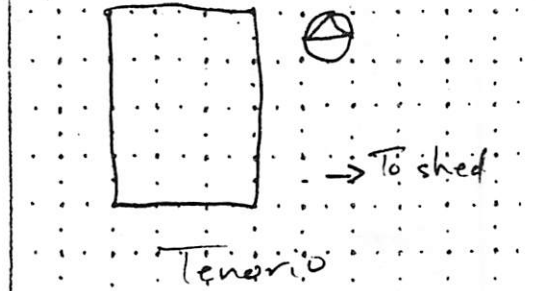
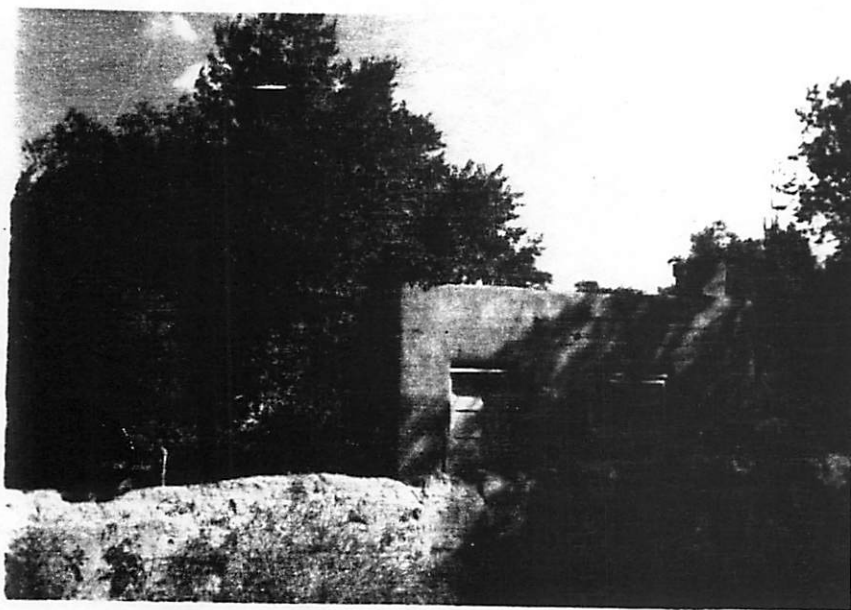


building threatened? yes	surveyed date 24-9-84 by <i>MB</i>	county Santa Fe	ID no. 051601088
field map SFHD	number 3-01088	UTM reference zone 12 13	easting northing
location description 431 Tenorio		city/town Santa Fe	
building name		legal description twp N S range E W sec	
film roll by <i>MB</i> no. 4	negative nos. 34	loc. of neg. <i>RPD</i>	plan shape



date of construction
1935-40 estimate _____ actual
source
Bus Dir

use
present residential
other _____
historic residential
other _____

condition
_____ excellent good
_____ fair _____ deteriorating

degree of remodeling
 minor _____ moderate _____ major
describe:

style
Pueblo Rev

FOUNDATION MATERIAL
NV
wall material/surface
Adobe / Stucco

architectural features
*Roof - flat, parapet, metal flues, 2 masonry chimneys
Vigas ends axed & randomly placed
Windows - 6 l. to cmT, turquoise trim
Door - 6 panel wood, turquoise
Shed - adobe w adobe stucco, wood rafter, vital vigas
Garden wall - adobe, adobe stucco, river run
foundation.*

surroundings
Res
relationship to surroundings
 similar _____ not similar

district potential
_____ yes _____ no

significance
_____ eligible of _____ none
if eligible, interest
why? *contrib.*

comments

associated buildings? yes
what type?
Shed
if inventoried, list ID nos.
see back? _____ yes

City of Santa Fe, New Mexico

memo

DATE: 11 June 1997

TO: Rudy Gallegos, Inspections and Enforcement Team Leader

VIA: Anne M. Condon, Planning Division Team Leader *AMC*
Mary J. Grzeskowiak, Historic Preservation Planner *MJG*

FROM: Heather L. Pierson, Historic Districts Case Planner *HP*

ITEM AND ISSUE

Expired Building Permit #95-876, 435 Arroyo Tenorio.

BACKGROUND AND SUMMARY

On October 2, 1996, Mr. Phil Santistevan observed construction at the above site. Mr. Santistevan discovered that the work was being conducted under an expired building permit and ordered all work be stopped through the issuance of a red tag. At that time, Mr. Santistevan instructed Mr. Philip Coombs (contractor and property owner) to renew the permit through the city's Permit and Development Review Division. Mr. Coombs was instructed to contact Mr. Joseph Martinez to begin that process. Mr. Coombs contacted Mr. Martinez, at which time Mr. Martinez explained the requirements for the reissuance of the permit.

At the time of the aforementioned site visit, Mr. Santistevan observed Mr. Coombs working on a trellis structure and laying flagstone on the property in areas dedicated for drainage. Mr. Santistevan referred the drainage issues to Mr. Jim Salazar (Grading and Drainage Specialist). The Historic Preservation Section checked the city plan set and ascertained that the trellis feature had been approved by the HDRB. The trellis feature was approved by the HDRB, and it was determined that the reissuance was the only requirement of the Historic Preservation Section in order to bring the project into compliance.

On May 8, 1997, Mr. Coombs called for a final inspection. Mr. Pete Gabaldon disapproved this inspection on the basis that the building permit had expired.

This information is being provided as a follow up to our conversation yesterday regarding the outstanding red tag on the property.

435 Arroyo Tenorio
Permit #95-876
Page 2

RECOMMENDATION

As the matter of the legality of issuing a final inspection on the site continues to go unresolved, the Historic Preservation Section requests that Mr. Coombs apply for a permit reissuance prior to receiving an approved final inspection.

CC: Mr. William C. Kueffer, Planning and Land Use Department Director
Red Tag File
Permit #95-876

b:\corr3\hlp\coombs.fin

435 Arroyo Tenorio

City of Santa Fe, New Mexico

memo

DATE: 6 December 1995

TO: Rudy Gallegos, Inspections & Enforcement Team Leader

VIA: Mary Grzeskowiak, Acting Planning Division Director *haly*

FROM: Heather Pierson, Planner II *HP*

In accordance with a discussion with William Kueffer, director of the Planning and Land Use Department, it has been decided to levy a stop work order for the entire project at 435 Arroyo Tenorio (Permit 95-876). Relative to the approved treatment of the historic structure on the site, the builder, Phillip Coombs, has not built according to permit. A stop work order is necessary to assure no additional non-compliance, and allow time for a re-review by the Historic Design Review Board.

The submittal deadline for the next HDRB meeting is December 20, 1995 for the January 9, 1996 hearing. Please inform Mr. Coombs of his obligation to submit or have him call me for more details. I will call him as well.

Phillip Coombs can be reached at 986-9801.

Call me if you need more information. Thank you for your immediate assistance in this matter.

xc: William C. Kueffer
Phillip Coombs

corr/hlp/coombs.stc

Bulldozing of old adobe legal, city says

BY LORI PUGH
JOURNAL STAFF WRITER

A partial demolition of a one-room, 50-year-old, roofless adobe building generated frantic calls to City Hall on Tuesday.

Neighbors and others were concerned that the contractors were illegally demolishing a building on Arroyo Tenorio, deemed historic by the city's Historic Design Review Board.

Sharon Woods, chairwoman of the Historic Design Review Board, said she was glad so many people called in their concerns because it shows a growing sensitivity to preserving historic structures.

The board agreed in April to allow property owner Phillip Coombs to demolish part of the building's four walls so he could build a new house in the old, established, tree-lined neighborhood. The board wanted him to retain the north wall with its rubble-wall foundation, which faces the street, to preserve the area's streetscape. The west wall and a portion of the south wall also are to be preserved.

In response to calls made to the Planning Department and the city manager's office, city planner Heather

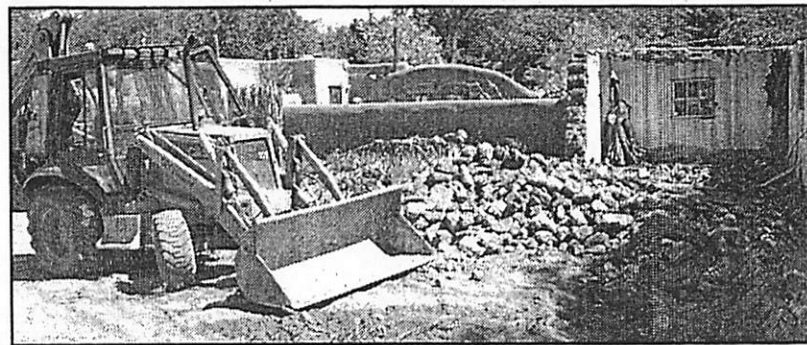
Pierson ordered the workers to stop the demolition at about 2:40 p.m. Tuesday.

Rudy Gallegos, inspection and enforcement division team leader, and Mary Grzeskowiak, acting planning division team leader, lifted the desist order about 11:30 a.m. Wednesday after measuring the walls to make sure the workers hadn't destroyed too much of them.

The wall facing the street was about one foot shorter in some places than it was supposed to be, but Grzeskowiak said that was all right because the curve in that wall is going to be rebuilt.

Those who violate conditions set by the Historic Design Review Board could be summoned to court by the city where Municipal Judge Tom Fiorina could fine them hundreds of dollars per day of violation if they are found guilty.

Coombs said he checked the city's historic building list before he bought the property to see if he could demolish the building. Once he bought it, he said, the historic board determined at least part of it should be preserved. Three public hearings later, Coombs got his approval to build a Territorial-style home in exchange for restucco-



JANE BERNARD/JOURNAL

Tuesday's partial demolition of an old adobe building at 435 Arroyo Tenorio caused a flurry of calls to City Hall. City officials stopped work at the site for about 24 hours until they had determined the property owner had not violated conditions placed on the demolition.

ing and preserving part of the wall.

Grzeskowiak said the building once was listed as a historic building, but appeared to disappear from the list when the property was subdivided.

Coombs, who says he intends to follow the historic design review board's requirements, was miffed that the stop order cost him time and money.

"I'm going to have to pay the price," he said.

Coombs said he wished the city would have done its homework before it stopped the demolition.

Grzeskowiak said Pierson was right to put in the stop order Tuesday, but she and Gallegos were not available to check on the dimensions until Wednesday.

"Because of a rash of phone calls, we were obligated to respond immediately," she said.

"It is a very tight neighborhood on Arroyo Tenorio," Grzeskowiak said. "The folks who called — they have been watchful of this project site in part, I believe, because it sat as vacant land (for a long time)."

BRIEFS FROM JOURNAL REPORTS

Thief takes off with Lota Burger register

TAOS — A diminutive, unarmed suspect entered a Blake's Lota Burger about 8:15 p.m. Tuesday and left with a large cash register, Taos Police Chief Neil Curran said.

The cash register was described as about 18-by-20 inches and quite

but the school's once college-like regimen has been changed for the 43 high school freshmen.

Classes were canceled earlier this month after some students complained about the school's regimen. Some students ran around the campus yelling after a school-wide meeting Sept. 4 where some complained of too much homework and too little time to socialize.

The boarding school was closed

ADVERTISEMENT

NOTICE OF OPEN HOUSE MEETINGS for Proposed Improvement of New Mexico Forest Highway 12

State Highway Route 126, Cuba-Los Alamos Road (portion)

The Federal Highway Administration, in cooperation with the Forest Service and the New Mexico State Highway and Transportation Department, will hold three public open house meetings to discuss the proposed improvement of approximately 20 miles of New Mexico Forest Highway (FH) 12, Cuba-Los Alamos Road (State Highway Route 126). New Mexico FH 12 begins at the junction of State Highway (SH) 44 at Cuba, Sandoval County, New Mexico, and proceeds eastward along SH Routes 126 and 4 to the town of Los Alamos in Los Alamos County. The section proposed for improvement begins in

Courtenay Mathey, the architect for the proposed Villa de La Pa condominiums, said Stanley was weeks away from starting construction on the project.

Mathey said 30 percent of the units for sale at the project would

Nobo Nobody

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PRICE LISTS \$18,235
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89 DODGE COLT Auto, Power, Air, Stereo, 1 Owner, Sharp	\$4,99
91 PLYMOUTH SUNDANCE Auto, Power, Air, Stereo	\$4,99
89 MAZDA MX6 Air, Stereo, 1 Owner, Low Miles	\$6,99
92 HONDA CIVIC VX Mag, Stereo, Moonroof	\$7,99
93 CHEVY CORSICA LT V6, Air, Stereo, 1 Owner, Low Miles	\$8,99
90 PONTIAC BONNEVILLE SSE Top of the Line, With ALL the Options	\$8,99
91 MAZDA MIATA Air, Stereo, Mag, Special	\$10,99
91 TOYOTA CELICA GT Air, Stereo, Power Windows, Locks, 1 Owner	\$11,99
93 MAZDA MIATA Air, Stereo, 1 Owner, Low Miles	\$12,99
92 HONDA ACCORD LX Loaded, 45K Miles	\$14,00