

Date: 2/20/2026

Paul Duran
Senior Planner, Historic Preservation Division
Planning and Land Use Department
City of Santa Fe
P.O. Box 909, Santa Fe, NM 87504

Re: Historic Review Submission for 528 (Primary Residence) & 530 (ADU) Calle Corvo, Santa Fe, NM 87501

Dear Paul,

On behalf of Susan M Lamden, the Owner of the above mentioned property, we are submitting this Application for Historic Board Review for the project. Attached is the application packet for Historic Review for the following scope of works:

1. Proposed 150 sf heated addition to 528 Calle Corvo – an extension of the bedroom for the Primary Residence.
2. Proposed 200 sf west portal to the residence with a hipped clay tile roof to match the existing east portal roof.
3. Replacement of existing wrought iron posts at the East/South Portal with new 6x6 wood posts. The exposed wood of the portal will be painted to match the proposed window color.
4. New wrought iron railings throughout to match the existing in style, material and color.
5. New and replacement of all exterior doors and windows in a custom color to the residence as well as the existing Studio structure with wood clad doors and windows as recommended in the attached Window Assessment performed by Rā Patterson & Associates.
6. Re-stucco of the entire residence including the existing Contributing front yard wall and all other existing yard walls.
7. The addition of exterior insulation over the entirety of the existing un-insulated main house structure **except** for the Primary Facades where the addition of insulation will be on the interior sides.
8. The overall scope of works includes comprehensive interior renovations of the residence with associated plumbing and electrical works as required. This reconfiguration designates 528 Calle Corvo as the Primary Residence and 530 Calle Corvo as the ADU for the lot.

We would like to request for Exceptions to the Historic Code Criteria for the following:

1. **(2) Exceptions for the removal of existing wrought iron posts and replacing them with 6x6 wood posts**
 - a. Exception to **14-5.2(D)(1)(a)** - *The status of a significant, contributing, or [landmark structure](#) shall be retained and preserved. If a proposed alteration will cause a [structure](#) to lose its significant, contributing, or [landmark](#) status, the [application](#) shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.*
 - i. No other existing residences along Calle Corvo feature wrought iron posts; hence we feel that the removal does not damage the existing character of the district.
 - ii. Currently, the existing East/South portal requires some structural attention and at least 1 end is not properly attached to the building. The slenderness of the wrought iron posts

area also inadequate to hold up the roof of Spanish clay tiles. Furthermore, the existing post and beam on the west end of the portal are not connected at all to the house structure and hence need to be repaired/replaced properly. Several existing rafters also need to be replaced because of water damage. We feel that this extensive need for repair and refurbishment of the portal structure requires the replacement of the existing steel frame posts.

- iii. By using wood posts, this expression actually strengthens and supports the visual character of the neighborhood.

b. Exception to **14-5.2(D)(5)(b)** - *For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.*

- i. The wrought iron posts will be replaced with 6x6 wood posts (stained to match) which is now the commonly used method of supporting portals including the properties directly to the north and south of this property. The wood posts hence do not damage the existing character of the neighborhood and in fact, support and strengthen the heterogeneous character of the district.
- ii. The proposed wood posts will serve as a much better structural element to support the existing roof. Also, see 1.a.ii above.
- iii. See 1.a.iii above.

2. (2) Exceptions for the relocation of the existing concrete steps along the South portion of the existing East/South Portal.

a. Exception to **14-5.2(D)(1)(a)** - *The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.*

- i. The relocation of the existing concrete steps on the east and south sides of the east portal will be replaced with material and finish in kind and hence will not damage the existing character of the district.
- ii. The existing concrete steps need to be altered regardless of relocation as it is currently hazardous to users as currently configured (tripping and falling hazard). The currently location of the steps also narrows the driveway width, impeding the width of a required parking space along the driveway, especially with the impending construction of a yard wall by 532 Calle Corvo. Hence, it is a safety issue as well as a design efficiency issue to relocate the steps.
- iii. The proposed location of the steps, being in the same style, material and finish of the existing will continue to strengthen the character of the neighborhood and of the existing primary facade.

b. Exception to **14-5.2(D)(5)(b)** - *For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and*

windows, shall be repaired rather than replaced. In the event [replacement](#) is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. [Replacement](#) or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence .

- i. The new relocated steps will be made of the same material, finish and style of the existing and hence will not damage the existing character of the district. The relocated steps will also relate to the proposed new entry door location more directly.
- ii. The new steps will be configured in a safe manner to prevent the tripping and falling hazard of the current steps. Consolidating the existing 2 steps to a single location also serves to provide more space on the portal. Railings on both sides of the proposed steps will be provided. Also see 2.a.11 above.
- iii. See 2.a.iii above.

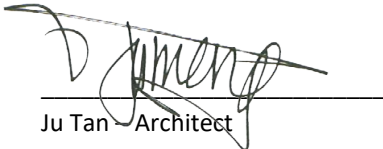
Based on the above arguments, we hope that you can seriously consider granting us the Exceptions for our project. We believe that our proposed design will reinforce and enhance the existing character of the neighborhood.

This application packet includes:

1. This Proposal Letter.
2. Historic Review Application Form.
3. Warranty deed and recorded plat.
4. Drawings including:
 - a. Existing and Proposed site plans
 - b. Existing and Proposed floor plans
 - c. Existing and Proposed exterior elevations
5. Assessment report for existing exterior windows and doors.
6. Technical specifications for the proposed wood clad windows.
7. Photographs of the exterior of the existing house.
8. PZR approval.
9. Proposed stucco and window colors.
10. Colored Drawing of the East Elevation illustrating the Proposed Colors.
11. Proposed exterior light fixture cut sheet.

Please feel free to contact me with any further questions. Thank you.

Sincerely yours,



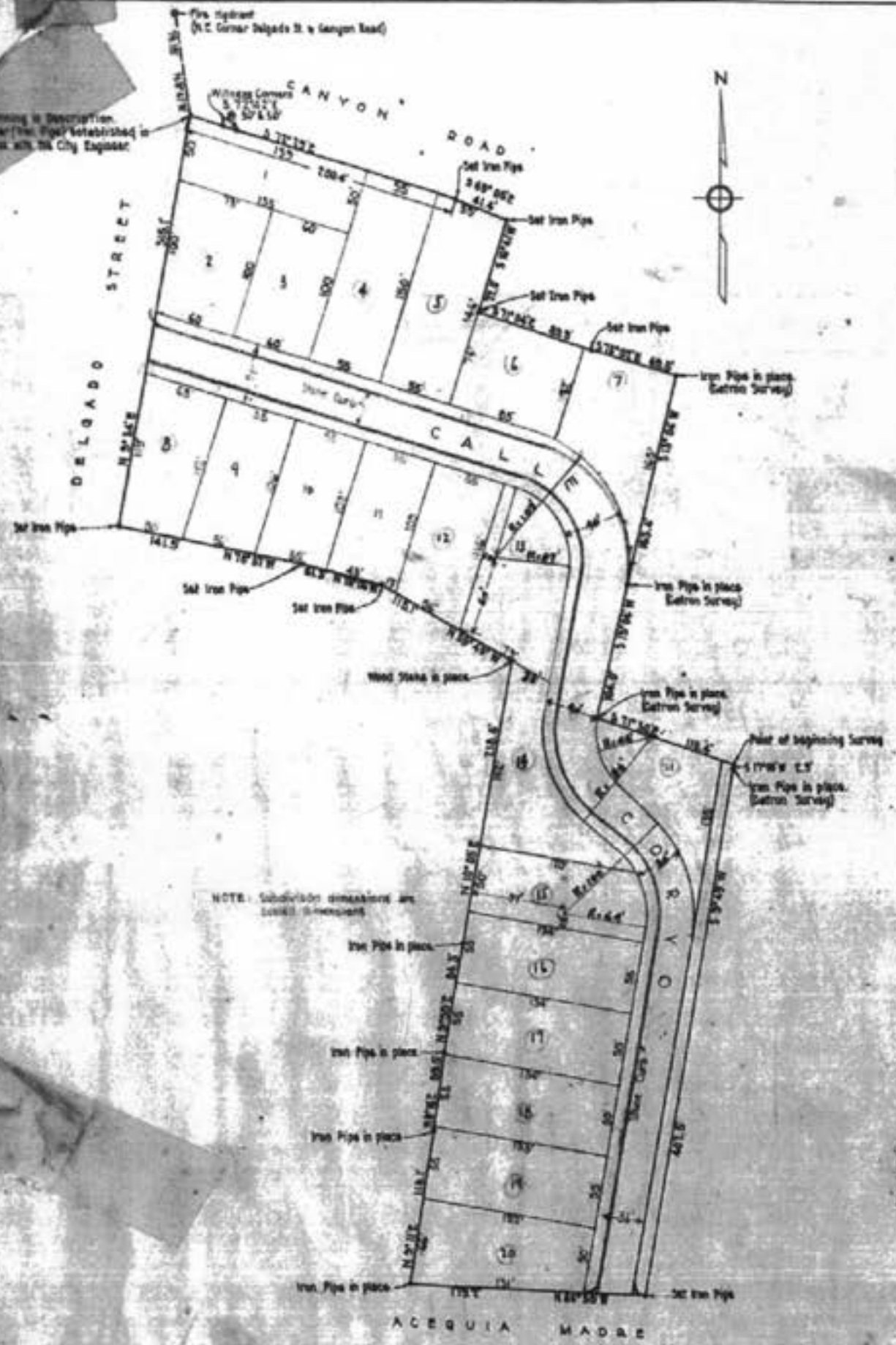
Ju Tan Architect

Mobile: (505) 920 9128 Email: ju@juicekitchendesignworkshop.com

Cc: Susan M Landen (Owner)

| | | | |
|----------|------|------|----|
| FILE NO. | DATE | TIME | BY |
| | | | |

See beginning of description
This corner (Iron Pipe) established in
conjunction with the City Engineer



NOTE: Subdivision remainder are
shown in red ink

STATE OF NEW MEXICO)
COUNTY OF SANTA FE) SS.

OWNER'S CERTIFICATE
Be it known that the subdivision of the lands included in the addition known as
"HUGHES SECOND SUBDIVISION" as designated, numbered and described on this plat,
is with the free consent and in accordance with the desire of the undersigned owner
and proprietor, and that the streets shown on this plat are hereby declared to be public
highways.
In witness whereof, the said owner has hereunto set her hand and seal this
day of June, 1940.

Christine L. Hughes (REAL)

STATE OF NEW MEXICO)
COUNTY OF SANTA FE) SS.

On this 7th day of June, 1940, before me personally appeared Christine L. Hughes,
to me known to be the person who executed the above and foregoing owner's certificate
and acknowledged that she executed the same as her free act and deed.
IT WITNESSES WHEREOF I have hereunto set my hand and affixed my official seal
the day and year last above writes.

My commission expires
Jan. 7, 1942

Thomas Lee Patterson
NOTARY PUBLIC

CERTIFICATE OF CITY OFFICIALS

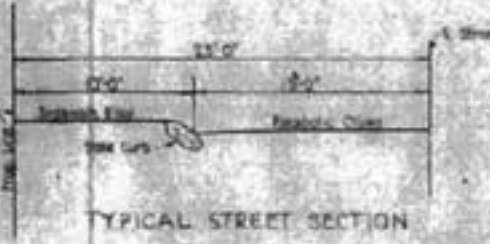
The undersigned officials of the City of Santa Fe, New Mexico do hereby certify
that this plat was duly presented to the Council of the City of Santa Fe and duly approved
by three-fourths of the members thereof upon a showing by the owner that all conditions
precedent to its approval has been satisfied, and that a true copy of this plat has been filed with
the City Clerk.

Chas. S. Hamilton
CLERK OF THE CITY OF SANTA FE

William J. Jones
MAYOR OF THE CITY OF SANTA FE

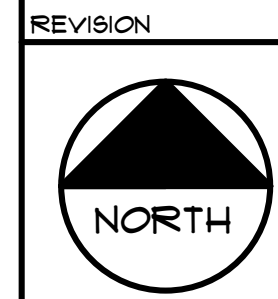
I hereby certify that bearings and distances
shown on the attached plat are a true and
correct copy compiled from field notes of a
survey made under my direction in Sept. 1935.

Floyd Haake
FLOYD HAAKE
LICENSED PROFESSIONAL ENGINEER
AND LAND SURVEYOR
BY 173



FILED
IN THE OFFICE OF THE
COUNTY CLERK OF SANTA
FE COUNTY, NEW MEXICO
1941 SEP 11 AM 11:45
E. J. MARTINEZ
COUNTY CLERK

**PLAT OF RESUBDIVISION OF
HUGHES SECOND SUBDIVISION**
SCALE - 1" = 50'



REVISION

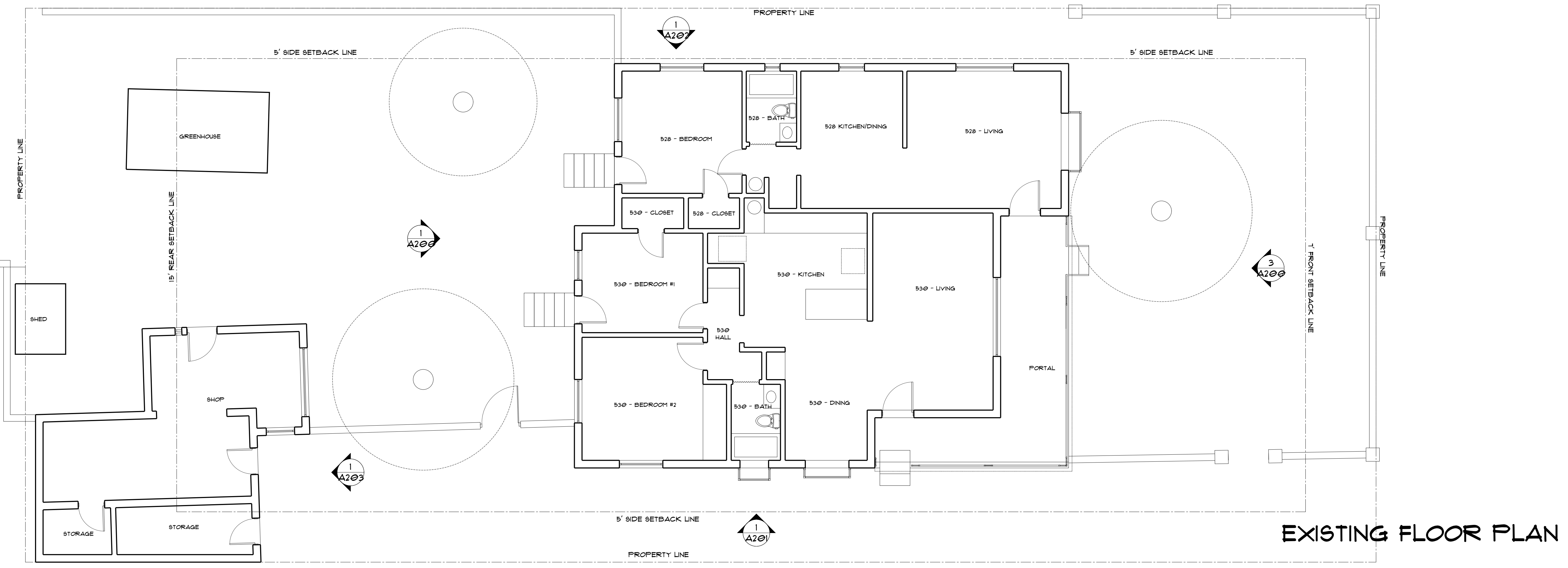
SCALE - AS NOTED

DATE - 2/20/2026

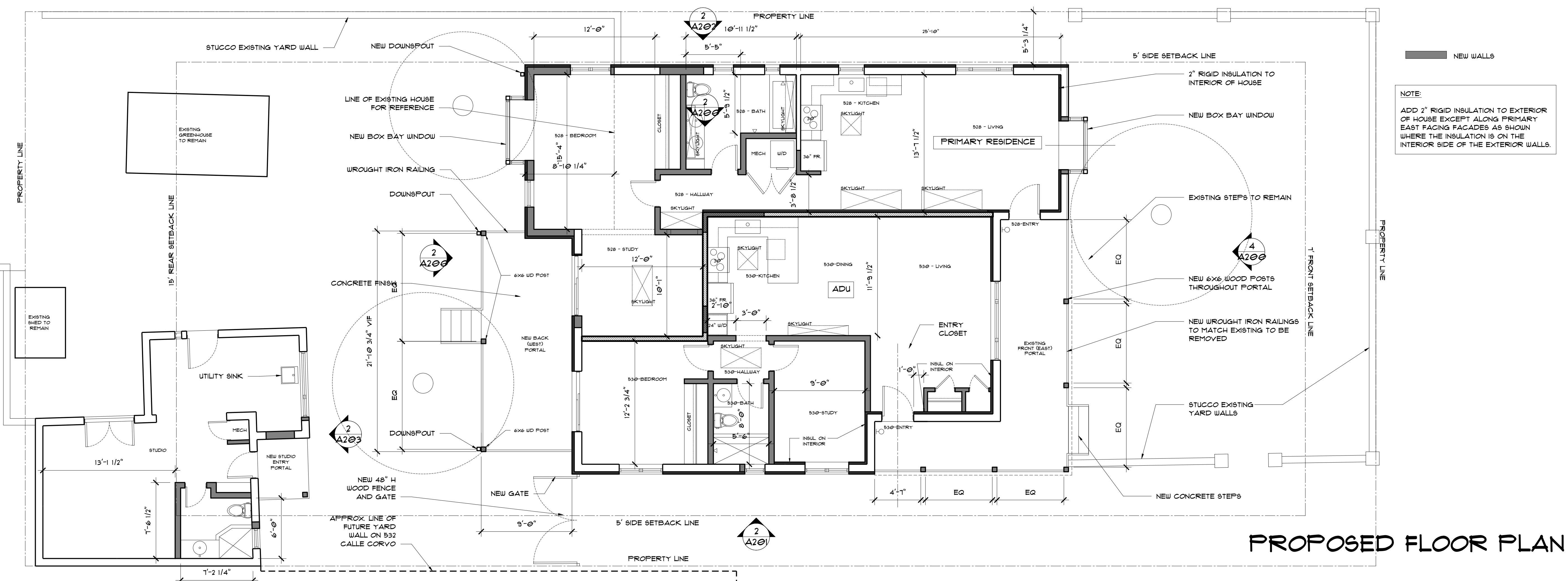
EXISTING & PROPOSED FLOOR PLANS

LAMDEN RESIDENCE & ADU
528, 530 (ADU) CALLE CORVO, SANTA FE, NM 87501

A101



EXISTING FLOOR PLAN



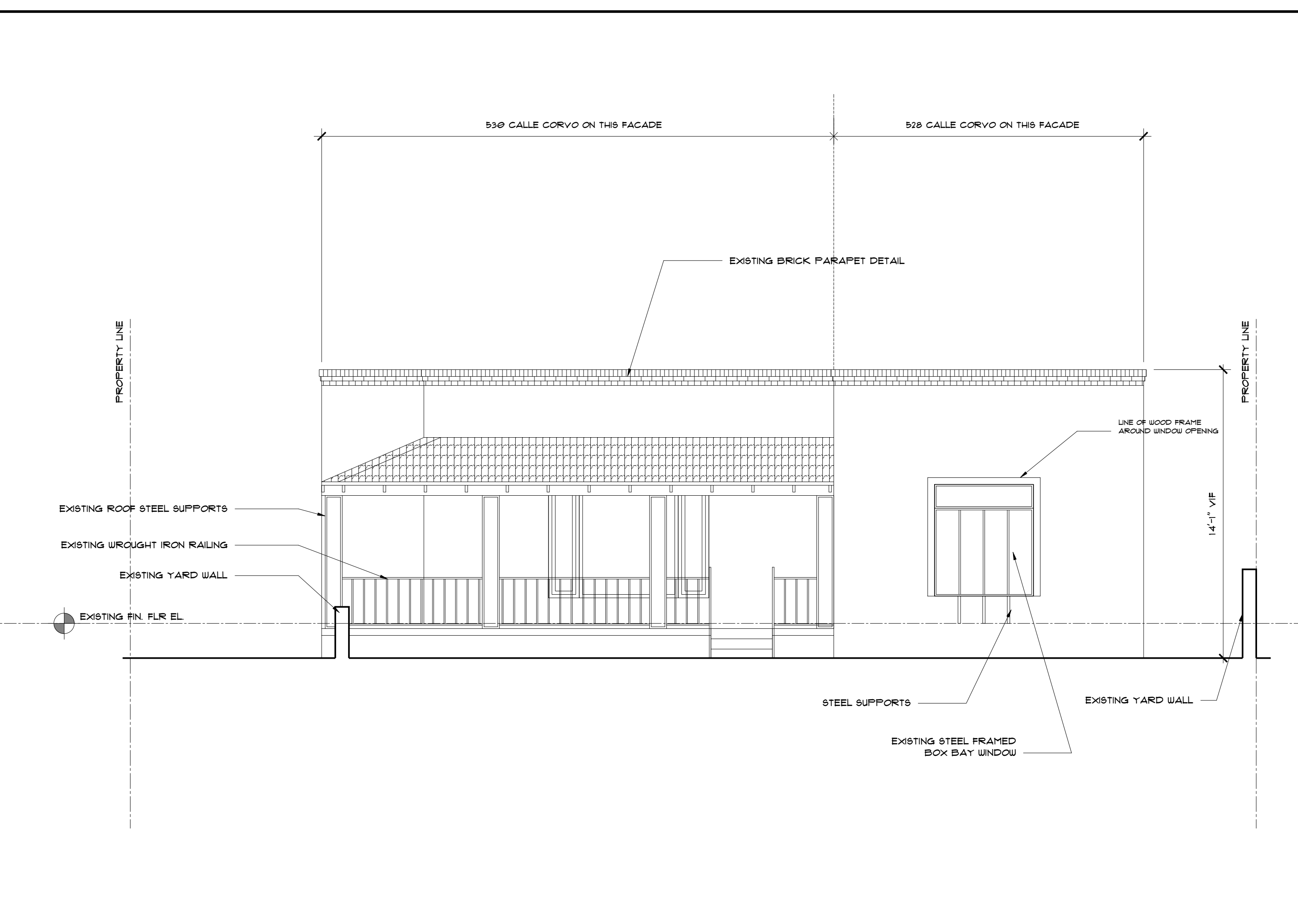
PROPOSED FLOOR PLAN

1 EXISTING & PROPOSED FLOOR PLANS

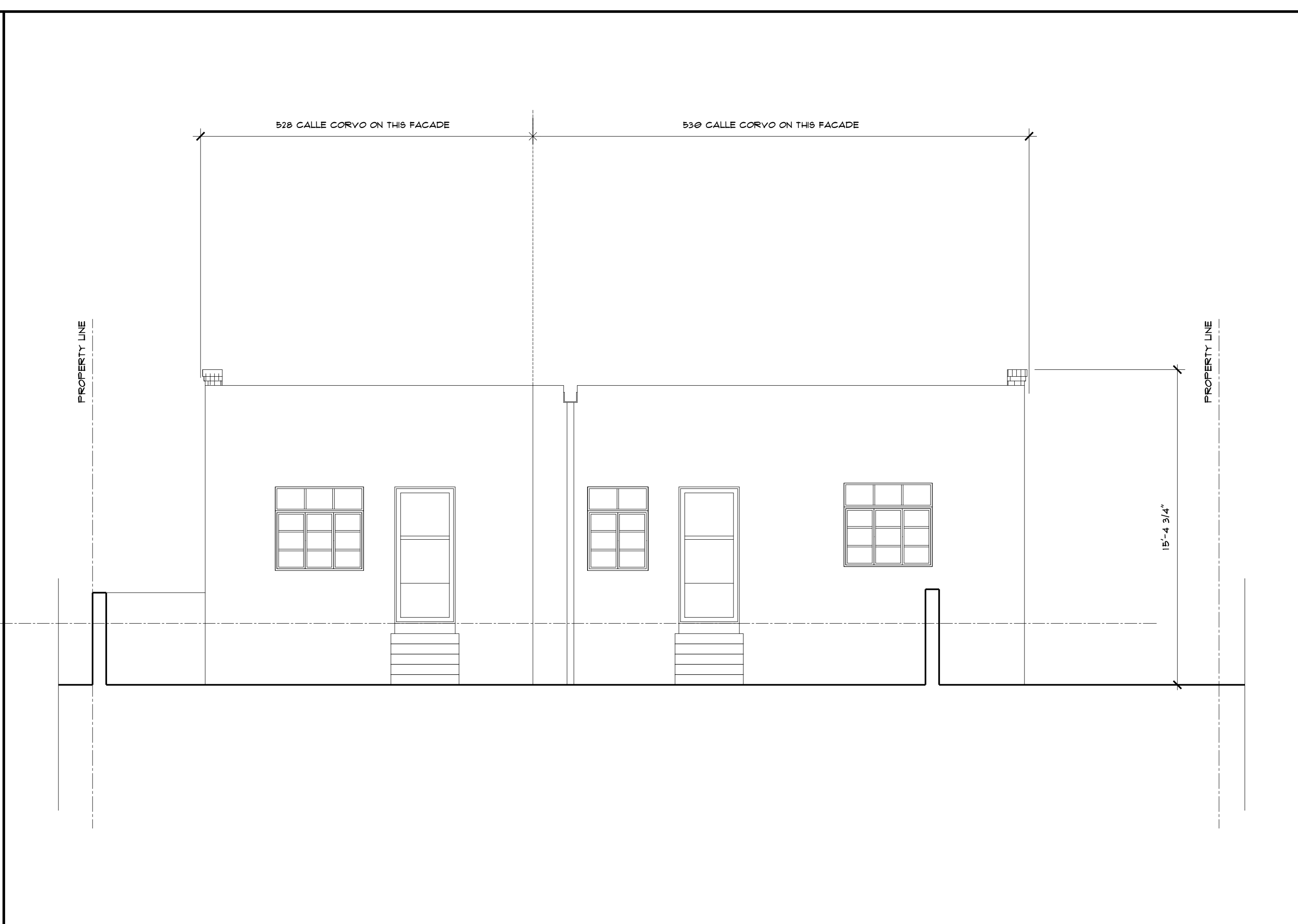
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**EXISTING AND PROPOSED
EXTERIOR ELEVATIONS**

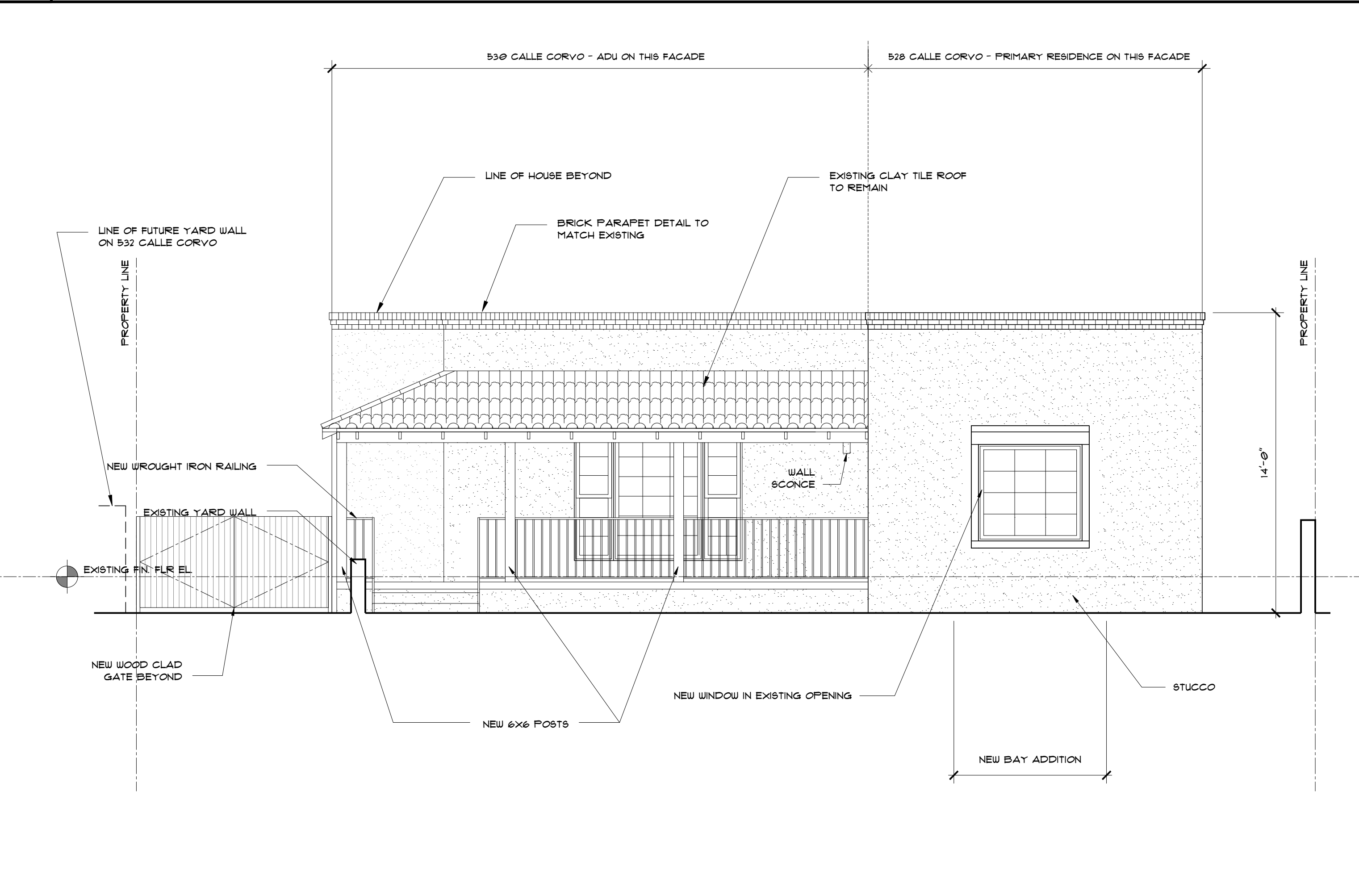
LAMDEN RESIDENCE & ADU
528, 530 (ADU) CALLE CORVO, SANTA FE, NM 87501



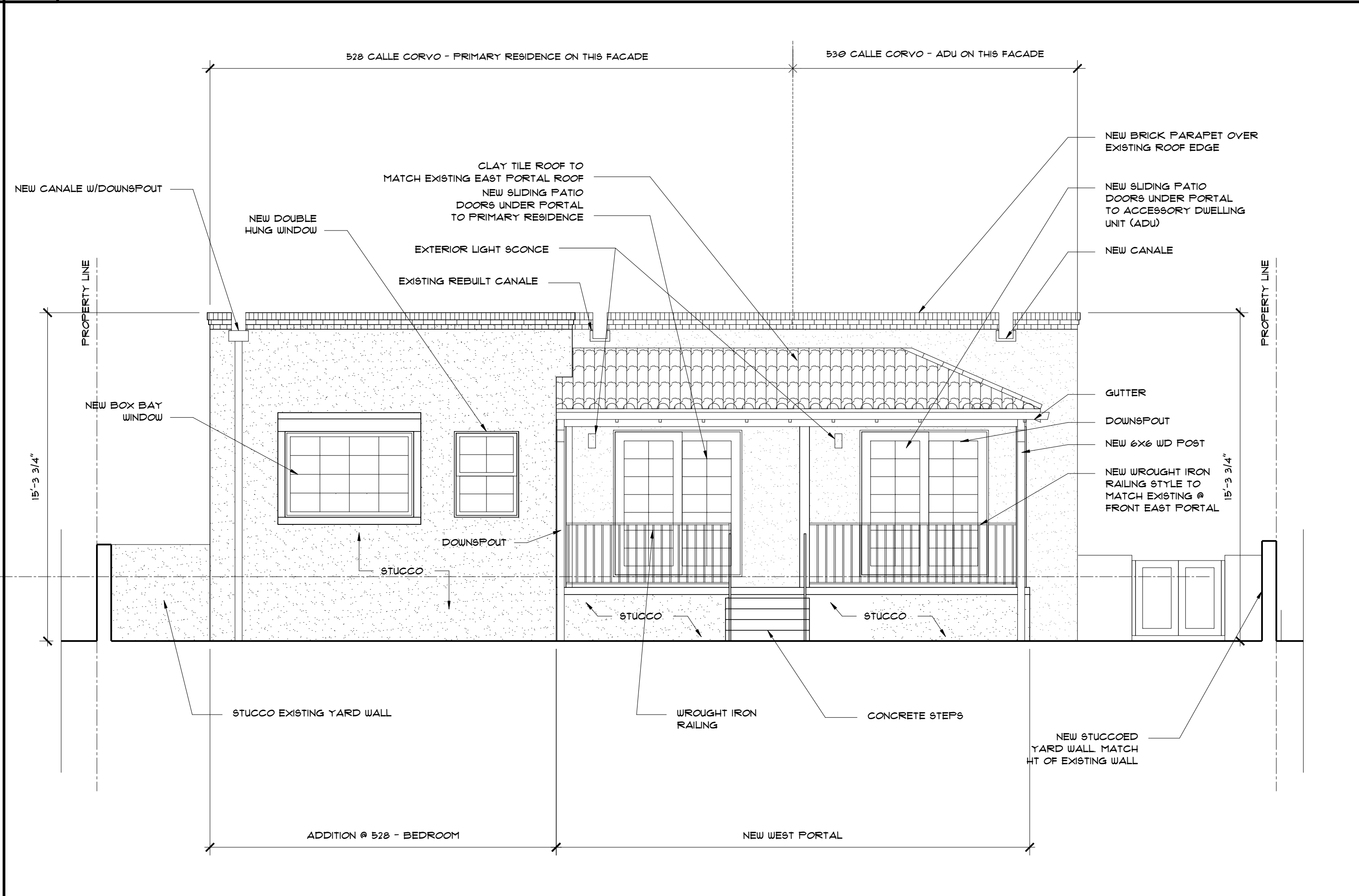
3 EXISTING EAST ELEVATION



1 EXISTING WEST ELEVATION



4 PROPOSED EAST ELEVATION



2 PROPOSED WEST ELEVATION

**JUICEKITCHEN
DESIGN
WORKSHOP**

1219 CERRO GORDO RD.
SANTA FE, NM 87501

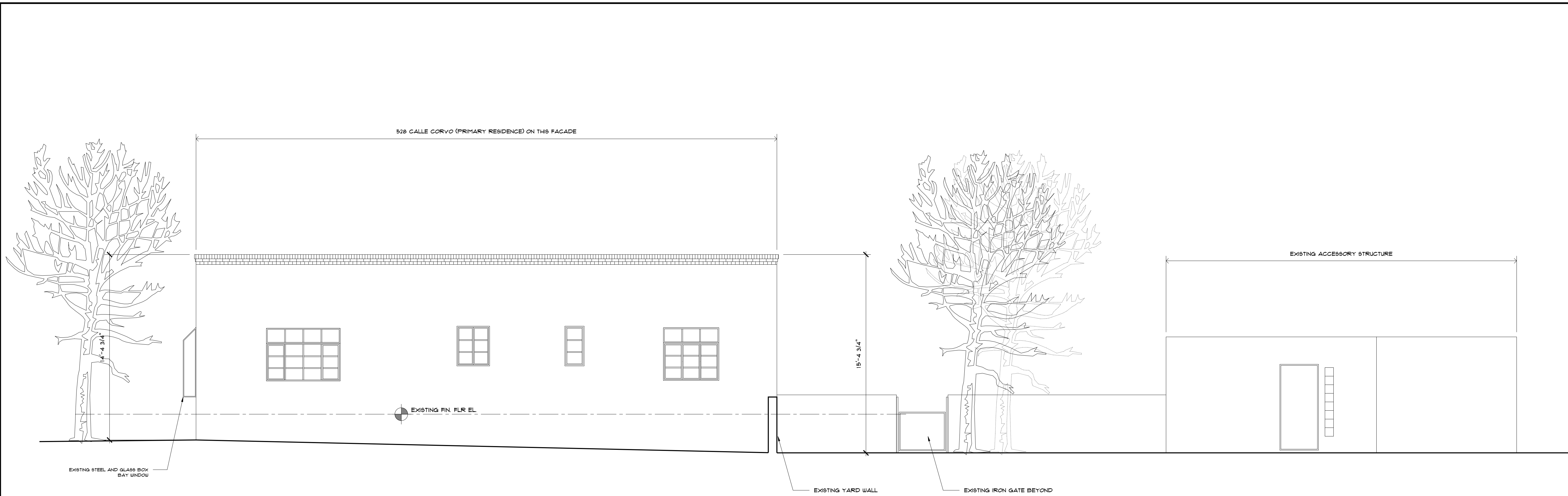
505.920.9123
JU@JUICEKITCHENDESIGNWORKSHOP.COM
WWW.JUICEKITCHENDESIGNWORKSHOP.COM



REVISION

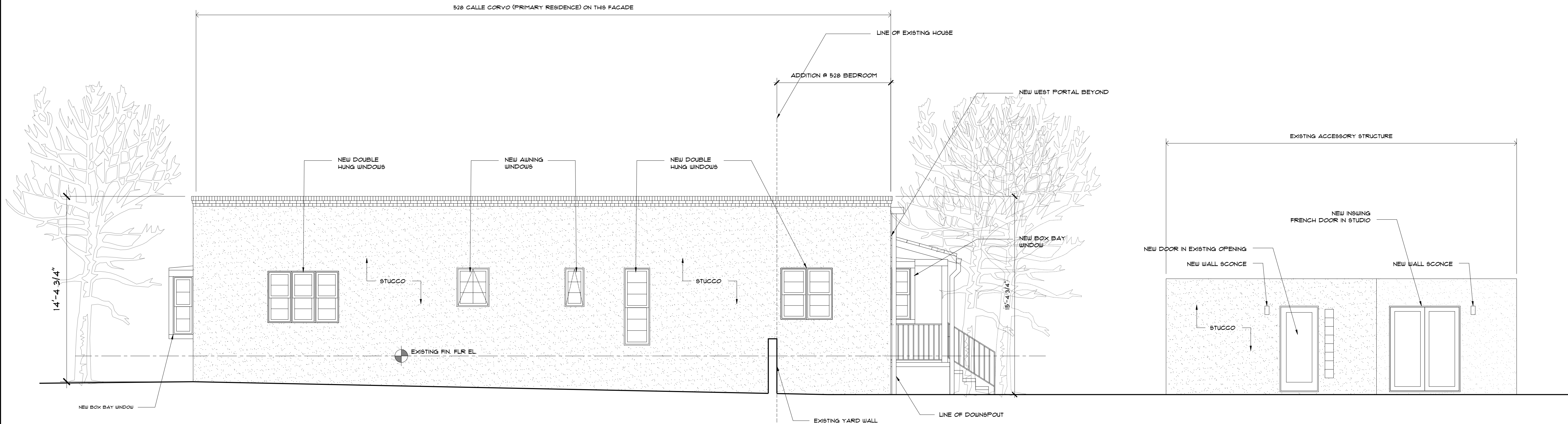
SCALE - AS NOTED

DATE - 2/20/2026



1 EXISTING NORTH ELEVATION

SCALE: 1/4" - 1'-0"



2 PROPOSED NORTH ELEVATION

SCALE: 1/4" - 1'-0"

**EXISTING AND PROPOSED
EXTERIOR ELEVATIONS**

LAMDEN RESIDENCE & ADU
528, 530 (ADU) CALLE CORVO, SANTA FE, NM 87501

A202

**JUICEKITCHEN
DESIGN
WORKSHOP**

1219 CERRO GORDO RD.
SANTA FE, NM 87501

505.920.9123
JU@JUICEKITCHENDESIGNWORKSHOP.COM
WWW.JUICEKITCHENDESIGNWORKSHOP.COM

REVISION



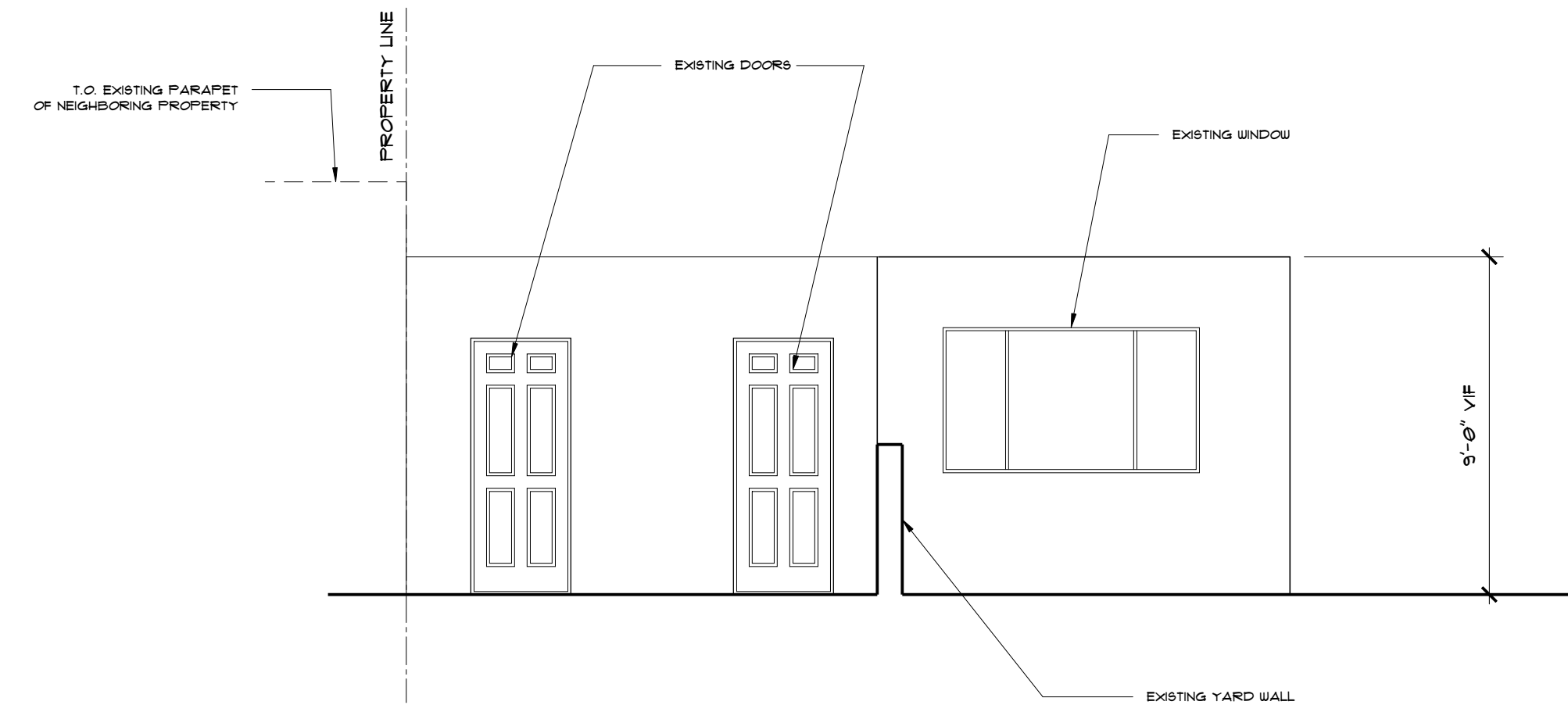
SCALE - AS NOTED

DATE - 1/26/2026

**EXISTING AND PROPOSED
EXTERIOR ELEVATIONS**

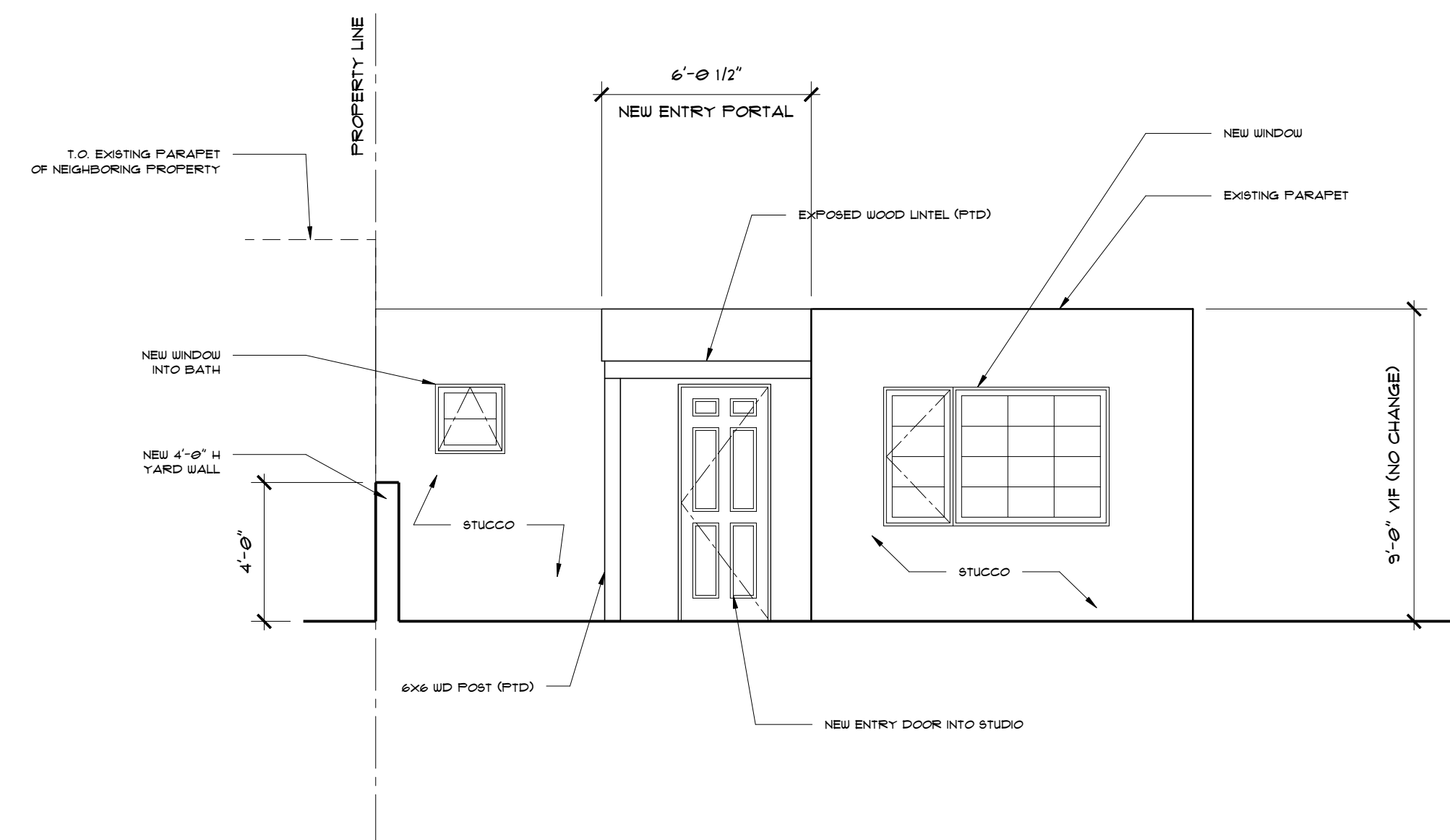
LAMDEN RESIDENCE & ADU
528, 530 (ADU) CALLE CORVO, SANTA FE, NM 87501

A203



1 EXISTING STUDIO EAST ELEV.

SCALE: 1/4" - 1'-0"



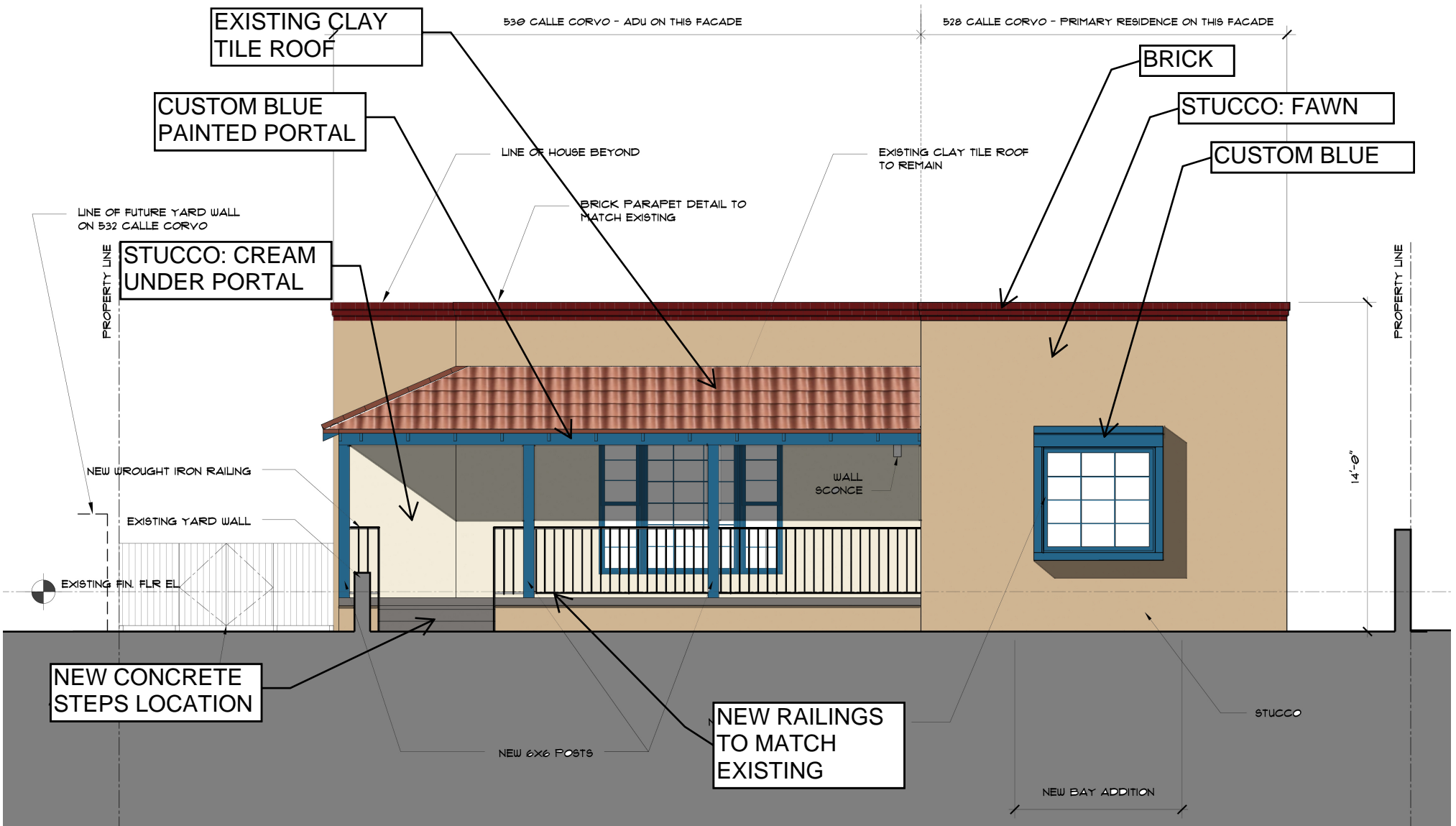
2 PROPOSED STUDIO EAST ELEV.

SCALE: 1/4" - 1'-0"

528/530 (ADU) Calle Corvo, Santa Fe, NM 87501
Lamden Residence

Colored Exterior (East) Elevation

2/20/2026



528 & 530 (ADU) Calle Corvo, Santa Fe, NM 87501
Lamden Residence

Proposed Exterior Wall Sconce

10/24/2025



Forte Lighting 1773-01-04 Exterior
Wall Light with Honey Glass
Shades, Black

Materials & Care

| | |
|----------------|--------------|
| Material Type | Glass, Metal |
| Finish Types | Black |
| Shade Material | Glass |

APPROXIMATE OVERALL HEIGHT/LENGTH - 11"

528/530 (ADU) Calle Corvo, Santa Fe, NM 87501
Lamden Residence

Driveway Gate Elevation

2/20/2026



Inspiration

528, 530 (ADU) Calle Corvo, Santa Fe, NM 87501
Lamden Residence

Proposed Exterior Colors

11/28/25

Primary Exterior Stucco Color



Fawn
117 (45)

Exterior Stucco Color under Portals Only



Cream
128 (70)

Custom Blue Color for Exterior Windows
and Doors and exposed wood of Portals



Custom Blue
R - 35
G - 99
B - 137