



February 04, 2026

Jay Jay Shapiro, Architect
90 Leaping Powder Road
Santa Fe, NM 87508

Amanda Romero
Historic Preservation Division
City of Santa Fe, New Mexico

Re: Request for Approval — Dental Office with Second-Floor Live-Work Residence
911 Roybal Street | Westside Guadalupe Historic District

Dear Amanda,

On behalf of the owner, Dr. Claudia Quan, we respectfully request Historic Design Review Board approval for the revised design of a small dental office with a second-floor live-work residence at 911 Roybal Street, located at the northeast corner of Roybal Street and St. Francis Drive. The property is zoned C-4 (Limited Office and Retail) and lies at the edge of the Westside Guadalupe Historic District.

Owner's Background and Live-Work Use Needs

Dr. Claudia Quan was raised in Santa Fe, attended St. Michael's High School, and later graduated from the University of New Mexico (UNM) before completing her dental education at the University of Colorado. She then returned to New Mexico for her post-graduate dental specialty in Advanced Dentistry at UNM.

The Roybal Street property was purchased by her parents in 2015 and gifted to Claudia specifically for the purpose of establishing a neighborhood dental practice. Following the death of her father and the disruptions caused by the COVID pandemic, the originally approved project was placed on hold.

Dr. Quan now has two young children (ages 8 and 1 years old) and relies on family support during working hours. The proposed second-floor residence will be occupied by her mother and step-father, who will assist with childcare during the day for the baby and after school care for the older child, while the dental office operates below and provides regular on-site presence outside business hours. This arrangement allows Dr. Quan to remain within walking distance of her current residence—approximately 0.4 miles from the site—while consolidating professional, family, and childcare needs in one location.

Scope of the Revised Design

This project is not new to the Historic Board. In 2017, the Board approved a dental office with a second-floor residential component for this same site, along with approval to remove the existing structures on the lot. Those structures were subsequently demolished with Board authorization, leaving the parcel vacant as it exists today. The current proposal builds directly upon that previously approved project, with modest revisions described below.

The revised plans, prepared by Jay Jay Shapiro—the same architect whose original design was approved by the Historic Board in 2017—retain the essential character, massing strategy, and architectural intent of the original project. The principal change is a moderate expansion of the second-floor residential area, increasing it from approximately 500 square feet to approximately 900 square feet. This adjustment allows the residence to function realistically for family use while remaining secondary to the ground-floor commercial purpose.

The ground-floor dental office remains unchanged in function and scale, at approximately 1,904 square feet. The building massing continues to be articulated into three volumes, with parapet heights consistent with Historic District guidelines and comparable surrounding development. Mechanical equipment, solar panels, and satellite elements remain fully screened behind parapets and will not be visible from public rights-of-way.

All building heights, parapet heights, wall heights, gate openings, fenestration dimensions, and railing configurations are shown on the accompanying site plan and elevation drawings. The narrative summary provided herein is intended to describe the scope, materials, and design intent of these elements, with final dimensions and exact locations documented on the submitted drawings.

Please refer to Appendix A for a list of revisions made to the original, 2017 Historic Board approved design.

Architectural Compatibility

The architectural style is a compact, mixed-use Contemporary Southwest Pueblo design that respects the scale, massing, and material traditions of the Westside Guadalupe Historic District without direct imitation of historic buildings. Exterior finishes include stucco with bronze metal trim and parapet caps. Openings are recessed to provide appropriate depth and shadow, and exterior lighting is indirect and fully dark-sky compliant.

The proposed two-story height is consistent with the immediate context of the block. Three other two-story buildings are located on the same city block as the proposed project at 911 Roybal Street, including properties at 901 Roybal Street, 208 Ambrosio Street, and 109 South St. Francis Drive. These existing buildings establish a clear precedent for two-story development within this portion of the Westside Guadalupe Historic District and demonstrate that the proposed scale and massing are compatible with surrounding development.

Site Layout and Design Description

Vehicular access to the site is provided from Roybal Street. The primary building entrance faces south toward the parking area and is articulated by a projected balcony cover. A secondary entrance is located at the southwest corner of the building and is marked by a suspended canopy. Entry doors are aluminum storefront-style assemblies with a cross mullion pattern.

The building massing is organized around a 1,904-square-foot ground-floor dental office with an 892-square-foot second-floor live-work area, connected by an interior staircase. The structure is composed of three articulated masses to break down overall building scale and reduce perceived massing. The primary mass (Mass A) has a parapet height of 24'-0" above finished grade, while Mass B and Mass C have parapet heights of 14'-6" and 16'-0", respectively.

Mechanical equipment, including HVAC units, a rooftop solar system, and a satellite dish, will be located between the primary masses and fully screened from public view by parapets and a medial parapet wall to ensure that no rooftop equipment is visible from surrounding public streets or pedestrian viewpoints.

Existing CMU yard walls along the east and north property lines will generally remain in place. New stuccoed site walls, walls with integrated gate openings are proposed to improve screening, define circulation, and meet City of Santa Fe zoning requirements. These include stuccoed walls with horizontal wood plank gates stained Minwax oil-based "Jacobean" (no. 2750) near the building entries, low stuccoed buffer walls flanking the entry drive. All new site walls are solid walls rather than fencing and are finished to match the primary building stucco for visual continuity across the site.

Stuccoed site and yard walls, including the wall at the wood gate, incorporate horizontal and vertical stucco control joints, with control joints spaced at approximately 24 inches on center both horizontally and vertically, to provide visual modulation and avoid large uninterrupted wall planes.

Pedestrian circulation includes concrete sidewalks and curbs between the building and the parking area, designed to meet accessibility requirements. Accessible parking spaces and the remaining parking area will be constructed with a minimum 4-inch sub-base and a minimum 2-inch asphalt surface. All exterior doors will include concrete stoops as required by code.

Exterior hardscape elements, including arbors and selected steps, will be constructed of natural concrete with finishes coordinated throughout the site.

Windows and French doors will be Pella Architect Series clad-wood units in Auburn Brown with a cross-mullion pattern. The exterior wall finish will be El Rey Premium Stucco in the color Sandalwood 121 (56), applied over a fiber-reinforced one-coat stucco system. All exposed metal trim will be painted in a dark bronze or Auburn Brown tone coordinated with window and door assemblies.

Please refer to Appendix A for a summary of the design features of this proposed project.

Conclusion

This proposal represents the continued advancement of a project previously reviewed and approved by the Historic Design Review Board, updated to address current program needs while maintaining the original architectural intent and compatibility with the Westside Guadalupe Historic District.

The project provides multiple public and community benefits. It activates a long-vacant parcel with a modestly scaled, contextually appropriate building that will contribute to the streetscape and local tax base. It introduces a locally owned professional dental practice, expanding access to neighborhood-serving healthcare and supporting walkable, mixed-use activity within the district. The live-work configuration supports long-term, on-site stewardship of the property and sustained investment in the surrounding community.

For the owner, Dr. Claudia Quan, the project represents the realization of a long-standing family commitment to establishing a neighborhood-serving dental practice in Santa Fe, within close proximity to her home and extended family support network.

We believe the revised design remains consistent with the goals and guidelines of the Westside Guadalupe Historic District and respectfully request the Board's approval. We appreciate the Board's continued guidance and consideration.

Respectfully,

Jay Jay Shapiro, Architect
Agent for Dr. Claudia Quan

Appendix A -Summary of Revisions to and Similarities with 2017 Approved Plan

Design Element	2017 Approved Plan	Current Proposed Plan	Purpose / Historic Benefit
Site Enclosure	Wrought iron fencing with iron gates	Solid stuccoed site and yard walls with horizontal wood plank gates with fenestrations	Provides visual continuity with historic wall conditions and reduces fence-like appearance
Gate Material & Finish	Metal / iron gates	Horizontal wood plank gates stained Minwax oil-based 'Jacobean'	Introduces a warmer, natural material consistent with Santa Fe's historic material palette
Trash & Service Area	No dedicated trash enclosure shown	Dedicated screened trash enclosure integrated into site walls	Provides required service screening and improves site organization
Ground-Floor Garage	No garage provided	First-floor garage incorporated into building massing	Adds a parking spot while remaining within the approved massing strategy
Second-Floor Residential Area	Approximately 500 SF second-floor residential space	Approximately 892 SF second-floor live-work residence	Allows realistic residential use while remaining secondary to the commercial program
Exterior Stucco Color	El Rey Premium Stucco, Sandalwood	El Rey Premium Cement Stucco, Sandalwood 121 (56)	Maintains continuity with the previously approved color palette
Overall Massing & Height	Two-story mixed-use building	Two-story mixed-use building with same parapet height strategy	Confirms continuity of scale, height, and massing approved in 2017

Appendix B. Summary of Design Features

1. Use & Program

- Ground floor: ~**1,904 SF** dental office
- Second floor: ~**892 SF** live-work residence (secondary to commercial use)

2. Massing & Height

- Three articulated building volumes to reduce perceived scale
- Parapet heights: **24'-0"** (primary), **16'-0"**, and **14'-6"**
- Consistent with nearby two-story properties

3. Exterior Materials & Colors

- Stucco: El Rey Premium Stucco, **Sandalwood 121 (56)**
- Stucco façades and site walls incorporate horizontal and vertical control joints
- Metal trim & parapet caps: limited use, **Dark Bronze / Auburn Brown**
- No metal wall panels or exterior metal cladding

4. Architectural Character

- Contemporary Southwest Pueblo architectural expression
- Compatible with Historic District scale, massing and material
- No direct imitation of historic buildings

5. Windows & Doors

- Pella Architect Series clad-wood units
- Color: **Auburn Brown**
- Entry Doors have cross mullion pattern

6. Entries & Access

- Primary south-facing entry with balcony cover
- Secondary southwest entry with suspended canopy
- Vehicular access from Roybal Street

7. Rooftop & Mechanical Screening

- HVAC, solar, and satellite equipment
- Fully screened by parapets and medial parapet walls

8. Site Walls & Fencing

- Solid stuccoed site and yard walls, finished to match the primary building stucco
- Horizontal wood plank gates stained Minwax oil-based “Jacobean” (No. 2750)
- Stuccoed site walls incorporate horizontal and vertical control joints, including control joints spaced at approximately 24 inches on center both horizontally and vertically
- No fencing is proposed

9. Hardscape & Lighting

- Hardscape: natural concrete, neutral finish
- Lighting: indirect fixtures, dark bronze or black, dark-sky compliant

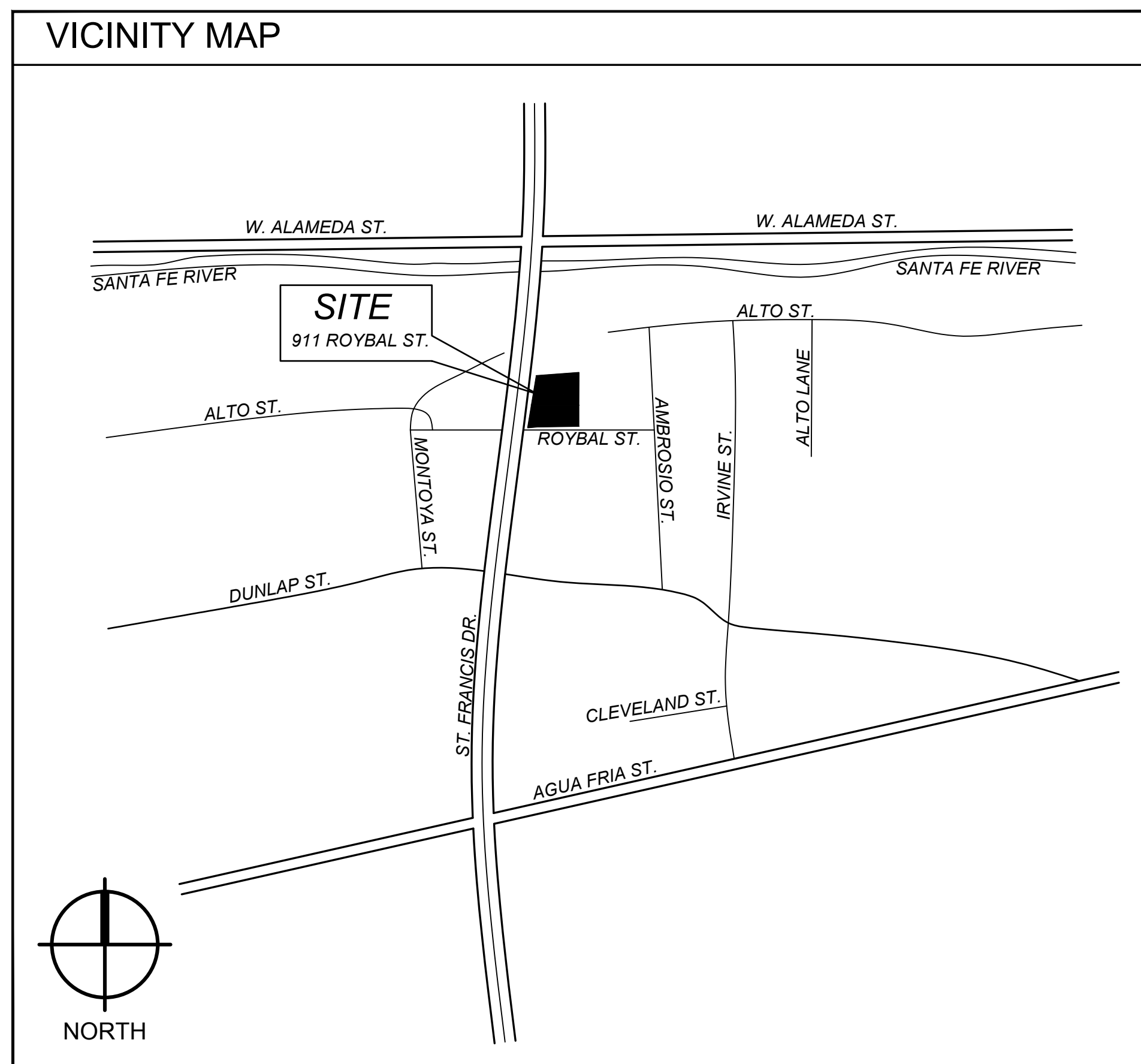
10. Accessibility & Code Compliance

- Accessible routes, entrances, and parking
- Designed to meet City of Santa Fe code requirements

Project Design Changes to Address Issues Identified by the HPD

The project team addressed the following issues that were identified by Gary Moquino and Amanda Romero during the Historic Preservation Division (HPD) meeting on January 7, 2026

Issue	Design Change
2nd floor – no plexiglass	Rather than Plexiglas, we will install a metal railing composed of a top and bottom rail with horizontal cable infill spaced every 4 inches. The railing will be finished in a dark bronze color that matches the windows
5 ft span on decking needs support posts	Support posts added to the design
Open trellis over balcony – show on plan	Shown on site plan
Label wood on garage door	Added wood stained Minwax “Jacobean” to match wood gates
Don’t need to show stucco joints	Stucco joints have been removed
Show all offsets on elevations	Done
Need to show all doors on elevations	Done
Change metal gates to wood gates	Done
Board prefers fenestration on wood gates	Added view opening on wood gates
Describe changes from board approved project in 2017 to current proposed project	Description included in Proposal letter



QUAN DENTAL BUILDING

911 ROYBAL ST.
SANTA FE, NM 87501



Jay Jay Shapiro Architect
 PH: (505) 699-6161 EMAIL: shapiro434@gmail.com

SHEET INDEX		
A1.0 PROJECT INFO/DESIGN CRITERIA	A6.0 FRAMING PLAN, SHEAR WALL DETAILS & NOTES	M1 MECHANICAL PLAN
A2.0 EXISTING/PROPOSED SITE PLAN	A7.0 ROOF PLAN, DETAILS, NOTES	E1 LIGHTING PLAN
A2.1 LANDSCAPE/A.D.A. PARKING DETAILS	A8.0 EXTERIOR ELEVATIONS	E2 POWER PLAN
A3.0 FOUNDATION PLAN, DETAILS, TYP. WALL SECTION	A8.1 EXTERIOR ELEVATIONS	E3 LOW VOLTAGE PLAN, SCHEDULE
A3.1 CONCRETE NOTES	A9.0 ENLARGED BATHROOM PLANS & ELEVATIONS	E4 POWER RISER, PANEL SCHEDULE
A4.0 FLOOR PLANS, NOTES	A10.0 INTERIOR ROOM ELEVATIONS	
A4.1 DIMENSION PLAN	A10.1 INTERIOR ROOM ELEVATIONS, BUILDING SECTIONS	
A5.0 REFLECTED CEILING PLAN, SCHEDULES - DOOR/WINDOW/ ROOM FINISH/APPLIANCE/ ELECTRIC FIXTURES	P1 WASTE & VACUUM PLANS	
	P2 WATER AND GAS PLANS	
	P3 COMPRESSED AIR PLAN	

DESIGN CRITERIA - PHASE 1	
GROSS BUILDING AREA:	2102 SF
GROSS ROOF AREA:	1661 SF
ARBOR AREA:	172 SF
LOT AREA:	8,987.87 SF
SANTA FE ZONING DISTRICT	C4, LIMITED OFFICE AND RETAIL
OCCUPANCY CLASSIFICATION (IBC 2009, SECTION 304)	GROUP B
CONSTRUCTION TYPE, IBC SECTION 602.2 AND TABLE 601	TYPE V-A (ONE HOUR)
SEISMIC ZONE	2B
OCCUPANCY LOAD, (SEE CODE SUMMARY AT RIGHT)	15 TOTAL OCCUPANT LOAD
PARKING REQUIREMENTS SECTION 14-8-6-1 (MEDICAL OFFICES: 1/200 SF NET LEASABLE AREA)	1482 NLSF/200 = 8 PARKING SPACES REQUIRED
ACCESSIBLE PARKING, ADAAG TABLE 208.2	1 VAN ACCESSIBLE SPACE
BICYCLE PARKING RESIDENTIAL UNIT OFFICES (1/300SF)	1 SPACE 7 SPACES

CODE SUMMARY 2009 IBC	
NET SQUARE FEET AREA:	1823 SQ FT
OCCUPANCY CLASSIFICATION (SECTION 303.1)	GROUP B
CONSTRUCTION TYPE (TABLE 601, SECTION 602)	TYPE V-A (1 HOUR)
SEISMIC ZONE:	2B
CONSTRUCTION ZONE:	C4, LIMITED OFFICE AND RETAIL
OCCUPANT LOAD: (TABLE 1004.1.1)	BUSINESS AREAS (100 GROSS) 883 SF/100 = 8.83 INPATIENT TREATMENT AREAS (240 GROSS) 478 SF/240 = 1.99 RESIDENTIAL (200 GROSS) 341 SF/200 = 3.396 RESTROOM AREAS (0 GROSS) 78 SF/0 = 0 ACCESSORY STORAGE AREAS (300 GROSS) 43 SF/300 = 0.143
	15 OCCUPANTS
MEANS OF EGRESS:	MINIMUM NUMBER OF EXITS (SEC. 1021 AND TABLE 1021.1) 2 NUMBER OF EXITS PROVIDED 4 EXIT WIDTH PROVIDED (TABLE 1005.1 - 0.3" PER OCCUPANT - 4.5" REQUIRED) 180" MAXIMUM DISTANCE TO EXITS (250'-0" WITH SPRINKLER, TABLE 1015.1) 32'-0"
RESTROOM CALCULATIONS: (TABLE 2902.1)	TOTAL OCCUPANTS IS 15 1 WATER CLOSETS (1/150) 1 LAVATORIES (1/200) ADDITIONAL FIXTURES 1 SERVICE SINK 1 WATER FOUNTAIN (ACCESSIBLE)

REFERENCED SYMBOLS	
KEYNOTE	INTERIOR ELEVATION
AMENITIES	EQUIPMENT
FINISH	FURNITURE
MILLWORK	VERTICAL ELEVATION
DRAWING TITLE	ROOM NAME/NUMBER
PLAN 1/4"=1'-0"	ROOM NAME XXX
DRAWING TITLE W/ REFERENCE NO	WALL TYPE
FLOOR PLAN 1/4"=1'-0"	SECTION
	DOOR NUMBER XXX

LEGAL DESCRIPTION

PARCEL 10 OF THE GUADALUPE NEIGHBORHOOD, WITH THE ADDRESS OF 901 ROYBAL STREET, AS SHOWN ON GUADALUPE NEIGHBORHOOD REPLAT OF PORTIONS OF KINGS MAP BLOCK 61 & 64, PLAT-D, CITY OF SANTA FE, COUNTY OF SANTA FE, STATE OF NEW MEXICO AS RECORDED IN DOC. # 417,093, AS RECORDED ON THE 15 DAY OF MARCH, 1978, IN PLAT BOOK 61, PAGE 31, OF THE RECORDS OF SANTA FE COUNTY, NM.

ABBREVIATIONS	
AFF ABOVE FINISH FLOOR	GALV GALVANIZED
ATC ACOUSTIC TILE CEILING	GC GENERAL CONTRACTOR
ACC AIR CONDITIONING	GB GRAB BAR
ALUM ALUMINUM	GFF GALLONS PER FLUSH
BD BOARD	GWB GYPSUM WALL BOARD
BO BOTTOM OF BUILDING	HDW HARDWARE
BLDG BUILDING	HTG HEATING
CLG CEILING	HVAC HEATING/VENTILATION/AIR CONDITIONING
CM CEILING MOUNTED	HT HEIGHT
CT CERAMIC TILE	HM HOLLOW METAL
CO CLEAN OUT	HORZ HORIZONTAL
CW COLD WATER COLUMN	HW HOT WATER
COL COLUMN	IN INCH
CONC CONCRETE	ID INDIRECT DRAIN
CMJ CONCRETE MASONRY UNIT	IT JOINT
DC DATA/TELEPHONE CONTRACTOR	LAM LAMINATE (ED)
DET DETAIL	LV LAVATORY
DIM DIMENSION	MATL MATERIAL
DD DIRECT DRAIN	MC MECHANICAL CONTRACTOR
DR DOOR	MECH MECHANICAL
DB DRAIN BOARDS	MFR MANUFACTURE (ER)
DWG DRAWING	MIR MINIMUM
EA EACH	MR MIRROR
EC ELECTRICAL CONTRACTOR	MISC MISCELLANEOUS
ELEC ELECTRICAL	NIC NOT IN CONTRACT
EL ELEVATION	NTS NOT TO SCALE
EQ EQUAL	NO NUMBER
EXP EXPANSION	OC ON CENTER
EXT EXTERIOR	OP OPENING
FOP FACE OF FINISH	PC PLUMBING CONTRACTOR
FOS FACE OF STUDS	PNL PANEL
FT FEET	PR PAIR
FRP FIBERGLASS REINFORCED PLASTIC	PLAM PLASTIC LAMINATE
FIN FINISH	PWD PLYWOOD
FLR FLOOR	QTY QUANTITY
FD FLOOR DRAIN	
FS FLOOR SINK	
	RAD RADIUS
	REF REFERENCE
	RET RETURN
	RA ROOM
	RM ROOM
	UNO UNLESS NOTED OTHERWISE USUAL
	UR URINAL
	WC WATER CLOSET
	WP WATER PROOF
	W WIDTH
	WIN WINDOW
	WID WITH
	WID WITH OUT
	WD WOOD
	SCH SCHEDULE
	SEC SECTION
	SEL SELECT
	SHT SHEET
	SIM SIMILAR
	SCW SOLID CORE WOOD
	SPK SPEAKER
	SPEC SPECIFICATIONS
	SQ SQUARE
	STD STANDARD
	STL STEEL
	ST STORAGE
	STR STRUCTURAL
	SU STUB UP
	SUP SUPPLY
	SA SUPPLY AIR
	TEL TELEPHONE
	THK THICK (NESS)
	TL TILE
	TO TOP OF
	TOS TOP OF SLAB
	TYP TYPICAL
	VTR VENT THRU ROOF

FIRE EXT'G SYSTEM	
OCCUPANCY:	GROUP B, BUSINESS
CONSTRUCTION:	TYPE V-A (ONE HOUR)
ZONING:	C4, LIMITED OFFICE AND RETAIL
SPRINKLER SYS:	NOT REQUIRED AS PER SEC. 903.2.2; THE FIRE AREA DOES NOT EXCEED 12,000 SQUARE FEET, NOR DOES THE OCCUPANT LOAD EXCEED 300
STANDPIPES:	NOT REQUIRED AS PER IBC SEC. 905
FIRE EXTINGUISHERS, IBC SEC. 906 AND TABLE 906.3(1):	1 2-A AT RECEPTION AREA 1 2-A AT STAFF ROOM 1 2-A AT UPPER FLOOR

PROJECT DIRECTORY		
OWNER: CLAUDIA QUAN PHONE: (720) 854-9361 EMAIL: claudialucia@comcast.net	ARCHITECT: JAY JAY SHAPIRO 90 LEANING POWDER ROAD SANTA FE, NM 87508 PHONE: (505) 699-6161 LIC. # 2858 EMAIL: shapiro434@gmail.com	PLUMB/MECH ENGINEER: TERRY L. WALKER 1172 LAUREL LOOP NE ALBUQUERQUE, NM 87122 PHONE: (505) 856-1783 LIC. # 5209 EMAIL: tdwalk3@comcast.net
CONTRACTOR: DANIEL AVILA AVILA CONSTRUCTION, INC. LIC. # 367370 (GB-98) PHONE: (505) 501-4604 EMAIL: avilaconstructionnm@gmail.com	ELECTRICAL ENGINEER: DWIGHT VELARDE 7008 VISTA DEL ARROYO NE ALBUQUERQUE, NM 87109 PHONE: (505) 883-6016 LIC. # 8751 EMAIL: veleng@qwestoffice.net	

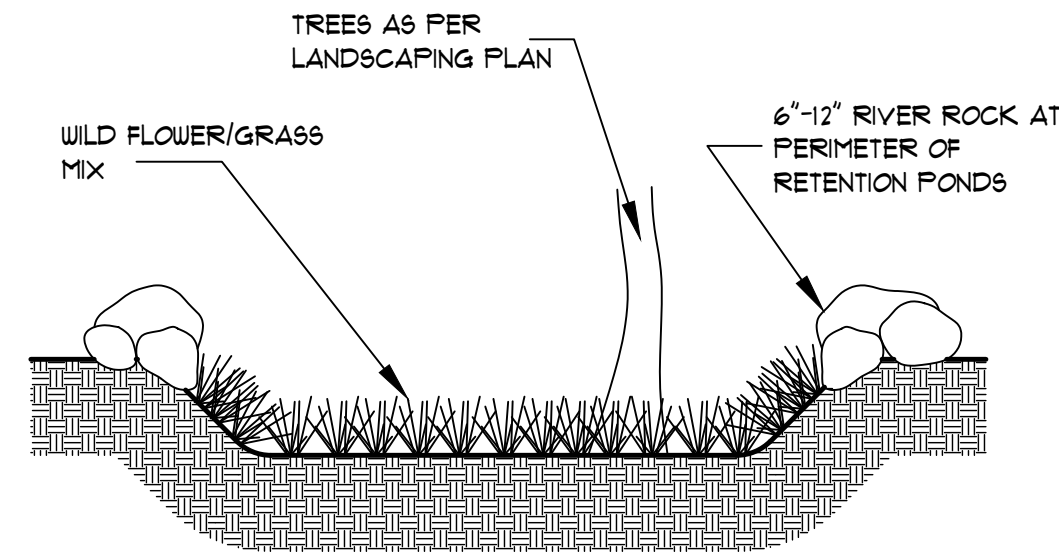
AUTHORITY	
2009 INTERNATIONAL BUILDING CODE	
2009 NM COMMERCIAL BUILDING CODE	
2009 NM EXISTING BUILDING CODE	
2009 NM PLUMBING CODE (2009 UPC AS AMENDED)	
2011 CITY OF SANTA FE UPC AMMENDMENTS	
2009 NM MECHANICAL CODE (2009 UMC AS AMENDED)	
2011 NM ELECTRICAL CODE (2011 NEC AS AMENDED)	
2007 NM ELECTRICAL SAFETY CODE (2007 NESC AS AMENDED)	
2009 INTERNATIONAL FIRE CODE	
2011 CITY OF SANTA FE IFC AMENDMENTS	

DENTAL OFFICE for
CLAUDIA QUAN
 911 Roybal St., Santa Fe, New Mexico 87507

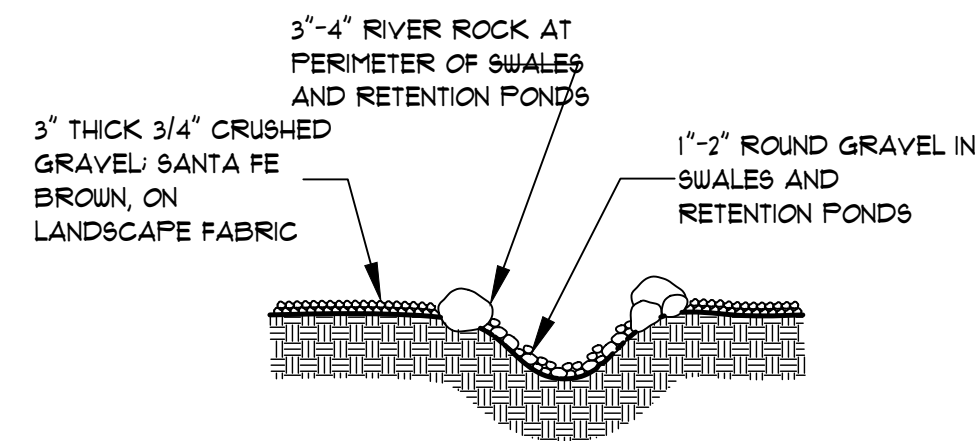
PROJECT INFO
 DATE: January 27, 2026
 DRAWN BY: Rudy DelGado
 APPROVED: Jay Jay Shapiro

REVISIONS	
REV. NO.	DATE

A1.0



TYP. POND DETAIL



TYP. SWALE DETAIL

TERRAIN MANAGEMENT

TERRAIN MANAGEMENT - CALCULATIONS

AREAS:	COEF.	AREA
LOT	.33	8988 SQ. FT.
ROOFED	.95	1661 SQ. FT.
EXT. CONCRETE/ASPHALT	.95	4363 SQ. FT.
RESIDUAL LOT	.33	2964 SQ. FT.

100 YEAR STORM INTENSITY, ZONE C = 7.8"/10 MIN.

RUN-OFF ANALYSIS FORMULA

COEF. x 100 YR. INT x AREA / 1 ACRE x SEC. PER INT.

PRE-DEVELOPMENT

.33 x 7.8 x 0.206 x 600 = 318.15 CU. FT.

POST DEVELOPMENT

(RESIDUAL)	.33 x 7.8 x 0.068 x 600 =	105.02 CU. FT.
(ROOFED)	.95 x 7.8 x 0.038 x 600 =	168.95 CU. FT.
(CONCRETE)	.95 x 7.8 x 0.100 x 600 =	444.60 CU. FT.
TOTAL POST =		718.57 CU. FT.

TOTAL TO RETAIN (POST- PRE)

(POST) - (PRE) = _____ CU. FT.

718.57 - 318.15 = 400.42 CU. FT.

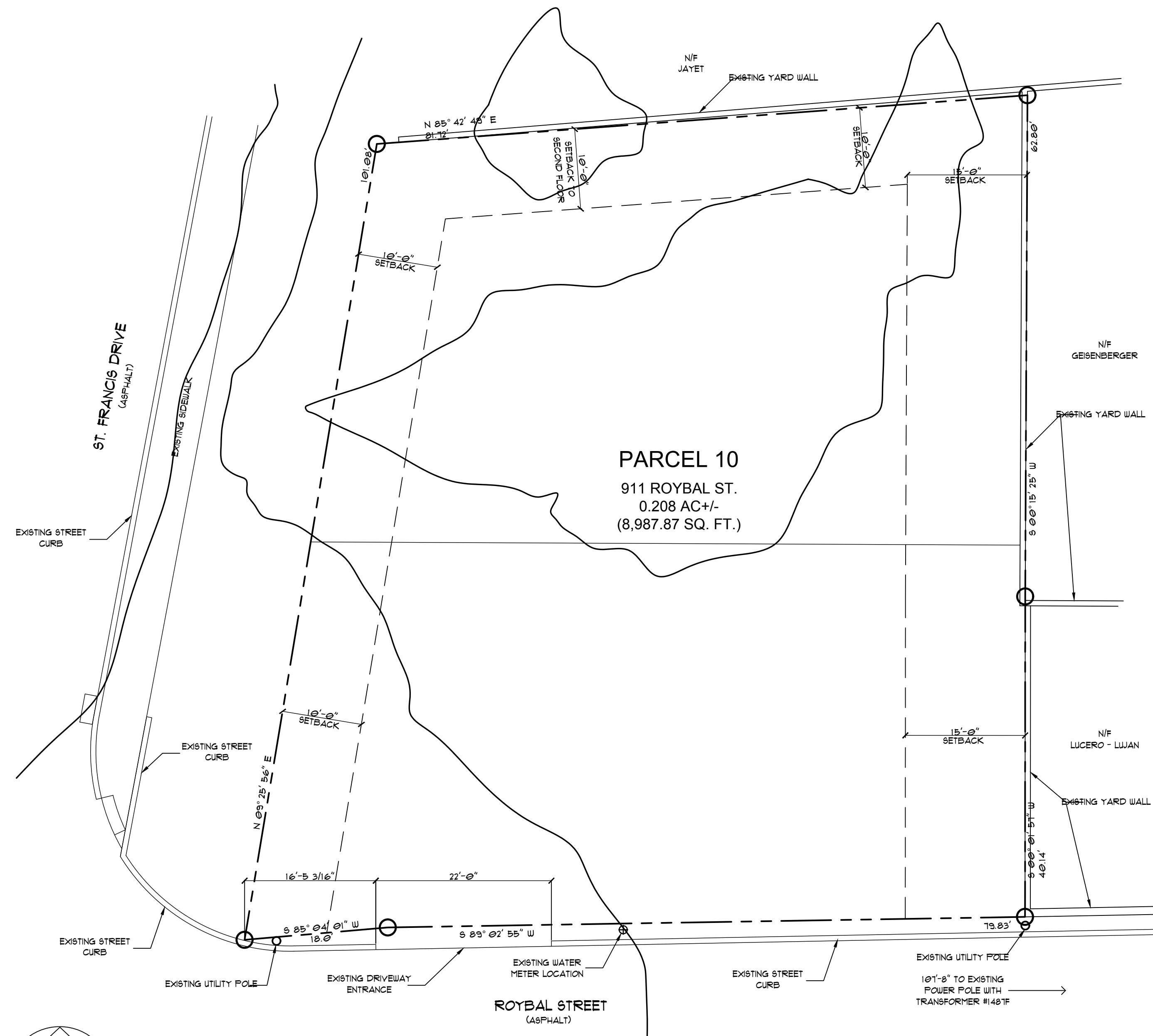
NOTES :

- SLOPE RATIO AT CUTS SHALL BE 2:1 MAX.
- ALL FILL RATIOS SHALL BE 3:1 MAX.
- RESEED OR RE-VEGETATE ALL DISTURBED AREAS.



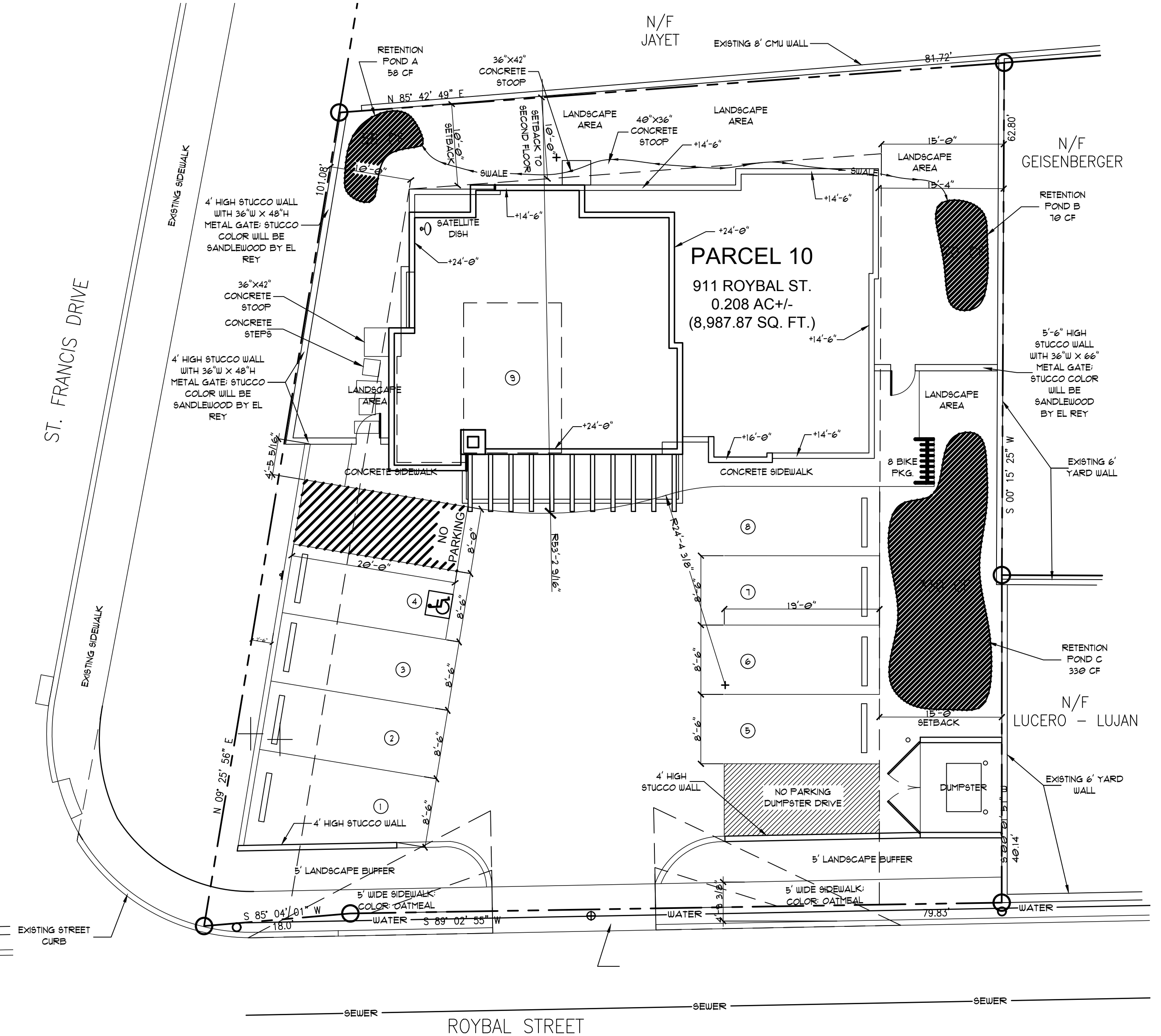
LEGEND

EXISTING COUNTOURS	---
EXISTING SEWER	---
GAS	---
ELEC., PHONE	---
WATER	---
LOT BOUNDARY	---
EASEMENTS	---
SWALE	---
RETENTION POND	---
RAINWATER LINE	---
RAINWATER BASIN	---
RAINWATER DIRECT CONNECT	---
DRIP IRRIGATION LINE	---



SITE PLAN - EXISTING

SCALE: 1" = 10'-0"



SITE PLAN - PROPOSED

SCALE: 1" = 10'-0"

Jay Jay Shapiro Architect
PH: (505) 699-6161 EMAIL: shapiro434@gmail.com

DENTAL OFFICE for
CLAUDIA QUAN
911 Roybal St., Santa Fe, New Mexico 87507

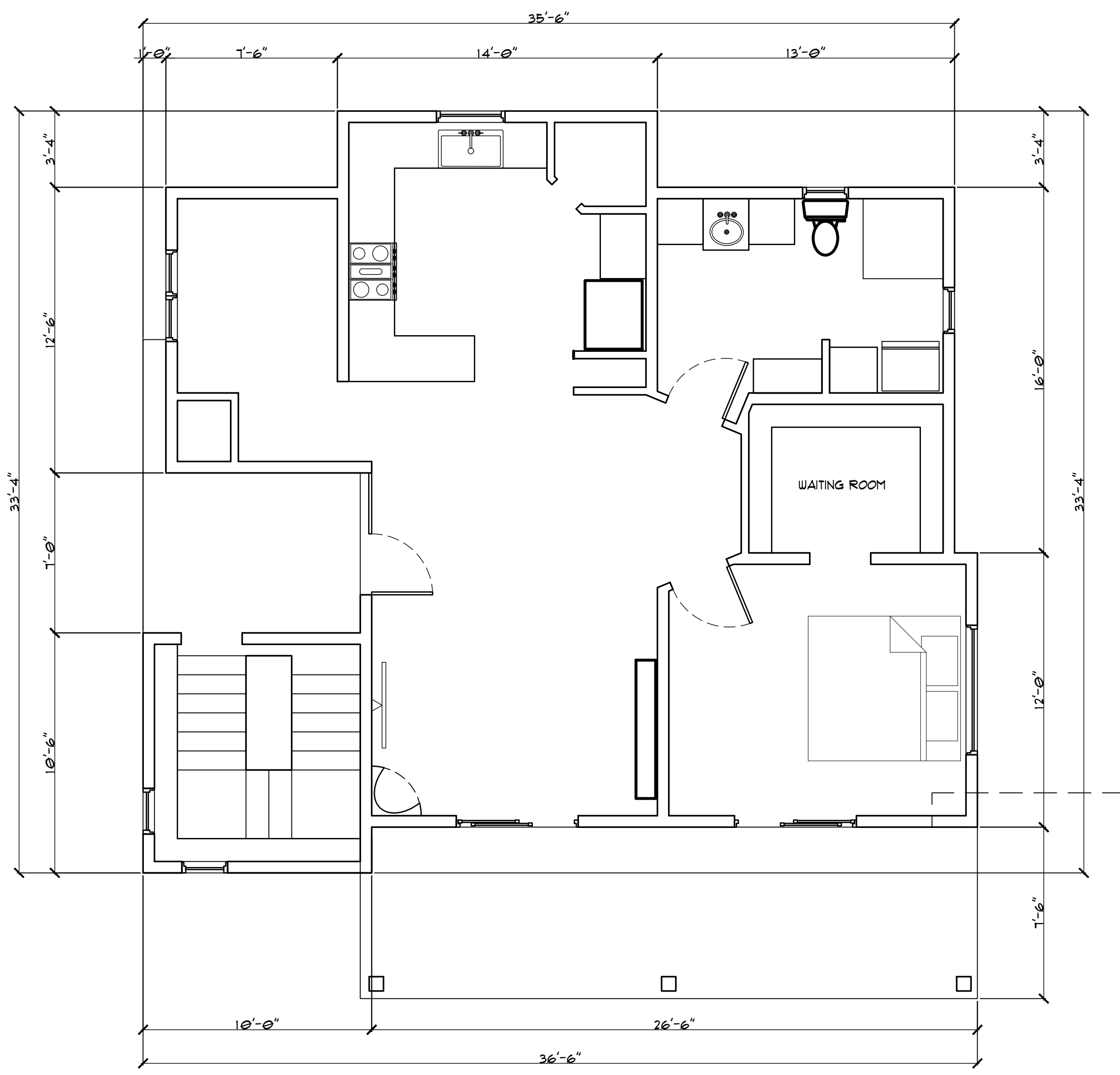
SITE PLANS
DATE: January 27, 2026
DRAWN BY: Rudy DelGado
APPROVED: Jay Jay Shapiro

REV. NO.	DATE

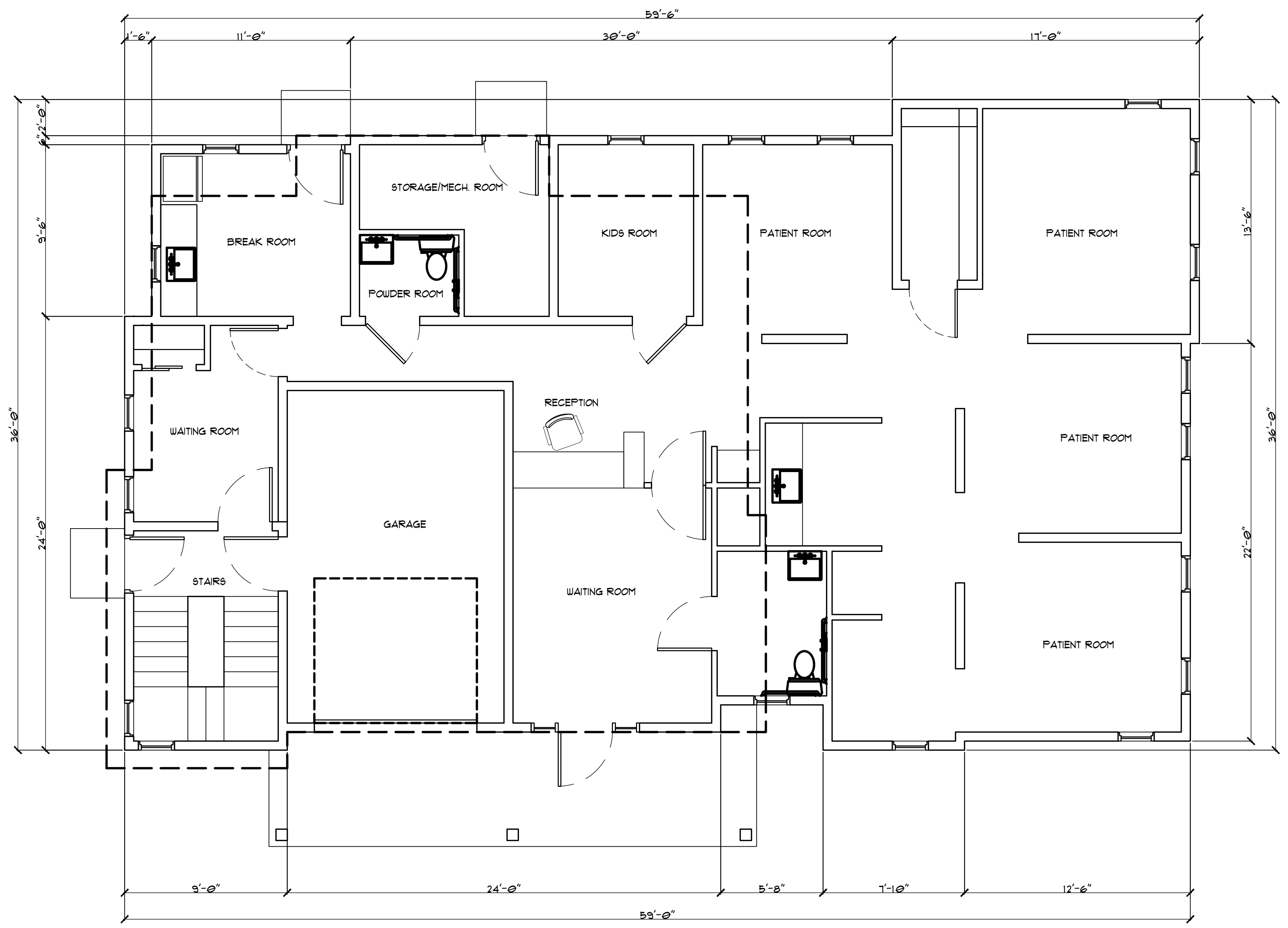
A2.0



Jay Jay Shapiro Architect
 PH: (505) 699-6161 EMAIL: shapiro434@gmail.com



○ PROPOSED 2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



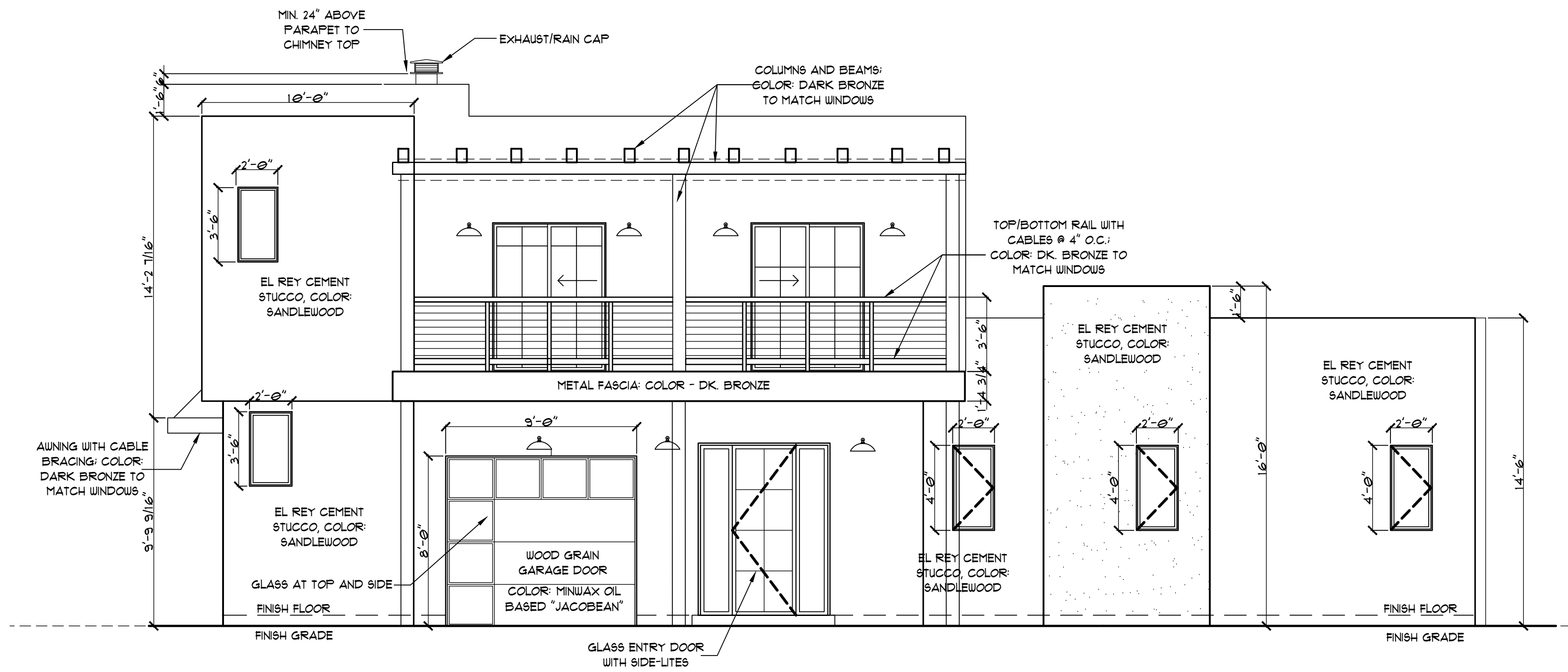
○ PROPOSED GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DENTAL OFFICE for
CLAUDIA QUAN
 911 Roybal St., Santa Fe, New Mexico 87507

FLOOR PLANS
 DATE: January 27, 2026
 DRAWN BY: Rudy DelGado
 APPROVED: Jay Jay Shapiro

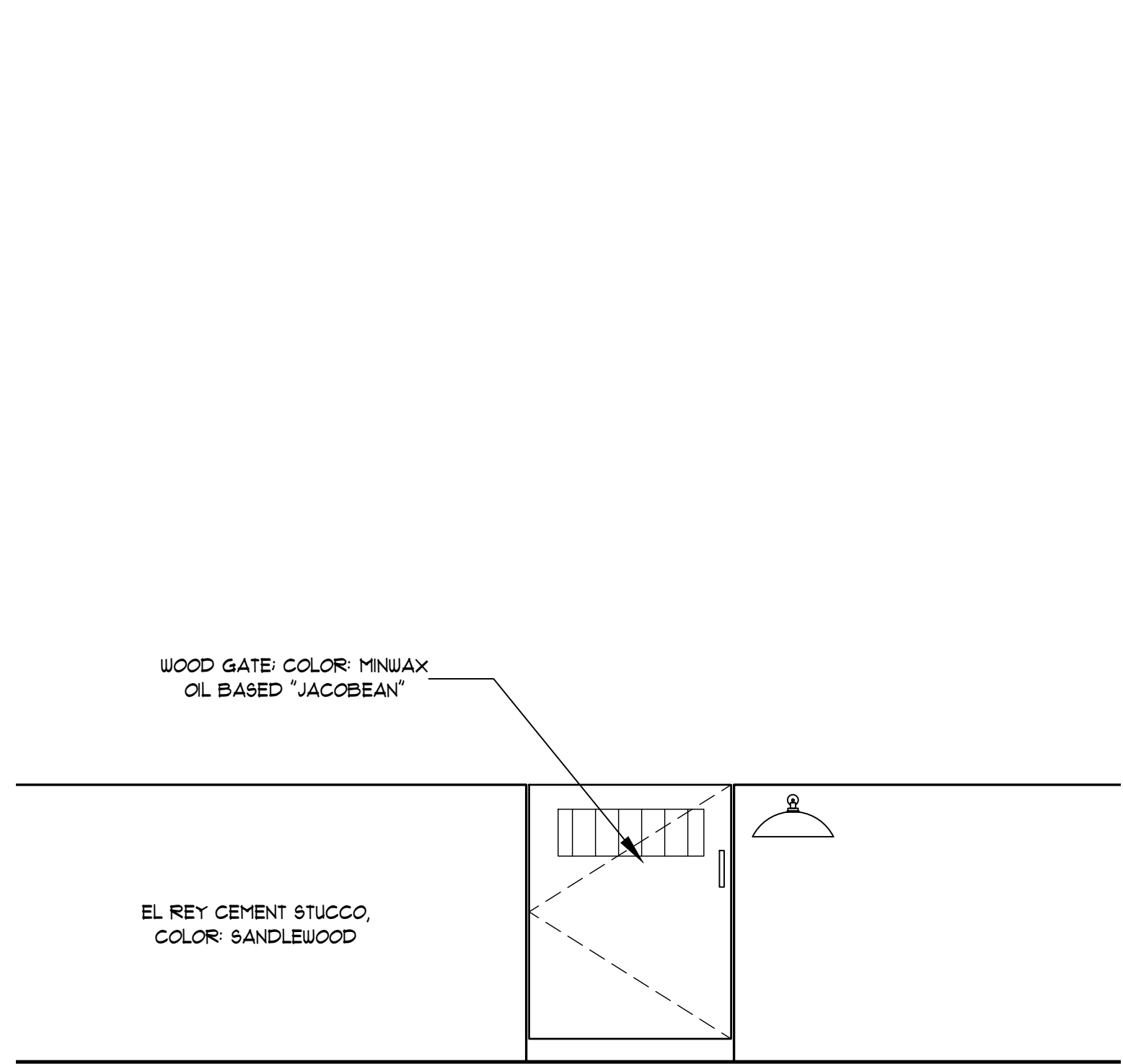
REVISIONS	
REV. NO.	DATE

A2.0



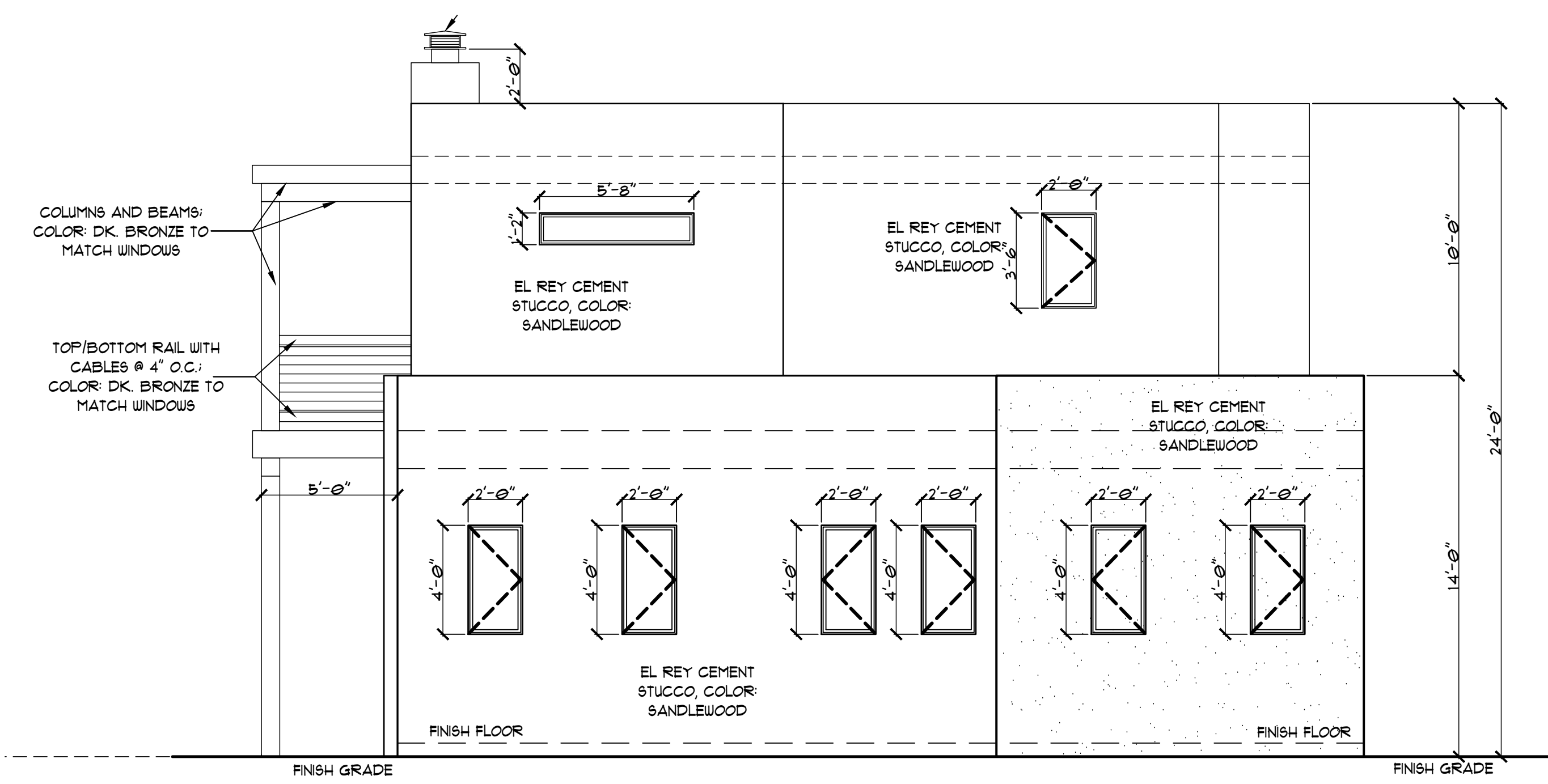
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



YARD WALL & GATE ELEVATION

SCALE: 1/2" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

Jay Jay Shapiro Architect
 PH: (505) 699-6161 EMAIL: shapiro34@gmail.com

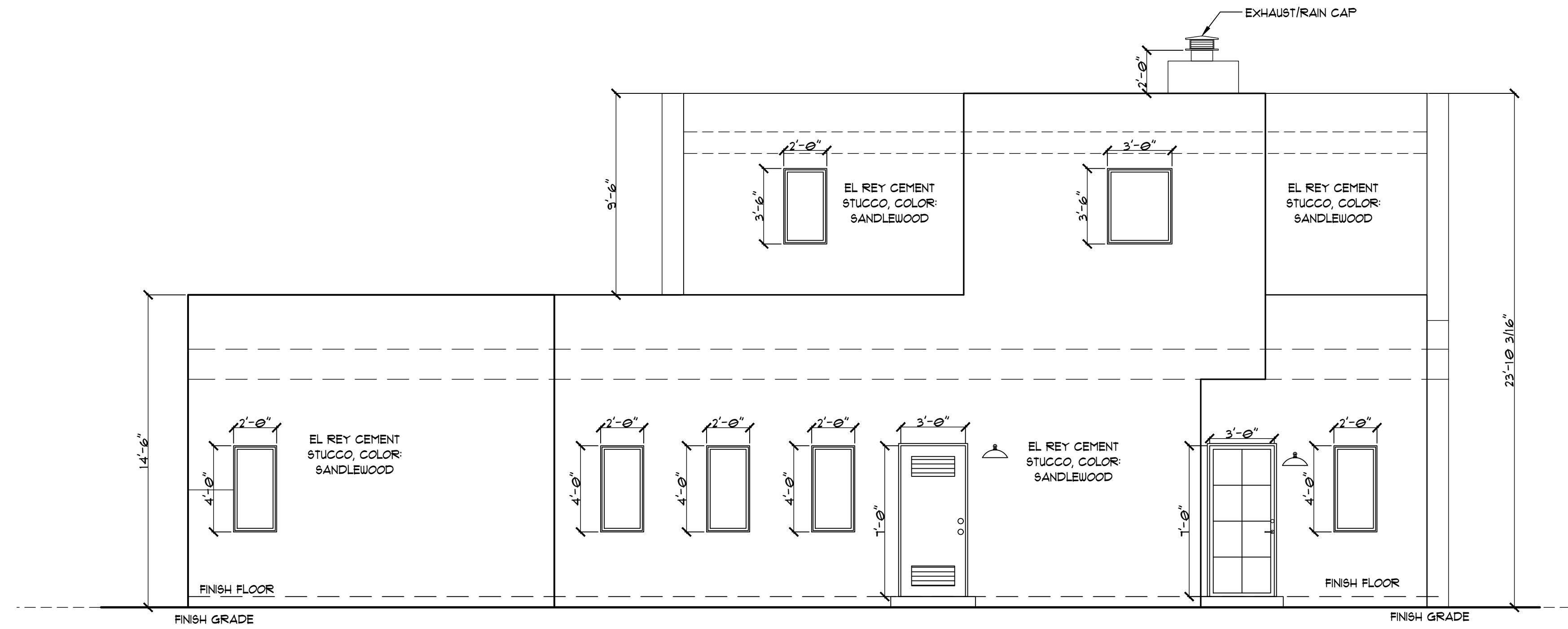
DENTAL OFFICE for
CLAUDIA QUAN
 911 Roybal St., Santa Fe, New Mexico 87507

EXT. ELEVATIONS
 DATE: January 27, 2026
 DRAWN BY: Rudy DelGado
 APPROVED: Jay Jay Shapiro

REV. NO.	DATE

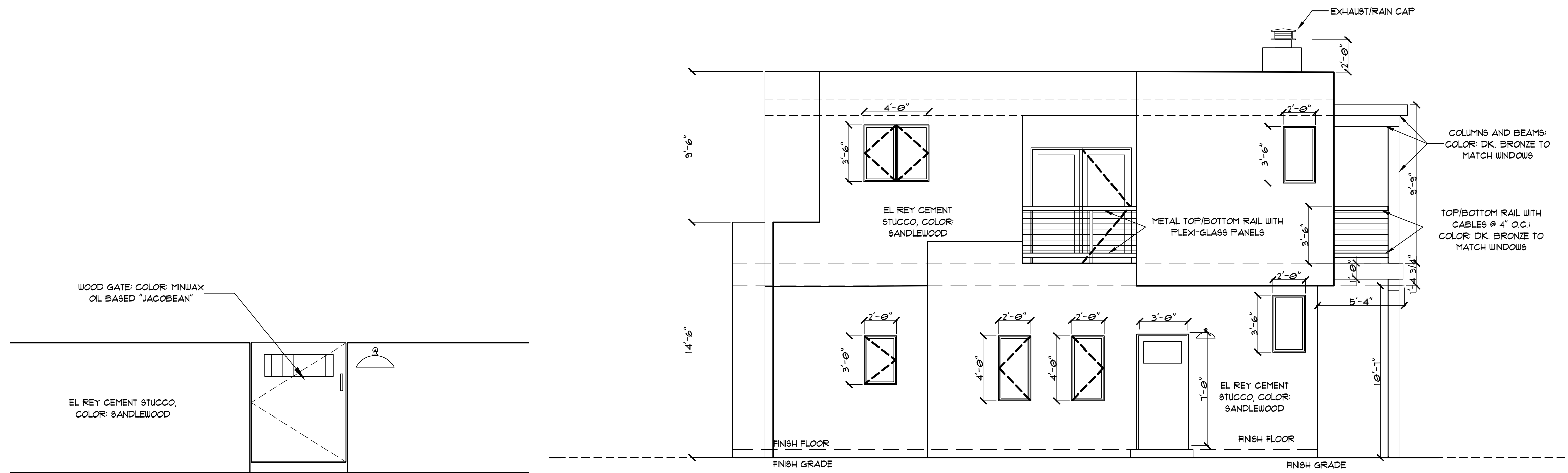


A8.0



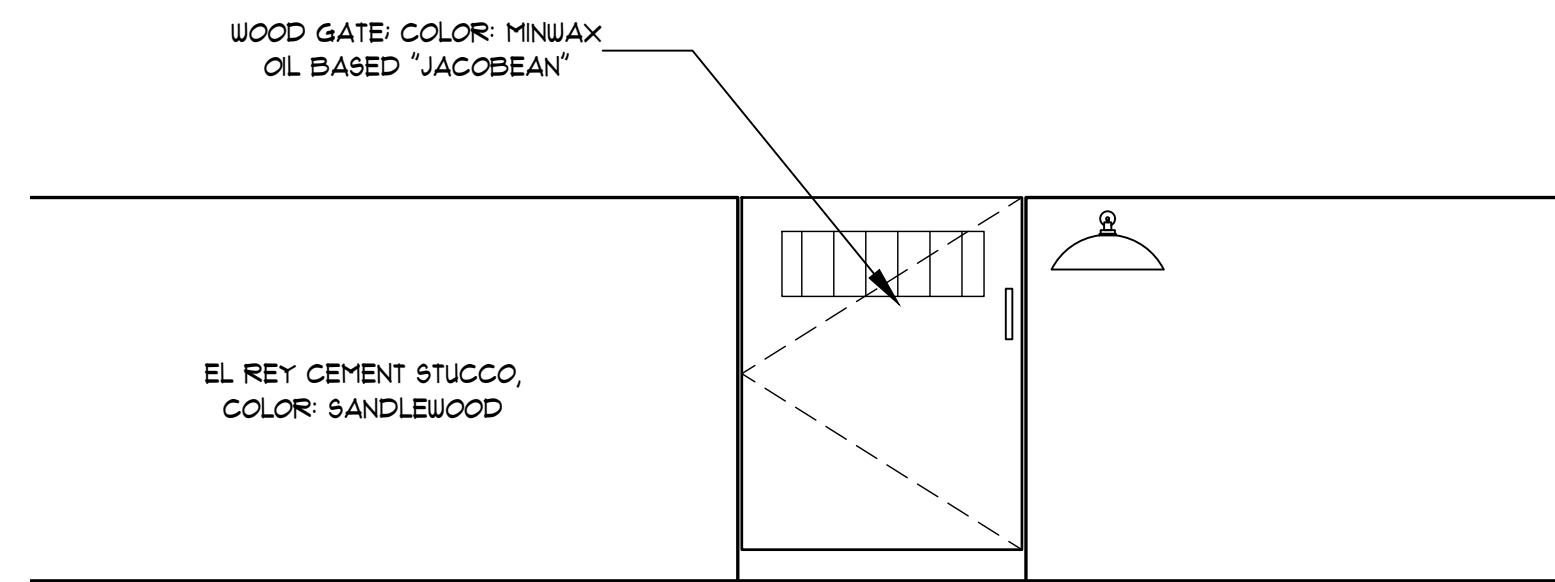
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



YARD WALL & GATE ELEVATION

SCALE: 1/2" = 1'-0"

Jay Jay Shapiro Architect
 PH: (505) 699-6161 EMAIL: shapiro434@gmail.com

DENTAL OFFICE for
CLAUDIA QUAN
 911 Roybal St., Santa Fe, New Mexico 87507

EXT. ELEVATIONS
 DATE: January 27, 2026
 DRAWN BY: Rudy DelGado
 APPROVED: Jay Jay Shapiro

REV. NO.	DATE
1	1/6/17
2	1/9/17
3	2/27/17



A8.1

Current Aerial – Google Maps (2025)

*Quan Dental Office
911 Roybal Street*



*Subject Property
(911 Roybal Street)*



Properties adjacent to 911 Roybal Street



109 S. St. Francis Drive
2 story bldg.
(see Photos D)

208 Ambrosio St.
2 story bldg.
(see Photo C)

901 Roybal St.
2 story bldg.
(see Photo B)



Photo B - 901 Roybal Street
two-story residential structure
Northern New Mexico architectural style



***Photo C - 208 Ambrosio Street
two-story residential structure***



Photo D - 109 S. St. Francis Drive
two-story residential structure
Southwest Pueblo Style



Photo E – 910 Roybal Street
*Northern New Mexico and South
Western Pueblo elements*



Photo F – 228 S. St. Francis Drive
South Western Pueblo
Commercial Complex



Photo G – 232 Ambrosio Street
*Territorial & Contemporary South
Western Pueblo characteristics*



Historic and Current Photos

911 Roybal Street

*Subject Property approx. 2015-2017
with Structure
(911 Roybal Street)*

In 2017, The Historic Board approved:

- *Previous Dental Office plan and*
- *Demolition and removal of structure*

Google Maps



El Rey Premium Stucco Premium Stucco Finish Colors



carneo
102 (67)



Colonial White
100 (76)



Madera
212 (24)



candlelight
90 (75)



Hacienda
127 (52)



Cream
128 (70)



Ivory
129 (70)



La Morena
197 (19)



Soapstone
30 (66)



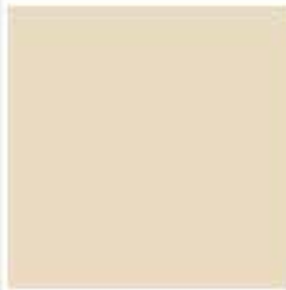
Fawn
117 (45)



Palomino
119 (55)



Navajo White
101 (71)



Sandalwood
121 (56)



Straw
122 (42)



Buckskin
106 (35)



Kokanee
108 (54)



Sand
103 (52)



Denim
107 (44)



Sahara
135 (35)



Adobe
116 (24)

Minwax Wood Finish Jacobean (No. 2750)



Color of Doors and Windows – Pella Auburn Brown.

Jay Jay brought a sample to the January 7, 2026 meeting.

January 07, 2026

PROJECT: 911 Roybal Street, Santa Fe, NM 87501
Historic Districts and Historic Landmarks
Height, Pitch, Scale, Massing, and Floor Stepbacks Exception Criteria

The Owner, Claudia Quan, is requesting approval for a height exception to allow a second story in a new mixed-use building at 911 Roybal Street, with the overall building height not to exceed 24 feet measured from the adjacent finished grade. A second-floor element on this site was previously reviewed and approved by the Historic Design Review Board as part of an earlier proposal, although the second floor has increased from about 500 SF to 900 SF. The current request is evaluated under the six exception criteria and reflects a revised design responding to site conditions, program requirements, and Historic District guidelines.

This criteria response includes an attached location map (Attachment A) and photographic exhibits (Photo A through G) documenting existing development patterns in the immediate vicinity of 911 Roybal Street. The map identifies the subject property and the surrounding buildings referenced in the criteria responses, while the photographs illustrate existing building heights, massing, and architectural character visible from the public right-of-way.

The following are the 6 criteria, with responses:

(i) Do not damage the character of the streetscape

Response: The proposed second story will not damage the character of the streetscape. The immediate vicinity of 911 Roybal Street includes multiple two-story buildings that are visible from the public right-of-way along Roybal Street and St. Francis Drive, establishing an existing streetscape context in which limited two-story massing is present.

Specifically, the property immediately adjacent to the subject site at 901 Roybal Street contains a two-story residential structure (see Photo B: 901 Roybal Street). A second two-story residence is located at 208 Ambrosio Street, situated just northeast of the subject property (see Photo C: 208 Ambrosio Street). In addition, a two-story commercial structure is located at 109 St. Francis Drive, two lots north of the subject property and clearly visible from the public right-of-way (see Photos D: 109 St. Francis Drive).

The proposed building has been designed with articulated massing and varied parapet heights to reduce perceived bulk and maintain a pedestrian-scale streetscape. The second-floor element is limited in area and positioned within the overall massing to minimize visibility and visual impact, ensuring that the character of the streetscape remains consistent with surrounding development patterns documented in the attached photographs.

(ii) Prevent a hardship to the applicant or an injury to the public welfare

Response: Strict application of the height limit would create a hardship because the physical characteristics of the site and applicable development standards limit the amount of usable floor area that can be accommodated on a single level. Required setbacks, lot configuration, and buildable area constraints significantly restrict the ground-floor footprint available for development.

Without limited vertical relief, accommodating the permitted neighborhood-scale dental office together with a modest live-work component would require expanding the building footprint, encroaching into required setbacks, or seeking additional variances—each of which would result in greater impacts to the historic streetscape and surrounding properties. Allowing a second floor provides a practical means of accommodating these uses within the existing zoning envelope while minimizing site disturbance and visual impact.

The proposed dental office reflects a modest, neighborhood-scale professional practice and does not represent an oversized or intensified use of the property. The requested height exception is driven by documented site constraints and development standards rather than an expanded or atypical building program.

The requested height exception therefore represents the minimum adjustment necessary to allow reasonable, code-compliant use of the property while maintaining compatibility with the surrounding historic context and protecting the public welfare.

.(iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response: The area surrounding the subject property exhibits a diverse mix of architectural styles, building types, uses, and heights, reflecting the heterogeneous character of this portion of the Westside Guadalupe Historic District. Within the immediate vicinity of 911 Roybal Street are residential and commercial buildings ranging from one to two stories and representing Northern New Mexico, Territorial, Southwest Pueblo, and contemporary interpretations of these styles.

Immediately adjacent to the subject property, the residence at 901 Roybal Street reflects a Northern New Mexico architectural style (see Photo B: 901 Roybal Street). Directly across Roybal Street, the multi-building residential property at 910 Roybal Street incorporates both Northern New Mexico and Southwest Pueblo elements (see Photo E: 910 Roybal Street). The commercial structures located north of the site at 109 St. Francis Drive include Southwest Pueblo-style buildings, including a two-story commercial structure visible from the public right-of-way (see Photos D: 109 St. Francis Drive).

Additional nearby examples include the Southwest Pueblo-style commercial complex at 228 St. Francis Drive (see Photo F: 228 St. Francis Drive) and the residential properties at 232 Ambrosio Street, which exhibit both Territorial and contemporary Southwest Pueblo characteristics (see Photo G: 232 Ambrosio Street).

In response to this established diversity, the proposed building employs a contemporary Southwest Pueblo architectural approach that draws from traditional massing, materials, and

proportions while avoiding direct imitation of adjacent structures. The inclusion of a limited second-floor component supports a mixed-use, live-work configuration consistent with historic development patterns in Santa Fe, where residential and professional uses have traditionally coexisted within the same structure.

By responding to the varied architectural context documented in the accompanying photographs and reinforcing established mixed-use patterns, the proposed design strengthens the heterogeneous character of the district while allowing continued residential presence within a historically active urban area.

(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape

Response: The request for a height exception is due to special conditions and circumstances that are specific to the subject property and not generally applicable to other parcels in the surrounding streetscape. The site is a corner lot with frontage on both Roybal Street and St. Francis Drive, resulting in increased visibility, multiple street-facing elevations, and reduced flexibility in building placement and massing.

In addition, the property is zoned for commercial use and directly abuts residential parcels, creating a unique condition in which a permitted mixed-use building must respond to both commercial and residential contexts within a constrained site envelope. These combined conditions limit the available buildable area on the ground floor and necessitate a carefully managed vertical solution to accommodate permitted uses.

These circumstances arise from the physical configuration, location, and zoning of the property and are not the result of actions taken by the applicant.

(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant

Response: The request for a height exception is not the result of actions taken by the applicant but arises from pre-existing conditions associated with the site, including its size, configuration, zoning designation, and required development standards. These conditions existed prior to the current proposal and constrain the amount of buildable area available on the ground floor.

The applicant has not increased the intensity of use beyond what is permitted by zoning, nor has the project been designed in a manner that creates the need for additional relief. The proposed second-floor component is limited in area and represents a measured response to existing site constraints rather than a condition created by the applicant.

(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)

Response: The proposed design provides the least negative impact by carefully limiting and articulating the second-floor massing to reduce its visual prominence along St. Francis Drive and Roybal Street. The second floor is aligned with portions of the first-floor walls facing both streets, its height, extent, and form are moderated through stepped parapet heights, articulated massing, and consistent horizontal proportions, reducing perceived scale at the pedestrian level.

Mechanical equipment, solar panels, and other rooftop elements are fully screened behind parapets and are not visible from the public right-of-way. Exterior materials, finishes, and lighting are consistent with established architectural patterns within the Westside Guadalupe Historic District, further minimizing visual impact.

By accommodating permitted uses through limited vertical relief rather than expanding the building footprint or encroaching into required setbacks, the project minimizes overall site disturbance while preserving the pedestrian scale and character of the surrounding historic streetscape.