

City of Santa Fe, New Mexico

memo

DATE: March 24, 2026

TO: Historic Districts Review Board Members

VIA: Heather Lamboy, Planning & Land Use Department Director
Maggie Moore, Assistant Land Use Director *MRM*
Gary Moquino, Historic Preservation Division Manager, *GM*

FROM: Lani McCulley, Senior Planner, Historic Preservation Division *LJM*

2026-012025-HDRB. 507 & 509 Coronado Rd., Downtown & Eastside Historic District, Steve McCormick, agent for Julia Dancy, owner, requests status review and primary façade designation (if applicable)

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: [2026 HCPI]

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be upgraded to contributing with the south elevation (R1, R2, R3), including the portal with the pony walls, and excluding the non-historic windows, doors, and the carport as the primary façade, the casita, yard wall, and pergola as non-contributing per 14-04.06(C) Designation of Significant, Contributing or Noncontributing Status Within Historic Districts.

Sample motions:

Up to three motions may be required for this case.

Status (for each structure):

- a. In case 2026-012025-HDRB, for 507 East Coronado Road, upgrade the main residence, as contributing and designate facades (numbers from façade diagram) as primary façade(s).
- b. In case 2026-012025-HDRB, for 507 East Coronado Road, downgrade the main residence as non-contributing.
- c. In case 2026-012025-HDRB, for 507 East Coronado Road, retain the casita residence as non-contributing.
- d. In case 2026-012025-HDRB, for 507 East Coronado Road, designate the yard wall and pergola as non-contributing due to age.

The property lies within the River and Trails Archaeological Review District. See Chapter 14, SFCC, Article 14-3.13(B)(1). There may be archaeological concerns associated with this project, and archaeological clearance may be required.

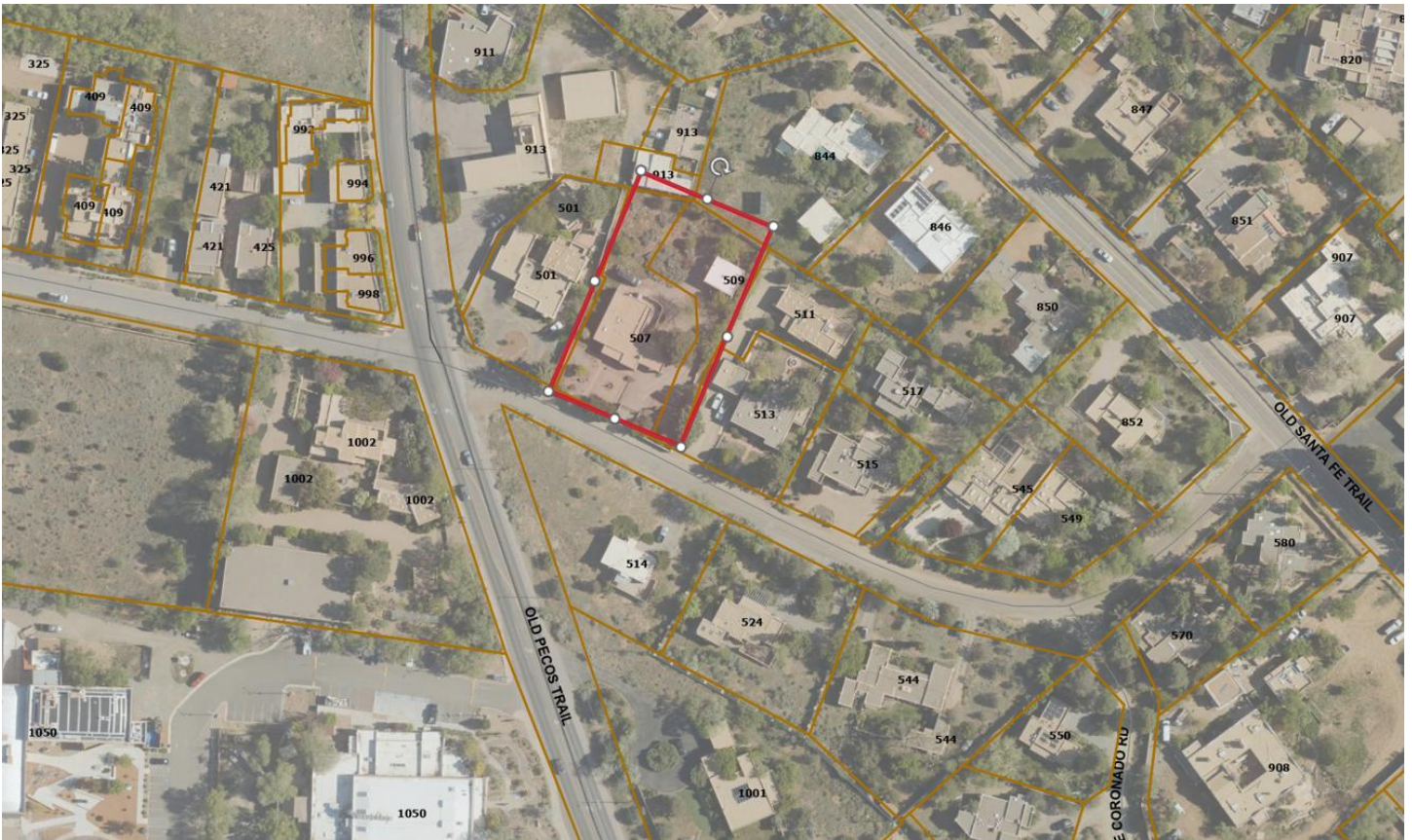


Figure 1: Property Location

BACKGROUND & SUMMARY:

Streetscape:

East Coronado Road is a short road with no sidewalks on the street. All of the properties have front yard walls at 4’ to 6’ in height. The houses are uniformly set back from the street, with what used to be a guest house set behind them. Most of the guest houses have been split off to be main residences on separate lots. The residences are of light color in the Spanish Pueblo Revival style.



Figure 2: 507 Coronado

Site Description:

The Ted and Josephine Lopez property at 507 and 509 East Coronado Street consists of two separately addressed parcels with the main residence at 507 and the casita at 509. Both residences are currently listed on the GIS map as non-contributing to the Downtown and Eastside Historic District. Other structures on the property include a privacy wall and a pergola.

The main residence was constructed in the late 1950s and is in the Spanish Pueblo Revival style. The core of the main residence is constructed of adobe and is 2,214 sq. ft. on top of a basement. A portal was added to the east elevation in the 1970s and was later modified. A carport addition was added in the 1980s and extends the street-facing façade of the residence. The south is the front of the residence and contains a portal and a projecting mass. The carport and a long, shallow portal from the 1970s dominate the east elevation. The north elevation has a small bump-out addition for basement access and a chimney introduced after 1978. The west elevation is the least altered. The windows throughout the residence are a combination of metal and vinyl windows.

The 750 sq. ft. casita was built post-1978 and is characteristic of a passive-solar design from the late 1980s or early 1990s. The south elevation has clerestory glazing and a roof overhang. The south and north elevations are sheltered by walled patios that assist with temperatures. The windows are metal, and the front entry doors have exterior plastic grids.



Figure 3: 509 Coronado

The front privacy wall is a stuccoed block wall in two sections. The western section is in front of the main residence and is at 83” in height and includes a pedestrian entry gate. Near the center of the wall is a steel vehicle gate where the wall turns in by about 20°. The eastern wall is at 74” in height. The wall was constructed sometime after 1978.

The wood pergola is neither historic nor has any architectural significance to the property.

PREVIOUS CASE SUMMARIES:

ARC:

Archaeological clearance has not been issued for either property.

HDRB:

In 1983, both parcels were a single parcel addressed as 509 East Coronado, which was approved for a carport.

ADMINISTRATIVE:

507 East Coronado Road was approved for concrete to be poured under the carport to level it and the rear courtyard, and to demolish the yard wall on the northeast corner of the residence and construct a new yard wall with a new layout under case 2022-005924-ADMIN.

507 East Coronado Road was approved to install a skylight under case 2026-012040-ADMIN.

APPLICANT’S REQUEST:

The applicant proposes the following exterior alterations:

- 1) Status Review with primary façade designation, if applicable, for a residential structure.
- 2) Status Review with primary façade designation, if applicable, for a casita dwelling structure.
- 3) Status Review for yard wall and pergola.

The main residence has retained its original footprint and general configuration, even with the additions and portal from the 1970s and 1980s. The most affected areas are on the north and east elevations, which have had fenestration changes and the additions of covered portals. The front of the building, excluding the carport, continues to convey the original character of the building. Therefore, staff would recommend the main residence as a contributing structure with the south elevation including the portal and pony walls, and excluding the non-historic windows, doors, and the carport as the primary facades.

The casita is not yet 50 years of age and does not exhibit characteristics associated with the period of passive solar design in Santa Fe; the staff would recommend the status of non-contributing.

The yard wall and the pergola are not of sufficient age nor have architectural significance; therefore, the staff recommends the status of non-contributing.

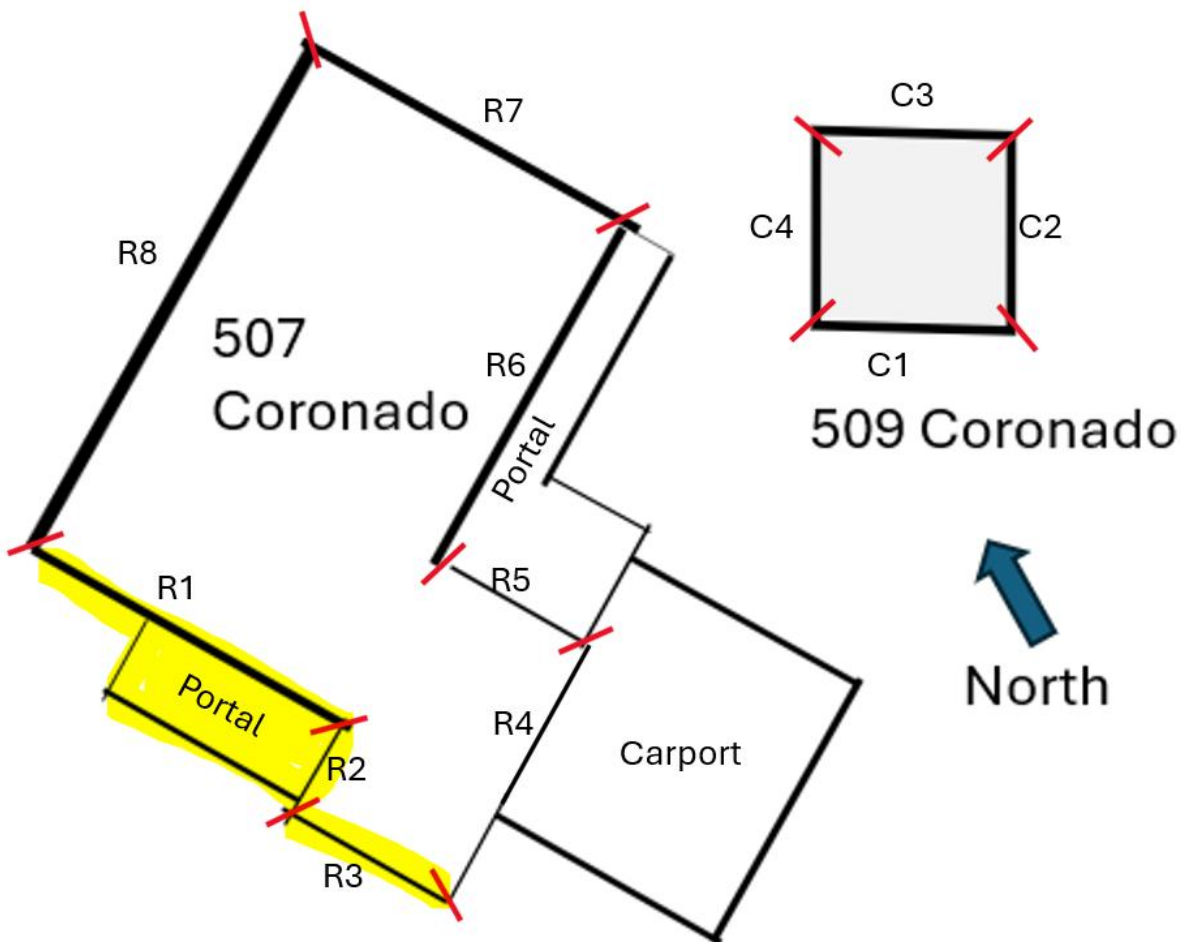


Figure 4: Façade Diagram

RELEVANT CODE CITATIONS:

14-4.6 HISTORIC DISTRICTS

A. General Provisions

I. Purpose

To promote the economic, cultural, and general welfare of the people of Santa Fe and to ensure the harmonious, orderly, and efficient growth and development of the City, the Governing Body deems it essential to preserve the qualities relating to the history and culture of Santa Fe, maintain a harmonious outward appearance to preserve property values, and attract residents and tourists alike. The specific purposes of this section are to preserve qualities relating to the history of Santa Fe, such as the following:

- I. Continue the existence and preservation of historic areas and buildings;
- II. Continued construction of buildings in Santa Fe's historic styles; and
- III. General harmony as to architectural style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

B. Buildings with Significant or Contributing Historic Status

I. Purpose

Historic designation is intended to address the following:

- I. Recognizing each structure as a physical record of its time, place, and use.
- II. Preventing changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings;
- III. Preserving and retaining changes to structures that have acquired historic importance in their own right, recognizing that most structures change over time;
- IV. Preserving distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure; and
- V. Avoiding making new additions and related or adjacent new construction in such a manner that, if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

2. Designation of Significant, Contributing, or Noncontributing Status

I. Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing," as defined in Section 14-9.3, *General*

Definitions. Staff shall maintain a record as to the current status of structures located in the historic districts.

II. HDRB Authority to Review Status Designation

- a. The HDRB may change the status of a structure or to designate a status for a structure that has no status designated.
- b. A change in status or the designation of a status shall be based upon an evaluation of data provided through a survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."
- c. When the HDRB designates a structure as contributing, it shall also specify which facades of the structure are primary.

III. Initiation of Review of Status Designation

The Board may review the status designation in response to the following:

- a. An application for construction or demolition as outlined in Section 14-5.2 as follows:
 1. Prior to the application being placed on a board agenda or before issuance of a construction permit, if Board approval is not required, staff shall determine whether the board should review the status of the structure. Staff's determination shall be made within thirty days of submitting the application. If the staff's determination is not completed within thirty days, the application shall be forwarded to the board. Review by the board as to the structure's status shall be made at the earliest practicable date. The board or staff (as applicable) may consider the application immediately following the determination of status. The application shall be reviewed based on the status of the structure following the determination of status.
 2. Before action by the board on the application, the board itself may decide to review the status of the structure. The board's determination as to the status shall be made within forty-five days of the board's decision of the board to review the status. The board or staff (as applicable) may consider the application immediately following the determination of the status. The application shall be reviewed based on the status of the structure following the determination of status.
- b. Request from the property owner;
- c. A request initiated by the city. Staff shall notify the property owner before initiating the request.

IV. Notice of HDRB's Review of Status

- a. Unless the review is requested by the property owner, staff shall mail notice to the property owner of the subject property no less than 15 days before the HDRB reviews a change in or designation of status.
- b. In addition, staff shall send notice, by first-class mail, to all property owners within one hundred (100) feet of the subject property no less than fifteen days

before the board reviews a change in or designation of status if the review may result in the lowering of the structure's status. Staff shall retain an affidavit of mailing.

- c. With the consent of the property owner, the city shall have posted on the property a poster obtained from the planning land use department. Otherwise, the city shall post the poster in the nearest available place to the city. Such poster shall be securely posted, prominently displayed, visible from a public street, at least fourteen days before the scheduled board hearing. The posting shall indicate the nature of the application, identification of the property affected, and the time, date, and place of the hearing. The poster shall be removed within thirty days of final action. Failure to do so may result in the city removing the sign at the applicant's expense. A civil fee of fifty dollars (\$50.00) will be charged.

NONCONTRIBUTING STRUCTURE

A structure, located in a historic district, that is less than 50 years old, or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic district.

CONTRIBUTING STRUCTURE

A structure, located in a historic district, approximately 50 years old or older, that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

SIGNIFICANT STRUCTURE

A structure located in a historic district that is approximately 50 years old or older, and that embodies distinctive characteristics of a type, period, or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant for its association with events or persons that are important on a local, regional, national, or global level, or if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

PRIMARY FACADE

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

G. Additional District-Specific Design Standards

2. Downtown and Eastside Historic District

The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

1. Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- a. With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns.
Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved, and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, open slightly ogive, over gateways in freestanding walls.
- b. All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color or have mural decorations.
- c. Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- d. The rules as to flat roofs shall not be constructed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- e. True old Santa Fe style buildings are made of adobe with a mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the

adobe effect can be simulated is permissible, provided that the exterior walls are not less than eight (8) inches thick and that geometrically straight facade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

- f. It is characteristic of Old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

II. Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- a. No building shall be over two stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks, or other design elements;
- b. The combined door and window area in any publicly visible facade shall not exceed forty percent of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three (3) feet from the corner of the facade;
- c. No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- d. No less than eighty percent of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- e. The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish, and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complementary colors. Windows, doors, and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles, except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic, and
- f. Flat roofs shall have not more than thirty (30) inches overhang.