

City of Santa Fe, New Mexico

memo

DATE: March 10, 2026

TO: Historic Districts Review Board

VIA: Heather Lamboy, Planning & Land Use Department Director
Maggie Moore, Assistant Land Use Director
Gary Moquino, Historic Preservation Division Manager

FROM: Heather Lamboy, Planning & Land Use Department Director

2026-011886-HDRB. 521 Calle Corvo. Downtown and Eastside Historic District. Contributing. Rajah Bose, agent for Louis Pepper and Ruth Williamson, owners, request approval for a 348 sq. ft. addition to a height of 14'-05" where the maximum allowable height is 16'-4", window, door, and portal replacement. Exceptions are requested to 14-4.6(G)(4)(I)(a) historic windows shall be repaired or restored wherever possible, 14-4.6(G)(4)(I)(c) no new opening shall be made where one presently does not exist unless historic documentation supports its prior existence, and 14-4.6(G)(4)(II)(a) architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: Previous Case Documents

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff finds that the exception criteria for 14-4.6(G)(4)(I)(a) historic windows shall be repaired or restored wherever possible, 14-4.6(G)(4)(I)(c) no new opening shall be made where one presently does not exist unless historic documentation supports its prior existence, and 14-4.6(G)(4)(II)(a) architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced have not been met and recommends denial of these exception requests. Otherwise, staff recommends approval of the 348 sq. ft. addition to a height of 14'-05", re-stucco, re-roof, and other elements of the application that do not require an exception as they comply with 14-4.6(E) General Design Standards for all Historic Districts, and 14-4.6(G)(2) Downtown and Eastside Historic District Design Standards.

Sample motions:

Four motions will be required in this case.

- a. In case 2026-011886-HDRB, for 521 Calle Corvo, approve or deny the application as submitted.
- b. In case 2026-011886-HDRB, for 521 Calle Corvo, approve/deny the exceptions to 14-4.6(G)(4)(I)(a) historic windows shall be repaired or restored wherever possible, 14-4.6(G)(4)(I)(c) no new opening shall be made where one presently does not exist unless historic documentation supports its prior existence, and 14-4.6(G)(4)(II)(a) architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced, finding that the exception criteria have not been met.
- c. In case 2026-011886-HDRB, for 521 Calle Corvo, approve/deny the elements of the project that do not require an exception.

Should the Board deny the exception and application requests, the applicant shall return with an alternative proposal for review and approval before proceeding to a building permit.

The property lies within the Historic Downtown Archaeological Review District. See Chapter 14, SFCC, Article 14-4.2. There may be archaeological concerns associated with this project, and archaeological clearance may be required.

BACKGROUND & SUMMARY:

The single-family residence at 521 Calle Corvo is listed as contributing to the Downtown and Eastside Historic District with the south façade designated as primary. The GIS map, 1984 Historic Cultural Properties Inventory, and historic cases refer to the structure as contributing. However, there is no record of a status review. Most likely, the status is a result of the mass inventory of the historic districts in the early 1980s.

The structure was built in 1946 in the Territorial Revival architectural design style, as seen by the red brick coping on top of the parapet, recessed wooden framed picture windows, and terra-cotta tile on the entry portal, commonly observed on the Calle Corvo streetscape. In September of 2025, Mr. John Murphey conducted a Historic Cultural Property Inventory (HCPI) survey form on the property and concluded that since the main residential structure has maintained its original footprint since 1958, the structure should remain contributing and further that the south façade should be designated as primary (Murphey 2025:12). Based on aerial evidence and the 1984 HCPI, the garage (521A) was constructed between 1984 and 1992. No garage was noted in the 1984 HCPI.

PREVIOUS CASE SUMMARIES:

On January 13, 2026, in Case No. 2025-011537-HDRB, the Historic Districts Review Board (Board) adopted staff's recommendation to maintain the status of the house as contributing and facades 1, 2, 3, and 4, including the portal as primary, excluding doors and windows that are demonstrated to satisfaction to the Board as non-historic and that would apply as well to window openings and door openings, also adopting staff's recommendation that the garage structure be designated as non-contributing due to age, and the yard wall be designated as non-contributing for the same reason.

On May 29, 2001, in Case No. H-01-72, the Board made a motion to conditionally approve the request to build a 685 sq. ft. addition to the non-primary north façade.

APPLICANT'S REQUEST:

The applicant proposes the following exterior alterations:

- 1) Construct a 348 sq. ft. addition to the height of 14'-05" to the northwest corner of the structure.
- 2) Re-stucco in cementitious stucco color "Suede".
- 3) Re-roof with TPO roofing system.
- 4) New Exterior wood stain color "Dark Walnut".
- 5) New metal clad wood frame windows color "Dark Bronze". An exception to 14-4.6(G)(4)(I)(a) historic windows shall be repaired or restored wherever possible is requested for the proposed wholesale window replacement.
- 6) Narrow a window on the south primary façade from 4' high by 4' wide to 3' high by 4' wide and requests an exception to 14-4.6(G)(4)(I)(a) no window opening shall be widened or narrowed.
- 7) Replace terra-cotta roof on the south primary façade including the portal and requests an exception to 14-4.6(G)(4)(II)(a) architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced.

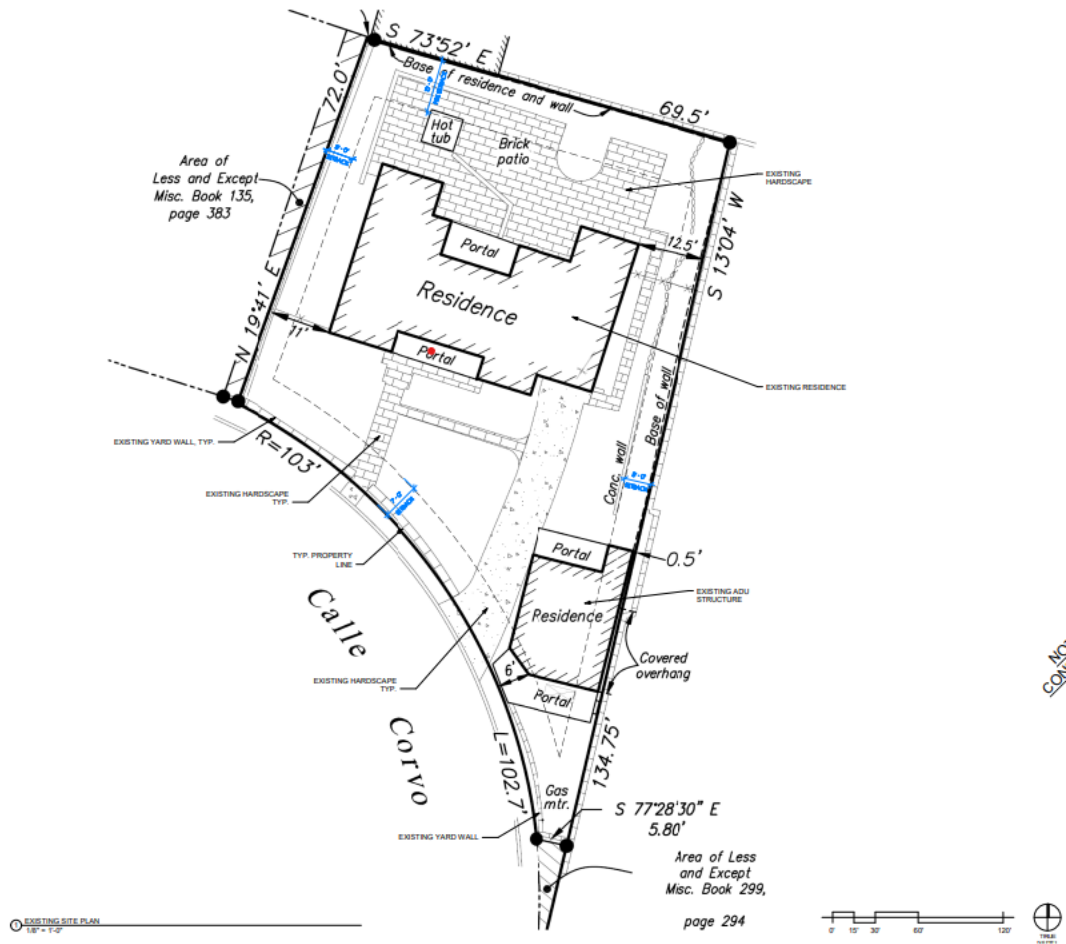


Figure 1. Existing Site Plan.

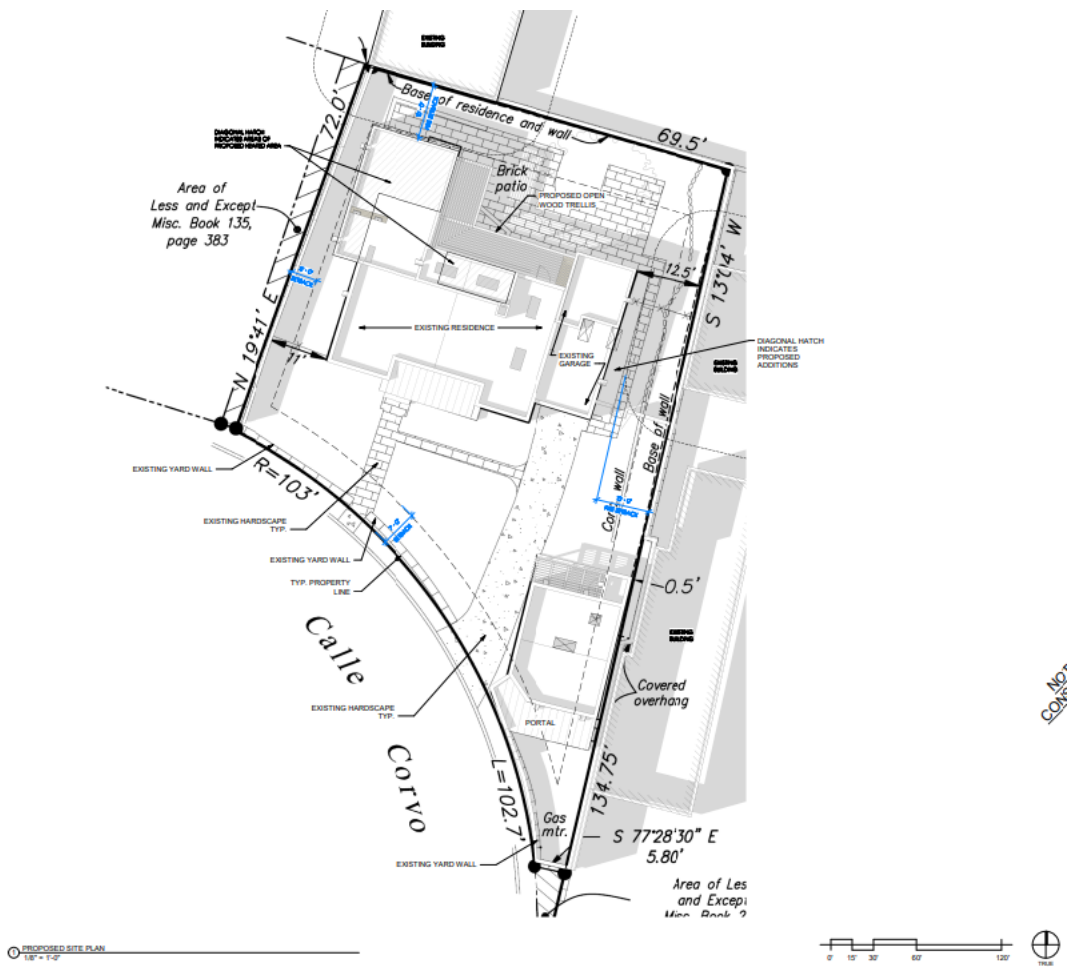


Figure 2. Proposed Site Plan.



EXISTING FLOOR PLAN
 DESIGNATED PRIMARY FACADES INDICATED BY ORANGE LINE

Figure 3. Existing Floor Plan.

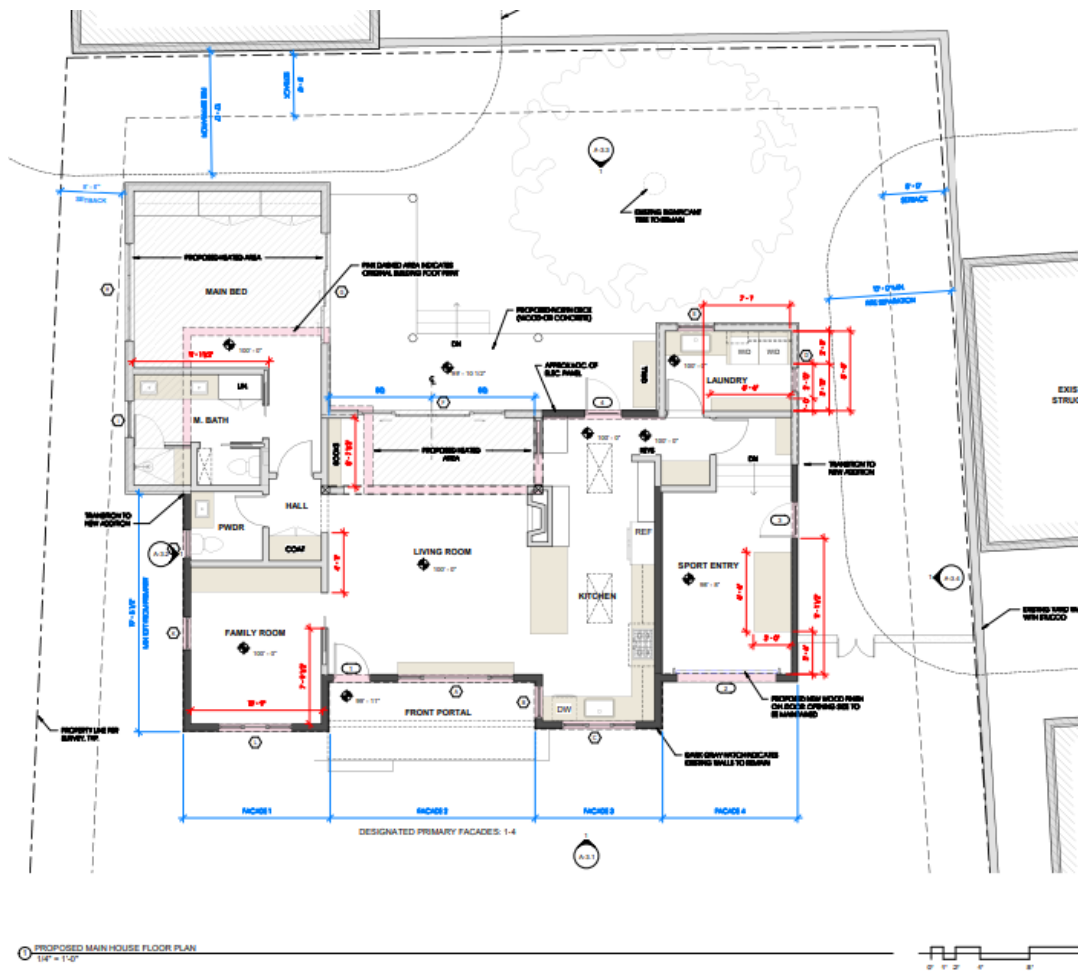


Figure 4. Proposed Floor Plan.

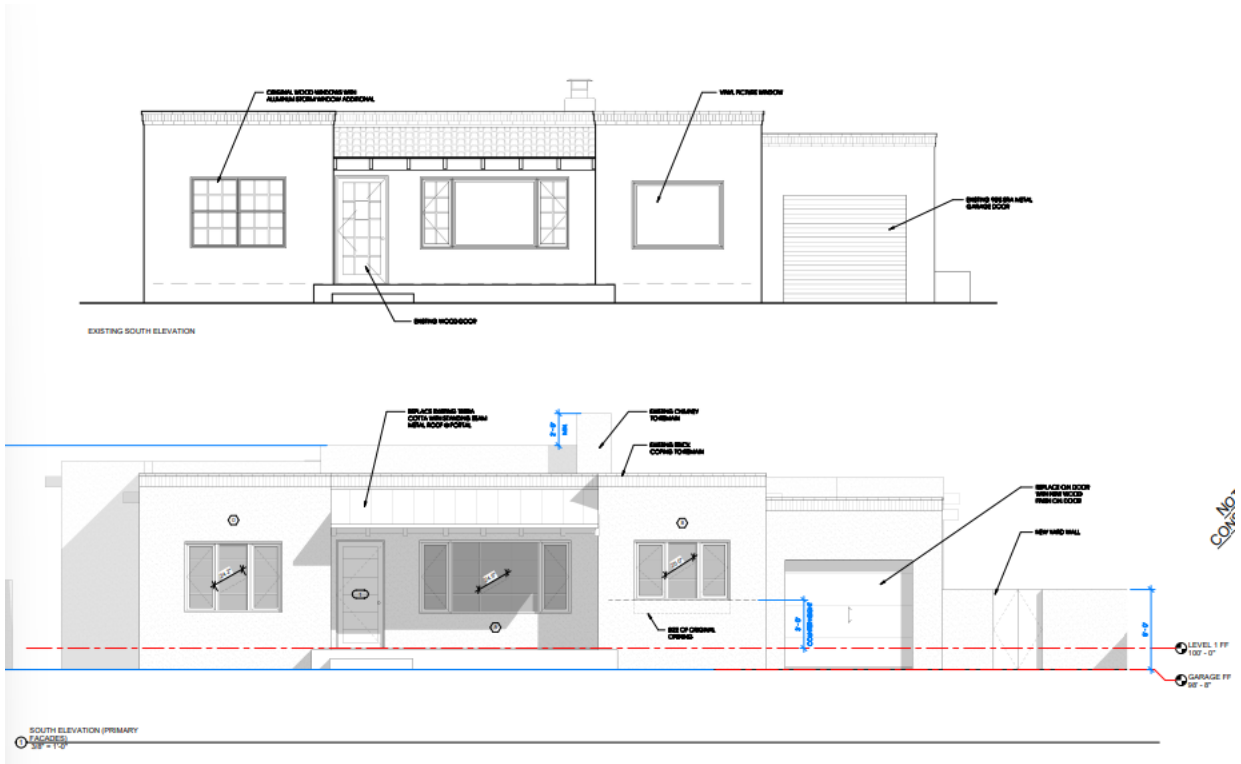


Figure 5. Existing and Proposed South Elevation.

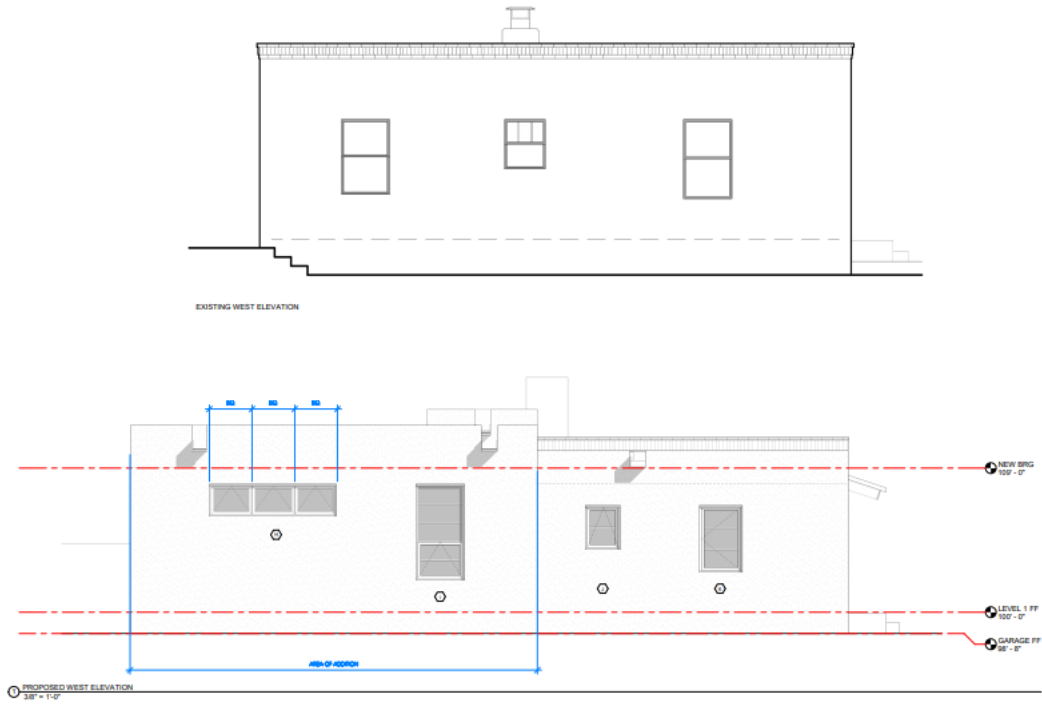


Figure 6. Existing and Proposed West Elevation.

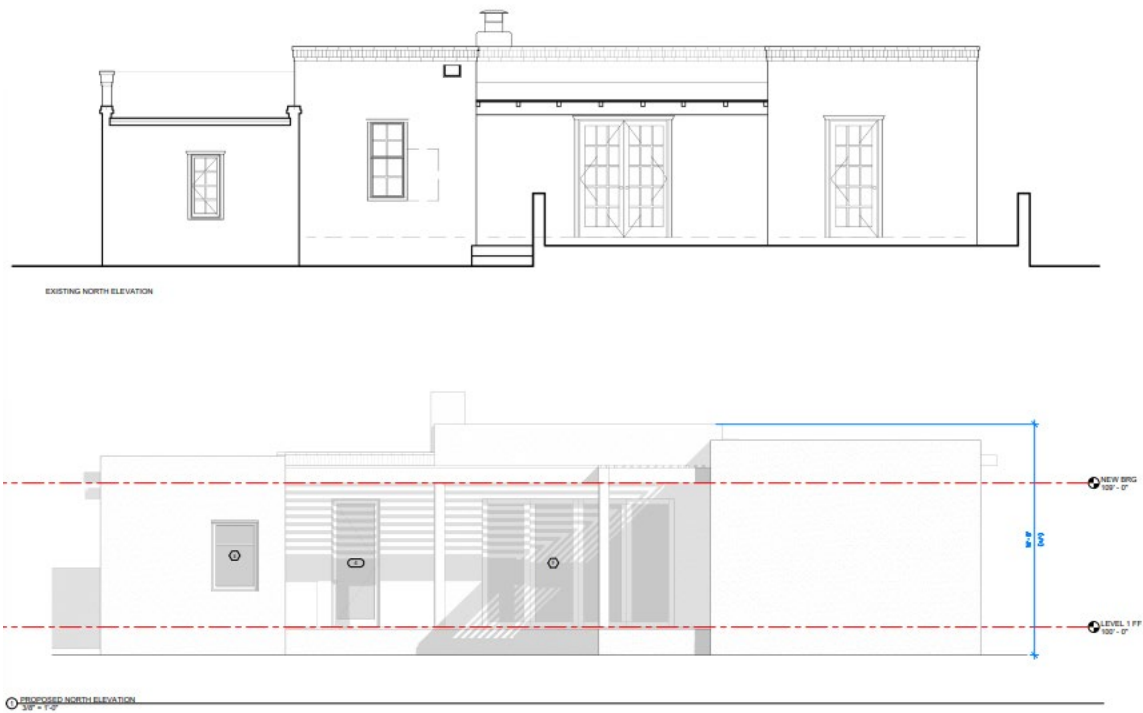


Figure 7. Existing and Proposed North Elevation.

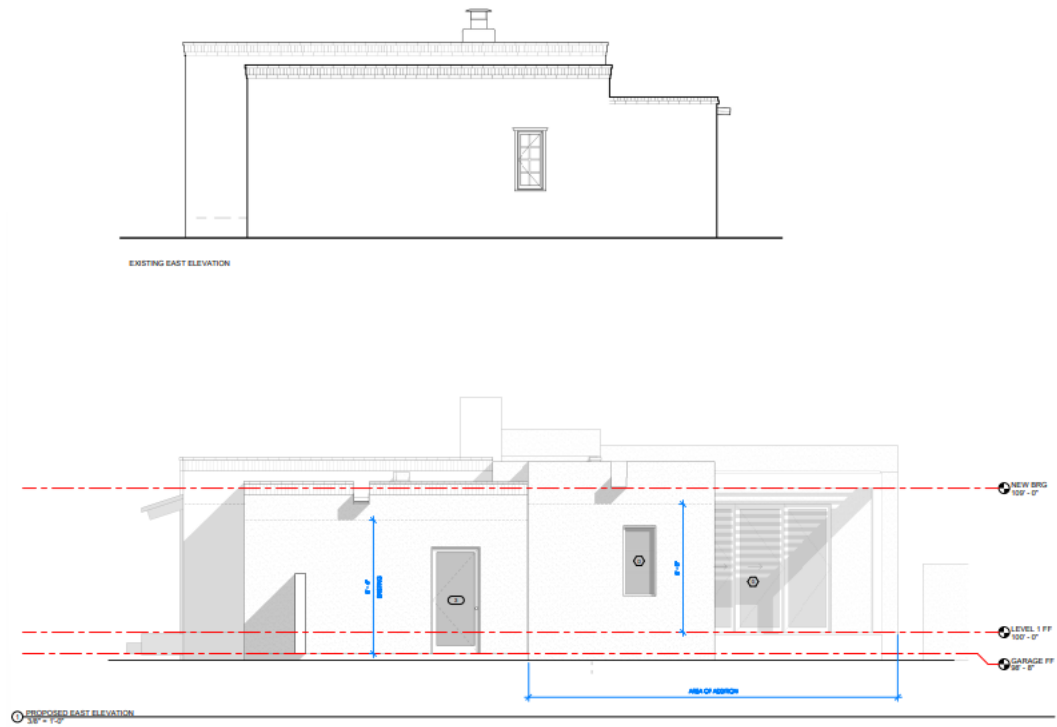


Figure 8. Existing and Proposed East Elevation.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-4.6(G)(4)(I)(a) historic windows shall be repaired or restored wherever possible: The applicant requests an exception to replace historic windows on the south primary façade.

(i) *Do not damage the character of the district*

Applicant Response: We believe the proposed new window package not only prevents any damage to the district, but actually brings the house into better compliance with the district’s design values, most specifically relating to the divided-lite windows. You will see in our proposal elevations that the eastern most window on the south façade, window unit “C” (see elevations), was at some point replaced with a picture window.

Staff Response: Staff finds that this criterion is not met. The proposed wholesale window replacement with divided-lite windows on the south primary façade change the historic conception and give a false sense of history on this streetscape where many of the homes on Calle Corvo were constructed with picture windows.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The hardship inflicted on the client by having to repair all of the existing windows rather than replace them with windows of today’s construction and energy standards is multifold. In the case of this particular house, the first hardship is a tandem issue of energy and finances. The thermal and air infiltration of new windows is substantially better than windows made between 1940-1980, which is the approximate range of units we’re dealing with. The notion of repairing the disjointed set of windows on the south façade, just for them to ultimately cost the owner more through energy loss, is an undue hardship that can be easily avoided. From the perspective of design congruence and the ultimate durability of the whole window system, it would also be silly to replace the rest of the windows, which are permitted to be changed, and not those on the southern façade. Anyone familiar with Santa Fe’s climate and strong sun knows that metal clad windows are a standard here due to metal’s ability to resist the sun and extreme dryness, especially on southern facades.

Staff Response: Staff finds that this criterion is not met. The applicant poses a good argument, however given the current code citation which states, “historic windows shall be repaired or restored wherever possible” on the primary facades the applicant has not provided sufficient information to justify the removal of historic windows and more information is needed for the Board to determine the current condition of these historic doors and windows.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: In terms of design options, the alternative to the proposed full window package would be to somehow repair or replace in-kind the windows that are existing – windows that wouldn’t comply with the HPD standards to begin with, like window “C”. Rather than play that game, we believe it is the most reasonable option to allow a full new window package, during which previously made design anomalies and compliance issues would be ironed out in one fell swoop, whilst enhancing the beauty of the streetscape and enabling the owners to inhabit the district comfortably. This will ultimately contribute to the district’s longevity (which suffers from many second-home-ers (empty houses), lack of young families, etc.) via their investment and full-time presence.

Staff Response: Staff finds that this criterion is not met. The applicant proposes another relative argument, however the applicant has not provided the Board a full range of design options to consider, rather they have

chosen to present a whole-sale window replacement with limited information on the reparability of the historic windows. Additional information is needed for the Board to make a decisive decision for the proposed window replacement.

Exception to 14-4.6(G)(4)(I)(a) no opening shall be widened or narrowed: The applicant requests an exception to narrow a historic window opening from 4' high by 4' wide to 3' high by 4' wide.

(i) *Do not damage the character of the district*

Applicant Response: We believe the proposed new window package not only prevents any damage to the district, but actually brings the house into better compliance with the district's design values, most specifically relating to the divided-lite windows. You will see in our proposal elevations that the eastern most window on the south façade, window unit "C" (see elevations), was at some point replaced with a picture window.

Staff Response: Staff finds that this criterion is not met. Given the Board's recent status review and primary façade designation for the subject property, the current request to narrow the picture window would adversely impact the primary façade and the streetscape and additional information is needed to assess the current condition of the historic window opening.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The hardship inflicted on the client by having to repair all of the existing windows rather than replace them with windows of today's construction and energy standards is multifold. In the case of this particular house, the first hardship is a tandem issue of energy and finances. The thermal and air infiltration of new windows is substantially better than windows made between 1940-1980, which is the approximate range of units we're dealing with. The notion of repairing the disjointed set of windows on the south façade, just for them to ultimately cost the owner more through energy loss, is an undue hardship that can be easily avoided. From the perspective of design congruence and the ultimate durability of the whole window system, it would also be silly to replace the rest of the windows, which are permitted to be changed, and not those on the southern façade. Anyone familiar with Santa Fe's climate and strong sun knows that metal clad windows are a standard here due to metal's ability to resist the sun and extreme dryness, especially on southern facades.

Staff Response: Staff finds that this criterion is not met. No hardship has been found to change the current dimensions of the picture window on the primary façade.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: In terms of design options, the alternative to the proposed full window package would be to somehow repair or replace in-kind the windows that are existing – windows that wouldn't comply with the HPD standards to begin with, like window "C". Rather than play that game, we believe it is the most reasonable option to allow a full new window package, during which previously made design anomalies and compliance issues would be ironed out in one fell swoop, whilst enhancing the beauty of the streetscape and enabling the owners to inhabit the district comfortably. This will ultimately contribute to the district's longevity (which suffers from many second-home-ers (empty houses), lack of young families, etc.) via their investment and full-time presence.

Staff Response: Staff finds that this criterion is not met. The applicant has not provided the Board a full range of design options to consider, additional information is needed for the Board to make a decisive decision for the proposed narrowing of the historic window opening.

Exception to 14-4.6(G)(4)(II)(a) architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced : The applicant requests an exception to replace the terra-cotta portal roof tile with a metal standing seem roof.

(i) *Do not damage the character of the district*

Applicant Response: We believe the metal roof and the terra cotta roof share a similar level of importance when it comes to authentically representing the history of New Mexico. While terra cotta is a historic material in many parts of the world, it was always used as a superficial material in New Mexico and California to trigger a Mediterranean look and feel. Truthfully, metal roofs have a much longer history in our region, where they have been regularly used for hundreds of years. Especially studying the history of northern New Mexican architecture, you will find much more metal roofing than terra cotta tiles, probably due to metal's much enhanced durability-to-price ratio. Secondly, in terms of the district's character and the typical material palates, one can find many instances of territorial brick coping on the parapets, paired with metal awnings over portals, etc. This palette is exactly what we suggest.

Staff Response: Staff finds that this criterion is not met. The defining character of the Calle Corvo streetscape is what needs to be taken into consideration and several properties have portals with the terra cotta tiling as roofing material. There are no properties along this streetscape that have metal standing seem portal roofs publicly visible on Calle Corvo.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: Terra cotta is unfortunately a very brittle material and is susceptible to impact damage as well as freeze-thaw expansion damage. Terra cotta was never meant to be used on roofs where snow loads are expected, though it can endure lots of sunlight. Our terra cotta roof eave detailing is also often not done well, which has led to water damage below on the carrying wood structure. A metal roof would give us the chance to properly flash the assembly, as well as install metal gutter to keep water away from the entry and foundation of the house. It would be an undue hardship on the owner not to be able to improve the building assembly in this way, especially considering the expense of roof and water damage in the future.

Staff Response: Staff finds that this criterion is not met. No hardship has been found to change the roofing material from terra cotta tile to a metal standing seem roof.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: Needless to say, the only other option here is to leave the terra cotta roof as it is. While we understand the primary façade nature of the portal, the metal roof seems like a reasonable solution to improving the longevity of the house, maintaining and improving the character of the district, and ensuring the occupants are able to remain in the historic district, contributing to its longevity and quality as a neighborhood. Attempts to modify the terra cotta roof to perform better according to the grievances above also may not result in an architecturally pleasing outcome, which we believe the HPD would not appreciate, and why we suggest it be avoided.

Staff Response: Staff finds that this criterion is not met. The applicant has not provided a full range of roof options for the current terra cotta tile portal. A metal standing-seem roof option seems to be an extreme change

to the historic portal that currently exists. Additional information may need to be requested to clearly identify the best options for re-roofing the portal with the proper material.

RELEVANT CODE CITATIONS:

14-4.6 HISTORIC DISTRICTS

A. General Provisions

1. Purpose

In order to promote the economic, cultural, and general welfare of the people of Santa Fe and to ensure the harmonious, orderly, and efficient growth and development of the City, the Governing Body deems it essential to preserve the qualities relating to the history and culture of Santa Fe, maintain a harmonious outward appearance to preserve property values, and attract residents and tourists alike. The specific purposes of this section are to preserve qualities relating to the history of Santa Fe, such as the following:

- I. Continue the existence and preservation of historic areas and buildings;
- II. Continued construction of buildings in Santa Fe's historic styles; and
- III. General harmony as to architectural style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

2. Conflicting Standards

I. Zoning District Regulations

All designated landmarks and all properties located in historic districts shall be subject to the regulations of the base zoning district in which they are located, except for height as regulated in Section 14-4.6E, *General Design Standards for All Historic Districts*. When the requirements of the base zoning district conflict with the requirements of this Section 14-4.6, *Historic Districts*, the more restrictive standard shall apply.

II. Multiple Overlay Regulations

When a designated landmark or property located in a historic district is also located within another overlay, and there is a conflict between the requirements of the historic district and the other applicable overlay district, the more restrictive standard shall apply.

5. Boundaries

- a. The boundaries for the historic districts are as shown on the Official Zoning Map and incorporated in this Code by reference.
- b. If the boundary line of a historic district bisects or crosses a property without encompassing the entire lot, the applicable requirements of the historic district shall be as determined by the Planning and Land Use Director.

6. Design of Buildings

Full responsibility for the design and development of structures is upon the applicant. The case file of any prior application related to a property is available for review by the applicant upon request.

7. Nonconforming Buildings and Structures

Any building or structure in the historic district that does not meet the standards for architectural style outlined in this section shall be considered nonconforming, and subject to the provisions of Section 14-1.13(), *Legal Nonconforming Structures*, unless given special approval by the HDRB for architectural or historic interest, or unless individually entered in the state register of cultural properties or in the national register of historic places or designated as significant on either register.

B. Minimum Maintenance Requirements

All historic landmarks and all buildings and structures in the historic districts shall be preserved against decay and deterioration and maintained free of structural defects. The owner or other person having legal custody and control of the building or structure shall repair such building or structure if any of the following defects are found:

1. Parts attached to a building or structure in a manner that they may fall and injure people or property;
2. Deteriorated or inadequate foundation;
3. Defective or deteriorated flooring or floor supports or flooring for floor supports of insufficient size to carry imposed loads safely;
4. Walls or parts of walls, partitions, gates, fences, or other vertical supports that split, lean, list, or buckle due to defective material or deterioration or that are of insufficient size to carry imposed loads safely;
5. Ceilings or parts of ceilings, roofs, ceiling and roof supports, or other horizontal components that sag, split, or buckle due to defective material or deterioration, or that are of insufficient size to carry imposed loads safely;
6. Fireplaces or chimneys that list, bulge, or settle due to defective material or deterioration, or that are of insufficient size or strength to carry imposed loads safely;
7. Deteriorated, crumbling, or loose plaster or stucco;
8. Deteriorated or ineffective waterproofing of exterior walls, roofs, foundations, or floors, including broken windows or doors;
9. Lack of weather protection or defective weather protection for exterior wallcovering, including lack of paint, or weathering due to lack of paint or other protective covering; or
10. Any fault or default in the building or structure that renders it structurally unsafe or not properly watertight.

C. Buildings with Significant or Contributing Historic Status

I. Purpose

Historic designation is intended to address the following:

- I. Recognizing each structure as a physical record of its time, place, and use.
 - II. Preventing changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings;
 - III. Preserving and retaining changes to structures that have acquired historic importance in their own right, recognizing that most structures change over time;
 - IV. Preserving distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure; and
 - V. Avoiding making new additions and related or adjacent new construction in such a manner that, if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.
2. Designation of Significant, Contributing, or Noncontributing Status

I. Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing," as defined in Section 14-9.3, *General Definitions*. Staff shall maintain a record as to the current status of structures located in the historic districts.

II. HDRB Authority to Review Status Designation

- a. The HDRB may change the status of a structure or designate a status for a structure that has no status designated.
- b. A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."
- c. When the HDRB designates a structure as contributing, it shall also specify which facades of the structure are primary.

V. Restoration of Status

If a property owner makes changes to a structure without the proper City approvals, which result in the lowering of the structure's status, staff or the Board may require the property owner to restore the structure such that its former status is restored.

3. Review by Historic Districts Review Board Required

- I. Except where this chapter provides for review by staff, the HDRB shall review all applications for new construction, alteration, or demolition in the historic districts and of landmark structures throughout the city, based on the standards set forth in this section.
- II. The historic board shall judge any proposed alteration or new structure for harmony with adjacent buildings, preservation of historical and characteristic qualities, and conformity to the standards for architectural style set forth in this section.
- III. The HDRB may approve, deny, approve with conditions, or, with the consent of the applicant, postpone an application.
 - a. For applications approved with conditions, no permit shall be issued until the HDRB conditions have been met.
 - b. An application that is postponed shall be heard at a date agreed upon by the HDRB and the applicant.
- IV. No permit shall be issued until the time for appeal to the Governing Body has expired.

4. Compliance with General and Specific Design Standards Required

All development located within the historic districts and subject to this section shall comply with all applicable general development standards set forth in Section 14-4.6E), *General Design Standards for All Historic Districts*, as well as any applicable specific development standards set forth in Section 14-4.6G), *Additional District-Specific Design Standards*.

D. Exceptions

The HDRB may grant an exception to the regulations set forth in this section, provided that such exception does not exceed the underlying zoning, except when the board of adjustment grants a variance. Staff shall determine whether an exception to general design and preservation standards described in Section 14-4.6E is required and shall recommend that the HDRB approve, approve with conditions, or deny the exception.

1. Height

If an applicant requests approval of a height in the historic district that exceeds the underlying zoning district requirement, the applicant shall first receive an exception to this section. If the HDRB approves a requested height exception, the applicant shall proceed to the Board of Adjustment or other applicable city body for consideration of the proposed variance, as described in Section 14-2.1H.1.

2. Design Standards

The HDRB may review and grant or deny requests for exceptions to all provisions of Section 14-4.6E, *General Design Standards for All Historic Districts* (except provisions regarding Height, Pitch, Scale, Massing, and Floor Stepbacks).

14-4.6G) for construction or alterations within the historic districts, and Section 14-7.61) for signs in historic districts. Exceptions are project-specific and do not apply to the subject property in perpetuity.

I. Procedure

When requesting exceptions, the applicant shall use the procedures for public notice and hearing in Section 0), unless the applicant also requests a variance to the underlying zoning. In such a case, the applicant for the historic ordinance exception shall not be required to publish a separate legal ad in the local newspaper. Publication of the agenda is still required.

II. Approval Criteria

To approve an exception, the HDRB shall make findings of fact that the applicant conclusively demonstrated that the requested exceptions comply with all the criteria listed as follows:

- a. Do not damage the character of the district;
- b. Are required to prevent a hardship to the applicant or an injury to the public welfare; and
- c. Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

3. Height, Pitch, Scale, Massing, and Floor Stepbacks

The HDRB is responsible for reviewing and granting or denying requests for exceptions from regulations in Section 14-4.6F. The HDRB may grant exceptions and impose conditions thereon to Section 14-4.6F) for the height of structures within the historic districts as specified in Section 14-4.6F.1).

Exceptions are project-specific and do not apply to the subject property in perpetuity.

I. Procedure

When requesting exceptions, the applicant shall use the procedures for public notice and hearing in Section 0), unless the applicant also requests a variance to the underlying zoning. In such a case, the applicant for the historic ordinance exception shall not be required to publish a separate legal ad in the local newspaper. Publication of the agenda is still required.

II. Approval Criteria

To approve an exception, the HDRB shall make findings of fact that the applicant conclusively demonstrated that the requested exceptions comply with all the criteria listed as follows:

- a. Do not damage the character of the streetscape;
- b. Prevent a hardship to the applicant or an injury to the public welfare;
- c. Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts;
- d. Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape;
- e. Are due to special conditions and circumstances which are not a result of the actions of the applicant; and
- f. Provide the least negative impact with respect to the Purpose of this section as set forth in Section 14-4.6A.1.

E. General Design Standards for All Historic Districts

These standards shall apply to all additions or alterations to existing structures in the Historic Districts. Contributing, significant, and landmark structures may be subject to specific additional restrictions and district-specific standards in Section 14-4.6G).

I. General

- I. The historic status of a property with a historic status designation of significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a property to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status is prohibited.
- II. If a proposed alteration or new construction will cause an adjacent property to lose its significant, contributing, or landmark status, the application may be denied.
- III. For the regulations of this subsection, all facades of a significant structure are primary facades.

2. Building Additions

I. Design

- a. Building additions that meet the standards of Section 14-4.6G.2), *Downtown and Eastside Historic District*, shall continue to meet those standards, in addition to the standards set forth in this section.
- b. Building additions shall have similar materials, architectural treatments and styles, features, and details as the existing structure, but shall be distinguishable from and not attempt to duplicate the existing structure.

- II. Size and Location
 - a. Building additions are not permitted on primary facades.
 - b. All building additions shall be set back a minimum of ten feet from the primary facade.
 - c. Building additions shall not exceed 50 percent of the square footage of the building's historic footprint and shall not exceed 50 percent of the historic length in linear feet of the primary facade.
 - d. To the extent architecturally practicable, new building additions shall be attached to any existing non-primary facade of a structure rather than attaching them to the primary facade of a structure.
- III. Height
 - a. The maximum height of building additions to significant and landmark structures shall be at least six inches lower than the parapet or equivalent roof feature of the existing adjacent connecting facade.
 - b. Building additions to contributing structures shall be no more than one additional story higher than the existing structure. To the extent architecturally practicable, two-story additions shall be set to the rear or the side rear of the structure. When an additional story is to be placed upon an existing contributing structure, that footprint may be no greater than fifty percent of the footprint of the existing structure, subject to the provisions of Subsection A(1) above. For the purposes of this paragraph, an additional story shall not exceed twelve (12) feet from the existing rooftop to the highest point of that story.
- IV. Remodeling to Increase Height
 - a. For remodeling of an existing significant or landmark structure, no increase in height of the structure is permitted.
 - b. For remodeling an existing contributing structure, a height increase may be permitted through approval of an exception, as described in Section 14-4.6D.
- V. Rooftop Equipment
 - Rooftop equipment, including but not limited to solar collectors, clerestories, decks, or mechanical equipment, may only be installed on contributing and noncontributing structures and shall not be publicly visible, nor shall a parapet be raised to conceal such equipment.
- 3. Porches and Portals
 - Existing porches or portals on significant and landmark structures, and on primary facades of contributing structures, shall not be permanently enclosed.

4. Windows, Doors, and Other Architectural Features

- I. For all facades of significant and landmark structures and for the primary facades of contributing structures:
 - a. Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double-pane glass may be used. No window opening shall be widened or narrowed.
 - b. Window depth and other characteristics of window and door fenestration shall be preserved.
 - c. No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - d. No historic opening shall be closed.
- II. For all facades of contributing, significant, and landmark structures:
 - a. Architectural features, finishes, and details other than doors and windows shall be repaired rather than replaced.
 - b. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities.
 - c. Replacement or duplication of missing features shall be substantiated by documentation, physical, or pictorial evidence.

5. Roofs

The existing historic roof styles and materials shall be maintained or replaced in kind if necessary. The addition of dormers or other roof features should only be considered when they are an existing historic feature of the structure.

6. Surface Cleaning

The surface cleaning of structures shall employ the gentlest means possible. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials are not permitted.

7. Archaeological Resources

Discovery of archaeological resources made during the development of a historic property shall be referred to the Archaeological Review Committee. See Section 14-2.1G.1.V.c, *Unexpected Discoveries*.

8. Signs

Sign applications and required submittals shall be reviewed by the Planning and Land Use Department. Approval or denial shall be indicated by the department on the application for the construction permit and on each of the required submittals.

9. Murals

If an application impacts a mural funded through the art in public places program or is otherwise within the scope of the arts commission's enabling responsibilities,

The HDRB may refer the application to the City Arts Commission. If a proposed mural does not meet the criteria in the historic ordinance, an exception is required.

10. Pedestrian-Oriented Areas

- I. The HDRB shall recommend to the Governing Body appropriate streets or portions of streets within the historic district to be set aside for pedestrian-oriented areas.
- II. The Governing Body may set aside the areas recommended, provided that three-fourths of the property owners adjoining the street or portion of street affected have given consent thereto.
- III. Such pedestrian-oriented areas shall be closed to vehicular traffic, and any improvements made by the City in the public right-of-way within the area shall be for pedestrian purposes.
- IV. No pedestrian-oriented area shall be set aside unless there is adequate space available conveniently related to the area for vehicle parking. The HDRB's recommendation to the Governing Body shall include a statement of the available parking spaces.

F. Additional District-Specific Design Standards

2. **Downtown and Eastside Historic District**

The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

- I. Old Santa Fe Style
 - Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:
 - a. With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior

portal, the outer edge of the roof being supported by wooden columns.

Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved, and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, open slightly ogive, over gateways in freestanding walls.

- b. All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color or have mural decorations.
 - c. Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
 - d. The rules as to flat roofs shall not be constructed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
 - e. True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible, provided that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and
 - f. It is characteristic of Old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.
- II. Recent Santa Fe Style
- Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion,

and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- a. No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks, or other design elements;
- b. The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- c. No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- d. No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- e. The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish, and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complementary colors. Windows, doors, and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles, except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic, and
- f. Flat roofs shall have not more than thirty (30) inches overhang.