

17 November 2025

City of Santa Fe Historic Preservation Division
200 Lincoln Avenue
Santa Fe, New Mexico 87501
505-955-6629

RE: 302 Camino Cerrito, Santa Fe, NM 87505- Proposal Letter

Dear HPD Staff:

This is Efrain. I am acting as the consultant and representative for the owner and contractor throughout the Historic District application process.

The scope of work is to build a new single car carport. There is an existing carport and, in the property, and the intent is to match the architectural style – Concrete spot footings, 6x6-in. column, 6x8-in. beams, 2x6-in. roof joist, 1x6-in. plank decking, and roof metal panel. Rough-sawn wood will be utilized, with clear wood sealant applied to prevent deterioration. Please refer to exhibit A (drawing), and exhibit B (photos) for reference.

We kindly ask for HDRB approval for the above-mentioned scope of work at 302 Camino Cerrito.

Please feel free to contact me at p:505.310.3885 or e:efrain@integralccg.com for any additional information on the proposed scope of work. I will be more than happy to provide all the documentation needed.

Sincerely,

Efrain Cuna
505.310.3885



NEW SINGLE CAR CARPORT

302 CAMINO CERRITO, SANTA FE NM 87505

CONSULTANT:



EFRÁIN CUNA
(PROJECT MANAGER)
PHONE: (505) 310-3885

DRAWING INDEX

STAMP:

**NEW SINGLE CAR
CARPORT**
302 CAMINO CERRITO
SANTA FE, NM 87505

PROJECT STATUS:

No.	REVISIONS	DATE
1		
2		
3		
4		
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JOB NUMBER:
DATE:
SCALE: As indicated
DRAWN BY:
REVIEWED BY:

COVER SHEET

CS

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CODE: 2021 NM RESIDENTIAL BUILDING CODE
2021 NM PLUMBING CODE
2021 NM MECHANICA CODE
2020 NM ELECTRICAL CODE
2018 NM ENERGY CONSERVATION CODE

ZONE: RC8; ACRC8 COMPOUND 8DU/AC
OVERLAY DISTRICT: HISTORIC DISTRICT: DOWNTOWN & EASTSIDE

LEGAL DESCRIPTION: S30 T17N R10E 2-B
OCCUPANCY GROUP: R-3; SINGLE FAMILY RESIDENCE

SETBACKS: STREET: NONE (EXISTING 6' WALL)
SIDE: 5 FT
REAR: 5FT (EXISTING 6' WALL)

HEIGHT: 24 FT MAX

OWNER: DENNIS B & ROBERT K BROWN KARBACH

SITE: 302 CAMINO CERRITO, SANTA FE NM

SCOPE: NEW SINGLE CAR CARPORT

CONSTRUCTION TYPE: V-B; WOOD FRAME

BUILDING AREA:

EXISTING MAIN HOUSE	1,795 SF
EXISTING CASITA	888 SF
EXISTING CARPORT	158 SF
EXISTING PORTALS	770 SF

PROPOSED CARPORT 286 SF

TOTAL ROOFED AREA: 3,897 SF

LOT SIZE: 0.1650826 AC
7191 SF

LOT COVERAD AREA: 54.19%
MAX LOT COVERAGE (%): 54.19% < 55% 40:55 IF PRIVATE OPEN SPACE

OPEN SPACE:

PORTALS	770 SF
CARPORTS	444 SF
LANDSCAPED AREA	2755 SF

TOTAL OPEN SPACE AREA: 3,969 SF

PROVIDED OPEN SPAC (%): 55.19%

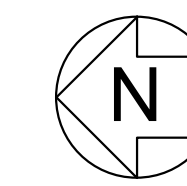
MIN REQ. OPEN SPACE 250X2 (500 SF) < 3,969 SF

UTILITY DATA

WATER	PUBLIC COSF
SEWER	PUBLIC COSF
GAS	NM GAS
ELECTRIC	PNM



VICINITY MAP



PROJECT LOCATION

SHEET NUMBER	SHEET NAME
GENERAL	
CS	COVER SHEET
Civil	
C-1	EXISTING SITE PLAN
C-2	SITE PLAN
STRUCTURAL	
S1	STRUCTURAL FOUNDATION & ROOF FRAMING PLAN WITH STANDARD DETAILS
ARCHITECTURAL	
A-1	FLOOR PLAN, ROOF PLAN, NORTH-SOUTH-EAST-WEST ELEVATIONS

CONSULTANT:

EFRAÍN CUNA
 (PROJECT MANAGER)
 PHONE: (505) 310-3885

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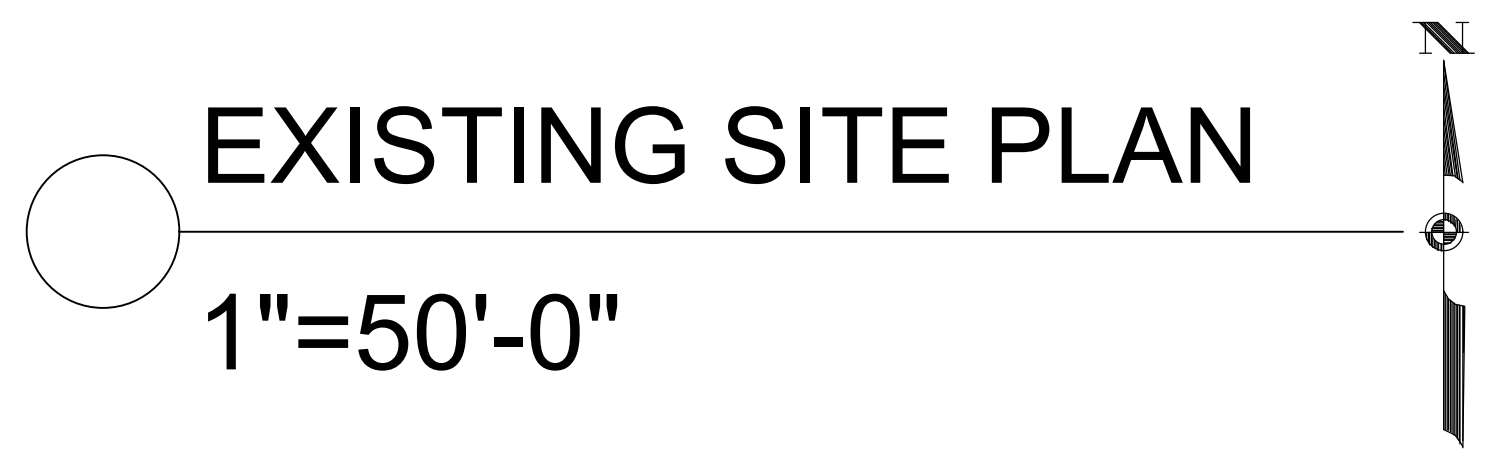
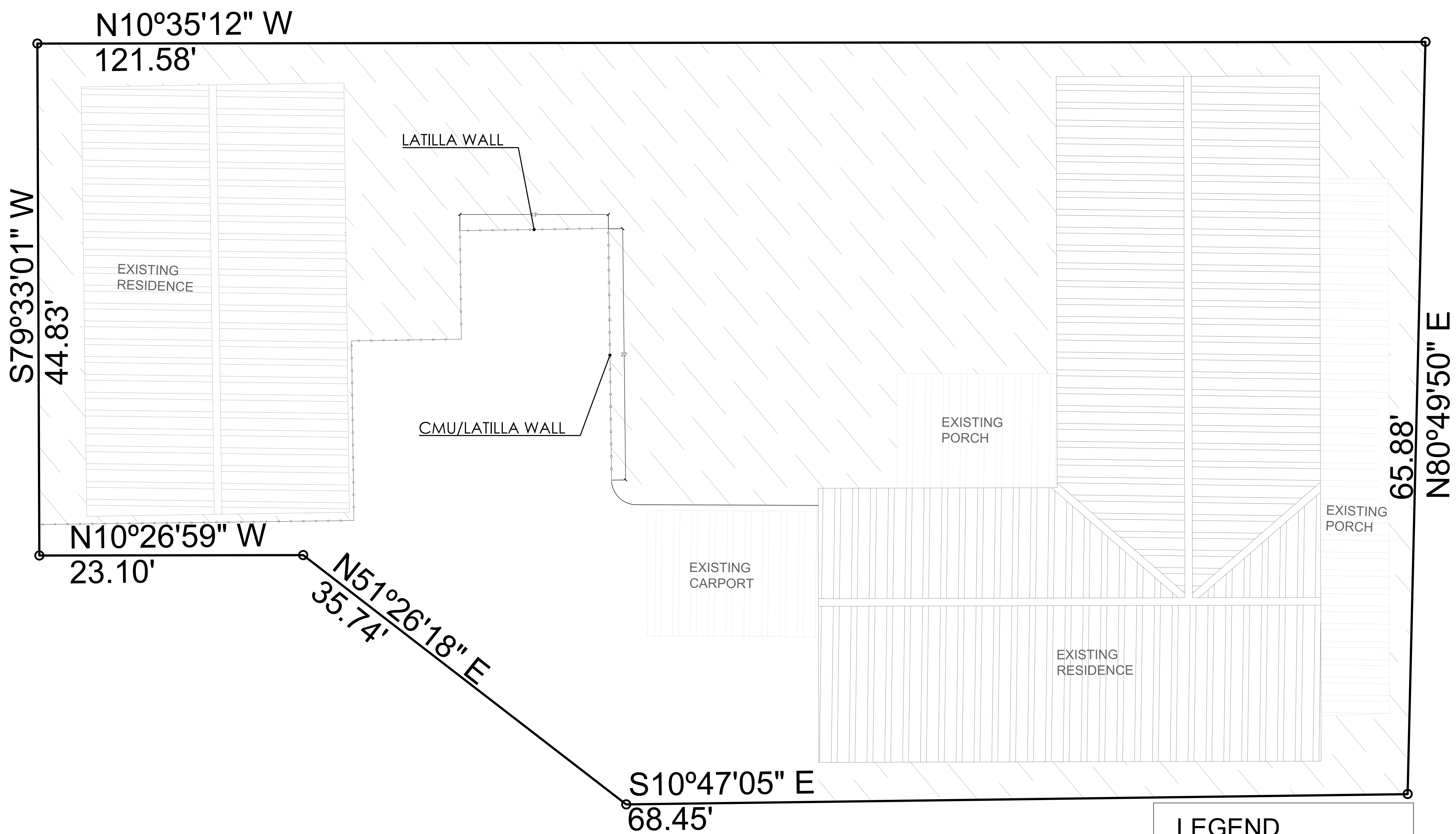
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EXISTING SITE PLAN

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C-1



LEGEND

-  LATILLA WALL
-  CMU/LATILLA WALL
-  OPEN SPACE AREA

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 302 CAMINO CERRITO
 SANTA FE, NM 87505

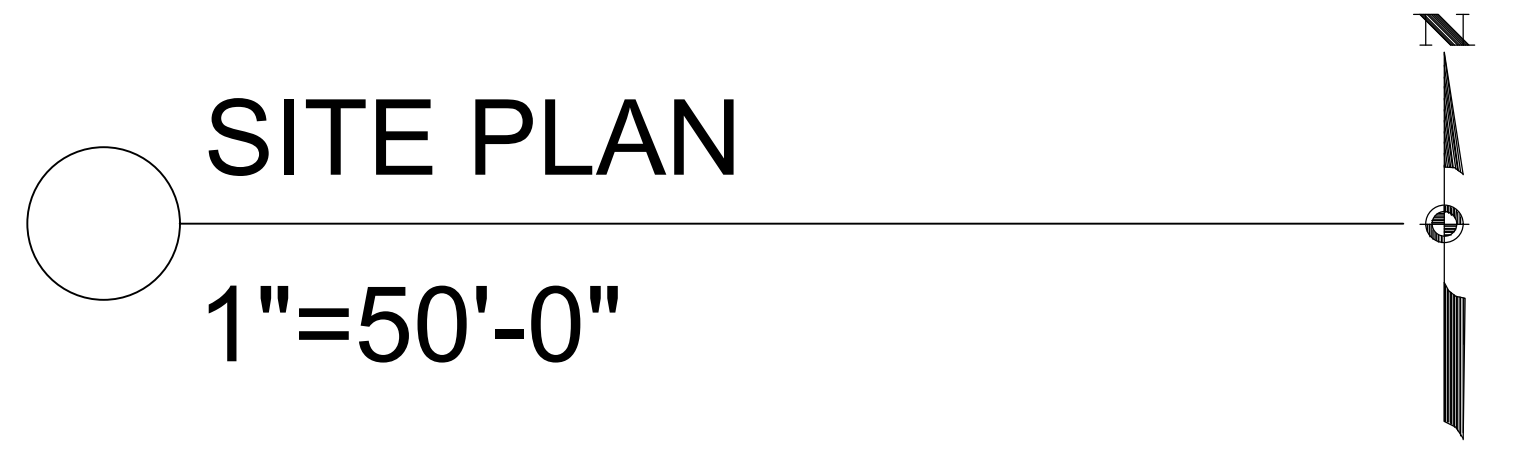
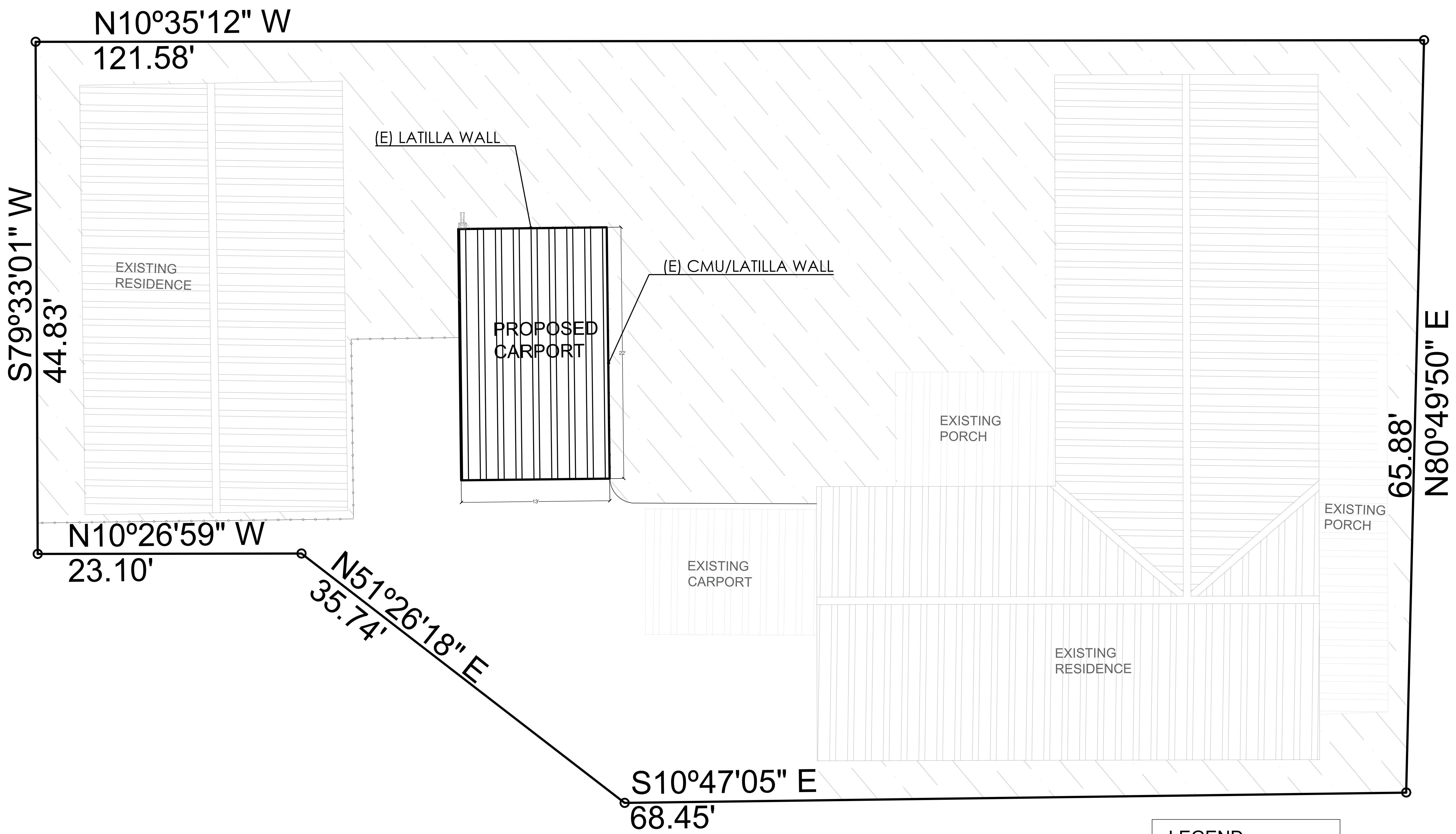
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SITE PLAN

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LEGEND

	(E) WALL COYOTE FENCE
	(E) CMU WALL
	OPEN SPACE AREA

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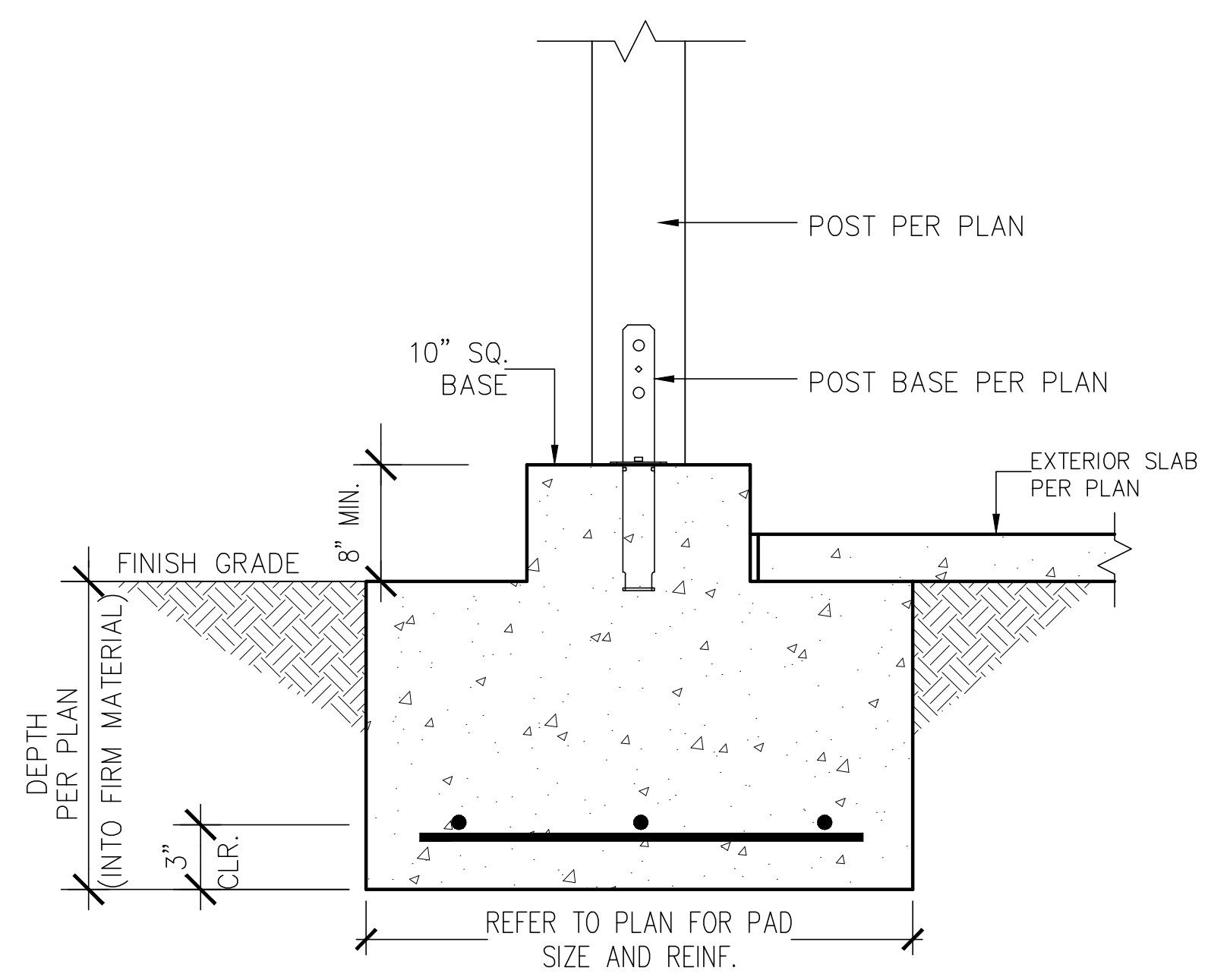
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STRUCTURAL FOUNDATION & ROOF FRAMING PLAN WITH STANDARD DETAILS

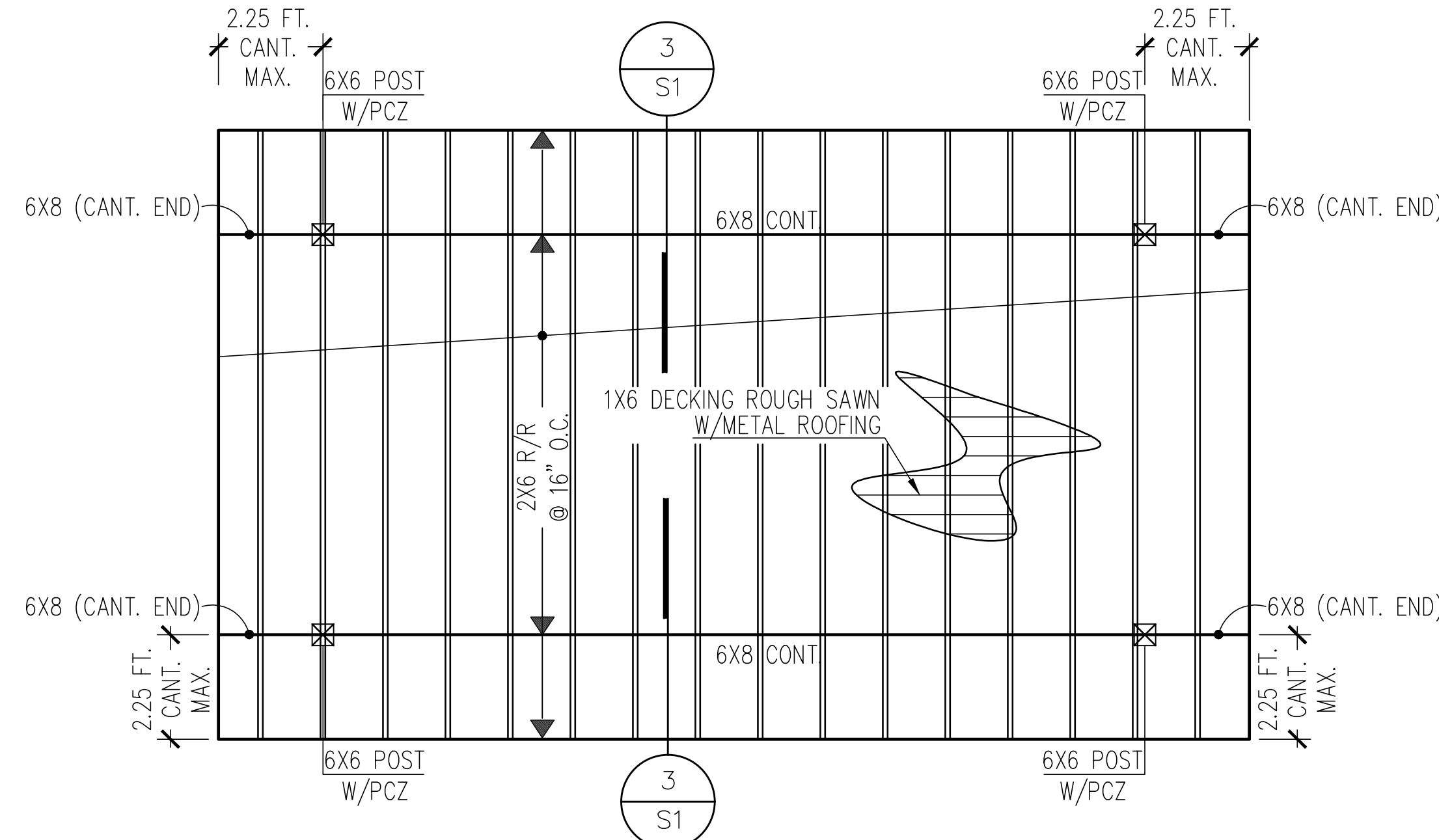
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S1



FOOTING DETAIL

1



ROOF FRAMING PLAN

SCALE: 3/8" = 1'-0"

LEGEND

	POSTES, BEAMS OR JOIST, U.N.O.
	PROPOSED FOUNDATION PER PLAN

SHEATHING SCHEDULE

ROOF:	1X6 DECKING ROUGH SAWN W/10D COMMON NAILS @ 6" O.C. B.N.
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- CONCRETE NOTES:**
- SPECIFIED COMPRESSIVE STRENGTH, FC, SHALL BE 3,000 PSI AT 28 DAYS. MAXIMUM WATER-CEMENTITIOUS MATERIALS RATIO (W/C/M) SHALL BE 0.50. NOMINAL MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4 INCH (ASTM C33).
 - CONCRETE SLUMP AT PLACEMENT SHALL BE 4 TO 5 INCHES. ADDING WATER ON SITE IS PROHIBITED.
 - AIR-ENTRAINING ADMIXTURE IS REQUIRED FOR ALL EXTERIOR CONCRETE. CHLORIDE-BASED ADMIXTURES ARE PROHIBITED.
 - CONSOLIDATE FRESH CONCRETE WITH INTERNAL VIBRATION. CURE BY MOST CURING METHODS FOR A MINIMUM OF 7 DAYS (ACI 308).
 - SUBMIT CERTIFIED MIX DESIGN FOR APPROVAL PRIOR TO CONCRETE PLACEMENT.

- REINFORCING STEEL NOTES:**
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. MINIMUM CLEAR COVER TO REINFORCEMENT SHALL BE:
- INCHES FOR ELEMENTS CAST AGAINST AND/OR PERMANENTLY EXPOSED TO EARTH (E.G., PEDESTALS AND FOOTINGS).
 - 1.5 INCHES FOR ALL OTHER ELEMENTS.
- MINIMUM CLEAR SPACING BETWEEN BARS SHALL BE 1.5 INCHES. LAP SPLICES SHALL BE CLASS B TENSION SPLICES PER ACI 318. ALL BARS MUST BE CLEAN AND FREE OF BOND-IMPAIRING COATINGS.
- BAR REINFORCEMENT SHALL CONFORM TO THE FOLLOWING GRADES OF ASTM A 615, INCLUDING SUPPLEMENT S1:
- GRADE 60 - #3 AND SMALLER
 GRADE 60 - #4 AND LARGER

CODES AND DESIGN CRITERIA:

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC) AS ADOPTED BY THE STATE OF NEW MEXICO AND SANTA FE CITY.

- MATERIAL DESIGN STANDARDS:**
- CONCRETE & FOUNDATIONS: DESIGNED IN ACCORDANCE WITH ACI 318-14.
 - WOOD FRAMING & LUMBER: DESIGNED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) 2018. ENGINEERED WOOD PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - STRUCTURAL INSULATED PANELS (SIP): DESIGNED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE IBC AND THE SIP STRUCTURAL DESIGN GUIDE. SIP PANELS SHALL COMPLY WITH ASTM E1884.
 - CONNECTORS: ALL METAL CONNECTORS AND FASTENERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

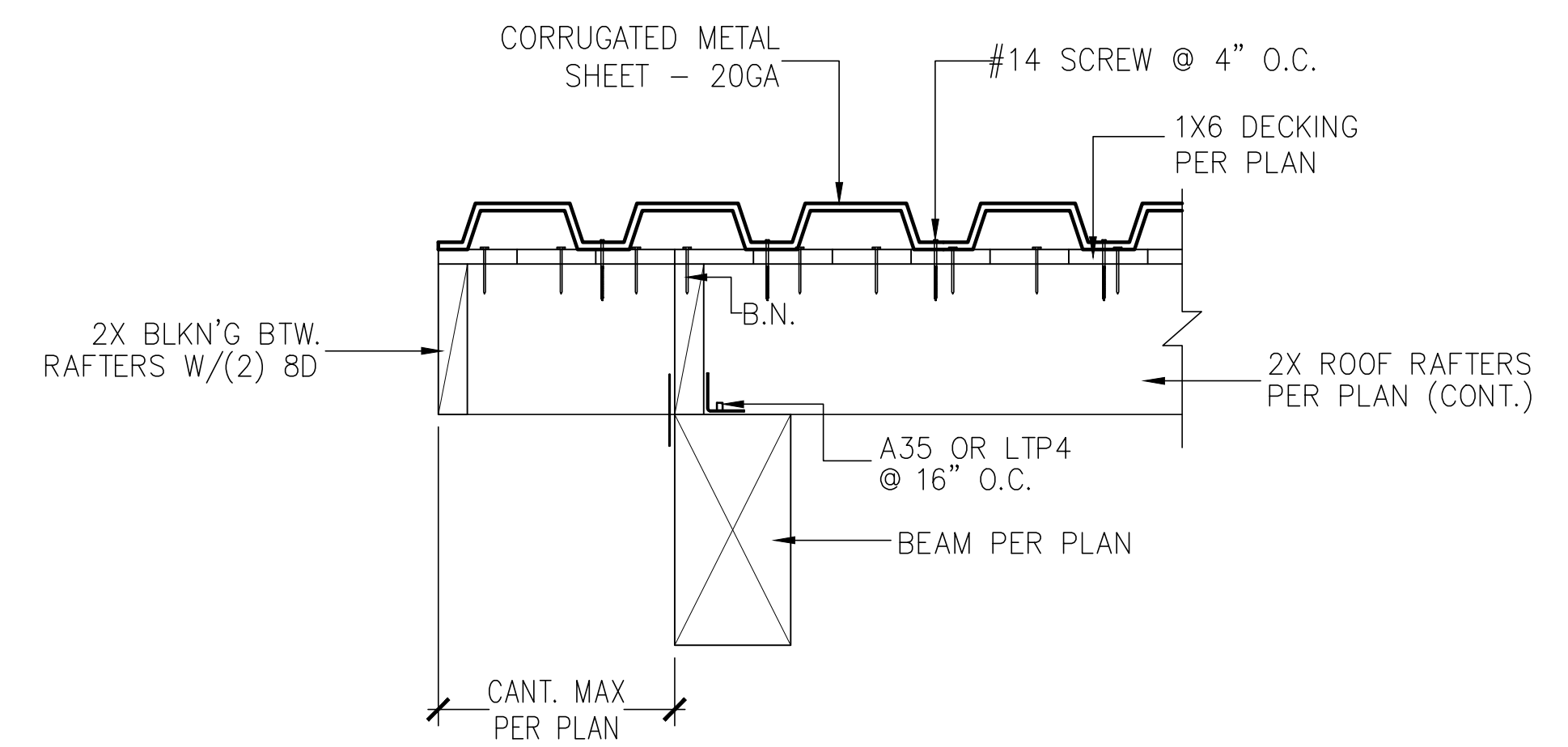
- GENERAL NOTES**
- CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AGAINST THE DRAWINGS PRIOR TO COMMENCING ANY WORK. NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL NEW FINISH MATERIALS, BOTH INTERIOR AND EXTERIOR, SHALL MATCH EXISTING MATERIALS AS CLOSELY AS POSSIBLE IN TEXTURE, COLOR, AND FINISH.
 - ALL PROPOSED MATERIALS SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND MUST BE APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO INSTALLATION.
 - ANY EXISTING ROOF STRUCTURE TO BE MODIFIED OR REMOVED MUST BE ADEQUATELY SHORED AND SUPPORTED PRIOR TO DEMOLITION, AND REMAIN SUPPORTED THROUGHOUT CONSTRUCTION UNTIL ALL NEW STRUCTURAL ELEMENTS (WALLS, COLUMNS, OR FRAMING) ARE FULLY IN PLACE AND CAPABLE OF CARRYING LOADS.
 - CONTRACTOR SHALL VERIFY IN THE FIELD THE QUANTITY AND LOCATIONS OF ALL ROOF SCUPPERS AND CANALES WITH THE BUILDER PRIOR TO INSTALLATION.
 - CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT POSITIVE DRAINAGE IS MAINTAINED AROUND THE ENTIRE STRUCTURE AT ALL TIMES.
 - ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ENSURING THAT THEIR RESPECTIVE WORK MEETS OR EXCEEDS ALL APPLICABLE CODES AND REQUIREMENTS.
 - IF ANY PART OF THE PLANS DOES NOT MEET THESE REQUIREMENTS, THE SUBCONTRACTOR SHALL NOTIFY THE DESIGNER SO THAT CORRECTIONS CAN BE ISSUED.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK COMPLIES WITH OR EXCEEDS THE APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF SANTA FE AND THE STATE OF NEW MEXICO. IF ANY PLANS OR DETAILS DO NOT MEET THESE REQUIREMENTS, THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY CORRECTIONS NEEDED.

FOUNDATION INFORMATION

1. SOILS DESIGN IS LIMITED TO:	
ALLOW. SOIL BEARING	2000 PSF
ACTIVE SOIL PRESSURE	45 PCF
PASSIVE PRESSURE	100 PCF
SOIL FRICTION FACTOR	0.25

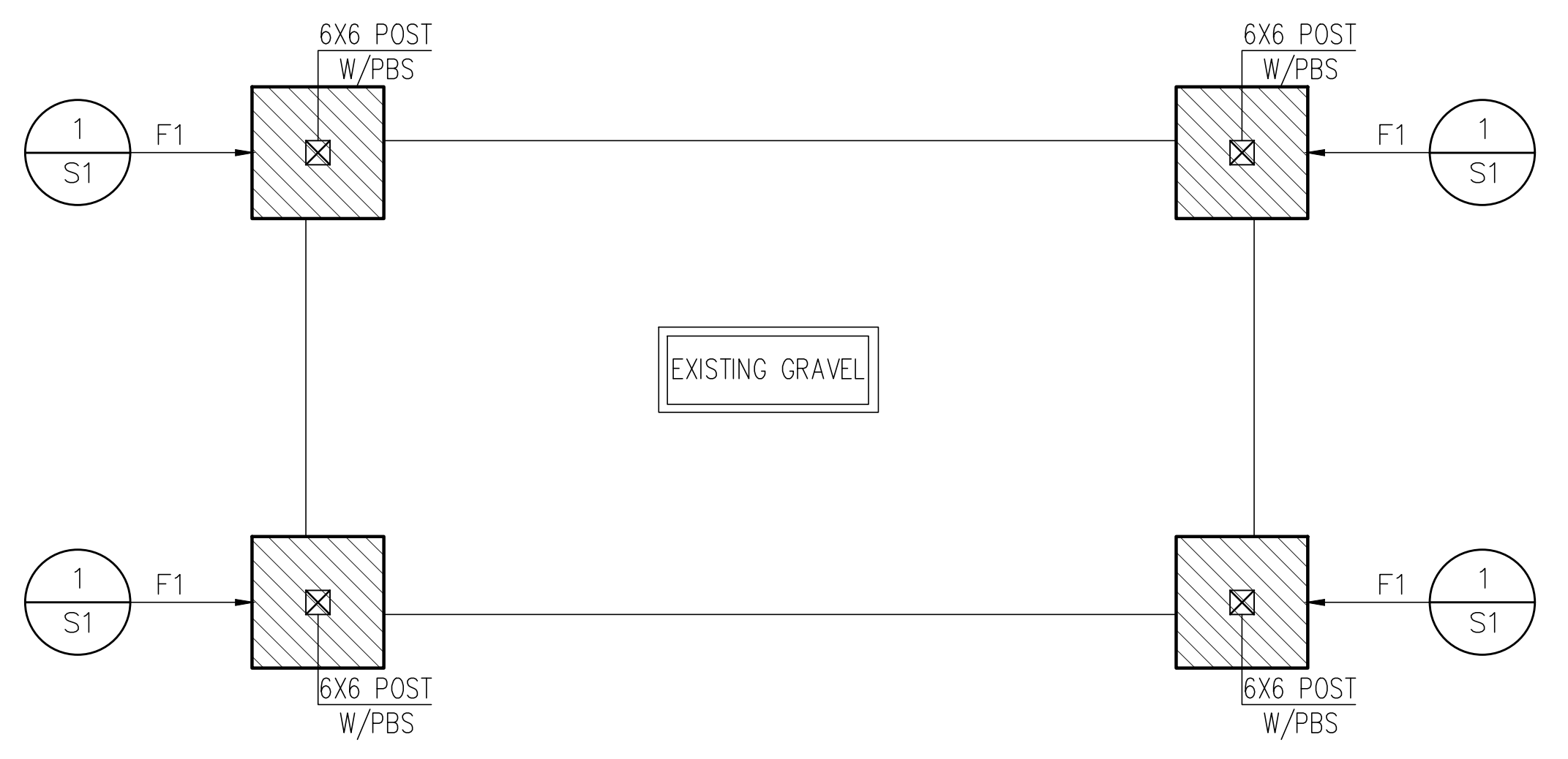
FOOTING SCHEDULE

MARK	SIZE (WIDTH X LENGTH)	MINIMUM DEPTH (U.N.O.)	REINFORCING STEEL
F1	2'-6" X 2'-6"	1'-6"	(4) #4 EA. WAY @ BOTTOM



CONNECTION DETAIL

2



FOUNDATION PLAN

SCALE: 3/8" = 1'-0"

CONSULTANT:



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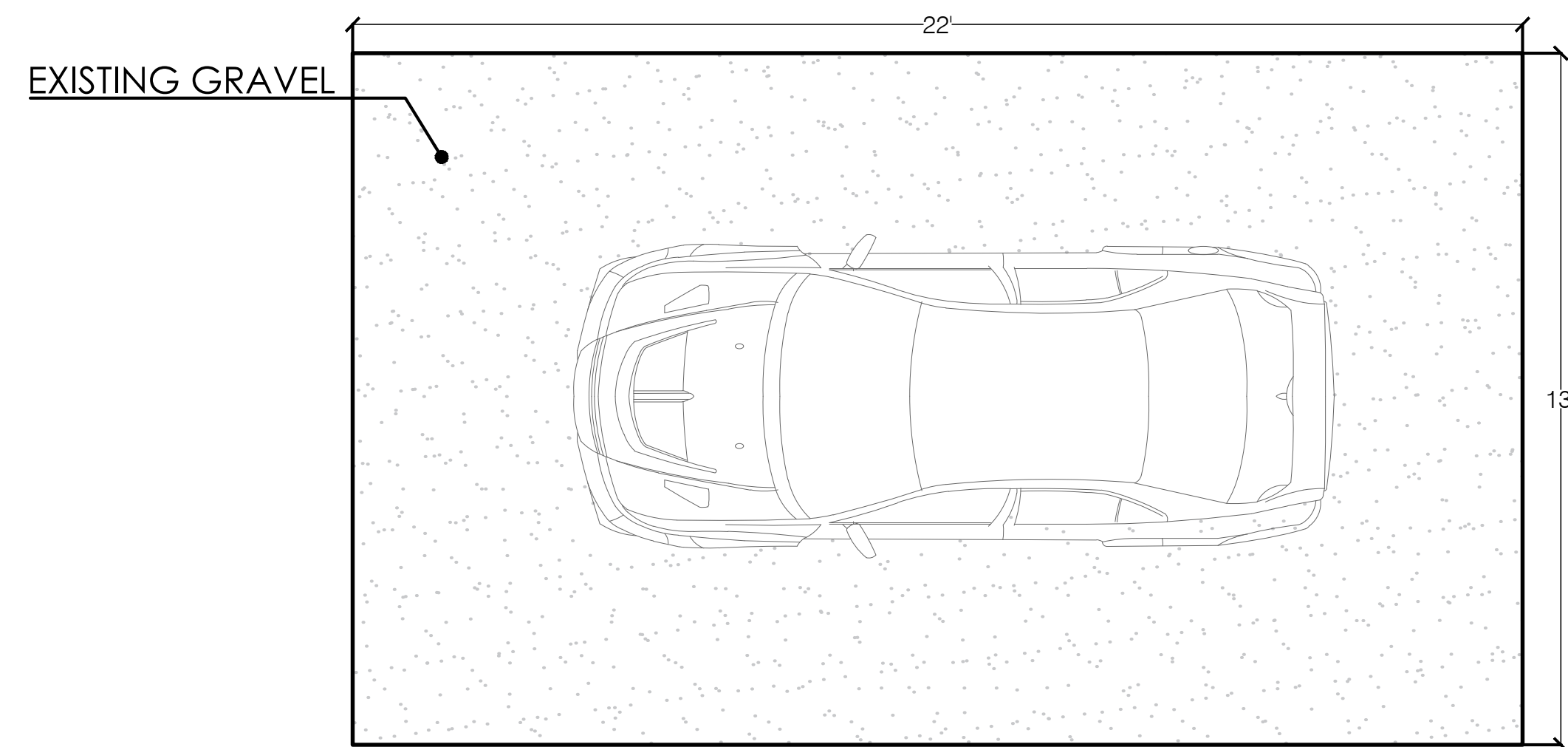
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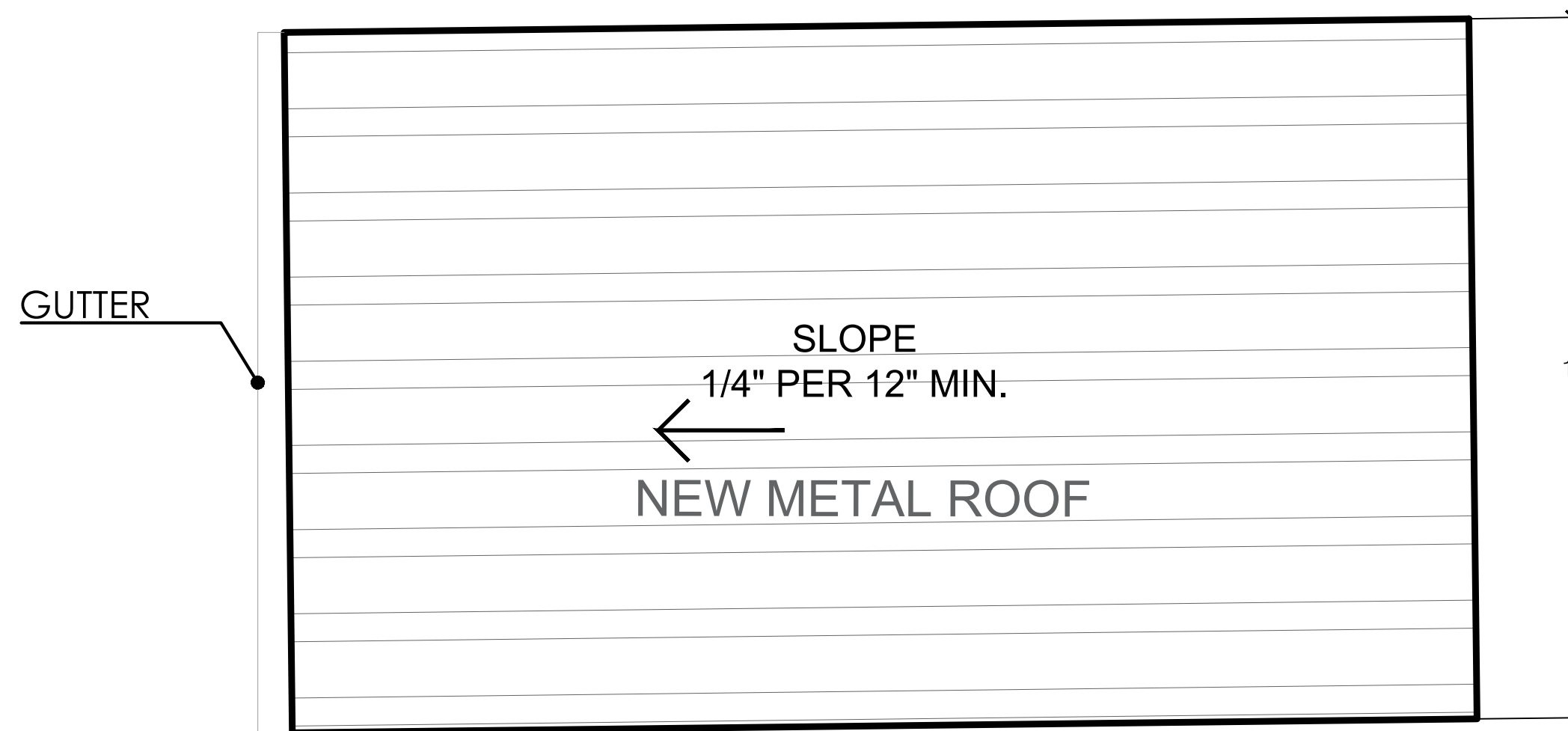
**FLOOR PLAN, ROOF PLAN,
NORTH-SOUTH-EAST-WEST
ELEVATIONS**

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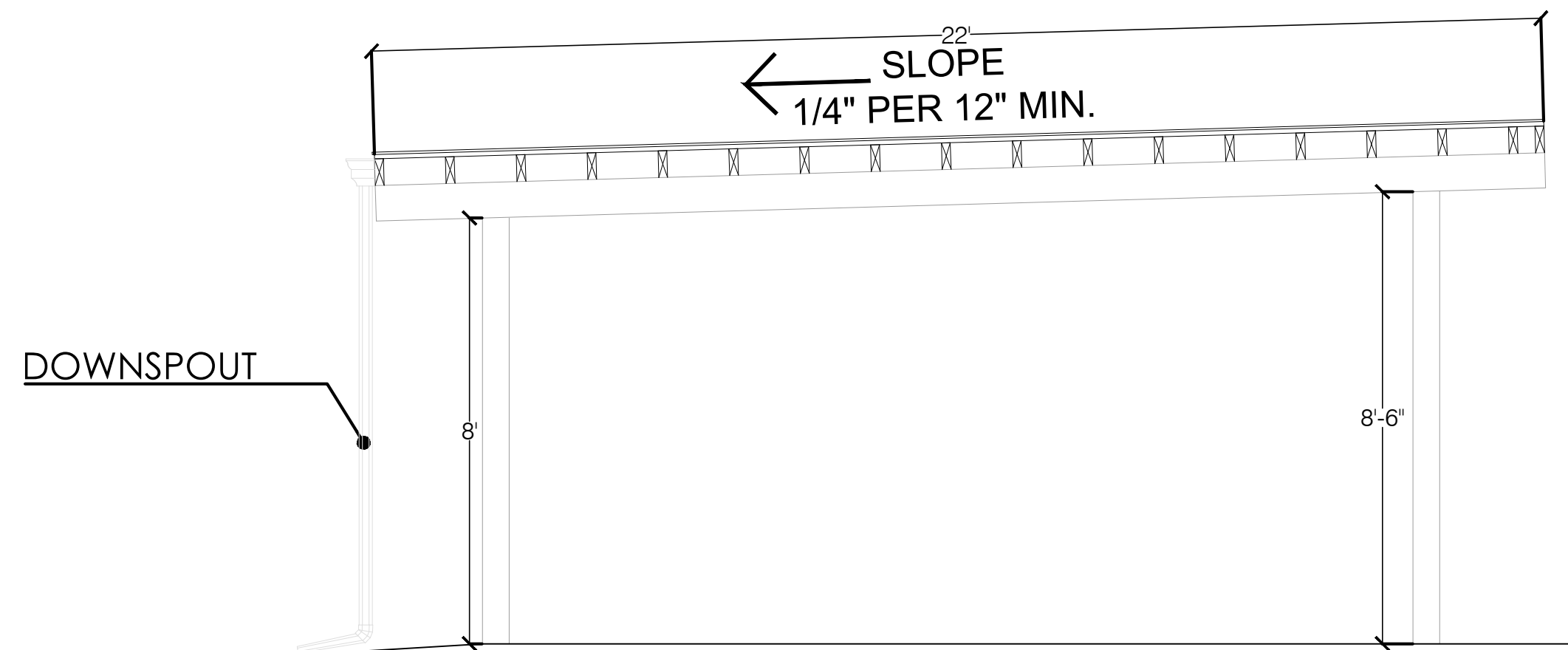
A-1



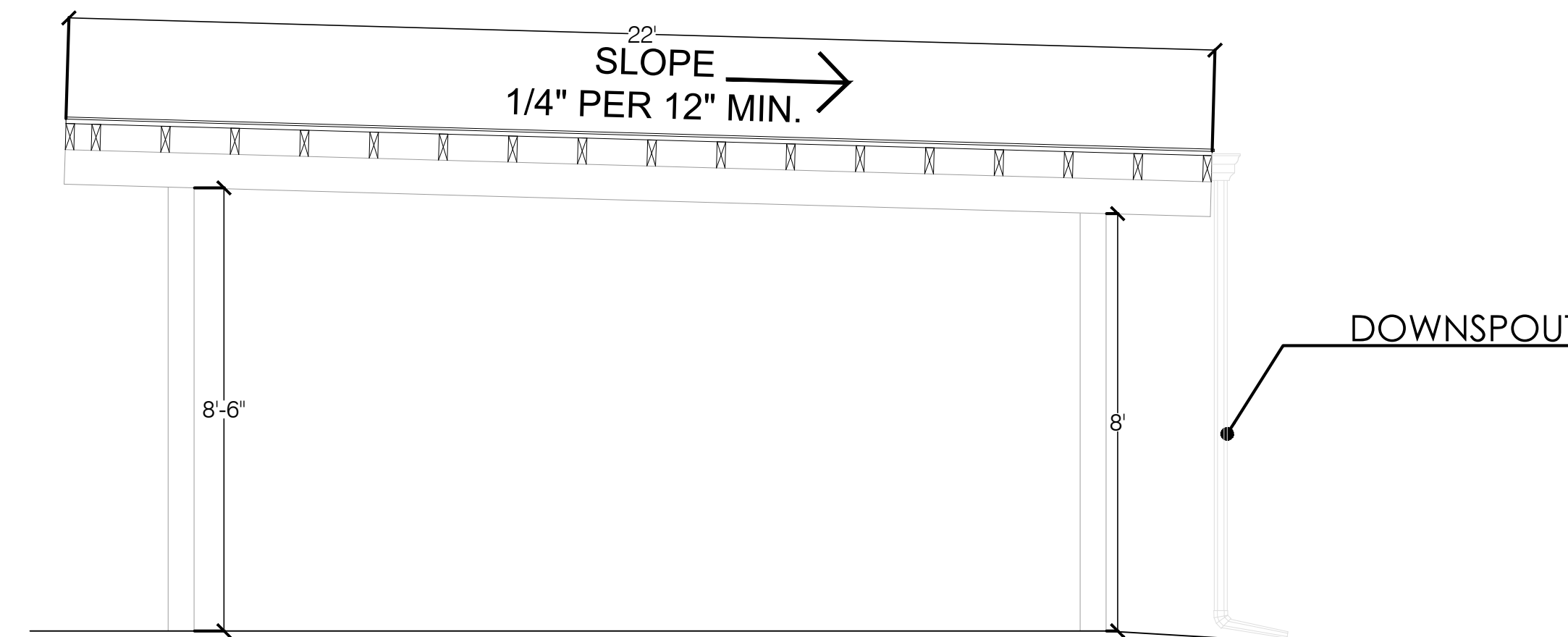
FLOOR PLAN
3/8"=1'-0"



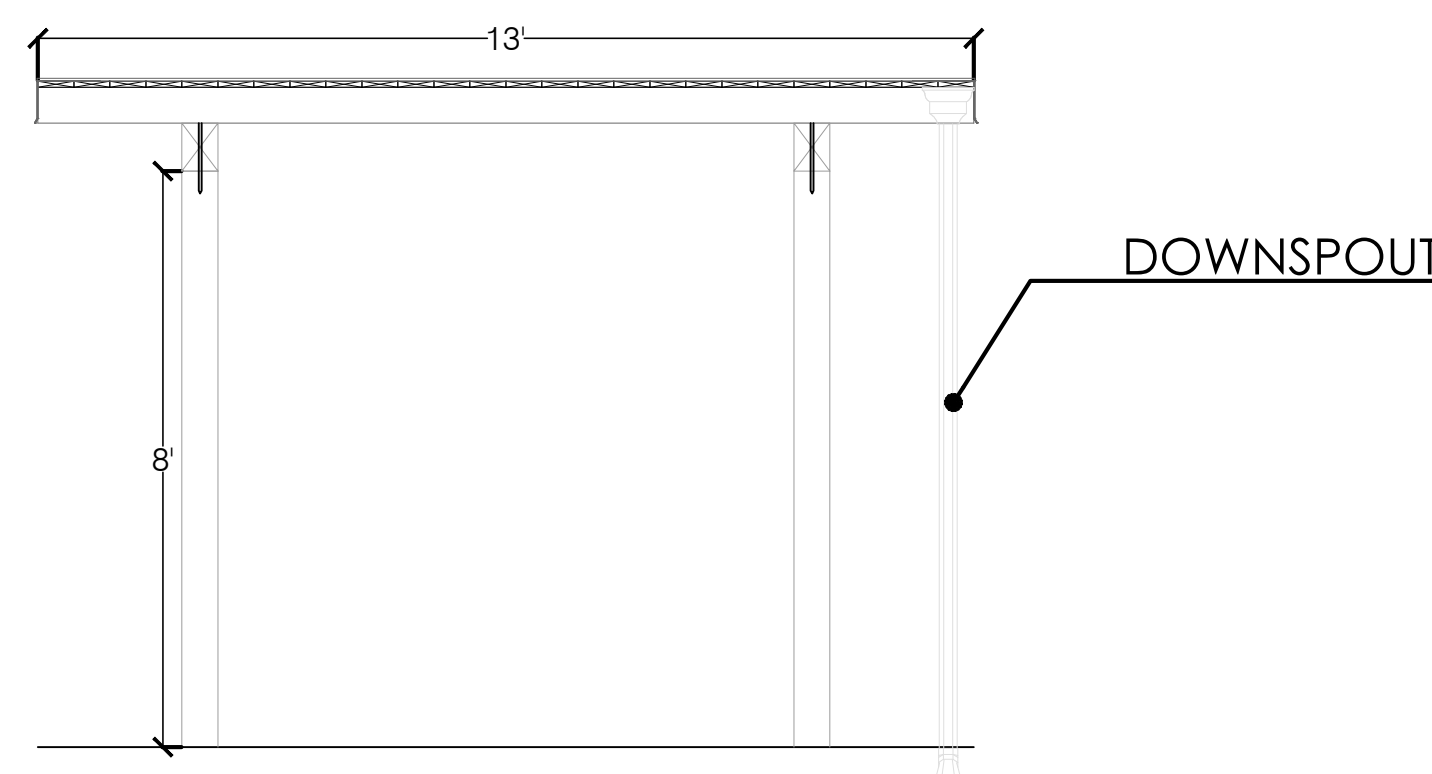
ROOF PLAN
3/8"=1'-0"



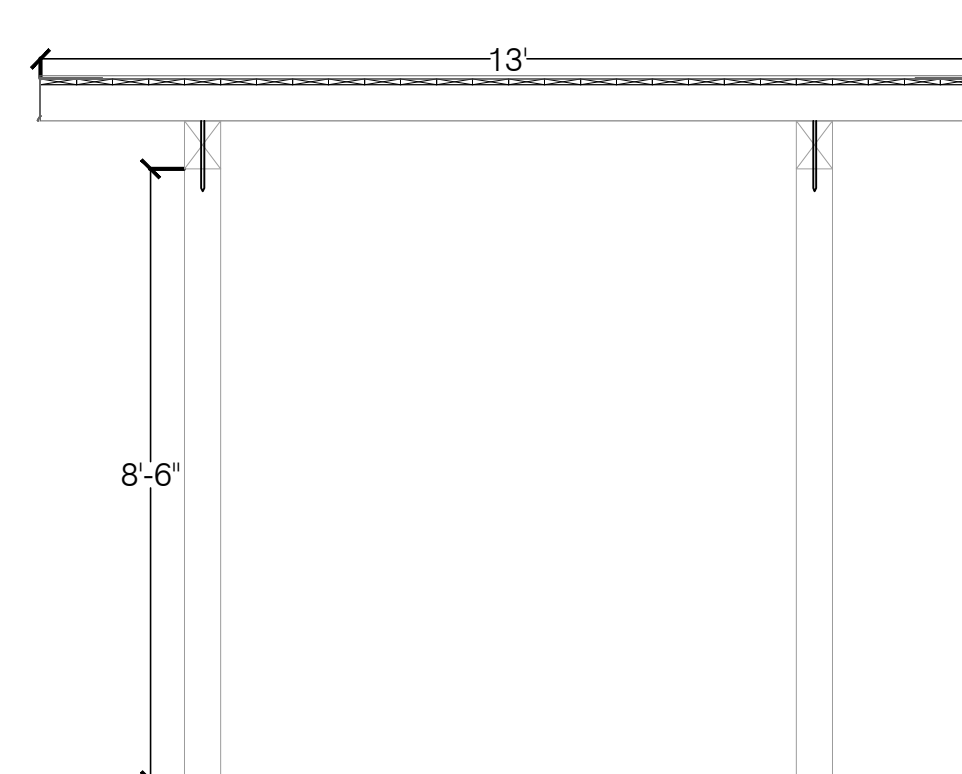
EAST ELEVATION
3/8"=1'-0"



WEST ELEVATION
3/8"=1'-0"



SOUTH ELEVATION
3/8"=1'-0"



NORTH ELEVATION
3/8"=1'-0"

GENERAL NOTES

- 1- CONTRACTOR SHOULD VERIFY DIMENSIONS ON FIELD WITH DRAWINGS BEFORE COMMENCING ANY WORK.
- 2- CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING A POSITIVE DRAINAGE SLOPE AROUND ENTIRE STRUCTURE AT ALL TIMES.
- 3- ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ENSURING THAT ALL THEIR RESPECTIVE WORK MEETS OR EXCEEDS ANY & ALL REQUIREMENTS AND/OR APPLICABLE BUILDING CODES . IF PLANS DO NOT MEET THIS REQUIREMENTS, NOTIFY THE DESIGNER OF ANY PLAN CORRECTIONS NEEDED.
- 4- GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK MEETS OR EXCEEDS ANY & ALL REQUIREMENTS AND APPLICABLE BUILDING CODES. IF PLANS DO NOT MEET THIS REQUIREMENTS, NOTIFY THE DESIGNER OF ANY CORRECTIONS NEEDED.

302 Camino Cerrito – Photos



Fig. 1 – Aerial View Proposed Location



Fig. 2 – Street View Proposed Location



Fig. 3 – Existing Carport _ Proposed to Match Existing