



# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** Jay Jay Shapiro, agent for Claudia Quan, owner, proposes to construct a commercial/residential structure with a 1,661 sq. ft. footprint to a maximum height of 23'10" where the maximum allowable height is 14'1", a 4' high wrought iron fence, and 4' high and 6' high yardwalls on a vacant lot. An exception is requested to exceed the maximum allowable height (Section 14-5.2(D)(9)).

Case number: **H-16-030**  
Project Type: HDRB

**PROJECT LOCATION (S):** 911 Roybal Street

**PROJECT NAMES:**

OW – Claudia Quan 1660 Steele Street Apt. 104 Denver, CO 80206-1735  
AP – Jay Jay Shapiro 90 Leaping Powder Road Santa Fe, NM 87508 505-699-6161

**PROJECT DATA:**

**HISTORIC DISTRICT**

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

**HISTORIC BUILDING STATUS**

Non-Statused  Non-Contributing  Contributing  Significant  Landmark

**PRIMARY ELEVATIONS:**

North  South  West  East  NA

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

HISTORIC DISTRICT INVENTORY NUMBER NA

YEAR OF CONSTRUCTION NA

**PROJECT TYPE**

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSE Residential  Non-Residential

HISTORIC BUILDING NAME NA

# City of Santa Fe, New Mexico

# memo

DATE: February 14, 2017  
TO: Historic Districts Review Board Members  
FROM: David Rasch, Supervising Planner in Historic Preservation DR

CASE # H-16-030

ADDRESS: 911 Roybal Street  
Historic Status: NA  
Historic District: Westside-Guadalupe

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: bldg. ht. calc.

### APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: exception responses

## STAFF RECOMMENDATION:

Staff finds that the exception has not been met to exceed the maximum allowable height. Otherwise, this application complies with Section 14-5.2 (I) Westside-Guadalupe Historic District.

## **BACKGROUND & SUMMARY:**

911 Roybal Street is a vacant lot in the Westside-Guadalupe Historic District.

The applicant proposes to remodel the property with the following three items.

1. A 1,661 square foot non-residential two-story structure will be constructed to a height of 23' 10" where the maximum allowable height is 14' 1". An exception is requested to exceed the maximum allowable height (14-5.2(D)(9)) and the required exception criteria responses are at the end of this report. The building is designed in a simplified or contemporary Santa Fe Style with little stepback for the second story. A concrete door surround, metal arbor, and the use of copper is unusual. Roof-mounted equipment will be screened from public view with parapets. Stucco will be El Rey "Sandalwood" color and trim color will be "Medium Bronze".

2. Stuccoed yardwalls at 4' high and 6' high will be constructed and a metal pedestrian gate will be installed in the taller wall.

3. A 4' high wrought iron fence with stuccoed pilasters will be constructed.

### **EXCEPTION TO EXCEED MAXIMUM ALLOWABLE HEIGHT (14-5.2(D)(9))**

#### **(i) Do not damage the character of the streetscape**

**Response:** A second story on this structure would not damage the character of the streetscape, as there are at least three other buildings, either contiguous, or close, to this lot that are two story buildings. Standing on the lot and looking eastward, there are two residential structures that have two-story elements (see picture "A: Two-Story Buildings" in the supplemental attachment). The first two-story structure is located on the lot adjacent to 911 Roybal St., with the address of 901 Roybal St. (see picture "B: 901 Roybal St." in the supplemental attachment). The second two-story structure is a residence located at 208 Ambrosio St., and located off the northeast corner of the subject lot (see picture "C: 208 Ambrosio St." in the supplemental attachment). The third two-story structure is at 109 St. Francis Drive, two lots north of the subject property (see picture "D: 109 St. Francis Dr." in the supplemental attachment).

**Staff response:** Staff agrees with this statement.

#### **(ii) Prevent a hardship to the applicant or an injury to the public welfare**

**Response:** The necessity for a second floor storage and archival area is due to the need of the Owner to provide sufficient space for patients and employees, in order for the Owner to make a livable source of revenue, and be able to work out future growth goals. As it is, this structure will be an average size dental practice, with room for one dentist, a hygienist, and a hygienist assistant, along with a receptionist (see

supplemental attachment titled, "1500 Is The Limit", reported by AFTCO, the oldest and largest dental practice transition consulting network in the United States).

**Staff response:** Staff does not agree with this statement; perhaps this lot is not big enough for the proposed use.

**(iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts**

**Response:** The architectural style of the neighborhood is indeed diverse, with several Santa Fe architectural styles adjacent, or in closest proximity to the subject property. Adjacent to the subject property, the residence at 901 Roybal is a northern NM style (see picture B: 901 Roybal Street); the residence directly across the street, at 910 Roybal St. (see picture E: 910 Roybal Street), with multiple buildings, is both northern NM and SW Pueblo style. The small commercial building, directly north, and adjacent to the subject property, is SW Pueblo style, as well as the large two-story commercial building north of it. Both are at the same address – 109 St. Francis Dr. (see picture "F: 109 St. Francis Drive 2"). The commercial complex at 228 St. Francis Drive, directly across St. Francis Drive from the subject property, is SW Pueblo style as well (see picture "G: 228 St. Francis Drive"). Finally, the two residential homes at 232-1/2 Ambrosia Street, across the street and just east of the subject property are both Territorial and SW Pueblo style, the pueblo style structure having definite contemporary flare (see picture "H: 232-1/2 Ambrosia St."). In lieu of these observations, we propose this building to be a contemporary SW pueblo style and believe that it will strengthen the character of this area of the city.

**Staff response:** The applicant did not address this criterion, design options were not presented.

**(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape**

**Response:** The most difficult thing about this lot that compels us to provide a second story room is the required setbacks, and subsequent requirements for open space, parking, sidewalks, and buffers. With the required rooms necessary for this dental building, the buildable area has been maxed, and it is necessary to provide the Owner with a storage and archival area.

**Staff response:** Staff does not agree with this statement. The zoning requirements are not a special condition for this lot. Staff is unsure if this use is peculiar within the streetscape.

**(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant**

**Response:** The obligatory requirements for commercial lots and buildings in this area necessitate the design and building of a second floor, so we have provided a minimal area of the overall roof area for this need. The total ground floor area is 1661 square feet, and the second floor a fourth of the area, at 441 square feet.

**Staff response:** Staff agrees with this statement.

**(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)**

**Response:** Because the previous building on this lot was deemed non-contributing by the Historic Department, and subsequently approved to be demolished in its entirety, our desire in designing the new building is to provide historical character for the viewing of neighbors, patients, and visitors to our city. For this reason we have provided the style, colors, window and door types, and textures that we believe would be appealing to viewers. Although not in the immediate vicinity, a noted building in a similar environment is the Ellsworth Gallery, at 213 E. Palace Avenue. This is a contemporary SW pueblo style building among traditional SW Pueblo style and Territorial style buildings (see picture "I: Ellsworth Gallery" in the supplemental attachment). However, unlike the Ellsworth Gallery, we have designed masses with different parapet heights, and have provided for more traditional divided-lite windows and doors, with some stone veneer accents, in order to have a more Santa Fe style façade.

**Staff response:** Staff agrees with this statement.



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b>		Site Address:
Date Submitted: 1/6/17		902 REYNOLDS
Property Owner of Record: CANTONIA SWAN	Proposed Construction Description:	
Applicant/Agent Name: JAY JAY SHAPIRO	MEDICAL OFFICES	
Contact Person Phone Number: (505) 629-6161	TOTAL ROOF AREA:	
Zoning District: C4	Lot Coverage: 23% <input type="checkbox"/> Open Space Required: _____	
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____	Setbacks: Proposed Front: 90 Minimum: 25 2 <sup>nd</sup> Front? 10 Proposed Rear: 80 Minimum: 20 Proposed Sides: L 10R 15 Minimum: 10-15	
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed 23' 10" Maximum Height: _____ or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: Proposed 6 Accessible 1 <sup>REAR</sup> Minimum: _____	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Bicycle Parking**: Proposed: 5 Minimum: _____ ** Commercial Requirement	
Use of Structure: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial Type of Use: MEDICAL		
Terrain: <input type="checkbox"/> 30% slopes _____		

\* Requires an additional review conducted by Technical Review Division.  
\*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

JAY JAY SHAPIRO

PRINT NAME

[ OWNER  APPLICANT  AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

JAY JAY SHAPIRO

SIGNATURE

1/6/17

DATE

<b>To Be Completed By City Staff:</b>
<b>Additional Agency Review if Applicable:</b>
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___
Notes: _____
<b>Zoning Approval:</b>
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected
Comments/Conditions: _____
REVIEWER: _____
DATE: 1/10/17



$$\begin{aligned}
 &13.7 + 13.8 + 10.9 + 10.9 + 14.9 + 11.1 + 9.8 + 13.7 + 11.4 + 10.3 + 14.8 + 9.6 + 11.5 + 12.1 \\
 &+ 12.3 + 12.3 \\
 &= 168.5 / 14 \\
 &= 12.1 + 2 \\
 &= 14.1'
 \end{aligned}$$



*Jay Jay Shapiro* ARCHITECT  
architecture - planning - management

December 06, 2016

Jay Jay Shapiro, Architect  
90 Leaping Powder Road  
Santa Fe, NM 87508

JAN 12 2017

David Rasch  
Historical Review  
City of Santa Fe, NM

Re: A new Dental Office at 911 Roybal Street

Dear Mr. Rasch,

We are requesting approval for the construction of a new building at 911 Roybal Street. Presently, the lot has no structure on it, after the Owner, Claudia Quan, had received approval from the Historical Design Review Board to demolish all structures on the lot in their entirety. Our request is for the construction of a frame/stucco building for use as a small Dental Office.

This lot is on the edge of the Westside Guadalupe Historic District, being on the north-east corner of St. Francis Drive and Roybal Street (*see supplemental attachment, "A: Lot From St. Francis Drive and Roybal St."*). The lot zone is classified as C4, Limited Office and Retail. The architectural style will be a Contemporary Southwest Pueblo, with several masses, providing nice proportions for the building, and a pleasing view for neighbors, and visitors to our city.

The entrance drive will be on Roybal Street, and the building main entry will have southern exposure off the parking area. The Entry mass will have a lower parapet, and the stucco will be the same base color with a five percent (5%) darkening agent to provide a contrast with the rest of the structure. The entry door will be an aluminum full glass door, with a pre-formed concrete surround, with the color to match the window color.

The Entry Arbor will be designed with 12" diameter metal columns and structural steel beams. The columns and steel beams will be pre-painted with a copper color (*see supplemental attachment, "B: Metal Beam Color"*).

A second arbor, in like design with the entry arbor, will be located on the northwest corner of the structure, for required egress and ingress.

1 of 3



# Jay Jay Shapiro ARCHITECT

architecture - planning - management

A secondary entry will be located on the southwest corner of the building, with a metal awning attached to the building and suspended by half-inch diameter steel rods, and color to match the arbors.

Massing of the structure will be anchored by a 1,661 square foot main floor, with a 381 square foot second floor storage and archival area, and a winding staircase to ascend. Parapet heights will be based on five masses (*see supplemental attachment, "C: Quan Building – Massing"*). Mass A will be the predominant height, at 14'-6" above finished grade. Mass B will have a parapet height of 16'-0"; Mass C will have a parapet height of 23'-10"; Mass D will have a parapet height of 22'-0", and Mass E, the smallest mass, will have a parapet height of 12'-0".

HVAC units will be located between Masses B and C, and will be shielded from view by the parapet height, and the inclusion of a medial parapet (*see supplemental attachment, "C: Quan Building – Massing"*). A solar system and a TV dish satellite will be located on the roof as well, and will be shielded by the parapets.

Custom canales will be fabricated from copper. The size will be 16" wide by 9" high at the front, and 12" high at the back. The total length, from the face of the stucco will be 24".

There are yard walls existing between this property and the adjacent lots, both on the east and the north property lines. They are both unpainted CMU block walls with varied heights. The easterly wall has 16"x16" CMU pilasters at approximately 8' on center and a CMU radiused half-block as a cap, except at the most southerly three sections of wall. The height of this wall is approximately 6'+/-. The CMU wall at the northern property line has no pilasters, and is approximately 6'+ at the northeast corner to over 8' at the northwest corner.

We are proposing to build two stuccoed walls, with gates, and a wrought iron fence with stuccoed pilasters. The first stuccoed wall will be located from the southeast corner of the building and progressing eastward to the existing block wall on the east property line. This wall will have a 36"x66" metal gate (*see supplemental attachment, "D: East Metal Gate"*). The next CMU stuccoed wall will be located from the southwest corner of the building and proceed westward to the property line, connected with a 16"x16" stuccoed pilaster. This wall will be 48" tall from finished grade. A 36"x48" metal gate (*see supplemental attachment, "E: West Metal Gate"*) will be installed close to the building for access, via colored concrete steps, toward the back of the building where the stair access is. Stuccoed walls will also be located at both sides of the entry drive as buffers from the parking area, as per required regulations, and will be 48" high from finished grade. Finally, a 48" high wrought iron fence with 16"x16" stuccoed pilasters, at approximately 11' on center, will be built along the westerly property line, as a required regulation of the zoning department of the City of Santa Fe (*see supplemental attachment, "F: Wrought Iron Fence"*).



*Jay Jay Shapiro* ARCHITECT  
architecture - planning - management

Concrete sidewalks and curbs will be located between the south side of the building and the parking area, with widths and slopes to accommodate accessibility. The accessible parking spaces, as well as the rest of the parking area will be a minimum 4" sub-basecourse, with a minimum 2" asphalt parking surface. All exterior doors will have a concrete stoop, as required by governing codes. All three (3) arbors will have a colored concrete slab; the color shall be Walnut, as manufactured by Kemico (*see supplemental attachment, "G: Kemico Stone Tone Stain Colors"*). There will be random size and placed concrete steps at both the east and west side of the building, and the color shall match the Arbor slabs.

The windows and French doors shall be manufactured by Kawneer. The windows will be the 516 Series (*see supplemental attachment, "H: Kawneer Storefront Window"*). Exterior doors will be the 360 Series (*see supplemental attachment, "J: Kawnee Entrance Door, 360 Series"*). The color shall be "Medium Bronze" (*see supplemental attachment, "K: Kawneer Window/Door Color"*).

The exterior finish system, shall be an El Rey Premium Stucco Finish, on Fastwall 100 Fiber-reinforced one coat stucco base, on 20 gauge stucco wire on Tyvek house wrap. The Color shall be "Sandlewood", as manufactured by El Rey (*see supplemental attachment, "L: El Rey Premium Stucco: Sandalwood"*).

All exposed metal trim will be painted to match the stucco color.

The exterior light fixtures will be indirect wall sconces, as manufactured by The Southwest Store (*see supplemental attachment, "M: Exterior Wall Sconce"*). The size will be 12" tall by 8" wide by 6" deep, and the color will be Dessert, as shown in the attachment picture.

David, I hope that this will give you enough information to understand the extent of our request, and hopeful approval. If you need anything else, please don't hesitate to contact us.

Respectfully,

Jay Jay Shapiro, Architect (agent for Claudia Quan)



A. Two Story Buildings



B. 901 Roybal Street



C. 208 Ambrosia St.



D. 109 St. Francis Dr.



E. 910 Roybal Street



F. 109 St. Francis Drive 2



G. 228 St. Francis Drive



H. 232-1/2 Ambrosia St.



I. Ellsworth Gallery (213 E. Palace Ave.)

## 1500 Is the Limit

Annual patient billings for a well-run general dental practice should average approximately \$750 per year per active patient. This figure can vary somewhat based on practice demographics, but overall this will apply to most areas of the United States.

An average, well-run, solo general dental practice with two restorative rooms and two hygiene rooms should produce about \$1,125,000 per year. Take that \$1,125,000 and divide it by \$750 per year average patient billings and this comes to 1500 patients. This means you need one dentist for every 1500 active patients (actually, you need 300 patients per doctor day per week - 1500 patients = 5 doctor treatment days, 1200 patients = 4 doctor treatment days, etc.)

A hygienist can see 12 patients per day working in two hygiene rooms with a hygiene assistant. A practice will average 48 weeks per year (two weeks vacation and two weeks off for eight holidays and two sick days combined). Active patients will average two hygiene visits per year (considering those that visit once, twice, three and four times a year and those that only visit every other year). This means that, on the average, all active patients will be seen every 24 weeks (and then recall begins again). If the hygienist works five days a week and sees 12 patients per day, that is sixty patients per week. Sixty patients per week times 24 weeks equals 1440 patients.

Therefore, one dentist with two treatment rooms, one hygienist and one hygiene assistant with two treatment rooms, along with 1500 active patients are an ideal combination.

So what happens when you have one dentist who tries to treat more than 1500 active patients? The average annual billing per patient will begin to drop. When the doctor tries to see more patients in the same amount of time, something has to give, and it does. Comprehensive treatment gets put off in the quest to see more patients. The doctor begins to run out of time while running more to see all the patients.

The more patients on the doctor's schedule, the less time he/she has for each patient. Then there are more hygiene patients to check, and that results in less time to see patients. As a rule, the higher the number of patients (over 1500) in a solo general practice, the lower the practice income. That's right, a high number of patients equals lower income, and that is the rule, not the exception.

So why do doctors do this? It's because they have developed a perspective of scarcity over the years, that's why. Dentists tend to think that every new patient is going to be their last one! Heaven forbid if they should turn one away; it could be their last. Try to fit them in the schedule if you can. Put off that six-unit bridge in order to see another new patient. You can catch that bridge on that patient's next visit.

What should you do if you already have two or three thousand patients? First, get off this speeding treadmill. If you are trying to see this many patients on your own, then you are killing yourself. You are working harder and making less money than you could be making if you worked smart instead of hard.

You have a unique talent if you have this many patients. I say it's unique because there are a lot of dentists who have little or no communication skills or lousy personalities, and they can't buy patients if they wanted to. If you have a huge patient base, it makes a statement about you. It says that your patients like you and trust you, and they refer all their family and friends to you. I find it interesting

that the dentists who worry the most about losing patients are usually the ones with the most patients.

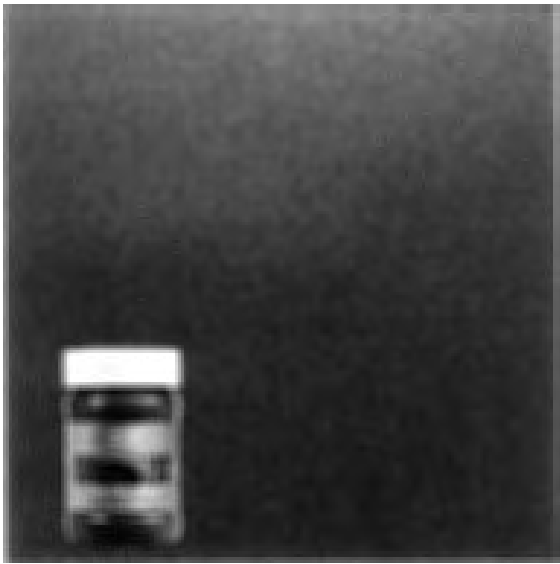
If you are in this situation, then it's probably time to add another doctor to your practice. I know the first thing you are going to say is, "Where are the patients going to come from?" Well, you have them already, and it is time for you to let go of some of them. You can't handle all the patients you already have, so be prepared to share them with the new doctor. It's time to let go of some of them.

Don't worry. If your patients like the new doctor, it does not mean that they dislike you or like him/her better. They will, however, probably notice a more relaxed and comfortable atmosphere in the office. They may even notice that you are not running around like a chicken with its head cut off. They may even get to like you more than they do now (of course then they will send more patients, and the problem will grow, but at least you will have it under control).

You've worked hard all these years, and it is time to relax and enjoy some of the benefits of your labor. Go to a three-day workweek. See half the patients you are currently trying to see. Expand your hygiene program and add another doctor to your practice. Work less, like it more, and make more money! Or you can continue like you are and let the Grim Reaper get a shot at you before your time. The choice is yours, but at least recognize that it is time for you to let go and let someone else share the load. Call AFTCO at 800-232-3826 or visit our website at [www.aftco.net](http://www.aftco.net). It's time to call AFTCO!



A: Lot from St. Francis Drive and Roybal St.

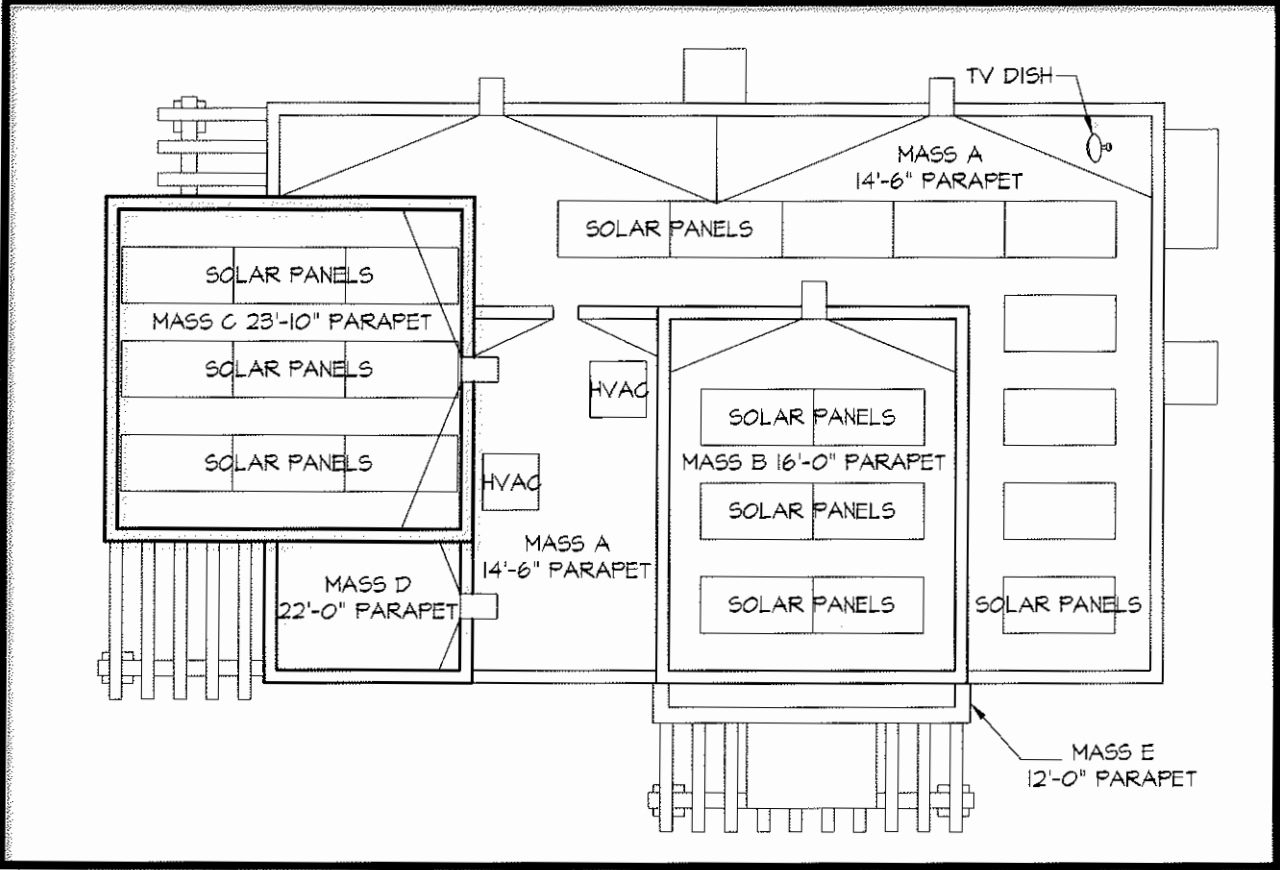


6 oz. Antique Copper Metallic Interior/Exterior  
Paint

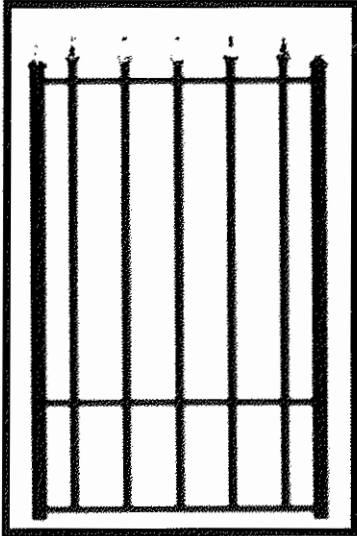
[Write the first Review](#) [Questions & Answers \(1\)](#)

**\$11.92** /each

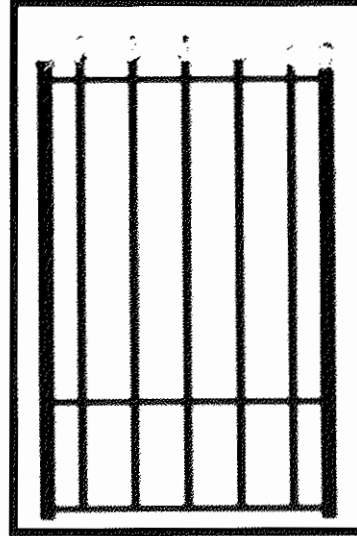
B. Metal Beam Color – Antique Copper Metallic, exterior grade



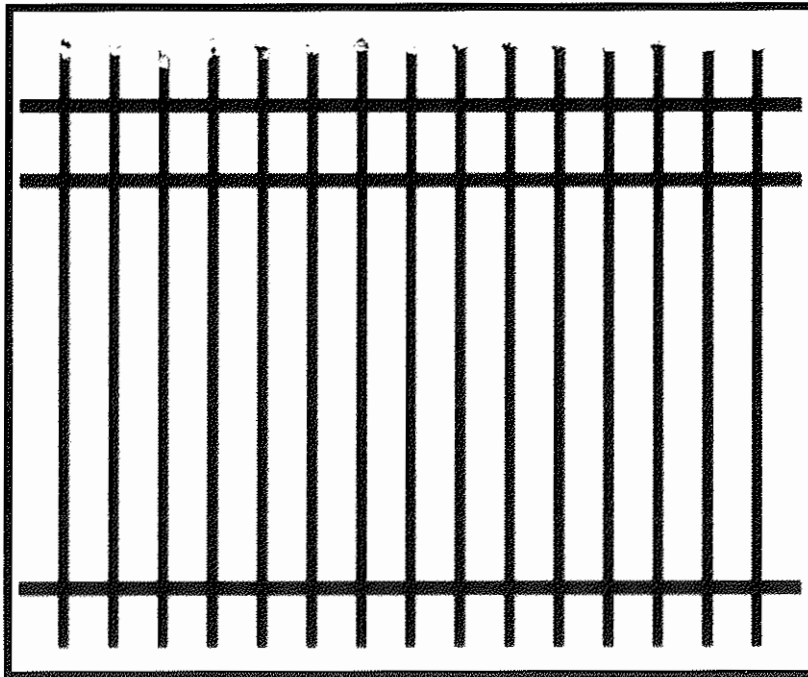
C: Quan Building - Massing



D: East Metal Gate



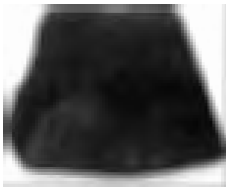
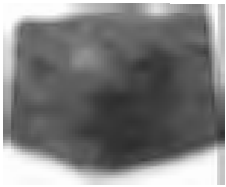
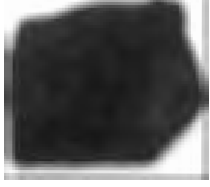
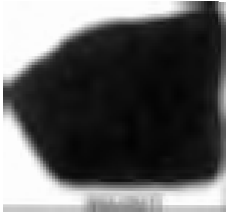

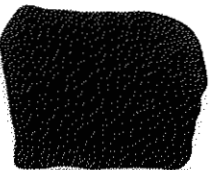

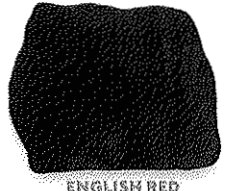
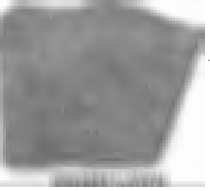



E: West Metal Gate



F: Wrought Iron Fence

## Kemiko Stone Tone Stain Colors

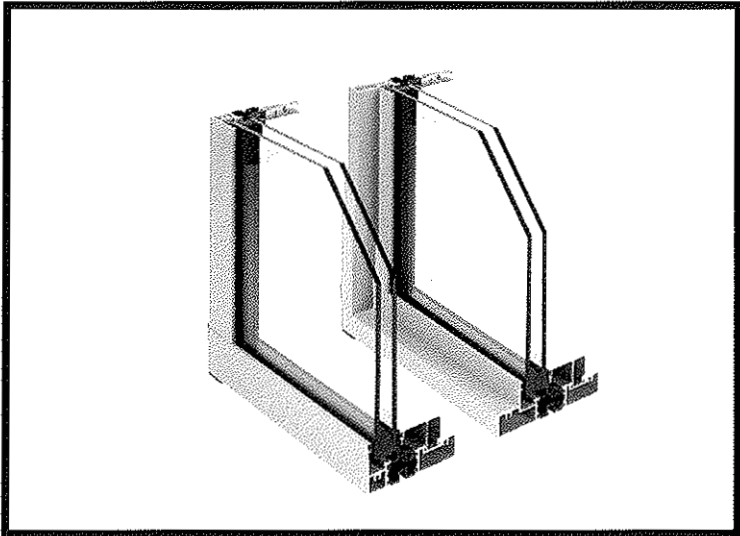
Choose from ten timeless colors that will complement any decor.

 <b>COLA</b> Medium Brown with Red Undertones	 <b>MALAY TAN</b> Medium Buckskin with Orange Undertones	 <b>VINTAGE UMBER</b> Earthy Brown with Red Undertones
 Soft, Warm Brown	 <b>GOLDEN WHEAT</b> Soft Amber with Yellow Undertones	 <b>BLACK</b> Tortoise Shell Black with Brown Undertones
 Warm Yellow with Orange Undertones	 <b>ENGLISH RED</b> Rusty, Warm Brown	 Soft Green with Grey Undertones
 <b>AQUA BLUE</b> Soft, Ocean Blue with Green Undertones		 Concrete Coatings & Floor Systems <a href="http://www.kemiko.com">www.kemiko.com</a>

Colors shown are approximate representations only. Actual results will vary. Rev. 111014

### G: Kemiko Stone Tone Stain Colors

PROJECT: 911 Roybal Street, Santa Fe, NM 87501  
Supplemental attachments



H: Kawnee Storefront Window, 516 Series

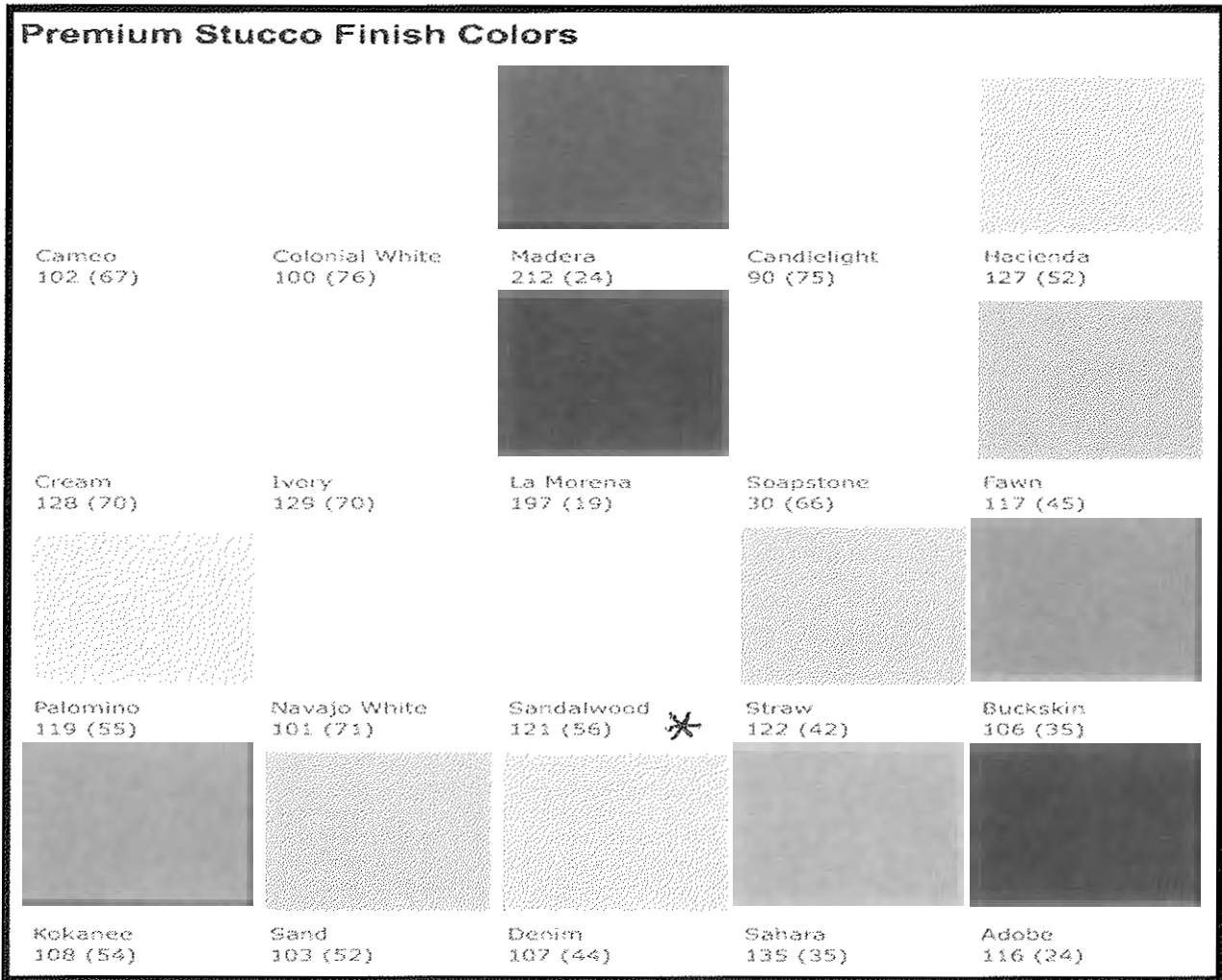


J: Kawnee Entrance Door, 360 Series

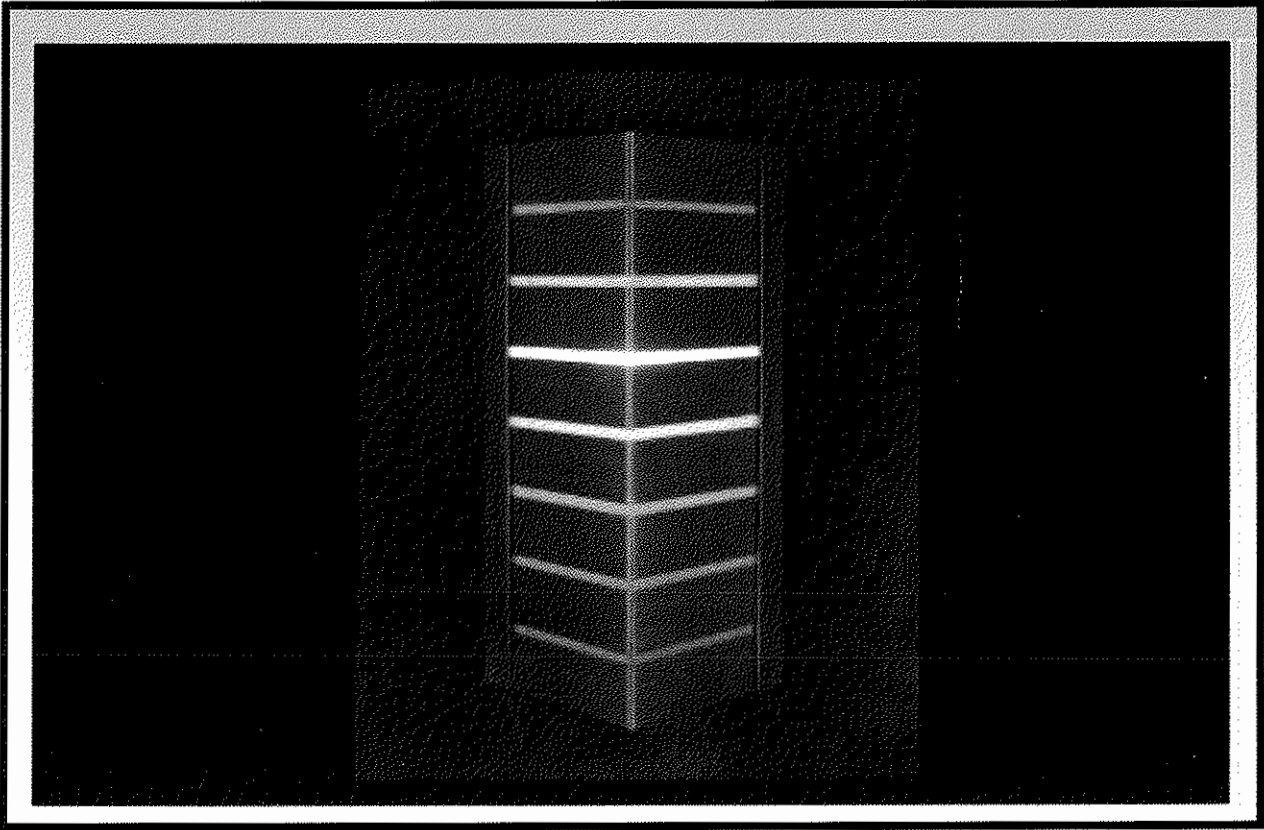
	#26	LIGHT BRONZE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
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K: Kawneer Window/Door Color



L. El Rey Premium Stucco Color: Sandalwood



M: Exterior Wall Sconce

# GENERAL NOTES:

- THIS PROJECT IS A NEW STRUCTURE BUILT FOR USE AS A FAMILY DENTAL OFFICE IN THE WESTSIDE GUADALUPE HISTORIC DISTRICT.
- THE ARCHITECTURAL STYLE WILL BE A CONTEMPORARY SOUTHWEST PUEBLO STYLE, WITH SIMULATED DIVIDED LITE CASEMENT WINDOWS THROUGHOUT, A STUCCO EXTERIOR FACADE, METAL ARBORS AT THREE ENTRY AREAS, AND A FREE-STANDING ARBOR.
- CONCRETE:
  - FOUNDATION CONCRETE:
    - FOOTINGS/STEM WALLS - MINIMUM 3500 P.S.I.
    - FLOOR SLAB/SLOOPS - MINIMUM 3000 P.S.I.
  - ORNAMENTAL CONCRETE:
    - PARAPET/COLUMN CAPS AND SURROUNDS - MINIMUM 2500 P.S.I.
    - ENTRY DOOR SURROUNDS/WINDOW SILLS - MINIMUM 2600 P.S.I.
- METALS:
  - STRUCTURAL STEEL ARBOR: ALL BEAMS AND POSTS AT ENTRY AND FREE-STANDING ARBOR SHALL BE MINIMUM 1/8" TUBE STEEL, WITH SIZES AS SHOWN ON PLANS.
    - FINISH COLOR: COPPER
  - ORNAMENTAL METAL:
    - CANALES SHALL BE LINED WITH COPPER SHEET.
  - EXTERIOR METAL TRIM SHALL BE PAINTED TO MATCH THE STUCCO COLOR;
  - ALL ROOF APERTNANCE SHALL BE PAINTED SAME COLOR AS GAF ROOFING SYSTEM (TAN).

- INSULATION:
  - ROOF:
    - MINIMUM R-38 CELLULOSE BLOWN-IN INSULATION.
  - EXTERIOR WALLS:
    - MINIMUM R-22 CELLULOSE BLOWN-IN INSULATION.
  - SOUND WALLS:
    - MINIMUM 3" SOUND ATTENUATION BLANKETS AT PERIMETER WALLS OF OFFICE, BREAK ROOM, MECHANICAL ROOM AND BATHROOMS.
- FINISHES:
  - GYPSUM DRYWALL:
    - 5/8" FIRECODE C GYPSUM BOARD PANELS THROUGHOUT; TAPE, TEXTURE, AND PRIME, TO PREPARE FOR PAINTING.
    - 5/8" WATER RESISTANT GYPSUM BOARD PANELS AT ALL BATHROOM WALLS.
  - PAINT:
    - INTERIOR: SEMI-GLOSS LATEX ENAMEL AT ALL WALLS AND CEILINGS.
      - COLOR: AS SELECTED BY OWNER.
    - EXTERIOR: FLAT OIL-BASED ENAMEL, EXTERIOR GRADE.
      - COLOR: MATCH STUCCO COLORS FOR ANY EXPOSED METAL TRIM; MATCH ROOF COLOR FOR ALL ROOF APERTNANCE.
  - STUCCO:
    - MANUFACTURER: EL REY
    - TYPE: PREMIUM STUCCO FINISH ON FASTWALL 100 FIBER-REINFORCED ONE COAT STUCCO BASE ON 20 GAUGE STUCCO WIRE ON TYVEK HOUSE WRAP.
    - COLOR: SANDLEWOOD
    - COLOR: SANDLEWOOD WITH 5% DARKENING AGENT AT ENTRY MASS.

- WINDOWS: KAWNEER 516 THERMAL WINDOWS, LOW-E IG WITH ARGON.
  - TYPE: 2"X4" ALUMINUM FRAME, PAINTED
  - U-VALUE - 0.25
  - SHGC - 0.44
  - VL T % = 50
  - CONDENSATION RESISTANCE = 61
  - COLOR: #28 MEDIUM BRONZE
- EXTERIOR DOORS:
  - FRENCH STYLE DOORS SHALL BE KAWNEER 360 ALUMINUM STOREFRONT, IN CONFIGURATIONS SHOWN ON PLANS.
  - COLOR: #28 MEDIUM BRONZE
  - GLAZING: 1" LOW-E IG
- ROOF:
  - MANUFACTURER: GAF
  - TYPE: RUBBEROID TORCH GRANULE MEMBRANE
  - COLOR: TAN
- PLUMBING SYSTEMS: SEE PLUMBING SHEETS FOR SCHEDULES OF FIXTURES, FAUCETS, AND EQUIPMENT.
- HEATING: HVAC SYSTEM; SEE MECHANICAL SHEETS FOR EQUIPMENT AND SYSTEMS INFORMATION.
- ELECTRICAL SYSTEMS: SEE ELECTRICAL SHEETS FOR FIXTURE SCHEDULE.

# DESIGN CRITERIA

GROSS BUILDING AREA:	1661 SF
GROUND FLOOR:	441 SF
SECOND FLOOR:	2102 SF
TOTAL:	2102 SF
LOT AREA:	9,060.48 SF
LANDSCAPE AREA:	3,062.72 SF
SANTA FE ZONING DISTRICT	C-4, LIMITED OFFICE AND RETAIL
OCCUPANCY CLASSIFICATION (IBC 2009, SECTION 304)	GROUP B
CONSTRUCTION TYPE, IBC SECTION 602.2 AND TABLE 601	TYPE V-A (ONE HOUR)
SIEMIC ZONE	2B
OCCUPANCY LOAD, TABLE 1004.1.1	1. BUSINESS AREA: 1/100 SQ. FT.; 2102 SF/100 = 21 TOTAL OCCUPANT LOAD
PARKING REQUIREMENTS SECTION 14-8.6-1	1473.69 SF/200 = 7.37 (8 PARKING SPACES)
- FIRST FLOOR (NET LEASABLE)	
- SECOND FLOOR STORAGE (NET WAREHOUSE)	337.49 SF/500 = .67 (1 PARKING SPACE)
ACCESSIBLE PARKING, ADAAG TABLE 208.2	1 VAN ACCESSIBLE SPACE REQUIRED



JAN 10

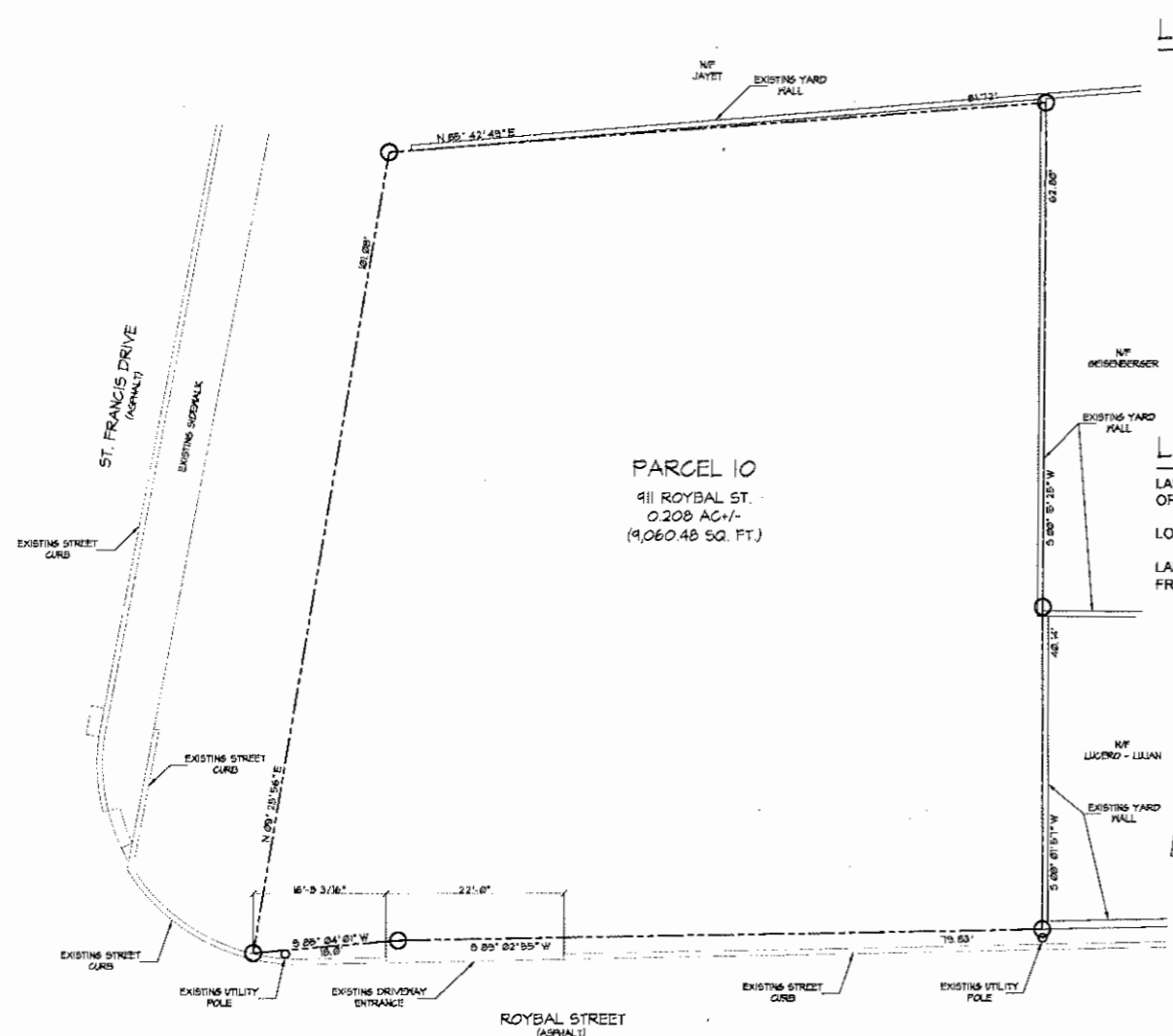
Jay Jay Shapiro Architect  
with Lorenzo at Visual concepts, llc  
Lorenzo [505] 930-9118  
Jay Jay [505] 659-6161

DENTAL OFFICE for  
**CLAUDIA QUAN**  
911 Roybal St., Santa Fe, New Mexico 87507

SITE PLAN  
JANUARY 04, 2017  
DRAWN BY: Rudy DelGado  
APPROVED: Jay Jay Shapiro

REV. NO.	DATE

1 of 4

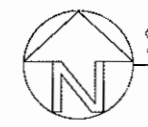
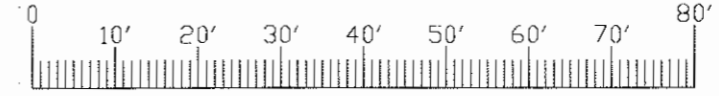
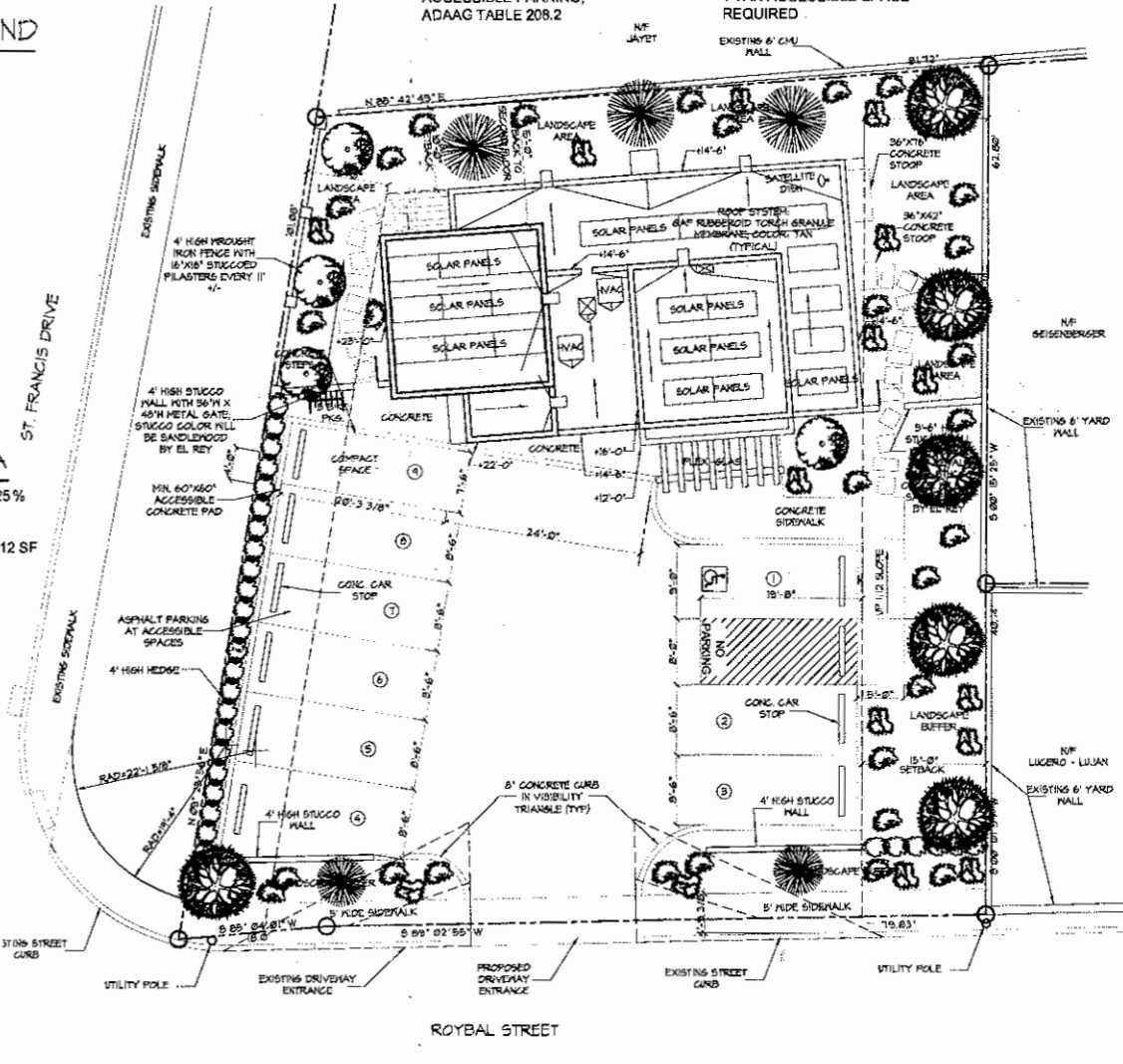
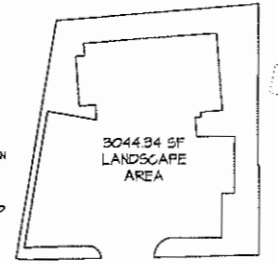


## LANDSCAPE LEGEND

- TREE, PINE
- TREE, DECIDUOUS
- TREE, FRUIT
- SHRUB 1
- HEDGE
- SHRUB 2
- SHRUB 3

## LANDSCAPE AREA

LANDSCAPE AREA REQUIREMENT = 25% OF LOT AREA.  
LOT AREA = 25% X 9060.48 SF = 2265.12 SF  
LANDSCAPE AREA (EXCLUDING ST. FRANCIS FRONTAGE) = 3044.94 SF



SITE PLAN - EXISTING

SCALE: 1" = 10'-0"



SITE PLAN - PROPOSED

SCALE: 1" = 10'-0"

# GENERAL NOTES:

1. THIS PROJECT IS A NEW STRUCTURE BUILT FOR USE AS A FAMILY DENTAL OFFICE IN THE WESTSIDE GUADALUPE HISTORIC DISTRICT.

2. THE ARCHITECTURAL STYLE WILL BE A CONTEMPORARY SOUTHWEST PUEBLO STYLE, WITH SIMULATED DIVIDED LITE CASEMENT WINDOWS THROUGHOUT, A STUCCO EXTERIOR FACADE, METAL ARBORS AT THREE ENTRY AREAS, AND A FREE-STANDING ARBOR.

3. CONCRETE:

- A. FOUNDATION CONCRETE:
  1. FOOTINGS/STEM WALLS - MINIMUM 3500 P.S.I.
  2. FLOOR SLAB/SLOOPS - MINIMUM 3000 P.S.I.
- B. ORNAMENTAL CONCRETE:
  1. PARAPET/COLUMN CAPS AND SURROUNDS - MINIMUM 2500 P.S.I.
  2. ENTRY DOOR SURROUNDS/WINDOW SILLS - MINIMUM 2500 P.S.I.

4. METALS:

- A. STRUCTURAL STEEL ARBOR: ALL BEAMS AND POSTS AT ENTRY AND FREE-STANDING ARBOR SHALL BE MINIMUM 1/2" TUBE STEEL, WITH SIZES AS SHOWN ON PLANS.
- B. FINISH COLOR: COPPER
- C. ORNAMENTAL METAL:
  1. CANALES SHALL BE LINED WITH COPPER SHEET.
- D. EXTERIOR METAL TRIM SHALL BE PAINTED TO MATCH THE STUCCO COLOR;
- E. ALL ROOF APERTENANCE SHALL BE PAINTED SAME COLOR AS GAF ROOFING SYSTEM (TAN).

5. INSULATION:

- A. ROOF:
  1. MINIMUM R-38 CELLULOSE BLOWN-IN INSULATION.
- B. EXTERIOR WALLS:
  1. MINIMUM R-22 CELLULOSE BLOWN-IN INSULATION.
- C. SOUND WALLS:
  1. MINIMUM 3" SOUND ATTENUATION BLANKETS AT PERIMETER WALLS OF OFFICE, BREAK ROOM, MECHANICAL ROOM AND BATHROOMS.

6. FINISHES:

- A. GYPSUM DRYWALL:
  1. 5/8" FIRECODE C GYPSUM BOARD PANELS THROUGHOUT, TAPE, TEXTURE, AND PRIME, TO PREPARE FOR PAINTING.
  2. 5/8" WATER RESISTANT GYPSUM BOARD PANELS AT ALL BATHROOM WALLS.
- B. PAINT:
  1. INTERIOR: SEMI-GLOSS LATEX ENAMEL AT ALL WALLS AND CEILINGS.
    - A) COLOR: AS SELECTED BY OWNER.
  2. EXTERIOR: FLAT OIL-BASED ENAMEL, EXTERIOR GRADE.
    - A) COLOR: MATCH STUCCO COLORS FOR ANY EXPOSED METAL TRIM; MATCH ROOF COLOR FOR ALL ROOF APERTENANCE.
- C. STUCCO:
  1. MANUFACTURER: EL REY
  2. TYPE: PREMIUM STUCCO FINISH ON FASTWALL 100 FIBER-REINFORCED ONE COAT STUCCO BASE ON 20 GAUGE STUCCO WIRE ON TYVEK HOUSE WRAP.
  3. COLOR: SANDLEWOOD
  4. COLOR: SANDLEWOOD WITH 5% DARKENING AGENT AT ENTRY MASS.

7. WINDOWS: KAWNEER 516 THERMAL WINDOWS, LOW-E IG WITH ARGON.

- A. TYPE: 2"X4" ALUMINUM FRAME, PAINTED
- B. U-VALUE - 0.25
- C. SHGC - 0.44
- D. VLT % = 50
- E. CONDENSATION RESISTANCE = 61
- F. COLOR: #28 MEDIUM BRONZE

8. EXTERIOR DOORS:

- A. FRENCH STYLE DOORS SHALL BE KAWNEER 380 ALUMINUM STOREFRONT, IN CONFIGURATIONS SHOWN ON PLANS;
- B. COLOR: #28 MEDIUM BRONZE
- C. GLAZING: 1" LOW-E IG

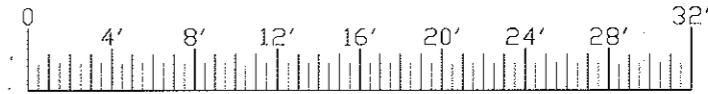
9. ROOF:

- A. MANUFACTURER: GAF
- B. TYPE: RUBBEROID TDRCH GRANULE MEMBRANE
- C. COLOR: TAN

10. PLUMBING SYSTEMS: SEE PLUMBING SHEETS FOR SCHEDULES OF FIXTURES, FAUCETS, AND EQUIPMENT.

11. HEATING: HVAC SYSTEM; SEE MECHANICAL SHEETS FOR EQUIPMENT AND SYSTEMS INFORMATION.

12. ELECTRICAL SYSTEMS: SEE ELECTRICAL SHEETS FOR FIXTURE SCHEDULE.



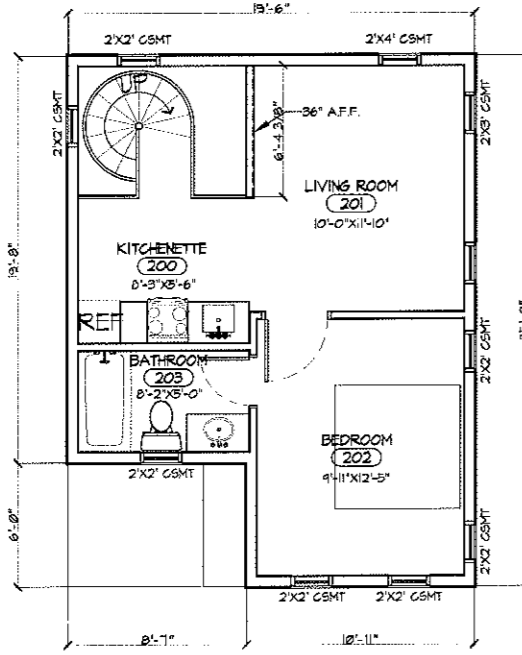
Jay Jay Shapiro Architect  
 with Lorenzo at Visual concepts, llc.  
 Jay Jay [505] 699-6161  
 Lorenzo [505] 930-9118

DENTAL OFFICE for  
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 9111 Roybal St., Santa Fe, New Mexico 87507

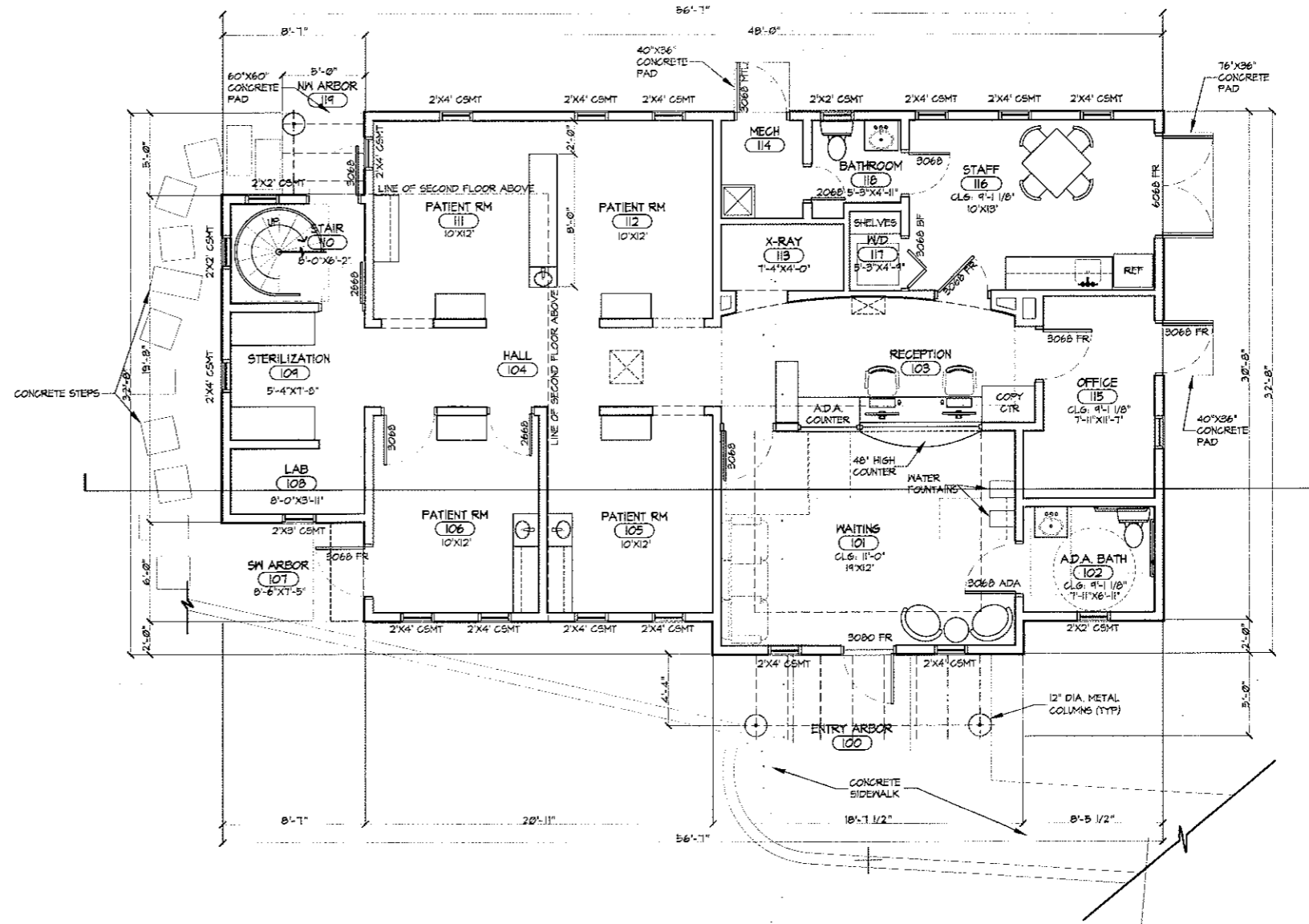
**FLOOR PLAN**  
 JANUARY 04, 2017  
 DRAWN BY: Rudy DelGado  
 APPROVED: Jay Jay Shapiro

REV. NO.	DATE
1	12/31/16
2	1/9/17

**2 of 4**



PROPOSED SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

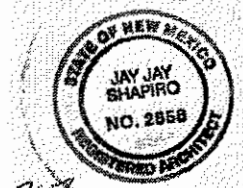
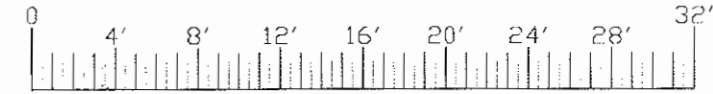


PROPOSED GROUND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

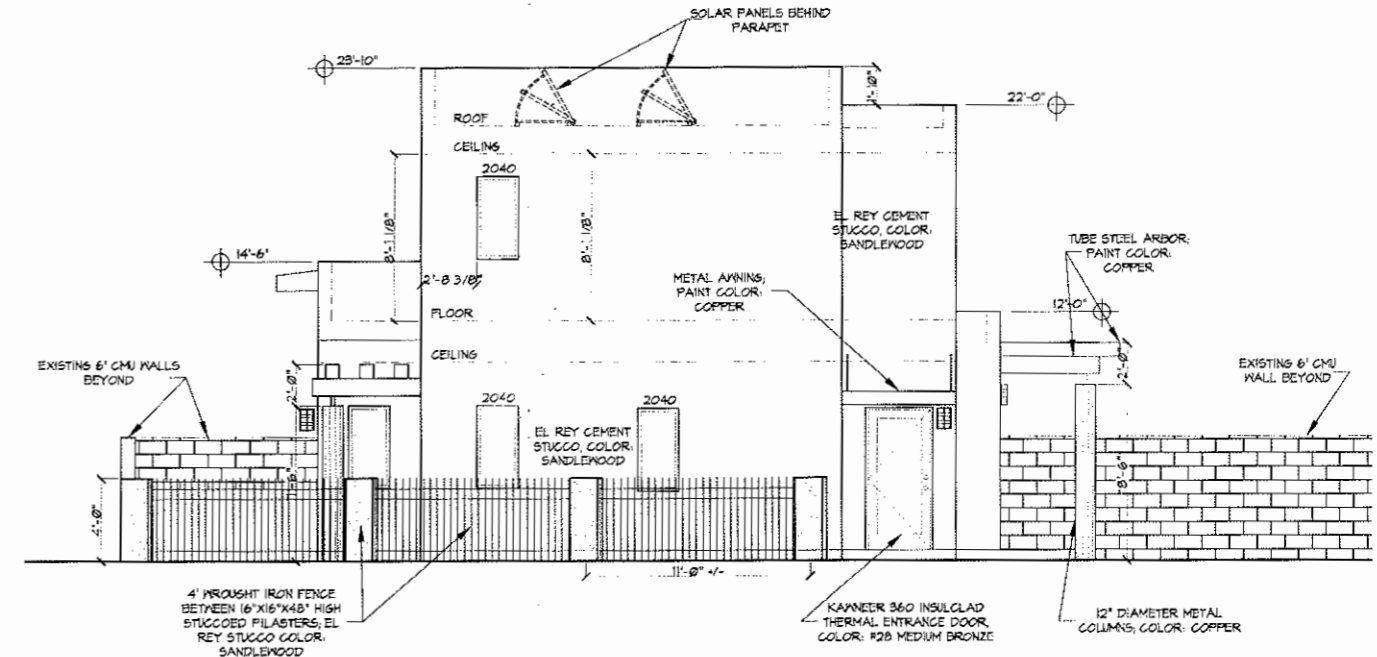
JAN 27 2017

# GENERAL NOTES:

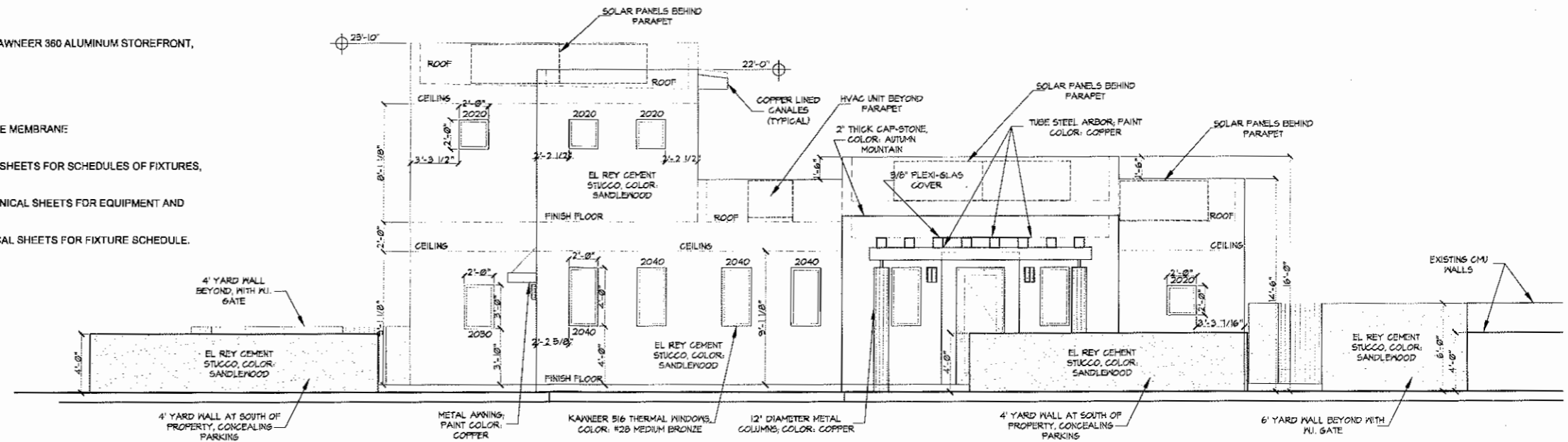
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- CONCRETE:
  - FOUNDATION CONCRETE:
    - FOOTINGS/STEM WALLS - MINIMUM 3500 P.S.I.
    - FLOOR SLAB/SOOPS - MINIMUM 3000 P.S.I.
  - ORNAMENTAL CONCRETE:
    - PARAPET/COLUMN CAPS AND SURROUNDS - MINIMUM 2500 P.S.I.
    - ENTRY DOOR SURROUNDS/WINDOW SILLS - MINIMUM 2500 P.S.I.
- METALS:
  - STRUCTURAL STEEL ARBOR: ALL BEAMS AND POSTS AT ENTRY AND FREE-STANDING ARBOR SHALL BE MINIMUM 1/8" TUBE STEEL, WITH SIZES AS SHOWN ON PLANS.
    - FINISH COLOR: COPPER
  - ORNAMENTAL METAL:
    - CANALES SHALL BE LINED WITH COPPER SHEET.
  - EXTERIOR METAL TRIM SHALL BE PAINTED TO MATCH THE STUCCO COLOR;
  - ALL ROOF APERTENANCE SHALL BE PAINTED SAME COLOR AS GAF ROOFING SYSTEM (TAN).
- INSULATION:
  - ROOF:
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  - EXTERIOR WALLS:
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    - MINIMUM 3" SOUND ATTENUATION BLANKETS AT PERIMETER WALLS OF OFFICE, BREAK ROOM, MECHANICAL ROOM AND BATHROOMS.
- FINISHES:
  - GYPSUM DRYWALL:
    - 5/8" FIRECODE C GYPSUM BOARD PANELS THROUGHOUT; TAPE, TEXTURE, AND PRIME, TO PREPARE FOR PAINTING.
    - 5/8" WATER RESISTANT GYPSUM BOARD PANELS AT ALL BATHROOM WALLS.
  - PAINT:
    - INTERIOR: SEMI-GLOSS LATEX ENAMEL AT ALL WALLS AND CEILINGS.
      - COLOR: AS SELECTED BY OWNER.
    - EXTERIOR: FLAT OIL-BASED ENAMEL, EXTERIOR GRADE.
      - COLOR: MATCH STUCCO COLORS FOR ANY EXPOSED METAL TRIM;
  - STUCCO:
    - MANUFACTURER: EL REY
    - TYPE: PREMIUM STUCCO FINISH ON FASTWALL 100 FIBER-REINFORCED ONE COAT STUCCO BASE ON 20 GAUGE STUCCO WIRE ON TYVEK HOUSE WRAP.
    - COLOR: SANDLEWOOD
    - COLOR: SANDLEWOOD WITH 5% DARKENING AGENT AT ENTRY MASS.
- WINDOWS: KAWNEER 516 THERMAL WINDOWS, LOW-E IG WITH ARGON.
  - TYPE: 2"x4" ALUMINUM FRAME, PAINTED
  - U-VALUE - 0.25
  - SHGC - 0.44
  - VLT % = 50
  - CONDENSATION RESISTANCE = 61
  - COLOR: #28 MEDIUM BRONZE
- EXTERIOR DOORS:
  - FRENCH STYLE DOORS SHALL BE KAWNEER 360 ALUMINUM STOREFRONT, IN CONFIGURATIONS SHOWN ON PLANS;
  - COLOR: #28 MEDIUM BRONZE
  - GLAZING: 1" LOW-E IG
- ROOF:
  - MANUFACTURER: GAF
  - TYPE: RUBBEROID TORCH GRANULE MEMBRANE
  - COLOR: TAN
- PLUMBING SYSTEMS: SEE PLUMBING SHEETS FOR SCHEDULES OF FIXTURES, FAUCETS, AND EQUIPMENT.
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JAN 12 2017



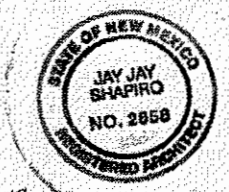
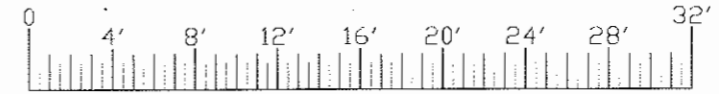
WEST ELEVATION WITH YARD WALLS  
SCALE: 1/4" = 1'-0"



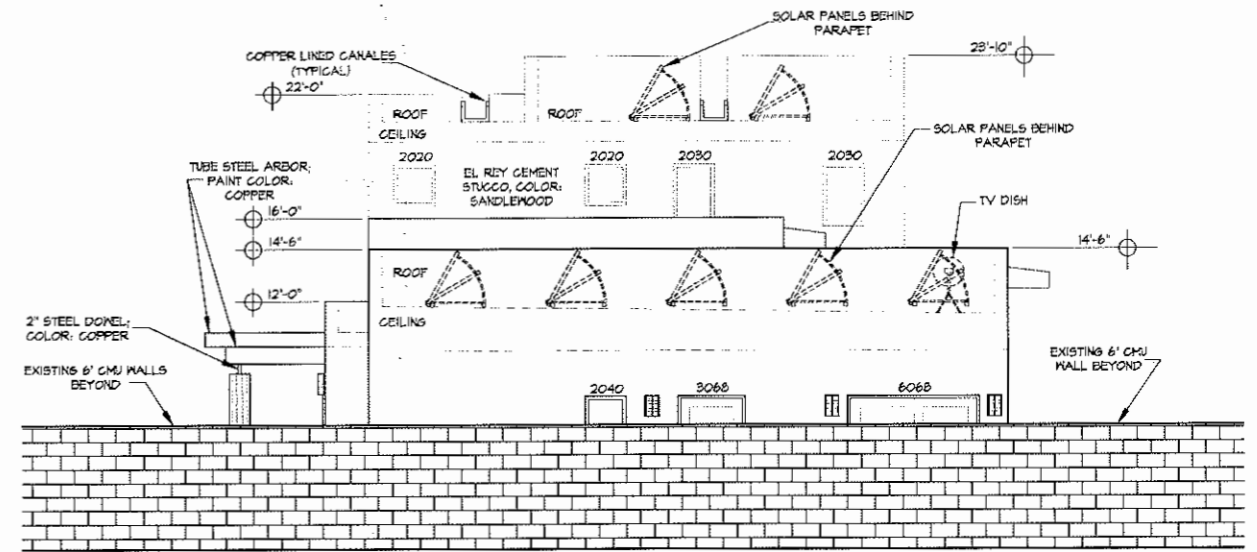
SOUTH ELEVATION WITH YARD WALLS  
SCALE: 1/4" = 1'-0"

# GENERAL NOTES:

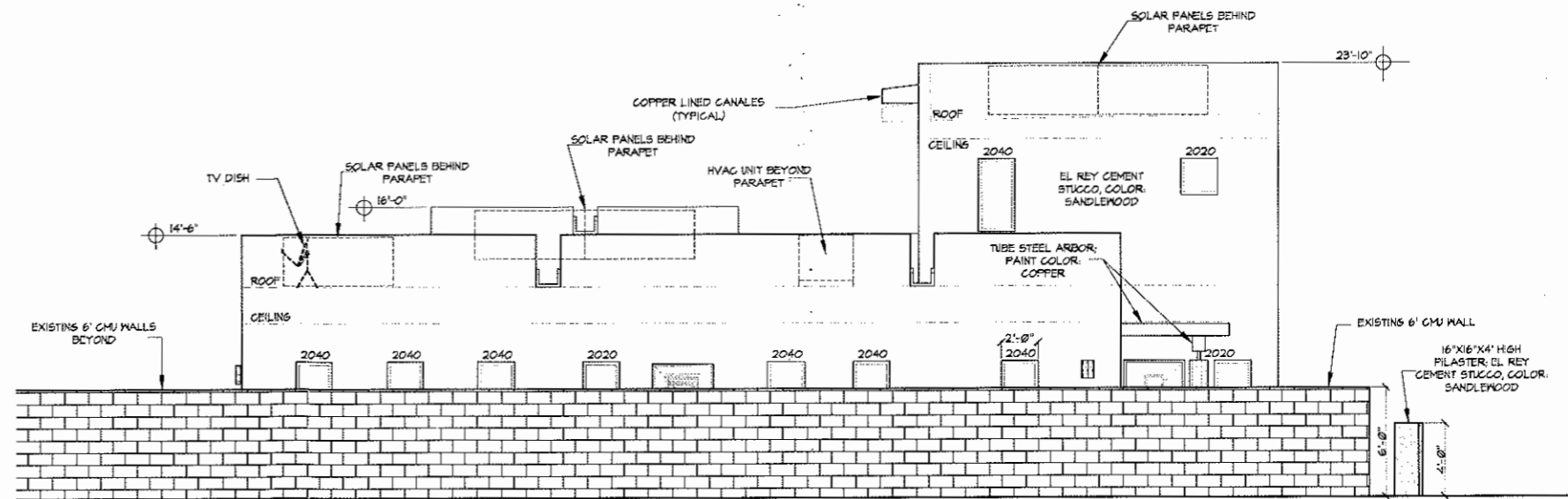
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    2. FLOOR SLAB/SLOOPS - MINIMUM 3000 P.S.I.
  - B. ORNAMENTAL CONCRETE:
    1. PARAPET/COLUMN CAPS AND SURROUNDS - MINIMUM 2500 P.S.I.
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    1. FINISH COLOR: COPPER
  - B. ORNAMENTAL METAL:
    1. CANALES SHALL BE LINED WITH COPPER SHEET.
  - C. EXTERIOR METAL TRIM SHALL BE PAINTED TO MATCH THE STUCCO COLOR;
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    2. 5/8" WATER RESISTANT GYPSUM BOARD PANELS AT ALL BATHROOM WALLS.
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      - A) COLOR: AS SELECTED BY OWNER.
    2. EXTERIOR: FLAT OIL-BASED ENAMEL, EXTERIOR GRADE.
      - A) COLOR: MATCH STUCCO COLORS FOR ANY EXPOSED METAL TRIM; MATCH ROOF COLOR FOR ALL ROOF APERTENANCE.
  - C. STUCCO:
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    2. TYPE: PREMIUM STUCCO FINISH ON FASTWALL 100 FIBER-REINFORCED ONE COAT STUCCO BASE ON 20 GAUGE STUCCO WIRE ON TYVEK HOUSE WRAP.
    3. COLOR: SANDLEWOOD
    4. COLOR: SANDLEWOOD WITH 5% DARKENING AGENT AT ENTRY MASS.
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JAN 12 2017



**EAST ELEVATION WITH YARD WALLS**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION WITH YARD WALLS**  
SCALE: 1/4" = 1'-0"