

MEMORANDUM

RE: 515 Paseo de Peralta

Date: March 16, 2026

TO: Amanda Romero

Historic Senior Planner
Land Use Department
City of Santa Fe

Subject: HDRB Design Review – 515 Paseo de Peralta

Attachments:

- 01a – Historic Photos Appendix
- 02 – Exception Criteria
- 03 – Signed PZR
- 04 – HCPI Report
- 05 – Structural Engineer Report
- 06 – Staff Historic Inspection Report
- 07 – Historic Door & Window Assessment Report
- 08 – Recorded Plat
- 09 – Site Photos
- 10 – Project Drawings (Site Plans, Floor Plans, Elevations, Sections, Details, Materials)

Dear Amanda:

This letter is submitted on behalf of Georges and Tina Feghali, owners of 515 Paseo de Peralta, in application to the Historic Districts Review Board. The present application includes requests for the renovation and restoration of the historic late-nineteenth century brick house and the addition of a new structure North of the existing house.

The +/- 0.344-acre site is zoned R-21 and is located two and a half blocks from the Plaza and within one block of Scottish Rite Masonic Temple, the U.S. Post Office and Federal Court House, Fort Marcy, and Cross of the Martyrs.

Project Background

The property is located in the Downtown and Eastside Historic District and currently consists of an original 1,800 SF brick house, along with outbuildings and additions to the original brick house totaling about 900 sf. In a status review held 8/12/25, the Board determined that the historic brick house and South stone site wall were Historically Significant. The walls of the NW bedroom addition and NE converted garage addition were excluded as non-primary facades – this was discussed in the meeting as the best way to exclude these portions of the structure from Significant or Contributing historic status. The existing detached shed, garage, and other site walls were found to be noncontributing. A demolition hearing with the Board on 10/28/25 granted permission to demolish these noncontributing additions and structures.

Historic Brick House

The Significant original brick portion of the house is of one-story double brick construction with territorial coping, a stone rubble foundation, corner chimneys, and distinctive arched doors and windows, erected circa 1889. The massing is stepped, with a tower-like porch toward the street and a shed roof behind a

parapet. Designed originally as a single-family residence, over the years it has been subdivided into three apartments. Tan textured stucco was added by 1915 and entry stairs have evolved, but several photographs from around 1910 show that the house remains remarkably unchanged. Its area is about 1,800 square feet, and its parapet is about 30 feet above **street** grade at the Southern street-facing façade.

The site contains several stone and brick retaining walls. The most prominent of these is a stone wall running along Paseo de Peralta at the South property line, which the Board found to be historically Significant.

Proposed Restoration and Addition

The proposed work is centered around the celebration and restoration of the historic house and structures, along with the addition of new living spaces North of the existing house.

The existing house's footprint measures 2,886 sf, including existing noncontributing additions to be demolished, and the proposed footprint of the addition will extend this by 1,734 sf to a total proposed footprint of 4,620 sf. The new area of the addition, including a second floor, will total 3,470 sf, adding to the 1,560 sf of area within Significant historic brick house to remain.

The proposed renovation of the historic brick house will return it to single-family residential use, provide ADA accessibility, and stabilize the nearly 140-year-old structure. A structural report shows that the historic brick walls are in stable condition, though structural repair of the rubble foundation, wood floor joists, and at least one exterior brick wall will be required in the future. In particular, the South-facing rubble foundation, porch, and entry stairs were determined to be structurally compromised.

Renovation of the historic house aims to preserve its unique character while addressing the structural, safety, and accessibility concerns noted. Structural work within the interior of the house will reinforce the interior stone foundations and allow historic brick walls to be exposed indoors without altering any primary facades. A portion of the roof will be raised behind and below the existing parapet, allowing higher interior rooms and further stabilizing the historic structure. Existing exterior materials will be repaired in kind with respect to the building's unique texture and color. Doors and windows will be repaired or replaced in kind according to the recommendation of the historic assessment.

Existing entry stairs on the South facade are proposed to be removed and rebuilt in kind according to evidence in historical photographs. A photograph from around 1910 (**Exhibit A**) depicts symmetrical stairs approaching the front porch from both East and West, defined on the street side by a sloped wall in a stucco finish matching the house. This front porch was historically the primary public-facing entry to the residence, and it is proposed to remain so. In intervening years, the West side of these stairs was removed and the East stairs to the porch have fallen into disrepair. This proposal requests replacement in kind with new symmetrical stairs leading to the porch, matching the height, finish, and layout of the historic photo. Additionally, the existing entry stairs at the West end of the South facade are also proposed to be removed and replaced following their current orientation and of a height, form, and finish matching the porch stairs. The existing stairs were added to the house in the 1950s, and the structural report notes water damage to the wood stair framing and fungal decay to the structure, compromising the safety of the the existing material. Like the porch stairs, the reconstruction of the stairs and landing will provide structural reinforcement to the rubble foundation. A connected landing between both sets of stairs and the East facade will extend this reinforcement along the entire compromised foundation. Along with the proposed stairs, it will create a datum reinforcing the existing foundation, and its stucco finish will match the finish seen in the historic photo from 1910 (**Exhibit A**). The proposed reconstruction will also provide accessible access to the historic house's main entry, critical to its owners' safe use of this door, while respecting its historic massing.

Behind the Significant stone retaining wall at Paseo de Peralta, a new wood picket fence is proposed, following the form of a similar wall seen in a historic photo from around 1915 (Exhibit C**). This picket fence will be located at least 1' behind the stone wall and will not touch or alter the stone wall or street stairs in any**

way. The fence will run the width of the Paseo property line with a branch extending North to enclose a secure yard for pets.

The new fence will be built of simple natural wood pickets spaced to be about 2/3 opaque and 1/3 open. Gates in the fence will continue this pattern, complementing the fence and maintaining a consistent appearance while providing the required fenestration. The natural wood material of the fence emulates the form and material of a similar fence documented in of a historic photo from around 1920 (**Exhibit D**). The design intent of the natural material and simple form is to fit into the neutral tones of the historic structures onsite and to not visually overwhelm the historic stone wall.

New 4' high stucco site walls are proposed adjacent to the addition, providing privacy to the residents. These walls align with the rear wall of the historic house but do not touch it, held back by freestanding solid wood gates allowing circulation around the house while preserving privacy. These gates be comprised of pickets matching the shape and material of the wood fence and other gates.

The relevant streetscape along Paseo lacks a typical fence or wall style along the street. Instead, the dominant design vernacular is that of material diversity. Of the nine Significant or Contributing houses within the streetscape, the most dominant material is stone, which appears on four other properties. White painted picket fences appear on three properties, and always where the trim of the house is also painted white. One Contributing house has a wood coyote fence with a natural wood gate, materials similar to those proposed. Three properties have wrought iron fences or gates, and one has a simple stucco wall along the street. The proposed stone wall and nearby wood fence will fit in and enhance this diverse streetscape.

An addition is proposed North of the historic residence. The primary mass of the proposed addition will be set back 12 feet from the historic house, preserving the legibility of old from new and reducing the visual presence of the new massing. The proposed design lightly touches the original house at two locations on the east and west ends of the North facade. Their interface with the house's North facade will be primarily limited to portions of the facade already altered by previous noncontributing additions, already approved for demolition by the Board. An interior space to the East about 18 feet wide will provide the primary connection between the original house and the addition. It is recessed beneath a roof overhang on both sides, creating a private entry Portal between the house and the addition. Beneath the Portal, its only visible facade faces East and will be clad with simple tongue-and-groove wood matching the material of the proposed picket fence. A new roof structure to the West will create covered outdoor space behind and concealed by the historic house. Portions of the house's North wall below the roof will be restored according to a historic photo from around 1915 (**Exhibit B**). These single-story points of connection will be set back about four feet from the corners of the original North facade to further preserve the legibility of the original massing and historic brick parapet. Max. 12' in height, they will read as significantly lower than the original 16' parapet and will clearly demarcate the boundary between old and new.

The primary mass of the proposed two-story addition will be located North of the house and was designed to be substantially concealed by elevated mass of the existing historic house and by the steep grade of the site. Paseo de Peralta was once known as Hillside Avenue due to the steeply sloped hills it abuts to the North. 515 Paseo de Peralta is no exception, rising 27' in elevation from the South property line at the street to its North boundary. The existing house is positioned distinctly above and overlooking the street, and though it is only one story in height its parapet rises 30' above the street grade and its finished floor level is located 14' above street grade. The proposed design makes use of the existing house's mass and location on this steeply sloped site to conceal the additional proposed area.

The mass of the addition is set back twelve feet from the historic house and its connection points set back as described above, to protect the house's dominant presence and to conceal the addition from a vantage point at the street. The historic house's stepped massing, tall divided lite windows, and brick-topped Territorial parapets are its dominant features, and the addition was designed to reflect and respect these. The ground floor of the addition matches the height of the historic parapet, and its parapet is topped by a masonry detail

aligned with the datum of the brick. One-story portions of its ground floor matching the height of the historic house and extend about 17' to the East and 13' to the West of the existing footprint, continuing the massing pattern of the original brick house stepping back from the front porch and continuing the reading of the territorial parapet. The steep site grade is also used to actively conceal the mass of the addition. The new ground floor of the addition is buried such that the North end of its ground floor is mostly below grade, and its second story is level with the uphill grade to the North. The mass of the second floor is located directly behind the existing house to further obscure its visibility from the downhill public way. In this way, the proposed new floor area is largely hidden and does not conflict with the scale of buildings in the district.

The material of the addition will be predominantly stucco in a tan color matching that of the historic house, punctuated by infrequent divided-lite windows and doors referencing the proportions of the original house's windows.

We look forward to discussing these proposals with the Historic Board. The highest priority of the Feghalis and of DNCA is to restore and celebrate the unique historic character of the significant historic structures on this prominent site. We look forward to the chance to discuss these nuances with the Historic Board.

Sincerely,

A handwritten signature in black ink, appearing to read 'Rebecca Wood', written in a cursive style.

Rebecca Wood, AIA, Associate
DNCA Architects

APPENDIX – HISTORIC PHOTOGRAPHS

RE: 515 Paseo de Peralta

Date: March 16, 2026

TO: Amanda Romero

Historic Senior Planner

Land Use Department

City of Santa Fe

Subject: HDRB Design Review – 515 Paseo de Peralta

EXHIBIT A

Historic photo, South facade looking Northeast, dated approx. 1910

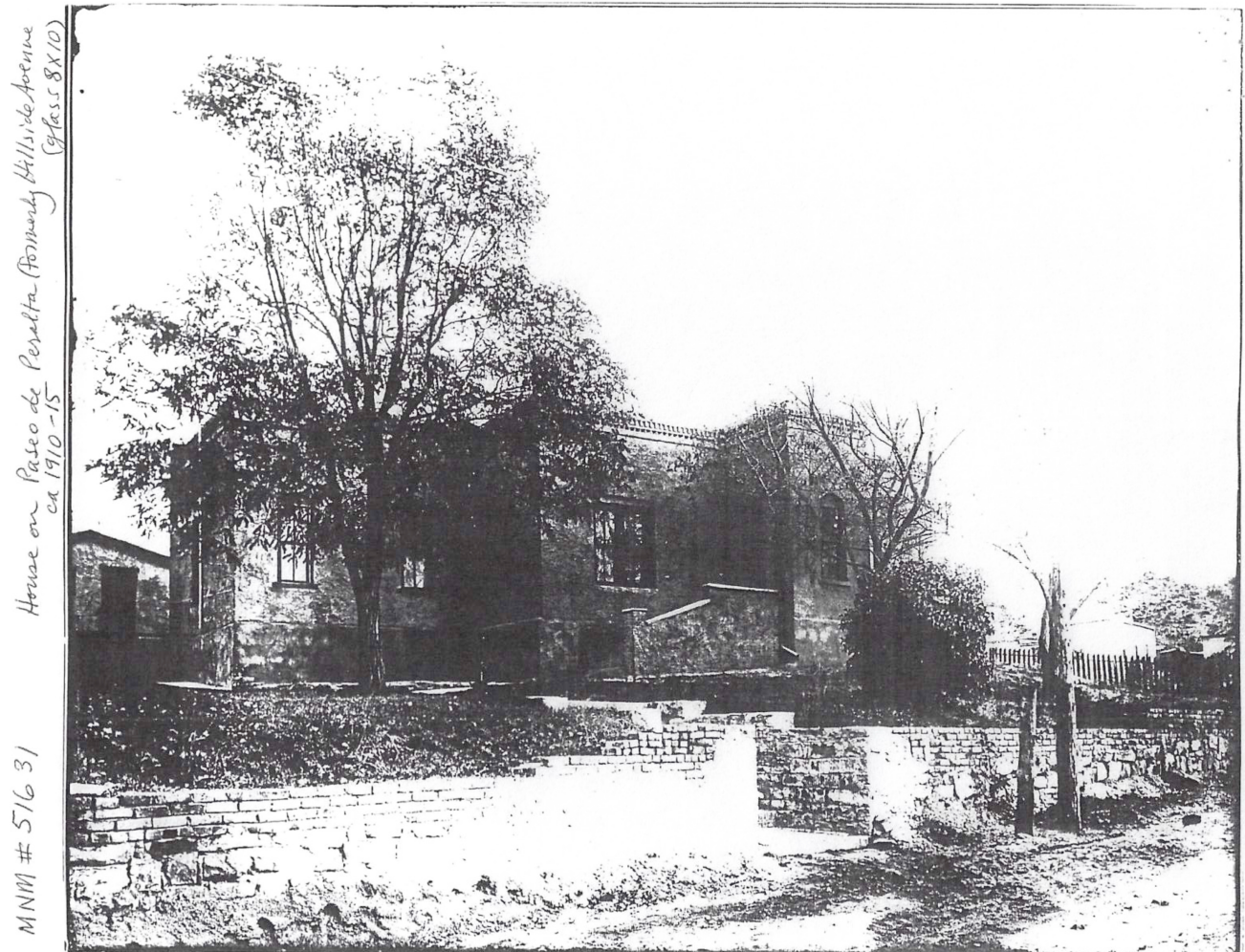


EXHIBIT B

Historic photo, East and North facades looking Southwest, dated approx. 1915



EXHIBIT C

Historic photo, South and East facades looking Northwest, dated approx. 1915



EXHIBIT D

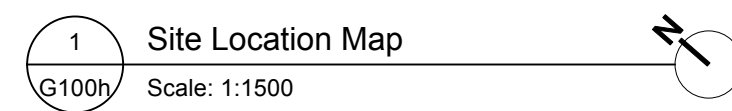
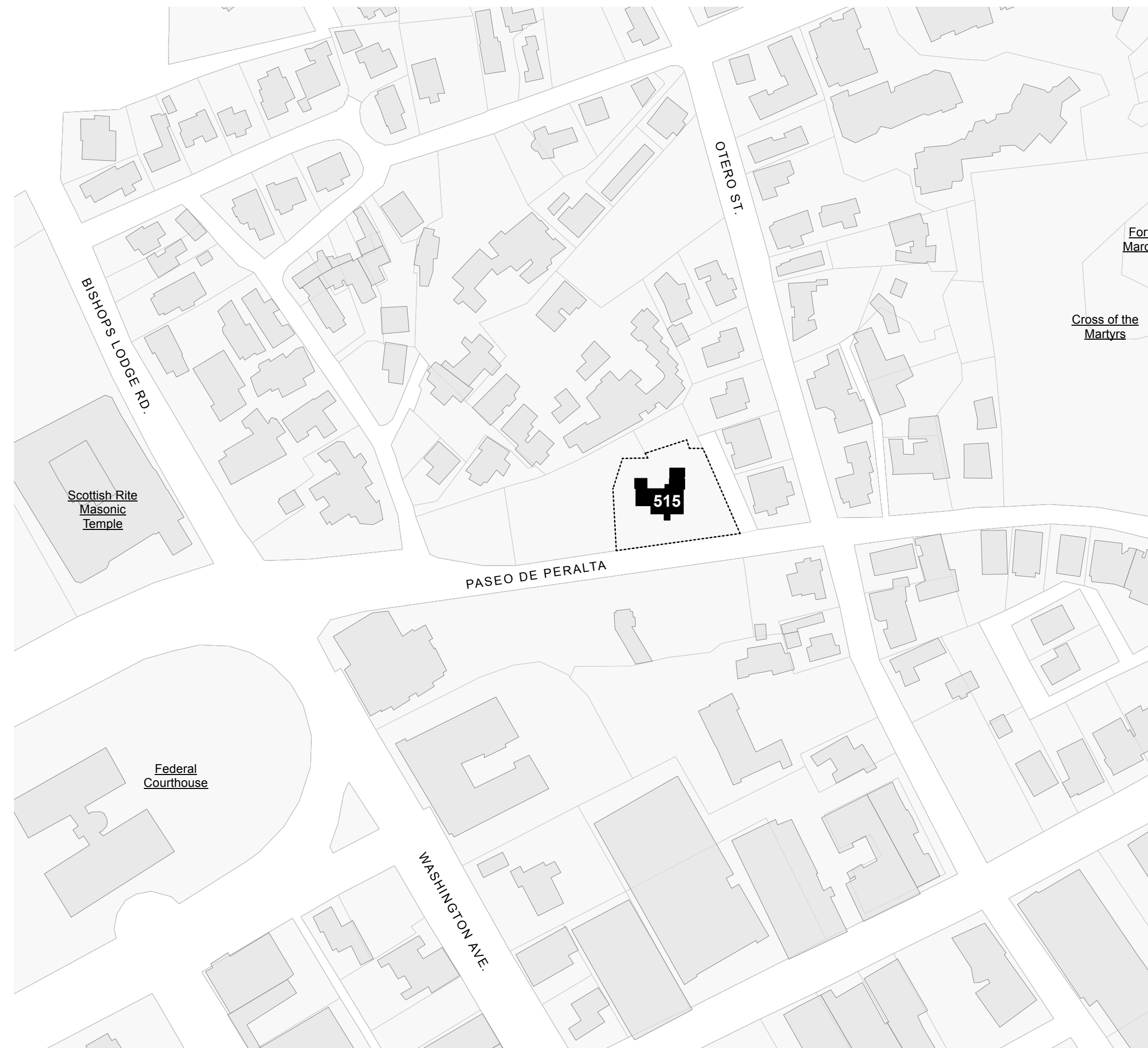
Historic photo, West façade and garden as seen from Scottish Rite looking East, dated approx. 1915



EXHIBIT E

Historic photo, South façade looking North, dated approx. 1920





PLANNING FEEDBACK: SETBACKS & MAX HEIGHT

Subject: Re: PZR Request - 515 Paseo de Peralta
Date: Tuesday, February 17, 2026 at 2:41:00 PM Mountain Standard Time
From: CRUZ-HABER, JOEL A.
To: Rebecca Wood, CLOUSER, REBEKAH E.
CC: Devendra Contractor, Deirdre Harris, ESQUIBEL, DANIEL A., PEREA, STEPHANIE J.
Attachments: image001.png, Outlook-155xjgkt.png, Outlook-xdfnmbir.png, image.png, Outlook-k3a35zxi.png

Rebecca,

It was a pleasure meeting with you, George, and Devendra today. Below are notes from the meeting.

- Based on the interpretation provided by our Planning Manager Dan Esquibel, the subject parcel is a corner lot therefore, subject to front setback requirements off Paseo de Peralta and Loma St. The remaining sides will be considered side yard setbacks. No rear setbacks assessed for the site.
- An administrative deviation of 12' can be supported to incorporate architectural style of the site if needed.

We look forward to seeing your redesign with the aforementioned setbacks being met.

If you have any questions, please do not hesitate to reach out.

Respectfully,

Joel Cruz-Haber
 Senior Planner
 City of Santa Fe

515 Paseo de Peralta : Code Analysis			
Code Data			
Jurisdiction: City of Santa Fe			
Address: 515 Paseo de Peralta, Santa Fe, NM 87501			
UPC Number: 105409936729300000			
Parcel ID Number: 10644352			
Zoning: R-21			
Historic District: Historic Downtown Archaeological Review District Downtown and Eastside Historic District			
Historic Building Status: Significant			
Neighborhood: Fort Marcy Heights			
Site Area: 15,942 sf			
Climate Zone: 5B			
Land Classification: N			
Occupancy: R-3			
Required Construction Codes			
<ul style="list-style-type: none"> • 2021 New Mexico Residential Building Code (2021 IRC as amended by NM) • 2025 City of Santa Fe Green Building Code • 2021 New Mexico Existing Building Code • 2021 New Mexico Energy Conservation Code • 2017 ICC A117.1-2009 Accessible and Usable Buildings and Facilities • 2021 New Mexico Plumbing Code / 2021 Uniform Plumbing Code and City of Santa Fe UPC amendments • 2021 New Mexico Mechanical Code / 2021 Uniform Mechanical Code • 2020 New Mexico Electrical Code / 2021 National Electrical Code • 2012 National Electrical Safety Code • 2021 New Mexico Earthen Building Materials Code • 2021 International Fire Code and City of Santa Fe IFC amendments • 2012 NM Solar Energy Code • New Mexico Administrative Code (NMAC): 14.5.1 General Provisions ; 14.5.2 Permits ; 14.5.3 Inspections 			
Scope of Work			
Renovation of historic brick house; construction of two-story addition to the North facade of the existing House.			
Project / Building Information			
Building Areas (areas within surrounding exterior walls):			
	Historic Renovation	Proposed Addition	Floor Total
Ground Level	1,560 sf	2,340 sf	3,900 sf
Upper Level	0 sf	1,130 sf	1,130 sf
Building Total	1,560 sf	3,470 sf	5,030 sf
Building Footprint: 4,620 sf			
Lot Coverage: 29.0%			
Number of Stories above Grade: 1			
Construction Type (IBC Table 601): V-B			
Occupancy: R-3 Primary Residence			
Fire Separation Distance:			
	Minimum	Ext. Wall Fire Resistance (IBC 705.5)	
North	5'-3 1/2"	1-HR	
East (Loma)	8'-0"	1-HR	
South (Paseo)	27'-8"	0-HR	
West	10'-4"	0-HR	
Zoning Summary (R-21)			
Table 14-7.2-1 Residential Dimensional Standards			
Max Density	21 per acre or per Dev Plan		
Max Height	24 ft		
Max Lot Coverage	40%		
14-7.2 (D) Minimum Yard Requirements			
Minimum yards shall be established by approved Development Plan or per the following defaults:			
7 ft	Paseo de Peralta & Loma Street (East and South yards)		
5 ft	Side property line (West and North yards)		
Maximum Allowed Height	23'-0"		
Calculated by CoSF Planning Dept. 8/20/25			

IBC Chapter 5: General Building Heights and Areas		
Construction Type	V-B	Table 601
Fire protection:	Not Sprinklered (NS)	
Occupancy	R-3	
Mixed occupancy / Nonseparated		
Allowable height above grade:	40' (NS)	Table 504.3
Allowable stories above grade:	3	Table 504.4
Allowable Area Factor, A _t :	UL	Table 506.2
Allowable Non-sprinklered Area Factor, NS:	UL	



515 Paseo de Peralta, 1915

515 Paseo de Peralta HDRB Design Review

PROJECT DIRECTORY

CLIENT
 Georges & Tina Feghali
 310 Otero Street
 Santa Fe, NM 87501
 Contact: Georges Feghali
 email: gmfeghali@gmail.com

ARCHITECTS
 DNCA, LLC
 924-A Shoofly St.
 Santa Fe, NM 87505
 ph: 505-255-4033
 Contact: Devendra N Contractor
 email: devendra@dnccarchitect.com
 mobile: 505-263-3602
 Contact: Rebecca Wood
 email: rebecca@dnccarchitect.com

STRUCTURAL ENGINEERS
 Luchini Trujillo Structural Engineers
 2019 Galisteo Street
 Suite D2
 Santa Fe, NM 87505
 ph: 505-424-3232
 Contact: Eric Trujillo
 email: eric@tseng.com
 Contact: Jeremy Starr
 email: jeremy@tseng.com

PROJECT DESCRIPTION

The project consists of the proposed renovation and restoration of a historic late-nineteenth century brick house and addition to the North side of the existing building. The interior renovation of the original 1,560 SF house will return it to single-family residential use, provide ADA accessibility, and stabilize the structure. The proposed two-story 3,470 sf addition will be partly buried in the sloped site behind the existing house and will provide living space, garage, and guest suite.

PROJECT DATA

PROJECT NAME
 515 Paseo de Peralta

PROJECT ADDRESS
 515 Paseo de Peralta
 Santa Fe, NM 87501

ZONING
 R-21

HISTORIC DISTRICT
 Historic Downtown Archaeological Review District
 Downtown and Eastside Historic District

SITE AREA
 14,965 sf / 0.344 acres

LOT COVERAGE
 Not to exceed 40%
 Lot Area 15,942 sf
 Proposed Building Footprint 4,620 sf
 Proposed Lot Coverage 29.0%

BUILDING AREA
 Existing Renovation 1,560 sf
 Proposed Addition 3,470 sf
 Total **5,030 sf**

BUILDING SETBACKS
 Front / South minimum 7' / proposed 27'-8"
 Front / East minimum 5' / proposed 8'-0"
 Side / North minimum 5' / proposed 5'-3 1/2"
 Side / West * minimum 10' / proposed 10'-4"
 * Zoning minimum 5' / site minimum 10' due to lot line agreement with adjacent property

BUILDING HEIGHT
 Maximum (R-21) 24 ft
 Maximum (Historic District Calculation) 23 ft
 Proposed ** 24 ft
 ** Administrative deviation of 12' requested per conversations with Dan Esquibel and Heather Lamboy, see Planning Feedback

PARKING
 Table 14-8.8-1
 Minimum required 2 spaces per detached dwelling unit
 Proposed 3 parking spaces (2 garage / 1 site)

DRAWING DIRECTORY

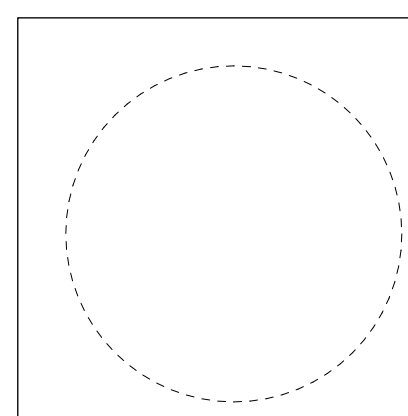
Page	Label	Sheet Name
1	G100h	Cover Sheet
2	Plat	Legal Lot of Record
3	ASD101(E)	Existing Site Plan
4	ASD102	Demo Site Plan
5	AS101h	Proposed Site Plan
6	A101(E)	Existing Ground Floor Plan
7	A102(E)	Existing Roof Plan
8	A101h	Proposed Ground Floor Plan
9	A102h	Proposed Upper Floor Plan
10	A103h	Proposed Roof Plan
11	A200h	South Elevations
12	A201h	South Elevations
13	A202h	West Elevations
14	A203h	North Elevations
15	A204h	North Elevations
16	A205h	East Elevations
17	A300h	Building Sections
18	A500h	Exterior Window & Door Schedule
19	DSK-1	Proposed Exterior Materials
20	DSK-2	Proposed Site Walls

PROJECT HISTORY

8/12/2025 **Historic Status Review**

9/9/2025 **Information Session**

10/28/2025 **Demolition Review**



Consultant

dnca architects
 924-A Shoofly Street Santa Fe, NM 87505
 ph (505) 255-4033

**Feghali Residence
 Historic Renovation**
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue
Date	Plot Date
March 16, 2026	
Drawn by	Checked by
File	
Set	Historic Design Review
Sheet Title	Cover Sheet
G100h	
Sheet	of

LOT LINE ADJUSTMENT SURVEY FOR GEORGES M. & VALENTINE T. FEGHALI PARCEL A & TRACT B-1 LYING & BEING SITUATE WITHIN THE SANTA FE GRANT, PROJECTED SEC. 24, T 17 N, R 9 E, N.M.P.M., CITY AND COUNTY OF SANTA FE, NEW MEXICO

THE PURPOSE OF THIS PLAT IS TO ADJUST THE BOUNDARY BETWEEN PARCEL A & TRACT B-1 AND VACATE THE PRIVATE INGRESS/EGRESS & UTILITY EASEMENT BETWEEN THE TWO PROPERTIES.

CITY OF SANTA FE NOTES & CONDITIONS

- 1. a) PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND/OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS. b) BUILDABLE AREAS FOR PLATTED PARCELS WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION AS DETAILED IN THE LAND DEVELOPMENT CODE. ANY BUILDABLE AREAS SHOWN HEREON ARE SUBJECT TO RELOCATION PER CODE REQUIREMENTS. 2. PROPERTY LIES WITHIN THE ARCHEOLOGICAL REVIEW DISTRICT, HISTORIC OVERLAY DISTRICT. 3. THIS PROPERTY LIES WITHIN FEMA FLOOD ZONE X, AREAS OF MINIMAL FLOOD HAZARD, FIRM PANEL #35049C0408E, EFF. 12/4/2012. THIS STATEMENT DOES NOT GUARANTEE THAT SUBJECT PROPERTY WILL BE FREE FROM FLOODING OR FLOOD RELATED DAMAGES.

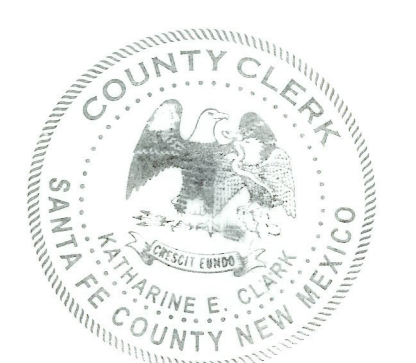
CITY OF SANTA FE

COUNTY OF SANTA FE

CASE No.: 2025-10587

REVIEWED: Daniel A. Seguel 10/23/25 CITY PLANNER, Dee De Beinesman 10/21/25 CITY ENGINEER

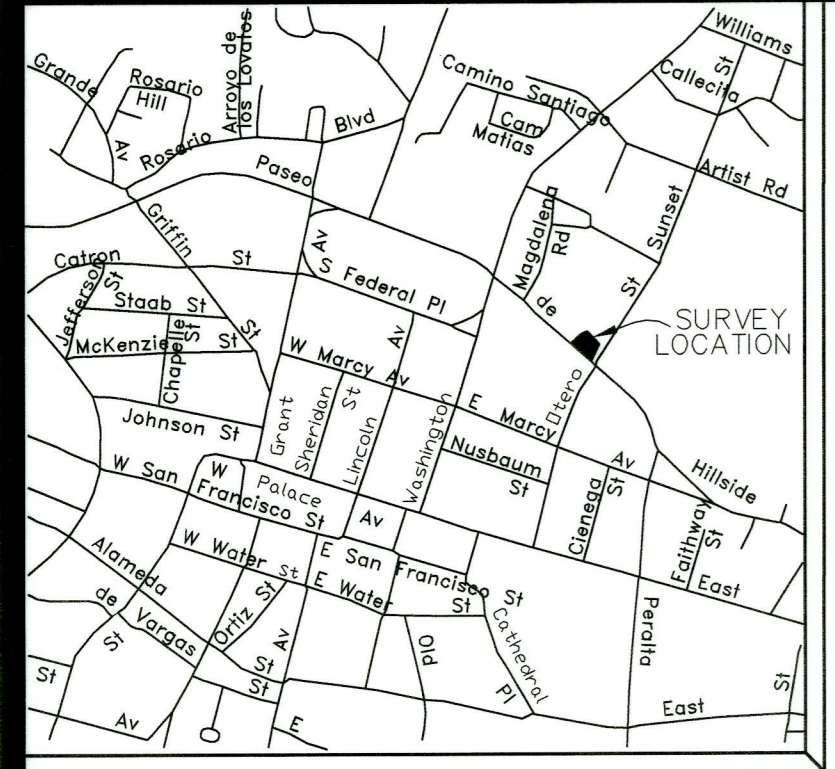
Santa Fe County Treasurer signature and date 10/16/25



INSTRUMENT No. 2069872 COUNTY OF SANTA FE STATE OF NEW MEXICO I hereby certify that this instrument was filed for record on the 23rd day of October A.D. 2025, at 8:51 o'clock a.m., and was duly recorded in Book 929, Page 9 of the records of Santa Fe County.

Witness my Hand and Seal of Office KATHARINE E. CLARK County Clerk, Santa Fe County, New Mexico Deputy signature

INDEXING INFORMATION FOR COUNTY CLERK LOT LINE ADJUSTMENT SURVEY OWNER: GEORGES & VALENTINE FEGHALI LOCATION: 515 PASEO DE PERALTA (PARCEL A) PROJECT SEC. 24, T 17 N, R 9 E, N.M.P.M. CITY AND COUNTY OF SANTA FE, NEW MEXICO DEL RIO SURVEYS, INC. P.O. BOX 22773, SANTA FE, NM. 87502 PH: 505-820-9200 Project No. 25040217 Dwg. MW Date 4/8/25 CHK. PW REV: 5



VICINITY MAP

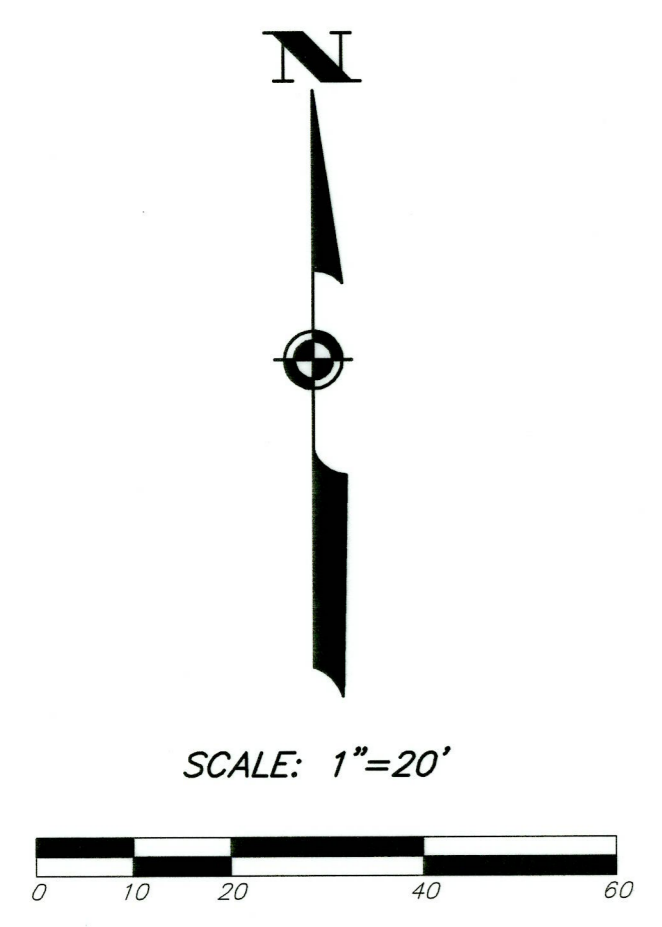
AFFIDAVIT THE FOREGOING SURVEY AND LOT LINE ADJUSTMENT WERE MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S). EASEMENT(S) ARE HEREBY GRANTED & VACATED AS DEPICTED HEREON, WHERE LABELED "CREATED" OR "VACATED THIS INSTRUMENT" ONLY. SUBJECT PROPERTIES LIE WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE. WE, VALENTINE TINA FEGHALI AND GEORGES M. FEGHALI, BEING DULY SWORN, DO HEREBY DEPOSE AND SAY OF PERSONAL KNOWLEDGE AS FOLLOWS: 1. WE JOINTLY OWN BOTH PROPERTIES, 310 OTERO STREET AND 515 PASEO DE PERALTA. 2. NEITHER OF THE PROPERTIES IS LAND LOCKED OR IN NEED OF THE CURRENT EASEMENT FOR INGRESS/EGRESS & UTILITIES. 3. WE THEREFORE WISH TO VACATE THE EASEMENT CREATED ON PLAT BOOK 481, PAGE 027, RECORDS OF SANTA FE COUNTY, BETWEEN THE TWO PROPERTIES.

Signatures of Georges M. Feghali and Valentine T. Feghali with dates 10/16/2025 and 10/16/25. STATE OF NEW MEXICO COUNTY OF SANTA FE THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16 DAY OF October, 2025. BY: GEORGES M. FEGHALI BY: VALENTINE T. FEGHALI

Notary Public signature and commission expiration date 04/01/2026

PUBLIC UTILITY EASEMENT NOTES: 1. PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE. 2. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS. 3. QWEST CORPORATION d/b/a CenturyLink QC FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES. 4. CABLE TV FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE. LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES. INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POLES, DECKING OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT. EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE. DISCLAIMER: IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGCO) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGCO DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

UTILITY APPROVALS: City of Santa Fe Wastewater 10-10-25, Comcast/Infinity 10-8-25, PNM Electric Services 10/21/25, City of Santa Fe Water 10/16/2025, New Mexico Gas Company 11-3-25, Qwest Corporation 10/6/25. THIS PLAT HAS BEEN APPROVED FOR EASEMENT PURPOSES ONLY. THE SIGNING OF THIS PLAT DOES NOT IN ANY WAY GUARANTEE SERVICE TO THE PROPERTIES.



LEGEND

- USGLO Brass Caps found and used. Points found and used as noted. 1/2" Capped iron pin set this survey. Utility pole w/ overhead utility lines. Fences. Walls. Concrete. Utility pedestal.

NOTES

- 1. BASIS OF BEARINGS: GPS OBSERVATION OF FOUND MONUMENTS ALONG THE NORTH BOUNDARY OF PARCEL A, S 45°04'29" E, NAD 83, NM STATE PLANE, CENTRAL ZONE, GRID. DISTANCES ARE GROUND. 2. THIS SURVEY IS BASED ON A "LOT CONSOLIDATION & LOT LINE ADJUSTMENT SURVEY..." BY PHILIP B. WIEGEL, NMPS 9758, DATED 8/9/24, FILED AS PLAT BOOK 918, PAGE 007, RECORDS OF SANTA FE COUNTY, NEW MEXICO. BEARINGS IN DISTANCES IN () ARE FROM SAID PLAT WHERE DIFFERING FROM RECORD DIMENSIONS. SAID PLAT IS LEGAL LOT OF RECORD FOR TRACT B-1. 3. THIS SURVEY IS ALSO BASED ON A "PLAT OF BOUNDARY SURVEY FOR GEORGES FEGHALI..." BY MICHAEL V. WIEGEL, NMPS 30274, DATED 1/11/25, FILED AS PLAT BOOK 920, PAGE 009, RECORDS OF SANTA FE COUNTY, NEW MEXICO. BEARINGS IN DISTANCES IN [] ARE FROM SAID PLAT WHERE DIFFERING FROM RECORD DIMENSIONS. 4. REFERENCE ALSO A "LOT LINE ADJUSTMENT OF PARCEL A AND TRACT I FOR DORATHEA A. GABEL", BY RICHARD A. MORRIS, NMPS 10277, DATED 8/3/2001, FILED AS PLAT BOOK 481, PAGE 027, RECORDS OF SANTA FE COUNTY, NEW MEXICO. SAID PLAT IS LEGAL LOT OF RECORD FOR PARCEL A. 5. REFERENCE DEED INSTRUMENT # 1819704, RECORDS OF SANTA FE COUNTY, NEW MEXICO, FOR TRACT B-1. 6. REFERENCE DEED INSTRUMENT # 2051138, RECORDS OF SANTA FE COUNTY, NEW MEXICO, FOR PARCEL A.

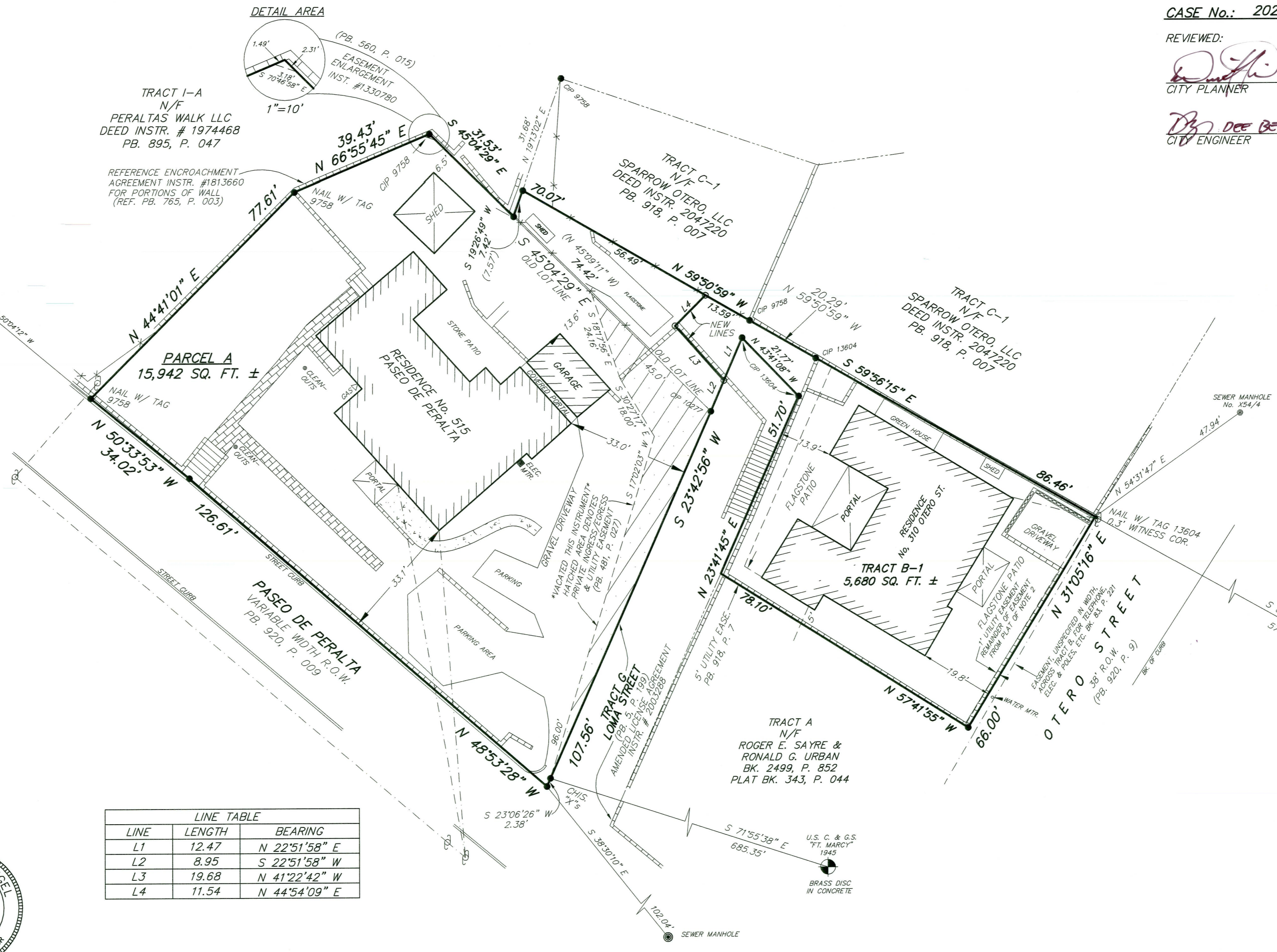
CERTIFICATE

I, Michael V. Wiegel, a duly licensed Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that this survey and plat represent an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

Signature of Michael V. Wiegel, DATE OF FIELD WORK 8 APRIL 2025, P.S. No. 30274 Santa Fe, NM.



LINE TABLE with columns LINE, LENGTH, BEARING. L1: 12.47, N 22°51'58" E; L2: 8.95, S 22°51'58" W; L3: 19.68, N 41°22'42" W; L4: 11.54, N 44°54'09" E





EXISTING SITE DATA

PROJECT NAME
515 Paseo de Peralta

PROJECT ADDRESS
515 Paseo de Peralta
Santa Fe, NM 87501

ZONING
R-21

OCCUPANCY
R-3

CONSTRUCTION TYPE
V-B

HISTORIC DISTRICT
Historic Downtown Archaeological Review District
Downtown and Eastside Historic District

SITE AREA
14,985 sf / 0.344 acres

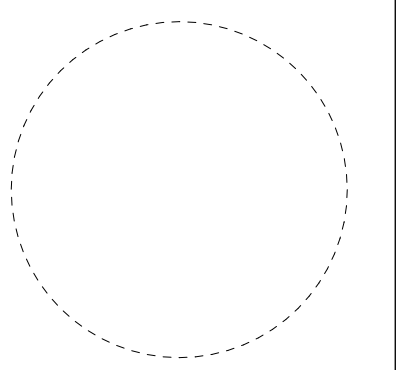
LOT COVERAGE
Not to exceed 40%
Lot Area 15,942 sf
Existing Building Footprint 2,886 sf
Existing Lot Coverage 18.1%

BUILDING AREA
Existing Significant House 1,560 sf
Existing Noncontributing Additions 880 sf
Total Existing Building Area 2,440 sf

HISTORIC STATUS

Per HDRB decision at 8/12/25 meeting

- NONCONTRIBUTING STRUCTURE / NON-PRIMARY FACADE**
A structure in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.
- SIGNIFICANT STRUCTURE / PRIMARY FACADE**
A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity.



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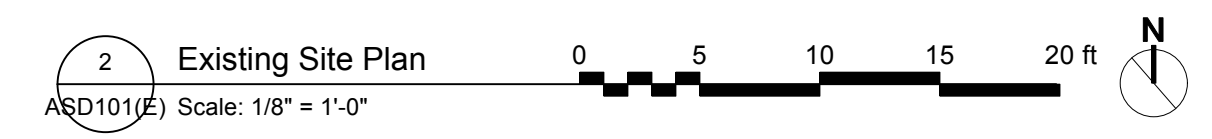
Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

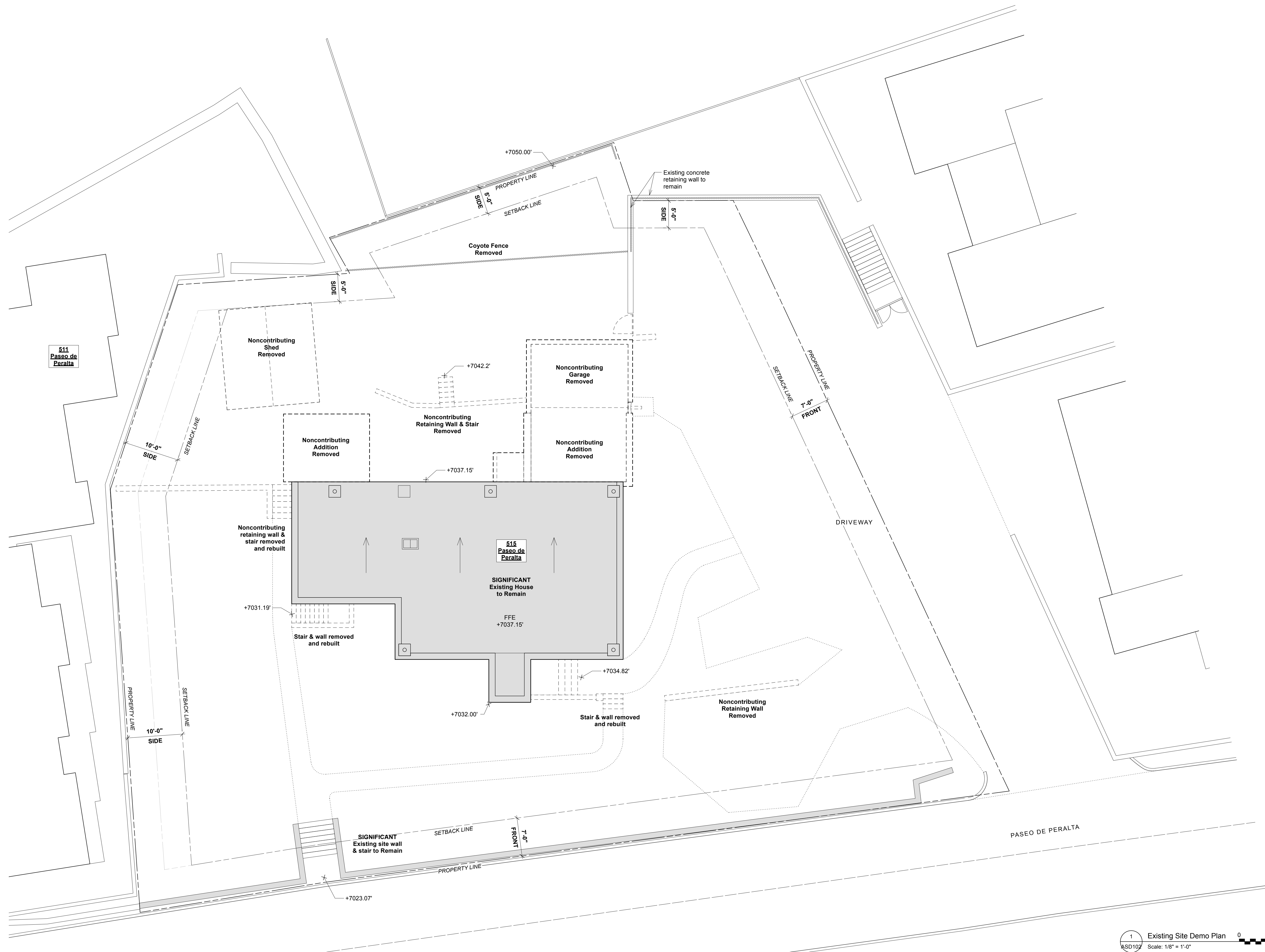
Date	Issue
March 16, 2026	

Date	Plot Date
March 16, 2026	3/16/26

File: 515 PdPeralta_A100 Plans.vwx
 Set: Historic Design Review
 Sheet Title: **Existing Site Plan**

ASD101(E)
 Sheet _____ of _____



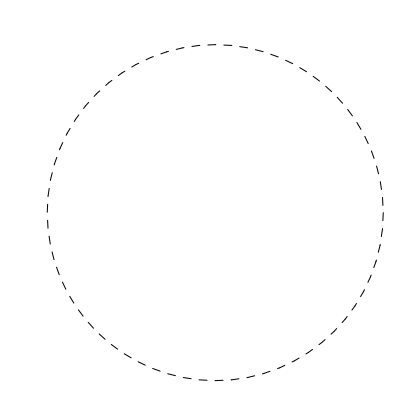


511
Paseo de
Peralta

515
Paseo de
Peralta

SIGNIFICANT
Existing House
to Remain

FFE
+7037.15'



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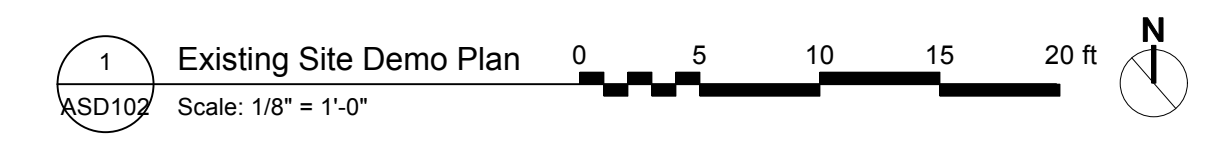
**Feghali Residence
Historic Renovation**
515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date 3/16/26
Drawn by	Checked by
File 515 PdPeralta_A100 Plans.vwx	
Set Historic Design Review	
Sheet Title Site Demo Plan	

ASD102

Sheet of





PROJECT DATA

PROJECT NAME
515 Paseo de Peralta

PROJECT ADDRESS
515 Paseo de Peralta
Santa Fe, NM 87501

ZONING
R-21

OCCUPANCY
R-3

CONSTRUCTION TYPE
V-B

HISTORIC DISTRICT
Historic Downtown Archaeological Review District
Downtown and Eastside Historic District

SITE AREA
14,985 sf / 0.344 acres

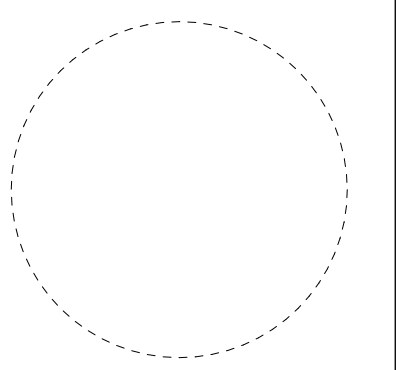
LOT COVERAGE
Not to exceed 40%
Lot Area 15,942 sf
Proposed Building Footprint 4,620 sf
Proposed Lot Coverage 29.0%

BUILDING AREA
Existing Renovation 1,560 sf
Proposed Addition 3,470 sf
Total 5,030 sf

BUILDING SETBACKS
Front / South minimum 7' / proposed 27'-8"
Front / East minimum 5' / proposed 8'-0"
Side / North minimum 5' / proposed 5'-3 1/2"
Side / West * minimum 10' / proposed 10'-4"
* Zoning minimum 5' / site minimum 10' due to lot line agreement with adjacent property

BUILDING HEIGHT
Maximum (R-21) 24 ft
Maximum (Historic District Calculation) 23 ft
Proposed ** 24 ft
** Administrative deviation of 12" requested per conversations with Dan Esquibel and Heather Lamboy, see Planning Feedback

PARKING
Table 14-8.6-1
Minimum required 2 spaces per detached dwelling unit
Proposed 3 parking spaces (2 garage / 1 site)



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**Feghali Residence
Historic Renovation**
515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date	Plot Date
March 16, 2026	3/16/26
Drawn by	Checked by

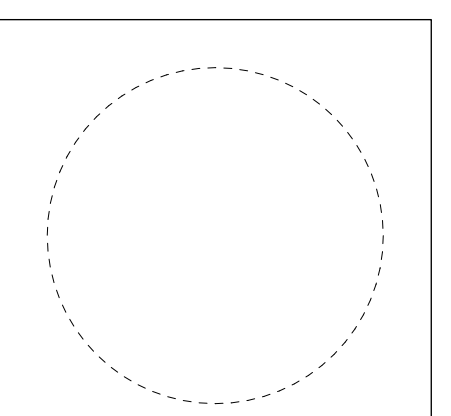
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Set: Historic Design Review
Sheet Title: **Proposed Site Plan**
AS101h



Sheet of



1 Existing Ground Floor Plan
 A101(E) Scale: 3/16" = 1'-0"

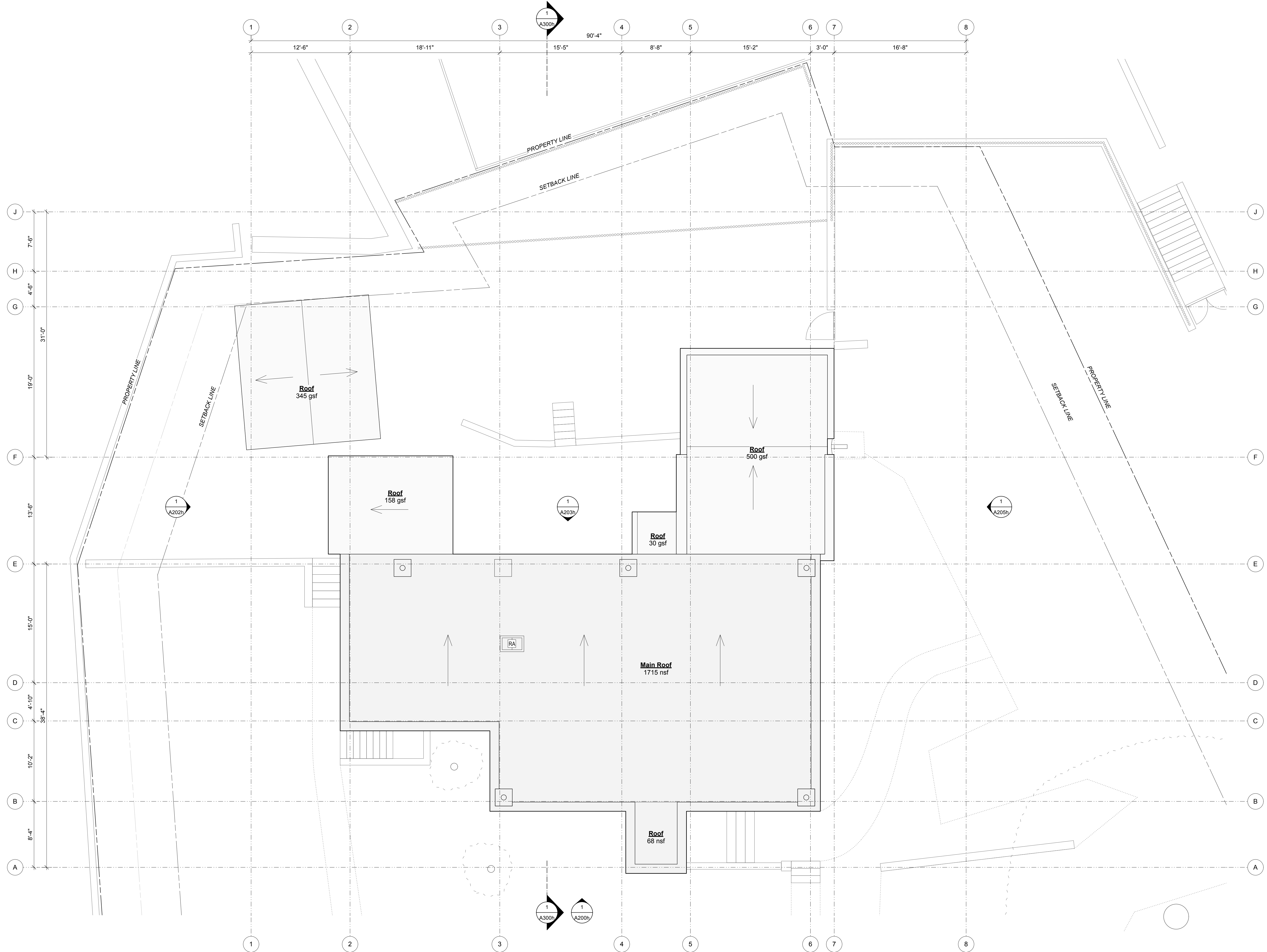


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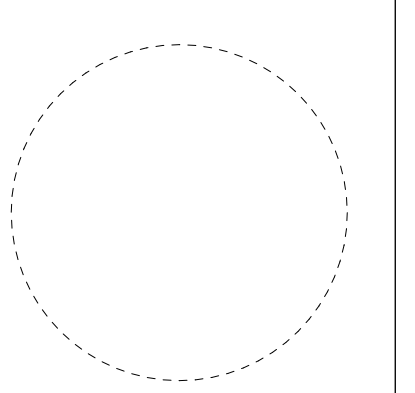
Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date 3/16/26
Drawn by	Checked by
File 515 PdPeralta_A100 Plans.vwx	
Set Historic Design Review	
Sheet Title Existing Ground Floor Plan	
A101(E)	
Sheet	of



1 Existing Roof Plan
 A102(E) Scale: 3/16" = 1'-0"



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Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

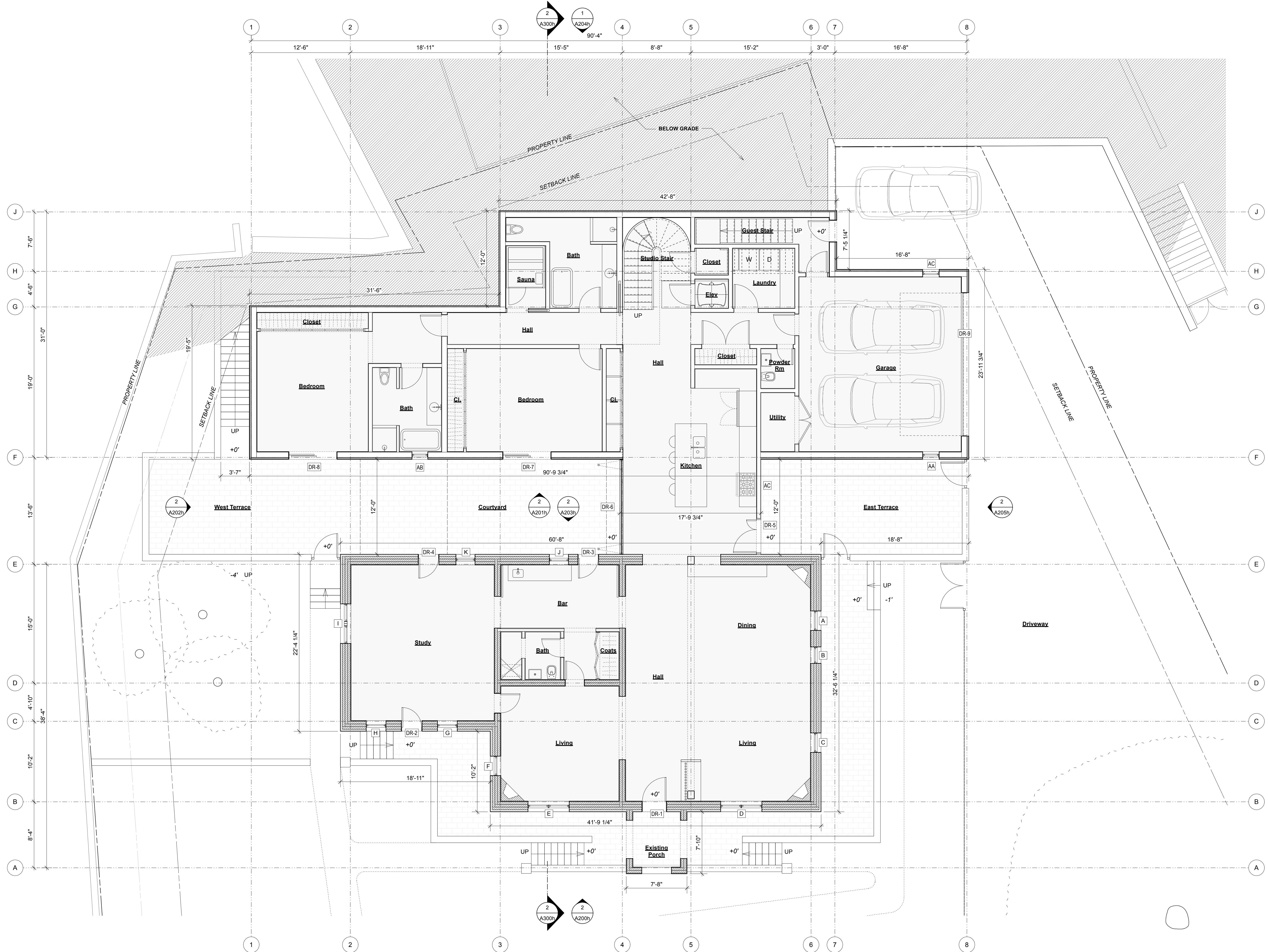
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Drawn by	Checked by

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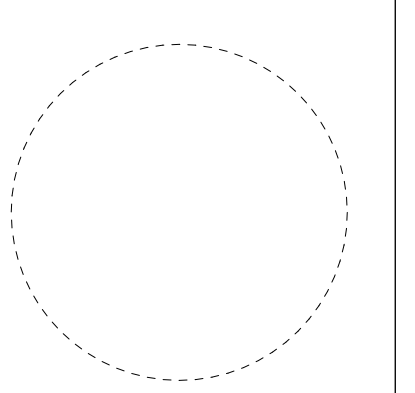
Set
Historic Design Review

Sheet Title
Existing Roof Plan

Sheet of



4 Proposed Ground Floor Plan
A101h Scale: 3/16" = 1'-0"



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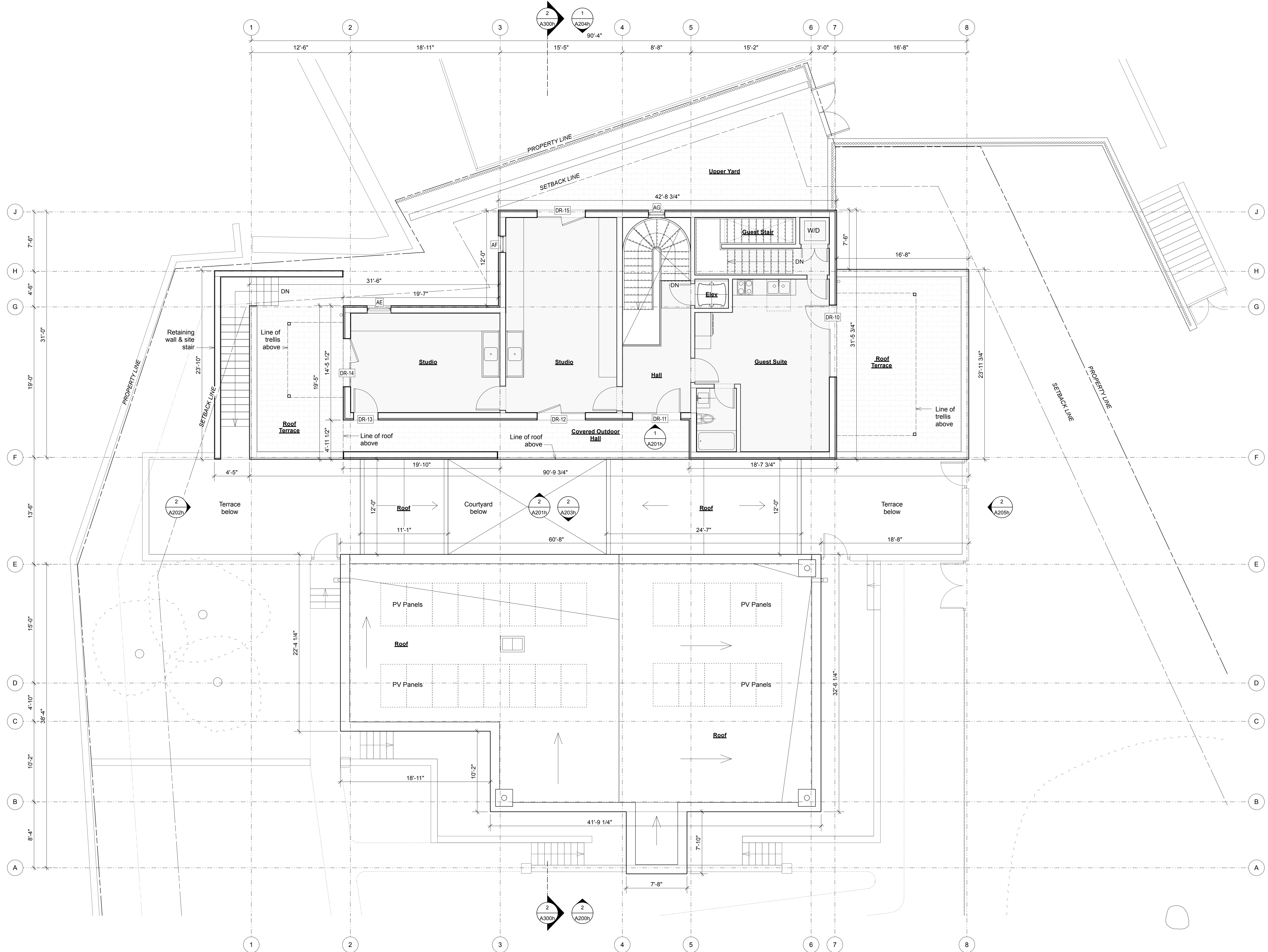
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**Feghali Residence
Historic Renovation**
515 Paseo de Peralta, Santa Fe, NM 87505

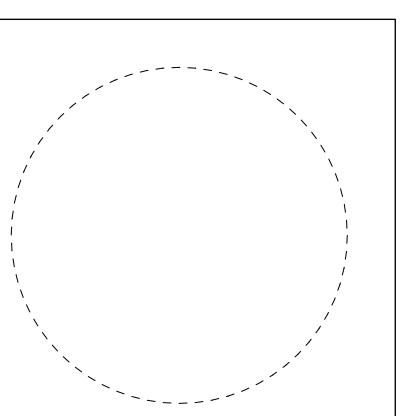
Date	Issue
March 16, 2026	

File: 515 PdPeralta_A100 Plans.vwx
Set: Historic Design Review
Sheet Title: Proposed Ground Floor Plan

Proposed Ground Floor Plan
A101z



3 Proposed Upper Floor Plan
 A102h Scale: 3/16" = 1'-0"



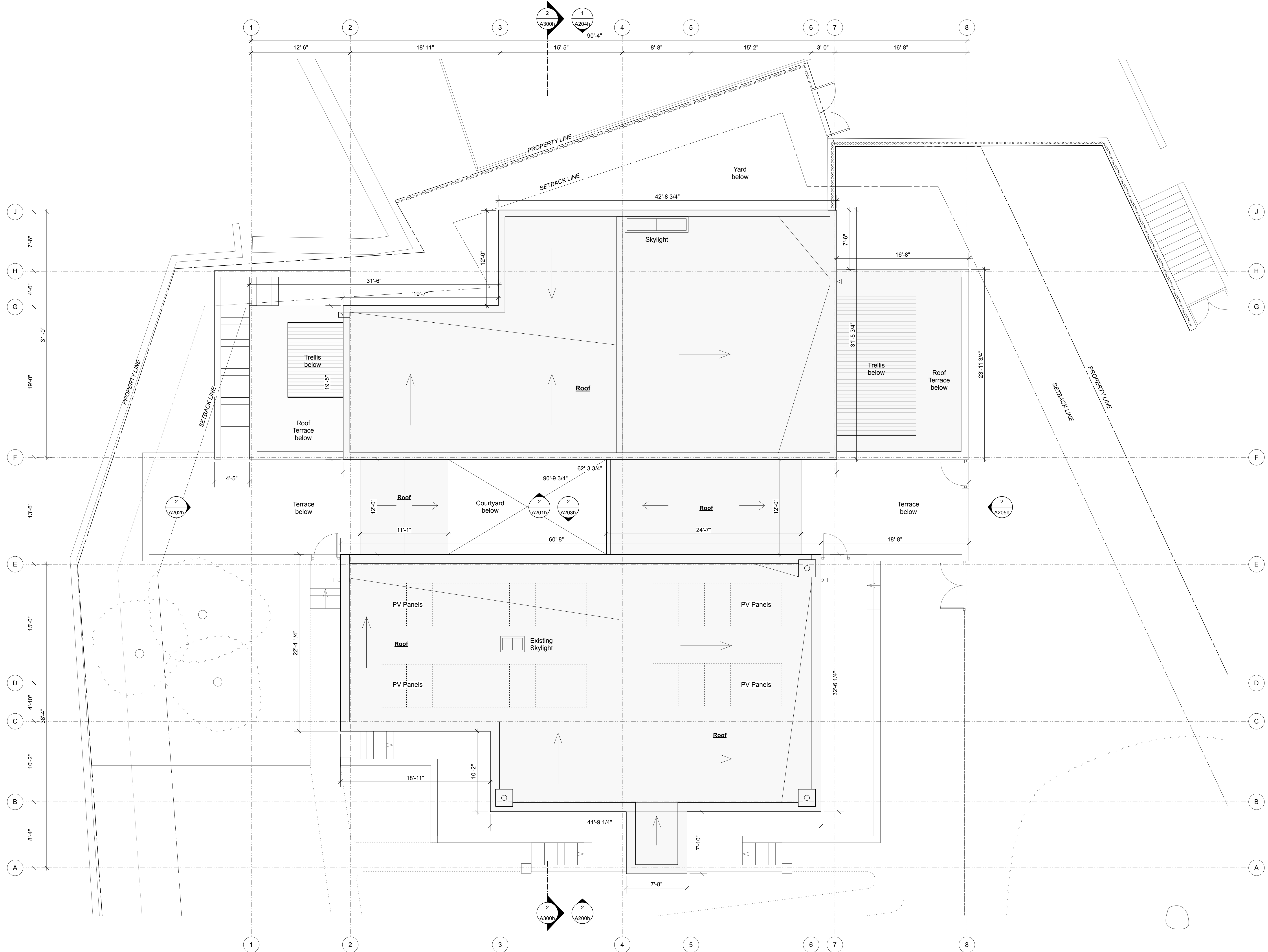
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Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

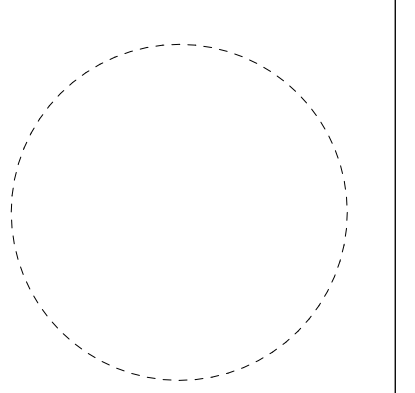
Date	Issue

Date: March 16, 2026
 Plot Date: 3/16/26
 Drawn by:
 Checked by:
 File: 515 PdPeralta_A100 Plans.vwx
 Set: Historic Design Review
 Sheet Title:
 Proposed Upper Floor Plan

A102z
 Sheet of



3 Proposed Roof Plan
A103h Scale: 3/16" = 1'-0"



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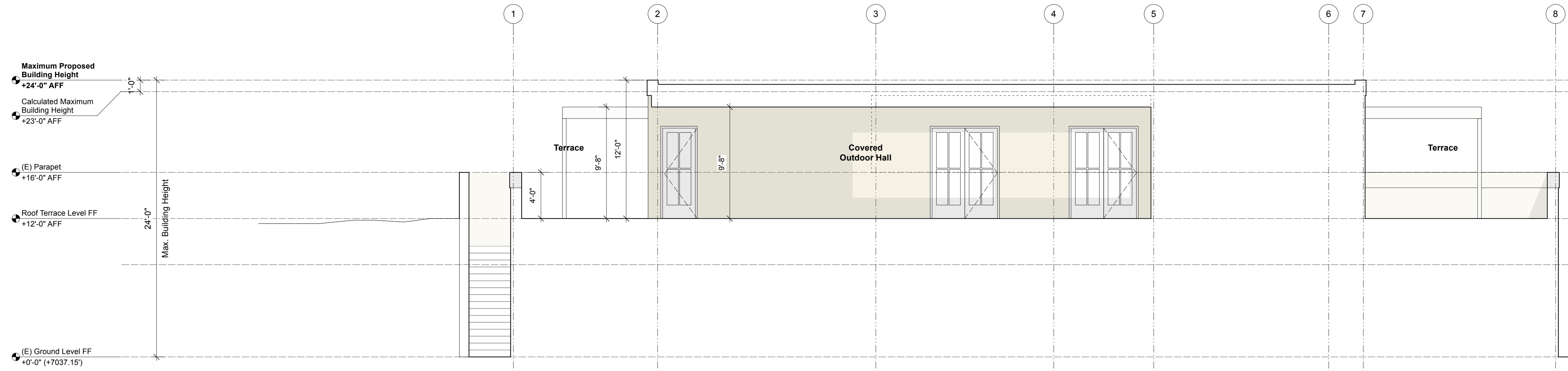
**Feghali Residence
Historic Renovation**
515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue
March 16, 2026	3/16/26
Drawn by	Checked by

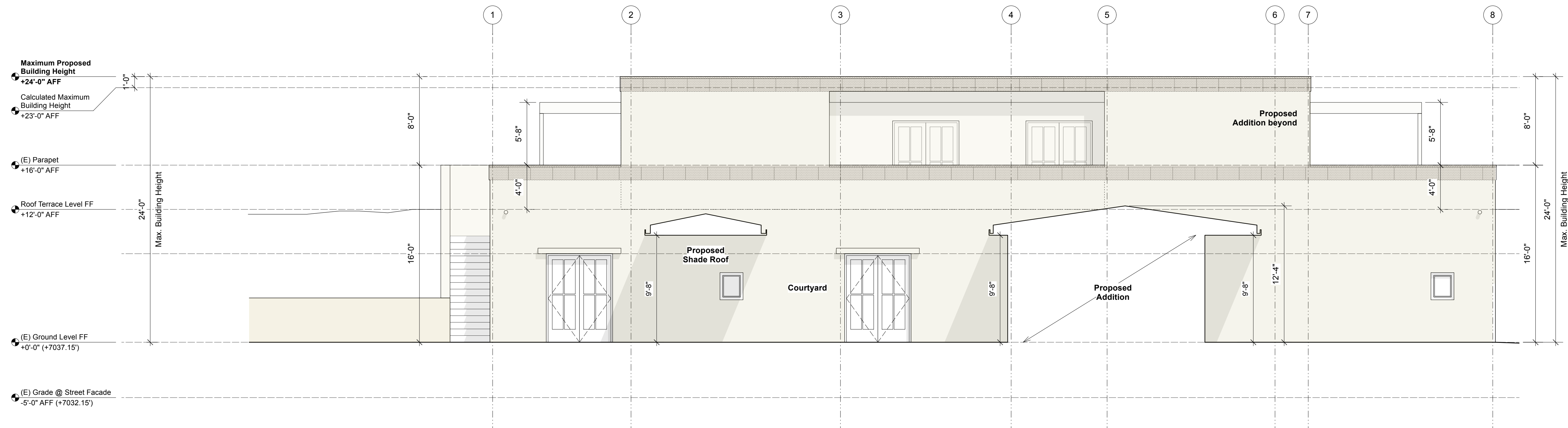
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Proposed Roof Plan
A103z

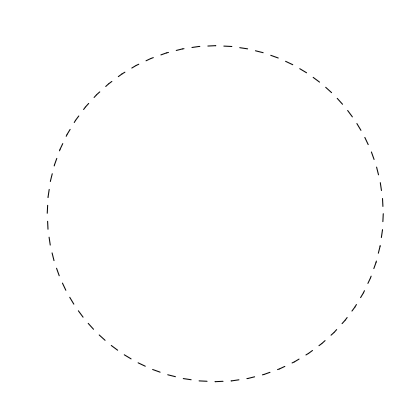
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2 Proposed South Elevation - Addition
 A201h Scale: 3/16" = 1'-0"



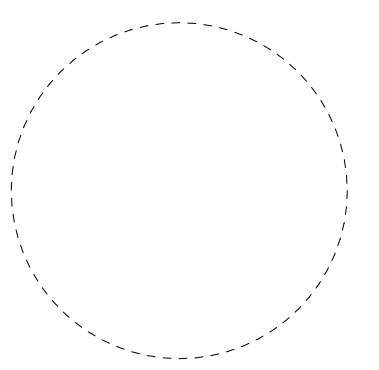
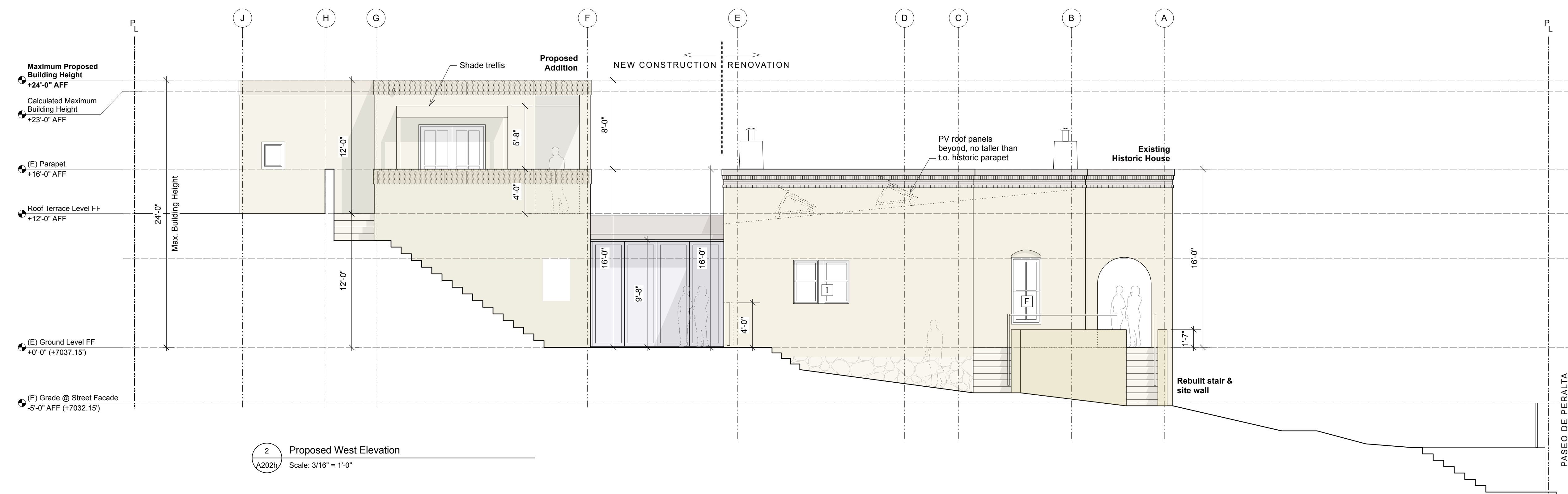
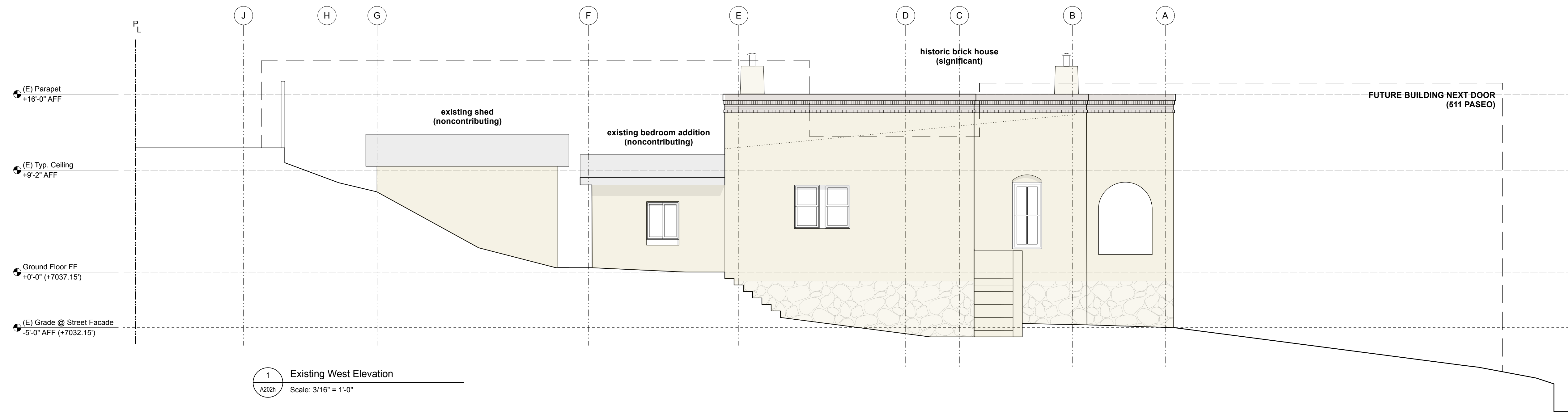
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Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date 3/16/26
Drawn by	Checked by
File 515 PdPeralta_A200 Elev Sections.vwx	
Set Historic Design Review	
Sheet Title South Building Elevations - Addition	
A201h	
Sheet	of



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**Feghali Residence
Historic Renovation**
515 Paseo de Peralta, Santa Fe, NM 87505

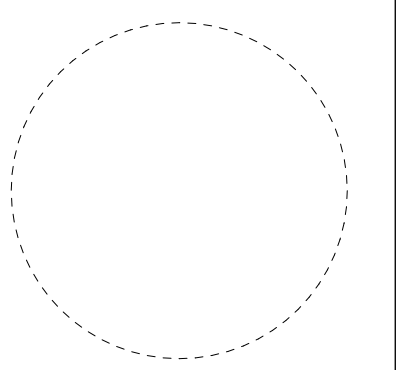
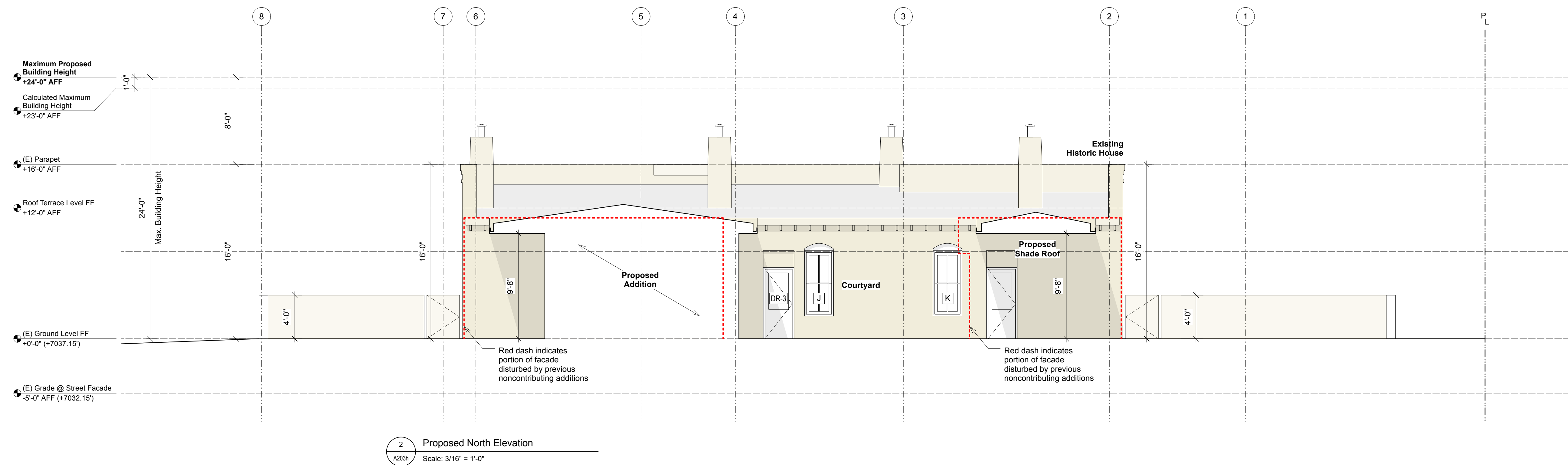
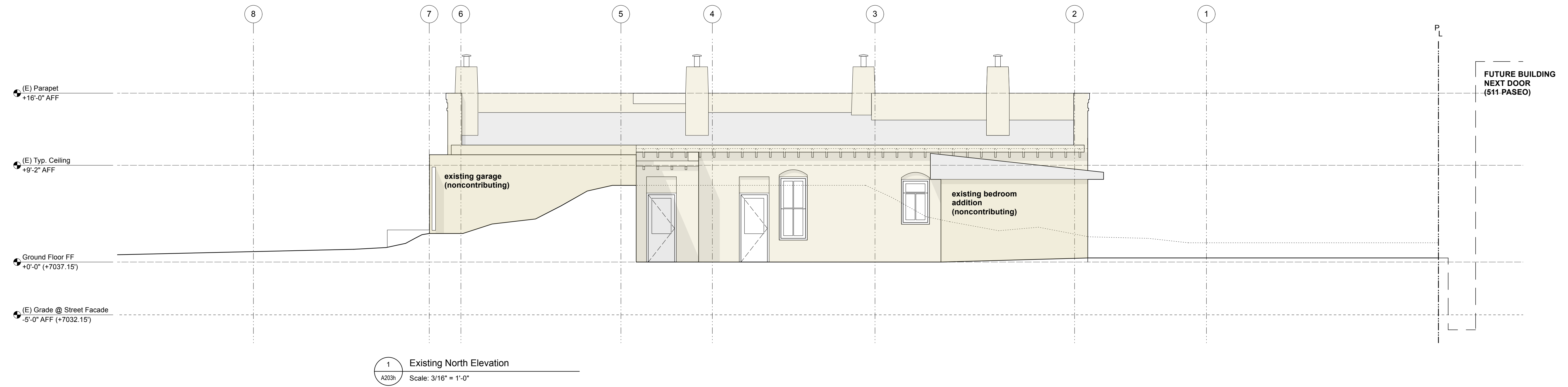
Date	Issue

Date March 16, 2026	Plot Date 3/16/26
Drawn by	Checked by

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Set: Historic Design Review
Sheet Title: **West Building Elevations**

A202h

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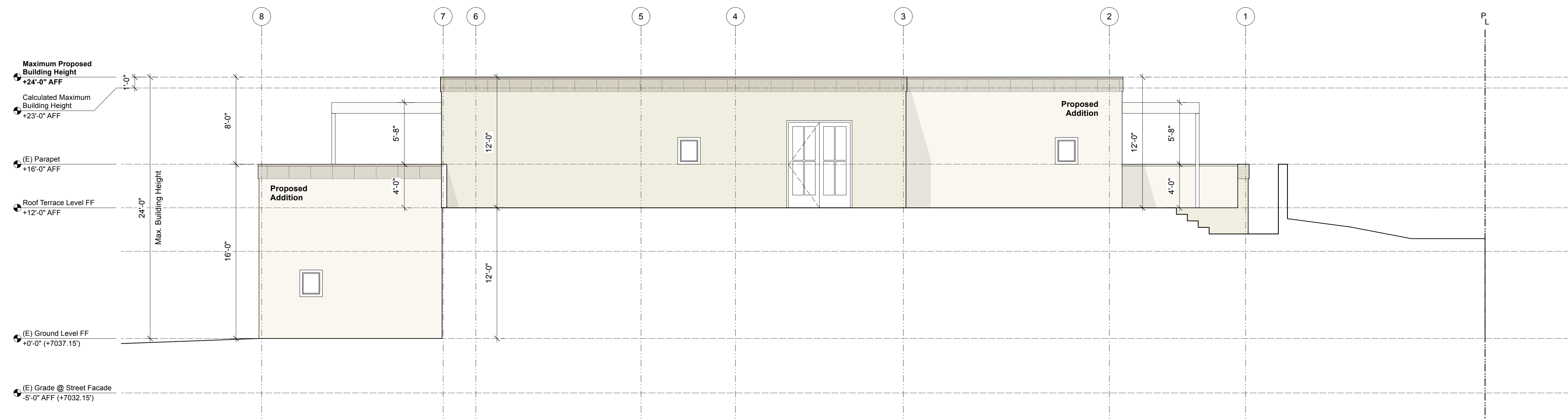
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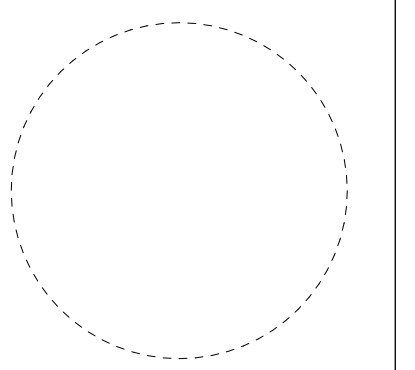
**Feghali Residence
 Historic Renovation**
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date 3/16/26
Drawn by	Checked by
File 515 PdPeralta_A200 Elev Sections.vwx	
Set Historic Design Review	
Sheet Title North Building Elevations	
A203h	
Sheet	of



1 North Elevation - Addition
 A204h Scale: 3/16" = 1'-0"



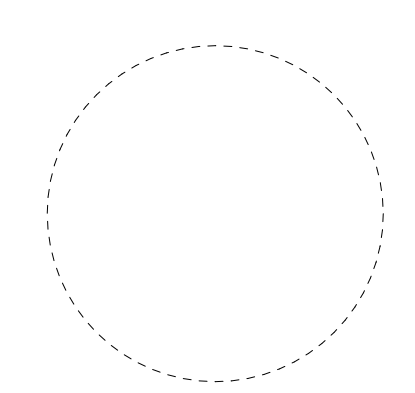
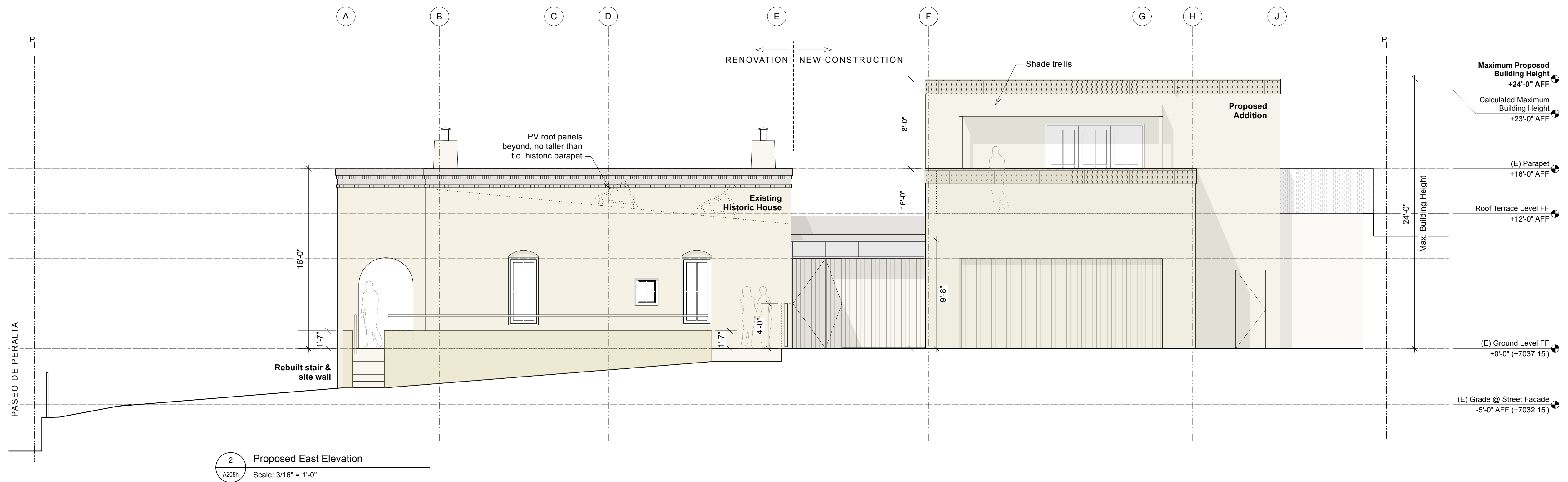
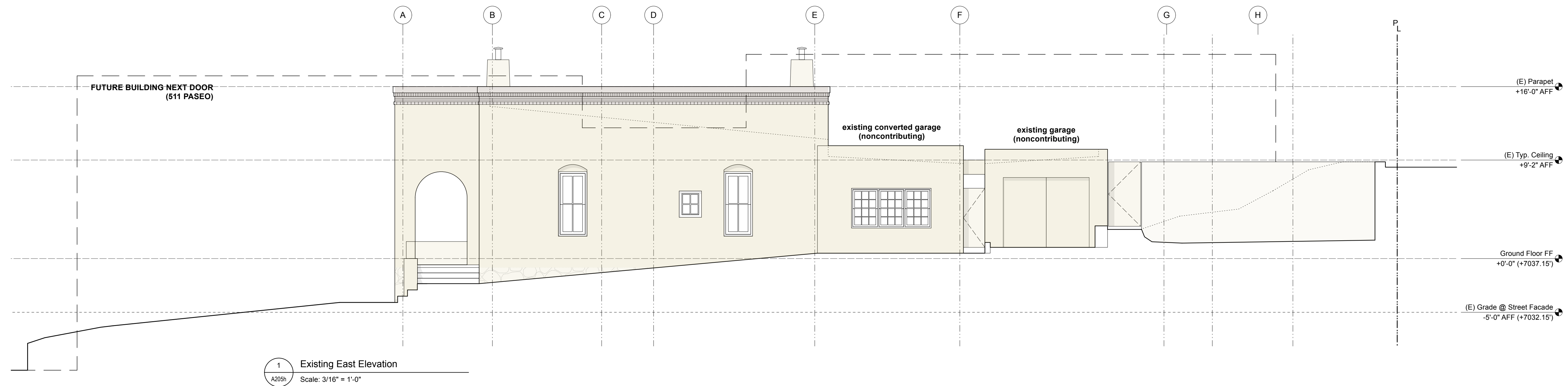
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**Feghali Residence
 Historic Renovation**
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date 3/16/26
Drawn by	Checked by
File 515 PdPeralta_A200 Elev Sections.vwx	
Set Historic Design Review	
Sheet Title North Building Elevations - Addition	
A204h	
Sheet	of



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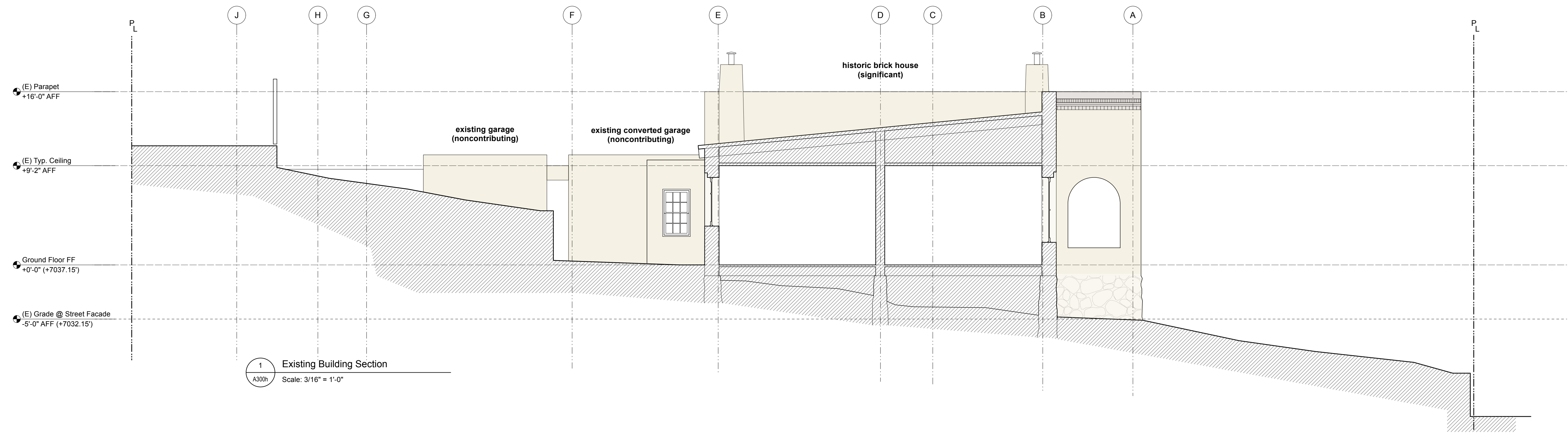
Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

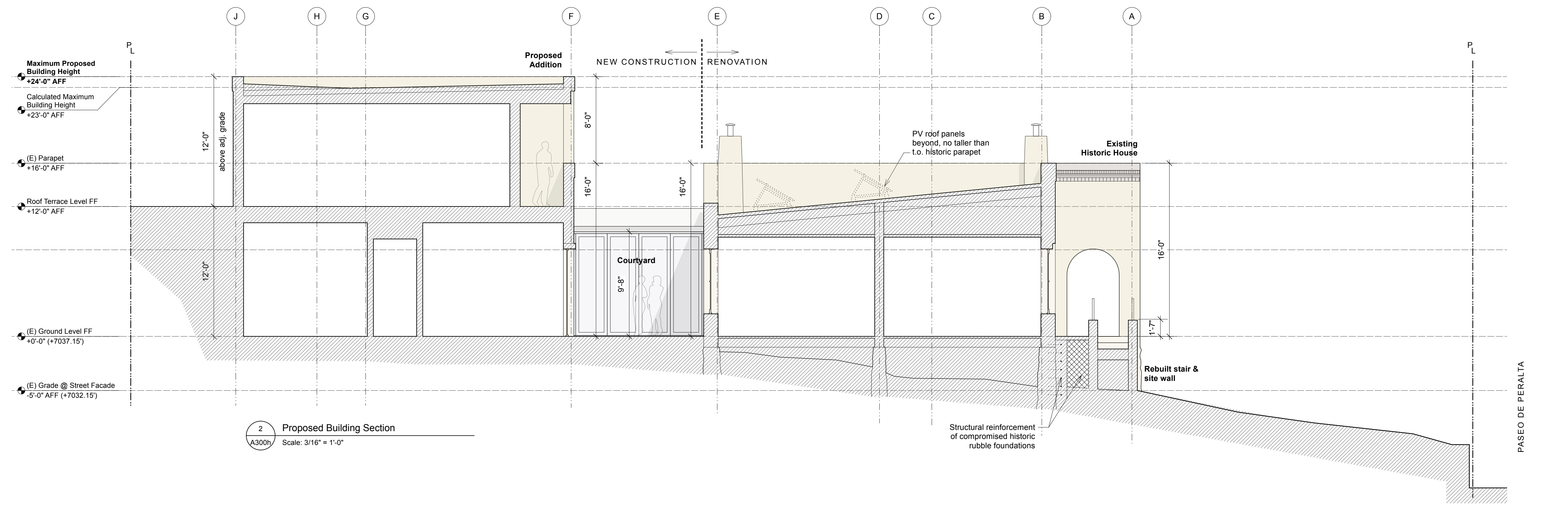
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 Drawn by:
 Plot Date: 3/16/26
 Checked by:
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 Set: Historic Design Review

Sheet Title: **East Building Elevations**
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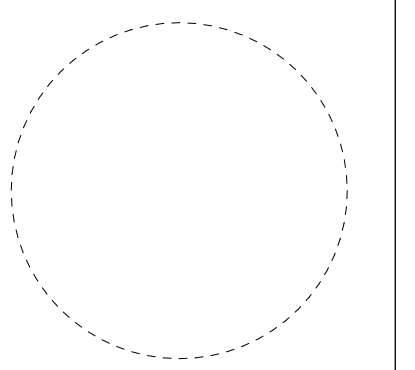
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1 Existing Building Section
A300h Scale: 3/16" = 1'-0"



2 Proposed Building Section
A300h Scale: 3/16" = 1'-0"



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**Feghali Residence
Historic Renovation**
515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue
March 16, 2026	

Date: March 16, 2026
Plot Date: 3/16/26
Drawn by:
Checked by:
File: 515 PdPeralta_A200 Elev Sections.vwx
Set: Historic Design Review
Sheet Title: **North-South Building Section A**

A300h

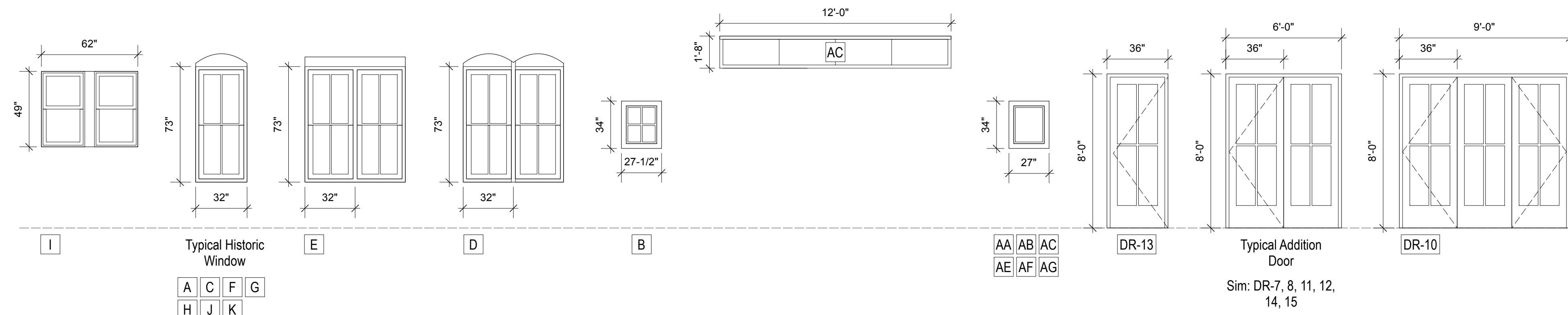
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SKYLIGHT - ROOF WINDOW SCHEDULE						
ID #	Location	Type	Width	Length	Treatment	Comments
RA	Historic House	Existing Skylight	3'-0"	2'-0"	--	No change proposed
RB	Addition	American Skylight	8'-0"	2'-0"	--	

EXTERIOR WINDOW & DOOR SCHEDULE							
ID #	Location	Type	Width	Height	Glazing	Condition	Comments
Ground Level							
A	Historic House	1 - Existing Window	32"	73"	G1	Fair	
B	Historic House	1 - Existing Window	27'-1/2"	34"	G1	Fair	
C	Historic House	1 - Existing Window	32"	73"	G1	Fair	
D	Historic House	2 - All-Wood Divided Lite	32" x2	73"	G2	New	
E	Historic House	2 - All-Wood Divided Lite	32" x2	73"	G2	New	
F	Historic House	2 - All-Wood Divided Lite	32"	73"	G2	New	Replace non-restorable Historic window with like and kind replacement
G	Historic House	2 - All-Wood Divided Lite	32"	73"	G2	New	
H	Historic House	2 - All-Wood Divided Lite	32"	73"	G2	New	
I	Historic House	1 - Existing Window	31" x2	49"	G1	Fair	
J	Historic House	1 - Existing Window	32"	73"	G1	Fair	
K	Historic House	2 - All-Wood Divided Lite	32"	73"	G2	New	Replace non-historic window with original size
DR-1 to DR-4							
DR-1	Historic House	1 - Existing Door	32"	73"	G1	Satisfactory	Non-historic door
DR-2	Historic House	1 - Existing Door	32"	73"	G1	Fair	Non-historic door
DR-3	Historic House	1 - Existing Door	29"	78"	G1	Fair	Historic Door
DR-4	Historic House	2 - All-Wood Divided Lite	32"	73"	G2	New	Match Historic door DR-3
Ground Level - Addition							
AA	Addition Ground Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
AB	Addition Ground Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
AC	Addition Ground Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
AD	Addition Ground Level	3 - Clad Wood Window	12'	20"	G2	New	Clerestory below Portal overhang
DR-5 to DR-9							
DR-5	Addition Ground Level	3 - Clad Wood Door	36" + 15"	8'-0"	--	New	Operable 15" side lite
DR-6	Addition Ground Level	4 - Clad Wood Folding Door	12'	9'-8"	G2	New	4-panel folding doors
DR-7	Addition Ground Level	3 - Clad Wood Door	3' + 3'	8'-0"	G2	New	2 operable leaves
DR-8	Addition Ground Level	3 - Clad Wood Door	3' + 3'	8'-0"	G2	New	2 operable leaves
DR-9	Addition Ground Level	5 - Wood Garage Door	18'	8'-0"	--	New	Finish to match picket fence & site gates
Upper Level - Addition							
AE	Addition Upper Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
AF	Addition Upper Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
AG	Addition Upper Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
DR-10 to DR-15							
DR-10	Addition Upper Level	3 - Clad Wood Door	3' + 6'	8'-0"	G2	New	Operable leaf + side lite
DR-11	Addition Upper Level	3 - Clad Wood Door	3' + 3'	8'-0"	G2	New	Operable leaf + side lite
DR-12	Addition Upper Level	3 - Clad Wood Door	3' + 3'	8'-0"	G2	New	Operable leaf + side lite
DR-13	Addition Upper Level	3 - Clad Wood Door	3'	8'-0"	G2	New	Operable leaf + side lite
DR-14	Addition Upper Level	3 - Clad Wood Door	3' + 3'	8'-0"	G2	New	Operable leaf + side lite
DR-15	Addition Upper Level	3 - Clad Wood Door	3' + 3'	8'-0"	G2	New	Operable leaf + side lite

GLAZING SCHEDULE							
ID	TYPE	LITES	COLOR	PERFORMANCE	COATINGS	THICKNESS	COMMENTS
G1	Exterior Existing Clear Glass	Existing	Clear	Existing	n/a	Existing	Replace glass panes where cracked
G2	Exterior: Clear insulated glass	Fully tempered float glass	Clear	Average U-Value: 0.28; Maximum Solar Heat Gain Coefficient (SHGC): 0.38	Low-E	6.0 mm (0.24") each lite; 1" overall thickness	Typical exterior glazing

GLAZING & DOOR FRAME TYPES SCHEDULE							
ID	TYPE	COLOR	BASIS OF DESIGN	COMMENTS			
1	Historic Windows	Existing	Existing	Existing Frame to be restored where possible			
2	All-Wood Divided Lite Windows	K-Kron II Nutmeg	Kolbe Heritage Series	Color intended to match existing "Like and kind" replacement windows			
3	Metal-clad Wood Divided Lite Windows & Doors	RAL-3009 Oxide Red	Kolbe Ultra Series	Color intended to be related but slightly darker than existing			
4	Metal-clad Wood Folding Doors	RAL-3009 Oxide Red	Kolbe Ultra Series	Color intended to be related but slightly darker than existing			
5	Wood Garage Door	Oiled Cedar finish	Overhead Door Company	Finish to match picket fence & site gates			



1 Exterior Glazing Types
Scale: 1/4" = 1'-0"

SHEET GENERAL NOTES

A. Contractor shall verify and ensure that all requirements of the ADA and IBC are fully met and complied with.

B. Coordinate hardware with specified hardware schedule. All hardware shall comply with ADA requirements.

C. At all doors requiring electrical devices, card readers, actuators, alarms, or contacts, the contractor shall coordinate pathway and power requirements as necessary. Coordinate all hardware, electric strike, and wiring requirements prior to ordering door. Refer to Electrical & Technology details.

D. Provide all blocking as required.

E. All hollow metal door frames shall receive mineral fiber insulation at interior of frame. At rated assemblies seal using freestopping sealant per spec.

F. Field verify all openings prior to fabrication. Contractor to coordinate all rough opening requirements with manufacturer and installer.

G. All work shall be executed in accordance with the best accepted trade practices and per manufacturer recommendations.

ACCESSIBILITY GENERAL NOTES

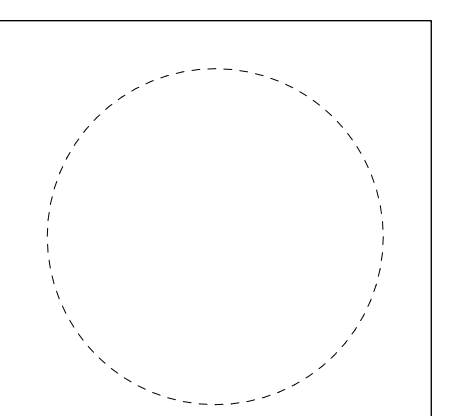
A. Door bottom surface: The bottom 10" of all doors shall have a smooth uninterrupted surface extending full width of the door to allow the door to be opened by a wheelchair footrest safely.

B. Door closer: Closer shall be adjusted so that from an open position of 90 degrees the time required to move the door to an open position of 12 degrees will be 5 seconds minimum.

C. Door hardware: Lever handle type door hardware shall be used at all doors and shall be easy to grasp with one hand and shall not require tight grasping, pinching, or twisting of wrist to operate. Hardware shall be mounted between 34" minimum to 48" maximum.

D. Door opening force: The required force for pushing open or pulling open doors shall be 5lbs. maximum. This force shall not apply to force required to retract latch bolts of other devices which hold door in closed position.

E. Operation: Operable parts of equipment and appliances shall be operable with one hand and shall not require tight grasping, pinching, or twisting of wrist. The force required to activate operable parts shall be 5 lbs. maximum.



Consultant
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 924-A Shoofly Street Santa Fe, NM 87505
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Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue
Date	Plot Date
March 16, 2026	3/16/26
Drawn by	Checked by
File: 515 PdPeralta_A200 Elev Sections.vwx	
Set: Historic Design Review	
Sheet Title: Exterior Window & Door Schedule	
A500h	
Sheet	of



Historic House Existing Stucco Repair

Custom color similar to El Rey Sandalwood
Pebble-dashed texture to match existing



Historic House Existing Coping Repair

Custom color similar to LaHabra X-63149 Hatteras
Matching existing red brick where exposed



Historic House Windows

Repair or Replace in Kind
Kolbe Traditional Divided-lite Wood Windows
K-Kron II Exterior Finish in Nutmeg



Wood Picket Fence

Cedar board, oiled finish



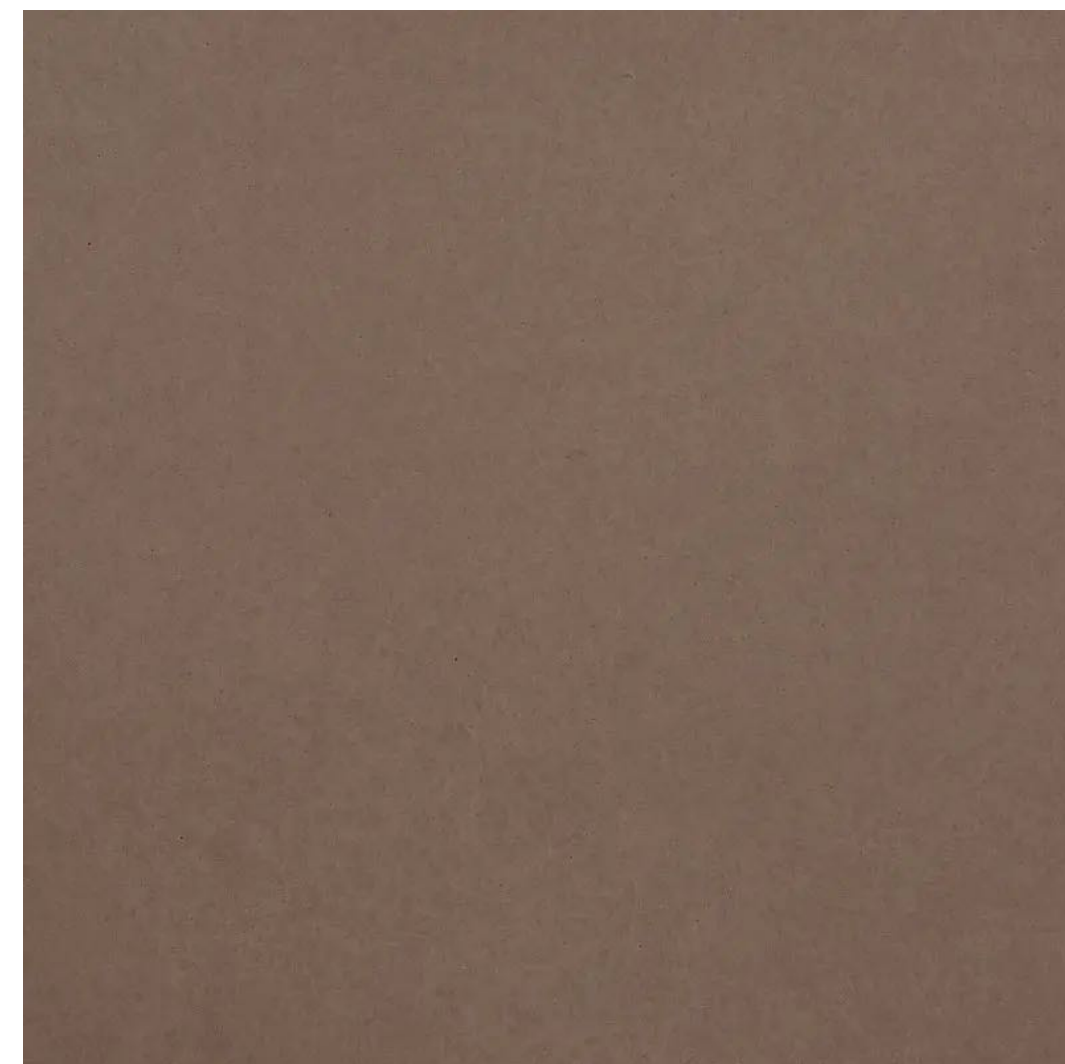
Historic Existing Stone Wall

No change proposed



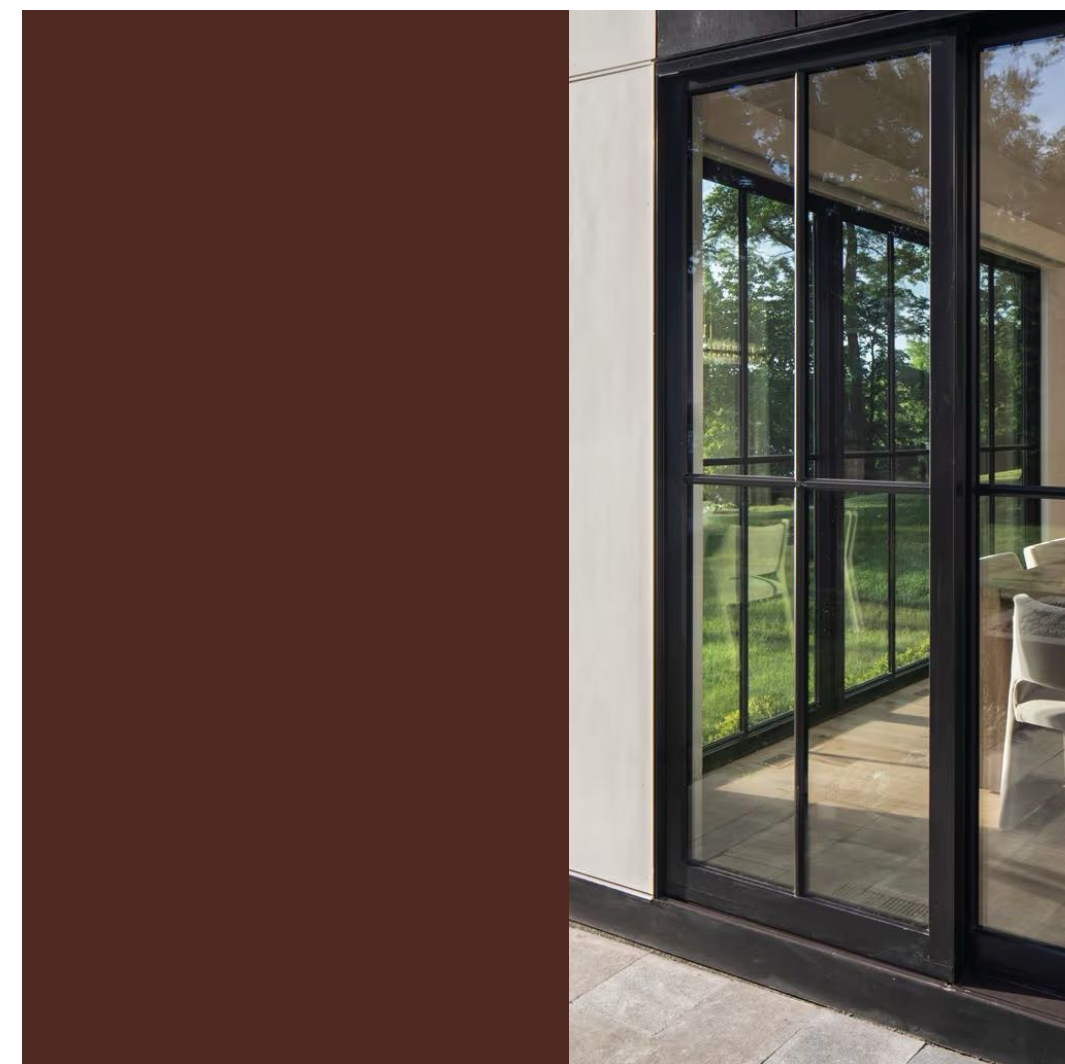
Addition Building & New Site Walls

Custom stucco color similar to El Rey Sandalwood
Light brushed texture stucco
Solid doors painted to match



Addition Masonry Parapet Cap

Davis Sequoia Sand



Addition Windows & Doors

Kolbe Clad Wood Divided-lite Windows
RAL 3009 Oxide Red



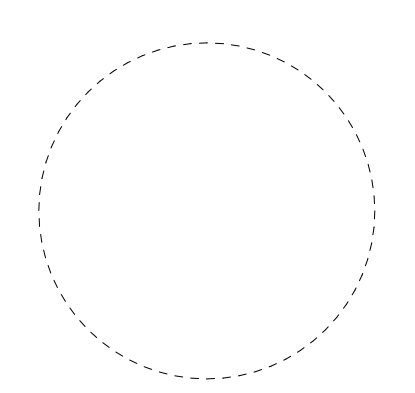
Addition Wood Cladding & Exterior Soffits

Tongue & Groove Cedar board, oiled finish



Existing Cast Concrete Retaining Wall

No change proposed



Consultant

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Feghali Residence
Historic Renovation
515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date
Drawn by	Checked by

File

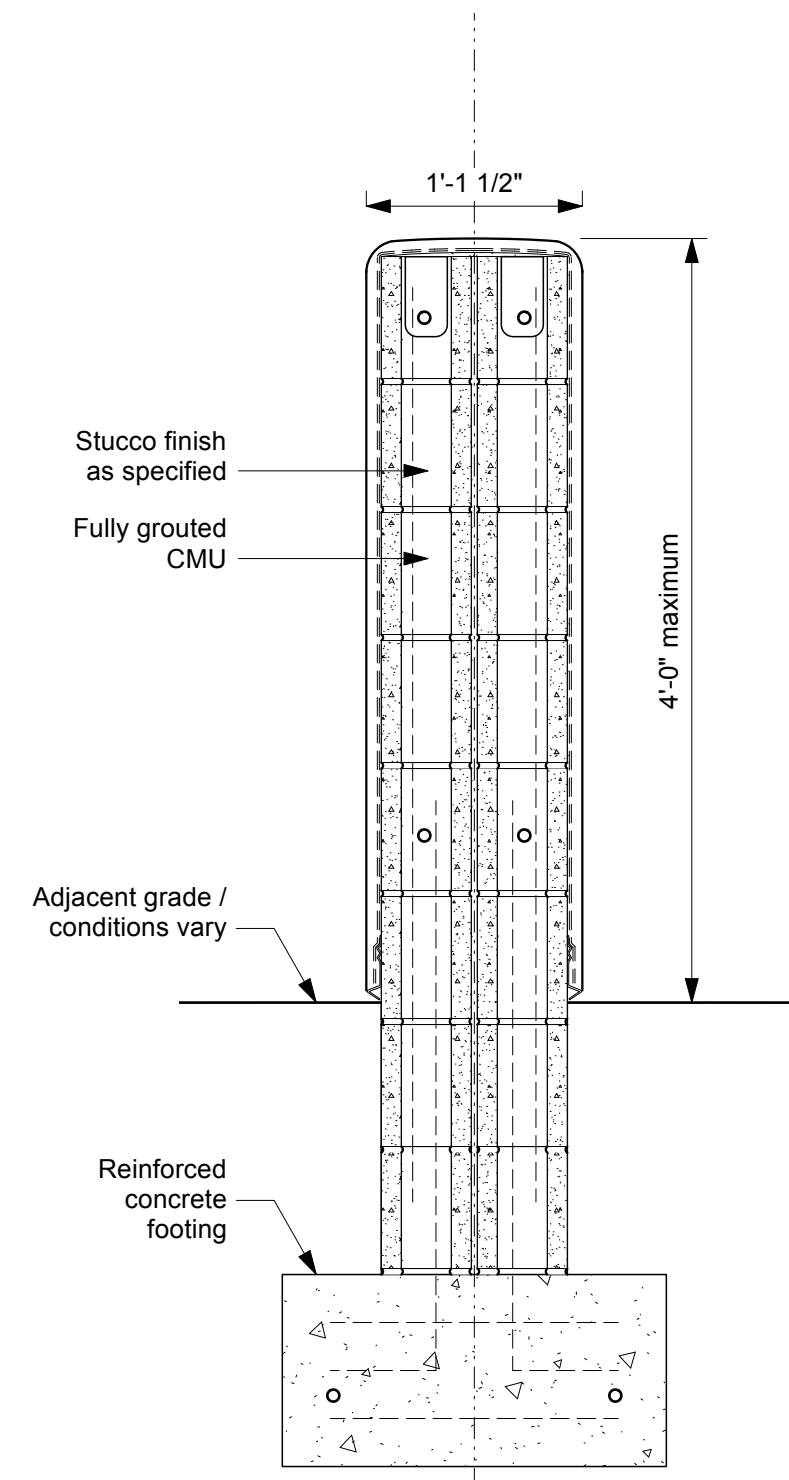
Set
Historic Design Review

Sheet Title
Proposed Exterior Materials

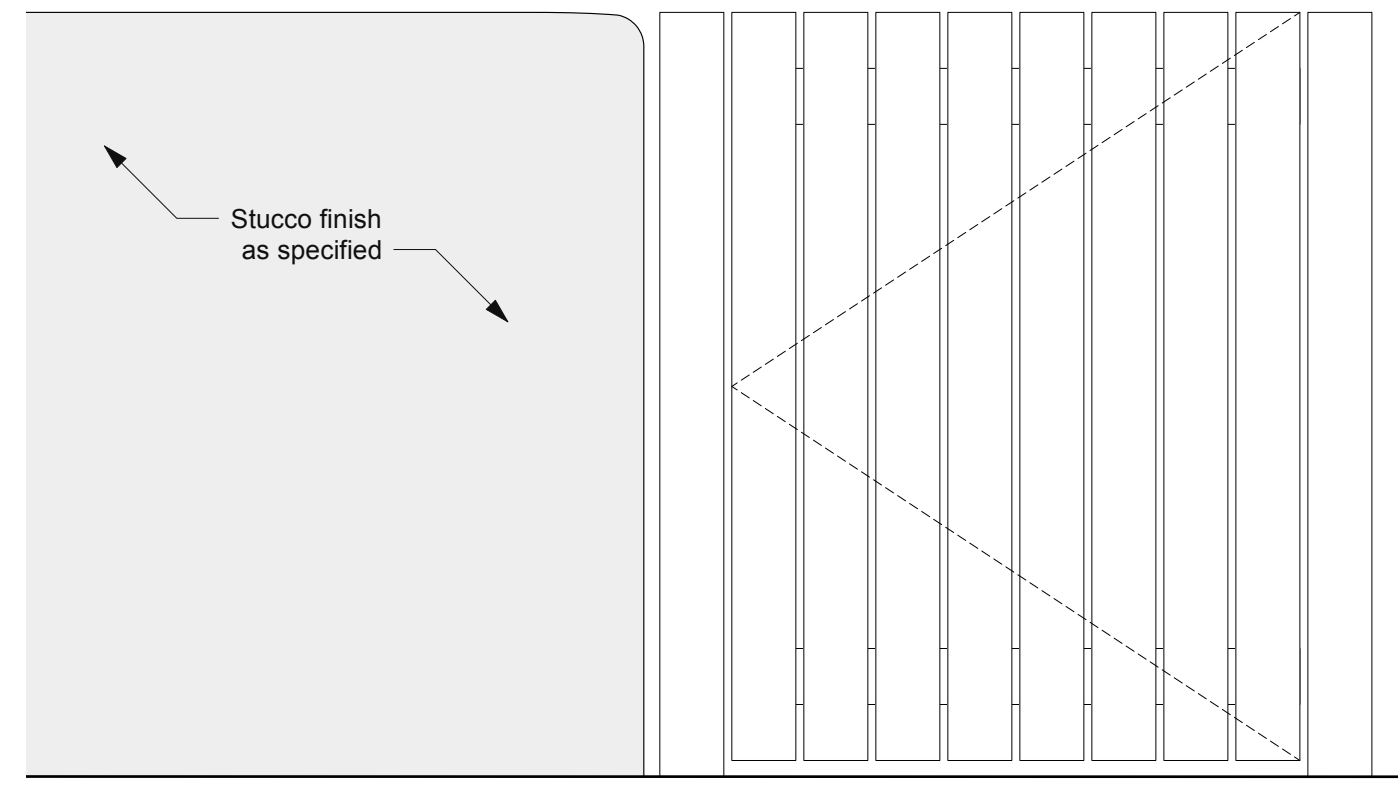
DSK-01

Sheet of

STUCCO SITE WALL



1 Stucco Wall Section
DSK-02 Scale: 1" = 1'-0"



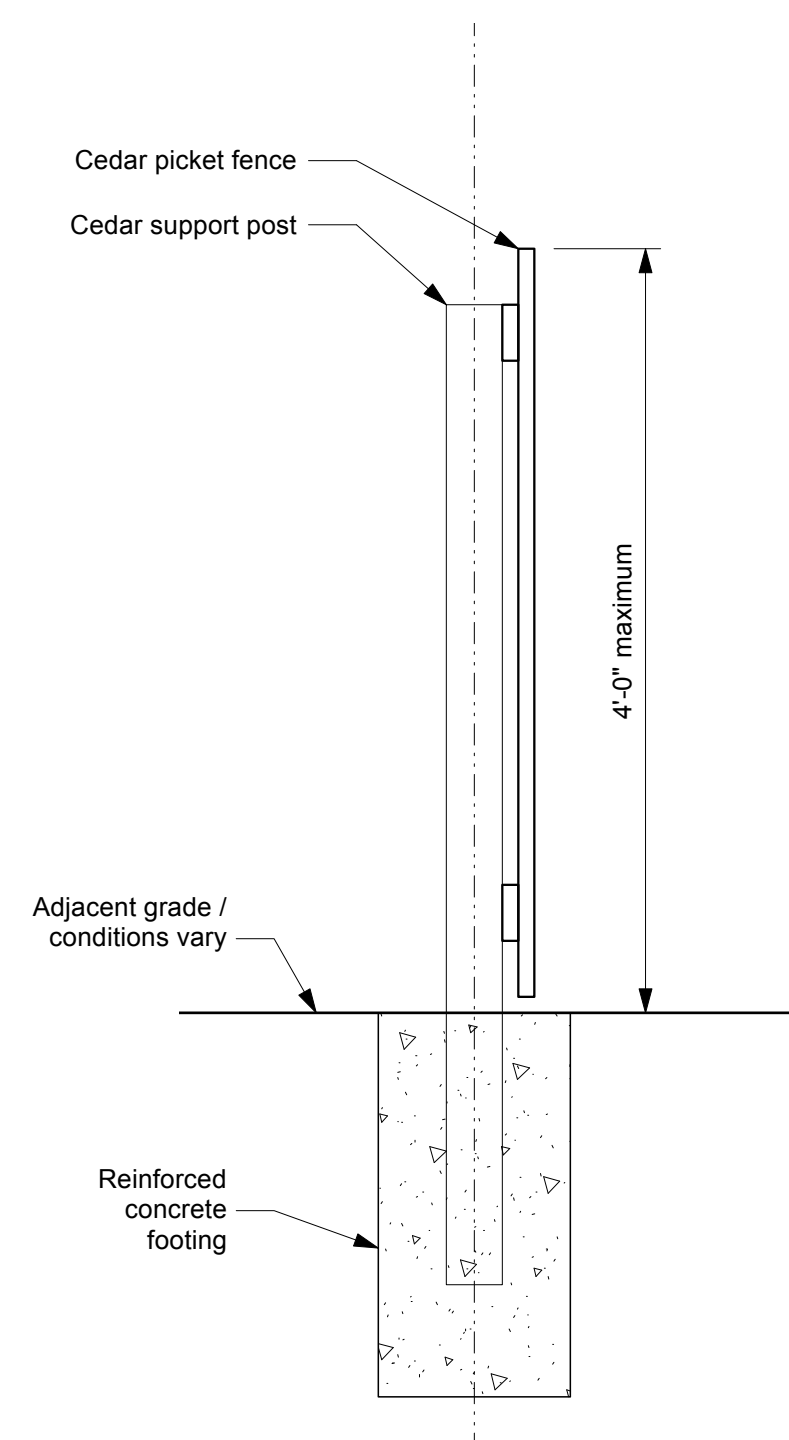
Typical Stucco Wall Wood Gate

2 Stucco Wall Elevation
DSK-02 Scale: 1" = 1'-0"

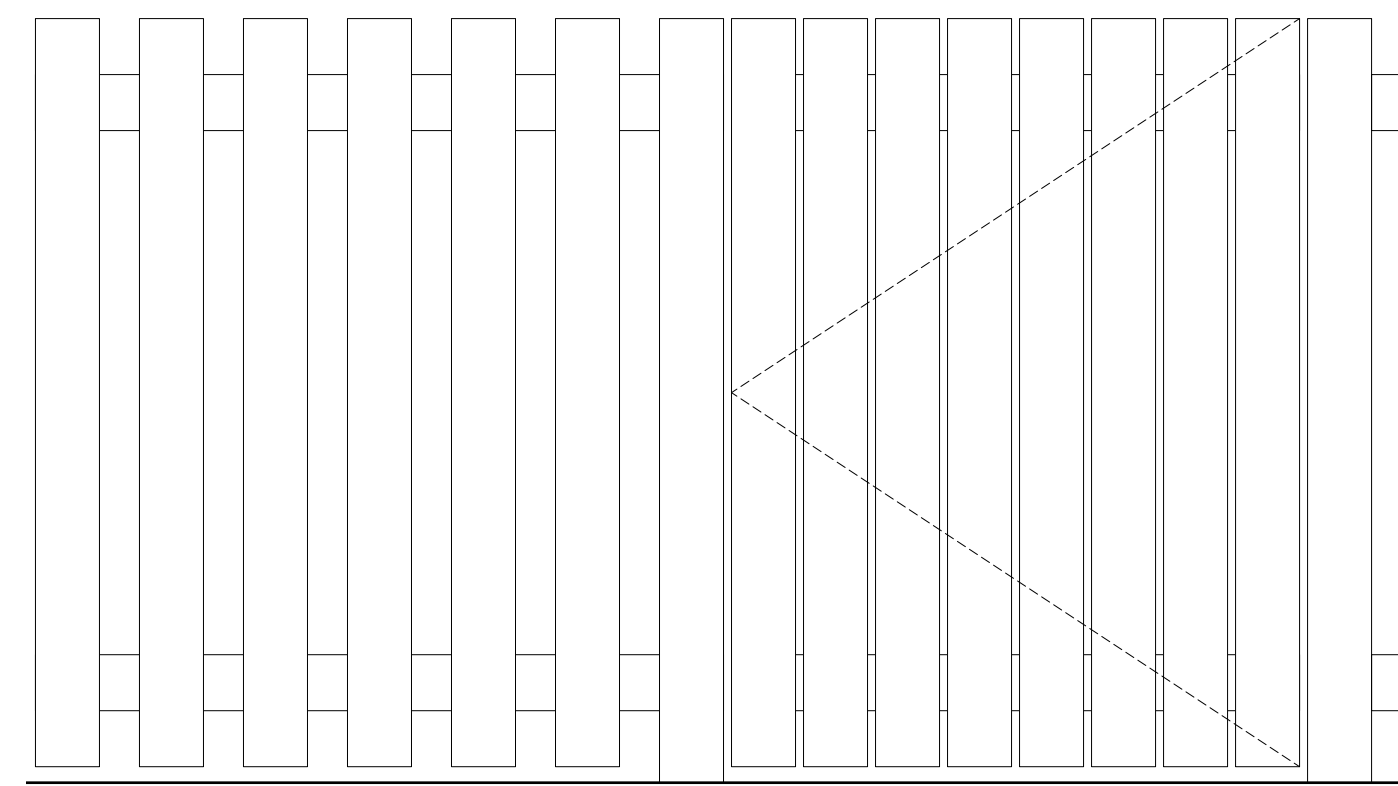


Historic Precedent Image
Project site circa 1915, view from Scottish Rite
(Palace of the Governors Photo Archive)

WOOD PICKET FENCE



3 Picket Fence Section
DSK-02 Scale: 1" = 1'-0"

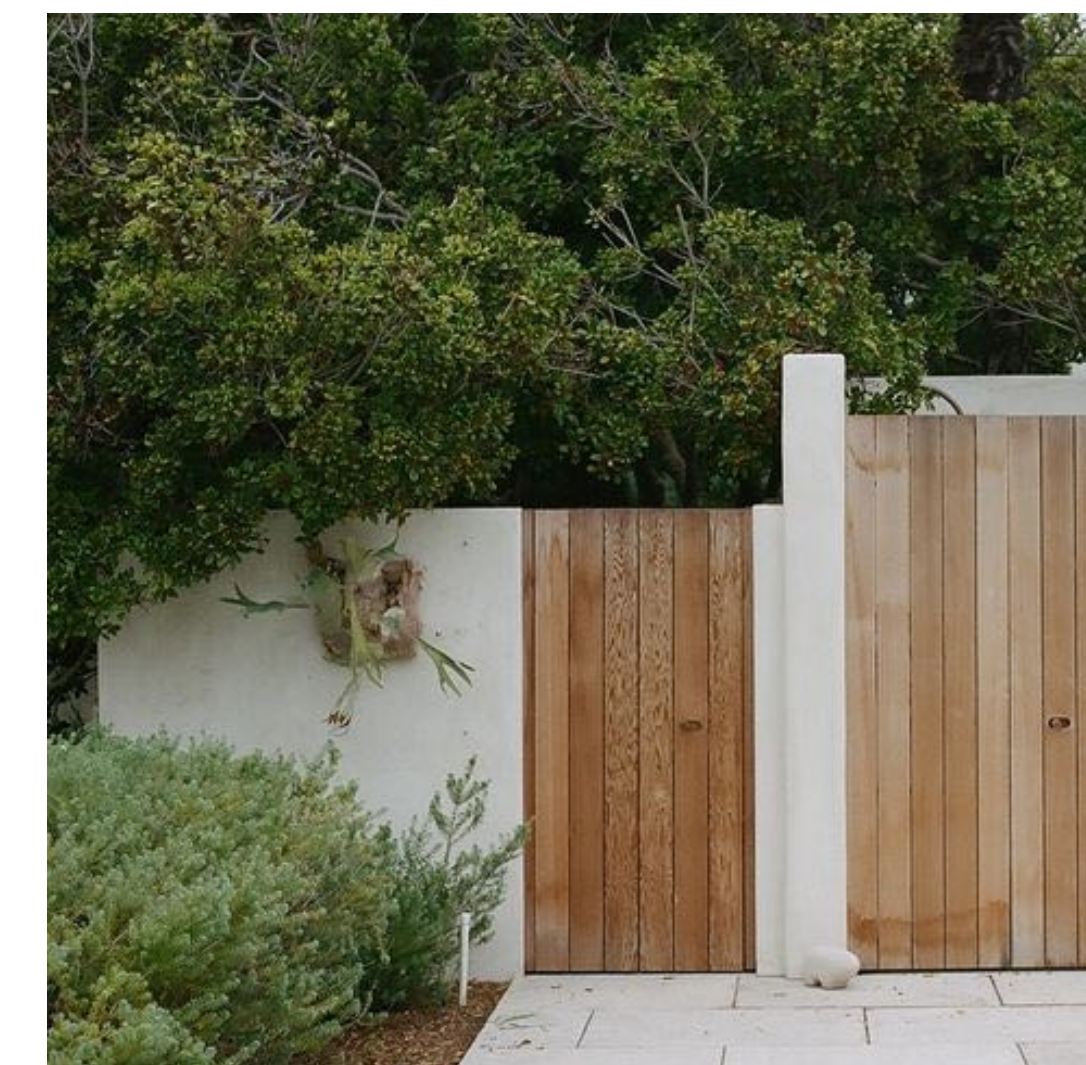


Wood Fence Wood Gate

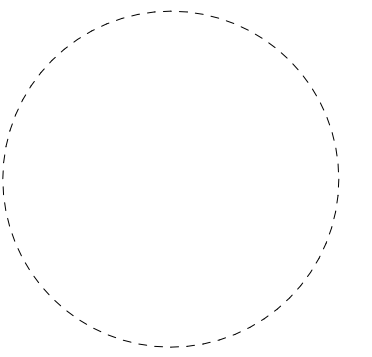
4 Picket Fence Elevation
DSK-02 Scale: 1" = 1'-0"



Wood Fence Reference Image



Wood Gate Reference Image



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Feghali Residence
Historic Renovation
515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date	Plot Date
March 16, 2026	
Drawn by	Checked by
File	
Set	
Historic Design Review	
Sheet Title	

Proposed Site Walls & Fences

DSK-02

Sheet of

RPA & Associates, LLC.

PRESERVING OUR HISTORY

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 P.O. Box 10328 Albuquerque, NM 87184
 505-379-7900
 rpahistoric@gmail.com



TO DNCA Architects
 924-A Shoofly Street
 Santa Fe, NM 87505
 rebecca@dncaarchitect.com

JOB	DATE
515 Paseo de Peralta, Santa Fe, NM 87501	01/19/2026

LOCATION	DESCRIPTION
<u>EAST</u>	
A	32" x 73" (+/-) DOUBLE HUNG 2W1H/2W1H - 1 1/8" TDL BAR (ARCH TOP CASING)
B	27 1/2" x 34" (+/-) HOPPER 2W1H - 7/8" TDL BAR
C	32" x 73" (+/-) DOUBLE HUNG 2W1H/2W1H - 1 1/8" TDL BAR (ARCH TOP CASING)
<u>SOUTH</u>	
D	32" x 73" +/- DOUBLE HUNG 2W1H/2W1H - 1 1/8" TDL BAR (ARCH TOP CASING)
DR #1	32 1/2" x 80 1/2" (+/-) LH INSWING 2-ARCH GLASS/2-PANEL DOOR
E	32" x 73" - 2 (+/-) TWIN DOUBLE HUNG 2W1H/2W1H - 1 1/8" TDL BAR (FLAT TOP CASING)
<u>WEST</u>	
F	32" x 73" (+/-) DOUBLE HUNG 2W1H/2W1H - 1 1/8" TDL BAR (ARCH TOP CASING)
<u>SOUTH</u>	
G	32" x 73" (+/-) DOUBLE HUNG 2W1H/2W1H - 1 1/8" TDL BAR (ARCH TOP CASING)
DR #2	28" x 96" (+/-) 28" x 76" DOOR/28" x 20" TRANSOM 2W5H/1-LT STAT
H	32" x 73" (+/-) DOUBLE HUNG 2W1H/2W1H - 1 1/8" TDL BAR (ARCH TOP CASING)
<u>WEST</u>	
I	31" x 49" - 2 (+/-) TWIN DOUBLE HUNG W/5" SPREAD MULL 1/1

In closing, my professional opinion is as follows:

Windows A, B, C, I and J are historic and restorable.

Window K is not historic.

Windows D, E, F, G and H are historic however *NOT* restorable.

Doors #1 and #2 are non-historic.

Door #3 is historic.

N/A #1 through N/A #5 are not applicable and are not documented for restoration in this report.

It would be my recommendation that the replacement windows be in “like and kind”, all wood exterior and interior, true or simulated divided light with insulated glass (such as Kolbe millwork). The exterior finish should be K-Kron factory paint (with a 20 year warranty), to preserve the wood or a primed field painted finish (with a 1 year warranty).

If you have any questions, please contact me at 505-379-7900.

Historic Assessment prepared by: *Ra N. Patterson*

RPA & ASSOCIATES, LLC | WINDOW & DOOR CONDITION AND INTEGRITY CODES

CODE	CONDITION AND INTEGRITY CODES
P = PREMIUM	EXTERIOR FINISHES AND SASH, FRAME, AND CASING MEMBER IN PREMIUM OR VERY GOOD CONDITION.
	PUTTY GLAZE INTACT.
	ONLY COSMECTIC TOUCH-UP, IF NEEDED.
S = SATISFACTORY	EXTERIOR FINISHES FADING AND WORN IN PLACES BUT STILL ADHERED TO THE WINDOW MEMBERS.
	PUTTY GLAZING CRACKING BUT INTACT AND ALL SASHES, FRAMES, AND CASING MEMBER WITH LESS THAN 30% -
	40% DETERIORATION.
F = FAIR	EXTERIOR FINISHES HAVE CRACKED & PEELED. MISSING TO BARE SURFACE.
	PUTTY GLAZING CRACKING AND MISSING IN 30% - 40% OF THE SASHES. ALL SASHES, FRAMES, AND CASINGS HAVE
	SOME MEMBERS 30% - 40% COMPLETELY DETERIORATED.
U = UNSATISFACTORY	EXTERIOR FINISHES HAVE COMPLETELY DETERIORATED.
	PUTTY GLAZING MOSTLY MISSING. ALL SASHES, FRAMES, AND CASING MEMBERS HAVE MORE THAN 30% - 40%
	DETERIORATION, BEYOND REPAIR.

NOTES:

RPA & ASSOCIATES, LLC | 515 Paseo de Peralta, Santa Fe, NM 87501

LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & INTEGRITY CODE	HISTORIC/NON-HISTORIC - AGE
A	32" x 73" (+/-) DOUBLE HUNG 2W1H/2W1H 1 1/8" TDL EXTERIOR ARCH TOP CASING	F	HISTORIC
B	27 1/2" x 34" (+/-) HOPPER 7/8" TDL	F	HISTORIC - DIFFERENT ERA THAN THE DOUBLE HUNG, SMALLER DIVIDED LITE BAR WITH NO EXTERIOR SILL
C	32" x 73" (+/-) DOUBLE HUNG 2W1H/2W1H 1 1/8" TDL EXTERIOR ARCH TOP CASING	F	HISTORIC
D	32" x 73" - 2 (+/-) TWIN DOUBLE HUNG 2W1H/2W1H 1 1/8" TDL EXTERIOR ARCH TOP CASING	U	HISTORIC - NON-RESTORABLE SILLS, THEY COMPLETELY ROTTED SHOWING DETERIORATION & DAMAGE TO THE WALL. THE PROCESS OF REMOVING THE WINDOW WILL COMPLETELY DESTROY THE UNIT BECAUSE THE WINDOW JAMB/FRAME IS THE BUCK/SUPPORT TO THE OPENING
DR #1	32 1/2" x 80 1/2" (+/-) LH INSWING 2-ARCH GLASS/2-PANEL DOOR	S	NON-HISTORIC - NON-PUTTY GLAZED, MACHINED BEAD WITH SHAPER, AIR NAILED WOOD GLAZING BEAD SIMPSON DOOR (1992)
E	32" x 73" - 2 (+/-) TWIN DOUBLE HUNG 2W1H/2W1H 1 1/8" TDL EXTERIOR FLAT TOP CASING	U	HISTORIC - SILLS COMPLETELY MISSING, THEY COMPLETELY ROTTED SHOWING DETERIORATION & DAMAGE TO THE WALL. THE PROCESS OF REMOVING THE WINDOW WILL COMPLETELY DESTROY THE UNIT BECAUSE THE WINDOW JAMB/FRAME IS THE BUCK/SUPPORT TO THE OPENING

NOTES:

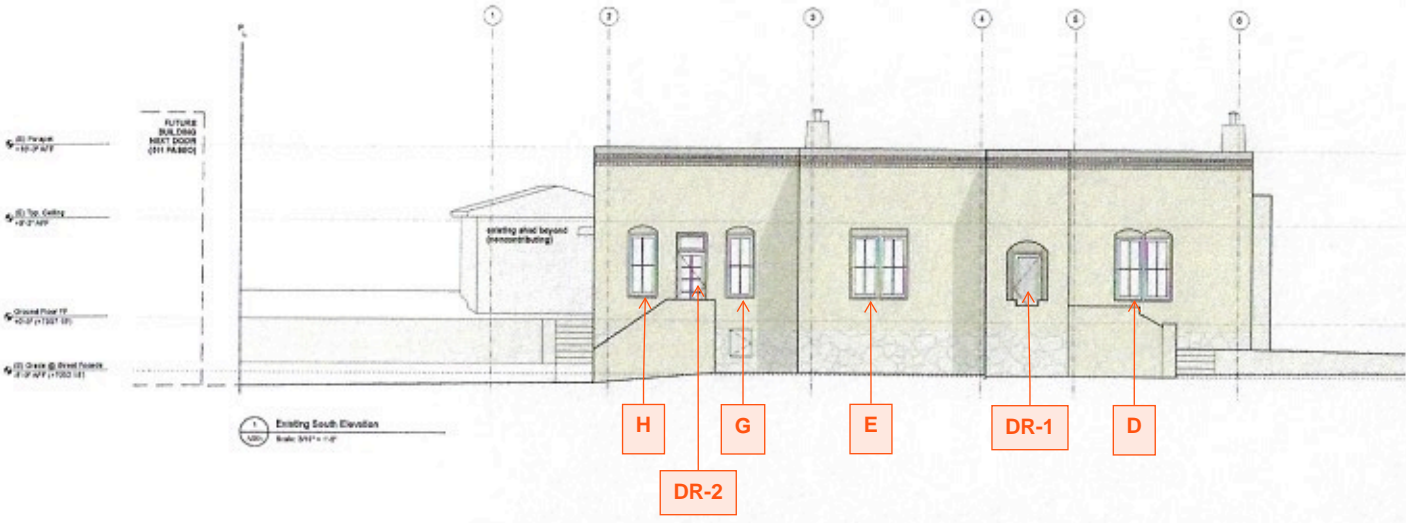
LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & INTEGRITY CODE	HISTORIC/NON-HISTORIC - AGE
F	32" x 73" (+/-) DOUBLE HUNG 2W1H/2W1H 1 1/8" TDL W/ARCH TOP EXTERIOR CASING	U	HISTORIC - NON-RESTORABLE SILLS, THEY COMPLETELY ROTTED SHOWING DETERIORATION & DAMAGE TO THE WALL. THE PROCESS OF REMOVING THE WINDOW WILL COMPLETELY DESTROY THE UNIT BECAUSE THE WINDOW JAMB/FRAME IS THE BUCK/SUPPORT TO THE OPENING
G	32" x 73" (+/-) DOUBLE HUNG 2W1H/2W1H 1 1/8" TDL W/ARCH TOP EXTERIOR CASING	U	HISTORIC - NON-RESTORABLE SILLS, THEY COMPLETELY ROTTED SHOWING DETERIORATION & DAMAGE TO THE WALL. THE PROCESS OF REMOVING THE WINDOW WILL COMPLETELY DESTROY THE UNIT BECAUSE THE WINDOW JAMB/FRAME IS THE BUCK/SUPPORT TO THE OPENING
H	32" x 73" (+/-) DOUBLE HUNG 2W1H/2W1H 1 1/8" TDL W/ARCH TOP EXTERIOR CASING	U	HISTORIC - NON-RESTORABLE SILLS, THEY COMPLETELY ROTTED SHOWING DETERIORATION & DAMAGE TO THE WALL. THE PROCESS OF REMOVING THE WINDOW WILL COMPLETELY DESTROY THE UNIT BECAUSE THE WINDOW JAMB/FRAME IS THE BUCK/SUPPORT TO THE OPENING
I	31" x 49" - 2 (+/-) TWIN DOUBLE HUNG 2W1H/2W1H 1 1/8" TDL W/EXTERIOR ARCH TOP CASING	F	HISTORIC - NOT THE SAME ERA AS WINDOWS A, C & D

NOTES:

RPA & ASSOCIATES, LLC | 515 Paseo de Peralta, Santa Fe, NM 87501

LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & INTEGRITY CODE	HISTORIC/NON-HISTORIC - AGE
	N/A #1, N/A #2, N/A #3, N/A #4 & N/A #5 - NOT APPLICABLE		
DR #3	29" x 78" (+/-) LH INSWING 4-LT 2W2H /2-PANEL DOOR WITH 20" (+/-) TRANSOM 2W1H ALL WOOD	F	HISTORIC
J	32" x 73" (+/-) DOUBLE HUNG 2W1H/2W1H ARCH TOP CASINGS	F	HISTORIC NON-HISTORIC - EXTERIOR CASINGS REPLACED IN THE 1990's
K	32" x 54" (+/-) FIXED/HOPPER 1-LT 2W1H BOTH OBSCURE GLAZING ALL WOOD	F	NON-HISTORIC - THE OPENING ONLY HAS A TOP SASH OF THE DOUBLE HUNG FASTENED TO THE FRAME AND STOPPED IN A PIECE OF GLASS FOR TRANSOM THE WINDOW OPENING WAS ORIGINALLY A DOUBLE HUNG (32" x 73") HOWEVER THE OPENING WAS FILLED IN TO MAKE A SHORTER BATHROOM WINDOW (SEE ATTACHED PHOTO)

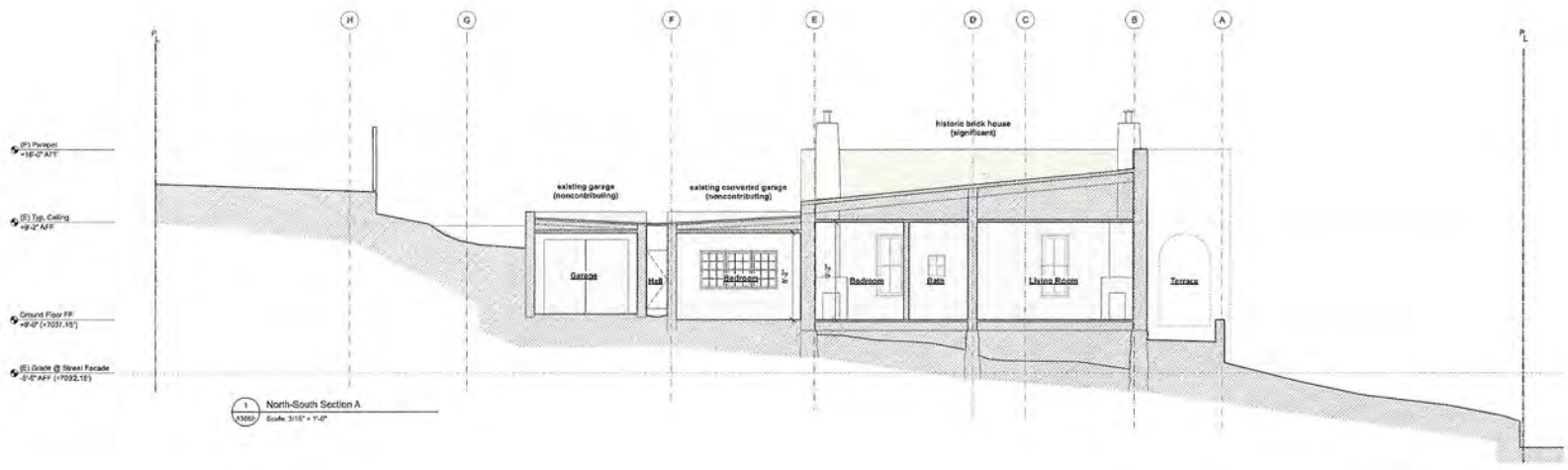
NOTES:



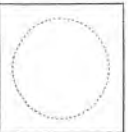
dnca architects
 824 S. Shafter Street, Santa Fe, NM 87505
 PH: (505) 255-4023

Feghali Residence
 Historic Renovation
 515 Paseo de Perilla, Santa Fe, NM 87505

DR	10
DATE	October 04, 2025
BY	115 Feghali_A200 Rev. Section
FOR	Submittal Design
PROJECT	South Building Elevations
SCALE	A200h



1 North-South Section A
Scale: 3/16" = 1'-0"



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3115 Peralta, Santa Fe, NM 87505
315.502.2544 / 315.502.2545

Feghali Residence
Historic Renovation
515 Paseo de Peralta, Santa Fe, NM 87505

Date:	Issue:
Date:	Issue:
Date:	Issue:
Date:	Issue:
Date:	Issue:

115 Peralta_A300 Elev Section A
Echomali Design
North-South Building Section A
A300h

515 Paseo De
Peralta
South
Elevation



East Elevation
Window
A



East Elevation
Window
B



East
Elevation
Window
C



South Elevation
Window
D

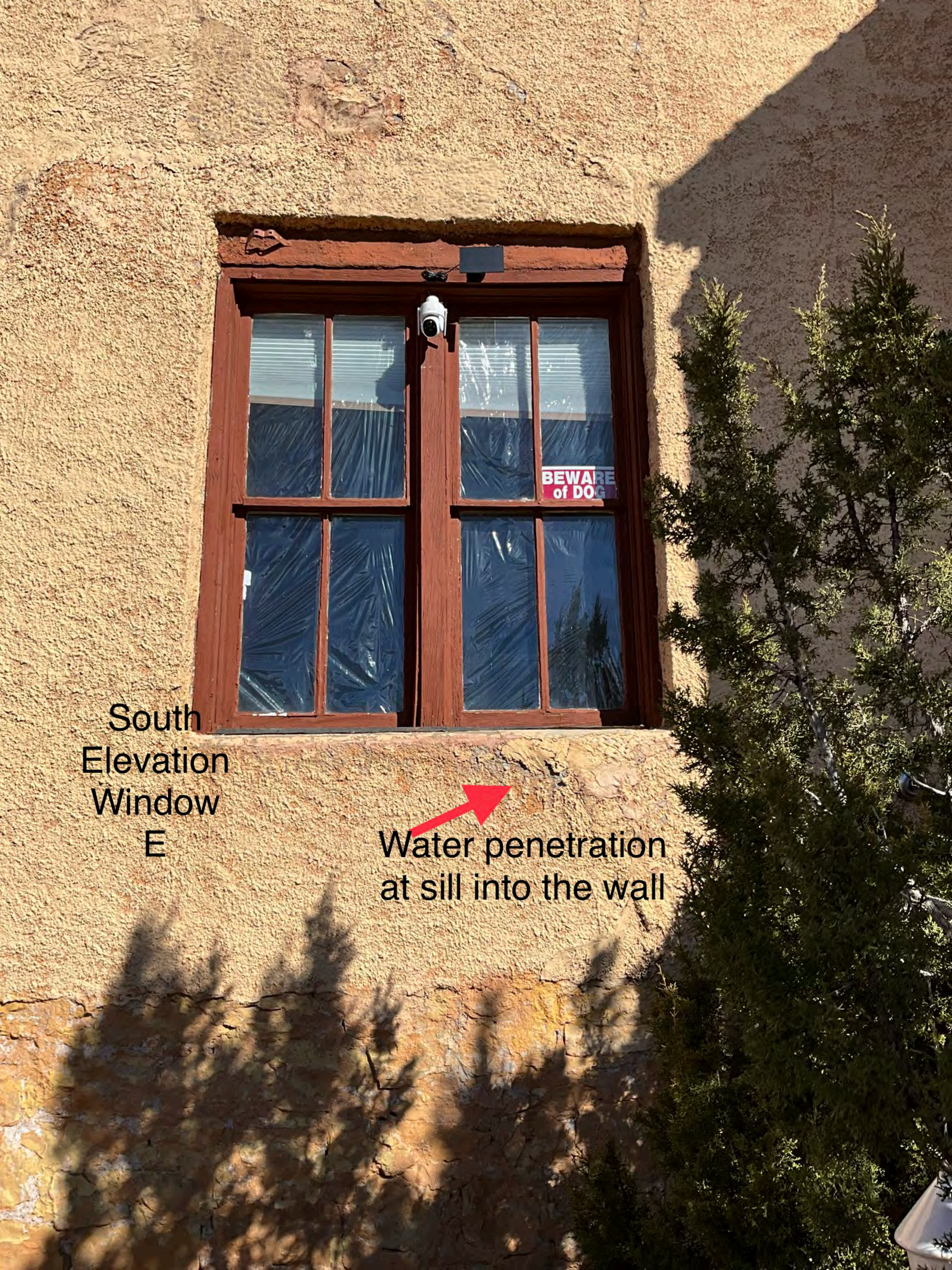


Wall
damage
from rotted
sills allowing
water to leak
into the



2
3

South
Elevation
Door
#1



South
Elevation
Window
E

 Water penetration
at sill into the wall

BEWARE
of DOG

West Elevation
Window
F



Water penetration
at sill into the wall
because of sill rot

South Elevation
Window
G

Water
penetration at
the sill
causing wall
damage



South
Elevation
Door
#2





Water
Penetration
In the wall from
the rotted sill

South Elevation
Window H



Typical galvanized
metal covering
rotted sills
trapping the
moisture in.

Typical wall deterioration
from the rotted sill moisture

West Elevation
Windows

|



West Elevation
Door #3



North Elevation
Window
J



North
Elevation
Window
K



East
Elevation
N/A #3





East
Elevation
Window
N/A #1

West Elevation
Window
N/A #2



West Elevation
N/A #4



North
Elevation
N/A #5



515 Paseo De
Peralta
East Elevation



515 Paseo De
Peralta
West
Elevation

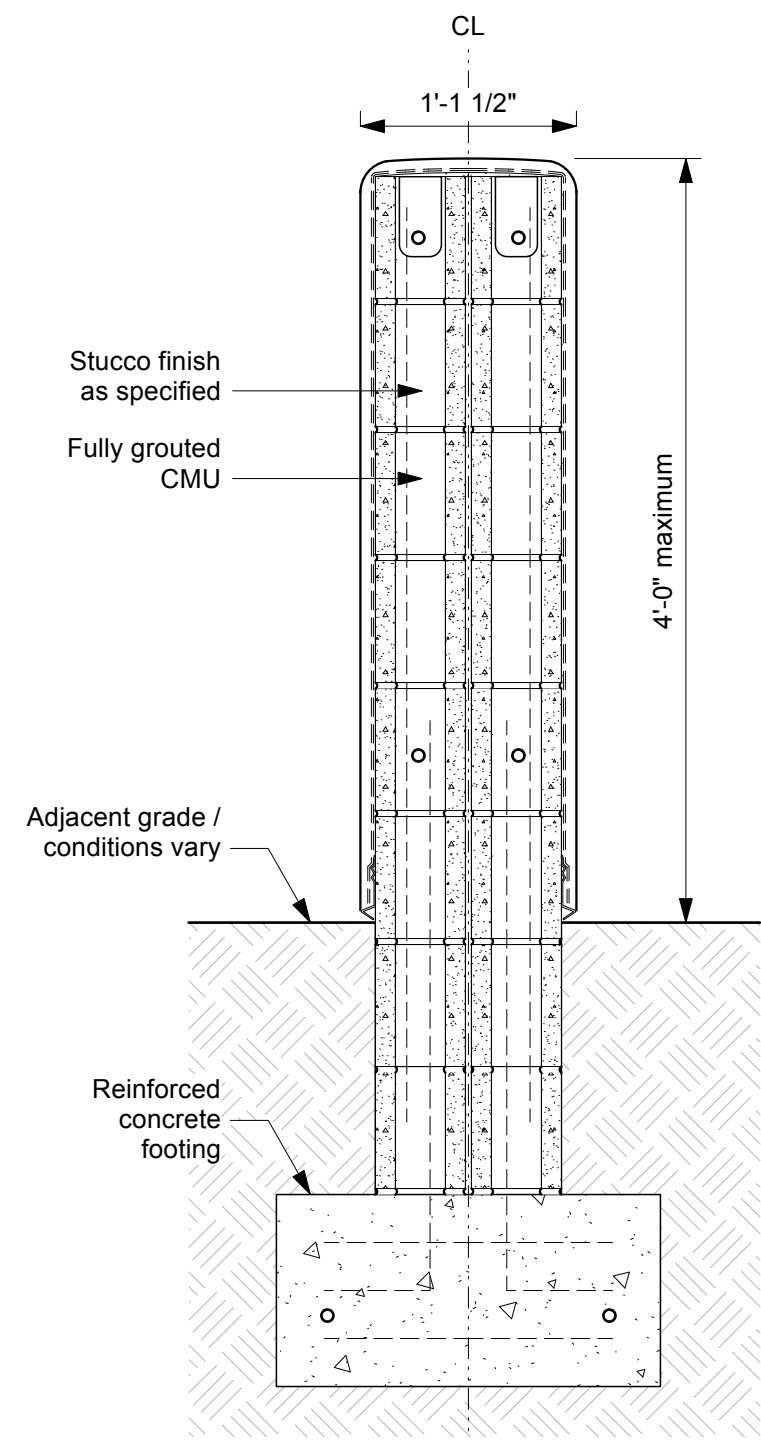


515 Paseo De
Peralta
North Elevation

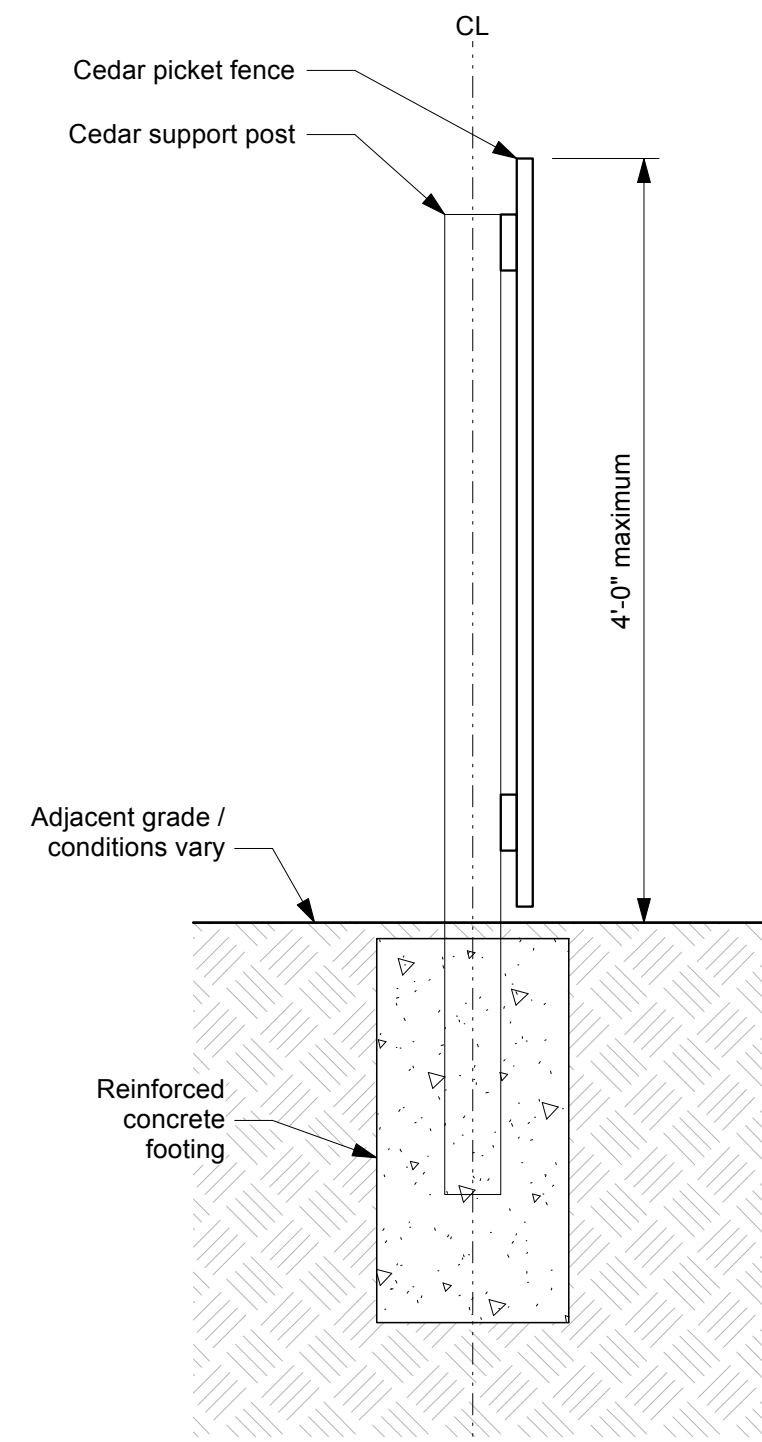


515 Paseo De
Peralta
North-East
Elevation

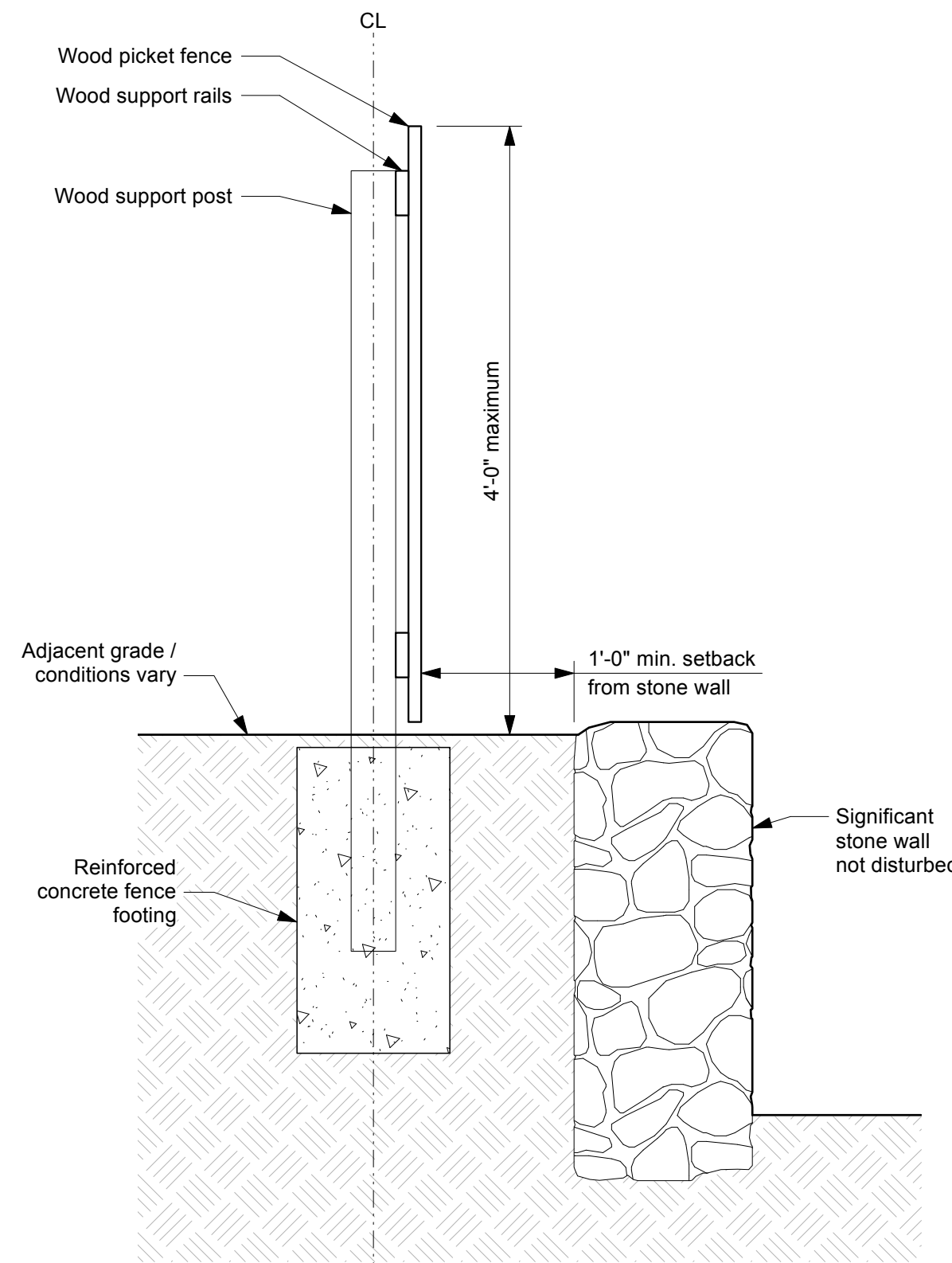




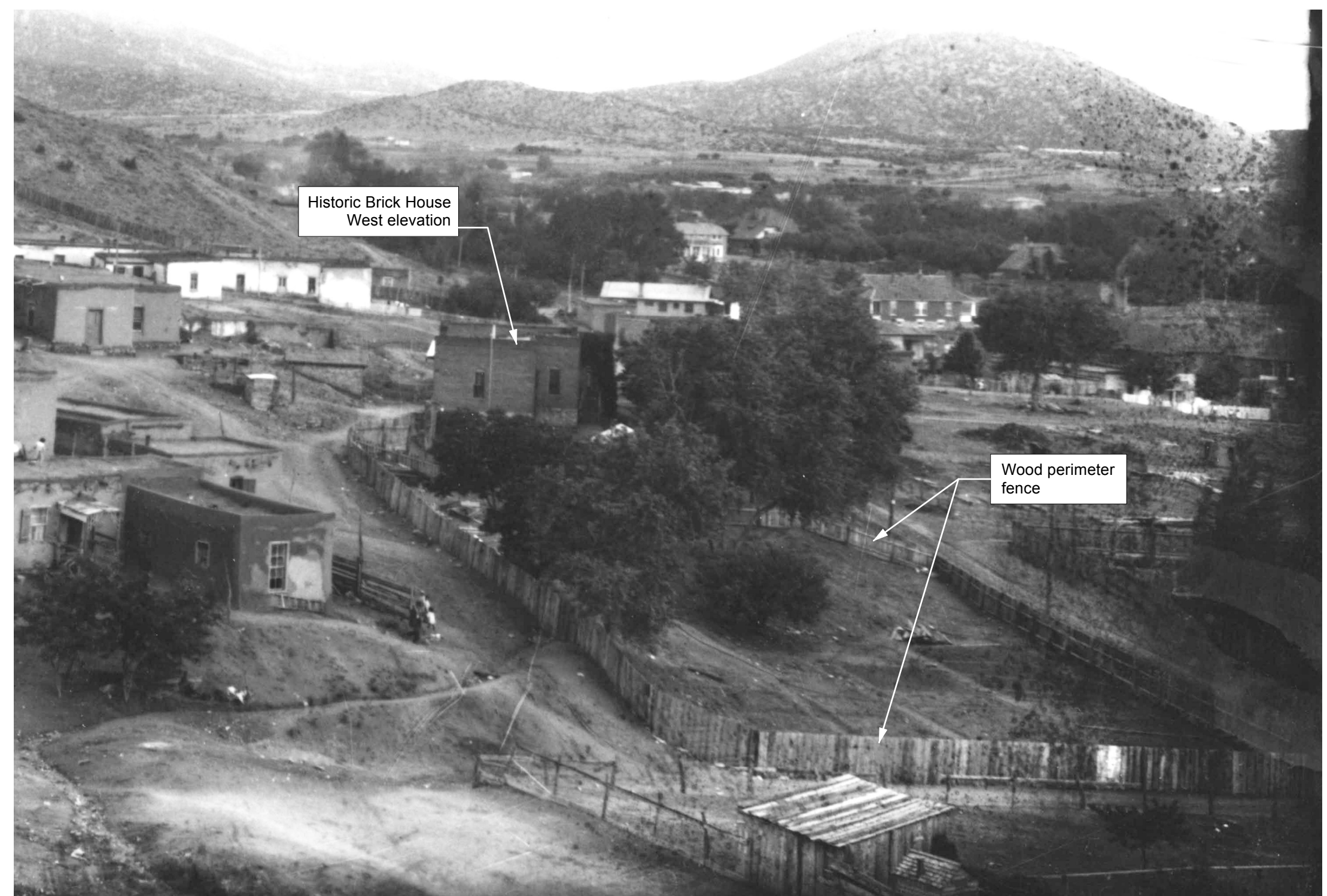
1 Stucco Wall Section
Scale: 1" = 1'-0"



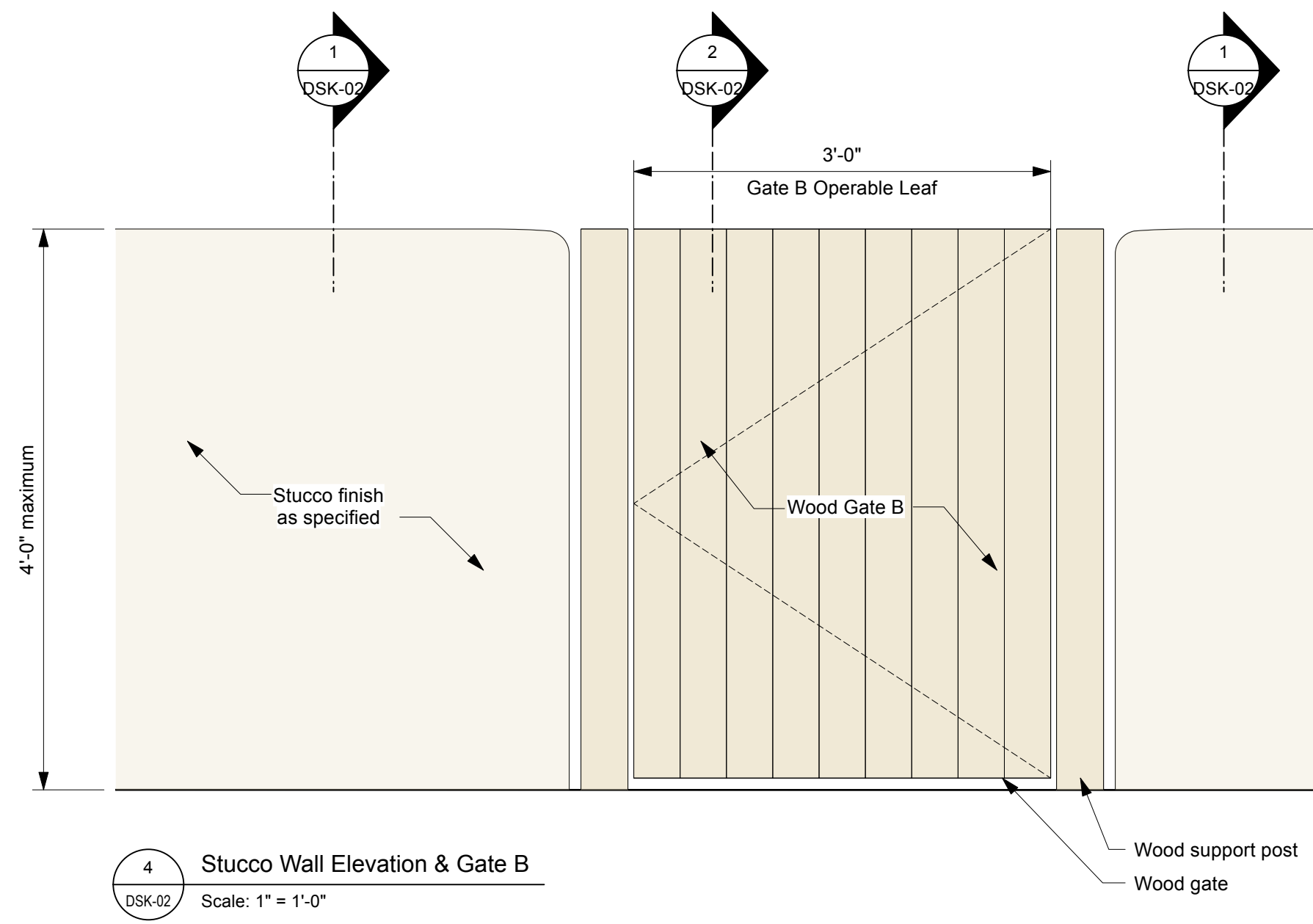
2 Picket Fence Section
Scale: 1" = 1'-0"



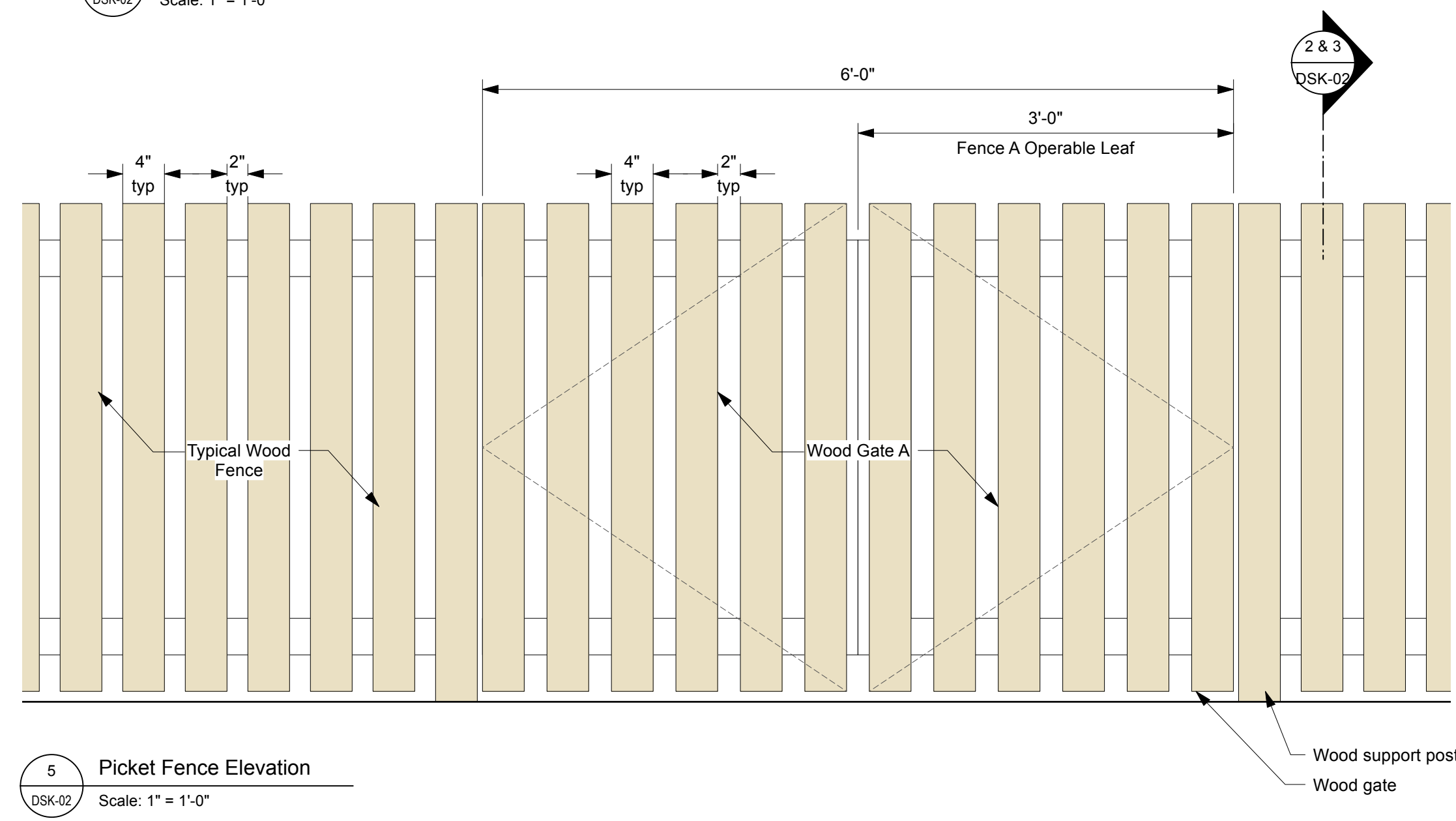
3 Picket Fence Section @ Stone Wall
Scale: 1" = 1'-0"



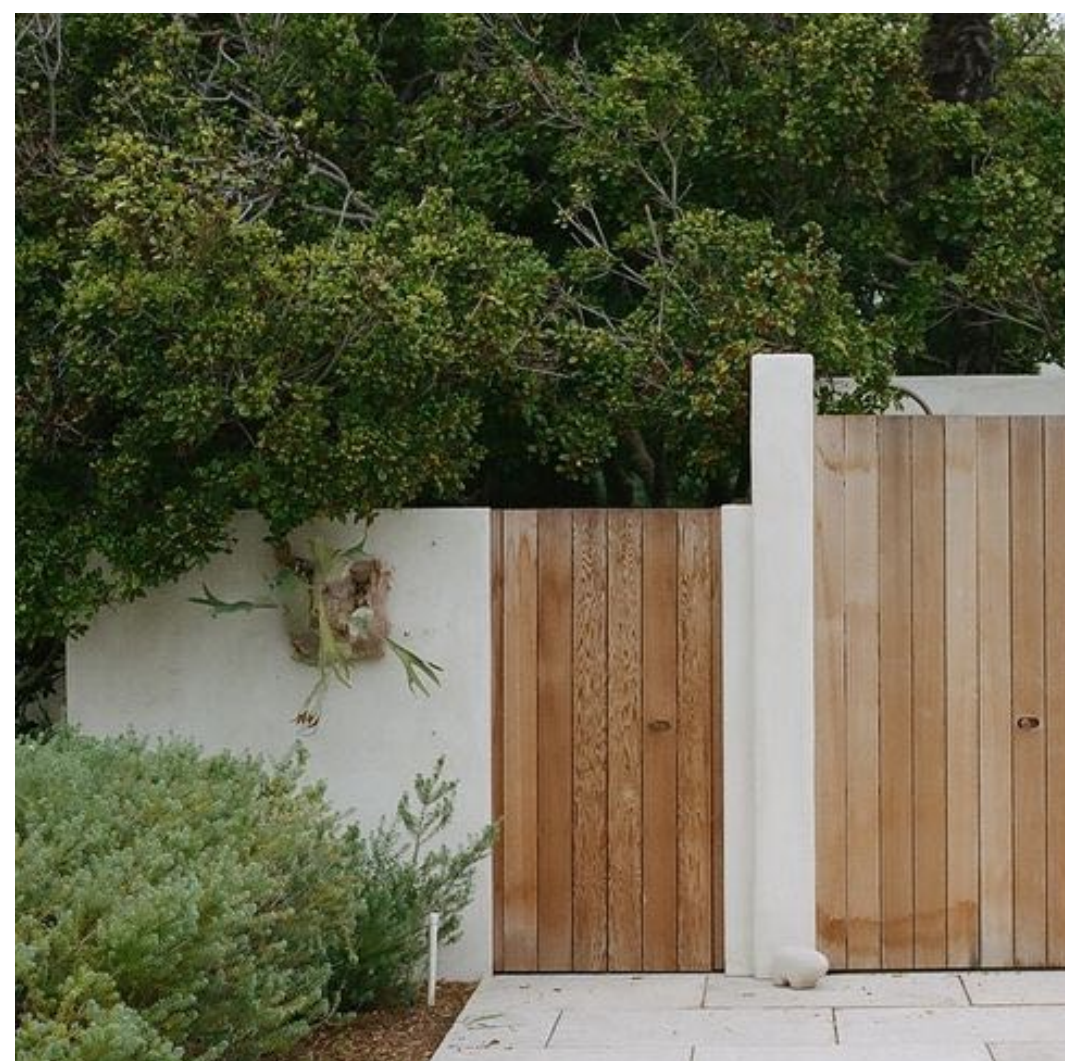
Historic Precedent Image
Project site circa 1915, view from Scottish Rite
(Palace of the Governors Photo Archive)



4 Stucco Wall Elevation & Gate B
Scale: 1" = 1'-0"



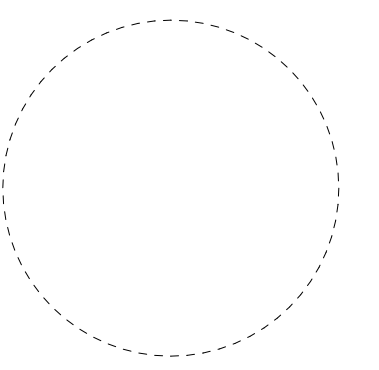
5 Picket Fence Elevation
Scale: 1" = 1'-0"



Wood Gate B Reference Image



Wood Fence & Gate A Reference Image



Consultant

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**Feghali Residence
Historic Renovation**
515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date
Drawn by	Checked by
File	
Set Historic Design Review	
Sheet Title Proposed Site Walls & Fences	
DSK-02	
Sheet	of



Luchini Trujillo Structural Engineers, Inc.

May 20, 2025

DNCA Architects
c/o Rebecca Wood
924-A Shoofly Street
Santa Fe, NM 87505

Re: Residence @ 515 Paseo Del Peralta, Santa Fe, New Mexico 87505

Dear Rebecca,

This letter is to acknowledge that I conducted a site visit on April 16, 2025. The purpose of the site visit was to observe the existing condition of the residence and provide an overall opinion regarding its structural integrity. The attached floor plan has been provided by DNCA Architects and is used to identify locations of structural damage herein. The floor plan includes identification of floor framing information and observed structural deficiencies/concerns throughout the property.





Analysis and Recommendations

Overall, the main residence is in good condition with a few noted structural deficiencies outlined herein that will need to be corrected.

- The southwest corner of the residence exhibited a large crack propagating from the exterior facade to the interior plaster finish. Upon further investigation it was noted that water intrusion had occurred and compromised the masonry and mortar joints in this area. The damaged portion of the wall should be reconstructed with standard masonry techniques to reestablish structural integrity.
- Wood timber posts were installed in an apparent attempt to control floor joist deflections and correct floor framing alterations. The timber supports are at random locations throughout the residence. This condition will need to be corrected with a new wood post and wood beam system with concrete spot footings at the new posts.
- Floor joists that have been cut to accommodate out of service floor heaters were noted to occur in two locations in the main structure. The alterations should be corrected with adequately sized floor joist girders and headers.
- Tunneling through stone masonry stem walls to accommodate HVAC & plumbing chases were noted to occur in numerous locations throughout the main residence. This alteration will need to be corrected as it has caused localized failures of the wood bearing plates for the floor system.

The auxiliary structure's structural deficiencies outlined herein make the structures impossible to meet code compliance.

- The shed walls are dependent on unreinforced adobe and random masonry walls. The transition from adobe & masonry walls to concrete stem wall/footing was not observed. The northwest and northeast walls are retaining anywhere from 1 to 6 feet of soil. Moisture intrusion has caused some debonding of the adobe blocks and deterioration of the block itself. This condition can cause a potential hazard and is susceptible to movement and overturning during extreme loading conditions. The unreinforced wall cannot properly resist lateral earth pressures and cannot sufficiently transfer loading.
- The garage walls are dependent on an assortment of unreinforced brick, stone and clay-block (pentile) masonry walls. The northwest and northeast walls are retaining up to 6 feet of soil. A waterproofing and drainage system was not observed and could lead to hydrostatic pressure building up behind the retaining portion. Moisture intrusion has caused some debonding of the masonry and deterioration of the wall itself. This condition can potentially cause a hazard and could be susceptible to collapse under extreme loading scenarios. The unreinforced wall cannot properly resist lateral earth pressures and cannot sufficiently transfer loading.



- The far north-east unreinforced stone masonry retaining site wall is dependent on an assortment of various sized stones with mortar joints. The northeast wall is integrated into the existing garage wall and is retaining up to 5 feet of soil. A waterproofing and drainage system was not observed and could lead to hydrostatic pressure building up behind the retaining wall. This condition can potentially cause rotational movement and sliding under typical loading scenarios. The unreinforced wall cannot properly resist lateral earth pressures and cannot sufficiently retain the earth behind the wall.

Code Analysis

This structure is under the jurisdiction of the City of Santa Fe Land Use Department. Currently the department utilizes the 2021 New Mexico Administrative Building Code. A review of the 2021 International Residential Building Code (IRC, as amended) and the 2021 International Existing Building Code (IEBC, as amended) was completed.

In the IRC, Section J501.4 outlines requirements that that structural elements found to be unsound or dangerous be made to comply with the applicable requirements of the code. New installations shall not create a dangerous condition. Replacement of all the roof and floor framing would define the work as an 'extensive alteration', in accordance to Section AJ501.3. The alteration would then have to meet the reconstruction requirements of the code.

In the IEBC, Chapter 5 of the code indicates that replacing walls and roof framing would be considered a 'substantial structural alteration' because the total affected area constitutes more than 30% of the total floor and roof areas of the building. In this level of alteration, Section 907.4.2 would require that the lateral load-resisting system comply with the 2021 International Building Code (IBC) requirements (though some reductions to horizontal forces are allowed in this alteration section).

Feasibility of Executing Code Requirements

Correcting the structural deficiencies in the main residence will not trigger the major alteration requirements outlined by the IEBC. Localized repairs can be made to the isolated deficiencies of the main residence to reestablish structural integrity.

Based on the deterioration of the rubble masonry and adobe retaining walls in the garage and shed respectively, the ability to correct the structural issues with the structures retaining walls would not be possible. The existing walls are unreinforced adobe, & stone/rubble masonry: these types of walls are not permitted for retaining conditions.

Summary and Conclusion

It is my opinion that an effort to restore or repair the shed and garage auxiliary structures is not feasible. Replacement of all retaining and vertical load bearing walls, and the installation of a foundation system would require so much removal of the existing structure that the undertaking can no longer be considered a restoration, but a replacement. That is, no portions of the existing shed and existing garage structure can remain in place if this building is to meet building code requirements.



The conclusions and opinions stated are based on our understanding of the facts and evidence stated herein. No warranties, expressed or implied, are intended to be made. Should additional facts or evidence become available pertaining to this project, we reserve the right to review that information and revise opinions when appropriate. Recommendations provided herein are conceptual in scope and are for use in planning and estimating costs only. The services of a licensed professional experienced in this industry should be acquired to engineer and design the exact structural requirements. Other methods for these repairs may also be available and appropriate.

Please note that Luchini Trujillo Structural Engineers, Inc. has provided structural consultation for only those items described in this letter and assumes no responsibility for the structural adequacy of any other members or systems in this project.

Please contact me if you have any questions or require additional information.

Sincerely,

Jeremy J. Starr, P.E.

Reviewed by,

Eric D. Trujillo, P.E.





#1 RUBBLE RETAINING WALL, WATERPROOFING NOT PRESENT AND DETERIORATION PRESENTS ON EXTERIOR & INTERIOR FACES.



#2 A PORTION OF THE SHED WALLS ARE CONSTRUCTED WITH ABODE. SIGNIFICANT DETERIORATION OF THE ADOBE BLOCK FROM MOISTURE INTRUSION WAS OBSERVED



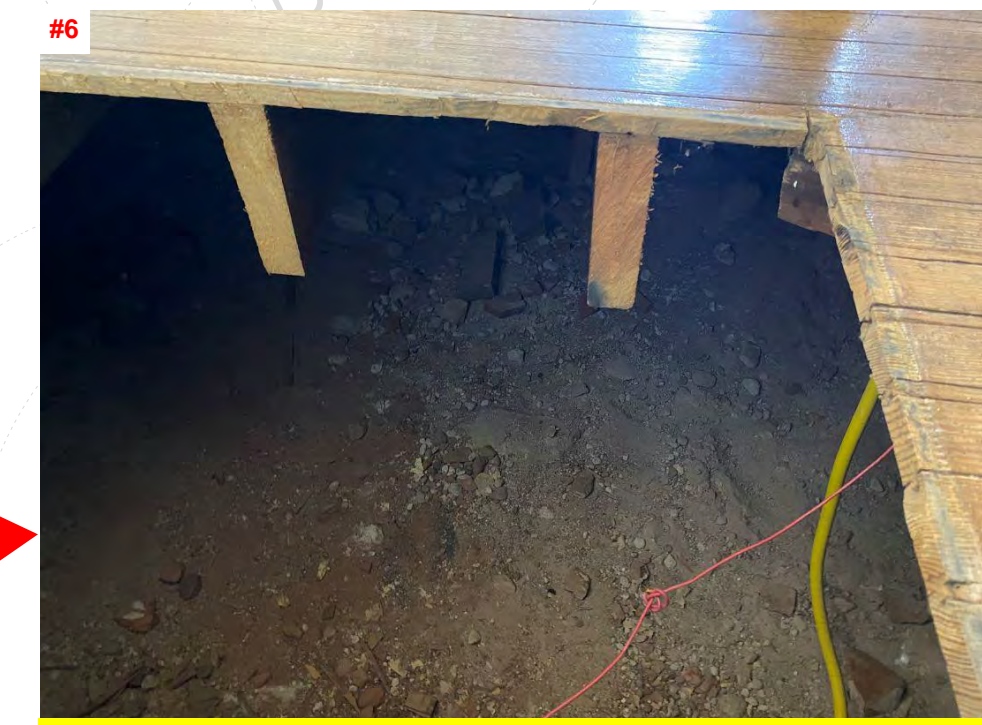
#3 RUBBLE RETAINING WALL, WATERPROOFING NOT PRESENT AND DETERIORATION PRESENTS ON EXTERIOR. THE WALL IS ALSO CONSTRUCTED WITH NON-STANDARD MASONRY MATERIAL AND PRACTICES



#4 MORTAR JOINTS ON RUBBLE MASONRY WALL HAVE DE-BONDED AND HAVE COMPROMISED THE WALLS STRUCTURAL INTEGRITY.



#5 PLUMBING AND HVAC ACCESS HOLES HAVE BEEN TUNNELED THROUGH THE STONE RUBBLE STEM WALL



#6 2x8 FLOOR JOISTS CUT AT OUT-OF-SERVICE GAS FLOOR HEATERS



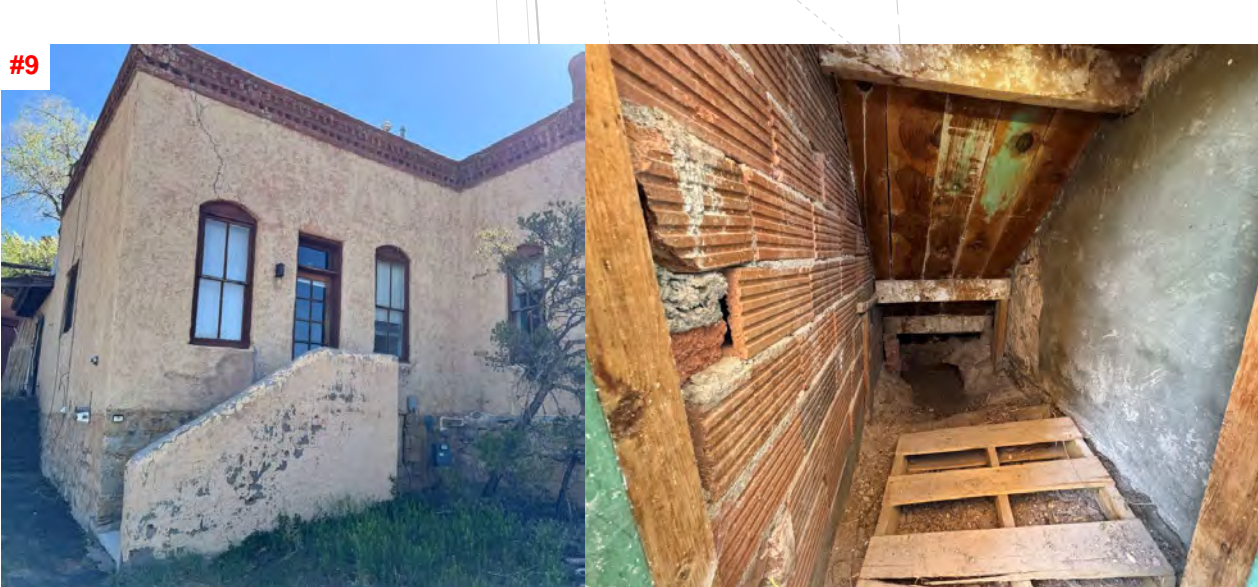
#7 POST-INSTALLED WOOD BEAM AND WOOD POSTS FOUNDED ON SOIL OR TIMBER PLANKS INSTALLED THROUGHOUT FOOTPRINT OF ORIGINAL STRUCTURE



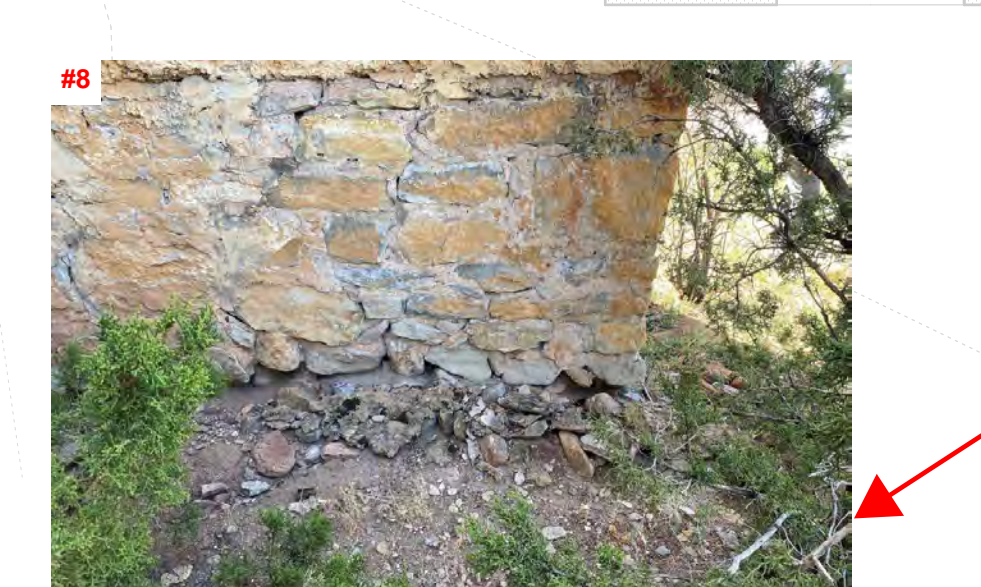
#11 CRACK EXTENDS THROUGH ENTIRE WALL SECTION, MASONRY COURSES HAVE DE-BONDED AND THE STRUCTURAL INTEGRITY OF THE WALL HAS BEEN COMPROMISED



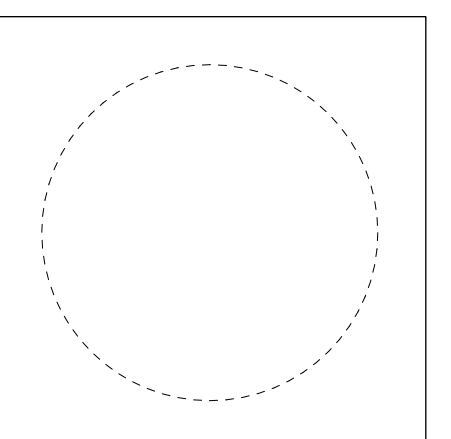
#10 CRACK EXTENDS THROUGH ENTIRE WALL SECTION, MASONRY COURSES HAVE DE-BONDED AND THE STRUCTURAL INTEGRITY OF THE WALL HAS BEEN COMPROMISED



#9 PEN-TILE STAIR WALL AND WATER DAMAGE TO WOOD STAIR FRAMING, FUNGAL DECAY OF WOOD HAS BEGUN AND HAS COMPROMISED THE STRUCTURAL SECTION



#8 DAMAGE TO RUBBLE FOUNDATION STEM WALL



Date	Issue
MAY, 6th 2025	

Date	Plot Date
MAY, 6th 2025	

File: 515 PdPeralta_A100 Plans 250331.vwx
Set: Schematic Design Set
Sheet Title: EXISTING FLOOR PLAN w/ STRUCTURAL DEFICIENCIES

S001

Sheet of

City of Santa Fe, New Mexico

memo

Historic Inspection Report

DATE: 10/20/2025

TO: Gary Moquino,
Division Manager
Historic Preservation

FROM: Bobby Padilla, *B.P.*
Building Official, Division Manger
Inspections

ITEM & ISSUE

515 Paseo De Peralta, Santa Fe, NM 87501

BACKGROUND & SUMMARY

An inspection was completed on October 16th, 2025, at the above-mentioned address. Inspection of detached shed, detached garage, bedroom addition and retaining walls.

Detached shed is constructed of masonry bricks and adobe; the back retaining wall is unreinforced masonry the side walls are adobe and roof framing members are wood rafters. Some signs of deterioration of adobe in the lower area where adobe is below exterior grade, no foundation.

Detached garage is constructed of unreinforced masonry; north wall is a retaining wall, no foundation and needs structural analysis by an engineer to verify structure integrity. Bedroom Addition is constructed of masonry, some signs of floor shifting, no crawlspace floor is constructed of wood joist.

The overall condition of the structure is in poor and in disrepair

Should you have any questions pertaining to this matter, please feel free to contact, 955-6503.

Thank you,

MEMORANDUM

RE: 515 Paseo de Peralta

Date: March 16, 2026

TO: Amanda Romero

Historic Senior Planner
Land Use Department
City of Santa Fe

Subject: HDRB Design Review Exception Criteria – 515 Paseo de Peralta

Attachments:

01a – Historic Photos Appendix

Historic Districts and Historic Landmarks

Design Standards Exception Criteria

Section **§14-4.6(D)(2)** states that “The HDRB may review and grant or deny requests for exceptions to all provisions of Section 14-4.6(E), General Design Standards for All Historic Districts (except provisions regarding Height, Pitch, Scale, Massing and Floor Stepbacks).”

The proposed design respectfully requests three exceptions:

Exception 1

An exception is requested to remove and replace the historic material of the exterior stairs at the South facade, per SFCC **§14-4.6 (E)(1)(I)** stating that “The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.” The exception criteria as specified in **§14-4.6(D)(2)(II)** are as follows:

- (i) Do not damage the character of the district
 - *Response:* The proposed removal of the existing exterior entry stairs at the South Facade will not damage the character of the district, as this character will be strengthened by the reconstruction of the stairs’ historic form and relationship to the historic house.
 - The attached photo dated around 1910 (**Exhibit A**) depicts symmetrical stairs approaching the front porch from both East and West, defined on the street side by a sloped wall in a stucco finish matching the house. This front porch was historically the primary public-facing entry to the residence, and it is proposed to remain so. In intervening years, the West side of these stairs was removed and the East stairs to the porch have fallen into disrepair. This proposal requests replacement in kind with new symmetrical stairs leading to the porch, matching the height, finish, and layout of the historic photo. A landing North of these rebuilt stairs will provide structural reinforcement along the compromised historic stone rubble foundation to ensure the continued stability of the 140-year old historic house.
 - The existing pen-tile entry stairs at the West end of the Paseo facade are also proposed to be removed and replaced following their current orientation and of a height, form, and finish matching the porch stairs. The existing stairs were added to the house in the 1950s, and the structural report notes water damage to the wood stair framing and fungal decay to the structure, compromising the safety of the existing material. Like the porch stairs, the reconstruction of the stairs and landing will provide structural reinforcement to the rubble foundation. A connected landing between both sets of stairs and the East facade will extend this reinforcement along the entire compromised foundation. Along with the proposed stairs, it will create a datum reinforcing the existing foundation, and its stucco finish will match the finish seen in the historic photo from about 1910 (**Exhibit A**).

- (ii) Are required to prevent a hardship to the applicant or an injury to the public welfare
- *Response:* The proposed replacement of the entry stairs in kind will preserve the existing and historic access path to the house, while ameliorating the structural damage to the rubble foundation stem wall noted in the structural report. The proposed reconstruction will also provide accessible access to the historic house's main entry, critical to its owners' safe use of this door, while respecting its historic massing. In this way, the exception is required to prevent hardship to the applicant and injury to the public welfare.
- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
- *Response:* In the August 2025 status hearing for the property, the Board noted the significance of the stepped massing and flanking front access stairs to the front porch, with its unique keyhole opening. Granting the exception for the proposed removal and replacement of the entry stairs will simultaneously provide needed structural reinforcement and accessible access to the house, in a form and material that honors the house's historic massing, finish, and patterns of use.

Exception 2

An exception is requested to construct an addition to the the rear North facade of the historic residence. Because the existing house has a Significant status and all facades are considered primary, an exception is required to SFCC **§14-4.6(E)(2)(II)(a)**, stating that “**Building additions are not permitted to primary facades.**” The exception criteria as specified in **§14-4.6(D)(2)(II)** are as follows:

- (i) Do not damage the character of the district
- *Response:* The proposed addition the North facade of the historic house will not damage the character of the district, as the connections to the original structure will be primarily limited to portions of the facade already altered by previous noncontributing additions. The Board approved these additions for demolition in October 2025, and their removal will leave exposed interior walls that will need to be replaced. The primary mass of the proposed addition will be set back 12 feet from the historic house, preserving the legibility of old from new. The proposed design lightly touches the original house at two locations on the east and west ends of the facade.
 - An interior space to the East about 18 feet wide will provide the primary connection between the original house and the addition. It is recessed beneath a roof overhang on both sides, and its entire mass and roofline is set back about four feet from the corner of the original North facade to further preserve the legibility of the original massing and historic brick parapet at the Northeast corner. The proposed interior space extends about one foot past the existing disrupted area and its West overhang extends a further two feet overhead, in order to allow the new construction to continue the line of one of the primary original structural brick walls within the historic house. The existing wall below the roof overhang will be preserved, and no existing historic doors or windows will be compromised or altered in any way. Newly exposed exterior wall will be finished to match the adjacent historic stucco.
 - A new roof structure at the West will create covered outdoor space and is similarly set back about four feet from the historic Northwest corner. This roof measures about eleven feet wide and will only touch the previously disturbed portion of the North facade. Newly exposed exterior wall below and above the roof will be finished to match the adjacent historic stucco. An existing opening through the historic brick wall, currently an interior hallway, will be fitted with an exterior door matching the other historic door centrally located on the North facade. A historic photo from around 1915 shows exterior door (**Exhibit B**), and the design proposes returning to this original function.

- (ii) Are required to prevent a hardship to the applicant or an injury to the public welfare
- *Response:* In the August 2025 status hearing, the Board ruled that the existing additions on the North side of the brick house were noncontributing and that their facades were excluded from any significant status. This exception concerns portions of the house's North facade that are currently *inside* these noncontributing structures and that have already been altered by the previous additions. By only touching the facade at areas that will be exposed by the approved demolitions, the proposed design endeavors to minimize any further disruption. The proposed exception is required to allow a connection to the historic house, necessary to the function of the new space and to prevent hardship to the applicant. Because the proposed addition will not alter any facade visible from the street, it will cause no injury to the public welfare.
- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
- *Response:* Historic residences in this area frequently include additions to expand their function over the years, as evidenced by the existing noncontributing additions to the house in question. The proposed exception will allow this tradition to continue, ensuring continued use and maintenance of the existing house. The proposed design takes direct inspiration from the form of these previous additions by concealing later construction where it is least visible from the public street, while preserving the legibility between old and new that adds richness to the heterogeneous character of the district.

Exception 3

An exception is requested to allow an addition exceeding 50% of the existing footprint and dimension of the primary facade, per SFCC **§14-4.6(E)(2)(II)(c)**, stating that “**Building additions shall not exceed 50 percent of the square footage of the building’s historic footprint and shall not exceed 50 percent of the historic length in linear feet of the primary façade.**” The exception criteria as specified in **§14-4.6(D)(2)(II)** are as follows:

- (i) Do not damage the character of the district
- *Response:* The footprint and facade dimension of the proposed addition will not damage the character of the district, as its mass will be substantially concealed by elevated mass of the existing historic house and by the steep grade of the site.
 - Paseo de Peralta was once known as Hillside Avenue due to the steeply sloped hills it abuts to the North. 515 Paseo de Peralta is no exception, rising 27’ in elevation from the South property line at the street to its North boundary. The existing house is positioned distinctly above and overlooking the street, and though it is only one story in height its parapet rises 30’ above the street grade and its finished floor level is located 14’ above street grade. The proposed design makes use of the existing house’s mass and location on this steeply sloped site to conceal the additional proposed area. The mass of the addition is set back twelve feet from the historic house and its connection points set back, to protect the house’s dominant visibility and to conceal the addition from a vantage point at the street. The mass of the second floor is located directly behind the existing house to further obscure its visibility from the downhill public way. One-story portions of its ground floor matching the height of the historic house and extend about 17’ to the East and 13’ to the West of the existing footprint, continuing the massing pattern of the original brick house stepping back from the front porch and continuing the reading of the territorial parapet. The steep site grade is also used to actively conceal the mass of the addition. The new ground floor of the addition is buried such that the North end of its ground floor is mostly below grade, and its second story is level with the uphill grade to the North. In this way, the proposed new floor area is largely hidden and does not conflict with the scale of buildings in the district. The existing house’s footprint measures 2,886 sf, including existing noncontributing additions to be demolished, and the proposed footprint of the addition will extend this by 1,734 sf to a total proposed footprint of 4,620 sf. The new area of the addition, including a second floor, will total 3,470 sf, adding to the 1,560 sf of area within Significant historic brick house to remain.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

- *Response:* This exception is requested in order to allow the applicant to make fuller use of the R-21 zoned site by expanding the interior space to include a garage, bedrooms, art studios, and a guest suite for visiting family. The current house lacks the space, infrastructure, and accessibility to accommodate the applicant's needs, and concealing the more private functions in an addition will allow the historic structure to be restored, its original layout and brick walls revealed and celebrated.


(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

- *Response:* The Downtown and Eastside Historic District is distinct for its rich range of historic homes, materials, and building styles. Even among these, the historic house at 515 Paseo de Peralta possesses a significant and unique presence overlooking the city. The applicant's primary aim in this project is to protect and enhance the historic structure and to safeguard its future. By permitting additional area and use, the proposed addition complements without overpowering the historic house, enabling the restoration and celebration of the original space and structure.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)



Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: June 30, 2025

For HPD Office use only:		
HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Samuel B. Axtell Property: Brick Tenement #1 — Dorathea K. Dunakin Property: Apartments 1, 2, & 3	2. Location: 515 Paseo de Peralta Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-30040 4. County: Santa Fe Parcel # 10644352
5. Property Type: <input checked="" type="checkbox"/> Buildings: 3 <input checked="" type="checkbox"/> Structures: retaining walls and stairs <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: June 22, 2025		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: May 1996, Deborah Butcher <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6902745,-105.9374474		
10. Photo Information: John W. Murphey, photographer. Photo 1: View of south (front) elevation. Camera facing northeast.		
11. Brief Description of the Property: Erected circa 1889, the Axtell Tenement is a substantial brick residence positioned on a terraced lot overlooking Paseo de Peralta. Originally finished in exposed red brick, the exterior is now covered in a heavily textured stucco of muted yellow-ochre. Character-defining features include its rectilinear massing, tall wood hung-sash windows, and Territorial-style brick coping. At the rear, a former garage—now converted into a bedroom—and a second, later bedroom addition are attached to the main structure. The property also includes a freestanding gabled shed, a rubble-stone garage, stone retaining walls, and a set of brick stairs. All elements are presently in deteriorated condition. According to the City of Santa Fe’s GIS website, the house and its extensions are designated as Contributing to the Downtown and Eastside Historic District; the shed, walls, and stairs are not listed. <i>Continued on Page 5.</i>		
12. Who uses the property? Dwelling – rental		
13. Construction Date: Date: 1889; first visual evidence, 1912 <input checked="" type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Newspaper accounts; 1912 King’s map		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input type="checkbox"/> Similar <input checked="" type="checkbox"/> Dissimilar Comments: Territorial, rectilinear brick construction		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)	
 <p style="text-align: center; margin-top: 10px;">  </p>	<p>17. Surveyor: (your name, address, telephone number, and any group affiliation)</p> <p>John W. Murphey Architectural Historian Architectural History Services 505-577-7593/707-583-7819 John@archhistoryservices.com w/ Giulia Caporuscio</p> <p>For: Current owner and dnca architects</p>
<p>18. Owner (if known) and other knowledgeable people:</p> <p>Current owner: Georges and Tina Feghali</p> <p>N/A</p>	
<p>19. Is Property Endangered? <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes How?</p>	
<p>20. Significance to Current Community: <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Moderate <input type="checkbox"/> High</p> <p>Describe: Unknown</p>	
<p>21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)</p> <p>See Historical Overview.</p>	
<p>22. National or State Register:</p> <p>Is this property individually listed on a historic register? <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes</p> <p style="padding-left: 100px;">If yes: <input type="checkbox"/> State <input type="checkbox"/> National</p> <p>If 'no' or unknown, do you think this property is eligible for listing? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes</p> <p style="padding-left: 10px;">Why? See Evaluation of Historical Status</p>	
<p>23. National or State Historic District: City of Santa Fe</p> <p>Is this property in a historic district? <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes</p> <p style="padding-left: 10px;">If yes: <input type="checkbox"/> Significant <input checked="" type="checkbox"/> Contributing: house <input type="checkbox"/> Non-contributing <input checked="" type="checkbox"/> No Status: shed and retaining walls</p> <p style="padding-left: 10px;">Per City of Santa Fe official designation map</p> <p>If 'yes', what is the name of the district? <input type="checkbox"/> State <input type="checkbox"/> National <input checked="" type="checkbox"/> City of Santa Fe:</p> <p style="padding-left: 100px;">Downtown and Eastside Historic District</p>	
<p>24. Supplemental Forms:</p> <p><input type="checkbox"/> None <input checked="" type="checkbox"/> HCPI Detail Form (FORM 2) <input type="checkbox"/> Continuation Sheets, # pages: _____</p>	

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																																																									
		NRHP _____ SRCP _____	Criteria A B C D																																																								
1. Name of property: Samuel B. Axtell Property: Brick Tenement #1 — Dorathea K. Dunakin Property: Apartments 1, 2, & 3	2. Location: 515 Paseo de Peralta Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID: H-30040	4. County: Santa Fe 5. Date of Survey: June 22, 2025																																																								
ARCHITECTURAL AND CONSTRUCTION DETAILS:																																																											
6. Visible Construction Material: All Structures <input checked="" type="checkbox"/> Adobe <input checked="" type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input checked="" type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: Stone, rubble and cobble		7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input type="checkbox"/> Concrete: <input checked="" type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input checked="" type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input checked="" type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: Modified bitumen																																																									
10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Hung-Sash</td><td>Wood</td><td>1/1</td><td>2</td></tr> <tr><td>Hung-Sash</td><td>Wood</td><td>2./2</td><td>9</td></tr> <tr><td>Hung-Sash</td><td>Wood</td><td>6/6</td><td>4</td></tr> <tr><td>Hopper</td><td>Wood</td><td>4</td><td>1</td></tr> <tr><td>Hopper</td><td>Wood</td><td>1 *</td><td>1</td></tr> <tr><td>Sliding</td><td>Aluminum</td><td>1-1</td><td>1</td></tr> </tbody> </table> <p>Note: Based on visibility and access during survey</p>		Operation	Material	Glazing	Number	Hung-Sash	Wood	1/1	2	Hung-Sash	Wood	2./2	9	Hung-Sash	Wood	6/6	4	Hopper	Wood	4	1	Hopper	Wood	1 *	1	Sliding	Aluminum	1-1	1	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>Plank</td><td>Wood</td><td>2</td></tr> <tr><td>Single-Leaf</td><td>10-light</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>1/2-light over panel</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>2-light, Territorial</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>4-light over panel</td><td>Wood</td><td>1</td></tr> <tr><td>Vehicular</td><td>Outswing</td><td>Wood</td><td>1</td></tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Plank	Wood	2	Single-Leaf	10-light	Wood	1	Single-Leaf	1/2-light over panel	Wood	1	Single-Leaf	2-light, Territorial	Wood	1	Single-Leaf	4-light over panel	Wood	1	Vehicular	Outswing	Wood	1
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12. Chimneys <input checked="" type="checkbox"/> Four stuccoed stacks, likely brick at four corners =		13. Porches <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																																									
14. Other Significant Features N/A																																																											

15. Modifications: ___ No known modifications

#1 Date: post-1915, likely 1920s; change of front entry porch fenestration and introduction of roughcast concrete over exterior brick walls; material and stylistic period and letter from previous owner

#2 Date: Unknown; addition of second segmental-arched window on east section of south façade and hopper window on east elevation; comparison with early photographs of the house

#3 Date: pre-1943; probable change of west elevation window opening; visual evidence

#4 Date: ca.1943; construction of concrete stairway and creation of new door opening on west section of south façade; 1943 building plans

#5 Date: Unknown, ca. 1950s, with possible later demolition and reconstruction; northwest bedroom addition; aerial photographs and visual and material evidence

16. Primary Architectural Style Not Applicable

<input type="checkbox"/> Art Deco/Streamline Moderne	<input type="checkbox"/> Gothic Revival	<input type="checkbox"/> Mission Revival	<input type="checkbox"/> Pueblo	<input type="checkbox"/> Spanish-Pueblo Revival
<input type="checkbox"/> Bungalow/Craftsman	<input type="checkbox"/> International	<input type="checkbox"/> Neo-Classical	<input type="checkbox"/> Queen Anne	<input checked="" type="checkbox"/> Territorial
<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Italianate	<input type="checkbox"/> Northern NM	<input type="checkbox"/> Ranch	<input type="checkbox"/> Territorial Revival
<input type="checkbox"/> Folk Victorian	<input type="checkbox"/> Mediterranean	<input type="checkbox"/> Prairie	<input type="checkbox"/> Spanish-Colonial	<input type="checkbox"/> Tudor Revival

Notes: Other: Vernacular

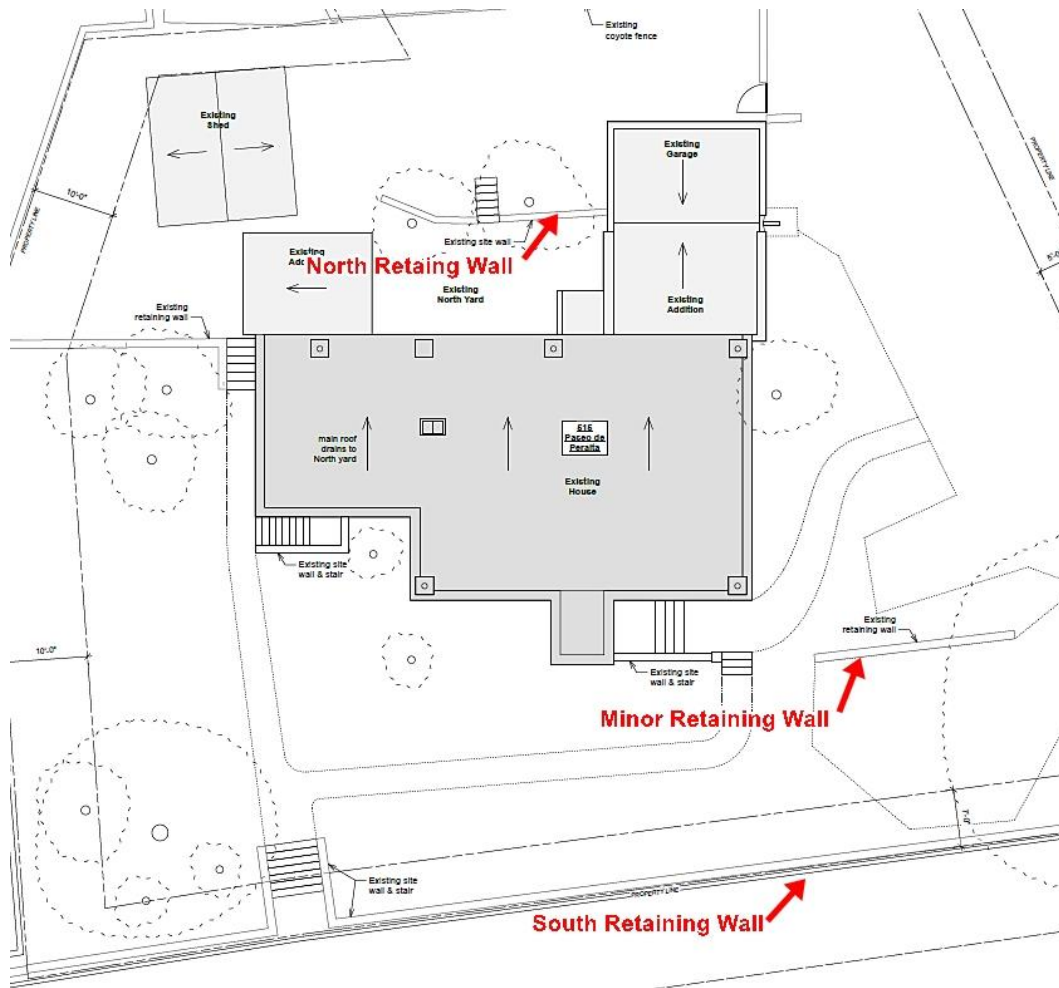
17. Documents Available and Their Locations

Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 https://www.santafenm.gov/land-use/historic-preservation	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 https://nmhistoricpreservation.org/arms.html
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SITE:

18. Attached or Associated Properties *Are associated properties eligible for listing: N/A*

19.Site Plan: Portion of 2025 existing site plan. Courtesy of dnca architects with site features labeled by AHS.



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Architectural Description Continued

Setting

The house occupies a prominent position above Paseo de Peralta, set back approximately 40 feet from the street (Photos 1-3). It stands on a sloping lot supported by a stone retaining wall along the property’s southern edge, with a smaller retaining wall along the north. Historically, the parcel—identified as Lot 2—extended west to Magdalena Street and was densely vegetated. The lot has since been subdivided. An acequia, now obliterated, once ran along the north side of the house, marking the historical boundary between Lots 2 and 4. The land is terraced and sparsely planted today, with only a few remaining trees which are primarily mature Chinese elms. A set of brick stairs, likely fabricated at the state penitentiary, ascends from the street to the house. Vehicular access is located at the east end of the lot via a wide graveled driveway.

Primary House

The house, composed of a series of interlinked rectangular volumes, extends along a roughly northwest-to-southeast axis. It is one story in height and rests on a rubblestone foundation that rises several feet above grade. This foundation supports double-wythe (two-brick thick) solid brick walls¹ now coated in roughcast textured stucco. As shown on the 1912 King’s Map, the original footprint was rectangular with a projecting volume at the northwest corner—a configuration still evident along the south (street-facing) elevation. The original brick portion of the building, including the front entry porch, occupies a gross footprint of approximately 1,840 square feet.

South (Front) Façade

The south façade, which overlooks Paseo de Peralta, has compositionally retained much of its original design shown in early 20th-century photographs (Figs. 3-5). However, elements of the fenestration and the location of the entry stair appear to have been altered—likely during a circa 1943 renovation associated with the creation of a third

¹ Other thicker sections may suggest triple-wythe construction; however, the walls have not been forensically investigated.

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apartment unit. Other features, including the roughcast stucco finish and the keyhole opening at the entry porch, may date to an earlier period, based on their materials and stylistic character.

Beginning at the west end, the façade features an entry door flanked by tall sash windows (Photo 4). The window openings are likely original and contain 2/2 double-hung sash units set within the wall and topped with segmental arches—a configuration typical of late 19th-century houses in Santa Fe and elsewhere (Photos 4).

However, based on their appearance, the existing sash may be later, cost-conscious replacements. Although there is moderate paint buildup, the wood elements lack the characteristic “alligatoring” associated with lead-based finishes from the 19th century. The glazing putty is minimal, missing, or obscured by overpainting, and the glass panes appear flat and uniform, lacking the wavy surface typical of earlier cylinder glass.²

Set between the windows is a ten-light wood door topped by a transom. This door does not appear in early 20th-century photographs and is associated with a concrete and hollow clay tile staircase likely installed during the 1940s apartment conversion.

Moving east, the façade projects about 10 feet and contains a pair of 2/2 wood sash windows separated by a mullion (Photo 4). Distinct from the other openings, these windows are topped with a flat arched header. Below them, an exposed section of the foundation indicates the former location of stairs that once led to the front entry.

The façade projects approximately nine feet at what was originally the primary entry elevation. Early photographs indicate that this section was once fenestrated with doors on the east and west sides and a segmental-arched window on the south elevation (Figs. 3 & 5). These openings were later removed to create a small open porch exhibiting a modest Moorish influence, most evident in the modified keyhole-shaped opening on the south side, which replaced the original segmental-arched window (Photo 5). The east side of the porch is accessed by a set of concrete steps that replaced an earlier wooden staircase. Entry to the house is through a wood door with arched lights.

² This appearance could also be attributed to the cosmetic repair work performed in the 1990s.

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While now partly obscured by stucco, paint, and a parapet cap, the front and side elevations feature a distinctive cornice likely dating to the original construction. The brickwork comprises two distinct courses separated by a stretcher band: a projecting rowlock course below, and above it, a course of canted headers that create a characteristic tooth-like pattern. This cornice detail is an important surviving element, illustrating the builder’s skill and the period’s preference for decorative brickwork as a marker of modernity and refinement.

East Elevation

The east elevation, which faces the driveway, extends nearly 60 feet and includes the original house, a garage added before 1930, and a later rock structure which replaced the original garage (Photos 6-9). The historic portion repeats the fenestration of the street façade, with two tall 2/2 wood sash windows set beneath segmental arches (Photo 6). South of the second window is a small opening containing a four-light hopper window, which does not appear in early photographs of the house (Fig. 5).

Projecting approximately three feet from the façade is a structure identified as a garage on the 1930 Sanborn Fire Insurance Map (Fig. 6). Constructed of stone and set at a lower elevation, it features a grouping of three 6/6 wood sash windows, some of which are missing muntins (Photos 7 & 8). This section of the elevation appears to be in deteriorated condition.

Separated from it by a narrow walkway is the final element of the south elevation: a one-bay stone garage partially built into the hillside (Photos 9 & 10). It is accessed through a pair of non-historic outswing doors constructed of vertical wood boards. Based on the 1943 drawing, this second garage was already in place by that time. It is also in poor condition.

North Elevation

The north elevation, which appears squat in comparison to the street-facing façade, opens onto a flagstone patio (Photo 11). The older central section is covered by a shallow overhang fitted with a modern gutter; the roof slopes in this direction, draining directly into the gutter without a parapet. The functional elements of the apartment

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units are exposed here, including plumbing vents, ductwork, and chimneys (Photos 10 & 11).

The central portion includes a double-light wood door with transom, protected by a wood screen door. To the west are two older wood sash windows (one converted to a hopper) with segmental-arched heads. Projecting from the east is the original garage, fenestrated on the north with a four-light and wood panel entry door with a transom, and on the west a single 6/6 wood sash window (Photos 11 & 12).

At the far west end is a small addition of uncertain origin (Photos 11 & 12). Based on Sanborn maps and aerial photographs, it was appended to the building sometime between 1948 and 1958 (Fig. 8). However, its exterior detailing appears more modern, characterized by a smoother stucco finish, pronounced fascia, and a sliding aluminum window. It is possible that the current structure replaced an earlier addition. The courtyard-facing door is a half-light over wood panel unit of indeterminate age.

West

The older portion of the building contains two 1/1 wood hung-sash windows separated by a mullion (Photo 13). Ghosting visible in the surrounding stucco suggests this was originally a single vertical opening with a segmental-arched window. The adjoining addition contains a single sliding aluminum window (Photo 14).

Interior

Interior access was not available at the time of the survey and, therefore, could not be documented.

Shed

The approximately 195-square-foot shed is located on what was originally Lot 4, north of the alley that once divided the two properties. Constructed in part of adobe, the structure appears on the 1912 King's Map as a stable (Fig. 2). It is topped with a medium-pitched gable roof clad in weathered boards, over which corrugated metal—now painted black—has been applied (Photo 15). The front (south) elevation is finished with smooth stucco, while the side elevations exhibit much rougher texture (Photo 16).

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The north elevation is set into the hillside and incorporates a mix of brick and rubblestone construction. Entry is through the south elevation via a pair of wood plank pedestrian doors (Photo 16).

Retaining Walls and Walkways

The site includes several rubble and stone retaining walls, along with a set of brick stairs that provide access to the house from the street. As these features are structural and ground-level elements not subject to the Board’s purview, they are described here only in brief.

South Retaining Wall

The most significant is a stone retaining wall tracing the south side of property. Lining the edge of Paseo de Peralta, the wall reaches a relative maximum height of 57 inches above the adjacent sidewalk (Photos 1-3). It traces the property line for approximately 160 feet before continuing another 70 feet westward, where it is interrupted by a driveway.

The wall is constructed primarily of locally sourced, undressed stone laid in irregular courses with occasional fragments of limestone. The uppermost courses appear to have been added at a later date. A circa 1915 photograph indicates that brick was originally used for the upper course (Fig. 5). A 70-inch-wide opening near the center forms a stairway lined with dark bricks likely fabricated by prisoners at the New Mexico State Penitentiary (Photos 3, 18 & 19).

North Retaining Wall

A separate section of stone retaining wall is located on the north side of the property (Photo 20). It is constructed of river cobbles set in a bed of concrete mortar. This wall is interrupted by a set of steps that lead to higher ground.

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Minor Retaining Walls

The lot includes additional minor rock retaining walls and stone features that verge on archaeological in character (Photo 21). More recent elements on the property include a low, unstuccoed CMU wall and a coyote fence.

Historical Overview

It's a good time to get hold of a little land in Santa Fe.
 Samuel B. Axtell, 1888

Buying up the Loma

Property records and newspaper accounts suggest that the house was likely constructed in the summer of 1889 for Samuel Beach Axtell, a former territorial governor who had acquired a large tract of land along what was then Hillside Avenue (Fig. 1). In his twilight years, Axtell set about “cleaning up” the land by upgrading old adobe dwellings and building a brick tenement.

Born on October 14, 1819, in Columbus, Ohio, Axtell studied law at Western Reserve College and briefly practiced in Michigan before relocating to California to pursue mining interests at the tail end of the Gold Rush.³ In California, he helped establish Amador County in 1854 and served as its first district attorney. He later moved to San Francisco to practice law. Originally a Democrat, Axtell changed parties after the Civil War and went on to serve two terms as a Republican in the U.S. House of Representatives.⁴

In 1875, President Ulysses S. Grant appointed him governor of Utah Territory, but he was removed after just four months for being overly conciliatory toward the Mormon

³ Calvin Horn, *New Mexico's Troubled Years: The Story of Early Territorial Governors* (Albuquerque: Horn and Wallace, 1963), 174.

⁴ Jesse D. Mason, *History of Amador County*, California (Oakland: Thomas and West, 1881), 285. His biographical sketch in this contemporaneous history indicates that Axtell was initially an abolitionist but later became “imbued with Southern ideas and proclivities.”

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population. Undeterred, Axtell sought another appointment and was soon named by Grant as governor of the New Mexico Territory. His single term as territorial governor was marked by controversy, particularly regarding his ineffectual handling of the Lincoln County War and his close association with the Santa Fe Ring. A federal officer assigned to investigate his conduct alleged that Axtell had “conspired to murder innocent and law-abiding citizens because they opposed his wishes and were exerting their influence against him.”⁵

He was removed from office in 1878 but was never formally charged with corruption. Remarkably, despite this cloud, Axtell was later appointed Chief Justice of the New Mexico Supreme Court. He resigned in 1885 and turned his attention more fully to Santa Fe, where he was elected probate judge of Santa Fe County and became widely known as “Judge Axtell.”

Newspaper accounts from the period document Axtell’s steady acquisition of property along the “Loma”—a 19th-century term referring to the high ground along Hillside Avenue—beginning in the 1870s. By 1889, the year the subject house was constructed, one article reported that he owned nearly 1,000 feet of frontage on both sides of Hillside Avenue.⁶ He acquired the parcel containing the subject property in 1888 from two widows of Hispanic descent who had been married to Anglo husbands.⁷

Bricks as Progress

The first mention of the house appeared in a brief item in the *Santa Fe Daily New Mexican*, which reported that Axtell was clearing land to construct “four neat brick cottages,” and had contracted for 80,000 bricks for the project.⁸ This figure was soon revised upward to 100,000.

The bricks likely came from Donaghue & Monier, the local brickworks and building firm that may also have overseen construction of the house. Florence Donaghue, an Irish

⁵ Quoted in Horn, *New Mexico’s Troubled Years*, 174.

⁶ “Improvement Notes,” *Santa Fe Daily New Mexican*, April 29, 1889, 4.

⁷ Abstract of Title document, undated typed manuscript on onionskin paper; index and additional research by author. The abstract and related documents form part of the property legacy papers held by the current owner and were accessed through selected scans provided by the project architect. Hereafter, Property Legacy Papers (PLP).

⁸ “Adobe Town,” *Santa Fe Daily New Mexican*, April 19, 1889, 4.

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immigrant who arrived in Santa Fe in the mid-1870s, became one of the city’s foremost builders, known for his expertise in brick construction.⁹ He was responsible for some of the most recognizable examples of Territorial-style coping, including the 1877 remodeling of the Palace of the Governors (removed with its Pueblo makeover).

In 1884, Donaghue partnered with Quintus Monier, a French-born architect who had come to Santa Fe to supervise construction of St. Francis Cathedral. Under the name Donaghue & Monier, the pair completed several of the town’s most significant buildings at the time, including the original state capitol building, the county courthouse, and the Sisters of Loretto Academy.

Santa Fe did not have a brickmaking facility until the early 1880s when Pogue and Brown—and later Rainey and Company—established local brickyards. Highlighting the demand for this basic building material, *Santa Fe Daily New Mexican* noted that the city “needs [a brickyard] badly”.¹⁰

Brick signified modernity and progress. An April 1889 editorial underscored this point, declaring: “People who erect modern [brick] houses now are sure of a big profit on their investment.”¹¹ Given the timing of the editorial, it likely reflected Axtell’s — and others’ — views of brick as a symbol of modernity in a predominantly mud-built town. Four months later, the newspaper announced that the “first of Judge Axtell’s brick cottages on the Loma is nearing completion.”¹²

It is unclear whether Axtell ever lived in the house; it was likely intended as an investment property. Several newspaper articles from 1889 describe Axtell buying existing adobes and improving them in a manner similar to a modern-day house flipper. The racialized nature of this gentrification is evident in a May 31 piece describing one of his conversions as transforming a “dingy and lifeless looking Mexican quarter” [into] now the very picture of thrift and busy life.”¹³ It is assumed that the subject house was

⁹ John W. Murphey, “Santa Fe Historic Context Study: 1610-1986,” Document prepared for the City of Santa Fe (Revised June 4, 2021), 28.

¹⁰ Editorial, *Daily New Mexican*, May 8, 1881, 4.

¹¹ “Signs of the Times,” *Santa Fe Daily New Mexican*, April 9, 1889, 4.

¹² “Improvement Notes,” *Santa Fe Daily New Mexican*, August 20, 1889, 4.

¹³ “Round About Town,” *Santa Fe Daily New Mexican*, May 31, 1889, 1.

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among several brick tenements Axtell hoped to construct, but his ambition was cut short by illness.

Two months before his death in Morristown, New Jersey, on August 6, 1891, Axtell deeded the property containing the subject house to his son-in-law, Charles M. Phillips.¹⁴ A native of Cleveland, Ohio, Phillips had arrived in New Mexico in 1883. An attorney by training, he was appointed clerk of the New Mexico Supreme Court.

Phillips and his family appear to have spent only a short time in Santa Fe. Although the 1890 census is unavailable, the deed given to Charles Phillips by his father-in-law in 1891 indicates that they were residing in New Jersey at that time. According to an abstract of title, the property changed hands several times during a dispute over the settlement of the Phillips estate, eventually ending up with Harold I. Stephens.¹⁵

A Brick Mason Buys a Brick House

In 1926, Harold I. Stephens sold Lot 2—the parcel holding the brick house—to Fred and Jennie Digneo.¹⁶ Born Alfredo Digneo in 1890, Fred was the son of Carlo Digneo, one of three Italian-born brothers recruited by Bishop Lamy to work as skilled stone masons and cutters on the construction of St. Francis Cathedral. Working under the name Digneo Brothers, the family firm also erected numerous brick residences along the south section of Paseo de Peralta (then West Manhattan Street) and in the Don Gaspar neighborhood. Alfredo followed in the family trade as a brick mason and is credited with constructing many of the original buildings—now demolished—of the United States Indian School off Cerrillos Road.

¹⁴ Warranty Deed, Samuel B. Axtell to Charles M. Phillips, recorded June 26, 1891, Book W, Page 323, Instrument # 1891000483, Santa Fe County, New Mexico.

¹⁵ Abstract of Title document, “Lots 2, 3, 4, Blk. 39, King’s Map of 1912,” undated typed manuscript, Avery-Bowman Company, PLP. Notably, the “Avery” in Avery-Bowman refers to Jennie Digneo, who is discussed later in this HCPI.

¹⁶ Warranty Deed, Edith V. and Harold I. Stephens to Fred and Jennie M. Digneo, recorded October 28, 1926, Book 6, Page 292, Instrument # 32458, Santa Fe County, New Mexico.

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The 1930 census records Fred (listed as Frederick) and Jennie living in the house, which was then valued at \$2,500.¹⁷ Also residing in the household were James Duffy, a sixteen-year-old identified as Fred’s stepson, and Grace Taylor, a 60-year-old Iowa-born woman employed by the family as a live-in maid. The census listed Jennie as the owner of a mercantile business, later identified in a bankruptcy filing as The Smart Shop.

The bankruptcy document offers a rare glimpse into the domestic life of the household at the onset of the Great Depression and suggests how the house may have been furnished and decorated. The items exempted from seizure included kitchen equipment, furniture, multiple Navajo rugs, a chiffonier, an encyclopedia set, and a range of books published as part of the *Universal Library*.¹⁸ Given the timing and Fred’s profession, it is assumed that the initial changes to the façade, including the alteration of the entry porch, were made during their ownership.

Jennie divorced Fred following the bankruptcy, and the house on the hill transitioned into a rental. In 1933, they sold the property to Willzeta Dennee, a Colorado resident, who subsequently deeded it to the Republic Mortgage Company—a firm she appears to have worked for.¹⁹ It was likely under the mortgage company’s ownership that the house formally shifted to rental use.

The 1936 Santa Fe city directory reflects this change, listing two tenant households: Elizabeth Griffin, who worked as a colorist for photographer T. Harmon, and her mother, Ziodah, occupied one unit; in the other lived George and Dorothy Hillhouse. George managed the local Your Foods Store market.²⁰ A newspaper advertisement from that same year described one of the rentals as a large room with a connecting bath, with the option to include use of a garage.²¹ This rental arrangement continued through the

¹⁷ U.S. Census Bureau, Year: 1930; Census Place: Santa Fe, Santa Fe, New Mexico; Page: 12A; Enumeration District: 0014; FHL microfilm: 2341134.

¹⁸ Bankruptcy No. 1107, Referee’s Order Allowing Exemptions, U.S. Bankruptcy Court to Jennie M. Digneo, The Smart Shop, recorded September 12, 1930, Book X, Page 119, Instrument # 40454, Santa Fe County, New Mexico.

¹⁹ Abstract of Title document, “Lots 2, 3, 4, Blk. 39, King’s Map of 1912.”

²⁰ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1936* (El Paso: Hudspeth Directory Company, 1936), 94, 103, and 243.

²¹ “Rooms For Rent,” *Santa Fe New Mexican*, June 17, 1936, 7.

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Great Depression. Additional newspaper ads from the period suggest the land was also used commercially, operating as a nursery under the name Hillside Evergreen Nursery.

Toward the end of the decade, Republic Mortgage Company worked out an agreement with Ray and Dorathea Dunakin, a recently married couple, to acquire the property. However, before the transaction was finalized, the Dunakins divorced. The precise circumstances are unclear, but Jennie Digneo—now going by Jennie M. Avery—had regained title to the property and, in 1943, transferred it to Dorthea Dunakin by quitclaim deed.²²

That same year, Dunakin hired a builder to prepare plans for remodeling the apartments. A surviving blueprint shows that the work was limited to the section west of the front entry (Fig. 7). The drawing indicates interior renovations within the existing footprint, including updated floor plans, subdivided spaces, and likely reconfigured circulation. The only exterior alteration appears to be the addition of a new set of stairs and doorway at the southwest corner.

The Apartments

From this point on, the old Axtell-Phillips house was identified as an apartment building—Units 1, 2, and 3—in the Santa Fe city directories. The 1947 directory listed Mary Guessarian, a seamstress, as both the occupant and owner of Apartment 1; John S. Russell, a teacher at Carlos Gilbert School, and his wife, Vera, living in Apartment 2; and Raymond Rhea, the owner of a distribution company, along with his wife, Vera, a statistician for the State Land Office, residing in Apartment 3.

While Dorathea Dunakin remained the underlying property owner, Mary Guessarian appears to have taken on the role of apartment manager. Tenants came and went, but according to the city directories, they generally belonged to the same professional class—teachers, small business owners, and mid-level state employees—rather than clerks or manual laborers.²³ By the early 1950s, John S. Russell had been promoted to

²² Quitclaim Deed, Jennie M. Avery to Dorathea K. Dunakin, recorded June 12, 1943, Book 23, Page 236, Instrument # 71337, Santa Fe County, New Mexico.

²³ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1947* (El Paso: Hudspeth Directory Company, 1947), 125, 230, 247, and 343.

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principal of Carlos Gilbert School. He and his wife Vera had moved out of the apartments and purchased a home in the South Capitol neighborhood.

Mary eventually moved out, and a woman named Edna McCracken took her place. Over the years, McCracken co-owned several Santa Fe beauty shops and remained a fixture in the neighborhood until her death in 1969. As Santa Fe modernized, the house stood increasingly apart—deteriorating and anchored in a bygone era. In 1962, a bulldozer cleared an old adobe at the southeast corner of Hillside and Washington to make way for the Bank of Santa Fe—a large Pueblo Revival structure, complete with a drive-through teller and a 70-car parking lot.²⁴

In the 1970s, Hillside was realigned as part of the newly constructed “Loop,” later renamed Paseo de Peralta—a road designed to relieve downtown congestion but which, at first, created confusion and disruption.

With the realignment and name change, the property acquired a new address: 515 Paseo de Peralta. A decade later, the city permitted the demolition of yet another older building to allow for the expansion of the Bank of Santa Fe into what is now Wells Fargo Bank. This change is abundantly evident reviewing aerial photographs from the late 1950 and early 1970s (Figs. 8 & 9). By 1982, the former Axtell–Phillips House was considered abandoned property, and the City of Santa Fe was unable to identify the actual owner.²⁵

In 1995, Doratheia Gabel—the daughter of Doratheia Dunakin and a resident of Otero County—submitted an application (H-95-091) to the Historic Districts Review Board to undertake repairs on the then-century-old building. The proposed work included window repairs, partial restuccoing, and stabilization of the front entry porch.

In 1997, Gabel received a historic preservation award from the City of Santa Fe in recognition of the renovation. Nearly thirty years later, however, the house has once again fallen into disrepair.

²⁴ “New Pueblo Style-Bank” [photo article], *Santa Fe New Mexican*, April 15, 1962, 16.

²⁵ “Notice of Names of Persons Appearing to be Owners of Abandoned Property” [legal notification], *Santa Fe New Mexican*, March 19, 1982, B-5.

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Evaluation of Historical Status

Based on its age and historical associations, the primary building is clearly eligible for Contributing status. The south-facing front elevation, which has been least affected by later additions, should be considered the primary façade. Significant features of this elevation include its rectilinear volumes, original segmental-arched window openings, keyhole-shaped porch opening, and distinctive brick cornice. In contrast, the side and rear elevations have less architectural interest and have been compromised by later modifications. The northwest bedroom addition is the least compatible and should be excluded from consideration of status.

The second rubble-stone garage is freestanding and of historic age but lacks architectural distinction. The shed, which appears to predate 1912, is an important contextual structure, reflecting earlier land use patterns and signaling a time when work animals were kept for conveyance.

The Board’s authority over purely structural elements, such as masonry retaining walls that do not rise above the retained grade, has been questioned in the past. However, if the Board does hold authority to assign status, the south retaining wall and its entry steps are recommended for Contributing status as an important element of the streetscape.

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Illustrations



Figure 1: Samuel Beach Axtell, undated. Courtesy of Findagrave.com

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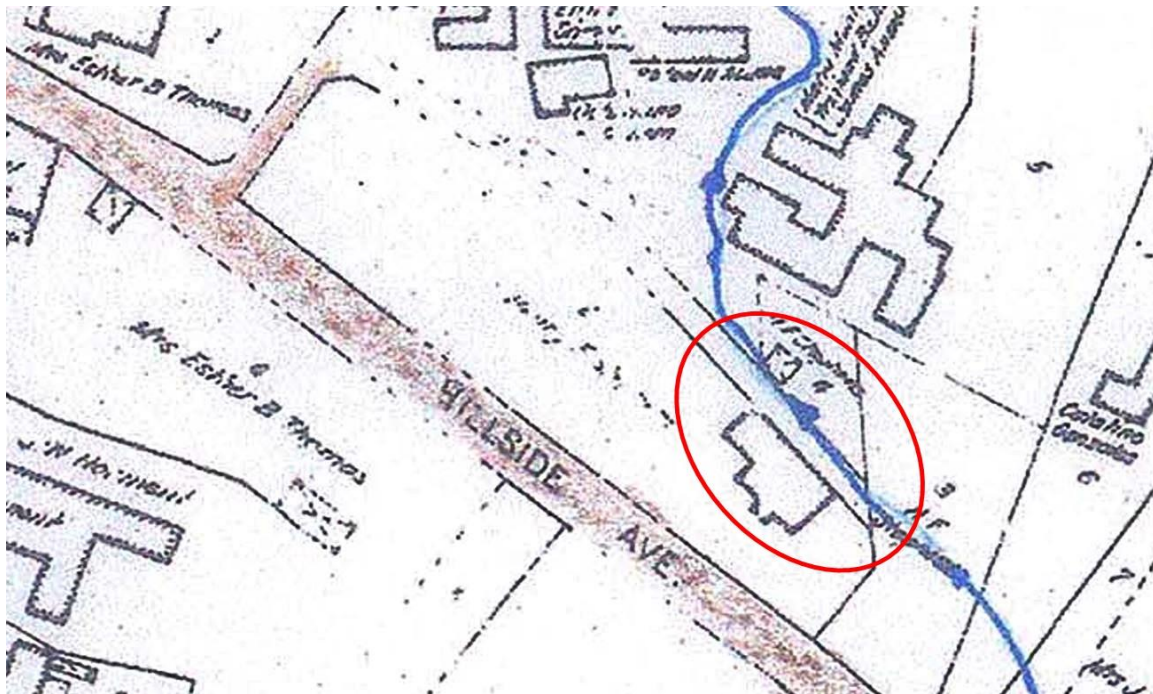


Figure 2: N. L. King, "Official Map of the City of Santa Fe," 1912. Acequia alignments overlaid by Edward Gonzales, 2012. Subject buildings circled.

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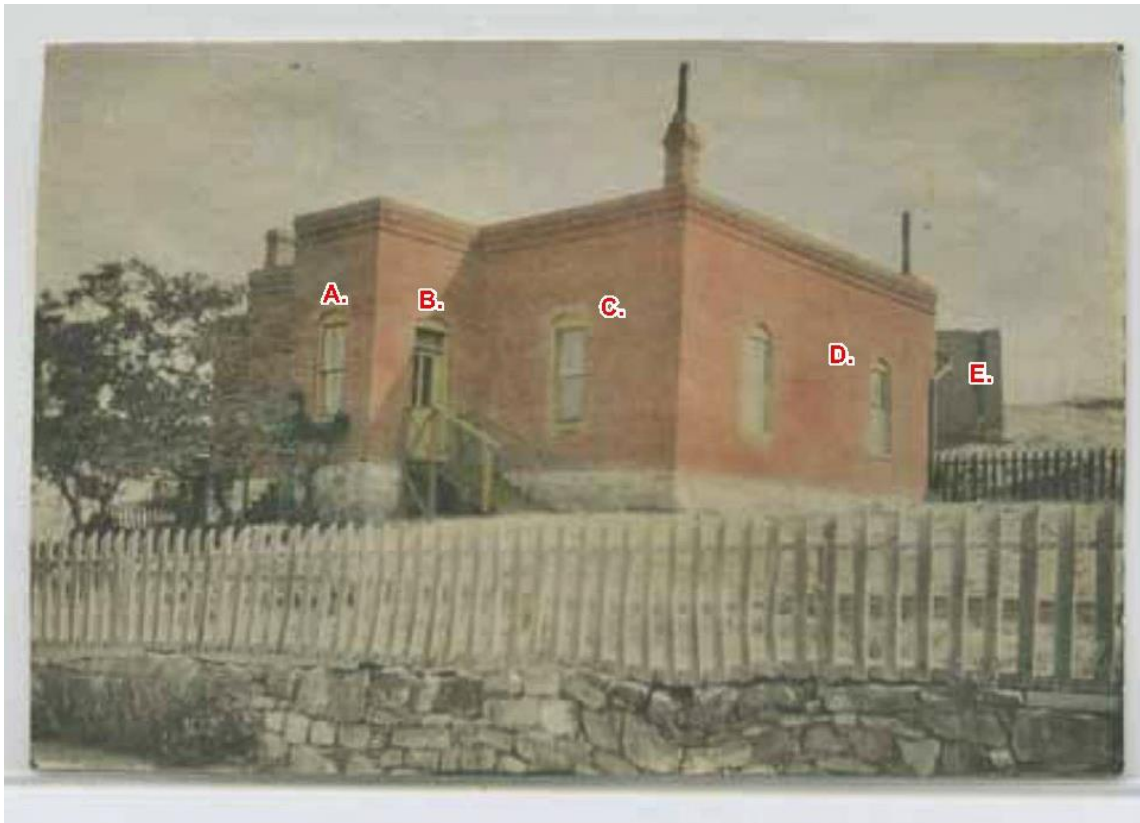


Figure 3: “Adobe home on Hillside Street, Santa Fe, New Mexico,” H. H. Dorman, ca. 1915, Negative Number 010516. Courtesy of Palace of the Governors Photo Archives, New Mexico History Museum.

Note: A. Window removed; B. door and wood stairs removed; C. window added; D. window added; E. building demolished.

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Figure 4: “Adobe home on Hillside Street, Santa Fe, New Mexico,” H. H. Dorman, ca. 1915, Negative Number 010517. Courtesy of Palace of the Governors Photo Archives, New Mexico History Museum.

Note: A. Window added; B. door removed with addition; C. building demolished.

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Figure 5: “House of Paseo de Peralta (formerly Hillside Avenue), ca. 1910-15, Negative Number 51631. Courtesy of Palace of the Governors Photo Archives, New Mexico History Museum.

Note: A. Shed in existence; B. stairway and door added; C. stairway removed; D. window removed; E. shorter wall topped with bricks.

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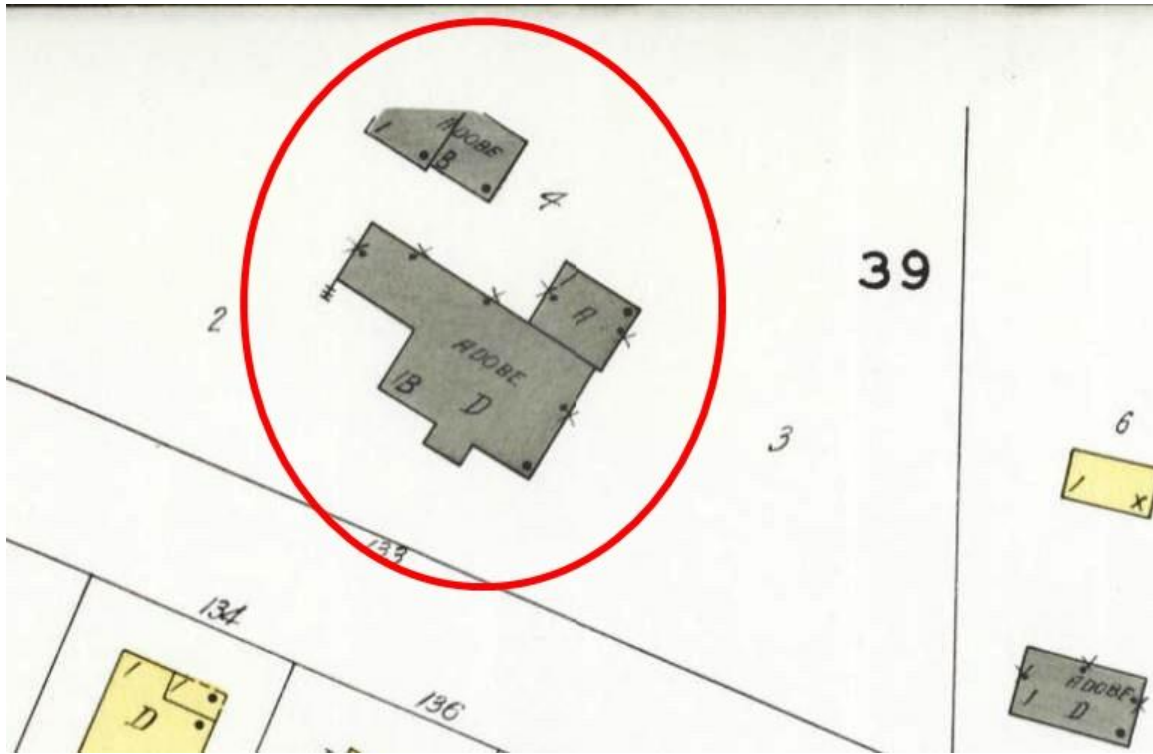


Figure 6: 1930 Sanborn Fire Insurance Map, Sheet 8.

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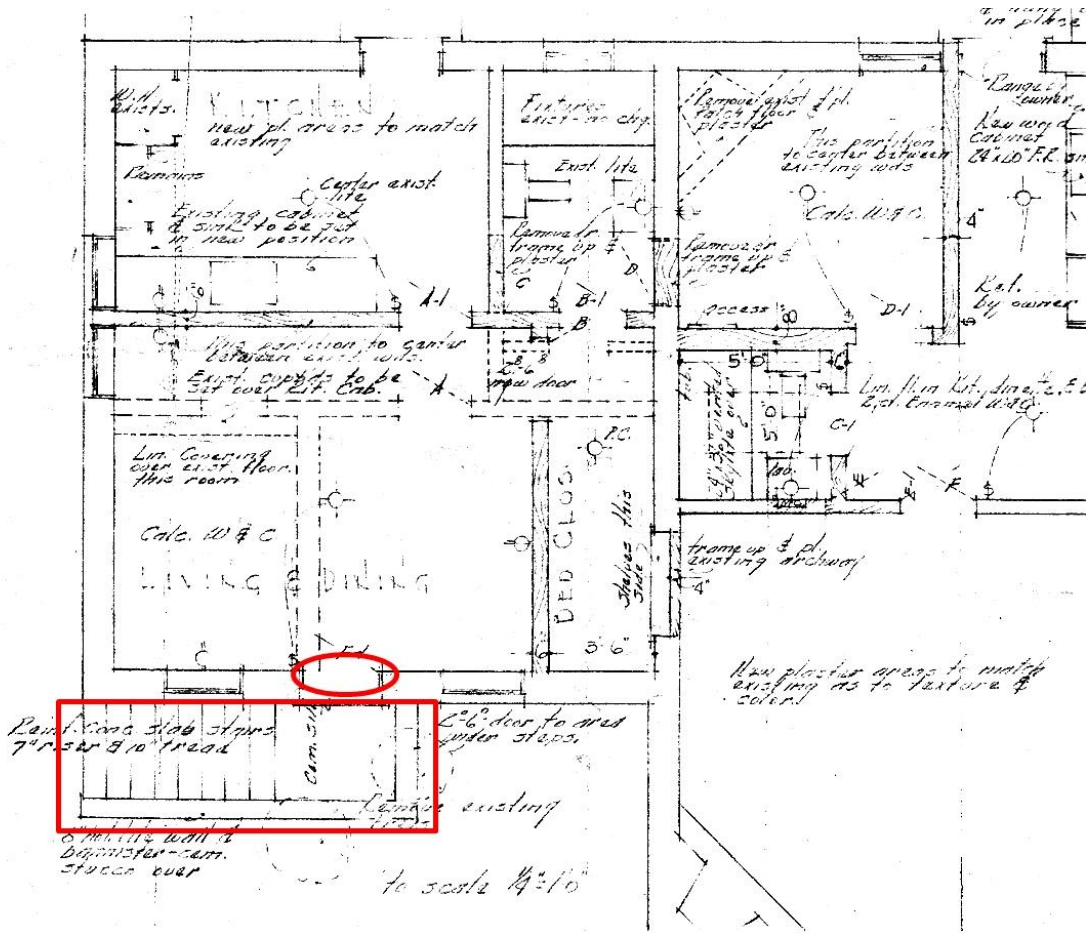


Figure 7: Portion of the 1943 building plan (blueprint converted to black and white), showing the affected exterior changes on the west end of the south façade highlighted. Courtesy of Georges and Tina Feghali.

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Figure 8: November 10, 1958, aerial photograph.



Figure 9: May 11, 1973, aerial photograph. Structure at northwest present.

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Survey Photographs

(All images taken by Giulia Caporuscio, June 22, 2025, unless otherwise noted)



Photo 2: Setting. Camera facing northwest.

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Photo 3: Setting and street entry. Camera facing northeast.

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Photo 4: West half of south elevation. Camera facing up and northeast. Typical window (left) and muntin pattern (right).

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Photo 5: Entry façade and east half of south elevation. Camera facing up and northeast. Entry porch (left) and altered windows (right).

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Photo 6: East elevation of the original building. Camera facing northwest.

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Photo 7: East elevation oblique. Two garage additions highlighted. Camera facing north.

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Photo 8: East elevation. Original garage at center. Camera facing northwest.

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Photo 9: East elevation oblique. Later garage at right. Camera facing southwest.

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Photo 10: Combined garages. North and west elevations. Camera facing southeast.

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Photo 11: North elevation. Original garage (left); bedroom addition (right). Camera facing southeast.

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Photo 12: North elevation. Original garage (left); bedroom addition (right). Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Samuel B. Axtell Property: Brick Tenement #1 — Doratheia K. Dunakin Property: Apartments 1, 2, & 3	2. Location: 515 Paseo de Peralta Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID: H-30040
		4. County: Santa Fe
		5. Date of Survey: June 22, 2025



Photo 13: West elevation of original building. 1940s staircase on the right. Camera facing northeast.

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1. Name of property: Samuel B. Axtell Property: Brick Tenement #1 — Doratheia K. Dunakin Property: Apartments 1, 2, & 3	2. Location: 515 Paseo de Peralta Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID: H-30040
		4. County: Santa Fe
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Photo 14: West elevation of bedroom addition. Camera facing southeast.

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HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria A B C D	
1. Name of property: Samuel B. Axtell Property: Brick Tenement #1 — Dorathea K. Dunakin Property: Apartments 1, 2, & 3	2. Location: 515 Paseo de Peralta Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID: H-30040 4. County: Santa Fe 5. Date of Survey: June 22, 2025



Photo 15: Shed. East elevation. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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1. Name of property: Samuel B. Axtell Property: Brick Tenement #1 — Doratheia K. Dunakin Property: Apartments 1, 2, & 3	2. Location: 515 Paseo de Peralta Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID: H-30040
		4. County: Santa Fe
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Photo 16: Shed. South elevation. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Samuel B. Axtell Property: Brick Tenement #1 — Doratheia K. Dunakin Property: Apartments 1, 2, & 3	2. Location: 515 Paseo de Peralta Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID: H-30040
		4. County: Santa Fe
		5. Date of Survey: June 22, 2025



Photo 17: Shed. West elevation. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Samuel B. Axtell Property: Brick Tenement #1 — Doratheia K. Dunakin Property: Apartments 1, 2, & 3	2. Location: 515 Paseo de Peralta Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID: H-30040
		4. County: Santa Fe
		5. Date of Survey: June 22, 2025



Photo 18: Masonry stairway wall of street entry. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: Samuel B. Axtell Property: Brick Tenement #1 — Doratheia K. Dunakin Property: Apartments 1, 2, & 3	2. Location: 515 Paseo de Peralta Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID: H-30040			
		4. County: Santa Fe			
		5. Date of Survey: June 22, 2025			



Photo 19: Brick stairs of street entry. Camera facing down.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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1. Name of property: Samuel B. Axtell Property: Brick Tenement #1 — Doratheia K. Dunakin Property: Apartments 1, 2, & 3	2. Location: 515 Paseo de Peralta Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID: H-30040
		4. County: Santa Fe
		5. Date of Survey: June 22, 2025



Photo 20: North retaining wall. Camera facing southeast.

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HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Samuel B. Axtell Property: Brick Tenement #1 — Doratheia K. Dunakin Property: Apartments 1, 2, & 3	2. Location: 515 Paseo de Peralta Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID: H-30040
		4. County: Santa Fe
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Photo 21: Minor retaining wall. Camera facing southeast.