



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT 2025-011537-HDRB, 521 Calle Corvo, Downtown & Eastside Historic District, Contributing,
DESC: Rajah Bose, agent for Louis Pepper & Ruth Williamson, owners, request status review with primary façade(s) designation if applicable.

CASE NUMBER: 2025-011537--HDRB

PROJECT TYPE: Historic Status Review

LOCATION: 521 CALLE CORVO
Santa Fe, NM 87501

CONTACTS: Applicant Rajah Bose

Property Owner louis pepper

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Jan 13, 2026. The decision of the Board was to adopt staff's recommendations to maintain the status of the house as contributing and facades 1, 2, 3, and 4, including the portal as primary, excluding doors and windows that are demonstrated to satisfaction to the Board as non-historic and that would apply as well to window openings and door openings, also adopting staff's recommendation that the garage structure be designated as non-contributing due to age, and the yard wall be designated as non-contributing for the same reason.

For further information please call 505-955-6605.

Sincerely,

Paul Duran

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**



Figure 1: Proposed Façade Diagram for 521 Calle Corvo.

Primary Façade: —————

Non-primary Façade: —————



PURPOSE AND INSTRUCTIONS

Prior to a public hearing in front of the Historic District Review Board (HDRB) all applicants must obtain Historic Districts Preliminary Zoning Review (HPZR) from the Current Planning Division. The HPZR does not grant zoning approval. Following design approval from the HDRB, final zoning review will be performed at the time of building permit.

Applicants must submit complete and accurate information for review. Incomplete submittals will not be processed. All HPZR requests must be submitted to Current Planning via zoningcounter@santafenm.gov

PROJECT INFORMATION

Table with project details including Date (08/01/2025), Property Owner (PEPPER/WILLIAMSON TRUST/ LOUIS PEPPER & RUTH WILLIAMSON), Applicant (RAJAH BOSE), Site Address (521 & 521 A CALLE CORVO), and various setback and height specifications.

Historic Planning Case Manager Lani McCulley

If you selected "other," please write in the name of your case manager.

ADDITIONAL SUBMITTALS (IF APPLICABLE)

Table for additional submittals with columns for Y/N and categories like Affidavit Restricting Use, Setback Affidavit, and Site Visibility Triangle.

This hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting the Land Use Department staff prior to HDRB hearing.

Signature of Rajah Bose, dated 8/6/25, with checkmarks for Applicant and Agent.

To Be Completed by Land Use Department Staff

PRELIMINARY REVIEW STATUS

Table for preliminary review status with fields for Preliminarily Reviewed (marked with X), Reviewed w/ conditions, Denied, and a handwritten comment: 'legal lot of record provided. setbacks + max height standards met per ch. 14-7.'

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: October 9, 2025

For HPD Office use only: HCPI No. _____ District No. _____		NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Catherine D. Janney/ Waldo and Ernestine Anton/ Henry and Virginia Wicks House	2. Location: 521 Calle Corvo Downtown and Eastside Historic District – Santa Fe	3. Local Reference Number: Santa Fe ID: H-632		4. County: Santa Fe Parcel # 13018752				
5. Property Type: <input checked="" type="checkbox"/> Buildings: House <input checked="" type="checkbox"/> Structures: Front Yard Wall <input type="checkbox"/> Site <input type="checkbox"/> Object								
6. Date of Survey: September 28, 2025								
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: December 12, 1984, Michael Belshaw <input type="checkbox"/> No:								
8. Name of Project: HDRB Status Evaluation								
9. Lat/Long: 35.6819669,-105.9329764								
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of south elevation. Facing northwest.								
11. Brief Description of the Property: Possibly the second house built in the Calle Corvo subdivision, 521 Calle Corvo is a roughly 1,346-square-foot Territorial Revival residence constructed primarily of adobe. The property includes an attached one-car garage and a short front yard wall. The house exhibits restrained architectural detailing, with features characteristic of the subdivision, including brick corbelling and a tiled roof over the entry portal. Fenestration consists of a mix of original and replacement units. A secondary dwelling, 521 A, stands at the rear of the lot; it is of more recent construction and not included in this survey. The main house is designated Contributing to the Downtown and Eastside Historic District. The yard wall has no status. <i>Continued on Page 5.</i>								
12. Who uses the property?								
13. Construction Date: Date: 1946-47 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: deeds and newspaper account								
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public								
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A								

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2		NRHP _____ SRCP _____ Criteria <u> A </u> <u> B </u> <u> C </u> <u> D </u>																																																									
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ARCHITECTURAL AND CONSTRUCTION DETAILS:																																																													
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: Frame (garage)				7. Number of Stories: _____ N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: _____ N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes																																																									
				9. Roof: _____ N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: membrane and Spanish tile																																																									
10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Hung Sash</td><td>Wood</td><td>1/1</td><td>2</td></tr> <tr><td>Hung Sash</td><td>Wood</td><td>2/2</td><td>1</td></tr> <tr><td>Hung Sash</td><td>Wood</td><td>3/1</td><td>1</td></tr> <tr><td>Hung Sash</td><td>Wood</td><td>6/6</td><td>1</td></tr> <tr><td>Combination</td><td>Wood</td><td>8c-1F-8c</td><td>1</td></tr> <tr><td>Fixed (picture)</td><td>Wood</td><td>1</td><td>1</td></tr> <tr><td>Fixed (barn) sash</td><td>Wood</td><td>8</td><td>1</td></tr> </tbody> </table>			Operation	Material	Glazing	Number	Hung Sash	Wood	1/1	2	Hung Sash	Wood	2/2	1	Hung Sash	Wood	3/1	1	Hung Sash	Wood	6/6	1	Combination	Wood	8c-1F-8c	1	Fixed (picture)	Wood	1	1	Fixed (barn) sash	Wood	8	1	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>15-panel</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Faux Plank</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>15-light</td><td>Wood</td><td>1</td></tr> <tr><td>Double</td><td>French- 15-light</td><td>Wood</td><td>1</td></tr> <tr><td>Overheard</td><td>Segmental</td><td>Steel</td><td>1</td></tr> </tbody> </table>			Type	Style	Material	Number	Single-Leaf	15-panel	Wood	1	Single-Leaf	Faux Plank	Wood	1	Single-Leaf	15-light	Wood	1	Double	French- 15-light	Wood	1	Overheard	Segmental	Steel	1
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12. Chimneys <input checked="" type="checkbox"/> N/a			13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input checked="" type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																																										
14. Other Significant Features N/A																																																													
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications <u>#1 Date: Unknown; introduction of glazed doors; possible window replacement; visual evidence.</u> <u>#2 Date: Post-1984; introduction of front yard wall; 1984 survey and aerial photographs.</u>																																																													

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input checked="" type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 https://www.santafenm.gov/land-use/historic-preservation	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 https://nmhistoricpreservation.org/arms.html
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SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: N/A

19. Site Plan: Not available.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: Catherine D. Janney/ Waldo and Ernestine Anton/ Henry and Virginia Wicks House	2. Location: 521 Calle Corvo Downtown and Eastside Historic District – Santa Fe	3. Local Reference Number: Santa Fe ID: H-632			
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		5. Date of Survey: September 28, 2025			

Architectural Description Continued

Setting

Occupying Lot 7 of the Calle Corvo Addition, the property lies along the curve of the subdivision’s namesake street, resulting in an irregular parcel that tapers to a narrow point at the southeast corner. The primary house is positioned near the center of the roughly 0.2-acre lot, oriented to the southwest (Photo 2). The front yard features brick and flagstone pathways and two mature pine trees, with older foundation plantings that lend a sense of established character. The rear yard consists primarily of a brick patio enclosed by low yard walls.

South (Front) Elevation

The primary house has a modified H-plan with a symmetrical façade (Photo 1). Its composition centers on an inset portal flanked by cubic projections (Photo 2). The arrangement recalls the influence of the historic Roque Lobato House, whose form was repeatedly adapted to organize small Territorial-style dwellings. The Territorial theme continues in the brick coping laid in a stretcher–rowlock–stretcher pattern extending along all sides of the house.

The west projection contains a sitting area with paired six-over-six double-hung sash set closely together without a mullion (Photo 4). Like many of the house’s windows, these are covered by exterior storm units. The east projection contains a modern fixed window that lights a small dining room (Photo 5). Between these two bays lies the *portal*—a four-foot-deep space with a brick floor and a shed roof tiled in clay Spanish units. The use of clay tile over entry roofs is uncommon in the subdivision and contributes to the house’s distinctive appearance.

A broad combination window—composed of eight-light casements flanking a fixed center panel—illuminates the living room. The casements are simple wood sash, hung on barrel hinges and operated by small surface latches. The main entry is a fifteen-panel wood door painted turquoise.

To the east of the living area, slightly recessed and of lower height, is a one-car garage (Photo 6). It is fitted with a sectional metal overhead door. The integration of an

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attached garage into the main body of the house during the late 1940s parallels early tract houses built by Allen Stamm and reflects similar scale and placement within the building’s composition.

East Elevation

The short east elevation faces a small side yard and contains a single eight-light wood-sash window set deeply within the adobe wall (Photo 6).

North Elevation

The rear of the house opens onto a brick patio shaded by a mature tree. Its general composition echoes the front façade but with less refinement, as the rectangular volumes of the modified H-plan converge more tightly.

At the east end, the garage extends outward from the house and is fenestrated with an eight-light wood-sash window and a large paneled wood door painted blue (Photo 7). West of the garage is a four-over-four wood double-hung sash lighting the laundry room. The central portion of the elevation includes a small portal that shelters a pair of fifteen-light French doors opening to the living room (Photo 8). The façade terminates in a projecting bay that encloses the primary bedroom, entered from the exterior through a fifteen-light wood door.

West Elevation

This elevation parallels a graveled side yard and contains several wood-sash windows serving the primary bedroom, bathroom, and sitting room (Photos 9 and 10).

Interior

The interior was not inspected during the survey; however, online real estate photographs indicate that the living room features large vigas running north to south.

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Front Yard Wall

A roughly three-foot-high, two-foot-wide adobe wall extends along the front property line (Photo 2). Near the center, a steel entry gate opens onto a brick walkway leading to the main entrance. Comparison with a 1978 aerial photograph and the 1984 HBI suggests that the wall is relatively recent, replacing what had historically been a hedge (Figs. 4 & 5). The rear patio walls are also of modern construction.

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Historical Overview

Hughes–Calle Corvo Subdivision Context

Calle Corvo—originally named Hughes Street—developed in the late 1940s as a compact enclave of modest Territorial and Pueblo Revival houses on suburban-sized lots along a short curving street.

The northern portion of the subdivision was created from several large parcels once owned by Levi A. Hughes Sr., a prosperous wool buyer and former vice president of the First National Bank who died in 1934. His home off Canyon Road adjoins the subject property.

His eldest son, Levi A. Hughes Jr., vice president of the Santa Fe Builders Supply Company, sought to convert the family land to residential use. In 1937 he platted the first Hughes Subdivision, laying out twenty lots along a gently curved road between Delgado Street and Acequia Madre—then called East Manhattan Street. Following the era’s penchant for picturesque Spanish names, he renamed the street Calle Corvo, loosely meaning “curving” or “bent street.” The area was replatted the next year as the Second Hughes Addition.

Early lots were sold to individuals connected to Hughes Jr. or his mother, Christine L. Hughes, who appears as grantor on many early deeds. Several buyers briefly held or developed their lots speculatively, resulting in a cohesive neighborhood of modest two-bedroom adobe dwellings—mostly Pueblo Revival in style—with attached or detached single-car garages. Common features such as low front walls and Pueblo-style detailing reflected shared taste rather than formal deed restrictions.

A 1958 real estate ad promoted the area as an “Exclusive Little Home Area on a Clean, Paved Street near the Acequia!” Yet the subdivision’s restrictive covenants, filed earlier, expose its limits of exclusivity. Item “e” prohibited occupancy by “any person of African or Oriental descent,” except as a domestic servant. Typical of mid-20th-century real estate language, this clause underscores the racial barriers embedded within Santa Fe’s Eastside and South Capitol neighborhoods.

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By the early 1960s, the subdivision was fully built out, with seventeen houses lining its curved road. The 1960 city directory shows a high rate of owner occupancy, with all but four homes occupied by their owners. The neighborhood reflected a nearly even mix of Anglo and Hispanic homeowners.¹

Lots 6 & 7

Elery G. and Olga Cooper (1946–1947)

On February 26, 1946, Christine Hughes sold adjacent Lots 6 and 7 in the Calle Corvo Subdivision to Elery G. Cooper and his wife, Olga, recent arrivals from Los Angeles.² Cooper was born in Indiana in 1878 and had moved west early in life, working in a Meade, Kansas grocery before marrying Ola Fick, daughter of German immigrants.³

The couple relocated to Trinidad, Colorado, where Cooper served as assistant manager for a lumber company, gaining building experience that later shaped his contracting work. In the 1920s they attempted homesteading near Sofia in Union County, New Mexico, before settling in Los Angeles.

In Santa Fe, Cooper launched a contracting business with his son, Elery R. Cooper. Though the firm’s longevity is uncertain, they were credited with remodeling the Sweetbriar clothing store on San Francisco Street in 1947 (later demolished) and with constructing the first two houses in the Calle Corvo Subdivision.⁴

The Coopers sold both lots to Lemuel Charles and Jane Farley White of Tesuque.⁵ Lemuel, an attorney, likely provided the capital for their speculative development. The completed homes, in Territorial Revival style with clay tile-covered porches, set a template for later construction in the subdivision.

¹ Hudspeth Directory Company, Hudspeth Directory Company, *Santa Fe City Directory, 1960* (El Paso: Hudspeth Directory Company, 1960), 28.

² Warranty Deed, Christine Hughes to Elery G. and Ola H. Cooper, recorded March 8, 1946, Book 29, Page 375, Instrument # 80529, Santa Fe County, New Mexico.

³ Federal census data and news accounts informed the Cooper’s biographical sketch.

⁴ “Fire Started in New House,” *Santa Fe New Mexican*, April 22, 1946, 7.

⁵ Quitclaim Deed, Jane Farley and Charles Lemuel White to Sarah R. Janney, recorded May 20, 1947, Book 24, Page 301, Instrument # 85380, Santa Fe County, New Mexico.

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Early Homeowners

Catherine D. Janney (1947–1954)

In 1947 Sarah Janney of Medford, Oregon, purchased Lot 7 and its house for her daughter, Catherine D. Janney (Fig. 2).⁶ Catherine relocated to Santa Fe around this time and briefly worked as a “beauty counselor.” The 1950 census recorded her, age thirty-six, living alone in the house and unemployed.⁷ She remained there through the early 1950s. In 1954, her mother sold the property to newlyweds Waldo and Ernestine Anton, ending the family’s brief ownership.⁸

Waldo and Ernestine Anton (1954–1960)

Waldo Anton, Jr., son of mail carrier Waldo Anton, Sr., grew up on Hillside Avenue. In 1952 he married Ernestina Baca, a Loretto Academy graduate and Fiesta court princess (Fig. 2).⁹ Anton worked for the State Comptroller before joining the State Health Department, where he advanced to director of the business management division in 1958. The couple raised their young family at the Calle Corvo property, which they sold two years later to a pair of teachers.¹⁰

Henry and Virginia Wicks (1960–1987)

Henry W. Wicks arrived in Santa Fe in February 1944 from New York City, though the reason for his move remains unclear. He was born in Herkimer, New York, where he

⁶ Quitclaim Deed, Jane Farley and Charles Lemuel White to Sarah R. Janney, recorded May 20, 1947, Book 24, Page 301, Instrument # 85380, Santa Fe County, New Mexico.

⁷ U.S. Census Bureau, National Archives at Washington, DC; Washington, D.C.; Seventeenth Census of the United States, 1950; Year: 1950; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Page: 68; Enumeration District: 26-5.

⁸ Warranty Deed, Sarah H. Janney (aka Ryan) to Waldo Jr. and Ernestine Anton, recorded April 5, 1954, Book 73, Page 451, Instrument # 8117710, Santa Fe County, New Mexico.

⁹ “Baca-Anton Pair Engaged,” *Santa Fe New Mexican*, November 30, 1952, 13.

¹⁰ Warranty Deed, Waldo Jr. and Ernestine Anton to Henry W. and Virginia Mainz Wicks, recorded December 23, 1960, Book 173, Page 541, Instrument # 245396, Santa Fe County, New Mexico.

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grew up in a multi-generational household headed by his grandfather, a German immigrant employed in a desk factory.¹¹ His father, Howard, worked as a fishmonger. According to his wedding announcement, Henry established himself as an accomplished accountant, with experience at DuPont and the Remington Arms Company. He also pursued writing and aspired to become a novelist.

In Santa Fe, Henry married Mabel C. Hart in 1945. Hart, an abstractor, was a founder of the Capital City Business and Professional Women’s Club. Henry gained employment at St. Michael’s College, where he taught psychology.

After Mabel’s death in 1957, Henry remarried, wedding Virginia Lujan Mainz (Fig. 2), a public-school teacher from Las Vegas. Following the sale of the house Henry had owned with Mabel, the couple acquired a residence on Calle Corvo two days before Christmas in 1960. Henry later became director of guidance for Santa Fe County Schools. He published one Southwest-themed novel and contributed three reviews to the *Santa Fe New Mexican* of children’s books by Ann Nolan Clark.

Henry W. Wicks died at his Calle Corvo home on April 24, 1978. Virginia remained in residence through the 1980s. In 1987, as her health declined, she was declared a protected person and a conservator was appointed, who subsequently sold the 521 Calle Corvo property.¹² The new owner, Tara Tucker, went before the HDRB in 2001 to build the addition to 521 A. The property has changed hands several times since.

¹¹ Federal census data and news accounts informed the Wicks’ biographical sketch.

¹² Warranty Deed, Lucille Fernandez, Virginia Mainz estate to Pasqual Narod and Tara Tucker, recorded October 22, 1987, Book 594, Page 999, Instrument # 634765, Santa Fe County, New Mexico.

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HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Catherine D. Janney/ Waldo and Ernestine Anton/ Henry and Virginia Wicks House	2. Location: 521 Calle Corvo Downtown and Eastside Historic District – Santa Fe	3. Local Reference Number: Santa Fe ID: H-632			
		4. County: Santa Fe			
		5. Date of Survey: September 28, 2025			

Evaluation of Historical Status

Erected in 1946–47, the house at 521 Calle Corvo has retained its massing and footprint since at least 1958, as confirmed by an aerial photograph from that year (Fig. 3). Although windows and doors have likely been replaced, the fenestration openings appear to remain in their original dimensions. The front yard wall, while compatible with the Calle Corvo streetscape, was constructed after 1984.

For these reasons, the primary house is recommended to retain Contributing status. The south (front) elevation best expresses the property’s modest Territorial Revival character and architectural details. This elevation, including the attached garage, is recommended as the primary façade. The front yard wall, being of more recent construction, is recommended as Non-contributing.

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Illustrations

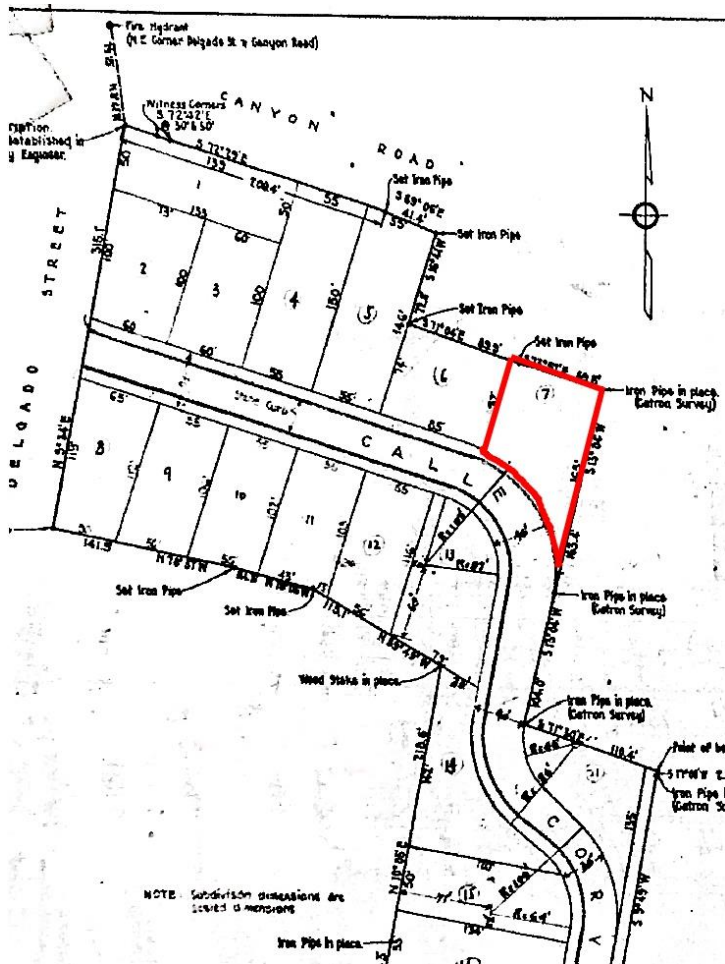


Figure 1: Hughes Second Addition, 1938. Floyd Haak. Subject lot highlighted.

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Figure 2: The Women of 521 Calle Corvo: Top: Catherine (Cathy) Janney, c. 1930; middle; Ernestina (Ernestine) Baca Anton, 1952; bottom: Virginia Lujan Mainz Wicks, c.1940s.

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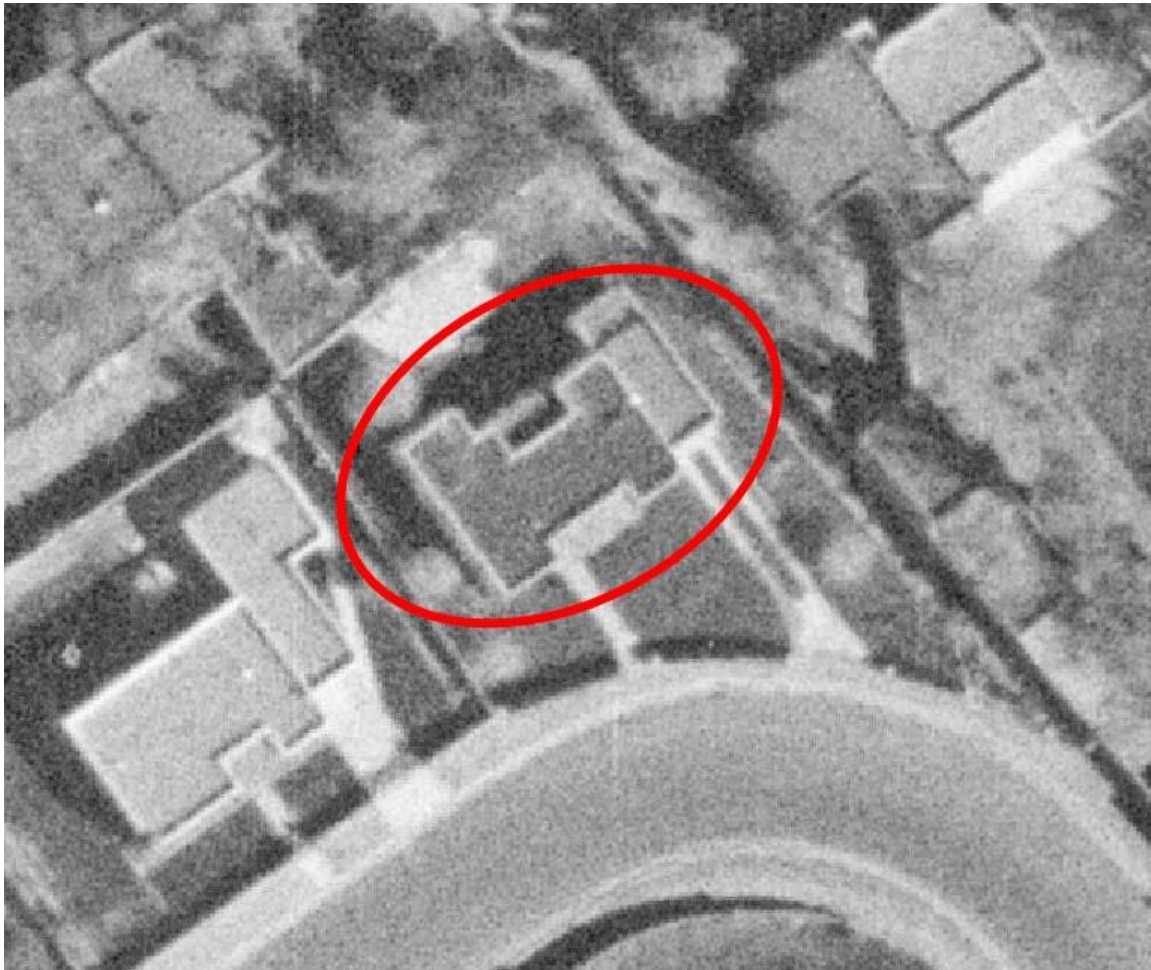


Figure 3: November 10, 1958, aerial photograph.
 Shed is present.

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Figure 4: September 11, 1978, aerial photograph.

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Figure 5: December 12, 1984, HBI survey photograph. Michael Belshaw. Note front yard wall.

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Survey Photographs

(All images taken by Giulia Caporuscio, September 28, 2025, unless otherwise noted)



Photo 2: House and setting. Camera facing northeast.

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Photo 3: 521 A Calle Corvo. Newer building not included in survey. Camera facing southeast.

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Photo 4: South (front) façade, west and center sections. Camera facing northeast.

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Photo 5: South (front) façade, center and east sections. Camera facing northeast.

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Photo 6: West elevation. Camera facing northwest.

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Photo 7: North (rear) elevation, east and center sections. Camera facing southwest.

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Photo 8: North (rear) elevation, center and west sections. Camera facing southwest.

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Photo 9: West elevation. Camera facing southeast.

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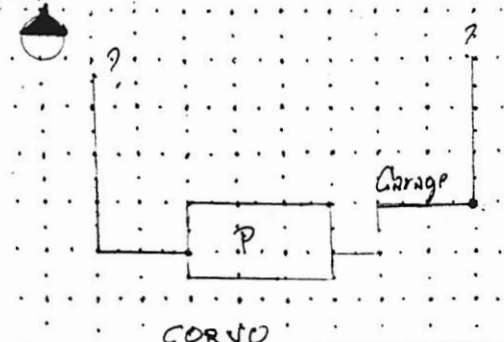
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Photo 10: West elevation. Camera facing northeast.

building threatened?	surveyed date 12-12-84 by m b	county Santa Fe	file no. 05161657
FEH map number SFHD-6-1657		US reference zone 12 13	easting northing
location description 521 Corvo		city/town Santa Fe	
building name		legal description	
TTL roll by no. 23		negative nos. 14	
		log. or neg. plan shape	



date of construction 1935-45 estimate actual source BD

use present residential other historic residential other

condition excellent fair good deteriorating

degree of remodeling minor moderate major described

style Territorial Rev foundation material NV wall material/surface Adobe Stucco

architecture features
 Roof - Shed over porch. Sp. tile. Rafter exp
 Elsewhere - Flat - Brick parapet. - Strchr
 hdr, strchr. 5 w/1 Pluor
 Windows - dbl 6/8 Picture Turquoise trim.
 Bullnose frame Under porch (8 lite csm⁺, picture
 8 lite csm⁺)
 Door - wd panel
 Porch. Corbels + lintel supp by wall.
 Wrought iron grill.

surroundings Res relationship to surroundings similar not similar

district potential yes no

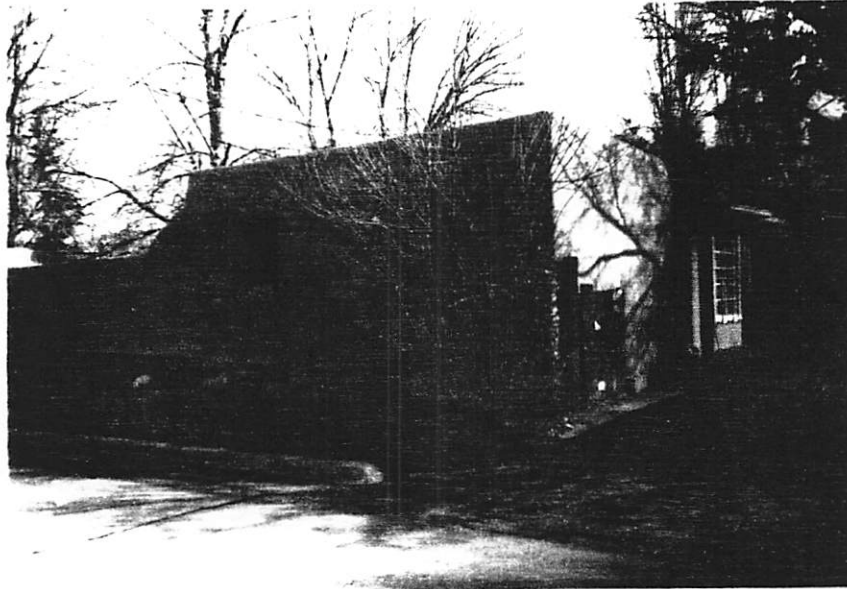
significance eligible of none interest
 if eligible, why? contrib. mayoral date

associated buildings? yes what type?

if inventoried, list ID nos.

see back? yes

building threatened? yes	surveyed date 12-12-84 by number	county Santa Fe	FD no. 051611658	H633
field map SFHD-6-1658		US reference easting zone 12 13		
location description 521 1/2 Corvo		city/town Santa Fe		
building name		land grant/reservation		
legal description		twp N S range E W sec		
alt. roll by no. 23	negative nos. 15	loc. or neg. neg	plan shape	



date of construction
 estimate actual
 source

use
 present residential
 other
 historic residential
 other

condition
 excellent good
 fair deteriorating

degree of remodeling
 minor moderate major
 describe:

style

foundation material

wall material/surface

architectural features

comments

surroundings
 Res

relationship to surroundings
 similar not similar

district potential
 yes no

significance
 eligible of none
 if eligible, interest

why?

associated buildings? yes
 what type?

if inventoried, list ID nos.

see back? yes