

Mr. Becker, referring to the lower level with the display window, a set of doors, then another display window, asked if the last display window to the right was a wooden panel window. Mr. Hogan said this was correct. Mr. Becker said more details of these was needed, and asked if they would have divided lites. Mr. Hogan said they were not intended to have divided lites, but could show wood grain.

Chair Woods asked if it was a raised panel door. Mr. Hogan said it was.

Chair Woods said that the whole purpose of returning to the Board for this review was to provide these types of details, and suggested tabling the case until after the next case in order to allow Mr. Hogan to draw these details on the drawings which would be submitted. Mr. Hogan agreed this would be a good idea.

Mr. Becker moved to table Case #H-94-57. Mr. Romero seconded the motion, which passed by unanimous voice vote.

[This case was taken off the table later during this same meeting, beginning on page 11 of these minutes.]

NEW BUSINESS

Case #H-94-168. 431 Arroyo Tenorio. Downtown and Eastside Historic District. Debi Sanchez proposes an addition on east elevation; yard wall construction.

Mr. Lucero presented the staff report. [Attached as Exhibit "B".]

Present and sworn was Debi Sanchez, 431 Arroyo Tenorio, who said she was proposing an 8' by 10' addition. She added that the existing house is 16' from the property line, and would still meet setback requirements. Ms. Sanchez said the stucco color would be buckskin.

There were no speakers from the public regarding this project.

There were no questions from the Board.

Mr. Cohen moved for approval of Case #H-94-168. Mr. Becker seconded the motion. The motion passed by unanimous voice vote.

Case #H-94-169. 712 Acequia Madre. Downtown and Eastside Historic District. Anne Embree, proposes a one story garage/studio.

Mr. Lucero presented the staff report. [Attached as Exhibit "C".]

Present and sworn was Clair Lange, 43B Alamo Lane. Ms. Lange said the glazing which was of concern to staff was in an enclosed courtyard, and that if the Board preferred, they could be true-divided-lite.

Referring to the French doors which were less than 3' from the corner, Ms. Lange said the existing building was 10' away and they wanted natural light. She said the set of doors was the only place they would get natural light because of the "shadow" from the existing building. She said she could move the doors, but would prefer to leave them at this location.

Ms. Lange said the third concern that staff had was the wall which connects the studio with the existing structure. She said the owner wished to have a gated entry with a high wall, but that it could be reduced in height to 6'.

Mr. Becker asked if the French doors were on the north elevation. Ms. Lange agreed that they were. Mr. Becker noted there would not be a shadow from the existing building on this side. Ms. Lange replied, "It's only 10' away." Mr. Becker explained that there could not be a shadow from the building to the north. Ms. Lange asked, "Absolutely never?" Mr. Becker noted that this was the reason that artists liked north light, because it was never in shadow, and so should not be a problem for the owner. Ms. Lange said she stood corrected.



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909

Project description . . : ADDITION ON EAST ELEV; YARD WALL CONST.
Project number . . . : 94- 10100120
Case Number : H-94-168
Project type : HISTORIC DESIGN REVIEW BOARD
Application date . . : 09/22/94

PROJECT LOCATION(S) : 431 Arroyo Tenorio

PROJECT NAMES:

OW- Sanchez, Debi 431 Arroyo Tenorio
Santa Fe, NM 87501 (505) 9884763

PROJECT DATA

HISTORICAL DISTRICT	DOWNTOWN AND EASTSIDE
HISTORIC BUILDING STATUS	CONTRIBUTING
PUBLICLY VISIBLE FACADE-EAST	YES
PUBLICLY VISIBLE FACADE-NORTH	NO
PUBLICLY VISIBLE FACADE-SOUTH	YES
PUBLICLY VISIBLE FACADE-WEST	YES
HISTORIC DISTRICT AREA NUMBER	3
HISTORIC DIST SURVEY NUMBER	88
AGE OF STRUCTURE	CA. 1935-40
PROJECT TYPE (NEW, ADD, ETC.)	ADDITION

City of Santa Fe, New Mexico

memo

DATE: 11 October 1994
TO: Historic Design Review Board Members
FROM: Mary Grzeskowiak, Planner III *Mg*
VIA: Dennis Thompson, Planning Division Director *mjl
FOY
DT*

CASE #H-94-168 ADDRESS 431 Arroyo Tenorio

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS	APPLICANT SUBMITTALS
<input type="checkbox"/> Case Synopsis	<input checked="" type="checkbox"/> Proposal Letter
<input checked="" type="checkbox"/> District Guidelines	<input checked="" type="checkbox"/> Vicinity Map
<input checked="" type="checkbox"/> State Historical Survey Sheet	<input checked="" type="checkbox"/> Site Plan/FloorPlan
<input type="checkbox"/> Minutes of _____	<input checked="" type="checkbox"/> Photographs
<input type="checkbox"/> Other _____	<input checked="" type="checkbox"/> Elevations
	<input type="checkbox"/> Other _____

STAFF RECOMMENDATIONS:

The applicant has illustrated an addition on the east elevation of the historic structure on the subject site. The addition, which houses a closet and entry area to the residence will be finished to be in keeping with the existing architecture of the building. Its height is kept below the height of the existing building by 1 foot so as to distinguish it from the exiting. As well, the proposed addition includes a portal which is detailed with simple features such as a post and lintel which supports a flat parapet with canale.

Staff presumes the primary facade of this structure to be that which faces Arroyo Tenorio. With the HDRB's concurrence on this matter, staff notes that the historic preservation standards in the SFCC have been met with regards to placement and design of the addition. As a result, staff recommends approval.

14-70.9 Standards; Downtown and Eastside.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls:

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations:

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection:

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts:

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements:

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

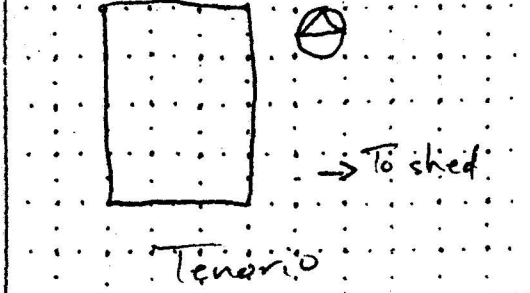
(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below:

(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits:

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang.
(Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)

building threatened? yes	survey date 24-186 by M	county Santa Fe	ID no. 051601088
field map SFHD	number 3-01088	UTM reference zone 12 13	easting northing
location description 431 Tenorio		city/town Santa Fe	
building name		legal description TNSP N S range E W sec	
film roll by M no. 4	negative nos. 34	loc. of neg. [APP]	plan shape



date of construction
1935-40 estimate _____ actual _____
source
Bus Dir

use
present residential
other _____
historic residential
other _____

condition
_____ excellent good
_____ fair _____ deteriorating

degree of remodeling
 minor _____ moderate _____ major
describe:

surroundings
Res
relationship to surroundings
 similar _____ not similar

district potential
_____ yes _____ no

significance
_____ eligible of _____ none
interest
if eligible, why? contrib.

associated buildings? yes
what type?
Shed
if inventoried, list ID nos.

see back? _____ yes

style Pueblo Rev
FOUNDATION MATERIALS NV
wall material/surface Adobe / Stucco

Architectural features
Roof - flat, parapet, metal flues, 2 masonry chimneys
Vigas ends axed & randomly placed
Windows - 6 lite casmt, turquoise trim
Door - 6 panel wood, turquoise
Shed - adobe w adobe stucco, wood corbel, wood vigas
Garden wall - adobe, adobe stucco, river run foundation.

comments

September 20, 1994

Historic Design Review
City of Santa Fe

Re: Addition to property located at 431 Arroyo Tenorio in Santa Fe, New Mexico.

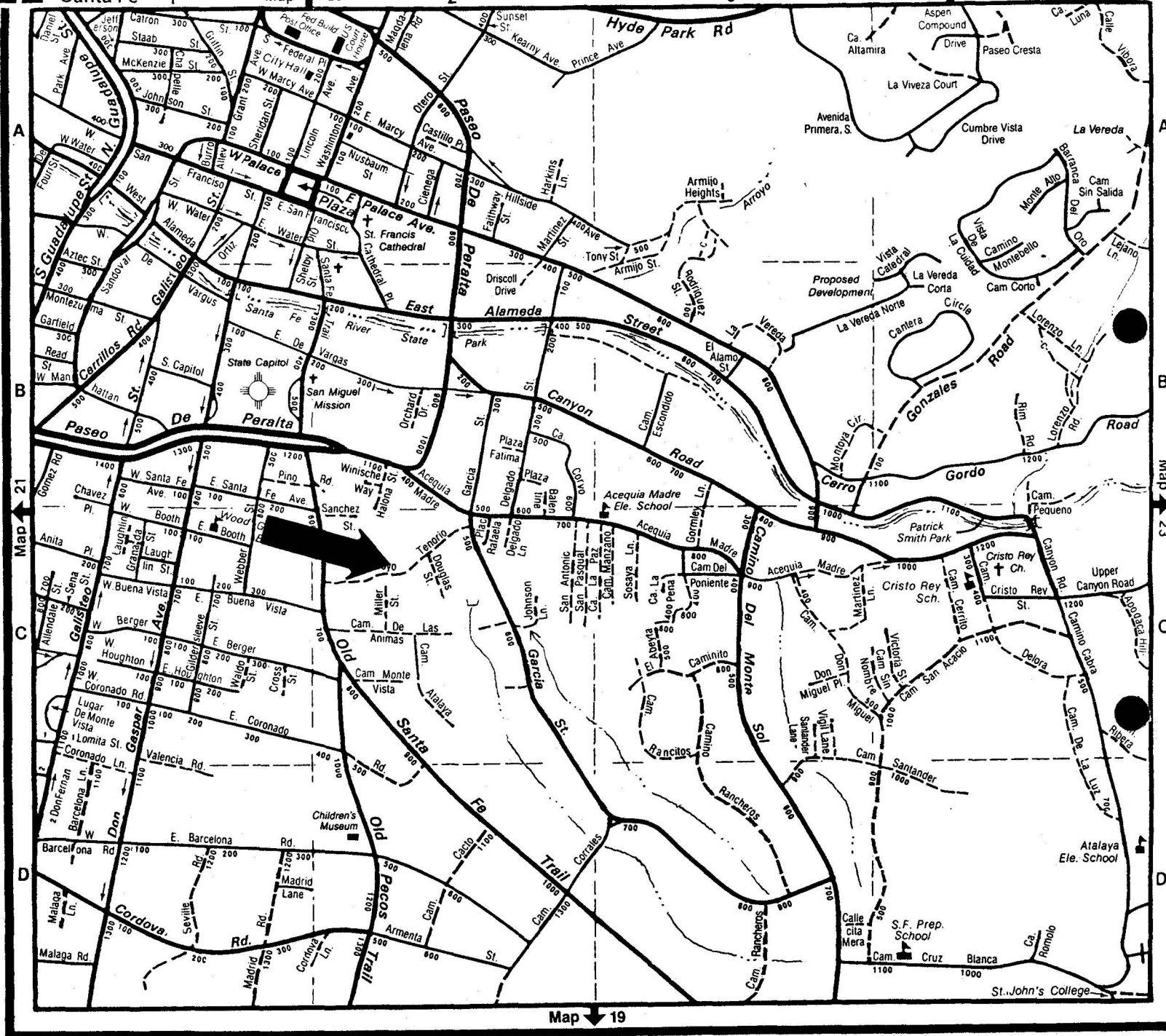
Dear Committee,

Existing at 431 Arroyo Tenorio is a 950 s.f. adobe home that is approximately 70 years old. Proposed construction includes ~~a~~ 80 s.f. of heated area that is to be an entry and a 80 s.f. portal of adobe/stucco construction. Also proposed is a 6 foot yard wall that faces west on the northern portion of the site and I intend to raise the existing wall that is along the southern property boundary to a height of 7 feet. The yard walls are to be adobe/stucco. Stucco color is to be Buckskin. Style of the addition is to be in keeping with the existing improvements.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'Debi Sanchez', with a large, stylized flourish at the end.

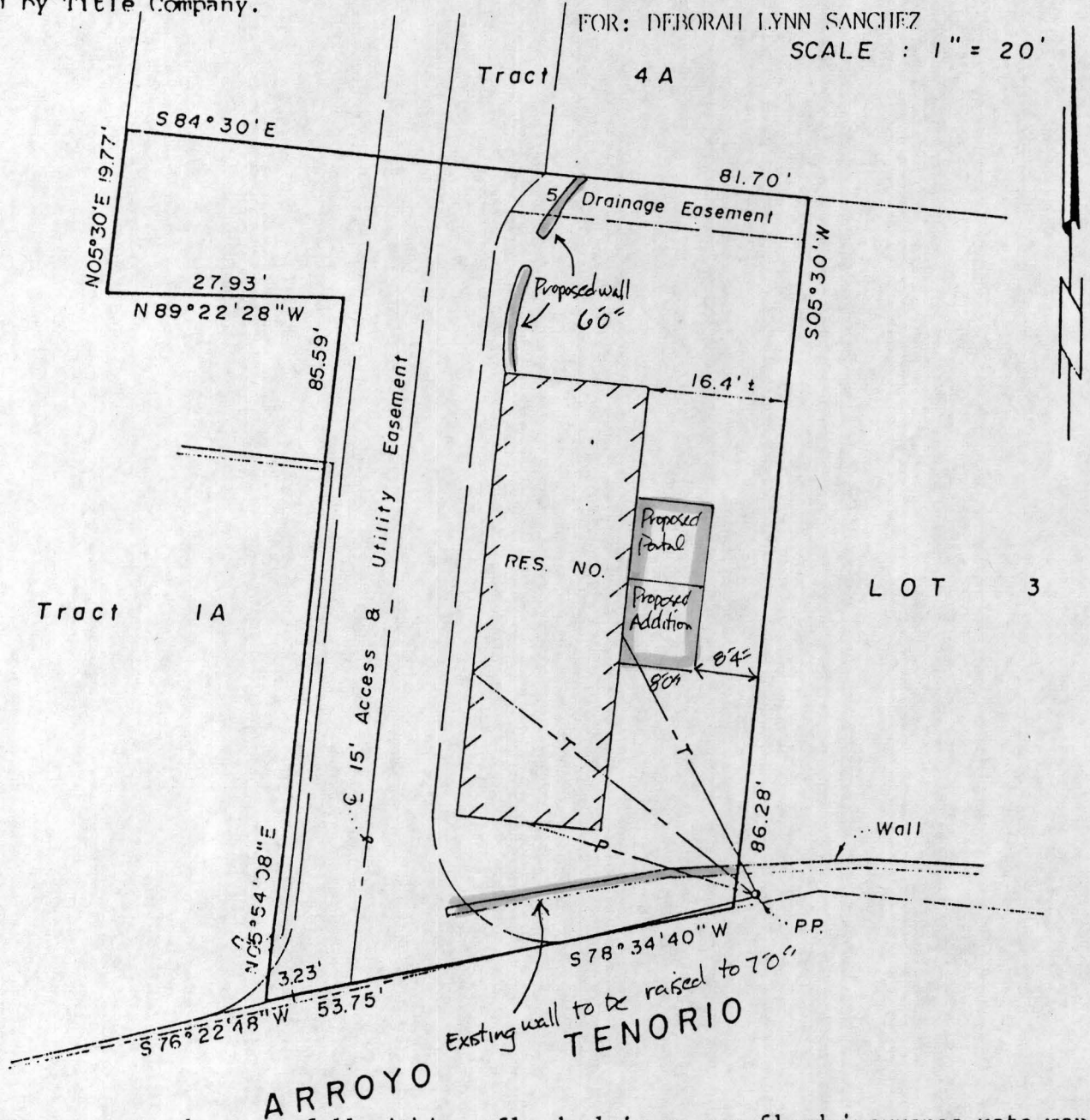
Debi Sanchez



NOTE: Bearings, distances and/or curve data are taken from the following plat (include filing information if plat is filed)

Revised Lot 2, as shown and delineated on the plat entitled "Lot Line Adjustment Survey Plat prepared for William Chapman showing Replat of Tracts 4A, Lots 2 and 3 Plat recorded in Book 226, page 022, City and County of Santa Fe, N.M.", filed October 21, 1993 as Instrument No. 834,883 and recorded in Plat Book 257, page 030, in the Office of the County Clerk, Santa Fe County, New Mexico.

NOTE: The error of closure is one foot of error for every 200,000 feet along the perimeter of the legal description provided. Encumbrances shown thereon are as listed in Title Commitment No. 403007 DK provided by Title Company.

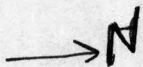


NOTE: This property does not fall within a flood plain as per flood insurance rate map, community-panel no. 350070 0005 B, effective date July 2, 1980.

This report is not to be relied on for the establishment of fences, buildings, or other future improvements.

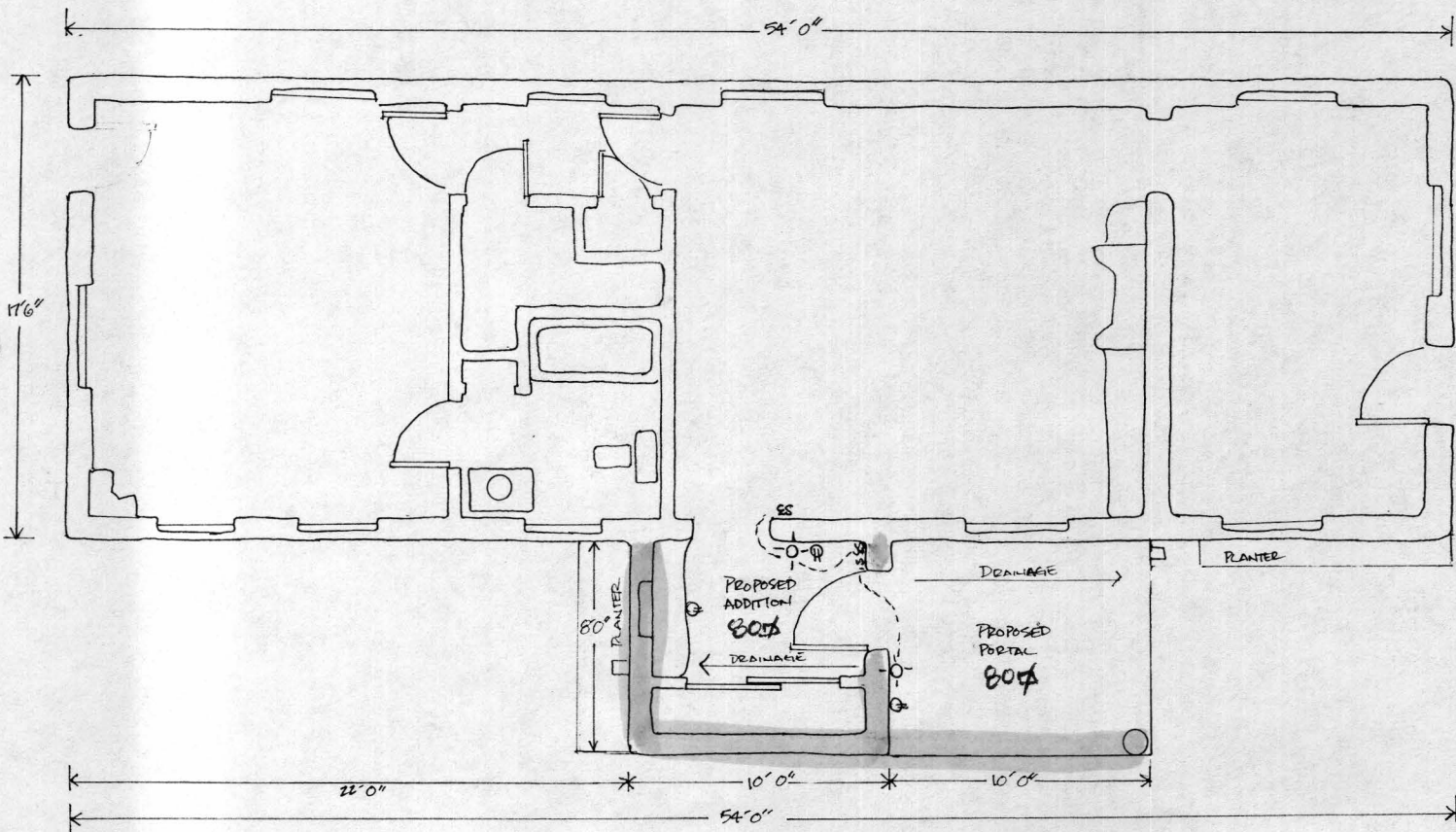
Improvement location is based on previous property surveys. No instruments were recorded. This tract is subject to all easements, restrictions and reservations of record which pertain.

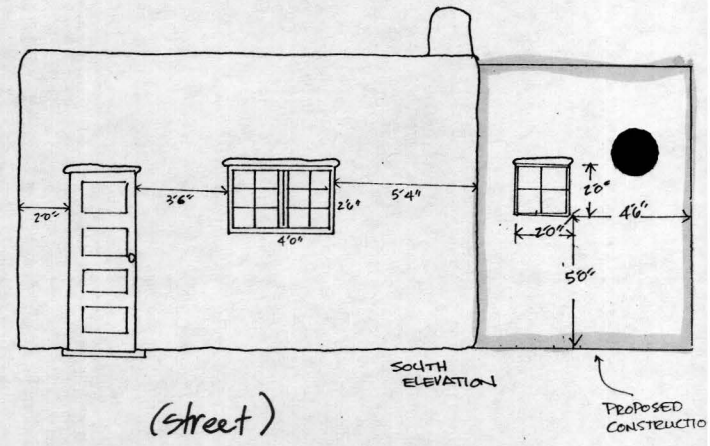
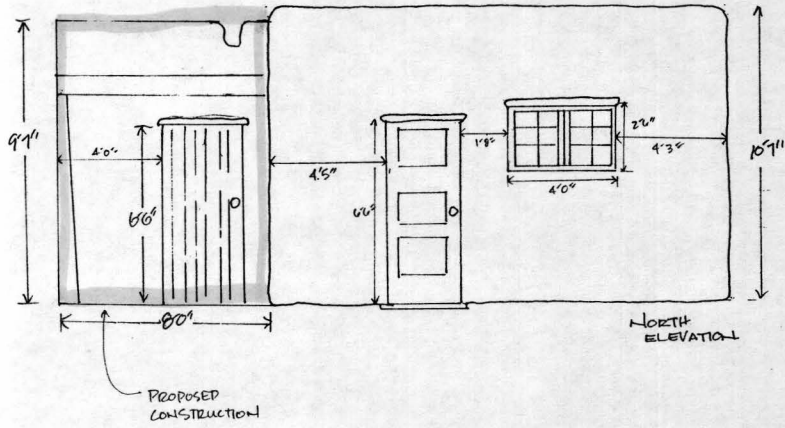
431 ARROYO TENORIO



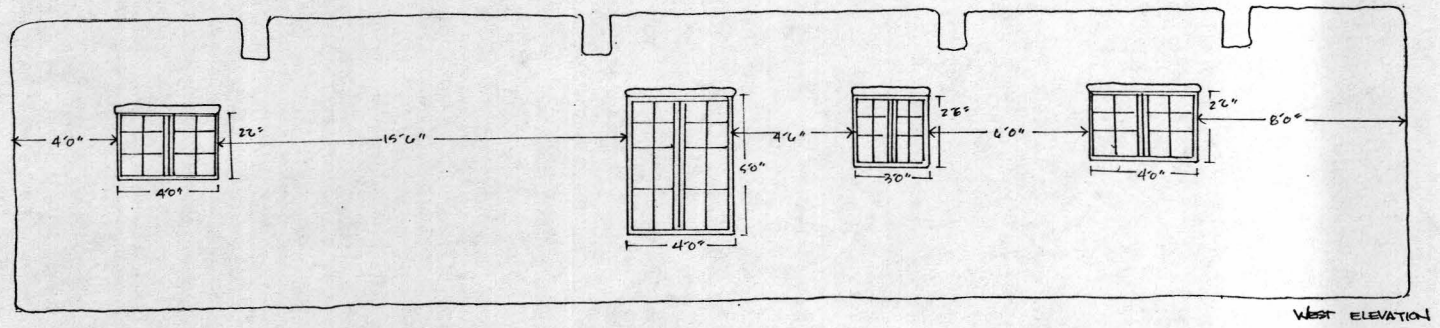
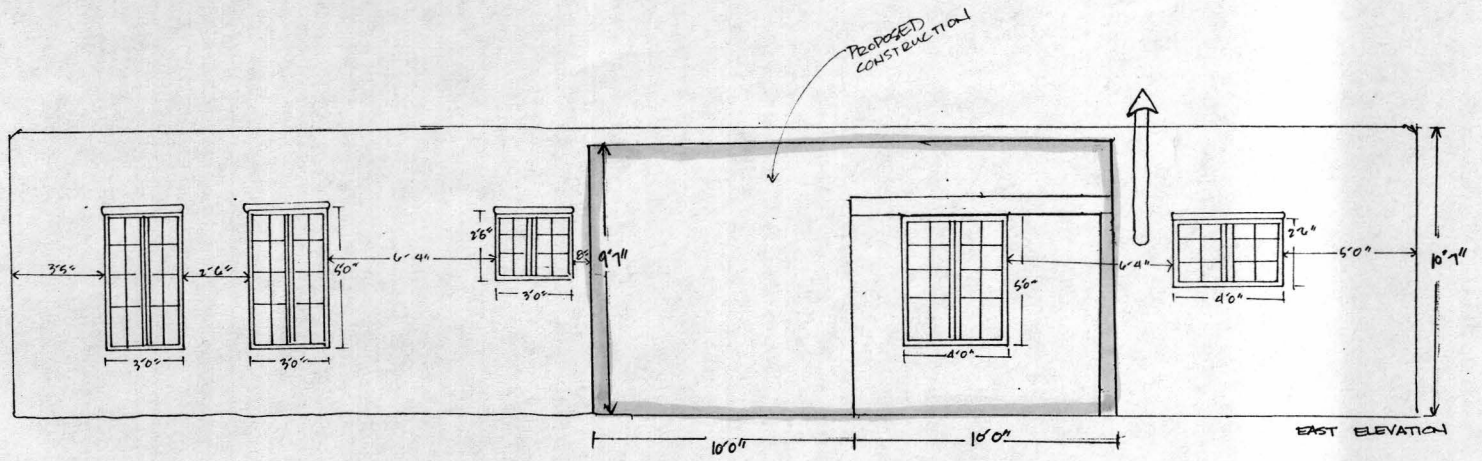
FLOOR PLAN
ROOF DRAINAGE PLAN
ELECTRICAL PLAN

STREET





SCALE 1/4" = 1'



SCALE $\frac{1}{4}'' = 1'$

431 Arroyo Tenorio

Borrower/Client **Debi Sanchez**

Property Address **431 Arroyo Tenorio**

City **Santa Fe**

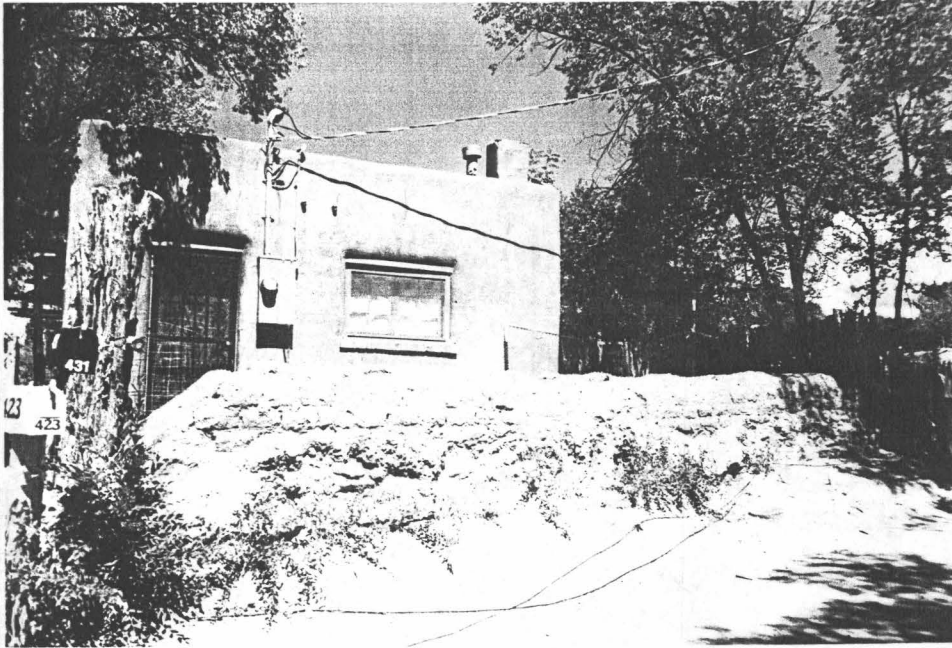
County **Santa Fe**

State

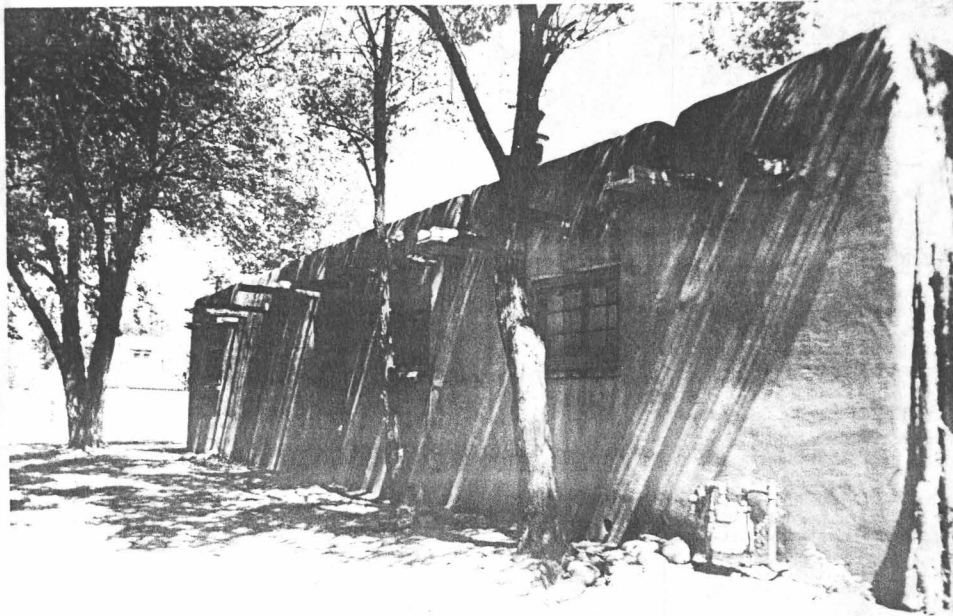
NM

Zip Code **87501**

Lender



South elevation
Facing Street



West elevation

431 Arroyo Tenorio

Borrower/Client **Debi Sanchez**

Property Address **431 Arroyo Tenorio**

City **Santa Fe**

County **Santa Fe**

State

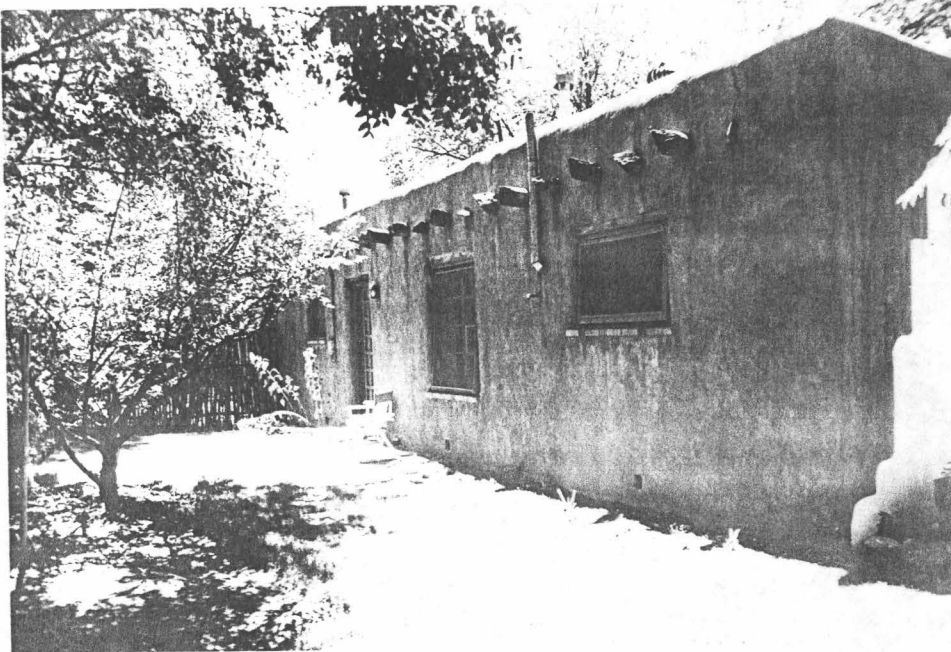
NM

Zip Code **87501**

Lender



North elevation

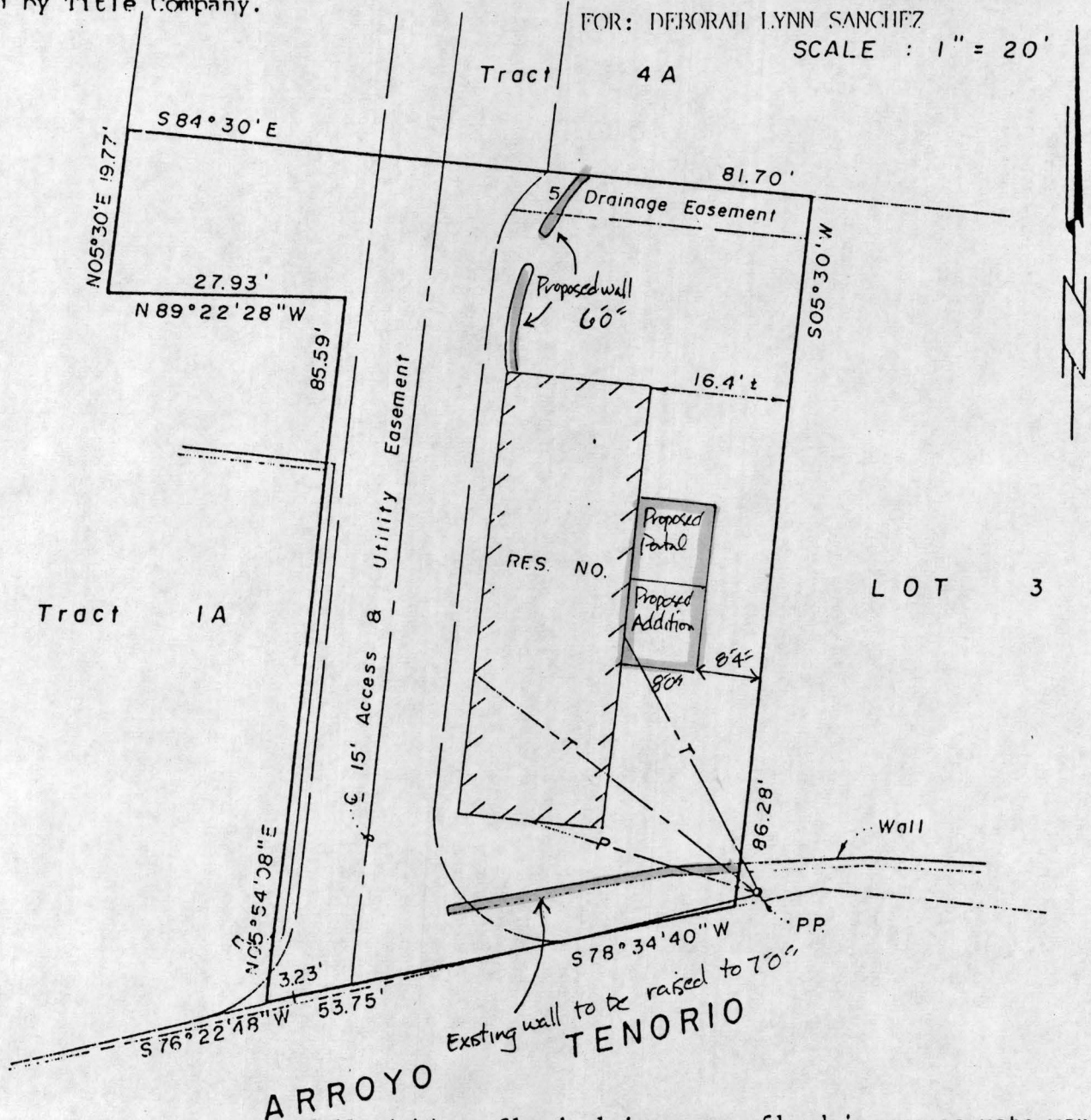


East elevation

PLAT REFERENCE: Bearings, distances and/or curve data are taken from the following plat (include filing information if plat is filed)

Acquired Lot 2, as shown and delineated on the plat entitled "Lot Line Adjustment Survey" Plat prepared for William Chapman showing Replat of Tracts 4A, Lots 2 and 3 Plat recorded in Book 226, page 022, City and County of Santa Fe, N.M.", filed October 21, 1993 as Instrument No. 834,883 and recorded in Plat Book 257, page 030, in the Office of the County Clerk, Santa Fe County, New Mexico.

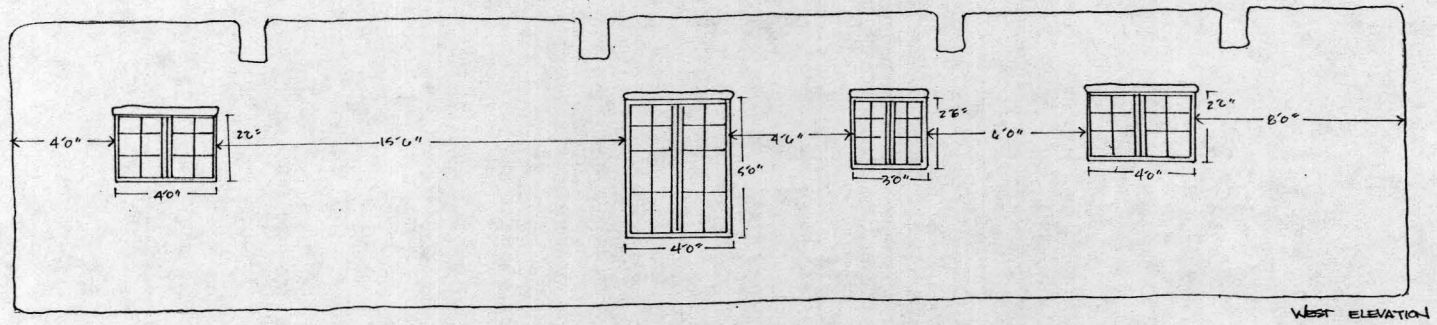
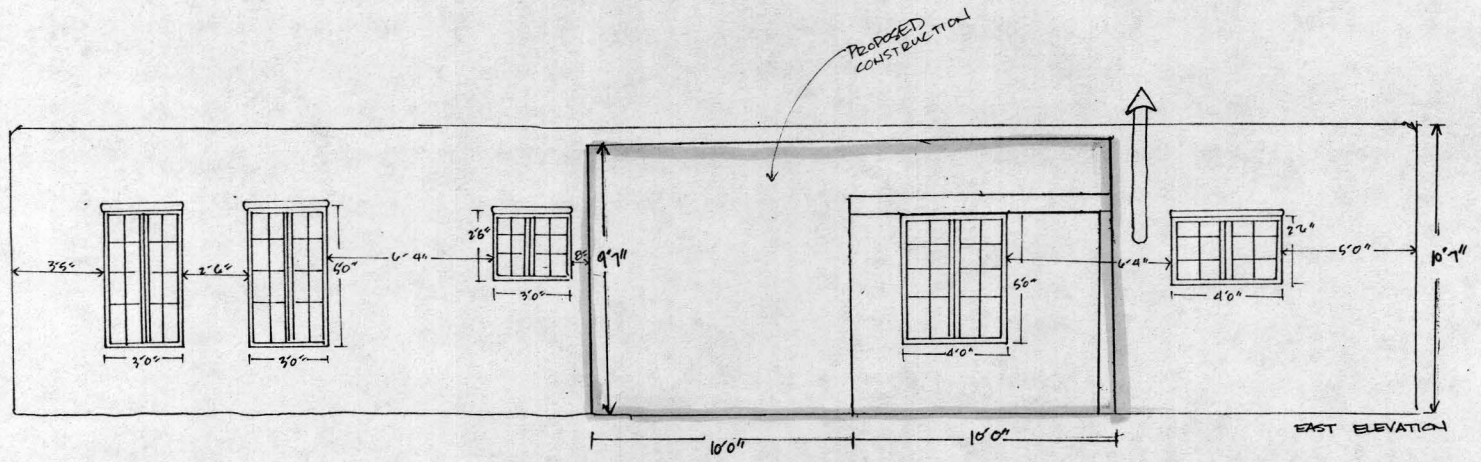
NOTE: The error of closure is one foot of error for every 200,000 feet along the perimeter of the legal description provided. Encumbrances shown thereon are as listed in Title Commitment No. 403007 DK provided by Title Company.



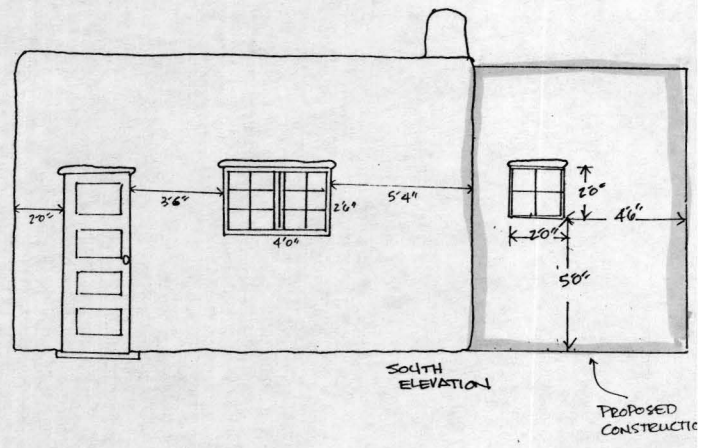
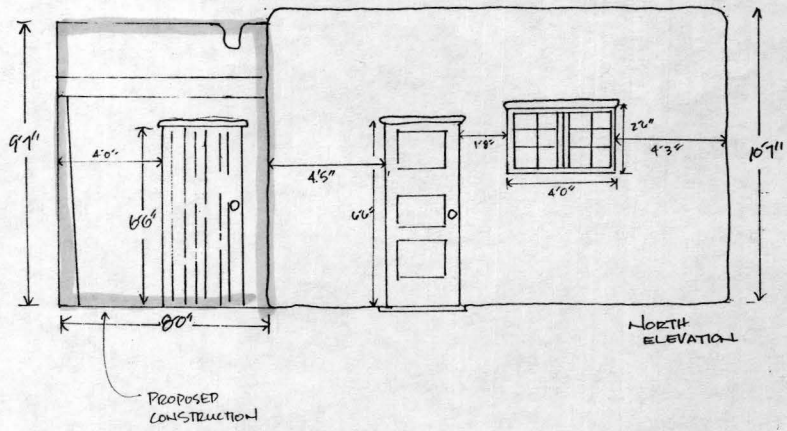
NOTE: This property does not fall within a flood plain as per flood insurance rate map, community-panel no. 350070 0005 B, effective date July 2, 1980.

This report is not to be relied on for the establishment of fences, buildings, or other future improvements.

Improvement location is based on previous property surveys. No instruments were... This tract is subject to all easements, restrictions and reservations of record which pertain.



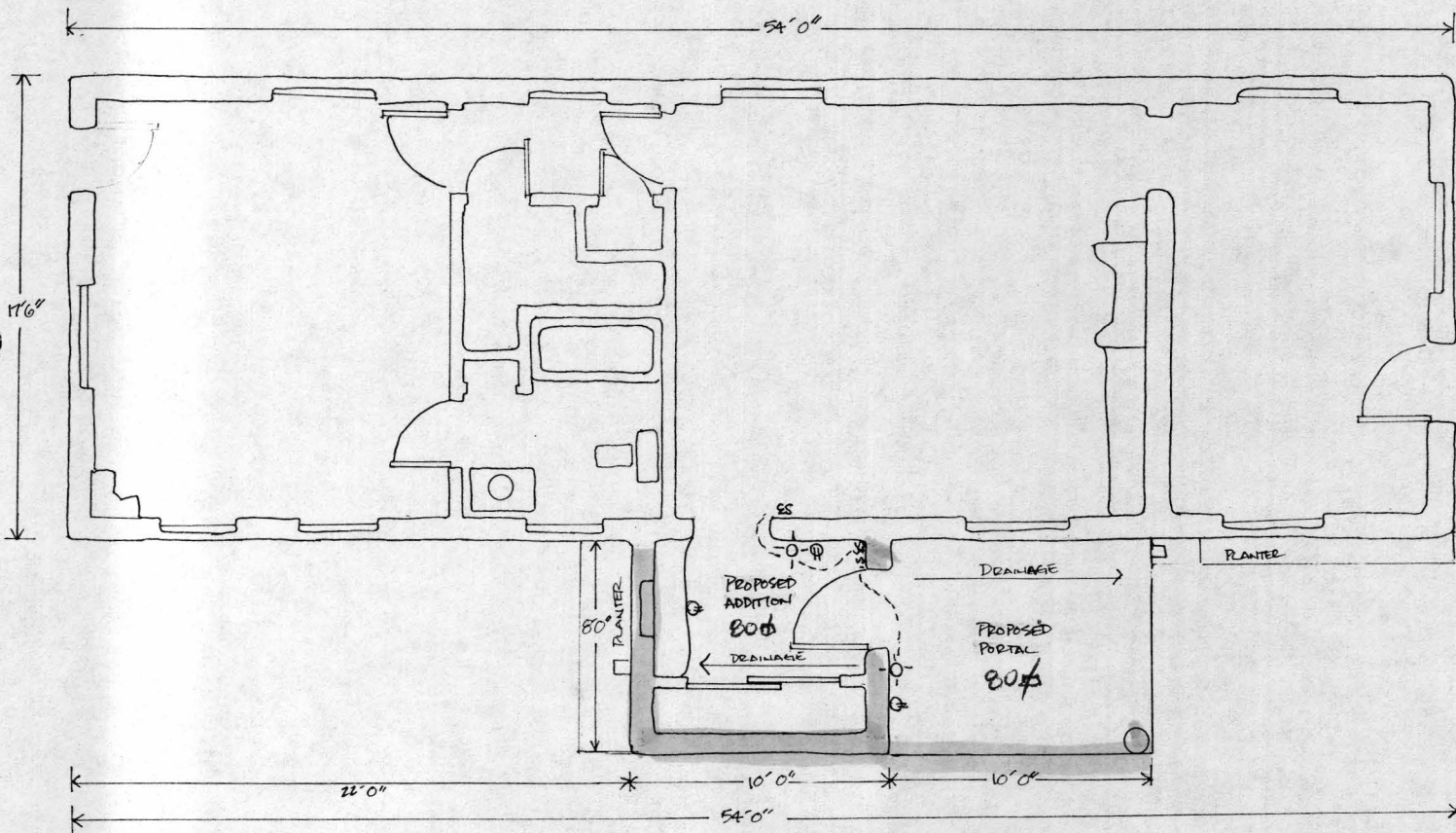
SCALE $\frac{1}{4}'' = 1'$



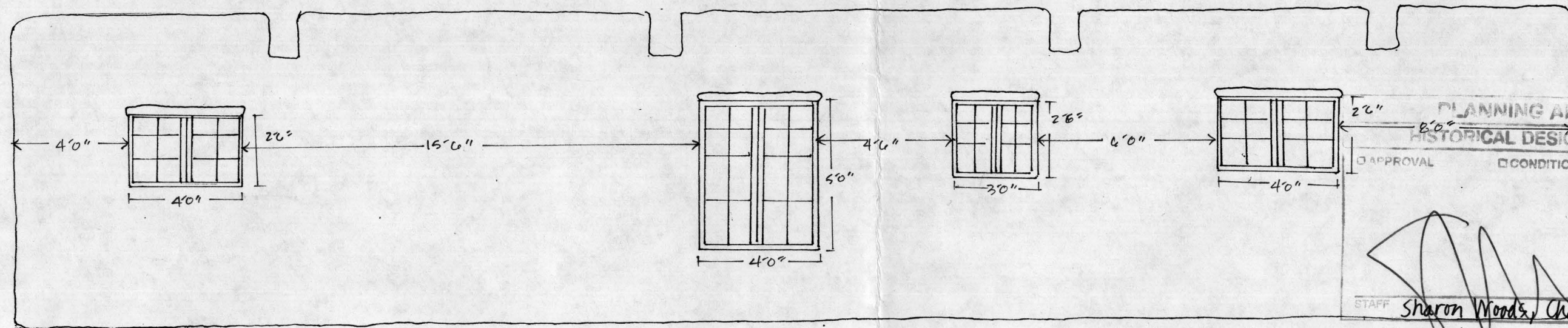
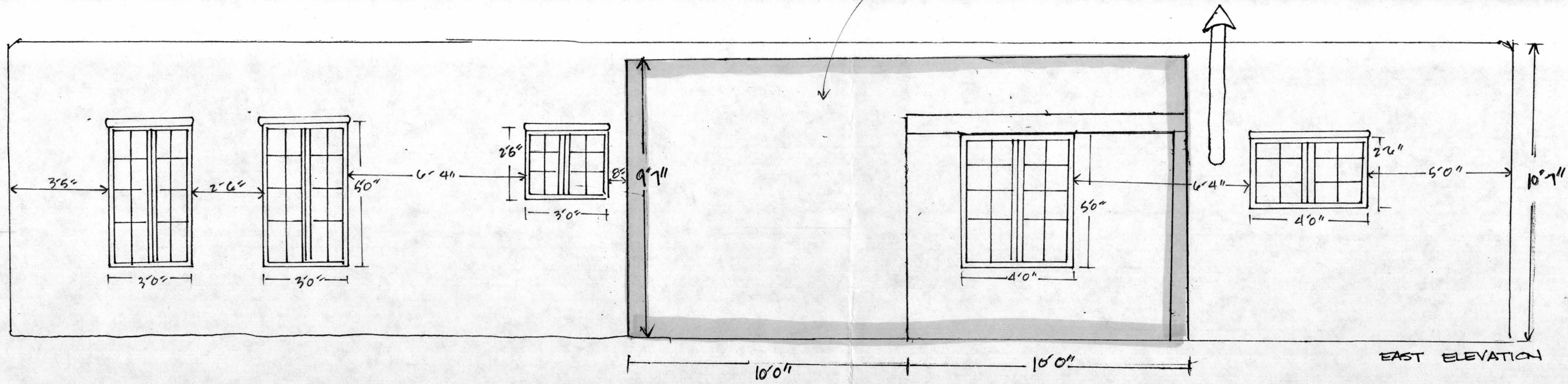
SCALE 1/4" = 1'

431 ARROYO TENORIO

FLOOR PLAN
ROOF DRAINAGE PLAN
ELECTRICAL PLAN



PROPOSED CONSTRUCTION



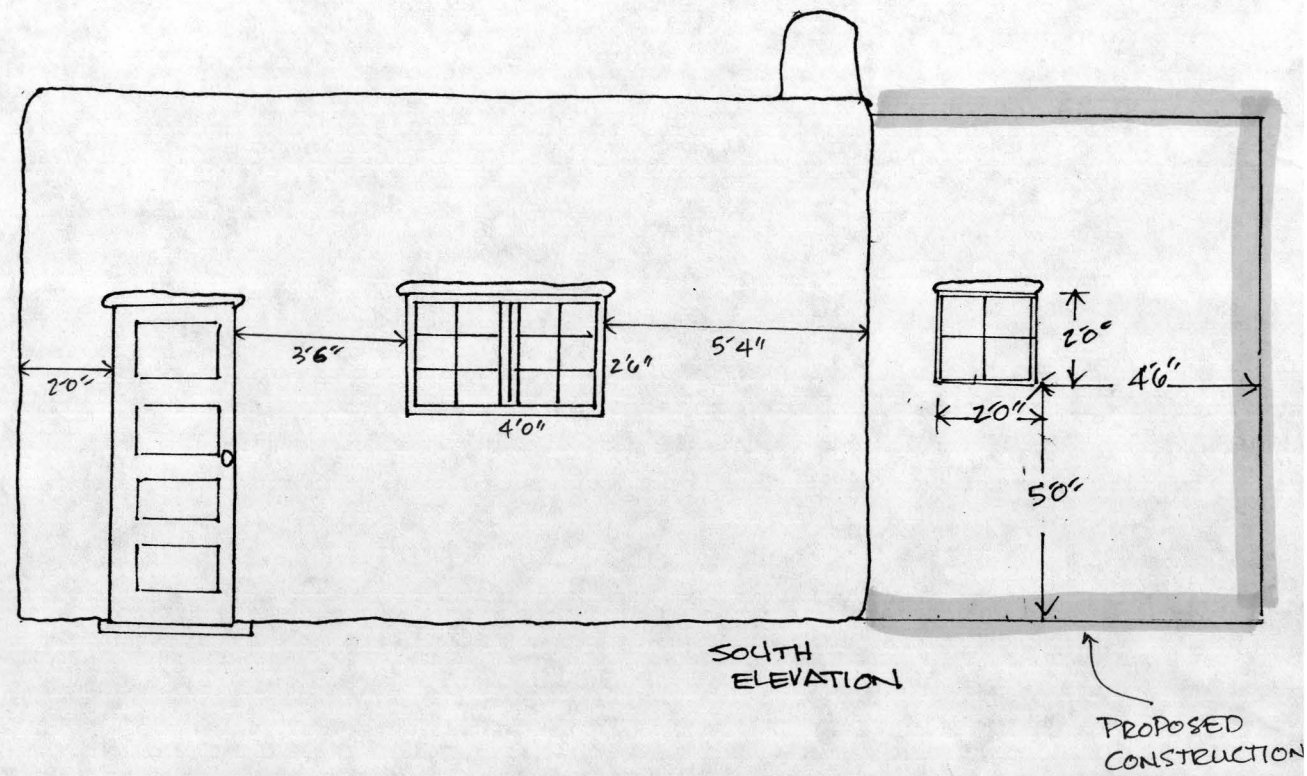
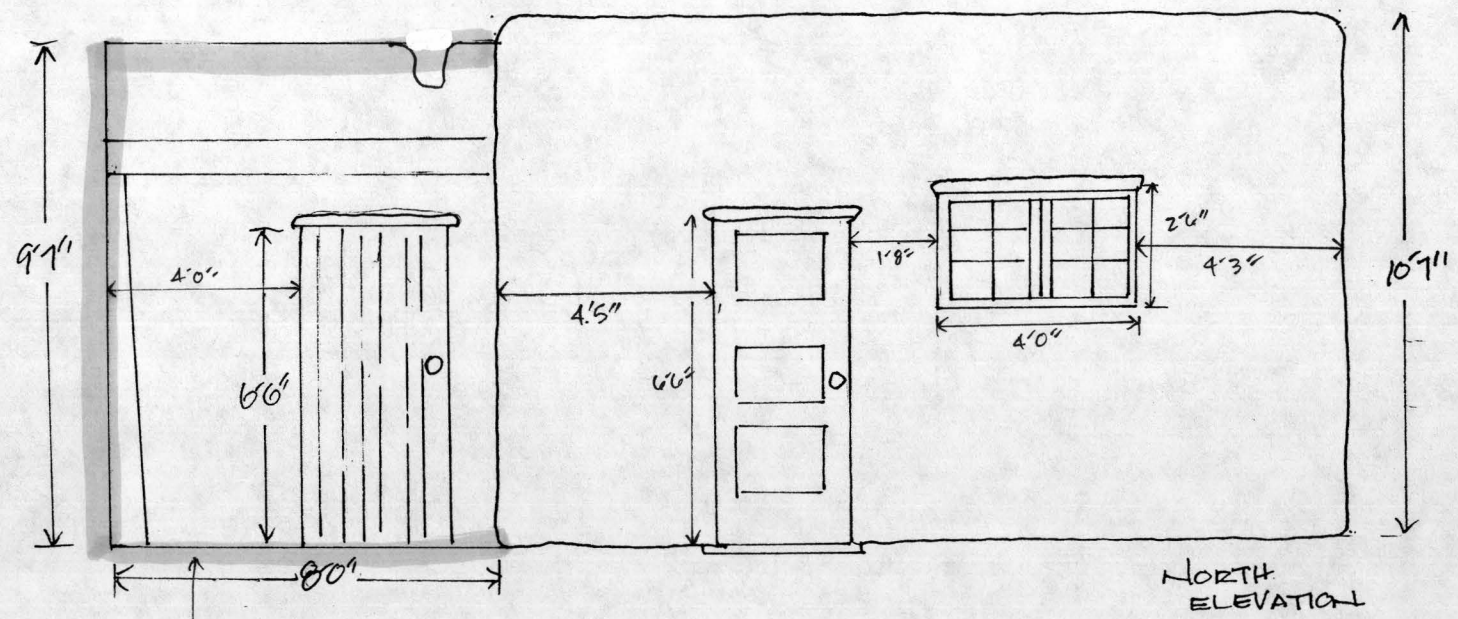
PLANNING AND LAND USE
HISTORICAL DESIGN REVIEW BOARD

APPROVAL CONDITIONAL APPROVAL REJECT

STAFF *Sharon Woods, Chair* DATE *10/11/94*

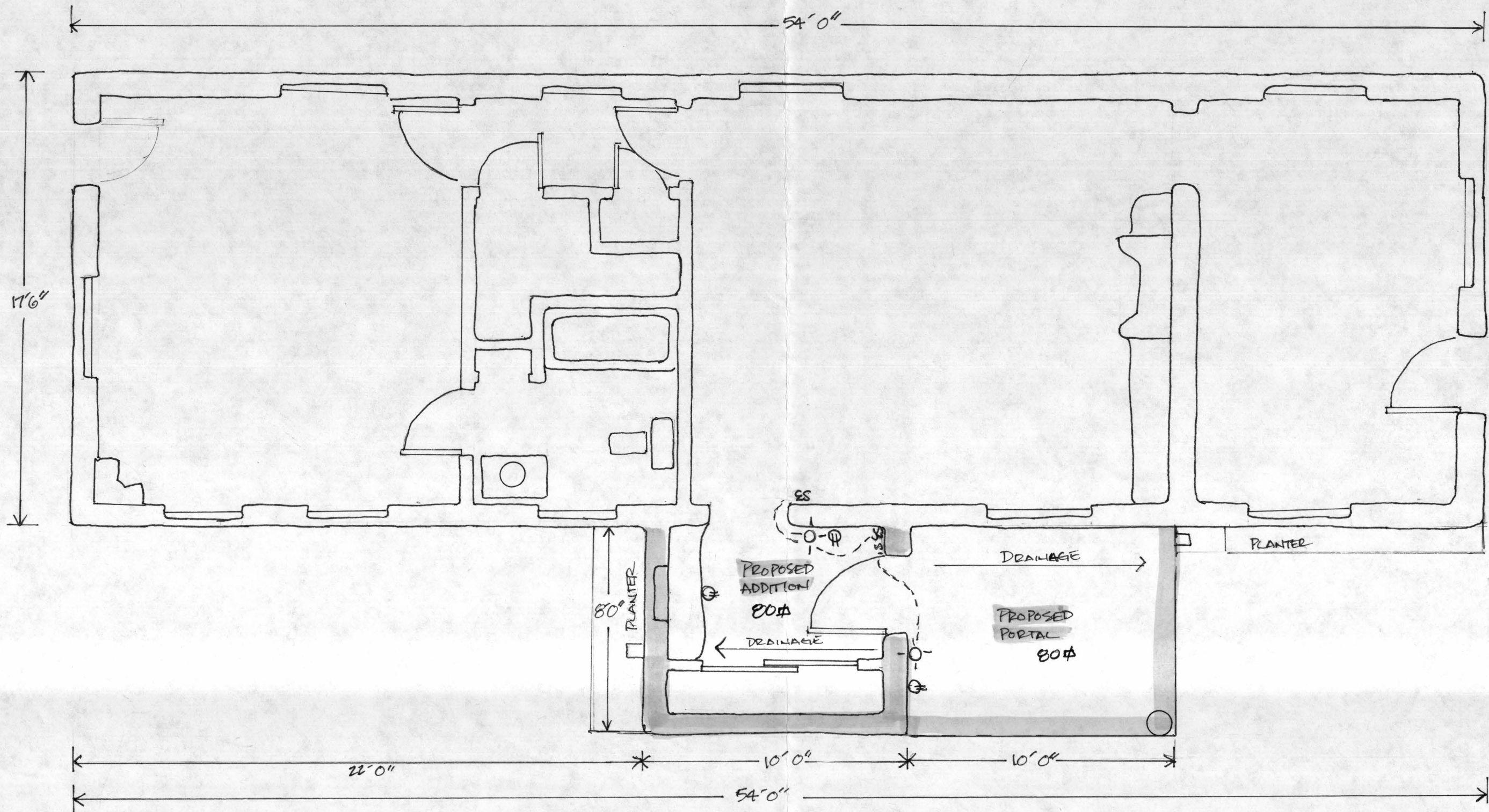
WEST ELEVATION
H-94-168
431 Arroyo Tenorio

SCALE 1/4" = 1'



SCALE 1/4" = 1'

FLOOR PLAN
ROOF DRAINAGE PLAN
ELECTRICAL PLAN



SCALE 1/4" = 1'

SURVEYOR'S INSPECTION REPORT

TO TITLE CO.: Titles De Santa Fe

BY UNDERWRITER: IRW

TO LENDER: Los Alamos National Bank

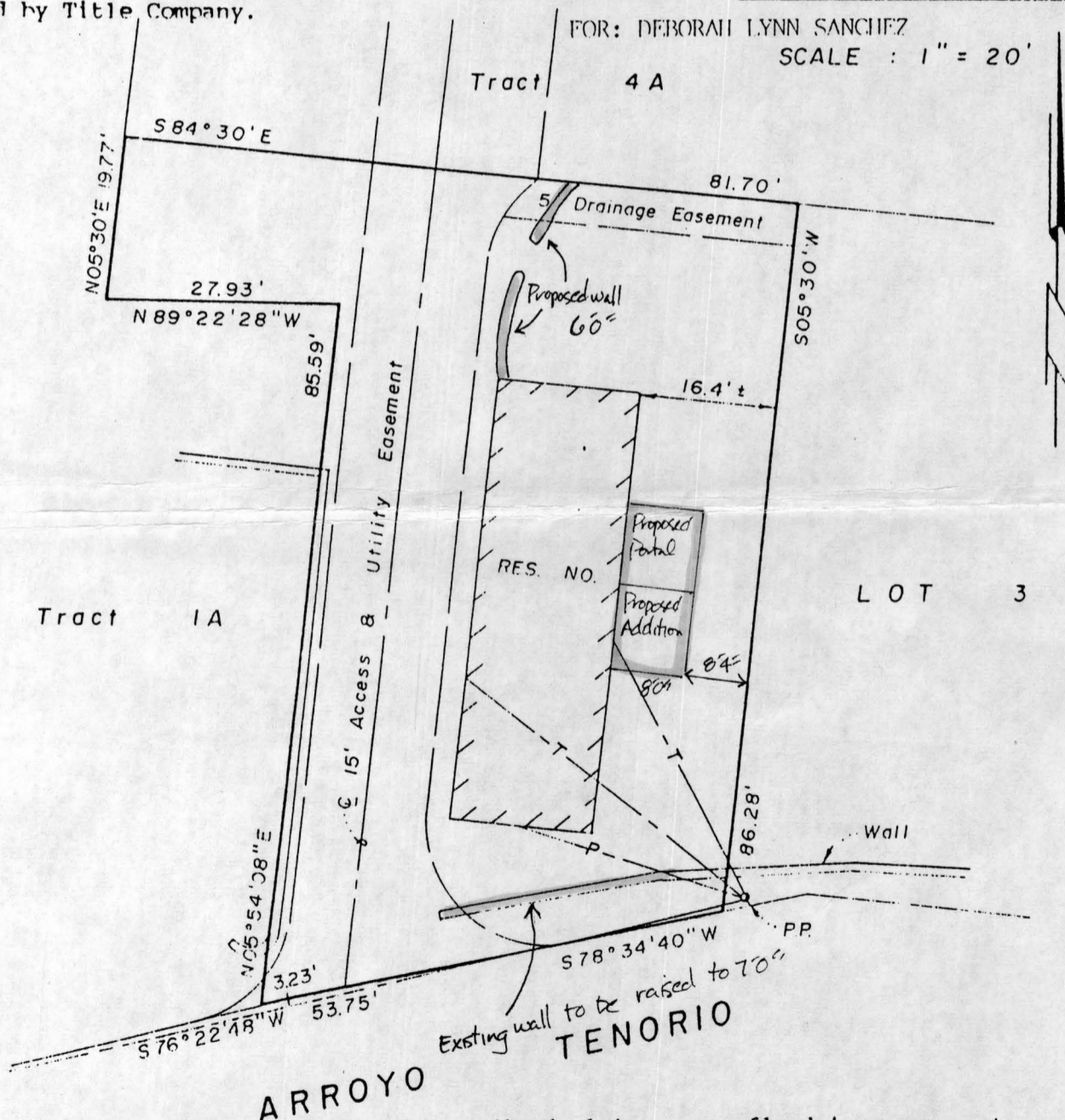
THIS IS TO CERTIFY, THAT ON April 25, 1994, I MADE AN ACCURATE INSPECTION OF THE PREMISES SITUATED AT Santa Fe, Santa Fe COUNTY, NEW MEXICO.

BRIEFLY DESCRIBED AS: 431 Arroyo Tenorio address, if applicable

PLAT REFERENCE: Bearings, distances and/or curve data are taken from the following plat (include filing information if plat is filed)

Needed Lot 2 as shown and delineated on the plat entitled "Lot Line Adjustment Survey Plat prepared for William Chapman showing Replat of Tracts 4A, Lots 2 and 3 Plat recorded in Book 226, page 022, City and County of Santa Fe, N.M.", filed October 21, 1993 as Document No. 834,883 and recorded in Plat Book 257, page 030, in the Office of the County Clerk, Santa Fe County, New Mexico.

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NOTE: This property does not fall within a flood plain as per flood insurance rate map, community-panel no. 350070 0005 B, effective date July 2, 1980. This report is not to be relied on for the establishment of fences, buildings, or other future improvements.

Improvement location is based on previous property surveys. No instruments were used. This tract is subject to all easements, restrictions and reservations of record which pertain.

431 Arroyo Tenorio

Borrower/Client **Debi Sanchez**

Property Address **431 Arroyo Tenorio**

City **Santa Fe** County **Santa Fe** State **NM** Zip Code **87501**

Lender



North elevation



East elevation

431 Arroyo Tenorio

Borrower/Client **Debi Sanchez**

Property Address **431 Arroyo Tenorio**

City **Santa Fe** County **Santa Fe** State **NM** Zip Code **87501**

Lender



**South elevation
Facing Street**



West elevation

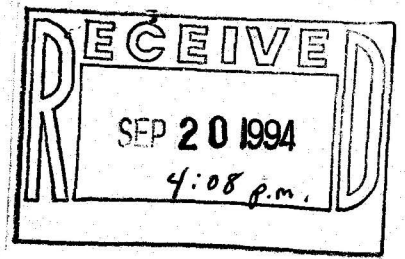


EXHIBIT (C)

HISTORIC DESIGN REVIEW BOARD APPLICATION FORM

Application Type: Preliminary Approval () Final Approval

Project Location: 431 Arroyo Tenorio Santa Fe NM 87501

Owner: Debi Sanchez Address: 431 Arroyo Tenorio Phone: 988-4763

Applicant: Debi Sanchez Address: 431 Arroyo Tenorio Phone: 988-4763

Project Proposal: Addition of entry (80%) + porch, yard wall & raise existing wall

Public Visibility: North () South East () West ()

New Construction: Single-Family Residence Multi-family Residence ()
Commercial ()

Other Construction: Demolition () Remodel () Addition Restucco
Sign(s) () Wall/Fence () Antenna () Solar ()

I certify that the documents submitted for Historic Design Review meet the minimum standards set forth in the Historical Ordinance, Section 14-70. Failure to meet these standards may result in rejection of my application. I also agree to post notice of construction/demolition on the project site seven (7) days prior to the H-Board meeting. I also hereby agree to surrender my building permit and cease construction if an appeal is filed within seven (7) days of Historical approval.

Debi Sanchez
Signature of Applicant or Owner

9-20-94
Date

FOR OFFICIAL USE ONLY

Date Received: 9/20/94 Case Number: H-94-168 Meeting Date 10/11/94

Historic District: _____ Survey Number: _____ Survey Area: _____

Age: _____ Historic Significant () Contributing ()
Source: _____ Status: _____ Non Supporting ()

Ordinance Compliance Checklist:

SECTION	DESCRIPTION	COMPLIES	
		YES	NO
14-70.1	Harmony () Proportion () Style ()	()	()
14-70.9	Harmony () Proportion () Style ()	()	()
14-70.13	Demolition	()	()
14-70.14	Minimum Maintenance Requirements	()	()
14-70.15	Signs	()	()
	Applicable District Standards	()	()

Remarks: