



A R C H A E O  
*architects*

1512 Pacheco Street  
A105  
Santa Fe, New Mexico 87505  
505.820.7200

02.27.26

City of Santa Fe  
Historic Preservation Review Board

RE: 425 Camino don Miguel

Our clients, Gerald and Kris Ronningen-Fenrich, owners of the above referenced property, would like to build a Spanish Pueblo revival style, flat roofed house as their primary residence. There are currently no existing structures on the lot. The intent is to use the casita on the adjacent property, 423 Camino don Miguel, in which they also own, as a precedent for the character and details of the new building. Due to the nature of the lot, the building is pushed back about 37' from the street and is slightly shielded from public view by the surrounding properties.

The one bedroom, one and a half bath residence will be composed of 1,894 square feet of heated space, 296 square feet of unheated space, 289 square feet of covered portal space, and 316 square feet of exterior space covered by a ramada. This includes a one car garage, two portals, an entry, living room, dining room, and a kitchen that connects to the bedroom suite. The total roofed area totals 2,479 square feet.

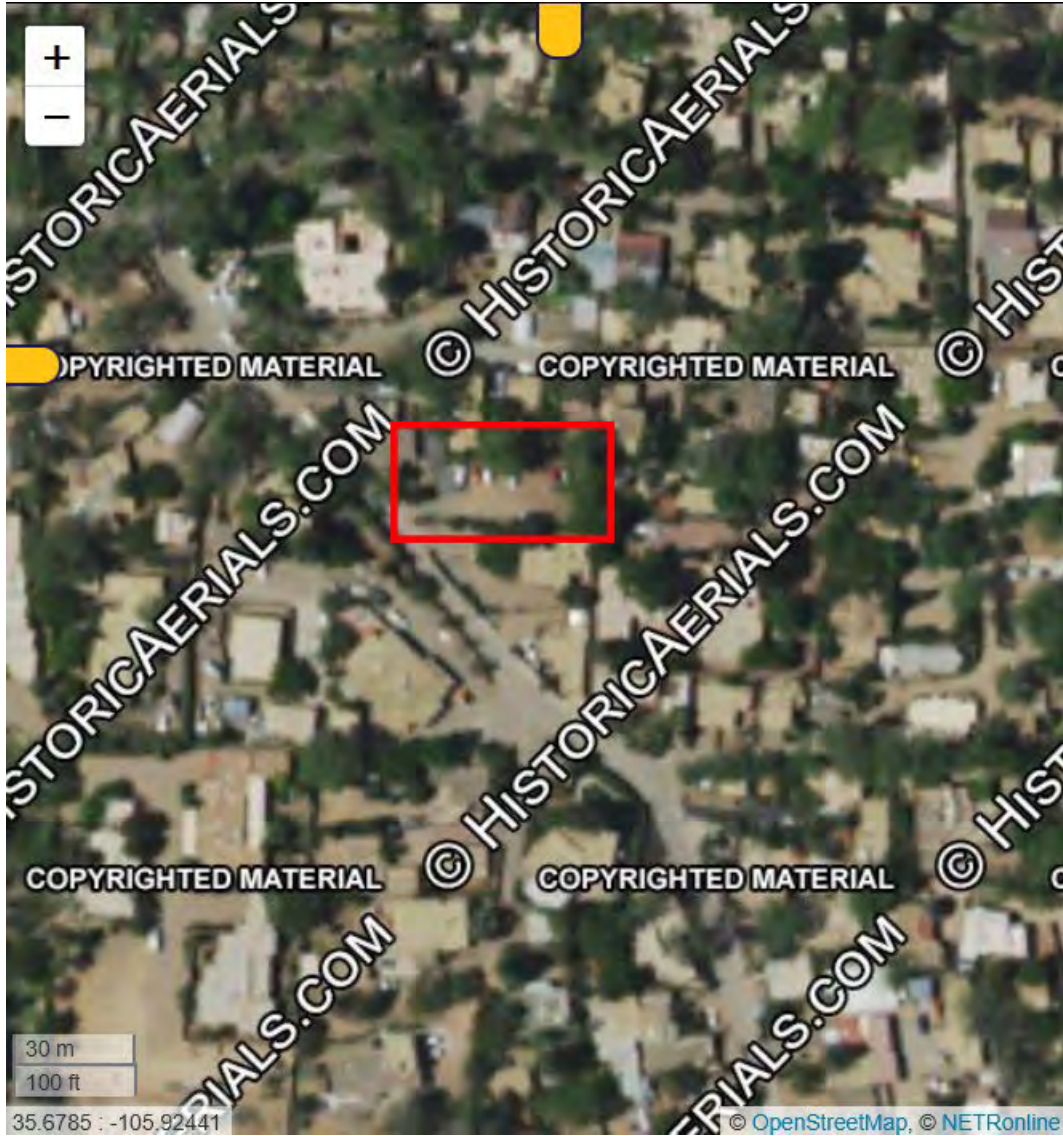
The maximum buildable area is 2,853 square feet based on 40 percent of the 7,133 square foot lot. The proposed residence complies with the maximum area as the enclosed space totals 31 percent of the lot at 2,190 square feet. The maximum building height is 14' above finished grade. The living room is the tallest proposed mass at 14' above finished grade. All other massings step down respectively from there.

The residence will be constructed of double wood framed walls, to replicate the thickness of the traditional adobe style and supplemented with standard wood framing at the garage and interior walls. The residence will be clad in El Rey stucco in the color "La Luz" as manufactured by Parex, with a white accent design within the portals in La Habra "Colonial White". Aluminum clad wood windows and portal doors will have divided lites and be manufactured by Sierra Pacific in their color "Aqua Mist". All exterior wood at the portals will be finished in Sherwin-Williams stain, "Provincial".

Bradyn Furry



CURRENT



2022



1982



1960



1951

425 CAMINO DON MIGUEL  
LOOKING EAST FROM STREET



425 CAMINO DON MIGUEL  
LOOKING EAST



425 CAMINO DON MIGUEL  
LOOKING NORTH



425 CAMINO DON MIGUEL  
LOOKING SOUTH



425 CAMINO DON MIGUEL  
LOOKING WEST





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# RONNINGEN-FENRICH RESIDENCE

425 CAMINO DON MIGUEL  
SANTA FE, NM  
87505

**AREA TAKEOFFS**

GROSS HEATED: 1,894 SQ. FT.  
GROSS UNHEATED: 296 SQ. FT.  
PORTALS: 289 SQ. FT.  
RAMADA: 316 SQ. FT.  
TOTAL ROOFED: 2,479 SQ. FT.

**LOT COVERAGE**

LOT AREA: 7,133 SQ. FT.  
MAXIMUM BUILDABLE AREA (40%): 2,853 SQ. FT.  
ENCLOSED SPACE PROPOSED(31%): 2,190 SQ. FT.

**DRAWING INDEX**

Z-1.00 COVER SHEET  
Z-1.01 SITE PLAN - EXISTING  
Z-1.02 SITE PLAN - PROPOSED  
Z-2.01 FLOOR PLAN  
Z-5.01 EXTERIOR ELEVATIONS

RONNINGEN-FENRICH  
RESIDENCE

425 CAMINO DON MIGUEL  
SANTA FE, NM 87505

Project Number : 2505

Date : 02.27.26

Drawing Title :

COVER

Sheet Number :

Z-1.00

# HISTORIC REVIEW

# Topographic Survey

on

Lot 12-B, Block 10

within Projected Section 30. T17N., R10E., N.M.P.M.

Santa Fe, Santa Fe County, New Mexico

423 Camino Don Miguel



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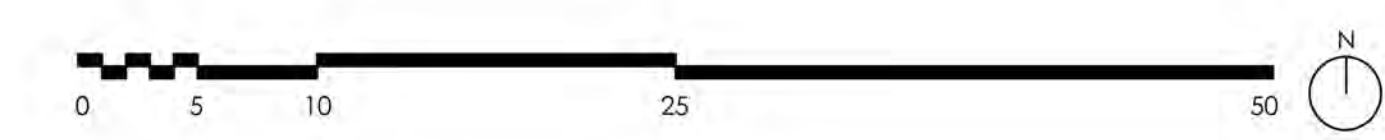
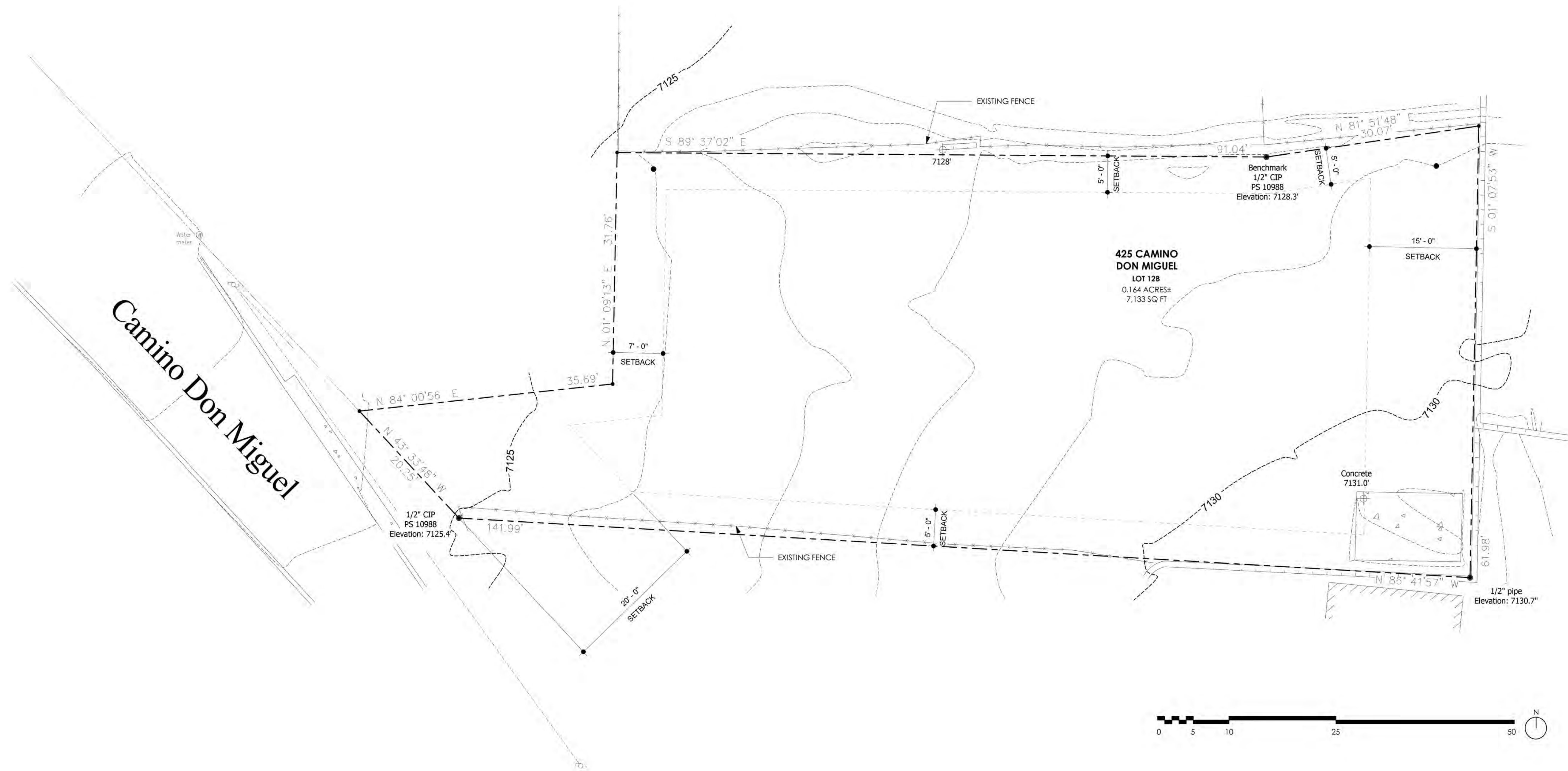
### LEGEND

- Points found and used as noted.
- Utility poles and lines.
- Fences.
- Walls.
- Concrete.
- ⊕ Spot elevation.

### NOTES

- 1.) Basis for this survey was taken from a plat entitled "Lot Line Adjustment Survey Prepared for Mary Jane Rivera (Trust)...", recorded in Plat Book 908, page 018. Bearings and distances shown hereon were taken from said Plat.
- 2.) Elevations were derived from GPS static observations and post processed through OPUS. Elevations are NAVD88 (GEOID 18).

**THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA IS FROM PREVIOUS SURVEYS REFERENCED HEREON.**



## RONNINGEN-FENRICH RESIDENCE

425 CAMINO DON MIGUEL  
SANTA FE, NM 87505

Project Number : 2505  
Scale : 1/8" = 1'-0"  
Date : 02.27.26

Drawing Title :

## SITE PLAN - EXISTING

Sheet Number :

### CERTIFICATE

I, David E. Cooper, a duly registered Professional Surveyor in the State of New Mexico hereby certify that this plat represents an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.



*David E. Cooper* October 24, 2025  
David E. Cooper P.S. No. 9052

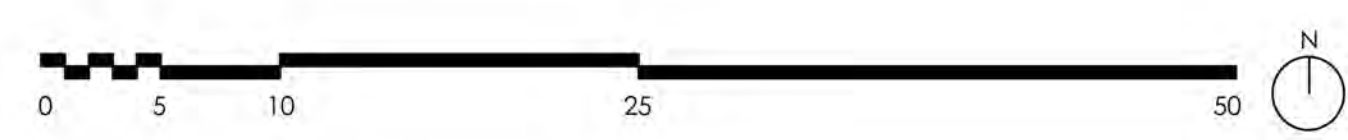
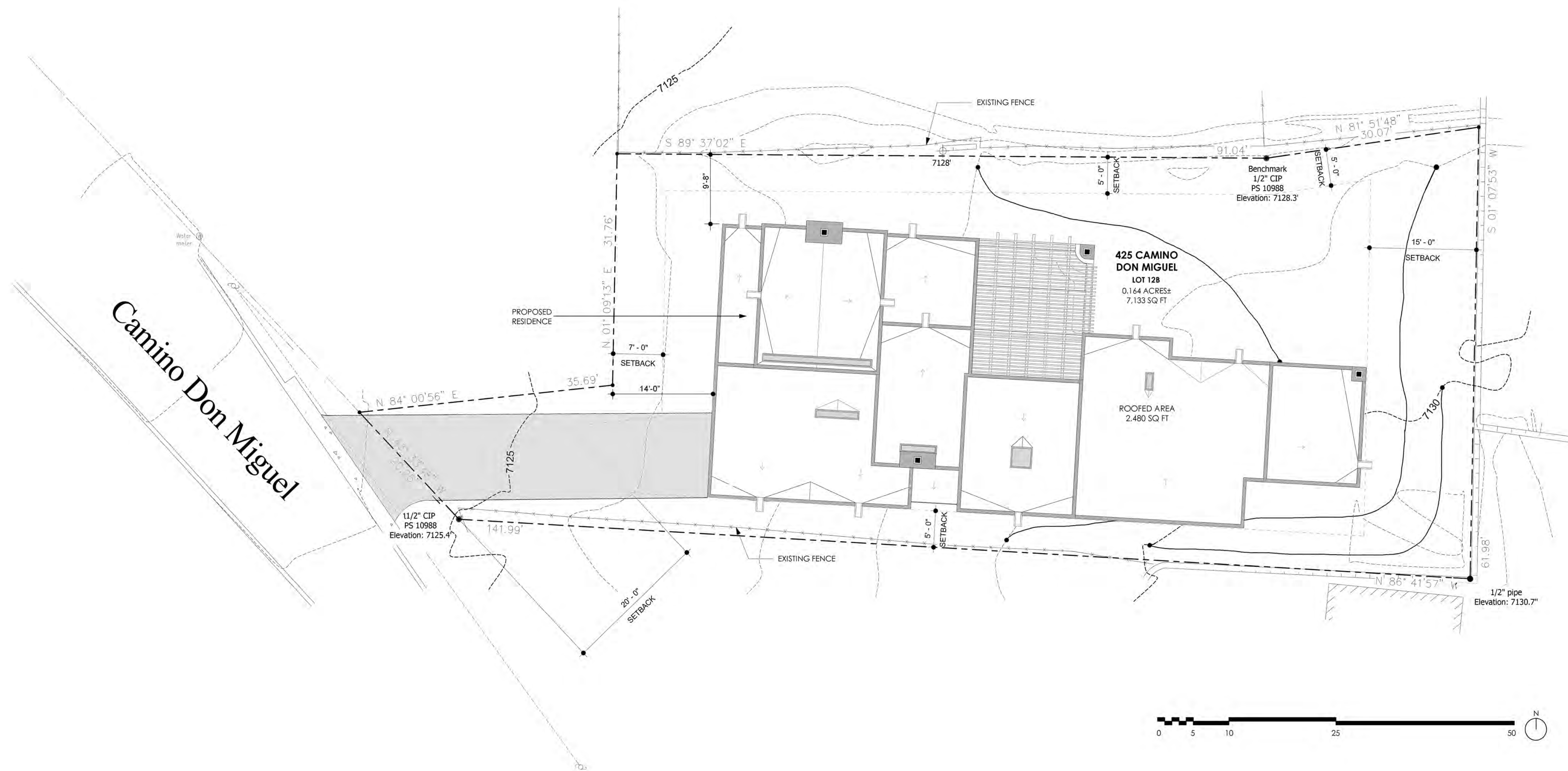
SIERRA LAND SURVEYING, INC.		
1452 South St. Francis Drive	SANTA FE, NM	505-983-5932
Project No. T-1002-1025	Dwg. DTC	Ck. DEC
	File: 05732970.25o	Rev.1

Z-1.01



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RESIDENCE**

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**SITE PLAN -  
PROPOSED**

Sheet Number :

**Z-1.01**



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**RONNINGEN-FENRICH  
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425 CAMINO DON MIGEUL  
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Project Number : 2505  
 Scale : 1/4" = 1'-0"  
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Drawing Title :

**FLOOR PLAN**

Sheet Number :

**Z-2.01**

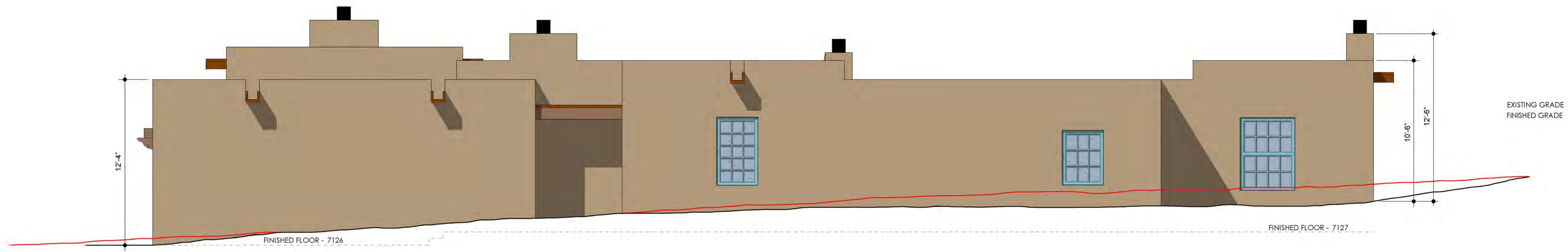


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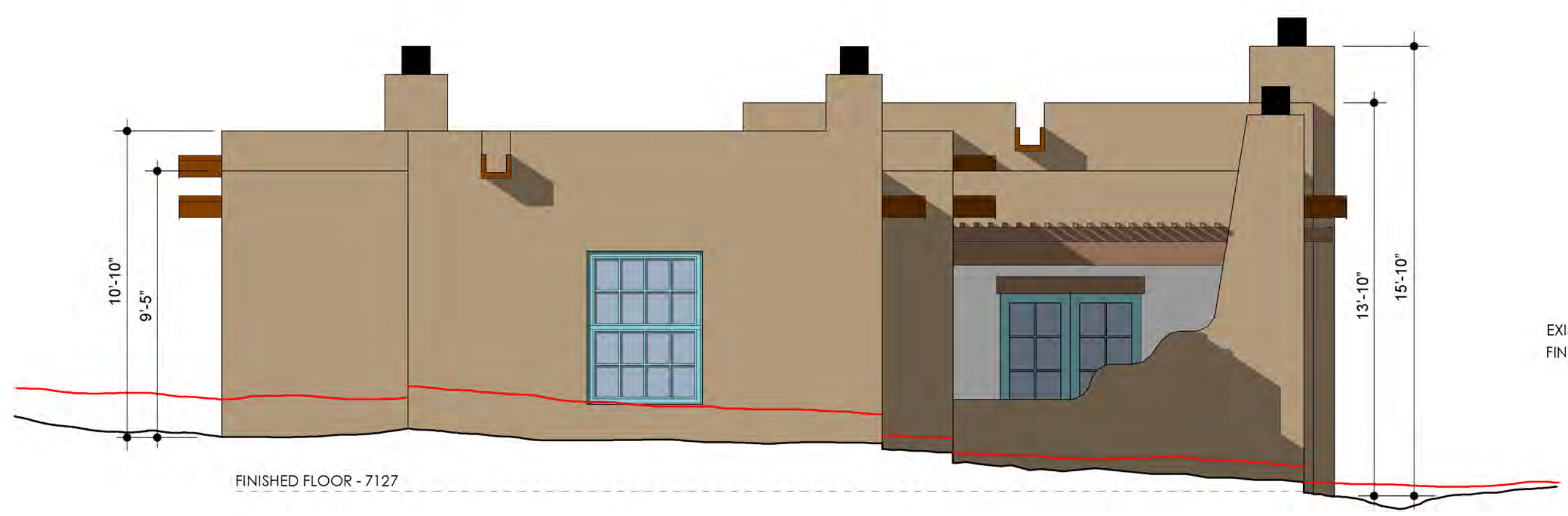
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1 NORTH  
1/4" = 1'-0"



2 SOUTH  
1/4" = 1'-0"



3 EAST  
1/4" = 1'-0"



4 WEST  
1/4" = 1'-0"

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**EXTERIOR  
ELEVATIONS**

Sheet Number :



Z-5.01

# Topographic Survey

on

Lot 12-B, Block 10

within Projected Section 30. T17N., R10E., N.M.P.M.

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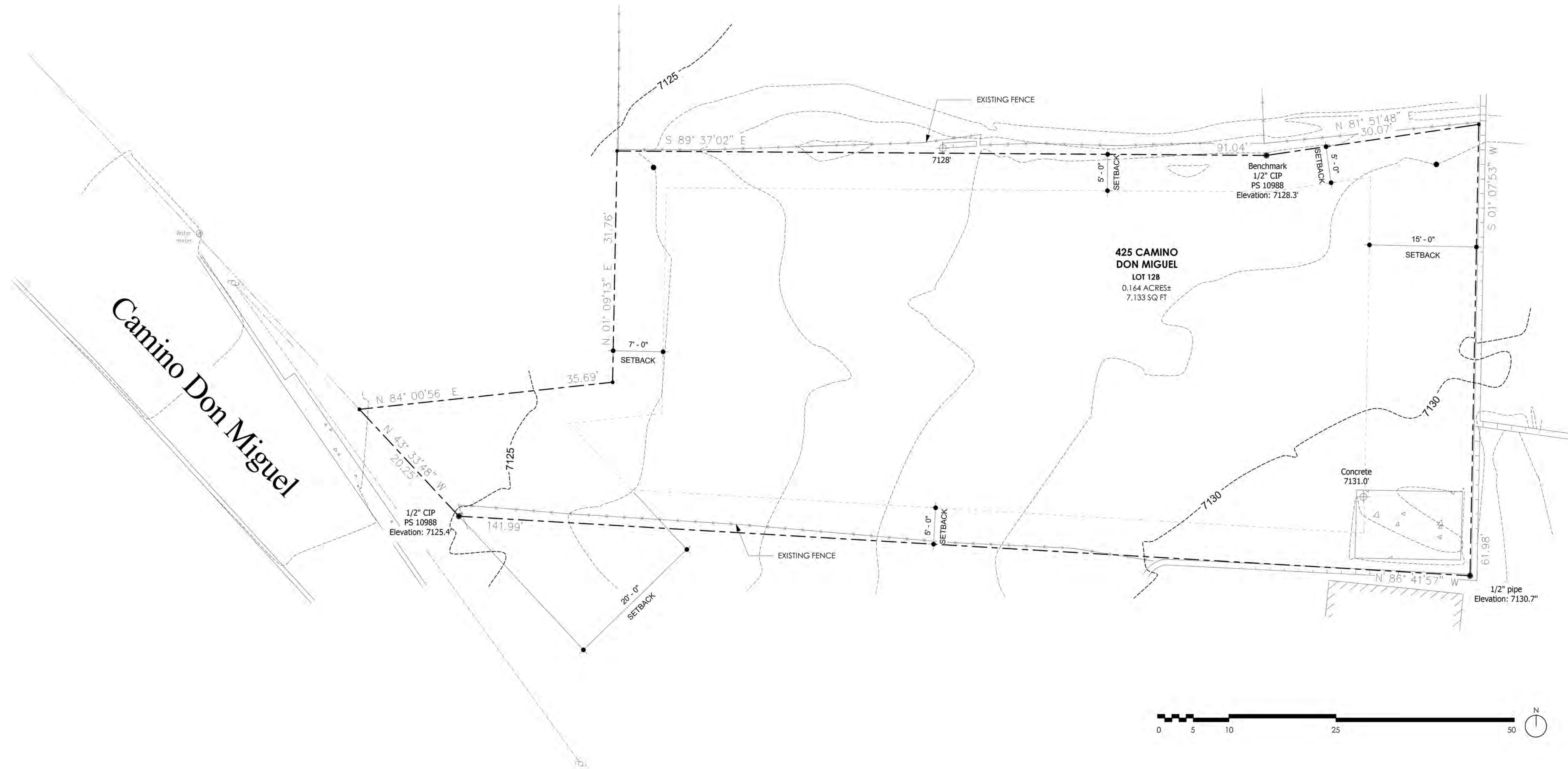
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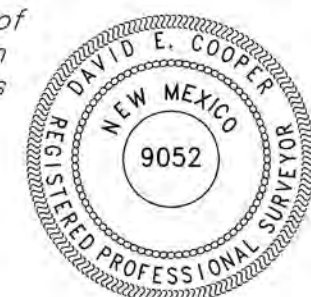
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*David E. Cooper* October 24, 2025  
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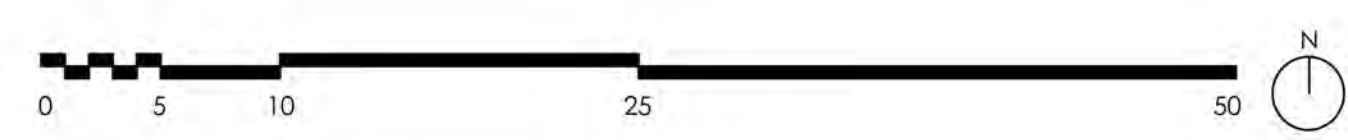
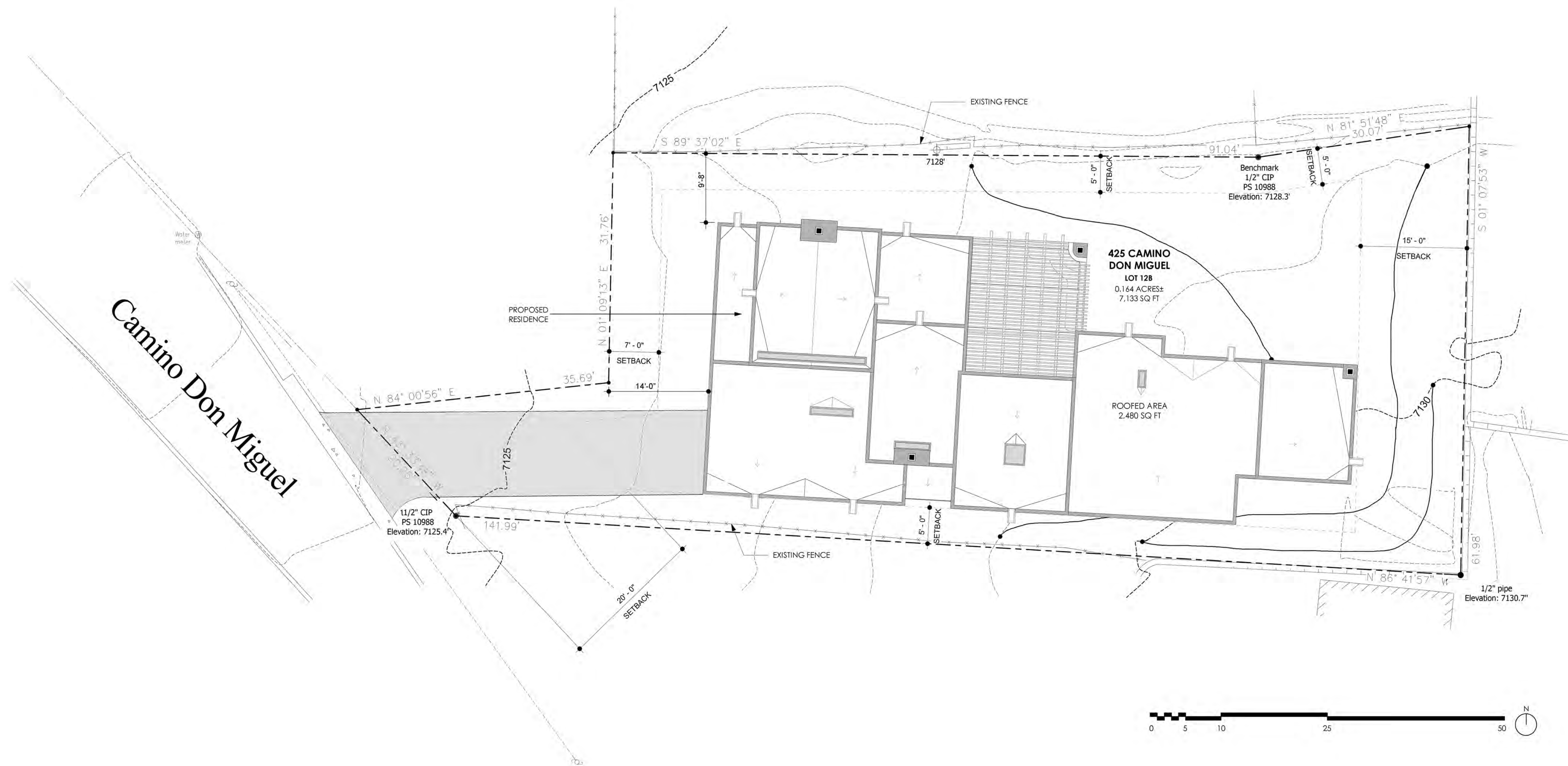
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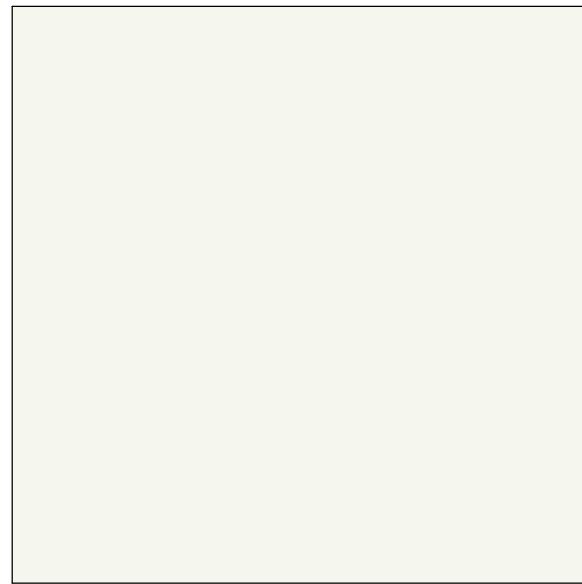
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## EXTERIOR FINISHES



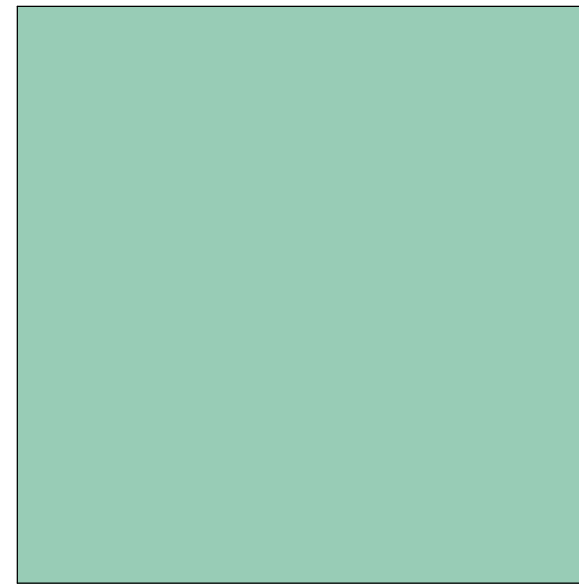
### STUCCO

EL REY - "LA LUZ"



### STUCCO ACCENT

LA HABRA - "COLONIAL WHITE"



### DOORS & WINDOWS

SIERRA PACIFIC - "AQUA MIST"



### WOOD STAIN (PORTALS)

SHERWIN-WILLIAMS - "PROVINCIAL"