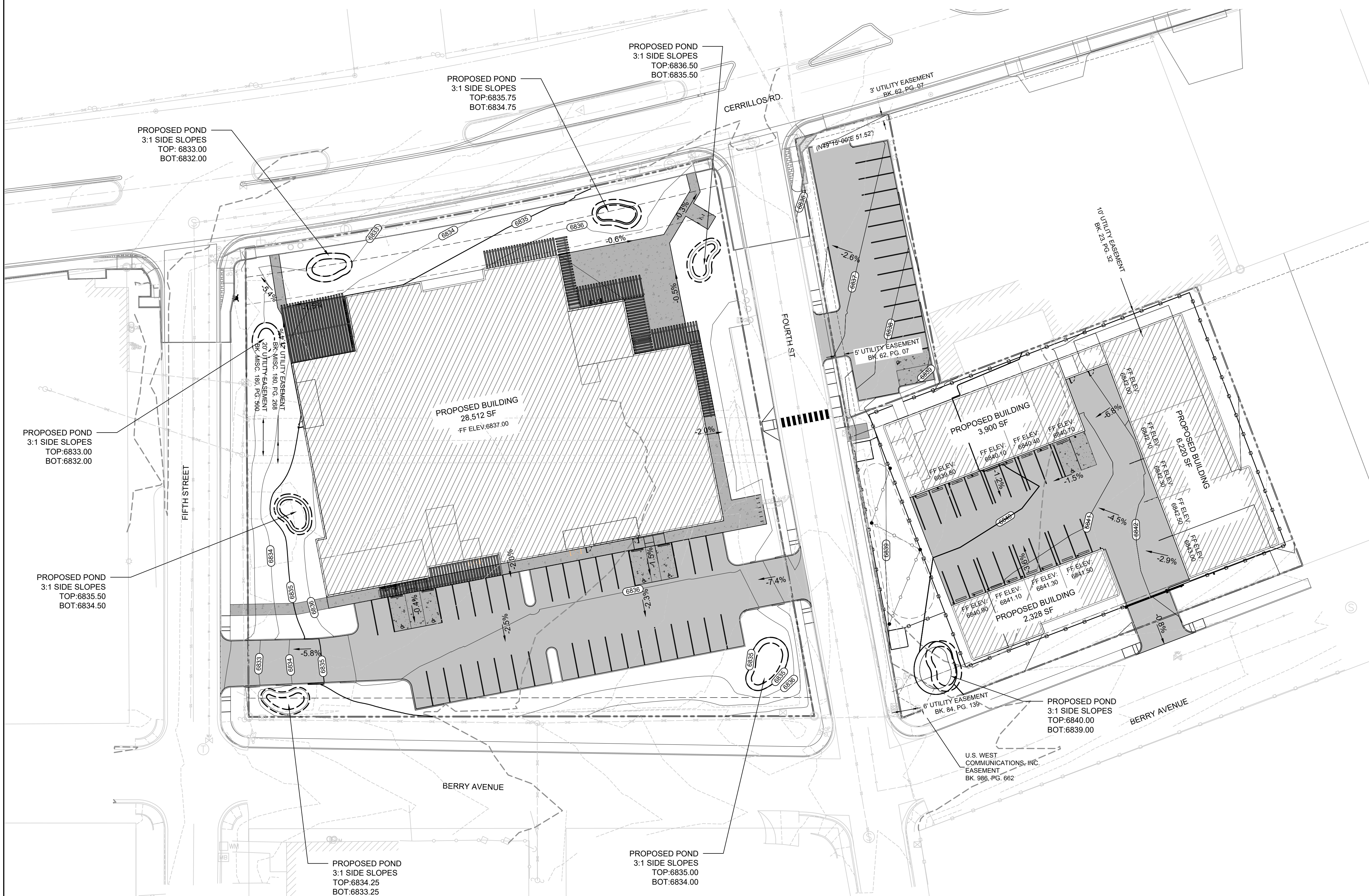
CASE #: #2025-11753 & 11756

ADDRESS: 1802 CERRILLOS RD. SANTA FE, NM 87505  
 1361 FOURTH ST. SANTA FE, NM 87505  
 1750 CERRILLOS RD. SANTA FE, NM 87505  
 3 RD BERRY AVE. SANTA FE, NM 87505

SHEET NAME:  
**TERRAIN MANAGEMENT CHECKLIST**

SHEET #:  
**C-300**  
 SHEET # \_\_\_ OF \_\_\_

# EMPIRE SELF STORAGE TERRAIN MANAGEMENT PLAN



**LEGEND**

	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR

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Designed RJC	Drawn CLW	Checked RJC
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SHEET NAME:  
**TERRAIN  
 MANAGEMENT PLAN**

SHEET #:  
**C-301**  
 SHEET # \_\_\_ OF \_\_\_

# EMPIRE SELF STORAGE EXISTING DRAINAGE PLAN

## DRAINAGE CALCULATIONS & NOTES

### 1.0 RAINFALL

The average annual rainfall around the project area is 14.21 inches according to the U.S. Climate Normals data from the National Oceanic and Atmospheric Administration (N.O.A.A.). The rainfall intensity and depth data was obtained from the NOAA Atlas 14, Volume 1, Version 5. The 25- year and 100- year, 24-hour frequency storm events have been used for this drainage analysis. The 24 hour 25- and 100- year storm depths are 2.53 inches and 3.14 inches. To utilize the intensity as a principal factor of peak flows for a developed watershed, the SCS method was chosen to complete the hydraulic analysis for each identified basin.

### 2.0 HYDROLOGIC SOIL CLASSIFICATION

The hydrologic soil classification was determined from soil survey information available from the Natural Resources Conservation Services (NCRS) Web Soil Survey accessed on November 6, 2025. Data from the Soil Survey of Santa Fe Area, New Mexico published by the NCRS.

Hydrologic Soil Group Summary				
Basin	% HSG "A"	% HSG "B"	% HSG "C"	% HSG "D"
B1	0%	0%	0%	0%
B2	0%	0%	0%	0%
B3	0%	0%	0%	0%

### 3.0 LAND USE

The land use within each pre-development basin has been determined based on the site survey conducted on December 02, 2024, aerial imagery provided by Google Earth, and imagery from Google Street View. The following table provides a summary of the land use in the site for the pre-development condition.

Pre-Development Basin Land Uses		
Basin	Urban Land	Total Area (ac.)
B1	1.76	1.76
B2	0.79	0.79
B3	0.18	0.18

### 4.0 RUNOFF CURVE NUMBERS

From the hydrologic soil groups and land uses listed above, Runoff Curve Numbers have been selected from Table 2-2 of Technical Release 55, "Urban Hydrology for Small Watersheds". The following is a summary of the Runoff Curve Numbers (CN) used in this study:

Runoff Curve Numbers			
Land Use	Impervious	Open Spaces (Poor)	Newly Graded Areas
CN for HSG C	98	87	91

### 5.0 HYDROLOGY

In accordance with the NMDOT Drainage Design Manual 2018, the SCS Unit Hydrograph Method was used to determine the peak volume and discharge produced by the site. Hydrologic calculations were computed using the U.S. Army Corps of Engineers' HEC-HMS Software Version 4.12. Input data for the hydrologic calculations were determined from the following:

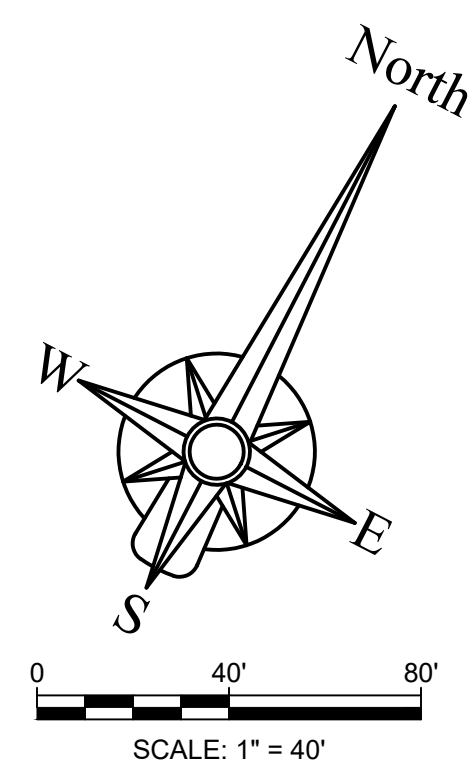
- The 25- year and 100- year, 24-hour precipitation data was obtained from the NOAA Atlas 14-point Precipitation Frequency Data Server, Volume 1, Version 5.
- Time of concentration (Tc) values were calculated in accordance with Chapter 4 of the NMDOT Drainage Design Manual. Due to the mild slopes within the site, the Kerby Method was used for Tc calculations. The minimum Tc value allowed in the SCS Method is 10 minutes. For basins where the Tc calculations were computed to be less than 10 minutes, the minimum of 10 minutes were used for hydrologic calculations. The SCS Method uses the lag time (Tlag) for hydrologic calculations. Lag time is established as the delay difference between the centroid of the excess rainfall and the maximum peak runoff of the watershed hydrograph. The lag time is estimated as 60% of Tc. Tlag was calculated for each basin for use in the analysis.

A summary of the 25- and 100-Year pre-development storm water calculations are as follows with the 100-year values listed in parentheses:

25 - Year (100 Year) Pre-Development Storm Water Calculations						
Basin	Longest Flowpath Length (ft)	TC Lag (min.)	CN Factor	Area (ac.)	Runoff Volume (cuft)	Peak Discharge (cfs)
B1	450.61	6.00	98	1.755	14,656 (18,543)	6.5 (8.5)
B2	159.08	6.00	98	0.790	6,604 (8,356)	3 (3.8)
B3	144.46	6.00	98	0.179	1,498 (1,895)	0.7 (0.9)
Total Site (B2-B3)				0.970	8,102 (10,251)	3.3 (4.3)

### 6.0 FEMA FLOOD EXTENTS

According to the Federal Emergency Management Agency (FEMA), the project site lies within Flood Zone X Designation. Zone X Designation indicates an area of minimal flood risk outside the 1% and 2% annual chance floodplains. The corresponding FIS map number for the project area is Map #35049C0411E effective 12/4/2012.



## LEGEND

BASIN IDENTIFICATION	
DESIGN POINT IDENTIFICATION	
PRE-DEV BASIN BOUNDARY	---
PRE-DEVELOPMENT FLOW PATH	→
MAJOR CONTOUR (5' INTERVAL)	-----
MINOR CONTOUR (1' INTERVAL)	- - - - -
ANALYSIS POINT	⊕
DIRECTION OF FLOW	→

CASE #: #2025-11753 & 11756

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SHEET NAME:

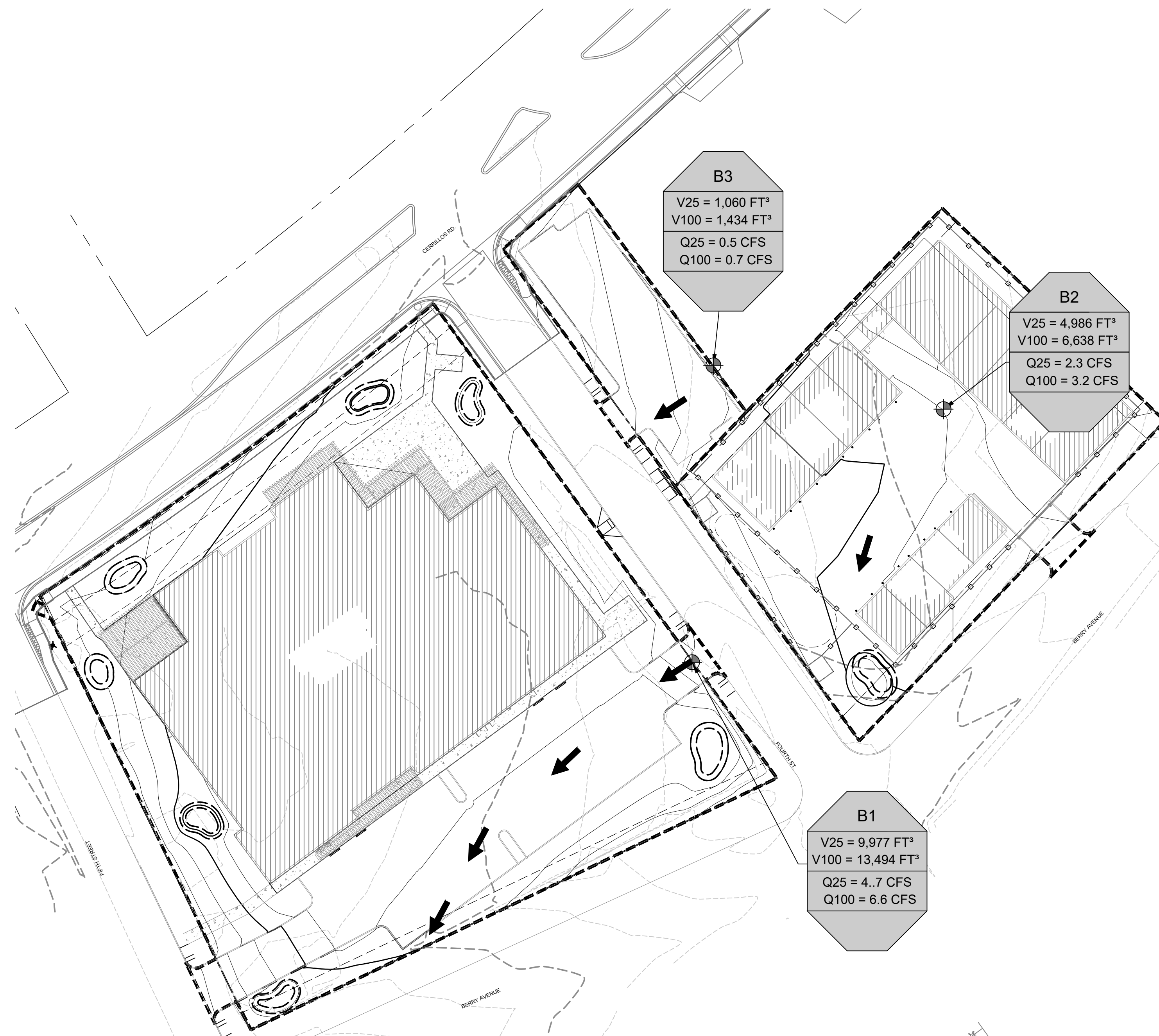
# EXISTING DRAINAGE PLAN

SHEET #:

# C-302

SHEET # \_\_\_ OF \_\_\_

# EMPIRE SELF STORAGE PROPOSED DRAINAGE PLAN



**B3**  
V25 = 1,060 FT<sup>3</sup>  
V100 = 1,434 FT<sup>3</sup>  
Q25 = 0.5 CFS  
Q100 = 0.7 CFS

**B2**  
V25 = 4,986 FT<sup>3</sup>  
V100 = 6,638 FT<sup>3</sup>  
Q25 = 2.3 CFS  
Q100 = 3.2 CFS

**B1**  
V25 = 9,977 FT<sup>3</sup>  
V100 = 13,494 FT<sup>3</sup>  
Q25 = 4.7 CFS  
Q100 = 6.6 CFS

## DRAINAGE CALCULATIONS & NOTES

### 1.0 RAINFALL

The average annual rainfall around the project area is 14.21 inches according to the U.S. Climate Normals data from the National Oceanic and Atmospheric Administration (N.O.A.A.). The rainfall intensity and depth data was obtained from the NOAA Atlas 14, Volume 1, Version 5. The 25- year and 100- year, 24-hour frequency storm events have been used for this drainage analysis. The 24 hour 25- and 100- year storm depths are 2.53 inches and 3.14 inches. To utilize the intensity as a principal factor of peak flows for a developed watershed, the SCS method was chosen to complete the hydraulic analysis for each identified basin.

### 2.0 HYDROLOGIC SOIL CLASSIFICATION

The hydrologic soil classification was determined from soil survey information available from the Natural Resources Conservation Services (NCRS) Web Soil Survey accessed on November 6, 2025. Data from the Soil Survey of Santa Fe Area, New Mexico published by the NCRS.

Hydrologic Soil Group Summary				
Basin	% HSG "A"	% HSG "B"	% HSG "C"	% HSG "D"
B1	0%	0%	0%	0%
B2	0%	0%	0%	0%
B3	0%	0%	0%	0%

### 3.0 LAND USE

The land use within each pre-development basin has been determined based on the site survey conducted on December 02, 2024, aerial imagery provided by Google Earth, and imagery from Google Street View. The following table provides a summary of the land use in the site for the pre-development condition.

Post-Development Basin Land Uses				
Basin	Impervious Area (ac.)	Open Spaces (Poor) (ac.)	Newly Graded Areas (ac.)	Total Area (ac.)
B1	0.82	0.60	0.34	1.76
B2	0.31	0.25	0.24	0.80
B3	0.00	0.05	0.14	0.19

### 4.0 RUNOFF CURVE NUMBERS

From the hydrologic soil groups and land uses listed above, Runoff Curve Numbers have been selected from Table 2-2 of Technical Release 55, "Urban Hydrology for Small Watersheds". The following is a summary of the Runoff Curve Numbers (CN) used in this study:

Runoff Curve Numbers			
Land Use	Impervious	Open Spaces (Poor)	Newly Graded Areas
CN for HSG C	98	87	91

### 5.0 HYDROLOGY

In accordance with the NMDOT Drainage Design Manual 2018, the SCS Unit Hydrograph Method was used to determine the peak volume and discharge produced by the site. Hydrologic calculations were computed using the U.S. Army Corps of Engineers' HEC-HMS Software Version 4.12. Input data for the hydrologic calculations were determined from the following:

- The 25- year and 100- year, 24-hour precipitation data was obtained from the NOAA Atlas 14-point Precipitation Frequency Data Server, Volume 1, Version 5.
- Time of concentration (Tc) values were calculated in accordance with Chapter 4 of the NMDOT Drainage Design Manual. Due to the mild slopes within the site, the Kerby Method was used for Tc calculations. The minimum Tc value allowed in the SCS Method is 10 minutes. For basins where the Tc calculations were computed to be less than 10 minutes, the minimum of 10 minutes were used for hydrologic calculations. The SCS Method uses the lag time (Tlag) for hydrologic calculations. Lag time is established as the delay difference between the centroid of the excess rainfall and the maximum peak runoff of the watershed hydrograph. The lag time is estimated as 60% of Tc. Tlag was calculated for each basin for use in the analysis.

A summary of the 25-, and 100-Year post-development storm water calculations are as follows:

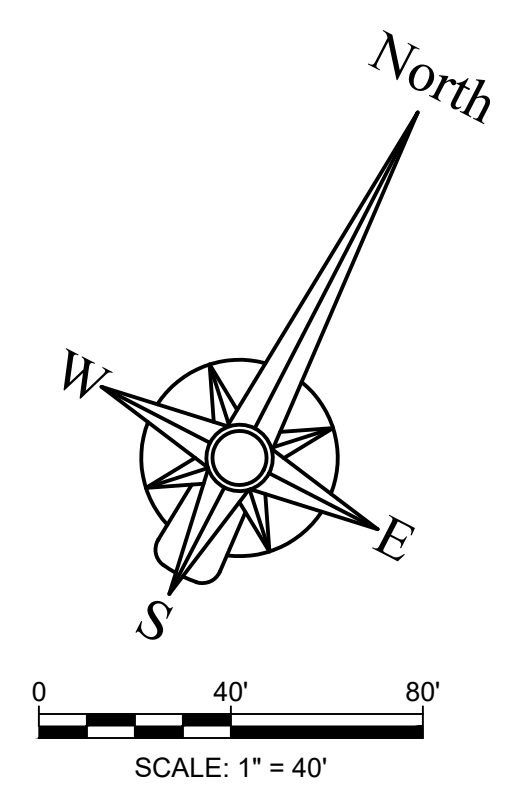
25 - Year (100 Year) Post-Development Stormwater Calculations						
Basin	Longest Flowpath Length (ft)	TC Lag (min.)	CN Factor	Area (ac.)	Runoff Volume (cuft)	Peak Discharge (cfs)
B1	206.43	6.00	90	1.76	9,977 (13,494)	4.7 (6.6)
B2	34.25	6.00	92	0.80	4,986 (6,638)	2.3 (3.2)
B3	51.59	6.00	90	0.19	1,060 (1,434)	0.5 (0.7)
Total Site (B2-B3)				0.99	5,582 (8,087)	2.6 (3.6)

### 6.0 HYDRAULICS

The proposed site is located within the city limits of Santa Fe, New Mexico, therefore the site will fall under the jurisdiction of Santa Fe County. The Post-Development peak flowrates are lower than the Pre-Development Limits due to the addition of landscaping thus decreasing surface flow.

### 7.0 FEMA FLOOD EXTENTS

According to the Federal Emergency Management Agency (FEMA), the project site lies within Flood Zone X Designation. Zone X Designation indicates an area of minimal flood risk outside the 1% and 2% annual chance floodplains. The corresponding FIS map number for the project area is Map #35049C0411E effective 12/4/2012.



GENERAL LEGEND	
BASIN IDENTIFICATION	
DESIGN POINT IDENTIFICATION	
POST-DEV BASIN BOUNDARY	-----
POST-DEVELOPMENT FLOW PATH	-----
MAJOR CONTOUR (5' INTERVAL)	-----
MINOR CONTOUR (1' INTERVAL)	-----
ANALYSIS POINT	
DIRECTION OF FLOW	

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SHEET NAME:  
**PROPOSED DRAINAGE PLAN**

SHEET #:  
**C-303**

SHEET # \_\_\_ OF \_\_\_

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EMPIRE SELF STORAGE  
SANTA FE, NEW MEXICO

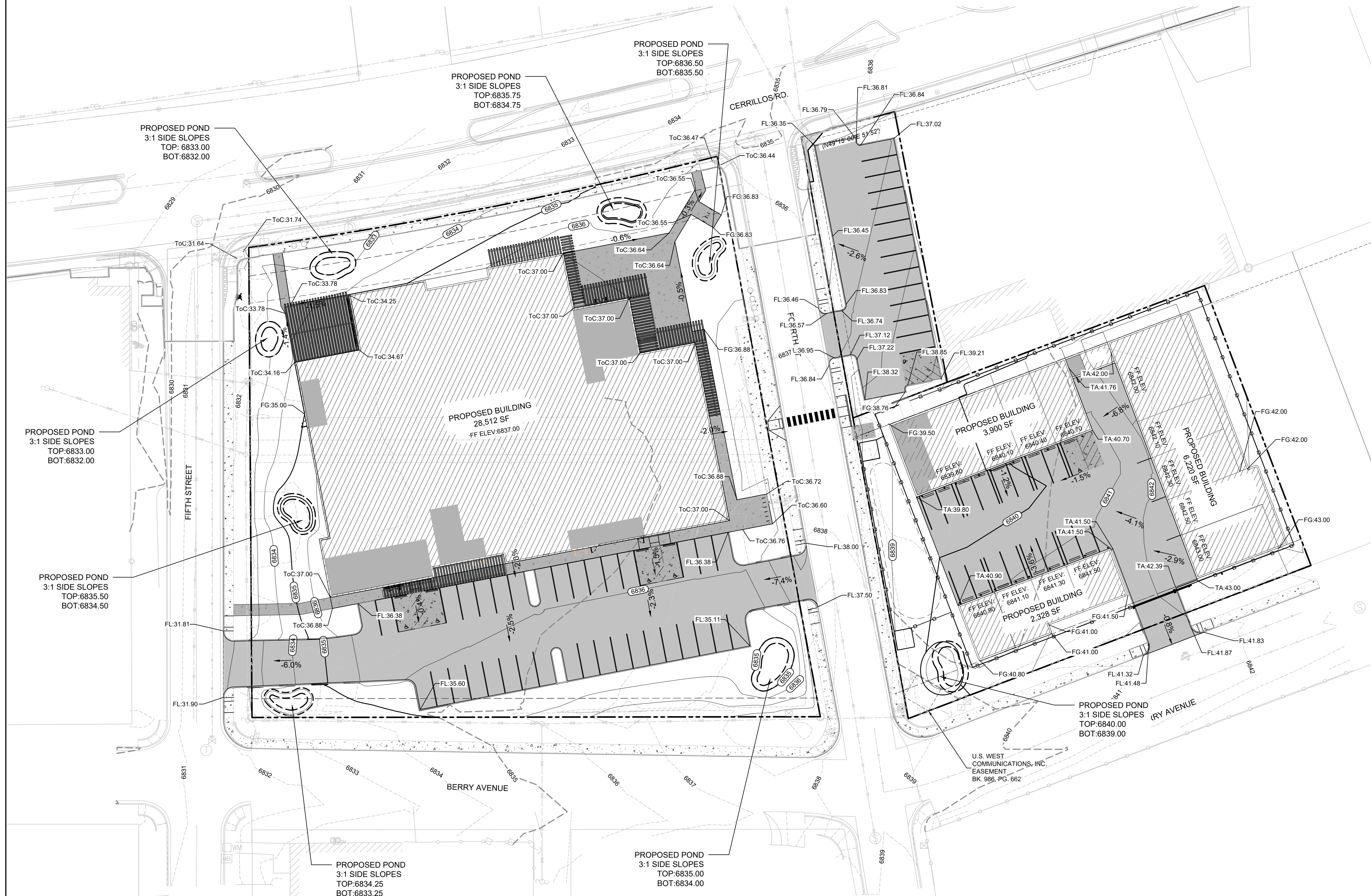
PROPOSED DRAINAGE PLAN

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Designed RJC	Drawn CLW	Checked RJC
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Date: April 2026

# EMPIRE SELF STORAGE PROPOSED GRADING PLAN



**LEGEND**

	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR

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**EMPIRE SELF STORAGE**  
**SANTA FE, NEW MEXICO**  
**PROPOSED GRADING PLAN**

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Designed RJC	Drawn CLW	Checked RJC
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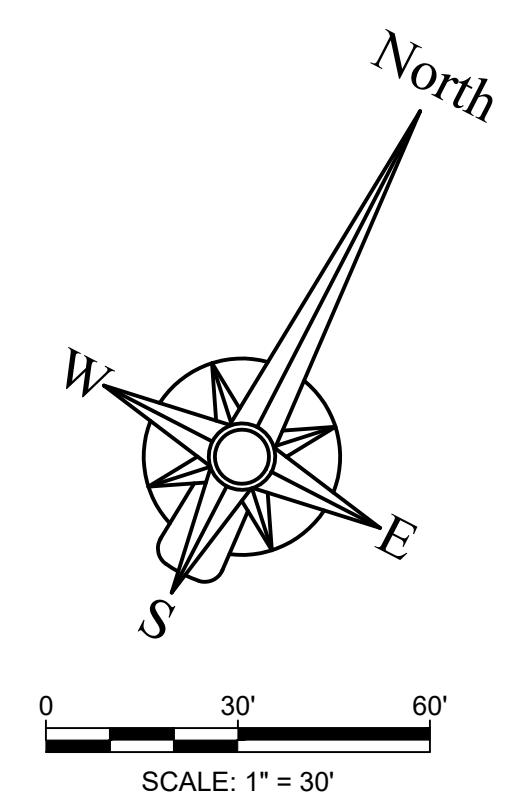
Date: April 2026

CASE #: #2025-11753 & 11756

ADDRESS: 1802 CERRILLOS RD. SANTA FE, NM 87505  
 1361 FOURTH ST. SANTA FE, NM 87505  
 1750 CERRILLOS RD. SANTA FE, NM 87505  
 3 RD BERRY AVE. SANTA FE, NM 87505

SHEET NAME:  
**PROPOSED GRADING PLAN**

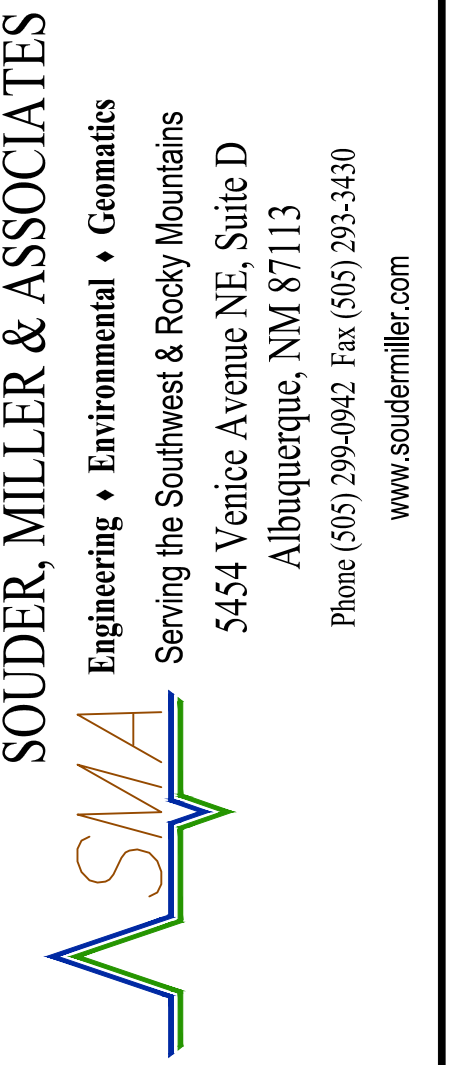
SHEET #:  
**C-304**  
 SHEET # \_\_\_ OF \_\_\_



# EMPIRE SELF STORAGE SANITARY SEWER GENERAL NOTES

## SANITARY SEWER GENERAL NOTES

1. Prior to the Wastewater Management Division approval of the plan set, a letter will be required from the project engineer indicating they are providing the inspection and record drawing services for the project.
2. The Contractor must obtain all sewer hookup permits from the City's Building Permits Section (sewer lines) prior to commencing any sewer line construction. A copy of the permit must be kept at the construction site.
3. All manholes shall be constructed in accordance with the "Standard Manhole Detail Sheet" shown on the City Standard Drawings.
4. A copy of the approved plans shall be available at the construction site at all times during working hours.
5. All modifications to the sanitary sewer plans must be reviewed and approved by the City's Wastewater Management Division prior to construction.
6. Additional general notes are contained in the standard City detail sheets for sanitary sewer construction.
7. All public gravity sewer lines shall be a minimum 8 inch diameter with a minimum Class C bedding (2006 New Mexico American Public Works Association).
8. All 4 inch and 6 inch diameter gravity sewer pipe shall be private. No private sewer system shall use larger than a 6 inch diameter pipe. No public gravity sewer line to be accepted by the City of Santa Fe for permanent maintenance shall be less than 8 inches diameter.
9. No concrete encasement of new or existing public sewer pipe will be allowed unless approved by the City of Santa Fe Wastewater Management Division.
10. Core drilling is required for all new connections to an existing manhole.
11. No public sewer main line or manhole will be allowed under or within a storm water detention/retention pond.
12. Prior to paving over any sanitary sewer lines, submit T.V.tapes and logs, pressure tests, and the engineer's certification to the City's Wastewater Management Division. After the Wastewater Management Division reviews the above listed information, a preliminary manhole inspection will be conducted. When all the items listed above are completed to meet the standards of the Wastewater Management Division, a letter approving paving will be issued in relation to the sanitary sewer. Note: A final manhole inspection will be conducted after the final paving is completed.
13. All sewer manholes with sewer lines 12 inches in diameter and larger are required to have approved vented and locking manhole covers.
14. Locate wires shall be installed for all sanitary sewers (gravity/force mains). The locate wire must be visible in the manhole or access structure. This will be verified during the preliminary manhole inspection prior to paving. The locate wire is to be a continuous, 12 gauge, solid strand insulated copper wire.
15. Off-road public sewer access will be provided for all public sewer lines and manholes. Access roads are to be a minimum 12 feet wide with a driving surface of 6 inches of compacted base course. No access road shall have a grade greater than 15%. Manholes are to be aligned with the center line of the access road. Sewer easements are to be a minimum of 20 feet in width.
16. Off road sanitary sewer - Call the Wastewater Management Division at 955-4651 for a field review of the grading of all off road sanitary sewer to ensure that the City's maintenance vehicles can access all manholes. The grades may be required to be adjusted based upon this inspection. Additional bank protection may be required based upon a final inspection by the Wastewater Management Division and the project engineer.
17. For Record Drawings, tie manhole to a City of Santa Fe survey monument as part of the final record drawings. Show corrected as-built bearing and distances, slopes, rim and invert elevations and sewer services along the horizontal alignment of the sanitary sewer. For Records Drawings, a separate summary table added to the existing plan sheets or as an additional sheet shall be required. The summary sheet shall list data for the sewer line segments between manholes showing the upstream and downstream manhole with the design segment lengths, slopes and bearings and the as-built segment lengths, slopes and bearings. The summary sheet shall indicate the total number of new public manholes constructed, the total number of connections to existing public manholes, the tie to a City control monument and the total length of as-built public sewer line constructed by size.
18. The Owner/Developer will be responsible for maintaining, repairing and locating the sewer system until City acceptance for maintenance. Damages resulting from a stoppage in any gravity and/or pressure sewer system will be the sole responsibility of the Owner/Developer until a final acceptance letter for permanent maintenance has been issued by the Wastewater Management Division.
20. 20 foot wide access gates shall be provided at all fences, walls or other obstructions that cross a public sewer line. Access gates to be located within the sanitary sewer easement.
21. The Owner/Developer will be responsible for locating each sewer service at the time each lot is ready to connect to the sewer. It is suggested that the Owner/ Developer retain a copy of the television inspection video along with the video logs. Each service shall be clearly marked for each lot at point of connection. All calls received by this Division regarding the location of service will be forwarded to the Owner/Developer.
22. The Contractor shall call the Wastewater Management Division (Douglas Flores at telephone # 955-4613) for a final manhole inspection. This inspection will be isolated to the manholes. The City's Plumbing and Mechanical Inspector's will conduct all other necessary plumbing inspections. Note: The City's Plumbing and Mechanical Inspectors will inspect the individual sewer service taps and laterals, which connect to the public sanitary sewer.
23. The existing sanitary sewer line must be T.V. taped prior to a new service connection being placed as well as taped after the services have been completed. This is to ensure that the existing sanitary sewer line is not damaged and the new service is installed correctly.
24. All costs associated with the operation, maintenance and replacement of grinder pumps for individual lots shall be the responsibility of the lot owner and/or Owners Association. For grinder pumps that connect to a pressure sewer main, the grinder pump will be a model manufactured by Environment-One or a type approved by the City of Santa Fe Wastewater Management Division. For grinder pumps that connect to a gravity main, the grinder pump shall be of a type approved by the City of Santa Fe Plumbing Code.
25. A minimum 12 inches of vertical clearance shall be provided between the sewer line and any storm drain piping.
26. All pressure sewer systems shall be air or hydrostatically pressure tested @ 120 psi for 2 hours minimum. The test is to be witnessed and certified by the project engineer. Prior to being put into service and acceptance by the City of Santa Fe, all pressure sewer system main lines will be filled with water.
27. No public pressure sewer system piping may be installed in a common trench with other utilities.
28. Sewer backflow check valves will be required for all sewer service lateral connections to sewer mains 12 inches or greater in diameter. The sewer service connection must be made at an existing or new manhole. Sewer service connections to sewer mains with pipe size diameter of 12 inches and greater will not be made without approval from the Wastewater Management Division.
29. Sewer backwater check valves shall be required on private sewer service laterals per the City of Santa Fe Plumbing Code.
30. All PVC sewer pipes that are installed at a depth of ten (10) feet or greater or at a slope of one percent (1%) or less shall be SDR 26 PVC pipe.
31. All as-built sewer line and manhole data shall be obtained and certified by a licensed surveyor or engineer. As-built data supplied by other than a licensed surveyor or engineer shall not be valid for final as-builts.
32. All existing and new public manholes within a project shall have access for City sewer maintenance equipment. All access is subject to field verification and modification as required by the Wastewater Division prior to final project close out with the City of Santa Fe.
33. All sewer line crossings of rivers, streams, arroyos, drainage channels, etc. shall require a basis of design analysis prepared by a licensed engineer.
34. An approved backflow valve and isolation valve are required on all low pressure sewer service lines as per the City of Santa Fe Standard Sewer Specifications.
35. Terminal flushing connections and in-line flushing connections are required on all low pressure sewer systems. The maximum spacing between in-line flushing connections shall be 500 feet. Distances greater the 500 feet between low pressure sewer in-line flushing connections shall be approved by the Wastewater Division.
36. All sanitary sewer manholes fifteen (15) feet in depth or great shall be six (6) foot diameter.
37. PVC sewer pipe shall be run continuous through manholes when pipe of approximate equal slopes are entering and leaving the manholes.
38. All new connections to an existing sanitary sewer manhole shall include the rehabilitation required to meet City of Santa Fe Wastewater Division standard construction details



SANTA FE, NM

EMPIRE SELF STORAGE  
SANTA FE, NEW MEXICO

SANITARY SEWER GENERAL NOTES

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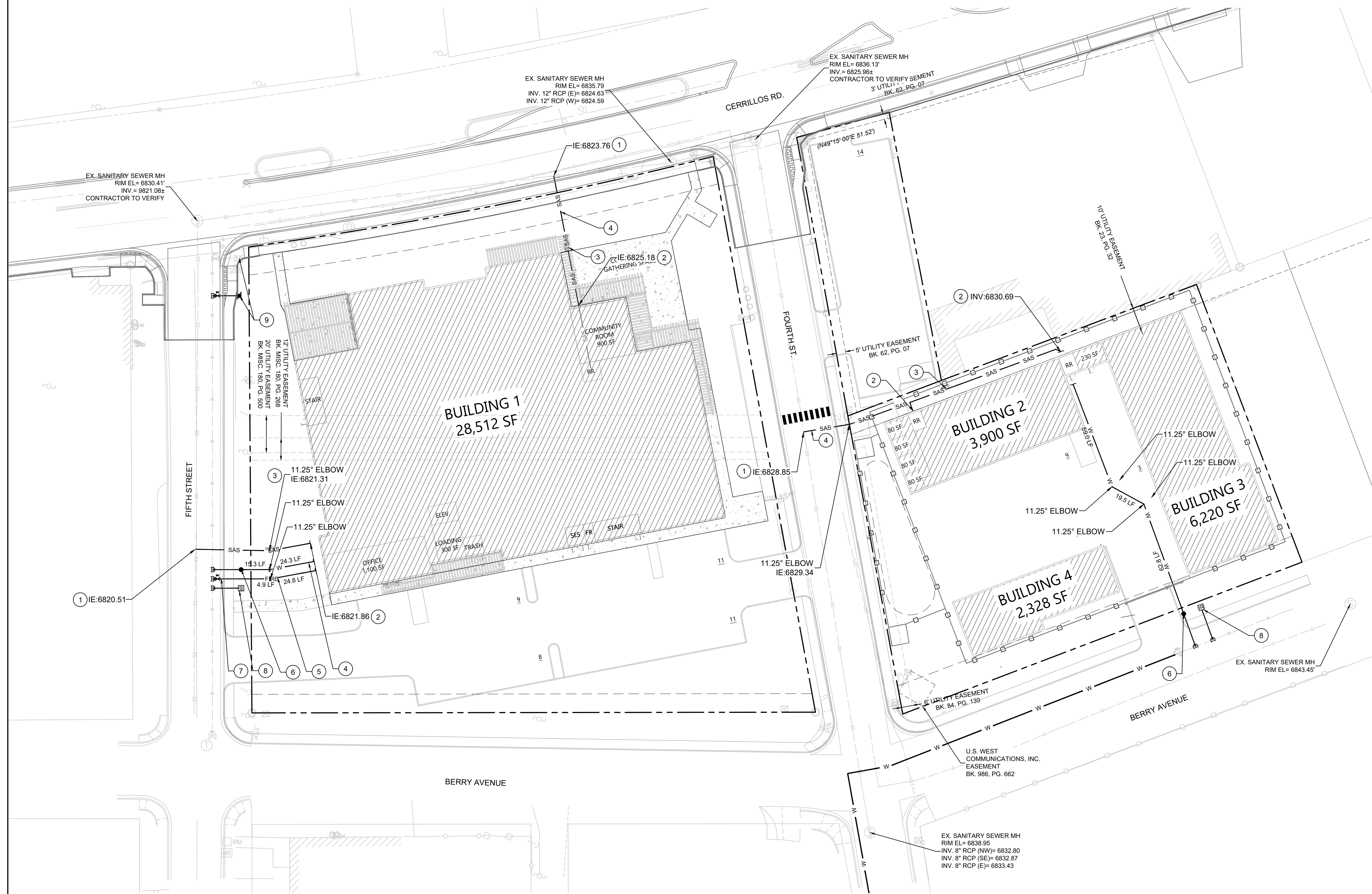
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Designed RJC	Drawn CLW	Checked RJC
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Date: April 2026

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SHEET NAME: <b>SANITARY SEWER GENERAL NOTES</b>	SHEET #: <b>C-400</b> SHEET # ___ OF ___

# EMPIRE SELF STORAGE PRIVATE SEWER PLAN



## KEYED NOTES

1. CONNECT NEW 4" SEWER SERVICE TO EXISTING 8" SEWER MAIN
2. CONNECT NEW 4" SEWER SERVICE LINE TO WITHIN 5' FROM BUILDING, SEE MEP PLANS FOR CONTINUATION.
3. NEW SANITARY SEWER CLEAN OUT
4. INSTALL 1-1/2" DOMESTIC WATER SERVICE LINE TO WITHIN 5' OF BUILDING. SEE MEP PLANS FOR CONTINUATION.
5. INSTALL 6" FIRE SERVICE LINE TO WITHIN 5' OF BUILDING. SEE MEP PLANS FOR CONTINUATION.
6. NEW 1-1/2" WATER METER TO BE INSTALLED WITH PUBLIC WATER PLAN. SEE SHEET C-600
7. 6" FIRE LINE TO BE CONSTRUCTED WITH PUBLIC WATER PLAN. SEE SHEET C-600.
8. IRRIGATION METER TO BE INSTALLED WITH PUBLIC WATER PLAN. SEE SHEET C-600
9. EXISTING HYDRANT TO BE RELOCATED WITH PUBLIC WATER PLAN.

## LEGEND

- EXISTING**
- △ SURVEY CONTROL POINT, AS NOTED
  - FOUND PROPERTY CORNER, AS NOTED
  - FOUND BRASS CAP, AS NOTED
  - ⊕ FOUND CHISELED X
  - ⊙ FOUND PK NAIL, AS NOTED
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ STORM DRAIN MANHOLE
  - ⊙ TELECOM MANHOLE
  - ⊙ WATER VALVE
  - ⊙ WM WATER METER
  - ⊙ BOLLARD
  - ⊙ TELECOM PEDESTAL
  - ⊙ GAS METER
  - ⊙ ELECTRIC BOX
  - ⊙ FIRE HYDRANT
  - ⊙ ELECTRIC METER
  - ⊙ SANITARY SEWER CLEAN OUT
  - ⊙ LIGHT POLE
  - ⊙ MAILBOX
  - ⊙ SIGN
  - ⊙ STOP SIGN
  - ⊙ SIGN STOP AHEAD
  - ⊙ UTILITY POLE
  - ⊙ UTILITY POLE GUY WIRE
  - FF=0.00 BUILDING FINISHED FLOOR ELEVATION
  - ⊙ TRAFFIC LIGHT MAST
  - ⊙ CMU BLOCK WALL
  - PROPERTY LINE
  - ADJOINING PROPERTY LINE
  - - - EASEMENT LINE
  - - - WATERLINE
  - - - SANITARY SEWER LINE
  - - - UNKNOWN UNDERGROUND LINE
  - - - UNDERGROUND COMMUNICATION LINE
  - PIPE FENCE
  - CHAIN LINK FENCE
  - - - OVERHEAD ELECTRIC LINE
  - - - BUILDING OVERHANG
  - - - UNDERGROUND GAS LINE
  - - - SETBACK LINE
  - ⊙ 2 POST SIGN
- PROPOSED**
- W NEW WATER
  - SAS NEW SANITARY SEWER
  - ⊙ NEW GATE VALVE
  - ⊙ NEW IRRIGATION METER
  - ⊙ MJ ANCHORING TEE
  - △ 11.25° BEND
  - ⊙ WATER METER
  - ⊙ NEW FIRE HYDRANT

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PRIVATE SEWER PLAN

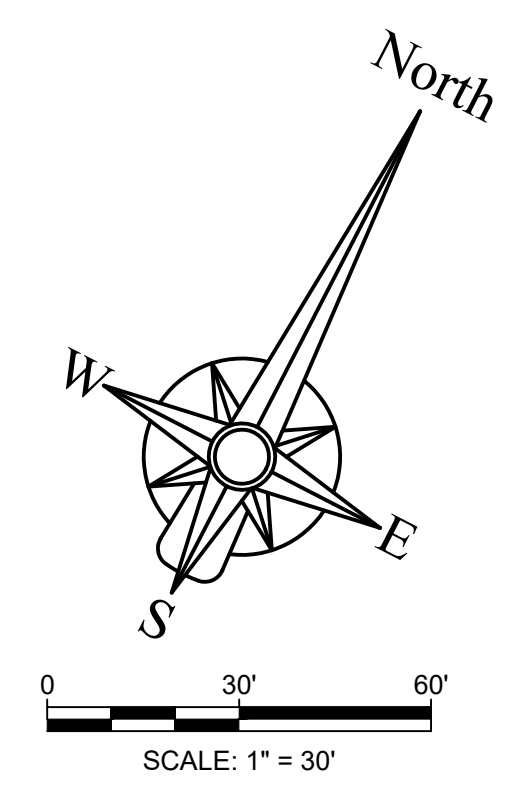
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Date: April 2026

CASE #: #2025-11753 & 11756

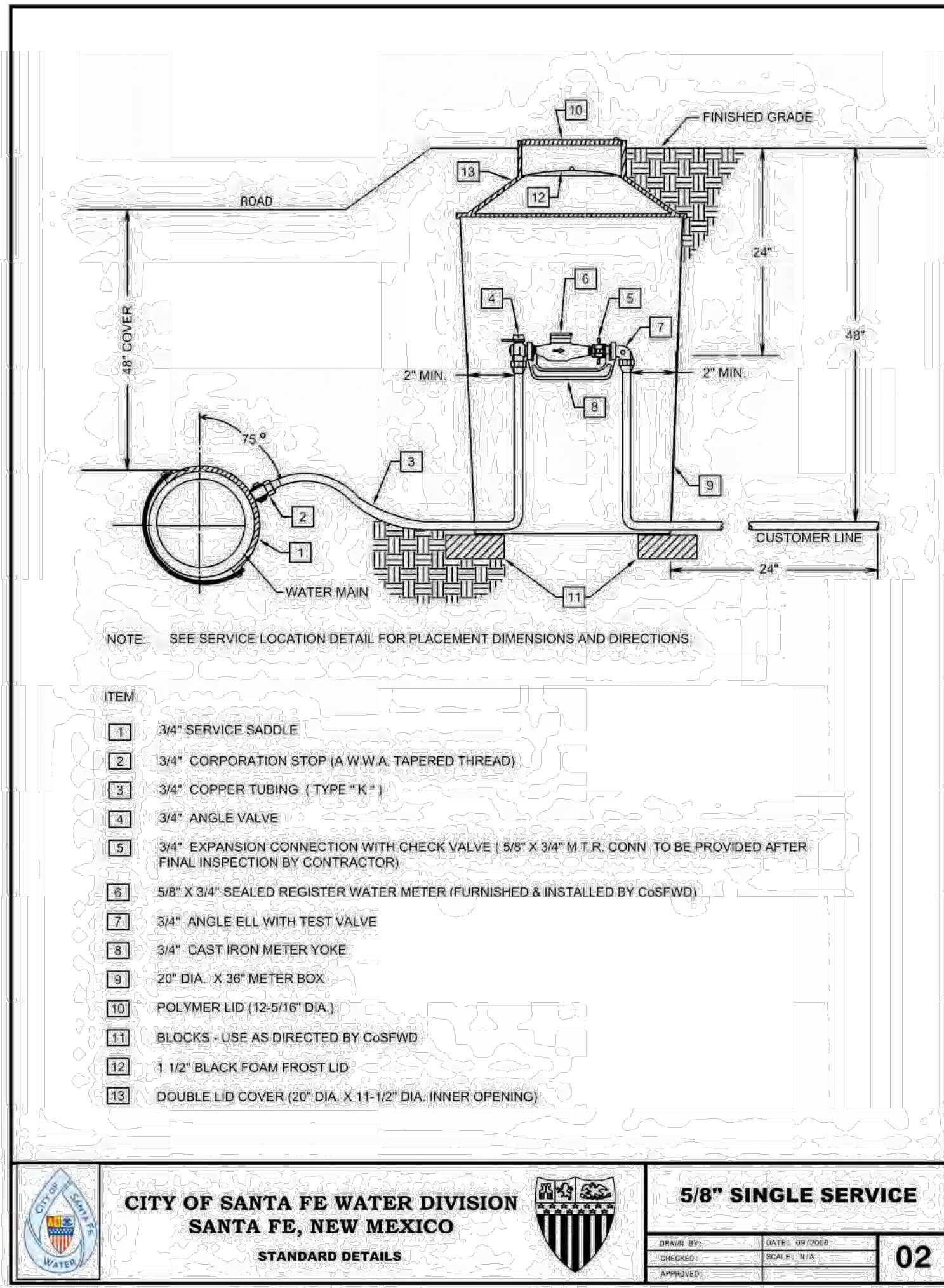
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SHEET NAME:  
**PRIVATE SEWER PLAN**

SHEET #:  
**C-401**  
SHEET # \_\_\_ OF \_\_\_



# EMPIRE SELF STORAGE CIVIL DETAILS



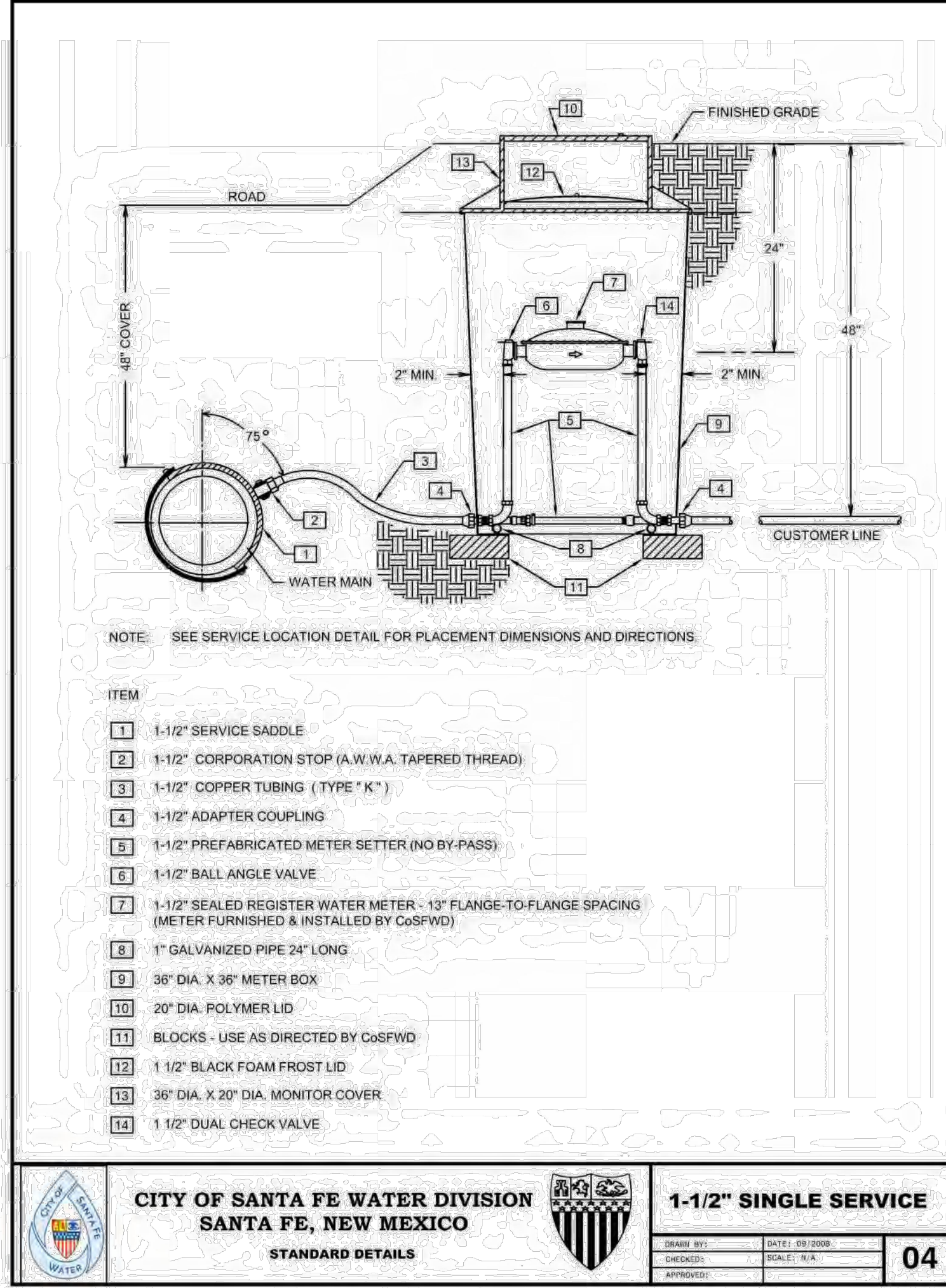
**CITY OF SANTA FE WATER DIVISION**  
SANTA FE, NEW MEXICO

**5/8" SINGLE SERVICE**

STANDARD DETAILS

DATE: 09/2008  
SCALE: N/A  
DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]  
APPROVED BY: [REDACTED]

**02**



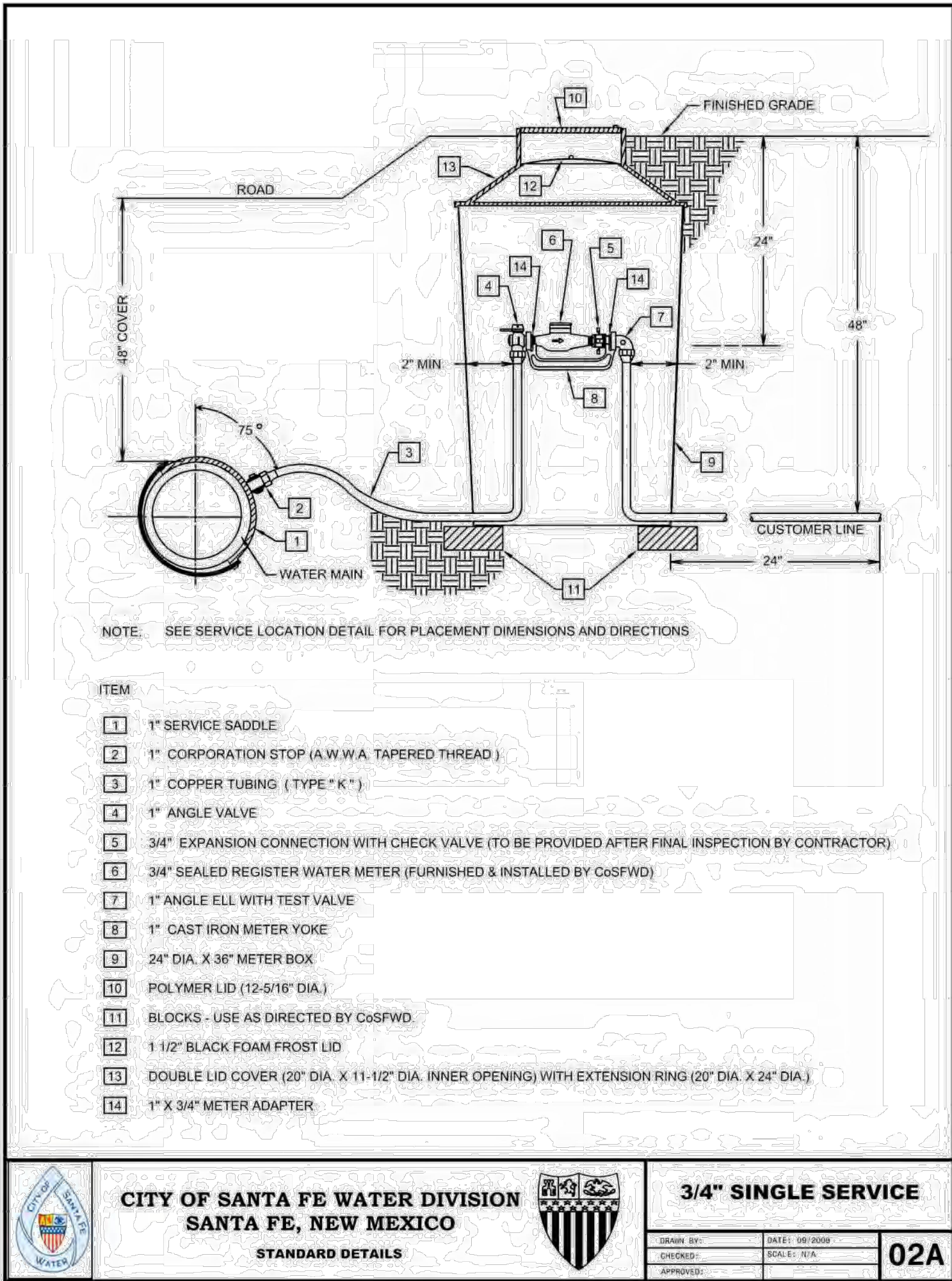
**CITY OF SANTA FE WATER DIVISION**  
SANTA FE, NEW MEXICO

**1-1/2" SINGLE SERVICE**

STANDARD DETAILS

DATE: 09/2008  
SCALE: N/A  
DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]  
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**04**



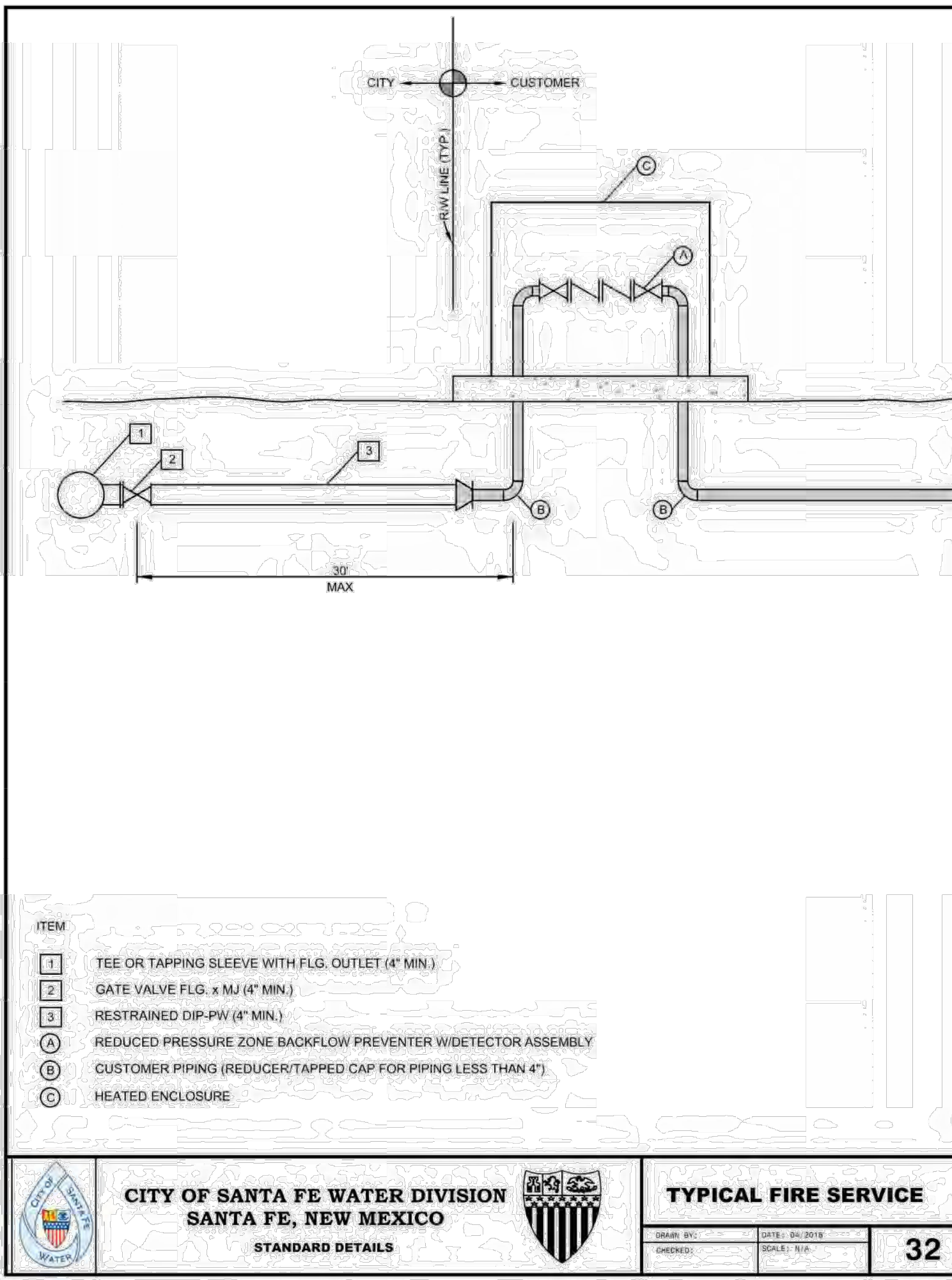
**CITY OF SANTA FE WATER DIVISION**  
SANTA FE, NEW MEXICO

**3/4" SINGLE SERVICE**

STANDARD DETAILS

DATE: 09/2008  
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CHECKED BY: [REDACTED]  
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**02A**



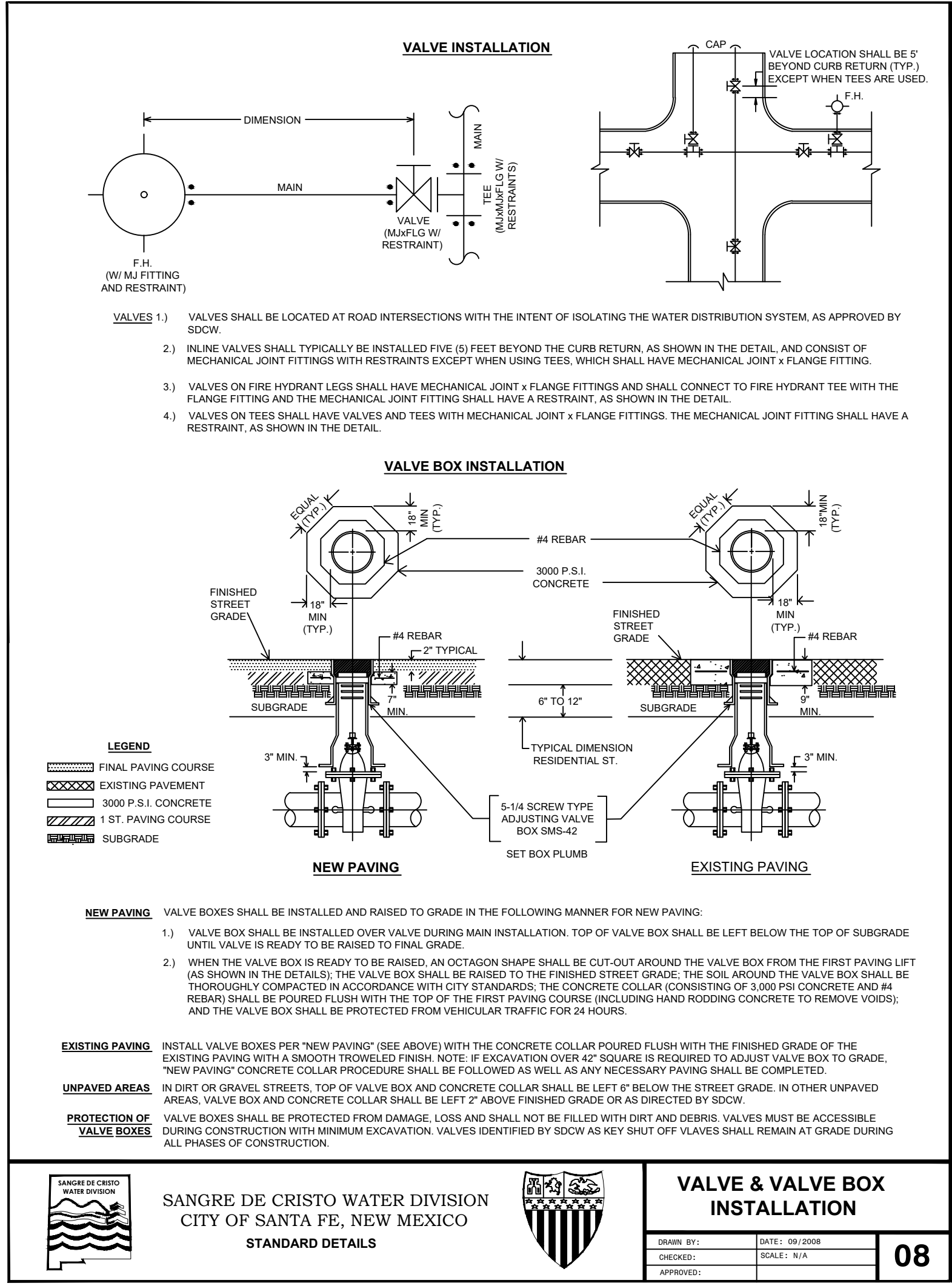
**CITY OF SANTA FE WATER DIVISION**  
SANTA FE, NEW MEXICO

**TYPICAL FIRE SERVICE**

STANDARD DETAILS

DATE: 09/2008  
SCALE: N/A  
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APPROVED BY: [REDACTED]

**32**



CASE #: #2025-11753 & 11756

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SHEET NAME:  
**CIVIL DETAILS**

SHEET #:  
**C-500**

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CIVIL DETAILS

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Designed RJC	Drawn CLW	Checked RJC
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Date: April 2026

# EMPIRE SELF STORAGE CIVIL DETAILS

THRUST RESTRAINT TABLE (RESTRAINED JOINT LENGTHS IN FEET)														
DIAMETER (IN.)	HORIZONTAL BENDS			VERTICAL BENDS			TEES			REDUCERS				
	11-1/4" L <sub>R</sub>	22-1/2" L <sub>R</sub>	45° L <sub>R</sub>	11-1/4" L <sub>R</sub>	22-1/2" L <sub>R</sub>	45° L <sub>R</sub>	Run L <sub>R</sub>	Branch L <sub>R</sub>	Run L <sub>R</sub>	Branch L <sub>R</sub>	Run L <sub>R</sub>	Branch L <sub>R</sub>		
4	F.O.	2	5	12	34	4 X 4	F.O.	28	5	8	10	F.O.	N/A	
6	2	3	7	17	47	6 X 6	F.O.	42	5	21	10	F.O.	N/A	
8	2	4	9	23	62	8 X 8	F.O.	26	5	F.O.	10	F.O.	24	
10	3	5	11	27	75	8 X 8	F.O.	57	5	36	10	F.O.	N/A	
12	3	6	13	32	88	8 X 8	F.O.	40	5	13	10	F.O.	26	
							10 X 10	F.O.	23	5	F.O.	10	F.O.	45
							10 X 10	F.O.	23	5	F.O.	10	F.O.	N/A
							10 X 10	F.O.	23	5	F.O.	10	F.O.	28
							10 X 10	F.O.	23	5	F.O.	10	F.O.	48
							10 X 10	F.O.	23	5	F.O.	10	F.O.	61
							12 X 12	F.O.	83	5	61	10	34	N/A
							12 X 10	F.O.	68	5	42	10	10	43
							12 X 8	F.O.	54	5	22	10	F.O.	47
							12 X 6	F.O.	37	5	F.O.	10	F.O.	64
							12 X 4	F.O.	18	5	F.O.	10	F.O.	77

Table: This table is based on the EBAA Iron Mating Joint calculations program with the following input criteria: 3.5 ft. depth of bury (conservative), trench type 4, PVC pipe material, GM soil type: 150 psi test pressure, 1.5 safety factor. Specific calculations for restrained lengths are required for conditions not covered by this table.

L<sub>R</sub>: Length of restrained pipe, in feet, for each side of the fitting.

Minimum Restraint Length: A minimum restrained length of 5 ft. from the fitting joint is recommended. Vertical offsets shall be completely restrained between the top vertical fitting and the bottom vertical fitting.

F.O.: Filling Joint Only. This includes at least a 1 ft. length of restrained pipe beyond the fitting joint.

Vertical Offset: Use 11-1/2" bends or 22-1/2" bends wherever possible due to the shorter restrained length requirements.

Cap/Plugs: Concrete blocking may be required by SDCW on a case-by-case basis in addition to mechanical restraint.

Pipe Lengths: Piping shall be laid out to minimize pipe joints near fittings. Wherever possible, full 20 ft. pipe lengths shall be utilized when connecting to fittings or valves. No pipe bell joints shall be used where fittings are less than 20 ft. apart.

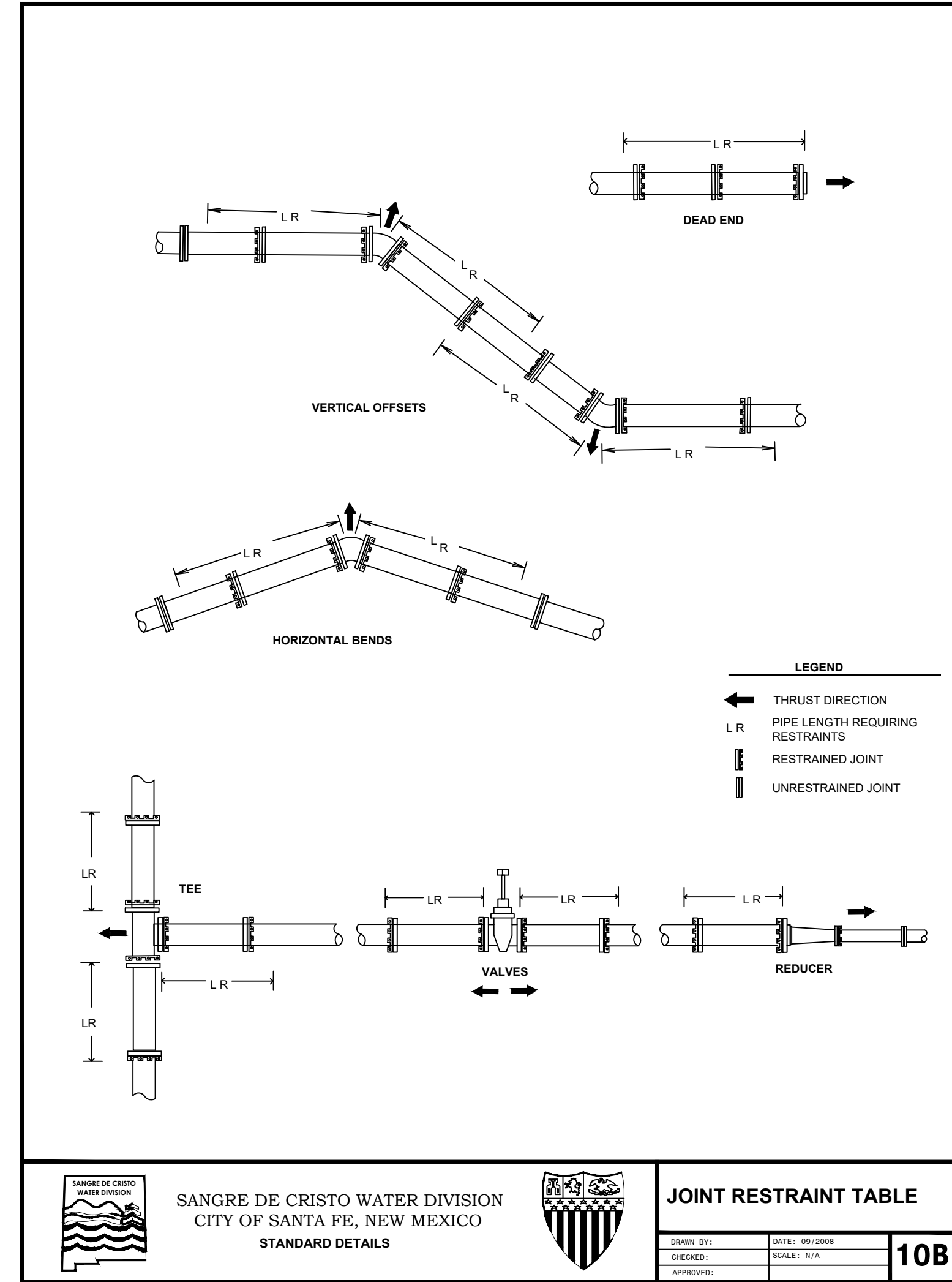
SANGRE DE CRISTO WATER DIVISION  
CITY OF SANTA FE, NEW MEXICO  
STANDARD DETAILS



**JOINT RESTRAINT TABLE**

DATE: 09/2008  
SCALE: N/A

10A



SANGRE DE CRISTO WATER DIVISION  
CITY OF SANTA FE, NEW MEXICO  
STANDARD DETAILS



**JOINT RESTRAINT TABLE**

DATE: 09/2008  
SCALE: N/A

10B

**USE MECHANICALLY RESTRAINED FITTINGS & PIPE JOINTS FOR THRUST RESTRAINT UNLESS CONCRETE BLOCKING IS SPECIFICALLY CALLED FOR BY SDCW.**

**THRUST BLOCK SIZING TABLE**

PIPE DIAMETER	TYPE "A" BENDS				TYPE "B" FITTINGS	
	11-1/4" A	22-1/2" B	45° A B C	90° A B C	A B C	A B C
4"	12	12	12	12	12	12
6"	12	12	12	12	12	12
8"	12	12	12	12	18	24
10"	12	12	12	12	24	36
12"	12	18	12	12	24	36
14"	12	24	12	12	30	42
16"	18	24	24	24	36	48
18"	18	30	24	24	42	54
20"	20	30	24	24	48	60
24"	24	36	24	24	54	66


- TABLE BASED ON 200 P.S.I. (130 P.S.I. WORKING PRESSURE) AND 3000 LB/FT<sup>2</sup> ALLOWABLE SOIL BEARING PRESSURE.
- USE TEE OUTLET DIAMETER TO DETERMINE THRUST BLOCK SIZING. USE BRANCH DIAMETER ON WYE TO DETERMINE THRUST BLOCK SIZING.
- THE "C" DIMENSION LISTED IS A MINIMUM DIMENSION. CONCRETE BLOCKING MUST BE POURED TO THE UNDISTURBED SOIL OF THE TRENCH WALL.

**CONCRETE THRUST BLOCKING**

DATE: 09/2008  
SCALE: N/A

13

SANGRE DE CRISTO WATER DIVISION  
CITY OF SANTA FE, NEW MEXICO  
STANDARD DETAILS



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SHEET NAME: CIVIL DETAILS

SHEET #: C-501

Date: April 2026

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CIVIL DETAILS

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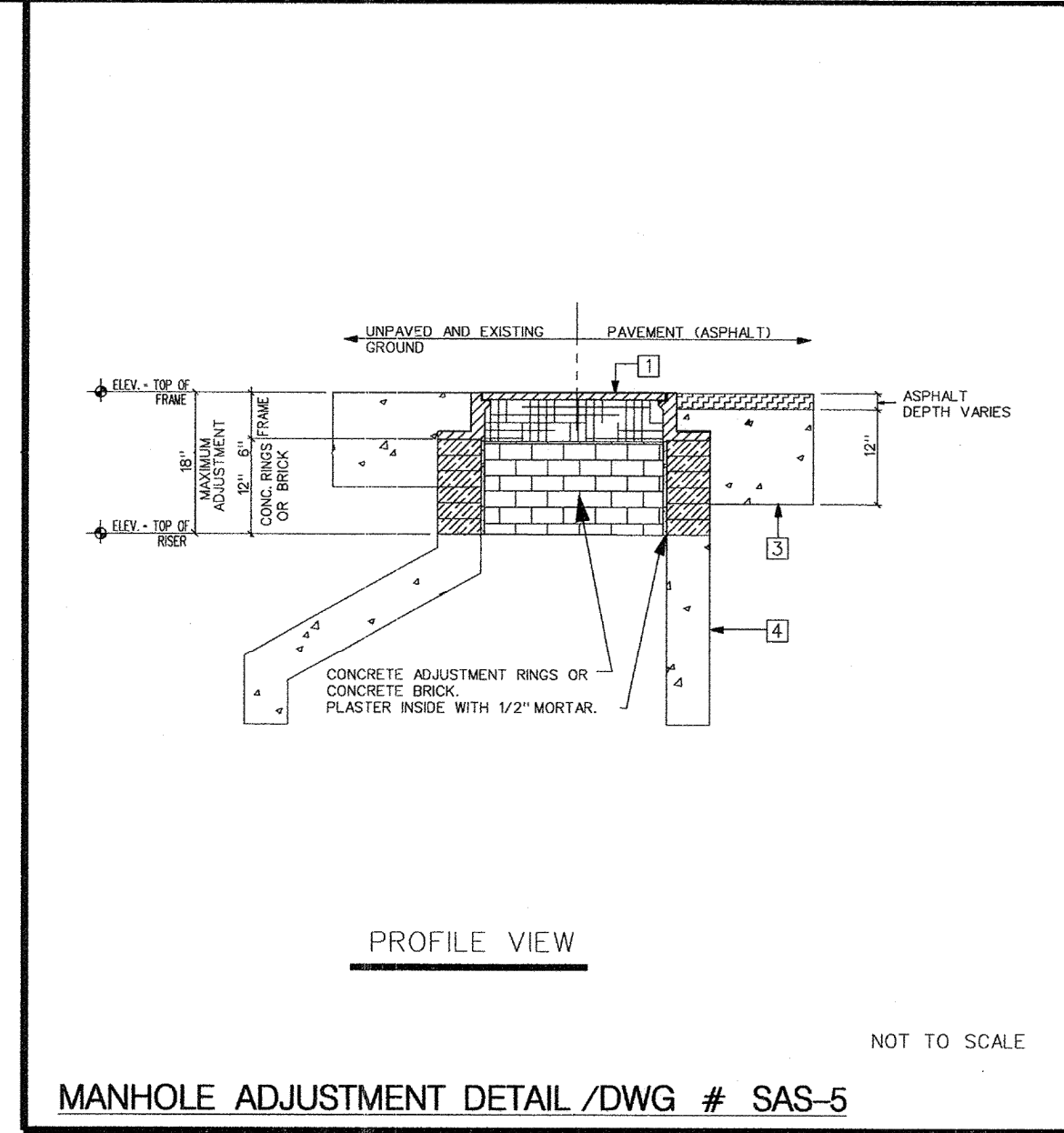
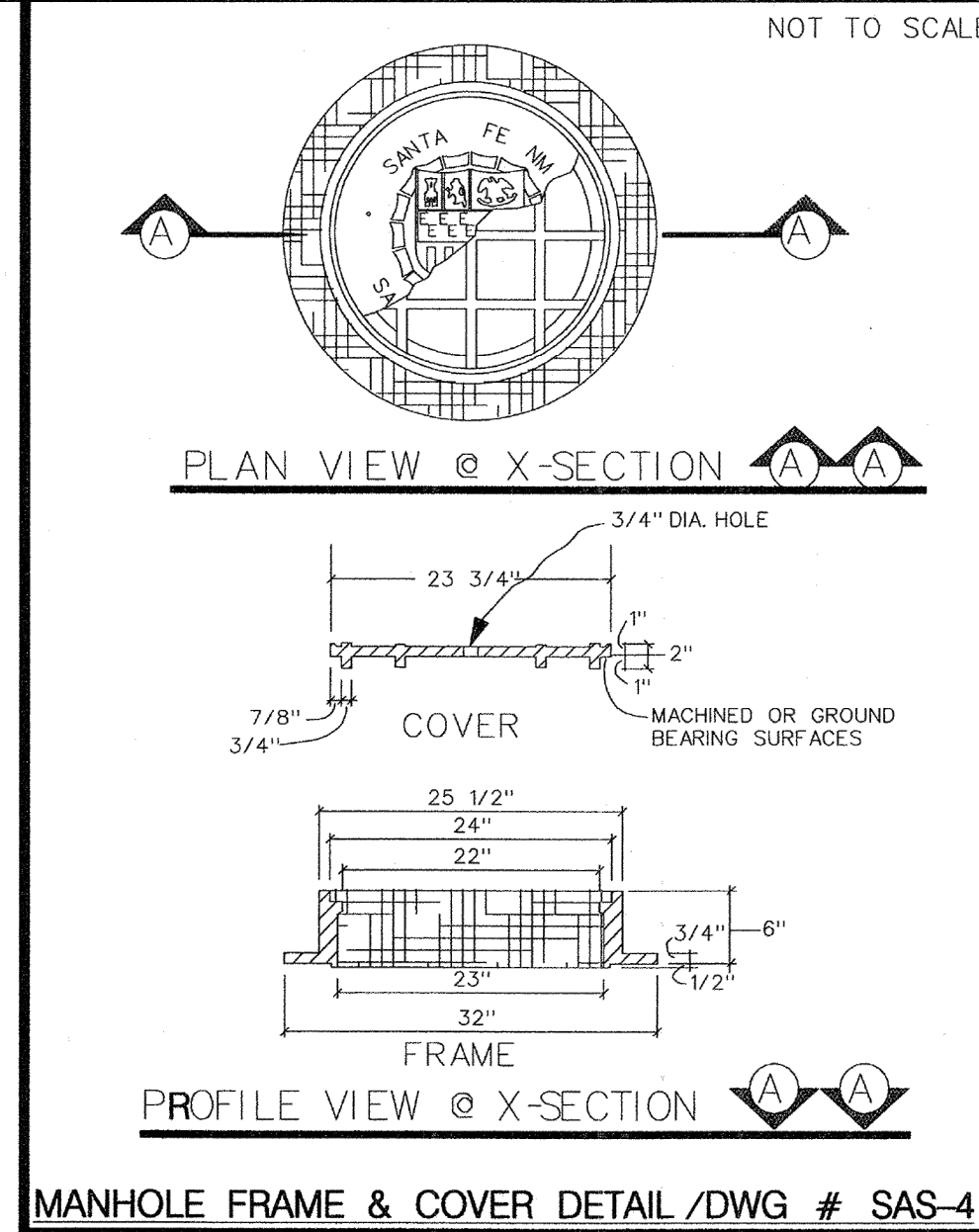
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Designed: RJC Drawn: CLW Checked: RJC

Date: April 2026

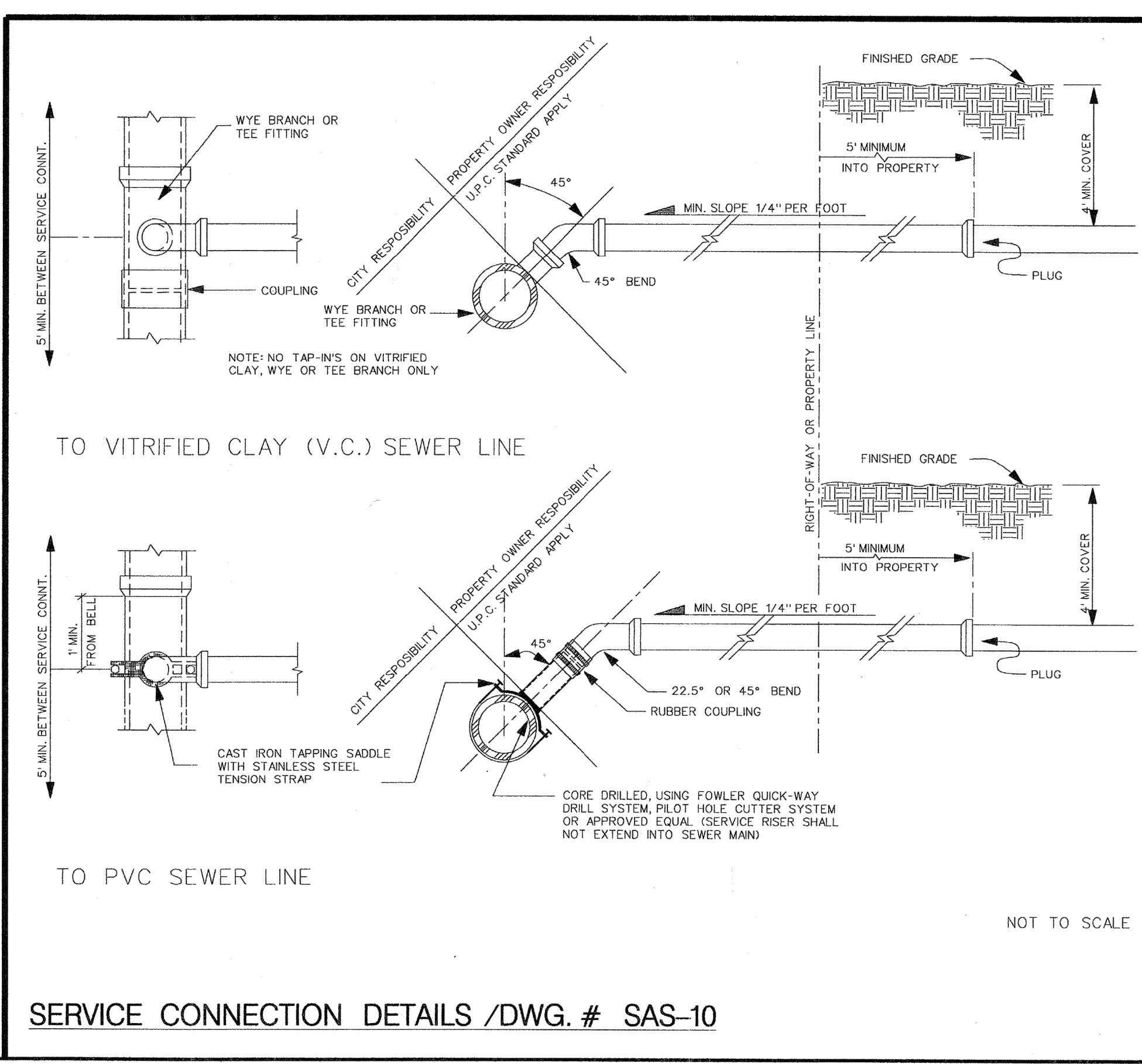
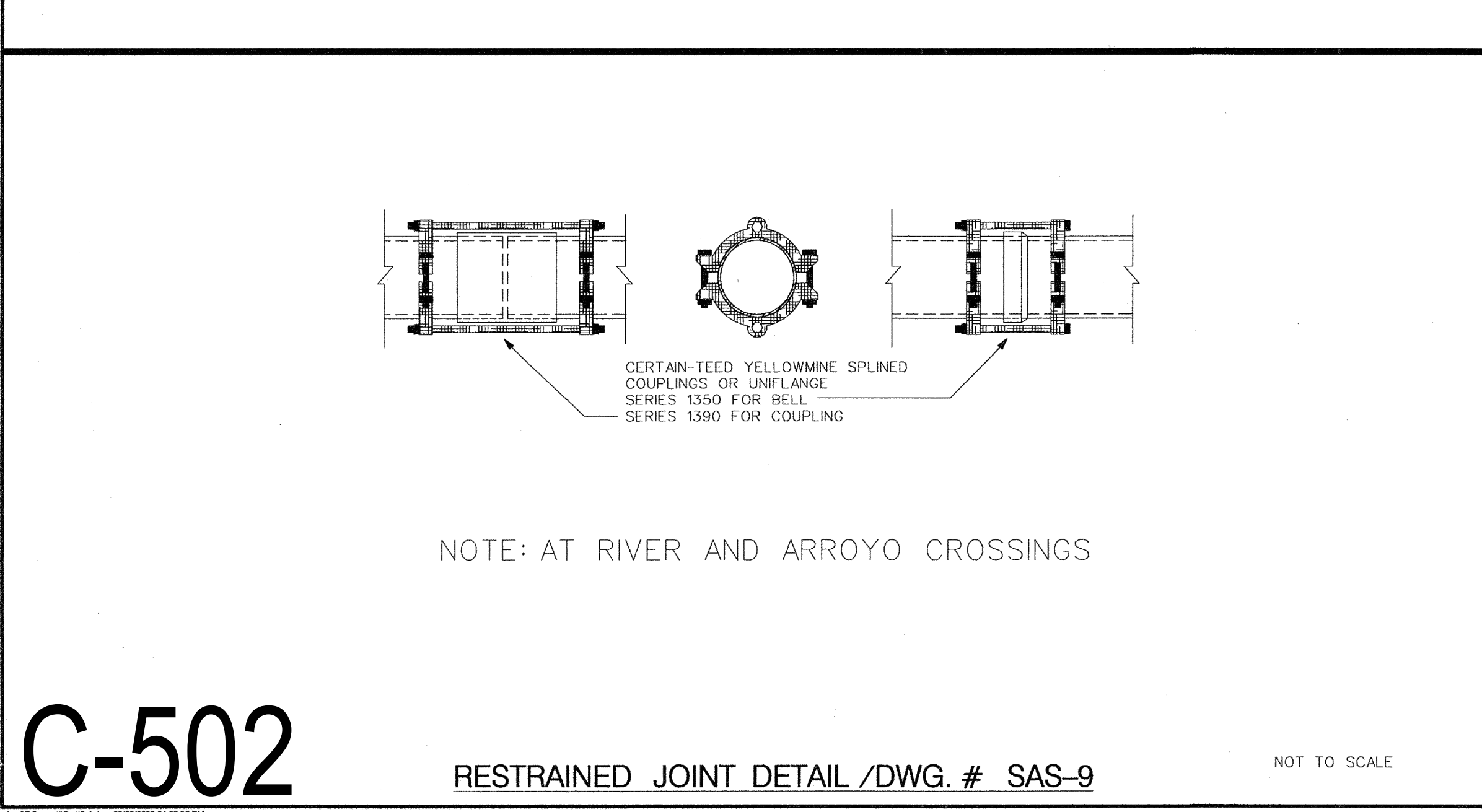
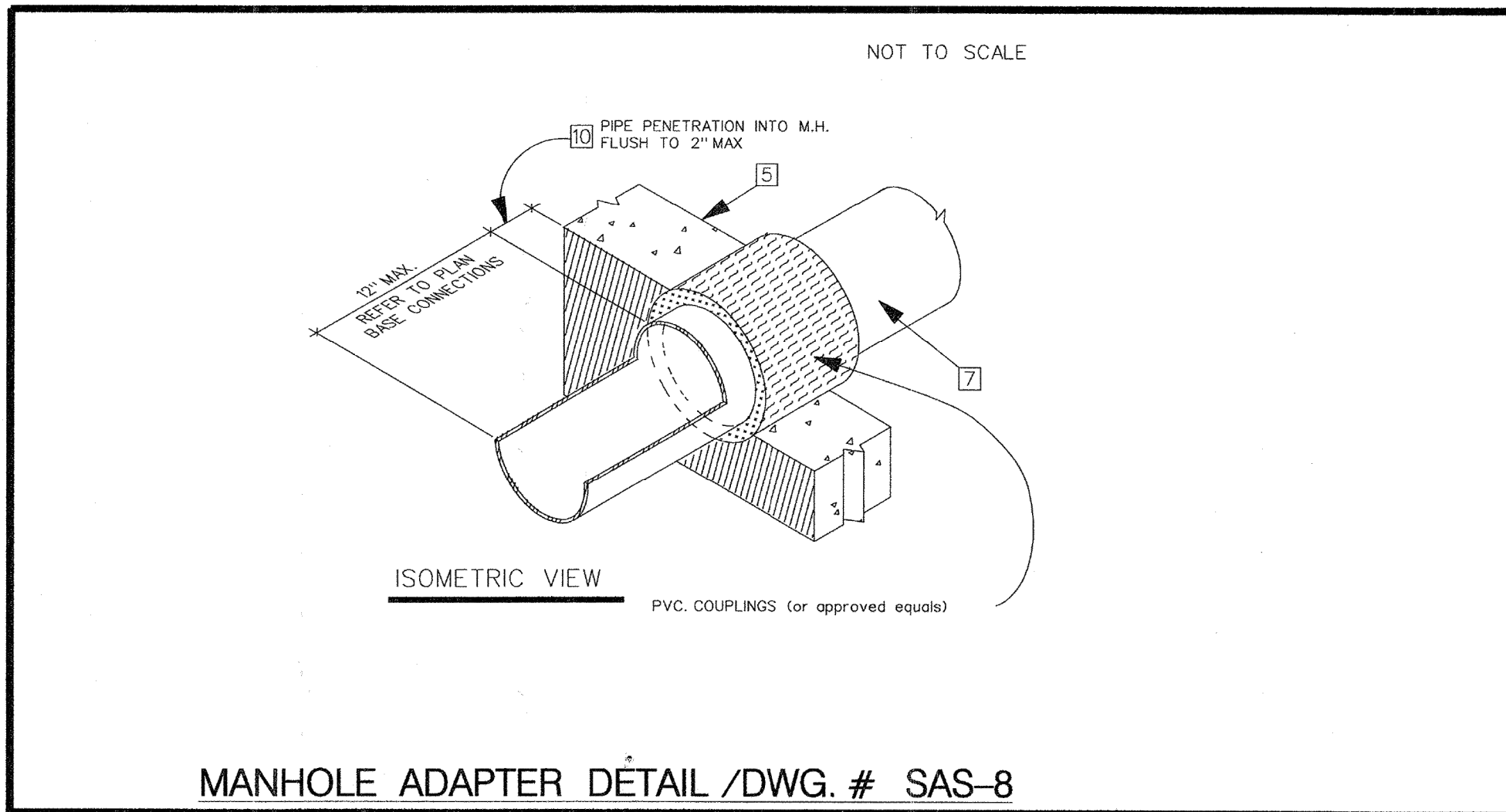
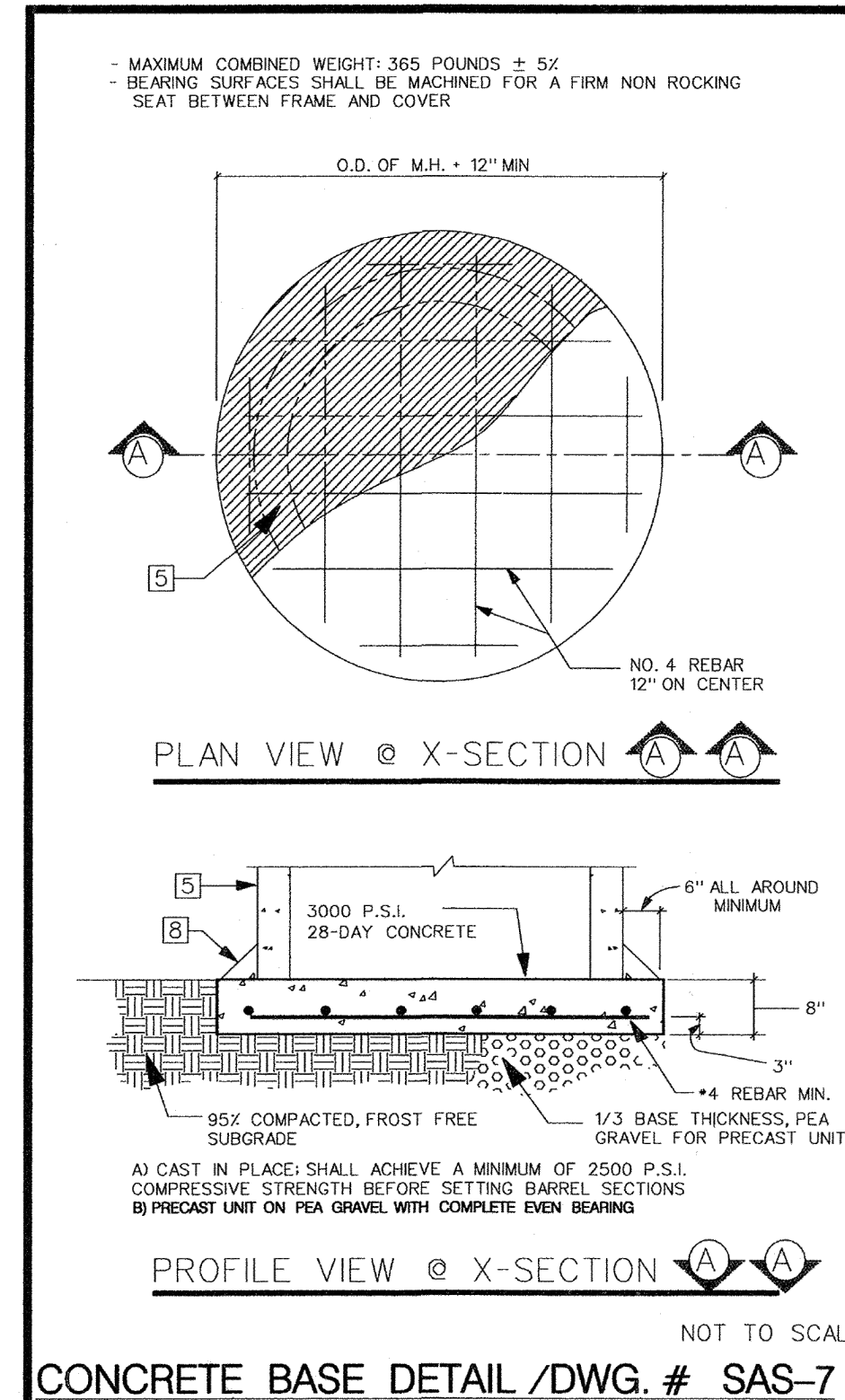
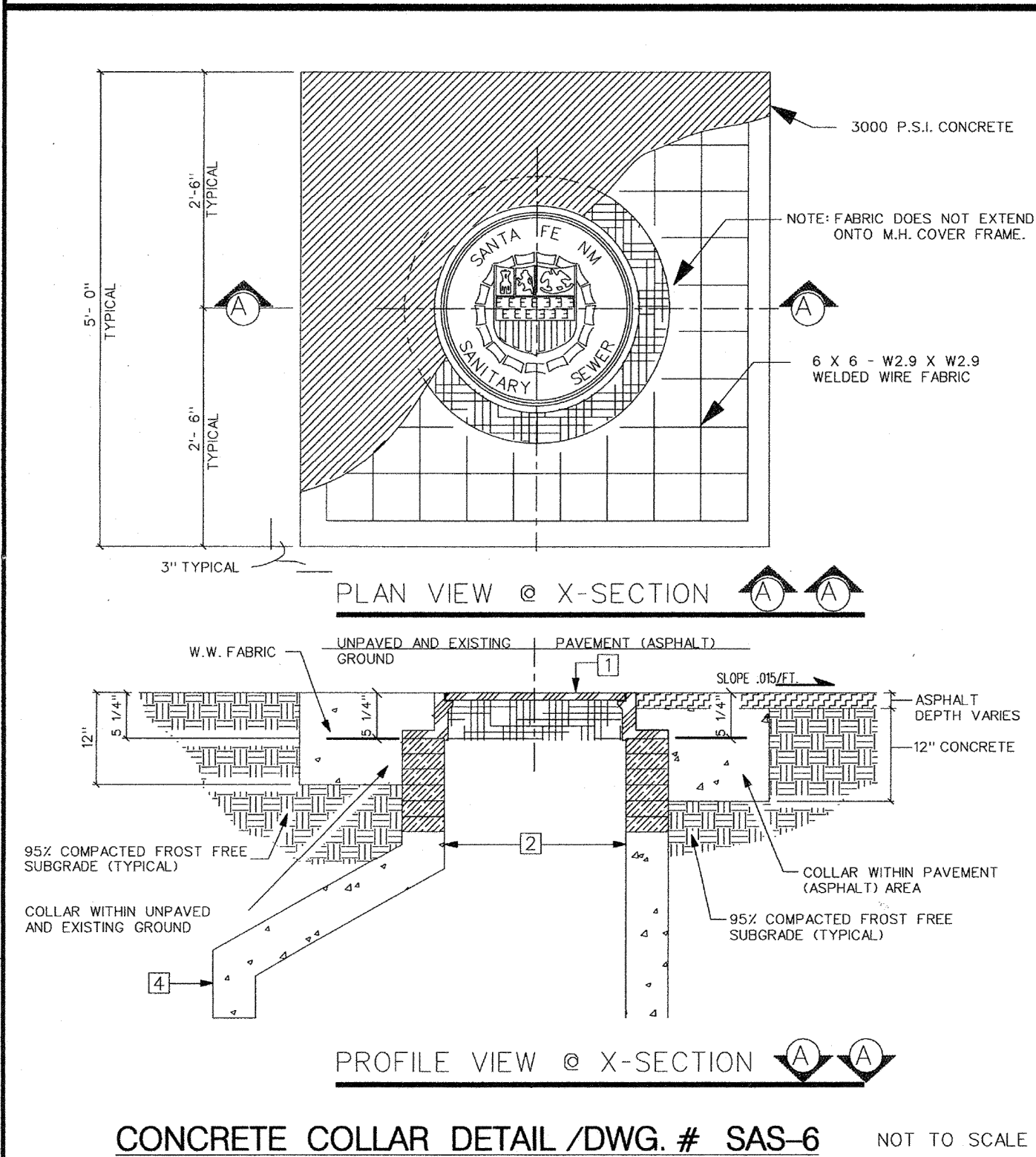
**LEGEND**

ITEM	DESCRIPTION
1	MANHOLE FRAME & COVER, refer to manhole frame and cover detail Dwg. No. SAS-4
2	CONCRETE ADJUSTMENT RINGS or CONCRETE BRICK, refer to concrete adjustment detail Dwg. No. SAS-5
3	CONCRETE COLLAR, refer to concrete collar detail Dwg. No. SAS-6
4	PRECAST REINFORCED CONCRETE RISER, CONE or FLAT TOP, with 5"(in) wall thickness, refer to general note CM-2
5	PRECAST REINFORCED CONCRETE BASE RISER, with suitable sized openings, refer to general note CM-2A
6	CONCRETE BASE, refer to concrete base detail Dwg. No. SAS-7
7	SEWER PIPE, refer to general note CM-1
8	6"(in) GROUT FILLET, on upper half of pipe and around base
9	ADAPTER, MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
10	PIPE PENETRATION INTO MANHOLE, refer to manhole adapter detail Dwg. No. SAS-8
11	PIPE SUPPORT, CONCRETE, shall extend outside of manhole a maximum of 18"(in) to bell of first joint and shall cradle pipe half pipe
12	CONCRETE FILL, 3000 p.s.i., refer to general note CR-6
13	SHELF, to be 9"(in) minimum width with 1"(in) per 1'-0" slope, from crown of pipe
14	CUT UPPER HALF OF PIPE, after manhole has been completed and inspected by engineer
15	HAND FORMED CHANNELS, shall be on a uniform radius and shall not hold water
16	INVERT ELEVATIONS OF LATERAL LINES, shall be the same as the springline elevation of the sewer main, where possible
17	CHANGE SLOPE OF PIPE, at center of manhole
18	APPROVED WATER STOP, to be with type of pipe



**GENERAL NOTES**

CONSTRUCTION REQUIREMENTS	INSTALLATION
<p>CR-1 MATERIALS AND WORK: CURRENT NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (referred to as NM APWA) WITH MODIFICATIONS NOTED BY THE CITY OF SANTA FE.</p> <p>CR-2 APPROVED PLANS: USE PLANS BEARING THE OFFICIAL STAMP OF THE DESIGN ENGINEER AND BEARING THE APPROVAL SIGNATURE OF THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE. CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS WILL BE REJECTED.</p> <p>CR-3 SEWER HOOK-UP PERMIT: OBTAIN PERMITS FOR THE PROJECT BEFORE COMMENCING ANY SEWER CONSTRUCTION. CONSTRUCTION PERFORMED WITHOUT OBTAINING PERMITS SHALL BE REJECTED. A. CONSTRUCTION PLANS SHALL INDICATE THE CLASS OF BEDDING TO BE USED. CHANGE OF BEDDING MAY REQUIRE A CHANGE IN PIPE CLASSIFICATION OR WALL THICKNESS.</p> <p>CR-4 SUBSTITUTIONS OR CHANGES: ALL SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE CITY WATER QUALITY DIVISION OR CITY APPROVED REPRESENTATIVE PRIOR TO CONSTRUCTION. ALL SUBSTITUTIONS OR CHANGES MUST BE SUBMITTED BY THE DESIGN ENGINEER TO THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE. WHERE APPROPRIATE, SUBMITTAL MUST INCLUDE FABRICATION DRAWINGS, WORKING DRAWINGS AND MATERIAL SPECIFICATIONS OR TEST DATA TO JUSTIFY SUBSTITUTIONS OR CHANGES. DESIGN ENGINEER SHALL AUTHORIZE ANY DRAWINGS FOR SUBSTITUTIONS AND CHANGES AND SUBMIT THEM TO THE CITY WATER QUALITY DIVISION FOR APPROVAL. UNAUTHORIZED SUBMITTALS WILL BE REJECTED.</p> <p>CR-5 MANUFACTURER'S CERTIFICATES: WHEN CERTIFICATES OF COMPLIANCE AND TEST REPORTS ARE REQUIRED FOR MATERIALS, DOCUMENTS SHALL BE SUBMITTED TO THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE AT THE TIME OF MATERIALS DELIVERY TO THE JOBSITE.</p> <p>CR-6 CONTRACTOR REQUIREMENTS: CONTRACTOR PERFORMING WORK ON PUBLIC SEWER LINES SHALL BE A LICENSED UTILITY CONTRACTOR.</p>	<p>I-1 LAYING PIPE: AS PER SECTION 900, NM APWA PIPE SHALL BE PLACED AND BEDDED IN A FROST FREE TRENCH. GASKET SHALL BE FULLY SEATED AND NOT SUPREDED PIPE SHALL BE LAID THROUGH MANHOLE LOCATIONS ON STRAIGHT AND UP TO 22 1/2 DEGREE DEFLECTIONS. A. IF PIPE TRENCH INSTALLATION CONFIGURATION EXCEEDS THE LIMITS OF NM APWA STANDARDS, SECTION 700, OR AS DEFINED ON THE CONSTRUCTION PLANS, THE DESIGN ENGINEER WILL SPECIFY THE NEW PIPE CLASSIFICATION OR WALL THICKNESS. B. TYPE I TRENCH CONFIGURATION IS NORMALLY USED WHEN TRENCH DEPTHS ARE 8'(FT.) OR LESS. TYPE II TRENCH CONFIGURATION IS NORMALLY USED WHEN TRENCH DEPTHS ARE 9'(FT.) AND OVER, DEPENDING ON SOIL CONDITIONS. REFER TO NM APWA STANDARDS SECTION 700.</p> <p>I-2 MANHOLE CONSTRUCTION: A. BASE: 1. CAST IN PLACE: ON UNDISTURBED FROST FREE SUBGRADE. 2. PRECAST UNIT: ON PEA GRAVEL WITH COMPLETE EVEN BEARING. B. PRECAST BARREL: 1. JOINTS: FILL COMPLETELY WITH NON-SHRINK GROUT AND TROWEL. 2. MANHOLE ADAPTOR: INSTALL OVER PVC PIPE AND FILL IN PENETRATION WITH NON-SHRINK GROUT. 3. CAST IN PLACE BASES SHALL ACHIEVE A MINIMUM OF 2500 PSI COMPRESSIVE STRENGTH BEFORE SETTING PRECAST BARREL SECTIONS.</p> <p>I-3 EXCAVATION AND BACKFILL: AS PER SECTION 700, NM APWA SATURATION BY FLOODING OR JETTING METHODS IS NOT PERMITTED WITHOUT A SOILS ENGINEERING REPORT RECOMMENDING THESE METHODS. MECHANICAL OR VIBRATORY COMPACTORS SHALL NOT BE USED ON THE BEDDING AND 12"(in.) OF INITIAL BACKFILL. COMPACTION SHALL BE DETERMINED PER AASHTO T-180.</p>



CONSTRUCTION MATERIALS	FIELD QUALITY CONTROL
<p>CM-1 SEWER PIPE: (CERTIFICATES REQUIRED) A. VITRIFIED CLAY: REFER TO SECTION 125, NM APWA FOR EXTRA STRENGTH VCP. B. PLASTIC (PVC): REFER TO SECTION 121, NM APWA AS MODIFIED BY THE CITY. 1. 4" THRU 15" (in) DIAMETER, ASTM D-3034 OR ASTM F-789 PIPE, MINIMUM PS-46 STRENGTH, SDR-35 OR EQUAL. 2. LARGER THAN 15" (in) DIAMETER: ASTM F 679 VOL. 08.04. C. HDPE PIPE PER ASTM D-1248 CLASS III WHEN APPROVED BY WATER QUALITY DIVISION ENGINEER. D. PVC RESTRAINED JOINTS: SERIES 1350 OR SERIES 1360 FOR COUPLINGS PRODUCED BY UNIFLANGE CORPORATION, LOCKING COUPLINGS WITH NYLON SPLINE, MARKED AS "YELLOWMINE" AND PRODUCED BY CERTAINTED CORPORATION, OR APPROVED EQUAL. E. MANHOLE ADAPTERS: ASBESTOS CEMENT (AC) MANHOLE ADAPTERS, OR AC/PVC ADAPTER COUPLINGS. F. BUILDING SERVICE STUBS: CAST IRON DWV, PVC SCH. 40 DWV. G. SERVICE CONNECTIONS: 1. VCP PIPE: FACTORY TEE FITTINGS; SADDLE WITH STAINLESS STEEL TENSION STRAP AND FITTINGS: FOWLER "QUICKWAY" (GENCO, HERSEY "PRONGER" OR APPROVED EQUAL. H. SOIL CLASSIFICATION: THE UNIFIED SOIL CLASSIFICATION SYSTEM PER ASTM D 2487 TABLE 701.3.5 NM APWA.</p> <p>CM-2 MANHOLES: A. CONCRETE MANHOLES: PRECAST REINFORCED CONCRETE RISERS, REDUCING CONES, AND ADJUSTMENT RINGS PER ASTM C 478 VOL. 04.05. BASES MAY BE FIELD PLACED CONCRETE OR PRECAST CONCRETE PER ASTM C 478 VOL. 04.05 (CERTIFICATES REQUIRED). CRACKED OR VISIBLY DEFECTIVE UNITS WILL BE REJECTED. B. PIPE PENETRATIONS: PRECAST UNITS SHALL HAVE SUITABLE SIZED OPENINGS CAST INTO BARREL AT PROPER ANGLES FOR PIPE AND MANHOLE ADAPTERS. C. MANHOLE STEPS: REFER TO SECTION 920.4.7 NM APWA. POLYPROPYLENE ENCASED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL: 14"(in.) WIDE, 16"(in.) MAXIMUM SPACING. D. FRAMES AND COVERS: 1. CASTINGS SHALL CONFORM TO SECTION 160, 161 &amp; 162, NM APWA CLASS 300B (CERTIFICATES AND SHOP DRAWINGS REQUIRED). 2. MINIMUM COVER WEIGHT: 165 POUNDS. 3. MINIMUM COMBINED WEIGHT: 365 POUNDS. 4. BEARING SURFACES SHALL BE MATCHED FOR A FIRM NON ROCKING SEAT BETWEEN FRAME AND COVER. MINIMUM SEATING WIDTH: 7/8"(in.). 5. COATING: NONE. 6. COVER LETTERINGS: SANTA FE, N.M. SANITARY SEWER. 7. CASTINGS: CAST MANUFACTURER AND MODEL NUMBER ON FRAME AND COVER. 8. CASTINGS TOLERANCE: +/- 1/16"(in.) PER FOOT OF OVERALL DIMENSION. OUT OF ROUND CASTINGS AND LOOSE FITTING UNITS WILL BE REJECTED IN THE FIELD.</p> <p>CM-3 CONCRETE ENCASEMENT: A. REQUIREMENTS: 1. WHEN THE PIPE COVER IS 36" (in.) OR LESS. 2. WHEN VITRIFIED CLAY CROSSES AN ARROYO. 3. WHEN A WATER LINE PASSES BELOW OR LESS THAN 18" (in.) ABOVE THE EXISTING SEWER LINE. 4. WHEN A PARALLEL WATER LINE IS LESS THAN 10'(FT.) HORIZONTALLY AND LESS THAN 2'(FT.) ABOVE THE SEWER LINE. 5. THE SEWER LINE SHALL BE ENCASED IN CONCRETE 6"(in.) THICK AS DETAILED, AND EXTEND AT LEAST 10'(FT.) ON EACH SIDE OF THE WATER LINE.</p>	<p>FOC-1 TESTING AND INSPECTION: A. SUPERVISION: CONDUCTED BY DESIGN ENGINEER. B. CERTIFICATION: DESIGN ENGINEER SHALL CERTIFY THAT THE PROJECT HAS BEEN COMPLETED IN ACCORDANCE TO PLANS &amp; SPECIFICATIONS AND SHALL SUBMIT A CERTIFICATION OF COMPLIANCE STATEMENT WITH STAMP AND SIGNATURE. C. EQUIPMENT AND ASSISTANCE: PROVIDED BY CONTRACTOR.</p> <p>FOC-2 LINE AND GRADE: ALLOWABLE TOLERANCE BETWEEN STRUCTURES FROM DESIGN: A. LINE: 0.20 FOOT. B. GRADE: 0.02 FOOT: PIPE SHALL NOT HOLD BACK ANY WATER.</p> <p>FOC-3 LEAKAGE TEST: AIR TEST REQUIRED: REFER TO SECTION 901.7 NM APWA.</p> <p>FOC-4 TELEVISION INSPECTION: CONTRACTOR SHALL PROVIDE A CERTIFIED CCTV SEWERLINE INSPECTION AND RECORD TAPES AT HIS OWN EXPENSE.</p> <p>FOC-5 ALL CONNECTIONS TO EXISTING MANHOLES INCLUDES REHABILITATING THE TIE IN MANHOLE TO MEET THESE STANDARD CONSTRUCTION DETAILS.</p>

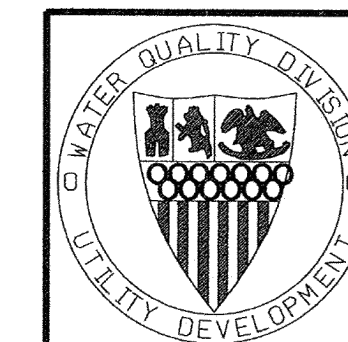
**C-502**

RESTRAINED JOINT DETAIL /DWG # SAS-9

NOT TO SCALE

SERVICE CONNECTION DETAILS /DWG # SAS-10

NOT TO SCALE



CITY OF SANTA FE  
WATER QUALITY DIVISION

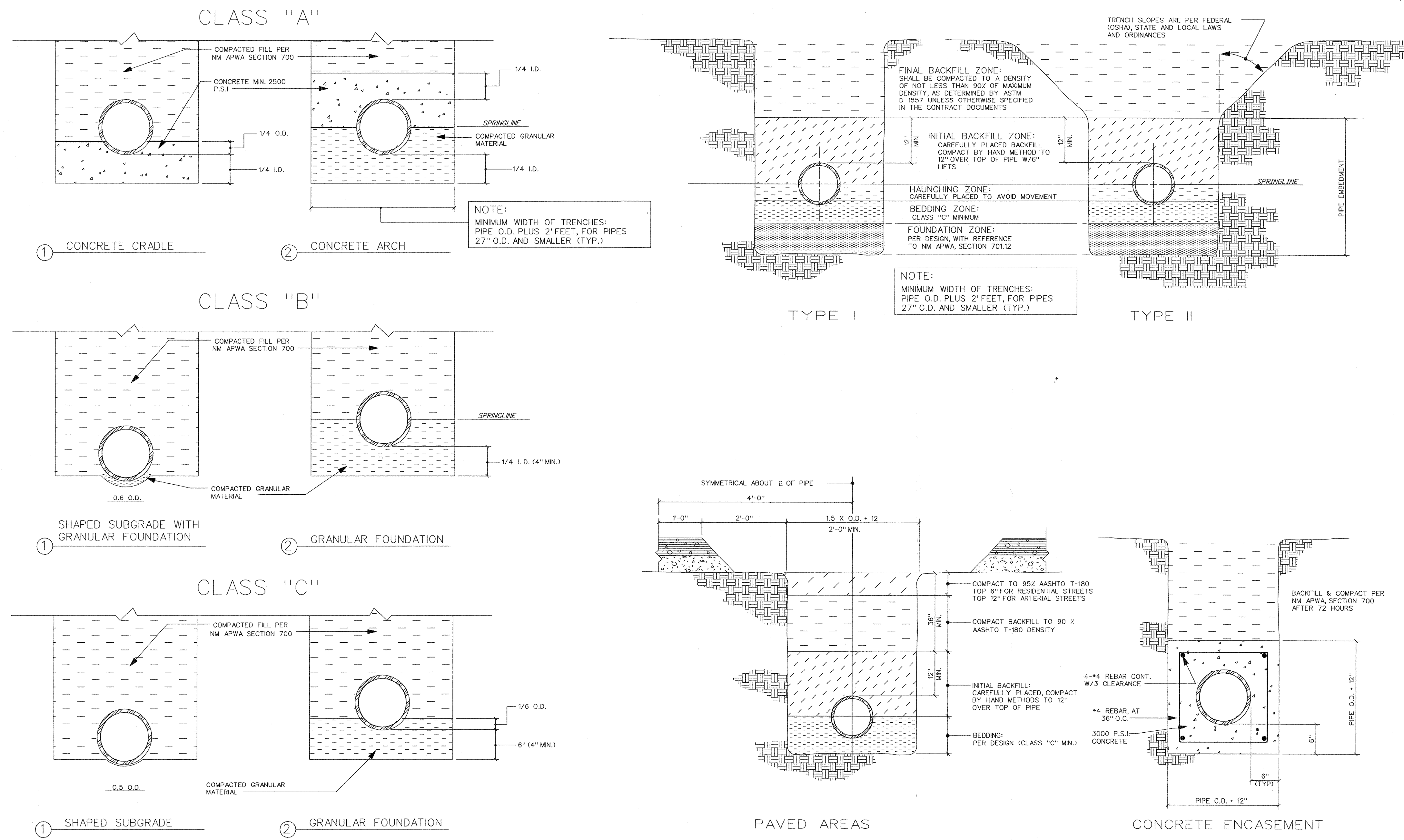
TITLE: SANITARY SEWER  
STANDARD CONSTRUCTION DETAILS - B

DATE	REVISIONS	FILE
DATE: JULY 1992		
DRAWN BY: G. CHAVEZ	8-3-92	FILE **E:\AUTO\DWG\SCD12-4
CADD REVISION BY: G. CHAVEZ	12-10-92	
APPROVED BY: E. BROWN	11-16-94	

SHEET 4 OF 12

CONTRACT NO. DAC447-03-D-0012 TASK ORDER NO.3

TRENCH BEDDING AND INSTALLATION DETAILS /DWG. # SAS-11

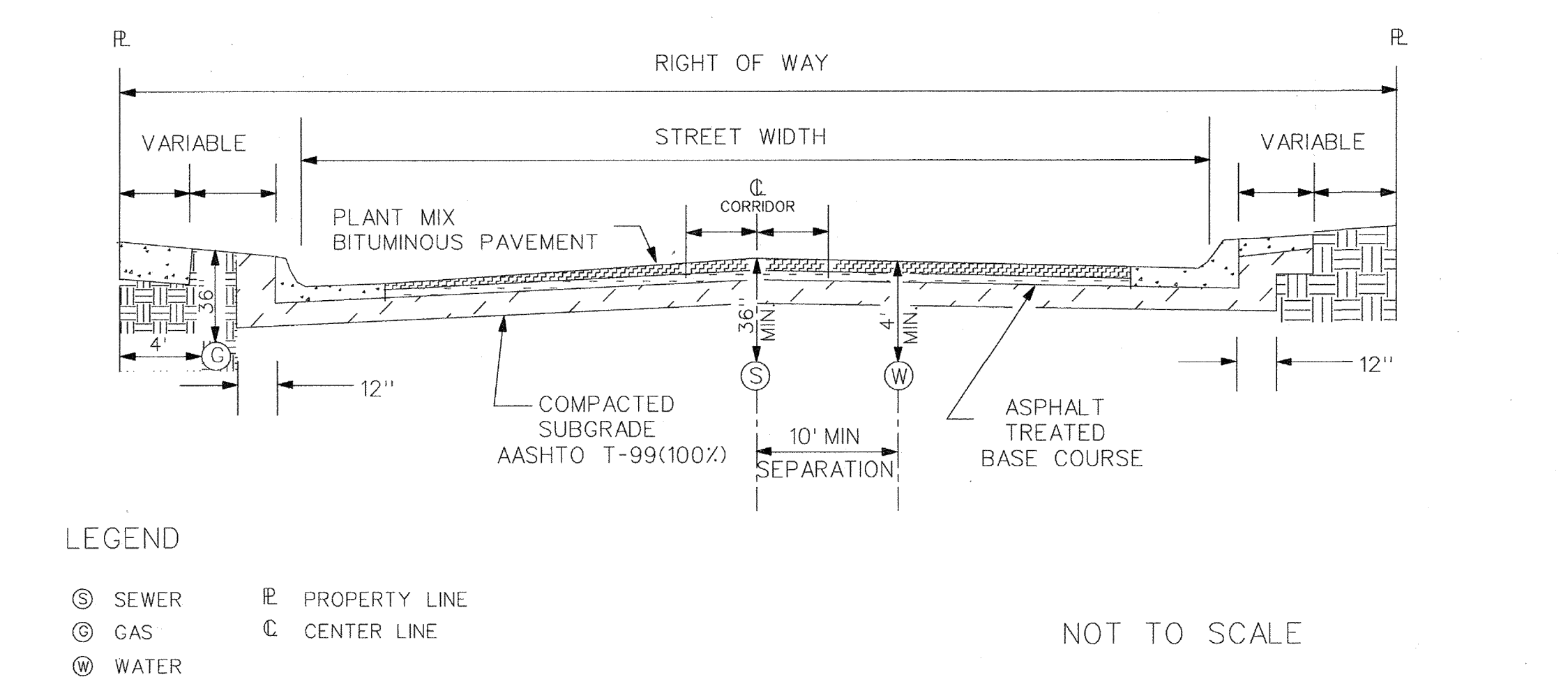


GENERAL NOTES

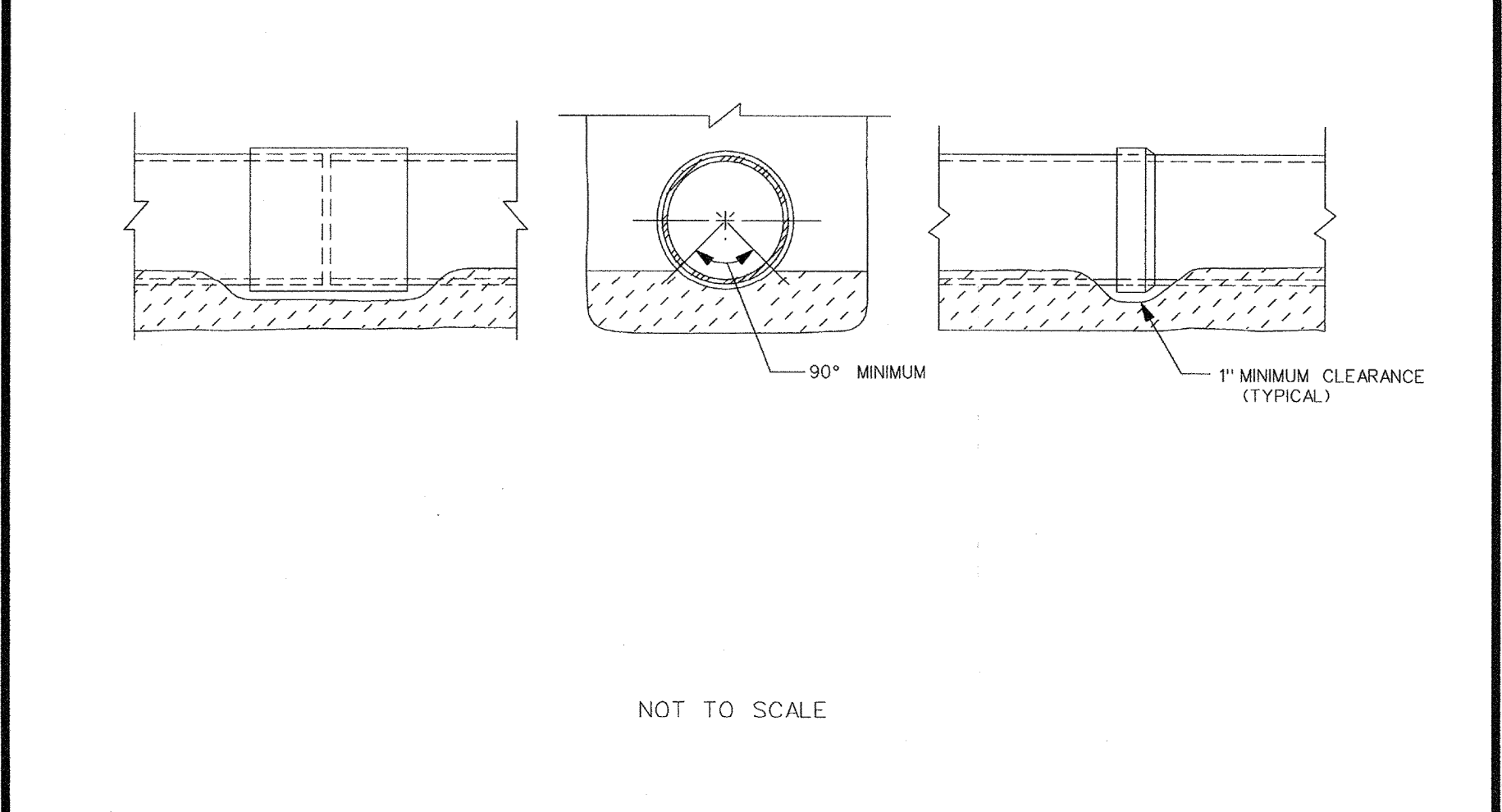
- CONSTRUCTION REQUIREMENTS**
- CR-1 MATERIALS AND WORK: CURRENT NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (referred to as NM APWA) WITH MODIFICATIONS NOTED BY THE CITY OF SANTA FE.
  - CR-2 APPROVED PLANS: USE PLANS BEARING THE OFFICIAL STAMP OF THE DESIGN ENGINEER AND BEARING THE APPROVAL SIGNATURE OF THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE. CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS WILL BE REJECTED.
  - CR-3 SEWER HOOK-UP PERMIT: OBTAIN PERMITS FOR THE PROJECT BEFORE COMMENCING ANY SEWER CONSTRUCTION. CONSTRUCTION PERFORMED WITHOUT OBTAINING PERMITS SHALL BE REJECTED. A CONSTRUCTION PLAN SHALL INDICATE THE CLASS OF BEDDING TO BE USED. CHANGE OF BEDDING MAY REQUIRE A CHANGE IN PIPE CLASSIFICATION OR WALL THICKNESS.
  - CR-4 SUBSTITUTIONS OR CHANGES: ALL SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE CITY WATER QUALITY DIVISION OR CITY APPROVED REPRESENTATIVE PRIOR TO CONSTRUCTION. ALL SUBSTITUTIONS OR CHANGES MUST BE SUBMITTED BY THE DESIGN ENGINEER TO THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE, WHERE APPROPRIATE. SUBMITTALS MUST INCLUDE FABRICATION DRAWINGS, WORKING MATERIALS SPECIFICATIONS OR TEST DATA TO JUSTIFY SUBSTITUTIONS OR CHANGES. DESIGN ENGINEER SHALL AUTHORIZE ANY DRAWINGS FOR SUBSTITUTIONS AND CHANGES AND SUBMIT THEM TO THE CITY WATER QUALITY DIVISION FOR APPROVAL. UNAUTHORIZED SUBMITTALS WILL BE REJECTED.
  - CR-5 MANUFACTURER'S CERTIFICATES: WHEN CERTIFICATES OF COMPLIANCE AND TEST REPORTS ARE REQUIRED FOR MATERIALS, DOCUMENTS SHALL BE SUBMITTED TO THE CITY WATER QUALITY DIVISION OR APPROVED REPRESENTATIVE AT THE TIME OF MATERIALS DELIVERY TO THE JOBSITE.
  - CR-6 CONTRACTOR REQUIREMENTS: CONTRACTOR PERFORMING WORK ON PUBLIC SEWER LINES SHALL BE A LICENSED UTILITY CONTRACTOR.
- INSTALLATION**
- I-1 LAYING PIPE: AS PER SECTION 900, NM APWA; PIPE SHALL BE PLACED AND BEDDED IN A FROST FREE TRENCH; GASKET SHALL BE FULLY SEATED AND NOT SLIPPED; PIPE SHALL BE LAD THROUGH MANHOLE LOCATIONS ON STRAIGHT AND UP TO 22 1/2 DEGREE DEFLECTIONS.
    - A. IF PIPE TRENCH INSTALLATION CONFIGURATION EXCEEDS THE LIMITS OF NM APWA STANDARDS, SECTION 700, OR AS DEFINED ON THE CONSTRUCTION PLANS, THE DESIGN ENGINEER WILL SPECIFY THE NEW PIPE CLASSIFICATION OR WALL THICKNESS.
    - B. TYPE I TRENCH CONFIGURATION IS NORMALLY USED WHEN TRENCH DEPTHS ARE 8'(FT.) OR LESS. TYPE II TRENCH CONFIGURATION IS NORMALLY USED WHEN TRENCH DEPTHS ARE 8'(FT.) AND OVER, DEPENDING ON SOIL CONDITIONS, REFER TO NM APWA STANDARDS SECTION 700.
  - I-2 MANHOLE CONSTRUCTION:
    - A. BASE:
      1. CAST IN PLACE: ON UNDISTURBED FROST FREE SUBGRADE.
      2. PRECAST UNIT: ON PEA GRAVEL WITH COMPLETE EVEN BEARING.
    - B. PRECAST BARRELS:
      1. JOINTS: FILL COMPLETELY WITH NON-SHRINK GROUT AND TROWEL.
      2. MANHOLE ADAPTOR: INSTALL OVER PVC PIPE AND FILL IN PENETRATION WITH NON-SHRINK GROUT.
      3. CAST IN PLACE BASES: SHALL ACHIEVE A MINIMUM OF 2500 PSI COMPRESSIVE STRENGTH BEFORE SETTING PRECAST BARREL SECTIONS.
  - I-3 EXCAVATION AND BACKFILL: AS PER SECTION 700, NM APWA; SATURATION BY FLOODING OR JETTING METHODS IS NOT PERMITTED WITHOUT A SOILS ENGINEERING REPORT RECOMMENDING THESE METHODS. MECHANICAL OR VIBRATORY COMPACTORS SHALL NOT BE USED ON THE BEDDING AND 12"(MIN.) OF INITIAL BACKFILL. COMPACTION SHALL BE DETERMINED PER AASHTO T-180.

- CONSTRUCTION MATERIALS**
- CM-1 SEWER PIPE: (CERTIFICATES REQUIRED)
    - A. VITRIFIED CLAY: REFER TO SECTION 125, NM APWA FOR EXTRA STRENGTH VCP.
    - B. PLASTIC (PVC): REFER TO SECTION 121, NM APWA, AS MODIFIED BY THE CITY.
      1. 4" THRU 15" (inch) DIAMETER, ASTM D-3034 OR ASTM F-789 PIPE, MINIMUM PS-46 STRENGTH, SDR-35 OR EQUAL.
      2. LARGER THAN 15" (IN.) DIAMETER: ASTM F 679 VOL. 08.04.
    - C. HDPE PIPE PER ASTM D-1248 CLASS II WHEN APPROVED BY WATER QUALITY DIVISION ENGINEER.
    - D. PVC RESTRAINED JOINTS: SERIES 1350 OR SERIES 1390 FOR COUPLINGS PRODUCED BY UNIFLANGE CORPORATION, LOCKING COUPLINGS WITH NYLON SPLINE, MARKETED AS "YELLOWLINE" AND PRODUCED BY CERTANTEED CORPORATION, OR APPROVED EQUAL.
    - E. MANHOLE ADAPTERS: ASBESTOS CEMENT (AC) MANHOLE ADAPTERS, OR AC/PVC ADAPTER COUPLINGS.
    - F. BUILDING SERVICE STUBS: CAST IRON DWV, PVC SCH. 40 DWV.
    - G. SERVICE CONNECTIONS:
      1. VCP PIPE: FACTORY TEE FITTINGS: SECTION 125 NM APWA.
      2. PVC PIPE: CAST IRON BODIES TAPPING SADDLE WITH STAINLESS STEEL TENSION STRAP AND FITTINGS-FLOWLER "QUICKWAY", GENCO, HERSEY "PIONEER" OR APPROVED EQUAL.
    - H. SOIL CLASSIFICATION: THE UNIFIED SOIL CLASSIFICATION SYSTEM PER ASTM D 2487 TABLE 701.3.5 NM APWA.
  - CM-2 MANHOLES:
    - A. CONCRETE MANHOLES: PRECAST REINFORCED CONCRETE RISERS, REDUCING CONES, AND ADJUSTMENT RINGS PER ASTM C 478 VOL. 04.05. BASES MAY BE FIELD PLACED CONCRETE OR PRECAST CONCRETE PER ASTM C 478 VOL. 04.05 (CERTIFICATES REQUIRED). CRACKED OR VISIBLY DEFECTIVE UNITS WILL BE REJECTED.
    - B. PIPE PENETRATIONS: PRECAST UNITS SHALL HAVE SUITABLE SIZED OPENINGS CAST INTO BARREL AT PROPER ANGLES FOR PIPE AND MANHOLE ADAPTERS.
    - C. MANHOLE STEPS: REFER TO SECTION 920.4.7 NM APWA POLYPROPYLENE ENCASED GRADE 60 STEEL BY M.A. INC. OR APPROVED EQUAL: 14"(IN.) WIDE, 18"(IN.) MAXIMUM SPACING.
    - D. FRAMES AND COVERS:
      1. CASTING SHALL CONFORM TO SECTION 160, 161 & 162, NM APWA CLASS 30B. (CERTIFICATES AND SHOP DRAWINGS REQUIRED)
      2. MINIMUM COVER WEIGHT: 165 POUNDS
      3. MINIMUM COMBINED WEIGHT: 365 POUNDS +/- 5%
      4. BEARING SURFACES: SHALL BE MATCHED FOR A FIRM NON ROCKING SEAT BETWEEN FRAME AND COVER. MINIMUM SEATING WIDTH: 7/8"(IN.)
      5. COATING: NONE
      6. COVER LETTERINGS: SANTA FE, N.M. SANITARY SEWER
      7. CASTINGS: CAST MANUFACTURER AND MODEL NUMBER ON FRAME AND COVER.
      8. CASTINGS TOLERANCE: +/- 1/16"(IN.) PER FOOT OF OVERALL DIMENSION. OUT OF ROUND CASTINGS AND LOOSE FITTING UNITS WILL BE REJECTED IN THE FIELD.
  - CM-3 CONCRETE ENCASEMENT:
    - A. REQUIREMENTS:
      1. WHEN THE PIPE COVER IS 36" (IN.) OR LESS.
      2. WHEN VITRIFIED CLAY CROSSES AN ARROYO.
      3. WHEN A WATER LINE PASSES BELOW OR LESS THAN 18" (IN.) ABOVE THE EXISTING SEWER LINE.
      4. WHEN A PARALLEL WATER LINE IS LESS THAN 10'(FT.) HORIZONTALLY AND LESS THAN 2'(FT.) ABOVE THE SEWER LINE.
      5. THE SEWER LINE SHALL BE ENCASED IN CONCRETE (EYEBALL THICK AS DETAILED, AND EXTEND AT LEAST 10'(FT.) ON EACH SIDE OF THE WATER LINE.
- FIELD QUALITY CONTROL**
- FQC-1 TESTING AND INSPECTION:
    - A. SUPERVISION: CONDUCTED BY DESIGN ENGINEER.
    - B. CERTIFICATION: DESIGN ENGINEER SHALL CERTIFY THAT THE PROJECT HAS BEEN COMPLETED IN ACCORDANCE TO PLANS & SPECIFICATIONS AND SHALL SUBMIT A CERTIFICATION OF COMPLIANCE STATEMENT WITH STAMP AND SIGNATURE.
    - C. EQUIPMENT AND ASSISTANCE: PROVIDED BY CONTRACTOR.
  - FQC-2 LINE AND GRADE: ALLOWABLE TOLERANCE BETWEEN STRUCTURES FROM DESIGN:
    - A. LINE: 0.20 FOOT
    - B. GRADE: 0.02 FOOT; PIPE SHALL NOT HOLD BACK ANY WATER.
  - FQC-3 LEAKAGE TEST: AIR TEST REQUIRED; REFER TO SECTION 901.7 NM APWA.
  - FQC-4 TELEVISION INSPECTION: CONTRACTOR SHALL PROVIDE A CERTIFIED CCTV SEWERLINE INSPECTION AND RECORD TAPES AT HIS OWN EXPENSE.
  - FQC-5 ALL CONNECTIONS TO EXISTING MANHOLES INCLUDES REHABILITATING THE TIE IN MANHOLE TO MEET THESE STANDARD CONSTRUCTION DETAILS.

TYPICAL UTILITIES SEPARATION DETAIL /DWG. # SAS-12



BELL OR COUPLING INSTALLATION DETAIL /DWG. # SAS-13



CONTRACT NO. DAC47-03-D-0012 TASK ORDER NO.3

CITY OF SANTA FE  
WATER QUALITY DIVISION

TITLE: SANITARY SEWER  
STANDARD CONSTRUCTION DETAILS - C

DATE: JULY 1992

DRAWN BY: G. CHAVEZ

CADD REVISION BY: G. CHAVEZ

APPROVED BY: E. BROWN

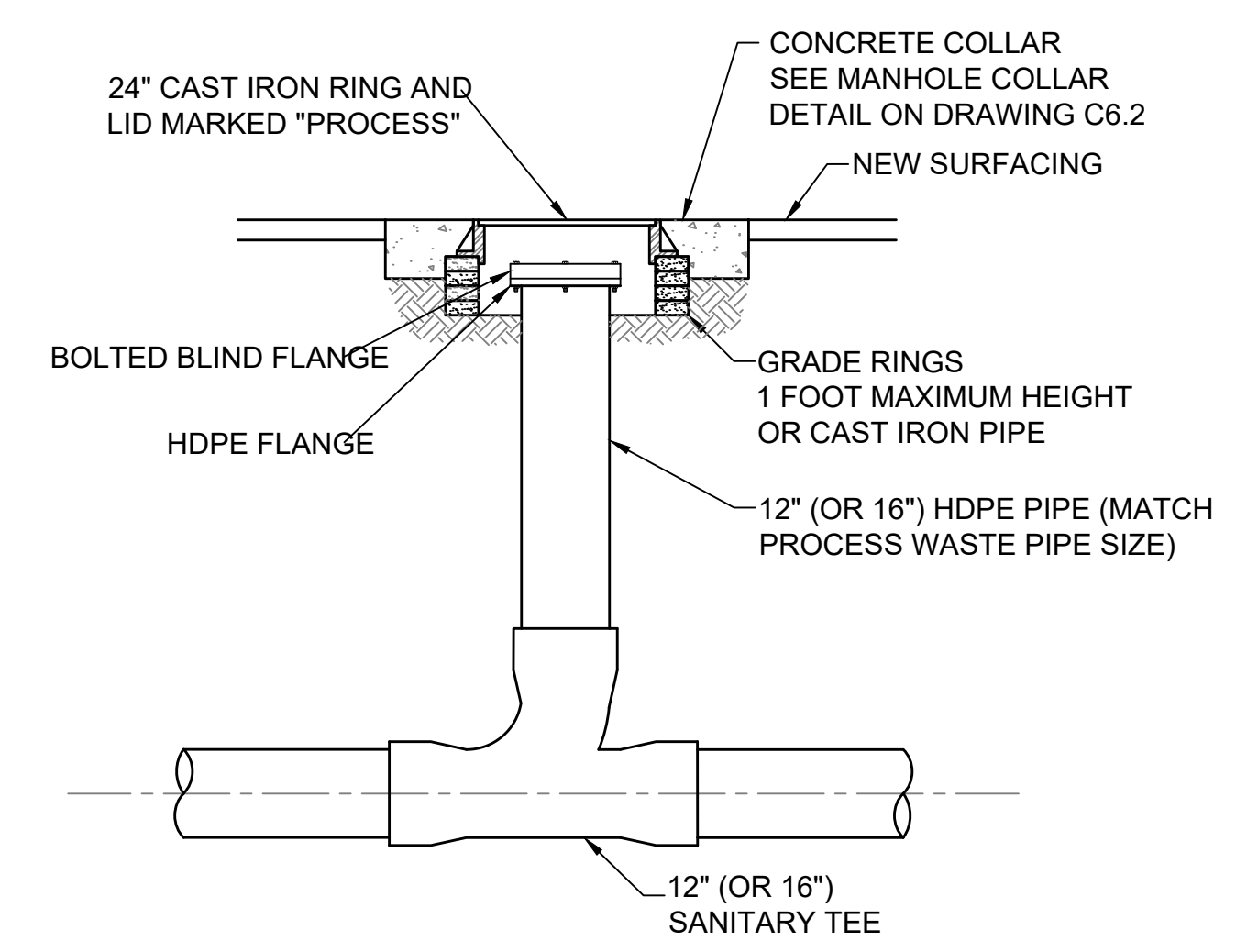
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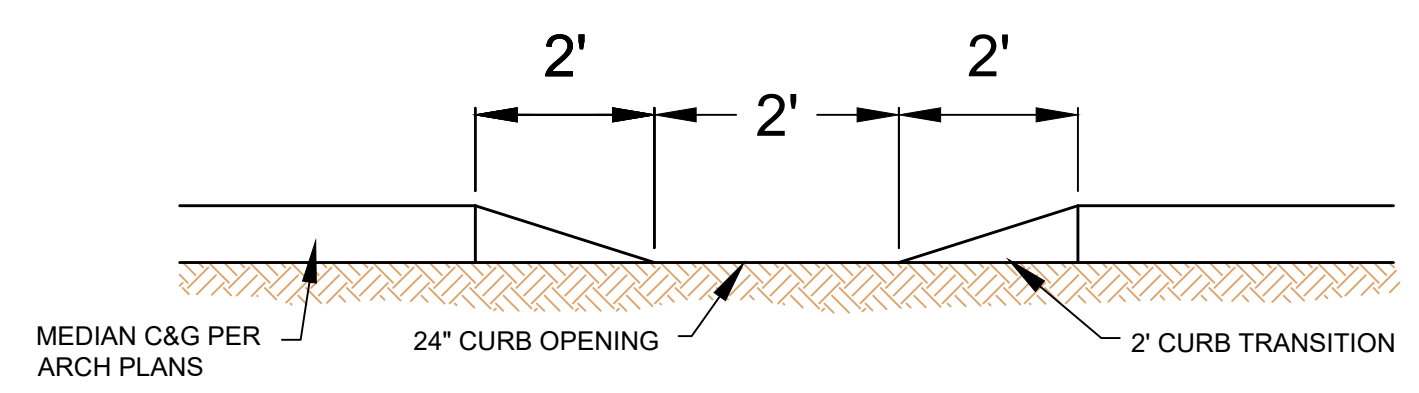
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C-503

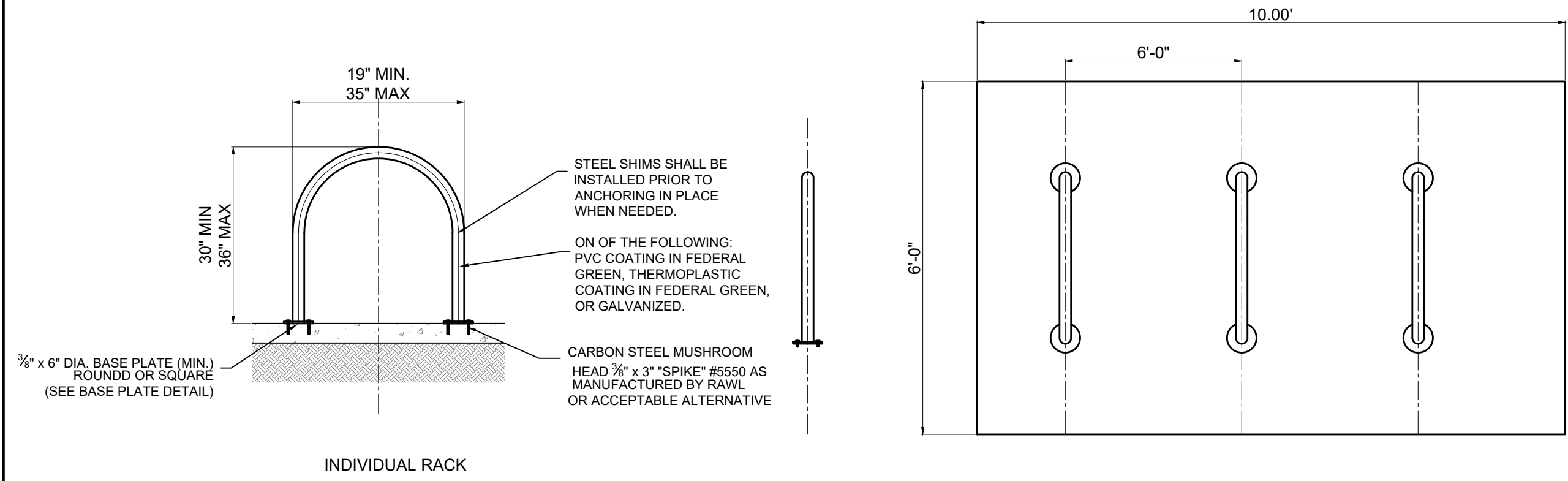
# EMPIRE SELF STORAGE CIVIL DETAILS



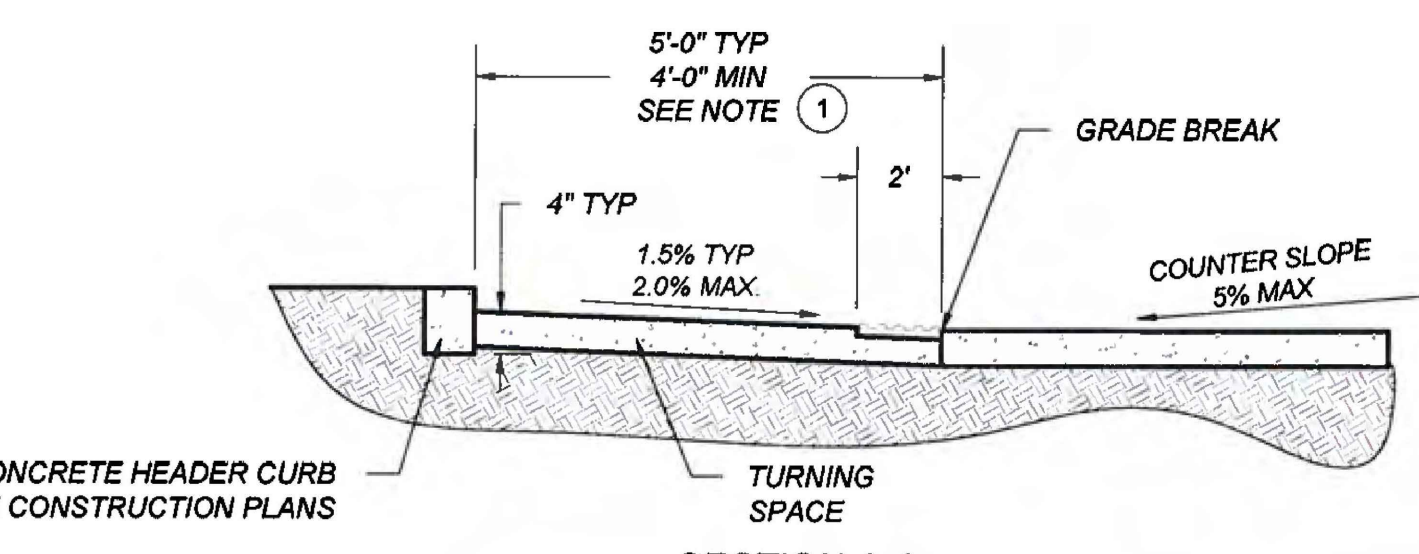
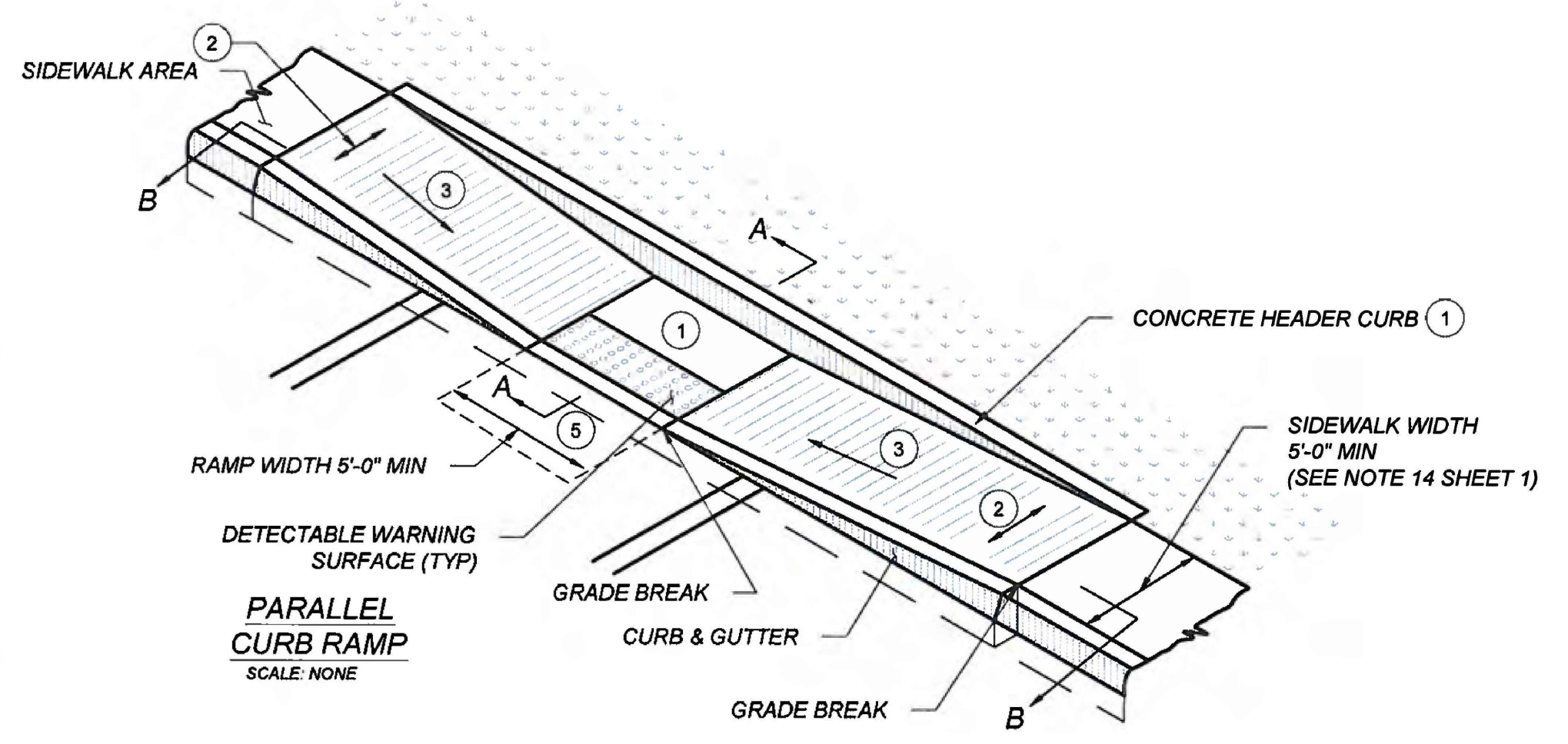
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SCALE: NTS



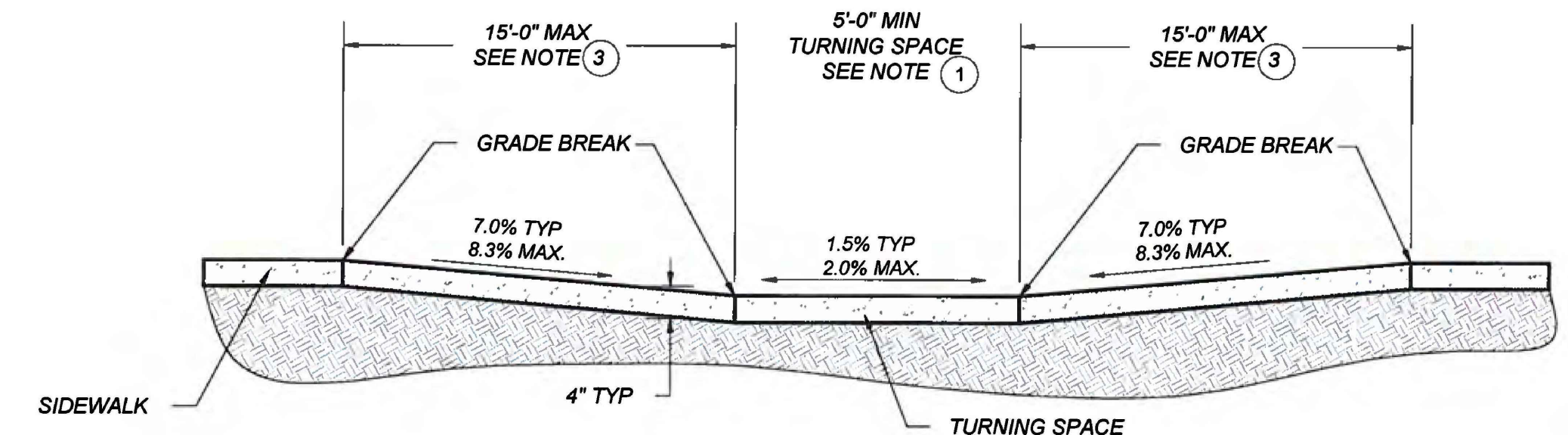
**CURB OPENING DETAIL**  
SCALE: NTS



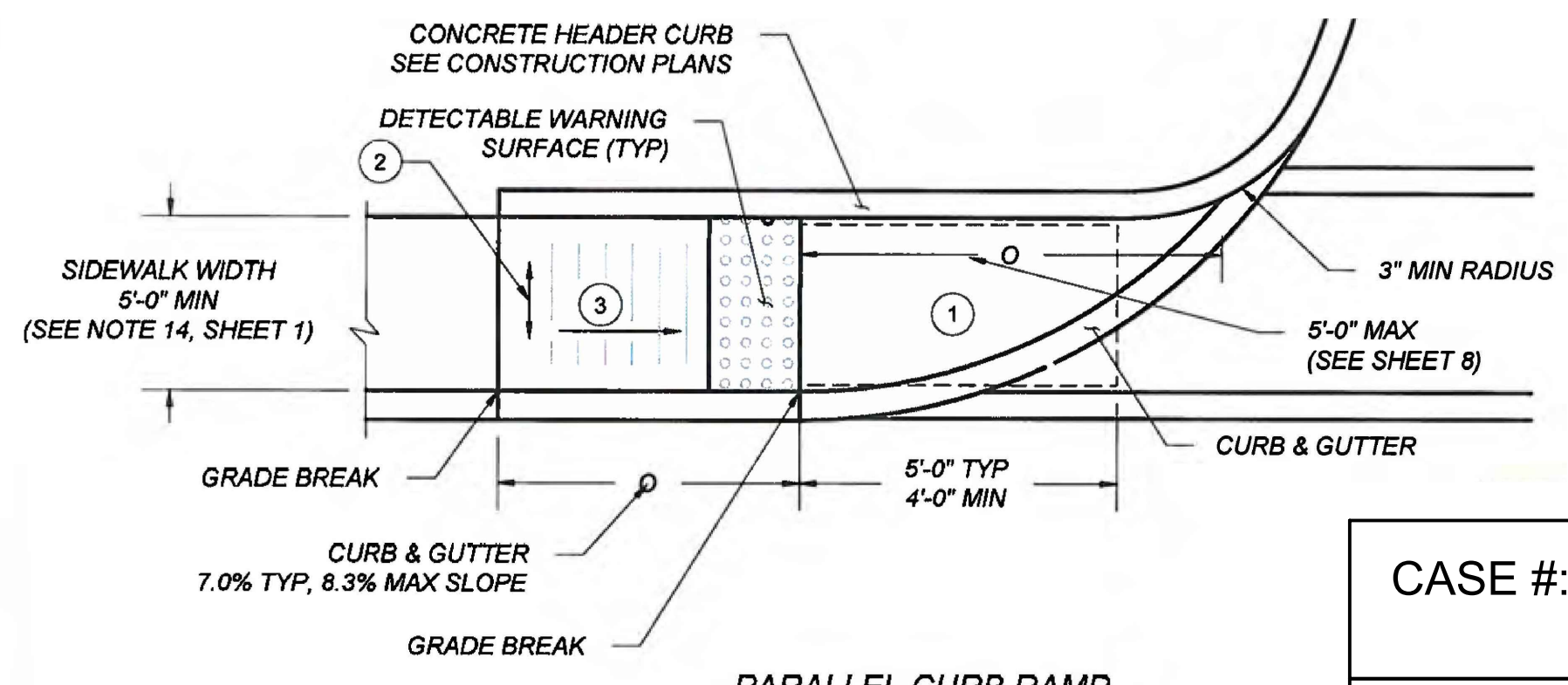
**INVERTED U BIKE RACK DETAIL**  
SCALE: NTS



**SECTION A-A**  
SCALE: NONE



**SECTION B-B**  
SCALE: NONE



**PARALLEL CURB RAMP**  
SCALE: NONE

**KEYED NOTES**

- 1 TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (RECOMMEND 1.5%). TURNING SPACE SHALL BE 4.0 FT BY 4.0 FT MIN (RECOMMEND 5.0 FT BY 5.0 FT) AT THE TOP OF THE CURB RAMP AND SHALL BE PERMITTED TO OVERLAP OTHER TURNING SPACES AND CLEAR SPACES. WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK, THE TURNING SPACE SHALL BE 4.0 FT MIN BY 5.0 FT MIN. THE 5.0 FT SHALL BE PROVIDED IN THE DIRECTION OF THE RAMP RUN.
  - 2 CROSS SLOPE SHALL BE 2.0% MAX (RECOMMENDED 1.5%). EXCEPTION: THE CROSS SLOPE OF CURB RAMPS AT PEDESTRIAN STREET CROSSING WITHOUT YIELD OR STOP CONTROL, TRAFFIC SIGNALS DESIGNED FOR THE GREEN PHASE, AND AT MIDBLOCK PEDESTRIAN STREET CROSSING, THE CROSS SLOPE IS PERMITTED TO MATCH STREET OR HIGHWAY GRADE.
  - 3 RUNNING SLOPE OF THE CURB RAMP SHALL BE 8.3% MAX (RECOMMENDED 7.0%) BUT SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15.0 FT TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15 FOOT MAX LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS MAXIMUM EXTENT PRACTICABLE.
  - 4 GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
  - 5 COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
  - 6 FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX (RECOMMEND 9%), MEASURED PARALLEL TO THE BACK OF THE CURB, UNLESS THE FLARED SIDES ARE PROTECTED FROM CROSS TRAVEL BY LANDSCAPING, STREET FURNITURE, CHAINS, FENCING, OR RAILINGS.
- NOTES:**
- A DO NOT SCORE OR MAKE GROOVES IN SLOPED SURFACE. LINES SHOWN ON STANDARD DETAILS ARE FOR ILLUSTRATION ONLY.
  - B DETAILS OF THE DETECTABLE WARNING SURFACE ARE SHOWN IN THE CONSTRUCTION PLANS AND SHEET 608-001-8/12 OF THE STANDARD DRAWINGS.
  - C IN ALTERATIONS WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT COMPLIANCE TO PROVIDE A CURB RAMP FOR EACH PEDESTRIAN CROSSING A SINGLE DIAGONAL CURB RAMP SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS.
  - D CONCRETE HEADER CURBS CONSTRUCTED AS PART OF THE CURB RAMP WILL BE CONSIDERED INCIDENTAL TO ITEM NUMBER 608004 AND NO SEPARATE PAYMENT WILL BE MADE.

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SANTA FE, NM

EMPIRE SELF STORAGE  
SANTA FE, NEW MEXICO

DXD CAPITAL

CIVIL DETAILS

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed RJC	Drawn CLW	Checked RJC
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Date: April 2026

CASE #: #2025-11753 & 11756

ADDRESS: 1802 CERRILLOS RD. SANTA FE, NM 87505  
1361 FOURTH ST. SANTA FE, NM 87505  
1750 CERRILLOS RD. SANTA FE, NM 87505  
3 RD BERRY AVE. SANTA FE, NM 87505

SHEET NAME:

**CIVIL DETAILS**

SHEET #:

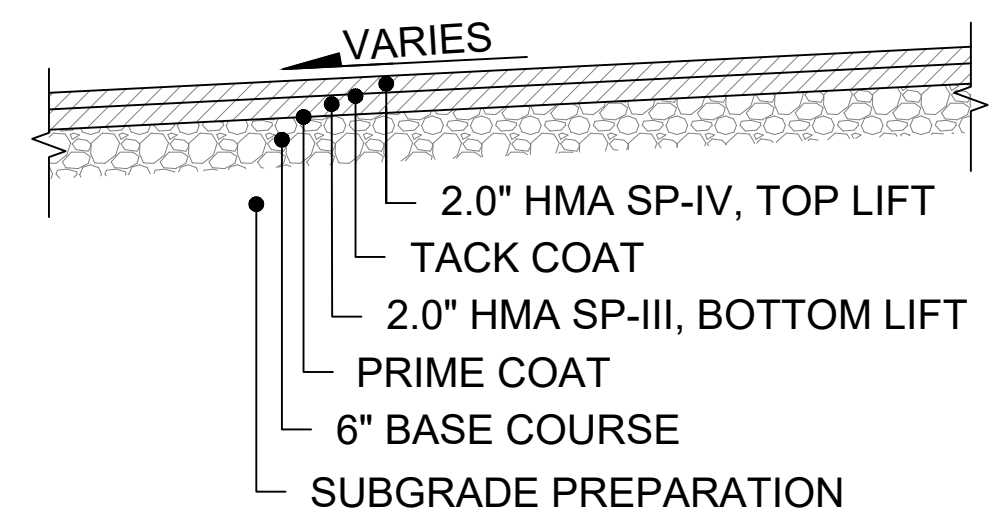
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SHEET # \_\_\_ OF \_\_\_

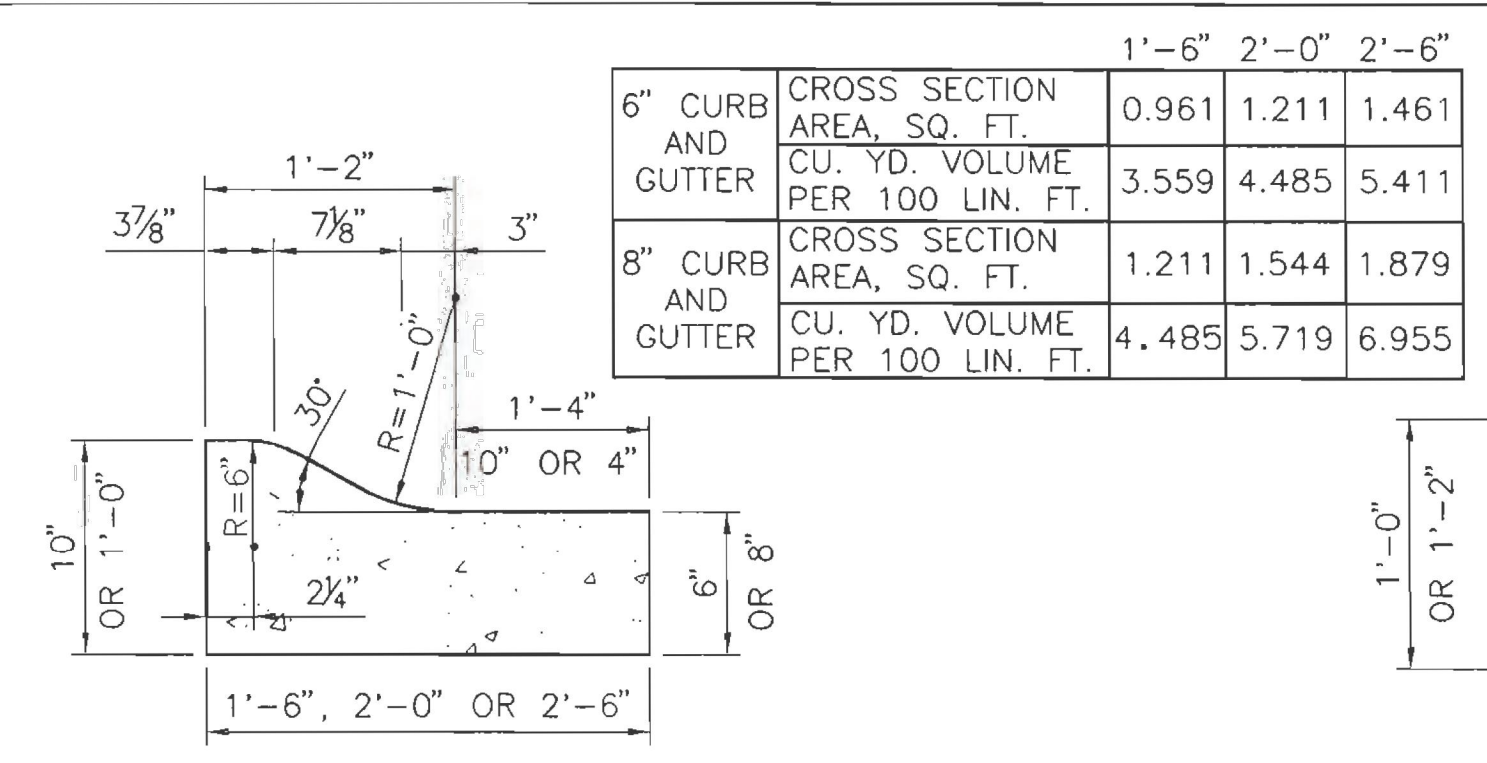
# EMPIRE SELF STORAGE CIVIL DETAILS

## GENERAL NOTES

1. CONCRETE SHALL BE STRUCTURAL CONCRETE CLASS "A."
2. END OF DAYS POUR, 30 MINUTE INTERRUPTIONS, COLD JOINTS AND DROP INLETS SHALL DETERMINE THE LOCATION OF A CONSTRUCTION JOINT AND A 3/4" PREMOLDED BITUMINOUS JOINT IS REQUIRED.
3. PLACE TRANSVERSE CONTRACTION JOINTS AT 5'-0" INTERVALS AND AT THE END OF RADIUS POINTS OR ISLAND NOSES.
4. BED COURSE MATERIAL ON WHICH SIDEWALK IS TO BE PLACED SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T 99, METHOD C.
5. EXCAVATION AND PREMOLDED BITUMINOUS EXPANSION JOINTS TO BE INCLUDED IN THE UNIT PRICE BID FOR SIDEWALKS.
6. THE SILICONE SEALED JOINTS SHALL BE SEALED IN ACCORDANCE WITH SECTION 452 OF THE STANDARD SPECIFICATIONS.
7. FOR SLIP-FORMED CURB AND GUTTER, FURNISH 1" SEALED EXPANSION JOINTS AT 90' INTERVALS, AND TRANSVERSE CONSTRUCTION JOINTS AT 5' INTERVALS.
8. FOR SIDEWALKS AND NON-SLIP FORMED CURB AND GUTTER, FURNISH 3/4" SEALED EXPANSION JOINTS AT 30' INTERVALS, AND TRANSVERSE CONTRACTION JOINTS AT 5' INTERVALS.

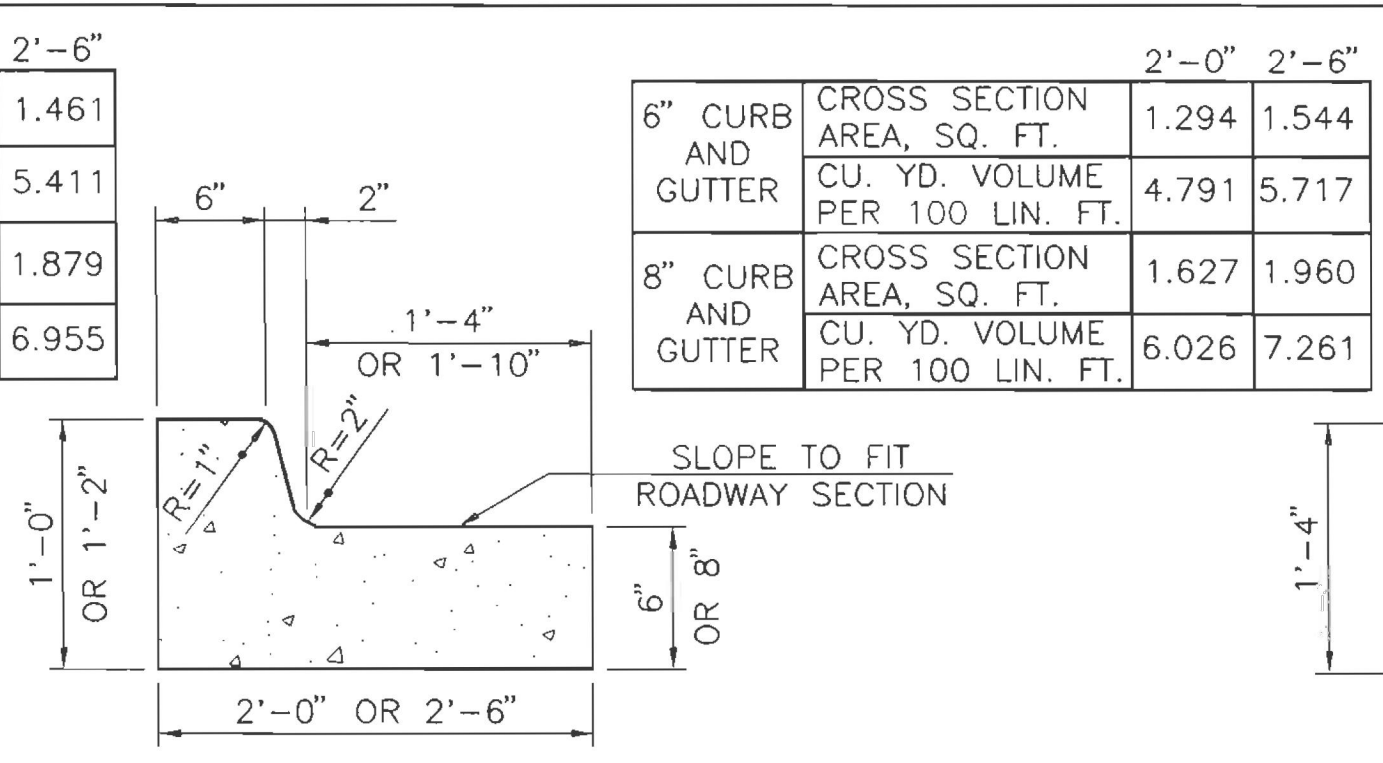


TYPICAL ASPHALT SECTION  
SCALE: NTS



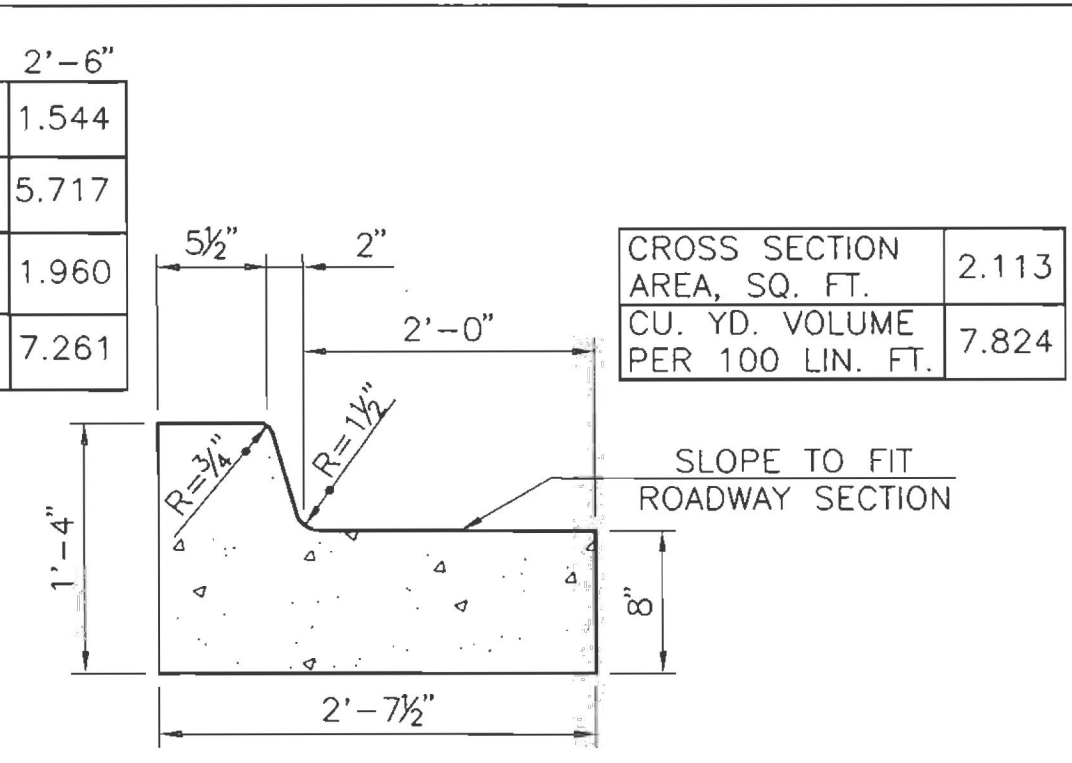
CONCRETE MOUNTABLE CURB AND GUTTER TYPE "A"

	1'-6"	2'-0"	2'-6"
6" CURB AND GUTTER	CROSS SECTION AREA, SQ. FT. 0.961	1.211	1.461
	CU. YD. VOLUME PER 100 LIN. FT. 3.559	4.485	5.411
8" CURB AND GUTTER	CROSS SECTION AREA, SQ. FT. 1.211	1.544	1.879
	CU. YD. VOLUME PER 100 LIN. FT. 4.485	5.719	6.955



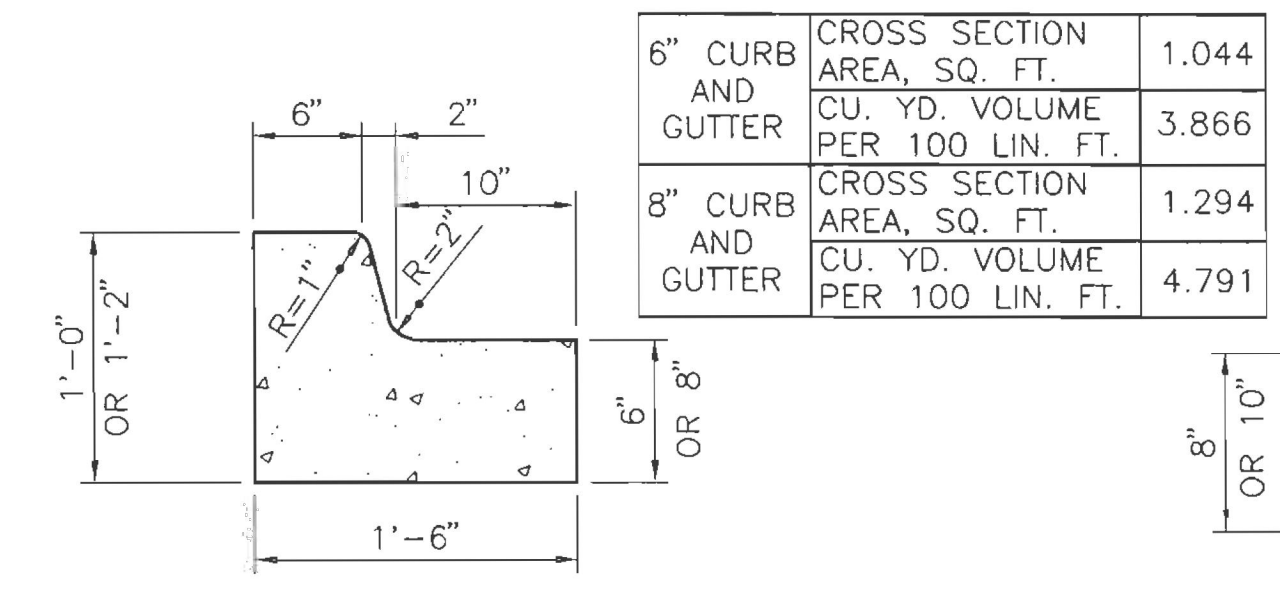
CONCRETE BARRIER CURB AND GUTTER TYPE "B"

	2'-0"	2'-6"
6" CURB AND GUTTER	CROSS SECTION AREA, SQ. FT. 1.294	1.544
	CU. YD. VOLUME PER 100 LIN. FT. 4.791	5.717
8" CURB AND GUTTER	CROSS SECTION AREA, SQ. FT. 1.627	1.960
	CU. YD. VOLUME PER 100 LIN. FT. 6.026	7.261



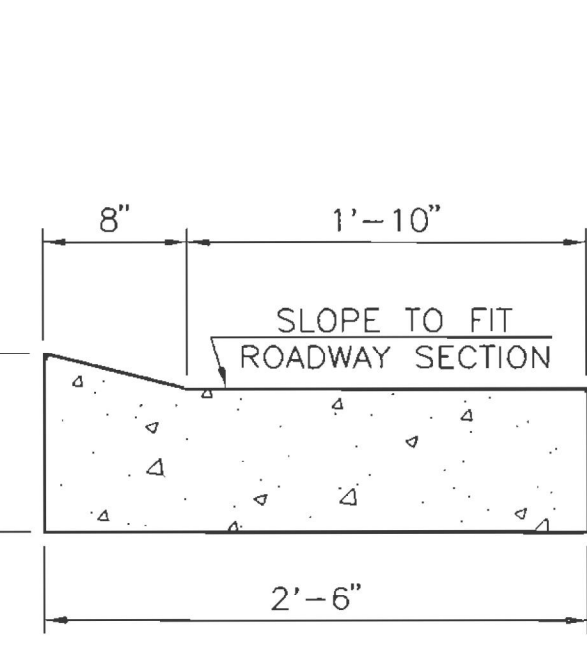
CONCRETE BARRIER CURB AND GUTTER TYPE "C"

CROSS SECTION AREA, SQ. FT.	2.113
CU. YD. VOLUME PER 100 LIN. FT.	7.824



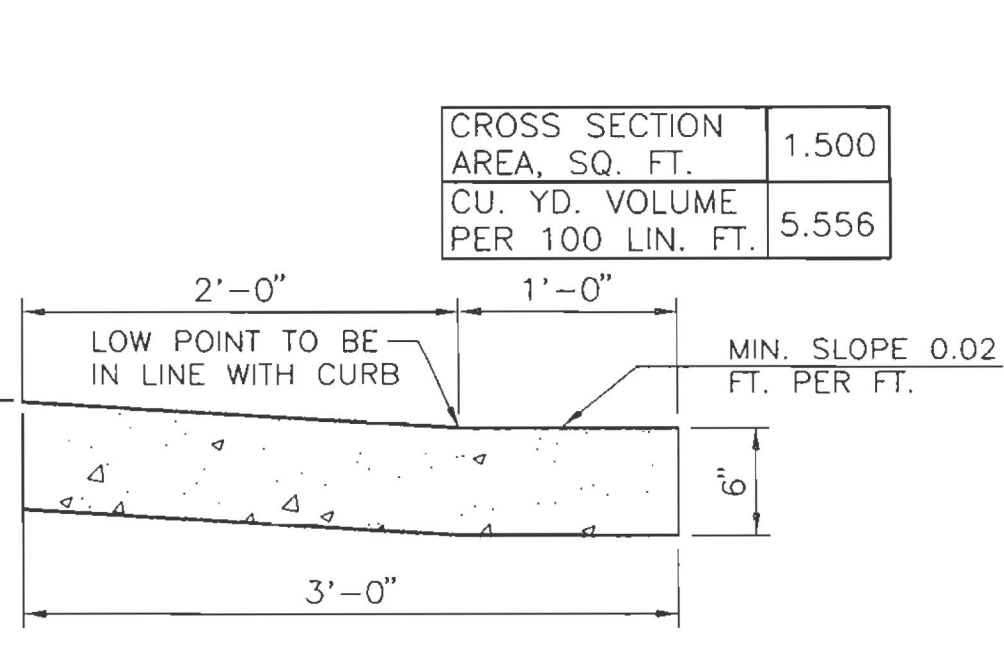
CONCRETE BARRIER CURB AND GUTTER TYPE "D"

6" CURB AND GUTTER	CROSS SECTION AREA, SQ. FT. 1.044
	CU. YD. VOLUME PER 100 LIN. FT. 3.866
8" CURB AND GUTTER	CROSS SECTION AREA, SQ. FT. 1.294
	CU. YD. VOLUME PER 100 LIN. FT. 4.791



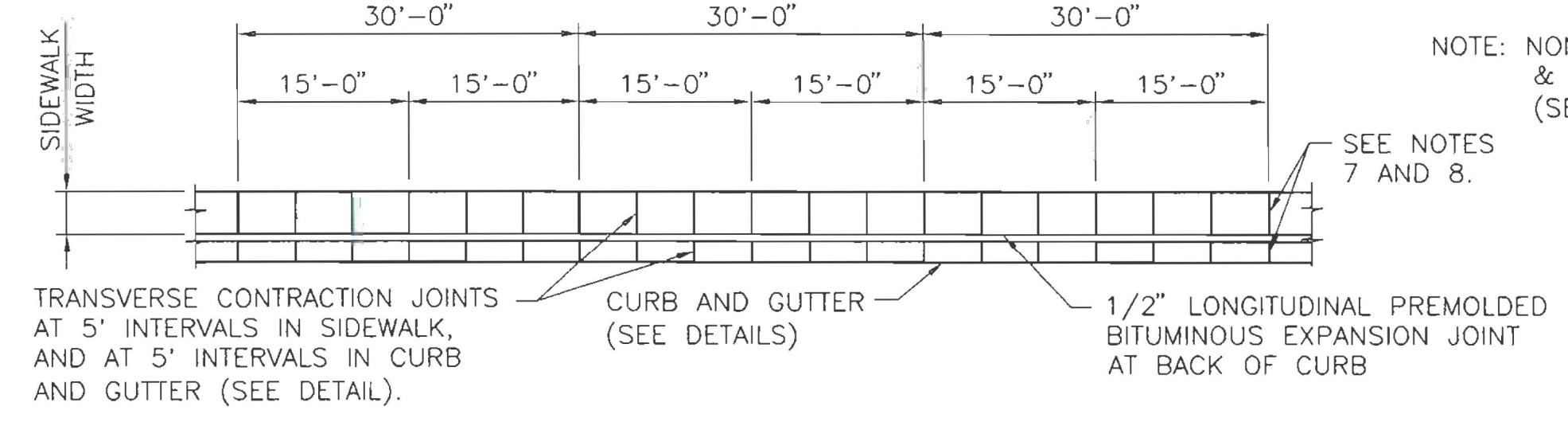
CONCRETE LAYDOWN CURB TYPE "E"

6" CURB AND GUTTER	CROSS SECTION AREA, SQ. FT. 1.306
	CU. YD. VOLUME PER 100 LIN. FT. 4.835
8" CURB AND GUTTER	CROSS SECTION AREA, SQ. FT. 1.722
	CU. YD. VOLUME PER 100 LIN. FT. 6.379



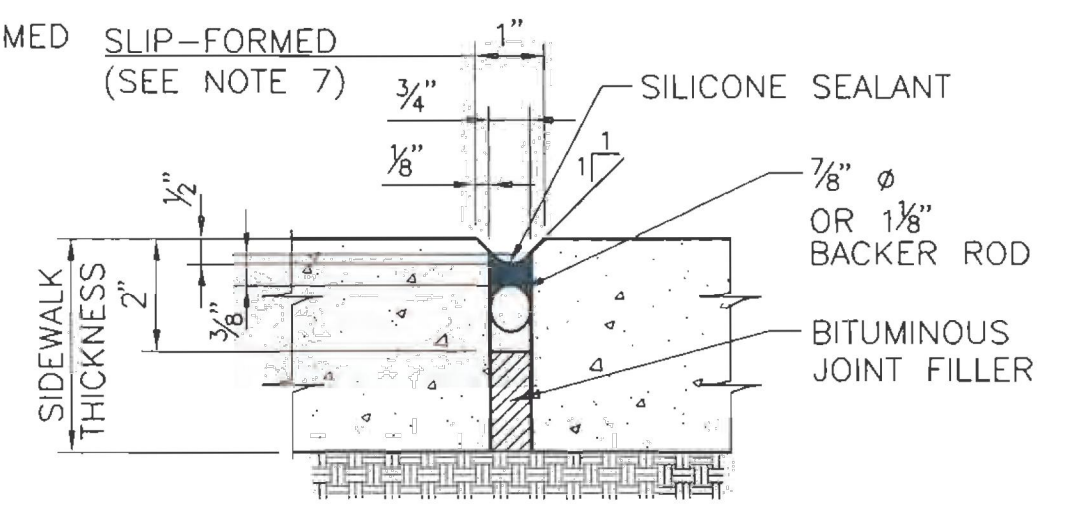
CONCRETE VALLEY GUTTER

CROSS SECTION AREA, SQ. FT.	1.500
CU. YD. VOLUME PER 100 LIN. FT.	5.556

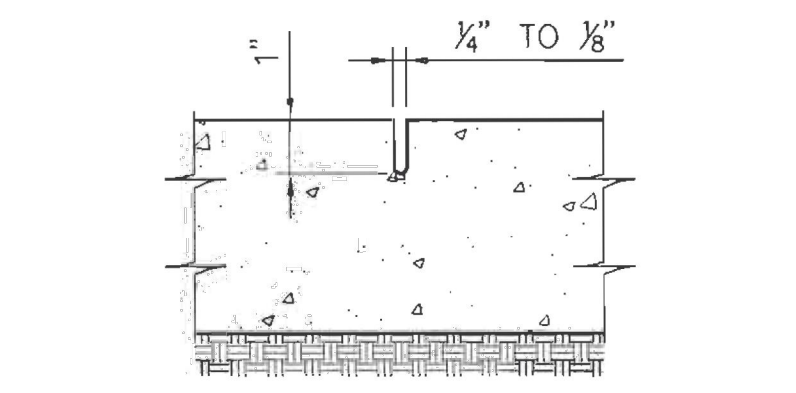


PLAN CURB AND GUTTER AND SIDEWALK

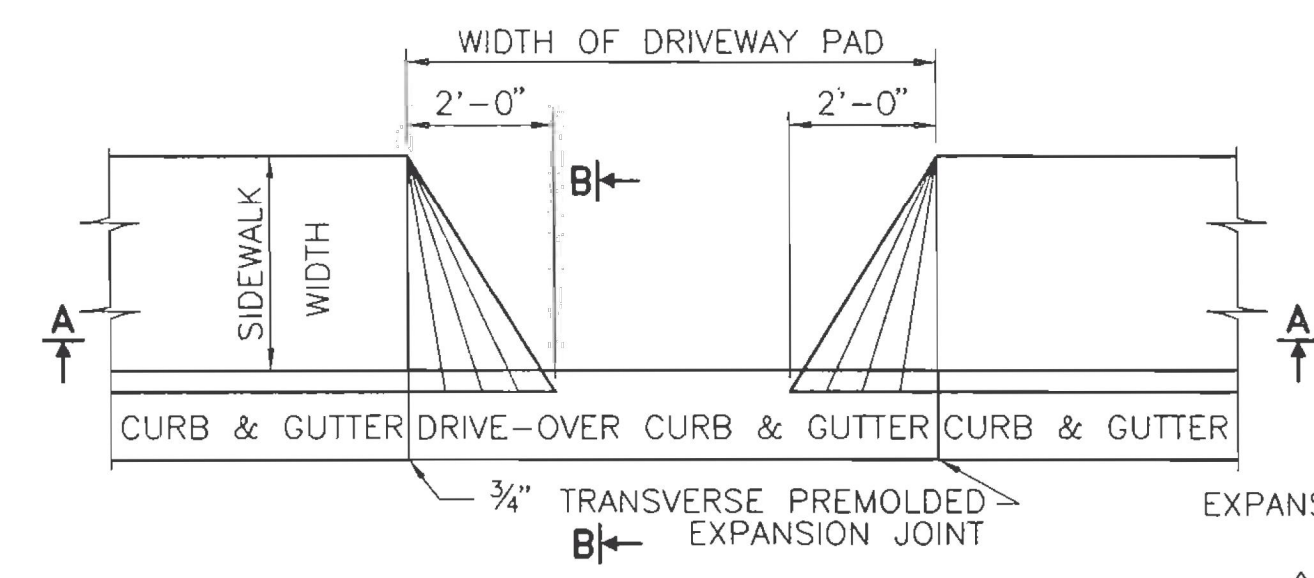
NOTE: NON-SLIP FORMED & SIDEWALKS (SEE NOTE 8)  
SLIP-FORMED (SEE NOTE 7)



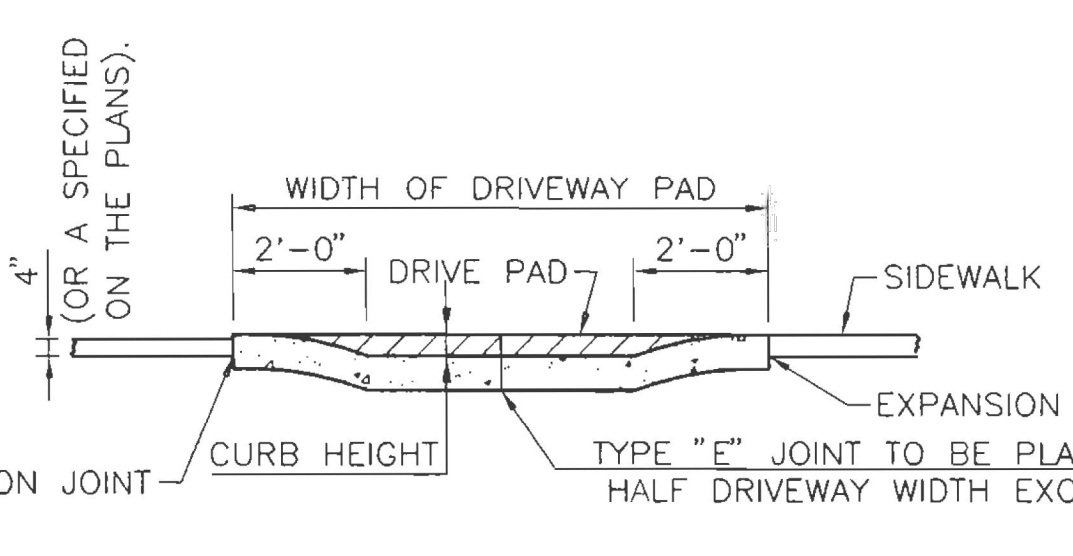
SEALED EXPANSION JOINT



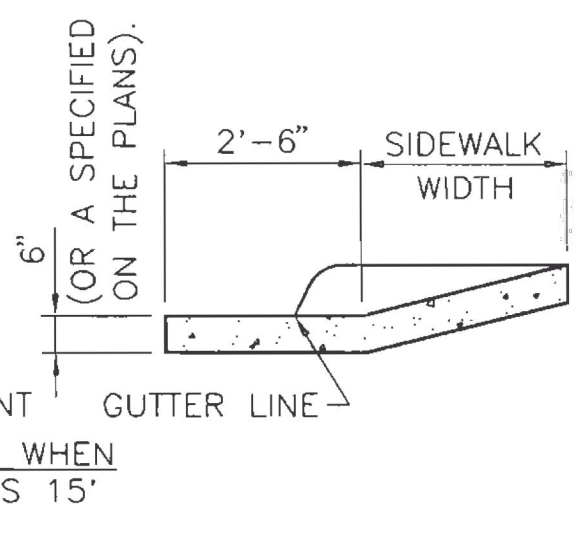
TRANSVERSE CONTRACTION JOINT



PLAN DRIVE PAD



SECTION A-A



SECTION B-B



NO.	DATE	REV. BY	DESCRIPTION
1	9/9/09	YML	ADDED DETAILS

REVISIONS (OR CHANGE NOTICES)

NEW MEXICO  
DEPARTMENT OF TRANSPORTATION  
STANDARD DRAWING

SIDEWALK  
CURB AND GUTTER

DESIGNED BY \_\_\_\_\_ DRAWN BY SKL CHECKED BY YML

609-01-1/1 1 of 1

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EMPIRE SELF STORAGE  
SANTA FE, NEW MEXICO  
CIVIL DETAILS

DXD CAPITAL

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Designed	Drawn	Checked
RJC	CLW	RJC

Date: April 2026

CASE #: #2025-11753 & 11756

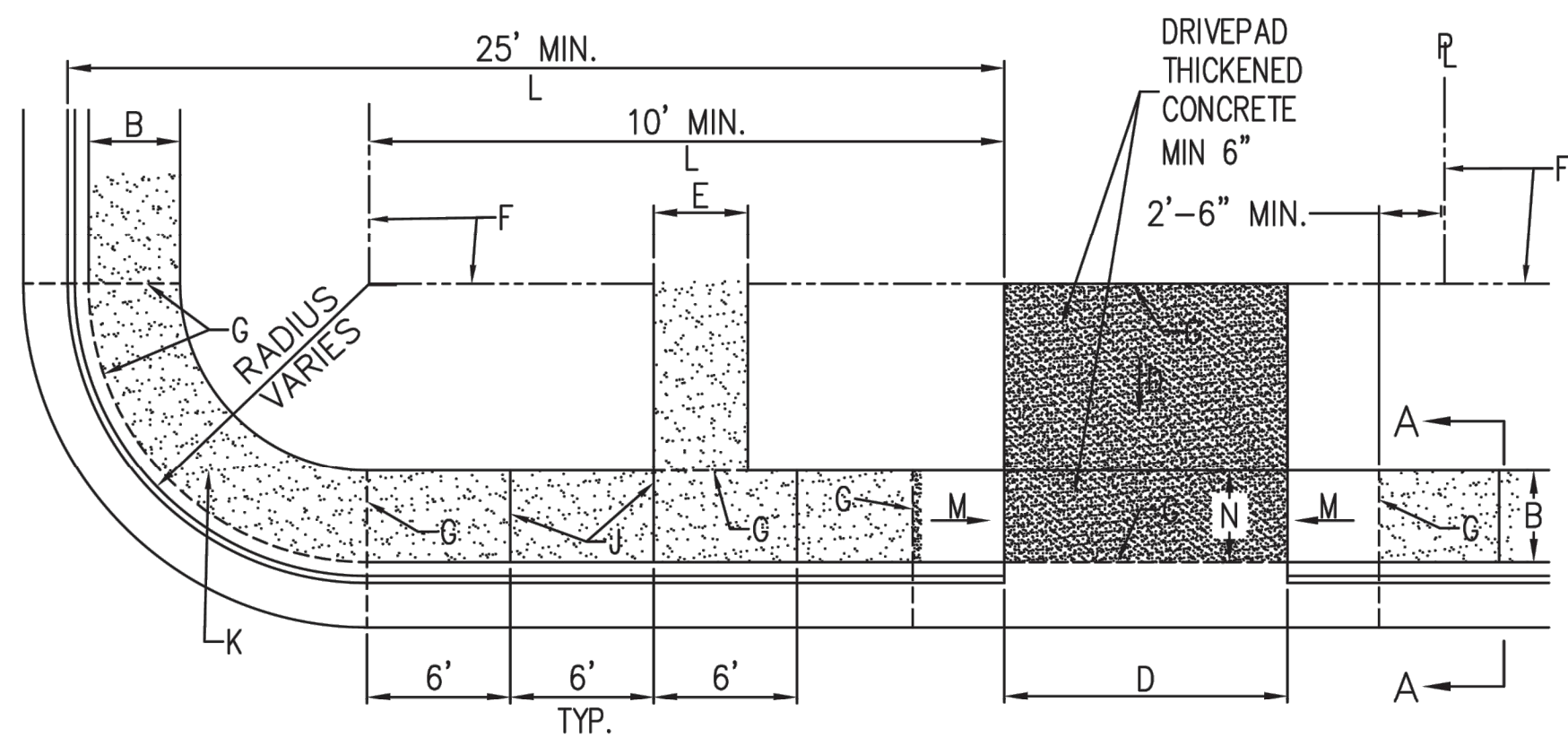
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SHEET NAME:  
**CIVIL DETAILS**

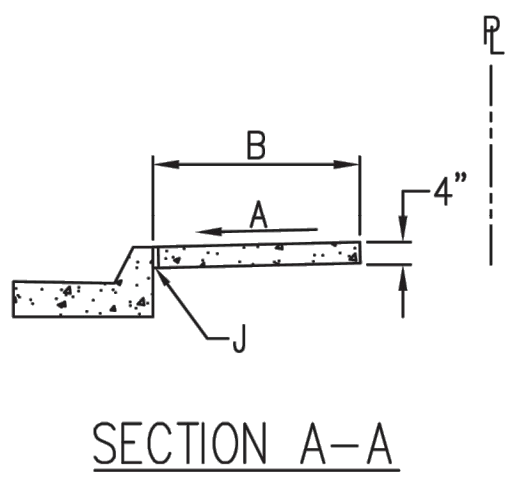
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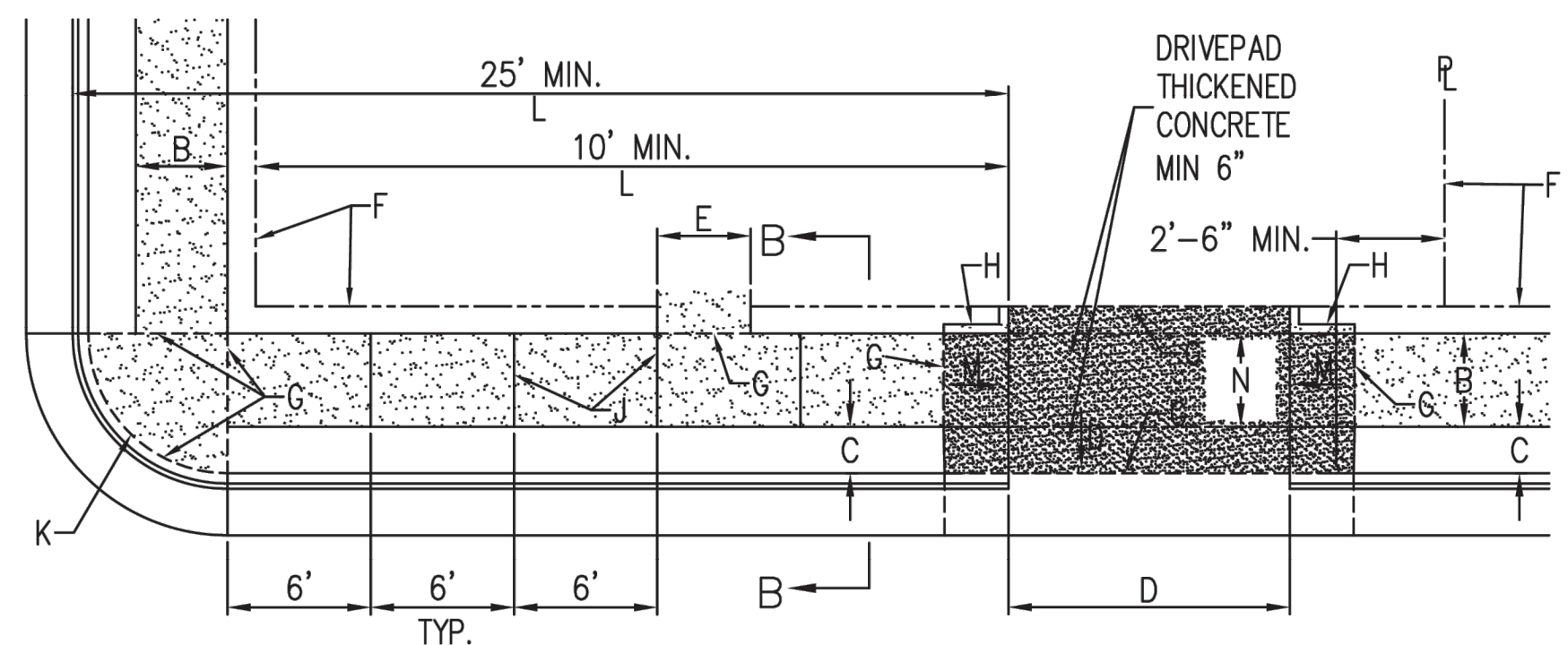
# EMPIRE SELF STORAGE CIVIL DETAILS



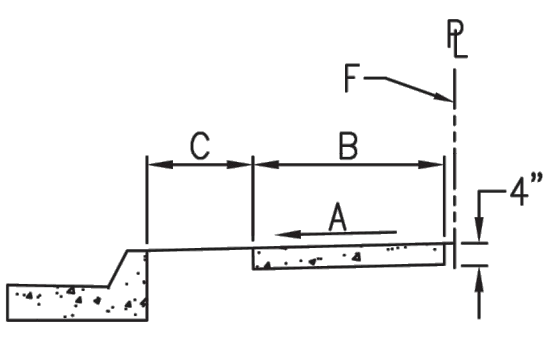
PLAN  
CURB TYPE SIDEWALK



SECTION A-A



PLAN  
OFFSET TYPE SIDEWALK



SECTION B-B

**GENERAL NOTES**

1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
3. FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
4. GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
5. ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
6. PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
7. SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

**CONSTRUCTION NOTES**

- A. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- B. 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
- C. SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
- D. SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
- E. WALKWAY VARIABLE (4' MINIMUM).
- F. PROPERTY LINE.
- G. 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
- H. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
- J. CONTRACTION JOINTS.
- K. FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
- L. CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
- M. RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
- N. ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	SIDEWALK DETAILS
	DWG. 2430 JUNE 2019

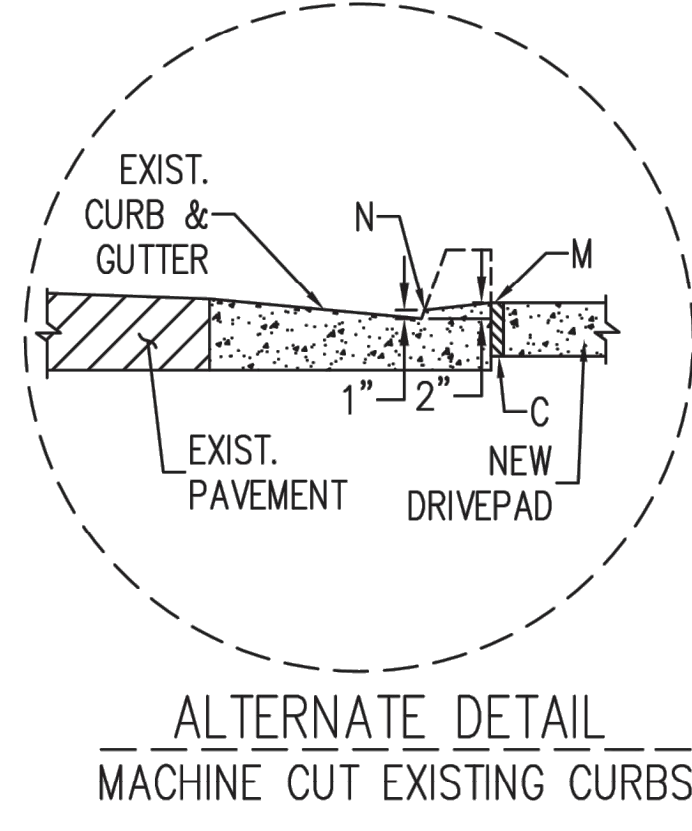
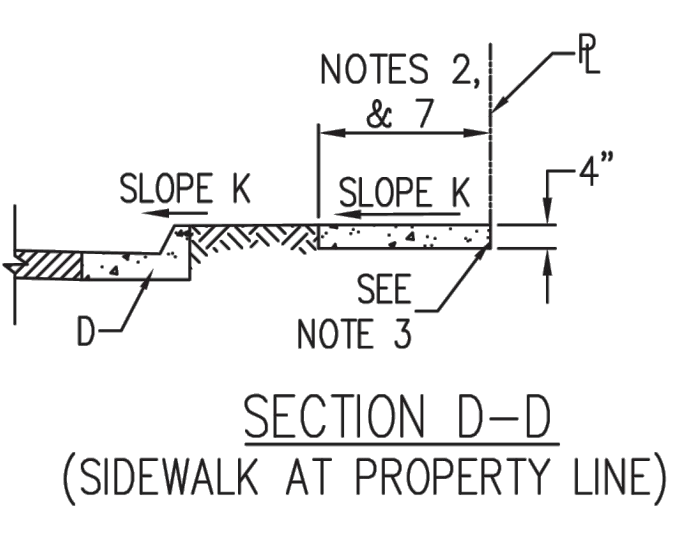
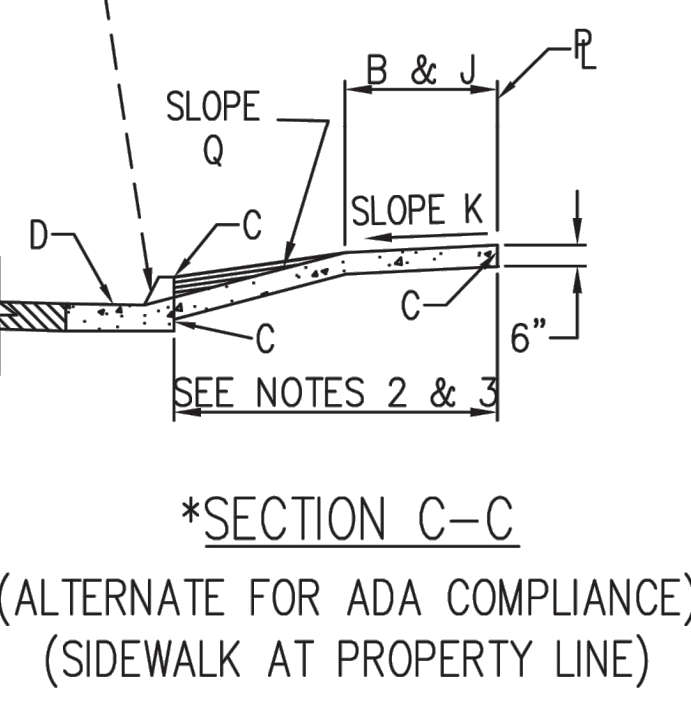
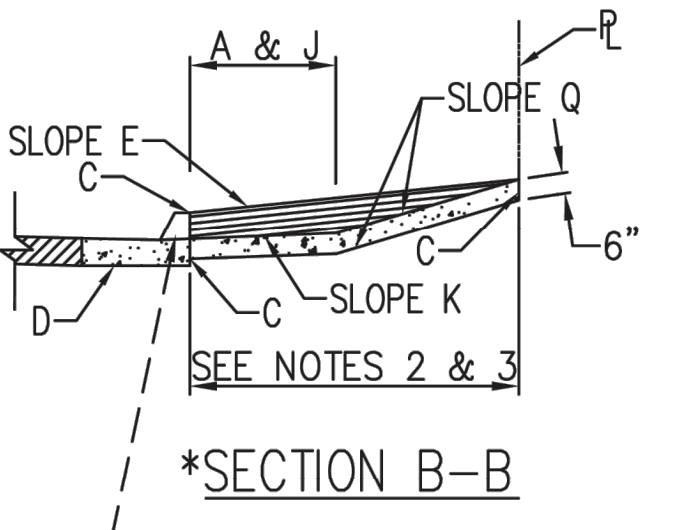
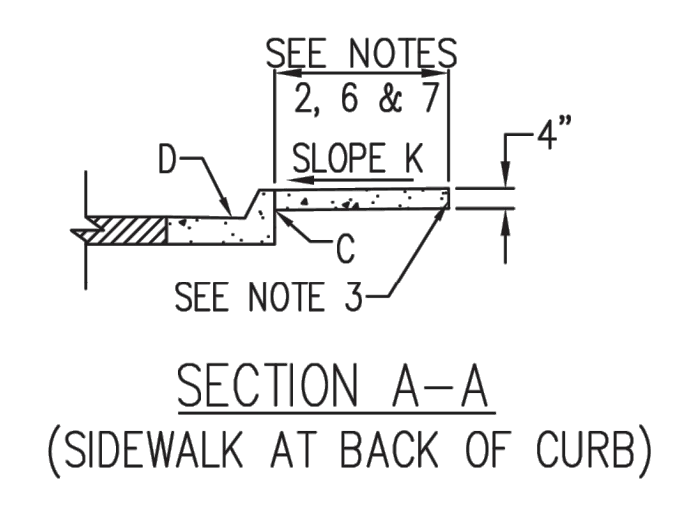
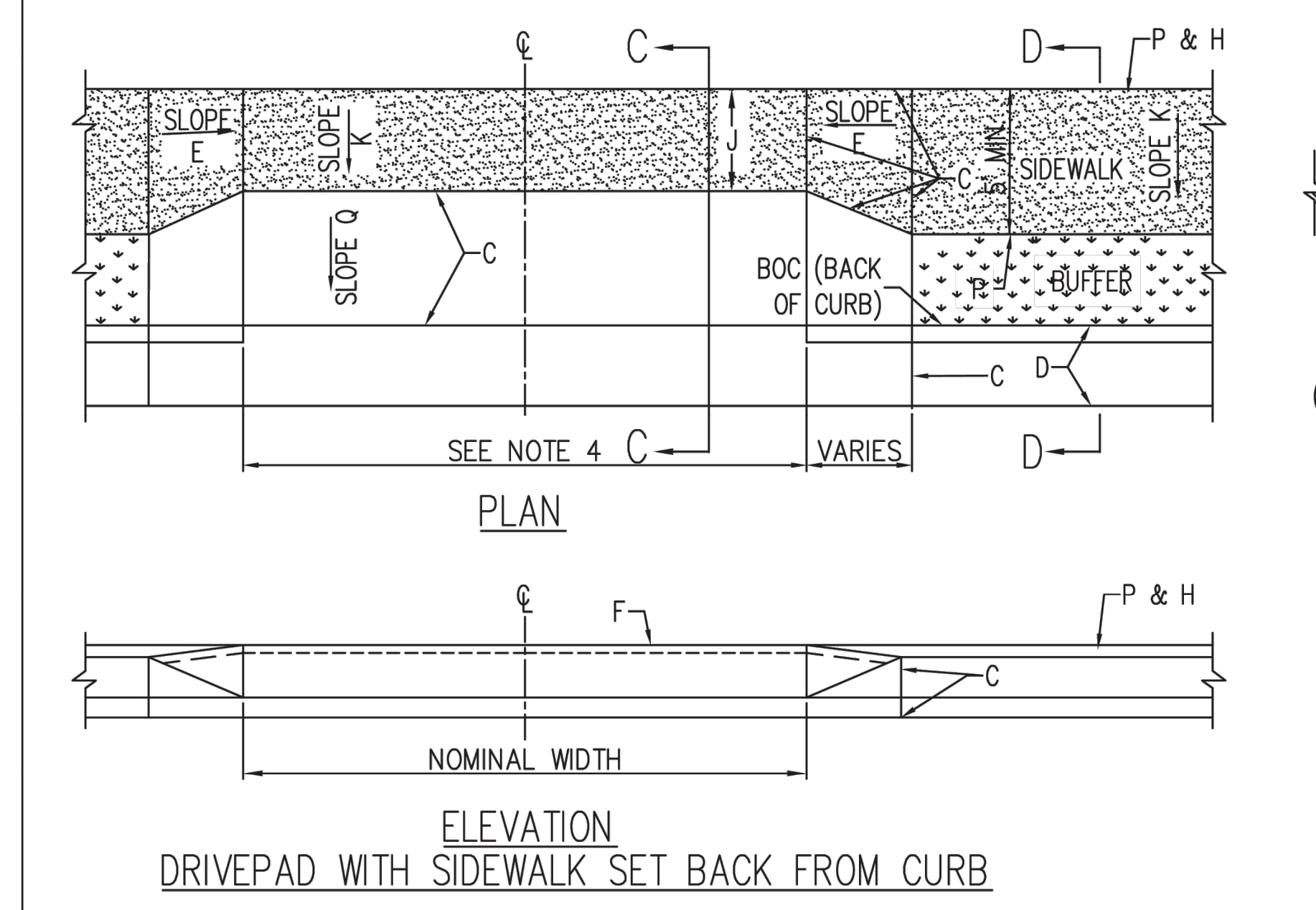
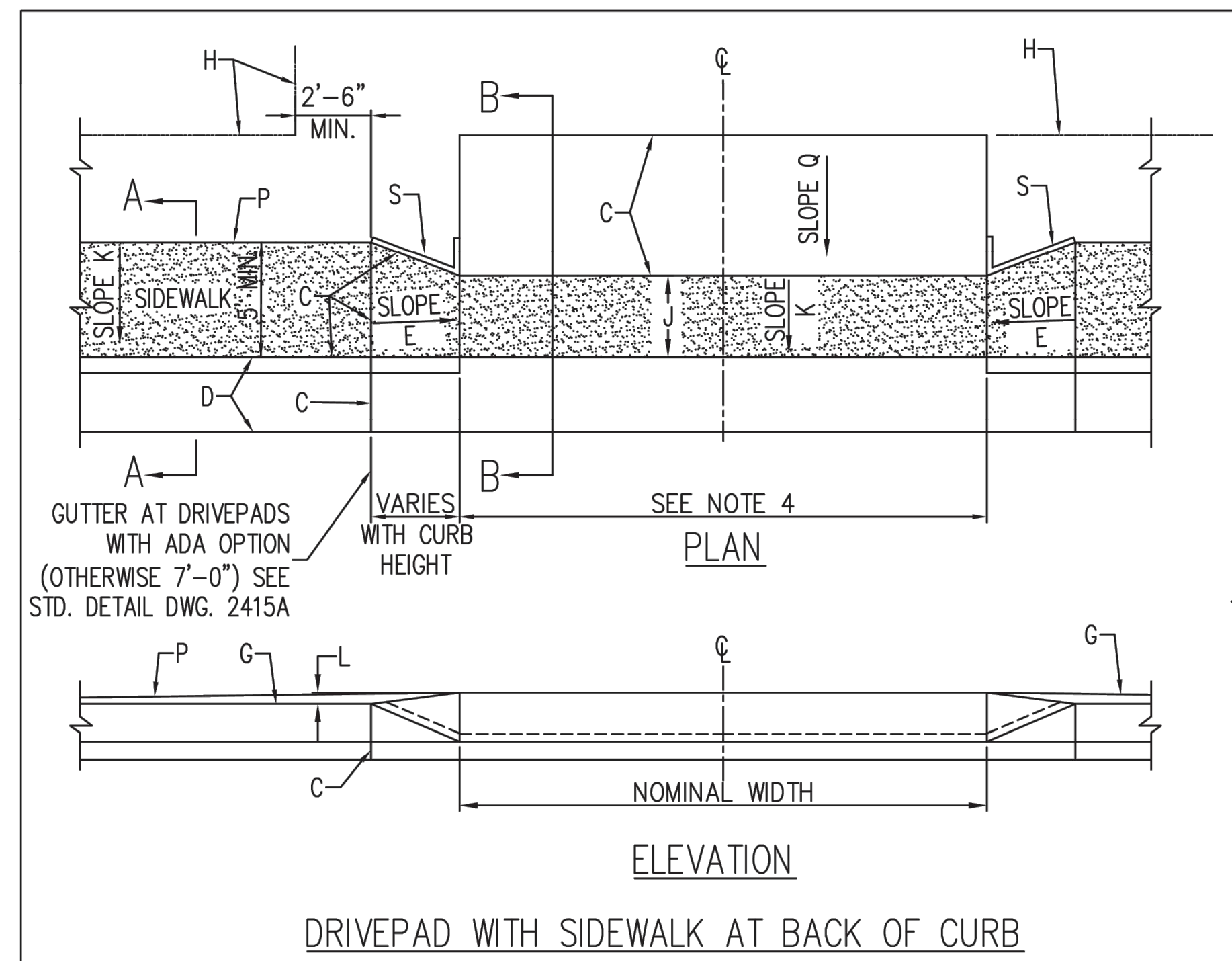
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EMPIRE SELF STORAGE  
SANTA FE, NEW MEXICO  
CIVIL DETAILS

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Designed RJC Drawn CLW Checked RJC  
Date: April 2026

CASE #: #2025-11753 & 11756  
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1750 CERRILLOS RD. SANTA FE, NM 87505  
3 RD BERRY AVE. SANTA FE, NM 87505  
SHEET NAME: CIVIL DETAILS  
SHEET #: C-506  
SHEET # \_\_\_ OF \_\_\_

# EMPIRE SELF STORAGE CIVIL DETAILS



\* USE ONLY WHEN BACK OF CURB TO PROPERTY LINE IS 10' OR MORE. DRIVEPADS WITH LESS THAN 10'-0" IN DEPTH REQUIRE A SPECIAL DESIGN TO BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER. ADDITIONAL RIGHT-OF-WAY OR EASEMENTS SHALL BE OBTAINED IF REQUIRED.

**GENERAL NOTES**

1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. REQUEST FOR SIDEWALK VARIANCES SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW BOARD.
3. USE 1/2" EXP. JT. WHERE SIDEWALK OR DRIVEPAD ABUTS BLDGS., FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
4. ALL DRIVEPADS SHALL BE A MIN. THICKNESS OF 6" AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO P/L. FOR DRIVEWAY WIDTHS, CONSULT CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL.
5. DRIVEPADS WIDER THAN 18' (NOMINAL) SHALL HAVE A 1/2" EXP. JT. AT MIDPOINT. DRIVEPADS WIDER THAN 36' SHALL HAVE 2 OR MORE 1/2" EXP. JTS. EQUALLY SPACED, MAX., SPACING IS 18' APART.
6. SIDEWALK AT THE BACK OF CURB SHALL BE USED ONLY WHEN VARIANCE IS APPROVED.
7. FOR SIDEWALK WIDTH, CONSULT CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL (4' MIN. WIDTH ON ACCESSIBLE ROUTE).
8. SUBGRADE UNDER SIDEWALK & DRIVEPAD SHALL BE COMPACTED AS PER SECTION 301.
9. ADA - AMERICANS WITH DISABILITIES ACT.

**CONSTRUCTION NOTES**

- A. SIDEWALK ADJACENT TO CURB.
- B. OFFSET SIDEWALK.
- C. 1/2" EXPANSION JOINT ADJACENT TO EXISTING CONCRETE OR STRUCTURES ON REPLACEMENT WORK.
- D. CURB AND GUTTER.
- E. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD (NOT TO EXCEED 8.3%, 7% PREFERRED SLOPE).
- F. TOP OF DRIVEPAD.
- G. TOP OF CURB.
- H. PROPERTY LINE/RIGHT-OF-WAY LINE.
- J. 4' MIN SIDEWALK WIDTH.
- K. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- L. THE FINISH GRADE ELEVATION DIFFERENCE BETWEEN TOP OF DRIVEPAD AT PROPERTY LINE AND TOP OF CURB IS DETERMINED BY A 2% MAXIMUM SLOPE, AND ANY DEVIATION FROM THIS SLOPE MUST BE APPROVED BY THE CITY ENGINEER.
- M. SAW CUT EXISTING CONCRETE FROM BACKSIDE OF CURB WITH SLOPE TOWARD FLOWLINE.
- N. EXPOSED CUT EDGES SHALL BE GROUND SMOOTH/ROUNDED TO REMOVE SHARP EDGE.
- P. OUTSIDE EDGE OF SIDEWALK.
- Q. SLOPE REQUIRED TO MEET GIVEN OR SET BOUNDARY ELEVATIONS (PROPERTY LINE OR BOC, ETC.).
- R. FLARED SIDES ARE TO HAVE 10% MAXIMUM SLOPE.
- S. HEADER CURB AS REQUIRED TO MATCH GRADE BEHIND SIDEWALK.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING DRIVEPADS
DWG. 2425A	JUNE 2019

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**EMPIRE SELF STORAGE**  
SANTA FE, NEW MEXICO  
CIVIL DETAILS

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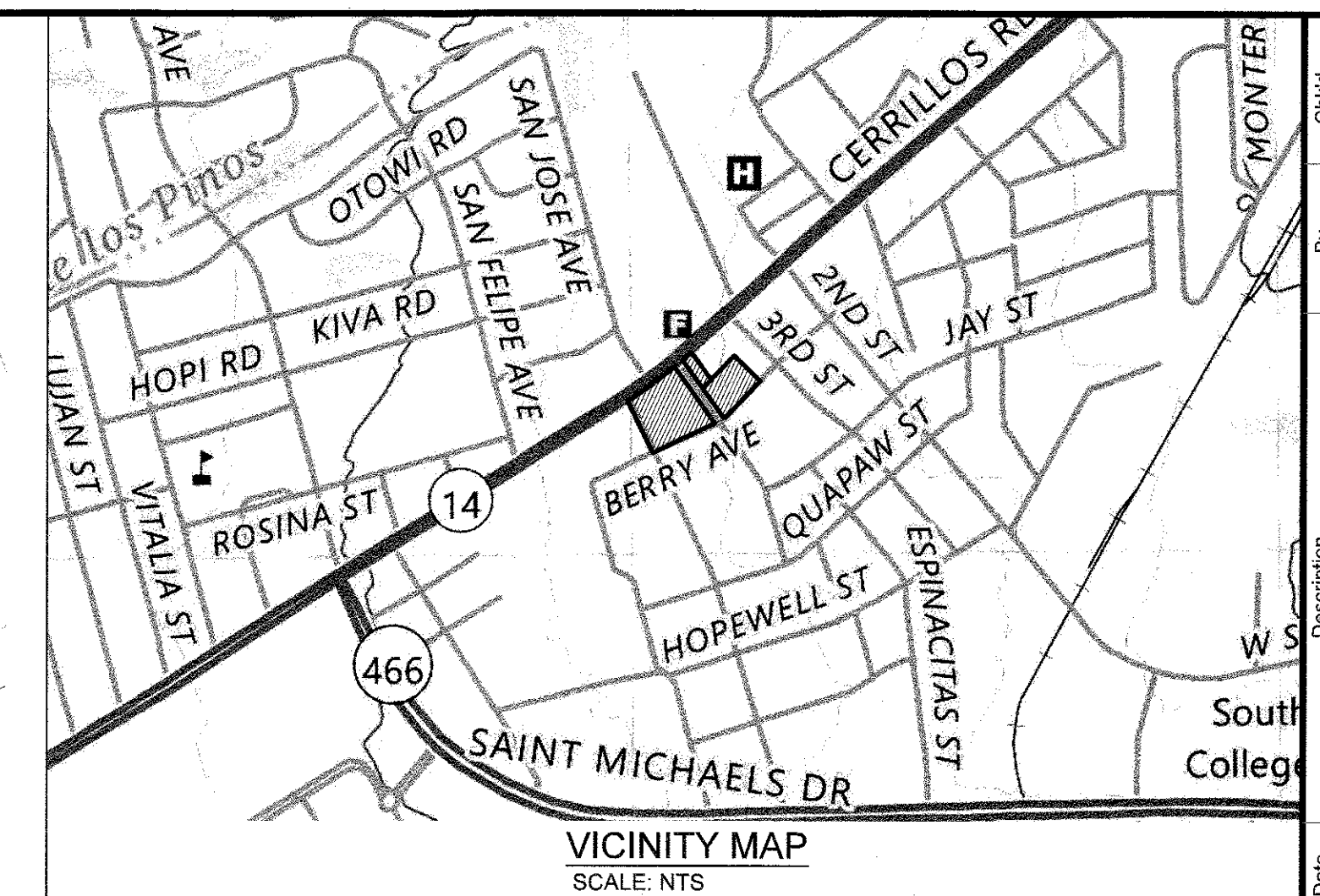
Designed RJC	Drawn CLW	Checked RJC
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Date: April 2026

CASE #:	#2025-11753 & 11756
ADDRESS:	1802 CERRILLOS RD. SANTA FE, NM 87505 1361 FOURTH ST. SANTA FE, NM 87505 1750 CERRILLOS RD. SANTA FE, NM 87505 3 RD BERRY AVE. SANTA FE, NM 87505
SHEET NAME:	<b>CIVIL DETAILS</b>
SHEET #:	<b>C-507</b>
SHEET # ___ OF ___	

# PUBLIC WATER PLAN EMPIRE SELF STORAGE

1802 CERRILLOS RD. SANTA FE, NM 87505  
1361 FOURTH ST. SANTA FE, NM 87505  
1750 CERRILLOS RD. SANTA FE, NM 87505  
3 RD BERRY AVE. SANTA FE, NM 87505



## GENERAL NOTES

- CONTRACTOR SHALL NOTIFY THE CITY OF SANTA FE WATER DIVISION (CoSFD) FIVE (5) DAYS PRIOR TO COMMENCEMENT OF WORK.
- CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CoSFD CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL EASEMENTS SHALL BE DEDICATED, CLEARED, GRADED AND STAKED PRIOR TO WATER LINE INSTALLATION.
- ALL STREETS SHALL BE CUT TO WITHIN ±6" OF FINAL GRADE PRIOR TO WATER LINE INSTALLATION.
- LOT CORNERS SHALL BE STAKED PRIOR TO SERVICE LINE INSTALLATION. CURB, GUTTER AND DRIVEWAY APRON SHALL BE INSTALLED PRIOR TO SERVICE LINE INSTALLATION UNLESS OTHERWISE APPROVED IN WRITING BY CoSFD.
- CONTRACTOR (DEVELOPER) SHALL PROVIDE CONSTRUCTION STAKING UTILIZING THE APPROPRIATE RIGHT-OF-WAY MAPS, SIGNED PLATS AND CoSFD DRAWINGS.
- MATERIAL SUBMITTALS SHALL BE APPROVED BY CoSFD PRIOR TO CONSTRUCTION.
- CONTACT NEW MEXICO ONE CALL AT 811 TWO (2) WORKING DAYS IN ADVANCE OF CONSTRUCTION FOR UTILITY SPOTS.
- PRESSURE REGULATORS SHALL BE INSTALLED ON ALL SERVICES DOWNSTREAM FROM THE METER.
- 4 FEET COVER TO TOP OF PIPE SHALL BE MAINTAINED ON ALL WATER MAINS AND SERVICES.
- CONTRACTOR SHALL SUBMIT AS-BUILT CONSTRUCTION PACKET WITHIN FIVE (5) DAYS OF COMPLETION OF CONSTRUCTION INCLUDING: VALVE TIES, AS-BUILT DRAWINGS (INCLUDING BUT NOT LIMITED TO FITTING MEASUREMENTS, SERVICE-TO-SERVICE MEASUREMENTS, CENTER OF MAIN TO CENTER OF SERVICE MEASUREMENTS, LENGTH OF MAIN INSTALLED, FITTINGS INSTALLED, ETC) AND POTABILITY RESULTS.
- ALL VALVE BOXES SHALL BE BROUGHT UP TO GRADE OF THE FINAL PAVING MATERIAL SO THAT THE CONCRETE IS EXPOSED.
- FIRE HYDRANTS SHALL BE NUMBERED USING REFLECTIVE NUMERALS. THE REFLECTIVE NUMERALS SHALL BE OBTAINED BY THE CONTRACTOR FOR THE CoSFD FIELD REPRESENTATIVE AT THE TIME THE NOTICE TO PROCEED (NTP) IS ISSUED. NUMBERS SHALL BE LEGIBLE FROM THE ROAD PRIOR TO INSTALLING NUMBERS. FIRE HYDRANTS SHALL BE PAINTED.
- A MECHANICAL RESTRAINT SYSTEM SHALL BE UTILIZED ON FITTINGS AND PIPING FOR THRUST RESTRAINT. CONCRETE THRUST BLOCKING SHALL BE USED ONLY FOR SPECIAL CONDITIONS (E.G. CAPS WHERE MAIN WILL BE EXTENDED IN THE FUTURE) AS SPECIFICALLY APPROVED BY CoSFD.
- ANY FIELD CHANGES TO THESE PLANS REQUIRE APPROVAL OF BOTH THE DESIGN ENGINEER AND THE CoSFD.
- WORK ON CoSFD FACILITIES SHALL NOT BEGIN UNTIL CoSFD HAS ISSUED A NTP TO THE APPROVED UTILITY CONTRACTOR.
- ANY AND ALL EASEMENTS FOR THE CITY-OWNED INFRASTRUCTURE SHALL BE OBTAINED/VERIFIED AND RECORDED BY DEVELOPER BEFORE PROJECT COMMENCEMENT. CONTRACTOR SHALL VERIFY THE EASEMENT IS IN PLACE BEFORE INSTALLING ANY INFRASTRUCTURE.
- METERS CANS AND HOT BOXES TO HAVE 5' UNOBSTRUCTED CLEARANCE AROUND ALL SIDES.

RECORD MAPPING	
INITIALS	DATE
AS BUILT	___/___/___
VALVE MAPS	___/___/___
GIS (MAPPING)	___/___/___
Inspector approved	___/___/___

THIS RECORD DRAWING HAS BEEN COMPLETED ON A COPY OF THE SEALED ENGINEERING DRAWING FOR THIS PROJECT. THE INFORMATION SHOWN HEREON IS BELIEVED TO BE ACCURATE BASED ON LIMITED FIELD OBSERVATION DURING CONSTRUCTION, AS WELL AS DATA FURNISHED BY THE INSTALLER.

ENGINEER: Ryan J. Curley PE DATE: 4-15-26

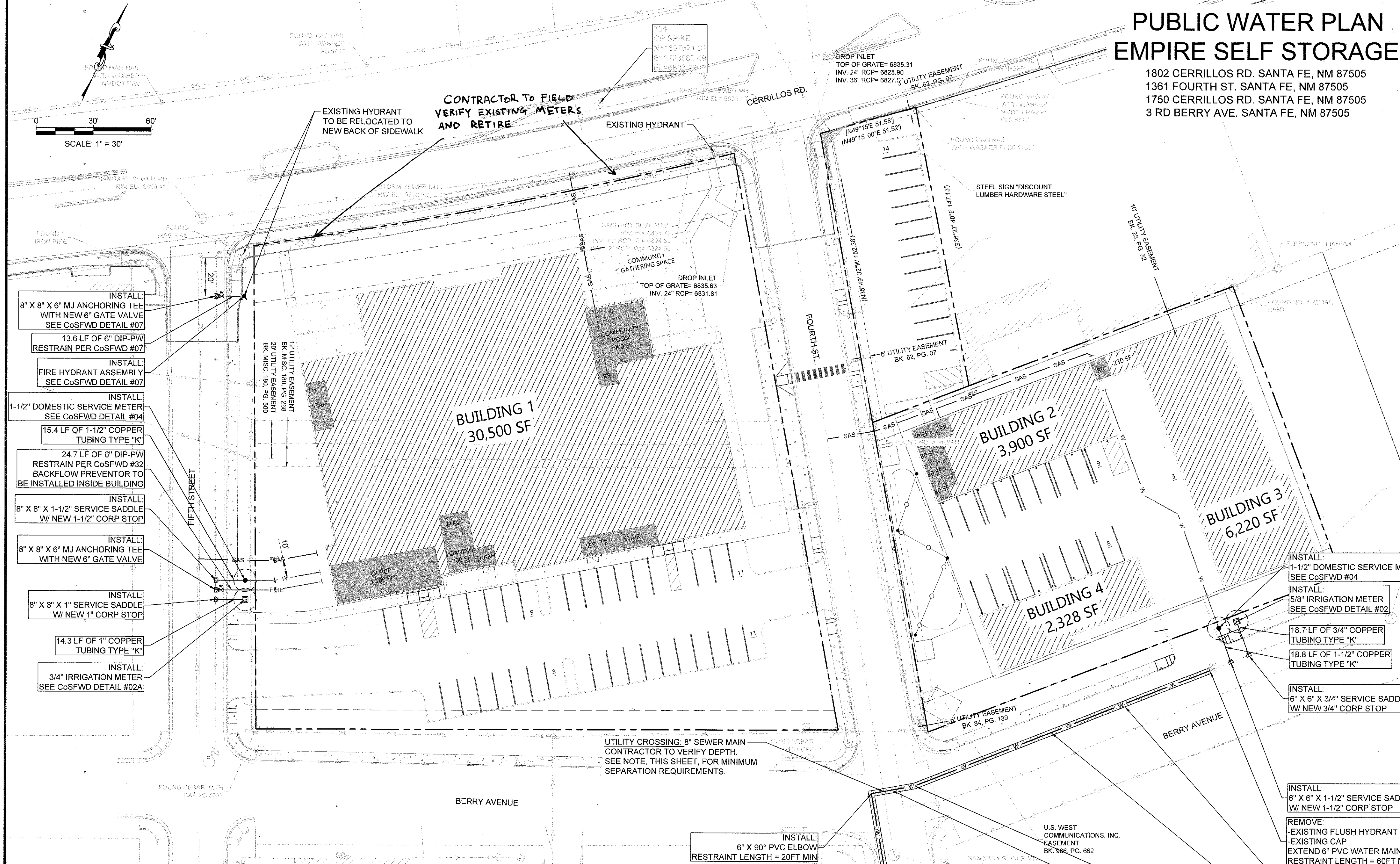
INSPECTOR: \_\_\_\_\_ DATE: 2026

APPROVED: [Signature] 4-15-26

CITY OF SANTA FE WATER DIVISION

SANTA FE FIRE DEPARTMENT

AERIAL: J-17 TOWNSHIP RANGE SECTION: T17N,R9E,SEC34 WORK ORDER NO. \_\_\_\_\_



### FIRE SERVICE DESIGN TABLE

SERVICE SIZE	REQ'D FLOW* GPM	RESIDUAL PRESSURE* PSI	BUILDING(S) SERVED
6"	650 GPM	80 PSI	BUILDING 1

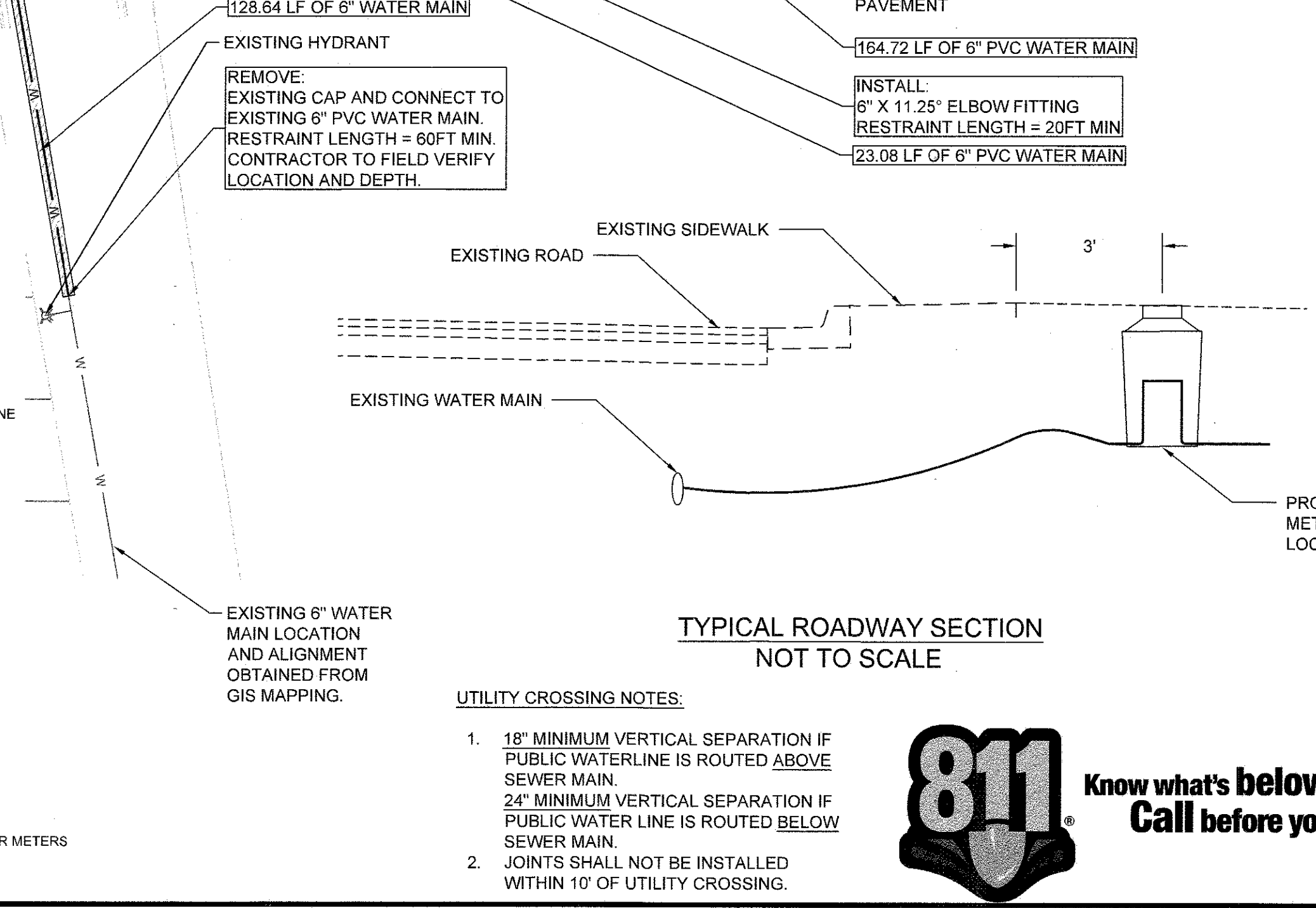
\* ALL FIRE SERVICES SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE MEETING THE REQUIREMENTS OF THE CoSFD DESIGN CRITERIA, LATEST VERSION. REQUIRED FLOW RATE SHALL NOT EXCEED MANUFACTURER'S RATED CAPACITY FOR BACKFLOW PREVENTION DEVICE TO BE USED.  
\* TESTING, INSPECTION, AND MAINTENANCE OF PRIVATE FIRE HYDRANTS, BACKFLOW PREVENTERS AND OTHER FIRE SERVICE APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL COMPLY WITH ALL CoSFD, SFFD, AND NFPA REQUIREMENTS.  
\* REQUIRED FLOW RATE:  
- FOR FIRE SERVICE LINES SERVING ONLY AUTOMATIC FIRE SPRINKLER SYSTEMS, INCLUDE ONLY THE REQUIRED FLOW RATE OF SPRINKLER SYSTEM TO BE SERVED.  
- FOR FIRE SERVICE LINES THAT WILL BE SERVING PRIVATE FIRE HYDRANTS (WITH OR WITHOUT AUTOMATIC FIRE SPRINKLER SYSTEMS), INCLUDE THE REQUIRED FLOW RATE FOR THE SITE AS DETERMINED BY APPENDIX B OF THE INTERNATIONAL FIRE CODE, LATEST VERSION ADOPTED BY THE CITY OF SANTA FE FIRE DEPARTMENT (SFFD).  
\* RESIDUAL PRESSURE LISTED SHALL BE CALCULATED AT THE REQUIRED FLOW RATE AT THE POINT OF CONNECTION TO THE MAIN AS DETERMINED BY THE CoSFD'S WATER MODEL OR FIELD TEST. RESIDUAL PRESSURES LESS THAN 20 PSI ARE NOT PERMITTED.

### DOMESTIC & IRRIGATION WATER SERVICE TABLE

SERVICE ADDRESS	STREET NAME	SERVICE SIZE & TYPE (DS OR IR)	METER SIZE
1750 CERRILLOS RD.	FIFTH STREET	1-1/2" DS	1-1/2"
3 RD BERRY AVE.	BERRY AVENUE	1-1/2" DS	1-1/2"
1750 CERRILLOS RD.	FIFTH STREET	1" IR	3/4"
3 RD BERRY AVE.	BERRY AVENUE	3/4" IR	5/8"

### LEGEND

<b>EXISTING</b>	<ul style="list-style-type: none"> <li>△ SURVEY CONTROL POINT, AS NOTED</li> <li>○ FOUND PROPERTY CORNER, AS NOTED</li> <li>□ FOUND BRASS CAP, AS NOTED</li> <li>+ FOUND CHISELED X</li> <li>⊙ FOUND PK NAIL, AS NOTED</li> <li>⊙ SANITARY SEWER MANHOLE</li> <li>⊙ STORM DRAIN MANHOLE</li> <li>⊙ TELECOM MANHOLE</li> <li>⊙ WATER VALVE</li> <li>⊙ WATER METER</li> <li>⊙ BOLLARD</li> <li>⊙ TELECOM PEDESTAL</li> <li>⊙ GAS METER</li> <li>⊙ ELECTRIC BOX</li> <li>⊙ FIRE HYDRANT</li> <li>⊙ ELECTRIC METER</li> <li>⊙ SANITARY SEWER CLEAN OUT</li> <li>⊙ LIGHT POLE</li> <li>⊙ MAILBOX</li> <li>⊙ SIGN</li> <li>⊙ STOP SIGN</li> <li>⊙ SIGN STOP AHEAD</li> <li>⊙ UTILITY POLE</li> <li>⊙ UTILITY POLE GUY WIRE</li> <li>⊙ FF-0.00 BUILDING FINISHED FLOOR ELEVATION</li> </ul>	<ul style="list-style-type: none"> <li>— TRAFFIC LIGHT MAST</li> <li>— CMU BLOCK WALL</li> <li>— PROPERTY LINE</li> <li>— ADJOINING PROPERTY LINE</li> <li>— EASEMENT LINE</li> <li>— WATERLINE</li> <li>— SANITARY SEWER LINE</li> <li>— UNKNOWN UNDERGROUND LINE</li> <li>— UNDERGROUND COMMUNICATION LINE</li> <li>— PIPE FENCE</li> <li>— CHAIN LINK FENCE</li> <li>— OVERHEAD ELECTRIC LINE</li> <li>— BUILDING OVERHANG</li> <li>— UNDERGROUND GAS LINE</li> <li>— SETBACK LINE</li> <li>— 2 POST SIGN</li> </ul>
<b>PROPOSED</b>	<ul style="list-style-type: none"> <li>— NEW DOMESTIC WATER SERVICE</li> <li>— NEW FIRE SERVICE</li> <li>— NEW SANITARY SEWER</li> <li>— NEW GATE VALVE</li> <li>— NEW IRRIGATION METER</li> <li>— NEW WATER METER</li> <li>— NEW FIRE HYDRANT</li> <li>— 5' METER SPACING BETWEEN WATER METERS</li> </ul>	



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ALBUQUERQUE, NM  
EMPIRE SELF STORAGE  
SANTA FE, NEW MEXICO  
WATER PLAN

RYAN J. CURLEY  
NEW MEXICO  
2026  
PROFESSIONAL ENGINEER

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

**GENERAL NOTES**

- ALL CONSTRUCTION WORK TO BE IN ACCORDANCE THESE DRAWINGS AND PER NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION.
- ALL QUANTITIES SHOWN ARE FOR CONVENIENCE. CONTRACTOR SHALL BE RESPONSIBLE FOR QUANTITY TAKEOFFS.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL SUBCONTRACTORS.
- CONTRACTOR SHALL BE FAMILIAR WITH PLANS, DETAILS AND SPECIFICATIONS AS THEY PERTAIN TO THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE IF ANY ITEMS CONTAINED WITHIN THE SCOPE OF WORK DEFINED HEREIN, ARE IN CONFLICT WITH PROPOSED CONTRACT. A MEETING WILL BE HELD WITH THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT TO RESOLVE ANY CONFLICTS.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS, DESIGNATED TRAFFIC LANES, OR PEDESTRIAN TRAFFIC. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE PUBLIC RIGHT-OF-WAY. SEE SHEET SHEET G-3019 FOR PRE-APPROVED STAGING/ STORAGE AREAS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT HORIZONTAL AND VERTICAL CONTROL SURVEY MONUMENTS (MARK) FROM DAMAGE PRIOR TO INITIATING CONSTRUCTION. IF DURING THE COURSE OF CONSTRUCTION OPERATIONS, THE CONTRACTOR DISTURBS OR DESTROYS A MARK, THE CONTRACTOR SHALL ESTABLISH A NEW MARK IN COMPLIANCE WITH THE STANDARDS AND PROCEDURES SET FORTH IN THE "GEODETIC MARK PRESERVATION GUIDEBOOK", NATIONAL GEODETIC SURVEY, MARCH 1990, CONTACT: NGS MARK PRESERVATION CENTER - NOAA, RC - 325 BROADWAY - BOULDER, CO 80303 - TELEPHONE (303) 497-6530, FTS 320-6530. NO ADDITIONAL FEES SHALL BE PAID FOR THIS WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITIES AND INFRASTRUCTURE. EXISTING UTILITY LINES ARE TO BE BLUE STAKED PRIOR TO ANY EXCAVATION. CHECK AND FIELD VERIFY ALL SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO EXCAVATION. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT NEW MEXICO 811 OR (811) 260-1990 FOR LOCATION OF EXISTING UTILITIES. IF PROBLEMS ARE DISCOVERED, CONTACT OWNER'S REPRESENTATIVE TO DETERMINE COURSE OF ACTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION. FEES (IF ANY) FOR ALL PERMITS SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD CHECKING LOCATION, ELEVATIONS, AND DIMENSIONS OF ALL FORM WORK FOR COMPLIANCE PRIOR TO INSTALLATION OF CONCRETE. THE OWNER RESERVES THE RIGHT TO INSPECT ANY FEATURES AND APPURTENANCES AT ANY TIME BEFORE FINAL COMPLETION OF THE PROJECT AND TO HAVE THE CONTRACTOR REMOVE, REPLACE, AND/OR CORRECT ANY WORK THAT IS NOT IN COMPLIANCE AT THE CONTRACTOR'S EXPENSE, AS DETERMINED BY THE OWNER'S REPRESENTATIVE; HOWEVER, FINAL RESPONSIBILITY FOR CORRECT INSTALLATION LIES WITH THE CONTRACTOR.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS INCLUDING N.P.D.E.S. REGULATIONS.

**NO VEGETATION ON EXISTING SITE**

- FOR THE PURPOSES OF LANDSCAPE REQUIREMENT CALCULATIONS, THERE IS NO EXISTING VEGETATION TO ACCOUNT FOR ON THE CURRENT SITE.



**GENERAL IRRIGATION NOTES**

- WORK CONSISTS OF INSTALLING AN UNDERGROUND IRRIGATION SYSTEM THAT UTILIZES NEW MAINLINE, DRIP SYSTEMS, ZONE VALVES, AND PIPING AS SHOWN ON THESE PLANS, DETAILS AND SPECIFICATIONS. THE CONTRACTOR PERFORMING THIS WORK SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND PERMITS NECESSARY FOR THE COMPLETION OF THE IRRIGATION SYSTEM, EXCEPT FOR THOSE COMPONENTS SPECIFIED TO BE FURNISHED BY OTHERS.
- THE IRRIGATION SYSTEM IS DESIGNED FOR AN APPROXIMATE OPERATING PRESSURE OF 50 PSI AND AVAILABLE FLOW OF 12 GPM AT THE POINT OF CONNECTION. CONTRACTOR SHALL FIELD VERIFY PRESSURE PRIOR TO INITIATION OF CONSTRUCTION. THIS INFORMATION SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR APPROVAL, PRIOR TO PROCEEDING.
- ALL NEW PLANT MATERIALS SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEMS AS PER PLANS, DETAILS AND AS PER THE SPECIFICATIONS, LANDSCAPE IRRIGATION, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- FLUSH ALL LINES AND VALVES PRIOR TO INSTALLING HEADS OR DRIP EMITTERS .
- IRRIGATION PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE OF DRAWINGS. THE DESIGN INTENT IS TO HAVE ALL IRRIGATION PIPING IN THE LANDSCAPE AREAS, SOME OF THOSE LINES ARE SHOWN OUTSIDE OF THOSE AREAS FOR GRAPHIC CLARITY. ALL VALVES SHALL BE LOCATED IN PLANTING AREAS WHERE SHOWN AND ALL PIPING SHALL BE INSTALLED PRIOR TO LANDSCAPING OR PAVING WORK. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING. CAP ALL ENDS HAND TIGHT, PRIOR TO BACK FILL.
- CONTRACTOR TO PROTECT ALL EXISTING TREE AND SHRUB ROOT ZONES WHEN TRENCHING. THERE SHALL BE NO MECHANICAL TRENCHING WITHIN DRIP LINE OF TREES. ANY EXCEPTIONS WILL NEED TO BE SUBMITTED TO LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR APPROVAL. EXISTING TREES INCLUDE THOSE SHOWN ON THE PLANS, AS WELL AS THOSE NOT IDENTIFIED ON THE SURVEY.
- COMPLY WITH REQUIREMENTS AND ORDINANCES OF THE UNIFORM PLUMBING CODE, BERNALILLO COUNTY, AND OTHER GOVERNMENTAL BODIES HAVING JURISDICTION PERTAINING TO LANDSCAPE IRRIGATION.
- REFER TO NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND MANUFACTURERS RECOMMENDATIONS FOR ALL INSTALLATION PROCEDURES NOT FULLY DESCRIBED ON THE IRRIGATION PLANS.
- ALL BACK FILLING SHALL BE CLEAN MATERIAL FROM EXCAVATION. BACK FILLED TRENCH IS TO BE EVEN WITH EXISTING GRADES AFTER COMPACTION.
- TRENCH BACK FILL MATERIAL SHALL BE COMPACTED TO 85% MOD PROCTOR DENSITY IN 6" LIFTS. BACK FILLING OF TRENCHES AND PLANTING BEDS SHALL NOT PROCEED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
- AS-BUILT RECORD IRRIGATION DRAWINGS TO BE FURNISHED BY CONTRACTOR PRIOR TO FINAL ACCEPTANCE. A LAMINATED HALF SIZE COPY OF THE IRRIGATION PLANS SHALL BE PROVIDED TO THE OWNER AT THE CONCLUSION OF CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIALS INSTALLED SHALL HAVE THE AUTOMATIC IRRIGATION SYSTEM FULLY OPERABLE AT THE TIME OF PLANT INSTALLATION UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL IRRIGATION PIPING LOCATED UNDER PAVED AREAS OR GRAVELED VEHICULAR PATHS SHALL BE SLEEVED, AND AS SHOWN ON THE PLANS.
- ALL MAINLINE, WIRING, VALVES AND VALVE BOXES SHALL NOT BE LOCATED WITHIN FLOOD IRRIGATED AREAS INCLUDING SWALE OR PONDING AREAS. ALL WIRING SHALL BE SLEEVED IN A SEPARATE SLEEVE.
- CONTRACTOR SHALL PROVIDE APPROPRIATELY SIZED VALVE WIRING BASED ON ACTUAL DISTANCES AND DEMAND CONSTRUCTED.
- FIELD STAKE ALL LATERAL AND MAIN LINE PLACEMENT FOR APPROVAL BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO TRENCHING.
- CONTRACTOR SHALL INSTALL ALL IRRIGATION EQUIPMENT AS SPECIFIED IN THE PLAN OR APPROVED EQUAL.
- FIELD WIRING SHALL BE INSTALLED IN SAME TRENCH AS PRESSURE MAIN LINE, WIRE SHALL NOT BE STRETCHED TIGHT. VALVE WIRE SHALL BE STANDARD COLORS & LABELED AT CONTROLLER AND IN VALVE BOX. CONNECTIONS AT VALVES MUST BE MADE WITH DRI-SPLICE CONNECTORS. CONNECTORS MUST BE READY FILLED FROM FACTORY WITH SILICONE.
- ALL COMPONENTS INSTALLED AS PART OF THE UNDERGROUND IRRIGATION SYSTEM ARE TO BE NEW AND IN GOOD WORKING ORDER AND WITHOUT FLAWS UNLESS OTHERWISE INDICATED ON THE PLANS, DETAILS AND SPECIFICATIONS. ALL EXISTING COMPONENTS INTEGRATED INTO NEW IRRIGATION SYSTEM TO BE TESTED AND CONFIRMED TO BE IN GOOD WORKING ORDER.
- CONTRACTOR SHALL PERFORM AN INSPECTION WITH THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE OF THE COMPLETED IRRIGATION SYSTEM UPON COMPLETION OF CONSTRUCTION TO ENSURE IRRIGATION SYSTEM IS IN GOOD WORKING ORDER.

**TEMPORARY IRRIGATION FOR SEEDED AREAS**

- TEMPORARY IRRIGATION SHALL BE INCLUDED FOR ALL RECLAMATION SEEDED AREAS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF THE TEMPORARY IRRIGATION SYSTEM. CONTRACTOR SHALL SUBMIT A TEMPORARY IRRIGATION PLAN FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
- WATER NATIVE SEEDED AREAS WITH FINE SPRAY AT A MINIMUM RATE OF 1" PER WEEK, APPLIED 2 TIMES DAILY UNTIL TWO WEEKS AFTER GERMINATION, AND AT LEAST THREE TIMES WEEKLY FOR AN ADDITIONAL FOUR WEEKS, UNLESS RAINFALL PRECIPITATION IS ADEQUATE. THEREAFTER WATER AT LEAST ONCE PER WEEK FOR AN ADDITIONAL 6 MONTHS MIN.

**PLANTING NOTES**

- THE LANDSCAPE PLANS SHALL COMPLY WITH DONA ANA COUNTY LANDSCAPE REQUIREMENTS.
- PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. THE SUBSTITUTION OF MATERIALS DIFFERING IN KIND, QUALITY OR SIZE FROM THAT SPECIFIED WILL BE ALLOWED ONLY AFTER THE ARCHITECT IS CONVINCED THAT ALL MEANS OF OBTAINING THE SPECIFIED MATERIALS HAVE BEEN EXHAUSTED. CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE THAT ALL MATERIALS NECESSARY TO COMPLETE THE PROJECT AS SPECIFIED HAVE BEEN LOCATED AND ALL REQUESTS FOR SUBSTITUTIONS MUST BE SUBMITTED NO LATER THAN 2 WEEKS PRIOR TO THE INITIATION OF CONSTRUCTION.
- PLANT MATERIAL QUALITY, SIZE AND CONDITION SHALL BE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK, MOST CURRENT EDITION, AS PUBLISHED BY AMERICAN HORT.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. ALL PLANTS SHALL HAVE NORMAL, WELL DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, SUNSCALD INJURIES, PLANT DISEASES, INSECT EGGS, BORES AND ALL OTHER FORMS OF INFECTIONS.
- UNLESS OTHERWISE STATED ON THE DRAWINGS OR APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT, ALL PLANTS SHALL BE NURSERY GROWN AND SHALL BE TAGGED WITH NURSERY LABELS INDICATING SPECIES AND VARIETY.
- OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT SHALL INSPECT ALL PLANT MATERIAL AT THE CONTRACTOR'S YARD PRIOR TO DELIVERY, DURING PLANTING AND AFTER PLANTING AT THE JOB SITE. AT THE OPTION OF THE CONTRACTOR, THE OWNER'S REPRESENTATIVE WILL INSPECT PLANT MATERIAL AT A WHOLESALE NURSERY OF THE CONTRACTOR'S CHOICE, WITHIN 60 MILES OF THE PROJECT SITE, PRIOR TO DELIVERY OF MATERIALS TO THE CONTRACTOR'S YARD.
- THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT SHALL BE THE JUDGE OF THE QUALITY AND ACCEPTABILITY OF ALL PLANT MATERIALS. ALL REJECTED MATERIAL SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND REPLACED WITH ACCEPTABLE MATERIAL AT NO ADDITIONAL COST TO OWNER.
- PLANTS NOT WATERED ON THE SAME DAY AS PLANTED WILL BE REJECTED AND NO ADDITIONAL PAYMENT MADE THEREFORE.
- ALL TREES, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR THE PERIOD OF ONE (1) YEAR OR ONE COMPLETE GROWING SEASON, WHICHEVER COMES FIRST, BEGINNING ON THE DATE OF FINAL CONTRACT ACCEPTANCE.
- ALL NEW PLANT MATERIALS SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEMS AS PER PLANS, DETAILS AND SPECIFICATIONS UNLESS OTHERWISE INDICATED ON THE DRAWINGS. PLANTS SHALL NOT BE INSTALLED UNTIL THE IRRIGATION SYSTEM IS INSTALLED AND FULLY OPERATIONAL.

**WARRANTY AND MAINTENANCE**

- CONTRACTOR SHALL FURNISH A CERTIFICATE OF WARRANTY AND A GUARANTEE OF WORK AND MATERIALS FOR A ONE-YEAR PERIOD FROM DATE OF FINAL ACCEPTANCE. FINAL PAYMENT SHALL NOT BE MADE UNLESS THIS CERTIFICATE IS PRESENTED TO THE OWNER.
- THE CONTRACTOR IS LIABLE FOR ANY LOSS OR DAMAGE TO ANY WORK OR MATERIALS, SUPPLIES AND EQUIPMENT ON THE JOB SITE CAUSED BY THE CONTRACTOR, ITS EMPLOYEES OR ANY OTHER UNFORESEEN CAUSE UNTIL FINAL ACCEPTANCE OF PROJECT BY OWNER.

By	CHKC
??	??
Rev #	Date
#	09/26
Description	
DRAWING ISSUED FOR WHAT	

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SANTA FE, NM  
 DXD CAPITAL  
 EMPIRE SELF STORAGE  
 SANTA FE, NEW MEXICO  
 LANDSCAPE  
 GENERAL NOTES

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed	Drawn	Checked
BB	BB	WF
Date:	April 2026	
Scale: Horiz:	N/A	
Vert:	N/A	
Project No:	9233548	
Sheet:	LP-501	

**SITES**  
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 PLAN PREPARED BY:  
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 1700 CENTRAL AVE. SW, SUITE B  
 ALBUQUERQUE, NM 87104  
 PHONE: (505) 822-8200  
 MAIL: MAIL@SITES-SW.COM

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	REMARKS	HGHT & SPRED.	CAL.	QTY
<b>DECIDUOUS TREES</b>					
SEE FULL PLANT SCHEDULE AND DEVELOPMENT CALCS SHEET LP-100					
	ACER GRANDIDENTATUM 'MESA GLOW' MESA GLOW MAPLE	M	25' X 20'	2" CAL.	8
	CELTIS RETICULATA NETLEAF HACKBERRY	L-M	25' X 30'	2" CAL.	6
	FORESTIERA NEOMEXICANA DESERT OLIVE	VL-L	15' X 12'	6' - 8' HT.	22
	QUERCUS GRAVESII CHISOS RED OAK	L-M	35' X 30'	2" CAL.	4
	ULMUS PARVIFOLIA 'DYNASTY' DYNASTY LACEBARK ELM	L-M	30' X 30'	2" CAL.	6
<b>EVERGREEN TREES</b>					
	CERCOCARPUS LEDIFOLIUS CURL-LEAF MOUNTAIN MAHOGANY	VL-L	12' X 18'	2" CAL.	13
	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER	L-M	30' X 20'	6' - 8' HT.	13
	PINUS NIGRA AUSTRIAN PINE	L-M	40' X 30'	6' - 8' HT.	9

SYMBOL	BOTANICAL / COMMON NAME	REMARKS	HGT. & SPR.	SIZE	QTY
<b>DECIDUOUS SHRUBS</b>					
SEE FULL PLANT SCHEDULE AND DEVELOPMENT CALCS SHEET LP-100					
	BAPTISIA AUSTRALIS FALSE INDIGO	L-M	3' X 4'	5 GAL.	12
	MUHLENBERGIA RIGENS DEER GRASS	VL-L	3' X 4'	1 GAL.	21
	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	L-M	2' X 4'	5 GAL.	36
	RIBES AUREUM GOLDEN CURRANT	L-M	4' X 4'	5 GAL.	9
<b>EVERGREEN SHRUBS</b>					
	ARCTOSTAPHYLOS X COLORADENSIS 'CHIEFTAIN'	VL-L	4' X 4'	5 GAL.	41
	ARTEMISIA TRIDENTATA BIG SAGEBRUSH	VL-L	5' X 5'	5 GAL.	19
	FALLUGIA PARADOXA APACHE PLUME	VL-L	4' X 4'	5 GAL.	18
	NOLINA MICROCARPA BEARGRASS	VL-L	5' X 5'	5 GAL.	10
<b>VINE/ESPALIER</b>					
	LONICERA SEMPERVIRENS 'HONEY CORAL' HONEY CORAL TRUMPET HONEYSUCKLE	M	10' X 6'	5 GAL.	16
	ROSA BANKSAE 'LUTEA' BANKSIA ROSE	L-M	15' X 5'	5 GAL.	11

REFERENCE NOTES SCHEDULE

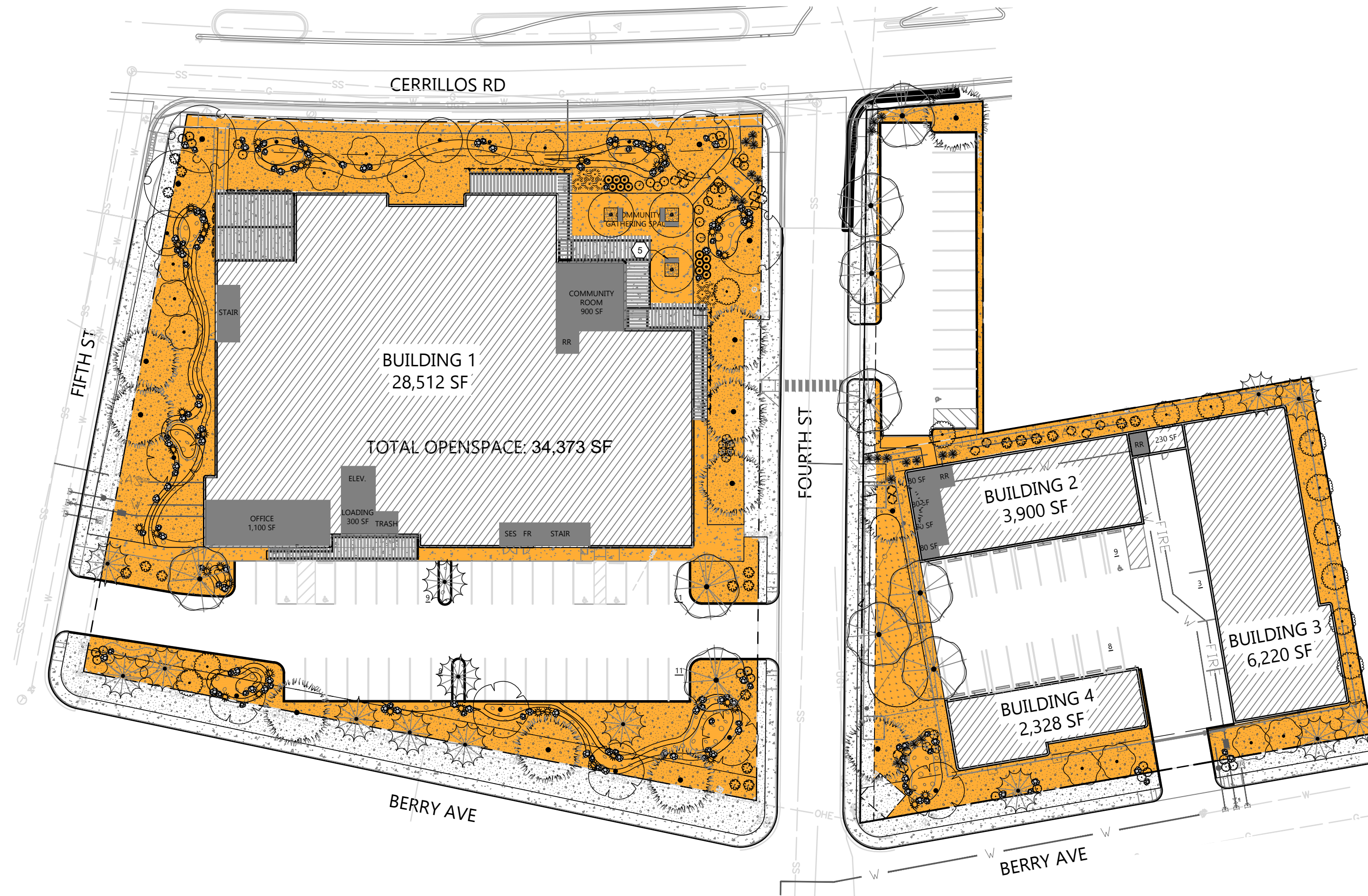
SYMBOL	DESCRIPTION	QTY
	1" GRAVEL AT 4" DEPTH IN PARK. COLOR: BUILOLOGY BROWN OVER DEWITT PRO OR APPROVED EQUIVALENT NON-WOVEN 3 OZ WEED BARRIER FABRIC. TOP OF MULCH SHALL BE 2" BELOW TOP OF CURB TYPICAL.	37,930 SF
	2' - 4" ANGULAR COBBLE/ CRUSHED STONE. COLOR: DESERT TAN OVER DEWITT PRO OR APPROVED EQUIVALENT NON-WOVEN 3 OZ WEED BARRIER FABRIC.	5,910 SF
	TURFGRASS SOD: DELTA TALL HYBRID TALL FESCUE WITH KENTUCKY BLUEGRASS. PRIOR TO LAYING SOD A TWO INCH (2") DEPTH HEAT TREATED COMPOST MATERIAL SHALL BE APPLIED AND TILLED IN TO A 6 SIX INCH (6") DEPTH.	2,041 SF
	3/8" MINUS CRUSHER FINES MULCH AT 4" DEPTH. COLOR: VENETIAN BROWN OR APPROVED EQUAL.	108 SF
	BENCH DUMOR 270-60 72IN. LENGTH. FRAME: BRONZE GLOSS. SLATS: ANTIQUE MAHOGANY WOOD GRAIN RECYCLED PLASTIC	4

SITE DATA

Total Lot Area	SF	118,379
Gross Covered Area (Buildings, hard surfaces and roads/parking)	SF	81,457
Net Site Area	SF	36,922
Cerrillos Rd (Site 1 + Site 2) - major arterial	LF	452
Fifth St (Site 1) - secondary arterial	LF	251
Fourth St (Site 1 + Site 2) - local road	LF	620
Berry Ave (Site 1 + Site 2) - local road	LF	533
Required Ponding Areas	SF	None
Provided Parking Spaces	QTY	73
Existing Trees	QTY	None

LANDSCAPE REQUIREMENTS FOR SANTA FE

	REQUIRED	PROVIDED
<b>OPEN SPACE</b>		
Lot Coverage Maximum of 60% (SF)	< Total Lot Area x 0.6	71,027
Total Open Space Minimum 25% of Total Lot Area (SF)	> Total Lot Area x 0.25	29,595
Minimum of 1 tree per 500 sf of required open space	29595 SF ÷ 500 SF	60
Trees required after applying counts for Street Trees and Parking Lot Trees	60 - 18 - 29 - 9	8
All required deciduous trees shall be 2" caliper minimum	Requirement met	--
Minimum 25% Evergreen Trees	60 x 0.25	15
All required Evergreen Trees shall be a minimum of 6 FT in height	Requirement met	--
Minimum of 2 shrubs per 500 SF of required open space	29595 SF ÷ 500 SF x 2	120
All required shrubs shall be 5 Gal minimum except as noted on City Plan List	Requirement met	--
Minimum 25% Evergreen Shrubs	120 x 0.25	30
<b>STREET TREE REQUIREMENT</b>		
Minimum of 1 tree per 30 LF to 40 LF on major and secondary arterials	703 LF ÷ 40 LF	18
Minimum of 1 tree per 25 LF to 35 LF on all other streets	1153 LF ÷ 35 LF	29
<b>PARKING LOT LANDSCAPE REQUIREMENTS</b>		
Minimum of 10 SF of Landscape Area per Parking Space	73 Spaces x 10 SF	730
1 Tree per 90 SF of Landscape Area	730 SF ÷ 90 SF	8



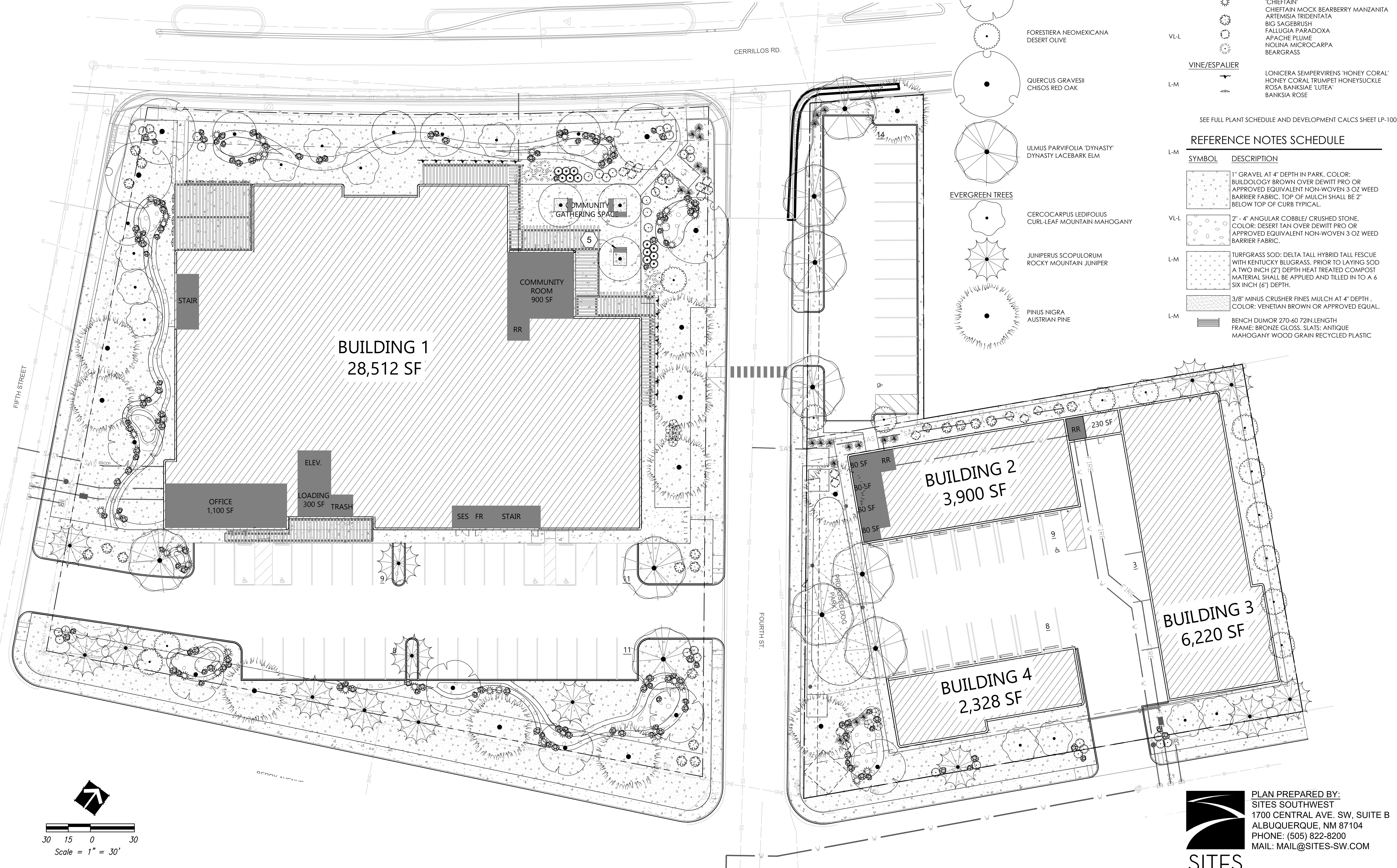
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SANTA FE, NM  
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 EMPIRE SELF STORAGE  
 SANTA FE, NEW MEXICO  
 LANDSCAPE  
 PLANTING SCHEDULE AND DEVELOPMENT CALCS

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED		
Designed BB	Drawn BB	Checked WF
Date:	April 2026	
Scale: Horiz:	N/A	
Scale: Vert:	N/A	
Project No:	9233548	
Sheet:	LP-100	

**SITES**  
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**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	REV	SYMBOL	BOTANICAL / COMMON NAME
<b>DECIDUOUS TREES</b>			<b>DECIDUOUS SHRUBS</b>	
(Symbol)	SEE FULL PLANT SCHEDULE AND DEVELOPMENT CALCS SHEET LP-100		(Symbol)	BAPTISIA AUSTRALIS FALSE INDIGO
(Symbol)	ACER GRANDIDENTATUM 'MESA GLOW' MESA GLOW MAPLE	M	(Symbol)	MUHLENBERGIA RIGENS DEER GRASS
(Symbol)	CELTIS RETICULATA NETLEAF HACKBERRY		(Symbol)	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC
(Symbol)	FORESTIERA NEOMEXICANA DESERT OLIVE		(Symbol)	RIBES AUREUM GOLDEN CURRANT
(Symbol)	QUERCUS GRAVESII CHISOS RED OAK		<b>EVERGREEN SHRUBS</b>	
(Symbol)	ULMUS PARVIFOLIA 'DYNASTY' DYNASTY LACEBARK ELM		(Symbol)	ARCTOSTAPHYLOS X COLORADENSIS 'CHIEFTAIN'
<b>EVERGREEN TREES</b>			(Symbol)	CHEIFTEAN MOCK BEARBERRY MANZANITA ARTEMISIA TRIDENTATA
(Symbol)	CERCOCARPUS LEDIFOLIUS CURL-LEAF MOUNTAIN MAHOGANY		(Symbol)	BIG SAGEBRUSH FALLUGIA PARADOXA
(Symbol)	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER		(Symbol)	APACHE PLUME NOLINA MICROCARPA
(Symbol)	PINUS NIGRA AUSTRIAN PINE		(Symbol)	BEARGRASS
			<b>VINE/ESPALIER</b>	
			(Symbol)	LONICERA SEMPERVIRENS 'HONEY CORAL' HONEY CORAL TRUMPET HONEYSUCKLE
			(Symbol)	ROSA BANKSIAE 'LUTEA' BANKSIA ROSE

SEE FULL PLANT SCHEDULE AND DEVELOPMENT CALCS SHEET LP-100

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION
(Symbol)	1" GRAVEL AT 4" DEPTH IN PARK. COLOR: BUILDLOGY BROWN OVER DEWITT PRO OR APPROVED EQUIVALENT NON-WOVEN 3 OZ WEED BARRIER FABRIC. TOP OF MULCH SHALL BE 2" BELOW TOP OF CURB TYPICAL.
(Symbol)	2" - 4" ANGULAR COBBLE/ CRUSHED STONE. COLOR: DESERT TAN OVER DEWITT PRO OR APPROVED EQUIVALENT NON-WOVEN 3 OZ WEED BARRIER FABRIC.
(Symbol)	TURFGRASS SOD: DELTA TALL HYBRID TALL FESCUE WITH KENTUCKY BLUEGRASS. PRIOR TO LAYING SOD A TWO INCH (2") DEPTH HEAT TREATED COMPOST MATERIAL SHALL BE APPLIED AND TILLED IN TO A 6 SIX INCH (6") DEPTH.
(Symbol)	3/8" MINUS CRUSHER FINES MULCH AT 4" DEPTH. COLOR: VENETIAN BROWN OR APPROVED EQUAL.
(Symbol)	BENCH DUMOR 270-60 72IN LENGTH FRAME: BRONZE GLOSS. SLATS: ANTIQUE MAHOGANY WOOD GRAIN RECYCLED PLASTIC

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**SANTA FE, NM**  
**EMPIRE SELF STORAGE**  
**SANTA FE, NEW MEXICO**  
**LANDSCAPE**  
**PLANTING PLAN**

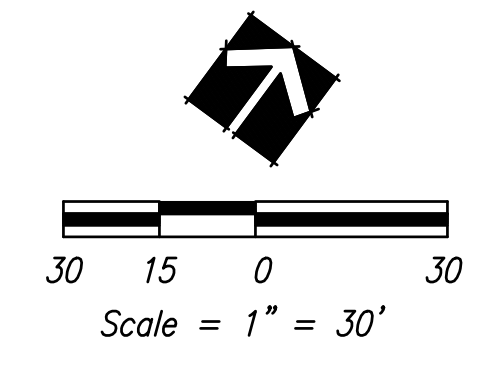
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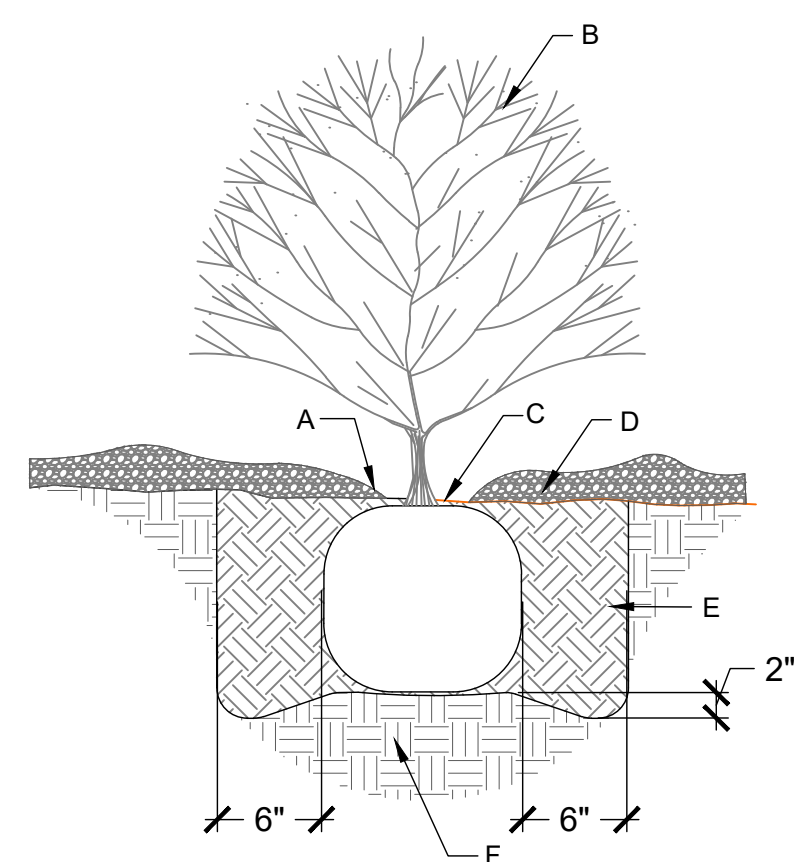
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 SOUTHWEST

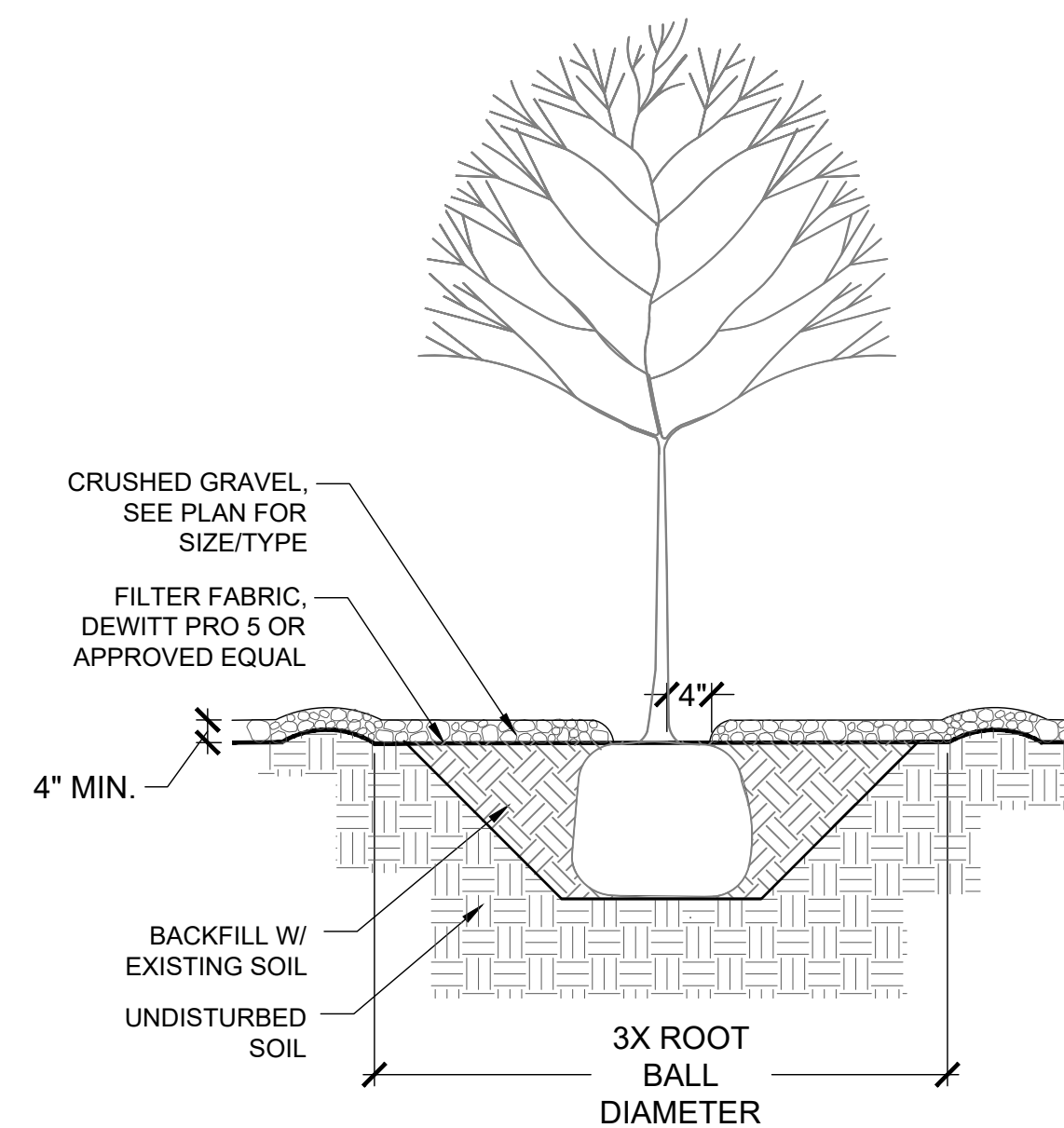
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- CONSTRUCTION NOTES:**
- A. MULCH SHALL BE FEATHERED TO A 2" DEPTH ON TOP OF ROOT BALL AND SHALL BE HELD BACK 2" FROM SHRUB STEM(S).
  - B. SHRUB LOCATION AND SPECIES AS PER PLAN
  - C. PLANT WITH TOP OF ROOT BALL FLUSH WITH SUB-GRADE (BOTTOM OF MULCH).
  - D. 4" DEPTH MULCH THROUGHOUT SHRUB BED UNLESS OTHERWISE NOTED.
  - E. BACKFILL WITH EXISTING SOIL.
  - F. UNDISTURBED NATIVE SOIL.

**C** ISOLATED SHRUB PLANTING  
NOT TO SCALE



- GENERAL NOTES:**
1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
  2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOT BALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
  3. REMOVE CONTAINER AND CUT ANY ROOTS THAT ARE CIRCLING THE CONTAINER.
  4. TAMP SOIL FIRMLY AROUND BASE OF ROOT BALL WITH FOOT PRESSURE.
  5. AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
  6. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
  7. DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
  8. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

**B** TREE PLANTING IN GRAVEL  
NOT TO SCALE

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LANDSCAPE  
PLANTING DETAILS

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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	TURF ROTARY RAIN BIRD R-VAN14 AND 1806-SAM-P45- 8FT.-14FT. 45-270 DEGREES AND 360 DEGREES. WITH 1800 TURF SPRAY BODY ON 6IN. POP-UP, W/ CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. INSTALL PER DETAIL A/LI-502
	BUBBLER ASSEMBLY RAIN BIRD 1400 SERIES FULL CIRCLE BUBBLER, 1/2" FIPT. PROVIDE ONE (1) 0.25 GPM BUBBLER PER SHRUB. PROVIDE THREE (3) 0.50 GPM BUBBLER PER TREE. INSTALL PER DETAIL D/LI-502
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	ZONE VALVE ASSEMBLY RAINBIRD PEB PLASTIC INDUSTRIAL GLOBE VALVE. 1", 1-1/2", 2". INSTALL PER DETAIL B/LI-502
	ISOLATION VALVE CHAMPION BRASS MANUAL STRAIGHT INLINE VALVE, RS SERIES. SIZE TO MAIN LINE. SEE DETAIL F/LI-501.
	MASTER VALVE ASSEMBLY 1-1/2" RAIN BIRD EFB-CP BRASS MASTER VALVE. CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. INSTALL PER DETAIL G/LI-501
	MASTER VALVE ASSEMBLY 1" RAIN BIRD EFB-CP BRASS MASTER VALVE. CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. INSTALL PER DETAIL G/LI-501
	AIR RELIEF VALVE ASSEMBLY CRISPIN UNIVERSAL AIR RELIEF VALVE. SIZE TO MAIN LINE. FIELD LOCATE AT HIGH POINT OF MAINLINE. SEE DETAIL C/LI-502.
	DRAIN VALVE CHAMPION 300 SERIES MANUAL DRAIN OR APPROVED EQUIVALENT. FIELD LOCATE AND INSTALL ONE AT LOW POINT OF MAINLINE AND EACH LATERAL LINE. DETAIL: E/LI-501
	FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY IN HOT BOX MODEL #HB2, W/ HEAT TAPE. MFR. HUBBELL POWER SYSTEMS. ELECTRICAL CONNECTIONS REQUIRED BY GENERAL CONTRACTOR. INSTALL PER DETAIL F/LI-501. AND MFR. SPECS.
	FEBCO 825Y 3/4" REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY IN HOT BOX MODEL #HB2, W/ HEAT TAPE. MFR. HUBBELL POWER SYSTEMS. ELECTRICAL CONNECTIONS REQUIRED BY GENERAL CONTRACTOR. INSTALL PER DETAIL F/LI-501. AND MFR. SPECS.
	IRRIGATION CONTROLLER RAIN BIRD ESPLXME2 12 STATION, TRADITIONALLY WIRED COMMERCIAL CONTROLLER. LOCATE INTERIOR TO MECHANICAL ROOM IN PLASTIC WALL MOUNT ENCLOSURE LOCKING BOX. COORDINATE EXACT LOCATION W/ OWNER'S REPRESENTATIVE. INSTALL CONTROLLER AND GROUNDING PER MFR SPECIFICATIONS AND DETAILS A&B/LI-501
	IRRIGATION CONTROLLER RAIN BIRD ESPLXME2 12 STATION, TRADITIONALLY WIRED COMMERCIAL CONTROLLER. LOCATE INTERIOR TO MECHANICAL ROOM IN PLASTIC WALL MOUNT ENCLOSURE LOCKING BOX. COORDINATE EXACT LOCATION W/ OWNER'S REPRESENTATIVE. INSTALL CONTROLLER AND GROUNDING PER MFR SPECIFICATIONS AND DETAILS A&B/LI-501
	FLOW SENSOR RAIN BIRD FS-100-B 1" FLOW SENSOR, BRASS MODEL. SUGGESTED OPERATING RANGE OF 2 GPM TO 40 GPM. SENSORS SHOULD BE SIZED FOR FLOW RATHER THAN PIPE SIZE. INSTALL PER MANUFACTURERS SPECIFICATION IN VALVE BOX WITH DRAINAGE
	POINT OF CONNECTION 1 1/2" CONTRACTOR SHALL CONNECT TO NEW DOMESTIC IRRIGATION WATER METER ARAD METER 1.5 AC 10 [SEE CIVIL PLAN]. DESIGN IS BASED ON AN AVAIL. FLOW OF 46 GPM & 65 PSI STATIC PRESSURE. CONTRACTOR SHALL MEASURE GPM & PRESSURE AFTER METER AND NOTIFY IRRIGATION DESIGNER TO VERIFY HYDRAULICS.
	POINT OF CONNECTION 1" CONTRACTOR SHALL CONNECT TO NEW DOMESTIC IRRIGATION WATER METER ARAD METER [SEE CIVIL PLAN]. DESIGN IS BASED ON AN AVAIL. FLOW OF 19 GPM & 65 PSI STATIC PRESSURE. CONTRACTOR SHALL MEASURE GPM & PRESSURE AFTER METER AND NOTIFY IRRIGATION DESIGNER TO VERIFY HYDRAULICS.
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 SIZE PER PIPE SIZING ON PLAN. SEE DETAIL C/LI-501
	IRRIGATION MAINLINE: PVC SCHEDULE 40 1-1/2". SEE DETAIL C/LI-501
	PIPE SLEEVE: PVC SCHEDULE 40 SLEEVES TO BE SIZED TWO SIZES LARGER THAN THE TOTAL DIAMETER OF THE PIPE TO BE SLEEVED, UNLESS OTHERWISE NOTED. PROVIDE AN ADDITIONAL 1-1/2" SLEEVE FOR WIRE AT EACH SLEEVE LOCATION. INSTALL PER DETAIL D/LI-501
	Valve Callout # Valve Number # Valve Flow # Valve Size

WATER BUDGET CALCULATIONS

YEARS 1 & 2 (ESTABLISHMENT):

LOW FLOW (0.5 GPM) BUBBLER IRRIGATION TO TREES:  
 4 MONTHS AT 1 RUN TIME PER MONTH (NOV-FEB)  
 4 MONTHS AT 2 RUN TIME PER WEEK (MAR,APR,SEP,OCT)  
 4 MONTHS AT 3 RUN TIMES PER WEEK (MAY-AUG)  
 APPROX. 88 RUN CYCLES PER YEAR  
 46 VERY LOW WATER TREES (7 GAL PER TREE)/322 GALLONS /CYCLE  
 45 LOW/MED WATER TREES (9 GAL PER TREE)/405 GALLONS /CYCLE  
 TOTAL: 727 GALLONS PER RUN CYCLE X 88 RUN TIMES =63,976 GPY

LOW FLOW (0.25 GPM ) BUBBLER IRRIGATION TO SHRUBS:  
 4 MONTHS AT 1 RUN TIME PER MONTH (NOV-FEB)  
 4 MONTHS AT 2 RUN TIME PER WEEK (MAR,APR,SEP,OCT)  
 4 MONTHS AT 4 RUN TIMES PER WEEK (MAY-AUG)  
 APPROX. 105 RUN CYCLES PER YEAR  
 99 VERY LOW WATER SHRUBS (0.75 GAL PER SHRUB)/75 GALLONS /CYCLE  
 80 LOW/MED WATER SHRUBS (1.5 GAL PER SHRUB)/120 GALLONS /CYCLE  
 TOTAL: 195 GALLONS PER RUN CYCLE X 105 RUN TIMES = 20,475 GPY

SPRAY IRRIGATION FOR TURF:  
 4 MONTHS AT 1 RUN TIME PER MONTH (NOV-FEB)  
 4 MONTHS AT 2 RUN TIME PER WEEK (MAR,APR,SEP,OCT)  
 4 MONTHS AT 3 RUN TIMES PER WEEK (MAY-AUG)  
 APPROX. 88 RUN CYCLES PER YEAR  
 2,041 SQ FT (0.33 GAL PER SQ FT)/674 GALLONS PER RUN CYCLE  
 674 GALLONS PER RUN CYCLE X 88 RUN TIMES = 59,312 GPY

YEARS 3 AND AFTER:

LOW FLOW (0.5 GPM) BUBBLER IRRIGATION TO TREES:  
 4 MONTHS AT 1 RUN TIME PER MONTH (NOV-FEB)  
 4 MONTHS AT 1 RUN TIME PER WEEK (MAR,APR,SEP,OCT)  
 4 MONTHS AT 2 RUN TIMES PER WEEK (MAY-AUG)  
 APPROX. 55 RUN CYCLES PER YEAR  
 46 VERY LOW WATER TREES (10 GAL PER TREE)/460 GALLONS /CYCLE  
 45 LOW/MED WATER TREES (15 GAL PER TREE)/450 GALLONS /CYCLE  
 910 GALLONS PER RUN CYCLE X 55 RUN TIMES =50,050 GPY

LOW FLOW (0.25 GPM) BUBBLER IRRIGATION TO SHRUBS:  
 4 MONTHS AT 1 RUN TIME PER MONTH (NOV-FEB)  
 4 MONTHS AT 1 RUN TIME PER WEEK (MAR,APR,SEP,OCT)  
 4 MONTHS AT 2 RUN TIMES PER WEEK (MAY-AUG)  
 APPROX. 55 RUN CYCLES PER YEAR  
 99 VERY LOW WATER SHRUBS (0.75 GAL PER SHRUB)/75 GALLONS /CYCLE  
 80 MED/LOW WATER SHRUBS (1.5 GAL PER SHRUB)/120 GALLONS /CYCLE  
 195 GALLONS PER RUN CYCLE X 55 RUN TIMES = 10,725 GPY

SPRAY IRRIGATION FOR TURF:  
 4 MONTHS AT 1 RUN TIME PER MONTH (NOV-FEB)  
 4 MONTHS AT 2 RUN TIME PER WEEK (MAR,APR,SEP,OCT)  
 4 MONTHS AT 3 RUN TIMES PER WEEK (MAY-AUG)  
 APPROX. 88 RUN CYCLES PER YEAR  
 2,041 SQ FT (0.25 GAL PER SQ FT)/510 GALLONS PER RUN CYCLE  
 510 GALLONS PER RUN CYCLE X 88 RUN TIMES = 44,880 GPY

TOTAL COMBINED TREES, SHRUBS AND GRASS= 105,655 GPY/ 0.32 ACRE FT.  
 105,655 GPY / TOTAL LANDSCAPE AREA: 45,237 SQ FT  
 = 2.33 GAL PER SQFT PER YEAR

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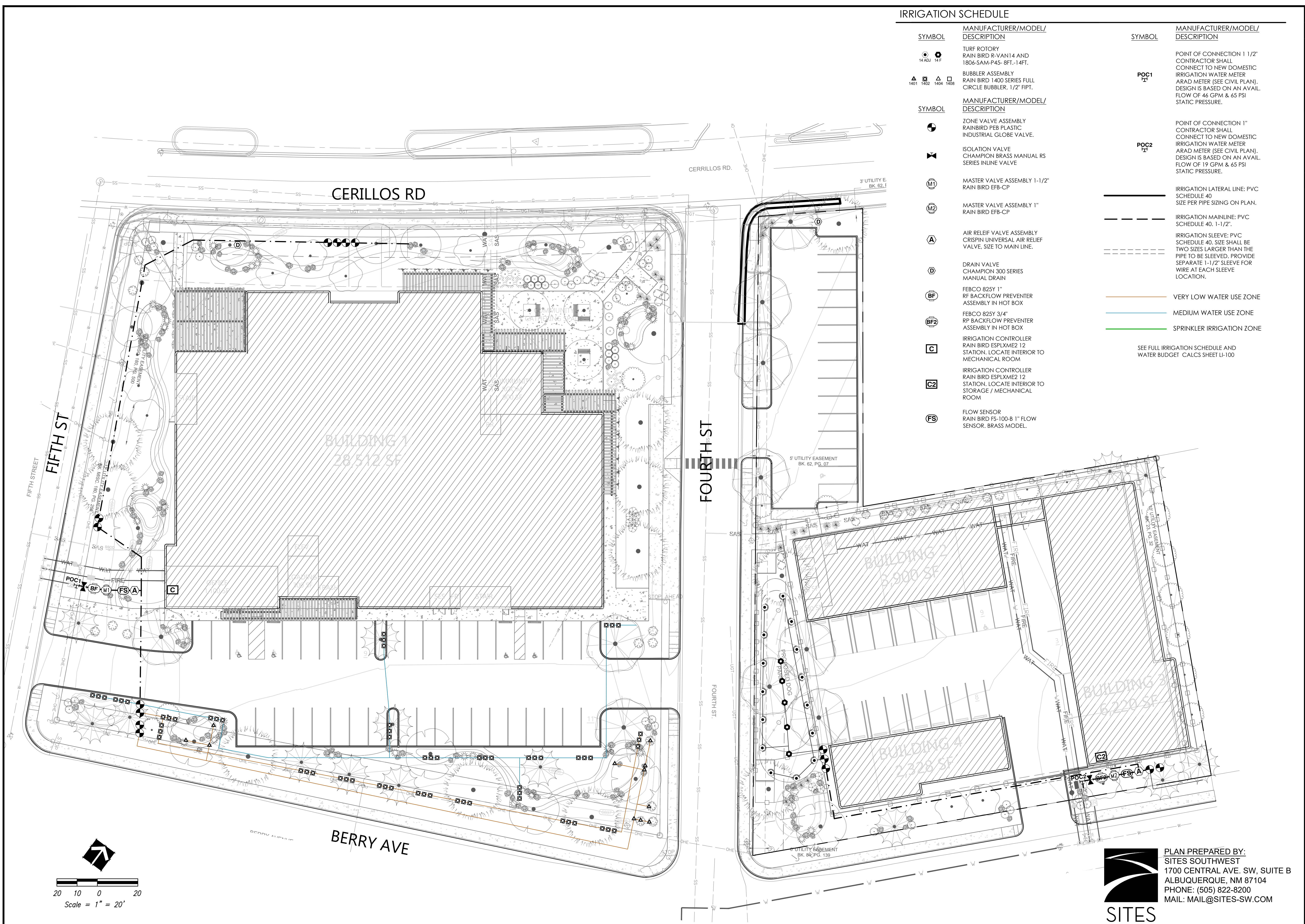
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 IRRIGATION SCHEDULE AND WATER BUDGET CALCS

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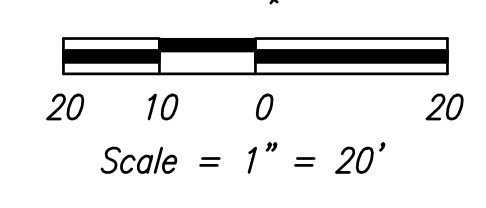
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**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
14AD1 14F	TURF ROTARY RAIN BIRD R-VANI 4 AND 1806-SAM-P45- 8FT-14FT.	POC1	POINT OF CONNECTION 1 1/2" CONTRACTOR SHALL CONNECT TO NEW DOMESTIC IRRIGATION WATER METER ARAD METER (SEE CIVIL PLAN). DESIGN IS BASED ON AN AVAL. FLOW OF 46 GPM & 65 PSI STATIC PRESSURE.
1401 1402 1404 1408	BUBBLER ASSEMBLY RAIN BIRD 1400 SERIES FULL CIRCLE BUBBLER, 1/2" FIPT.	POC2	POINT OF CONNECTION 1" CONTRACTOR SHALL CONNECT TO NEW DOMESTIC IRRIGATION WATER METER ARAD METER (SEE CIVIL PLAN). DESIGN IS BASED ON AN AVAL. FLOW OF 19 GPM & 65 PSI STATIC PRESSURE.
(M1)	ZONE VALVE ASSEMBLY RAINBIRD PEB PLASTIC INDUSTRIAL GLOBE VALVE.	IRRI	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 SIZE PER PIPE SIZING ON PLAN.
(M2)	ISOLATION VALVE CHAMPION BRASS MANUAL RS SERIES INLINE VALVE	IRRI	IRRIGATION MAINLINE: PVC SCHEDULE 40, 1-1/2".
(A)	MASTER VALVE ASSEMBLY 1-1/2" RAIN BIRD EFB-CP	IRRI	IRRIGATION SLEEVE: PVC SCHEDULE 40. SIZE SHALL BE TWO SIZES LARGER THAN THE PIPE TO BE SLEEVED. PROVIDE SEPARATE 1-1/2" SLEEVE FOR WIRE AT EACH SLEEVE LOCATION.
(D)	MASTER VALVE ASSEMBLY 1" RAIN BIRD EFB-CP	VLW	VERY LOW WATER USE ZONE
(BF)	AIR RELIEF VALVE ASSEMBLY CRISPIN UNIVERSAL AIR RELIEF VALVE. SIZE TO MAIN LINE.	VM	MEDIUM WATER USE ZONE
(D)	DRAIN VALVE CHAMPION 300 SERIES MANUAL DRAIN	SP	SPRINKLER IRRIGATION ZONE
(BF2)	FEBCO 825Y 1" RP BACKFLOW PREVENTER ASSEMBLY IN HOT BOX		
(C)	FEBCO 825Y 3/4" RP BACKFLOW PREVENTER ASSEMBLY IN HOT BOX		
(C2)	IRRIGATION CONTROLLER RAIN BIRD ESPLXME2 12 STATION. LOCATE INTERIOR TO MECHANICAL ROOM		
(FS)	IRRIGATION CONTROLLER RAIN BIRD ESPLXME2 12 STATION. LOCATE INTERIOR TO STORAGE / MECHANICAL ROOM		
	FLOW SENSOR RAIN BIRD FS-100-8 1" FLOW SENSOR. BRASS MODEL.		



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 LANDSCAPE  
 IRRIGATION PLAN

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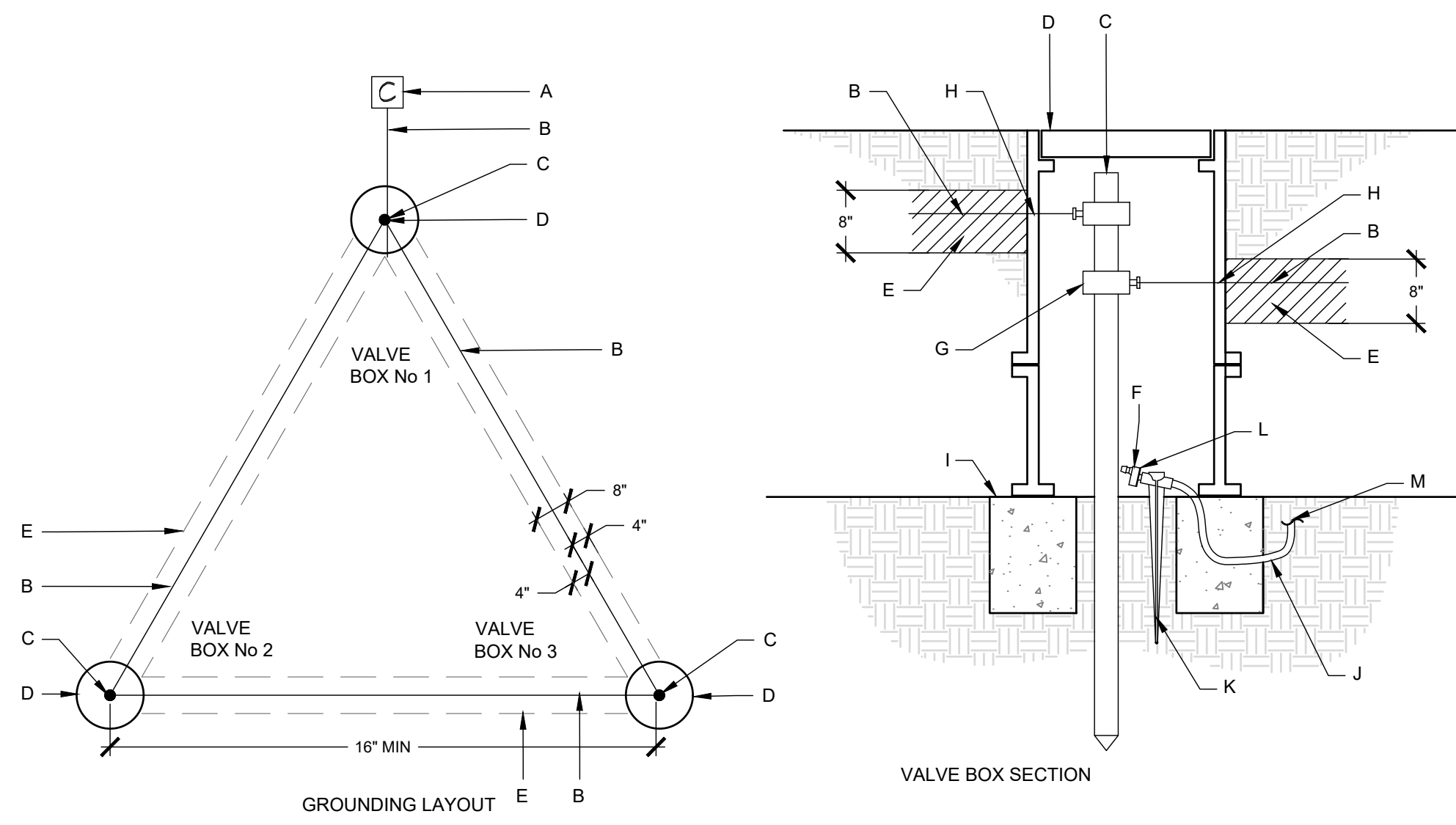
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 Vert: N/A

Project No: 9233548

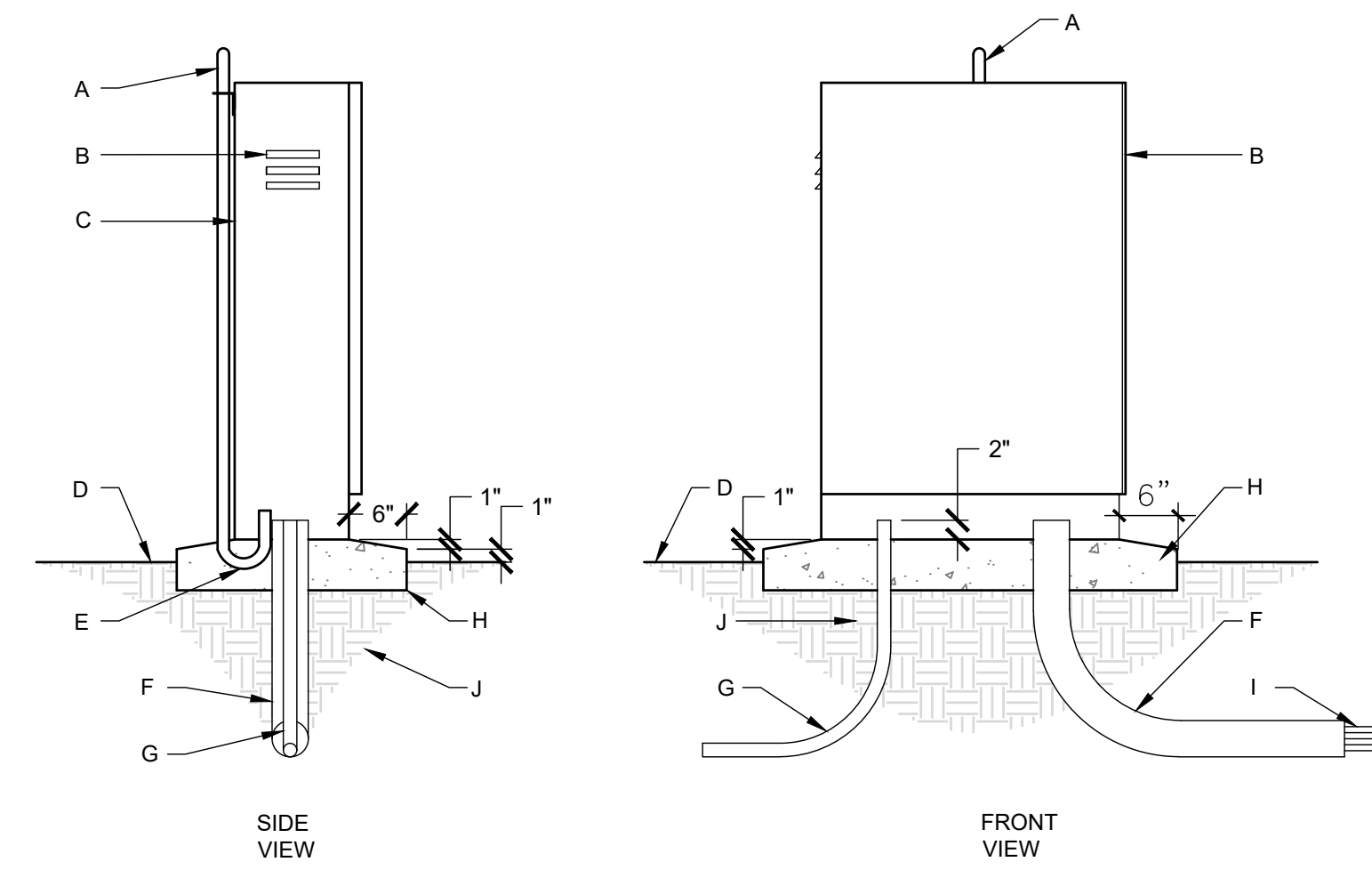
Sheet: LI-101

PLAN PREPARED BY:  
**SITES SOUTHWEST**  
 1700 CENTRAL AVE. SW, SUITE B  
 ALBUQUERQUE, NM 87104  
 PHONE: (505) 822-8200  
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**SITES SOUTHWEST**



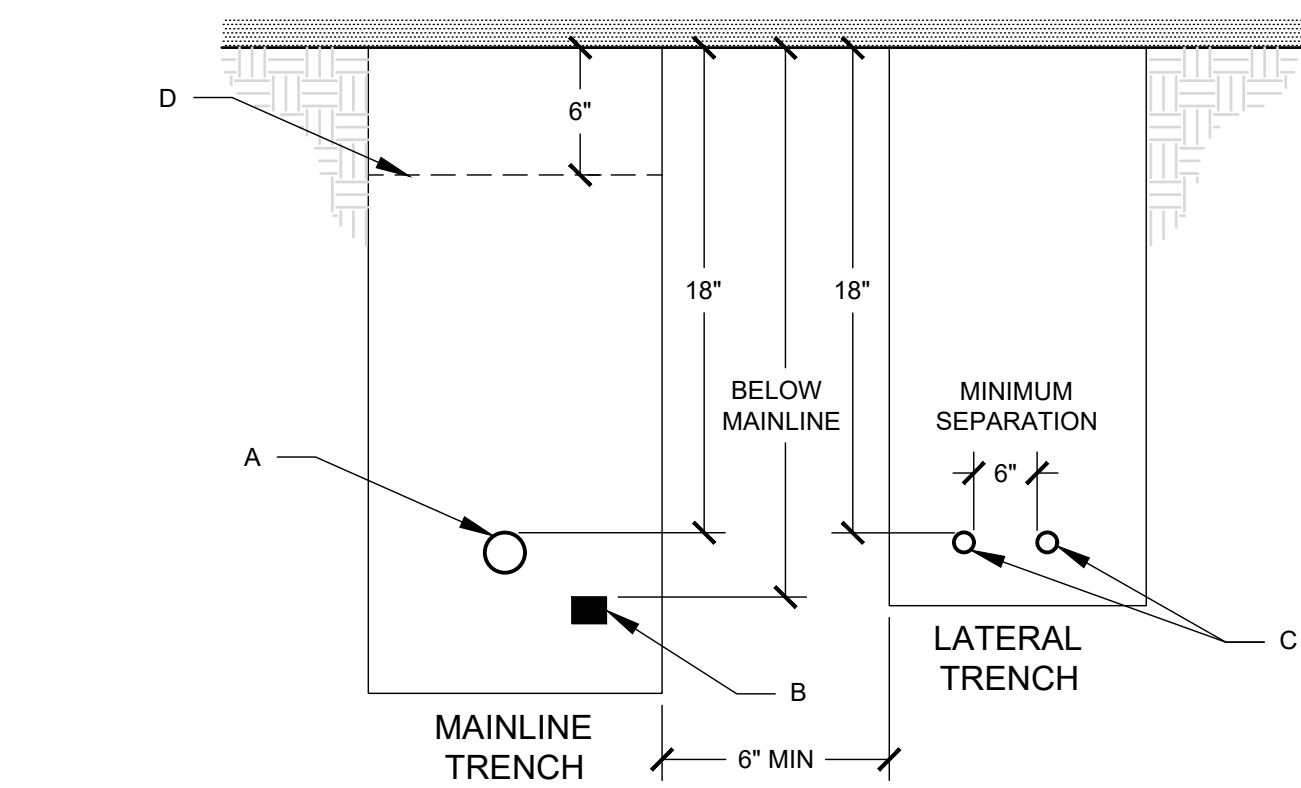
- CONSTRUCTION NOTES:**
- A. IRRIGATION CONTROLLER, SEE IRRIGATION LEGEND.
  - B. #10 AWG WIRE FROM IRRIGATION CONTROLLER TO GROUND ROD CLAMP. WIRE SHALL BE INSTALLED STRAIGHT AND TAUT.
  - C. 8' LENGTH GROUND ROD, QUANTITY AS REQUIRED TO ACHIEVE MAX 10 OHMS RESISTANCE (MIN 3 RODS AT EACH CONTROLLER). PLACE RODS A MINIMUM OF 18" FROM ONE ANOTHER AND A MIN. 12" FROM CONTROLLER. (OPTION: REPLACE GROUNDING RODS W/ 1 EA. 1/8" X 12" X 18" COPPER, BURIED @ 12" DEPTH. SOLDER #6 BARE COPPER WIRE TO PLATE).
  - D. 7" DIAMETER X 9" DEEP CARSON 700 SERIES VALVE BOX WITH COVER. COLOR TO MATCH ADJACENT MATERIAL (TURF-GREEN, MULCH-TAN) OR PURPLE IF RECLAIMED WATER SYSTEM.
  - E. 8" DEPTH COMPACTED (90% MODIFIED PROCTOR DENSITY MIN.) PLANTING SOIL MIXTURE (4" DEPTH ABOVE AND 4" DEPTH BELOW GROUND WIRE).
  - F. DRIP EMITTER. (ONE 5 GPH DRIP EMITTER AT EACH GROUNDING ROD).
  - G. GROUND ROD CLAMP
  - H. DRILL A SMALL OPENING IN VALVE BOX TO MAINTAIN WIRE TAUTNESS.
  - I. 8"x8"x16" SOLID CMU BLOCK, 2 PER BOX.
  - J. 1/4-INCH VINYL DISTRIBUTION TUBING: RAIN BIRD DT-025
  - K. 1/4-INCH TUBING STAKE: RAIN BIRD TS-025
  - L. DIFFUSER BUG CAP: RAIN BIRD DBC-025
  - M. TO MULTI OUTLET EMISSION DEVICE SEE DETAIL B/14-24



- CONSTRUCTION NOTES:**
- A. N/A
  - B. IRRIGATION CONTROLLER, SEE IRRIGATION LEGEND. INSTALL TO MANUFACTURER'S STANDARDS
  - C. 1" GALVANIZED CONDUIT. MOUNT TO BACK OF CONTROLLER WITH VANDAL PROOF HARDWARE.
  - D. FINISH GRADE.
  - E. 2@ 1" GALVANIZED SWEEP 90° ELBOW AND FITTINGS
  - F. 4" RIGID PVC LONG 90° SWEEP ELL EXTEND 12" BEYOND ADJACENT WALKS
  - G. 120-VOLT SERVICE IN CONDUIT, PER N.E.C.
  - H. 3000 PSI CONCRETE BASE. 8" MINIMUM THICKNESS. ALL EDGES SHALL BE TOOLED WITH 1/2" RADIUS.
  - I. 24-VOLT WIRES FROM CONTROLLER TO AUTOMATIC VALVES. SEE SPECIFICATIONS.
  - J. SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.

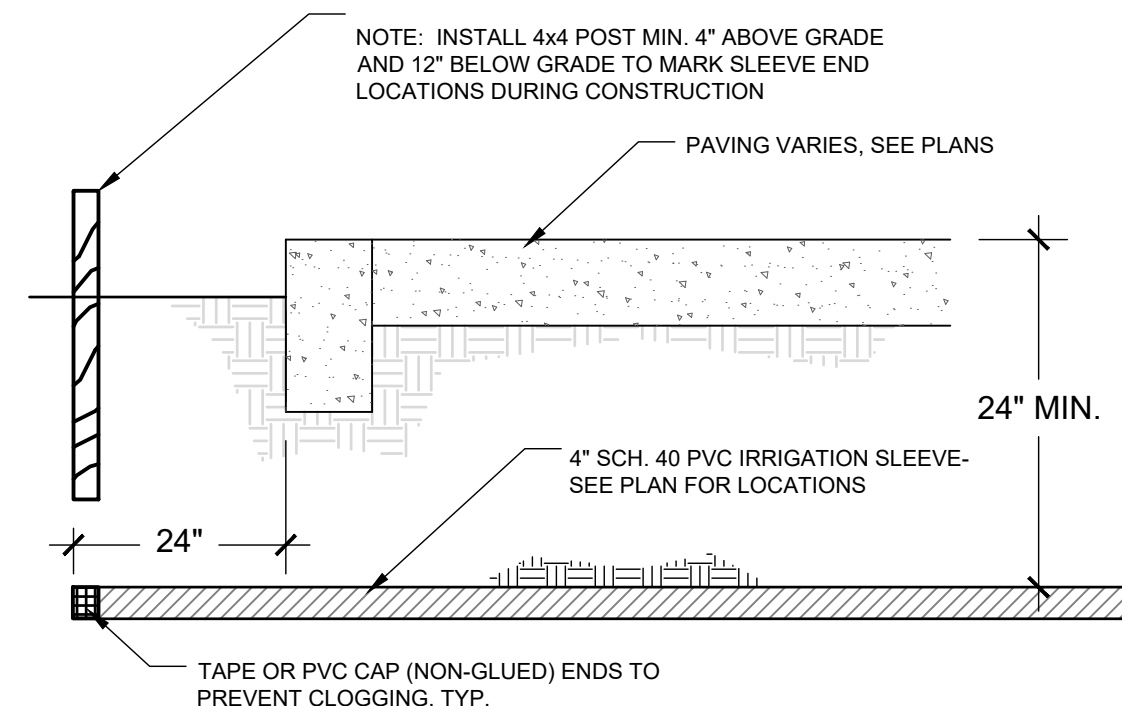
**A GROUNDING DETAIL WITH DRIP EMITTER**

NOT TO SCALE



- CONSTRUCTION NOTES:**
- A. MAINLINE PIPING- SEE PLAN FOR SIZE AND TYPE.
  - B. 24V DIRECT BURY ELECTRICAL WIRES. MIN 24" DEPTH OF BURY (WIRES CARRYING MORE THAN 30 VOLTS).
  - C. LATERAL PIPING- SEE PLAN FOR SIZE AND TYPE.
  - D. WARNING TAPE- 3" WIDE "IRRIGATION".

- GENERAL NOTES:**
1. BACKFILL MAINLINE AND LATERAL LINE TRENCHES WITH CLEAN FILL. NO ROCKS LARGER THAN 1" DIAMETER.

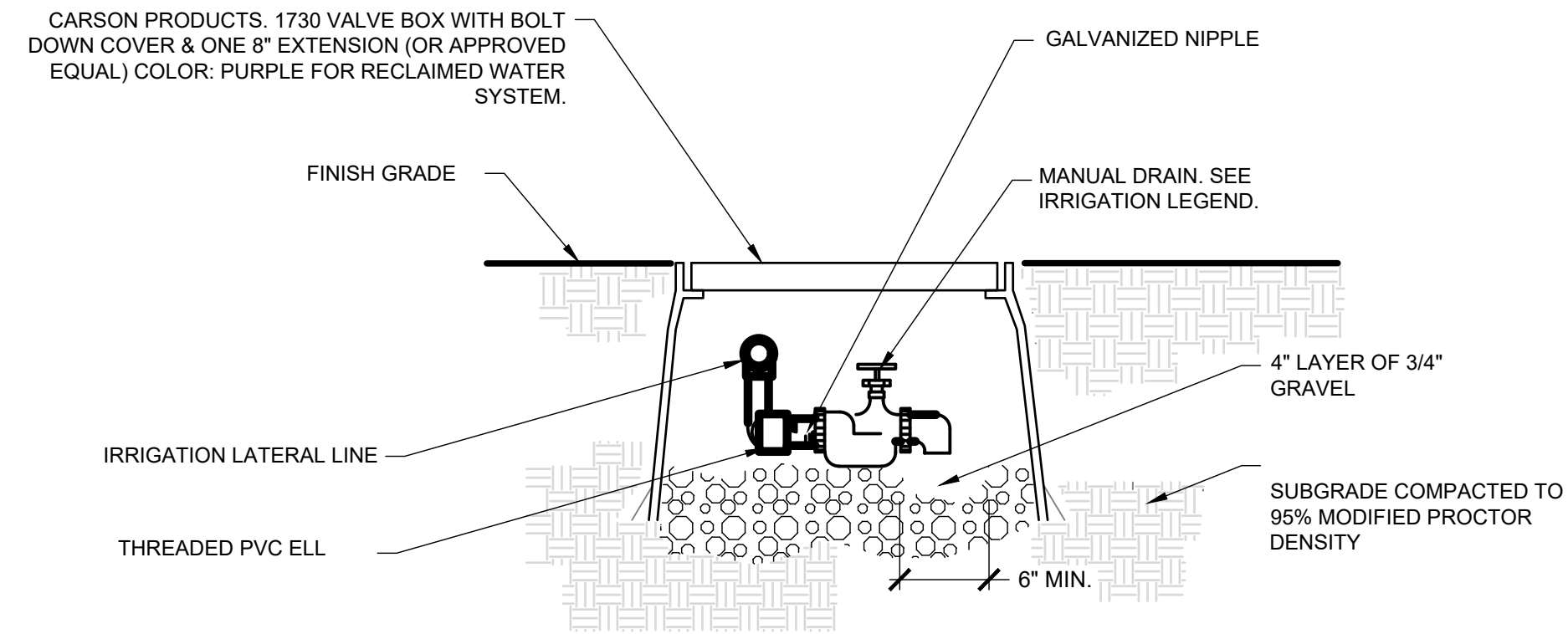


**D IRRIGATION SLEEVING**

NOT TO SCALE

**B CONTROLLER PEDESTAL**

NOT TO SCALE

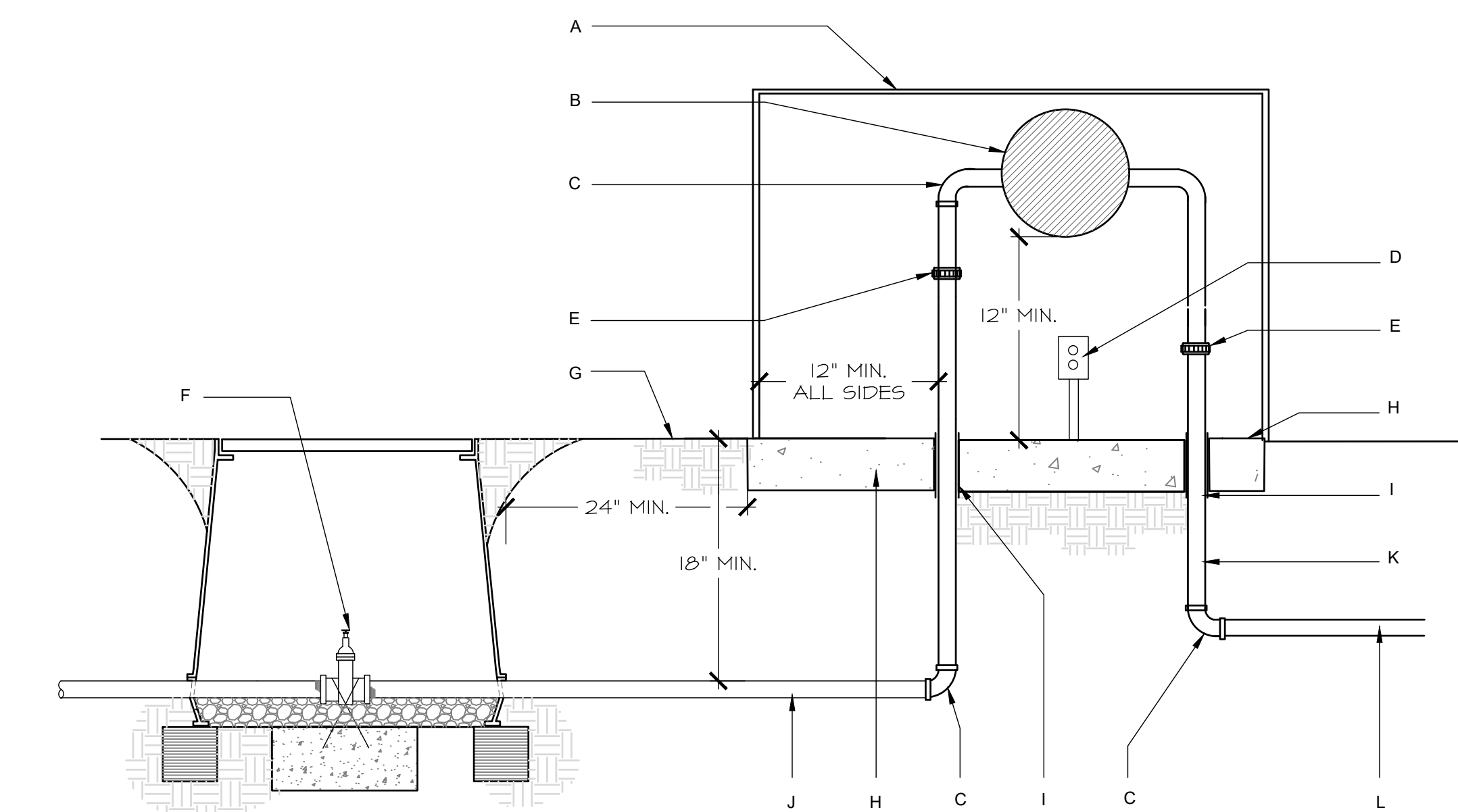


**E MANUAL DRAIN**

NOT TO SCALE

**C PIPE & WIRE DEPTH OF BURY**

NOT TO SCALE



**F REDUCED FLOW BACKFLOW PREVENTER**

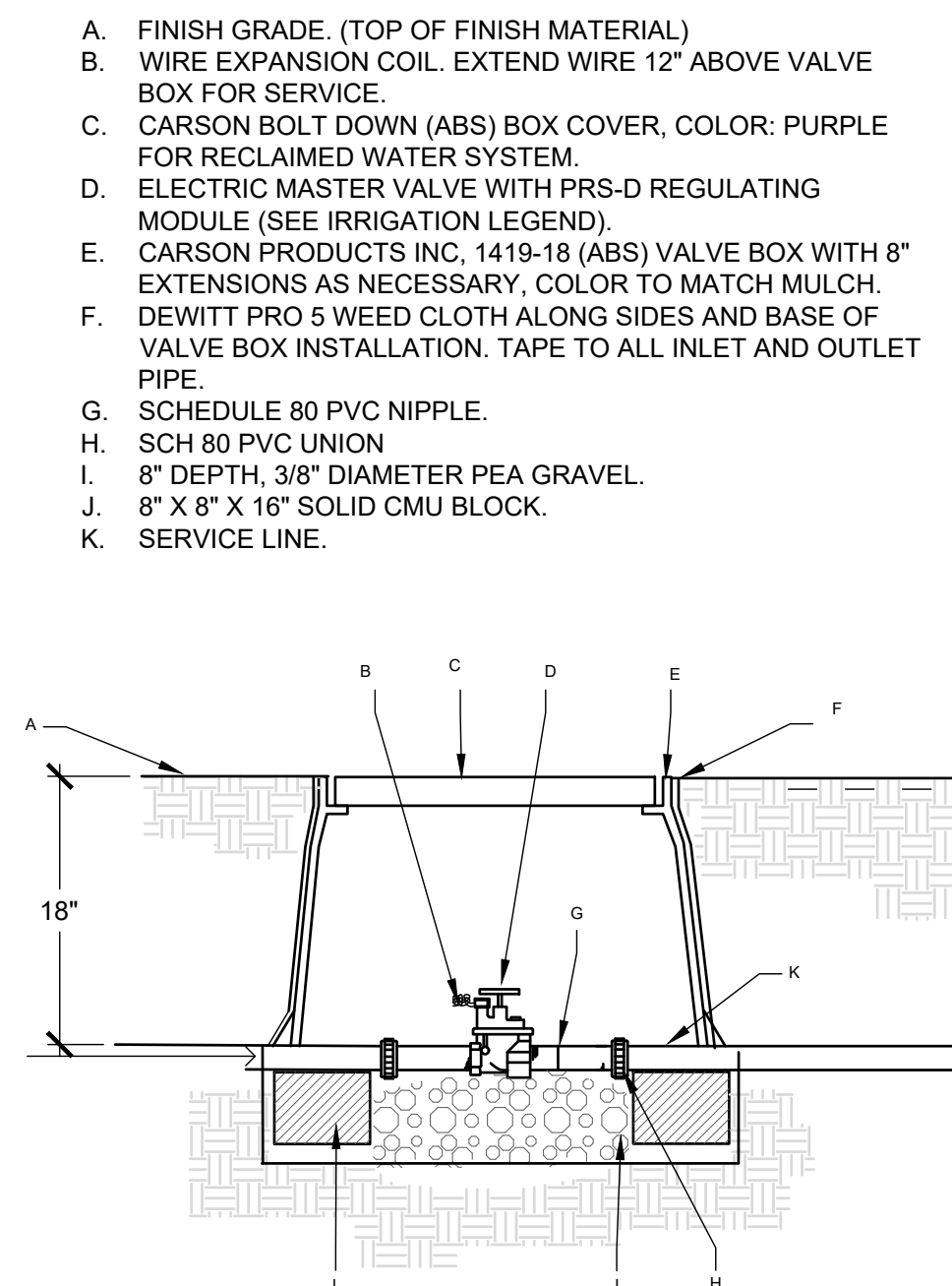
NOT TO SCALE

**CONSTRUCTION NOTES:**

- A. HOT BOX ENCLOSURE (SEE IRRIGATION LEGEND). INSULATE (R-25 MIN.) FROM FREEZING MUST COMPLY WITH ASSE 1060 CLASS 1. BOX SHALL BE LOCKABLE/ VANDAL PROOF.
- B. REDUCED PRESSURE ASSEMBLY BACKFLOW PREVENTER (SEE IRRIGATION LEGEND).
- C. GALVANIZED STEEL PIPE FITTINGS.
- D. ELECTRICAL OUTLET FOR HEAT SOURCE, INSTALL HIGHER THAN BACKFLOW ASSEMBLY OVERFLOW.
- E. UNION, 4" ABOVE GRADE, MIN.
- F. ISOLATION VALVE PER DETAIL H THIS SHEET. CHAMPION BRASS MANUAL STRAIGHT INLINE VALVE, RS-SERIES, SIZE TO LINE
- G. FINISH GRADE.
- H. 4000 PSI CONCRETE PAD, 4" DEPTH, SLOPED 1% TO DRAIN.
- I. PIPE SHALL BE SLEEVED THROUGH CONCRETE PAD WITH SCH 40 PVC.
- J. SERVICE LINE.
- K. GALVANIZED STEEL PIPE.
- L. MAIN LINE.

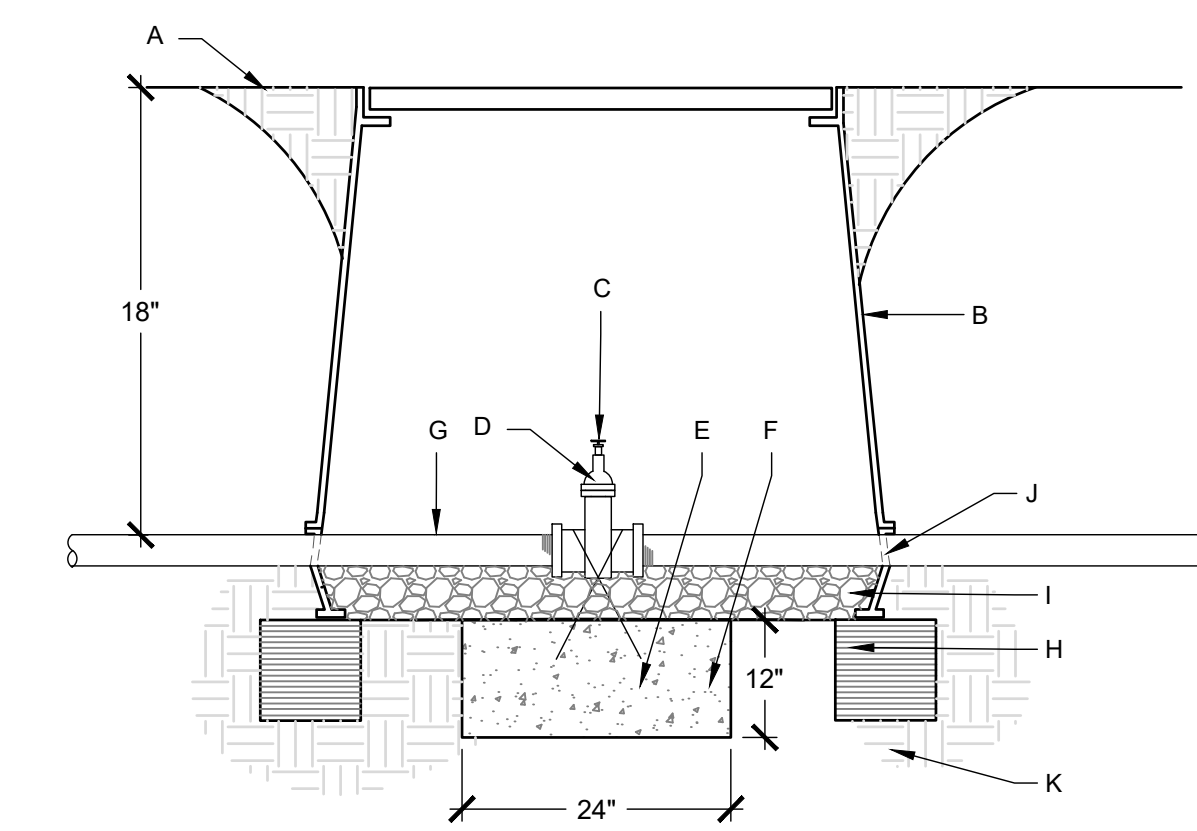
NOTE: ALL ASSEMBLIES SHOULD BE ACCESSIBLE FOR PERIODIC TESTING AND MAINTENANCE AS ESTABLISHED BY LOCAL CODES. SUGGESTED 16" MINIMUM CLEARANCE FROM TESTCOCK SIDE OF ASSEMBLY AND 12" MINIMUM CLEARANCE FROM VALVE BODY.

INSULATE (R-25 MIN.) FROM FREEZING MUST COMPLY WITH ASSE 1060-CLASS 1. PROVIDE 2" CLEARANCE BETWEEN VALVE BOXES AND PVC OR GALVANIZED PIPING.



**G IRRIGATION MASTER VALVE**

NOT TO SCALE



**H ISOLATION VALVE**

NOT TO SCALE

**CONSTRUCTION NOTES:**

- A. FINISH GRADE (FLUSH WITH VALVE BOX TURF, 1/2" BELOW TOP OF VALVE BOX IN MULCH).
- B. APPLIED ENGINEERING OR APPROVED EQUAL 1730-18 VALVE BOX WITH 1730-3B BOLT DOWN COVER AND ONE 8" EXTENSION. COLOR TO MATCH ADJACENT MATERIAL (TURF-GREEN, MULCH-TAN) OR PURPLE IF RECLAIMED WATER SYSTEM.
- C. 2" OPERATING NUT.
- D. PEGLER 0"RING GASKET VALVE 708 A (LINE SIZE).
- E. NO. 4 REBAR.
- F. THRUST BLOCK-4000 PSI CONCRETE PLACED AGAINST UNDISTURBED SOIL.
- G. IRRIGATION MAINLINE.
- H. 8" X 8" X 16" SOLID CMU BLOCK.
- I. 3/4" TO 1" DIAMETER CRUSHED GRAVEL, 6" DEPTH. GRAVEL SHALL BE WASHED FREE OF DIRT AND FINES.
- J. CUT NOTCH IN VALVE BOX EXTENSION FOR NIPPLE. EDGE OF NOTCH SHALL BE MAXIMUM 1/2" FROM EDGE OF PIPE.
- K. SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.

**GENERAL NOTES:**

1. INSTALL AN 8"x8"x16" SOLID CMU BLOCK AT EACH END OF THE VALVE BOX.

Rev #	Date	Description
09/26	??	??
??	??	??

**SMA**  
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**SANTA FE, NM**  
**EMPIRE SELF STORAGE**  
**SANTA FE, NEW MEXICO**  
**LANDSCAPE**  
**IRRIGATION DETAILS**

**DXD CAPITAL**

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed	Drawn	Checked
BB	BB	WF

Date: April 2026  
 Scale: Horiz: N/A  
 Vert: N/A  
 Project No: 9233548  
 Sheet: LI-501

**SITES**  
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PROJECT DESCRIPTION  
EMPIRE SELF STORAGE

CITY SANTA FE  
STATE NEW MEXICO

ISSUE DATES

MARK	DESCRIPTION	DATE
2	DEVELOPMENT PACKAGE #3	04/22/2026
1	DEVELOPMENT PACKAGE #2	03/24/2026
SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

PROJECT NO: 20253380

DRAWN BY: KS

CHECKED BY: MH

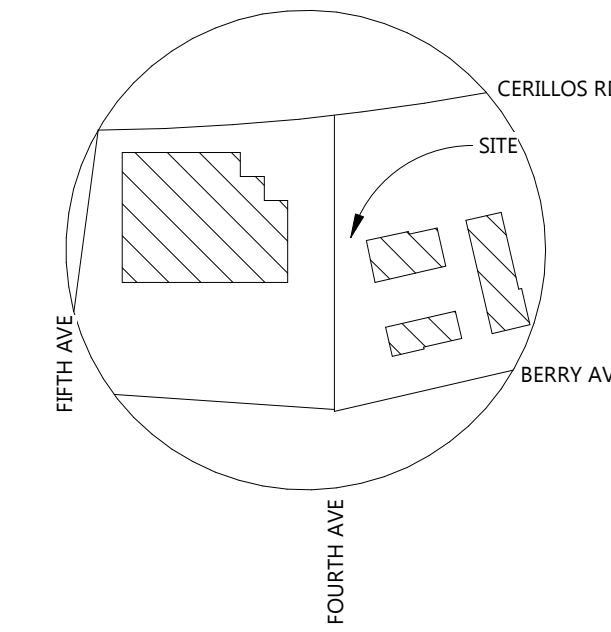
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ARCHITECTURAL SITE PLAN

GENERAL NOTES

- GATED ACCESS SHALL BE PROVIDED WITH A KNOX BOX GATE OVER-RIDE SWITCH, EQUIPPED WITH BATTERY BACKUP, AND A FAIL SAFE MANUAL RELEASE AS PER NFPA-1, 18.2.2.2.
- DRIVEWAYS PROVIDED ARE TO BE GATED AND PRIVATELY MAINTAINED.
- INTERNAL PRIVATE DRIVES SHALL BE PAVED IN ACCORDANCE TO JURISDICTION REQUIREMENTS.
- ALL WALLS SHALL BE CONSTRUCTED OF, OR PAINTED, WITH GRAFFITI-RESISTANT MATERIALS.
- FLOOR ELEVATION 100'-0" = 6837.00 ON CIVIL DRAWINGS.



VICINITY MAP

SITE PLAN DATA

ZONING: C2 (PUD) GENERAL COMMERCIAL  
LEGAL DESCRIPTION: LOTS 1 THRU 21, BLOCK 2, THE CAPITOL LAND & TOWNSITE CO. ADD'N LOTS 13 THRU 17, BLOCK 3, THE CAPITOL LAND AND TOWNSITE CO. ADD'N LOTS 18 THRU 20, BLOCK 3, THE CAPITOL LAND AND TOWNSITE CO. ADD'N TRACT B, CULVER REPLAT  
PARCEL / LOT SIZE: SITE 1: 10685824 LOTS 1 THRU 21, BLOCK 2, THE CAPITOL LAND & TOWNSITE CO. ADD'N - (+/-) 1.7479 ACRES  
SITE 2: 16008891/18312262 LOTS 13 THRU 17, BLOCK 3, THE CAPITOL LAND AND TOWNSITE CO. ADD'N LOTS 18 THRU 20, BLOCK 3, THE CAPITOL LAND AND TOWNSITE CO. ADD'N TRACT B, CULVER REPLAT - (+/-) 0.9705 ACRES  
TOTAL GROSS LAND AREA: SITE 1: 1.7479 (76,138.52) (+/-) SITE 2: 0.9705 (42,274.98 SF) (+/-)  
EXISTING LAND USE: VACANT/INDUSTRIAL  
PROPOSED PRIMARY LAND USE: CLIMATE CONTROL SELF STORAGE, MIX-USE DEVELOPMENT  
PROPOSED ACCESSORY USE: OFFICE & DRIVE UP STORAGE  
CONSTRUCTION TYPE: IIB  
OCCUPANCY TYPE: S-2 (OPEN PARKING GARAGE) S-1 (ROLL UP STORAGE) B (OFFICE)  
WATER: CITY OF SANTA FE  
SEWER: CITY OF SANTA FE  
REFUSE COLLECTION: ON-SITE DUMPSTER  
FIRE PROTECTION: CITY OF SANTA FE  
MAX BUILDING HEIGHT: 45 FEET  
PROPOSED BUILDING HEIGHT: 29 FEET 6 INCH

LOT COVERAGE (GROSS SF):

SITE 1:	
BUILDING 1 (B1):	32,550 SF
BUILDING 1 (L1):	28,512 SF
BUILDING 1 (L2):	28,586 SF
TOTAL:	89,648 SF (GROSS)
ALLOWED FAR:	60% (45,683 SF)
PROVIDED FAR:	37% (28,512 SF) (LOT COVERAGE BASED ON L1)

SITE 2:	
BUILDING 2:	3,900 SF
BUILDING 3:	6,220 SF
BUILDING 4:	2,328 SF
TOTAL:	12,448 SF (GROSS)
ALLOWED FAR:	60% (25,365 SF)
PROVIDED FAR:	29% (12,448 SF)

SETBACKS:

SITE 1:		
CRCH	REQUIRED:	PROVIDED:
STREET (CERRILLOS):	29'-6"	33'-0"
REAR SIDE:	15'-0"	23'-2"
SIDE (WEST):	0'-0"	0'-0"
SIDE (EAST):	0'-0"	0'-0"

SITE 2:		
STREET (FOURTH):	REQUIRED:	PROVIDED:
REAR SIDE (NORTH):	15'-0"	17'-3"
SIDE (EAST):	0'-0"	10'-2 1/2"
SIDE (WEST):	0'-0"	7'-6 3/8"
SIDE (WEST):	0'-0"	15'-0"

OPEN SPACE:

SITE 1:	
ALLOWED:	25% (19,034 SF)
PROVIDED:	30.92% (23,542 SF)

SITE 2:	
ALLOWED:	25% (10,568 SF)
PROVIDED:	25.62% (10,831 SF)

PARKING CALCULATION:

SITE 1:	
REQUIRED:	63 SPACES
PROVIDED:	39 SPACES

SITE 2:	
REQUIRED:	6 SPACES
PROVIDED:	34 SPACES
TOTAL REQUIRED:	69 SPACES
TOTAL PROVIDED:	73 SPACES

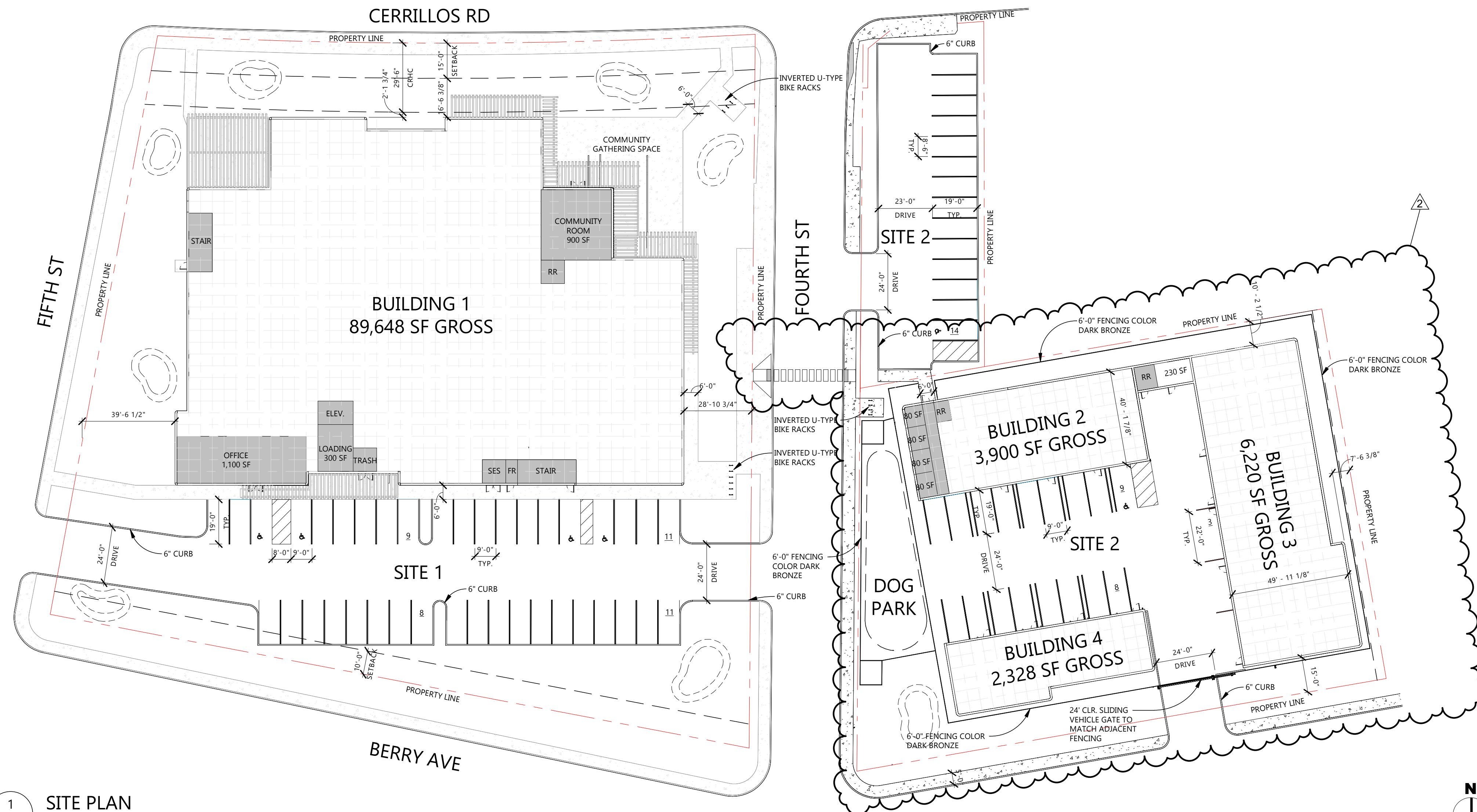
ACCESSIBLE PARKING:	
REQUIRED:	4 ADA SPACES INCLUDING 1 VAN
PROVIDED:	4 ADA SPACES INCLUDING 1 VAN

BICYCLE PARKING:	
REQUIRED:	10 SPACES
PROVIDED:	10 SPACES

SITE 2:	
REQUIRED:	4 SPACES
PROVIDED:	4 SPACES



1 SITE PLAN  
A.101 1" = 30'-0"

BASEMENT FLOOR UNIT MIX			
UNIT SIZE	S.F. Per Unit	Count	S.F. Total
5X5	25.00 SF	27	675 SF
5X7.5	37.50 SF	2	75 SF
5X10	50.00 SF	15	750 SF
10X10	100.00 SF	3	300 SF
10X15	150.00 SF	22	3300 SF
10X20	200.00 SF	99	19800 SF
Grand total		168	24900 SF



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PROJECT DESCRIPTION  
EMPIRE SELF STORAGE

CITY SANTA FE  
STATE NEW MEXICO

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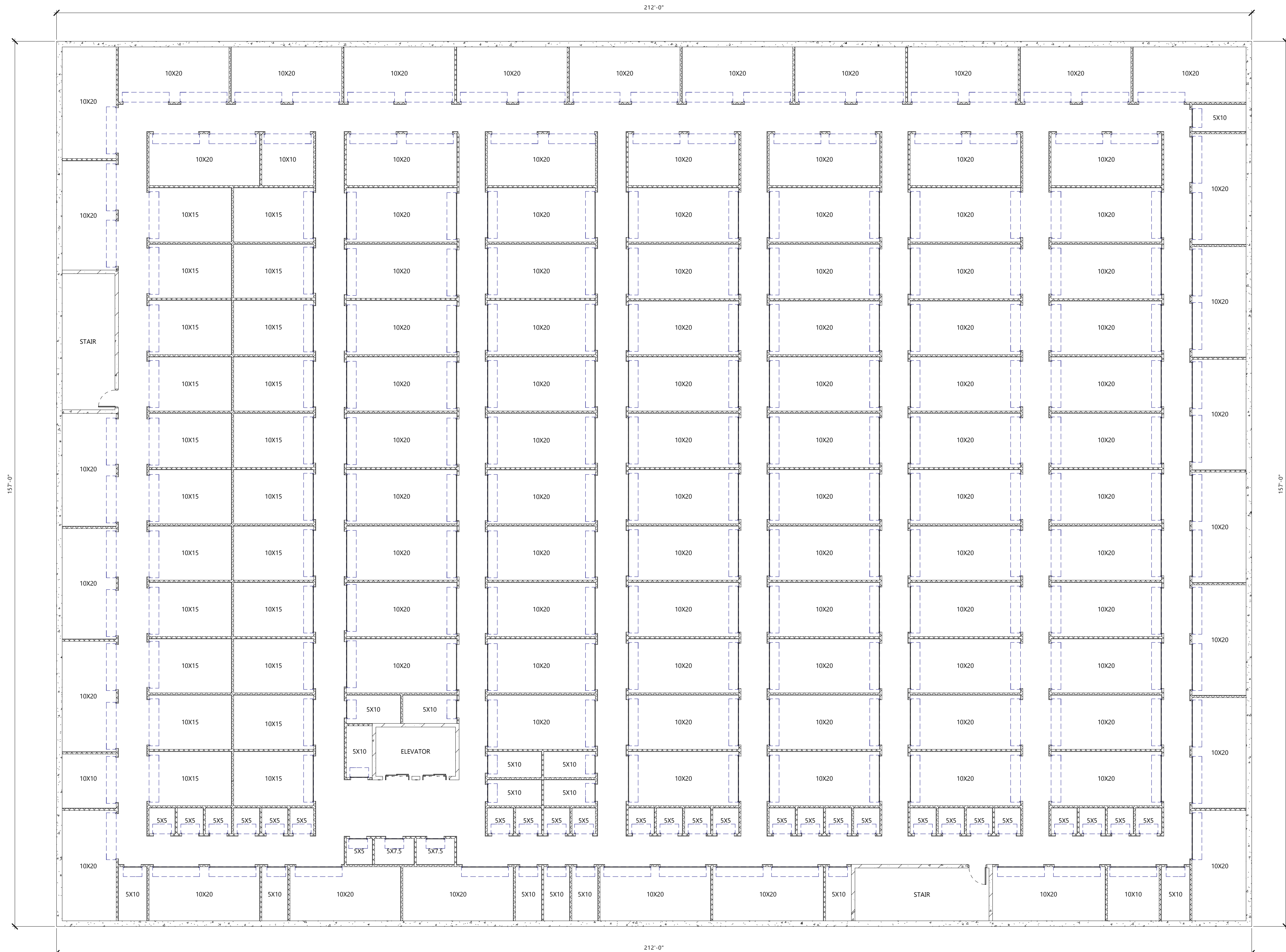
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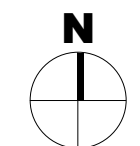
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DRAWING TITLE  
BASEMENT FLOOR PLAN

A.201



1 BASEMENT FLOOR PLAN  
A.201 1" = 10'-0"



FIRST FLOOR UNIT MATRIX				
UNIT SIZE	S.F. Per Unit	Count	S.F. Total	
5X5	25.00 SF	23	575 SF	
5X10	50.00 SF	23	1150 SF	
5X12.5	62.50 SF	1	63 SF	
10X7.5	75.00 SF	1	75 SF	
10X10	100.00 SF	5	500 SF	
10X15	150.00 SF	17	2550 SF	
10X20	200.00 SF	78	15600 SF	
<b>Grand total</b>		<b>148</b>	<b>20513 SF</b>	



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MARK	DESCRIPTION	DATE

PROJECT NO: 20253380

DRAWN BY: KS

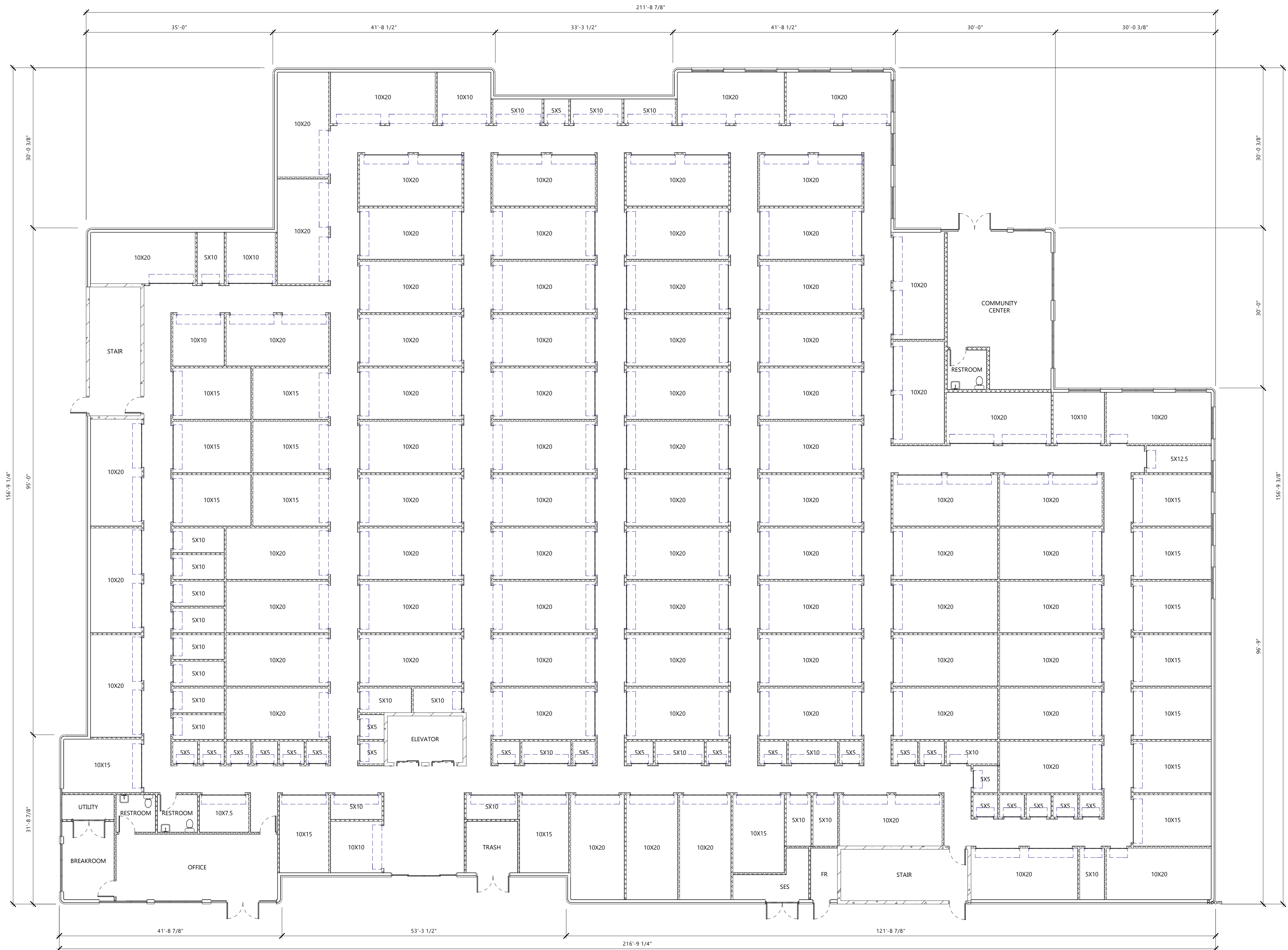
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DRAWING TITLE  
FIRST FLOOR PLAN

**A.202**



1 FIRST FLOOR PLAN  
A.202 1" = 10'-0"

Revit Version: 2025  
 Plot Date: 4/20/2025 5:28:12 PM

SECOND FLOOR UNIT MATRIX			
UNIT SIZE	S.F. Per Unit	Count	S.F. Total
5X5	25.00 SF	15	375 SF
5X7.5	37.50 SF	1	38 SF
5X10	50.00 SF	32	1600 SF
5X12.5	62.50 SF	7	438 SF
10X7.5	75.00 SF	6	450 SF
10X10	100.00 SF	7	700 SF
10X15	150.00 SF	24	3600 SF
10X20	200.00 SF	68	13600 SF
12.5X7.5	93.75 SF	1	94 SF
12.5X12.5	156.25 SF	1	156 SF
12X7.5	90.00 SF	1	90 SF
20X7.5	150.00 SF	1	150 SF
Grand total		164	21290 SF



1 SECOND FLOOR PLAN  
A.203 1" = 10'-0"

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PROJECT DESCRIPTION  
 EMPIRE SELF STORAGE

CITY SANTA FE  
 STATE NEW MEXICO

ISSUE DATES

1	DEVELOPMENT PACKAGE #3	04/22/2026
SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

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DRAWING TITLE  
 SECOND FLOOR PLAN

**A.203**

ROLL UP BLDGS UNIT MATRIX				
UNIT SIZE	S.F. Per Unit	Count	S.F. Total	
20X30	600.00 SF	2	1200 SF	
20X40	800.00 SF	3	2400 SF	
20X45	900.00 SF	3	2925 SF	
25X25	625.00 SF	2	1250 SF	
25X45	1125.00 SF	2	2250 SF	
25X50	1250.00 SF	1	1250 SF	
26X40	1040.00 SF	1	1040 SF	
Grand total		14	12315 SF	



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PROJECT DESCRIPTION  
EMPIRE SELF STORAGE

CITY SANTA FE  
STATE NEW MEXICO

ISSUE DATES

1	DEVELOPMENT PACKAGE #3	04/22/2026
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DRAWING TITLE  
ROLL-UP BLDG. FIRST FLOOR PLAN

**A.204**



1 ROLL-UP BLDGS. FIRST FLOOR PLAN  
A.204 1" = 10'-0"

Revit Version: 2025  
Plot Date: 4/20/2025 5:28:16 PM

2	DEVELOPMENT PACKAGE #3	04/22/2026
1	DEVELOPMENT PACKAGE #2	03/24/2026
SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

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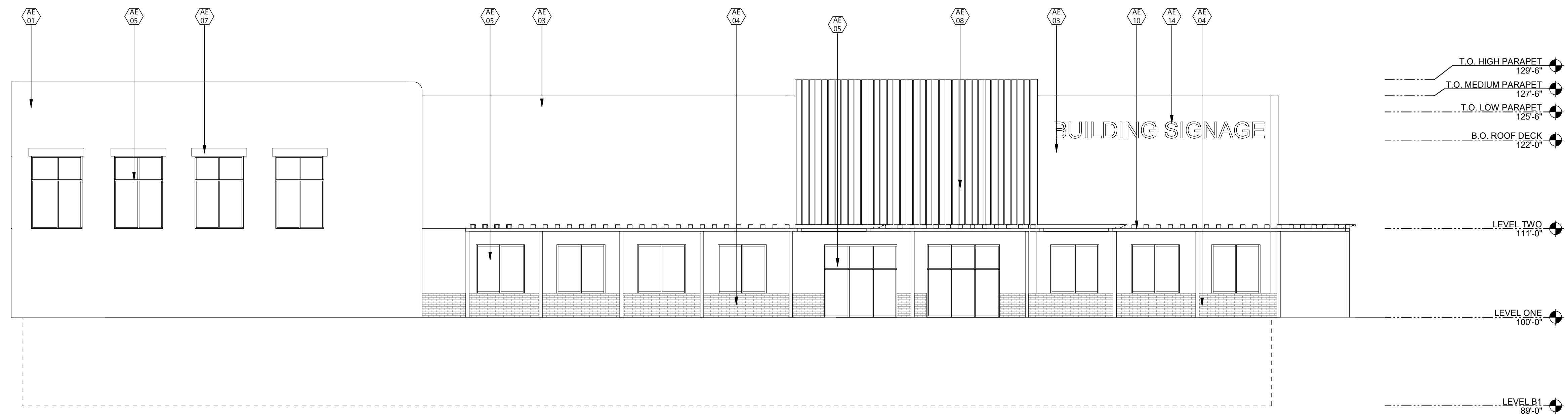
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DRAWING TITLE  
B&W BUILDING ELEVATIONS

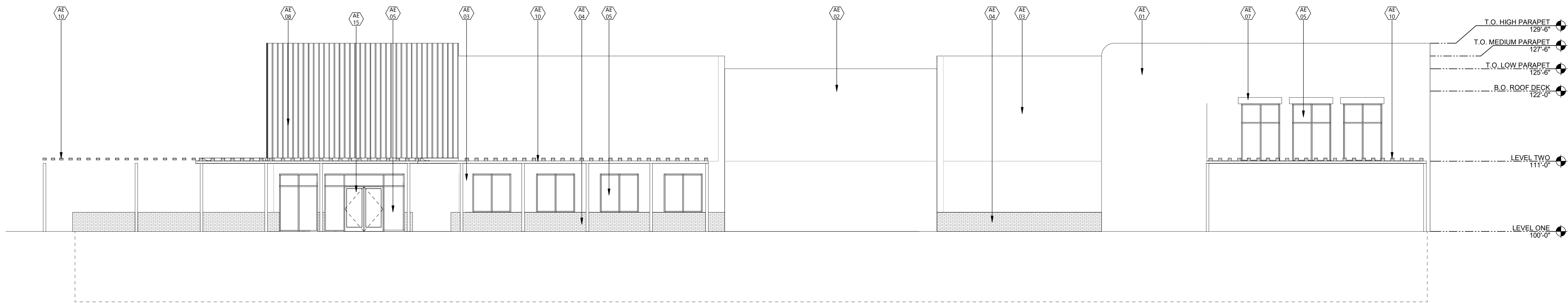
**A.401**

**KEYNOTE LEGEND:**

<<<	INDICATES KEYNOTE ON PLAN
AE 01	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW3034 (CEDAR).
AE 02	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW7068 (CITYSCAPE).
AE 03	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW6105 (DIVINE WHITE).
AE 04	THIN STONE VENEER, GENSTONE "DESERT SUNRISE".
AE 05	THERMALLY BROKEN ALUM. STOREFRONT SYSTEM - DARK BRONZE.
AE 07	FAUX STUCCO LINTEL PAINTED TO MATCH METAL WALL PANEL WALNUT WOOD.
AE 08	WESTERN STATES METAL ROOFING ALUM. WALL PANEL, WESTERN REVEAL 2.0, 12" PANEL - COLOR WALNUT WOOD.
AE 10	WOOD TRELLIS - COLOR DARK WALNUT TO MATCH METAL WALL PANEL.
AE 14	BUILDING SIGNAGE BY OTHERS, 2' X 25', 50 SF.
AE 15	ALUM. STOREFRONT DOOR - DARK BRONZE.



**2 EAST ELEVATION**  
A.401 1/8" = 1'-0"



**1 NORTH ELEVATION**  
A.401 1/8" = 1'-0"

2	DEVELOPMENT PACKAGE #3	04/22/2026
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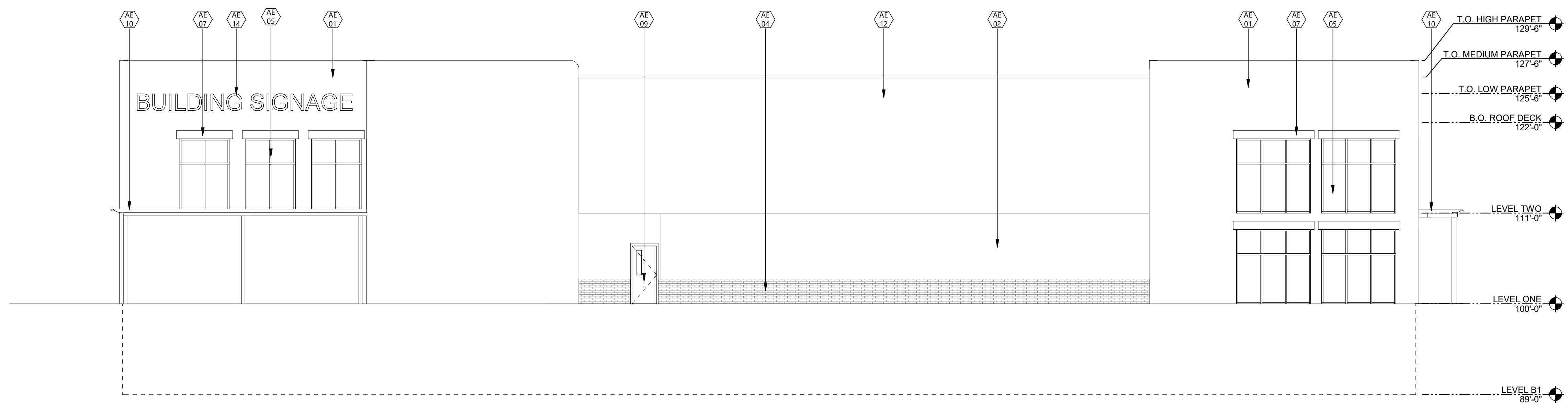
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DRAWING TITLE  
B&W BUILDING ELEVATIONS

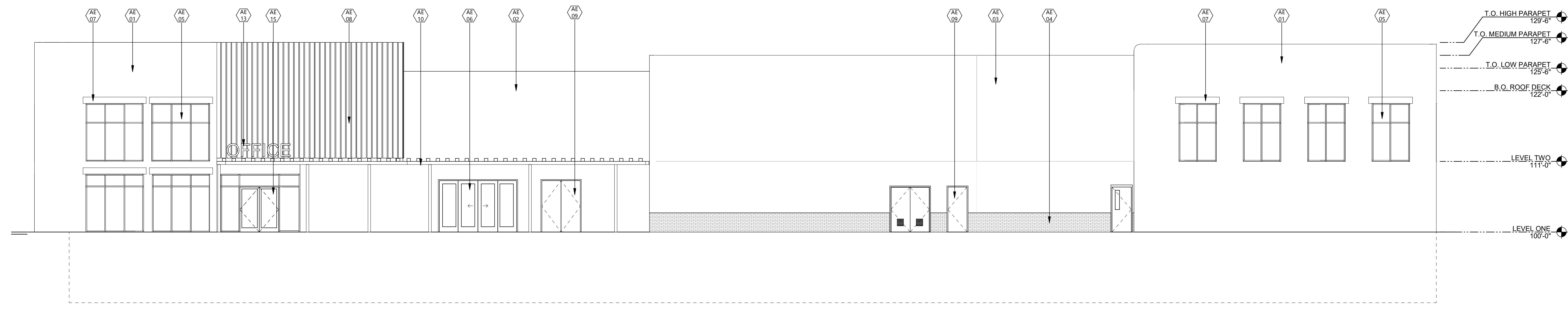
**A.402**

**KEYNOTE LEGEND:**

◊ ◊ ◊	INDICATES KEYNOTE ON PLAN
AE 01	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW3034 (CEDAR).
AE 02	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW7068 (CITYSCAPE).
AE 03	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW6105 (DIVINE WHITE).
AE 04	THIN STONE VENEER, GONSTONE "DESERT SUNRISE".
AE 05	THERMALLY BROKEN ALUM. STOREFRONT SYSTEM - DARK BRONZE.
AE 06	AUTOMATIC SLIDING DOOR, COLOR DARK BRONZE.
AE 07	FAUX STUCCO LINTEL PAINTED TO MATCH METAL WALL PANEL WALNUT WOOD.
AE 08	WESTERN STATES METAL ROOFING ALUM. WALL PANEL, WESTERN REVEAL 2.0, 12" PANEL - COLOR WALNUT WOOD.
AE 09	H.M. DOOR PAINTED TO MATCH ADJACENT STUCCO.
AE 10	WOOD TRELLIS - COLOR DARK WALNUT TO MATCH METAL WALL PANEL.
AE 12	DESIGNATED SPACE FOR PAINTED MURAL.
AE 13	BUILDING SIGNAGE BY OTHERS, 2' X 10', 20 SF.
AE 14	BUILDING SIGNAGE BY OTHERS, 2' X 25', 50 SF.
AE 15	ALUM. STOREFRONT DOOR - DARK BRONZE.



**2 WEST ELEVATION**  
A.402 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
A.402 1/8" = 1'-0"

KEYNOTE LEGEND:

⬅ ⬅	INDICATES KEYNOTE ON PLAN
AE 01	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW3034 (CEDAR).
AE 03	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW6105 (DIVINE WHITE).
AE 05	THERMALLY BROKEN ALUM. STOREFRONT SYSTEM - DARK BRONZE.
AE 07	FAUX STUCCO LINTEL PAINTED TO MATCH METAL WALL PANEL WALNUT WOOD.
AE 09	H.M. DOOR PAINTED TO MATCH ADJACENT STUCCO.
AE 11	INSULATED ROLL UP DOOR, COLOR WHITE.
AE 16	DOWNSPOUT - DARK BRONZE.
AE 17	SAFETY BOLLARD, TRAFFIC YELLOW.
AE 18	WALL PACK LIGHT, DARK BRONZE.
AE 19	6' FENCING, DARK BRONZE.



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Interior Design Industrial  
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112 No.Roberts Street, Suite 300, Fargo ND 58102  
www.eapc.net

CONSULTANTS

CLIENT  
DXD SS F2 LAND, L.L.C

PROJECT DESCRIPTION  
EMPIRE SELF STORAGE

CITY SANTA FE  
STATE NEW MEXICO

ISSUE DATES

1	DEVELOPMENT PACKAGE #3	04/22/2026
SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

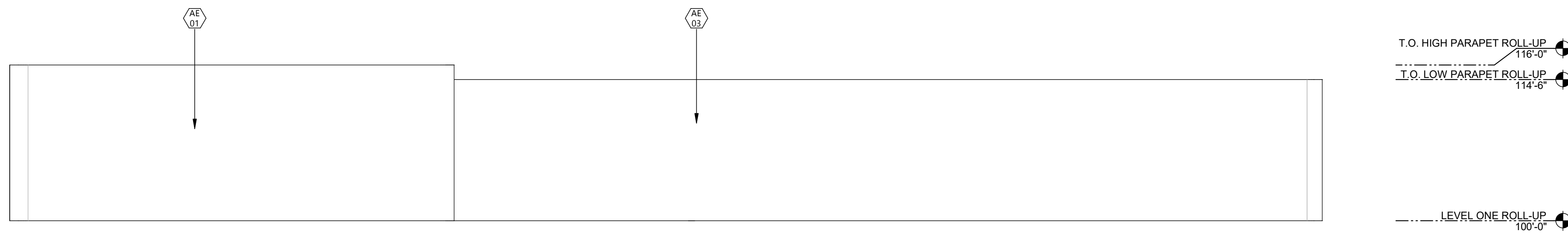
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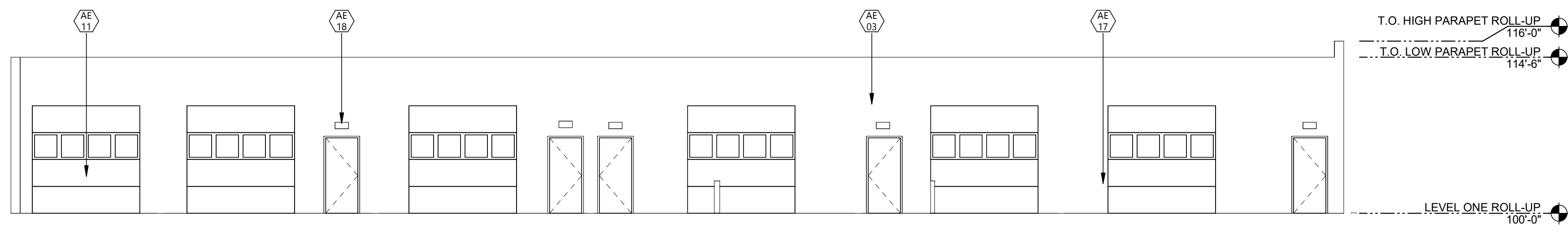
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DRAWING TITLE  
B&W BUILDING ELEVATIONS

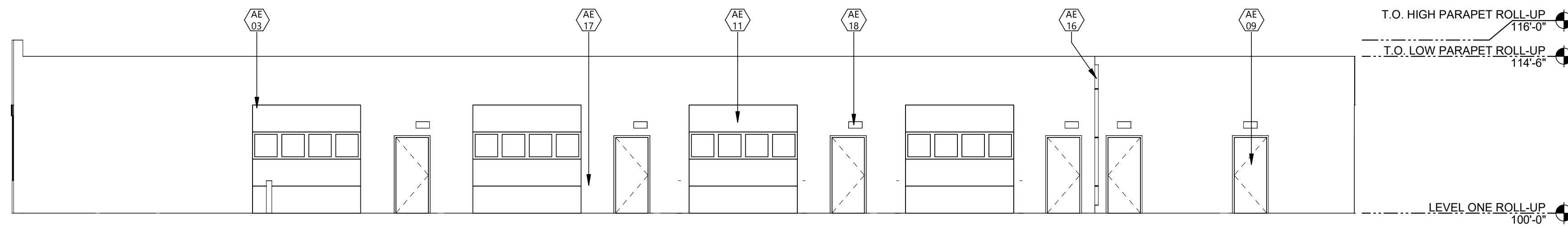
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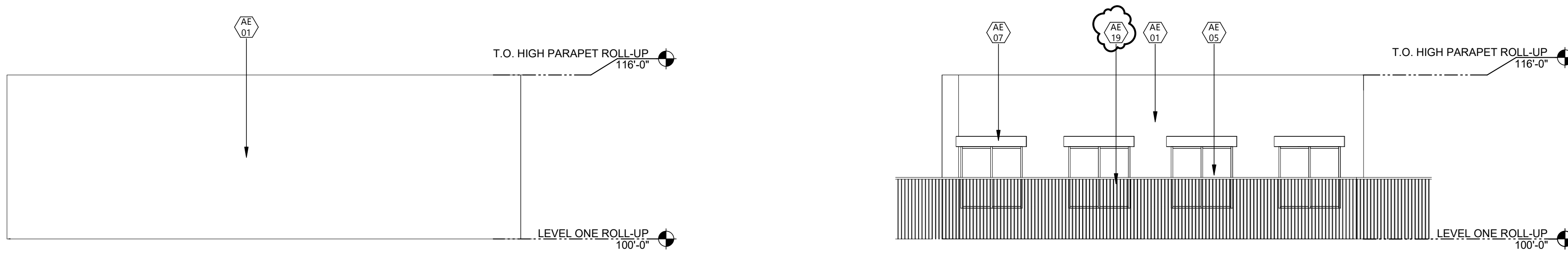
7 ROLL-UP BLDG 3 - EAST  
A.403 1/8" = 1'-0"



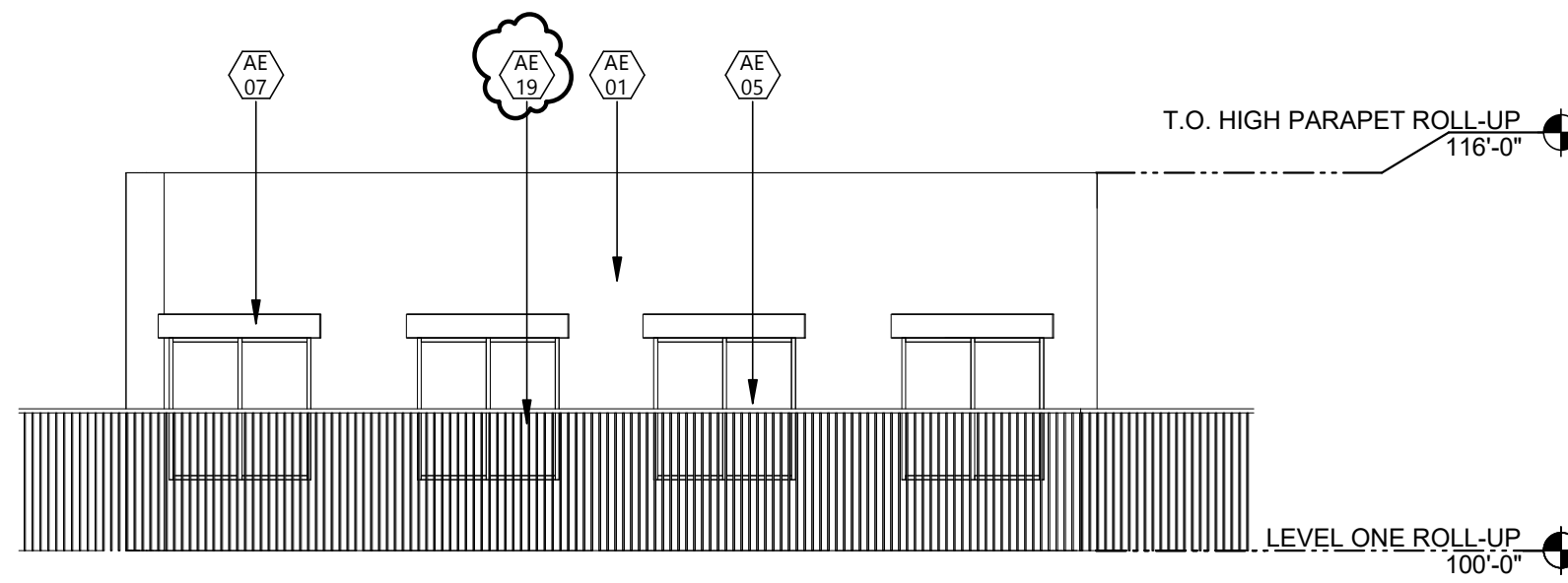
6 ROLL-UP BLDG 3 - WEST  
A.403 1/8" = 1'-0"



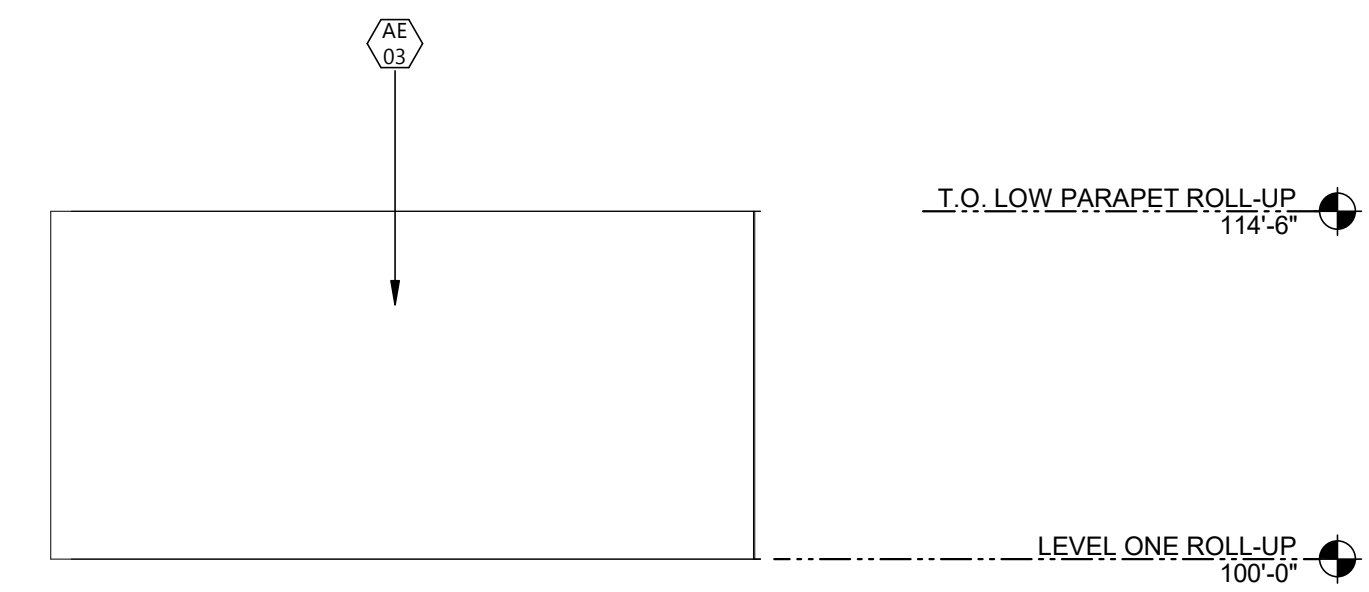
5 ROLL-UP BLDG 2 - SOUTH  
A.403 1/8" = 1'-0"



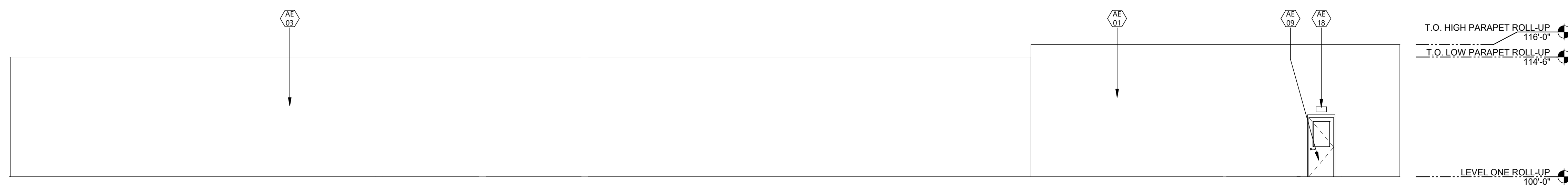
4 ROLL-UP BLDG 3 - SOUTH  
A.403 1/8" = 1'-0"



3 ROLL-UP BLDG 2 - WEST  
A.403 1/8" = 1'-0"



2 ROLL-UP BLDG 2 - EAST  
A.403 1/8" = 1'-0"



1 ROLL-UP BLDG 2 & 3 - NORTH  
A.403 1/8" = 1'-0"

KEYNOTE LEGEND:	
	<<< INDICATES KEYNOTE ON PLAN
AE 01	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW3034 (CEDAR).
AE 02	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW7068 (CITYSCAPE).
AE 11	INSULATED ROLL UP DOOR, COLOR WHITE.
AE 16	DOWNSPOUT - DARK BRONZE.
AE 17	SAFETY BOLLARD, TRAFFIC YELLOW.
AE 18	WALL PACK LIGHT, DARK BRONZE.

CONSULTANTS

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 DXD SS F2 LAND, L.L.C

PROJECT DESCRIPTION  
 EMPIRE SELF STORAGE

CITY SANTA FE  
 STATE NEW MEXICO

ISSUE DATES

MARK	DESCRIPTION	DATE
1	DEVELOPMENT PACKAGE #3	04/22/2026
SD	DEVELOPMENT PACKAGE	12/05/2025

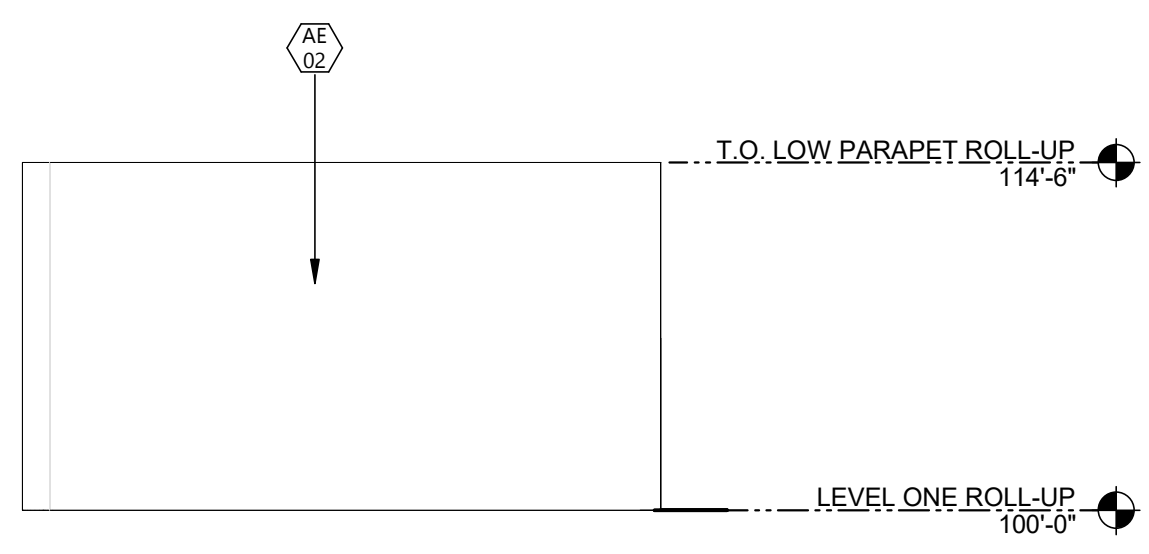
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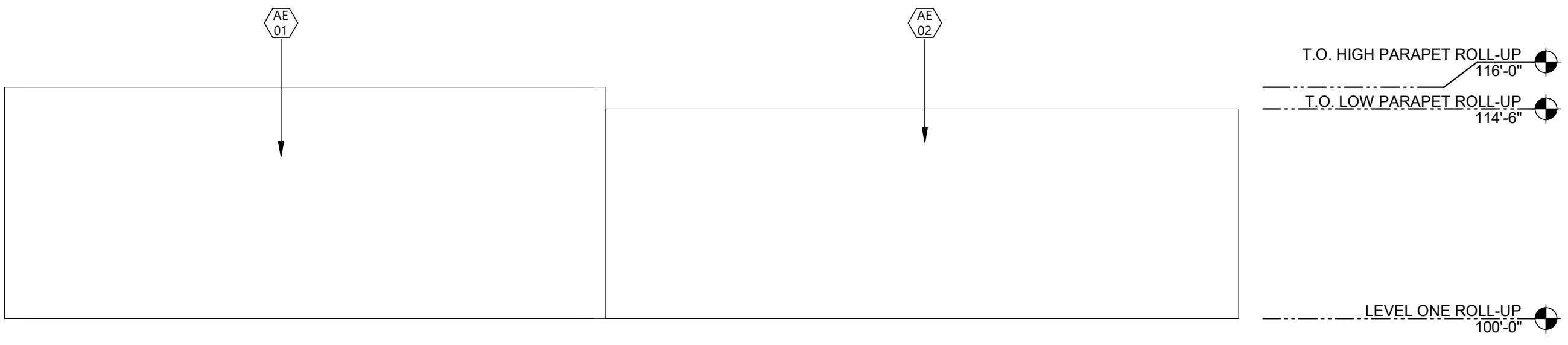
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DRAWING TITLE  
 B&W BUILDING ELEVATIONS

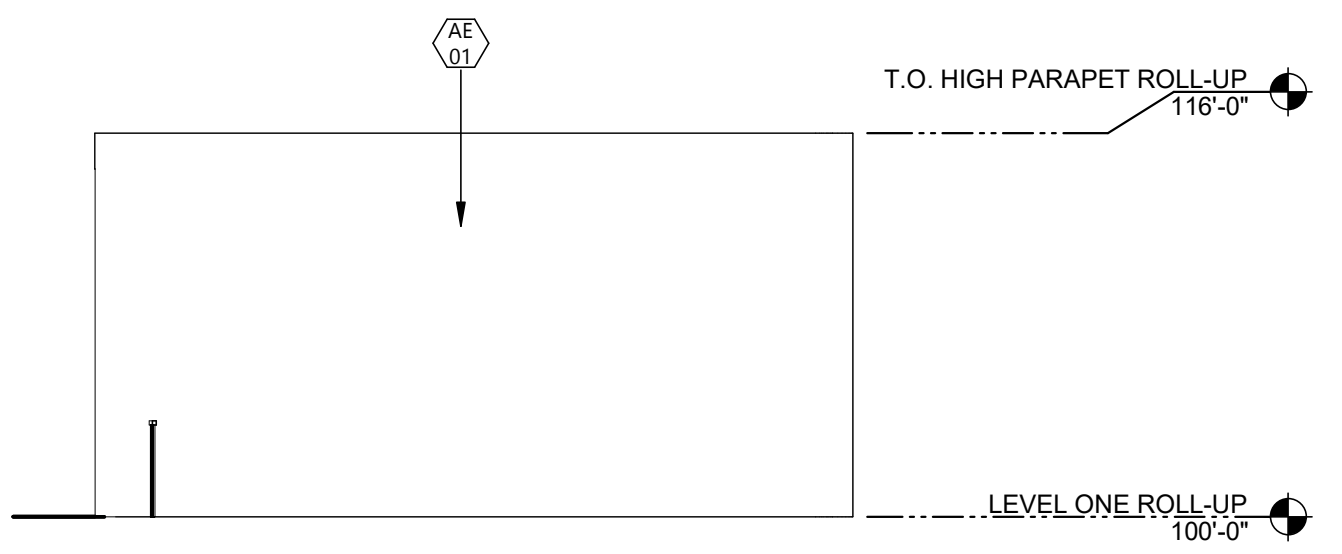
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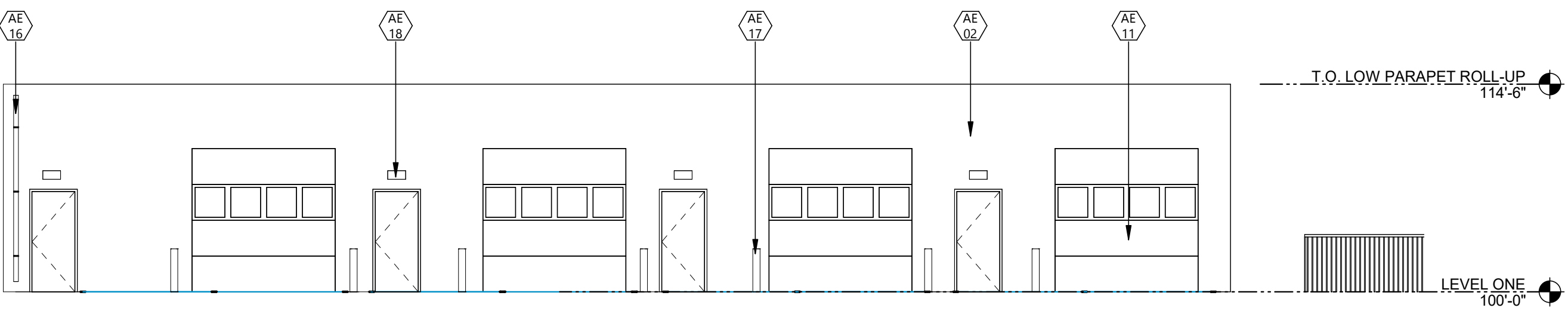
4 ROLL-UP BLDG 4 - EAST  
 A.404 1/8" = 1'-0"



3 ROLL-UP BLDG 4 - SOUTH  
 A.404 1/8" = 1'-0"



2 ROLL-UP BLDG 4 - WEST  
 A.404 1/8" = 1'-0"



1 ROLL-UP BLDG 4 - NORTH  
 A.404 1/8" = 1'-0"

2	DEVELOPMENT PACKAGE #3	04/22/2026
1	DEVELOPMENT PACKAGE #2	03/24/2026
SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

PROJECT NO: 20253380  
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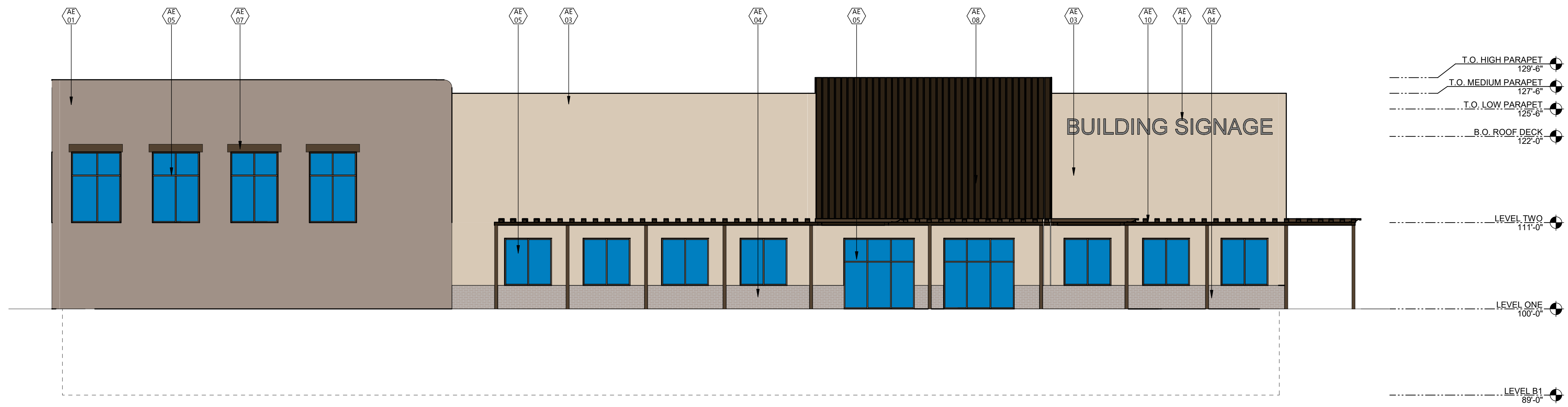
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DRAWING TITLE  
COLORED BUILDING ELEVATIONS

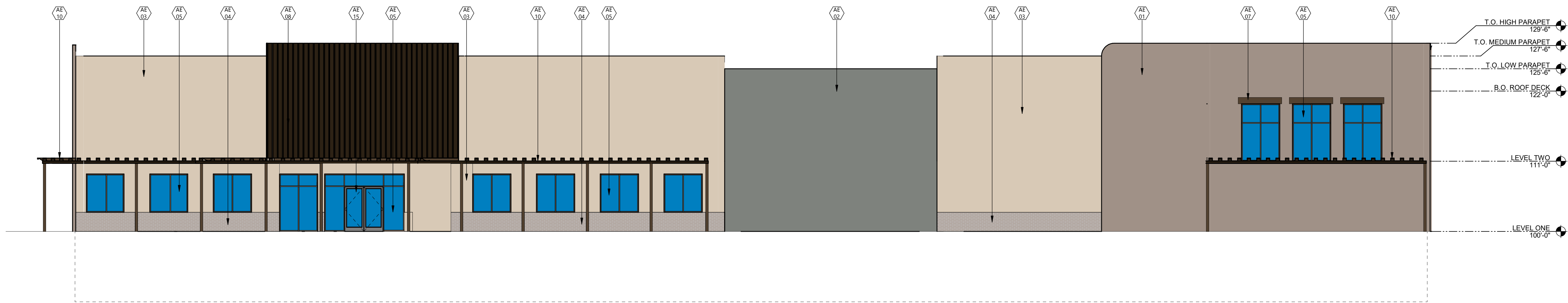
**A.405**

**KEYNOTE LEGEND:**

⬡	<<< INDICATES KEYNOTE ON PLAN
AE 01	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW3034 (CEDAR).
AE 02	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW7068 (CITYSCAPE).
AE 03	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW6105 (DIVINE WHITE).
AE 04	THIN STONE VENEER, GENSTONE "DESERT SUNRISE".
AE 05	THERMALLY BROKEN ALUM. STOREFRONT SYSTEM - DARK BRONZE.
AE 07	FAUX STUCCO LINTEL PAINTED TO MATCH METAL WALL PANEL WALNUT WOOD.
AE 08	WESTERN STATES METAL ROOFING ALUM. WALL PANEL, WESTERN REVEAL 2.0, 12" PANEL - COLOR WALNUT WOOD.
AE 10	WOOD TRELLIS - COLOR DARK WALNUT TO MATCH METAL WALL PANEL.
AE 14	BUILDING SIGNAGE BY OTHERS, 2' X 25', 50 SF.
AE 15	ALUM. STOREFRONT DOOR - DARK BRONZE.



2 EAST ELEVATION  
A.405 1/8" = 1'-0"



1 NORTH ELEVATION  
A.405 1/8" = 1'-0"

CONSULTANTS

CLIENT  
DXD SS F2 LAND, L.L.C

PROJECT DESCRIPTION  
EMPIRE SELF STORAGE

CITY SANTA FE  
STATE NEW MEXICO

ISSUE DATES

2	DEVELOPMENT PACKAGE #3	04/22/2026
1	DEVELOPMENT PACKAGE #2	03/24/2026
SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

PROJECT NO: 20253380  
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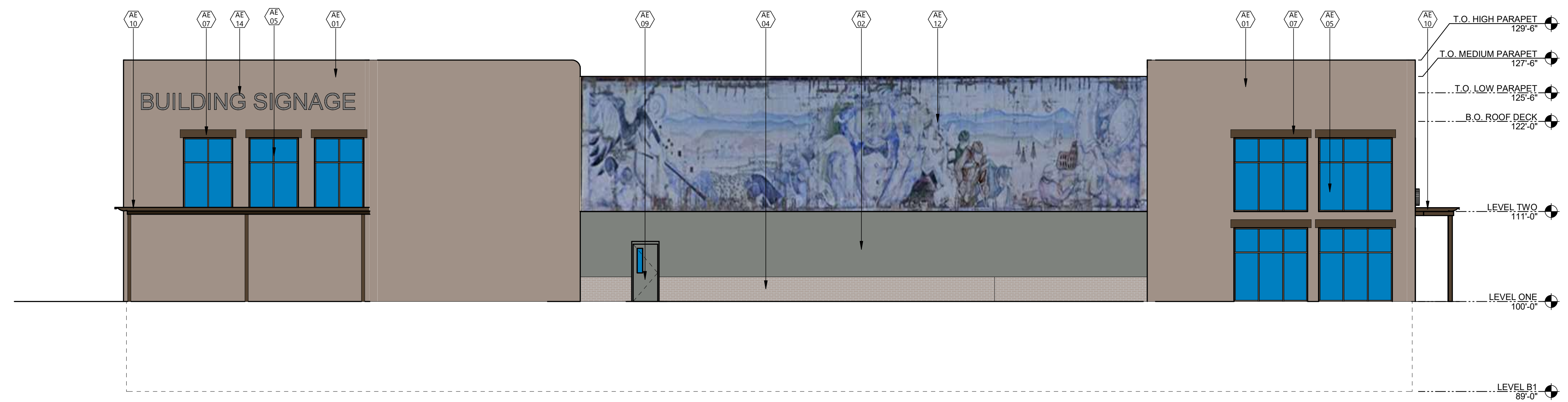
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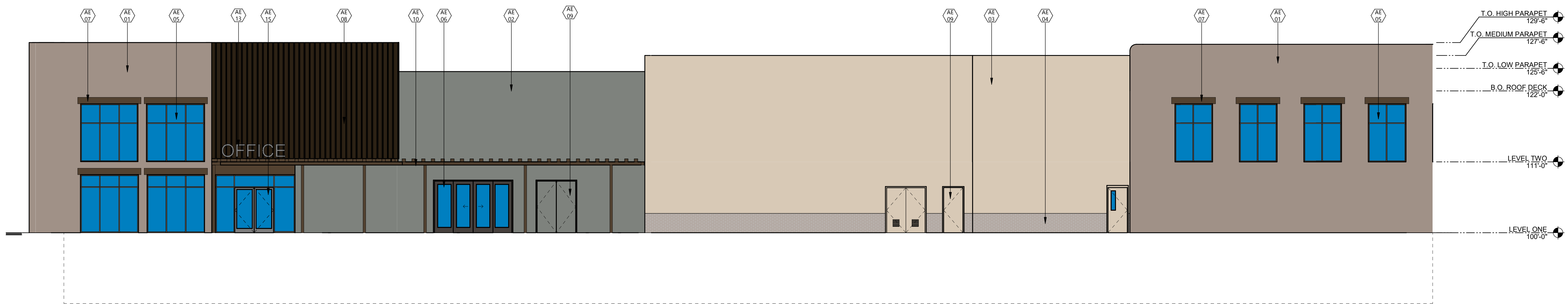
**A.406**

**KEYNOTE LEGEND:**

◊ ◊ ◊	<<< INDICATES KEYNOTE ON PLAN
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AE 02	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW7068 (CITYSCAPE).
AE 03	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW6105 (DIVINE WHITE).
AE 04	THIN STONE VENEER, GENSTONE "DESERT SUNRISE".
AE 05	THERMALLY BROKEN ALUM. STOREFRONT SYSTEM - DARK BRONZE.
AE 06	AUTOMATIC SLIDING DOOR, COLOR DARK BRONZE.
AE 07	FAUX STUCCO LINTEL PAINTED TO MATCH METAL WALL PANEL WALNUT WOOD.
AE 08	WESTERN STATES METAL ROOFING ALUM. WALL PANEL, WESTERN REVEAL 2.0, 12" PANEL - COLOR WALNUT WOOD.
AE 09	H.M. DOOR PAINTED TO MATCH ADJACENT STUCCO.
AE 10	WOOD TRELLIS - COLOR DARK WALNUT TO MATCH METAL WALL PANEL.
AE 12	DESIGNATED SPACE FOR PAINTED MURAL.
AE 13	BUILDING SIGNAGE BY OTHERS, 2' X 10', 20 SF.
AE 14	BUILDING SIGNAGE BY OTHERS, 2' X 25', 50 SF.
AE 15	ALUM. STOREFRONT DOOR - DARK BRONZE.



2 WEST ELEVATION  
A.406 1/8" = 1'-0"



1 SOUTH ELEVATION  
A.406 1/8" = 1'-0"

1	DEVELOPMENT PACKAGE #3	04/22/2026
SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

PROJECT NO: 20253380  
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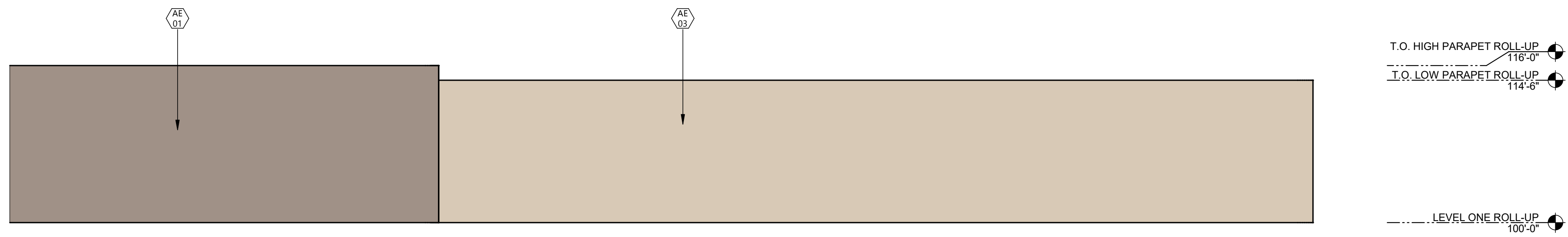
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COLORED BUILDING ELEVATIONS

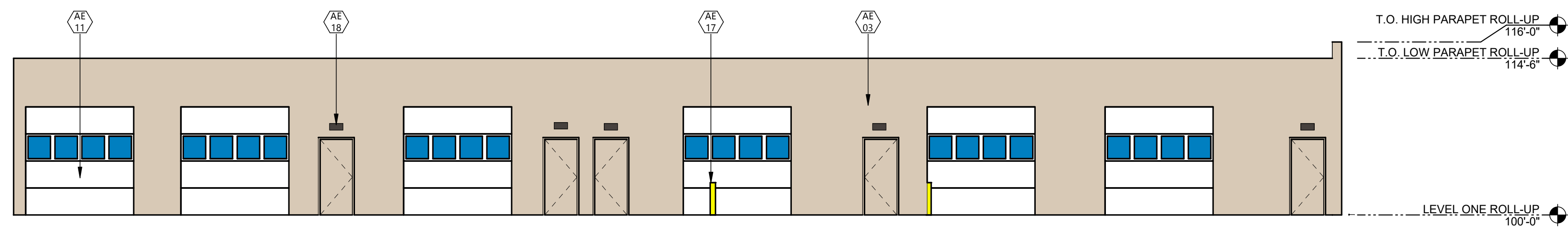
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**KEYNOTE LEGEND:**

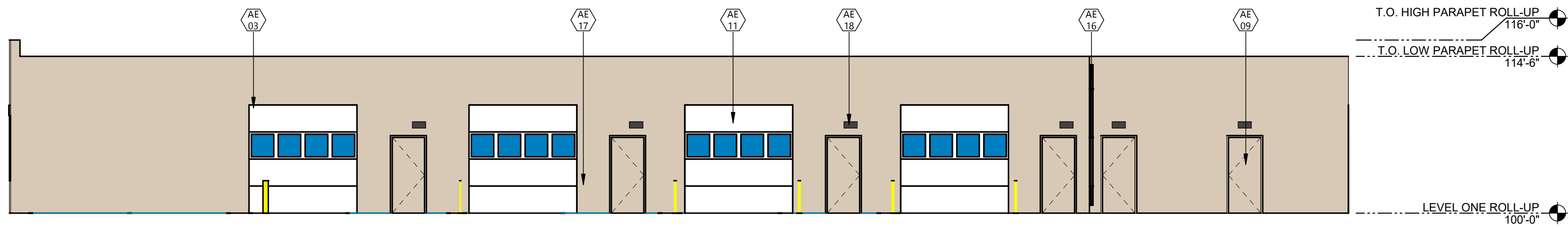
⬡	<<< INDICATES KEYNOTE ON PLAN
AE 01	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW3034 (CEDAR).
AE 03	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW6105 (DIVINE WHITE).
AE 05	THERMALLY BROKEN ALUM. STOREFRONT SYSTEM - DARK BRONZE.
AE 07	FAUX STUCCO LINTEL PAINTED TO MATCH METAL WALL PANEL WALNUT WOOD.
AE 09	H.M. DOOR PAINTED TO MATCH ADJACENT STUCCO.
AE 11	INSULATED ROLL UP DOOR, COLOR WHITE.
AE 16	DOWNSPOUT - DARK BRONZE.
AE 17	SAFETY BOLLARD, TRAFFIC YELLOW.
AE 18	WALL PACK LIGHT, DARK BRONZE.
AE 19	6' FENCING, DARK BRONZE.



7 ROLL-UP BLDG 3 - EAST  
A.407 1/8" = 1'-0"



6 ROLL-UP BLDG 3 - WEST  
A.407 1/8" = 1'-0"

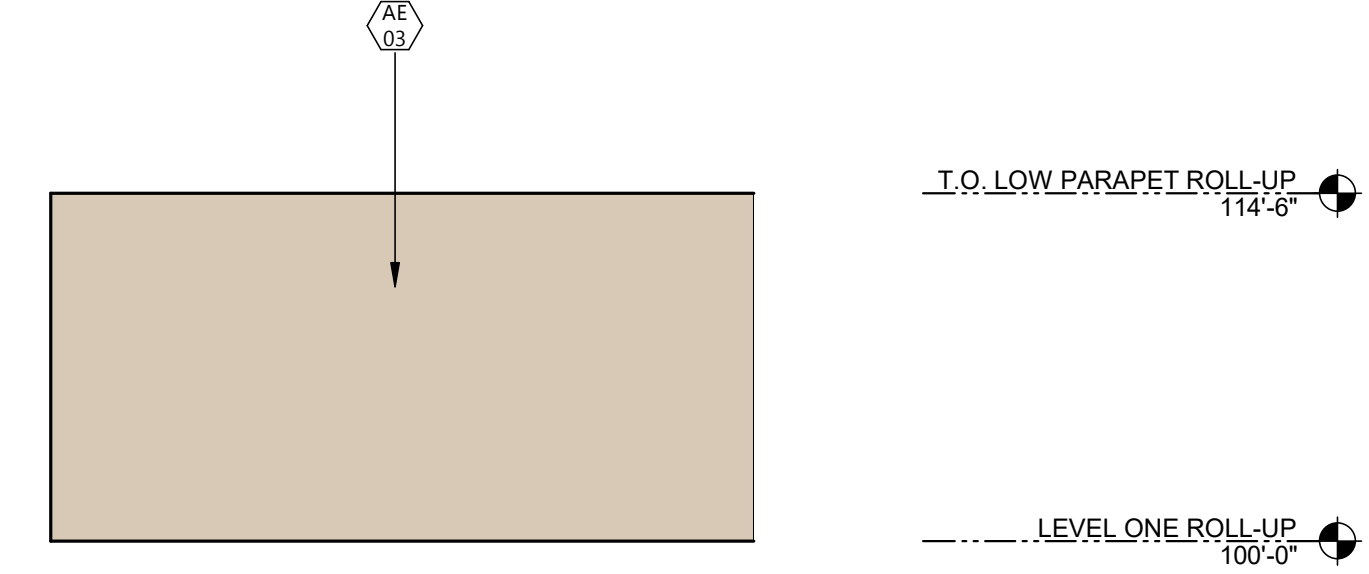


5 ROLL-UP BLDG 2 - SOUTH  
A.407 1/8" = 1'-0"

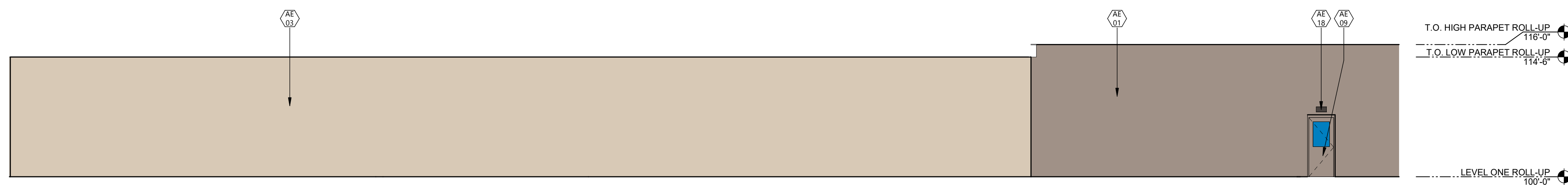


4 ROLL-UP BLDG 3 - SOUTH  
A.407 1/8" = 1'-0"

3 ROLL-UP BLDG 2 - WEST  
A.407 1/8" = 1'-0"



2 ROLL-UP BLDG 2 - EAST  
A.407 1/8" = 1'-0"



1 ROLL-UP BLDG 2 & 3 - NORTH  
A.407 1/8" = 1'-0"

KEYNOTE LEGEND:	
	<< INDICATES KEYNOTE ON PLAN
AE 01	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW3034 (CEDAR).
AE 02	MEDIUM FINISH STUCCO, PAINTED TO MATCH SHERWIN WILLIAMS SW7068 (CITYSCAPE).
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AE 16	DOWNSPOUT - DARK BRONZE.
AE 17	SAFETY BOLLARD, TRAFFIC YELLOW.
AE 18	WALL PACK LIGHT, DARK BRONZE.

CONSULTANTS

CLIENT  
DXD SS F2 LAND, L.L.C

PROJECT DESCRIPTION  
EMPIRE SELF STORAGE

CITY SANTA FE  
STATE NEW MEXICO

ISSUE DATES

MARK	DESCRIPTION	DATE
1	DEVELOPMENT PACKAGE #3	04/22/2026
SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

PROJECT NO: 20253380

DRAWN BY: KS

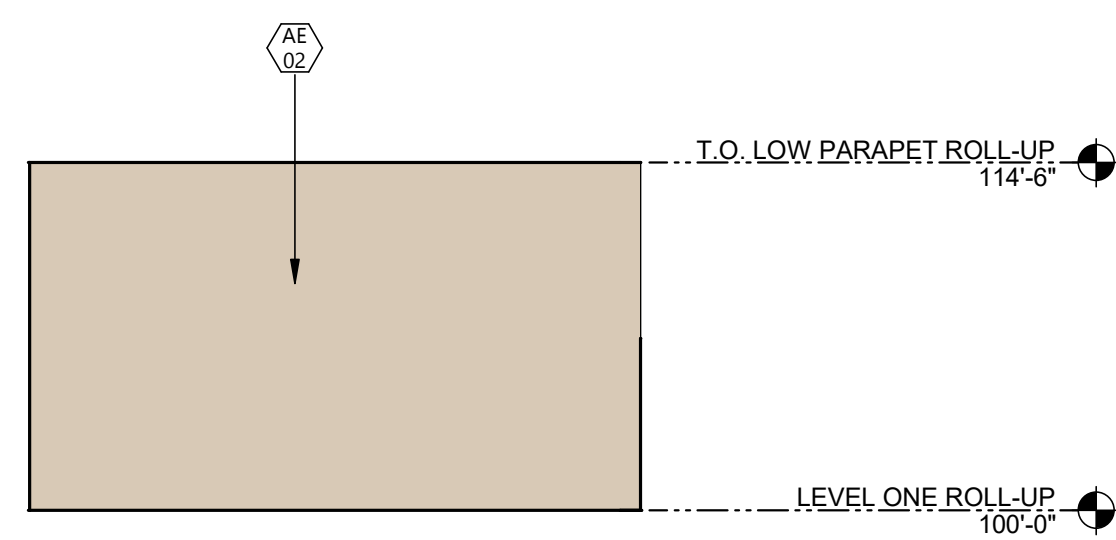
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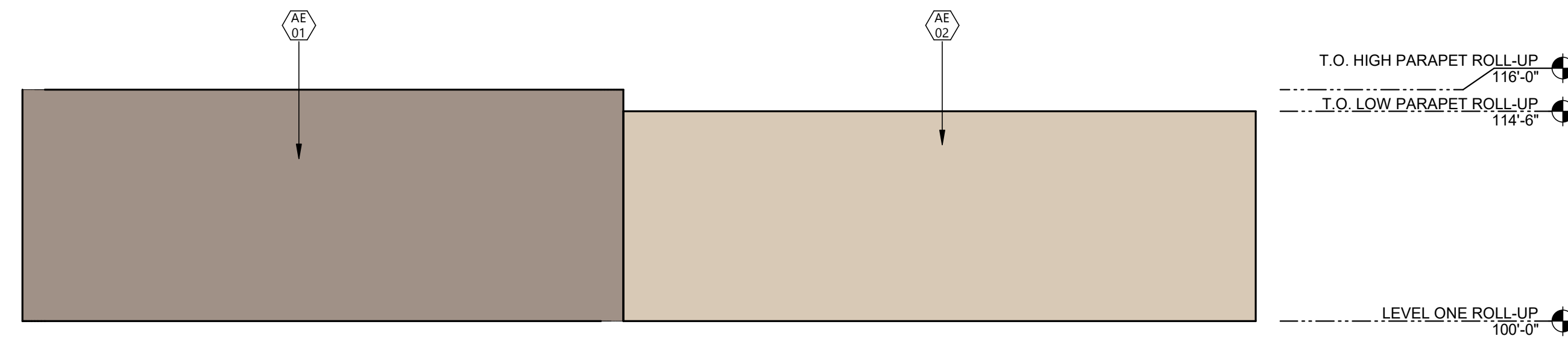
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DRAWING TITLE  
COLORED BUILDING ELEVATIONS

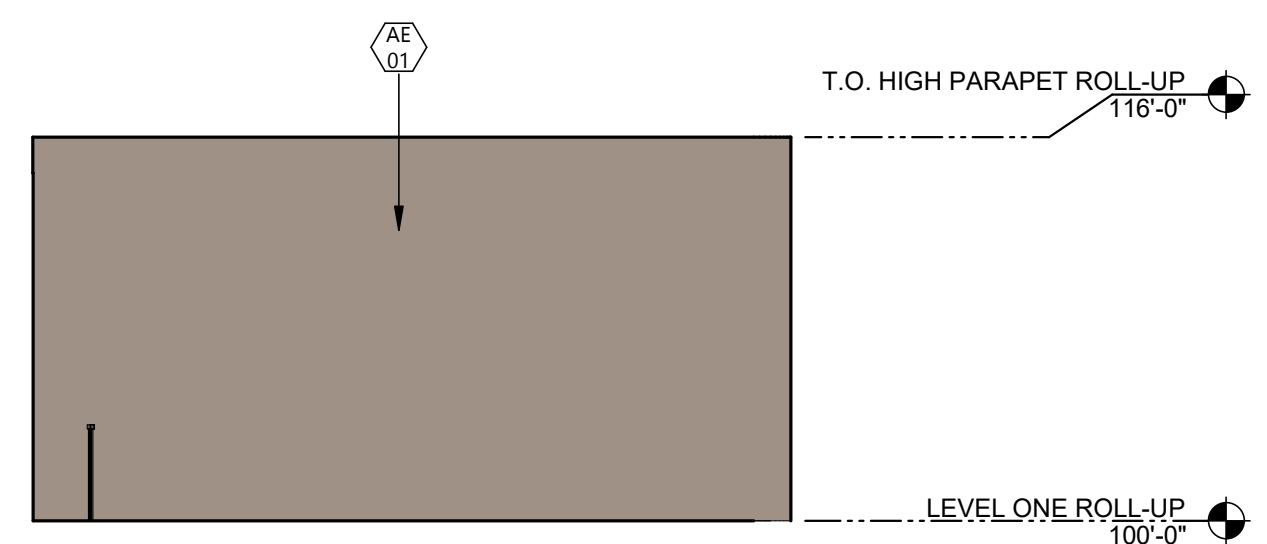
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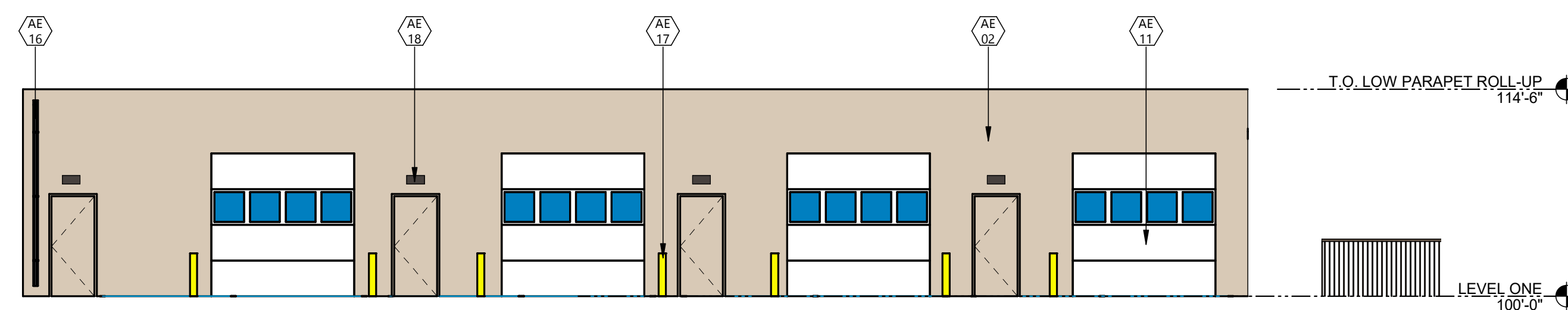
4 ROLL-UP BLDG 4 - EAST  
A.408 1/8" = 1'-0"



3 ROLL-UP BLDG 4 - SOUTH  
A.408 1/8" = 1'-0"



2 ROLL-UP BLDG 4 - WEST  
A.408 1/8" = 1'-0"



1 ROLL-UP BLDG 4 - NORTH  
A.408 1/8" = 1'-0"

1	DEVELOPMENT PACKAGE #2	03/24/2026
SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

PROJECT NO: 20253380

DRAWN BY: KS

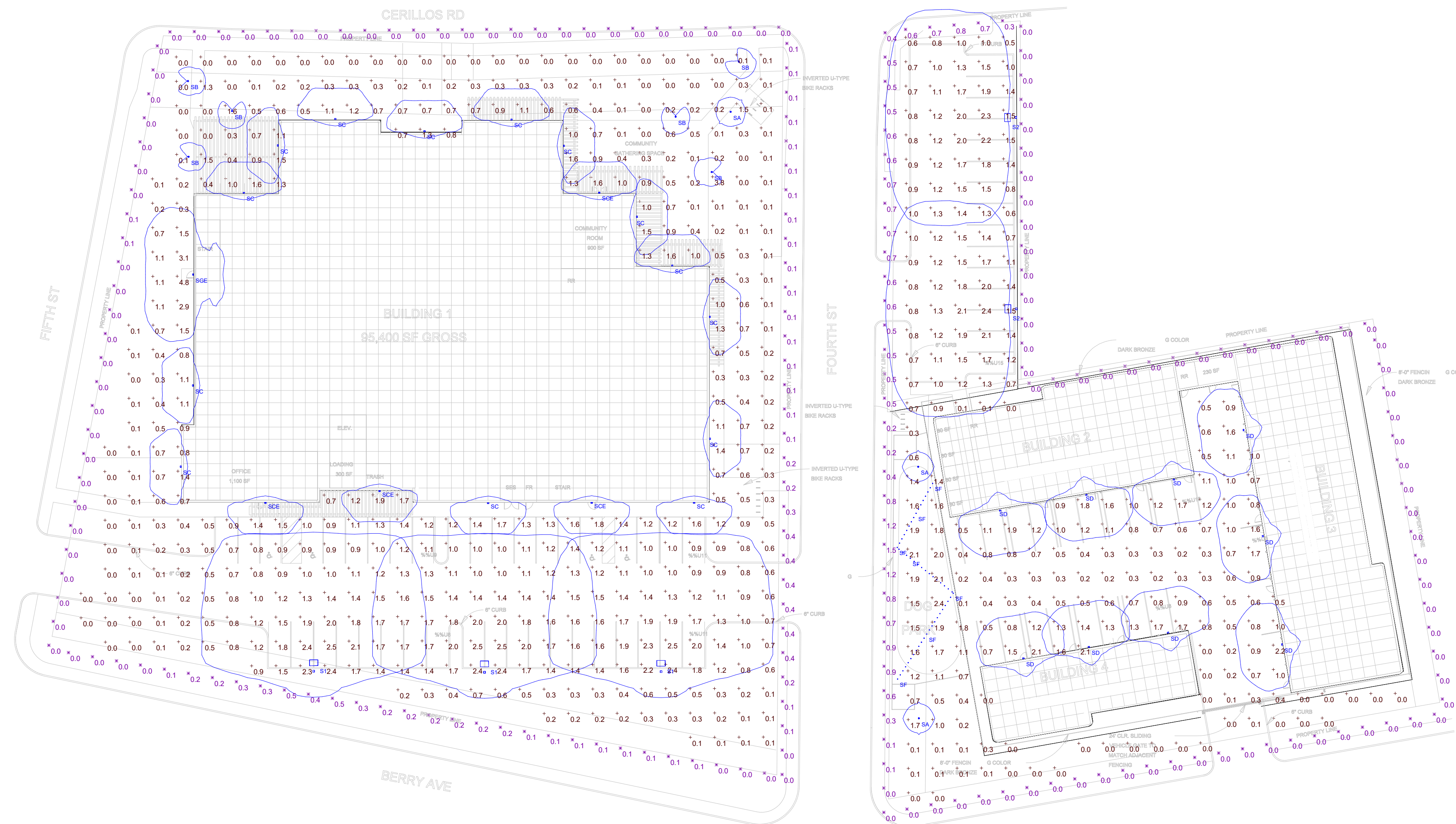
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DRAWING TITLE  
PHOTOMETRICS

**E.101**



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
LIGHT SPILL AT PROPERTY LINE (BLDG 1)	✕	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
LIGHT SPILL AT PROPERTY LINE (BLDGS 2, 3 & 4)	✕	0.2 fc	1.5 fc	0.0 fc	N/A	N/A
SITE (BLDG 1) - FC @ GRADE	+	0.8 fc	4.8 fc	0.0 fc	N/A	N/A
SITE (BLDGS 2, 3 & 4) - FC @ GRADE	+	0.9 fc	2.4 fc	0.0 fc	N/A	N/A

**GENERAL NOTES**  
1. ALL OUTDOOR LIGHTING MUST MEET CITY OF SANTA FE OUTDOOR LIGHTING CODE SECTION 14-8.9.

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Wattage
□	S1	3	LITHONIA	DSX0 LED P5 30K 80CRI TFTM MVOLT SPA HS (FINISH) / SSS 17.5" W/2.5" BASE	AREA LUMINAIRE WITH P5 PERFORMANCE PACKAGE WITH FOWARD THROW OPTICS AND HOUSE SIDE SHIELD. MOUNTED @ 20'-0"	LED - 3000K	1	9026	1	0.91	90.12
□	S2	2	LITHONIA	DSX0 LED P4 30K 80CRI BLG4 MVOLT SPA (FINISH) / SSS 17.5" W/2.5" BASE	AREA LUMINAIRE WITH P4 PERFORMANCE PACKAGE WITH TYPE 4 BACKLIT CONTROL OPTICS. MOUNTED @ 20'-0"	LED - 3000K	1	7283	1	0.91	93.04
○	SA	3	LITHONIA	RADB LED P1 30K SYM MVOLT BTS BCC (FINISH)	42" H. BOLLARD WITH SYMMETRIC DISTRIBUTION	LED - 3000K	1	315	1	0.91	5.21
○	SB	6	LITHONIA	RADB LED P1 30K ASY MVOLT BTS BCC (FINISH)	42" H. BOLLARD WITH ASYMMETRIC DISTRIBUTION	LED - 3000K	1	286	1	0.91	5.21
□	SC	14	LITHONIA	WDGE2 LED P0 30K 80CRI T3M MVOLT SRM (FINISH)	WDGE2 LED WITH P0 - PERFORMANCE PACKAGE WITH TYPE 3 MEDIUM OPTIC. MOUNTED @ 8'-0"	LED - 3000K	1	693	1	0.91	6.8946
□	SCE	4	LITHONIA	WDGE2 LED P0 30K 80CRI T3M MVOLT SRM E20WC (FINISH)	WDGE2 LED WITH P0 - PERFORMANCE PACKAGE WITH TYPE 3 MEDIUM OPTIC AND EM BATTERY PACK MOUNTED @ 8'-0"	LED - 3000K	1	693	1	0.91	6.8946
□	SD	9	LITHONIA	WDGE2 LED P1 30K 80CRI T4M MVOLT SRM (FINISH)	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE WITH TYPE 4 MEDIUM OPTIC. MOUNTED @ 8'-0"	LED - 3000K	1	1179	1	0.91	11.1658
○	SF	53	ALUZ	AS-ZOZO-FLT 24" 27K-GSFL-3W WET (LENGTH) / RSS 10'-0" POLE	STRING / FESTOON LIGHTS. MOUNTED @ 10'-0"	LED - 2700K	1	247	1	0.91	3.08
□	SGE	1	LITHONIA	WDGE2 LED P3 30K 80CRI T3M MVOLT SRM E20WC (FINISH)	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE WITH TYPE 3 MEDIUM OPTIC AND EM BATTERY PACK MOUNTED @ 8'-0"	LED - 3000K	1	3063	1	0.91	32.1375

Table with 3 columns: #, DEVELOPMENT PACKAGE, DATE

PROJECT NO: 20253380 DRAWN BY: KS CHECKED BY: MH

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DRAWING TITLE LIGHTING CUT SHEETS



Specifications table for WDGE2 LED with columns for Depth (D1), Depth (D2), Height, and Weight.

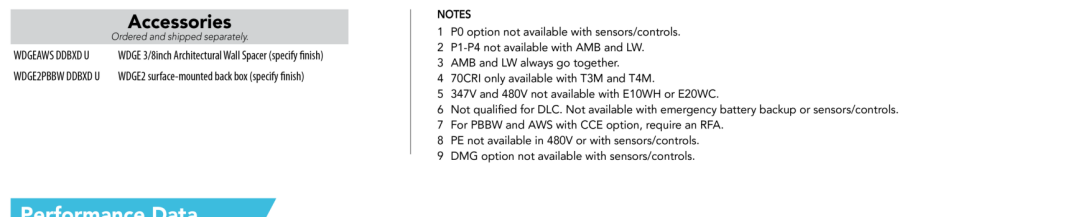
Introduction: The WDGE2 LED family is designed to meet specific every wall-mounted lighting needs...

Accessories: Includes table for various accessories like motion sensors and dimmers.

Performance Data table showing beam spread, foot-candle, and lumens for various configurations.

Ordering Information table with columns for Series, Package, Color Temperature, and Distribution.

Notes and technical specifications for the WDGE2 LED family.



Specifications table for WDGE2 LED with columns for Depth (D1), Depth (D2), Height, and Weight.

Introduction: The WDGE2 LED family is designed to meet specific every wall-mounted lighting needs...

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Ordering Information table with columns for Series, Package, Color Temperature, and Distribution.

Notes and technical specifications for the WDGE2 LED family.

Electrical Load table with columns for Voltage, Watts, and Amps.

Lumen Output in Emergency Mode table with columns for Lumen, Beam, and TMR.

Lumen Ambient Temperature (LAT) Multipliers table with columns for Temperature and Multiplier.

Projected LED Lumen Maintenance table with columns for Operating Hours and Lumen Maintenance.

Photometric Diagrams showing beam spread and foot-candle distribution.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

Notes and technical specifications for the Emergency Egress Options.

Control / Sensor Options table with columns for Motion/Ambient Sensor and Networked Control.

Mounting, Options & Accessories table with columns for Motion/Ambient Sensor and Networked Control.

Photometric Diagrams showing beam spread and foot-candle distribution.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

Notes and technical specifications for the Emergency Egress Options.

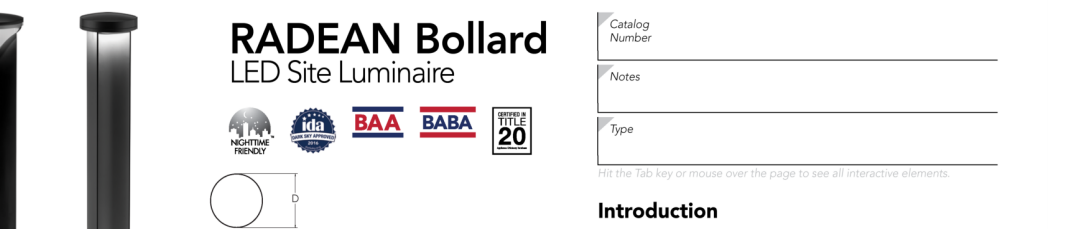
Mounting, Options & Accessories table with columns for Motion/Ambient Sensor and Networked Control.

Photometric Diagrams showing beam spread and foot-candle distribution.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

Notes and technical specifications for the Emergency Egress Options.



Introduction: The RADEAN LED Bollard is an award-winning, energy-saving, long-life solution designed to perform the way a bollard should.

Specifications table for RADEAN LED with columns for Diameter, Height, and Weight.

Ordering Information table with columns for Series, Package, Color Temperature, and Distribution.

Performance Data table showing beam spread, foot-candle, and lumens for various configurations.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

Notes and technical specifications for the RADEAN LED family.

Options table with columns for Series, Package, Color Temperature, and Distribution.

Performance Data table showing beam spread, foot-candle, and lumens for various configurations.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

Performance Data table showing beam spread, foot-candle, and lumens for various configurations.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

Notes and technical specifications for the RADEAN LED family.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

Photometric Diagrams showing beam spread and foot-candle distribution.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

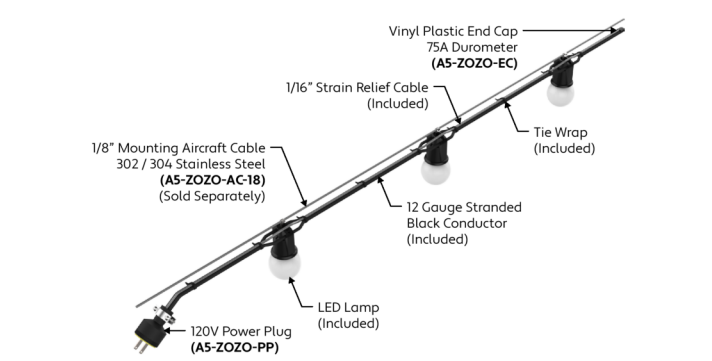
Performance Data table showing beam spread, foot-candle, and lumens for various configurations.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

Notes and technical specifications for the RADEAN LED family.

Emergency Egress Options table with columns for Series, Package, Color Temperature, and Distribution.

TYPE



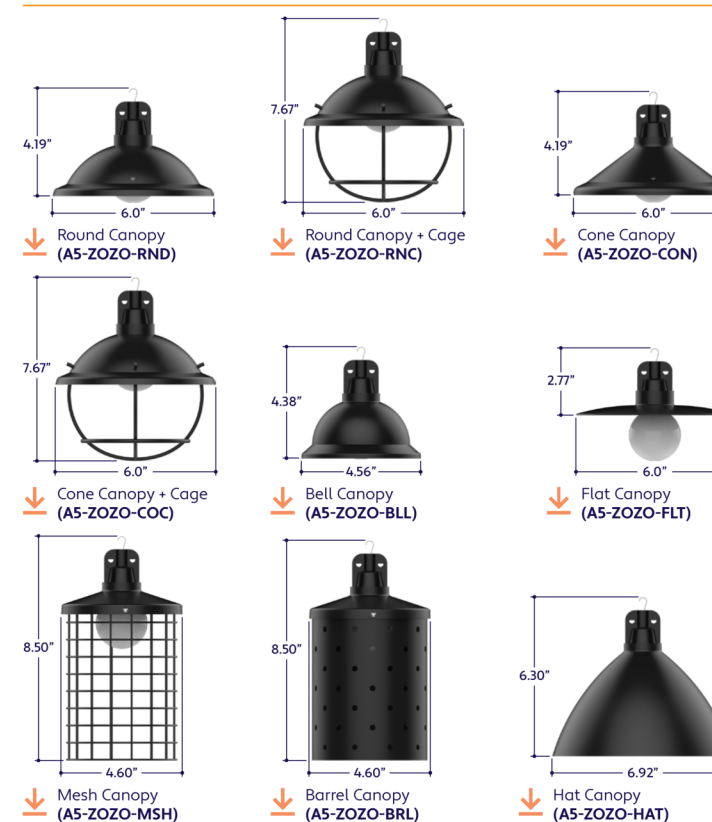
### GENERAL FEATURES

<b>Applications</b>	Indoor and Outdoor
<b>Length</b>	Built to Order (+/- 1/8" Tolerance)
<b>Finish</b>	Black
<b>Feed</b>	Standard 6' Power Lead
<b>Strain Relief</b>	Cable (Included, Not for Mounting)
<b>Mounting</b>	Mounting Aircraft Cable (Sold Separately)
<b>Listing</b>	Dry or Wet Location ANSI/CULP98 CSA 22.2 No. 250.0-04, 2nd Edition
<b>Options</b>	Mesh, Canopies, or Cages
<b>UV Rating</b>	Sun Light Resistance
<b>Installation Link</b>	<a href="#">Link to Installation Instructions</a>

### ELECTRICAL

<b>Dimming</b>	Forward Phase
<b>Maximum Run</b>	250' without Canopies 100' with Canopies
<b>System</b>	20 Amps (12 Gauge Wire)
<b>Wattage</b>	1W or 3W Lamps (+/- 0.25W Tolerance)
<b>Operating Temperature</b>	-25°C to +65°C (-13°F to +149°F)
<b>Luminaire Voltage</b>	120V

### CANOPY OPTIONS (Click Image to See Individual Submittal)



### SPECIFY PRODUCT CODE | CHOICE FROM DROP DOWNS

Series	Spacing	Lamp	Dimming	Listing	Luminaire Length
Standard (No Canopy) (A5-ZOZO-STN)	Ball Canopy 12' on Center (12')	2700K, G-Shape (27K-GSF)	5000K, G-Shape Filament (50K-GSFL)	Forward Phase (FP)	Indoor (IND)
Round Canopy (A5-ZOZO-RNG)	Ball Canopy 18' on Center (18')	5000K, G-Shape (50K-GSF)	2700K, S-Shape Filament (27K-SFF)	None (N/A)	Indoor (IND)
Round Canopy (A5-ZOZO-RNG)	Flat Canopy 36' on Center (36')	Red, G-Shape (R-GSF)	5000K, S-Shape Filament (50K-SFF)	Lenses Blank (LB)	Outdoor (OUT)
Round Canopy with Cage (A5-ZOZO-RNG)	Ball Canopy 48' on Center (48')	Blue, G-Shape (B-GSF)	2700K, S-Shape Clear (27K-SSC)	None (N/A)	Indoor (IND)
Cone Canopy (A5-ZOZO-CON)	Ball Canopy 60' on Center (60')	Amber, G-Shape (A-GSF)	5000K, S-Shape Clear (50K-SSC)	None (N/A)	Indoor (IND)
Cone Canopy with Cage (A5-ZOZO-CON)	Ball Canopy 72' on Center (72')	2700K, G-Shape Filament (27K-GSFL)	Red, S-Shape Clear (R-SSC)	None (N/A)	Indoor (IND)
Cone Canopy with Cage (A5-ZOZO-CON)	Ball Canopy 84' on Center (84')	3000K, G-Shape Filament (30K-GSFL)	Blue, S-Shape Clear (B-SSC)	None (N/A)	Indoor (IND)
Cone Canopy with Cage (A5-ZOZO-CON)	Ball Canopy 96' on Center (96')	2700K, G-Shape Filament (27K-GSFL)	Amber, S-Shape Clear (A-SSC)	None (N/A)	Indoor (IND)
Cone Canopy with Cage (A5-ZOZO-CON)	Ball Canopy 108' on Center (108')	4000K, G-Shape Filament (40K-GSFL)	No Lamp (NL)	None (N/A)	Indoor (IND)

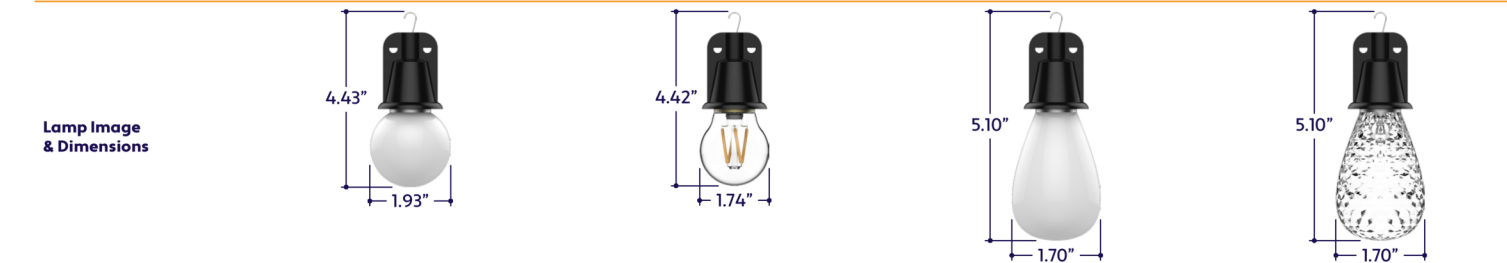
\* Lighting will be shipped without lamps.

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TYPE

### LAMP OPTIONS



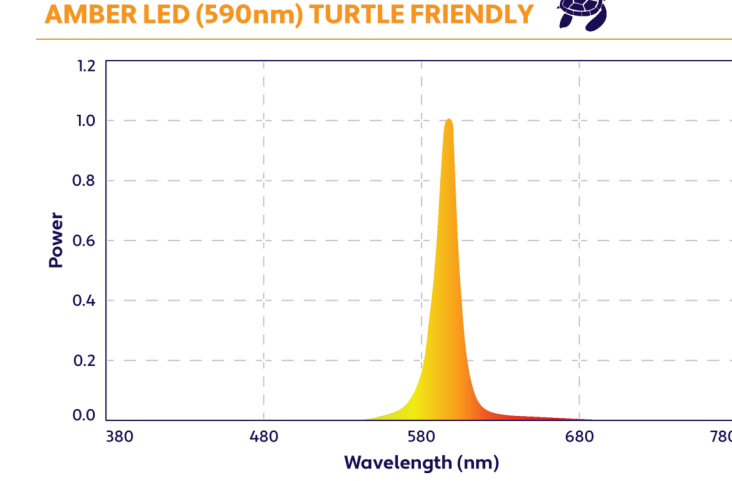
Lamp Name & Product Code	G-Shaped Lamp (GSF)	G-Shaped Filament Lamp (GSFL)	S-Shaped Lamp (SSF)	S-Shaped Clear Lamp (SSC)
<b>Lamp Type</b>	Standard LED	Filament LED	Standard LED	Standard LED
<b>Material</b>	Polymer Plastic	Shatterproof Glass	Polymer Plastic	Polymer Plastic
<b>Lamp Life</b>	20,000 hrs.	25,000 hrs.	20,000 hrs.	20,000 hrs.
<b>CRI</b>	80	90	75	80
<b>Lumens</b>	42	256	42	42
<b>Beam Angle</b>	360°	360°	360°	360°
<b>Appearance</b>	Frosted	Clear	Frosted	Clear, Textured
<b>CCT &amp; Colors</b>	27K, 50K, R, G, B, A	24K, 27K, 30K, 35K, 40K, 50K	27K, 50K, OR	27K, 50K, R, G, B, A
<b>Lamp Watts</b>	1W	3W	1W	1W

Note: Lamp dimensions are subject to change without notice. +/- 0.25 Wattage Tolerance. CRI is based on 5.0K GSFL, 5.0K SSF and 5.0K SSC.

### LAMP SPECIFICATIONS

Lamp Number	Correlated Color Temperature	Description	Available Lamp Shapes
24K	2400 Kelvin	Incandescent White	(GSFL)
27K	2700 Kelvin	Warm White	(GSFL), (GSFL), (SSF), (SSC)
30K	3000 Kelvin	Warm White	(GSFL)
35K	3500 Kelvin	Neutral White	(GSFL)
40K	4000 Kelvin	Neutral White	(GSFL)
50K	5000 Kelvin	Cool White	(GSFL), (GSFL), (SSF), (SSC)
R	Red	620nm	(GSFL), (SSC)
G	Green	525nm	(GSFL), (SSC)
B	Blue	470nm	(GSFL), (SSC)
A	Amber	590nm	(GSFL), (SSC)
OR	Orange	610nm	(SSF)

### SPECTRAL POWER DISTRIBUTION AMBER LED (590nm) TURTLE FRIENDLY



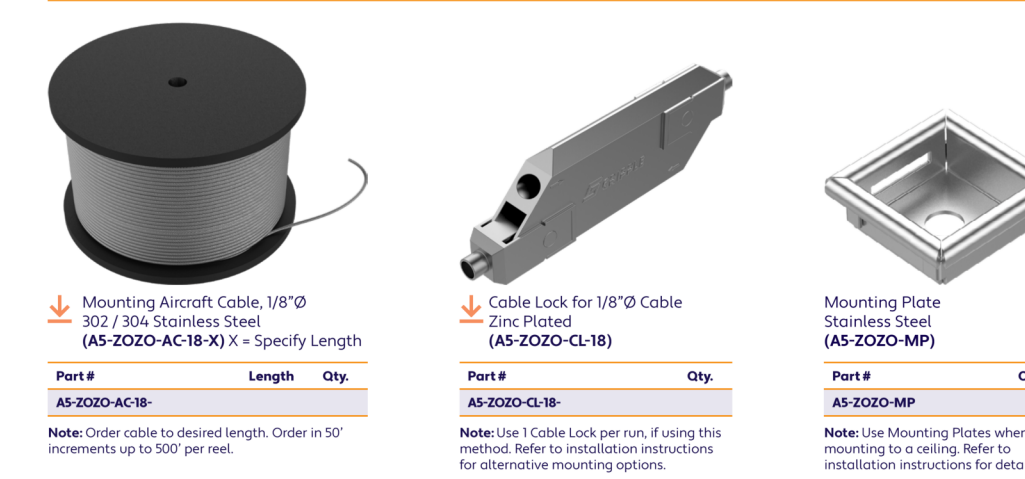
TYPE

### ACCESSORIES (Sold Separately)



Note: Use 1 End Cap at the end of each run.  
 Note: Use 1 Power Plug for each run that will not be terminated.

### MOUNTING ACCESSORIES (Sold Separately - Click Image to See Cut Sheet, If Applicable)



Note: Order cable to desired length. Order in 50' increments up to 500' per reel.  
 Note: Use 1 Cable Lock per run. If using this method, refer to installation instructions for alternative mounting options.  
 Note: Use Mounting Plates when mounting to ceiling. Refer to installation instructions for details.

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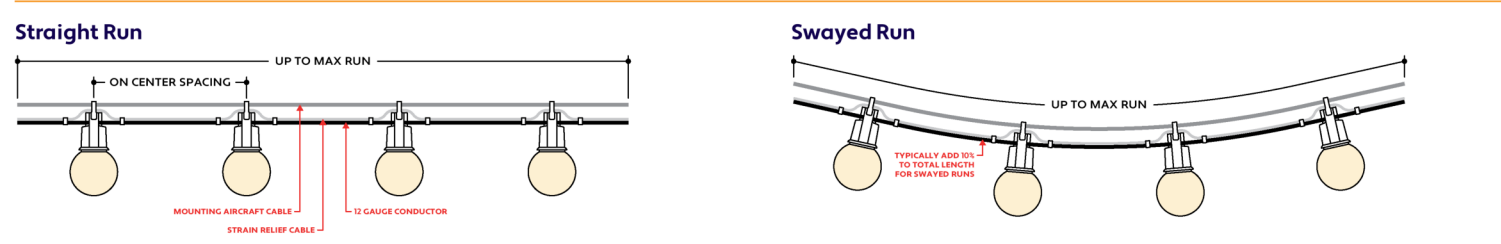
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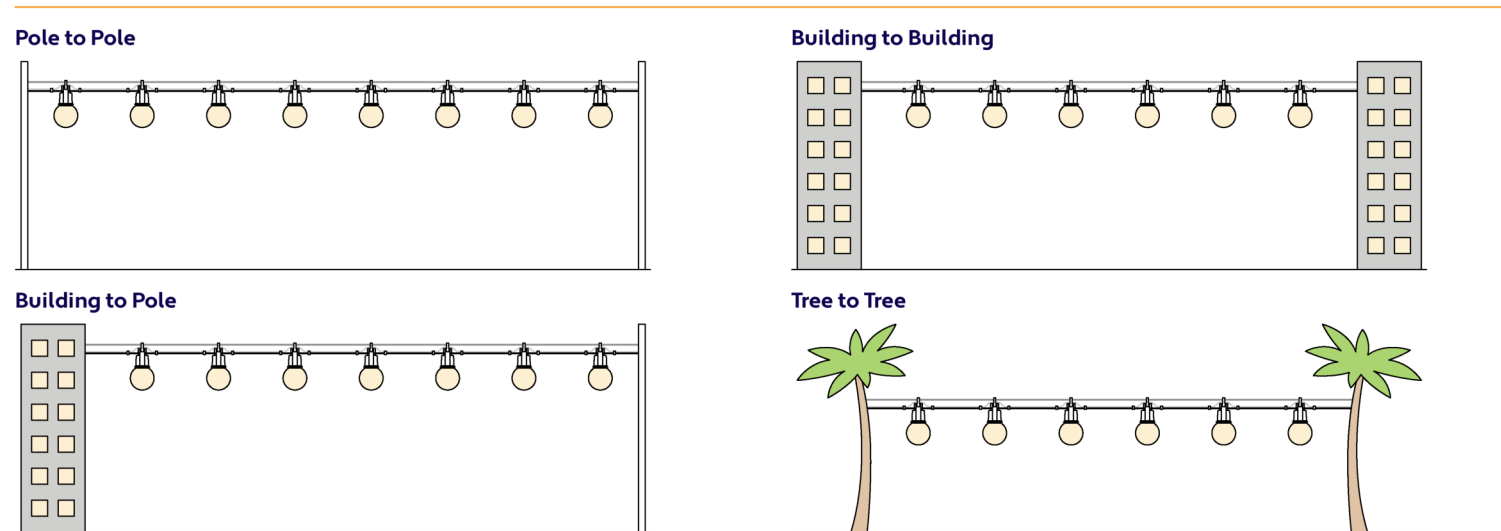
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TYPE

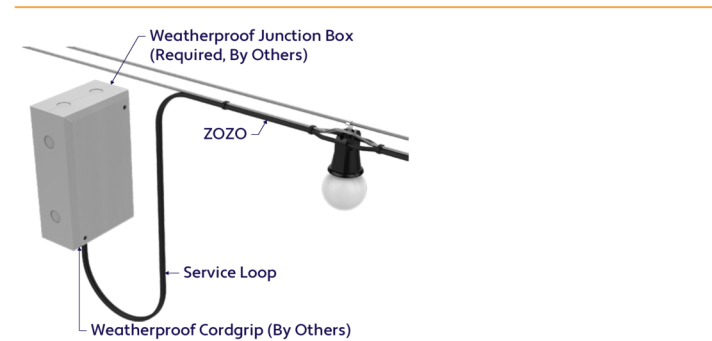
### DESIGN GUIDELINES



### INSTALLATION OPTIONS



### HARDWIRE INSTALLATION (Wet Location)



### POWER PLUG INSTALLATION (Wet Location)



### INSTALLATION RECOMMENDATIONS

- Determine weight of string light that will be used.
- Determine length of string light and multiply by weight.
- An engineer must choose the proper aircraft cable to handle the tension, based on length and weight to prevent product from sagging.
- An engineer must determine the strength of the structure where the cable will attach, based on tension calculation from previous step.
- If installing on a pole, check with pole manufacturer to confirm the pole can handle the tension.
- String light is hung to the above aircraft cable using the hooks. Secure hooks to aircraft cable by crimping or using stainless steel tie wraps.
- The supplied aircraft cable is designed to prevent strain on the wire. An additional aircraft cable is required to hang string light.

### WEIGHT PER FOOT

Series	Spacing Selection	Approximate Weight
ZOZO Standard (A5-ZOZO-STN)	12' on Center (12')	0.30 lbs per foot
	18' on Center (18')	0.24 lbs per foot
	24' on Center (24')	0.21 lbs per foot
	36' on Center (36')	0.18 lbs per foot
	48' on Center (48')	0.17 lbs per foot
	60' on Center (60')	0.16 lbs per foot

\* Includes Wire, Socket, Lamp, and Strain Relief Cable. Mounting Aircraft Cable Not Included.

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Architecture | Engineering  
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 www.eapc.net

### CONSULTANTS

CLIENT  
 DXD SS F2 LAND, L.L.C

PROJECT DESCRIPTION  
 EMPIRE SELF STORAGE

CITY | SANTA FE  
 STATE | NEW MEXICO

### ISSUE DATES

SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

PROJECT NO: 20253380  
 DRAWN BY: KS  
 CHECKED BY: MH

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### STAMP

DRAWING TITLE  
 LIGHTING CUT SHEETS

# D-Series Size 0 LED Area Luminaire

**Specifications**

- EPA: 0.44 ft<sup>2</sup> (0.041 m<sup>2</sup>)
- Length: 26.18" (663 mm)
- Width: 15.25" (387 mm)
- Height H1: 2.26" (57 mm)
- Height H2: 7.46" (190 mm)
- Weight: 23.3 lbs (10.6 kg)

**Introduction**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with your environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The photometric performance listed in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometric aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70%, and expected service life of over 100,000 hours.

**Ordering Information**

EXAMPLE: DSX0 LED P6 40K 70CR TSM MVOLT SPA NLAIR2 PIRHN DDXB0

Series	LEDs	Color Temperature	Color Rendering Index	Distribution	Mounting	Usage	Mounting
DSX0	40K	70CR	TSM	MVOLT	SPA	NLAIR2	PIRHN

**Shield Accessories**

External Glare Shield (EGSR) | House Side Shield (HS)

**Drilling**

MANHOLE POSITION (from top of pole)

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**Ordering Information**

**Accessories**

DSX0 LED P6 40K 70CR TSM MVOLT SPA NLAIR2 PIRHN DDXB0

**Notes:**

- Standard optics available with LED options P1, P2 and P3. Must be combined with option DS or DSX.
- DSX, DSX0 and DSX10 are available with LED options P1, P2 and P3. Must be combined with option DS or DSX.
- DSX0 LED luminaire is available with LED options P1, P2 and P3. Must be combined with option DS or DSX.
- DSX0 LED luminaire is available with LED options P1, P2 and P3. Must be combined with option DS or DSX.

**Shield Accessories**

External Glare Shield (EGSR) | House Side Shield (HS)

**Drilling**

MANHOLE POSITION (from top of pole)

**DSX0 Area Luminaire - EPA**

Photometric diagrams showing beam spread and light distribution for various mounting heights and configurations.

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**Photometric Diagrams**

To see complete photometric reports or download .asx files for this product, visit Lithonia Lighting's homepage.

ISO footcandle plots for the DSX0 LED P6 40K 70CR. Distances are in units of mounting height (20').

**Performance Data**

**Lumen Output**

Lumen output for various configurations based on performance data.

**Performance Data**

**Lumen Output**

Lumen output for various configurations based on performance data.

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**Performance Data**

**Lumen Ambient Temperature (LAT) Multipliers**

Table showing multipliers for different ambient temperatures.

**Performance Data**

**Lumen Ambient Temperature (LAT) Multipliers**

Table showing multipliers for different ambient temperatures.

**Performance Data**

**Lumen Ambient Temperature (LAT) Multipliers**

Table showing multipliers for different ambient temperatures.

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**Performance Data**

**Lumen Output**

Table showing lumen output for various configurations.

**Performance Data**

**Lumen Output**

Table showing lumen output for various configurations.

**Performance Data**

**Lumen Output**

Table showing lumen output for various configurations.

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**Performance Data**

**Lumen Output**

Table showing lumen output for various configurations.

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**Lumen Output**

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**Performance Data**

**Lumen Output**

Table showing lumen output for various configurations.

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**Lumen Output**

Table showing lumen output for various configurations.

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**Lumen Output**

Table showing lumen output for various configurations.

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**Lumen Output**

Table showing lumen output for various configurations.

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**Performance Data**

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Table showing lumen output for various configurations.

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**Performance Data**

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Table showing lumen output for various configurations.

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**CONSULTANTS**

CLIENT  
**DXD SS F2 LAND, L.L.C**

**PROJECT DESCRIPTION**  
**EMPIRE SELF STORAGE**

CITY | SANTA FE  
STATE | NEW MEXICO

**ISSUE DATAS**

SD	DEVELOPMENT PACKAGE	12/05/2025
MARK	DESCRIPTION	DATE

PROJECT NO: 20253380

DRAWN BY: KS

CHECKED BY: MH

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**DRAWING TITLE**  
**LIGHTING CUT SHEETS**

**E.102**



March 5, 2026

DXD SS F2 LAND, L.L.C.  
 PO Box 92137  
 Albuquerque, NM 87199

Subj: Empire Self Storage

Re: Style Points

The property is located within the C-2 General Commercial zoning district. Per the architectural design standards for this district, a minimum of 205 points must be achieved from the criteria listed below. The points have been called out for what standards are met and totaled at the bottom of the table.

Architectural Design Standards and Point Allocations				
Architectural Design Standards		Points Allocation	Points Assigned Based on Elevations	Point Designation
<b>Walls</b>				
Predominant Exterior Surface Material	Stucco, adobe	30	30	Exterior walls are predominantly stucco showing 84% on North side, 86% on South side, 79% on East side and 67% on West side.
	Brick, natural stone, and integrally colored unit masonry	25;30*		
	Concrete and non-integrally colored unit masonry	20;30*		
	Metal siding, glass curtain wall system, glass block, wood siding, and simulated materials	10;30		
	Mirrored glass curtainwall systems	-10		
Color of Predominant Exterior Surface Material	Earthtones, creams and pastels of earthtone hues including but not necessarily limited to rose, peach and terra cotta colors	30	30	Exterior walls are called out to be painted in earthtone colors. Colors include Sherwin Williams Cedar, Cityscape, and Divine White.
	Pastel colors of non-earthtone hues, whites, greys and grayish greens	15;30*		
	High-intensity colors	-10;10*		
	Metallic colors, glass and black	-10		
Exterior Surface Treatment	(A) All surfaces appear monolithic with at least 75 percent of the total wall area one material and one color. Differing shades of the same general hue shall not be considered different colors. Non-solar fenestration, window and door awnings, applied trim, and accent materials, colors and decorative bands, with the exception of stucco, masonry or concrete control joints, are used in such a way that they do not give a panelized or prefabricated appearance, produce striped or checkerboard patterns, or exceed 25 percent of the surface area of a façade. Fenestration and/or accent colors on wall surfaced under portals or canopies having a horizontal depth of at least six feet shall be exempt from area calculations	10	10	The proposed building elevations comply with the City's façade requirements. Each façade maintains a minimum of 75% monolithic appearance consisting of one primary material and earth-toned color (stucco). Accent materials, including stone veneer, wood-look metal panels, and wood trellises, are limited in area, remain under 25% of each façade, and do not create a panelized or patterned appearance.
	(B) Wall surfaces do not meet the criteria set forth in paragraph (A) above	-10		

Locations





Roof				
Form	(A) Flat roof surfaces entirely concealed from public view by parapets	20	20	Flat roof is concealed by parapets around entire building.
	(B) Flat roof surfaces not entirely concealed from public view by parapets, uniformly sloping roofs, or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with greater than or equal to four feet of vertical rise for every 12 feet of horizontal run and less than or equal to 12 feet of vertical rise for every 12 feet of horizontal run	15		
	(C) Uniformly sloping roofs or any combination of flat and uniformly sloping roof, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with less than four feet of vertical rise for every 12 feet of horizontal run or having a slope with greater than 12 feet of vertical rise for every 12 feet of horizontal run	10		
	(D) Any type of sloping roof having a height, from springline to peak, that exceeds the average height of the supporting walls; non-uniformly sloping roof; or any combination of flat and non-uniformly sloping roofs	-10		
Predominant Material	(A) All surfaces are concealed from public view	20	20	Material is concealed by building parapets.
	(B) Standing, flat, or batten seam metal roofing, or membrane, asphalt or gravel surfaces exposed to public view	15		
	(C) Flat tiles of clay, concrete or slate	10		
	(D) Barrel tiles of clay, concrete, or slate; and asphalt shingles	5		
	(E) Wood shingles or shakes and other materials including but not necessarily limited to plastic, fiberglass or metal roof tiles	-10		
Predominant Color	(A) All surfaces are concealed from public view	15	15	Roof surface is white but is intended to be fully concealed by building parapets.
	(B) Dark reds, browns and earthtones, and natural metals including aluminum, zinc, tin and lead	10		
	(C) Low-intensity colors other than those stated above	5		
	(D) White	0		
	(E) Bright, non-fading, high-intensity colors and any use of multiple colors	-15		



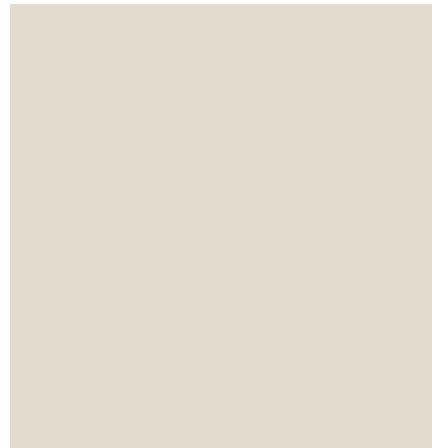
Building Form				
Massing	(A) One-story buildings with over 10,000 square feet of gross floor area and multi-story buildings with over 20,000 square feet of gross floor area which are designed with wall plane projections or setbacks on each publicly visible façade having a depth of at least 3 percent of the length of the façade and extending at least 20 percent of the length of the facade	30	30	<p>On the north side of building the main facade is 123' - 8 1/2" with a 5'-0" or 4% facade setback from main facing wall. The total of the full facade is 211' - 8 7/8" with a min 30'-0" or 14% setback on the rest of the north side. Total of 50% of overall façade is setback.</p> <p>On the east side of building the main facade is 96' -9". The total of the full facade is 156' -9 3/8" with a min 30'-0" or 19% setback on the rest of the east side. Total of 38% of overall façade is setback.</p> <p>On the south side of building the main/ full facade is 216' -9 1/4" with a 6'-0 1/2" or 3% facade setback from main facing wall. Total of 25% of overall façade is setback.</p> <p>On the west side of building the main facade is 31' -8 7/8" with a 5'-0" or 16% facade setback from main facing wall. The total of the full facade is 156' -9 1/4" with a min 30'-0" or 19% setback on the rest of the west side Total of 79% of overall façade is setback.</p>
	(B) One-story buildings with less than or equal to 10,000 square feet of gross floor area and multi-story buildings with less than or equal to 20,000 square feet of gross floor area which are designed with either offsetting wall planes or upper story step backs of at least four horizontal feet, or a recessed entry space or projecting canopy portal having a depth of at least six horizontal feet, on at least one publicly visible façade	30		
	(C) Buildings not utilizing the massing techniques described in paragraphs (A) or (B) above	0		
Doors and Windows				
Treatment	(A) More than 50 percent of doors, windows and glazed surfaces, which are not located under portales or canopies having a horizontal depth of at least six feet, have either frames recessed a minimum of two inches, are cased with trim, have divided lites, or have exposed or otherwise articulated lintels	20	20	There are 26 Windows, doors, etc. that are not located under portales or canopies. Of those 22 or 85% have lintels above them.
	(B) More than 50 percent of doors, windows and glazed surfaces do not meet the requirements set forth in paragraph (A) above	0;20*		



Area	(A) All wall surfaces which are not located under portales or canopies having a horizontal depth of at least six feet, and which do not include solar fenestration, have less than or equal to 50 percent openings consisting of doors, windows, glazing and other penetrations	20	20	On the North Elevation only 4% of openings are not located under canopies. On the South Elevation only 13% of openings are not located under canopies. On the East Elevation only 1% of openings are not located under canopies. On the West Elevation only 14% of openings are not located under canopies.
	(B) Wall surfaces do not meet the requirements as set forth in paragraph (A) above	0;20*		
Location	(A) All doors, windows and glazed surfaces, on structures having a gross floor area greater than 150 square feet, are located at least a two feet from outside building corners	20	20	Windows, doors, etc. are located at least two (2) feet from the corners of the building. The closest window is approx. 2'-2 1/8" from corner of the building.
	(B) All doors, windows and glazed surfaces, on structures having a gross floor area less than or equal to 150 square feet, have at least a two inch mullion at inside and outside building corners	20		
Glazing	(A) All glazing is clear or tinted neutral gray	10	10	Windows are all clear glazing.
	(B) Ant use of colored glazing	0;10		
	(C) Any use of mirrored glazing	-10		
<b>Equipment</b>				
Screening	(A) All roof and wall mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, are screened from public view by parapets, walls, fences, dense evergreen foliage or by other means	10		
	(B) All building mounted equipment set forth in paragraph (A) above is either screened; and/or painted to match visually adjacent surfaces	5	5	All building equipment is screened by building parapets or will be painted to match adjacent surfaces.
	(C) All building mounted equipment set forth in paragraph (A) above is not screened and/ or painted to match visually adjacent surfaces	-10		
<b>Notes:</b> Point values denoted by an asterisk (*) apply within the Midtown LINC Overlay District.				

**Total:**

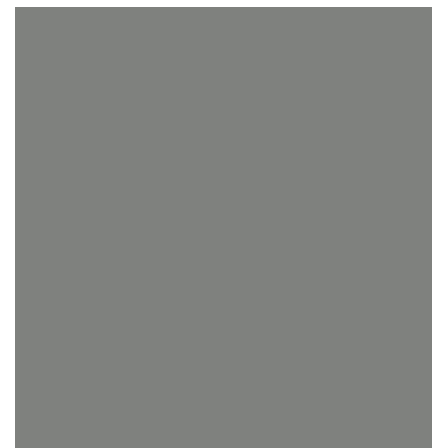
**205 Required/ 230 Provided**



Fine Medium Finish Stucco  
Sherwin Williams SW6105  
Divine White



Fine Medium Finish Stucco  
Sherwin Williams SW3034  
Cedar



Fine Medium Finish Stucco  
Sherwin Williams SW7067  
Cityscape



Thin Stone Veneer Genstone  
"Desert Sunrise"



Faux Wood Lintels- Painted  
Stucco  
Sherwin Williams SW7041  
Van Dyke Brown  
Match Metal Wall Panel  
Walnut Wood



Western States Metal Wall  
Panel  
Walnut Wood

Wood Trellis - To Match Metal  
Wall Panel  
Walnut Wood

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RETAIL ENTRY - SOUTHWEST CORNER



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 **EAPC**  
ARCHITECTS ENGINEERS

COMMUNITY CENTER - NORTHEAST CORNER



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COMMUNITY GATHERING - NORTHWEST CORNER



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 **EAPC**  
ARCHITECTS ENGINEERS

SELF STORAGE DISPLAY - SOUTHEAST CORNER



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ARCHITECTS ENGINEERS

DOG PARK/ INDIVIDUAL RENTABLE SPACE



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## DOG PARK/ INDIVIDUAL RENTABLE SPACE



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ARCHITECTS ENGINEERS

DOG PARK/ INDIVIDUAL RENTABLE SPACE

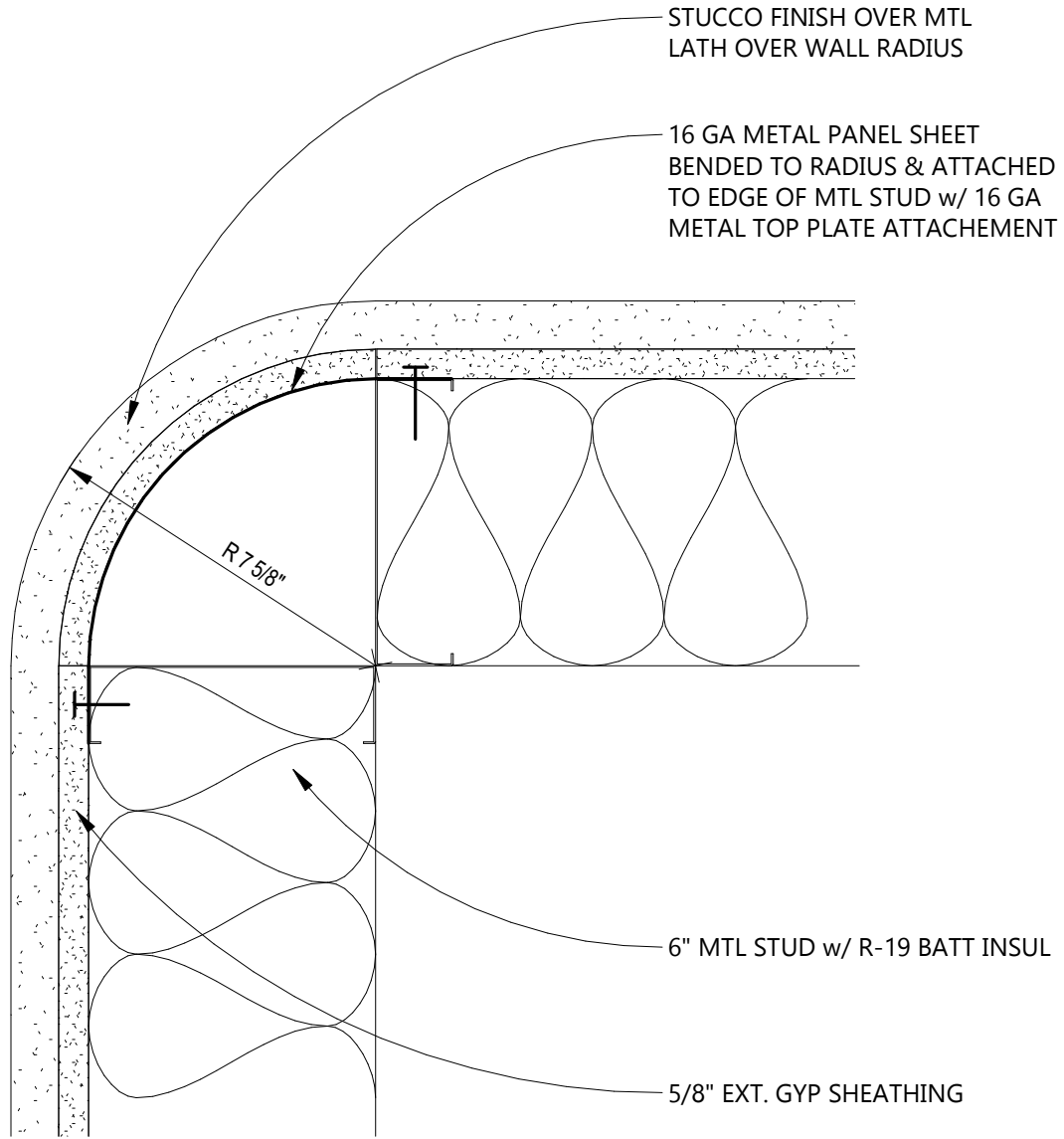


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EMPIRE SELF STORAGE MATERIAL BOARD



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1  
A.601

## EXT STUCCO CORNER DETAIL

3" = 1'-0"



NO	Revision Description	Date

PROJECT: EMPIRE SELF STORAGE

PROJECT NO: 20253380

DRAWING  
**A.601**