

OWNER SUBMITTAL

Property Owner: Maxfield Scott
619 West Alameda
Santa Fe, New Mexico 87501

Date: 02/12/2025

To:

Historic Districts Review Board
City of Santa Fe Planning and Land Use Department
Santa Fe, New Mexico

Re: Historic Architectural Submittal – Stabilization and Rehabilitation

Property: 619 West Alameda, Santa Fe, NM 87501

Dear Members of the Historic Districts Review Board,

This letter is submitted in support of the Historic Districts Review Board (HDRB) application for the proposed remodel of property located at **619 West Alameda, Santa Fe, New Mexico**, within the **Westside–Guadalupe Historic District**. This narrative is intended to serve as a complete written description of the scope of work and is provided to clearly describe each component of the proposed project, independent of the architectural drawings, in accordance with HDRB submittal requirements and standard review practices.

The proposed work has two primary components: 1. **Stabilization** of the existing historic structure and 2. **Rehabilitation** of such same structure.

The project is designed to preserve and reinforce the historic streetscape along West Alameda. This is accomplished through stabilizing and reviving the deteriorated historic building and sensitively revitalizing the character the building has left behind. The work will be in a manner that is compatible with the established architectural character of the historic district.

I. Architectural History of the Property

The property at 619 West Alameda contains a small, single-story Pueblo Revival–style residential structure that is believed to have been constructed in the early-to-mid 1940s. While documentation is limited, the earliest recorded deed dates to 1945, and aerial photography confirms the presence of a building on the site by 1948, with a square footprint visible by 1951.

The historic structure was constructed in phases: - An **original front (south) rectangular adobe structure**; - A **full-width rear (north) pen tile addition**, likely completed by the early 1950s; and - A **small wood-framed rear addition**, constructed no later than the mid-1970s, which collapsed in late 2024 or early 2025 and no longer exists beyond its foundation.

While the building's **West** and **South facades** have been **identified as contributing** to the Westside-Guadalupe Historic District, the rest of the building **does not** hold that title. Yet, this building's scale, design, and materials are typical of the surrounding historic residences on West Alameda. The building has suffered decades of deterioration, including roof failure, cracking of exterior walls, exposed foundations, vandalism, and partial interior collapse. The proposed work seeks to arrest this deterioration, stabilize the remaining historic fabric, and ensure the building's long-term preservation in accordance with accepted historic preservation practices.

II. Existing Site Conditions

- **Lot size:** Approximately 4,967 square feet
 - **Zoning:** R-29
 - **Existing lot coverage:** Approximately 14.3%
 - **Setting:** Urban residential
 - **Topography:** Relatively flat
 - **Existing development:** One deteriorated single-story historic structure (Unit A), remnants of a collapsed wood-framed addition, perimeter fencing and yard walls of mixed age and condition
-

III. Proposed Scope of Work – Historic Structure

A. Use and Function

The existing historic structure will remain at the front of the property facing West Alameda and will be rehabilitated for use as a **one-bedroom, one-bath casita**.

B. Footprint and Square Footage

- **Existing footprint:** 892 square feet
- **Existing roofed area:** 710 square feet
- **Proposed footprint:** 710 square feet
- **Proposed roofed area:** 710 square feet
- **Unroofed / flat exterior surfaces:** None beyond existing grade-level areas
- **No expansion of footprint** is proposed for Unit A

C. Height

- **Existing height:** 9 feet 4 inches from finished grade to top of parapet
- **Proposed height:** 10 feet 6½ inches from finished grade to top of parapet

This modest increase in height results solely from the installation of a **new structural bond beam and reconstructed roof system**. This installation is necessary to stabilize the historic adobe and pen tile walls. The parapet height will remain minimal and consistent with traditional Pueblo Revival proportions.

D. Structural Stabilization

- Removal of the failing roof structure
- Installation of a reinforced concrete bond beam atop existing exterior walls to prevent further horizontal movement and cracking
- Reconstruction of a traditional viga roof system above the bond beam
- New roof decking, insulation, and roofing assembly

These measures are necessary to stabilize the historic structure, prevent continued structural failure, and allow for the retention of the existing historic walls and exterior appearance.

E. Roof

- **Type:** Flat roof with parapet
- **Drainage:** Traditional canales

F. Exterior Walls, Materials, and Finishes

- **Walls:** Existing adobe and pen tile walls retained
- **Finish:** Cement stucco, repaired and refinished to match existing historic texture
- **Color:** Suede stucco from El Rey (to be finalized in coordination with HDRB staff)

G. Windows and Doors

- **Windows:** Existing wood, double-hung, single-glazed windows retained and rehabilitated
 - Wood frames
 - Painted finish
 - Concrete sills
- **Doors:** Existing wood doors retained where feasible and repaired; non-original doors replaced in-kind with appropriate wood doors

No enlargement, relocation, or new openings are proposed for the historic structure.

H. Yard Walls and Site Elements (Unit A)

- 3 foot masonry yard wall facing street frontage

VI. Conclusion

The proposed project at 619 West Alameda is a **preservation-driven intervention** that stabilizes a deteriorated historic structure that additionally revitalizes it in a manner consistent with prior HDRB approvals for rehabilitation and contextual infill projects within the historic district. The design prioritizes:

- Long-term preservation of the historic building
- Minimal visual impact on the streetscape
- Compatibility with surrounding historic development
- Traditional materials and finishes

We respectfully request the Historic Districts Review Board's approval of this proposal.

Sincerely,

Maxfield Scott

Mesa Verde Construction, LLC

Date: March 10, 2026

To: Planning and Land Use Department
City of Santa Fe, NM

From: Scott Irving, Designer/Builder
Mesa Verde Construction, LLC
NM GB-98 #419455

Re: Request for height exceptions to proposed Remodel and Addition to property @ 619 West Alameda, Santa Fe, NM

Max Scott, the President and Qualifying party for Mesa Verde Construction, LLC and the owner of record of the R-29 zoned property @ 619 West Alameda, Santa Fe, New Mexico would like to request height exceptions for the historic single-family residence and additional dwelling unit proposed for 619 West Alameda, Santa Fe, New Mexico.

Ms. Lani McCulley, Senior Planner for the Historic Preservation Division of the City of Santa Fe Planning and Land Use Department identified the maximum height allowed by code for 619 West Alameda, without an allowance for exception, at 14'- 10" in an email on 11/18/2025. This request for exception is written in the format of the "Historic Districts and Historic Landmarks, Height, Pitch, Scale, Massing, and Floor Stepbacks Exception Criteria" to explain the proposal's need for height exceptions.

(i) Do not damage the character of the streetscape

The historic structure, Unit A in our proposal, will remain well below Ms. McCulley's maximum height (14'-10"), but we do request a height change to this structure. Unit A's combination of adobe and pen-tile construction was built without a unifying bond beam atop the exterior walls. This has allowed horizontal movement at material joints and window and door rough openings, causing considerable cracking in the exterior walls. The original viga ceilings were removed at some point in the past and replaced with 2x roof rafters. These 2x rafters were undersized and failed under the weight of the roof years ago. The dutchmen patches used to prevent roof collapse are not providing adequate structure and are also failing. Mesa Verde wishes to remove the existing roof and place a stabilizing concrete bond beam atop the existing exterior wall. The bond beam will prevent further horizontal movement in the building's cracks and unify the adobe and pen tile structure thus preparing it for a new viga roof. The resulting change in roof construction will change the building's height from: 9'- 4" from existing grade to top of stucco-finished parapet walls, to: 10'- 6 1/2" from top of existing grade to top of stucco-finished parapet walls. This increase in height will not affect the character of this historic structure or streetscape. It keeps the parapet at minimum height and secures the preservation of the existing structure for the foreseeable future.

(ii) Prevent hardship to the applicant or an injury to the public welfare

The historic structure, Unit A in our proposal, will continue to deteriorate without the addition of the proposed bond beam. The engineered bond beam, viga ceiling structure, r-49 insulation tapered insulation and roofing have been proposed to be installed directly atop the top of the existing historic walls. We cannot shorten the structure without reducing the height of the exterior walls.

This will prevent an undue hardship to the owner and injury to the public welfare from the continued deterioration of the structure of Unit A.

- (iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Unit A's combination of adobe and pen-tile construction was built without a unifying bond beam atop the exterior walls. This has allowed horizontal movement at material joints and window and door rough openings, causing considerable cracking in the exterior walls. The original viga ceilings were removed at some point in the past and replaced with 2x roof rafters. These 2x rafters were undersized and failed under the weight of the roof years ago. The dutchmen patches used to prevent roof collapse are not providing adequate structure and are also failing. Mesa Verde wishes to remove the existing roof and place a stabilizing concrete bond beam atop the existing exterior wall. The bond beam will prevent further horizontal movement in the building's cracks and unify the adobe and pen tile structure thus preparing it for a new viga roof. The resulting change in roof construction will change the building's height from: 9'- 4" from existing grade to top of stucco-finished parapet walls, to: 10'- 6 1/2" from top of existing grade to top of stucco-finished parapet walls.

- (iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape.

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- (v) Are due to special conditions and circumstances which are not the result of the actions of the applicant

The deterioration of the abandoned historic Unit A has been in process for decades. Mesa Verde Construction, LLC's remodel of this structure will save it for posterity and is no fault of the company's owner.

- (vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)

The resulting change in roof construction will change the building's height from: 9'- 4" from existing grade to top of stucco-finished parapet walls, to: 10'- 6 1/2" from top of existing grade to top of stucco-finished parapet walls while preserving the overall appearance of the unit.

Sincerely,

Scott Irving
Mesa Verde Construction, LLC

a remodel for a historic & contributing structure @ 619 west alameda, santa fe, new mexico

sheet index

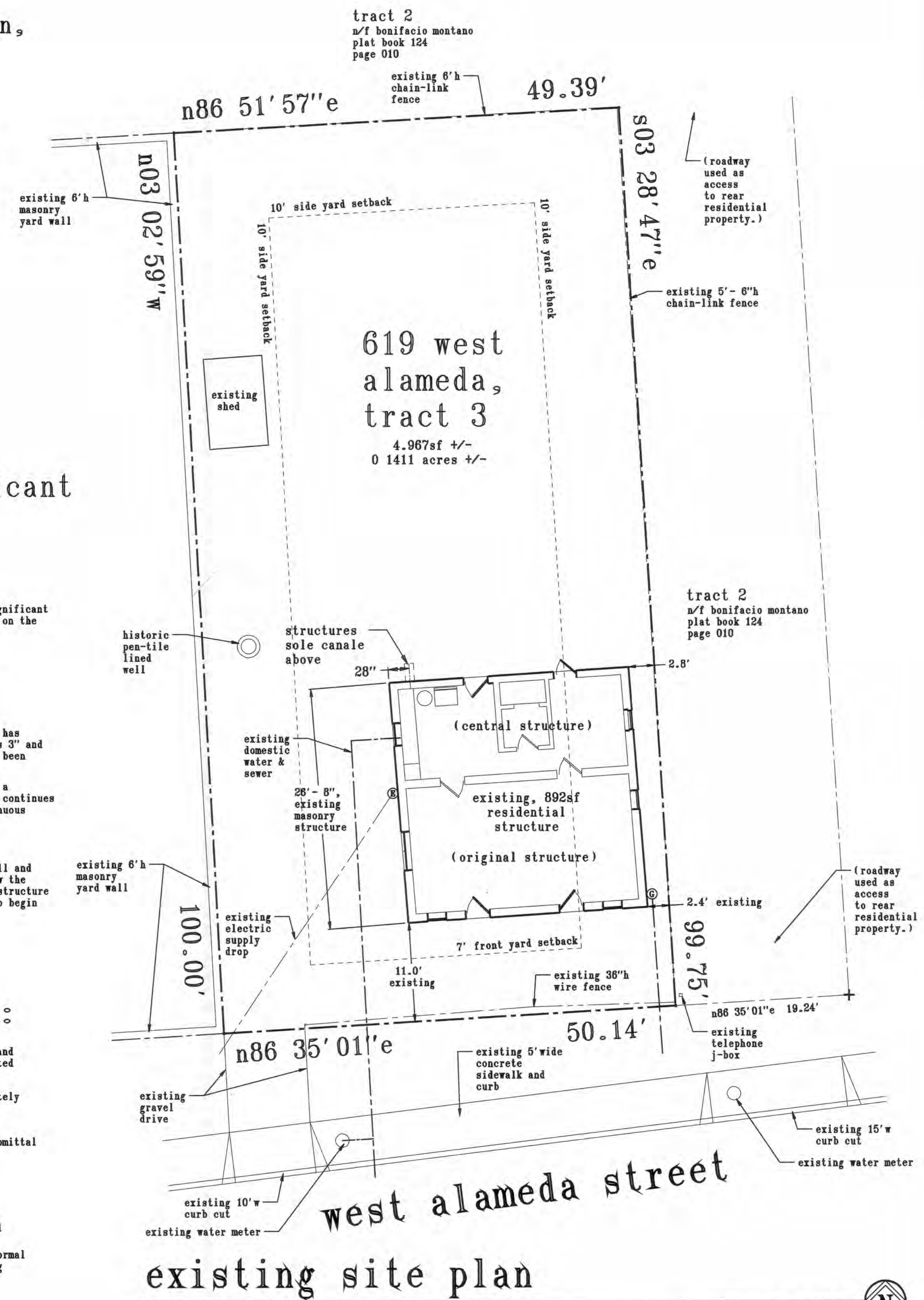
- a1.1 title, sheet index, existing site plan, analysis of historic structure and repair work required
- a1.2 proposed site plan
- a2.1 619 west alameda proposed floor plan
- a3.1 existing and proposed south & west exterior elevations
- a3.2 existing and proposed north & east exterior elevations

notes documenting significant issues with the existing construction:

- 1 the center structures attachment (if there is one) is failing and significant cracks between these structures are beginning to open up between them on the east and west facades.
- 2 the home was constructed with no bond beam installed. ceiling heights in public space vary by 3". ceilings have been replaced at some time with the original structures vigas protruding from the south wall along west alameda.
- 3 the original southerly, adobe section of the single family residence has significantly over-spanned roof-rafters. they are sagging as much as 3" and several rafters on the western side of the structure have failed and been scabbed to prevent a complete structural failure.
- 4 the southerly, original adobe structure's lack of a bond beam causes a structural break in the wall at window and door headers that has and continues to enable significant movement in the structure manifesting as continuous cracks from top to bottom of wall.
- 5 the southwest corner of the building is separating from the south wall and moving west. the large % of openings towards the corner hasn't allow the walls to buttress the corner preventing movement. cracks inside the structure between the floor and exterior wall have opened allowing the floor to begin sinking along length of the existing west wall.

scope of work to repair/rebuild structure:

1. carefully remove the existing windows with frames and kitchen door and frame from the home. reconstruct windows as described in the submitted "window condition assessment" prepared by Scott Ernst.
2. the existing roof(s) and insulation below must be removed to completely clear the roof.
3. remove the existing roof decking and roof rafters.
4. construct the concrete bond beam detailed in the building permit submittal atop existing adobe & pen-tile walls.
5. brace the sw building corner to prevent futher western movement.
6. unused
7. construct new structural roof membrane per building permit submittal and attach to new bond beam below.
8. follow the instructions in construction documents included in the formal building permit submittal to complete reconstruction of the existing single family residence.



drawn

date: 2/12/2028

project
a remodel for
619 West Alameda
santa fe, NM

sheet title
title, sheet index, existing
site plan, analysis of
historic structure
and repair work required

revisions

sheet no.
a1.1

checked

2504 camino alfredo, santa fe, nm 87501
dodgerfan2504@gmail.com 505-670-8149

existing 6'h chain-link fence

49.39'

n86 51' 57" e

existing 6'h masonry yard wall

n03 02' 59" w

15' rear -yard setback

5' side-yard setback

5' side-yard setback

(roadway used as access to rear residential property.)

(2) - 8.5' w x 18' l parking spaces
guest parking

steel cap protects historic pen-tile well

619 west alameda, tract 3

4.967sf +/-
0.1411 acres +/-
ground floor enclosed area = 710sf
total lot coverage = 14.3%

new 40" h masonry yard wall, 2plcs

5' - 0"

2' - 10 1/2" existing setback

s03 28' 47" e
99.75'

90.21°

unit A
historic structure
1 bed, 1 bath
heated area ± 710sf

2" base-course paved access drive
11' - 0" existing setback

2' - 5" existing setback

parking space 1
12"

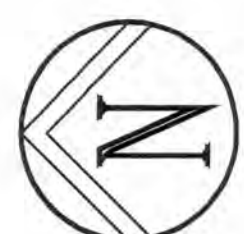
(roadway used as access to rear residential property.)

new, 40" h masonry yard wall

n86 35' 01" e
50.14'

15' w base-course paved access

proposed site plan



scale: 1/8" = 1' - 0"

sheet no. a1.2

revisions

sheet title
proposed site plan

project
a remodel for
619 West Alameda
santa fe, NM

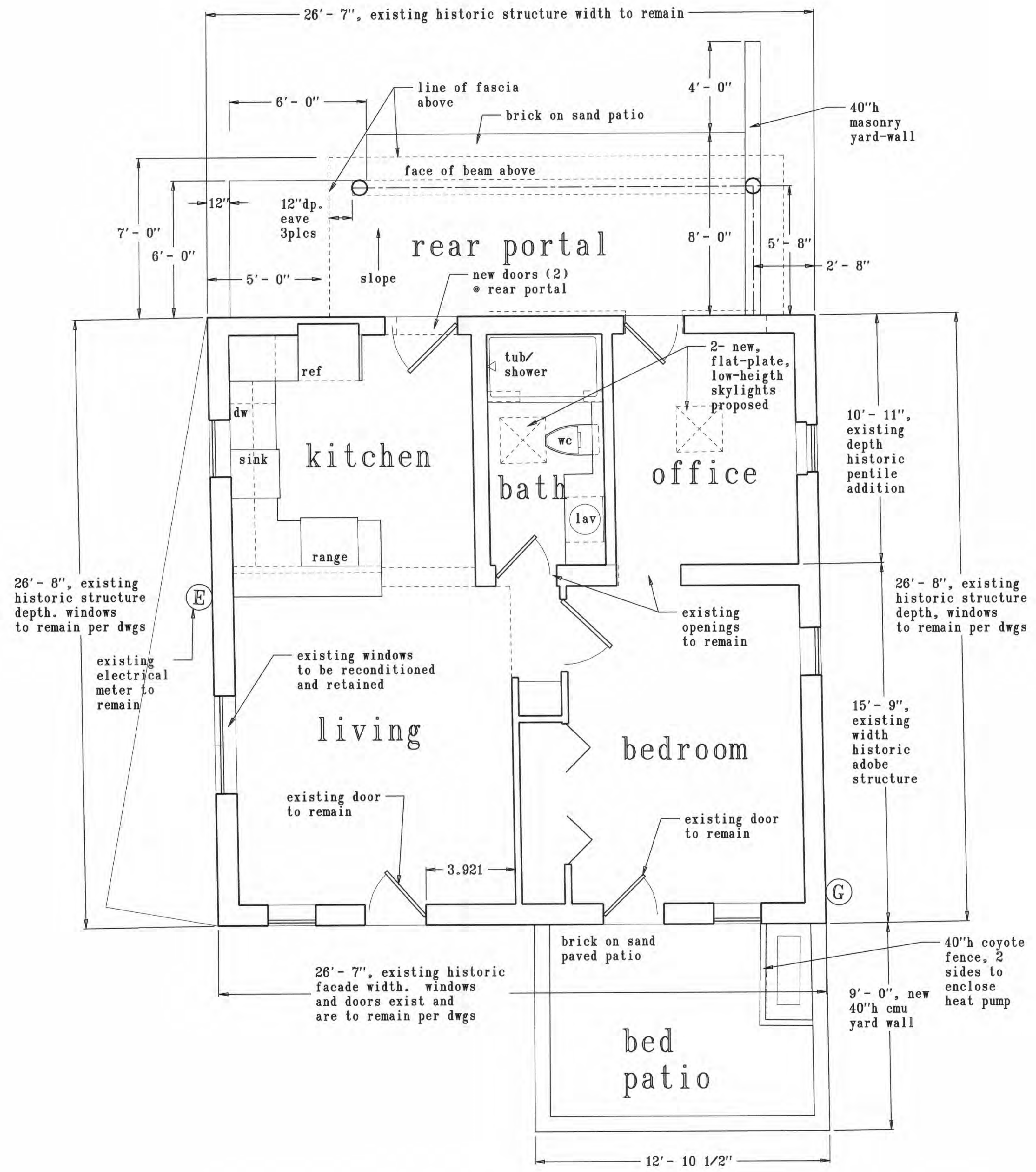
date:
2/12/2026

drawn

DESIGNERS

2504 camino alfredo, santa fe, nm 87501
dodderfan2504@gmail.com 505-670-8149

checked



proposed floor plan

scale: 3/8" = 1'-0"



G D

drawn *[Signature]*

checked

revisions

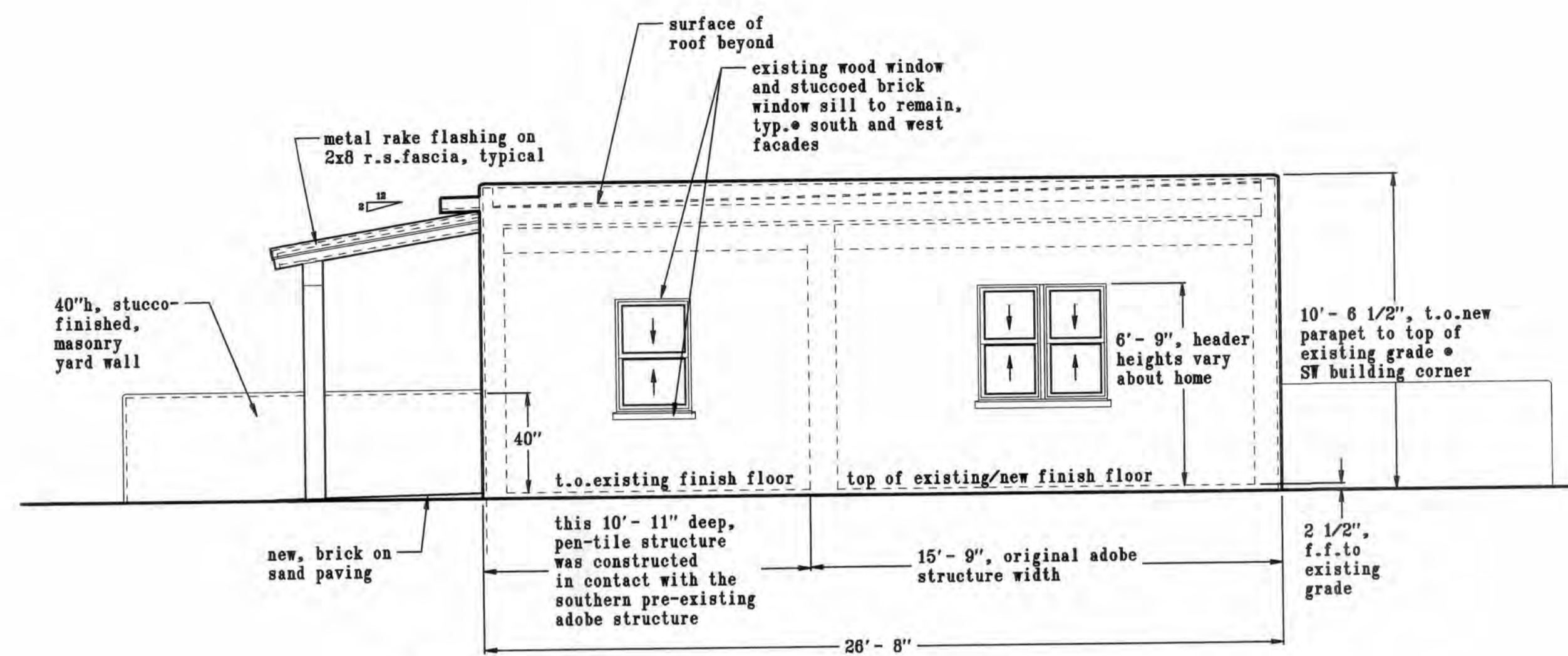
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sheet title 619 west alameda, proposed floor plan

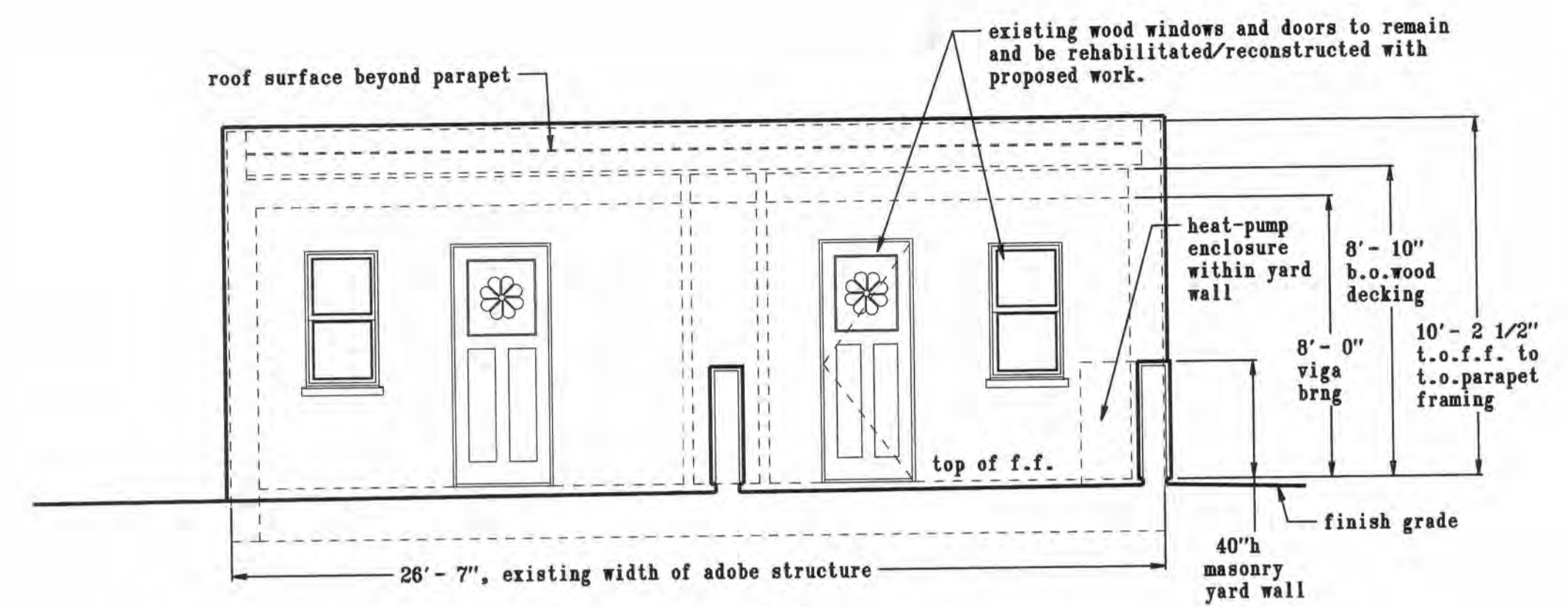
project a remodel for 619 West Alameda santa fe, NM

date: 2/12/2026

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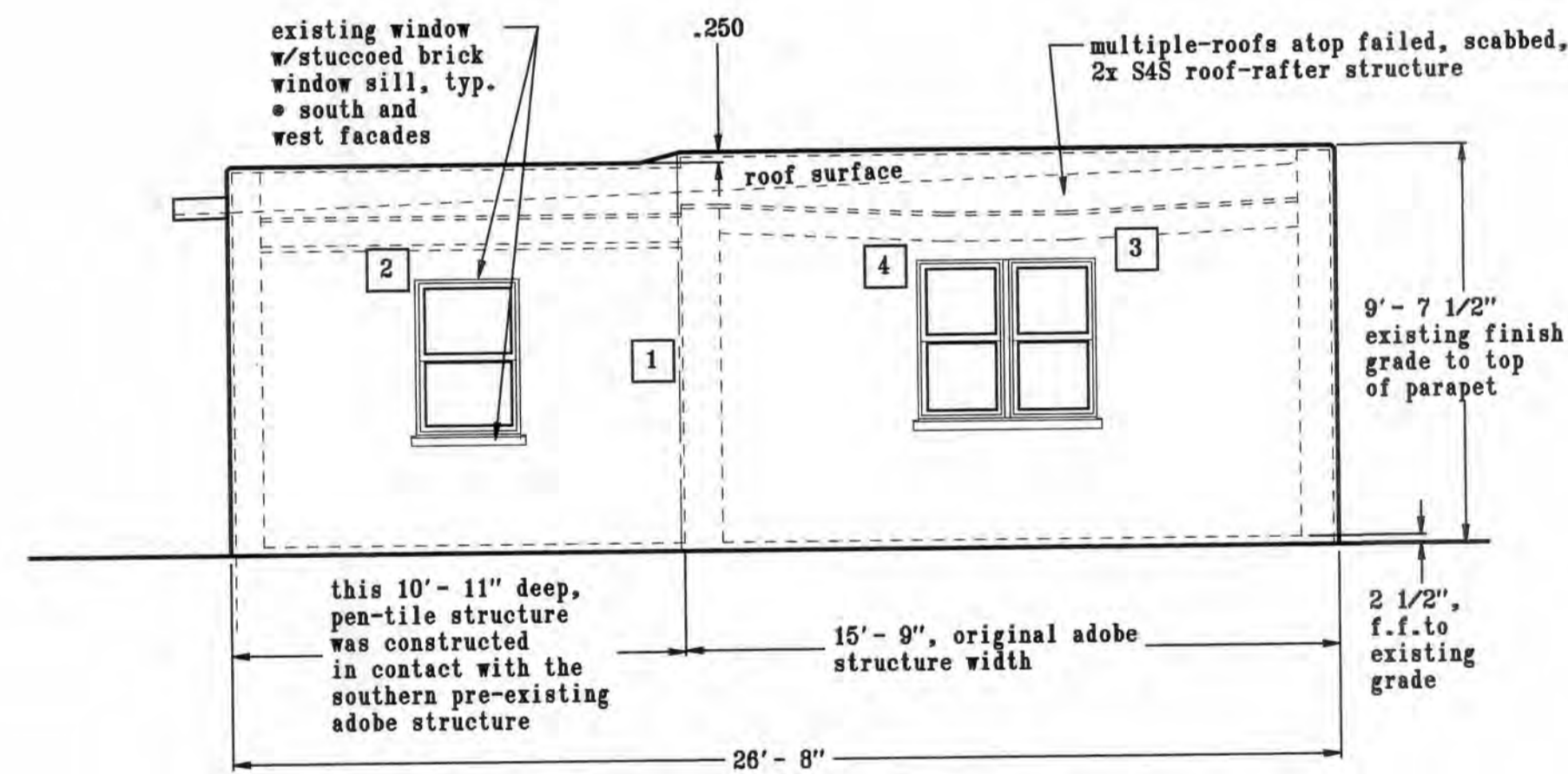
west elevation
proposed elevations



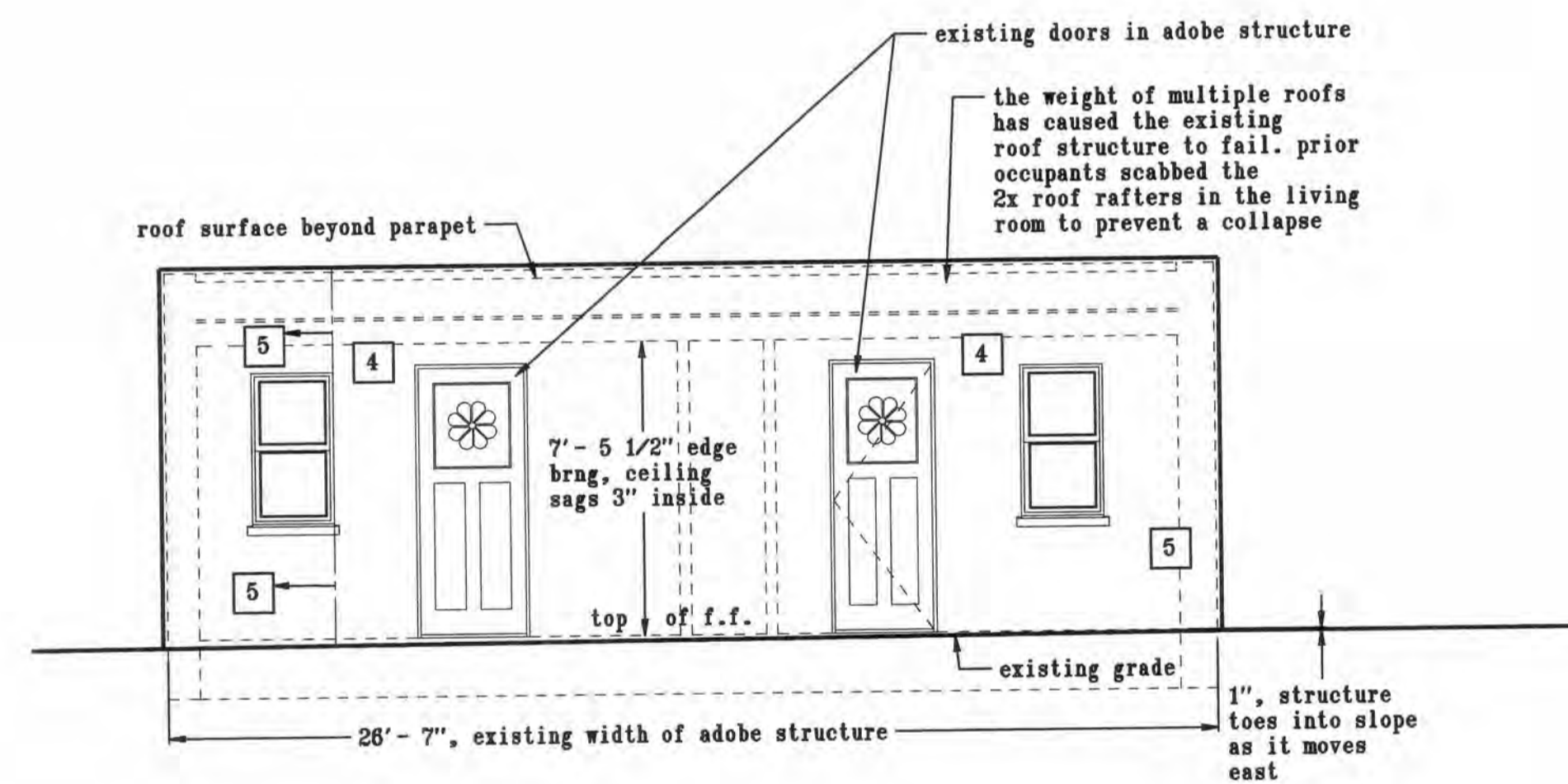
south (street) elevation

scale: 1/4" = 1'-0"

west elevation



west elevation
existing elevations



south (street) elevation

scale: 1/4" = 1'-0"

drawn *[Signature]*

date 2/12/2008

project a remodel for 619 West Alameda santa fe, NM

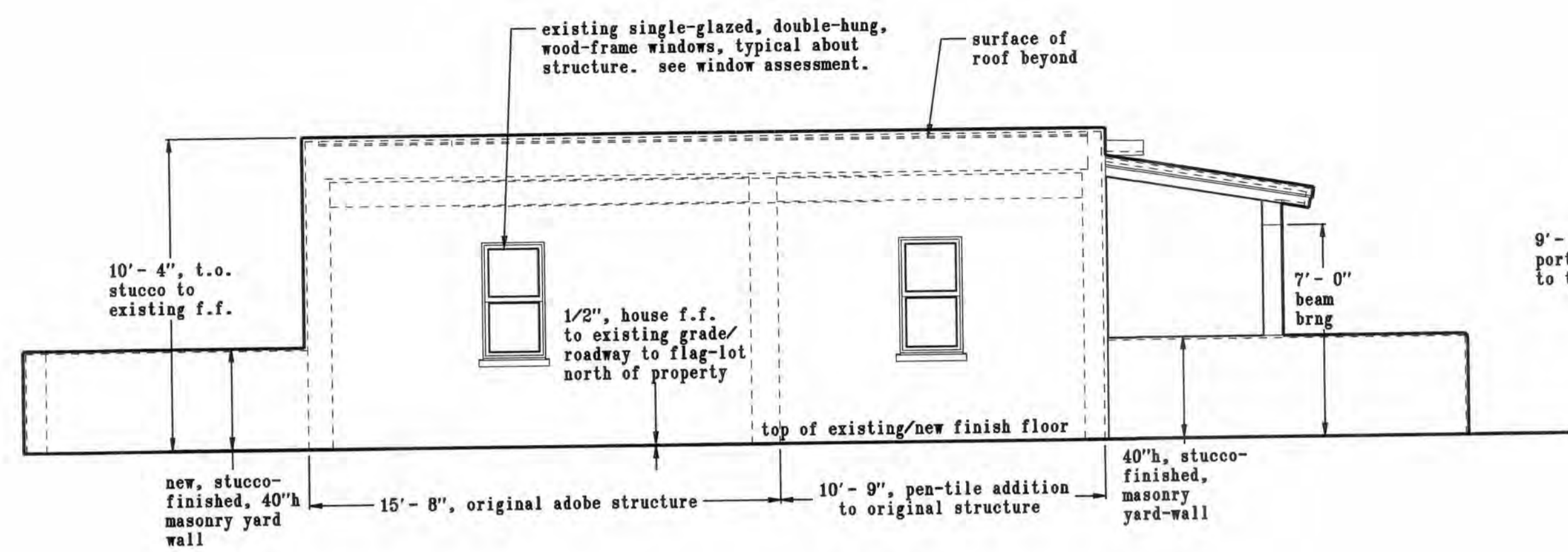
sheet title existing & proposed, south & west exterior elevations

sheet no. 03.1

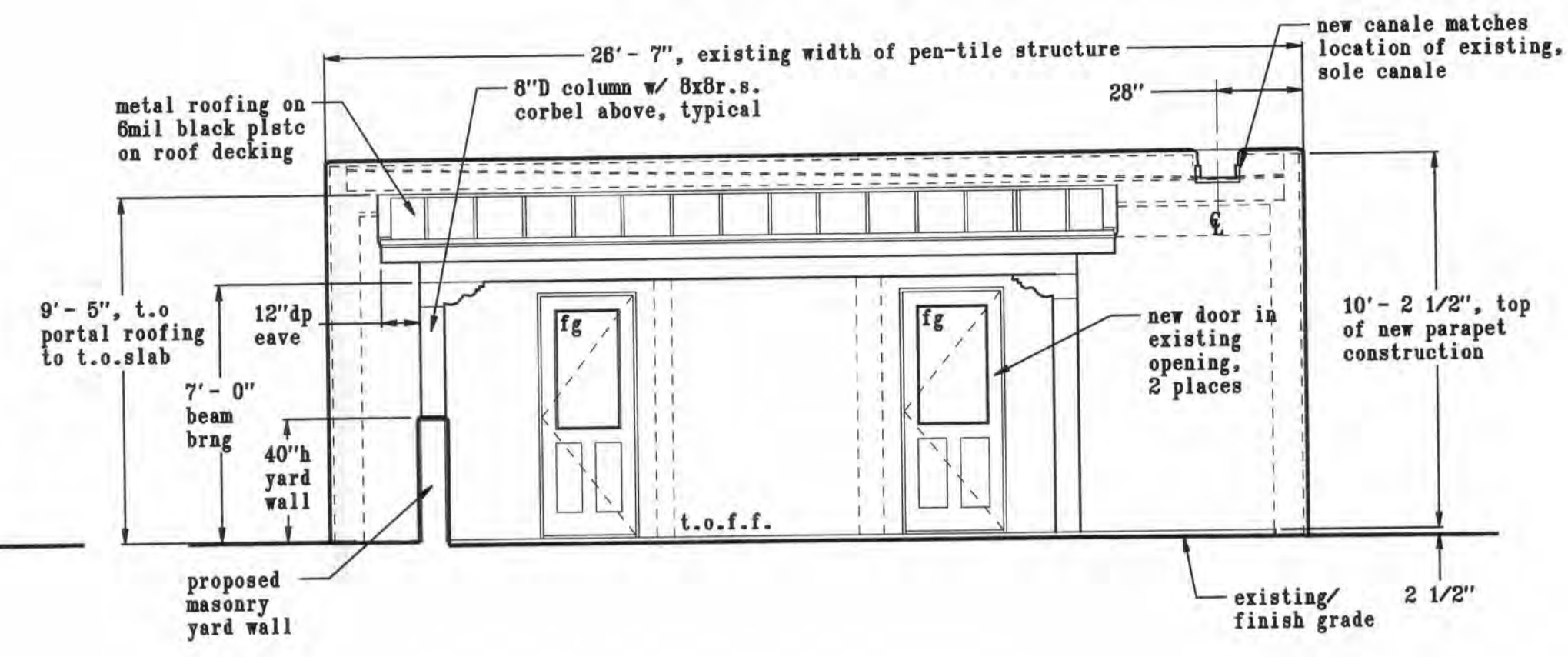
revisions

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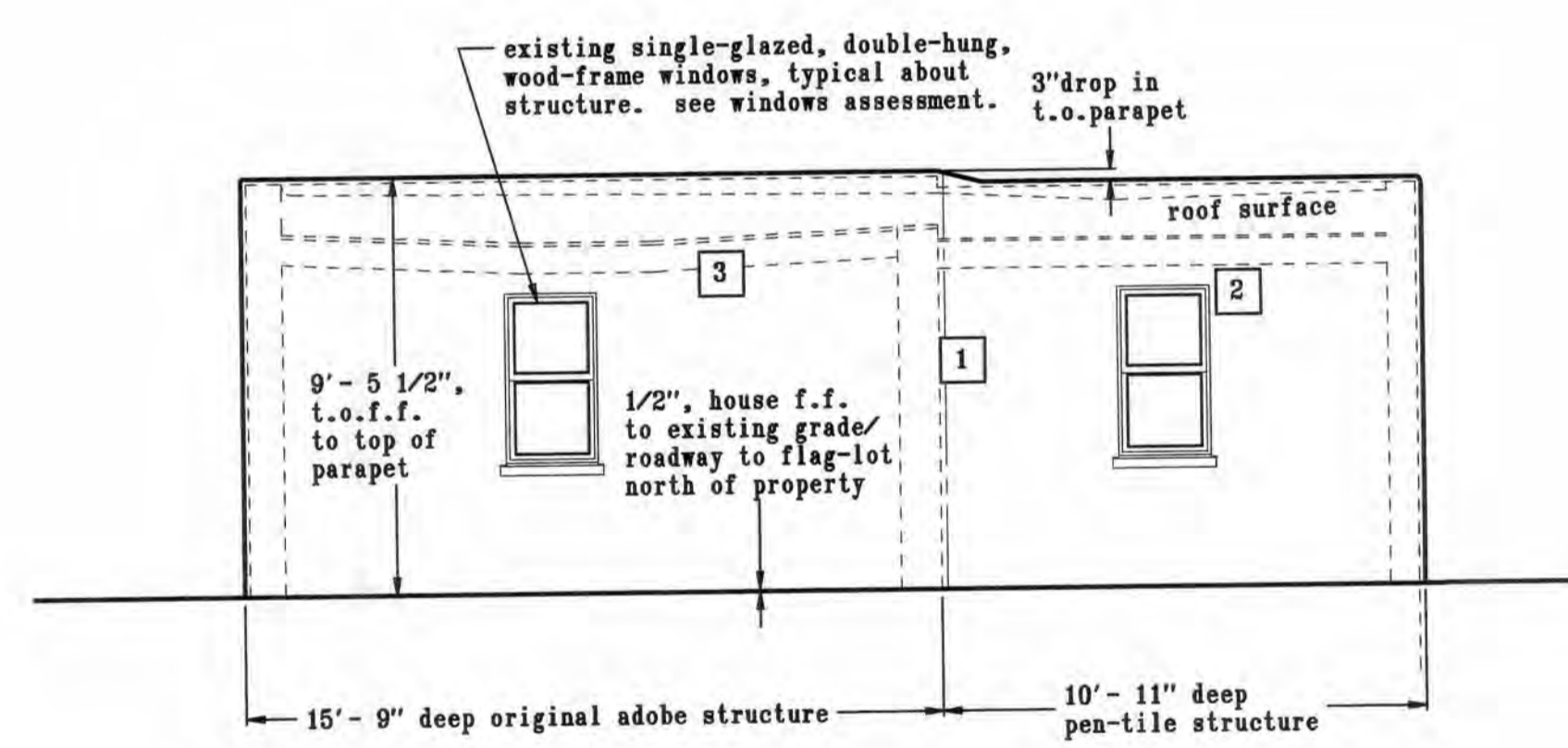
east elevation
proposed elevations



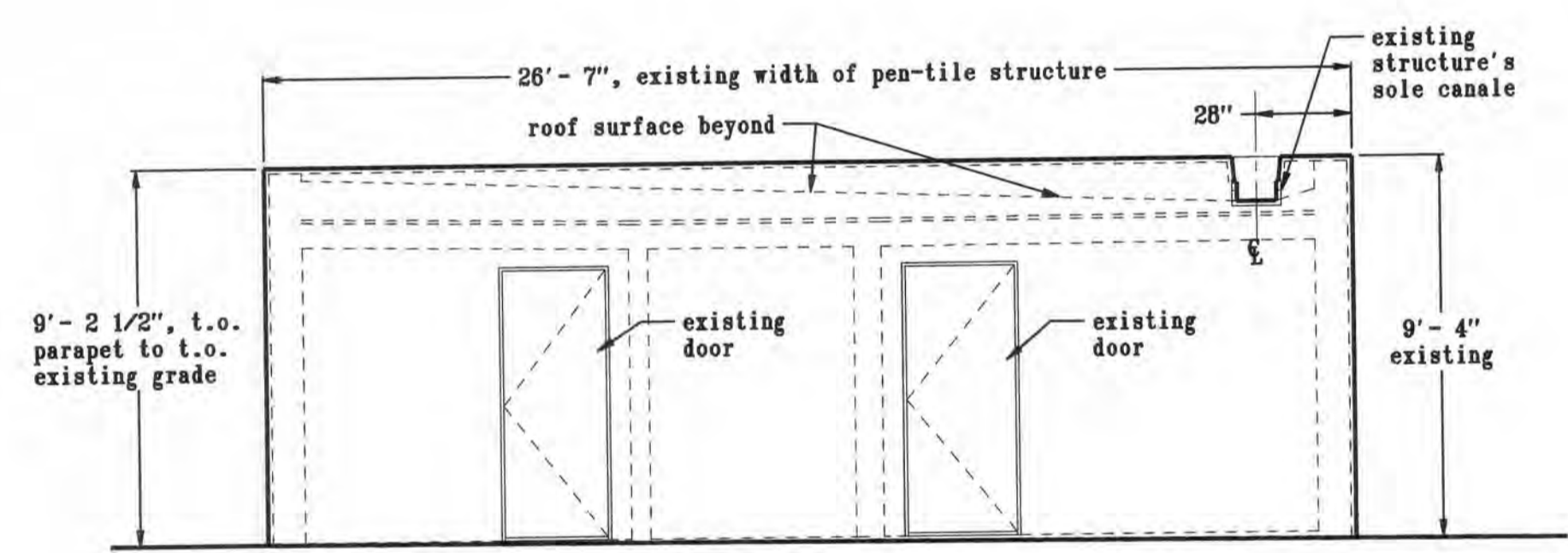
north elevation

scale: 1/4" = 1'-0"

west elevation



east elevation
east elevation
existing elevations



north elevation

scale: 1/4" = 1'-0"

drawn *[Signature]*

revisions

date: 2/12/2026

project
a remodel for
619 West Alameda
santa fe, NM

sheet title
existing & proposed,
north & east
exterior elevations

sheet no.
a3.2

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checked