

City of Santa Fe, New Mexico

memo

DATE: April 14, 2026

TO: Historic Districts Review Board Members

VIA: Heather Lamboy, Planning & Land Use Department Director #LL
Maggie Moore, Assistant Land Use Director *MM*
Gary Moquino, Historic Preservation Division Manager, *GM*

FROM: Lani McCulley, Senior Planner, Historic Preservation Division *LJM*

2026-012106-HDRB, 423, 431 and 435 Arroyo Tenorio. Downtown & Eastside Historic District, contributing, Gayla Bechtol, agent for Kelsy and Joshua Klinefelter/Feliz Properties, owner, requests status review with primary façade designation, if applicable, for three residential structures.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: [previous case files]

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: [2026 HCPI and Letter of Date of Construction]

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure at 431 Arroyo Tenorio be downgraded to non-contributing, and 423 Arroyo Tenorio, 435 Arroyo Tenorio, 435A Arroyo Tenorio, and the street-facing yard wall be designated as non-contributing due to age, per 14-04.06(C) Designation of Significant, Contributing or Noncontributing Status Within Historic Districts.

Sample motions:

Up to two motions will be required for this case.

- a. In case 2026-012106-HDRB, for 431 Arroyo Tenorio, retain/designate the residence as contributing and designate facades (numbers from façade diagram) as primary façade(s).
- b. In case 2026-012106-HDRB, for 431 Arroyo Tenorio, downgrade/designate the residence as non-contributing.
- c. In case 2026-012106-HDRB, for 423 Arroyo Tenorio, 435 Arroyo Tenorio, 435A Arroyo Tenorio, and the street-facing yard wall, designate the three residences and the yard wall as non-contributing due to age, with the understanding that the status could be reviewed for an upgrade in status at a later date.

The property lies within the Historic Downtown Archaeological Review District. See Chapter 14, SFCC, Article 14-3.13(B)(1). There may be archaeological concerns associated with this project, and archaeological clearance may be required.

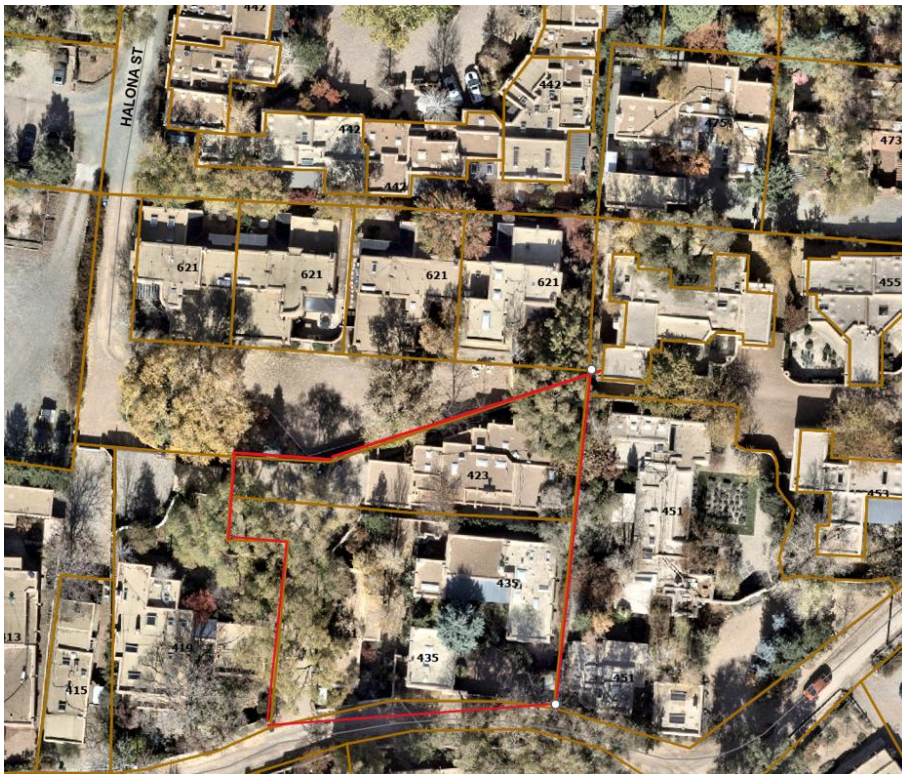


Figure 1: Property Location

BACKGROUND & SUMMARY:

Streetscape:

Arroyo Tenorio is a narrow one-way dirt road that runs west between Garcia and Old Santa Fe Trail. The street is lined with tall yard walls with residences nestled behind them. Some of the yard walls are rock, though most are concrete masonry units. The residences are a combination of Spanish Pueblo Revival and Territorial styles. Wood details on the residences and gates are brown.



Figure 2: Street Frontage of Subject Property

Site Description:

The subject property sits at the bottom of what was once an acequia-irrigated field and later became an outlot of the La Quinta Escondida estate. The structure is largely obscured from public view by yard walls and coyote fencing. The small 1990s compound consists of four buildings and related yard walls. The 1,880 sq. ft. single-story Pueblo Revival style house with attached garage at 423 Arroyo Tenorio (originally addressed as 433 Arroyo Tenorio) was constructed in 1994. The 600 sq. ft. Territorial-style guest house at 435A Arroyo Tenorio was constructed in 1996. The “L” shaped Pueblo and Territorial mixed style residence with its defined large portal and windows with pedimented heads and arched glass entry door was constructed in 1996. The street-facing yard wall was reconstructed after 1994. Staff recommends that these structures be designated as non-contributing.

The original house on the property, 431 Arroyo Tenorio, was constructed in the 1940s and is currently listed as contributing to the Downtown and Eastside Historic District. The street-facing, south elevation once held the original entry door and related window to the residence and is referred to as the primary façade according to case H-94-168. This façade has been altered with the door being removed and the 1990s window relocated. The non-historic window is a paired six-light clad casement set with a brick sill replicating the historic configuration of the windows. This alteration is not a part of the 1994 case, which shows the original door and window as being retained. Staff did not find approval for this change or for the window openings along the west side of the building. The drawings from the H-94-168 case indicate that the previous owner proceeded with the planned changes of the windows and the removal of the vigas from the withdrawn and never-approved case H-93-024 when they proceeded with the stucco work.

The east elevation faces the interior of the compound. The window on the southern end includes two eight-light casement windows. The 1994 renovation removed the separating stile of the window but retained the brick sill. The elevation was altered greatly in 1994 with the 190 sq. ft. portal, entry vestibule, and closet addition. The addition removed the original entrance and a window, and introduced a new window replicated with the brick sill. The addition also introduced a new entrance with a territorial-style door with double arched lights. The east elevation has an original opening containing two six-light casement windows at the north end. This portion of the building originally had exposed vigas, which have since been removed. The north elevation shows the east elevation addition and contains an entry door with an adjacent window. The fenestrations have changed, but the replacement units appear to correspond with those from the early 1990s. The west elevation faces the entrance driveway and contains four openings holding replicated windows which mimic the older windows from the early 1990s. These are casement windows with brick sills. This side of the house once held projecting vigas, which have been removed.

The contributing status could be restored if the applicant, at a minimum, reopened and retained historic openings and reattached vigas where they were located historically.

PREVIOUS CASE SUMMARIES:

ARC:

Archaeological clearance was issued to 435 Arroyo Tenorio under case AR-13-1995.

HDRB:

431 Arroyo Tenorio

Case H-94-168 for the construction of an addition on the east elevation and raising the yard wall on the south of the property to 7'-0" and yard wall facing west to 6'-0" on the northern portion of the site was approved. Staff found that the smaller addition with the lowered roof was more in keeping with the residence and would not damage the status. The staff report recommended the south façade as the primary façade.

Case H-93-024 for the construction of an addition on the east elevation, window alterations with changes in some locations and dimensions, and removal of the viga ends was withdrawn. This design for the addition was requested for a redesign by staff, finding that exceeding 50% of the historic footprint and the addition being higher than the original structure by 1'-10" would cause the building to lose its status. The applicant withdrew the request.

435 Arroyo Tenorio

Case H-13-068 for the construction of a 265 sq. ft. addition on the northwest corner of the with French doors and wooden header, construction of a 123 sq. ft. portal on the west elevation with a corrugated metal shed roof and a decorated wood header, corbels and viga posts, window alteration with changes in some locations and dimensions, roofing, installation of exterior insulation and stucco, construction of a 355 sq. ft. portal at the southeast corner of the property to a height of 9'-6" with a decorated wooden header, decorated wood corbels, and viga posts, removal of the existing vehicle gate to widen the opening dimension from 3'4" to 15'4", installation of a wider vehicle gate that matches the existing gate in design, and other sitework including the demolition of the bodega in the southeast corner of the property and the west yard wall and construction of a 6' high yard wall at the southwest corner of the property was approved.

Case H-95-049 for the demolition of the bodega in the southeast corner of the lot due to deterioration, and the construction of the 435 and 435A structures was approved.

Case H-93-026 for the construction of a residence at 435 and converting the bodega to a guest house was approved.

423 Arroyo Tenorio

Case H-93-025 for the construction of the single-story residence now addressed as 423 Arroyo Tenorio (433 Arroyo Tenorio at the time of the case) was approved.

ADMINISTRATIVE:

No administrative approval cases are on file for this compound.

APPLICANT'S REQUEST:

The applicant proposes the following exterior alterations:

- 1) Status Review with primary façade designation, if applicable, for four residential structures.
- 2) Status Review for yard walls.

The residences addressed as 423, 435, and 435A Arroyo Tenorio, and the yard wall along the street, are not of sufficient age to be considered for status. Therefore, they should be designated as non-contributing due to age.

The residence at 431 Arroyo Tenorio was constructed pre-1948 and has had changes to the structure. The overall original home is still distinctive from the addition on the east elevation. The changes to the fenestrations on the west and south elevations and the addition on the east have altered the function and appearance of these three elevations. The least altered elevation is the north elevation, which does not have its original door or window. Staff believes that the changes alter the structure to a point that the historic integrity and any associations it previously held are lost. Therefore, the staff recommends the residence be downgraded to non-contributing status.

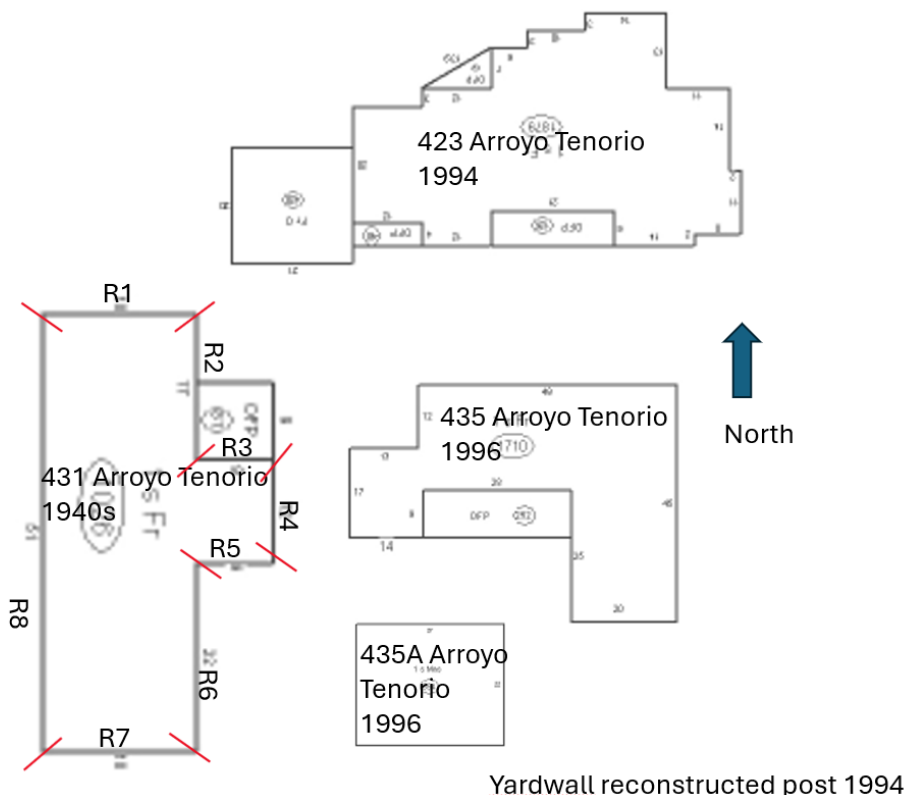


Figure 3: Façade Diagram

RELEVANT CODE CITATIONS:

14-4.6 HISTORIC DISTRICTS

A. General Provisions

I. Purpose

In order to promote the economic, cultural, and general welfare of the people of Santa Fe and to ensure the harmonious, orderly, and efficient growth and development of the City, the Governing Body deems it essential to preserve the qualities relating to the history and culture of Santa Fe, maintain a harmonious outward appearance in order to preserve property values, and attract residents and tourists alike. The specific purposes of this section are to preserve qualities relating to the history of Santa Fe, such as the following:

- I. Continue the existence and preservation of historic areas and buildings;
- II. Continued construction of buildings in Santa Fe's historic styles; and
- III. General harmony as to architectural style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

B. Buildings with Significant or Contributing Historic Status

I. Purpose

Historic designation is intended to address the following:

- I. Recognizing each structure as a physical record of its time, place, and use.
- II. Preventing changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings;
- III. Preserving and retaining changes to structures that have acquired historic importance in their own right, recognizing that most structures change over time;
- IV. Preserving distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure; and
- V. Avoiding making new additions and related or adjacent new construction in such a manner that, if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

2. Designation of Significant, Contributing, or Noncontributing Status

I. Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing," as defined in Section 14-9.3, *General*

Definitions. Staff shall maintain a record as to the current status of structures located in the historic districts.

II. HDRB Authority to Review Status Designation

- a. The HDRB may change the status of a structure or to designate a status for a structure that has no status designated.
- b. A change in status or the designation of a status shall be based upon an evaluation of data provided through a survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."
- c. When the HDRB designates a structure as contributing, it shall also specify which facades of the structure are primary.

III. Initiation of Review of Status Designation

The Board may review the status designation in response to the following:

- a. An application for construction or demolition as set forth in Section 14-5.2 as follows:
 1. Prior to the application being placed on a board agenda or prior to issuance of a construction permit, if Board approval is not required, staff shall determine whether the board should review the status of the structure. Staff's determination shall be made within thirty days of submitting the application. If the staff's determination is not completed within thirty days, the application shall be forwarded to the board. Review by the board as to the structure's status shall be made at the earliest practicable date. The board or staff (as applicable) may consider the application immediately following the determination of status. The application shall be reviewed based upon the status of the structure following the determination of status.
 2. Prior to action by the board on the application, the board itself may decide to review the status of the structure. The board's determination as to the status shall be made within forty-five days of the decision of the board to review the status. The board or staff (as applicable) may consider the application immediately following the determination of the status. The application shall be reviewed based upon the status of the structure following the determination of status.
- b. Request from the property owner;
- c. A request initiated by the city. Staff shall notify the property owner prior to initiating the request.

IV. Notice of HDRB's Review of Status

- a. Unless the review is requested by the property owner, staff shall mail notice to the property owner of the subject property no less than 15 days prior to the HDRB's review of a change in or designation of status.
- b. In addition, staff shall send notice, by first-class mail, to all property owners within one hundred (100) feet of the subject property no less than fifteen days

prior to the board's review of a change in or designation of status if the review may result in the lowering of the structure's status. Staff shall retain an affidavit of mailing.

- c. With the consent of the property owner, the city shall have posted on the property a poster obtained from the planning land use department. Otherwise, the city shall post the poster on the nearest place available to the city. Such poster shall be securely posted, prominently displayed, visible from a public street, at least fourteen days prior to the scheduled board hearing. The posting shall indicate the nature of the application, identification of the property affected, and the time, date, and place of the hearing. The poster shall be removed within thirty days of final action. Failure to do so may result in the city removing the sign at the applicant's expense. A civil fee of fifty dollars (\$50.00) will be charged.

NONCONTRIBUTING STRUCTURE

A structure, located in a historic district, that is less than 50 years old, or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic district.

CONTRIBUTING STRUCTURE

A structure, located in a historic district, approximately 50 years old or older, that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

SIGNIFICANT STRUCTURE

A structure located in a historic district that is approximately 50 years old or older, and that embodies distinctive characteristics of a type, period, or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant for its association with events or persons that are important on a local, regional, national, or global level, or if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

PRIMARY FACADE

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

G. Additional District-Specific Design Standards

2. Downtown and Eastside Historic District

The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

I. Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- a. With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns.
Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved, and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, open slightly ogive, over gateways in freestanding walls.
- b. All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color or have mural decorations.
- c. Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- d. The rules as to flat roofs shall not be constructed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- e. True old Santa Fe style buildings are made of adobe with a mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible, provided that the exterior walls are not less than eight (8) inches thick and that geometrically straight facade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

- f. It is characteristic of Old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

II. Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- a. No building shall be over two stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks, or other design elements;
- b. The combined door and window area in any publicly visible facade shall not exceed forty percent of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three (3) feet from the corner of the facade;
- c. No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- d. No less than eighty percent of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- e. The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish, and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complementary colors. Windows, doors, and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles, except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic, and
- f. Flat roofs shall not have more than thirty (30) inches overhang.