

**City of Santa Fe, New Mexico**

## **Attachment D**

**Development Plan Drawings**

DEVELOPMENT PLAN  
Paseo North  
507 Paseo de Peralta  
Case #2023-6271

Jurisdiction: City of Santa Fe  
Section 24, Township: 17N, Range: 9E

CITY APPROVALS

Approval by Santa Fe Planning Commission at their meeting on

\_\_\_\_\_, 20\_\_\_\_  
as Case No. 2023-6271

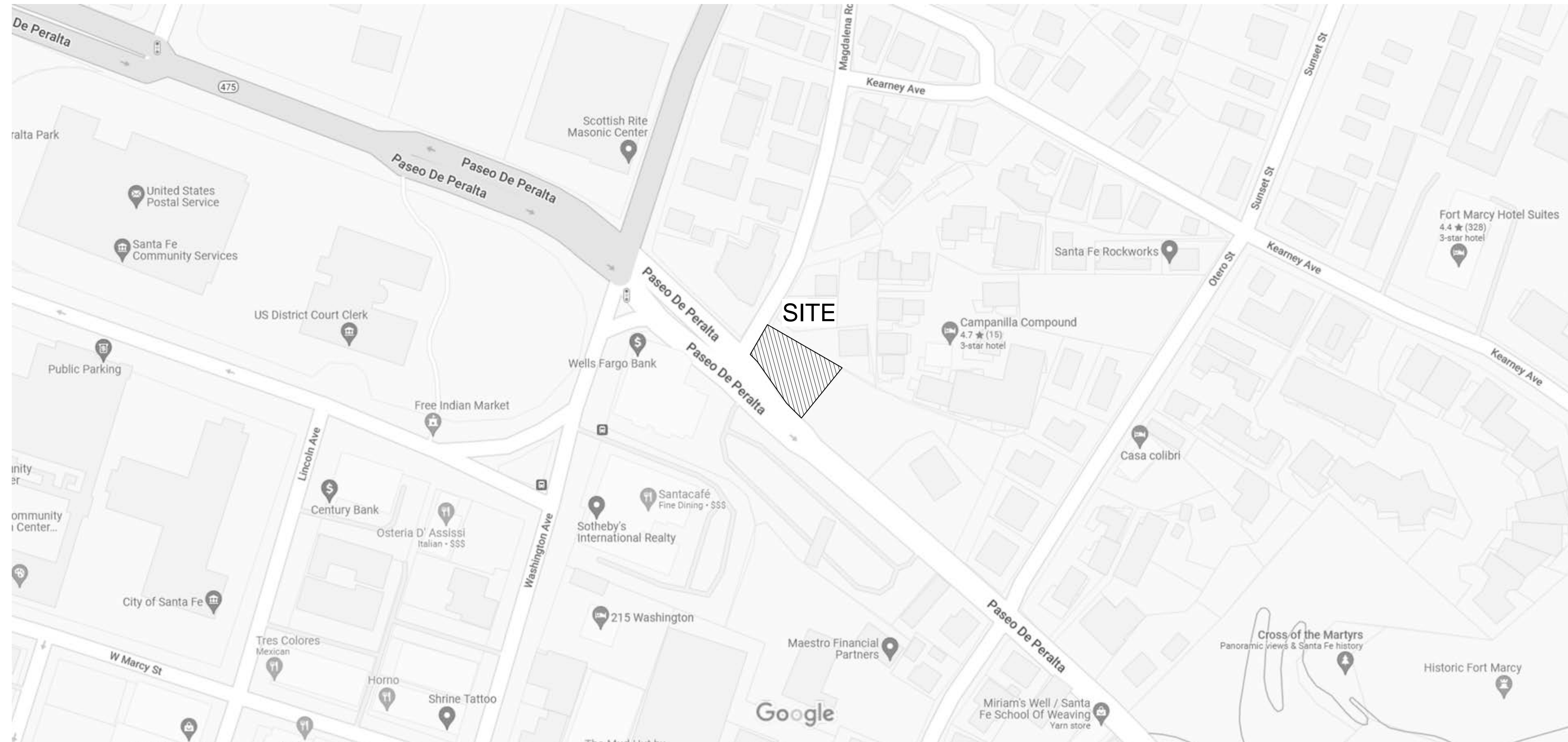
\_\_\_\_\_  
Planning Commission Chairperson Date

\_\_\_\_\_  
Planning Commission Secretary Date

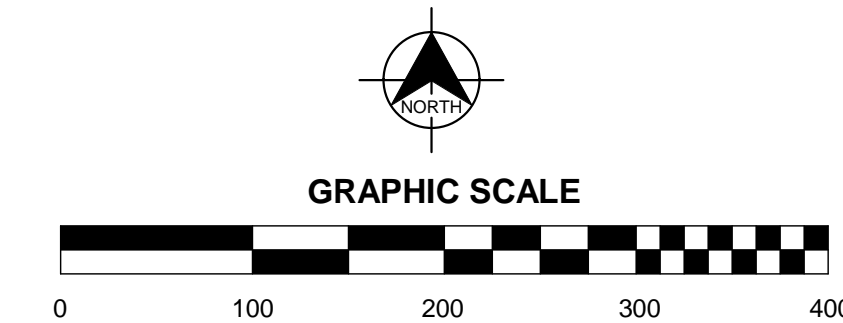
Approved by the City of Santa Fe Land Use Department

\_\_\_\_\_  
City Planner Date

\_\_\_\_\_  
City Engineer for Land Use Date



VICINITY MAP



NOTES

1. Additional Development Plan drawings such as: Elevations, Lighting, Civil, Engineering Plan sheets, Roof Plans, are filed in the Map Room with the City of Santa Fe Case #2023-6271
2. CITY OF SANTA FE DRAINAGE:
  - A. SUBJECT TO THE APPROVAL OF CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION/SEDIMENT CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF EACH SEGMENT OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
  - B. MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER. THE CITY OF SANTA FE IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THESE EASEMENTS AND DRAINAGE FACILITIES AT THE DISCRETION OF THE CITY. THE OWNER AGREES TO INDEMNIFY AND TO HOLD HARMLESS FROM ALL DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTION RIGHT.

AFFIDAVIT

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED. ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.

\_\_\_\_\_  
OWNER'S PRINTED NAME

\_\_\_\_\_  
OWNER'S SIGNATURE

THE FOREGOING WAS SWORN, ACKNOWLEDGED, AND SUBSCRIBED BEFORE ME BY:

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
MY COMMISSION EXPIRES

	ARCHITECT'S SEAL	
	BRADYN W. FURRY R.A. #6312	
JURISDICTION: CITY OF SANTA FE PROJECT NAME: PASEO NORTH DRAWING TYPE: COVER PAGE DRAWING DATE: 07/17/2024		SHEET 1 OF 3

EXISTING CONDITIONS

Paseo North  
507 Paseo de Peralta  
Case #2023-6271

Jurisdiction: City of Santa Fe  
Section 24, Township: 17N, Range: 9E

PROPERTY INFORMATION

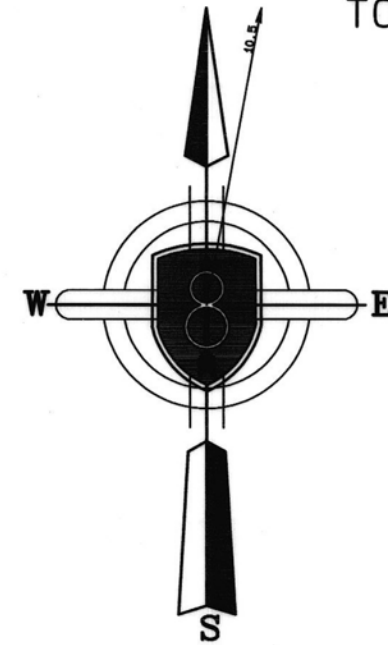
ZONING: BCDMAR (BUSINESS CAPITOL DISTRICT MARCY SUBDISTRICT)  
OVERLAYS: DOWNTOWN & EASTSIDE HISTORIC DISTRICT  
HISTORIC STATUS: N/A  
LOT SIZE: .185 ACRES  
EXISTING STRUCTURE SQ. FT.: N/A  
EXISTING UTILITIES: ELECTRIC, SEWER, WATER  
FLOOD ZONE: N/A

LEGAL LOT INFORMATION

TRACT 1, RECORDED AS PLAT BOOK 895, PAGE 47

BOUNDARY SURVEY FOR  
PERALTA'S WALK, LLC, OF TRACT 1 AND TRACT I-A

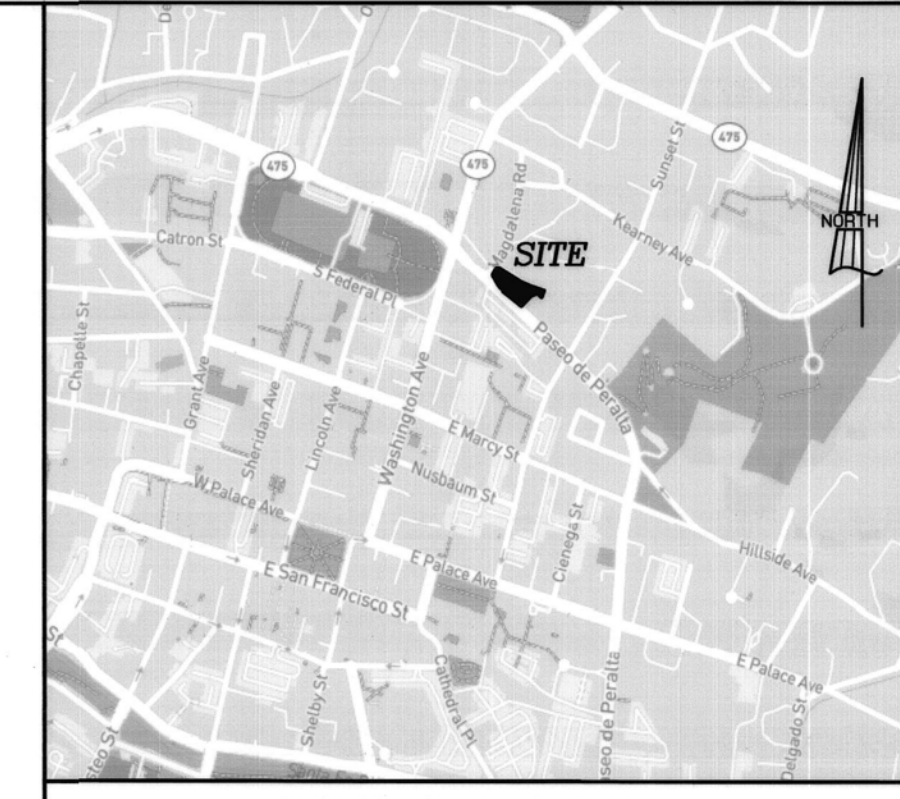
LYING IN THE SANTA FE GRANT AND BEING SITUATE IN PROJECTED SECTION 24,  
TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M. CITY & COUNTY OF SANTA FE, NEW MEXICO



**PUBLIC NOTICE**  
THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON, CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

SURVEYOR'S NOTES:

- 1) BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM GPS OBSERVATION AS REFERENCED ALONG EASTERLY BOUNDARY OF TRACT I-1, AS REFERENCED ON A PLAT OF SURVEY ENTITLED "PLAT OF BOUNDARY SURVEY FOR 511 PDP, LLC", PREPARED BY PHILIP B. WIEGEL, NMPLS #9758, AND RECORDED AT THE SANTA FE COUNTY CLERK'S OFFICE IN PLAT BOOK 826 PAGE 007. (RECORD DATA FROM THIS PLAT IN DOUBLE PARENTHESES)
- 2) BEARINGS ARE GRID, NAD 83 NEW MEXICO ZONE CENTRAL, DISTANCES ARE GROUND.
- 3) REFER ALSO TO A PLAT OF SURVEY ENTITLED, "PLAT OF BOUNDARY SURVEY FOR 511 PDP, LLC", PREPARED BY PHILIP B. WIEGEL, NMPLS #9758, AND RECORDED AT THE SANTA FE COUNTY CLERK'S OFFICE IN PLAT BOOK 826 PAGE 007. (RECORD DATA FROM THIS PLAT IN SINGLE PARENTHESES)
- 4) REFER TO A WARRANTY DEED BETWEEN 511 PDP, LLC A NEW MEXICO LIMITED LIABILITY COMPANY (GRANTOR) AND PERALTA'S WALK, LLC A NEW MEXICO LIMITED LIABILITY COMPANY (GRANTEE), AND RECORDED WITH THE SANTA FE COUNTY CLERK'S OFFICE AS INS # 1974468.
- 5) LANDS SHOWN HEREON LIE WITHIN OTHER AREAS, ZONE 'X' - AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO THE FEMA DFIRM MAP 35049C0408E, DATED DECEMBER 4, 2012.
- 6) THIS SURVEY IS SUBJECT TO ALL PERTINENT EASEMENTS, RESTRICTIONS AND COVENANTS, BOTH RECORDED AND UNRECORDED.



VICINITY MAP (N.T.S.)

BOUNDARY LINE AND CURVE DATA CHART

LINE	CHORD/BEARING	ARC/DIST	RADIUS	DELTA	CHORD
L1	N88°37'10"E	14.52'			
L2	N49°52'16"W	12.03'			
D1	N37°12'53"W	51.91'	117.50'	26°18'47"	51.49'
C2	N31°24'06"W	31.66'	132.50'	13°41'18"	31.58'
C3	N02°40'53"W	21.72'	17.50'	71°06'09"	20.35'
L3	S87°57'28"E	42.85'			
L4	S66°10'34"E	56.58'			
L5	S18°46'37"W	39.20'			
L6	N45°35'29"W	31.51'			
L7	S68°33'23"W	29.49'			
L8	N27°10'06"E	6.60'			

COUNTY OF SANTA FE } SS  
STATE OF NEW MEXICO }  
I HEREBY CERTIFY THAT THIS INSTRUMENT NO. 1999222 WAS FILED FOR RECORD ON THE 11 DAY OF Oct, A.D. 2022, AT 2:24 O'CLOCK AND WAS DULY RECORDED IN PLAT BOOK 895, PAGE 47, OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE  
KATHERINE CLARK  
COUNTY CLERK, SANTA FE COUNTY, N.M.  
*Katherine Clark*  
DEPUTY

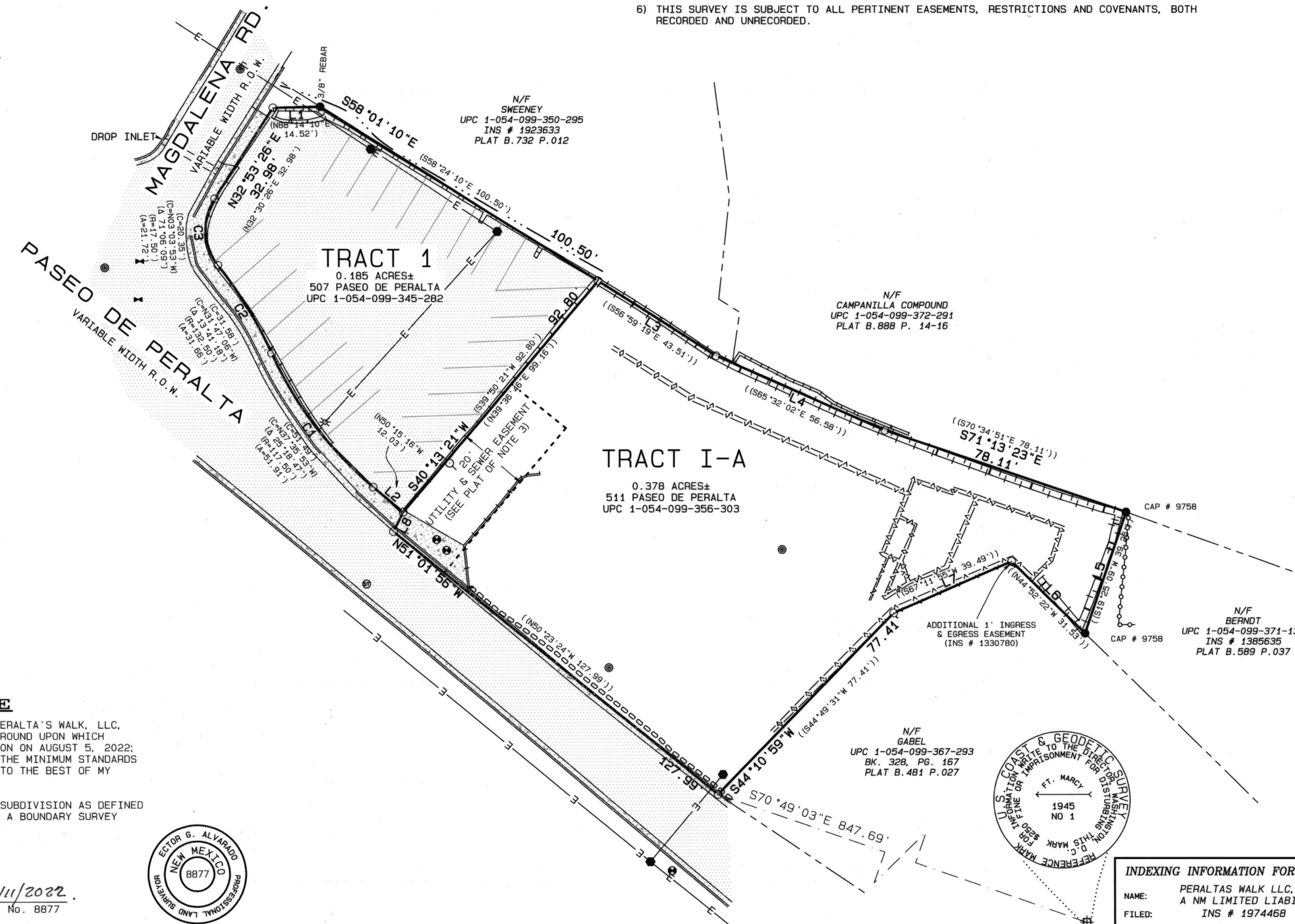


SURVEYOR'S CERTIFICATE

I, ECTOR G. ALVARADO, NMPLS NO. 8877, DO HEREBY CERTIFY TO PERALTA'S WALK, LLC, THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION ON AUGUST 5, 2022; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYS IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

*Ector G. Alvarado* 10/11/2022  
ECTOR G. ALVARADO N.M.P.L.S. No. 8877



LEGEND:

- SURVEY MONUMENT FOUND (AS NOTED)
- SURVEY MONUMENT SET (CAP # 8877)
- CALCULATED POINT
- SANITARY SEWER MANHOLE
- UTILITY POLE
- ⊠ WATER METER
- ⊠ ELECTRIC TRANSFORMER
- ⊠ TELEPHONE JUNCTION BOX
- ⊠ ELECTRIC METER
- ⊠ WATER VALVE
- ⊠ LIGHT STANDARD
- SPIGOT
- BOUNDARY LINE
- - - ADJOINER BOUNDARY LINE
- ○ ○ ○ COYOTE FENCE
- ○ ○ ○ CHAINLINK FENCE
- OVERHEAD WIRES
- ⊠ EXISTING OLD FOUNDATION WALL
- ⊠ LARGE CONCRETE BLOCK WALL
- ⊠ CMU WALL
- ⊠ ROCK WALL
- ⊠ CONCRETE CURB & GUTTER/SURFACE
- ⊠ ASPHALT SURFACE

INDEXING INFORMATION FOR COUNTY CLERK  
NAME: PERALTA'S WALK, LLC.  
FILED: A NM LIMITED LIABILITY CO.  
INS # 1974468  
SUBDIVISION: N/A  
SECTIONS: PROJ. SECTION 24, T17N, R9E  
UPC: 1-054-099-356-303 TRACT I-A  
1-054-099-345-282 TRACT 1

SOUTHWEST MOUNTAIN SURVEYS  
1114 HICKOX ST., SANTA FE, N.M. 87505  
(505) 982-9429 FAX (505) 986-3413  
DATE(S): AUGUST 5, 2022 DRAWN BY: PROJECT No. C-3261

ARCHITECT'S SEAL  
JURISDICTION: CITY OF SANTA FE  
PROJECT NAME: PASEO NORTH  
DRAWING TYPE: EXISTING CONDITIONS  
DRAWING DATE: 07/17/2024

**SITE DEVELOPMENT PLAN**

Paseo North  
507 Paseo de Peralta  
Case #2023-6271

Jurisdiction: City of Santa Fe  
Section 24, Township: 17N, Range: 9E

**507 PASEO DE PERALTA TRACT 1**  
**.185 ACRES±**

ZONING: BCD-MARCY

LOT COVERAGE CALCULATIONS:  
BUILDING ROOF AREA = 4,235 S.F.  
PORTAL ROOF AREAS = 684  
TOTAL ROOF AREA = 4,919  
TOTAL LOT SIZE = 8,059 S.F.  
NO RESTRICTION

**PROJECT DATA**

PROJECT SITE:  
Acreage: .185 acres  
Flood Plain: N/A  
Flood Way Square feet: N/A  
Net Acreage: .185 acres  
Zoning: BCDMAR (Business Capitol District Marcy Subdistrict)

OVERLAY ZONING:  
Downtown and Eastside Historic District  
Historic Downtown Archaeological Review District

BUILDINGS:  
4,235 Sq. Ft.

HEIGHT:  
Marcy Subdistrict Maximum Height: 42'  
Downtown and Eastside Historic District: 24'  
Building: 23'- 0 1/2"

LOT COVERAGE:  
Marcy Subdistrict: No Restriction

BUILDING PLACEMENT:  
No yard requirements:  
Front required yard equal to the average depth of existing front yards on the block shall be required for (a) the east side of Washington Avenue between Place Avenue and Paseo de Peralta (Hillside); and the west side of Grant Avenue between Place Avenue and Paseo de Peralta. Elsewhere in the subdistrict there are no required yards.

OPEN SPACE:  
10 percent of the lot area

LANDSCAPE:  
Landscape treatment required in yards and open space. Street trees and landscape treatment required if planting strip exists. Asphalt or concrete pavement prohibited in planting strip.

HEIGHT OF WALLS AND FENCES:  
Maximum 4'

PLACEMENT OF OFF-STREET PARKING  
Parking prohibited in front yard.

PORTALS IN THE ROW:  
None

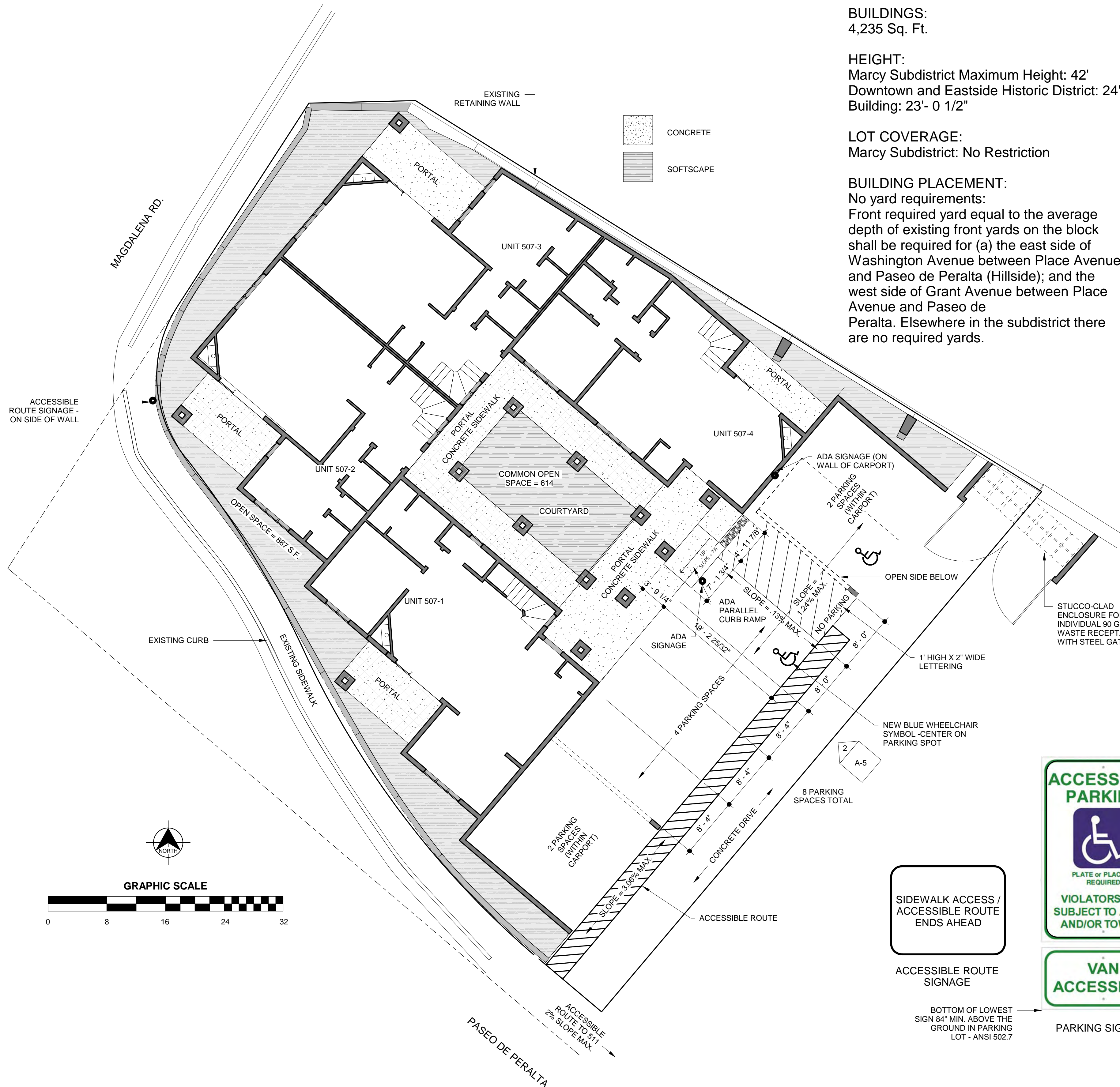
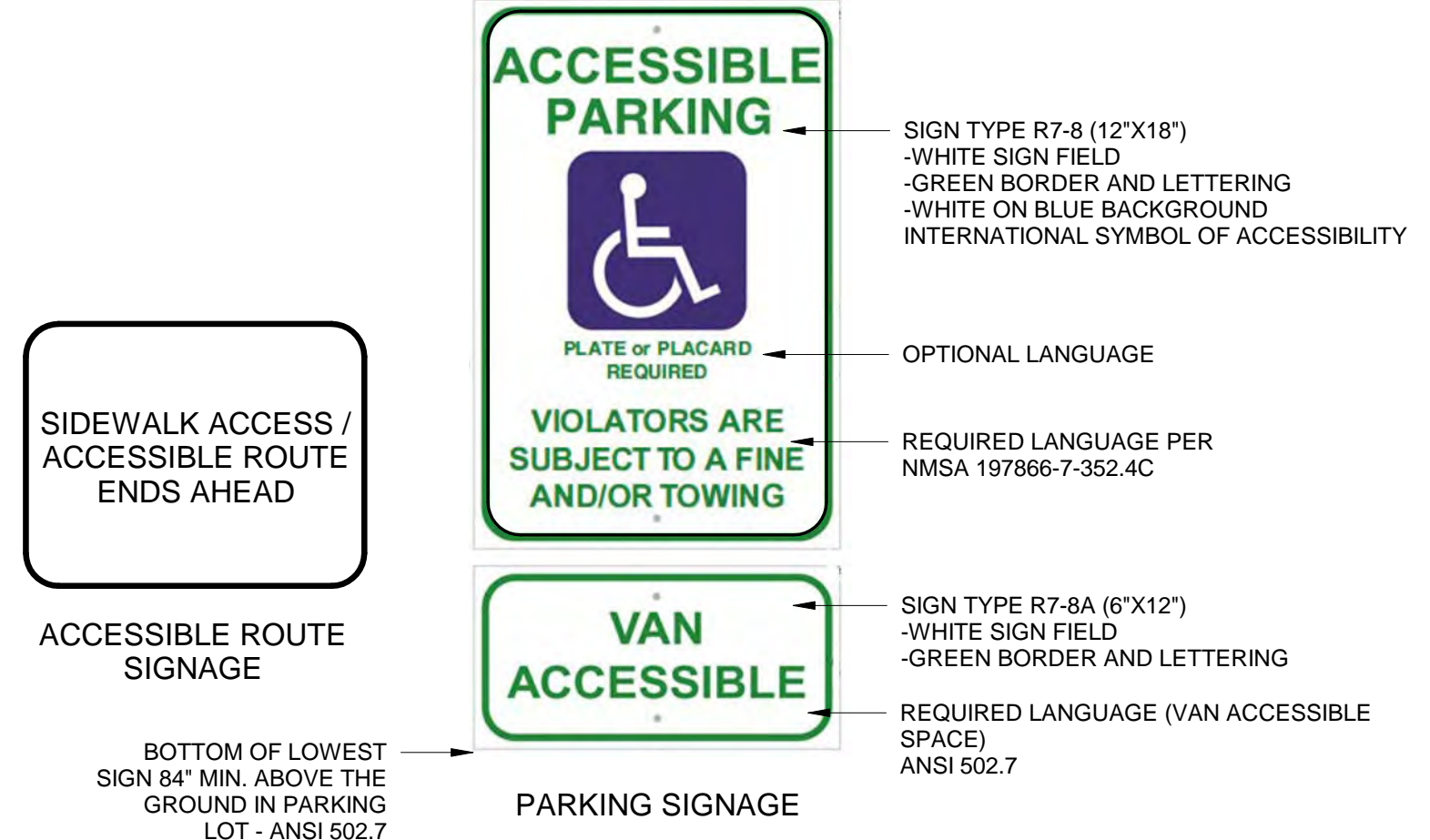


TABLE 1. CONDITIONS OF APPROVAL			
#	Condition of Approval	Dept. or Division	To be completed by:
1	Contractor shall ensure ADA compliance for construction of required ADA accessible features and appurtenances, as detailed and as required, in addition to the approved construction permit documents. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, MUTCD, DOJ, and NM State Statute and Code such as the New Mexico Accessible Parking Checklist, latest published version.	ADA	Permit Application
2	Include copies of Approved & recorded Development Plan prior to permitting.	Terrain Management	Permit Application
3	The existing public sewer system in Paseo de Peralta is only available to provide sewer service the two properties by connecting to a specific section of the existing public sewer line. There is a sewer manhole located in Paseo De Peralta at the point where the two properties share a common property line along Paseo de Peralta. The two properties may connect to the existing 8-inch public sewer line which goes downstream of this sewer manhole flowing toward the intersection of Bishops Lodge and Washington. The Applicant is required to contact the Wastewater Division for further assistance with the design of the sewer system to serve this project.	Wastewater	Prior to signature of Development Plan
4	An approved Development Water Budget including a 9.8% contingency per SFCC 14-8.13(E)(1) will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.	Water	Prior to Sign Off for Final Development Plan
5	An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.	Water	Prior to ACD
6	Each lot shall be served by separate water service at the time of development.	Water	Prior to Building Permit application
7	An agreement for metered service (AMS) will be required to install new services, including water offset fees.	Water	Prior to Building Permit application
8	If the landscaped area is greater than 1,000 square feet, a separate irrigation meter is recommended.	Water	Prior to Sign Off for Final Development Plan
9	A shared parking agreement shall be executed and filed as a part of the Development Plan.	Current Planning	Prior to signature of Development Plan
10	Archaeological Clearance shall be provided for both properties.	Historic Preservation	Prior to Permit Application



**PARKING REQUIREMENTS**  
CITY OF SANTA FE CODES, TABLE 14-8.6, C.2  
BCD  
1 SPACE PER DWELLING UNIT  
TOTAL REQUIRED = 4  
PARKING SPACES PROVIDED = 4

**PARKING STRIPE DETAIL**  
2' WIDE  
BLUE STRIPING ON CONCRETE AT PARKING SPACES, ACCESSIBLE AISLE AND ACCESSIBLE PATH  
DIAGONAL STRIPING

ARCHITECT'S SEAL

JURISDICTION: CITY OF SANTA FE  
PROJECT NAME: PASEO NORTH  
DRAWING TYPE: SITE DEVELOPMENT PLAN  
DRAWING DATE: 07/17/2024

BRADY W. FURRY  
R.A. #6312

DEVELOPMENT PLAN  
Paseo North  
511 Paseo de Peralta  
Case #2023-6271

Jurisdiction: City of Santa Fe  
Section 24, Township: 17N, Range: 9E

CITY APPROVALS

Approval by Santa Fe Planning Commission at their meeting on

\_\_\_\_\_, 20\_\_\_\_  
as Case No. 2023-6271

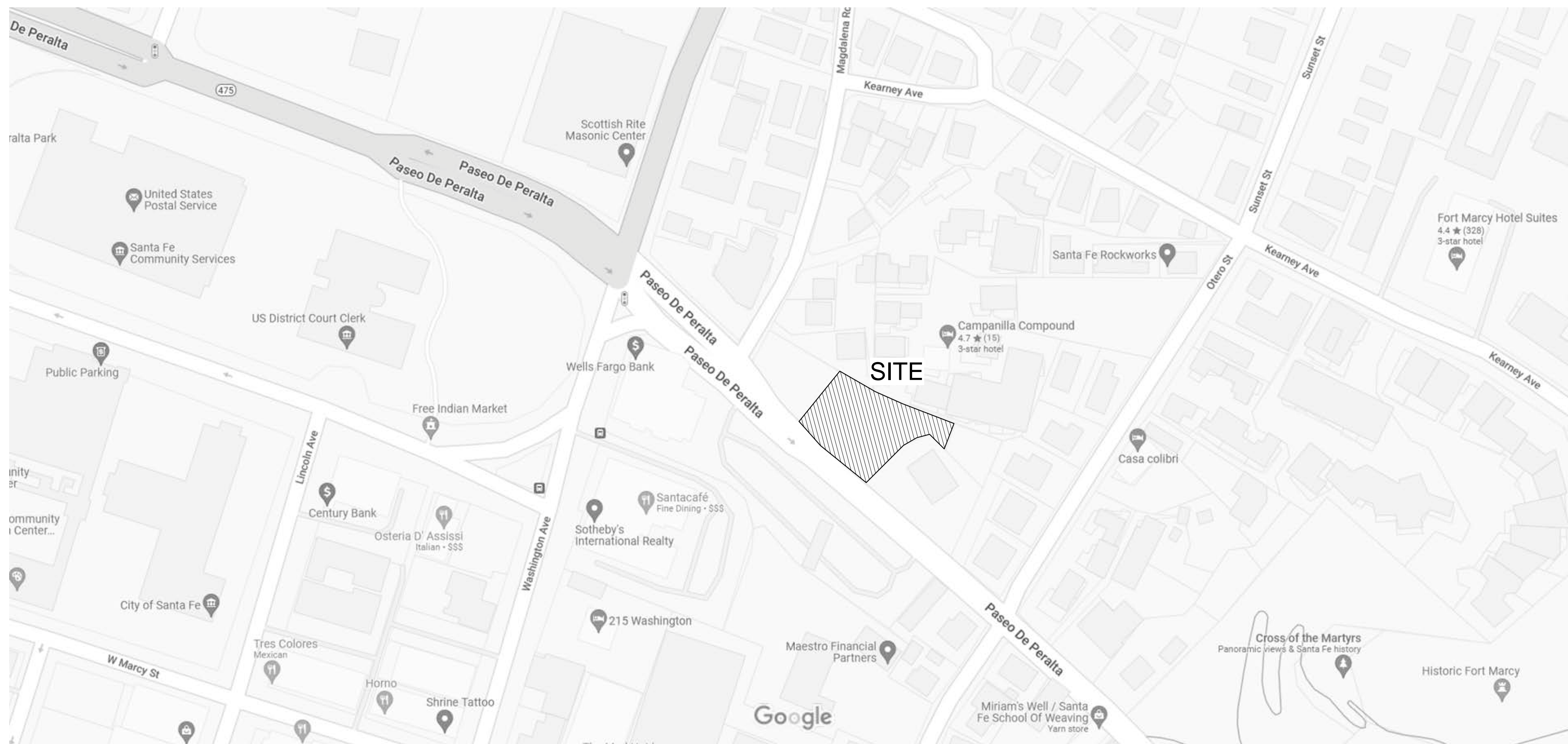
\_\_\_\_\_  
Planning Commission Chairperson Date

\_\_\_\_\_  
Planning Commission Secretary Date

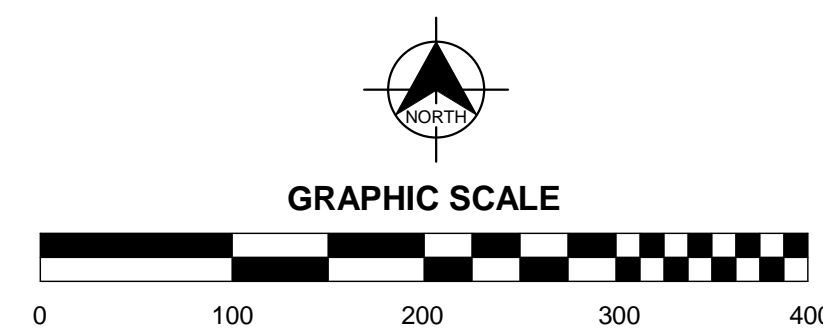
Approved by the City of Santa Fe Land Use Department

\_\_\_\_\_  
City Planner Date

\_\_\_\_\_  
City Engineer for Land Use Date



VICINITY MAP



NOTES

1. Additional Development Plan drawings such as: Elevations, Lighting, Civil, Engineering Plan sheets, Roof Plans, are filed in the Map Room with the City of Santa Fe Case #2023-6271
2. CITY OF SANTA FE DRAINAGE:
  - A. SUBJECT TO THE APPROVAL OF CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION/SEDIMENT CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF EACH SEGMENT OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
  - B. MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER. THE CITY OF SANTA FE IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THESE EASEMENTS AND DRAINAGE FACILITIES AT THE DISCRETION OF THE CITY. THE OWNER AGREES TO INDEMNIFY AND TO HOLD HARMLESS FROM ALL DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTION RIGHT.

AFFIDAVIT

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED. ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.

\_\_\_\_\_  
OWNER'S PRINTED NAME

\_\_\_\_\_  
OWNER'S SIGNATURE

THE FOREGOING WAS SWORN, ACKNOWLEDGED, AND SUBSCRIBED BEFORE ME BY:

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
NOTARY PUBLIC

\_\_\_\_\_  
MY COMMISSION EXPIRES

	ARCHITECT'S SEAL	
	JURISDICTION: CITY OF SANTA FE PROJECT NAME: PASEO NORTH DRAWING TYPE: COVER PAGE DRAWING DATE: 06/01/2024	
BRADYN W. FURRY R.A. #6312		SHEET 1 OF 4

DEVELOPMENT PLAN  
Paseo North  
511 Paseo de Peralta  
Case #2023-6271

Jurisdiction: City of Santa Fe  
Section 24, Township: 17N, Range: 9E

TABLE 1. CONDITIONS OF APPROVAL			
#	Condition of Approval	Dept. or Division	To be completed by:
1	Contractor shall ensure ADA compliance for construction of required ADA accessible features and appurtenances, as detailed and as required, in addition to the approved construction permit documents. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, MUTCD, DOJ, and NM State Statute and Code such as the New Mexico Accessible Parking Checklist, latest published version.	ADA	Permit Application
2	Include copies of Approved & recorded Development Plan prior to permitting.	Terrain Management	Permit Application
3	The existing public sewer system in Paseo de Peralta is only available to provide sewer service the two properties by connecting to a specific section of the existing public sewer line. There is a sewer manhole located in Paseo De Peralta at the point where the two properties share a common property line along Paseo de Peralta. The two properties may connect to the existing 8-inch public sewer line which goes downstream of this sewer manhole flowing toward the intersection of Bishops Lodge and Washington. The Applicant is required to contact the Wastewater Division for further assistance with the design of the sewer system to serve this project.	Wastewater	Prior to signature of Development Plan
4	An approved Development Water Budget including a 9.8% contingency per SFCC 14-8.13(E)(1) will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.	Water	Prior to Sign Off for Final Development Plan
5	An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.	Water	Prior to ACD
6	Each lot shall be served by separate water service at the time of development.	Water	Prior to Building Permit application
7	An agreement for metered service (AMS) will be required to install new services, including water offset fees.	Water	Prior to Building Permit application
8	If the landscaped area is greater than 1,000 square feet, a separate irrigation meter is recommended.	Water	Prior to Sign Off for Final Development Plan
9	A shared parking agreement shall be executed and filed as a part of the Development Plan.	Current Planning	Prior to signature of Development Plan
10	Archaeological Clearance shall be provided for both properties.	Historic Preservation	Prior to Permit Application

	ARCHITECT'S SEAL	
	BRADYN W. FURRY R.A. #6312	

JURISDICTION: CITY OF SANTA FE  
PROJECT NAME: PASEO NORTH  
DRAWING TYPE: CONDITIONS OF APPROVAL  
DRAWING DATE: 06/01/2024

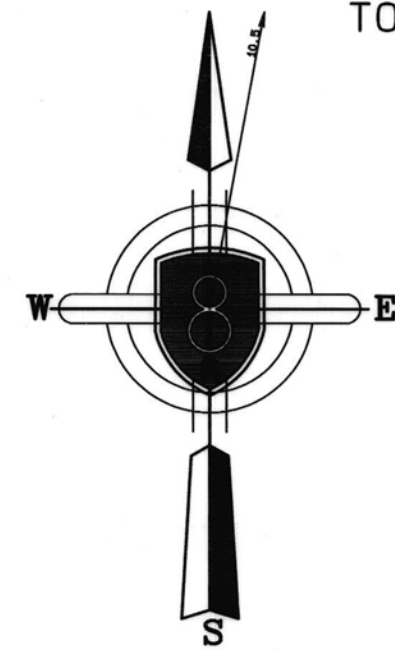
SHEET 2 OF 4

EXISTING CONDITIONS  
Paseo North  
511 Paseo de Peralta  
Case #2023-6271

Jurisdiction: City of Santa Fe  
Section 24, Township: 17N, Range: 9E

BOUNDARY SURVEY FOR  
PERALTA'S WALK, LLC, OF TRACT 1 AND TRACT I-A

LYING IN THE SANTA FE GRANT AND BEING SITUATE IN PROJECTED SECTION 24,  
TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M. CITY & COUNTY OF SANTA FE, NEW MEXICO

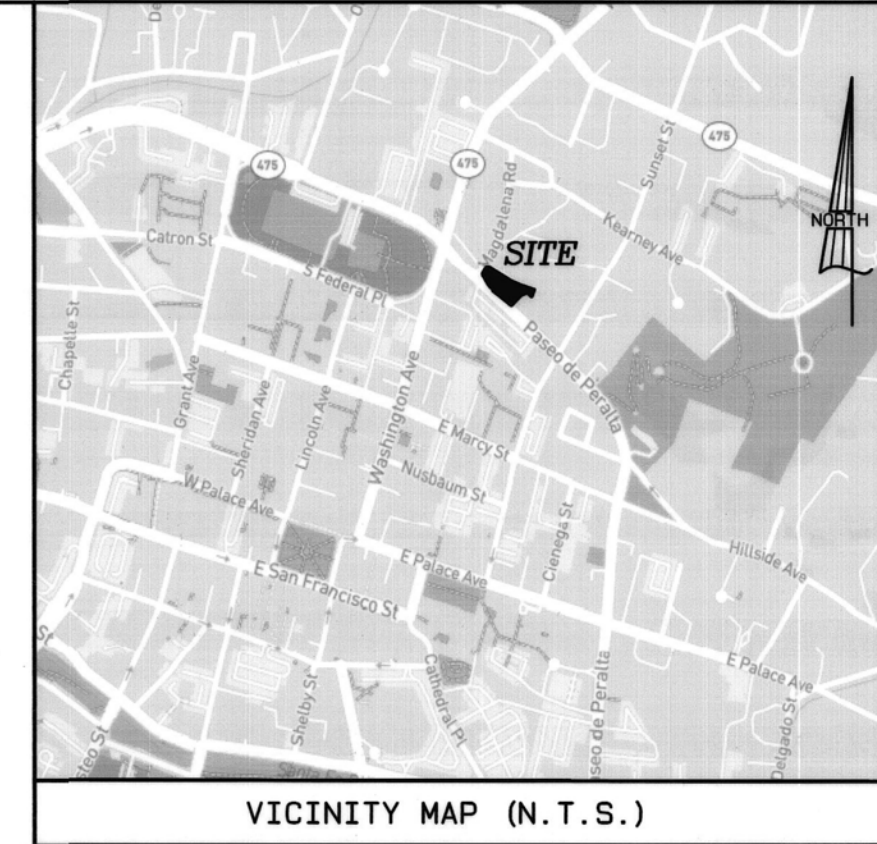


**PUBLIC NOTICE**  
THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

**SURVEYOR'S NOTES:**

- 1) BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM GPS OBSERVATION AS REFERENCED ALONG EASTERLY BOUNDARY OF TRACT I-1, AS REFERENCED ON A PLAT OF SURVEY ENTITLED "PLAT OF BOUNDARY SURVEY FOR 511 POP, LLC", PREPARED BY PHILIP B. WIEGEL, NMPLS # 9758, AND RECORDED AT THE SANTA FE COUNTY CLERK'S OFFICE IN PLAT BOOK 765, PAGE 003. (RECORD DATA FROM THIS PLAT IN DOUBLE PARENTHESES)
- 2) BEARINGS ARE GRID, NAD 83 NEW MEXICO ZONE CENTRAL. DISTANCES ARE GROUND.
- 3) REFER ALSO TO A PLAT OF SURVEY ENTITLED, "PLAT OF BOUNDARY SURVEY FOR 511 POP, LLC", PREPARED BY PHILIP B. WIEGEL, NMPLS #9758, AND RECORDED AT THE SANTA FE COUNTY CLERK'S OFFICE IN PLAT BOOK 826 PAGE 007. (RECORD DATA FROM THIS PLAT IN SINGLE PARENTHESES)
- 4) REFER TO A WARRANTY DEED BETWEEN 511 POP, LLC A NEW MEXICO LIMITED LIABILITY COMPANY (GRANTOR) AND PERALTA'S WALK, LLC A NEW MEXICO LIMITED LIABILITY COMPANY (GRANTEE), AND RECORDED WITH THE SANTA FE COUNTY CLERK'S OFFICE AS: INS # 1974468.
- 5) LANDS SHOWN HEREON LIE WITHIN OTHER AREAS, ZONE 'X' - AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO THE FEMA DFIRM MAP 35049C0406E, DATED DECEMBER 4, 2012.
- 6) THIS SURVEY IS SUBJECT TO ALL PERTINENT EASEMENTS, RESTRICTIONS AND COVENANTS, BOTH RECORDED AND UNRECORDED.

895 47



VICINITY MAP (N.T.S.)

**PROPERTY INFORMATION**

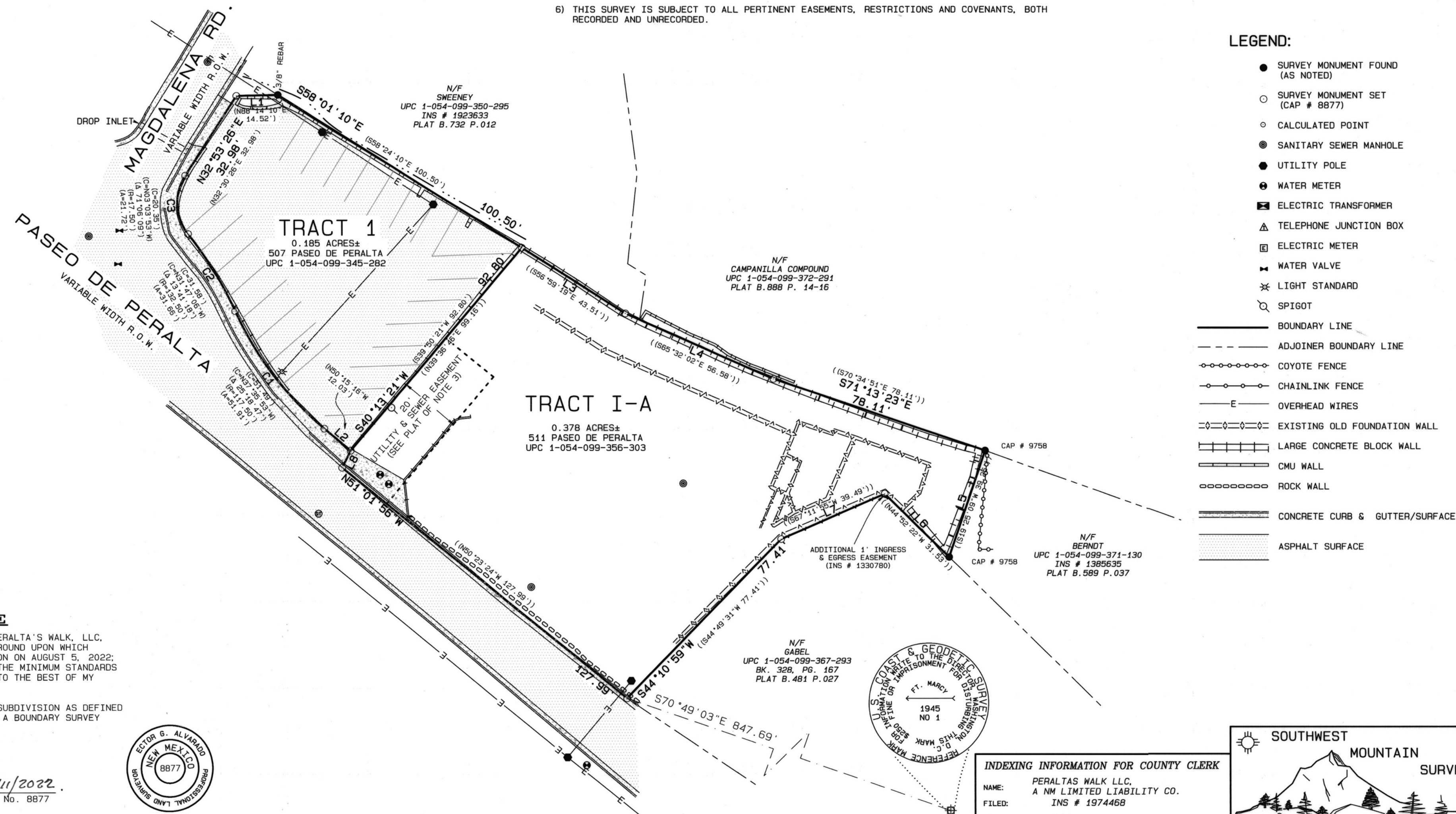
ZONING: R21  
OVERLAYS: DOWNTOWN & EASTSIDE HISTORIC DISTRICT  
HISTORIC STATUS: N/A  
LOT SIZE: .378 ACRES  
EXISTING STRUCTURE SQ. FT.: N/A  
EXISTING UTILITIES: ELECTRIC, SEWER, WATER  
FLOOD ZONE: N/A

**LEGAL LOT INFORMATION**

TRACT 1-A, RECORDED AS PLAT BOOK 895, PAGE 47

**BOUNDARY LINE AND CURVE DATA CHART**

LINE	CHORD/BEARING	ARC/DIST	RADIUS	DELTA	CHORD
L1	N88°37'10"E	14.52'			
L2	N49°52'18"W	12.03'			
C1	N37°12'53"W	51.91'	117.50'	26°18'47"	51.49'
C2	N31°24'06"W	31.66'	132.50'	13°41'10"	31.58'
C3	N02°40'53"W	21.72'	17.50'	71°06'09"	20.35'
L3	S97°37'28"E	42.83'			
L4	S68°10'34"E	56.58'			
L5	S18°46'37"W	39.20'			
L6	N45°35'29"W	31.51'			
L7	S68°33'23"W	39.49'			
L8	N67°10'06"E	6.60'			



COUNTY OF SANTA FE } SS  
STATE OF NEW MEXICO }  
I HEREBY CERTIFY THAT THIS INSTRUMENT NO. 194922 WAS FILED FOR RECORD ON THE 11 DAY OF Oct, A.D. 2022 AT 2:24 O'CLOCK AND WAS DULY RECORDED IN PLAT BOOK 895 PAGE 47 OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE  
KATHERINE CLARK  
COUNTY CLERK, SANTA FE COUNTY, N.M.  
*Katherine Clark*  
DEPUTY



**SURVEYOR'S CERTIFICATE**

I, ECTOR G. ALVARADO, NMPLS NO. 8877, DO HEREBY CERTIFY TO PERALTA'S WALK, LLC, THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION ON AUGUST 5, 2022; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

*Ector G. Alvarado* 10/11/2022  
ECTOR G. ALVARADO N.M.P.L.S. No. 8877



**LEGEND:**

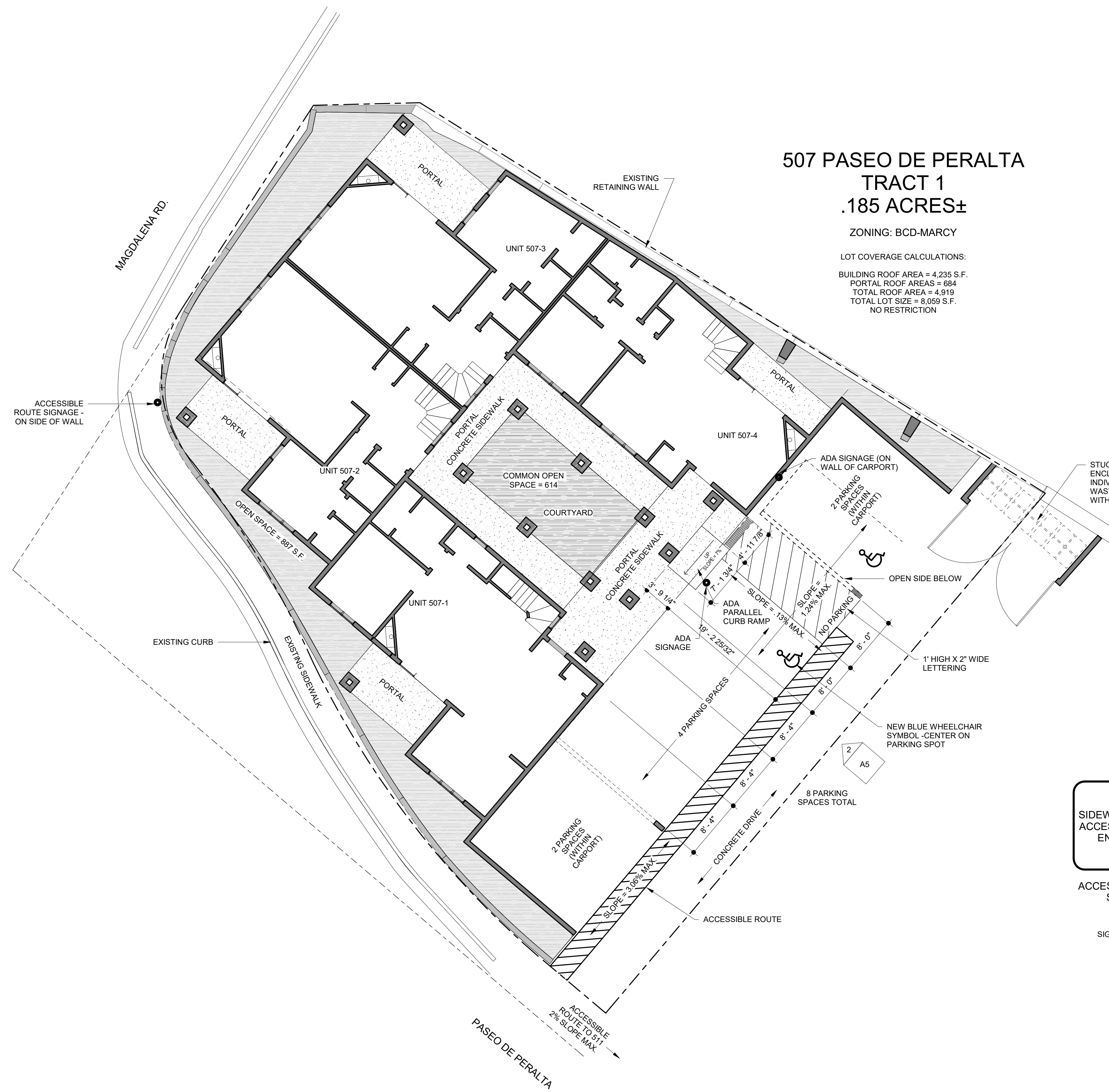
- SURVEY MONUMENT FOUND (AS NOTED)
- SURVEY MONUMENT SET (CAP # 8877)
- CALCULATED POINT
- SANITARY SEWER MANHOLE
- UTILITY POLE
- WATER METER
- ⊠ ELECTRIC TRANSFORMER
- △ TELEPHONE JUNCTION BOX
- ⊠ ELECTRIC METER
- ⊠ WATER VALVE
- ⊠ LIGHT STANDARD
- SPIGOT
- BOUNDARY LINE
- - - ADJOINER BOUNDARY LINE
- ○ ○ ○ COYOTE FENCE
- ○ ○ ○ CHAINLINK FENCE
- - - OVERHEAD WIRES
- ⊠ EXISTING OLD FOUNDATION WALL
- ⊠ LARGE CONCRETE BLOCK WALL
- ⊠ CMU WALL
- ⊠ ROCK WALL
- ⊠ CONCRETE CURB & GUTTER/SURFACE
- ⊠ ASPHALT SURFACE

**INDEXING INFORMATION FOR COUNTY CLERK**  
NAME: PERALTA'S WALK LLC,  
A NM LIMITED LIABILITY CO.  
FILED: INS # 1974468  
SUBDIVISION: N/A  
SECTIONS: PROJ. SECTION 24, T17N, R9E  
UPC: 1-054-099-356-303 TRACT I-A  
1-054-099-345-262 TRACT 1

**SOUTHWEST MOUNTAIN SURVEYS**  
1114 HICKOX ST., SANTA FE, N.M. 87505  
(505) 982-9429 FAX (505) 986-3413  
DATE(S): AUGUST 5, 2022 DRAWN BY: PROJECT NO. C-3251

ARCHITECT'S SEAL	JURISDICTION: CITY OF SANTA FE PROJECT NAME: PASEO NORTH DRAWING TYPE: EXISTING CONDITIONS DRAWING DATE: 06/01/2024
------------------	------------------------------------------------------------------------------------------------------------------------------

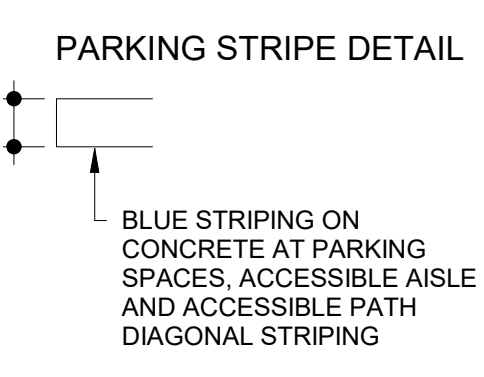




**507 PASEO DE PERALTA  
TRACT 1  
.185 ACRES±**

ZONING: BCD-MARCY  
LOT COVERAGE CALCULATIONS:  
BUILDING ROOF AREA = 4,235 S.F.  
PORTAL ROOF AREAS = 684  
TOTAL ROOF AREA = 4,919  
TOTAL LOT SIZE = 8,059 S.F.  
NO RESTRICTION

**PARKING REQUIREMENTS**  
CITY OF SANTA FE CODES, TABLE 14-8.6, C.2  
BCD  
1 SPACE PER DWELLING UNIT  
TOTAL REQUIRED = 4  
PARKING SPACES PROVIDED = 4



CONCRETE  
SOFTSCAPE



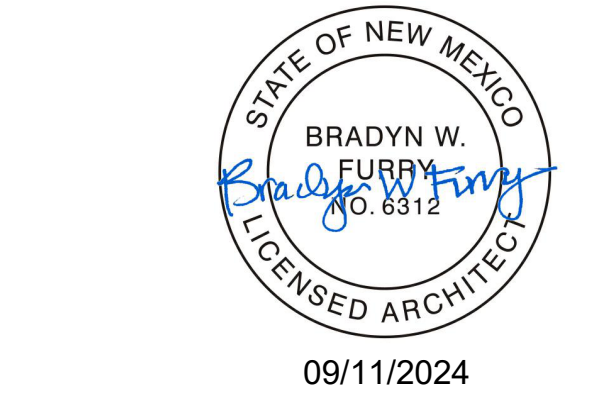
ACCESSIBLE ROUTE SIGNAGE  
BOTTOM OF LOWEST SIGN 84" MIN. ABOVE THE GROUND IN PARKING LOT - ANSI 502.7



PARKING SIGNAGE  
SIGN TYPE R7-8 (12"X18")  
-WHITE SIGN FIELD  
-GREEN BORDER AND LETTERING  
-WHITE ON BLUE BACKGROUND  
INTERNATIONAL SYMBOL OF ACCESSIBILITY  
PLATE or PLACARD REQUIRED  
OPTIONAL LANGUAGE  
REQUIRED LANGUAGE PER NMSA 197866-7-352.4C

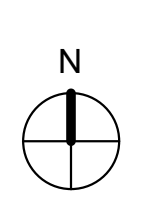


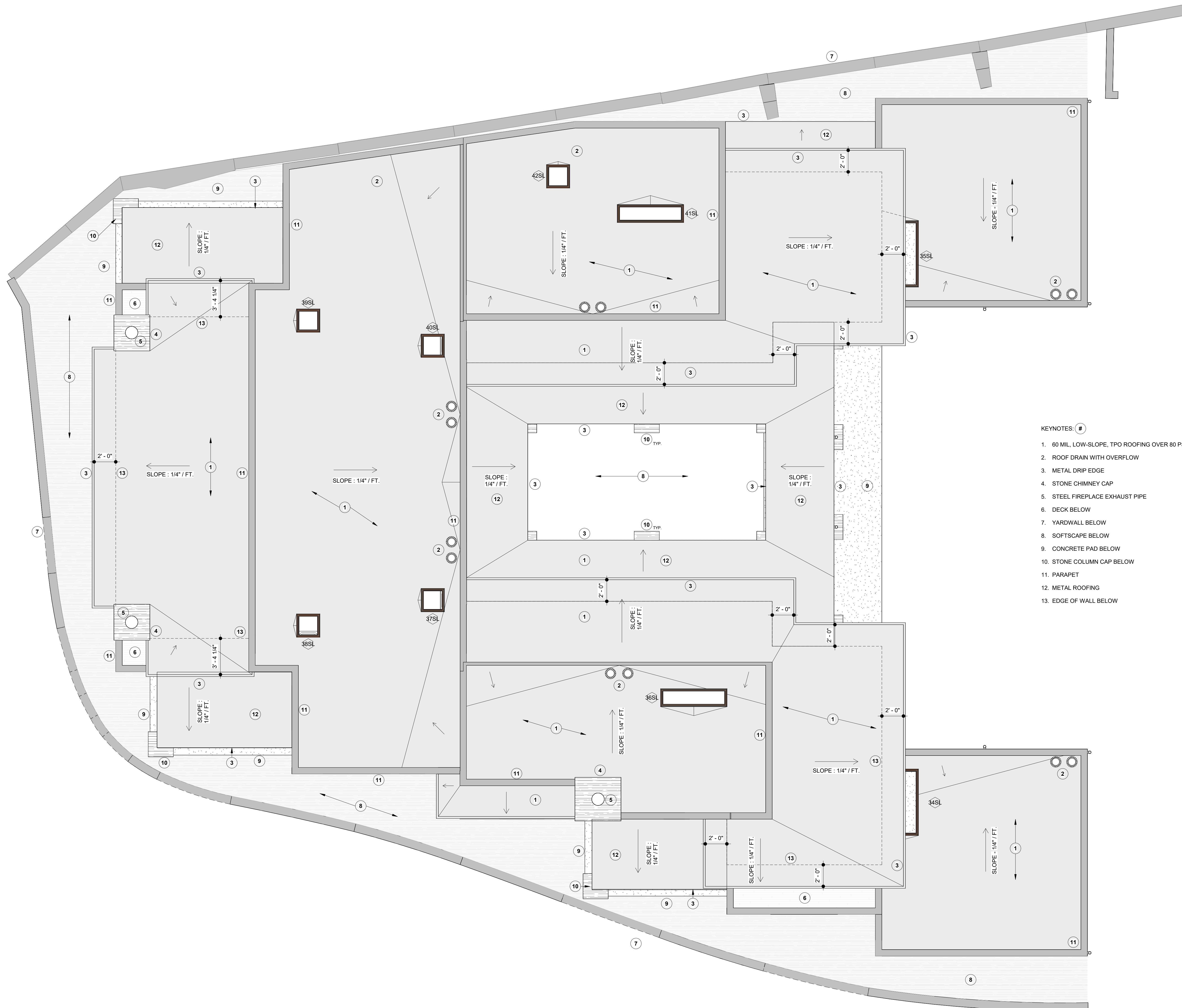
SIGN TYPE R7-8A (6"X12")  
-WHITE SIGN FIELD  
-GREEN BORDER AND LETTERING  
REQUIRED LANGUAGE (VAN ACCESSIBLE SPACE)  
ANSI 502.7



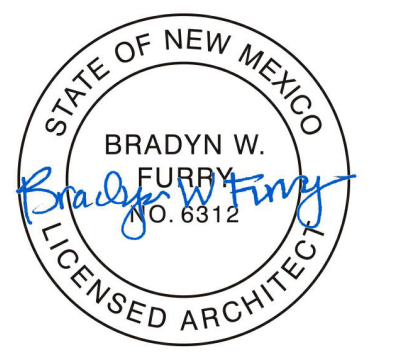
**PERALTA'S WALK, LLC.**  
507 Paseo de Peralta  
Santa Fe, NM  
**PASEO NORTH**

**SITE PLAN**





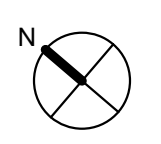
- KEYNOTES: #
1. 60 MIL, LOW-SLOPE, TPO ROOFING OVER 80 PSI RECOVERY BOARD
  2. ROOF DRAIN WITH OVERFLOW
  3. METAL DRIP EDGE
  4. STONE CHIMNEY CAP
  5. STEEL FIREPLACE EXHAUST PIPE
  6. DECK BELOW
  7. YARDWALL BELOW
  8. SOFTSCAPE BELOW
  9. CONCRETE PAD BELOW
  10. STONE COLUMN CAP BELOW
  11. PARAPET
  12. METAL ROOFING
  13. EDGE OF WALL BELOW



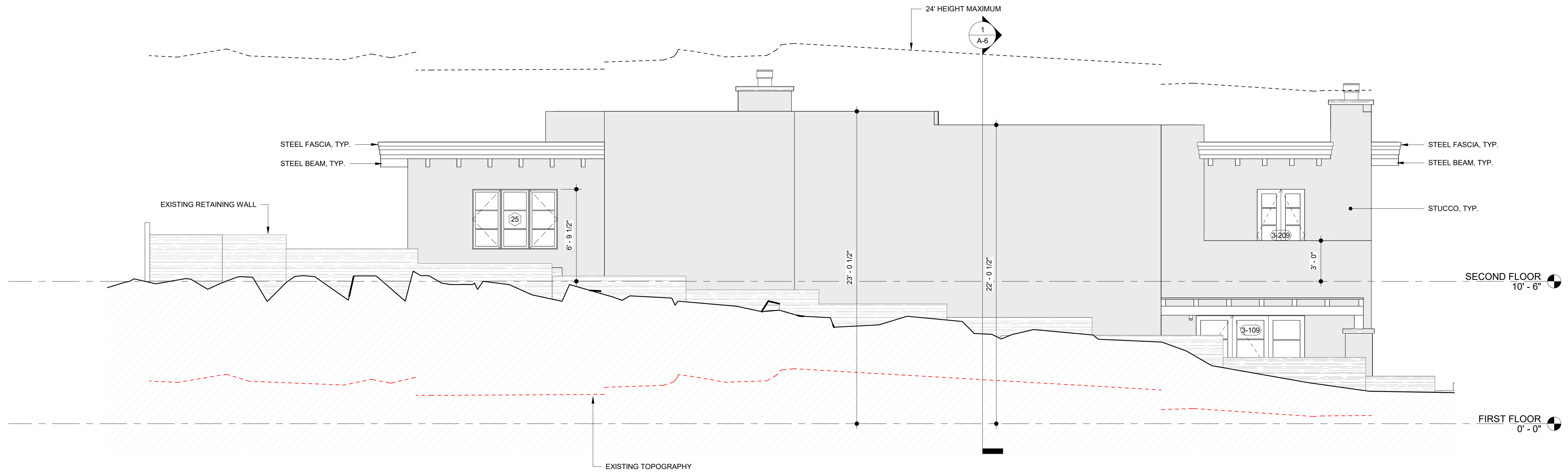
09/11/2024

**PERALTA'S WALK, LLC.**  
507 Paseo de Peralta  
Santa Fe, NM  
**PASEO NORTH**

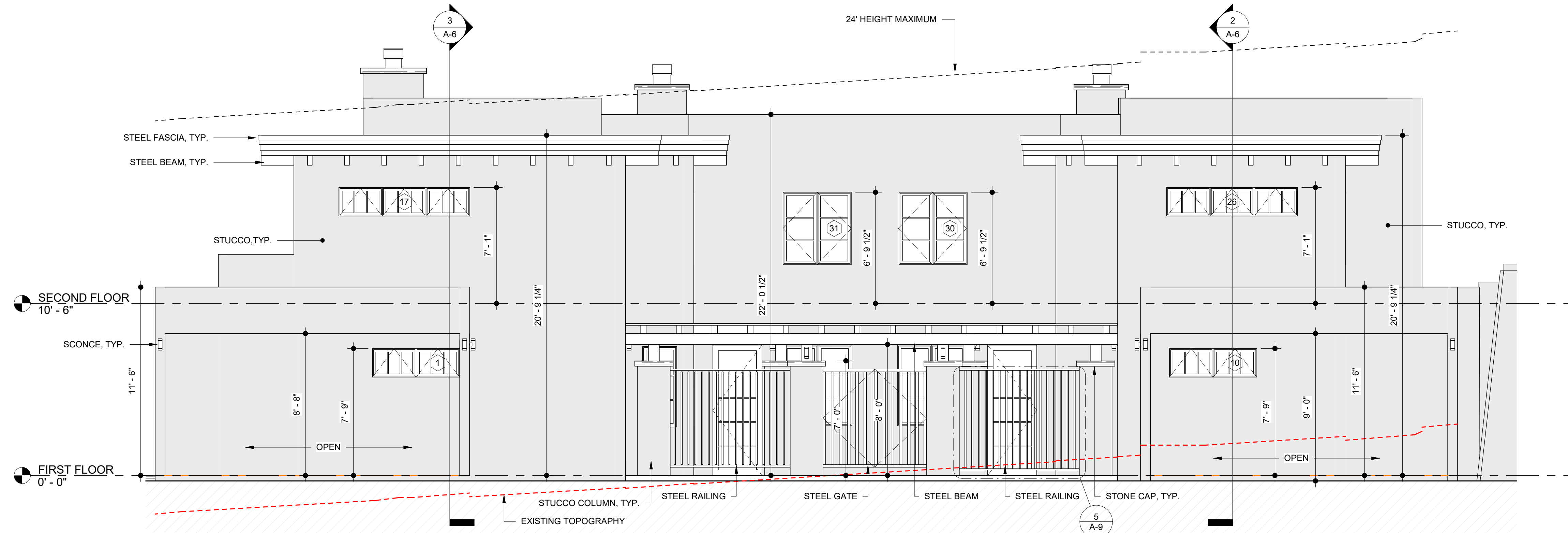
**ROOF PLAN**



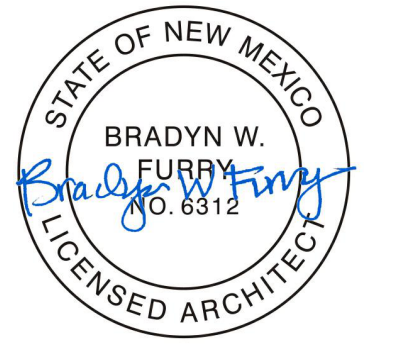
9/11/2024 10:21:59 AM  
drawing scale: 1/4" = 1'-0"



1 NORTH  
1/4" = 1'-0"



2 EAST  
1/4" = 1'-0"



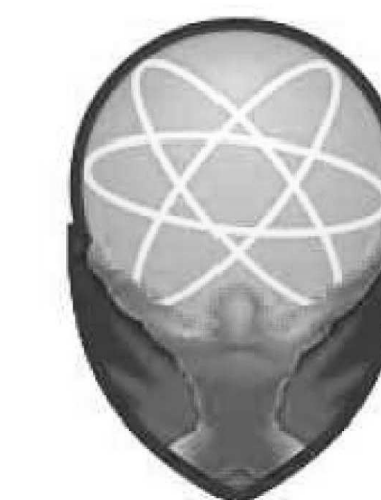
09/11/2024

**PERALTA'S WALK, LLC.**

507 Paseo de Peralta  
Santa Fe, NM

**PASEO NORTH**

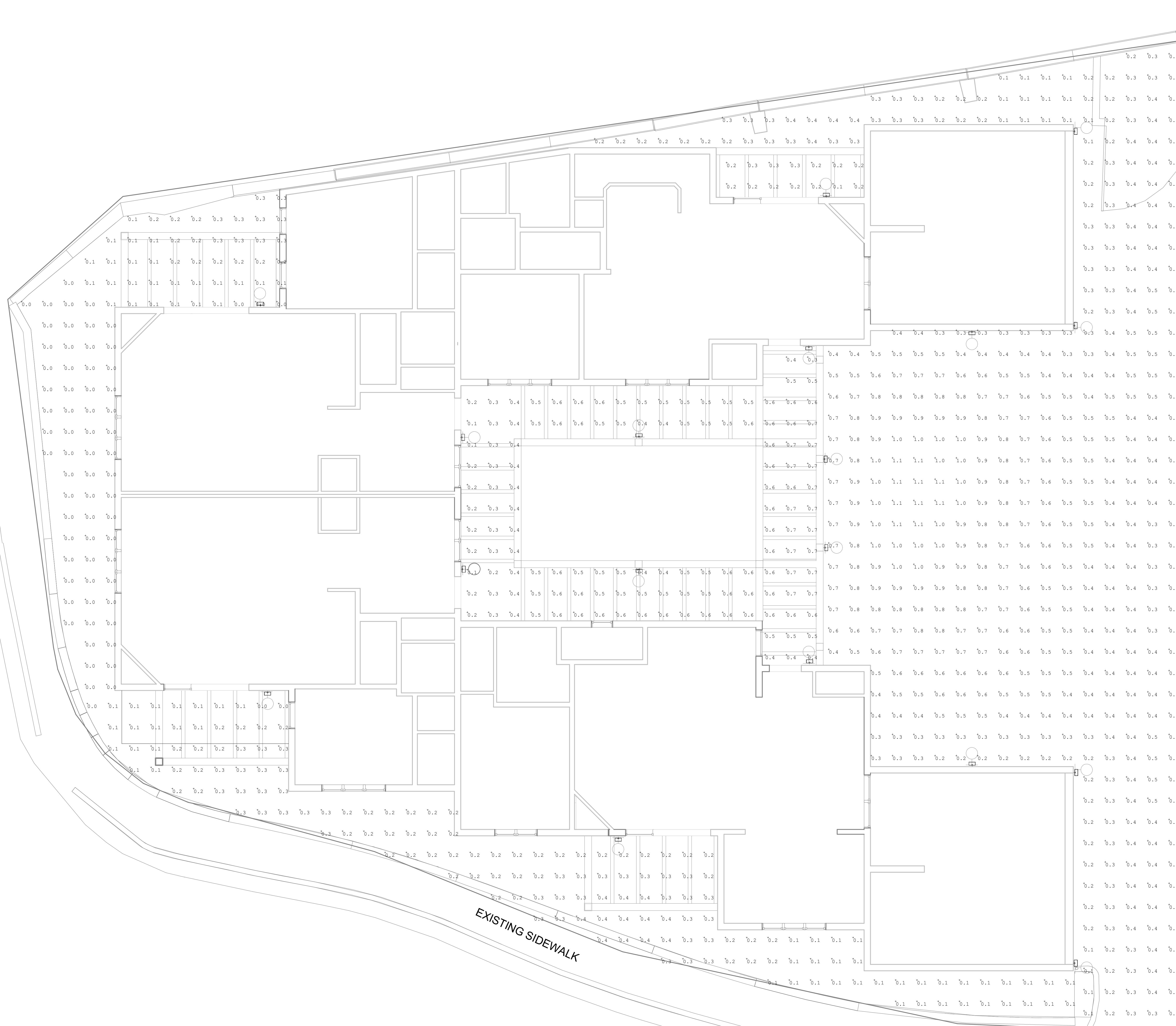
**EXTERIOR ELEVATIONS**



ATLAS ENGINEERING

14 JOY LANE  
SANTA FE, NM, 87508  
505.795.1992

MAGDALENA RD.



PROPERTY LINE

PROPERTY LINE

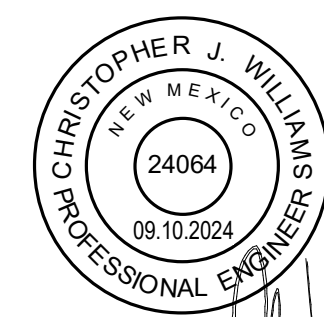
EXISTING SIDEWALK

PASEO DE PERALTA

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
[Symbol]	18	OLCS 8 WH	Single	OLCS 8 WH	1.000	522	8.93	160.74

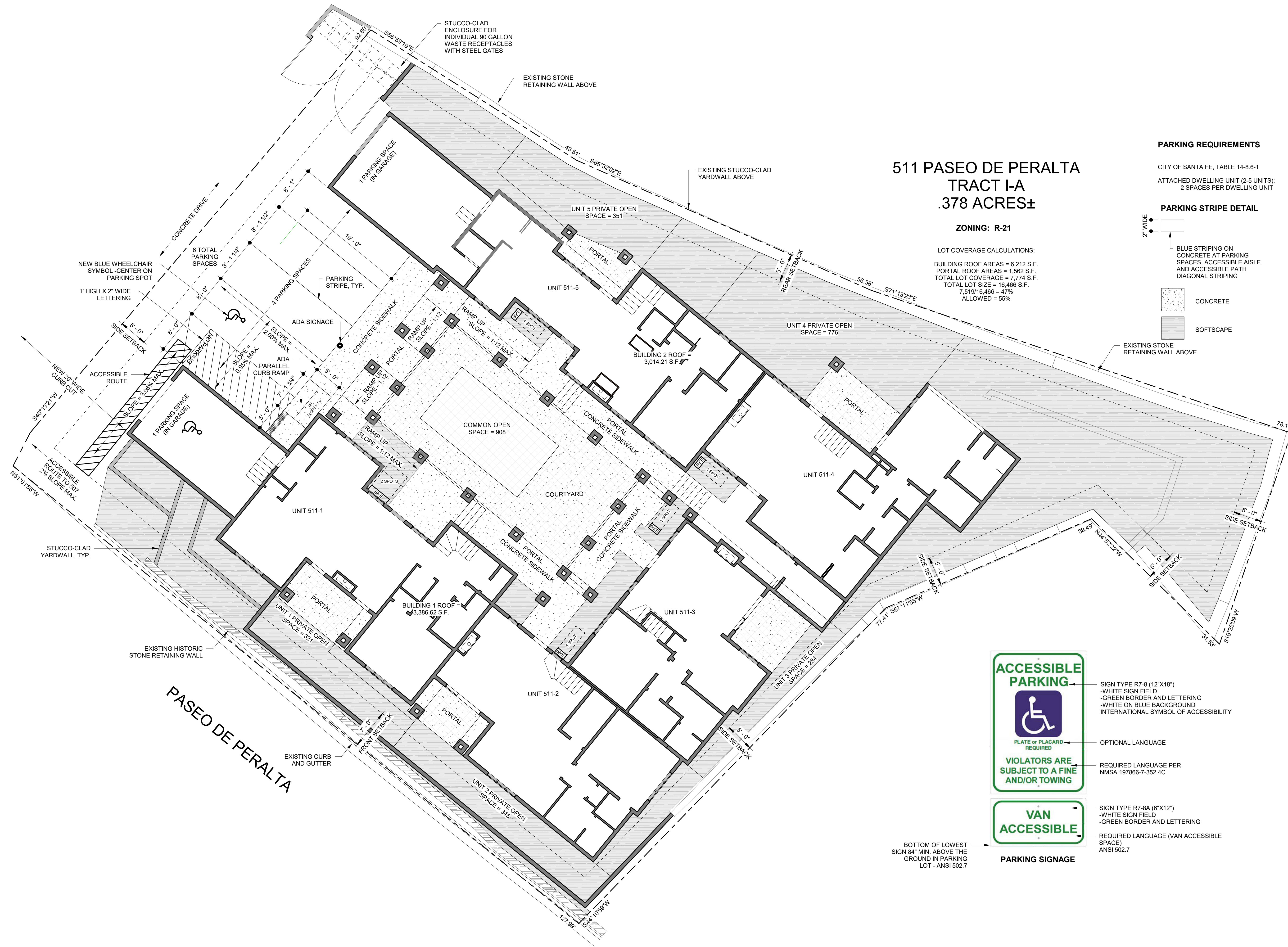
Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Max/Avg	
CalcPts_1	Illuminance	Fc	0.49	1.1	0.1	4.90	11.00	2.24	
CalcPts_2	Illuminance	Fc	0.21	0.4	0.0	N.A.	N.A.	1.90	
CalcPts_3	Illuminance	Fc	0.49	0.7	0.1	4.90	7.00	1.43	
CalcPts_4	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.	4.29	
CalcPts_5	Illuminance	Fc	0.21	0.3	0.1	2.10	3.00	1.43	

PERALTA'S WALK, LLC.  
507 Paseo de Peralta  
Santa Fe, NM  
PASEO NORTH



ELECTRICAL PHOTOMETRIC PLAN

9/10/2024 1:54:23 PM  
drawing scale: 1/4" = 1'-0"



**511 PASEO DE PERALTA TRACT I-A .378 ACRES±**

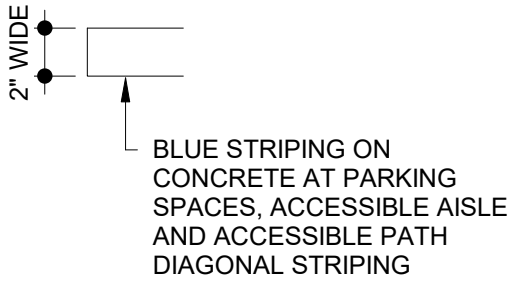
**ZONING: R-21**

LOT COVERAGE CALCULATIONS:  
 BUILDING ROOF AREAS = 6,212 S.F.  
 PORTAL ROOF AREAS = 1,562 S.F.  
 TOTAL LOT COVERAGE = 7,774 S.F.  
 TOTAL LOT SIZE = 16,466 S.F.  
 7,519/16,466 = 47%  
 ALLOWED = 55%

**PARKING REQUIREMENTS**

CITY OF SANTA FE, TABLE 14-8.6-1  
 ATTACHED DWELLING UNIT (2-5 UNITS):  
 2 SPACES PER DWELLING UNIT

**PARKING STRIPE DETAIL**



CONCRETE  
 SOFTSCAPE



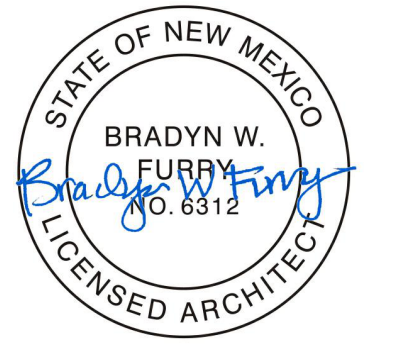
OPTIONAL LANGUAGE  
 REQUIRED LANGUAGE PER NMSA 197866-7-352.4C



REQUIRED LANGUAGE (VAN ACCESSIBLE SPACE) ANSI 502.7

**PARKING SIGNAGE**

BOTTOM OF LOWEST SIGN 84" MIN. ABOVE THE GROUND IN PARKING LOT - ANSI 502.7

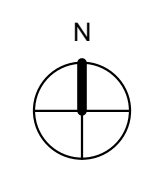


09/11/2024

**PERALTA'S WALK, LLC.**

511 Paseo de Peralta  
 Santa Fe, NM  
**PASEO NORTH**

**SITE PLAN**

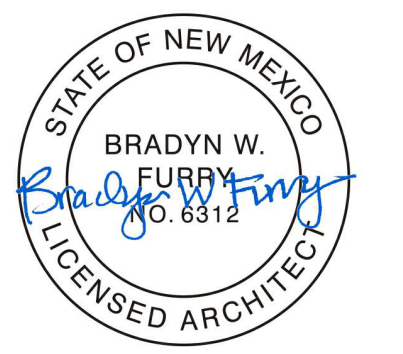


9/11/2024 10:25:29 AM  
 drawing scale: 1/8" = 1'-0"



KEYNOTES: #

1. 60 MIL. LOW-SLOPE, TPO ROOFING OVER 80 PSI RECOVERY BOARD
2. ROOF DRAIN WITH OVERFLOW
3. METAL DRIP EDGE
4. STONE CHIMNEY CAP
5. STEEL FIREPLACE EXHAUST PIPE
6. DECK BELOW
7. METAL ROOFING
8. SOFTSCAPE BELOW
9. CONCRETE PAD BELOW
10. STONE COLUMN CAP BELOW
11. PARAPET
12. EDGE OF ROOF BELOW
13. ROOF DRAIN WITH OVERFLOW BELOW DECKING ON PEDESTALS
14. OPENING IN PARAPET FOR ROOF DRAINAGE

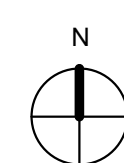


09/11/2024

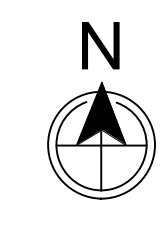
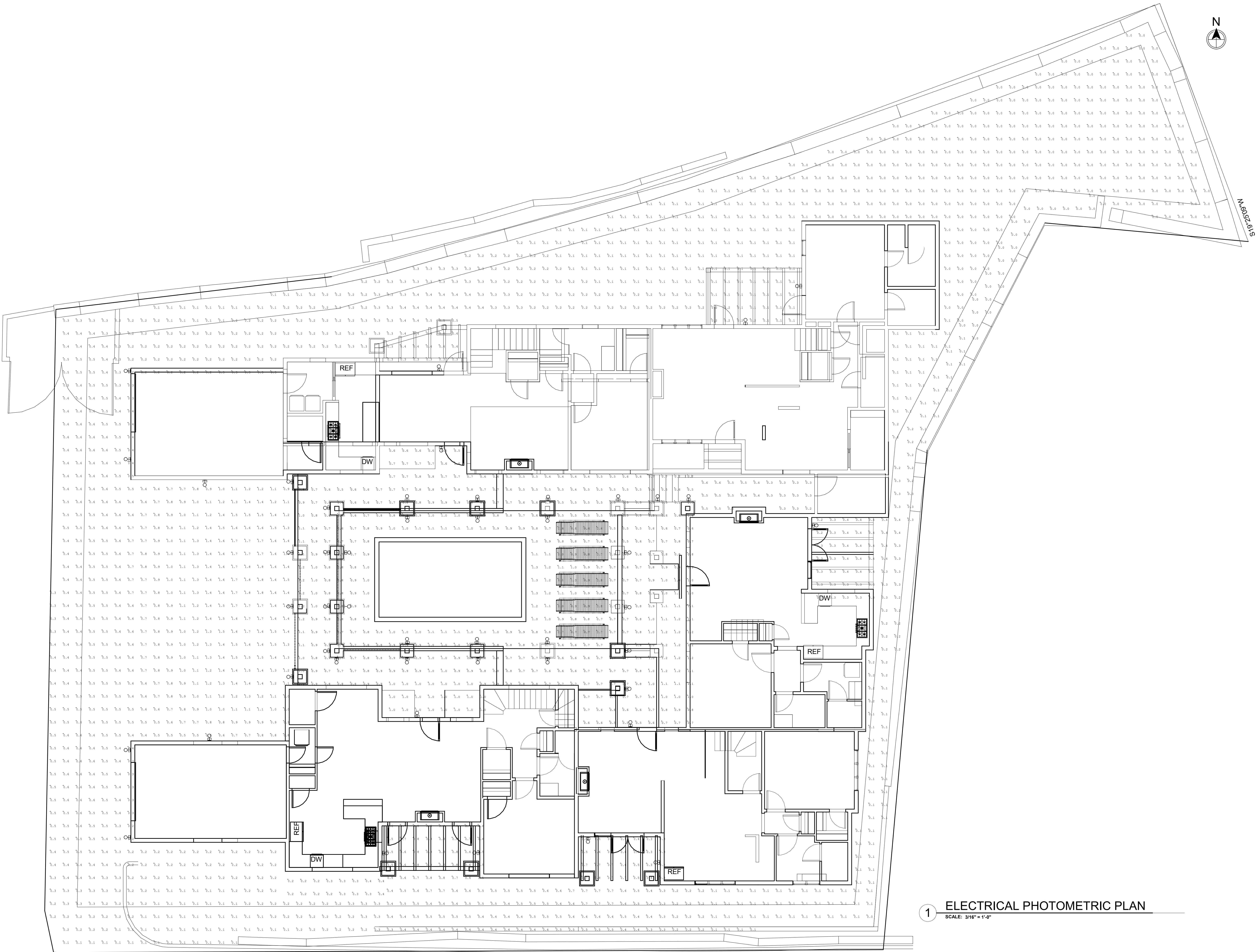
**PERALTA'S WALK, LLC.**

511 Paseo de Peralta  
Santa Fe, NM  
**PASEO NORTH**

**ROOF PLAN**







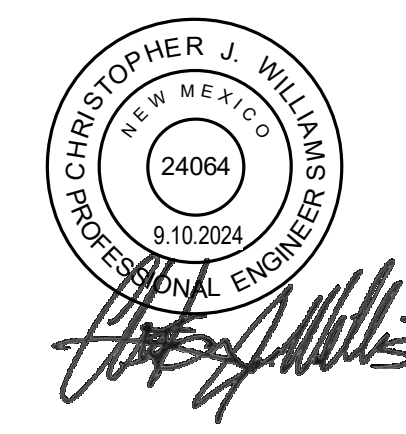
N. 63026 S



**ATLAS ENGINEERING**  
 14 JOY LANE  
 SANTE FE, NM. 87508  
 505.795.1992

**1 ELECTRICAL PHOTOMETRIC PLAN**  
 SCALE: 3/16" = 1'-0"

**PERALTA'S WALK, LLC.**  
 511 Paseo de Peralta  
 Santa Fe, NM  
**PASEO NORTH**



**ELECTRICAL PHOTOMETRIC PLAN**

9/11/2024 10:02:58 AM  
 drawing scale: 3/16" = 1'-0"

**E200**

**GENERAL NOTES:**

1. ALL IMPROVEMENTS, UNLESS OTHERWISE MODIFIED IN THE PROJECT SPECIFICATIONS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE COSE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OF THE CITY OF SANTA FE, NM, LATEST EDITION, EXCEPT WHERE OTHERWISE NOTED IN THE DRAWINGS.
2. THE CONTRACTOR AGREES SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF PROJECT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
3. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, ENGINEER AND ALL APPROVAL SIGNATORIES. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS OR TECHNIQUES OR FOR THE PROSECUTION OF THE WORK AS SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
4. THE CONTRACTOR SHALL DESIGNATE AT LEAST ONE EMERGENCY CONTACT PERSON, AND SHALL PROVIDE TELEPHONE NUMBERS WHERE THIS PERSON CAN BE CONTACTED AT ANY TIME, INCLUDING WEEKENDS, HOLIDAYS AND AFTER HOURS. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS FROM ALL JURISDICTIONAL AUTHORITIES PRIOR TO START OF CONSTRUCTION. PERMIT COSTS ARE INCIDENTAL TO BASE BID.
6. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY, HEALTH, AND ENVIRONMENTAL PROTECTION.
7. EXISTING SITE INFRASTRUCTURE WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING, IN ADVANCE OF CONSTRUCTION OPERATIONS, IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITY CONFLICTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
10. WHEN ABUTTING NEW PAVEMENT TO EXISTING INTERSECTING STREETS THE EXISTING PAVEMENT SHALL BE SAW CUT TO A STRAIGHT LINE AT RIGHT ANGLES AND ANY BROKEN OR CRACKED PAVEMENT SHALL BE REMOVED. SAW CUTTING SHALL BE INCIDENTAL TO PAVING, THEREFORE, NO DIRECT PAYMENT WILL BE MADE FOR THE SAW CUTTING.
11. ANY PAVEMENT DISTURBED BY THE TRENCH SHALL BE REMOVED AND THE FULL SECTION OF PAVEMENT SHALL BE REPLACED. FOR THE PAVEMENT SECTION AND THAT AREA DISTURBED BY THE EXCAVATED TRENCH, THE FOLLOWING APPLIES UNLESS OTHERWISE NOTED ON PLANS: IF ONLY ONE LANE IS DISTURBED BY TRENCHING, THE REMAINDER OF THE ONE ENTIRE LANE SHALL BE MILLED AND RESURFACED. IN A FOUR-LANE STREET, IF MORE THAN ONE LANE BUT LESS THAN HALF THE STREET IS AFFECTED, THEN THE REMAINDER OF HALF THE STREET (TWO LANES MINIMUM) SHALL BE MILLED AND RESURFACED. IF MORE THAN ONE-HALF OF ANY STREET WIDTH IS AFFECTED, THEN ALL PAVING IN THE STREET FROM CURB TO CURB SHALL BE MILLED AND RESURFACED.
12. DEWATERING DURING CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION.

**GEOTECHNICAL INVESTIGATION:**

1. GEOTECHNICAL EXPLORATION, TESTING, AND ANALYSIS WILL ESTABLISH PARAMETERS REGARDING FOUNDATION AND FOUNDATIONS. CRITERIA WILL BE ESTABLISHED TO PERMIT THE MOST ECONOMIC DESIGN THAT IS COMPATIBLE WITH LIFE EXPECTANCY AND SERVICE OF STRUCTURES.
2. DESIGN LOADS FOR ALL STRUCTURES WILL BE DETERMINED IN ACCORDANCE WITH THE CRITERIA DESCRIBED BELOW, UNLESS THE APPLICABLE BUILDING CODE REQUIREMENTS ARE MORE STRINGENT.
3. **VEHICLE LOADS:** LOADS EXERTED ON ROADWAY PAVEMENTS, BURIED PIPING, BOX CULVERTS, AND EMBANKMENTS WILL BE REVIEWED AND SELECTED PRIOR TO DESIGN OF THE UNDERLYING ITEMS. TYPICALLY, HS20 LOADS WILL BE USED FOR THE DESIGN OF ROADWAY SUB GRADE. EQUIPMENT LOADING SUCH AS SCRAPERS (LOADED), CRAWLER CRANES, AND EQUIPMENT TRANSPORT TRAILERS COULD EXCEED THE TYPICAL HS20 LOADINGS. SUCH LOADS WILL BE CONSIDERED WHERE APPROPRIATE.
4. **SITE ARRANGEMENT:** THE SITE ARRANGEMENT WILL CONFORM TO APPLICABLE LAWS, REGULATIONS, AND ENVIRONMENTAL STANDARDS. THE PRINCIPLE ELEMENTS IN THE SELECTION OF SITE ARRANGEMENT CRITERIA ARE THE PHYSICAL SPACE REQUIREMENTS AND RELATIONSHIPS DICTATED BY EACH OF THE MAJOR SYSTEMS. DISTANCES BETWEEN VARIOUS SYSTEMS WILL BE MINIMIZED FOR ECONOMY. UTILITY INTERCONNECTIONS WILL BE OPTIMIZED AS MUCH AS PRACTICAL. SPILL CONTAINMENT MEASURES WILL BE PROVIDED. TREATMENT SYSTEMS WILL BE PROVIDED FOR FACILITY WASTEWATER STREAMS, BEFORE DISCHARGE. SANITARY WASTEWATER WILL BE DISCHARGED TO AN ON-SITE LEACHING FIELD. INTERNAL ACCESS ROADS WILL BE PROVIDED. THE SITE ARRANGEMENT WILL BE DEVELOPED TO MINIMIZE FILL AND/OR EXCAVATION. THE WORK ELEMENTS OF PROJECT CONSTRUCTION, OPERATION, AND MAINTENANCE, THE SITE GRADING AND DRAINAGE PLAN WILL USE A SERIES OF ON-SITE LOCALIZED INFILTRATION AREAS, SHEET FLOW, WHICH FOLLOWS THE EXISTING NATURAL DRAINAGE COURSE, WILL BE RUNOFF ACROSS THE SITE TO THE LOCALIZED INFILTRATION AREAS INCORPORATED INTO THE SITE GRADING AND DRAINAGE PLANS. THE USE OF LOW RUNOFF VELOCITIES AND INFILTRATION AREAS WILL ALLOW THE RUNOFF TO BE ROUTED THROUGH AN OIL-WATER SEPARATOR.

**THE FOLLOWING CRITERIA WILL BE FOLLOWED REGARDING SITE INFRASTRUCTURE:**

- CULVERTS AND SANITARY SEWER MANHOLES WILL BE INSTALLED AS REQUIRED.
  - LOCATIONS AND REQUIREMENTS FOR FENCING OR WALLS WILL CONFORM TO APPLICABLE BUILDING CODES AND COUNTY ORDINANCES.
5. **GRADING AND DRAINAGE**  
THE SITE GRADING AND DRAINAGE SYSTEM WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS. THE GENERAL SITE GRADING WILL ESTABLISH A WORKING SURFACE FOR CONSTRUCTION AND OPERATING AREAS, PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AND STRUCTURES, AND PROVIDE ADEQUATE SOIL COVERAGE FOR UNDERGROUND UTILITIES.  
ON-SITE DRAINAGE WILL BE ACCOMPLISHED THROUGH GRAVITY FLOW WHENEVER POSSIBLE. THE SURFACE DRAINAGE SYSTEM WILL CONSIST OF GENTLE SLOPES. THE BUILDINGS AND STRUCTURES WILL BE LOCATED WITH THE GROUND FLOOR ELEVATION A MINIMUM OF SIX INCHES ABOVE THE FINISHED GRADE. THE PREFERRED SLOPE OF THE GRADED AREAS AWAY FROM STRUCTURES WILL BE 1 PERCENT WITH A MINIMUM SLOPE OF 0.5 PERCENT.  
SITE DRAINAGE FACILITIES WILL BE DESIGNED FOR THE FLOW RESULTING FROM A 25-YEAR, 6-HOUR RAINFALL EVENT. TEMPORARY FACILITIES WILL GENERALLY BE DESIGNED FOR A 2-YEAR RAINFALL. ANY FACILITIES LOCATED WITHIN A FLOOD PLAIN WILL BE ELEVATED AND DESIGNED TO PREVENT FLOODING OF PERMANENT FACILITIES.

**EXCAVATION AND FILL**

- EXCAVATION AND FILL WILL BE BALANCED TO THE MAXIMUM EXTENT POSSIBLE.
- EXCAVATION : IN AREAS REQUIRING EXCAVATION, EARTH MATERIAL WILL BE REMOVED TO THE REQUIRED LINES AND GRADES. ANY UNDESIRABLE MATERIAL WILL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS. THE REMAINING IN-SITU MATERIAL WILL BE GRADED AND COMPACTED TO THE DEPTH AND DENSITY DETERMINED BY DETAILED DESIGN. EXCAVATED MATERIAL THAT MEETS THE DESIGN REQUIREMENTS WILL BE USED AS GENERAL SITE FILL WHERE POSSIBLE.
- FILL : COMPACTED FILL MATERIAL WILL BE OBTAINED FROM ON SITE EXCAVATIONS TO THE MAXIMUM EXTENT POSSIBLE. THE MATERIAL WILL BE PLACED AND COMPACTED TO THE GRADES AND DENSITY DETERMINED BY THE DESIGN. BASED UPON THE GEOTECHNICAL INVESTIGATION FINDINGS, COMPACTION WILL BE PROVIDED UNDER AND WITHIN FIVE FEET OF THE FOUNDATION FOOTPRINT. OPEN AREAS NOT SUPPORTING REFLECTOR FOUNDATIONS WILL BE SCARIFIED AND GRADED TO ACHIEVE HIGH SOIL PERMEABILITY. APPROXIMATELY SIX INCHES OF TOPSOIL WILL BE PLACED ON FILL IN ANY AREAS THAT ARE TO BE SEEDED OR OTHERWISE LANDSCAPED.

**d DRAINAGE SWALES**

DRAINAGE SWALES WILL BE DESIGNED TO PROVIDE SLOW FLOW VELOCITIES AND TO ACCOMMODATE EXPECTED SITE RUNOFF AS WELL AS DIRECT AND CONTROL RUNOFF FROM ADJOINING PROPERTIES.

**c STORM WATER DRAINAGE**

A STORM WATER DRAINAGE SYSTEM WILL BE DEVELOPED. DRAINAGE SWALES WILL BE USED ALONG THE PERIMETER TO CONTROL AND DIRECT STORM WATER RUNOFF FOR ABSORPTION INTO THE GROUND AS WELL AS DIRECT RUNOFF INTO THE EXISTING AREA DRAINAGE COURSE.

**d PRE- AND POST-DEVELOPMENT RUNOFF CONDITIONS**

THE PEAK FLOW ASSOCIATED WITH THE 25-YEAR STORM EVENT AT THE SITE, BEFORE MODIFICATIONS (PRE-DEVELOPMENT), WILL BE COMPARED TO THE AFTER-CONSTRUCTION (POST-DEVELOPMENT) CONDITIONS.

**e EROSION AND SEDIMENTATION CONTROL**

EROSION AND SEDIMENTATION CONTROL WILL BE PROVIDED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF WATER QUALITY STANDARDS. THE PROPOSED SITE DEVELOPMENT WILL SLIGHTLY ALTER THE LAND AREAS OF THE SITE. EXISTING, SPARSE VEGETATION WILL BE REMOVED AS REQUIRED DURING SITE PREPARATION. THE GENERAL PREPARATION OF THE OVERALL SITE WILL BE FOLLOWED BY EARTHMOVING ACTIVITIES. FINAL FINISH GRADING WILL BEGIN WHEN ALL OTHER GRADING OPERATIONS ARE COMPLETE. FINAL GRADING MAY INCLUDE SEEDING DISTURBED AREAS, SURFACED WITH CONCRETE, ASPHALT, OR CRUSHED AGGREGATE OR PROVIDED WITH A SOIL TREATMENT DESIGN TO LIMIT THE GROWTH OF GRASS AND WEEDS. TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES USED DURING CONSTRUCTION WILL BE DESIGNED TO PREVENT SEDIMENTS FROM BEING DISPLACED AND CARRIED OFF-SITE BY STORM WATER RUNOFF. PRIOR TO BEGINNING EXCAVATION ACTIVITIES, A SILT FENCE OR STRAW BALES WILL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT WORK AREAS WHERE RUNOFF TO OFF-SITE AREAS COULD OCCUR. THE SILT FENCE WILL FILTER SEDIMENTS FROM CONSTRUCTION RUNOFF. DURING CONSTRUCTION, THE EXTENT OF EARTH DISTURBANCES WILL BE MINIMIZED AS MUCH AS PRACTICAL. DIVERSION DITCHES AND/OR BERMS WILL BE CONSTRUCTED AS NECESSARY TO DIVERT RUNOFF FROM OFF-SITE AREAS AROUND THE CONSTRUCTION SITE. TEMPORARY CONTROL MEASURES WILL BE MAINTAINED AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD.

PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES WITHIN THE PROJECT SITE WILL INCLUDE THE RUNOFF COLLECTION SYSTEM AND INFILTRATION SYSTEM, SURFACED TRAFFIC AND WORK AREAS, AND SEEDED NON-WORKING AREAS. THESE MEASURES WILL MINIMIZE THE POSSIBILITY OF ANY APPRECIABLE EROSION OF THE RESULTING SEDIMENTATION OCCURRING ON THE PROJECT SITE.

**5. TRAFFIC AND TRANSPORTATION**

ACCESS WILL BE PROVIDED BY EXISTING ROADWAYS. ALL ROADS WILL BE APPROPRIATELY SURFACED DURING THE CONSTRUCTION PERIOD. PERIODIC WATERING OR APPLICATIONS OF A DUST PALLIATIVE MATERIAL WILL BE USED TO MINIMIZE DUST PROBLEMS.  
THE MINIMUM RADIUS TO THE INSIDE EDGE OF PAVEMENT (EOP) OR AGGREGATE SURFACE AT INTERSECTIONS OF THE ROAD WILL BE 20 FEET.

**6. FENCING AND SECURITY**

SECURITY AND VISUAL SCREENING FENCING WILL BE PROVIDED AROUND THE PROJECT SITE. ACCESS TO THE PROJECT SITE WILL BE PROVIDED THROUGH A CONTROLLED ACCESS GATE. FENCING HEIGHTS WILL BE IN ACCORDANCE WITH APPLICABLE CODES, REGULATORY REQUIREMENTS AND VISUAL CONSIDERATIONS.

**EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN:**

1. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
2. THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED BY THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF OF THE PROJECT SITE.
3. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR PLAN. INSTALLING SILT FENCES AT THE PROPERTY LINES.
4. THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT SWALES BY INSTALLING CHECK DAMS IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW.
5. THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
6. ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR ANY IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING. WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 14 DAYS, STABILIZATION MEASURES MUST BE INITIATED, UNLESS INDICATED OTHERWISE ON THESE PLANS OR ON THE LANDSCAPING PLAN. SEEDING SHALL BE NATIVE GRASS SEEDING PER SECTION 1012 OF THE COA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
7. ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING, EXCESS OIL MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HULL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-827-9329.
9. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
10. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
11. WHERE STORM INLETS ARE SUSCEPTIBLE TO IN FLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE INSTALLED ON THEIR UPSTREAM SIDE.

**CLEARING AND GRUBBING:**

THIS SECTION GOVERNS THE FURNISHING OF ALL LABOR, EQUIPMENT, TOOLS AND MATERIALS AND THE PERFORMANCE OF ALL CLEARING, GRUBBING, AND DEMOLITION WITHIN THE LIMITS OF WORK AS DEFINED IN THIS SPECIFICATION, IN THE SPECIAL PROVISIONS OR AS SHOWN ON THE PLANS.

1. **CLEARING:** CLEARING SHALL CONSIST OF REMOVING ALL VEGETABLE MATTER SUCH AS TREES, BRUSH, DOWN TIMBER AND OTHER OBJECTIONABLE MATERIALS FOUND ON OR ABOVE THE SURFACE OF THE SITE. IT SHALL INCLUDE REMOVING BUILDINGS, FENCES, LUMBER, WASTE DUMPS AND TRASH AND THE SALVAGING OF SUCH MATERIALS AS MAY BE SPECIFIED AND DISPOSING OF THE DEBRIS. THE CONTRACTOR SHALL SCALP ALL EXCAVATION AND EMBANKMENT AREAS. SCALPING SHALL INCLUDE THE REMOVAL OF MATERIAL SUCH AS SOIL, GRASS, RESIDUE OR AGRICULTURAL CROPS AND DECAYED VEGETABLE MATTER FROM THE SURFACE OF THE GROUND WITHOUT REMOVING MORE EARTH THAN IS NECESSARY.
2. **GRUBBING:** GRUBBING SHALL CONSIST OF REMOVING AND DISPOSING OF ALL VEGETABLE MATTER SUCH AS STUMPS, ROOTS, BURIED TREES AND BRUSH ENCOUNTERED BELOW THE SURFACE OF THE GROUND OR SUBGRADE, WHICHEVER IS LOWER, WHICH HAVE NOT BEEN INCLUDED IN SECTION 2101.2A ENTITLED "CLEARING". IN ALL CASES OF GRUBBING, THE VEGETABLE MATTER SHALL BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES (30.48CM) BELOW GROUND LINE OR SUBGRADE, WHICHEVER IS LOWER, EXCEPT AS PROVIDED IN SECTION 311000. WHEN DELETERIOUS MATERIALS ARE ENCOUNTERED BELOW GROUND LINE WHICH MAY BE DETRIMENTAL TO THE PROPOSED IMPROVEMENT, THESE SHALL BE REMOVED TO A DEPTH NECESSARY TO PROVIDE ADEQUATE SUPPORT FOR THE PROPOSED IMPROVEMENT.
3. **DEMOLITION AND REMOVAL:** THIS WORK SHALL CONSIST OF DEMOLISHING, REMOVING, AND DISPOSING OF ALL STRUCTURES AND IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS UNLESS INCLUDED IN OTHER ITEMS OF WORK AS SHOWN ON THE PLANS OR IN THE SPECIAL PROVISIONS. THIS WORK SHALL APPLY TO ALL STRUCTURES AND IMPROVEMENTS, WHETHER ON, ABOVE OR BELOW THE SURFACE OF THE GROUND OR SUBGRADE. DEMOLITION AND REMOVAL SHALL INCLUDE BUT NOT BE LIMITED TO ITEMS SUCH AS BUILDINGS, DRAINAGE STRUCTURES, PIPES, PAVEMENTS, FENCES, RETAINING WALLS, GUARD RAILS, AND SIGNS. ITEMS SUCH AS FENCES AND GUARD RAILS SHALL BE SALVAGED AND RELINQUISHED TO THE APPROPRIATE OWNER OR RELOCATED, WHERE INDICATED ON THE PLANS. RELOCATION OF SIGNS, FENCES, GUARD RAILS, ETC. SHALL BE CONSIDERED INCIDENTAL TO REMOVAL WORK EXCEPT WHERE SUCH RELOCATION IS LISTED SEPARATELY IN THE ITEMIZED PROPOSAL OF THE SPECIAL PROVISIONS. ALL PIPES WHICH ARE TO BE ABANDONED SHALL BE REMOVED UNLESS OTHERWISE SHOWN ON THE PLANS OR APPROVED BY THE ENGINEER.
5. **TREES:** VEGETABLE GROWTH 6 INCHES (15.24CM) IN DIAMETER AND LARGER, MEASURED 3 FEET (91.44CM) ABOVE GROUND SHALL BE CLASSIFIED AS A TREE. E. BRUSH: VEGETABLE GROWTH LESS THAN 6 INCHES (15.24CM) IN DIAMETER, MEASURED 3 FEET (91.44CM) ABOVE GROUND SHALL BE CLASSIFIED AS BRUSH.

**CONSTRUCTION DETAILS**

- 6.1. LIMITS OF WORK: THE LIMITS FOR CLEARING, GRUBBING, AND DEMOLITION SHALL EXTEND TO THE CONSTRUCTION LIMITS UNLESS OTHERWISE SHOWN ON THE PLANS.
  - 6.2. PROTECTION OF GREENERY: EXISTING STRUCTURES AND PRIVATE FACILITIES, THE PLANS WILL DESIGNATE TREES, SHRUBS OR OTHER PLANTS THAT ARE TO BE SAVED AND THE CONTRACTOR WILL TAKE NECESSARY STEPS TO PROTECT THIS GREENERY. TREES MAY BE PRUNED, UNLESS PRIOR APPROVAL OF THE ENGINEER, BUT ONLY IN ACCORDANCE WITH THE BEST PRACTICES OF ARBORICULTURE IN RESPECT TO THE INDIVIDUAL SPECIES WITH DUE REGARD TO THEIR NATURAL FORM AND GROWTH CHARACTERISTICS. EXISTING STRUCTURES WITHIN OR ADJACENT TO THE CONSTRUCTION LIMITS THAT ARE NOT TO BE REMOVED OR DEMOLISHED, SHALL BE PROTECTED BY THE CONTRACTOR DURING HIS OPERATIONS. ANY PRIVATE FACILITIES SUCH AS HOUSE SEWER LATERALS WHICH ARE DISTURBED OR DAMAGED BY THE CONTRACTOR'S WORK, SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO THE CLOSE OF THE WORK DAY. THIS REPAIR SHALL BE MADE IN A MANNER SUFFICIENT TO RESTORE UTILITY SERVICE TO THAT PROPERTY.
  - 6.3. EMBANKMENT AREAS: WHEN UNDISTURBED STUMPS AND ROOTS ARE ENCOUNTERED WHERE THE FILL DEPTH WILL EXCEED 3 FEET (91.44CM), THE STUMPS AND ROOTS MAY BE LEFT IN PLACE PROVIDED THEY DO NOT EXTEND MORE THAN 3 INCHES (7.62CM) ABOVE THE ORIGINAL GROUND LINE.
  - 6.4. BORROW AREAS: ALL STUMPS, ROOTS AND OTHER OBJECTIONABLE MATTER SHALL BE REMOVED FROM THE BORROW MATERIAL USED FOR EMBANKMENT OR FILL. THE BORROW AREA SHALL BE LEFT IN A WELL DRAINED AND SMOOTH CONDITION.
  - 6.5. BACKFILLING THE SITE: ALL TRENCHES, HOLES, PITS, AND BASEMENT AREAS RESULTING FROM THE OPERATIONS OF CLEARING, GRUBBING, DEMOLITION AND REMOVAL ON THE SITE, SHALL BE BACKFILLED WITH SUITABLE MATERIAL PLACED AND COMPACTED IN CONFORMANCE WITH SECTION 311000.
  - 6.6. DISPOSAL OF MATERIALS: ALL MATERIALS WITH THE EXCEPTION OF THOSE WHICH ARE DESIGNATED FOR SALVAGE OR WHICH ARE USED IN THE EMBANKMENT IN CONFORMANCE WITH THIS SPECIFICATION, SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE DISPOSED OF BY HIM, OUTSIDE THE PROJECT LIMITS.
- GRADING:**
1. THIS SECTION GOVERNS THE PERFORMANCE OF ALL WORK REQUIRED TO EXCAVATE, REMOVE, DISPOSE OR COMPACT ALL MATERIALS ENCOUNTERED WITHIN THE LIMITS OF THE PROJECT, AT THE LOCATIONS SHOWN ON THE PLANS, IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE SECTIONS OF THE GENERAL PROVISIONS AND COVENANTS, AND AS PROVIDED FOR IN THE SPECIAL PROVISIONS.
  2. **DEFINITIONS:**  
2.1. GRADING: GRADING AS USED HEREIN SHALL MEAN THE PERFORMANCE OF ALL EXCAVATION, EMBANKMENT, AND BACKFILL IN CONNECTION WITH THE CONSTRUCTION OF ALL IMPROVEMENTS.  
2.2. EXCAVATION: EXCAVATION IS DEFINED AS THE REMOVAL OF MATERIALS FROM THE CONSTRUCTION AREA TO THE LINES AND GRADES SHOWN ON THE PLANS.  
2.3. UNCLASSIFIED EXCAVATION: UNCLASSIFIED EXCAVATION IS DEFINED AS THE REMOVAL OF ALL MATERIAL ENCOUNTERED REGARDLESS OF ITS NATURE. ALL MATERIAL EXCAVATED WILL BE CONSIDERED AS UNCLASSIFIED EXCAVATION UNLESS THE SPECIAL PROVISIONS SPECIFY CLASSIFIED MATERIALS.  
2.4. ROCK EXCAVATION: ROCK EXCAVATION IS DEFINED AS THE REMOVAL OF ALL ROCK LEDGES 8 INCHES (15.24CM) OR MORE IN THICKNESS, AND DETACHED ROCK OR Boulders HAVING A VOLUME OF MORE THAN 1 1/2 CUBIC YARDS (1.15 CUBIC METERS) AND SHALE OCCURRING IN ITS NATURAL STATE, HARD AND UN-WEATHERED. A ROCK LEDGE IS DEFINED AS A CONTINUOUS BODY OF ROCK WHICH MAY INCLUDE THIN INTERBEDDED SEAMS OF SHALE OR OTHER SOFT MATERIALS LESS THAN 12 INCHES (30.48CM) THICK. THE THICKNESS OF EACH LAYER SHALL BE DEFINED BY INTERBEDDED SEAMS OF SOFT MATERIALS 12 INCHES OR MORE IN THICKNESS. THE SEAMS OF SOFT INTERBEDDED MATERIAL 12 INCHES (30.48CM) OR MORE IN THICKNESS SHALL NOT BE INCLUDED IN THE MEASUREMENT FOR "ROCK EXCAVATION" BUT SHALL BE INCLUDED IN THE MEASUREMENT FOR "EARTH EXCAVATION".  
2.5. EARTH EXCAVATION: EARTH EXCAVATION IS DEFINED AS THE REMOVAL OF ALL MATERIAL NOT DEFINED AS ROCK.  
2.6. EMBANKMENT OR BACKFILL: EMBANKMENT OR BACKFILL IS DEFINED AS THE PLACING AND COMPACTING OF MATERIAL IN THE CONSTRUCTION AREA TO THE LINES AND GRADES SHOWN ON THE PLANS.  
2.7. UNSUITABLE MATERIAL: UNSUITABLE MATERIAL IS DEFINED AS MUCK, FROZEN MATERIAL, ORGANIC MATERIAL, TOP SOIL, RUBBISH, AND ROCK WITH A MAXIMUM DIMENSION GREATER THAN 24 INCHES (60.96CM).  
2.8. SUITABLE MATERIAL: SUITABLE MATERIAL IS DEFINED AS ENTIRELY IMPERISHABLE WITH THAT PORTION PASSING THE NO. 40 (425MM) SIEVE HAVING A LIQUID LIMIT NOT EXCEEDING 40 AND A PLASTIC INDEX NOT EXCEEDING 26, WHEN TESTED IN ACCORDANCE WITH ASTM D-4242 AND D-424, RESPECTIVELY.  
2.9. ROCK EMBANKMENT: MATERIAL FOR ROCK EMBANKMENT SHALL BE FREE OF UNSUITABLE MATERIAL AND SHALL CONTAIN, BY VOLUME, GREATER THAN 10 PERCENT ROCK OR GRAVEL HAVING A MAXIMUM DIMENSION GREATER THAN 3 INCHES (7.62CM) BUT NOT GREATER THAN 24 INCHES (60.96CM).  
2.10. EARTH EMBANKMENT: MATERIAL FOR EARTH EMBANKMENT SHALL BE FREE OF UNSUITABLE MATERIAL AND SHALL CONTAIN BY VOLUME, LESS THAN 10 PERCENT ROCK OR GRAVEL HAVING A MAXIMUM DIMENSION GREATER THAN 3 INCHES (7.62CM).  
2.11. BORROW: BORROW IS DEFINED AS APPROVED MATERIAL EXCAVATED FROM AN AREA OUTSIDE OF THE PROJECT LIMITS AND REQUIRED FOR THE CONSTRUCTION OF THE EMBANKMENT.  
2.12. WASTE: WASTE IS DEFINED AS EXCAVATION MATERIAL NOT USED IN THE EMBANKMENT AND DISPOSED OF OUTSIDE OF THE EMBANKMENT AREAS.  
2.13. STRUCTURES: STRUCTURES AS USED HEREIN REFERS TO BRIDGES, CULVERTS, STORM SEWER AND/OR SANITARY APPURTENANCES, RETAINING WALLS AND SIMILAR CONSTRUCTION.
  3. **CONSTRUCTION DETAILS**  
3.1. THE CONTRACTOR SHALL ADHERE TO ANY AND ALL STATUTES REGARDING THE NOTIFICATION OF UTILITIES PRIOR TO BEGINNING ANY WORK WITHIN PUBLIC RIGHT-OF-WAY. RELOCATION OR PROTECTION OF ANY EXISTING UTILITIES LOCATED IN STREET RIGHT-OF-WAY SHALL BE GOVERNED BY SECTION 015000 AND 017300 OF THE GENERAL PROVISIONS. THE RELOCATION AND/OR PROTECTION OF ANY UTILITY THAT IS SHOWN ON THE PLANS, THAT LIES WITHIN A UTILITY EASEMENT AND IS ENDANGERED BY THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.  
3.2. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO PROTECT PRIVATE FACILITIES. THESE FACILITIES MAY NOT BE SHOWN ON THE PLANS, WHEN THESE FACILITIES ARE DISTURBED OR DAMAGED BY THE WORK, THE CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS FOR REPAIRS TO THE FACILITIES FOR CONTINUOUS SERVICE PRIOR TO THE CLOSE OF THAT WORK DAY.  
3.3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PROPERTY LOT CORNERS AND CONTROL MONUMENTATION. SHOULD IT BE NECESSARY TO DISTURB ANY SUCH MONUMENT, WHETHER STAKE, PIN, BAR, DISK, BOX, OR OTHER, IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO REFERENCE SUCH MARKERS PRIOR TO REMOVAL, RESET THEM, AND FILE SUCH RELOCATIONS OR MONUMENTATION DOCUMENTS AS THE LAW MAY REQUIRE. ANY SUCH REFERENCES, REMOVAL, REPLACEMENT AND CERTIFICATION OF MONUMENTS SHALL BE PERFORMED BY A REGISTERED LICENSED SURVEYOR. A COPY OF ALL SUCH CERTIFICATION DOCUMENTS SHALL BE PROVIDED TO THE ENGINEER PRIOR TO FINAL PAYMENT. ANY MONUMENT DESTROYED OR IMPROPERLY RESET BY THE CONTRACTOR MAY BE REPLACED BY THE ENGINEER TO THE STANDARDS REQUIRED BY LAW AT THE EXPENSE OF THE CONTRACTOR.  
3.4. GRADING, EXCAVATION, AND BACKFILLING FOR ALL IMPROVEMENTS, SHALL BE MADE TO THE LINES, GRADES, AND CROSS SECTIONS INDICATED BY THE PLANS.
  7. FINISHING  
7.1. IN AREAS WHERE SODDING OR SEEDING IS PROPOSED, THE UPPER 12 INCHES (30.48CM) OF THE SURFACE AREA SHALL BE EARTH MATERIAL. THE TOP 6 INCHES (15.24CM) SHALL BE SUITABLE FOR SUSTAINING GRASS.

- 3.5. IN ADDITION, TO ANY EROSION CONTROL MEASURES SHOWN ON THE PLANS, THE CONTRACTOR SHALL SCHEDULE AND CONDUCT HIS OPERATION IN SUCH A MANNER AND SHALL PROVIDE ANY NECESSARY CONTROL FACILITIES TO PROTECT DOWNSTREAM AND ADJACENT PROPERTIES FROM POLLUTION, SEDIMENTATION, OR EROSION CAUSED BY THE GRADING OPERATIONS. ANY POLLUTION OR DAMAGE OCCURRING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 3.6. DURING CONSTRUCTION, THE GRADED AREA SHALL BE MAINTAINED BY THE CONTRACTOR IN SUCH CONDITION THAT IT WILL BE WELL DRAINED AT ALL TIMES. ROADWAY DITCHES, CHANNEL CHANNELS, INLET AND OUTLET DITCHES AND OTHER DITCHES IN CONNECTION WITH THE ROADWAY SHALL BE CUT AND MAINTAINED TO THE REQUIRED CROSS SECTION. ALL DRAINAGE WORK SHALL BE PERFORMED IN PROPER SEQUENCE WITH OTHER OPERATIONS. ALL DITCHES AND CHANNELS SHALL BE KEPT FREE OF DEBRIS OR OBSTRUCTIONS.
4. EXCAVATION  
4.1. THIS SECTION GOVERNS THE EXCAVATION FOR ALL IMPROVEMENTS.
- 4.2. ALL SUITABLE MATERIAL REMOVED BY EXCAVATION SHALL BE USED AS FAR AS PRACTICABLE IN THE FORMATION OF EMBANKMENT AS REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL SORT ALL EXCAVATED MATERIAL AND STOCKPILE WHEN NECESSARY, SO AS TO PROVIDE SUITABLE MATERIALS FOR EMBANKMENTS.
- 4.3. AFTER REMOVAL OF THE ROADWAY EXCAVATION MATERIAL TO THE REQUIRED SECTION, ALL MATERIAL BETWEEN LINES 1 FOOT (30.48CM) OUTSIDE OF THE CURBS AND WITHIN THE TOP 6 INCHES (15.24CM) OF THE SUBGRADE SHALL BE COMPACTED TO 95 PERCENT OF OPTIMUM DENSITY. FOR THE MATERIAL AS DEFINED IN SECTION 2102.2C, A ROCK ENCOUNTERED WITHIN THE FULL WIDTH OF THE ROADWAY, TOE OF SLOPE TO TOE OF SLOPE, SHALL BE UNDERGRADED TO AN ELEVATION OF 8 INCHES (15.24CM) BELOW THE FINISHED SUBGRADE ELEVATION. CARE SHALL BE TAKEN TO AVOID OVERTHOUGHING WHEN BLASTING. ROCK SHALL BE REMOVED IN SUCH A MANNER AS TO LEAVE NO EXCESSIVE WATER POCKETS IN THE SURFACE.

- 7.2. EXCEPT WHERE OTHER PERMIT OR UTILITY WORK IS IN PROGRESS, THE GRADED SURFACE SHALL BE MADE FREE OF ROCK, CONCRETE, AND BRICK, OR FRAGMENTS THEREOF, OR RUBBISH AND SHALL BE FINISHED TO THE LINES, GRADES, AND CROSS SECTION INDICATED ON THE PLANS, INCLUDING SHOULDER, BERMS AND SIDEWALK SPACES.
- 7.3. THE CONTRACTOR SHALL REPAIR ANY DAMAGED SURFACE, AND SHALL NOT USE ANY FINISHING EQUIPMENT THAT WILL LEAVE A MARKED SURFACE. WHEN THE SUBGRADE PREPARATION IS INCLUDED AS A PART OF THE FINISHING, THE WORK SHALL BE ACCOMPLISHED ACCORDING TO THE REQUIREMENTS OF SECTION 312000, AND SHALL BE CONSIDERED INCIDENTAL TO FINISHING THE GRADING WORK.
8. CLEANUP  
8.1. THE CONTRACTOR SHALL FOLLOW THE WORK PROGRESSIVELY AND FINAL CLEANUP SHALL FOLLOW IMMEDIATELY BEHIND THE FINISHING. THE CONTRACTOR SHALL REMOVE FROM THE SITE OF THE WORK ALL EQUIPMENT, TOOLS AND DISCARDED MATERIALS, AND OTHER CONSTRUCTION ITEMS. THE ENTIRE RIGHT-OF-WAY OR EASEMENT SHALL BE LEFT IN A FINISHED AND NEAT CONDITION. CLEANUP SHALL BE CONSIDERED AS INCIDENTAL TO THE COMPLETION OF GRADING WORK.
9. BASE COARSE:  
CLASS 2 AGGREGATE BASE SHALL BE PLACED AFTER SITE GRADING ACTIVITIES ARE AT SUBSTANTIAL COMPLETION AND CONSIST OF THE FOLLOWING PROPERTIES:

A) CLASS 2 AGGREGATE BASE SHALL BE FREE OF VEGETABLE MATTER AND OTHER DELETERIOUS SUBSTANCES. COARSE AGGREGATE MATERIAL CONTAINED ON THE No. 4 SIEVE, SHALL CONSIST OF MATERIAL OF WHICH 25 PERCENT BY WEIGHT SHALL BE CRUSHED PARTICLES. CLASS 2 AGGREGATE BASE SHALL CONFORM TO ONE OF THE FOLLOWING GRADINGS, DETERMINED IN ACCORDANCE WITH ASTM C136 SPECIFICATIONS:

SIEVE SIZE	PERCENT PASSING SIEVES	1/4 INCH MAXIMUM	3/4 INCH MAXIMUM
2" INCH	100	100	100
1 1/2 INCH	90-100	100	100
1 INCH	----	100	100
3/4 INCH	50-85	90-100	100
No. 4	25-45	35-55	100
No. 30	10-25	10-30	100
No. 200	2-9	3-9	100

B) CLASS 2 AGGREGATE BASE SHALL CONFORM TO THE FOLLOWING ADDITIONAL REQUIREMENTS:

TESTS	ASTM TEST METHOD	REQUIREMENTS
RESISTANCE (R-VALUE)	D2844	78 MIN.
SAND EQUIVALENT	D2419	30 MIN.
DURABILITY INDEX	D3744	35 MIN.

10. ASPHALT PAVING  
10.1. ASPHALT PAVING SHALL CONFORM TO STANDARD DIVISION SPECIFICATIONS, DIVISION 40 - ASPHALT PAVING. AVAILABLE UPON REQUEST TO THE ENGINEER. PAVING SHALL BE A MINIMUM OF 3" IN THICKNESS AND APPLIED OVER A CLASS 2 AGGREGATE BASE COARSE AS DESCRIBED ABOVE.

Engineer's Stamp



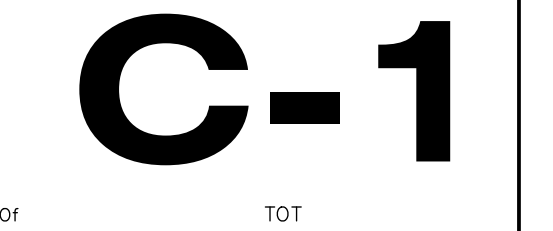
**Grading and Drainage Plan Preliminary 507 & 511 Paseo de Peralta**

Date	07-01-24	PERMIT SET
Revised	07-29-23	Added Driveway profile alignments and clarified trench drain opening dimension
	08-11-23	Revised parking area grade for less than 2% Add profile drawing, Add handrails ramps and curb detail
	09-27-23	Address City of SF comments of Revised landscape areas & drainage catch
	06-24-24	Address all previous comments, re-submittal

Drawn by: REB  
 Checked by: REB  
 Job Number:  
 Draw: 07-01-24 CIVIL  
 Sheet title:

**Grading and Drainage Notes Preliminary**

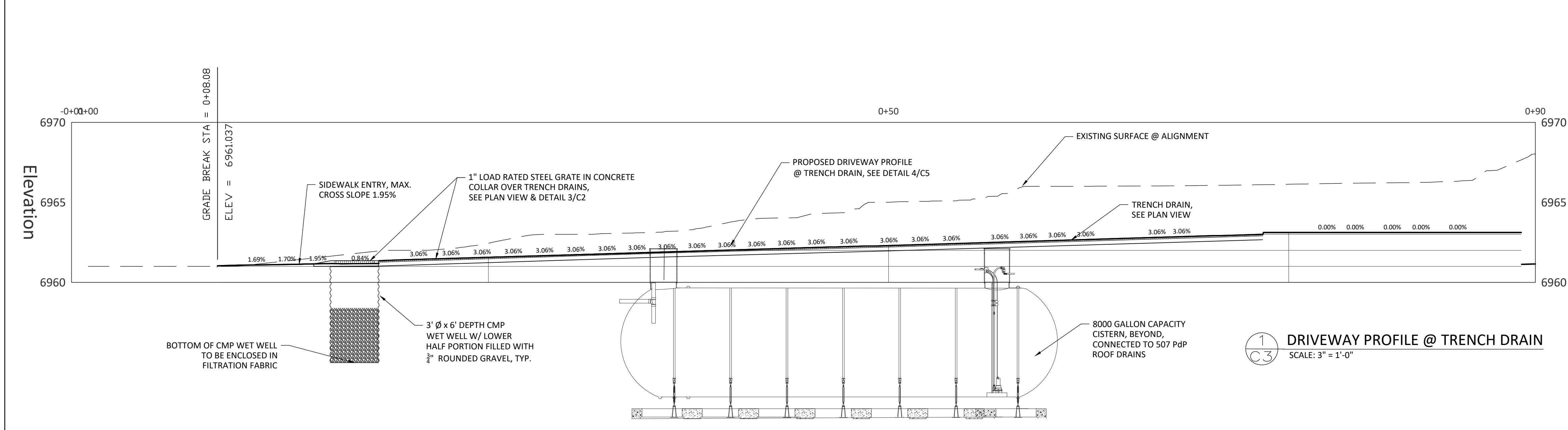
SCALE:  
Sheet No.



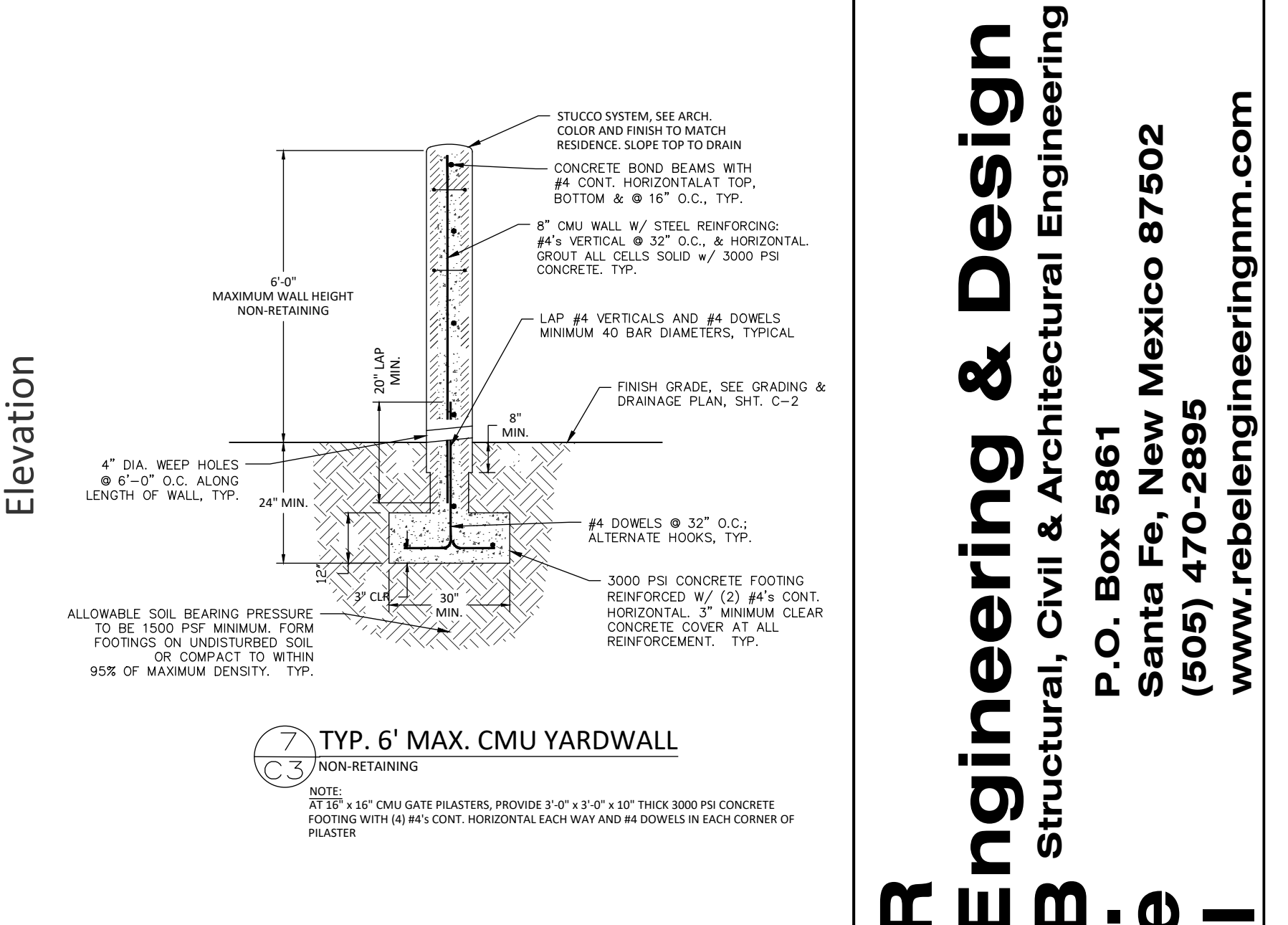
**R Engineering & Design**  
 Structural, Civil & Architectural Engineering  
 P.O. Box 5861  
 Santa Fe, New Mexico 87502  
 (505) 470-2895  
 www.rebelengineeringnm.com

Santa Fe New Mexico

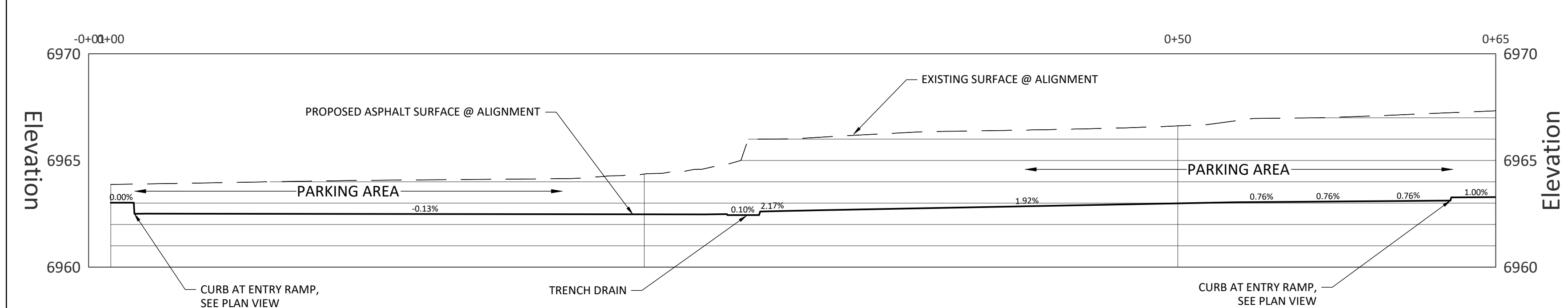




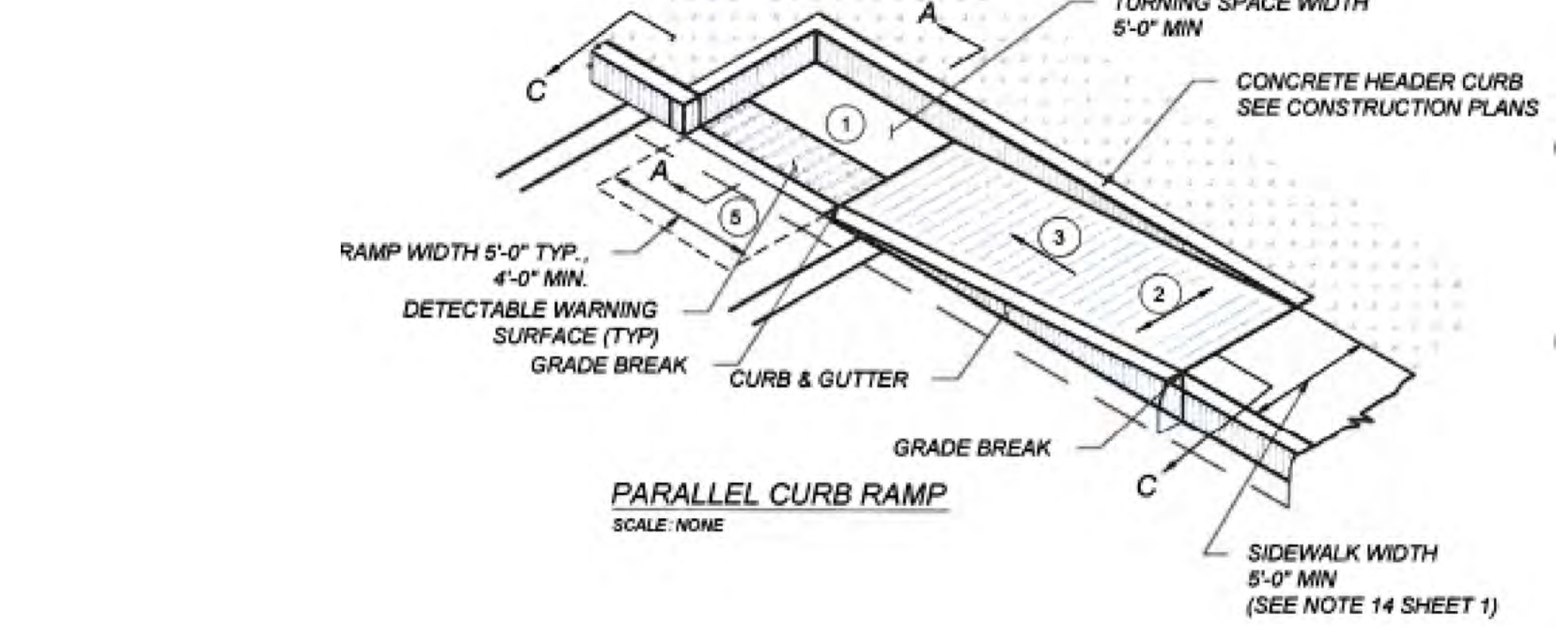
1 DRIVEWAY PROFILE @ TRENCH DRAIN  
SCALE: 3" = 1'-0"



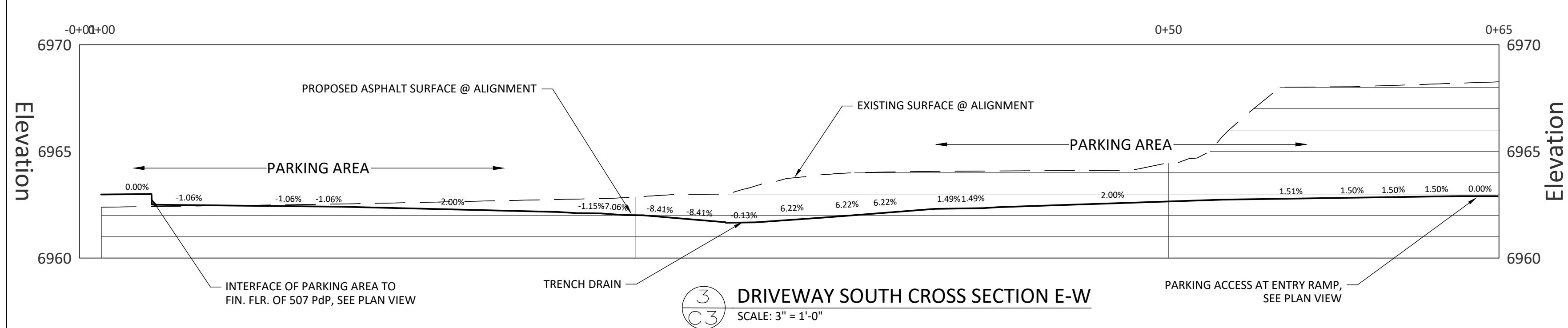
7 TYP. 6' MAX. CMU YARDWALL  
NON-RETAINING



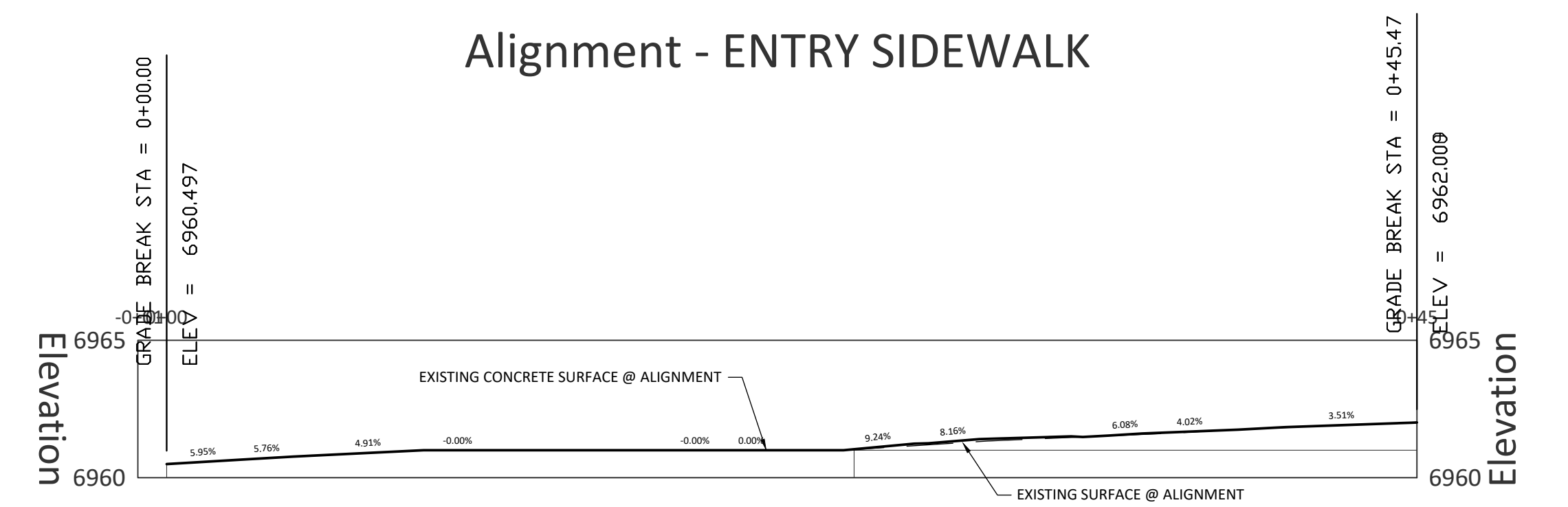
2 DRIVEWAY NORTH CROSS SECTION E-W  
SCALE: 3" = 1'-0"



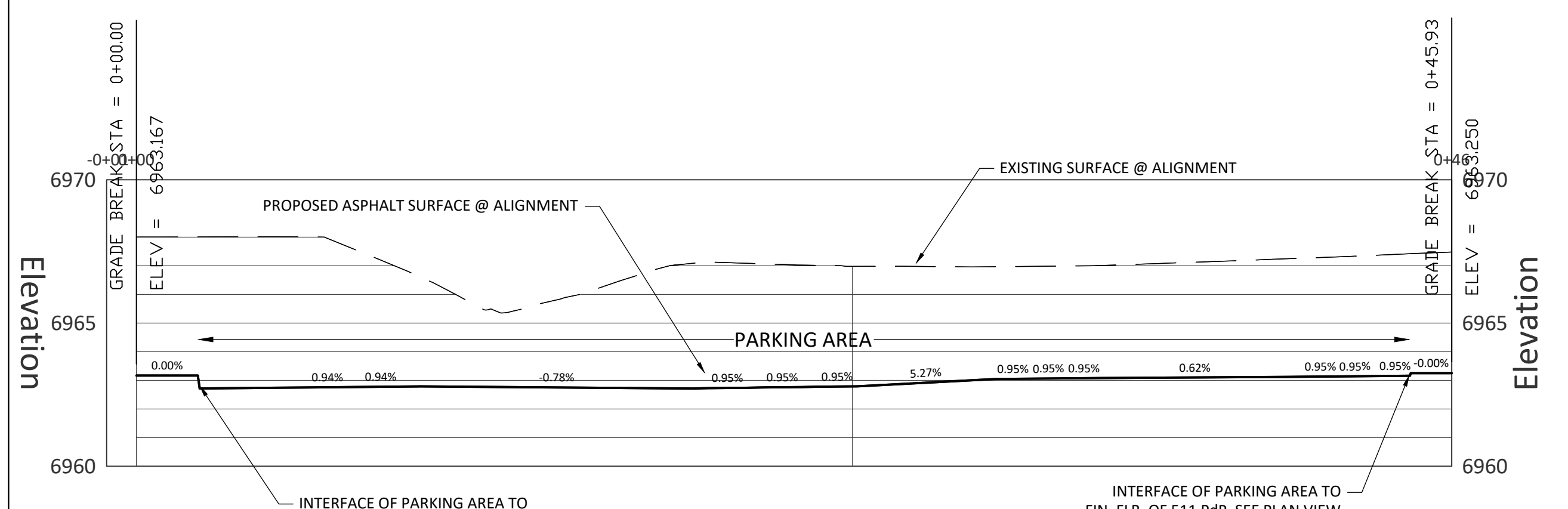
6 PARALLEL CURB RAMP  
SCALE: N/A



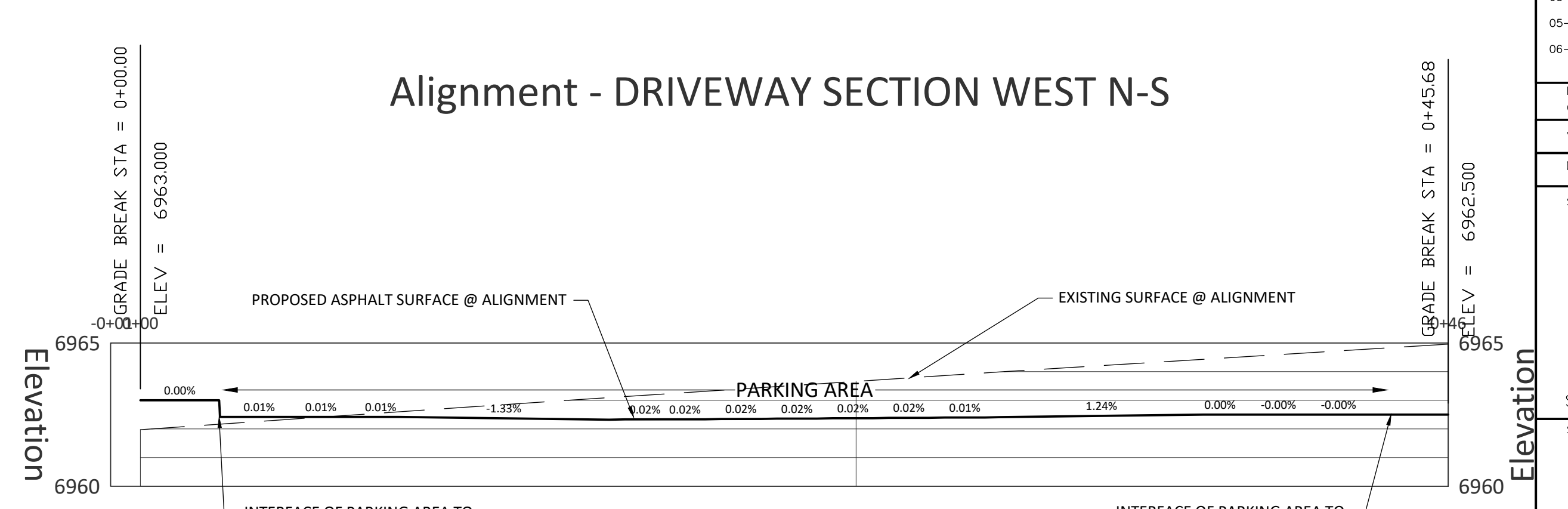
3 DRIVEWAY SOUTH CROSS SECTION E-W  
SCALE: 3" = 1'-0"



6 ENTRY SIDEWALK CROSS SECTION E-W  
SCALE: 2.5" = 1'-0"  
NOTE: EXISTING DRIVEWAY ENTRY PROFILE IS NOT ALTERED IN THE PROPOSED DESIGN. ONLY REQUIRED CONCRETE REPAIRS WILL BE MADE.

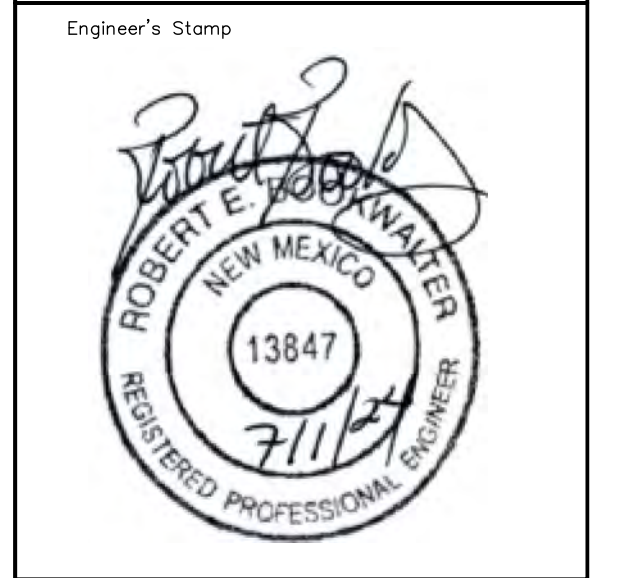


4 DRIVEWAY EAST CROSS SECTION N-S  
SCALE: 3" = 1'-0"



5 DRIVEWAY WEST CROSS SECTION N-S  
SCALE: 3" = 1'-0"

**R Engineering & Design**  
Structural, Civil & Architectural Engineering  
P.O. Box 5861  
Santa Fe, New Mexico 87502  
(505) 470-2895  
www.rebelengineeringnm.com



Grading and Drainage Plan  
Preliminary  
507 & 511 Paseo de Peralta  
Santa Fe  
New Mexico

Date	07-01-24 PERMIT SET
Revised	07-26-23 Added Driveway profile alignments and clarified trench drain opening dimension
	08-11-23 Revised parking area grade for less than 2% Add profile drawing, Add handicap ramps and curb detail.
	09-27-23 Address City of SF comments of 9-17-23
	02-01-24 Revised landscape areas & drainage calc's.
	03-28-24 Add Entry Driveway profile view 6/C3
	05-10-24 Add driveway wet well to 1/C3 profile Edit callouts. Add additional yardwall detail. 7/C3.
	06-24-24 Address all previous comments, re-submittal.

Drawn by REB  
Checked by REB  
Job Number

Draw: 07-01-24 CIVL

Sheet title  
**Driveway & Parking Profiles**

SCALE:  
Sheet No.

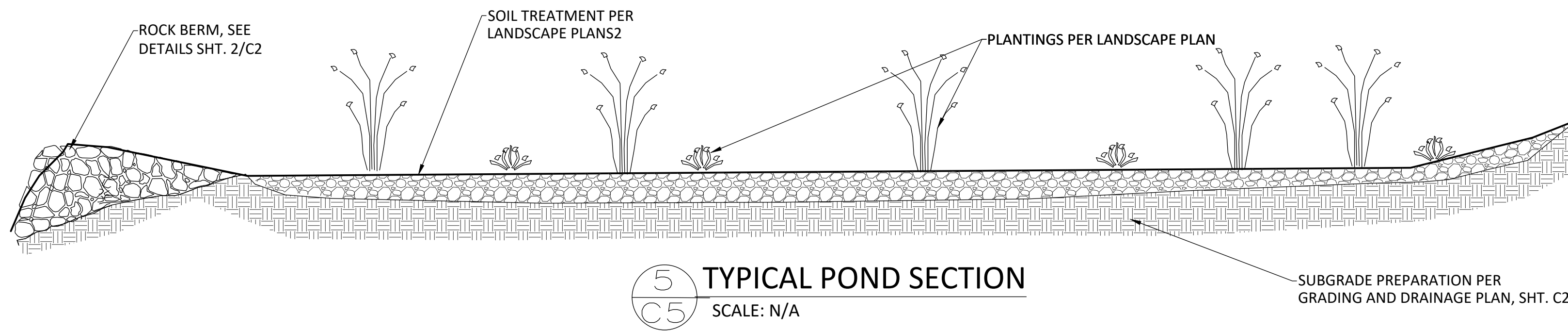
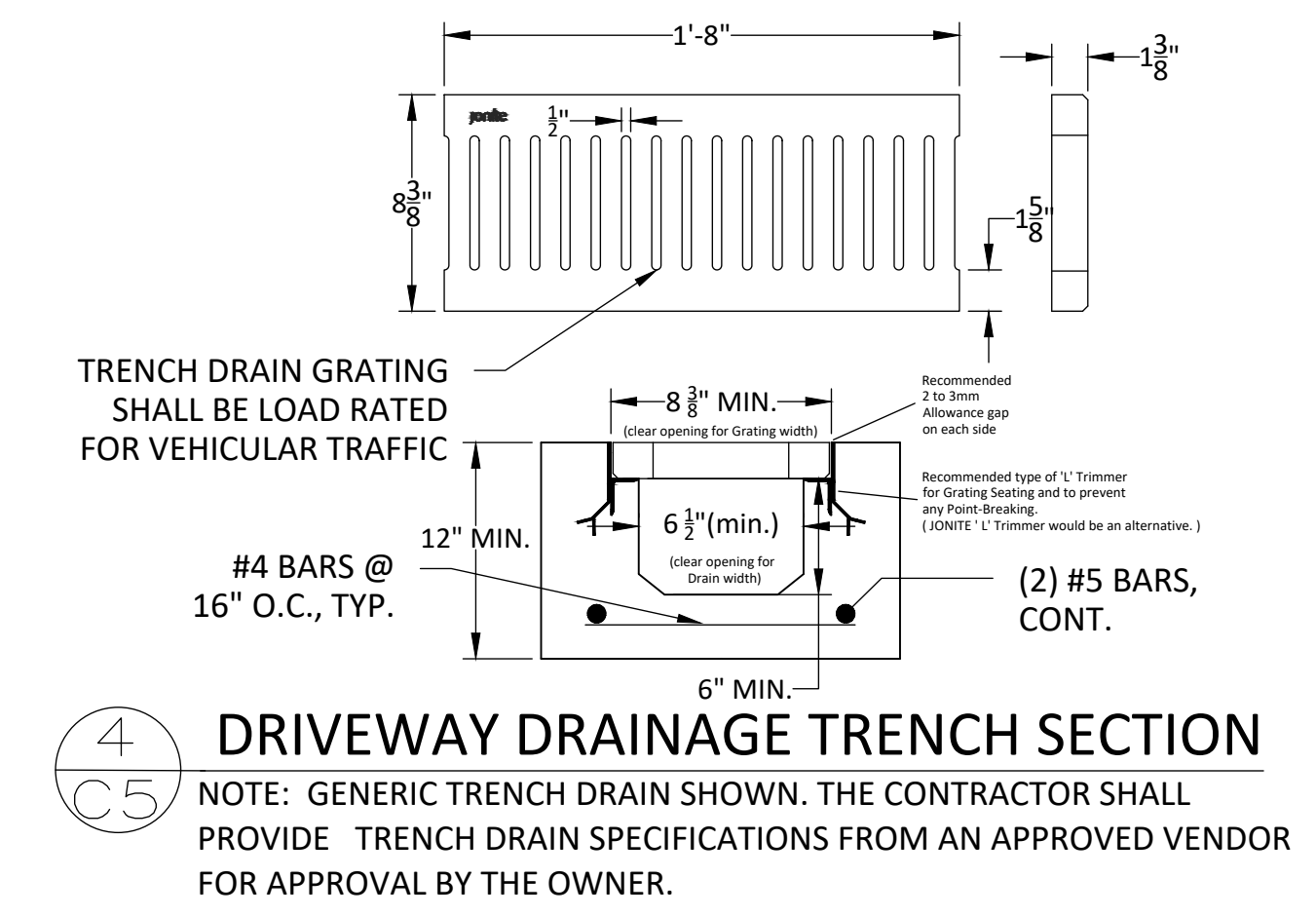
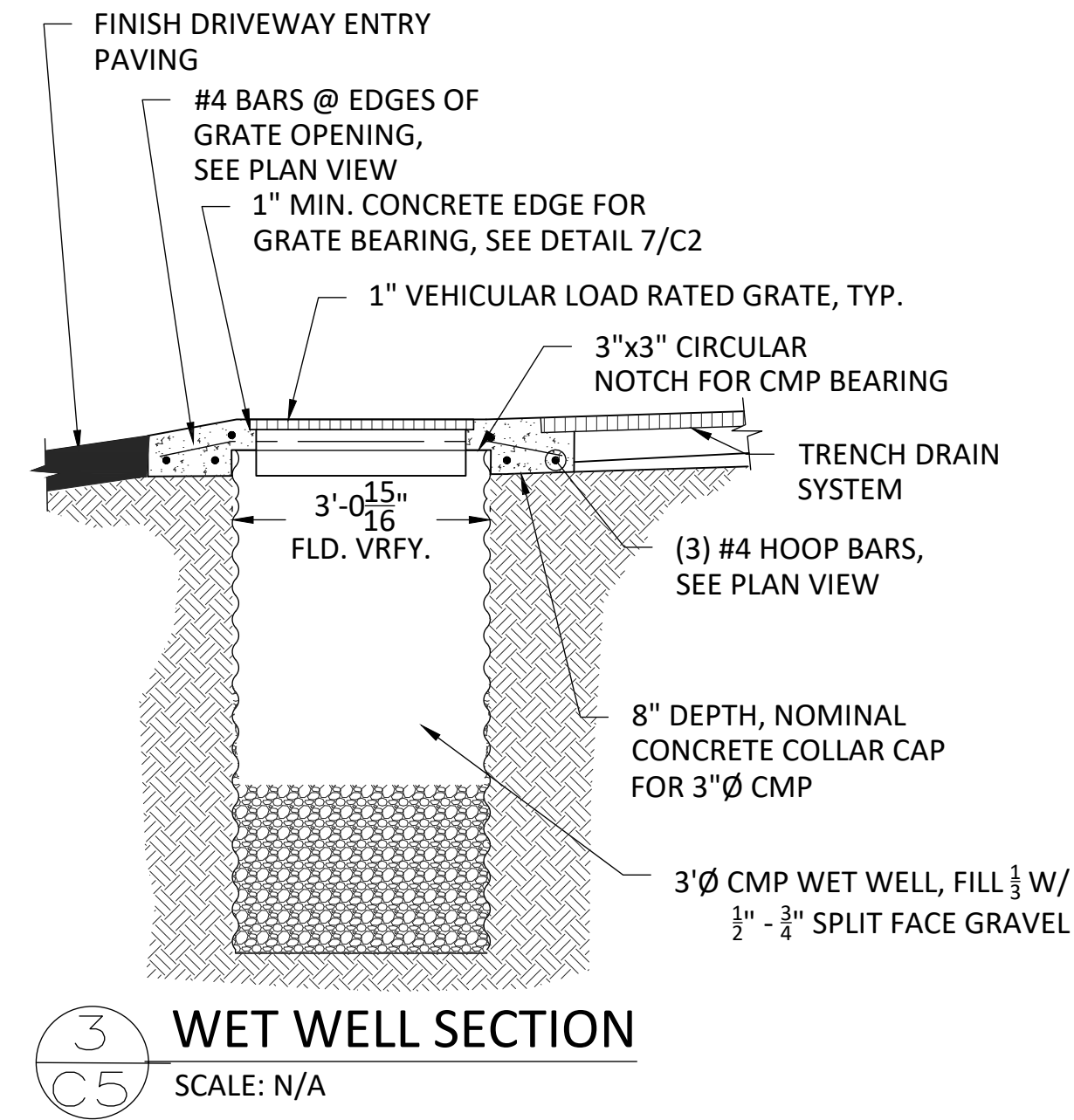
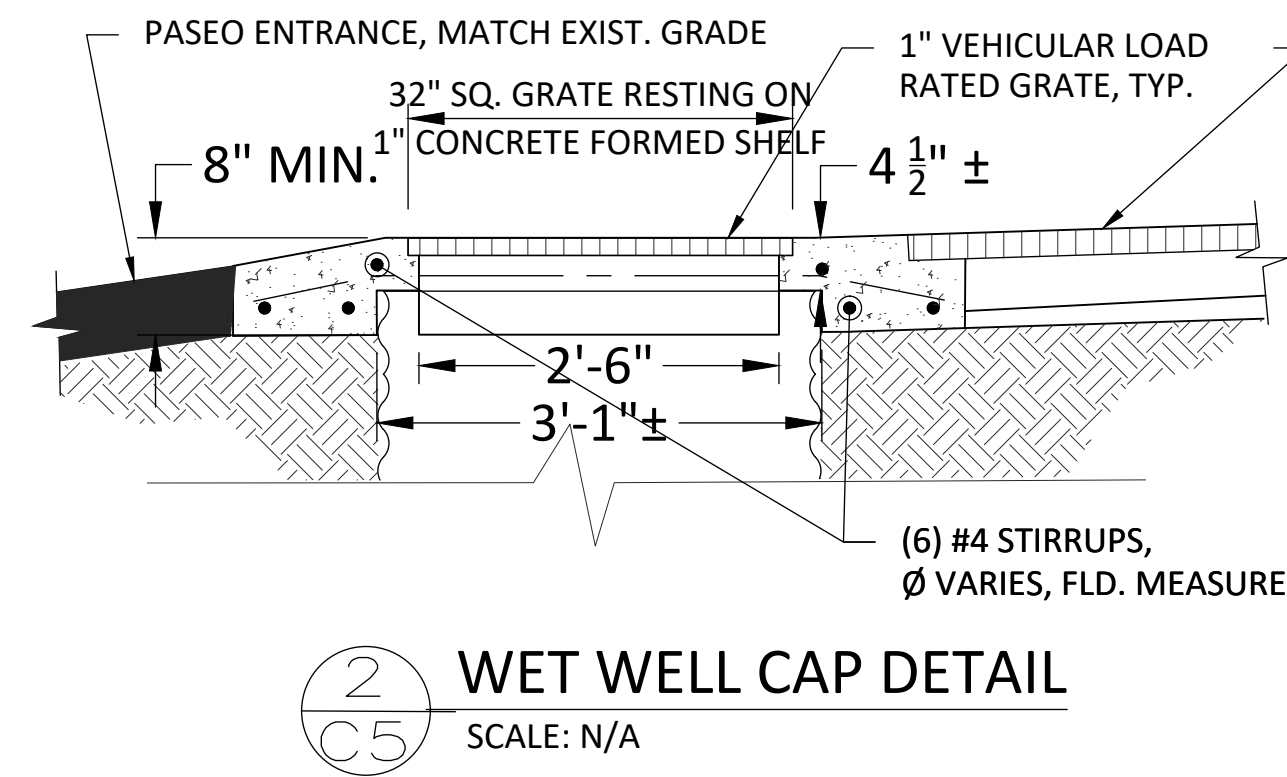
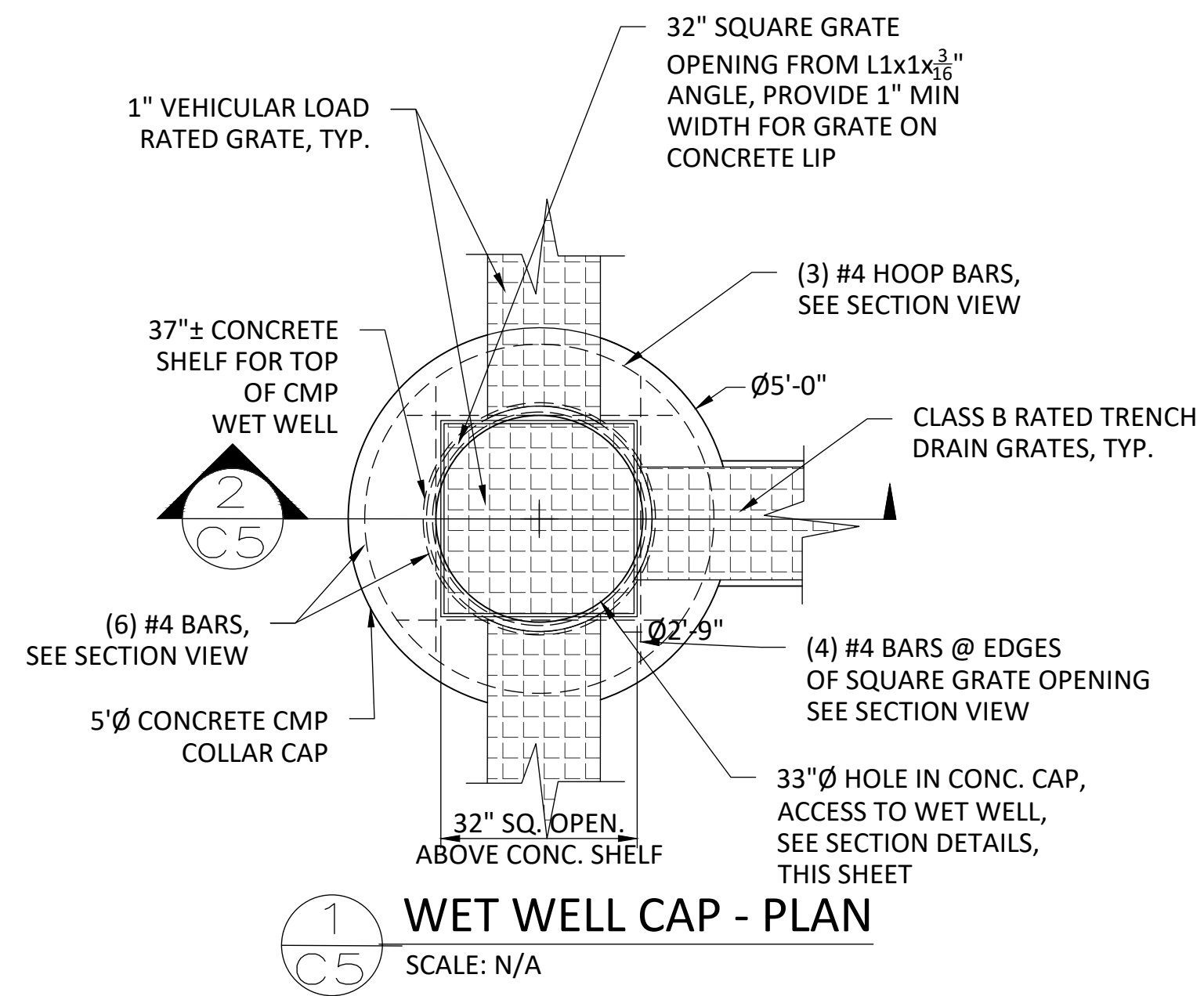
**C-3**  
OF TOT

**POINT PRECIPITATION FREQUENCY (PF) ESTIMATES**  
WITH 90% CONFIDENCE INTERVALS AND SUPPLEMENTARY INFORMATION  
NOAA Atlas 14, Volume 1, Worksheet 1

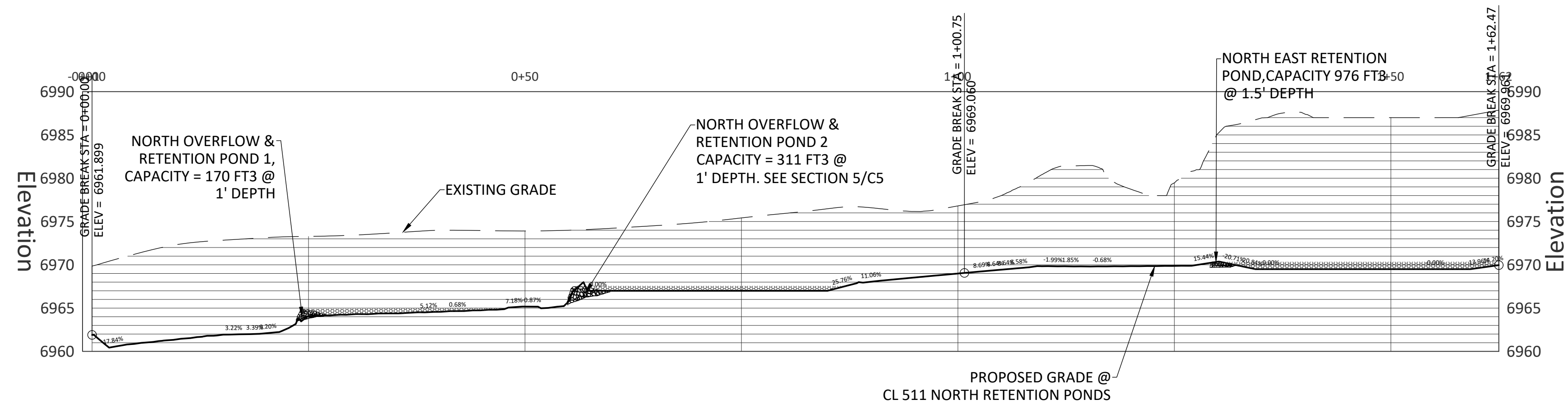
PF tabular

Print page

Duration	Average recurrence interval (years)										
	1	2	5	10	25	50	100	200	500	1000	
5-min	0.197 (0.196-0.201)	0.285 (0.282-0.289)	0.518 (0.512-0.524)	0.844 (0.835-0.853)	1.265 (1.253-1.277)	1.950 (1.933-1.967)	2.914 (2.887-2.941)	4.281 (4.243-4.319)	6.507 (6.455-6.559)	9.897 (9.730-10.064)	15.137 (14.857-15.417)
10-min	0.299 (0.297-0.301)	0.386 (0.382-0.390)	0.717 (0.710-0.724)	1.142 (1.132-1.152)	1.730 (1.715-1.745)	2.593 (2.569-2.617)	3.861 (3.823-3.899)	5.691 (5.643-5.739)	8.507 (8.445-8.571)	12.827 (12.643-13.011)	19.437 (19.137-20.017)
15-min	0.371 (0.369-0.374)	0.481 (0.476-0.486)	0.914 (0.905-0.923)	1.382 (1.371-1.394)	2.067 (2.048-2.091)	3.049 (3.019-3.085)	4.529 (4.481-4.585)	6.691 (6.633-6.747)	9.929 (9.855-10.003)	14.829 (14.637-15.047)	22.187 (21.877-22.797)
30-min	0.489 (0.486-0.492)	0.647 (0.640-0.654)	1.263 (1.252-1.274)	1.925 (1.912-1.940)	2.820 (2.795-2.847)	4.181 (4.143-4.237)	6.141 (6.083-6.207)	8.891 (8.823-9.035)	13.329 (13.137-13.539)	20.029 (19.717-20.359)	29.637 (29.197-30.077)
60-min	0.676 (0.672-0.679)	0.881 (0.872-0.890)	1.709 (1.696-1.724)	2.571 (2.556-2.597)	3.820 (3.791-3.861)	5.601 (5.553-5.665)	8.041 (7.973-8.117)	11.591 (11.493-11.689)	17.029 (16.817-17.241)	25.329 (24.997-25.661)	37.827 (37.367-38.287)
2-hr	0.746 (0.743-0.749)	0.981 (0.974-0.988)	1.925 (1.910-1.940)	2.820 (2.795-2.847)	4.181 (4.143-4.237)	6.141 (6.083-6.207)	8.891 (8.823-9.035)	13.329 (13.137-13.539)	20.029 (19.717-20.359)	29.637 (29.197-30.077)	44.427 (43.867-44.987)
3-hr	0.820 (0.816-0.824)	1.071 (1.061-1.081)	2.129 (2.112-2.146)	3.150 (3.121-3.180)	4.641 (4.593-4.689)	6.701 (6.633-6.767)	9.641 (9.563-9.717)	13.829 (13.637-13.999)	20.629 (20.317-21.149)	30.429 (29.987-30.869)	45.627 (45.067-46.087)
6-hr	0.929 (0.923-0.935)	1.196 (1.183-1.210)	2.371 (2.352-2.396)	3.510 (3.471-3.530)	5.091 (5.033-5.147)	7.341 (7.263-7.417)	10.529 (10.441-10.603)	15.129 (14.937-15.291)	22.229 (21.817-22.641)	32.829 (32.287-33.369)	49.027 (48.367-49.687)
12-hr	1.009 (1.004-1.014)	1.321 (1.305-1.338)	2.641 (2.619-2.674)	3.960 (3.912-4.006)	5.641 (5.573-5.707)	8.141 (8.053-8.197)	11.729 (11.631-11.791)	16.829 (16.637-16.991)	24.729 (24.417-25.349)	36.629 (36.087-37.669)	53.927 (53.167-55.087)
24-hr	1.120 (1.113-1.127)	1.461 (1.441-1.481)	2.921 (2.892-2.946)	4.320 (4.272-4.364)	6.181 (6.113-6.247)	8.841 (8.753-8.895)	12.729 (12.631-12.791)	18.129 (17.937-18.291)	26.629 (26.217-27.249)	39.729 (39.187-40.869)	58.127 (57.367-59.087)
48-hr	1.241 (1.234-1.247)	1.621 (1.598-1.631)	3.241 (3.202-3.274)	4.800 (4.752-4.832)	6.881 (6.813-6.947)	9.941 (9.853-10.007)	14.229 (14.131-14.291)	20.229 (20.037-20.391)	29.429 (28.917-29.949)	43.829 (43.187-44.669)	63.927 (63.067-65.087)
96-hr	1.341 (1.334-1.347)	1.741 (1.715-1.751)	3.481 (3.432-3.504)	5.160 (5.112-5.192)	7.441 (7.373-7.507)	10.729 (10.631-10.791)	15.429 (15.331-15.491)	21.829 (21.637-21.991)	32.229 (31.717-32.749)	47.829 (47.187-48.669)	69.627 (68.767-70.687)
192-hr	1.441 (1.434-1.447)	1.871 (1.841-1.891)	3.721 (3.672-3.744)	5.400 (5.352-5.440)	7.781 (7.713-7.847)	11.361 (11.263-11.427)	16.361 (16.263-16.427)	23.129 (22.937-23.291)	33.829 (33.317-34.849)	50.229 (49.587-51.069)	72.827 (71.967-73.687)
384-hr	1.541 (1.534-1.547)	2.011 (1.978-2.021)	4.001 (3.952-4.024)	5.760 (5.712-5.800)	8.341 (8.273-8.377)	12.029 (11.931-12.091)	17.129 (17.031-17.191)	24.329 (24.137-24.491)	35.829 (35.317-36.349)	52.429 (51.787-53.069)	76.027 (75.067-77.087)
768-hr	1.641 (1.634-1.647)	2.141 (2.105-2.151)	4.241 (4.192-4.264)	6.000 (5.952-6.040)	8.681 (8.613-8.717)	12.529 (12.431-12.591)	17.829 (17.731-17.891)	25.429 (25.237-25.691)	37.429 (36.917-37.949)	54.029 (53.387-55.069)	78.627 (77.567-79.687)
1536-hr	1.741 (1.734-1.747)	2.271 (2.231-2.281)	4.481 (4.432-4.504)	6.360 (6.312-6.400)	9.141 (9.073-9.177)	13.029 (12.931-13.091)	18.529 (18.431-18.591)	26.529 (26.337-26.791)	39.029 (38.517-39.549)	55.629 (54.987-56.369)	80.227 (79.067-81.387)
3072-hr	1.841 (1.834-1.847)	2.401 (2.358-2.408)	4.721 (4.672-4.744)	6.600 (6.552-6.640)	9.541 (9.473-9.577)	13.529 (13.431-13.591)	19.229 (19.131-19.291)	27.629 (27.437-27.891)	40.629 (40.117-41.149)	57.229 (56.587-58.069)	81.827 (80.567-82.887)
6144-hr	1.941 (1.934-1.947)	2.531 (2.485-2.535)	4.961 (4.912-4.984)	6.960 (6.912-7.000)	10.041 (9.973-10.077)	14.029 (13.931-14.091)	20.029 (19.931-20.091)	28.729 (28.537-28.991)	41.829 (41.317-42.349)	58.829 (58.187-59.669)	83.427 (82.067-84.787)
12288-hr	2.041 (2.034-2.047)	2.661 (2.612-2.662)	5.201 (5.152-5.224)	7.200 (7.152-7.240)	10.241 (10.173-10.277)	14.529 (14.431-14.591)	20.629 (20.531-20.691)	29.829 (29.637-30.091)	43.029 (42.517-43.549)	60.429 (59.787-61.069)	85.027 (83.567-86.487)
24576-hr	2.141 (2.134-2.147)	2.791 (2.739-2.799)	5.441 (5.392-5.464)	7.560 (7.512-7.600)	10.641 (10.573-10.677)	15.029 (14.931-15.091)	21.129 (21.031-21.191)	30.329 (30.137-30.591)	44.229 (43.717-44.749)	61.829 (61.187-63.069)	86.627 (85.067-88.187)
49152-hr	2.241 (2.234-2.247)	2.921 (2.867-2.927)	5.681 (5.632-5.704)	7.800 (7.752-7.840)	11.041 (10.973-11.077)	15.529 (15.431-15.591)	21.629 (21.531-21.691)	30.829 (30.637-31.091)	45.429 (44.917-45.949)	63.229 (62.587-64.069)	88.227 (86.567-89.087)
98304-hr	2.341 (2.334-2.347)	3.051 (2.995-3.055)	5.921 (5.872-5.944)	8.040 (7.992-8.080)	11.441 (11.373-11.477)	16.029 (15.931-16.091)	22.129 (22.031-22.191)	31.329 (31.137-31.591)	46.629 (46.117-47.149)	64.629 (63.987-65.369)	89.827 (88.067-90.587)
196608-hr	2.441 (2.434-2.447)	3.181 (3.123-3.183)	6.161 (6.112-6.184)	8.280 (8.232-8.320)	11.841 (11.773-11.877)	16.529 (16.431-16.591)	22.629 (22.531-22.691)	31.829 (31.637-32.091)	47.829 (47.317-48.349)	66.029 (65.387-66.669)	91.427 (89.567-92.287)
393216-hr	2.541 (2.534-2.547)	3.311 (3.253-3.313)	6.401 (6.352-6.424)	8.520 (8.472-8.560)	12.241 (12.173-12.277)	17.029 (16.931-17.091)	23.129 (23.031-23.191)	32.329 (32.137-32.591)	49.029 (48.517-49.549)	67.429 (66.787-68.069)	93.027 (91.067-93.987)
786432-hr	2.641 (2.634-2.647)	3.441 (3.383-3.443)	6.641 (6.592-6.664)	8.760 (8.712-8.800)	12.641 (12.573-12.677)	17.529 (17.431-17.591)	23.629 (23.531-23.691)	32.829 (32.637-33.091)	50.229 (49.717-50.749)	68.829 (68.187-69.669)	94.627 (92.467-96.387)
1572864-hr	2.741 (2.734-2.747)	3.571 (3.513-3.573)	6.881 (6.832-6.904)	9.000 (8.952-9.040)	13.041 (12.973-13.077)	18.029 (17.931-18.091)	24.129 (24.031-24.191)	33.329 (33.137-33.591)	51.429 (50.917-51.949)	70.229 (69.587-70.669)	96.227 (93.867-98.587)
3145728-hr	2.841 (2.834-2.847)	3.701 (3.643-3.703)	7.121 (7.072-7.144)	9.240 (9.192-9.280)	13.441 (13.373-13.477)	18.529 (18.431-18.591)	24.629 (24.531-24.691)	33.829 (33.637-34.091)	52.629 (52.117-53.149)	71.629 (70.987-72.069)	97.827 (95.267-99.987)
6291456-hr	2.941 (2.934-2.947)	3.831 (3.773-3.833)	7.361 (7.312-7.384)	9.480 (9.432-9.520)	13.841 (13.773-13.877)	19.029 (18.931-19.091)	25.129 (25.031-25.191)	34.329 (34.137-34.591)	53.829 (53.317-54.349)	73.029 (72.387-73.469)	99.427 (96.667-100.187)
12582912-hr	3.041 (3.034-3.047)	3.961 (3.903-3.963)	7.601 (7.552-7.624)	9.720 (9.672-9.760)	14.241 (14.173-14.277)	19.529 (19.431-19.591)	25.629 (25.531-25.691)	34.829 (34.637-35.091)	55.029 (54.517-55.549)	74.429 (73.787-74.869)	101.027 (98.167-102.987)
25165824-hr	3.141 (3.134-3.147)	4.091 (4.033-4.093)	7.841 (7.792-7.864)	9.960 (9.912-10.000)	14.641 (14.573-14.677)	20.029 (19.931-20.091)	26.129 (26.031-26.191)	35.329 (35.137-35.591)	56.229 (55.717-56.749)	75.829 (75.187-76.269)	102.627 (99.567-104.087)
50331648-hr	3.241 (3.234-3.247)	4.221 (4.163-4.223)	8.081 (8.032-8.104)	10.200 (10.152-10.240)	15.041 (14.973-15.077)	20.529 (20.431-20.591)	26.629 (26.531-26.691)	35.829 (35.637-36.091)	57.429 (56.917-57.949)	77.229 (76.587-77.669)	104.227 (100.867-105.387)
100663296-hr	3.341 (3.334-3.347)	4.351 (4.293-4.353)	8.321 (8.272-8.344)	10.440 (10.392-10.480)	15.441 (15.373-15.477)	21.029 (20.931-21.091)	27.129 (27.031-27.191)	36.329 (36.137-36.591)	58.629 (58.117-59.149)	78.629 (77.987-79.069)	105.827 (102.167-106.687)
201326592-hr	3.441 (3.434-3.447)	4.481 (4.423-4.483)	8.561 (8.512-8.584)	10.680 (10.632-10.720)	15.841 (15.773-15.877)	21.529 (21.431-21.591)	27.629 (27.531-27.691)	36.829 (36.637-37.091)	59.829 (59.317-60.349)	80.029 (79.387-80.469)	107.427 (103.467-107.987)
402653184-hr	3.541 (3.534-3.547)	4.611 (4.553-4.613)	8.801 (8.752-8.824)	10.920 (10.872-10.960)	16.241 (16.173-16.277)	22.029 (21.931-22.091)	28.129 (28.031-28.191)	37.329 (37.137-37.591)	61.029 (60.517-61.549)	81.429 (80.787-81.869)	109.027 (104.667-109.187)
805306368-hr	3.641 (3.634-3.647)	4.741 (4.683-4.743)	9.041 (8.992-9.064)	11.160 (11.112-11.200)	16.641 (16.573-16.677)	22.529 (22.431-22.591)	28.629 (28.531-28.691)	37.829 (37.637-38.091)	62.229 (61.717-62.749)	82.829 (82.187-83.269)	110.627 (105.967-110.487)
1610612736-hr	3.741 (3.734-3.747)	4.871 (4.813-4.873)	9.281 (9.232-9.304)	11.400 (11.352-11.440)	17.041 (16.973-17.077)	23.029 (22.931-23.091)	29.129 (29.031-29.191)	38.329 (38.137-38.591)	63.429 (62.917-63.949)	84.229 (83.587-84.669)	112.227 (107.267-111.787)
3221225472-hr	3.841 (3.834-3.847)	5.001 (4.943-4.999)	9.521 (9.472-9.544)	11.640 (11.592-11.680)	17.441 (17.373-17.477)	23.529 (23.431-23.591)	29.629 (29.531-29.691)	38.829 (38.637-39.091)	64.629 (64.117-65.149)	85.629 (84.987-86.069)	113.827 (108.567-113.087)
6442450944-hr	3.941 (3.934-3.947)	5.131 (5.073-5.133)	9.761 (9.712-9.784)	11.880 (11.832-11.920)	17.841 (17.773-17.877)	24.029 (23.931-24.091)	30.129 (30.031-30.191)	39.329 (39.137-39.591)	65.829 (65.317-66.349)	87.029 (86.387-87.469)	115.427 (109.567-114.087)
12884901888-hr	4.041 (4.034-4.047)	5.261 (5.203-5.263)	10.001 (9.952-10.024)	12.120 (12.072-12.160)							



Alignment - CL THRU PONDS

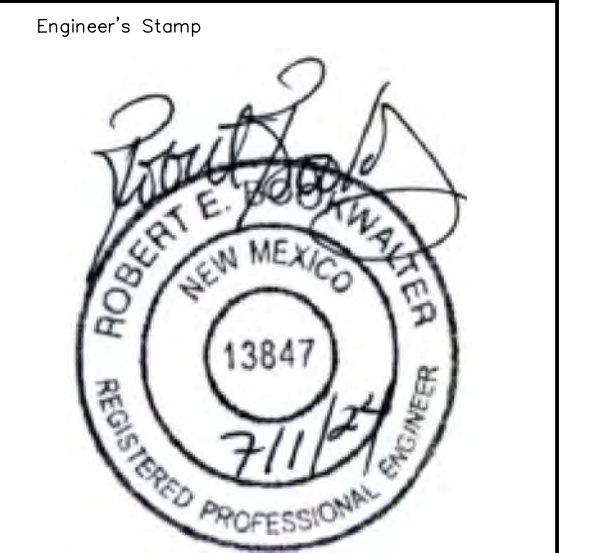


**R B. e I**

**Engineering & Design**

Structural, Civil & Architectural Engineering

P.O. Box 5861  
Santa Fe, New Mexico 87502  
(505) 470-2895  
www.rebelengineeringnm.com



Grading and Drainage Plan  
Preliminary  
507 & 511 Paseo de Peralta

New Mexico

Santa Fe

Date	Description
07-01-24	PERMIT SET
07-28-23	Revised: Added Driveway profile alignments and clarified trench drain opening dimension
08-11-23	Revised parking area grade for less than 2% Add profile drawing. Add handicap ramps and curb detail.
09-27-23	Address city of SF comments of 9-17-23
02-01-24	Revised landscape areas & drainage calc's
03-28-24	Revised drainage Calc's, revise roof gage section detail 2/C4
05-10-24	Update ponding capacity calculation
06-24-24	Address all previous comments, re-submittal

Drawn by: REB  
Checked by: REB

Job Number:  
Draw: 07-01-24 CIVL

Sheet Title

**Grading and Drainage Misc. Details**

SCALE:  
Sheet No.

**C-5**

OF TOT