

# City of Santa Fe, New Mexico

## **Attachment E**

### **Applicant Materials**



**JENKINSGAVIN**  
LAND USE | PROJECT MANAGEMENT

October 13, 2025/Revised October 16, 2025

Nathan Lindquist, Senior Planner  
Current Planning Division  
City of Santa Fe  
200 Lincoln Avenue  
Santa Fe, NM 87501

**RE: Santa Fe Opera Apprentice Housing – Development Plan Application  
214 Camino de los Marquez, Santa Fe**

Dear Nathan:

This letter is respectfully submitted on behalf of the Santa Fe Opera (“SFO”) in application for a Development Plan to redevelop the current 50-unit Axton Apartments property as a new 83-unit Apprentice Housing development (the ‘Project’). The 2.50-acre subject property is located at 214 Camino de los Marquez and is zoned R-29 (Residential, 29 dwelling units/acre). This application is submitted for consideration by the Planning Commission on January 8, 2026.

### **Project Background & Summary**

In 1971 the subject property was rezoned to RM-1 PUD, and in 1982 a Revised Development Plan for a 50-unit apartment community was recorded, which substantially represents the current site conditions and development. Santa Fe Opera acquired the property, named the Axton Apartments, in 2001 to provide seasonal housing for their technical apprentices. Since the purchase, the multi-family complex has fulfilled a crucial role in accommodating seasonal technical apprentices and visiting staff, but as SFO’s educational programming has expanded, their housing needs have grown accordingly. SFO now seeks to house their technical and voice apprentices at the subject property along with providing 6-month rentals to the public during the off-season. In light of the current housing shortage in Santa Fe, the proposed development will alleviate ongoing challenges the Opera encounters in securing this essential housing.

In May of this year, a rezone of the property was approved by City Council from R-21 to R-29, initiating the process for the Opera to redevelop the property and increase the unit count from 50 to 83 units. This Development Plan application represents the next step in that process for review by the City Land Use Department and Planning Commission.

### **Project Description**

The redevelopment project involves the demolition of five existing buildings and a carport structure. Two new buildings comprising 83 units, plus an annex maintenance building, will be constructed. The project includes a new landscaped courtyard with seating areas to provide outdoor gathering space for residents, along with perimeter and parking lot landscaping. The

architectural style of the new buildings aligns with the Pueblo Revival vernacular, which harmonizes with the neighborhood character with respect to materiality and color scheme. There are two access drives on Camino de los Marquez that establish a two-way loop road through the site with associated parking. A vehicular gate will be installed at each driveway, and three pedestrian gates provide connectivity to the sidewalk along Camino de los Marquez.

The proposed unit mix includes 2 Bedroom/2 Bath and 1 Bedroom/1 Bath units, as follows:

<b>Project Unit Mix</b>			
<b>Unit Type</b>	<b>Description</b>	<b>Size</b>	<b>Quantity</b>
A	2 Bedroom/2 Bath	787 sf	68
A – Accessible	2 Bedroom/2 Bath	787 sf	2
B	1 Bedroom/1 Bath	567 sf	7
B – Accessible	1 Bedroom/1 Bath	567 sf	1
C	1 Bedroom/1 Bath	550 sf	4
C – Accessible	1 Bedroom/1 Bath	550 sf	1
<b>Total Unit Count</b>			<b>83</b>

The proposed Apprentice Housing project square footage breakdown per building is as follows:

East Building	38,000 sf
West Building	50,280 sf
<u>Annex Building</u>	<u>2,208 sf</u>
	<b>90,488 sf</b>

### **Zoning Compliance**

The Project complies with the relevant R-29 zoning standards as outlined below.

Permissible Use. Per Table 14-6.1-1 ‘Dwelling Units – Multiple’ are permissible in the R-29 zoning district.

Lot Coverage. Per Table 14-7.2-1, the maximum permissible lot coverage is 40% or 43,460 square feet. The proposed lot coverage is 33.3% (36,282 square feet).

Open Space. Per Table 14-7.2-1 ‘Multiple Family – Dwellings’ require 250 square feet of open space per dwelling unit. With 83 units proposed within the two residential buildings, 20,750 square feet of open space is required, and the Project provides 27,800 square feet of open space.

Building Setbacks. Setbacks are established by the Development Plan as permitted in SFCC 14-7.2(D), summarized below.

- Street: 3 feet
- Side: 15 feet
- Rear: 20 feet

Height. The maximum permissible building height is 36 feet with a Development Plan, and the proposed height is 36 feet. The evaluation criteria for the proposed height per SFCC 14-7.2(E) are addressed below.

Density: Maximum 29 dwelling units per acre with a Development Plan. The proposed density is 83 units, calculated as follows: 2.5 acres x 29 = 72.53 units + 15% SFHP density bonus = 83 units. Evaluation criteria for the proposed density per SFCC 14-7.2(F) are addressed below.

## **Parking**

Vehicular parking will be provided as required per SFCC Table 14-8.6-1 with ADA parking requirements addressed per NMBC 1106.1.

### Required:

83 units (less than 800 sf) at 1.25 per dwelling unit                      104 Spaces\*  
\*Inclusive of 8 ADA spaces with 2 van accessible

### Provided:

Standard spaces	78 Spaces*
ADA Spaces (2 Van Accessible)	8 Spaces
Compact spaces	20 Spaces
	<b>106 Spaces Provided</b>

Per SFCC Table 14-8.6-3, 12 bicycle parking spaces will be provided.

## **Access & Traffic**

As summarized in the attached Traffic Impact Analysis (TIA), the purpose of the study is to evaluate transportation conditions before and after the proposed development, assess the development's impact on the adjacent transportation system, and recommend mitigation measures as needed. The study examines two scenarios—NO BUILD and BUILD—for both the 2028 implementation year and the 2038 horizon year. The study was prepared in accordance with the requirements of the City of Santa Fe (CoSF) Public Works Department and the traffic study scoping meeting held on August 12, 2025.

The site is developed with an existing 50-unit apartment complex. The proposed redevelopment of the property as an 83-unit community will add 33 units. The site will be accessed via two existing unsignalized driveways, as follows: Driveway "A," a full-access driveway on the south side of Camino de los Marquez, approximately 420 feet east of Don Diego Ave. (centerline to centerline); and Driveway "B," a full-access driveway on the south side of Camino de los Marquez, approximately 785 feet east of Don Diego Ave. (centerline to centerline). An existing third driveway between A and B will be abandoned with this development. All analyzed

intersections continue to operate at excellent levels of service in the Build condition as summarized in the chart below:

**Executive Summary Results Table**

Intersection No. / Name	Intersection Operation	Case Evaluation	Existing Year (2025) Conditions		Implementation Year (2027) Conditions		Horizon Year (2037) Conditions	
			AM Peak LOS - Delay (s)	PM Peak LOS - Delay (s)	AM Peak LOS - Delay (s)	PM Peak LOS - Delay (s)	AM Peak LOS - Delay (s)	PM Peak LOS - Delay (s)
1 Camino de los Marquez / Galisteo St.	Unsignalized	<i>No Build (Exist. Geo.)</i>	B - 11.7	B - 11.4	B - 11.8	B - 11.5	B - 12.3	B - 12.0
		<i>Build (Pro. Geo.)</i>	-	-	B - 11.9	B - 11.6	B - 12.4	B - 12.1
2 Cordova Rd. / Galisteo St.	Signalized	<i>No Build (Exist. Geo.)</i>	B - 11.2	B - 13.8	B - 11.4	B - 14.1	B - 12.6	B - 16.7
		<i>Build (Pro. Geo.)</i>	-	-	B - 11.4	B - 14.2	B - 12.6	B - 16.8
3 Cordova Rd. / Don Diego Ave.	Signalized	<i>No Build (Exist. Geo.)</i>	A - 9.4	B - 15.6	A - 9.5	B - 16.3	B - 10.3	C - 20.8
		<i>Build (Pro. Geo.)</i>	-	-	A - 9.8	B - 16.7	B - 10.6	C - 21.4
4 Camino de los Marquez / Don Diego Ave.	Unsignalized	<i>No Build (Exist. Geo.)</i>	A - 8.8	C - 15.3	A - 8.8	C - 15.9	A - 9.2	C - 19.8
		<i>Build (Pro. Geo.)</i>	-	-	A - 8.9	C - 16.6	A - 9.3	C - 20.9
5 Camino de los Marquez / Don Cubero Ave.	Unsignalized	<i>No Build (Exist. Geo.)</i>	A - 8.7	A - 8.6	A - 8.7	A - 8.6	A - 8.7	A - 8.7
		<i>Build (Pro. Geo.)</i>	-	-	A - 8.8	A - 8.7	A - 8.8	A - 8.7
6 Camino de los Marquez / Driveway "A"	Unsignalized	<i>No Build (Exist. Geo.)</i>	A - 7.2	A - 8.5	A - 7.2	A - 8.5	A - 7.2	A - 8.5
		<i>Build (Pro. Geo.)</i>	-	-	A - 8.8	A - 8.7	A - 8.8	A - 8.7
7 Camino de los Marquez / Driveway "B"	Unsignalized	<i>No Build (Exist. Geo.)</i>	A - 7.2	A - 7.2	A - 7.2	A - 7.2	A - 7.2	A - 7.2
		<i>Build (Pro. Geo.)</i>	-	-	A - 8.7	A - 8.6	A - 8.7	A - 8.6
8 Camino de los Marquez / Driveway "C"	Unsignalized	<i>No Build (Exist. Geo.)</i>	A - 8.6	A - 7.2	-	-	-	-
		<i>Build (Pro. Geo.)</i>	-	-	-	-	-	-

NOTE: Driveway "C" is proposed to be closed.

## Transportation

With respect to multi-modal opportunities, the property is served by Santa Fe Trails Bus Routes 4 and 6, with bus stops on Don Diego Ave. and Galisteo St. It is a 15-minute bus ride to the Santa Fe Place Mall, which serves as a transport hub to routes 1, 2, 4, 5, 6, 21, 22, and 26. The property is centrally located and walkable to retail services, restaurants, parks, and employment.

## Terrain Management

Currently, the site is improved with an older multi-family complex used to house Santa Fe Opera apprentices. Stormwater from nearby streets and homes flows through the property, following a 15-foot drainage easement along the south side. That water, along with runoff from the site itself, is carried through an underground 48-inch storm drainpipe that runs along the south and west sides before draining into the city's storm drain system in Camino de los Marquez.

The redevelopment project will replace the existing complex with new housing for a larger number of Santa Fe Opera employees. To improve drainage and reduce runoff, the new design will use pervious (water-absorbing) pavement in parking areas and taller buildings with a smaller footprint.

Stormwater will continue to follow the same general path, but most of the flow will now be directed south into a new storm pond area before entering the existing storm drain system. This design will reduce the amount of water flowing toward the condominiums on the west side from 7.77 cubic feet per second (cfs) to 1.85 cfs, helping to minimize existing drainage issues. In

addition, a stormwater quality basin with a sump will be included to capture pollutants and improve water quality before the runoff leaves the site.

### **Water**

The property is currently served by a 6-inch waterline via Camino de los Marquez which runs along the length of the property. The projected annual water budget for the additional 26 units to be constructed is 5.03 Acre Feet per Year (AFY). Please refer to the attached Water Budget for further details.

### **Sewer**

The property is currently served by a sewer line in Camino de los Marquez which extends approximately 55 feet along the northwest boundary of the property and then continues west to approximately 79 feet, terminating at a manhole at Don Cubero Avenue. The City Wastewater Division previously determined that both the sewer line and manhole are outdated and compromised. As a condition of the preceding 2025 rezoning approval and as required by the Wastewater Division, the Applicant has submitted an approved financial guaranty to repair the sewer line and manhole prior to the permitting of any demolition or development of the property.

### **Fire Protection and Emergency Access**

All buildings will be equipped with automatic fire suppression, and the drive aisle is 26 feet wide in accordance with IFC requirements. In addition, the property is served by two (2) fire hydrants. One is located to the west of the property on the south side of Camino de los Marquez at Don Cubero Avenue; the second is located on the east side of Galisteo at the end of Camino de los Marquez.

### **Landscaping**

Landscaping is provided in accordance with SFCC 14-8.4 and SFCC §14-5.5(C)(7). A tree survey was conducted to assess all significant trees on the property and all efforts will be made to preserve the existing trees, particularly those as having potential to remain in the proposed interior courtyard and communal open space along with five significant Green Ash trees along Camino de los Marquez. Additional required vegetation will include a combination of deciduous and evergreen trees, shrubs, and ornamental and native grasses. Street trees will be replanted along Camino de los Marquez if deemed necessary. Plant selections focus on drought-tolerant, native species that are viable in urban/semi-urban settings. A diverse combination of native and introduced plant species will provide biodiversity and resilience to climate shifts. Please refer to the attached Landscape Plans for further details.

### **Site Access and Security**

Full fencing around site with sliding vehicular gates at the west and east entries is proposed. Material will be a 6-foot wrought iron fence with two cantilevered sliding gates at both entrances.

## Open Space

In accordance with SFCC §14-7.5, the requisite open space in the R-29 district is 250 square feet per unit.

Required:

Common Open Space and/or Private Open Space: 250 SF \* 83 Units = 20,750 SF

Provided: 26,261 SF

## Lighting

All lighting shall be shielded, concealed and directed down to focus the light at the parking lot for adequate lighting levels for public safety and navigation, in compliance with SFCC §14-8.9 and to comply with the zero-foot candles requirement along residential property lines and in compliance with Table 14-8.9-2 Average Maintained Horizontal Footcandles at Grade. No building mounted lighting is proposed. Freestanding parking lot pole-mounted lights and building-mounted entry lights shall be shielded and downward directed as shown in the photometric plan included in the plan set.

## Solid Waste

## Signage

A project identification freestanding monument sign is proposed in accordance with SFCC §14-8.10 as depicted on the Development Plan.

## Noise Ordinance

The Project shall comply with all applicable provisions of SFCC §10-2 Noise Ordinance, in particular SFCC §10-2.5, to not exceed 55 dBA from 7:00 a.m. to 9:00 p.m. or 50 dBA from 9:00 p.m. to 7:00 a.m. as required by the R-29 Residential Zone District.

## Development Plan Approval Criteria

In accordance with §14-3.8(D)(1), the Development Plan approval criteria are addressed below:

*(a) that it is empowered to approve the plan under the section of Chapter 14 described in the application*

SFCC §14-2.3 (C)(1) states, “ *the planning commission shall review and approve or disapprove various specific development plans, requests and subdivision plats. When specifically authorized by Chapter 14, the decision of the planning commission is final, subject to any appeal right provided in this chapter.* ”

*(b) that approving the development plan will not adversely affect the public interest*

The Project does not adversely affect public interest but serves the public interest through the construction of essential updated housing with an increase in units from 50 to 83. These units also benefit Santa Fe residents in the Opera off-season by providing 6-month leases in a desired location for traveling professionals and others needing lodging of this term. The location is within walking distance of public transportation and several amenities such as retail services, pharmacies, restaurants, and places of employment. The public interest is further served through investment in redevelopment of the 43-year-old project, providing much needed upgrades and beautification.

*(c) that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the premises under consideration*

The subject property is located near the St. Francis and Cordova Road corridor and in the Don Diego Neighborhood, which is a diverse mixed-use area comprising a variety of residential, commercial, and institutional uses, including multi-family and single-family development, churches, restaurants, and retail. The proposed residential use and scale of the Project are compatible with land uses in the vicinity; and the addition of quality multi-family housing aligns with the General Plan's policies regarding infill development, mixed-use, and a mix of housing types in all neighborhoods. The pueblo-style vernacular aligns with both the neighborhood and with respect to materiality and color scheme as shown in the elevations.

### **Increase in Maximum Height**

SFCC 14-7.2(E)(1) states, "A height up to thirty-six (36) feet in R-21 and R-29 districts may be approved provided that the request is part of a development plan or special use permit requiring approval by a land use board or the governing body." The evaluation criteria are addressed below:

*(a) if the future land use designation shown on the general plan is high density residential;*

The site is designated High Density Residential (12-29 dwelling units per acre) on the Future Land Use Map along with the property to the north of Camino de los Marquez.

*(b) the need for the increased height; however, financial gain or loss shall not be the sole determining factor;*

The height increase allows for more housing units with a varied unit mix.

*(c) if the height is needed to make the proposed development more affordable, what level of affordability will be provided and how that affordability will be guaranteed long term;*

N/A

*(d) heights of existing buildings in the vicinity; and*

Buildings in the subject property neighborhood are typically one and two story. As described in the 2024 rezoning analysis, *Urban Form/Higher Densities - Growth Management Methods 4.1:*

*“In both ‘infill’ and ‘future growth’ areas, the city must encourage higher densities of residential and commercial development than existing zoning often allows. This approach does not necessarily require greater building height but rather greater massing on specifically identified infill sites within the Urban Area.”*

The rezoning approved in 2025 supports the General Plan’s emphasis on higher densities and a compact urban form by increasing the allowable density on the property. This higher density is essential for maximizing land use efficiency in an urban setting, reducing urban sprawl, and supporting walkability and transit-oriented development. By promoting higher-density residential development, the development and its preceding rezoning align with the city’s vision of creating a more sustainable urban environment.

*(e) impacts of the increased height upon the neighborhood and the community so that the increased height does not significantly interfere with the enjoyment of other land in the vicinity and is consistent with the spirit of Chapter 14 and in the general public’s interest.*

The building is 36 feet in height but includes 2-story stepped down corners at the northwest and northeast frontages as well as the southeast corner, to help integrate into the neighborhood and maximize privacy to the extent possible with adjacent 1 and 2 story single family homes and condominiums. The additional two to four feet consists of parapet to screen rooftop equipment.

### **Increase in Maximum Density**

SFCC 14-7.2(F)(1) states, *“Residential density up to twelve dwelling units per acre in an R-12 district; up to twenty-one dwelling units per acre in an R-21 district; and up to twenty-nine dwelling units per acre in an R-29 district may be approved provided that the proposed density is part of a development plan or special use permit requiring approval by a land use board or the governing body .”* The evaluation criteria are addressed below:

*(a) if the future land use designation shown on the general plan is high density residential;*

The site is designated High Density Residential (12-29 dwelling units per acre) on the Future Land Use Map. In addition, in the General Plan, the site is designated as an Infill Area.

*(b) the need for the increased height; however, financial gain or loss shall not be the sole determining factor;*

The increase in density allows for the development of more housing. At 11 dwellings per acre along with the SFHP density bonus, the maximum density will be 33 dwelling units per acre.

*(b) if the density is needed to make the proposed development more affordable, what level of affordability will be provided and how that affordability will be guaranteed long term;*

Compliance with the Santa Fe Homes Program is reflected in the payment of a fee-in-lieu of providing affordable units. The fee is paid to the Affordable Housing Trust Fund, which enables the Applicant to obtain a density bonus of 15 percent.

*(c) densities of existing developments in the vicinity; and*

The proposed density of 33 dwellings per acre for the subject property is compatible with the surrounding area includes a variety of residential densities, ranging from single family (R-3 & R-5) to multi-family (R-21/PUD and C-1 & 2 Commercial Districts).

*(d) impacts of the increased density on the neighborhood and the community so that the increased density does not significantly interfere with the enjoyment of other land in the vicinity and is consistent with the spirit of Chapter 14 and in the general public's interest.*

The Project's current density is 20 units per acre, and the proposed density is 33 units per acre, resulting in an increase of 13 units per acre. As detailed throughout this report, the increased density includes an enhanced redesign of the property that is sensitive to the surrounding neighborhood, including generous side and rear yard setbacks, particularly where adjacent to single family residences, 2-story stepped-down corners, and side yard landscape buffering.

### **Santa Fe Homes Program**

The Project will provide 100% market-rate units. However, as specified in SFCC §26-1.33(2), the SFHP allows for an alternate means of compliance for rental projects, whereby an applicant may seek permission from the governing body to comply with the program via payment of a fee in lieu of constructing 15 percent of the total units as affordable. See Attachment #13 for the draft fee in lieu document.

## **Archaeology**

The property is located in both the Suburban Archaeological Review District and the River & Trails District. An Archaeological Review Board hearing is forthcoming with a subsequent report on monitoring and findings as required.

## **Early Neighborhood Notification**

An Early Neighborhood Notification Meeting was held on September 29, 2025. City staff, consultants, and members of the public were in attendance. The applicant presented a slide show that featured conceptual project plans and other relevant information. The question-and-answer session covered various topics that are summarized in the attached meeting notes.

In support of this request, the following documentation is submitted herewith for your reference:

1. Development Plan Application Report
2. Development Plan Application
3. Agent Authorization Letter
4. Warranty Deed
5. Legal Lot of Record Plat
6. Early Neighborhood Notification Packet and Meeting Notes
7. Water Utility Service Application
8. Sewer Utility Service Application
9. Preliminary Water Budget
10. Water Offset Program Evaluation Request
11. Initial Traffic Assessment
12. Architectural Points Checklist
13. Santa Fe Homes Program Draft Proposal
14. Traffic Impact Analysis
15. Development Plan Set - Recorded Documents
16. Infrastructure Plan Set

The Development Review Fees are calculated as follows:

Development Plan (Construction Valuation \$28 million)	\$20,000.00
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Please contact me should you have any questions or require additional information.

Thank you for your consideration.

Sincerely,

**JENKINSGAVIN, INC.**

A handwritten signature in blue ink, appearing to read "Colleen Gavin". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Colleen Gavin, Principal

October 14, 2025

Leroy Nicholas Pacheco, P.E.  
Santa Fe, NM

**RE: Draft Traffic Impact Study – Santa Fe Opera Apprentice Housing**

Dear Leroy Pacheco:

Transmitted herewith is the DRAFT Traffic Impact Analysis for the proposed additional units for Santa Fe Opera Apprentice Housing for your review and approval. The proposed development is located at 214 Camino De Los Marquez.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

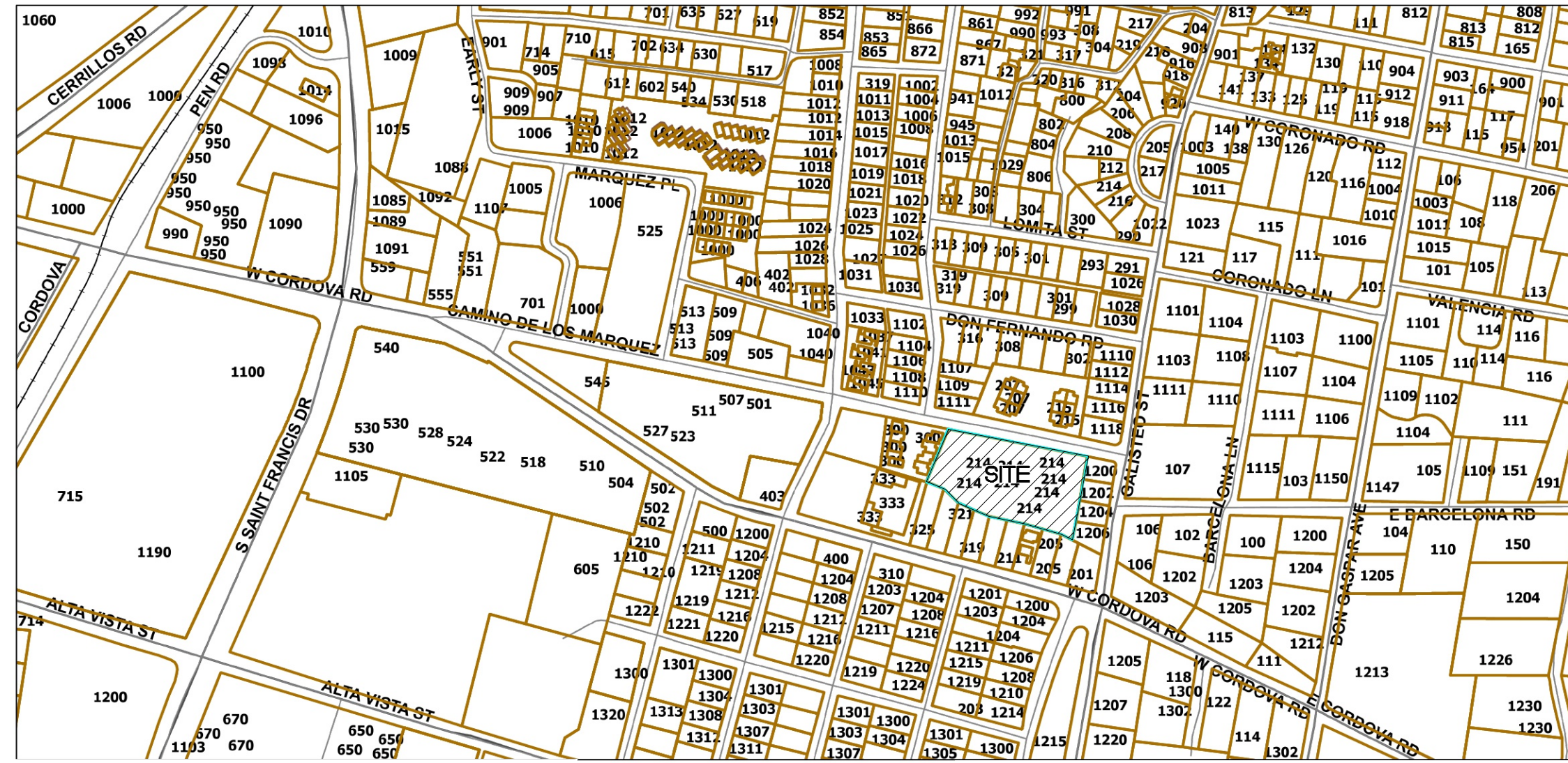
cc: Phil Gallegos, Wilson & Co.  
Colleen C. Gavin, JenkinsGavin  
Jennifer Jenkins, JenkinsGavin

JN: 2025065  
RRB/JL/TB

# SANTA FE OPERA APPRENTICE HOUSING DEVELOPMENT PLAN

## 214 CAMINO DE LOS MARQUEZ, SANTA FE, NM

CASE # \_\_\_\_\_



VICINITY MAP:  
NOT TO SCALE

SHEET LIST	
C-001	COVER SHEET
C-002	EXISTING CONDITIONS
C-003	BOUNDARY AND TOPOGRAPHICAL SURVEY
C-004	DEVELOPMENT PLAN
C-005	CONDITIONS OF APPROVAL

- NOTES:**
- NO VARIANCES ARE APPROVED FOR THIS DEVELOPMENT PLAN. THE CITY CODE AND APPLICATION CHAPTERS SHALL GOVERN AND APPLY TO THIS DEVELOPMENT PLAN IN ITS ENTIRETY.
  - CITY OF SANTA FE DRAINAGE:
    - SUBJECT TO THE APPROVAL OF CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION/SEDIMENT CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF EACH SEGMENT OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
    - MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER. THE CITY OF SANTA FE IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THESE EASEMENTS AND DRAINAGE FACILITIES AT THE DISCRETION OF THE CITY. THE OWNER AGREES TO INDEMNIFY AND TO HOLD HARMLESS FROM ALL DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTION RIGHT.

**OWNER/DEVELOPER:**

**THE SANTA FE OPERA**  
 THE SANTA FE OPERA  
 301 OPERA DRIVE  
 SANTA FE, NM 87506-2823  
 505.966.5900

**SURVEYOR (ALTA/TOPO):**

**RICK CHATROOP**  
 110 WAGON TRAIL RD  
 CERRILLOS, NM 87010  
 505.470.0037

**PLANNER:**

**JENKINS GAVIN**  
 130 GRANT AVE SUITE 101  
 SANTA FE, NM 87501  
 505.820.7444  
 JENKINS GAVIN.COM

**CIVIL ENGINEER:**

**TIERRA WEST, LLC**  
 5571 MIDWAY PARK PL, NE  
 ALBUQUERQUE, NM  
 505.858.3100  
 TIERRAWESTLLC.COM

**ARCHITECT:**

**SMP ARCHITECTS**  
 219 CENTRAL AVE NW SUITE 800  
 ALBUQUERQUE, NM 87102  
 505.255.8688  
 SMPARCH.COM

**LANDSCAPE:**

**PLAND COLLABORATIVE**  
 600 1ST ST NW, SUITE 100  
 ALBUQUERQUE, NM 87102  
 505.268.2266  
 PLANDCOLLAB.COM

**ELECTRICAL ENGINEER:**

**QA ENGINEERING**  
 1409 ORTIZ DR SE  
 ALBUQUERQUE, NM 87108  
 505.338.7092  
 QAENGINEERING.COM

**CITY APPROVALS**  
 APPROVED BY THE SANTA FE PLANNING COMMISSION AT THEIR MEETING ON \_\_\_\_\_

CASE # \_\_\_\_\_

PLANNING COMMISSION CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

PLANNING COMMISSION SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

RENEWED BY THE CITY OF SANTA FE \_\_\_\_\_

CITY PLANNER \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER FOR LAND USE \_\_\_\_\_ DATE \_\_\_\_\_

**AFFIDAVIT**

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED, ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.

OWNER'S PRINTED NAME \_\_\_\_\_

OWNER'S SIGNATURE \_\_\_\_\_

THE FOREGOING WAS SWORN, ACKNOWLEDGED, AND SUBSCRIBED BEFORE ME BY \_\_\_\_\_ THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

**MODIFICATIONS**

SITE PLAN MODIFICATIONS ARE SUBJECT TO APPROVAL BY THE CITY OF SANTA FE AS PART OF THE BUILDING PERMIT PROCESS.

**NOTARIZED STORMWATER AGREEMENT**

STORMWATER AGREEMENT: PROPERTY OWNER(S) HEREBY AGREE THAT ALL STORMWATER EASEMENTS AND ANY OTHER DRAINAGE AND STORMWATER MANAGEMENT IMPROVEMENTS ARE ON PRIVATE PROPERTY AND WILL BE MAINTAINED AND KEPT FULLY FUNCTIONAL AS ORIGINALLY DESIGNED AND CONSTRUCTED WITHIN PRIVATE PROPERTY BOUNDARIES BY THE PROPERTY OWNER AND SUBSEQUENT HEIRS, ASSIGNS, AND FUTURE OWNERS. THE CITY IS HEREBY GRANTED THE FOLLOWING: (1) ACCESS FOR INSPECTION OF SAID IMPROVEMENTS; (2) IN THE EVENT OF DRAINAGE AND STORMWATER MANAGEMENT IMPROVEMENT MAINTENANCE DEFICIENCY AND AFTER TEN (10) DAYS WRITTEN NOTICE TO THE RESPECTIVE PROPERTY OWNER, TO ENTER AND RESTORE FULL FUNCTIONAL CAPACITY OF THE DRAINAGE AND STORMWATER MANAGEMENT IMPROVEMENTS; AND (3) TO LIEN PROPERTY FOR BOTH DIRECT AND INDIRECT COSTS ASSOCIATED WITH SUCH WORK. BY SIGNATURE AFFIXED TO THIS INSTRUMENT, THE PROPERTY OWNER(S) APPROVE AND AGREE THAT THIS AGREEMENT IS BINDING PERPETUALLY, RUNNING WITH THE LAND, ON PRESENT AND FUTURE OWNERS, HEIRS, AND ASSIGNS.

OWNERS PRINTED NAME \_\_\_\_\_

OWNERS SIGNATURE \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

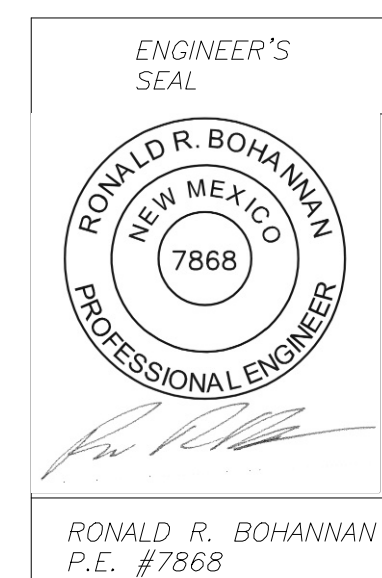
NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

COUNTY OF SANTA FE } SS  
 STATE OF NEW MEXICO }

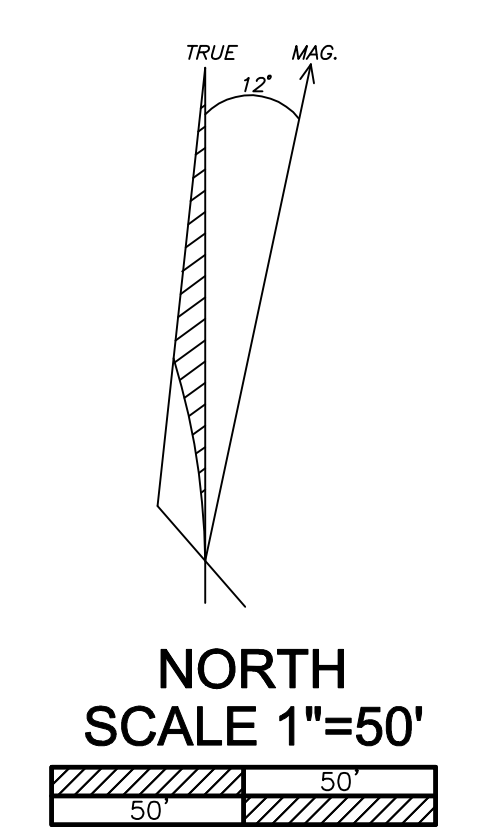
I HEREBY CERTIFY THAT THIS INSTRUMENT# \_\_\_\_\_ WAS FILED FOR RECORD ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., AND WAS DULY RECORDED IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE  
 COUNTY CLERK, SANTA FE COUNTY, NM

DEPUTY



**JURISDICTION: CITY OF SANTA FE**  
**PROJECT NAME: SANTA FE OPERA APPRENTICE HOUSING**  
**DRAWING TYPE: COVER SHEET**  
**DRAWING DATE: 09/29/2025**



EXISTING CONDITIONS PLAN  
 OF  
**CAMINO DE LOS MARQUEZ**  
 AXTON APARTMENTS

UPC# 1-054-098-018-184,  
 214 CAMINO DE LOS MARQUEZ  
 LYING WITHIN PROJECTED SECTION 25, T17N, R9E,  
 NMPM, SANTA FE CO., NM.

**RICK CHATROOP**  
 PROFESSIONAL LAND SURVEYOR  
 NEW MEXICO REGISTRATION NO. 11011  
 (505) 470-0037 110 WAGON TRAIL RD. CERRILLOS, NM. 87010

INDEXING INFORMATION FOR THE COUNTY CLERK  
 OWNER: THE SANTA FE OPERA  
 LOCATION: LYING WITHIN PROJECTED SECTION 25, T17N, R9E,  
 NMPM, SANTA FE CO., NM.

C-002

**PLAT & DOCUMENT REFERENCES**

DOCUMENTS USED TO DETERMINE PROPERTY BOUNDARY AND EXISTING ROWs

- #1 "PLAT OF SURVEY PREPARED FOR CAMINO DE LOS MARQUEZ APARTMENTS" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 464 PAGE 006. RECORD DATA SHOWN IN ( ) SEE NOTE#3.
- #2 "PLAT OF THERESA SUBDIVISION UNIT 1" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 11, PAGE 34.
- #3 "PLAT OF THE GALISTEO SUBDIVISION NUMBER ONE" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 2, PAGE 257.

- #4 "REVISED FINAL DEVELOPMENT PLAN FOR CAMINO DE LOS MARQUEZ APARTMENTS" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 122 PAGE 035(44). SEE NOTE#3.
- #5 "CONDOMINIUM SURVEY FOR CASA SERENA, A CONDOMINIUM" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 638, PAGE 002.
- #6 "CONDOMINIUM SURVEY PLAT PREPARED FOR 333 WEST CORDOVA ROAD CONDOMINIUM" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 688, PAGES 004-005.

**SANTA FE COUNTY PUBLIC NOTICE**

THE SANTA FE COUNTY LAND USE ADMINISTRATOR HAS NOT REVIEWED THIS PLAT OF SURVEY BEFORE ITS FILING IN THE OFFICE OF THE COUNTY CLERK. THIS PLAT IS NOT BEING FILED FOR THE PURPOSE OF CREATING A SUBDIVISION OR NEW LOTS, ALTERING THE BOUNDARIES OF ANY EXISTING LOTS OR FOR THE PURPOSE OF "DEVELOPMENT" AS DEFINED IN THE SANTA FE COUNTY SUSTAINABLE LAND DEVELOPMENT CODE. THIS STATEMENT DOES NOT IN ANY WAY REPRESENT OFFICIAL COUNTY APPROVAL OF THIS PLAT.

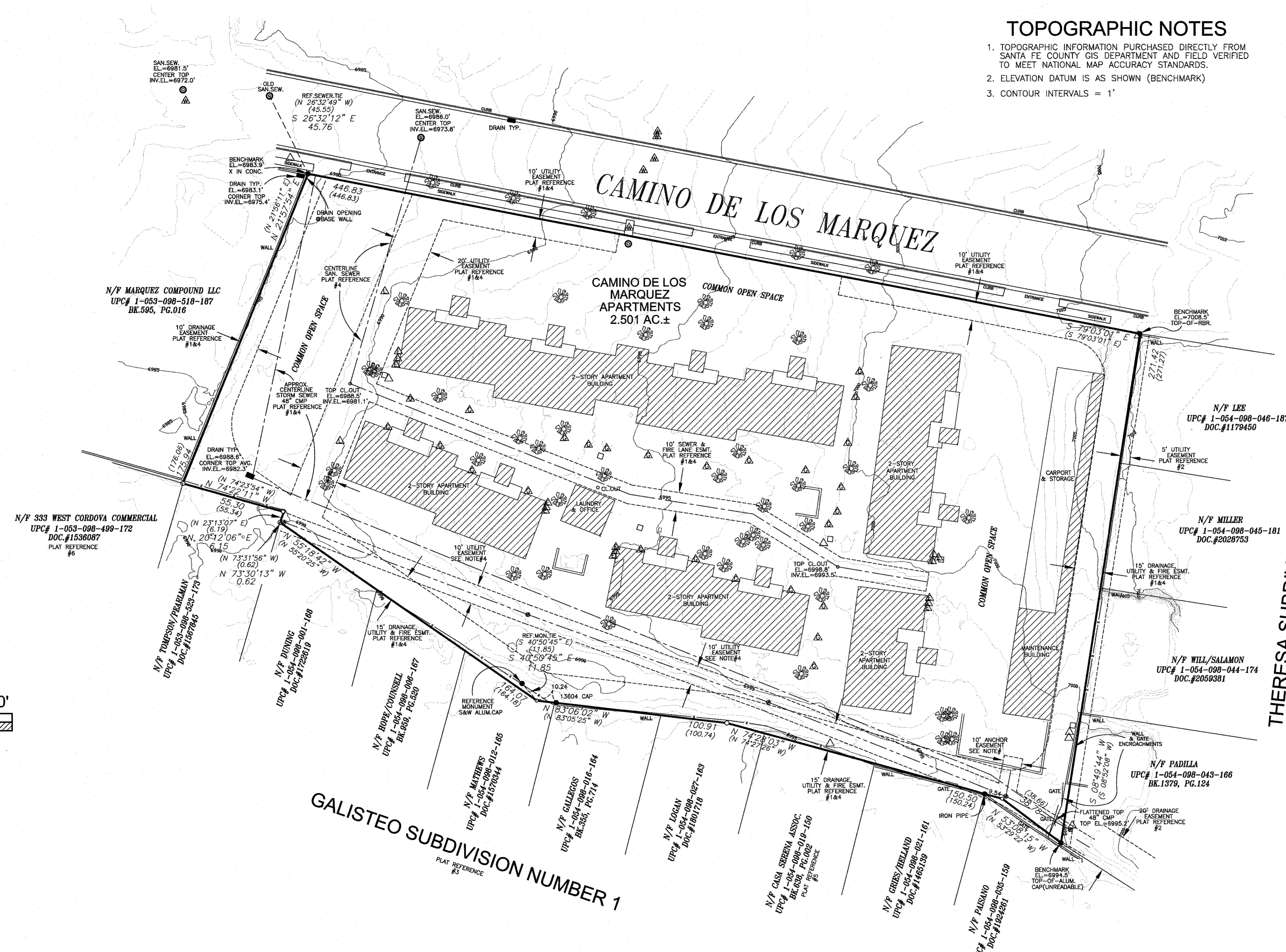
**LEGEND AND NOTES**

- DENOTES TRANSFORMER/UTILITY BOX
- DENOTES SEWATIC SEWER MANHOLE
- ▲ DENOTES ELEC. MTR.
- △ TEL RISER OR AS NOTED
- ▲ DENOTES WATER VALVE OR MTR.
- △ DENOTES LAMP
- ▲ DENOTES GAS MTR. OR SERVICE
- DENOTES SIGNIFICANT TREES
- DENOTES CALCULATED POINT
- DENOTES POINT FOUND (AS NOTED)
- DENOTES POINT SET THIS SURVEY
- DENOTES CLEANOUT
- DENOTES EDGE OF EASEMENT
- DENOTES UTILITY POLE W/LINES & GUY WIRES
- X X DENOTES WOOD/CHAIN LINK FENCING

**TOPOGRAPHIC NOTES**

1. TOPOGRAPHIC INFORMATION PURCHASED DIRECTLY FROM SANTA FE COUNTY GIS DEPARTMENT AND FIELD VERIFIED TO MEET NATIONAL MAP ACCURACY STANDARDS.
2. ELEVATION DATUM IS AS SHOWN (BENCHMARK)
3. CONTOUR INTERVALS = 1'

1. BASIS OF BEARING IS FROM GSP OBSERVATION WGS84 LOCALIZED TO POINTS FOUND LOT OF RECORD IS FROM "PLAT OF SURVEY PREPARED FOR CAMINO DE LOS MARQUEZ APARTMENTS" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 464 PAGE 006. RECORD DATA SHOWN IN ( ). BEARINGS SHOWN HAVE BEEN ROTATED TO MATCH SANTA FE COUNTY GIS TOPOGRAPHIC BASIS AND SITE FEATURES. RECORD DATA SHOWN IN ( ) IS ROTATED ALSO.
2. THIS PLAT IS SUBJECT TO ANY EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.
3. EASEMENT INFORMATION INDICATED HAS BEEN CREATED FROM SCALING AND ALIGNING PLAT REFERENCES 1&4 WHEN RECORD DATA LACKS PROPER TIES TO SURVEY BOUNDARY POINTS OR INFORMATION SHOWN DOES NOT MATCH GRAPHIC DEPICTIONS OR MISSING DATA.
4. DOCUMENT REFERENCING A 10' STRIP OF LAND (EASEMENT) TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. & PUBLIC SERVICE COMPANY OF NEW MEXICO DATED 5/12/59 AND RECORDED AT THE SANTA FE COUNTY, NEW MEXICO CLERKS OFFICE IN BOOK , PAGE .
5. ALL OPEN SPACE AREAS ARE INGRESS, EGRESS & UTILITY EASEMENTS AS NOTED ON FINAL DEVELOPMENT PLAN PLAT REFERENCE #4.
6. ONLY MAIN INTERIOR IMPROVEMENTS (BUILDINGS) ARE SHOWN THIS PLAT FOR SITE REFERENCE DUE TO FUTURE SITE RECONSTRUCTION.



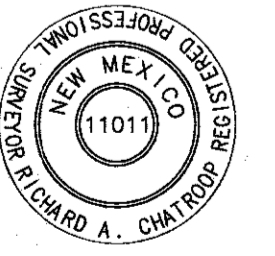
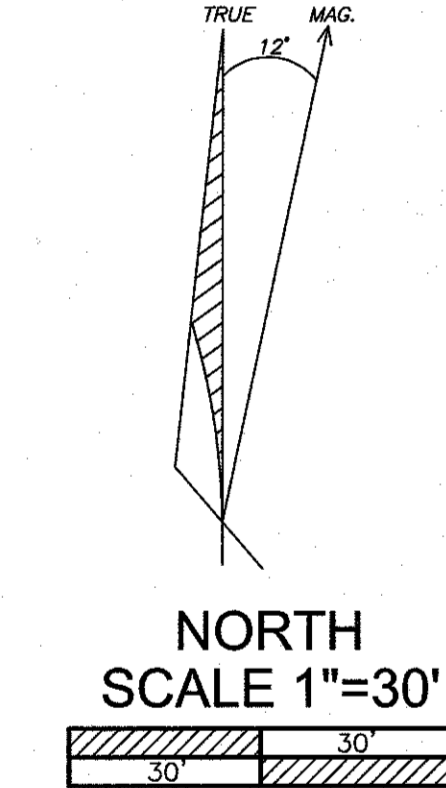
THERESA SUBDIVISION UNIT 1  
PLAT REFERENCE #2

**TOPOGRAPHIC PLAN & BOUNDARY SURVEY OF CAMINO DE LOS MARQUEZ AXTON APARTMENTS**

UPC# 1-054-098-018-184,  
214 CAMINO DE LOS MARQUEZ  
LYING WITHIN PROJECTED SECTION 25, T17N, R9E,  
NMPM, SANTA FE CO., NM.

**RICK CHATROOP**  
PROFESSIONAL LAND SURVEYOR  
NEW MEXICO REGISTRATION NO. 11011  
(505) 470-0037 110 WAGON TRAIL RD. CERRILLOS, NM. 87010

INDEXING INFORMATION FOR THE COUNTY CLERK  
OWNER: THE SANTA FE OPERA  
LOCATION: LYING WITHIN PROJECTED SECTION 25, T17N, R9E, NMPM, SANTA FE CO., NM.



**SURVEYORS CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAT AND THE NOTES HEREON ARE AN ACCURATE DELINEATION OF A FIELD SURVEY COMPLETED BY ME OR UNDER MY DIRECTION ON JULY 28TH, 2025, AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND MEET THE STANDARDS FOR PROFESSIONAL LAND SURVEYORS PRACTICING IN NEW MEXICO.  
*Richard A. Chatroop*  
RICHARD A. CHATROOP N.M.P.L.S. #11011

COUNTY OF SANTA FE } SS  
STATE OF NEW MEXICO }  
I hereby certify that this instrument was filed for record on the \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ m. and was duly recorded in book \_\_\_\_\_ of the records of Santa Fe County.  
Witness my Hand and Seal of Office  
Katharine E. Clark  
County Clerk, Santa Fe County, N.M.

Deputy

**DRAINAGE FACILITIES MAINTENANCE**  
 ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY ALL PROPERTY OWNERS. THE PROPERTY OWNERS ALSO HAVE THE RESPONSIBILITY FOR MAINTENANCE OF THE PUBLIC DRAINAGE EASEMENT. INSPECTIONS SHALL BE CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO OR OTHER QUALIFIED PERSON. INSPECTIONS SHALL BE CONDUCTED ON THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE: ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. MAINTENANCE OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED AND DOCUMENTED BY THE ENGINEER AND THE OWNER. THE OWNER SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES. WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE ENGINEERS' RECOMMENDATIONS, AND SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:  
 A. FLUSH ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND VEGETATION THAT PREVENTS OR HINDERS THE FLOW OF STORMWATER IN THE DRAINAGE STRUCTURE(S).  
 B. REMOVE SEDIMENT IN PONDS THAT IS GREATER THAN 6 INCHES IN DEPTH AND IF NECESSARY, RESEED WITH NATIVE GRASSES AND INSTALL FILTER FABRIC AND 3 TO 4 INCH COBBLE AS DIRECTED BY THE ENGINEER.  
 C. INSPECT FOR SEDIMENTATION IN ALL SWALES, DITCHES, DRAINAGE PONDS AND REMOVE AND STABILIZE AS NECESSARY.  
 D. INSPECT FOR SOIL EROSION AND ALL DRAINAGE PONDS, CUT AND FILL SLOPES, AND REPAIR OR STABILIZE ACCORDINGLY.  
 E. INSPECT THE STRUCTURAL INTEGRITY OF DRAINAGE PONDS, SLOPES, RIP-RAP, GABIONS, DROP INLETS, CULVERTS, ENERGY DISSIPATORS, AND RETAINING WALLS, ROCK PLATING, EROSION CONTROL MATS OR BLANKETS, AND REPAIR OR STABILIZE ACCORDINGLY.

**DRAINAGE FACILITIES DESIGN NOTE**  
 ALL STORM WATER DETENTION/RETENTION AREAS SHALL DRAIN WITHIN 24 HOURS OF A STORM EVENT AS PER ARTICLE 14-8.2 (D)(4)(C)(II)

**GENERAL NOTES**  
 A. SOLID WASTE COLLECTION WILL BE PROVIDED BY SF SOLID WASTE COLLECTION.  
 B. EXTERIOR LUMINARIES SHALL COMPLY WITH CHAPTER 14-8.9 SFCC. (WALL PACKS SHALL BE SHIELDED)  
 C. THE SITE SHALL COMPLY WITH INTERNATIONAL FIRE CODE (IFC) 2015.  
 D. THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' AND 26' AROUND THE RESIDENTIAL BUILDING.  
 E. THIS SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IFC REQUIREMENTS.  
 F. ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.  
 G. FIRE LANE SURFACE SHALL BE ALL WEATHER AND SUPPORT 75,000 POUNDS.  
 H. THE PROJECT IS SERVED BY A PUBLIC SANITARY SEWER COLLECTION SYSTEM SERVED BY CITY OF SANTA FE WASTEWATER.

**DUST CONTROL**  
 ALL ON-SITE SOIL DISTRIBUTING CONSTRUCTION ACTIVITY SHALL BE ADDRESSED AND PROVIDE MEASURES TO MITIGATE OR CONTROL DUST FROM BEING TRANSPORTED OFFSITE AND POLLUTING NEIGHBORING PROPERTIES. ANY PERSON, OWNER, CONTRACTOR OR OPERATOR WHO CONDUCTS EARTH MOVING AND DUST GENERATING ACTIVITIES IS RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) IN ORDER TO MITIGATE OFF PROPERTY TRANSPORT OF FUGITIVE DUST EMISSIONS. A PLAN, OR STORMWATER PREVENTION PLAN (SWPPP) WHEN APPLICABLE, LISTING THE BEST MANAGEMENT PRACTICES (BMPs), SHALL BE PROVIDED TO THE CITY ENGINEER, OR THEIR DESIGNEE FOR REVIEW AND APPROVAL. THE APPROVED BMPs SHALL BE APPLIED TO THE GRADED AND OR DISTURBED SOIL IN ORDER TO STABILIZE THE SITE. THE INITIAL BMP SHALL ADDRESS HOW THE CONTRACTOR WILL MINIMIZE THE AMOUNT OF DISTURBED SOIL, AND HOW THE CONTRACTOR WILL STABILIZE THE DISTURBED SERVICE AREA EXPOSED TO WIND OR VEHICLE TRAFFIC DURING CONSTRUCTION.  
 SEE SHEET CG-101 FOR FULL DUST CONTROL NOTES.

**GUNNISON'S PRAIRIE DOG NOTE**  
 THIS PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE GUNNISON'S PRAIRIE DOG ORDINANCE (ARTICLE 14-8. 12).

**SITE DATA**  
 ZONING R-29  
 SITE AREA 108,900 SF (2.50 ACRES)  
 ADDRESS 214 CAMINO DE LOS MARQUEZ

**DENSITY**  
 MAXIMUM DWELLING UNITS 83 UNITS  
 (29 DU'S PER ACRE X 2.501 ACRES = 72.53 DU'S + SFHP 15% DENSITY BONUS = 83 UNITS)  
 PROPOSED DWELLING UNITS 83 UNITS

**BUILDING HEIGHT TO ROOF DECK**  
 MAXIMUM ALLOWED 36'-0" FT  
 MAXIMUM PROVIDED 36'-0" FT

**MINIMUM SETBACKS TO BUILDING AS ESTABLISHED BY THIS DEVELOPMENT PLAN PER SFCC 14-7.2(D)**  
 STREET 3 FT  
 SIDE 15 FT  
 REAR 20 FT

**LOT COVERAGE**  
 LOT COVERAGE ALLOWED 43,560 SF (40% MAXIMUM)  
 LOT COVERAGE PROVIDED 36,282 SF (33% PROVIDED)

**OPEN SPACE**  
 OPEN SPACE REQUIRED 20,750 SF (83 DU X 250 SF)  
 OPEN SPACE PROVIDED 27,800 SF

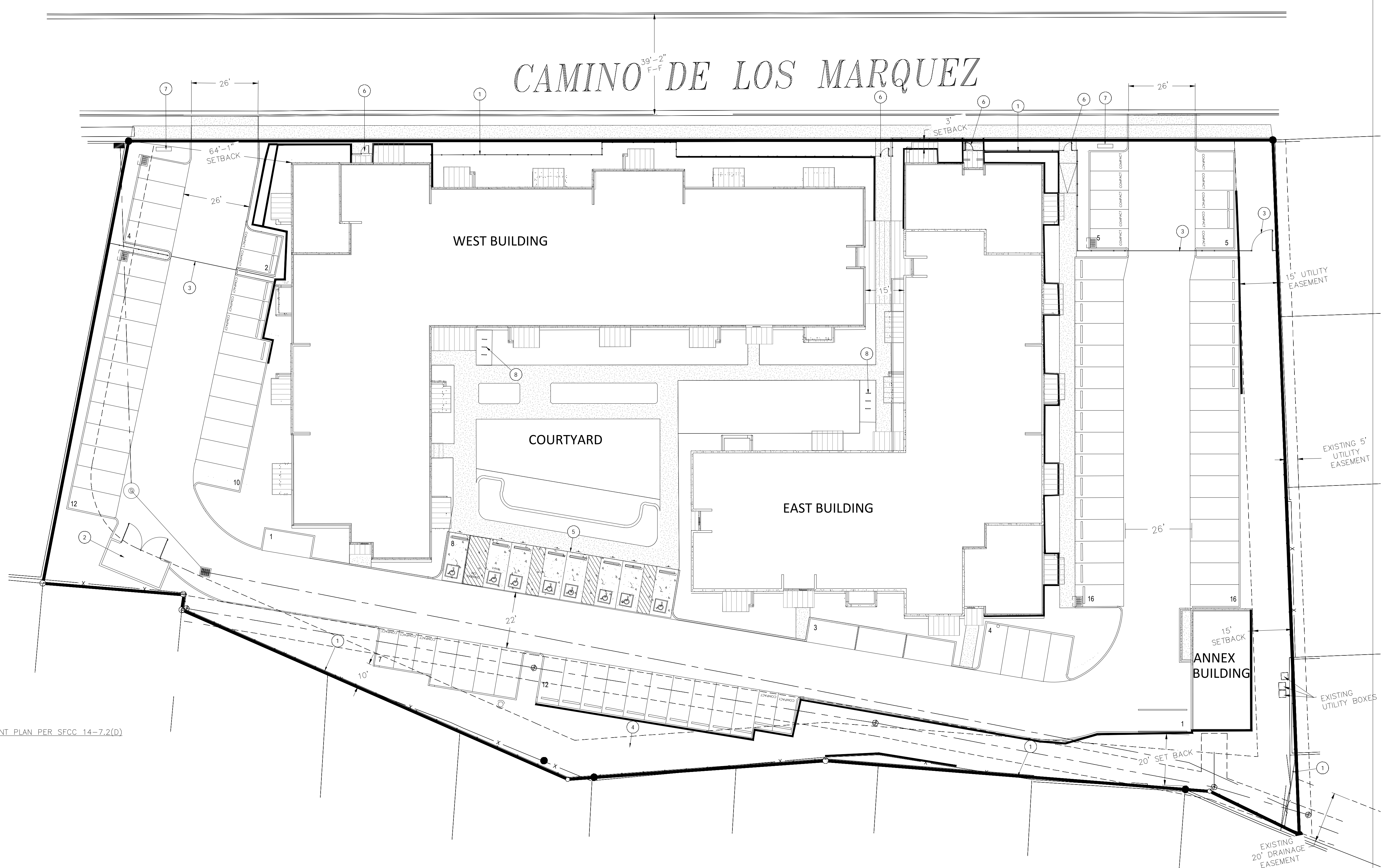
**PARKING REQUIRED**  
 TOTAL PARKING REQUIRED = 104 SPACES  
 (83 UNITS <800 SF X 1.25 SPACES/UNIT = 104 SPACES)

**PARKING PROVIDED\***  
 STANDARD PARKING 86 SPACES  
 COMPACT PARKING 20 SPACES  
 TOTAL PARKING 106 SPACES  
 \*STANDARD PARKING SPACES ARE 8.5' X 19'  
 \*COMPACT PARKING SPACES ARE 7.5' X 15'

**ADA PARKING PER NMBC TABLE 1106.1**  
 ACCESSIBLE PARKING REQUIRED 8 SPACES (2 VAN)  
 ACCESSIBLE PARKING PROVIDED 8 SPACES (2 VAN)

**BIKE PARKING REQUIRED**  
 PER SFCC TABLE 14-8.6-3 = 12 SPACES  
 TOTAL BIKE PARKING PROVIDED = 12 SPACES

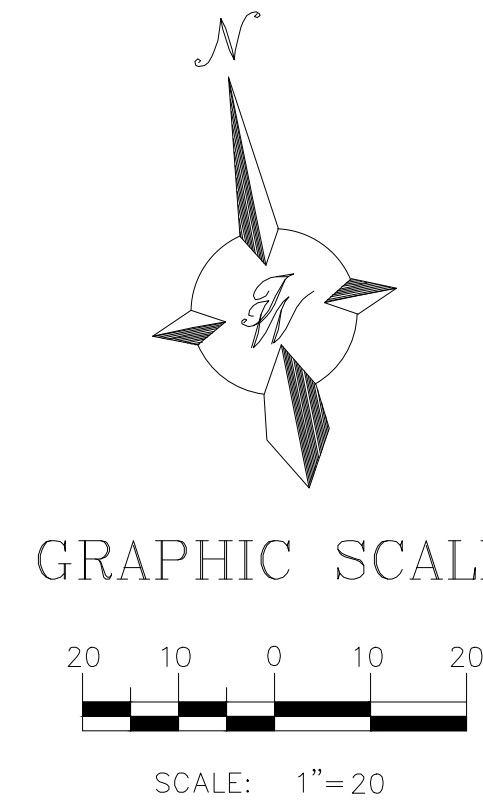
**MONUMENT SIGN:**  
 1. FUTURE MONUMENT AND ALL OTHER SIGNAGE SHALL COMPLY WITH THE CITY OF SANTA FE SIGN ORDINANCE 14-8-10 AND PERMITTED SEPARATELY.  
 2. FINAL LOCATION TO BE DETERMINED AT PERMIT.



**LEGEND**


	CURB & GUTTER
	PROPOSED BOUNDARY LINE
	EASEMENT
	CENTERLINE
	BUILDING
	PROPOSED SIDEWALK
	PERIMETER SECURITY FENCE
	RETAINING WALL
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK

- KEYED NOTES**
- PERIMETER SECURITY FENCE
  - DUMPSTER PAD AND ENCLOSURE
  - VEHICULAR GATE
  - PONDING AREA
  - ADA PARKING
  - PEDESTRIAN GATE
  - MONUMENT SIGN
  - BICYCLE PARKING



	<b>SFO APPRENTICE HOUSING</b> SANTA FE, NM	DRAWN BY AS
	<b>DEVELOPMENT PLAN</b>	DATE 09/29/2025
		SHEET # C-004
RONALD R. BOHANNAN P.E. #7868		JOB # 2025065

SANTA FE OPERA APPRENTICE HOUSING  
CONDITIONS OF APPROVAL  
214 CAMINO DE LOS MARQUEZ, SANTA FE, NM  
CASE # \_\_\_\_\_

<p>ENGINEER'S SEAL</p>  <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>JURISDICTION: CITY OF SANTA FE PROJECT NAME: SANTA FE OPERA APPRENTICE HOUSING DRAWING TYPE: CONDITIONS OF APPROVAL DRAWING DATE: 09/29/2025</p>
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**SANTA FE OPERA APPRENTICE HOUSING  
INFRASTRUCTURE PLANS  
214 CAMINO DE LOS MARQUEZ, SANTA FE, NM  
CASE # \_\_\_\_\_**

**OWNER/DEVELOPER:**



THE SANTA FE OPERA  
301 OPERA DRIVE  
SANTA FE, NM 87506-2823  
505.986.5900

**SURVEYOR (ALTA/TOPO):**

RICK CHATROOP  
110 WAGON TRAIL RD  
CERRILLOS, NM 87010  
505.470.0037

**PLANNER:**



JENKINS GAVIN  
130 GRANT AVE SUITE 101  
SANTA FE, NM 87501  
505.820.7444  
JENKINS GAVIN.COM

**CIVIL ENGINEER:**



TIERRA WEST, LLC  
5571 MIDWAY PARK PL, NE  
ALBUQUERQUE, NM  
505.858.3100  
TIERRAWESTLLC.COM

**ARCHITECT:**



SMPC ARCHITECTS  
219 CENTRAL AVE NW SUITE 800  
ALBUQUERQUE, NM 87102  
505.255.8688  
SMPCARCH.COM

**LANDSCAPE:**



PLAND COLLABORATIVE  
600 1ST ST NW, SUITE 100  
ALBUQUERQUE, NM 87102  
505.268.2266  
PLANDCOLLAB.COM

**ELECTRICAL ENGINEER:**



QA ENGINEERING  
1409 ORTIZ DR SE  
ALBUQUERQUE, NM 87108  
505.338.7092  
QAENGINEERING.COM

SHEET LIST			
SHEET #	SHEET NAME	SHEET #	SHEET NAME
SHEET 1	COVER SHEET	L1100	OVERALL IRRIGATION PLAN
SHEET 2	LEGAL LOT OF RECORD	L1101	IRRIGATION PLAN
SHEET 3	BOUNDARY SURVEY	L1102	IRRIGATION PLAN
		L1103	IRRIGATION PLAN
AS1	DEMOLITION PLAN	L1104	IRRIGATION PLAN
AS2	SITE PLAN	L1105	IRRIGATION PLAN
AS3	OPEN SPACE PLAN	L200	IRRIGATION TABLES
AS4	SITE DETAILS	L1501	IRRIGATION DETAILS
AS5	SITE DETAILS	L1502	IRRIGATION DETAILS
		LP100	OVERALL PLANTING PLAN
SP-1	CIVIL SITE PLAN	LP101	PLANTING PLAN
ESC-1	EROSION AND SEDIMENT CONTROL PLAN	LP102	PLANTING PLAN
ESC-2	EROSION AND SEDIMENT CONTROL NOTES/DETAILS	LP103	PLANTING PLAN
SA-1	SLOPE ANALYSIS EXHIBIT	LP104	PLANTING PLAN
GR-0	DRAINAGE BASIN PLAN - FOR INFORMATION ONLY	LP105	PLANTING PLAN
GR-1	GRADING AND DRAINAGE PLAN	LP501	PLANTING DETAILS
SD-1	STORM DRAIN PLAN		
MU-1	UTILITY PLAN- PRIVATE ONSITE	SL1	SITE LIGHTING PHOTOMETRIC PLAN
WP-1	WATER PLAN	SL2	SITE LIGHTING CUTSHEETS
FO-1	FIRE ONE PLAN		
N-1	GENERAL CONSTRUCTION NOTES	A1	OVERALL FLOOR PLAN -LEVEL 1
N-2	GENERAL CONSTRUCTION NOTES	A2	OVERALL FLOOR PLAN -LEVEL 2
DET-1	SITE CIVIL DETAILS	A3	OVERALL FLOOR PLAN -LEVEL 3
DET-2	SITE CIVIL DETAILS	A4	FLOOR PLAN WEST -LEVEL 1
DET-3	SITE CIVIL DETAILS	A5	FLOOR PLAN WEST -LEVEL 2
DET-4	SITE CIVIL DETAILS	A6	FLOOR PLAN WEST -LEVEL 3
DET-5	WATER UTILITY DETAILS	A7	FLOOR PLAN EAST -LEVEL 1
DET-6	SANITARY SEWER DETAILS	A8	FLOOR PLAN EAST -LEVEL 2
		A9	FLOOR PLAN EAST -LEVEL 3
LD100	TREE PRESERVATION PLAN	A10	OVERALL EXTERIOR ELEVATIONS
LD200	TREE PRESERVATION PLAN	A11	NORTH EXTERIOR ELEVATIONS
LS100	LANDSCAPE SITE PLAN	A12	WEST EXTERIOR ELEVATIONS
LS401	LANDSCAPE COURTYARD ENLARGEMENT	A13	SOUTH EXTERIOR ELEVATIONS
LS501	LANDSCAPE DETAILS	A14	ANNEX BUILDING
LS502	LANDSCAPE DETAILS	A15	TYPICAL DETAILS

**ENGINEER'S STATEMENT**

I, RONALD BOHANNAN, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 7868, DO HEREBY STATE THAT I HAVE PERSONALLY MADE AN ON-SITE FIELD INSPECTION OF THE SUBJECT PROPERTY, AND HAVE FOUND THAT NO RECENT GRADING, FILLING, OR CUTTING, HAD TAKEN PLACE ON SAID SITE PRIOR TO THE PREPARATION OF THE TOPOGRAPHY SURVEY SHOWN ON THE PLAN HEREON.

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_



JURISDICTION: CITY OF SANTA FE  
PROJECT NAME: SANTA FE OPERA APPRENTICE HOUSING  
DRAWING TYPE: COVER SHEET  
DRAWING DATE: 09/29/2025

RONALD R. BOHANNAN  
P.E. #7868

# REVISED FINAL DEVELOPMENT PLAN CAMINO DE LOS MARQUEZ APARTMENTS

(FORMERLY C.H.S. APARTMENTS)

### DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT "SIRES, 81", A GENERAL PARTNERSHIP, HAS CAUSED TO BE DEVELOPED THE LANDS SHOWN ON THIS PLAT LYING SITUATE AND BEING WITHIN THE CITY OF SANTA FE, NEW MEXICO. ALL THAT APPEARS ON THIS PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETOR DO HEREBY GRANT EASEMENTS FOR UTILITIES AS HEREON SHOWN.

"SIRES, 81", A GENERAL PARTNERSHIP

*M. Eugene Miller*  
M. EUGENE MILLER, GENERAL PARTNER.

ATTEST BY NOTARY PUBLIC: *Nelson Trujillo* NOTARY DATE: 10-25-82 COMM. EXPIRES: 3-27-86

### AFFIDAVIT

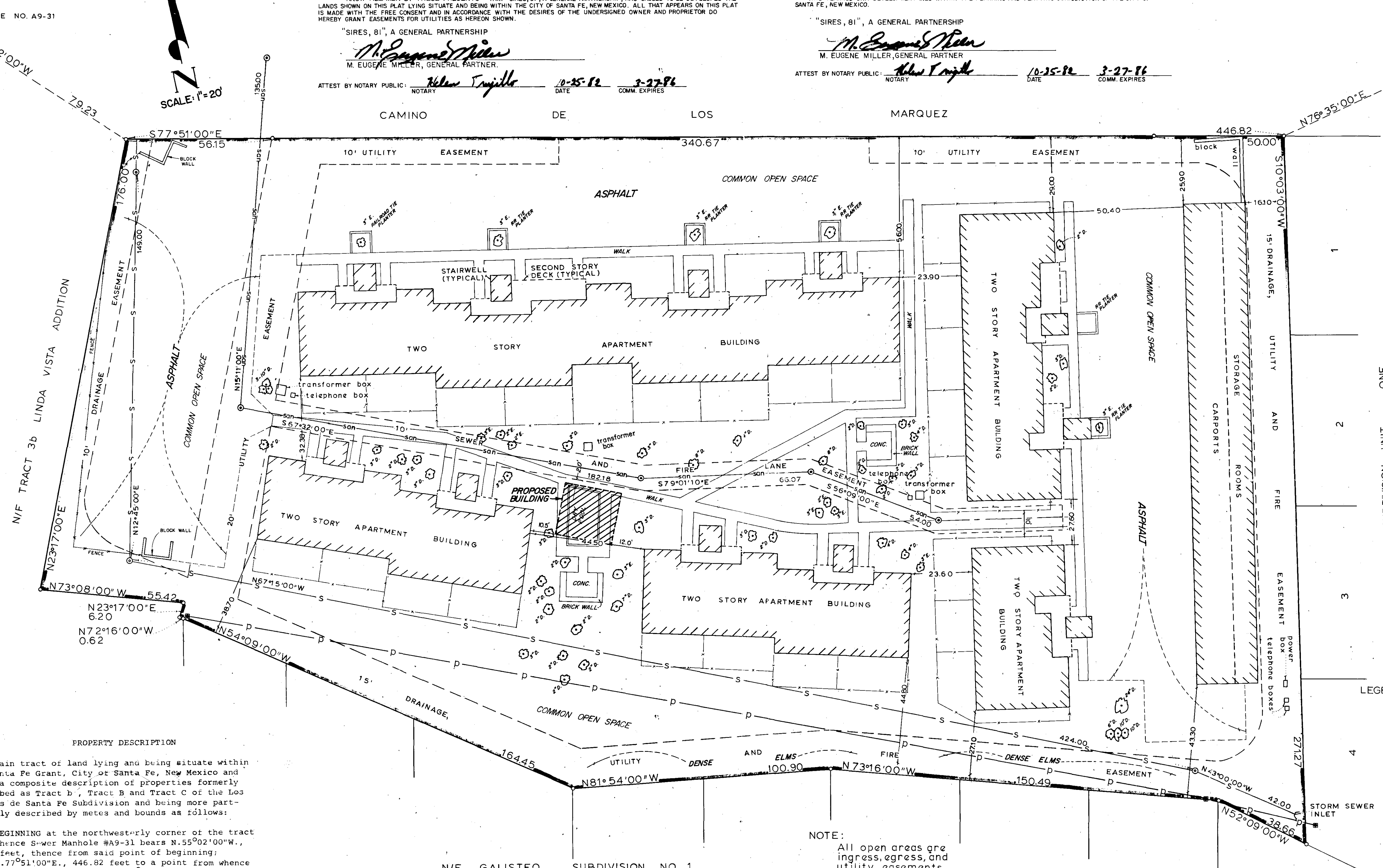
THIS PLANNED UNIT DEVELOPMENT LIES WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO.

"SIRES, 81", A GENERAL PARTNERSHIP

*M. Eugene Miller*  
M. EUGENE MILLER, GENERAL PARTNER

ATTEST BY NOTARY PUBLIC: *Nelson Trujillo* NOTARY DATE: 10-25-82 COMM. EXPIRES: 3-27-86

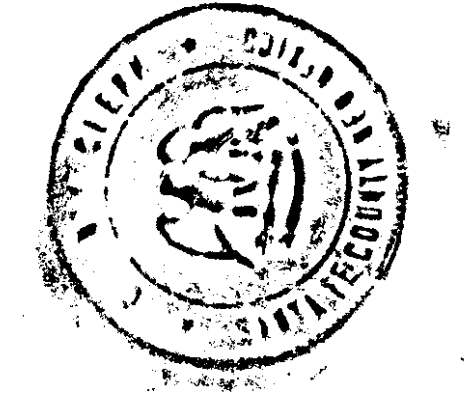
CAMINO DE LOS MARQUEZ



### APPROVALS

CITY OF SANTA FE  
*Herbert H. Hunt* 11-17-82  
CITY ENGINEER DATE  
*M. D. Turreo* 11-17-82  
CITY PLANNER DATE

APPROVED BY THE CITY PLANNING COMMISSION AT ITS MEETING OF 11/4/82 DATE  
*Roman Mares* CHAIRMAN  
*Arnel A. Romero* SECRETARY



COUNTY OF SANTA FE, JSS 505971  
ST. OF NEW MEXICO  
I hereby certify that this instrument was filed for record on the 17th day of November, 1982, at 9:21 a.m., and was duly recorded in book 222 page 235 of the records of Santa Fe County, New Mexico.  
Witness my Hand and Seal of Office  
*Margaret Labow* Deputy County Clerk, Santa Fe County, N.M.

LEGEND:  
Bearings based on plat of survey by John West, NMPE & LS 676, on August 8, 1974, and titled "Survey Plat for Lands of Frances Sauer-essig".  
■ power pole  
⊙ storm sewer manhole  
⊙ sanitary sewer manhole  
E INDICATES EVERGREEN TREE.  
D INDICATES DECIDUOUS TREE.

### PROPERTY DESCRIPTION

A certain tract of land lying and being situate within the Santa Fe Grant, City of Santa Fe, New Mexico and being a composite description of properties formerly described as Tract b, Tract B and Tract C of the Los Pueblos de Santa Fe Subdivision and being more particularly described by metes and bounds as follows:  
BEGINNING at the northwest corner of the tract from whence Sewer Manhole #A9-31 bears N.55°02'00"W., 79.23 feet, thence from said point of beginning:  
S.77°51'00"E., 446.82 feet to a point from whence Sewer Manhole #A9R-12 bears N.76°35'00"E., 122.80 feet, thence:  
S.10°03'00"W., 271.27 feet to a point, thence;  
N.52°09'00"W., 38.66 feet to a point, thence;  
N.73°16'00"W., 150.49 feet to a point, thence;  
N.61°54'00"W., 100.90 feet to a point, thence;  
N.54°09'00"W., 164.45 feet to a point, thence;  
N.2°16'00"W., 0.62 feet to a point, thence;  
N.23°17'00"E., 6.20 feet to a point, thence;  
N.3°08'00"W., 55.42 feet to a point, thence;  
N.23°17'00"E., 176.00 feet to the point and place of beginning.

Containing 2.505 Acres, more or less.

NOTE:  
All open areas are ingress, egress, and utility easements.

SURVEYORS CERTIFICATE  
I HEREBY CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WAS MADE BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL DURING THE MONTH OF OCTOBER, 1982 AND THAT THE INFORMATION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Richard E. Smith*  
RICHARD E. SMITH  
NM PLS#5837

Smith & Williamson  
Surveying Service  
1210 Lusa, Suite 5 Santa Fe, New Mexico 87501

CAMINO DE LOS MARQUEZ APARTMENTS  
SANTA FE, NEW MEXICO

DRAWN	DATE	CHECKED	SCALE	PROJECT NO.	COUNTY	SHEET NO.
DM:	OCT. 1, 1982	RES	1"=20'	1641	SANTA FE	1 of 1

**PLAT & DOCUMENT REFERENCES**

DOCUMENTS USED TO DETERMINE PROPERTY BOUNDARY AND EXISTING ROWs

- #1 "PLAT OF SURVEY PREPARED FOR CAMINO DE LOS MARQUEZ APARTMENTS" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 464 PAGE 006. RECORD DATA SHOWN IN ( ) SEE NOTE#3.
- #2 "PLAT OF THERESA SUBDIVISION UNIT 1" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 11, PAGE 34.
- #3 "PLAT OF THE GALISTEO SUBDIVISION NUMBER ONE" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 2, PAGE 257.

- #4 "REVISED FINAL DEVELOPMENT PLAN FOR CAMINO DE LOS MARQUEZ APARTMENTS" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 122 PAGE 035(44). SEE NOTE#3.
- #5 "CONDOMINIUM SURVEY FOR CASA SERENA, A CONDOMINIUM" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 638, PAGE 002.
- #6 "CONDOMINIUM SURVEY PLAT PREPARED FOR 333 WEST CORDOVA ROAD CONDOMINIUM" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 688, PAGES 004-005.

**SANTA FE COUNTY PUBLIC NOTICE**

THE SANTA FE COUNTY LAND USE ADMINISTRATOR HAS NOT REVIEWED THIS PLAT OF SURVEY BEFORE ITS FILING IN THE OFFICE OF THE COUNTY CLERK. THIS PLAT IS NOT BEING FILED FOR THE PURPOSE OF CREATING A SUBDIVISION OR NEW LOTS, ALTERING THE BOUNDARIES OF ANY EXISTING LOTS OR FOR THE PURPOSE OF "DEVELOPMENT" AS DEFINED IN THE SANTA FE COUNTY SUSTAINABLE LAND DEVELOPMENT CODE. THIS STATEMENT DOES NOT IN ANY WAY REPRESENT OFFICIAL COUNTY APPROVAL OF THIS PLAT.

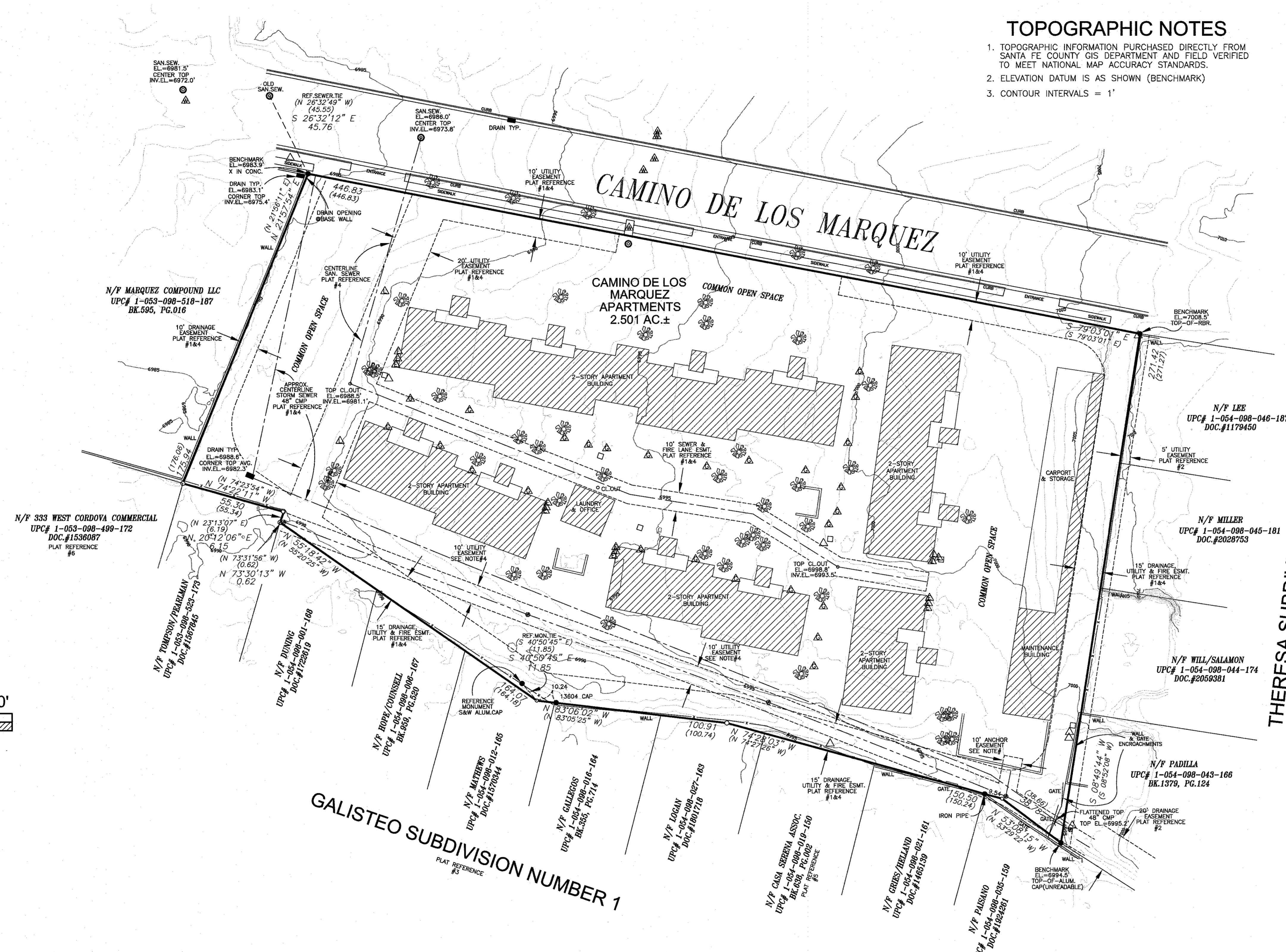
**LEGEND AND NOTES**

- DENOTES TRANSFORMER/UTILITY BOX
- DENOTES SEWATIC SEWER MANHOLE
- ▲ DENOTES ELEC. MTR.
- △ TEL RISER OR AS NOTED
- ▲ DENOTES WATER VALVE OR MTR.
- △ DENOTES LAMP
- ▲ DENOTES GAS MTR. OR SERVICE
- DENOTES SIGNIFICANT TREES
- DENOTES CALCULATED POINT
- DENOTES POINT FOUND (AS NOTED)
- DENOTES POINT SET THIS SURVEY
- DENOTES CLEANOUT
- DENOTES EDGE OF EASEMENT
- DENOTES UTILITY POLE W/LINES & GUY WIRES
- X X DENOTES WOOD/CHAIN LINK FENCING

**TOPOGRAPHIC NOTES**

1. TOPOGRAPHIC INFORMATION PURCHASED DIRECTLY FROM SANTA FE COUNTY GIS DEPARTMENT AND FIELD VERIFIED TO MEET NATIONAL MAP ACCURACY STANDARDS.
2. ELEVATION DATUM IS AS SHOWN (BENCHMARK)
3. CONTOUR INTERVALS = 1'

1. BASIS OF BEARING IS FROM GSP OBSERVATION WGS84 LOCALIZED TO POINTS FOUND LOT OF RECORD IS FROM "PLAT OF SURVEY PREPARED FOR CAMINO DE LOS MARQUEZ APARTMENTS" RECORDED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 464 PAGE 006. RECORD DATA SHOWN IN ( ). BEARINGS SHOWN HAVE BEEN ROTATED TO MATCH SANTA FE COUNTY GIS TOPOGRAPHIC BASIS AND SITE FEATURES. RECORD DATA SHOWN IN ( ) IS ROTATED ALSO.
2. THIS PLAT IS SUBJECT TO ANY EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.
3. EASEMENT INFORMATION INDICATED HAS BEEN CREATED FROM SCALING AND ALIGNING PLAT REFERENCES 1&4 WHEN RECORD DATA LACKS PROPER TIES TO SURVEY BOUNDARY POINTS OR INFORMATION SHOWN DOES NOT MATCH GRAPHIC DEPICTIONS OR MISSING DATA.
4. DOCUMENT REFERENCING A 10' STRIP OF LAND (EASEMENT) TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH CO. & PUBLIC SERVICE COMPANY OF NEW MEXICO DATED 5/12/59 AND RECORDED AT THE SANTA FE COUNTY, NEW MEXICO CLERKS OFFICE IN BOOK , PAGE .
5. ALL OPEN SPACE AREAS ARE INGRESS, EGRESS & UTILITY EASEMENTS AS NOTED ON FINAL DEVELOPMENT PLAN PLAT REFERENCE #4.
6. ONLY MAIN INTERIOR IMPROVEMENTS (BUILDINGS) ARE SHOWN THIS PLAT FOR SITE REFERENCE DUE TO FUTURE SITE RECONSTRUCTION.



THERESA SUBDIVISION UNIT 1  
PLAT REFERENCE #2

**TOPOGRAPHIC PLAN & BOUNDARY SURVEY OF CAMINO DE LOS MARQUEZ AXTON APARTMENTS**

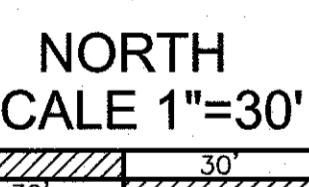
UPC# 1-054-098-018-184,  
214 CAMINO DE LOS MARQUEZ  
LYING WITHIN PROJECTED SECTION 25, T17N, R9E,  
NMPM, SANTA FE CO., NM.

**RICK CHATROOP**  
PROFESSIONAL LAND SURVEYOR  
NEW MEXICO REGISTRATION NO. 11011  
(505) 470-0037 110 WAGON TRAIL RD. CERRILLOS, NM. 87010

INDEXING INFORMATION FOR THE COUNTY CLERK  
OWNER: THE SANTA FE OPERA  
LOCATION: LYING WITHIN PROJECTED SECTION 25, T17N, R9E, NMPM, SANTA FE CO., NM.

COUNTY OF SANTA FE } SS  
STATE OF NEW MEXICO }  
I hereby certify that this instrument was filed for record on the \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ m. and was duly recorded in book \_\_\_\_\_ of the records of Santa Fe County.  
Witness my Hand and Seal of Office  
Katharine E. Clark  
County Clerk, Santa Fe County, N.M.

Deputy



**SURVEYORS CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAT AND THE NOTES HEREON ARE AN ACCURATE DELINEATION OF A FIELD SURVEY COMPLETED BY ME OR UNDER MY DIRECTION ON JULY 28TH, 2025, AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND MEET THE STANDARDS FOR PROFESSIONAL LAND SURVEYORS PRACTICING IN NEW MEXICO.

*Richard A. Chatroop*  
RICHARD A. CHATROOP N.M.P.L.S. #11011



**GENERAL NOTES SITE DEMOLITION**

1. IF THIS SHEET IS NOT 24" X 36" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
2. REFER TO CIVIL FOR EXISTING SITE SURVEY, UTILITIES, GRADING & DRAINAGE PLANS, PAVING, CURBS AND GUTTER DETAILS.
3. REFER TO LANDSCAPE FOR PLANTING, IRRIGATION, AND EXISTING TREE PRESERVATION PLANS AND DETAILS.
4. REMOVE ALL EXISTING SITE UTILITIES IN ENTIRETY AND CAP LINES AT PROPERTY LINE, UNLESS OTHERWISE NOTED.

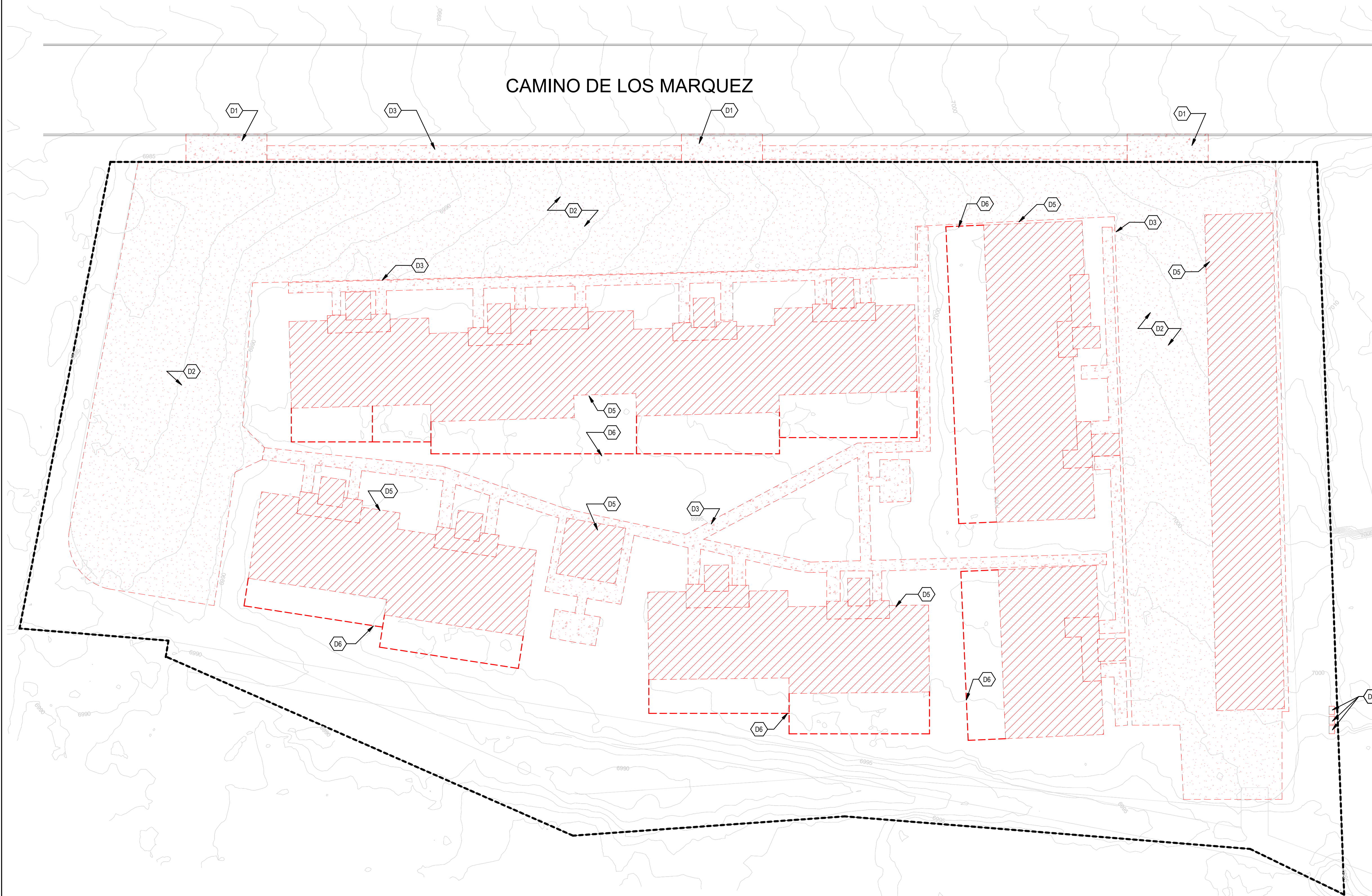
**DEVELOPMENT PLAN**

NOT FOR CONSTRUCTION

**SHEET KEYNOTES**

- D1 REMOVE EXISTING CURB CUTS
- D2 REMOVE EXISTING ASPHALT
- D3 REMOVE EXISTING CONCRETE SIDEWALK
- D5 REMOVE EXISTING STRUCTURE
- D6 REMOVE EXISTING FENCING AND/OR YARDWALL
- D7 EXISTING SITE UTILITIES TO REMAIN

**Santa Fe Opera  
Apprentice Housing**  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505



**DEMOLITION MATERIALS LEGEND**

- EXISTING ASPHALT PAVING TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING STRUCTURE TO BE REMOVED
- PROJECT BOUNDARY

NO	DATE	DESCRIPTION
DATE:	2025-10-14	
PROJECT #:	25014	
DRAWN BY:	AA	
CHECKED BY:	KM	
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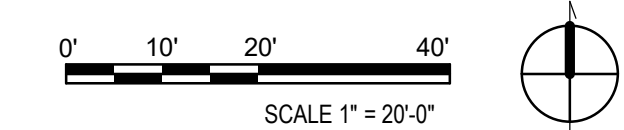
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SHEET TITLE

**DEMOLITION PLAN**

**AS1**

**A1 DEMOLITION PLAN**  
1" = 20'-0"





**DEVELOPMENT PLAN**

NOT FOR CONSTRUCTION

**Santa Fe Opera  
Apprentice Housing**  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505

**GENERAL NOTES SITE**

- IF THIS SHEET IS NOT 24" X 36" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
- REFER TO CIVIL FOR EXISTING SITE SURVEY, UTILITIES, GRADING & DRAINAGE PLANS, PAVING, CURBS AND GUTTER DETAILS, FIRE ACCESS AND EASEMENTS.
- REFER TO LANDSCAPE FOR PLANTING, IRRIGATION, AND EXISTING TREE PRESERVATION PLANS AND DETAILS

**SHEET KEYNOTES**

- S1 ASPHALT PAVING
- S2 CURB AND GUTTER
- S3 CONCRETE SIDEWALK
- S4 6" TALL WROUGHT IRON FENCING, SEE DETAIL J1/AS4
- S5 6" TALL WROUGHT IRON GATE, SEE DETAIL J6/AS4
- S6 6" TALL WROUGHT IRON VEHICULAR GATE
- S7 LANDSCAPE TURF, SEE LANDSCAPE DRAWINGS
- S10 RELOCATED CURB CUTS
- S11 RETAINING WALL, SEE CIVIL DRAWINGS
- S12 MONUMENT SIGN, SEE DETAIL F5/AS5
- S13 EXISTING UTILITIES TO REMAIN
- S14 EXISTING WALL TO BE STUCCOED
- S15 10' WIDE VEHICULAR GATE
- S16 CMU RETAINING WALL STEPPED PLANTER, SEE DETAIL A10/AS4
- S17 GUARD RAIL, AS REQUIRED BY CODE

**UNIT COUNT**

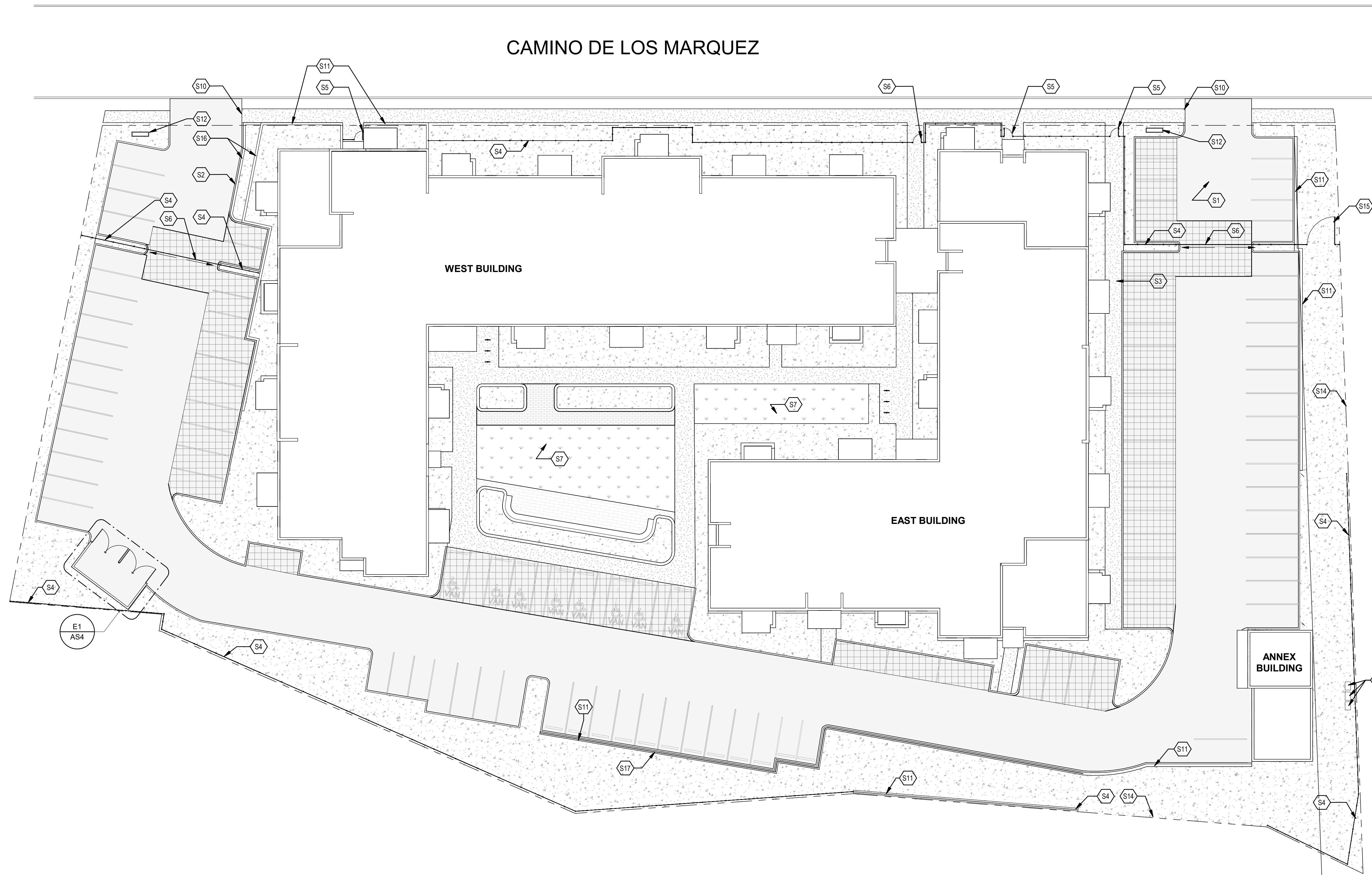
Project Totals			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	68
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	2
UNIT B	1 BEDROOM/1 BATH	567 SF	7
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	1
UNIT C	1 BEDROOM/1 BATH	550 SF	4
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	1
<b>Total</b>			<b>83</b>

East Building			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	27
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	1
UNIT B	1 BEDROOM/1 BATH	567 SF	5
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	0
UNIT C	1 BEDROOM/1 BATH	550 SF	2
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	1
<b>East Building Total</b>			<b>36</b>

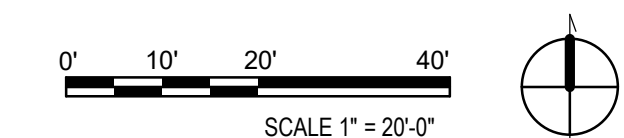
West Building			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	41
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	1
UNIT B	1 BEDROOM/1 BATH	567 SF	2
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	1
UNIT C	1 BEDROOM/1 BATH	550 SF	2
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	0
<b>West Building Total</b>			<b>47</b>

**SITE MATERIALS LEGEND**

- ASPHALT PAVING
- CONCRETE
- BRICK PAVERS
- GRAVEL MULCH, PLANTING AREA, REFER TO LANDSCAPE
- PERMEABLE PAVING
- TURF, REFER TO LANDSCAPE
- PROJECT BOUNDARY



**A1 SITE PLAN**  
1" = 20'-0"



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DATE:	2025-10-14	
PROJECT #:	25014	
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CHECKED BY:	KM	

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SHEET TITLE

**SITE PLAN**

**AS2**

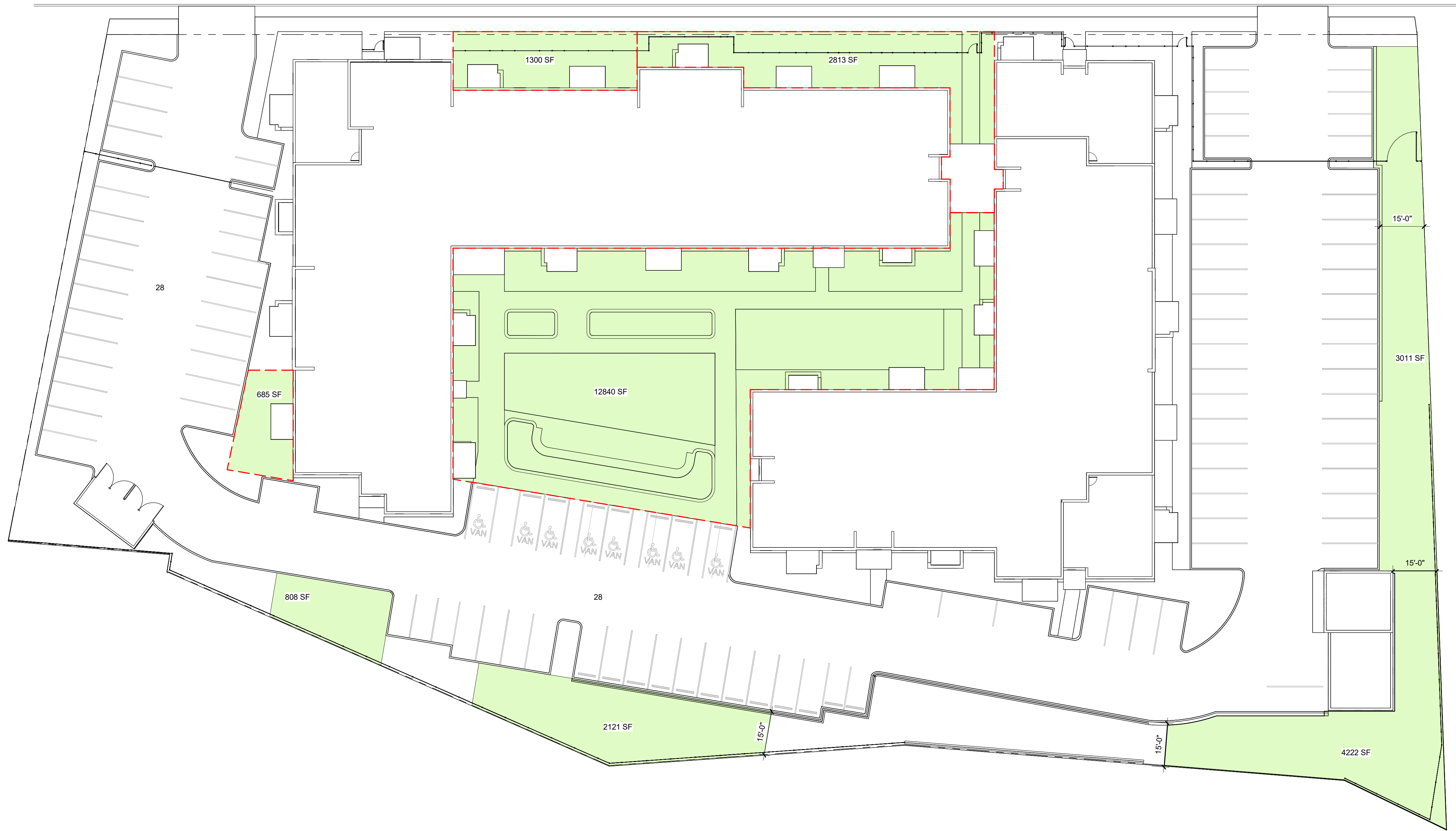


DEVELOPMENT  
PLAN

NOT FOR  
CONSTRUCTION

**Santa Fe Opera  
Apprentice Housing**  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505

CAMINO DE LOS MARQUEZ



**OPEN SPACE LEGEND**



REQUIRED OPEN SPACE: 250 SF PER UNIT  
 83 UNITS X 250 SF = 20,750 SF  
 PROVIDED OPEN SPACE: 27,800 SF  
 USABLE OPEN SPACE: 17,638 SF (63% OF PROVIDED OPEN SPACE)

NO	DATE	DESCRIPTION
DATE:	2025-10-14	
PROJECT #:	25014	
DRAWN BY:	AA	
CHECKED BY:	KM	

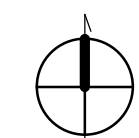
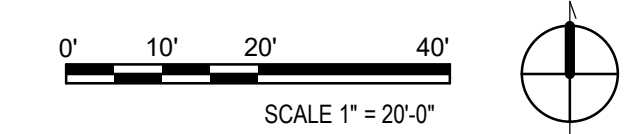
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SHEET TITLE

OPEN SPACE  
PLAN

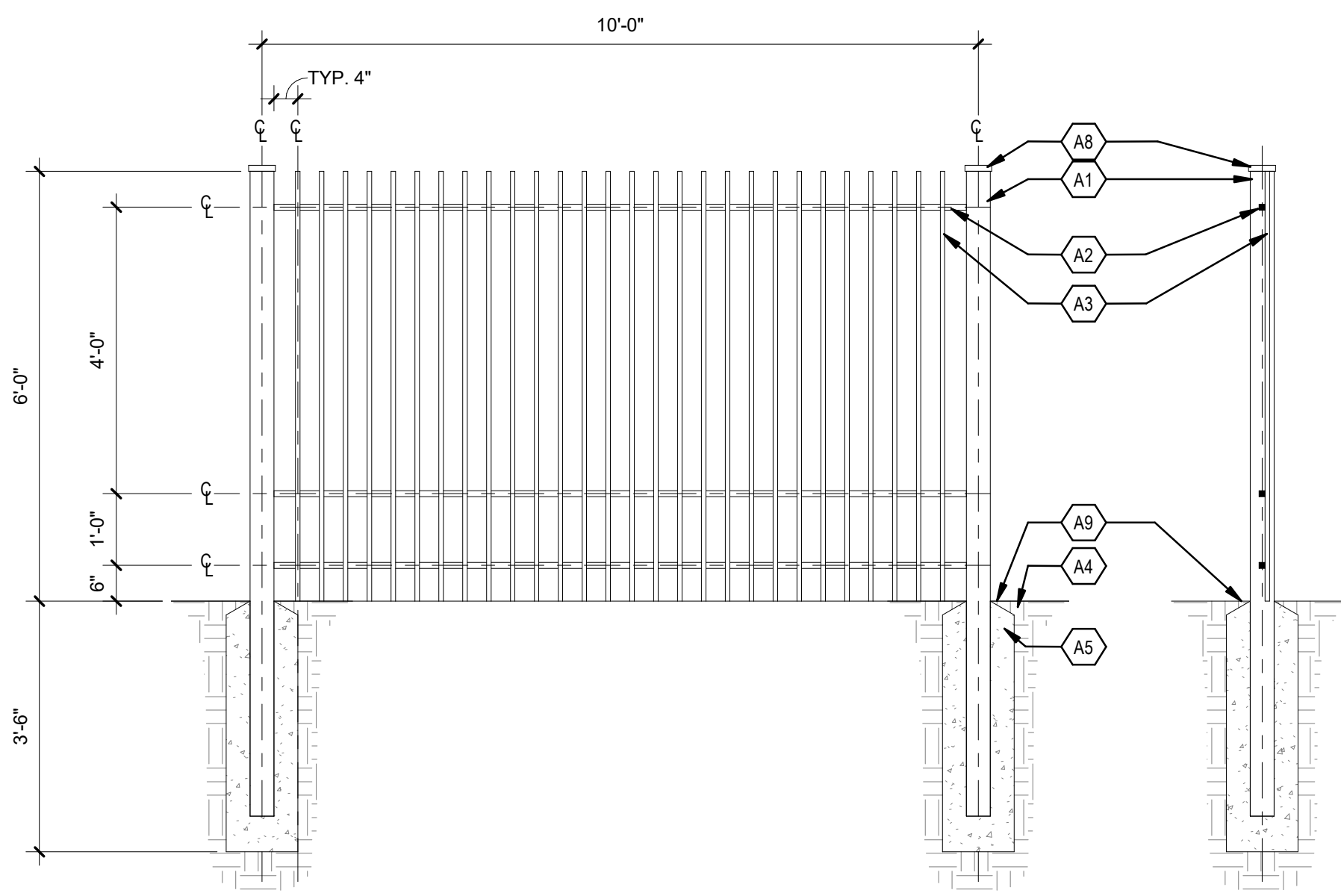
AS3



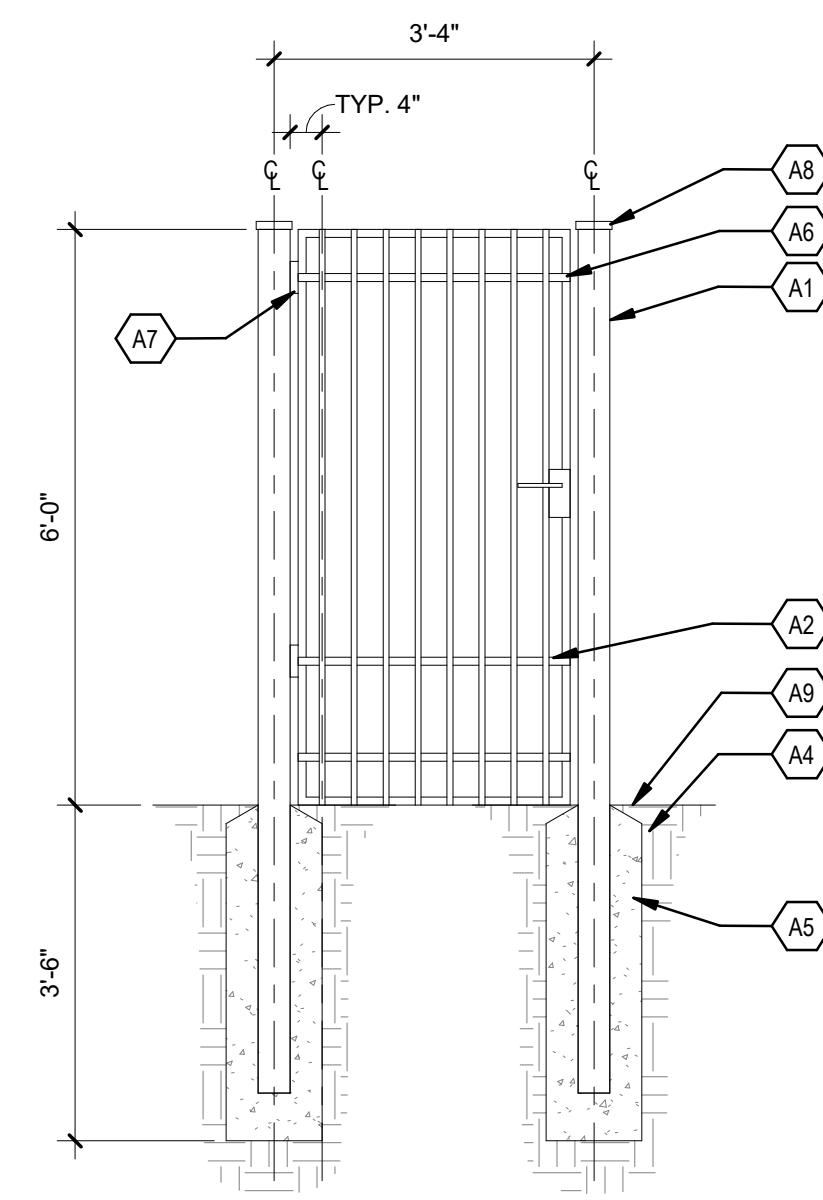


DEVELOPMENT PLAN  
NOT FOR CONSTRUCTION

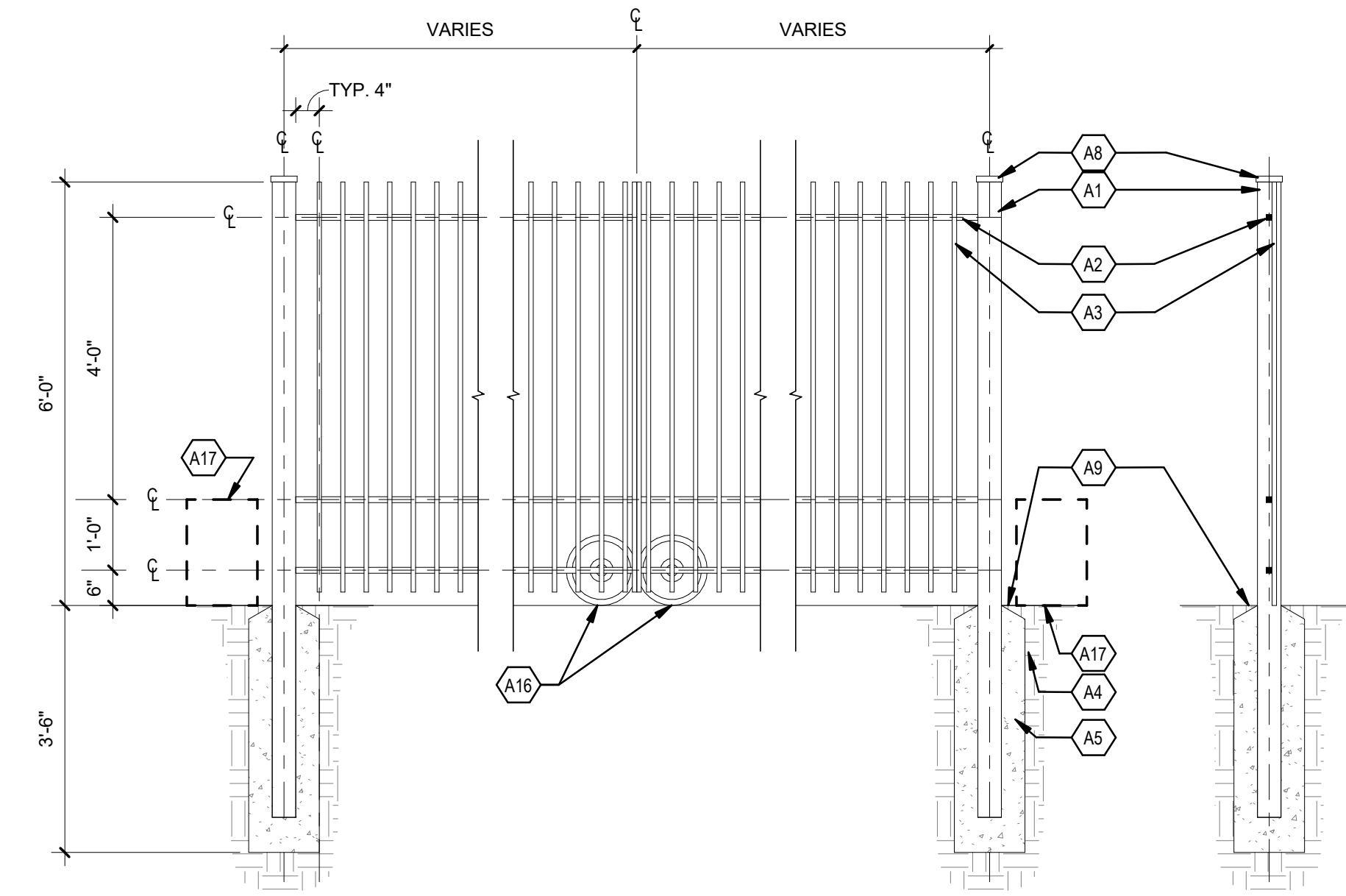
Santa Fe Opera  
Apprentice Housing  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505



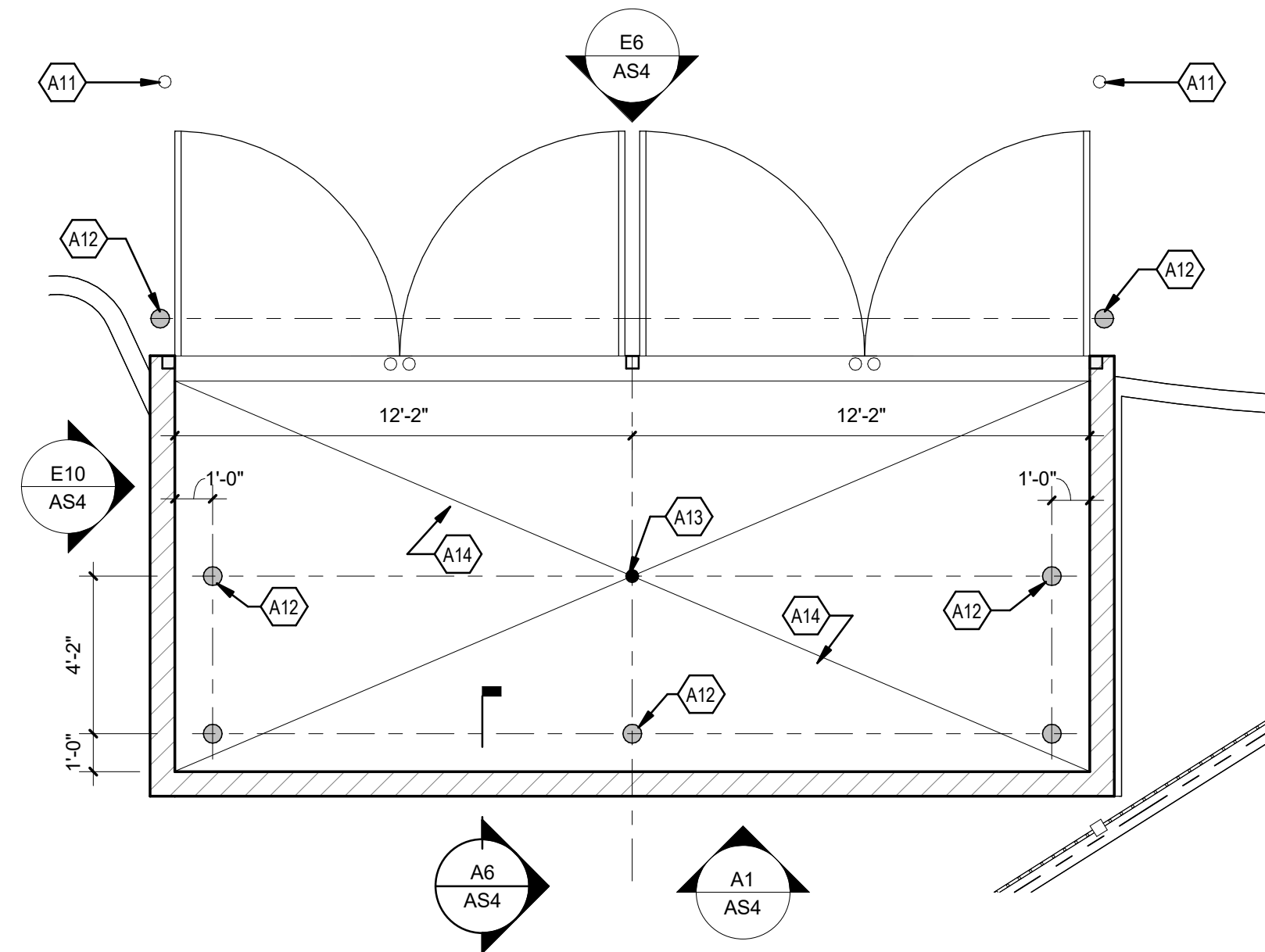
**J1 6' HT WROUGHT IRON FENCE**  
1/2" = 1'-0"



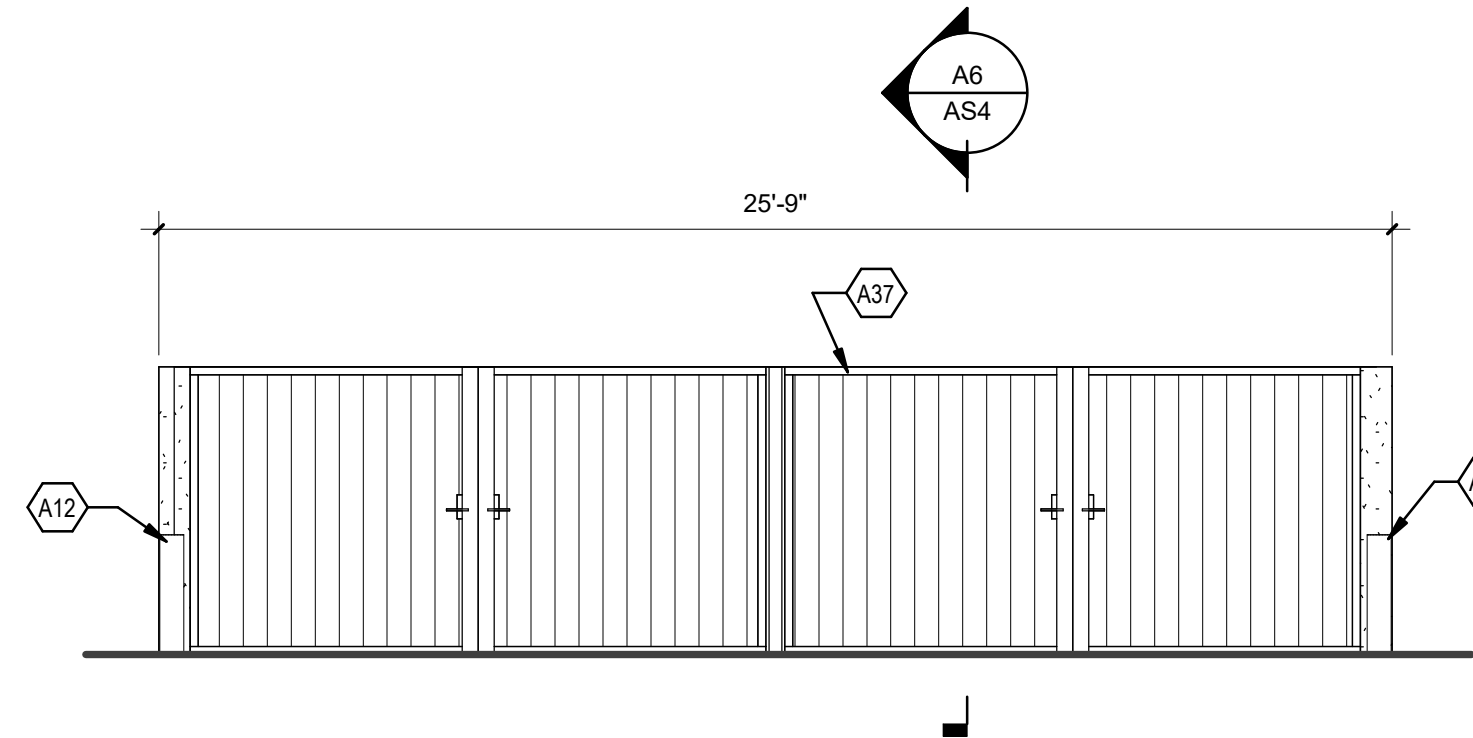
**J6 6' HT WROUGHT IRON GATE**  
1/2" = 1'-0"



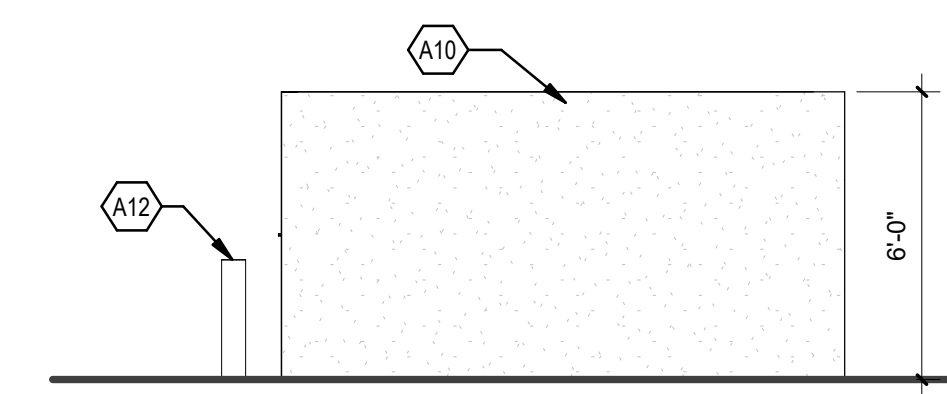
**J10 6' HT WROUGHT IRON VEHICULAR GATE**  
1/2" = 1'-0"



**E1 ENLARGED PLAN @ REFUSE ENCLOSURE**  
1/4" = 1'-0"

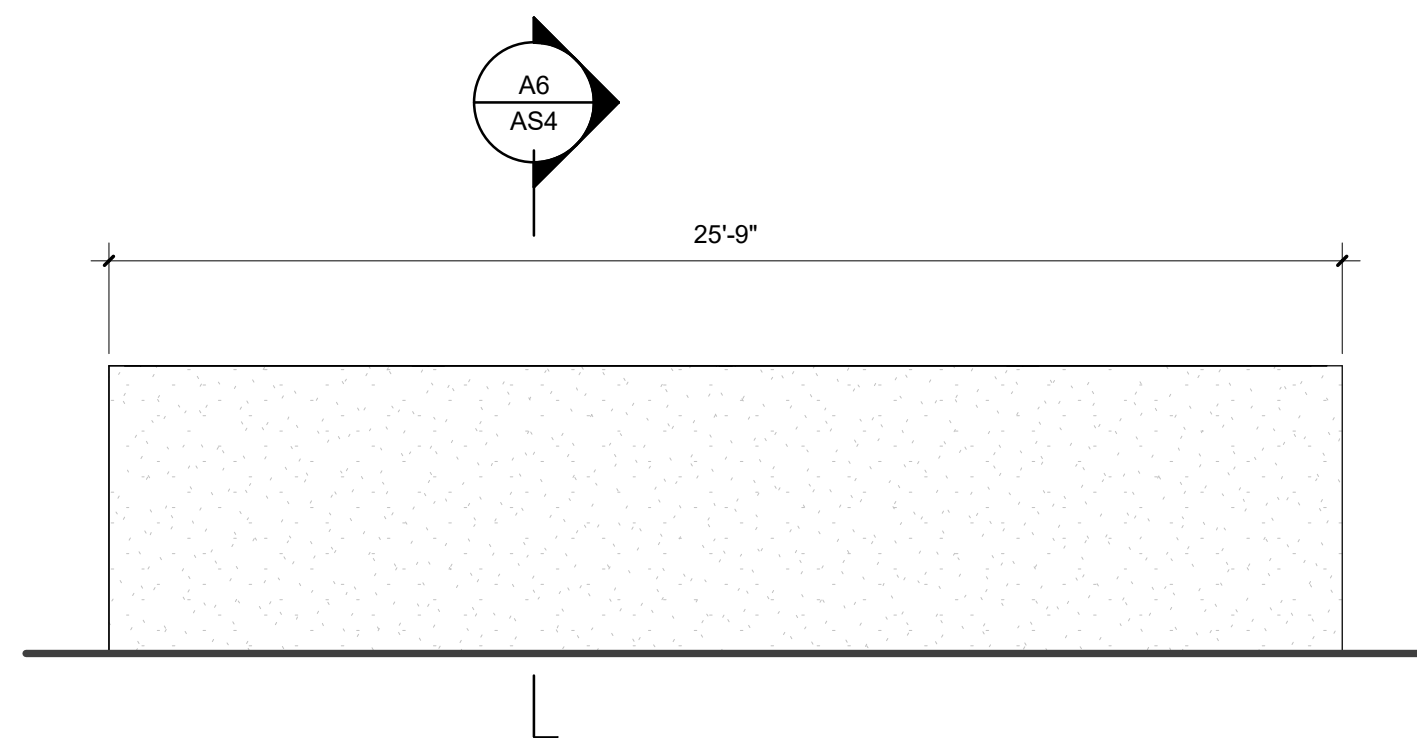


**E6 REFUSE NORTH ELEVATION**  
1/4" = 1'-0"

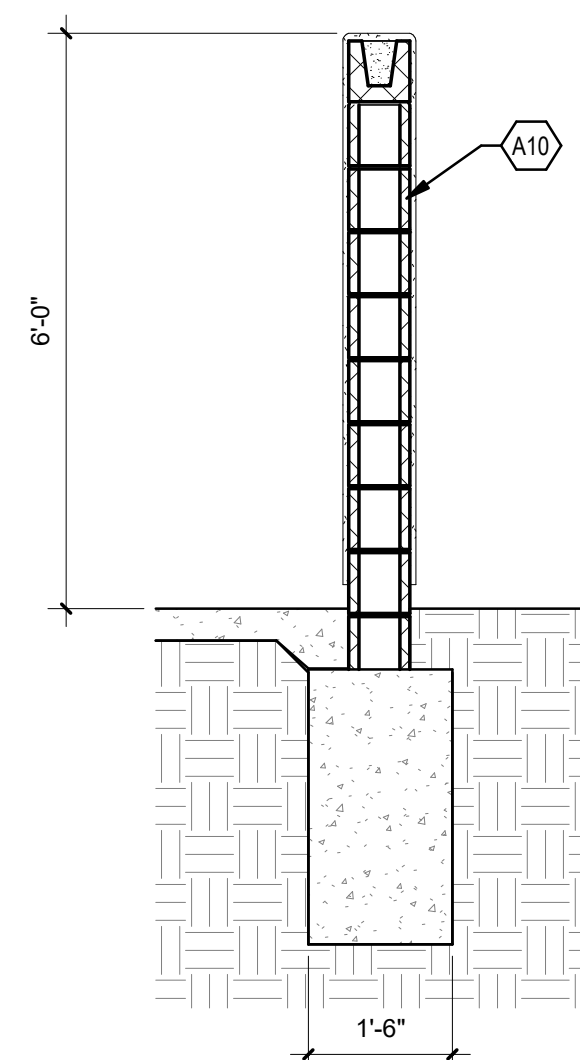


**E10 REFUSE EAST/WEST ELEVATION**  
1/4" = 1'-0"

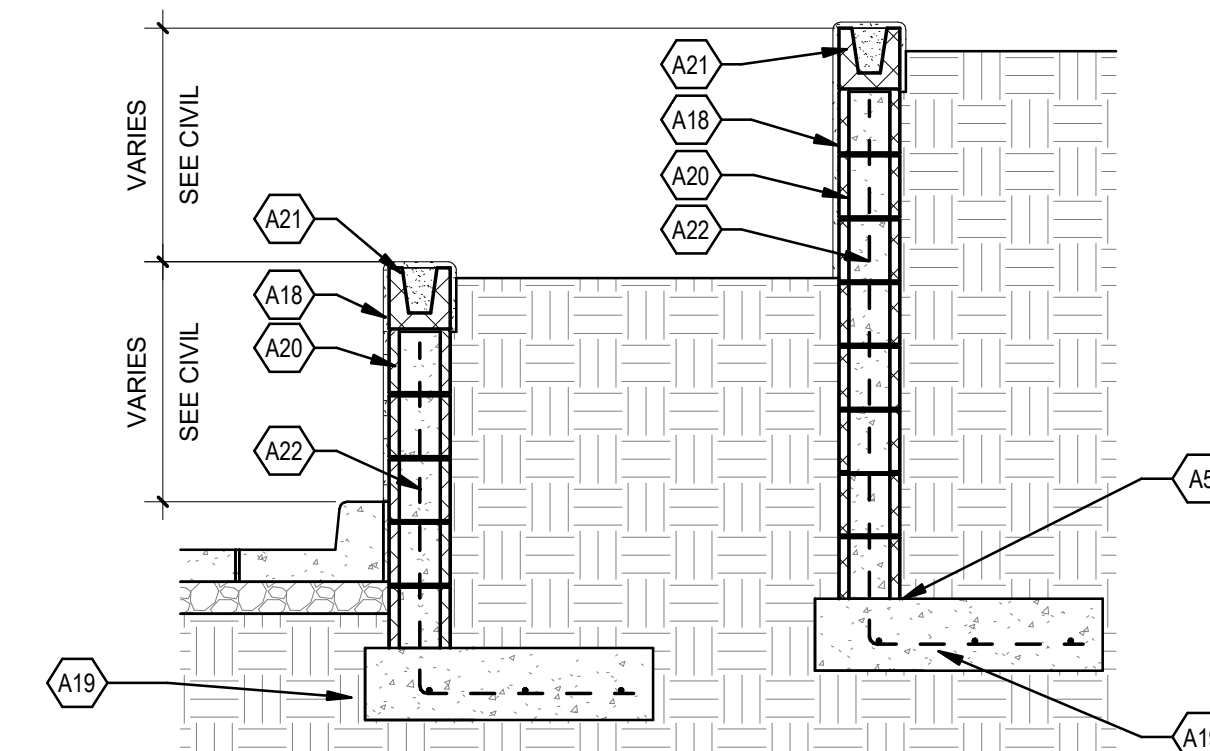
- SHEET KEYNOTES**
- A1 4" X 4" WROUGHT IRON STEEL POST
  - A2 1" X 1" WROUGHT IRON RAIL
  - A3 3/4" X 3/4" WROUGHT IRON FENCE PICKET
  - A4 COMPACTED SUBGRADE
  - A5 3000 PSI CONCRETE FOOTING
  - A6 WROUGHT IRON GATE FRAME
  - A7 GATE BARREL HINGE
  - A8 POST TOP CAPS
  - A9 FINISH GRADE
  - A10 EXTERIOR 8" CMU WALL WITH BOND BEAM IN TOP COURSE AND STUCCO FINISH. SEE DETAIL F1/AS5
  - A11 PIN HOLE IN PAVEMENT FOR GATE CANEBOLT
  - A12 6" DIA. X 42" HIGH STEEL BOLLARDS, FILLED WITH CONCRETE
  - A13 4" DIA STORM DRAIN
  - A14 SLOPE IS TO BE NO GREATER THAN 1/8" PER FOOT
  - A16 VEHICULAR GATE WHEEL
  - A17 VEHICULAR GATE MOTOR
  - A18 8" CMU WALL WITH STUCCO FINISH. SEE DETAIL F1/AS5
  - A19 #3 REBAR @ 12" O.C.
  - A20 8" X 8" X 16" STANDARD CMU. GROUT ALL CELLS SOLID.
  - A21 CONTINUOUS BOND BEAM CMU. REINFORCE WITH TWO (2) #4 REBAR CONTINUOUS. GROUT ALL CELLS.
  - A22 #4 REBAR VERTICAL @ 48" O.C.
  - A37 STEEL FRAME GATE W/ DARK BRONZE METAL PANELS



**A1 REFUSE SOUTH ELEVATION**  
1/4" = 1'-0"



**A6 WALL SECTION-ENCLOSURE**  
1/2" = 1'-0"



**A10 WALL SECTION @ STEPPED PLANTER**  
1/2" = 1'-0"

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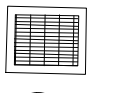
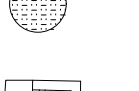
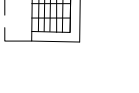
SHEET TITLE

SITE DETAILS

AS4



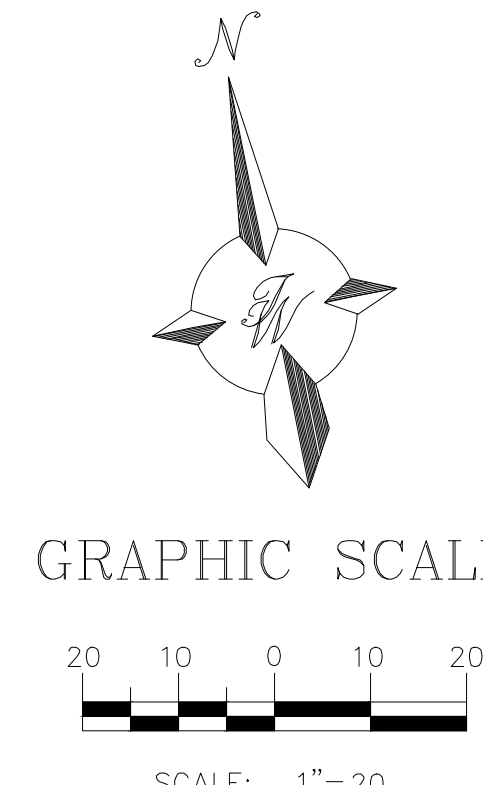
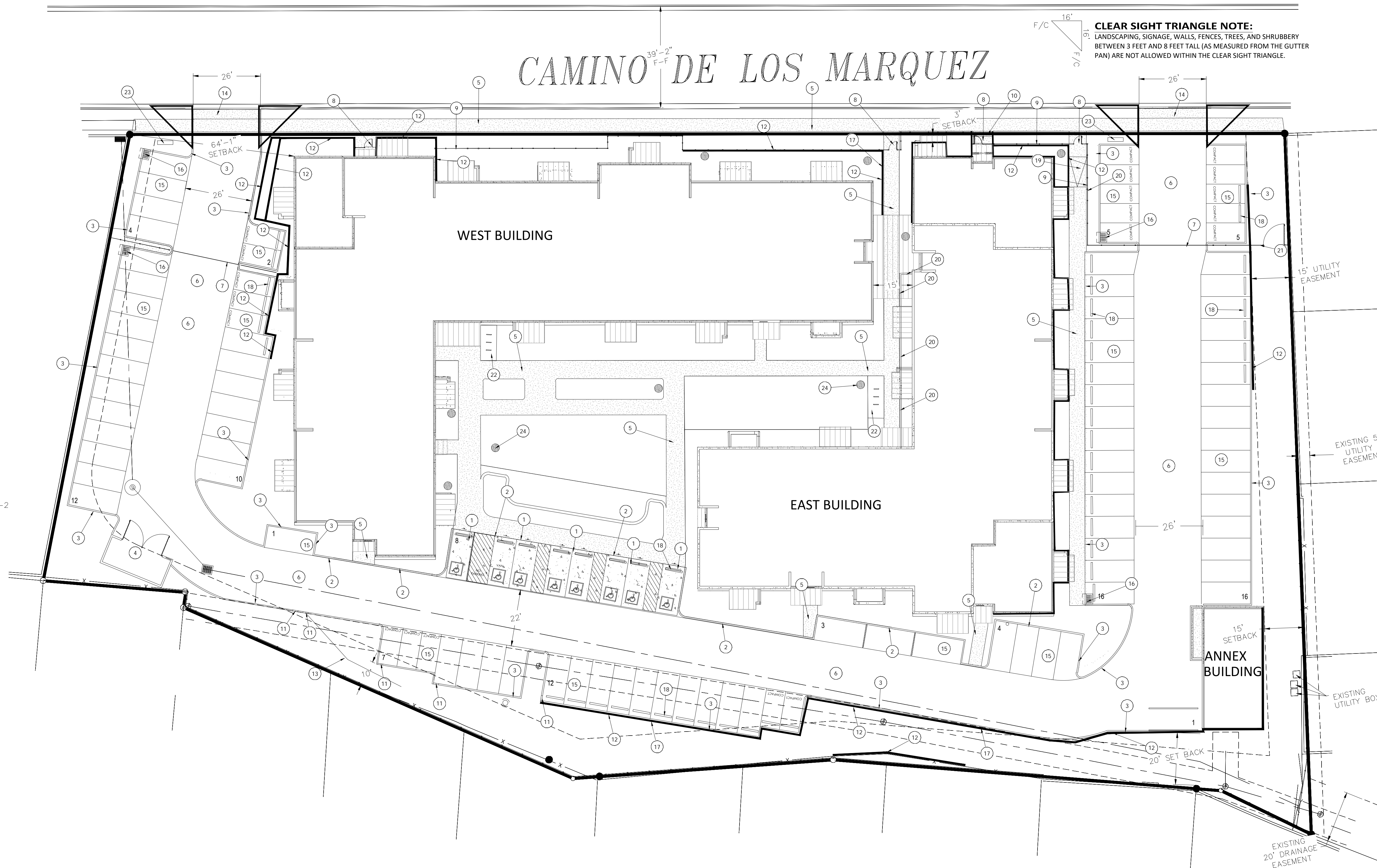
**LEGEND**

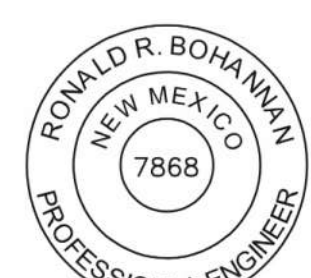
-  CURB & GUTTER
-  PROPOSED BOUNDARY LINE
-  EASEMENT
-  CENTERLINE
-  BUILDING
-  PROPOSED SIDEWALK
-  PERIMETER SECURITY FENCE
-  RETAINING WALL
-  STRIPING
-  EXISTING CURB & GUTTER
-  EXISTING BOUNDARY LINE
-  EXISTING SIDEWALK
-  EXISTING TREE
-  STORM DRAIN MANHOLE
-  STORM DRAIN INLET
-  STORM DRAIN INLET
-  CURB DRAIN INLET

**KEYED NOTES**

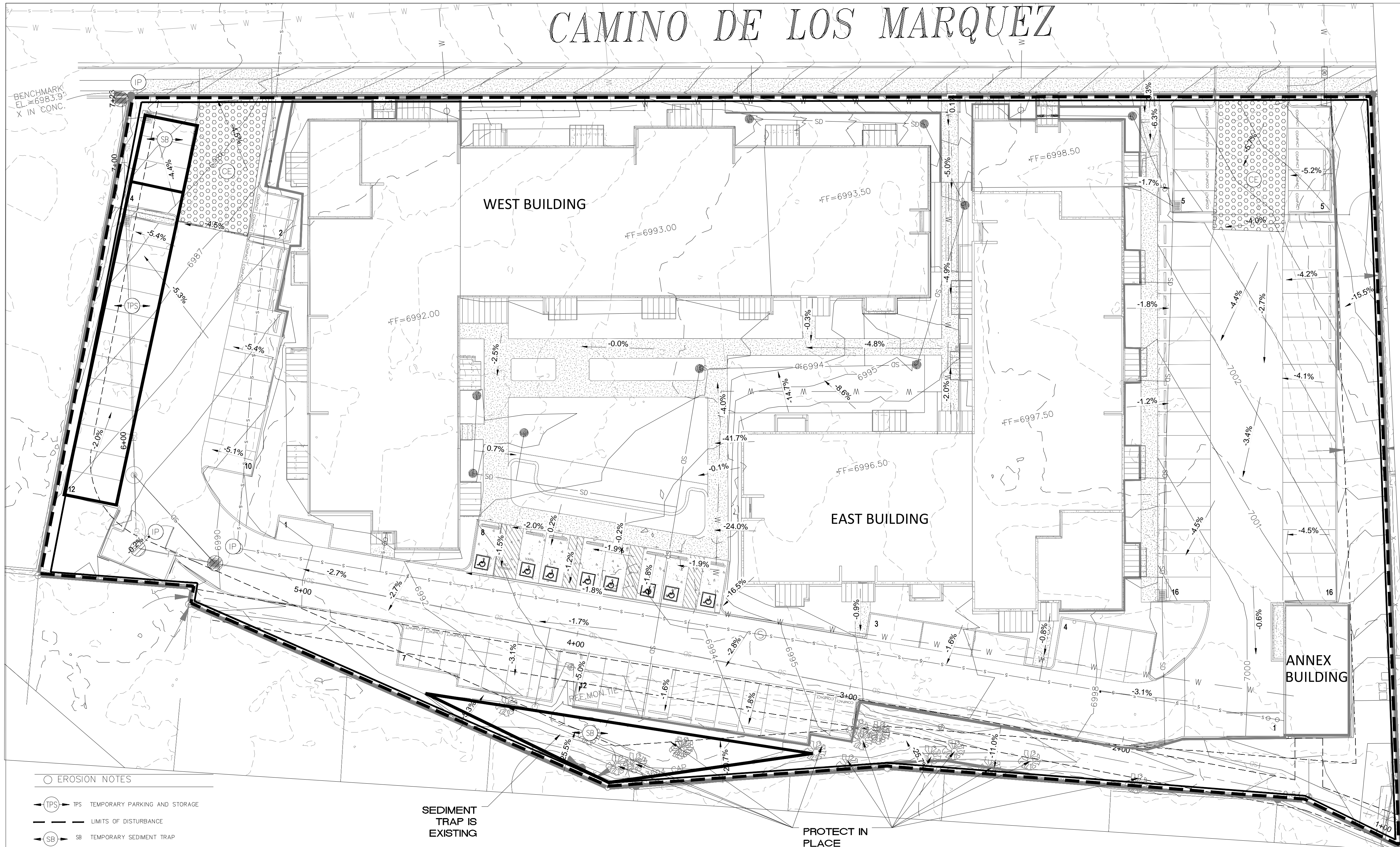
- 1 ACCESSIBLE PARKING W/SIGN PER ADA STANDARDS (1.0% MIN - 2.0% MAX SLOPE) SEE DETAIL SHEET DET-1
- 2 ZERO CURB (TYP) SEE DETAIL SHEET DET-1
- 3 6" CURB AND GUTTER (TYP) SEE DETAIL SHEET DET-1
- 4 DUMPSTER W/RECYCLING SEE DETAIL SHEET DET-3
- 5 NEW CONCRETE SIDEWALK, WIDTH VARIES (TYP.) SEE DETAIL SHEET DET-2
- 6 NEW ASPHALT PAVING SEE DETAIL SHEET DET-1
- 7 GATED VEHICULAR ACCESS
- 8 GATED PEDESTRIAN ACCESS
- 9 PERIMETER FENCING
- 10 1 CONCRETE STEPS SEE DETAIL SHEET DET-4
- 11 CURB CUT SEE DETAIL SHEETS DET-1
- 12 RETAINING WALL SEE DETAIL SHEET DET-3, ALSO SEE GRADING PLAN FOR HEIGHTS
- 13 ROCK SWALE, SEE DETAIL SHEETS DET-4.
- 14 TYPE 2 DRIVEWAY APRON SEE DETAIL SHEET DET-2
- 15 DRIVABLE PAVERS IN PARKING AREAS SEE DETAIL SHEET DET-1
- 16 CURB INLET REFER SHEET SD-1 AND DETAIL SHEET DET-4
- 17 INSTALL GUARD RAIL ON TOP OF RETAINING WALL
- 18 WHEEL STOPS (TYP) SEE DETAIL SHEET DET-1
- 19 PEDESTRIAN ACCESSIBLE RAMP WITH HANDRAILS SEE DETAIL SHEET DET-1
- 20 HEADER CURB SEE DETAIL SHEET DET-1
- 21 VEHICULAR SWING GATE
- 22 BICYCLE PARKING
- 23 MONUMENT SIGNS
- 24 STORM DRAIN INLETS (TYP) REFER STORM DRAIN PLAN

**CLEAR SIGHT TRIANGLE NOTE:**  
LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



 RONALD R. BOHANNAN P.E. #7868	<b>ENGINEER'S SEAL</b> SFO APPRENTICE HOUSING SANTA FE, NM	DRAWN BY AS
	<b>CIVIL SITE PLAN</b>	DATE 09/29/2025
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>SP-1</b>	JOB # 2025065

# CAMINO DE LOS MARQUEZ



### NATURE AND EXTENT OF CONSTRUCTION ACTIVITIES:

NATURE OF CONSTRUCTION ACTIVITIES: DEMOLITION OF EXISTING STRUCTURES, MASS ROUGH GRADING OF THE SITE, INSTALLATION OF UTILITIES (WATER AND SANITARY SEWER) AND PAVING OF INTERNAL DRIVE AISLES, PARKING AND SIDEWALKS, BUILDING CONSTRUCTION AND LANDSCAPING AND OFFSITE IMPROVEMENTS.

PROPERTY SIZE: 2.501 ACRES

DISTURBED AREA SIZE: 2.501 ACRES

MAXIMUM DISTURBED AREA SIZE: 2.501 ACRES

### CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

### SEQUENCE OF CONSTRUCTION:

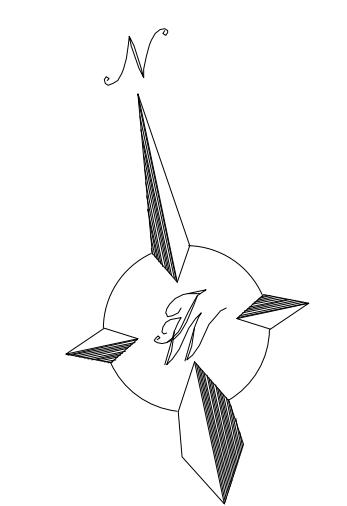
1. INSTALL STABILIZED CONSTRUCTION ENTRANCES
2. POST PUBLIC NOTICE PER DETAILS
3. INSTALL DOWN GRADIENT PERIMETER CONTROLS
4. THE ENTIRE SITE WILL BE GRADED TO DRAIN TO THE PROPOSED PONDS AT ALL TIMES DURING CONSTRUCTION. INSTALL SEDIMENT BASINS PRIOR TO CLEARING REST OF THE SITE.
5. NOTIFY SWPPP COMPLIANCE INSPECTOR OF COMPLETION OF ABOVE.
6. BEGIN SOIL DISTURBING ACTIVITIES
7. PROVIDE TEMPORARY STABILIZATION OF DISTURBED AREAS OR STOCKPILES
8. INSTALL UNDERGROUND UTILITIES
9. START CONSTRUCTION OF MEDICAL OFFICE BUILDING
10. FINISH GRADING THE SITE
11. PAVE COMMON ACCESS DRIVE AISLES AND SIDEWALKS
12. INSTALL LANDSCAPING ON SITE.

### GROUND COVER (PRE-CONSTRUCTION)

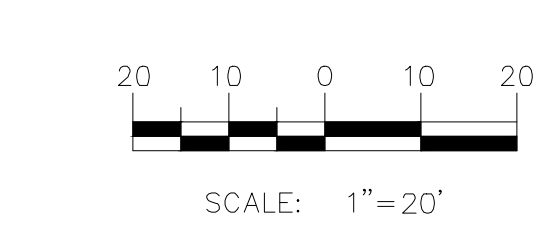
THE UNDISTURBED AND PRE-CONSTRUCTION GROUND COVER CONSISTS OF COMPACTED SOIL WITH AN EXISTING MULTI-FAMILY COMPLEX, TREES, AND SHRUBS WITH DISTURBANCES TO GRADING.

### SWPPP PURPOSE

THE PURPOSE OF THIS SWPPP IS TO APPLY SWPPP CONTROLS THAT ARE REQUIRED DURING DEVELOPMENT OF SITE AND PUBLIC RIGHT OF WAYS.



GRAPHIC SCALE



### EROSION NOTES

- (TPS) TPS TEMPORARY PARKING AND STORAGE
- LIMITS OF DISTURBANCE
- (SB) SB TEMPORARY SEDIMENT TRAP

### EROSION DETAILS

- (CE) TEMPORARY STONE CONSTRUCTION EXIT
- (SF) TEMPORARY SILT FENCE
- (SS) SWPPP SIGN
- (SF) SILT FENCE
- (CE) CONSTRUCTION EXIT
- (IP) INLET PROTECTION

### STORMWATER TEAM MEMBERS

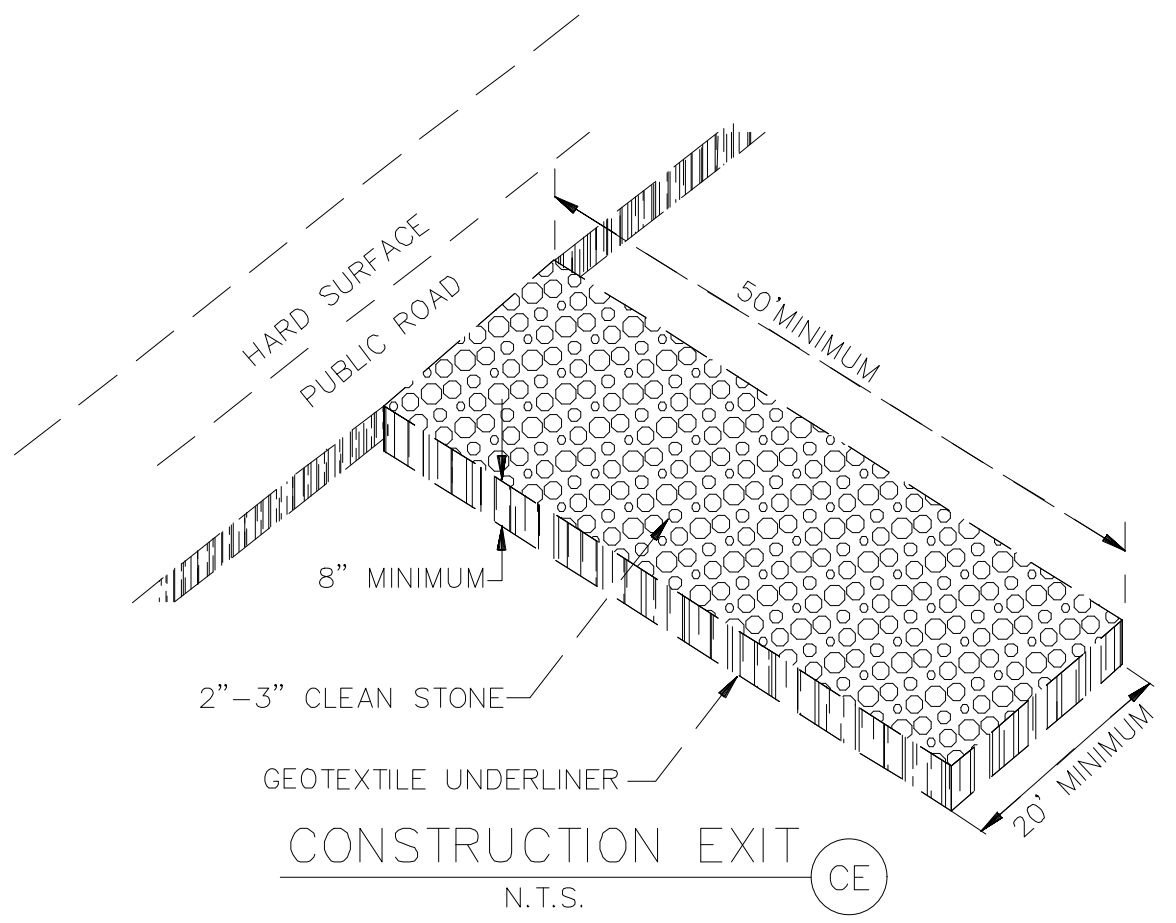
BMP INSTALLATION, MAINTENANCE AND CORRECTIVE ACTIONS  
 PHONE \_\_\_\_\_  
 EMAIL \_\_\_\_\_  
 INSPECTIONS NAME \_\_\_\_\_  
 PHONE \_\_\_\_\_  
 EMAIL \_\_\_\_\_

### LIST OF OPERATORS

OPERATOR 1 NAME \_\_\_\_\_  
 PHONE \_\_\_\_\_  
 EMAIL \_\_\_\_\_  
 OPERATOR 2 NAME \_\_\_\_\_  
 PHONE \_\_\_\_\_  
 EMAIL \_\_\_\_\_  
 OPERATOR 3 NAME \_\_\_\_\_  
 PHONE \_\_\_\_\_  
 EMAIL \_\_\_\_\_

SEDIMENT TRAP IS EXISTING

PROTECT IN PLACE EXISTING TREES UNLESS OTHERWISE DIRECTED



	<b>SFO APPRENTICE HOUSING</b> SANTA FE, NM	DRAWN BY AS
	<b>EROSION AND SEDIMENT CONTROL PLAN</b>	DATE 09/29/2025
	SHEET # <b>ESC-1</b>	JOB # 2025065

**GENERAL EROSION NOTES:**

- A. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE SWPPP BOOK, THE 2022 GENERAL CONSTRUCTION PERMIT, THIS DRAWING ("TEMPORARY EROSION CONTROL AND SEDIMENTATION PLAN"), STANDARD DETAILS ("TEMPORARY EROSION CONTROL AND SEDIMENTATION DETAILS"), EPA NOTICE OF INTENT PERMIT AND ALL SUBSEQUENT REPORTS, CORRECTIVE ACTIONS AND EROSION CONTROL RELATED DOCUMENTS.
- B. ALL OPERATORS AS DESIGNATED, CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH SITE ACTIVITIES RELATED TO STORM WATER POLLUTION PREVENTION SHALL REVIEW A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE 2017 CONSTRUCTION GENERAL PERMIT, THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES), THE CLEAN WATER ACT OF 1972 AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. THE OPERATOR IN CONTROL OF DAILY SITE ACTIVITIES SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS THAT MAY OCCUR AT NO ADDITIONAL COST TO PROJECT OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- D. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO ALL FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. OPERATOR WITH CONTROL OF DAILY SITE ACTIVITIES SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY, LOCAL JURISDICTIONAL AUTHORITY OR SWPPP COMPLIANCE INSPECTOR.
- E. THE TEMPORARY EROSION CONTROL AND SEDIMENTATION PLAN IS A WORKING DOCUMENT AND IS REQUIRED TO BE UPDATED WITHIN 24 HOURS OF ANY CHANGES WHEN BMP'S ARE REPAIRED, RELOCATED OR REMOVED BY NOTING ON THE PLAN THE AREAS AND DATES OF THE REPAIRS, RELOCATIONS OR REMOVALS. AN ACTIVE COPY OF THE PLAN SHALL BE POSTED IN THE JOB SITE TRAILER ON-SITE AND MUST BE MAINTAINED CURRENT AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING AND EARTH DISTURBANCE TO THE MAXIMUM ACREAGE AS REQUIRED BY THE EPA CONSTRUCTION GENERAL PERMIT.
- G. CONTRACTOR SHALL DENOTE ON THIS PLAN, THE LOCATION OF TEMPORARY PARKING, STORAGE, PORTABLE SANITARY FACILITIES, OFFICE TRAILERS, AND ALL SUPPORT AREAS. RELOCATIONS OF EACH SHALL ALSO BE DOCUMENTED AS THEY OCCUR.
- H. ALL WASH OUT WATER USED FOR CONCRETE, MASONRY, PAINT AND OTHER MATERIALS SHALL HAVE ADEQUATE SIGNAGE WITH PROPER CONTAINMENT AND DISPOSED OF PROPERLY WHEN CAPACITY REACHES 50% OR PER VENDOR RECOMMENDATIONS. VENDORS AND TRADESMEN SHALL BE INFORMED OF THE REQUIREMENTS TO USE THE WASH OUT.
- I. A SPILL KIT SHALL BE READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS. A DISCHARGE OF ANY MATERIAL IN A QUANTITY THAT MAY WITHIN REASONABLE PROBABILITY CAUSE, INJURE OR BE DETRIMENTAL TO HUMAN HEALTH, ANIMAL OR PLANT LIFE, OR PROPERTY, OR INTERFERE WITH THE PUBLIC WELFARE MUST BE REPORTED TO THE NEW MEXICO ENVIRONMENTAL DEPARTMENT HOTLINE AT (505) 827-9329 FOR EMERGENCIES OR FOR NON EMERGENCIES AT (866)-428-6535. IF UNSURE IF THE SPILL IS OF A SIGNIFICANT QUANTITY, THE SPILL SHOULD BE REPORTED TO THE HOTLINE AND INFORMATION PROVIDED WITH DETAILS OF THE SPILL FOR FURTHER ACTIONS.
- J. DUST DURING CONSTRUCTION OPERATIONS SHALL BE FREQUENTLY CONTROLLED BY WATER SUPPRESSION METHODS ONLY. EARTH DISTURBING OPERATIONS SHALL CEASE IF HIGH WINDS ABOVE 35 MPH ARE PRESENT. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS IS STRICTLY PROHIBITED. OTHER CHEMICALS USED FOR DUST SUPPRESSION MUST BE APPROVED BY THE EPA PRIOR TO THEIR USE.
- K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED, COVERED, LEAK PROOF CONTAINERS. CONTAINERS SHALL BE DISPOSED OF PROPERLY WHEN CAPACITY IS REACHED. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER.
- L. ALL STORM WATER POLLUTION PREVENTION MEASURES AND CONTROLS PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED PER THE SEQUENCE OF CONSTRUCTION AS NOTED.
- M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS BEEN TEMPORARILY SUSPENDED FOR 14 DAYS, SHALL HAVE TEMPORARILY STABILIZATION IN PLACE NO LATER THAN 14 DAYS FROM THE LAST DATE OF CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL HAVE PERMANENT CONTROLS IN PLACE NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- O. IF THE ACTION OF VEHICLES OR EQUIPMENTS TRAVELING OVER THE CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD FROM LEAVING THE SITE, THEN THE LENGTH OF THE EXIT SHOULD BE EXTENDED TO PROVIDE ADDITIONAL TIRE ROTATIONS, LARGER ROCK MAY BE USED TO CREATE A SUFFICIENT JARRING MOTION OR INSTALL A TIRE WASH OFF WITH A SEDIMENT TRAP BEFORE LEAVING THE SITE.
- P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- Q. THE OPERATOR IN CHARGE OF THE DAILY SITES ACTIVITIES WILL BE RESPONSIBLE FOR REMOVING SEDIMENT OR SOILS ACCUMULATING MORE THAN 50% OF THE DESIGN CAPACITY IN DETENTION PONDS, SILT FENCING OR OTHER SIMILAR EROSION CONTROLS.
- R. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES, AS REQUIRED PER THE CONSTRUCTION GENERAL PERMIT. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE ESC PLAN AND PERMITTED IN ACCORDANCE WITH LOCAL AUTHORITIES HAVING JURISDICTIONAL CONTROL.
- S. SLOPES SHALL BE LEFT WITH CROSS SLOPE GRADING PATTERN AND IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION RILLS. EXCESSIVE SLOPES MAY REQUIRE ADDITIONAL INDUSTRY STANDARD CONTROLS TO PREVENT EROSION.
- T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE OPERATOR IN CONTROL OF THE SITE'S DAILY ACTIVITIES SHALL BE RESPONSIBLE FOR ADJUSTING AND MAINTAINING ALL EROSION CONTROL TO PREVENT EROSION.
- U. ALL DISTURBED AREAS SHALL BE SUPPRESSED BY WATER AND ALL CONTROLS LEFT IN GOOD WORKING CONDITION AT THE END OF EACH WORKING DAY, THIS INCLUDES REPLACEMENT OF SILT FENCING AND/OR OTHER SURFACE CONTROLS, TRACK OUT SWEEP CLEAN, BACKFILL OF OPEN TRENCHES AND ANY OTHER EROSION CONTROLS.

**BMP MAINTENANCE:**

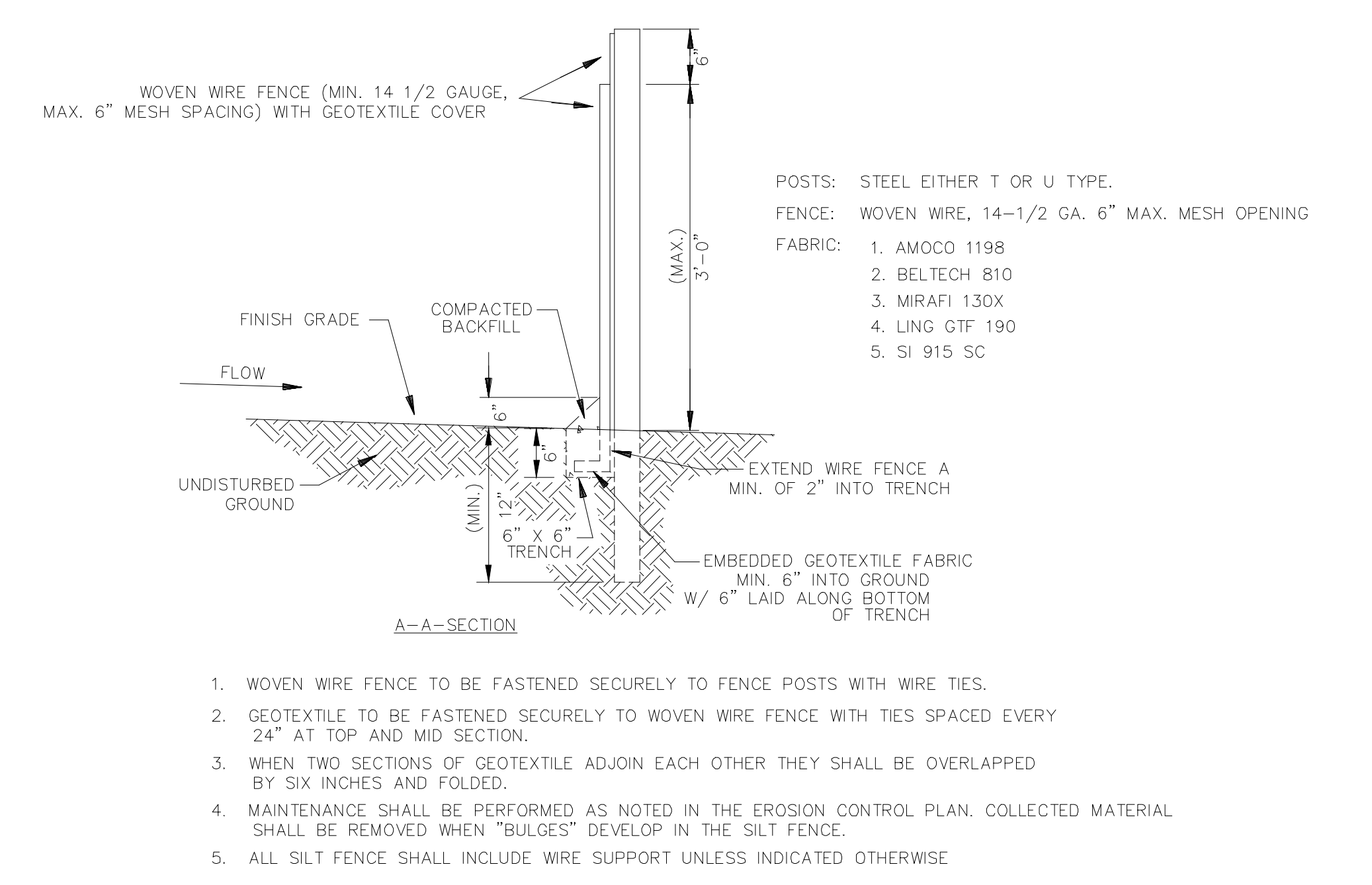
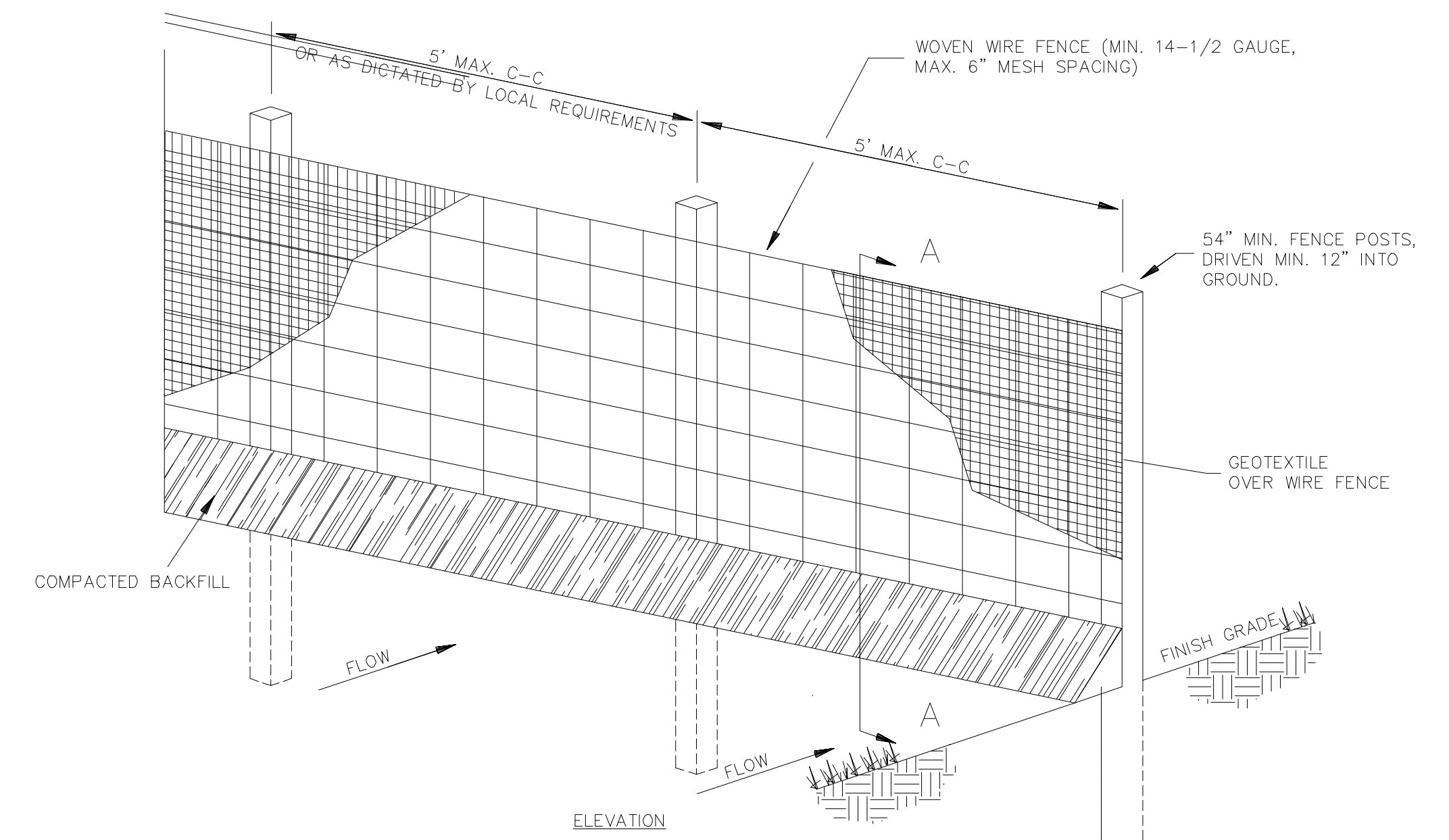
ALL MEASURES STATED IN THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR UNTIL FINAL STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT THE END OF THE WORKDAY BY A QUALIFIED MEMBER OF THE SWPPP COMPLIANCE TEAM.

THE OPERATOR WITH CONTROL OF THE SITES DAILY ACTIVITIES IS RESPONSIBLE TO MAINTAIN, CLEAN AND REPAIR EROSION CONTROLS IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED, IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION. SEDIMENT SHALL BE REMOVED TO INSURE PROPER FLOWS. INLET PROTECTION TYPES MAY NEED TO BE MODIFIED DURING THE CONSTRUCTION PROGRESS.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RE-SEEDED AS NEEDED.
3. SILT FENCES, WADDLES OR OTHER CONTROLS SHALL BE REPLACED OR REPAIRED TO PROPER FUNCTIONING CONDITION, IF DAMAGED. SEDIMENT AND SOIL SHALL BE REMOVED WHEN REACHES ONE-HALF THE HEIGHT OF THE CONTROL.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING, EXTENDING OR OTHER MODIFICATIONS TO THE CONSTRUCTION EXITS AS CONDITIONS DEMAND. SITE TRAFFIC SHOULD BE LIMITED TO THE CONTROLLED EXITS ONLY.
5. SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6. REFERENCE THE SWPPP BOOK FOR ALL EROSION CONTROL MAINTENANCE PROCEDURES AND FREQUENCIES. CONSULT THE SWPPP PREPARER WITH ANY QUESTIONS REGARDING THIS SWPPP AND ITS REQUIREMENTS.

**EROSION CONTROL NOTES:**

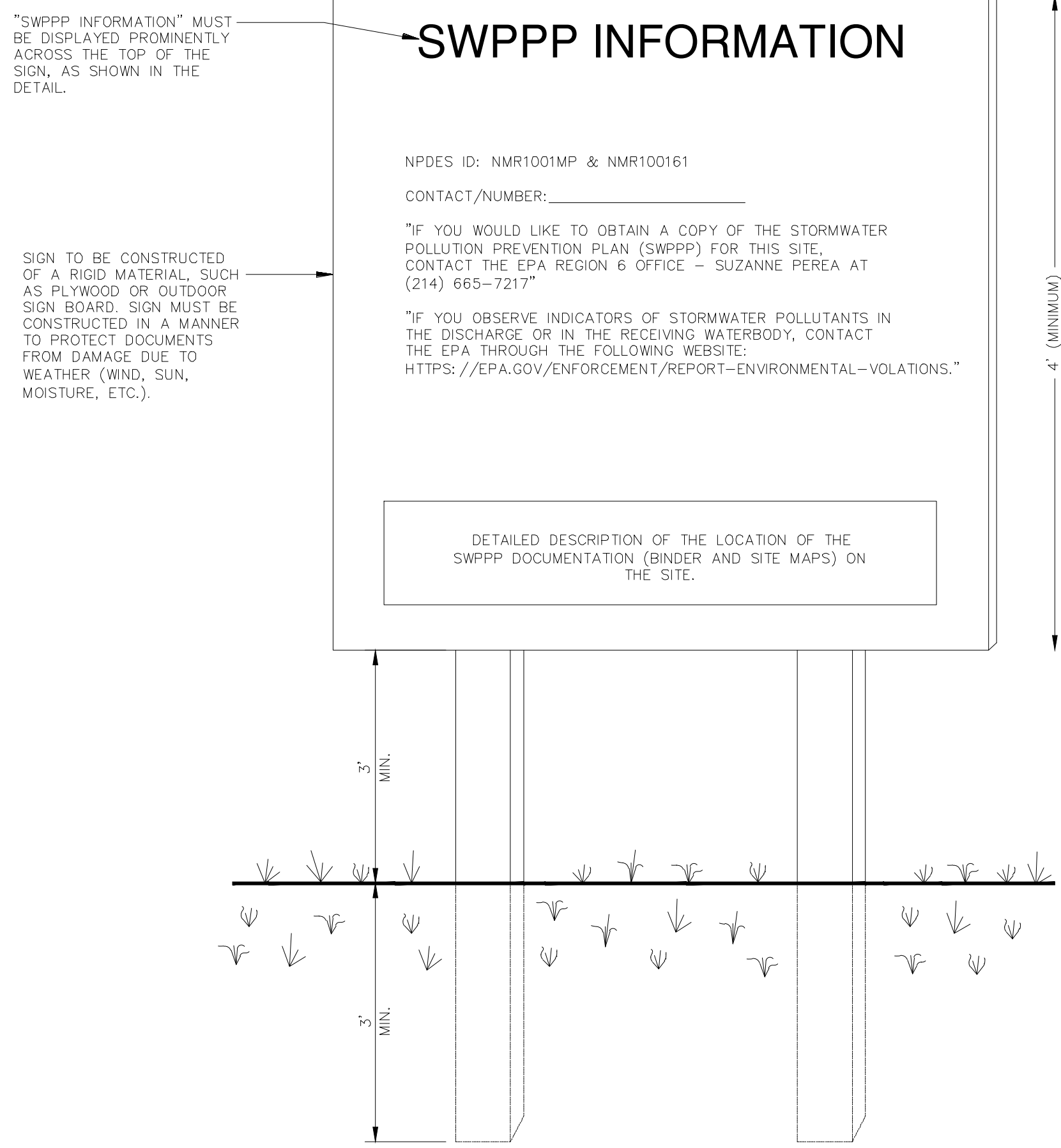
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT FROM THE LOCAL JURISDICTIONAL AUTHORITY PRIOR TO BEGINNING WORK.
2. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS RESPONSIBLE FOR MAINTAINING RUN-OFF AND RUN ON OF SITE DURING CONSTRUCTION.
3. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL EXPOSED EARTH SURFACES MUST HAVE APPROPRIATE CONTROLS TO PROTECT FROM WIND AND WATER EROSION DURING ALL PHASES OF THE PROJECT.
5. STOCKPILES INACTIVE FOR 14 DAYS ARE REQUIRED TO HAVE TEMPORARY STABILIZATION OR APPROPRIATE COVER TO CONTROL WIND AND WATER EROSION.
6. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS REQUIRED TO MAINTAIN ALL SITE BMP'S IN GOOD CONDITION FOR THE DURATION OF THE PROJECT UNTIL A NOTICE OF TERMINATION IS ACCEPTED BY THE EPA.
7. IF SITE EARTH DISTURBANCES EXCEED 5 ACRES AT ANY ONE TIME, TEMPORARY AND/OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN 7 DAYS WHEN AREA BECOMES INACTIVE OR EARTH DISTURBING ACTIVITIES ARE COMPLETE. SITE EARTH DISTURBANCES OF LESS THAN 5 ACRES, HAVE 14 DAYS TO PROVIDE TEMPORARY OR PERMANENT STABILIZATION WHEN AREA BECOMES INACTIVE OR EARTH DISTURBING ACTIVITIES ARE COMPLETE.



SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT (SF) N.T.S.

**ESC PLAN STANDARD NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL (ESC WORK) ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:
  - a. THE CITY ORDINANCE.
  - b. THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP), AND
2. ALL BMP'S MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMP'S SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMP'S AND PRIOR TO BEGINNING CONSTRUCTION.
3. SELF-INSPECTIONS -- AT A MINIMUM A ROUTINE COMPLIANCE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF 1/4 INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
4. CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
5. STABILIZATION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST. REPORTS SHOULD INCLUDE RECORDS OF WEED REMOVAL PER CITY ORDINANCE (9-8-1), STERILIZATION, SOIL TEST RESULTS AND RECOMMENDATION, MATERIALS AND MANUFACTURER'S SPECIFICATIONS FOR APPLICATION RATES, ESTIMATED FUNCTIONAL LONGEVITY, METHODS OF APPLICATION, INSPECTION AND MAINTENANCE. THE REDUCED SELF-INSPECTION SCHEDULE IN CGP 4.4.1 APPLIES TO STABILIZED AREA AND ANY DAMAGED OR WORN STABILIZATION MUST BE IDENTIFIED IN THE REPORTS ALONG WITH WEED PROBLEMS. CORRECTIVE ACTIONS FOR STABILIZATION SHALL BE DOCUMENTED IN A STABILIZATION REPORT INCLUDING ACTUAL RATES AND DATES OF STABILIZATION, AND THE MATERIALS AND MANUFACTURER'S SPECIFICATIONS USED.
6. BMP'S SHALL BE INSPECTED AND MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED IN ACCORDANCE WITH THE FINAL STABILIZATION CRITERIA (CGP 2.2.14.b). GENERALLY, ALL DISTURBED AREAS, OTHER THAN STRUCTURES AND IMPERVIOUS SURFACES, MUST HAVE UNIFORM PERENNIAL VEGETATION THAT PROVIDES 70 PERCENT OR MORE OF THE COVER PROVIDED BY NATIVE VEGETATION OR SEED THE DISTURBED AREA AND PROVIDE NON-VEGETATIVE MULCH THAT PROVIDES COVER AT LEAST THREE YEARS WITHOUT ACTIVE MAINTENANCE. FINAL STABILIZATION MUST BE APPROVED BY THE CITY OF SANTA FE PRIOR TO REMOVAL OF BMP'S AND DISCONTINUATION OF INSPECTIONS.

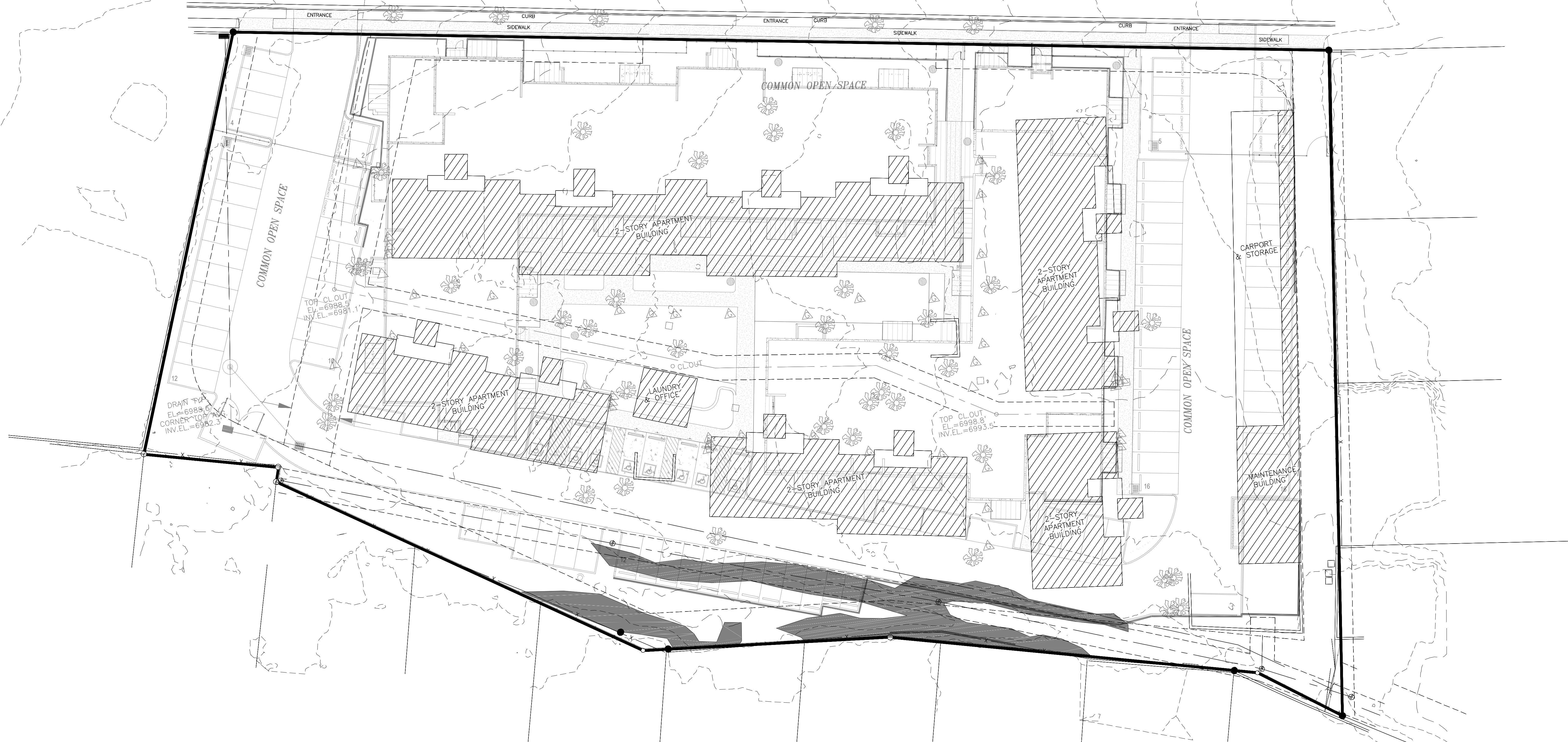


- NOTES:
- 1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
  - 2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
  - 3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
  - 4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
  - 5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

SWPPP INFORMATION SIGN (SS) N.T.S.

	<b>ENGINEER'S SEAL</b> SFO APPRENTICE HOUSING SANTA FE, NM	DRAWN BY AS
	<b>EROSION AND SEDIMENT CONTROL NOTES/DETAILS</b>	DATE 09/29/2025
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>ESC-2</b>
		JOB # 2025065

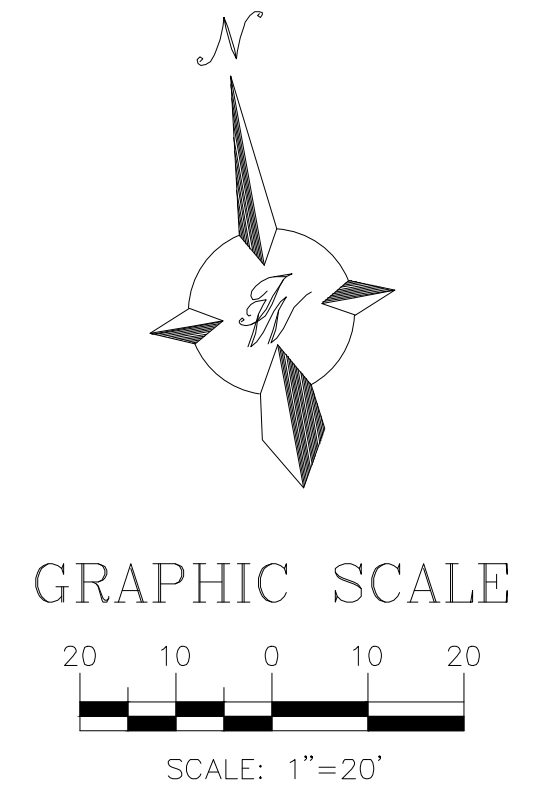
# CAMINO DE LOS MARQUEZ



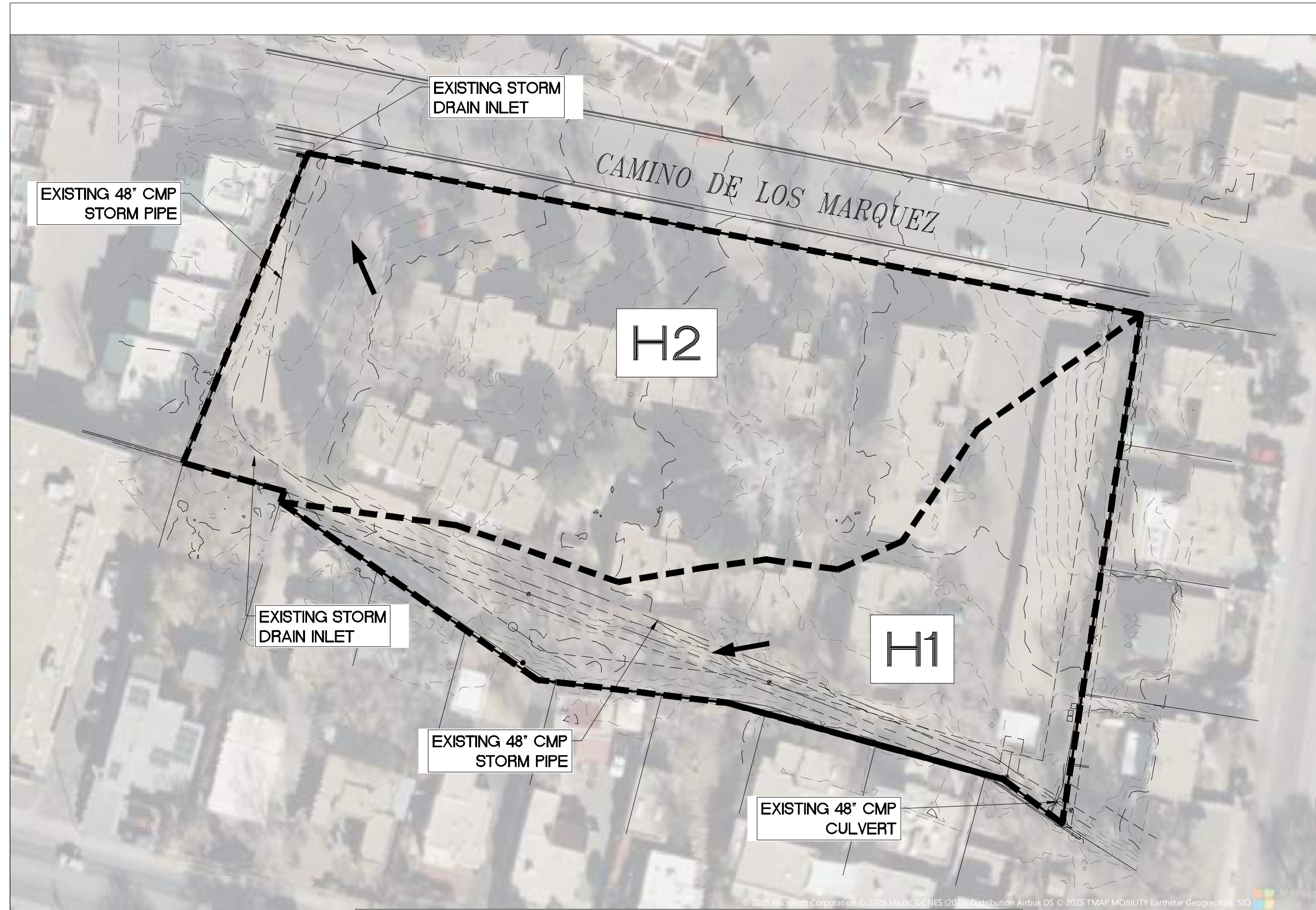
**SLOPE CERTIFICATION NOTE :**

ALL SLOPES IDENTIFIED AS GREATER THAN 30% ARE NON-NATURAL/MANMADE DUE TO PREVIOUS DISTURBANCES OF THE PROPERTY

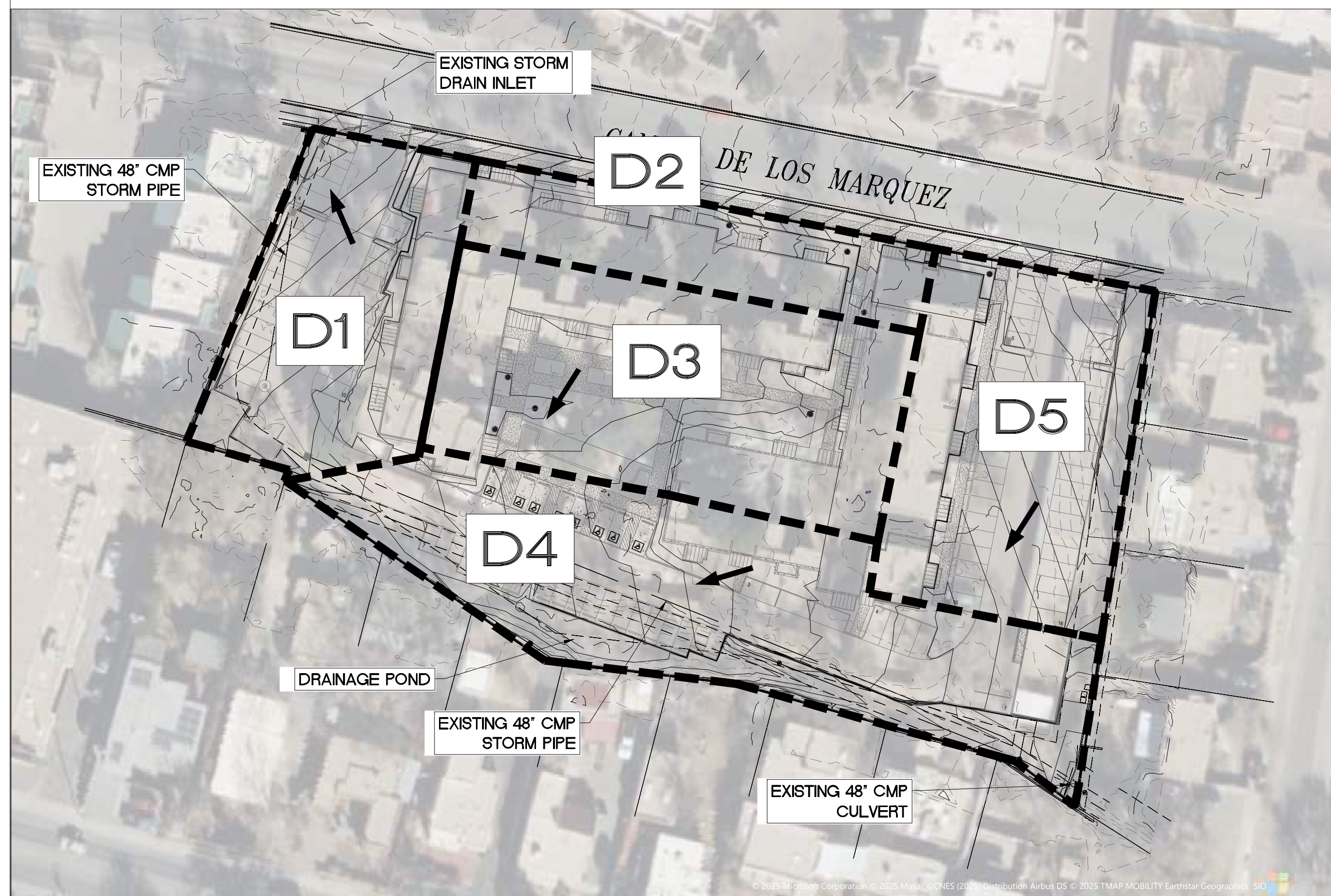
SLOPE TABLE			
ID	MIN	MAX	COLOR
1	0%	20%	
2	30%	+	



	<b>SFO APPRENTICE HOUSING</b> SANTA FE, NM	DRAWN BY AS
	<b>SLOPE EXHIBIT</b>	DATE 09/29/2025
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>SA-1</b>	JOB # 2025065



**HISTORIC CONDITIONS**



**DEVELOPED CONDITIONS**

**HISTORIC CONDITIONS**

THE PROJECT SITE IS LOCATED AT 214 CAMINO DE LOS MARQUEZ IN SANTA FE, NEW MEXICO. THE SITE IS BORDERED BY CAMINO DE LOS MARQUEZ TO THE NORTH, SINGLE-FAMILY HOMES TO THE EAST, CONDOMINIUMS TO THE WEST, AND SINGLE-FAMILY HOMES TO THE SOUTH, WHERE A 15-FOOT-WIDE DRAINAGE EASEMENT IS LOCATED.

OFFSITE STORMWATER FROM THE EAST, INCLUDING RUNOFF FROM A PORTION OF GALISTEO STREET AND SEVERAL SINGLE-FAMILY RESIDENCES LOCATED EAST AND SOUTH OF THE SITE, DRAINS THROUGH THE PROPERTY. THIS OFFSITE FLOW IS CONVEYED THROUGH THE SOUTHERN DRAINAGE EASEMENT BEFORE BEING ROUTED TOWARD AN EXISTING 48-INCH CORRUGATED METAL PIPE (CMP) STORM DRAIN SYSTEM LOCATED ALONG THE SOUTH AND WEST SIDES OF THE PROJECT SITE.

THE 48-INCH CMP STORM DRAIN CONVEYS THE COMBINED ONSITE AND OFFSITE FLOWS NORTHWARD THROUGH THE SITE AND ULTIMATELY DISCHARGES INTO THE EXISTING STORM DRAIN SYSTEM WITHIN CAMINO DE LOS MARQUEZ.

THE PROPERTY CURRENTLY CONTAINS AN EXISTING MULTI-FAMILY COMPLEX THAT SERVES AS HOUSING FOR SANTA FE OPERA SEASONAL EMPLOYEES. AS SHOWN IN THE HISTORIC CONDITIONS BASIN MAP, A PORTION OF THE SITE DRAINS TOWARD AN EXISTING STORM DRAIN INLET LOCATED AT THE SOUTHWEST CORNER OF THE PROPERTY, WHILE ANOTHER PORTION DRAINS TOWARD A SECOND STORM DRAIN INLET LOCATED JUST BEYOND THE NORTHWESTERN PROPERTY CORNER. RUNOFF COLLECTED BY THESE INLETS IS CONVEYED INTO THE 48-INCH CMP STORM DRAIN RUNNING THROUGH THE SITE.

THE SITE IS NOT LOCATED IN A 100YR FLOOD ZONE PER FEMA FIRM MAP

**DEVELOPED CONDITIONS**

THE PROPOSED PROJECT CONSISTS OF REMOVING THE EXISTING MULTIFAMILY COMPLEX AND REDEVELOPING THE SITE TO ACCOMMODATE A LARGER NUMBER OF SANTA FE OPERA EMPLOYEES. THE REDEVELOPMENT WILL INCORPORATE DESIGN MEASURES INTENDED TO REDUCE THE OVERALL IMPERVIOUS AREA, INCLUDING THE USE OF PERVIOUS PAVEMENT SURFACES IN PARKING AREAS AND THE CONSTRUCTION OF MULTI-LEVEL BUILDINGS TO MINIMIZE THE BUILDING FOOTPRINT.

THE PROPOSED DRAINAGE CONCEPT IS DESIGNED TO GENERALLY FOLLOW THE EXISTING DRAINAGE PATTERNS, WHILE IMPROVING OVERALL SITE HYDROLOGY. UNDER DEVELOPED CONDITIONS, THE MAJORITY OF THE ONSITE STORMWATER RUNOFF WILL BE DIRECTED SOUTHWARD TOWARD A PROPOSED STORM DRAIN POND AREA LOCATED WITHIN THE EXISTING SOUTHERN DRAINAGE EASEMENT. FROM THIS POND AREA, STORMWATER WILL BE ROUTED INTO THE EXISTING 48-INCH CMP STORM DRAIN SYSTEM THAT CONVEYS FLOW ALONG THE SOUTH AND WEST SIDES OF THE SITE.

AS PART OF THE DRAINAGE IMPROVEMENTS, THE VOLUME OF STORMWATER ROUTED TOWARD THE NORTHWEST CORNER OF THE PROPERTY WILL BE SIGNIFICANTLY REDUCED, THEREBY MITIGATING EXISTING DRAINAGE ISSUES THAT HAVE BEEN OBSERVED IN THAT AREA UNDER CURRENT CONDITIONS.



**LEGAL DESCRIPTION**

T17N R 9E S25 THE AXTON APARTMENTS FKA: CAMINO DE LOS MARQUEZ APT

**HYDROLOGY CALCULATION TABLES**

**Historic Conditions**

Basin ID	Tract	Basin Descriptions										100-Year, 6-Hour			
		Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	Run-Off (in)	Volume (ac-ft)	Flow (cfs)
H1		39,330	0.90	0.00141	0%	0.000	0%	0.000	45%	0.406	55%	0.497	1.840	0.139	4.13
H2		69,632	1.60	0.00250	0%	0.000	0%	0.000	25%	0.400	75%	1.199	2.070	0.279	7.77
<b>Total</b>		<b>108,962</b>	<b>2.50</b>	<b>0.00391</b>		<b>0.000</b>		<b>0.000</b>		<b>0.806</b>		<b>1.695</b>		<b>0.418</b>	<b>11.900</b>

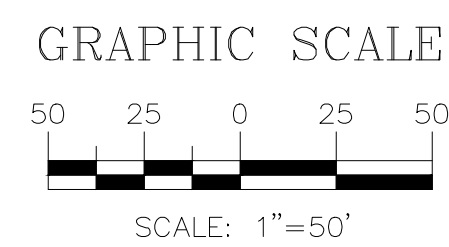
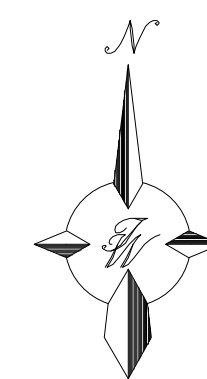
**Proposed Conditions**

Basin ID	Tract	Basin Descriptions										100-Year, 6-Hour			
		Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	Run-Off (in)	Volume (ac-ft)	Flow (cfs)
D1		17,840	0.41	0.00064	0%	0.000	0%	0.000	51%	0.209	49%	0.201	1.770	0.061	1.85
D2		10,853	0.25	0.00039	0%	0.000	0%	0.000	28%	0.070	72%	0.179	2.030	0.042	1.36
D3		26,439	0.61	0.00095	0%	0.000	0%	0.000	32%	0.194	68%	0.413	1.990	0.101	3.01
D4		31,839	0.73	0.00114	0%	0.000	0%	0.000	55%	0.402	45%	0.329	1.730	0.105	3.03
D5		21,991	0.50	0.00079	0%	0.000	0%	0.000	50%	0.252	50%	0.252	1.790	0.075	2.29
<b>Total</b>		<b>108,962</b>	<b>2.50</b>	<b>0.00391</b>		<b>0.000</b>		<b>0.000</b>		<b>1.127</b>		<b>1.374</b>		<b>0.385</b>	<b>11.540</b>

ELEVATION (ft)	AREA (sf)	VOLUME (cf)	CUMULATIVE VOLUME (cf)
5990	0	0	0
5991	1396	698	698
5991.5	3036	1108	1806

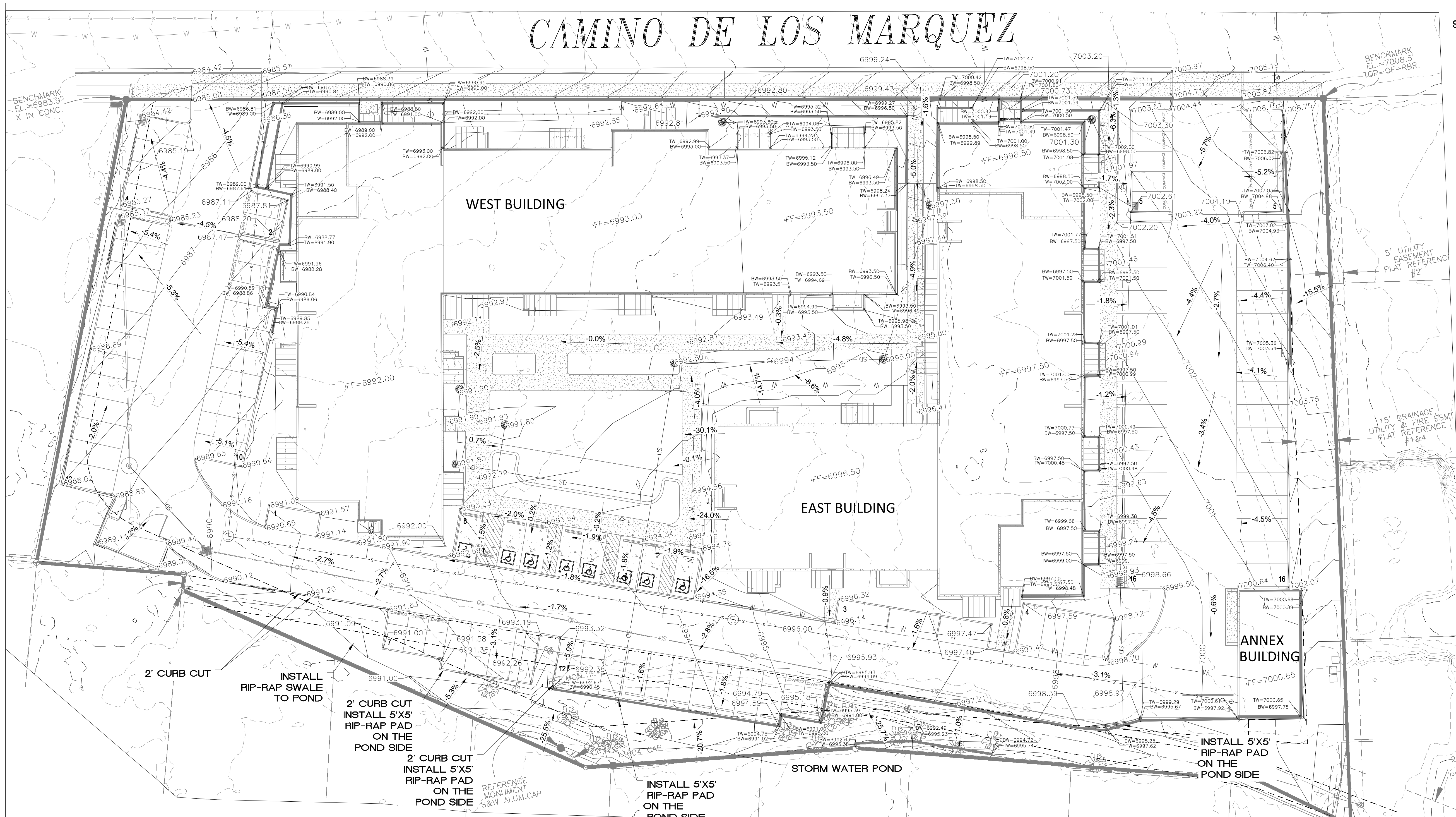
ACTUAL ELEV. (FT)	H (FT)	VOLUME (CF)	Q (CFS)	VOLUME (AC-FT)
5990	0.00	0	0.00	0.0000
5991	0.00	698	0.00	0.0160
5991.5	0.50	1806	10.70	0.0415

Q =	$CA(2gH)^{1/2}$		
C =	0.6		
D/A (FT)	2		
A(FT <sup>2</sup> ) =	3.1416		
H (FT) =		Elevation Head	
Q (CFS) =		Flow Rate	



	<b>SFO APPRENTICE HOUSING</b> SANTA FE, NM	DRAWN BY AS
	<b>DRAINAGE BASIN PLAN</b> <b>FOR INFORMATION ONLY</b>	DATE 09/29/2025
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2025065_BASINS
RONALD R. BOHANNAN P.E. #7868		SHEET # <b>GR-0</b>
		JOB # 2025065

# CAMINO DE LOS MARQUEZ



### SPOT ELEVATION NOTES

1. ALL ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED

### EROSION CONTROL NOTES

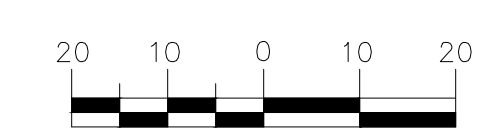
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH THE CITY OF RIO RANCHO SPECS OR 3" GRAVEL.

### NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



### GRAPHIC SCALE



SCALE: 1"=20'

### CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

### LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- WATER BLOCK
- LANDSCAPING
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED CONTOUR

### SPOT ELEVATION NOTE:

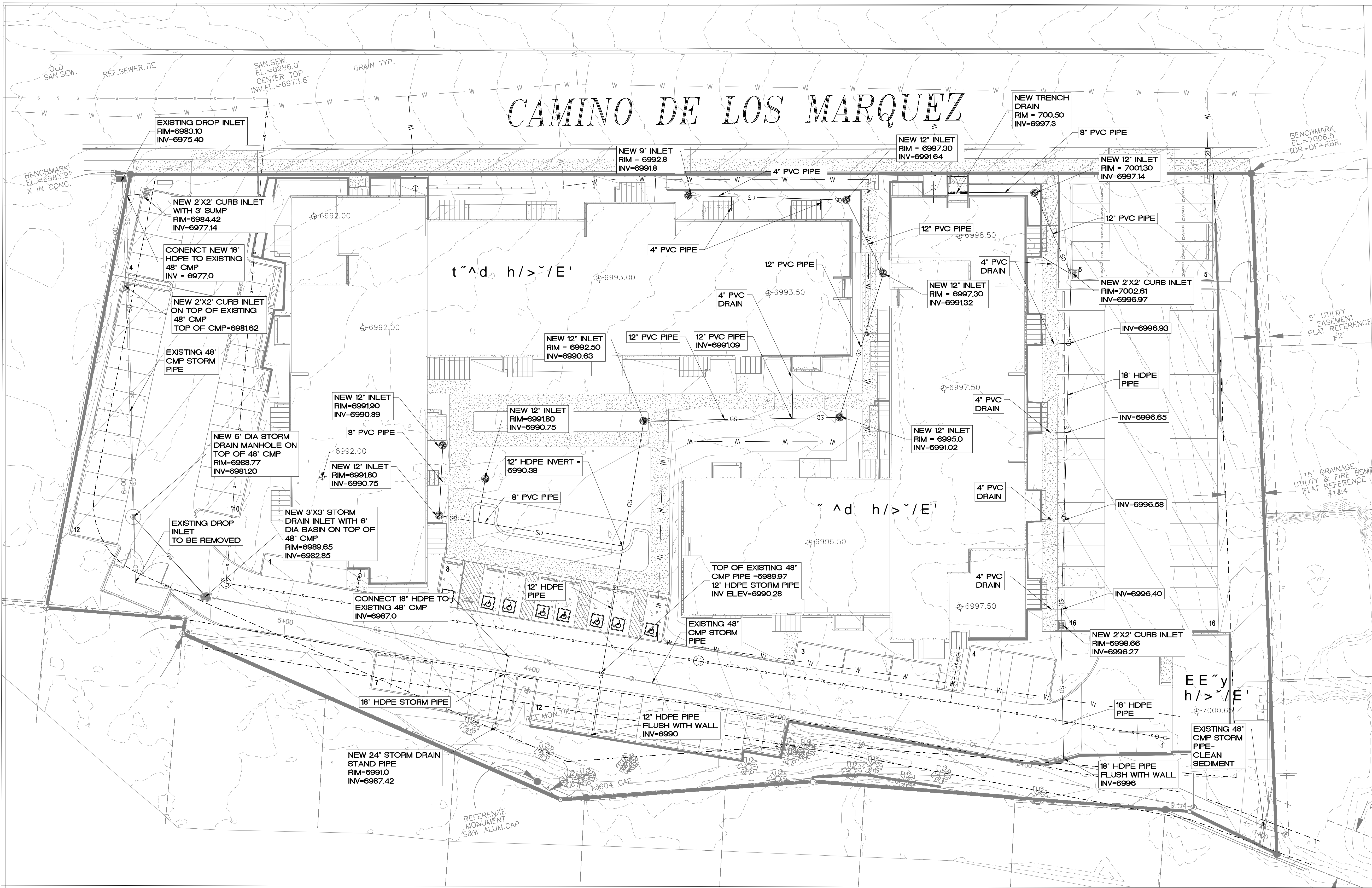
- ALL SPOT ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE NOTED.
- FF = FINISH FLOOR ELEVATION  
 TW = FINISH GRADE NEAR TOP WALL  
 BW = FINISHED GRADE NEAR BOTTOM OF WALL  
 FL = FLOW LINE ELEVATION  
 TC = TOP OF CURB ELEVATION  
 TS = TOP OF SIDEWALK

### ENGINEER'S STORMWATER INFRASTRUCTURE CERTIFICATION

I, THE UNDERSIGNED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE RECORD INFORMATION SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND VISUAL INSPECTIONS PERFORMED BY MYSELF OR UNDER MY DIRECT SUPERVISION. I FURTHER CERTIFY THAT THE RECORD CONDITION AS OF \_\_\_\_\_ IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN PREPARED BY \_\_\_\_\_ DATED \_\_\_\_\_

SIGNATURE \_\_\_\_\_ NMPE# \_\_\_\_\_ DATE \_\_\_\_\_

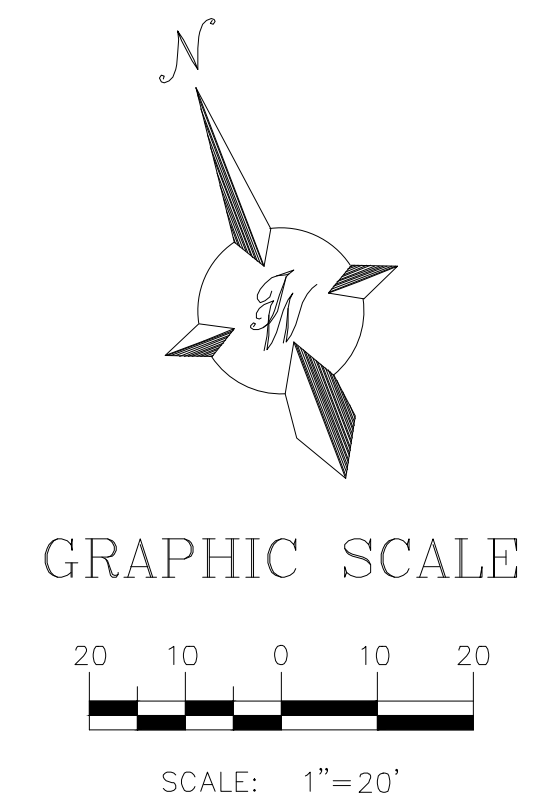
	<b>SFO APPRENTICE HOUSING SANTA FE, NM</b>	DRAWN BY AS
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 09/29/2025
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>GR-1</b>
		JOB # 2025065



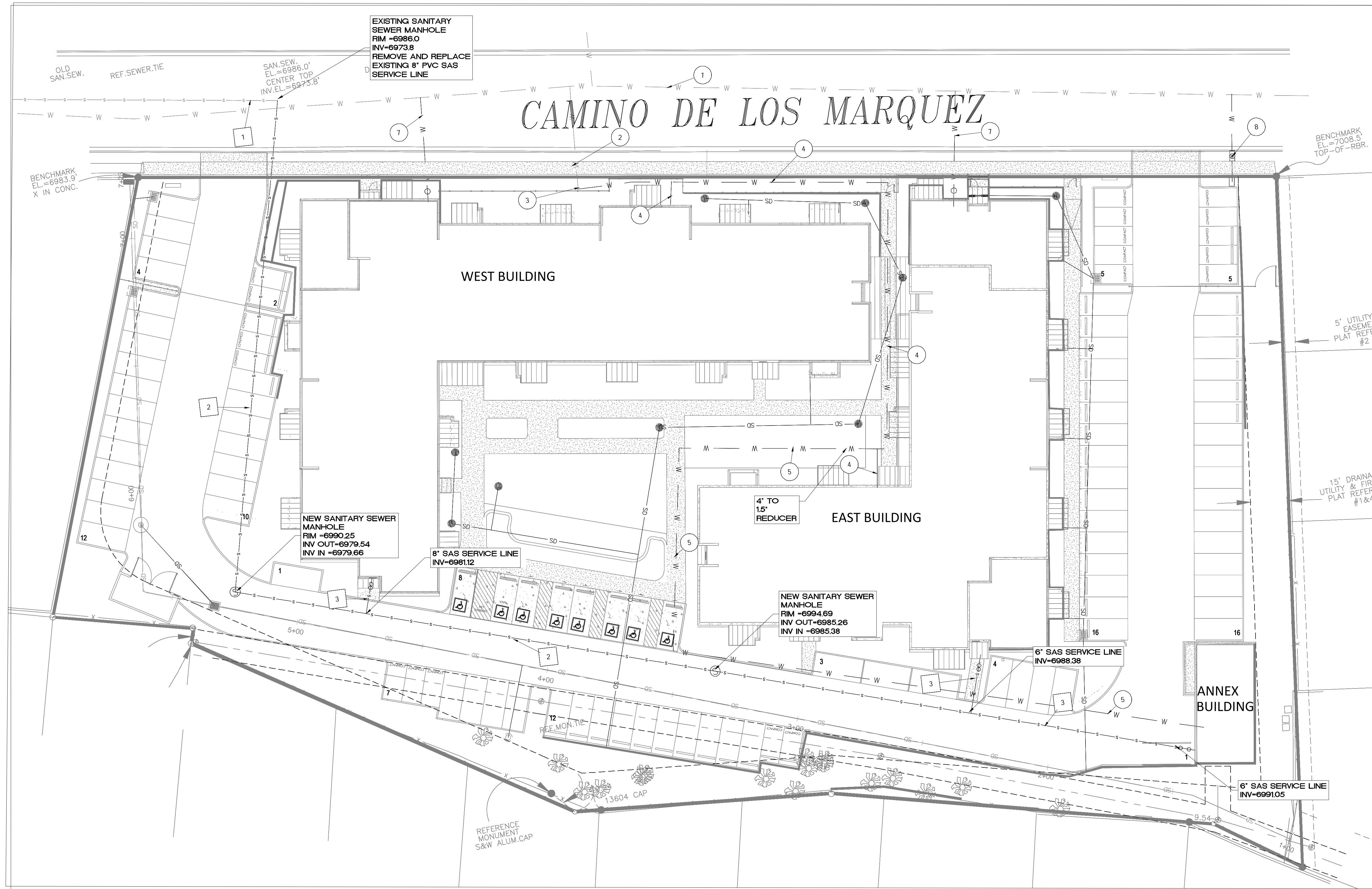
**LEGEND**

	CURB & GUTTER
	PROPOSED BOUNDARY LINE
	EXISTING EASEMENT
	CENTERLINE
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	STRIPING
	EXISTING WATERLINE
	EXISTING SAS
	EXISTING STORM
	SANITARY SEWER LINE MAIN
	WATERLINE MAIN
	PROPOSED STORM
	PROPOSED HYDRANT
	NEW SAS MANHOLE

**CAUTION**  
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>SFO APPRENTICE HOUSING</b> SANTA FE, NM	DRAWN BY AS
	<b>STORM DRAIN PLAN</b>	DATE 09/29/2025 DRAWING
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>SD-1</b>	JOB # 2025065



**LEGEND**

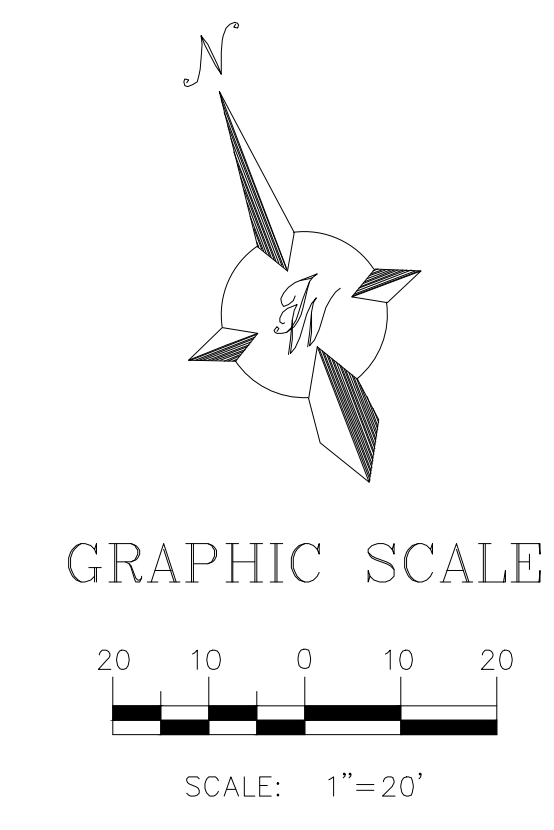
	CURB & GUTTER
	PROPOSED BOUNDARY LINE
	EXISTING EASEMENT
	CENTERLINE
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	STRIPING
	EXISTING WATERLINE
	EXISTING SAS
	EXISTING STORM
	SANITARY SEWER LINE MAIN
	WATERLINE MAIN
	PROPOSED STORM
	PROPOSED HYDRANT
	NEW SAS MANHOLE

- WATER KEYED NOTES**
- ① EXISTING 6" CI WATERLINE MAIN
  - ② EXISTING 4" WATER METER TO BE MAINTAINED
  - ③ EXISTING BACKFLOW PREVENTOR TO BE REMOVED AND RE-INSTALLED
  - ④ 4" DOMESTIC WATERLINE
  - ⑤ 1.5" DOMESTIC WATER LINE
  - ⑥ NOT USED
  - ⑦ NEW 6" FIRE LINE TO BUILDING FROM WATER MAIN
  - ⑧ NEW 1.5" IRRIGATION METER, INSTALL WITH BACKFLOW PREVENTOR

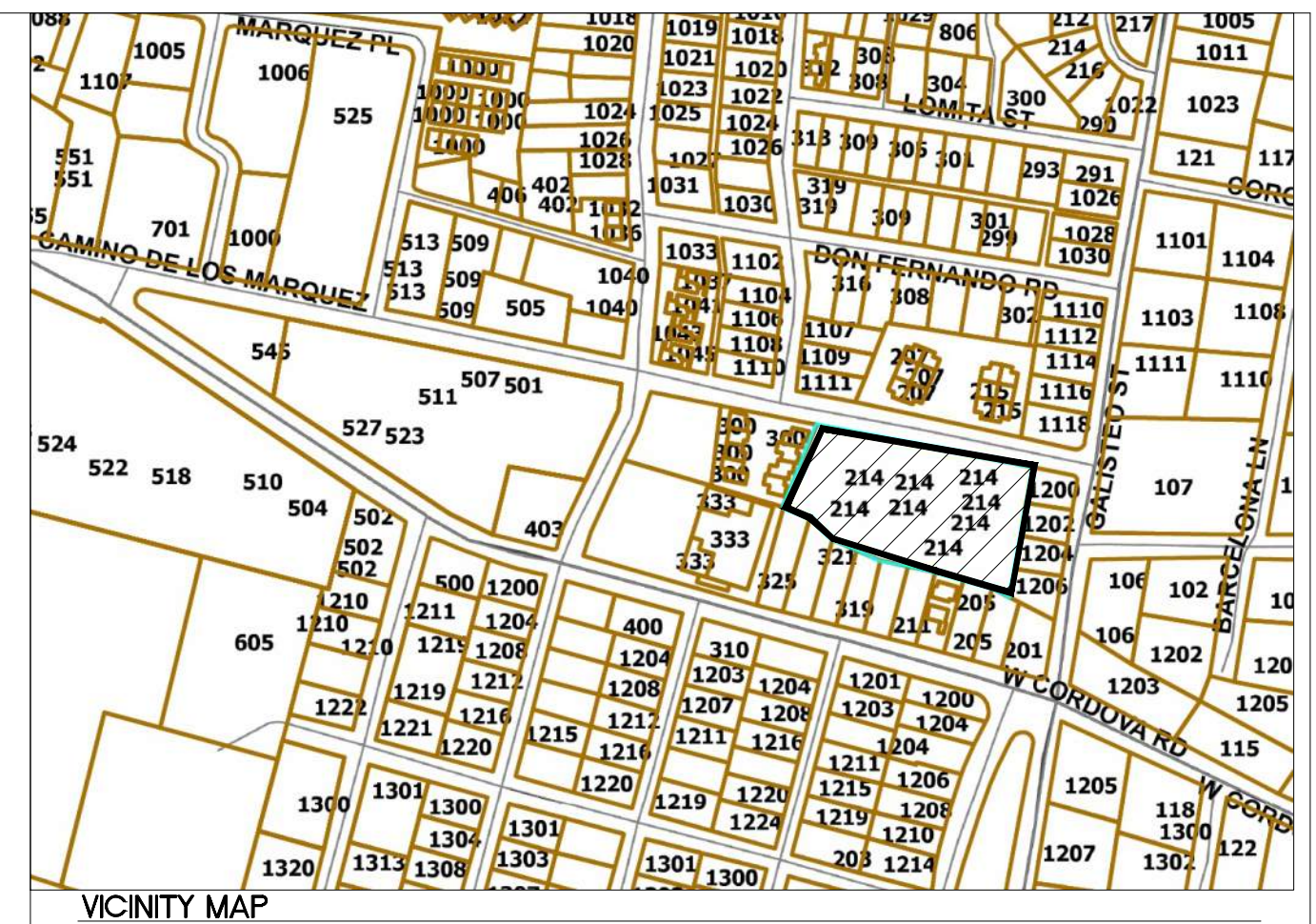
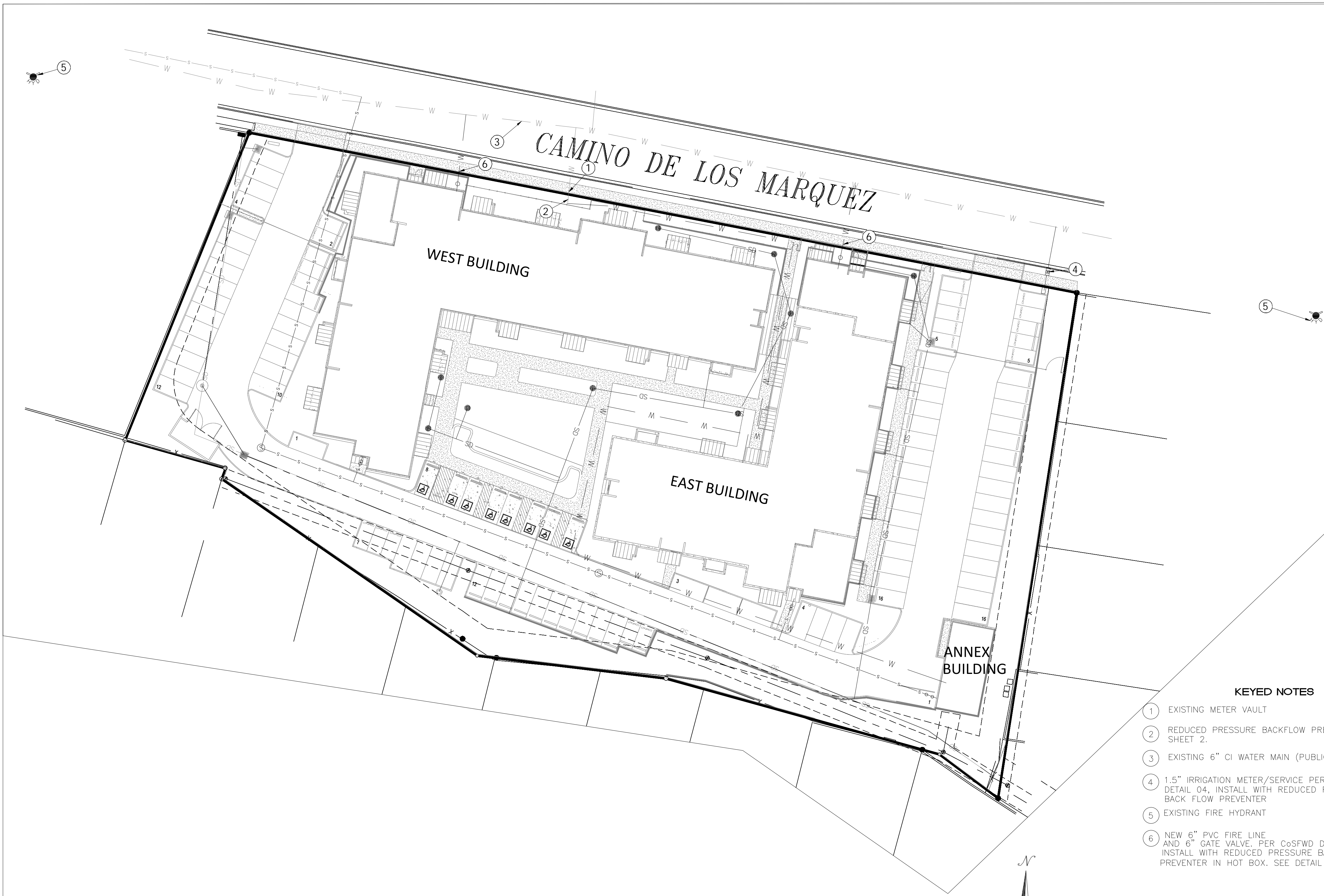
- SEWER KEYED NOTES**
- ① EXISTING 8" CONCRETE SEWER MAIN
  - ② NEW 8" PVC SEWER LINE
  - ③ NEW 6" PVC SEWER LINE

- GENERAL SANITARY SEWER NOTES:**
1. ALL 4-INCH PIPE SHALL HAVE A MINIMUM SLOPE OF 2%, ALL 6-INCH LINE SHALL HAVE A MINIMUM SLOPE OF 1%, AND ALL 8-INCH PIPE SHALL HAVE A 0.4% MINIMUM SLOPE WHEN CONNECTED TO MANHOLES.
  2. ALL PRIVATE SEWER LINE MANHOLES SHALL HAVE LIDS THAT ARE LABELED PRIVATE SEWER OR SANITARY SEWER.
  3. ALL 10-INCH SEWER LINE MANHOLES SHALL HAVE CITY OF SANTA FE MANHOLE COVERS.
  4. ALL NEW 10-INCH SEWER LINES SHALL BE SDR 26 PVC.
  5. ALL 4-INCH OR 6-INCH TYPICAL SEWER SERVICE CONNECTION SHALL BE SCH 40 PVC SHOWN IN SHEET DET-4.

**CAUTION**  
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

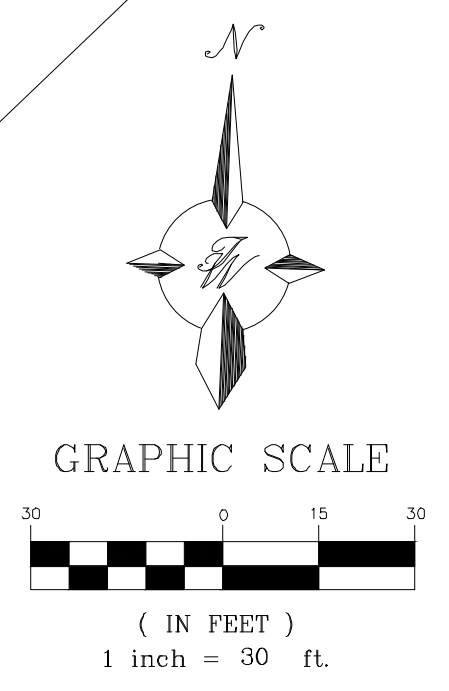


ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>SFO APPRENTICE HOUSING</b> SANTA FE, NM	DRAWN BY AS
	<b>UTILITY PLAN-PRIVATE ONSITE</b>	DATE 09/29/2025 DRAWING
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>MU-1</b>	JOB # 2025065



- GENERAL NOTES**
- CONTRACTOR SHALL NOTIFY THE CITY OF SANTA FE WATER DIVISION (C&SFD) FIVE (5) DAYS PRIOR TO COMMENCEMENT OF WORK.
  - CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE C&SFD CONSTRUCTION STANDARDS AND SPECIFICATIONS.
  - ALL EASEMENTS SHALL BE DEDICATED, CLEARED, GRADED AND STAKED PRIOR TO WATER LINE INSTALLATION.
  - ALL STREETS SHALL BE CUT TO WITHIN 48" OF FINAL GRADE PRIOR TO WATER LINE INSTALLATION.
  - LOT CORNERS SHALL BE STAKED PRIOR TO SERVICE LINE INSTALLATION. CURB, GUTTER AND DRIVEWAY APRON SHALL BE INSTALLED PRIOR TO SERVICE LINE INSTALLATION UNLESS OTHERWISE APPROVED, IN WRITING, BY C&SFD.
  - CONTRACTOR (DEVELOPER) SHALL PROVIDE CONSTRUCTION STAGING UTILIZING THE APPROPRIATE RIGHT-OF-WAY MAPS, SIGNED PLATS AND C&SFD DRAWINGS.
  - MATERIAL SUBMITTALS SHALL BE APPROVED BY C&SFD PRIOR TO CONSTRUCTION.
  - CONTACT NEW MEXICO ONE CALL AT 811 TWO (2) WORKING DAYS IN ADVANCE OF CONSTRUCTION FOR UTILITY SPOTS.
  - PRESSURE REGULATORS SHALL BE INSTALLED ON ALL SERVICES DOWNSTREAM FROM THE METER.
  - 4 FEET COVER TO TOP OF PIPE SHALL BE MAINTAINED ON ALL WATER MAINS AND SERVICES.
  - CONTRACTOR SHALL SUBMIT AS-BUILT CONSTRUCTION PACKET WITHIN FIVE (5) DAYS OF COMPLETION OF CONSTRUCTION INCLUDING: VALVE TIES, AS-BUILT DRAWINGS (INCLUDING, BUT NOT LIMITED TO: FITTING-TO-FITTING MEASUREMENTS, SERVICE-TO-SERVICE MEASUREMENTS, CENTER OF MAIN TO CENTER OF SERVICE MEASUREMENTS, LENGTH OF MAIN INSTALLED, FITTINGS INSTALLED, ETC.) AND POTABILITY RESULTS.
  - ALL VALVE BOXES SHALL BE BROUGHT UP TO GRADE OF THE FINAL PAVING MATERIAL SO THAT THE CONCRETE IS EXPOSED.
  - FIRE HYDRANTS SHALL BE NUMBERED USING REFLECTIVE NUMERALS. THE REFLECTIVE NUMERALS SHALL BE OBTAINED BY THE CONTRACTOR FOR THE C&SFD FIELD REPRESENTATIVE AT THE TIME THE NOTICE TO PROCEED (NTP) IS ISSUED. NUMBERS SHALL BE LEGIBLE FROM THE ROAD. PRIOR TO INSTALLING NUMBERS, FIRE HYDRANTS SHALL BE PAINTED.
  - A MECHANICAL RESTRAINT SYSTEM SHALL BE UTILIZED ON FITTINGS AND PIPING FOR THRUST RESTRAINT. CONCRETE THRUST BLOCKING SHALL BE USED ONLY FOR SPECIAL CONDITIONS (E.G. CAPS WHERE MAIN WILL BE EXTENDED IN THE FUTURE) AS SPECIFICALLY APPROVED BY C&SFD.
  - ANY FIELD CHANGES TO THESE PLANS REQUIRE APPROVAL OF BOTH THE DESIGN ENGINEER AND C&SFD.
  - WORK ON C&SFD FACILITIES SHALL NOT BEGIN UNTIL C&SFD HAS ISSUED A NTP TO THE APPROVED UTILITY CONTRACTOR.
  - ANY AND ALL EASEMENTS FOR CITY-OWNED INFRASTRUCTURE SHALL BE OBTAINED, VERIFIED AND RECORDED BY DEVELOPER BEFORE PROJECT COMMENCEMENT. CONTRACTOR SHALL VERIFY THE EASEMENT IS IN PLACE BEFORE INSTALLING ANY INFRASTRUCTURE.

- KEYED NOTES**
- EXISTING METER VAULT
  - REDUCED PRESSURE BACKFLOW PREVENTER IN HOT BOX. SEE DETAIL SHEET 2.
  - EXISTING 6" CI WATER MAIN (PUBLIC)
  - 1.5" IRRIGATION METER/SERVICE PER C&SFD DETAIL 04; INSTALL WITH REDUCED PRESSURE BACK FLOW PREVENTER
  - EXISTING FIRE HYDRANT
  - NEW 6" PVC FIRE LINE AND 6" GATE VALVE. PER C&SFD DETAIL 07 INSTALL WITH REDUCED PRESSURE BACKFLOW PREVENTER IN HOT BOX. SEE DETAIL SHEET 2



- LEGEND**
- CURB & GUTTER
  - PROPOSED BOUNDARY LINE
  - EXISTING EASEMENT
  - CENTERLINE BUILDING
  - SIDEWALK
  - SCREEN WALL
  - RETAINING WALL
  - STRIPING
  - EXISTING WATERLINE
  - EXISTING SAS
  - EXISTING STORM
  - SANITARY SEWER LINE MAIN
  - WATERLINE MAIN
  - PROPOSED STORM
  - PROPOSED HYDRANT
  - NEW SAS MANHOLE
  - EXISTING FIRE HYDRANT

NOTE:  
PIPE JOINTS SHALL BE MECHANICALLY RESTRAINED PER UPDATED C&SFD WATER DIVISION DETAIL 10A. SEE C&SFD WATER DIVISION STANDARD DETAIL 10B FOR DIAGRAMMATIC REPRESENTATION OF JOINT RESTRAINT LENGTHS. SEE SHEET 5 FOR 16" RESTRAIN TABLES

**UTILITY CONTACT INFORMATION**

CITY OF SANTA FE DEPARTMENT OF PUBLIC UTILITIES-WATER DIVISION  
GARY MARTINEZ (505) 670-0480

CITY OF SANTA FE DEPARTMENT OF PUBLIC UTILITIES-WASTE WATER DIVISION  
LUKE GRAY (505) 955-4646

NEW MEXICO GAS COMPANY  
STEVE LARRANGA (505) 412-2904

**DOMESTIC & IRRIGATION SERVICE TABLE PHASE 1 AND PHASE 2**

SERVICE ADDRESS	STREET NAME	SERVICE SIZE & TYPE (DS OR IR)	METER SIZE
214	CAMINO DE LOS MARQUEZ	4" DS (EXISTING)	4"
214	CAMINO DE LOS MARQUEZ	1.5" IR	1.5"

**FIRE DESIGN TABLE**

SERVICE SIZE	REQ'D FLOW* GPM	RESIDUAL PRESSURE PSI	BUILDING(S) SERVED
6"	1500	-	MULTIFAMILY BUILDINGS

A FIRE SERVICE IS DEDICATED FOR AUTOMATIC FIRE SPRINKLER SYSTEMS. ALL FIRE SERVICES MUST BE EQUIPPED WITH A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER WITH DETECTOR ASSEMBLY (RPDA). THE BACKFLOW PREVENTER MUST BE LOCATED WITHIN 30' OF THE CONNECTION TO THE WATER MAIN. BACKFLOW PREVENTERS MUST BE LISTED AS APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH

IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO INSTALL, MAINTAIN AND INSPECT PRIVATE FIRE HYDRANTS AND PRIVATE FIRE MAINS IN ACCORDANCE WITH RESPONDING FIRE AGENCY'S ADOPTED FIRE CODE, NFPA 24 AND 25 AND ADDITIONAL POLICIES ISSUED BY THE RESPONDING FIRE AGENCY

\*PEAK FLOW IN GALLONS PER MINUTE  
\*RESIDUAL PRESSURE IN POUNDS PER SQUARE INCH AT THE LISTED FIRE FLOW AT THE POINT OF CONNECTION TO MAIN

**RECORD DRAWING**

THIS RECORD DRAWING HAS BEEN COMPLETED ON A COPY OF THE SEALED ENGINEERING DRAWING FOR THIS PROJECT. THE INFORMATION SHOWN HEREON IS BELIEVED TO BE ACCURATE BASED ON LIMITED FIELD OBSERVATION DURING CONSTRUCTION, AS WELL AS DATA FURNISHED BY THE INSTALLER

ENGINEER \_\_\_\_\_ PE \_\_\_\_\_ DATE \_\_\_\_\_

**RECORD MAPPING**

	INITIALS	DATE
AS BUILT	_____	_____
VALVE MAPS	_____	_____
GIS	_____	_____
INSPECTOR	_____	_____

2025065-WATER-PLAN

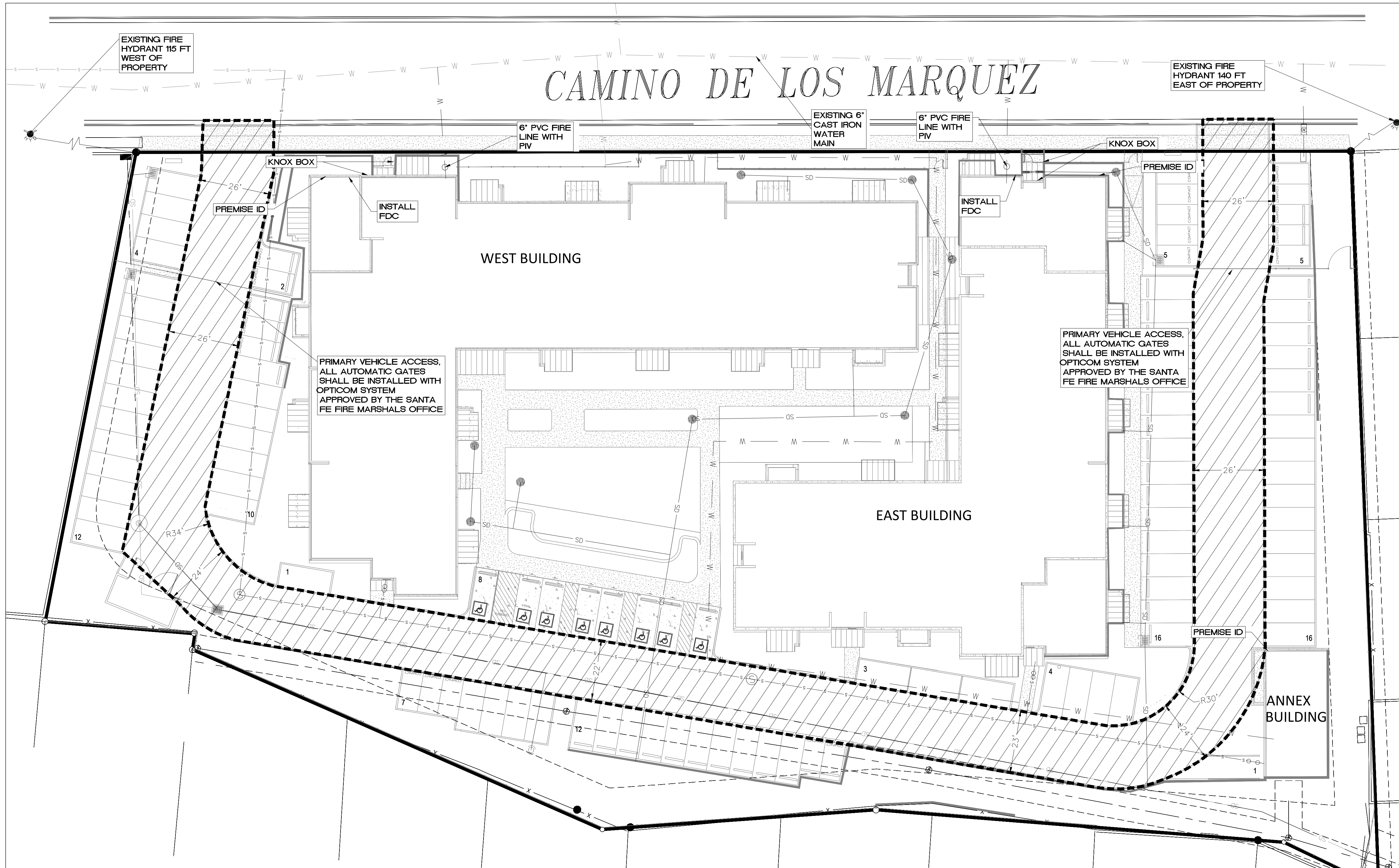
**SANTA FE OPERA APPRENTICE HOUSING WATER PLAN**

**TERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrowestllc.com

PLAT RECORDING INFORMATION	APPROVED		INSPECTOR
	CITY OF SANTA FE WATER DIVISION	DATE	DATE: _____
BOOK _____	SANTA FE FIRE DEPARTMENT		DATE: _____
PAGE _____	AERIAL	TOWNSHIP RANGE SECTION	WORK ORDER NO.
FILE DATE _____	013/014	T17N,R9E,S25	17

09/18/25

# CAMINO DE LOS MARQUEZ



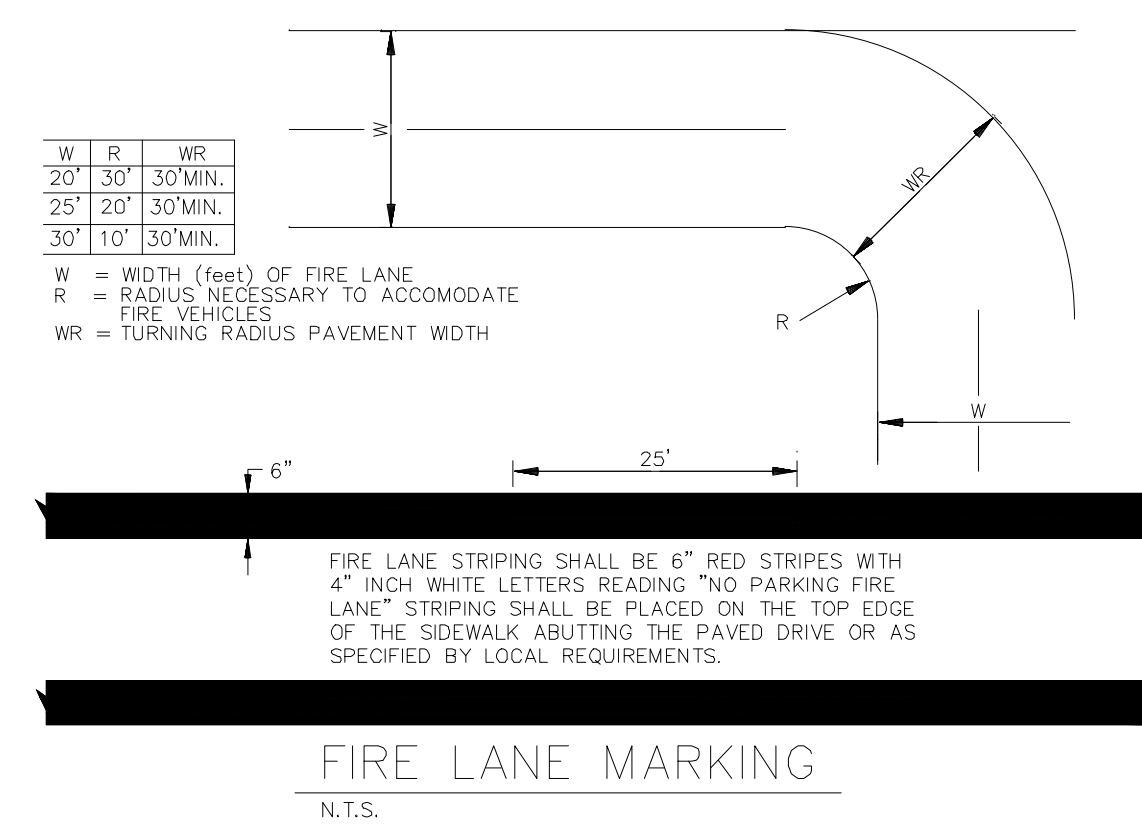
**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	BUILDING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	FIRE ACCESS
	NO PARKING FIRE LANE LINE
	EXISTING FIRE HYDRANT
	PROPOSED HYDRANT

**WEST MULTI-FAMILY BUILDING:**  
 Sprinkled  
 Building Footprint = 50,280 SF  
 3 Story High Building  
 Max Height 36'  
 Construction Type = V-B  
 Fire Flow per table B105.1(2) IFC-2021 = 6,000 GPM -  
 With Sprinkler System  
 Minimum Fire-Flow per table B105.2  
 = 25% of the value in table B105.1(2) = 1,500 GPM

**EAST MULTI-FAMILY BUILDING:**  
 Sprinkled  
 Building Footprint = 38,000 SF  
 3 Story High Building  
 Max Height 36'  
 Construction Type = V-B  
 Fire Flow per table B105.1(2) IFC-2021 = 5,250 GPM -  
 With Sprinkler System  
 Minimum Fire-Flow per table B105.2  
 = 25% of the value in table B105.1(2) = 1,500 GPM

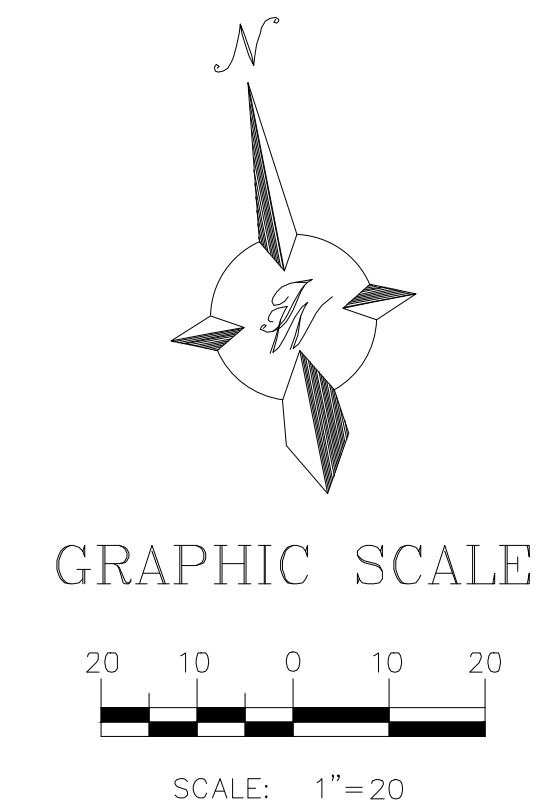
**ANNEX/OFFICE BUILDING:**  
 Not Sprinkled  
 Building Footprint = 2,300 SF  
 2 Story High Building  
 Max Height 28'  
 Construction Type = V-B  
 Minimum Fire Flow per table B105.1(2) IFC-2021 = 1,500 GPM -



- NOTES**
- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
  - FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
  - KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	<b>SFO APPRENTICE HOUSING</b> SANTA FE, NM	DRAWN BY AS
	<b>FIRE ONE PLAN</b>	DATE 09/29/2025
	SHEET # <b>FO-1</b>	JOB # 2025065
	ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	DRAWING

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF SANTA FE STANDARD DRAWINGS AND SPECIFICATIONS LATEST EDITION, AND WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS"
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
4. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
5. CONTRACTOR SHALL NOTIFY THE CITY ENGINEER (OR PROJECT MANAGER) NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY ENGINEER AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED.
6. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL THEN EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR SHALL THEN COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED. ANY DAMAGE CAUSED BY FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY EXISTING UTILITIES IS THE FULL RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF SANTA FE FOR THE PREPARATION OF "AS BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
8. CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, SIGNAGE, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED ON THE PLANS, AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE.
9. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
10. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY AND OTHER JURISDICTIONAL AUTHORITIES WHERE APPLICABLE.
11. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS SHOWN. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING ANY SUCH COSTS INCURRED.
12. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

WATER AND SEWER

1. ALL WORK REGARDING PUBLIC WATER AND PUBLIC SANITARY SEWER INFRASTRUCTURE DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH APWA'S NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1987 EDITION INCLUDING LATEST PUBLISHED AMENDMENTS.
2. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER BUT RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER CITY OF SANTA FE STANDARD DRAWINGS.
3. NON-RESIDENTIAL USERS SHALL COORDINATE WITH THE CITY PRETREATMENT ENGINEER TO ENSURE THE PROPER IMPROVEMENTS ARE IN PLACE FOR THE DEVELOPMENT FOR DISCHARGE INTO THE PUBLIC SANITARY SEWER COLLECTION SYSTEM.
4. NON-RESIDENTIAL USERS SHALL COORDINATE WITH THE CITY WATER DEPARTMENT TO ENSURE THE PROPER IMPROVEMENTS ARE IN PLACE FOR THE TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE FOR THE WATER SYSTEM.
5. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
6. THE CONTRACTOR SHALL COORDINATE WITH THE CITY WATER DEPARTMENT SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE CITY WATER DEPARTMENT 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK.
7. PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6" - 12") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" - 48").
8. ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE JOINT RESTRAINT REQUIREMENTS SHOULD BE DELINEATED WITHIN A JOINT RESTRAINT TABLE.
9. ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING, EXCEPT WHEN PROFILED WITHIN A PROPOSED OR EXISTING STREET, WHERE STREET STATIONING SHALL GOVERN.
10. ALL PROPOSED SANITARY SEWER SLOPES SHALL BE VERIFIED DURING CONSTRUCTION TO MEET THE APPROVED DESIGN. AS-BUILT SLOPES SHALL BE RECORDED FOR EACH LINE SEGMENT.
11. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
12. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO CITY SPECIFICATIONS. THE CONTRACTOR SHALL INSTALL A 4" X 4" X 5" POST AND EMS AT THE END OF EACH SANITARY SEWER SERVICE.
13. TRACER WIRE SHALL BE INCLUDED FOR ALL PUBLIC WATER AND SEWER MAINS AND FOR WATER SERVICES IN ACCORDANCE WITH CITY DETAILS.
14. CONTRACTOR SHALL PROVIDE THE PROPOSED HYDRO TESTING PLANS TO THE CITY INSPECTORS FOR APPROVAL PRIOR TO BEGINNING TESTING OPERATIONS.
15. AT UTILITY CROSSINGS, WHERE LESS THAN 18" OF VERTICAL SEPARATION FROM STORM DRAIN PIPING OR STRUCTURES IS PROPOSED, LEAN FILL CONSTRUCTION SHALL BE USED TO PROTECT THE WATER OR SEWER LINE. LEAN FILL SHALL EXTEND A PERPENDICULAR DISTANCE OF 5 FEET ON EACH SIDE OF THE STORM PIPE OR STRUCTURE.
16. ALL WATER AND SANITARY SEWER INFRASTRUCTURE SHALL BE CONSTRUCTED UTILIZING MATERIALS LISTED IN THE APPROVED PRODUCTS LIST AND BE CONSTRUCTED PER THE MOST CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS. MATERIAL SUBMITTALS SHALL BE PROVIDED PRIOR TO CONSTRUCTION FOR ENGINEER TO REVIEW PRIOR TO THE START OF CONSTRUCTION.
17. THE CONTRACTOR SHALL RECORD THE MATERIALS UTILIZED FOR WATER SERVICE CONNECTIONS INCLUDING THE PUBLIC SERVICE LINE AND THE PRIVATE SERVICE LINE. THE MATERIALS USED FOR CONSTRUCTION SHALL BE NOTED ON THE PLANS.

TRANSPORTATION

1. ANY STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH THERMO-PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
2. REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.
3. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
4. CURB AND GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
5. THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER AND SIDEWALK.
6. CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
7. AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENTS; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
8. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB AND GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR WILL SAW CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.

HYDROLOGY



1. ALL STORM DRAINS SHALL BE RCP CLASS III UNLESS OTHERWISE NOTED ON THE PLANS.
2. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AND WITH CITY APPROVAL.

OTHER COMMON NOTES

1. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
2. WHEN DISTURBING MORE THAN ¾ ACRES, CONTRACTOR SHALL SECURE A NOTICE OF INTENT (NOI) PRIOR TO BEGINNING CONSTRUCTION.
3. IN ADVANCE OF CONSTRUCTION, CONTRACTOR SHALL DETERMINE IF EXISTING OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF CONTRACTOR. NOTE OVERHEAD UTILITIES ARE NOT ALLOWED. ALL UTILITIES SHALL BE INSTALLED UNDER GROUND.
4. PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION. NOTE NEW OVERHEAD UTILITIES ARE NOT ALLOWED. ALL UTILITIES SHALL BE UNDERGROUND.
5. CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
6. CONTRACTOR IS TO SUPPORT, PROTECT, AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
7. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS TO PREVENT ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
8. CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
9. ALL CONFLICTING EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
10. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE ARRANGED BY THE CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR COSTS ASSOCIATED WITH OBTAINING A DISPOSAL SITE AND HAUL THERE TO.
11. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE MEDICAL EXAMINER AT (505) 272-3053. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-6320.

GENERAL NOTES USED SELECTIVELY, BASED ON SCOPE OF WORK

1. WORK AFFECTING ARTERIAL ROADWAYS MAY REQUIRE TWENTY-FOUR-HOUR CONSTRUCTION.
2. TWO WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHOULD NOTIFY THE TRANSIT DEPARTMENT OF ANY IMPACT THE PROPOSED PROJECT WILL HAVE ON THE TRANSIT SYSTEM SUCH AS CAUSING A DETOUR, OR CAUSE THE CLOSING OR RELOCATION OF A BUS STOP.
3. STREET NAME SIGNS, REGULATORY SIGNAGE, AND ANY NECESSARY STRIPING ON PRIVATE STREETS ARE THE DEVELOPER'S RESPONSIBILITY.
4. IN ALL AREAS WHERE PUBLIC STREETS OR INFRASTRUCTURE ARE TO BE CONSTRUCTED OVER FILLS, THE GEOTECHNICAL ENGINEER SHALL CERTIFY THAT PLACEMENT, COMPACTION, AND ALL OTHER WORK HAS BEEN COMPLETED IN ACCORDANCE WITH CITY SPECIFICATIONS. SAID CERTIFICATION, ALONG WITH SUPPORTING TESTING DOCUMENTATION, SHALL BE PROVIDED TO THE CONSTRUCTION ENGINEER PRIOR TO OR AT THE PRE-CONSTRUCTION CONFERENCE BEFORE WORK ORDER CONSTRUCTION.

 RONALD R. BOHANNAN P.E. #7868	<b>SFO APPRENTICE HOUSING SANTA FE, NM</b>	DRAWN BY AS
	<b>GENERAL CONSTRUCTION NOTES</b>	DATE 09/29/2025
		DRAWING
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>N-1</b>

CITY CONSTRUCTION NOTES

1. All construction shall conform to the requirements of City of Santa Fe standard drawings and specifications as applicable.

2. Utility construction shall conform to applicable sections of the APWA'S New Mexico standard specifications for public works construction, 1987 edition including latest publish amendments.

3. Infrastructure construction shall conform to applicable sections of the New Mexico Department of Transportation Standard Specifications for Highway and Bridge Construction, current edition (SSHBC).

4. The order of precedence shall be, listed in order of highest precedence, the project specifications, plans, City of Santa Fe standard drawings, SSHBC, and APWA.

5. In the case of conflicts between plans and specifications resolution shall be by using the more restrictive requirements as determined by the project engineer and approved by City Planning and Land Use Department's permit and development review divisions technical review staff (P&DR).

6. The project plans shall be approved for construction by the P&DR's Engineering supervisor prior to any construction activity in scheduling a preconstruction meeting. The engineering supervisor may by written authorization, designate others to administrator duties described herein.

7. The construction project engineer shall be a New Mexico licensed professional engineer in the appropriate category for the type of work represented by the project plans. The project engineer shall arrange for a pre-construction meeting prior to the start of construction or mobilization of equipment onsite and after receipt of the financial guaranty. At the pre-construction meeting, the project engineer shall submit a letter providing the name(s) of specific individuals who will be performing what type of inspections and respective telephone contact number(s); This includes preparation of the record drawings. Call 505-955-6509 to schedule the pre-construction meeting a minimum of 10 calendar days in advance of the meeting date.

8. Attendance at the pre-construction meeting is mandatory for the project engineer (who shall conduct the meeting, contractor, P&DR technical review staff, and applicable staff from City street, water, and wastewater management divisions. The owner and subcontractors are encouraged to attend. At this meeting, a specific P&DR staff member will be assigned as the point of contact with the contractor.

9. Grading permits obtained on an "at risk" basis are not subject, nor take the place of, a pre-construction meeting required above.

10. The contractor shall provide a list of contacts to personnel responsible for site construction including position, telephone numbers, and at least one emergency telephone number active on a 24-hour basis.

11. If an EPA notice of intent (NOI) is applicable, a copy of the mailed permit application shall be presented at the pre-construction meeting along with a written statements giving the mailing date.

12. The contractor shall be responsible for maintaining the integrity of all underground utilities during the course work regardless of any location shown on the plans or other field evidence, or lack thereof. Notification to New Mexico One Call at 1-800-321-2537 for utility locates a minimum of 48 hours in advance of any excavations is required. Maintenance of utility locates shall be continued throughout the project life.

13. The owner shall be responsible for all changes in construction deemed necessary for any reason and shall have appropriate plans and/or specifications, including applicable design criteria, prepared by a New Mexico professional engineer and submitted to the City engineering supervisor for approval. Upon approval, said changes may be incorporated into the project.

14. Final record drawings reflecting substantial changes to the original design drawings, shall be submitted by the owners engineer for approval to the engineering supervisor for permanent filing in the City Planning Department. Said plans shall be approved by applicable City divisions prior to final acceptance of project work for maintenance responsibility in the beginning of the warranty period. Under no circumstances will partial acceptance and/or warranty commencement begin for any component of project scope be provided.

15. Curb cuts shown in the original, approved construction drawings will require an "access permit" issued by the City Trafficked Engineer prior to construction. Curbs cuts found to be necessary that were not included in the original approved construction drawings will require a change order that includes an "access permit" from the City Engineer. Call 505-955-6631 for information.

16. Parallel water and sanitary sewer (SAS) Utilities shall have a minimum horizontal spacing of 10 feet and vertical spacing of 3 feet wherein the waterline is above the SAS line. Installation will be in separate trenches. Should encountered field conditions exist that prevent maintaining the separation distances and relationships, a change order shall be initiated that provides for alternative protective measures and submitted for approval to the engineering supervisor via the City Water and Wastewater Management divisions.

17. Sanitary sewer lateral construction must be constructed under separate permit (secondary) for SAS hook-up. The contractor shall obtain the permit prior to any construction and must be obtained at the permit desk at City Hall; providing street address for each hook-up. Upon payment of fees the permit form will be immediately generated which shall be kept on site. Call 505-955-6945 for permit information and 505-955-6646 for inspection of each visible, connected lateral.

18. All contractor work activity shall be confined to the construction limits of the project. There shall be no encroachment onto adjacent properties, either construction or marshalling yard(s) unless legal easement(s)/agreements(s) is/are executed and approved by the engineering supervisor.

19. Grading shall be completed under the authority of a building permit, the application of which shall show the type of work as "other" with the notation of grading, landscaping, and infrastructure shown there on. Call 505-955-6945 for permit information.

20. All cut and fill slopes, including setback requirements, shall conform to the requirements of: 20.1 Santa Fe City codes article 14-8 (Development and Design Standards);

20.2 Chapter 33 of the uniform building code, 1997 edition unless otherwise noted on the approved construction plans; and

20.3 In the case of conflicts between these two specifications, City code shall prevail.

21. The contractor is responsible for any damage caused by construction activities to public or private property, including utilities.

22. Material quality testing shall be completed by the owner, through a recognized testing laboratory. The laboratory shall be under the auspices of a New Mexico professional engineer.

23. All material quality test reports shall be provided directly to the City Planning Department, attention Permits and Development Review Division at P.O. Box 909, Santa Fe, NM 87504-0909 within seven (7) calendar days after laboratory material testing is complete unless otherwise directed during the preconstruction meeting. Field test reports shall be provided directly to the P&DR staff at the time of field testing. In the case of P&DR staff absence, the report shall be faxed to 505-955-6629. In each case, all test reports and other communication shall carry the applicable P&DR case and building permit project numbers which will be provided at the preconstruction meeting if not noted on the approved project plans.

24. Compaction testing of soil and similar materials, including optimum moisture density relationships, shall be performed in accordance with the referenced specification and or plans. Unless specified in individual project plans, the frequency of compaction testing shall be one (1) test per 1.5 vertical feet of fill or backfill of similar material; within two (2) horizontal feet of structures; for each 500 linear feet of trench backfill or each days compactive effort, whichever results in the greatest quantity of tests; or for each 500 cubic yards of fill or similar material.

25. Portland Cement Concrete (PCC) proposed to be used for the project shall conform to a mix design prepared by a New Mexico professional engineer. The design shall be provided to P&DR staff for approval a minimum of 14 calendar days prior to scheduling the initial casting operation or, alternatively, the project plans shall define a specific mix having a prior approval by P&DR. Each mix shall have the following minimum properties:

25.1. A compressive strength of 3,000 psi in 28 calendar days

25.2. Seven (7) bags of cementitious material per cubic yard of concrete

25.3. Twenty (20.0) percent of less of flyash material substitution for cement

25.4. Maximum aggregate size **¾"**

25.5. Air entrainment content ranging between 4.0 and 7.0 percent at the point concrete delivery into forms.

26. Concrete sample set shall consist of a minimum of three (3) cylinders. One sample set shall be obtained for each 500 linear feet cast, 50 cast cubic yards, or one set per calendar day, whichever is greatest. Cylinders shall be tested at 7, 28, and 56 day intervals; The 56 day interval need not be tested if any previous test result exceeds the design value.

27. Traffic control devices, as per approved plan, shall be installed, maintained, and removed by the contractor. Said devices shall conform to the latest published edition of the Manual of Uniform Traffic Control Devices and two written direction from the City Traffic Engineer who may be reached at 505-955-6631.

28. Site erosion and or sediment control, as per approved plan, shall be installed, maintained, and removed by the contractor. Inspection by the P&DR staff or applicable best management practices (BMP) is required prior to any grading activity; call 505-955-6646 to arrange for said inspection. The contractor's attention is directed to the SSHBC's section 603 for other requirements relating to dust abatement and similar issues.

29. Utility lines must be bored under all existing street PCC street appurtenances. A minimum of 12" separation must be maintained between utility lines. Any curb, gutter, or other damage must be repaired before final inspection will be given.

30. Each City utility division shall provide a letter of completed installation, not necessarily accepted for warranty, at the contractor's request. Said letters shall be provided to the P&DR Staff and received written staff acceptance prior to scheduling either TV inspection of SAS and storm sewer lines or placement of roadway pavement material.

31. ASTM, ASSHTO, or independent laboratory certifications of material compliance are to be provided to P&DR staff prior to bringing applicable material onsite.

32. Aggregate Base course material shall conform to the SSHBC's section 304 using gradation 1.

33. Hot mix asphalt proposed to be used for the project shall conform to a mixed design prepared by a New Mexico professional engineer conforming to SSHBC's section 420 using aggregate classifications called for in the project plans. The design shall be provided to P&DR Staff for approval a minimum of 14 calendar days prior to scheduling the initial paving operation or, alternatively, the project plans shall define specific mix having a prior approval by P&DR.

34. Compaction testing of subgrade, aggregate base course, and each lift of HMA material shall be completed for every 100 linear feet of roadway length except for HMA material in which case provide one test for every 100 linear feet of lay down machine pass.

35. HMA material quality test samples (wet) shall be obtained and tested for every 500 tons or fraction thereof or one (1) sample per day.

36. Utility appurtenance such as telephone pedestals, electrical transformers, gas and cable TV pedestals shall be placed outside the public right of way and within utility easements. The owner is responsible for relocating misplaced utility structures prior to requesting a pre-final inspection. Water meter boxes and fire hydrants may be placed between the sidewalk and curb. Water valve and meter boxes are not to be placed within maintenance areas of semi-improved (gravel or equal) roads.

37. Construction debris and or excess material shall be stored in an on-site area and appropriately contained. Said debris shall not be a nuisance to the surrounding neighborhood. Disposal of debris shall be either within the City limits under separate grading permit or at a designated NMED approved disposal site. The contractor shall provide written notice as to proposed debris disposal site locations. All debris and or excess material shall be removed from the site prior to scheduling a pre-final inspection with P&DR staff.

38. Interim terrain and stormwater management inspection shall be arranged for at the following events:

- 38.1 Completion of temporary erosion control best management installations and prior to any earth work (clearing, grubbing, etc.)
- 38.2 Final stormwater management features are constructed.
- 38.3 Final site restoration measures are completed.
- 38.4 Further construction or insurance of any permits shall not occur until written approval by P&DR staff for each of the above inspections has been obtained. Inspection shall be scheduled by calling 505-955-6646.

39. The contractor shall make a written request for a pre-final inspection of terrain management and infrastructure works a minimum of 14 calendar days in advance with P&DR Staff. At this inspection applicable City division staff will review the final work product. Any deficiencies will be noted in a punch list and provided to the contractor for correction. When all punch list items are completed the contractor shall file a written statement to that effect and a final inspection will be held by P&DR staff. Upon acceptance, and acceptance letter will be provided wherein all work will be excepted for maintenance by the City and the commencement of the warranty period initiated.

40. Prior to the wastewater management division approval of the plan set, a letter will be required from the project engineer indicating they are providing the inspection and record drawing services for the project.

41. The contractor must obtain all sewer hookup permits from the City's building permits section (sewer lines) prior to commencing any sewer line construction. A copy of the permit must be kept at the construction site.

42. All manholes shall be constructed in accordance with the "standard manhole detail sheet" shown on the City standard drawings.

43. A copy of the approved plans shall be available at the construction site at all times during work hours.

44. All modifications to the sanitary sewer plans must be reviewed and approved by the City's wastewater management division prior to construction.

45. Additional general notes are contained in the standard City detail sheets for sanitary sewer construction.

46. All public gravity sewer lines shall be a minimum 8 inch diameter with a minimum class C bedding (2006 New Mexico American Public Works Association).

47. All 4 inch and 6 inch diameter gravity sewer pipe shall be private. No private sewer systems shall use larger than a 6 inch diameter pipe. No public gravity sewer line to be excepted by the City of Santa Fe for permanent maintenance shall be less than 8 inches diameter.

48. No concrete encasement of new or existing public sewer pipe will be allowed unless approved by the City of Santa Fe wastewater management division.

49. Core drilling is required for all new connections to an existing manhole.

50. No Public sewer mainline or manhole will be allowed under or within any storm water detention/retention pond.

51. Prior to paving over any sanitary sewer lines, submit TV tapes and logs, pressure tests, and the engineer's certification to the City's wastewater management division. After the wastewater management division reviews the above listed information, a preliminary manhole inspection will be conducted. When all the items listed above are completed to meet the standards of the wastewater management division, a letter approving paving will be issued in relation to the sanitary sewer. Note: A final manhole inspection will be conducted after the final paving is completed.

52. All sewer manholes with sewer lines 12 inches in diameter and larger are required to have approved vented and locking manholes.

53. Locate wires shall be installed for all sanitary sewers (gravity/force mains). The locate wire must be visible in the manhole or access structure. This will be verified during the preliminary manhole inspection prior to paving. The locate wire is to be a continuous, 12 gauge, solid strand insulated copper wire.

54. Off road public sewer access will be provided for all public sewer lines and manholes. Access roads are to be a minimum 12 feet wide with a driving surface of 6 inches of compacted base course. No access road shall have a grade greater than 15%. Manholes are to be aligned with the centerline of the access road. Sewer easements are to be a minimum of 20 feet in width.

55. Off-road sanitary sewer- call the wastewater management division at 505-955-4646 for a field review of the grading of all off-road sanitary sewer to ensure that the City's maintenance vehicles can access all manholes. The grades may be required to be adjusted based upon this inspection. Additional bank protection may be required based upon a final inspection by the wastewater management division and the project engineer.

56. For record drawings, tie manhole to a city of Santa Fe survey monument as part of the final record drawings. Show corrected as built bearing and distances, slopes, rim and invert elevations and sewer services along the horizontal alignment of the sanitary sewer.

57. The owner/developer will be responsible for maintaining, repairing and locating the sewer system until City acceptance for maintenance. Damages resulting from a stoppage in any gravity and or pressure sewer system will be the sole responsibility of the owner/developer until a final acceptance letter for permanent maintenance has been issued by the waste water management division.

58. Water meters will not be placed until a final acceptance letter has been issued by the waste water division for all on-site sanitary sewer needed in order for the project to connect to the sanitary sewer system.

59. 20 foot wide access gates shall be provided at all fences, walls or other obstructions that cross a public sewer line. Access gates to be located within the sanitary sewer easement.

60. The owner/developer will be responsible for locating each sewer service at the time each lot is ready to connect to the sewer. It is suggested that the owner/developer retain a copy of the TV inspection video along with the video logs. Each service shall be clearly marked for each lot at point of connection. All calls received by this division regarding the location of service will be forwarded to the owner/developer.

61. The contractor shall call the wastewater management division (Luke Gray at 505-955-4646) for a final manhole inspection. This inspection will be conducted to the manholes. The City's plumbing and mechanical inspectors will conduct all other necessary plumbing inspection. Note: The City's plumbing and mechanical inspectors will inspect the individual sewer service taps and laterals, which connect to the public sanitary sewer.

62. The existing sanitary sewer line must be TV taped prior to a new service connection being placed as well as taped after the services have been completed. This is to ensure that the existing sanitary sewer line is not damaged and the new service is installed correctly.

63. All costs associated with the operation, maintenance, and replacement of grinder pumps for individual lots shall be the responsibility of the lot owner and or owners association. For grinder pumps that connects to a pressure sewer main, the grinder pump will be a model manufactured by environment-one or a type approved by the city of Santa Fe wastewater management division. For grinder pumps that connect to a gravity main, the grinder pump shall be a type approved by the City of Santa Fe plumbing code.

64. A minimum 12 inches of vertical clearance shall be provided between the sewer line and storm drain piping.

65. All pressure sewer systems shall be hydrostatically tested per city of Santa Fe requirements. The test is to be witnessed and certified by the project manager. Prior to being put into service and acceptance by the City of Santa Fe, all pressure sewer system main lines will be filled with water.

66. No public pressure sewer system piping may be installed in a common trench with other utilities.

67. Sewer backflow check valves will be required for all sewer service lateral connections to sewer mains 12 inches or greater in diameter. The sewer service connection must be made at an existing or new manhole. Sewer service connections to sewer mains with pipe size diameter of 12 inches and grader will not be made without approval from the wastewater management division.

68. Sewer backwater check valves shall be required on private sewer service laterals for the city of Santa Fe plumbing code.

69. Any 8 inch public sanitary sewer mainline placed with a grade of less than 0.60% shall be removed and reconstructed at the contractors expense. All public sanitary sewer main lines with slopes of less than 1% require a minimum Class C bedding with select granular material foundation.

70. All as-built sewer line and manhole data shall be obtained and certified by a licensed surveyor or engineer. As-built Data supplied by other than a licensed surveyor or engineer shall not be valid for final as-builts.



71. All existing and new public manholes within a project shall have access for City sewer maintenance equipment. All access is subject to field verification and modification as required by the wastewater division prior to final project closeout with the City of Santa Fe.

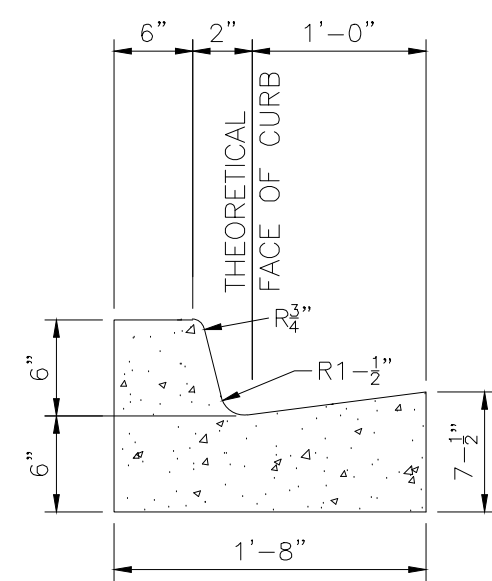
72. All sewer line crossings of rivers, streams, arroyos, drainage channels, etc. shall require a basis of design analysis prepared by a licensed engineer.

73. An approved backflow valve and isolation valve are required on all low pressure sewer service lines as per the City of Santa Fe standard sewer specification.

74. Terminal flushing connections and in-line flushing connection are required on all low pressure sewer systems. The maximum spacing between in-line flushing connections shall be 500 feet. Distances greater than 500 feet between low pressure sewer in-line flushing connections shall be approved by the wastewater division.

75. Sewer backflow check valves are required on private sewer service laterals for the City's plumbing code. Final determination shall be made by the City of Santa Fe plumbing inspection division.

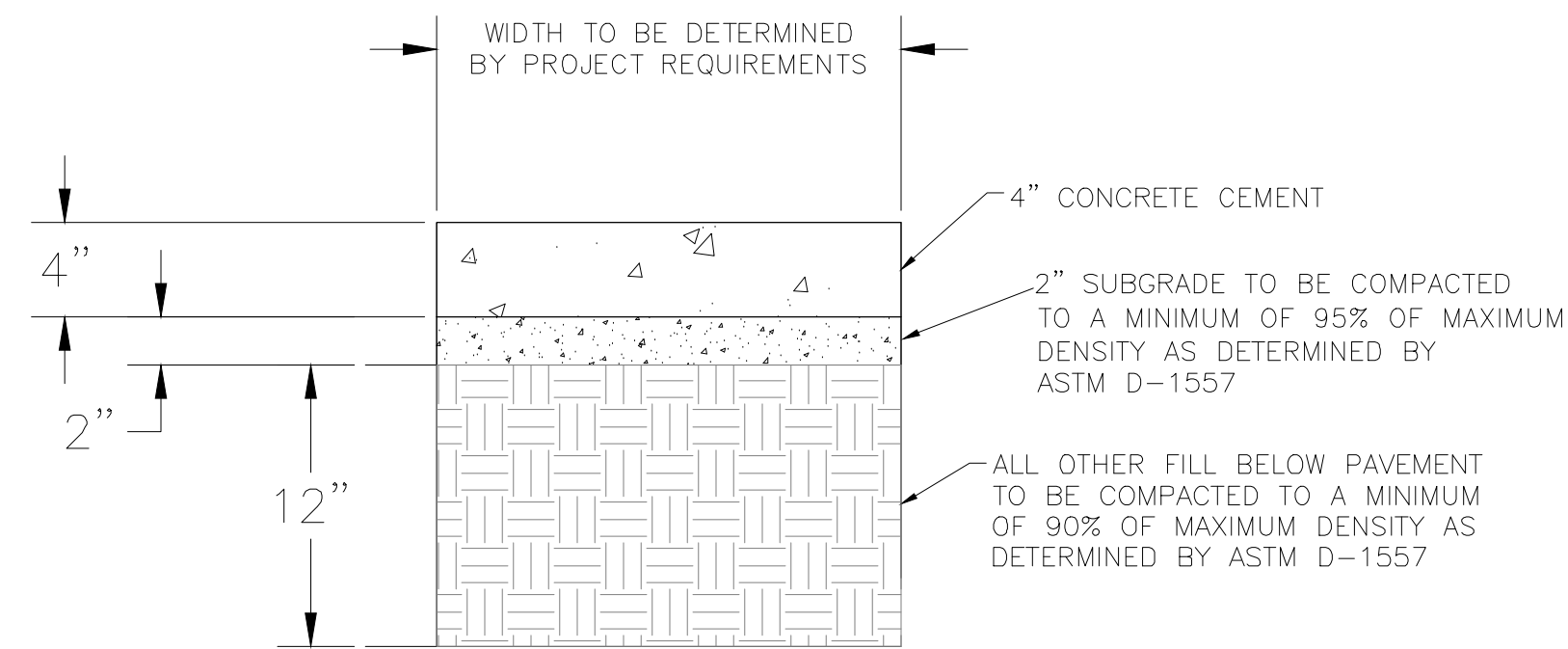
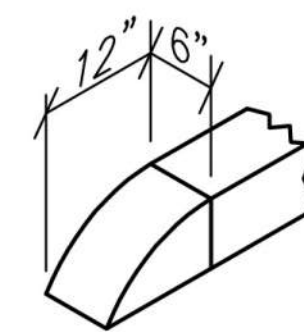
ENGINEER'S SEAL	<b>SFO APPRENTICE HOUSING SANTA FE, NM</b>	DRAWN BY AS
	<b>GENERAL CONSTRUCTION NOTES</b>	DATE 09/29/2025
		DRAWING
RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>N-2</b> JOB # 2025065



- CURB GENERAL NOTES:**
- ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE.
  - PROVIDE CONTRACTION JTS. 12" MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
  - ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
  - 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

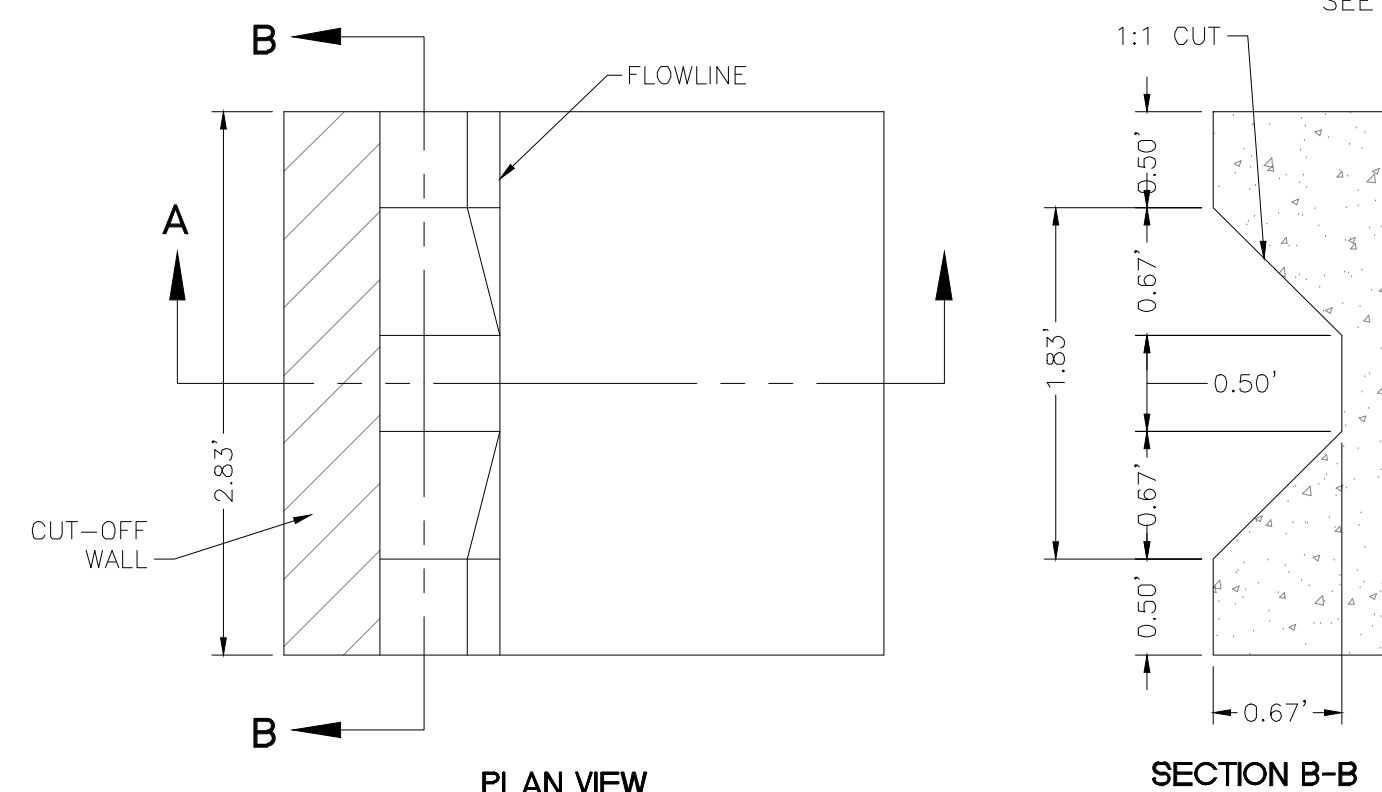
## Curb Transition

SCALE: NONE



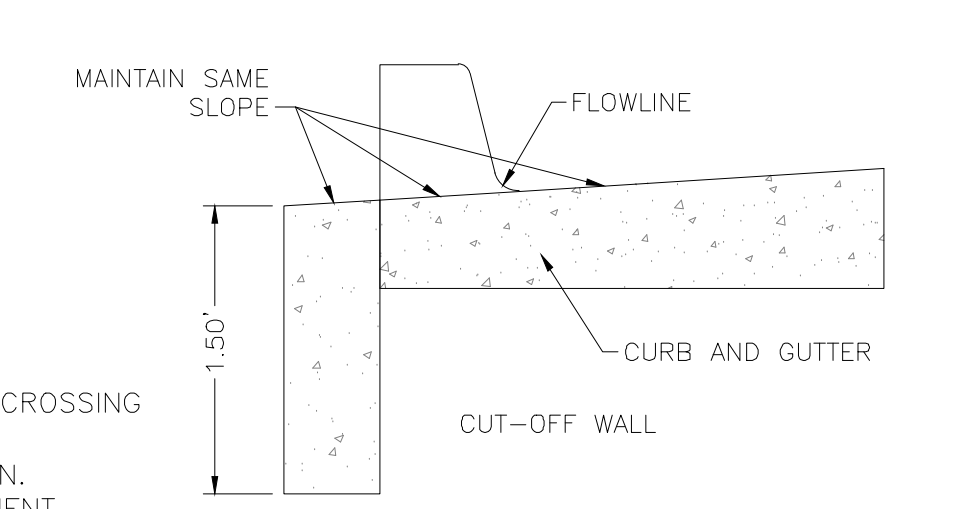
## CONCRETE SIDEWALK SECTION

NTS



## PLAN VIEW

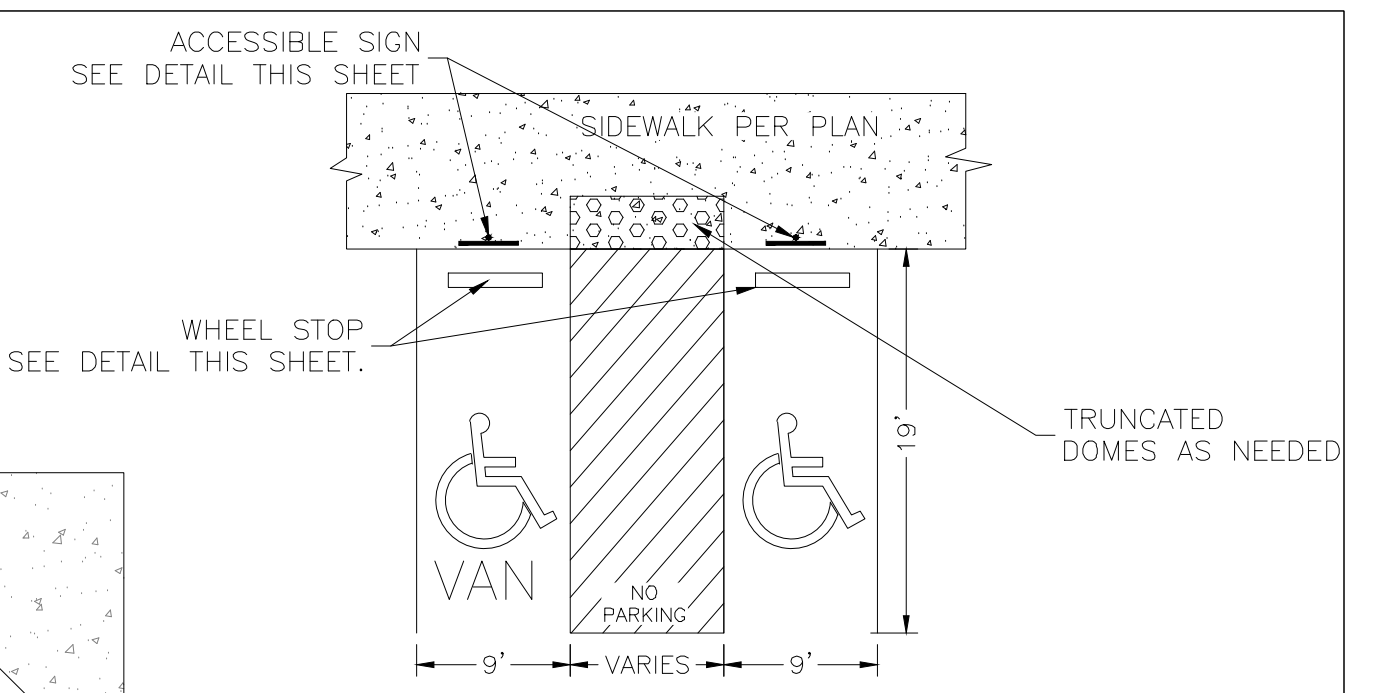
## SECTION B-B



## SECTION A-A

## CURB CUT DETAIL

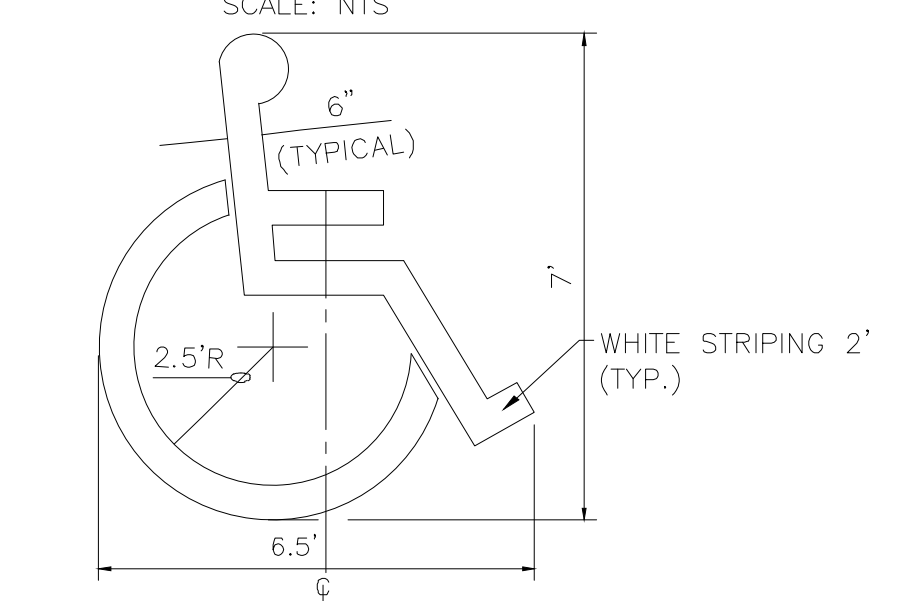
SCALE: NTS



- NOTES:**
- International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
  - Parking space lines and diagonal striping to be painted blue.
  - Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
  - ADA parking areas - not to exceed a slope greater than 2% in any direction

## (I) HC PARKING DETAIL

SCALE: NTS



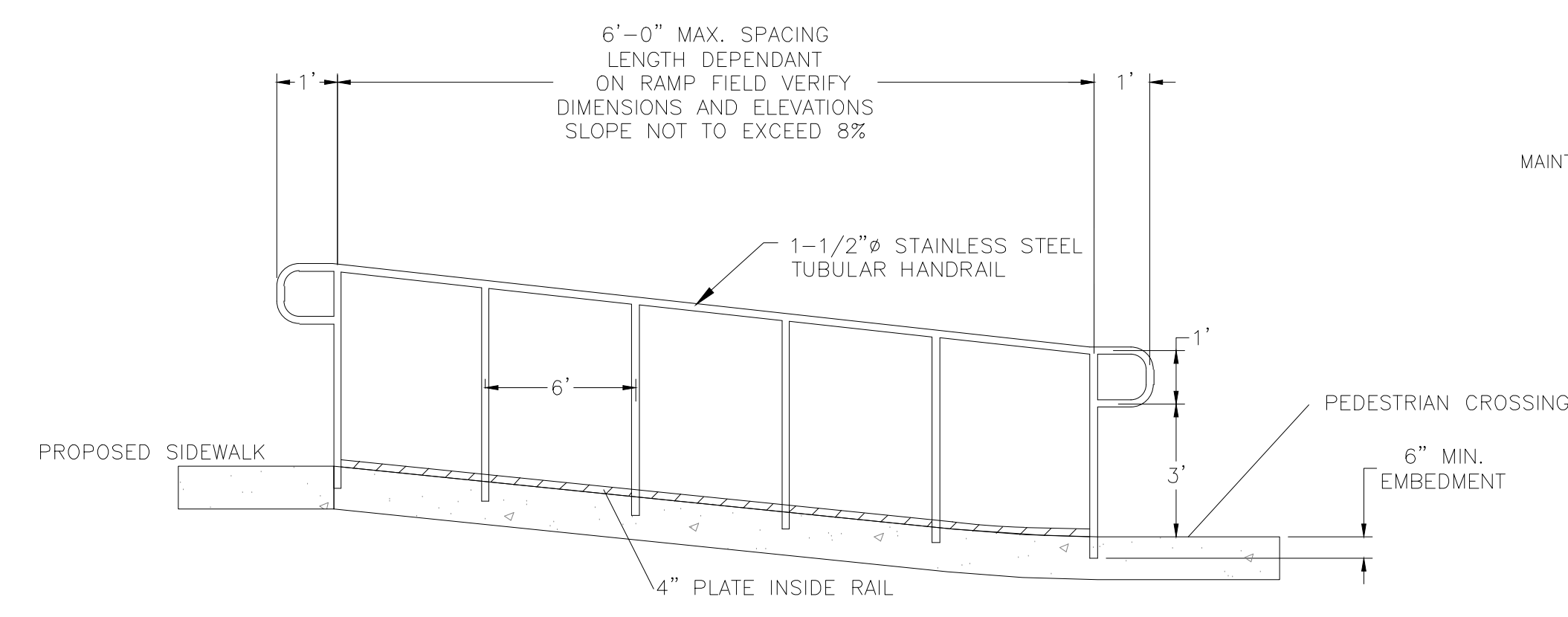
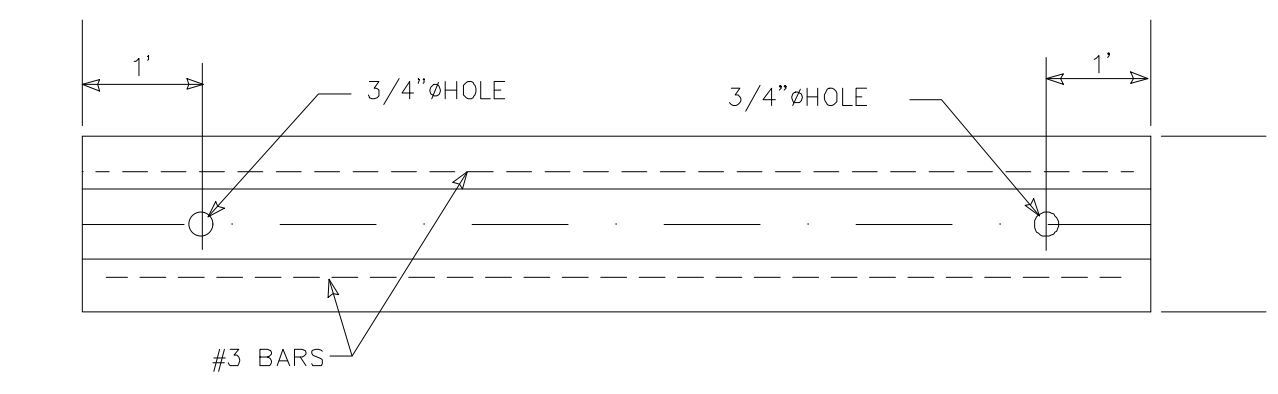
## ACCESSIBLE PARKING SYMBOL

NTS

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING

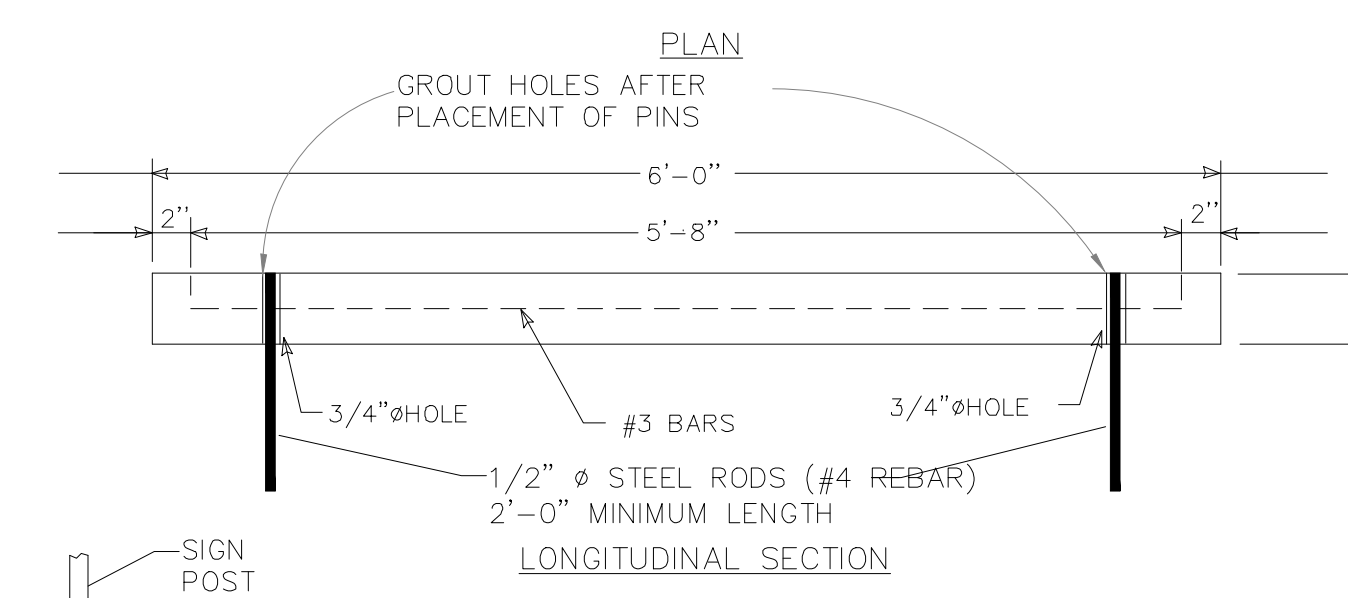
## 6" CURB & GUTTER

NTS

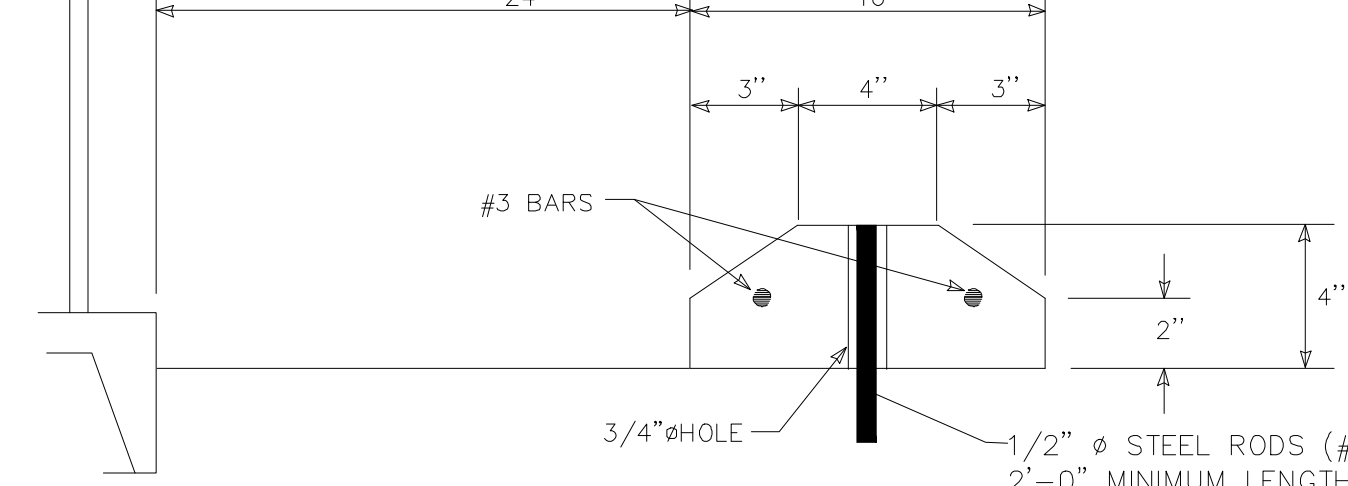


## PEDESTRIAN HANDRAIL DETAIL

NTS



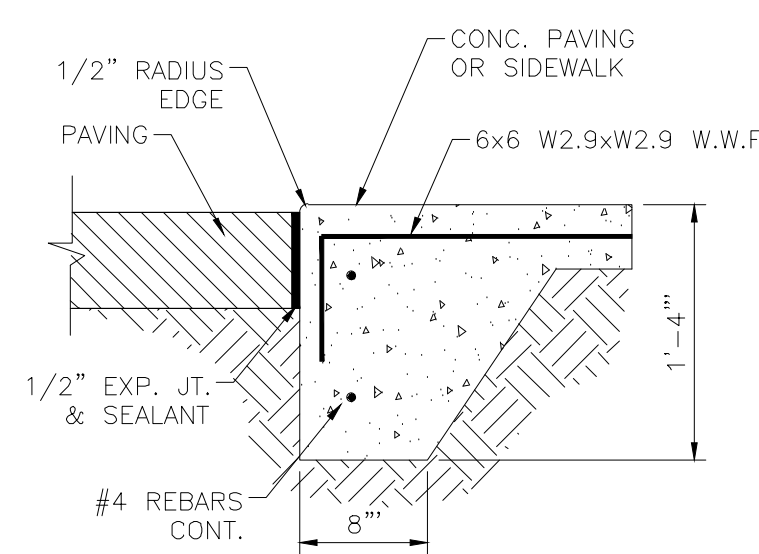
## LONGITUDINAL SECTION



## CROSS SECTION

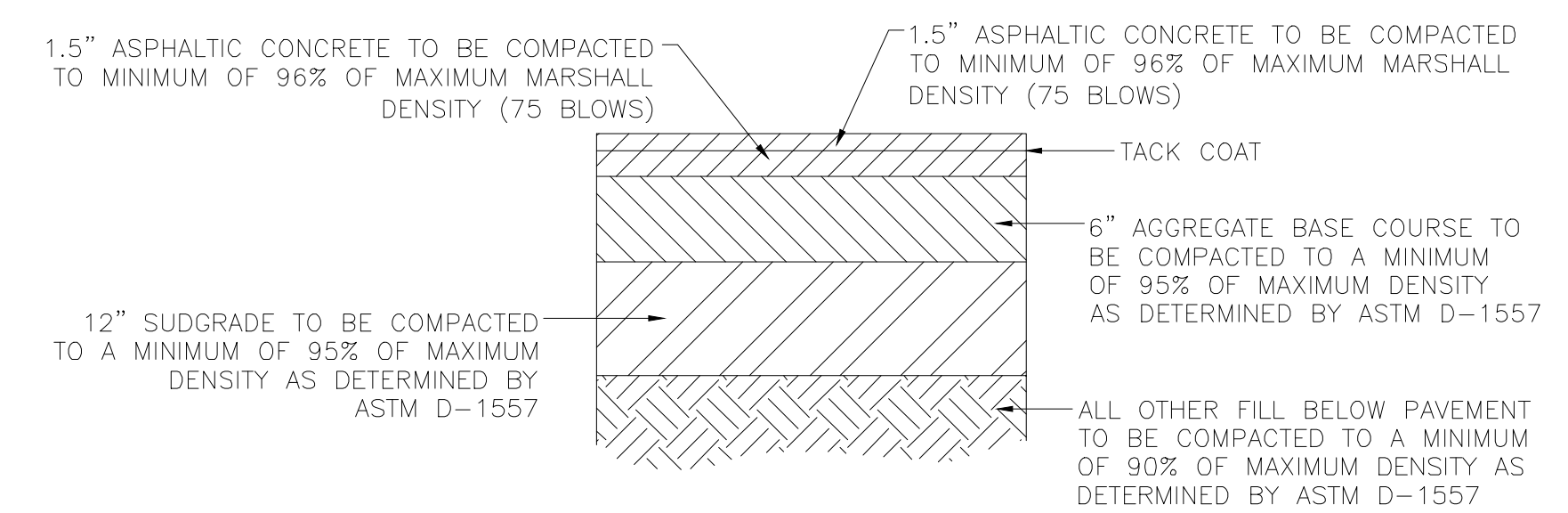
## WHEEL STOP

SCALE: NTS



## ZERO CURB

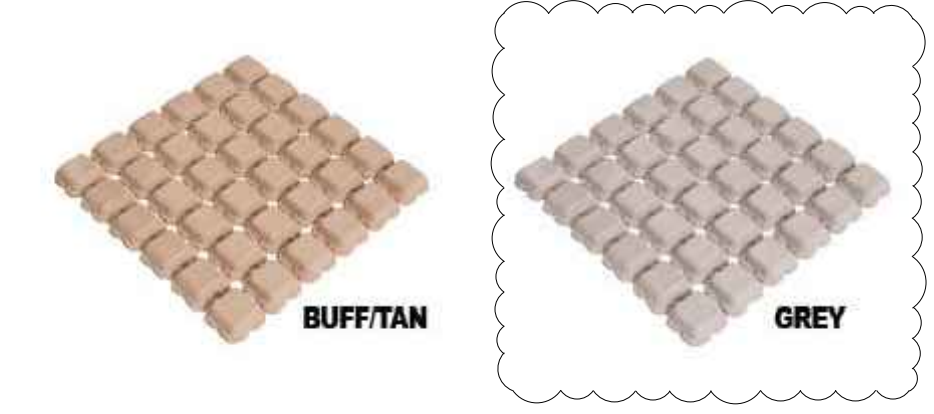
NTS



## SITE ASPHALT PAVEMENT SECTION

NTS

NOTE: CONTRACTOR TO VERIFY WITH OWNER PROVIDED SOILS REPORT.



Geometric Properties	
Property	Value
Nominal Area (LxWxH)	24" x 24" x 1.5"
Gross Area of each mat	4 s.f.
Concrete Strength	5000 psi
Weight of each mat	45 lbs
Flexibility (min. radius of curvature)	12 in
Plantable Area	61% (100% for Sod)
Concrete Surface Area	39%
Concrete Bearing Area	90%
Mats per pallet	60
Area covered per pallet	240 s.f.
Color	Buff/Tan, Grey

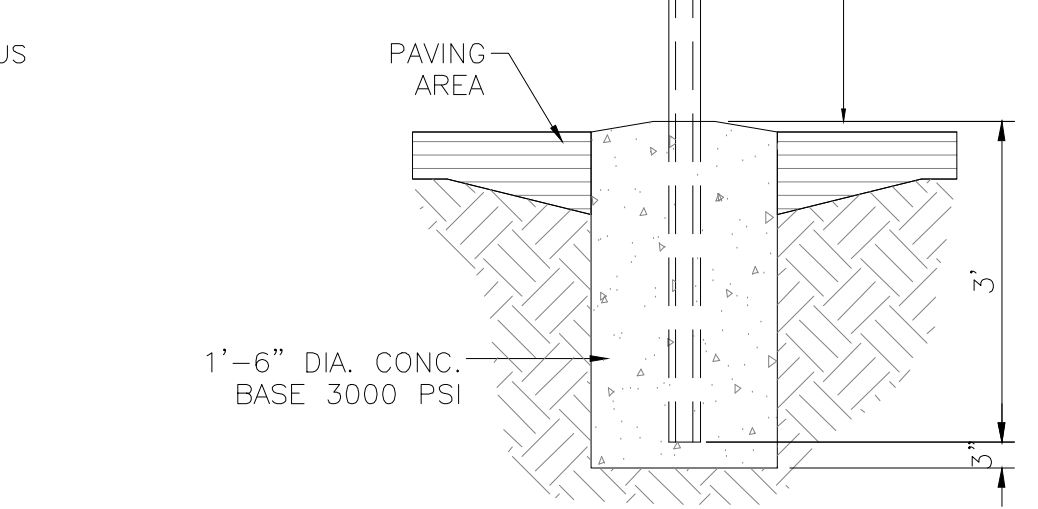
\* other colors available for special order

## 6" HEADER CURB DETAIL

1"=1"

- CURB GENERAL NOTES:**
- ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE.
  - PROVIDE CONTRACTION JTS. 12" MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
  - ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
  - 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

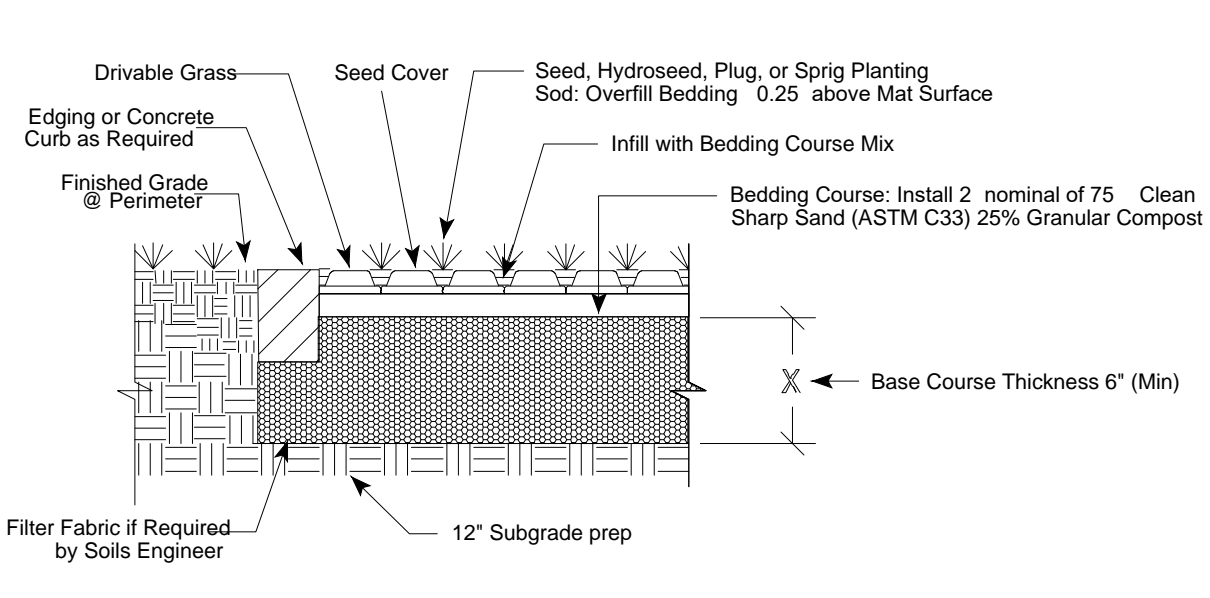
- NON-VAN ACCESSIBLE SPACES**  
BOTTOM OF THIS SIGN 60" MIN. ABOVE GROUND ANSI 502.7
- VAN ACCESSIBLE SPACES**  
BOTTOM OF THIS SIGN 60" MIN. ABOVE GROUND ANSI 502.7
- SIGN TYPE R7-8 (12"x18")**  
SIGN FIELD IS WHITE  
SIGN LETTERING AND BORDER ARE GREEN  
INTERNATIONAL SYMBOL OF ACCESSIBILITY IS WHITE ON A BLUE BACKGROUND
- REQUIRED LANGUAGE PER NMSA 197866-7-352.4C**  
(Violators are subject to a fine and/or towing)
- SIGN TYPE R7-8A (6"x12")**  
SIGN FIELD IS WHITE  
SIGN LETTERING AND BORDER ARE GREEN
- REQUIRED LANGUAGE (VAN ACCESSIBLE) PER ANSI 502.7**



## ACCESSIBLE PARKING SIGN

NTS

## Typical Commercial DRIVABLE GRASS® Detail



## DRIVEABLE PAVER SPECIFICATION

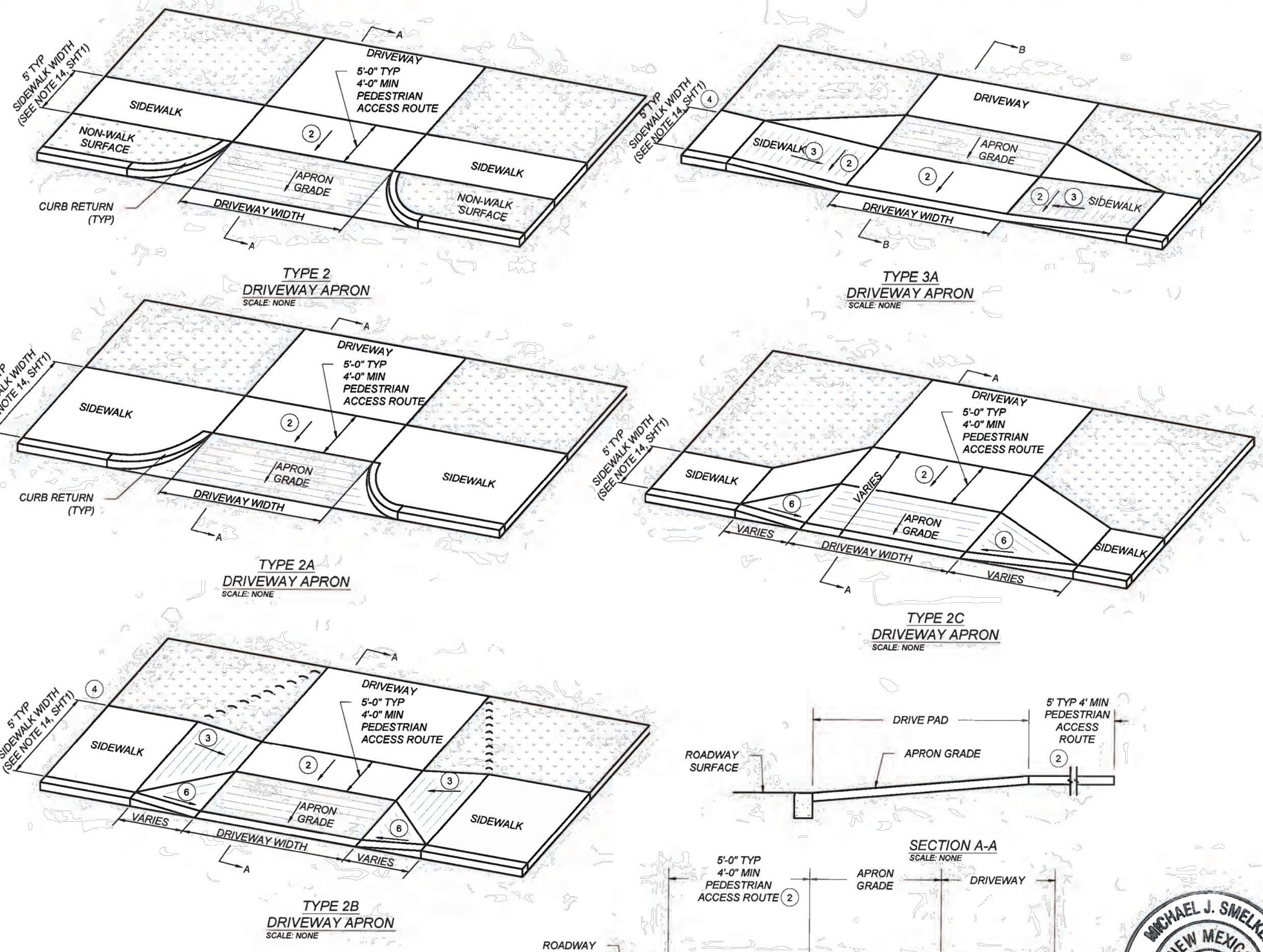
NTS

## Installation Overview

- Step 1 - Subgrade Preparation**  
Excavate and prepare subgrade as specified  
Install filter fabric, if required
- Step 2 - Install Base Materials, Edge Restraints, Sub-Drains and Irrigation as required**
- Step 3 - Install Bedding Layer (see Typical Commercial Detail)**  
Compact to get a uniform level surface before placing DRIVABLE GRASS mats  
Install specified bedding mix makeup per manufacturers recommendations  
• Non-planting: add a thin layer of sand for leveling
- Step 4 - Install the DRIVABLE GRASS® Mats**  
Place the mats butted up against each other  
Grid can be cut with utility knife or chisel. Mats can be cut with masonry blade  
Lightly compact before infill to set mat into bedding course layer  
• Non-planting: staking may be required based on application and infill material
- Step 5 - Infill (and Plant)**  
Infill with same bedding mix makeup as bedding layer  
Seed: Broom in to off top of mat surface before applying seed.  
• Use seed covers and keep moist to promote germination  
Sod: Overfill mats above surface before laying sod, then roll to set  
• Hydroseed: Mix seed with hydromulch and apply as specified  
• Non-planting: Broom in specified infill below mat surface. Overfill is not recommended.
- Step 6 - Plant Establishment**  
• Protect area until root system is established.  
Driving can typically begin after the second mowing.
- For complete installation instructions see our website  
[www.solretention.com/drivable-grass/professional/](http://www.solretention.com/drivable-grass/professional/)

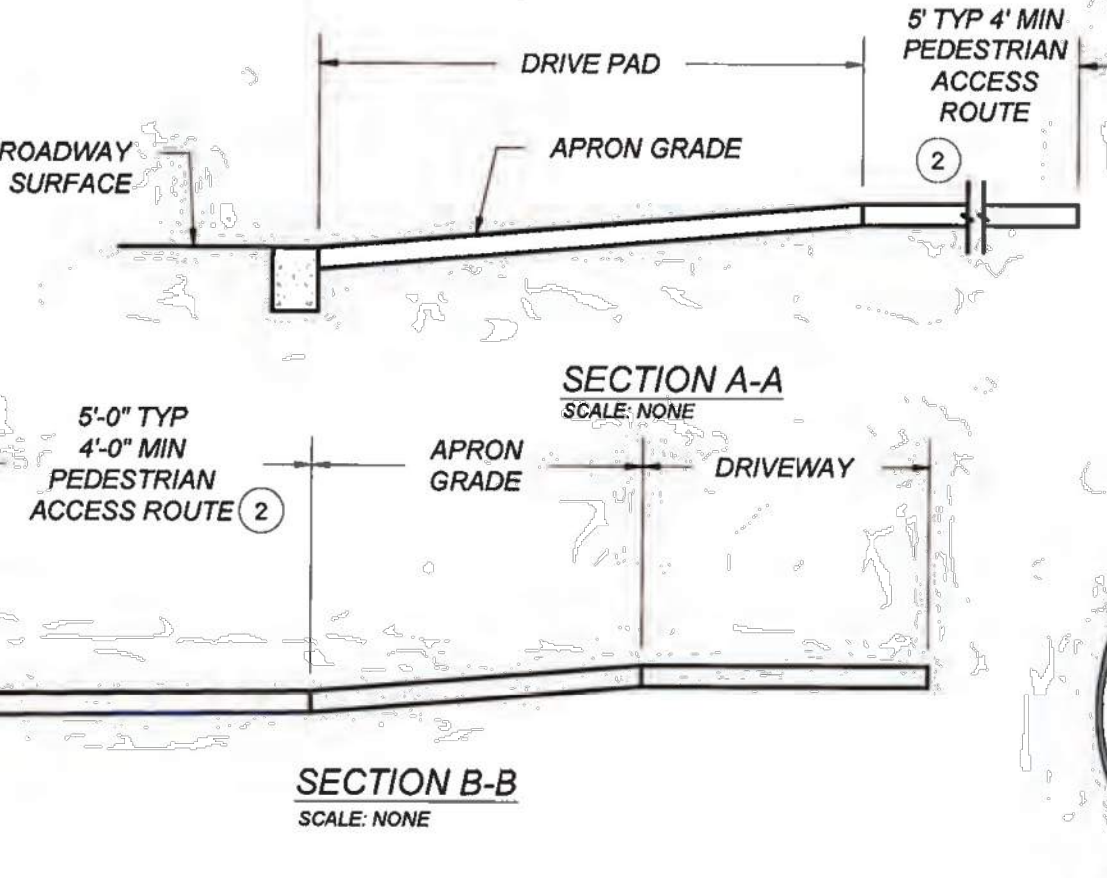
	<b>SFO APPRENTICE HOUSING</b> SANTA FE, NM	DRAWN BY AS
	<b>SITE CIVIL DETAILS</b>	DATE 09/29/2025
RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # <b>DET-1</b>
		JOB # 2025065

SUMMARY  
FILENAME



**KEYED NOTES**

- 1 TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (RECOMMEND 1.5%). TURNING SPACE SHALL BE 4.0 FT BY 4.0 FT MIN (RECOMMEND 5.0 FT BY 5.0 FT) AT THE TOP OF THE CURB RAMP AND SHALL BE PERMITTED TO OVERLAP OTHER TURNING SPACES AND CLEAR SPACES. WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK, THE TURNING SPACE SHALL BE 4.0 FT MIN BY 5.0 FT MIN. THE 5.0 FT SHALL BE PROVIDED IN THE DIRECTION OF THE RAMP RUN.
  - 2 CROSS SLOPE SHALL BE 2.0% MAX (RECOMMENDED 1.5%). EXCEPTION: THE CROSS SLOPE OF CURB RAMPS AT PEDESTRIAN STREET CROSSING WITHOUT YIELD OR STOP CONTROL, TRAFFIC SIGNALS DESIGNED FOR THE GREEN PHASE, AND AT MIDBLOCK PEDESTRIAN STREET CROSSING, THE CROSS SLOPE IS PERMITTED TO MATCH STREET OR HIGHWAY GRADE.
  - 3 RUNNING SLOPE OF THE CURB RAMP SHALL BE 8.3% MAX (RECOMMENDED 7.0%) BUT SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15.0 FT TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15 FOOT MAX LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS MAXIMUM EXTENT PRACTICABLE.
  - 4 GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
  - 5 COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
  - 6 FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX (RECOMMEND 9%), MEASURED PARALLEL TO THE BACK OF THE CURB, UNLESS THE FLARED SIDES ARE PROTECTED FROM CROSS TRAVEL BY LANDSCAPING, STREET FURNITURE, CHAINS, FENCING, OR RAILINGS.
- NOTES:
- A DO NOT SCORE OR MAKE GROOVES IN SLOPED SURFACE. LINES SHOWN ON STANDARD DETAILS ARE FOR ILLUSTRATION ONLY.
  - B DETAILS OF THE DETECTABLE WARNING SURFACE ARE SHOWN IN THE CONSTRUCTION PLANS AND SHEET 608-001-8/12 OF THE STANDARD DRAWINGS.
  - C IN ALTERATIONS WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT COMPLIANCE TO PROVIDE A CURB RAMP FOR EACH PEDESTRIAN CROSSING A SINGLE DIAGONAL CURB RAMP SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS.
  - D CONCRETE HEADER CURBS CONSTRUCTED AS PART OF THE CURB RAMP WILL BE CONSIDERED INCIDENTAL TO ITEM NUMBER 608004 AND NO SEPARATE PAYMENT WILL BE MADE.

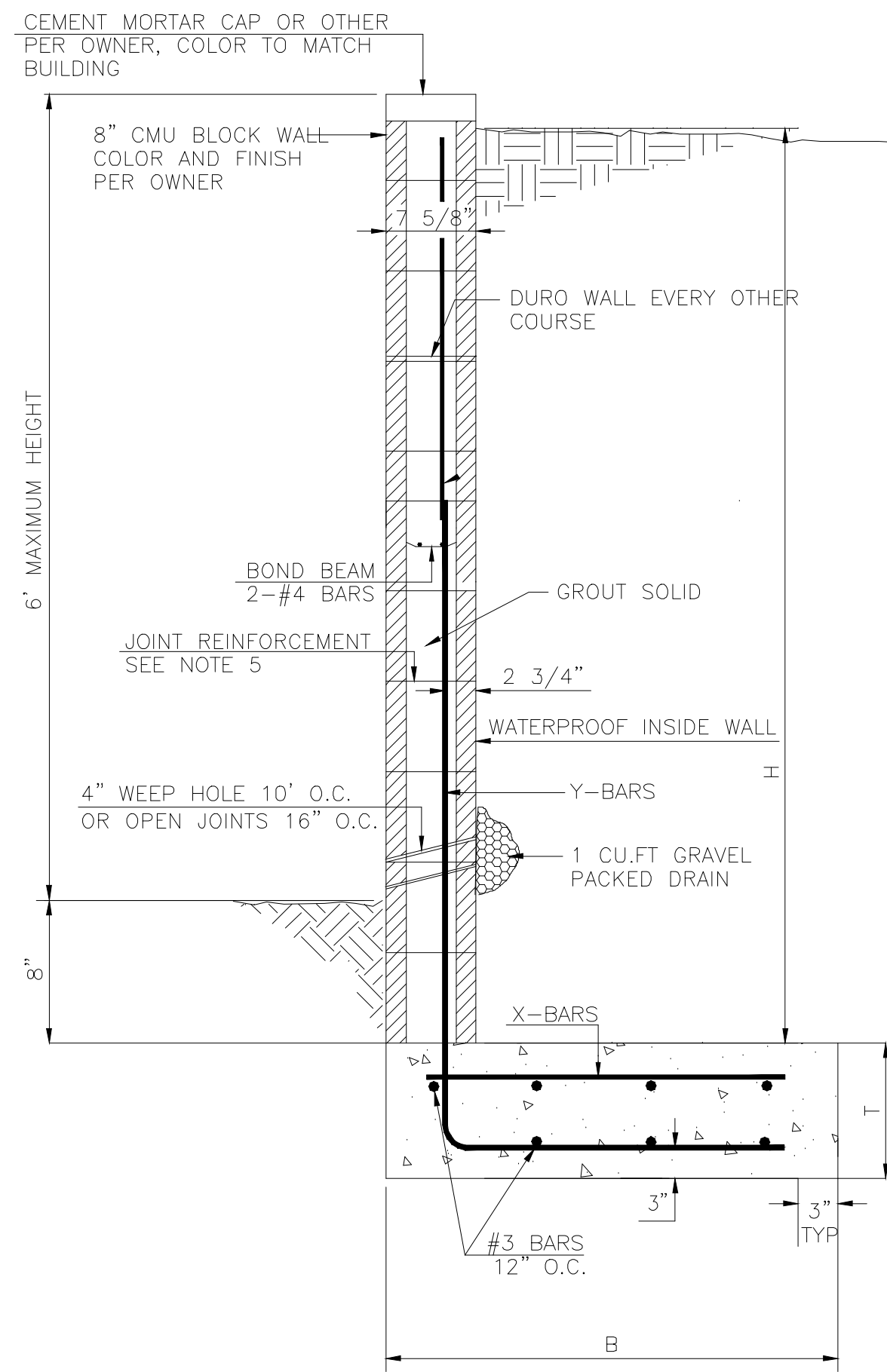


NO.	DATE	REV. BY	DESCRIPTION
REVISIONS ( OR CHANGE NOTICES )			
NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING			
DRIVEWAY APRONS			
APPROVED <i>[Signature]</i>			DATE 09-30-25
			ENGINEER
608-001-9		608-9 of 12	

file path

DRAWING SCALE = NOT TO SCALE

	SFO APPRENTICE HOUSING SANTA FE, NM	DRAWN BY AS
	SITE CIVIL DETAILS	DATE 09/29/2025
		DRAWING
		SHEET # DET-2
		JOB # 2025065



**"L" FOOTING RETAINING WALL DETAIL**  
NTS

**GENERAL NOTES:**

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
7. 30 BAR DIAMETER LAPS TYPICAL.
8. DUR-O-WAL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH
11. SOLID MASONRY CAP COURSE TYPICAL.
12. WATER PROOF WALL.

**8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)**

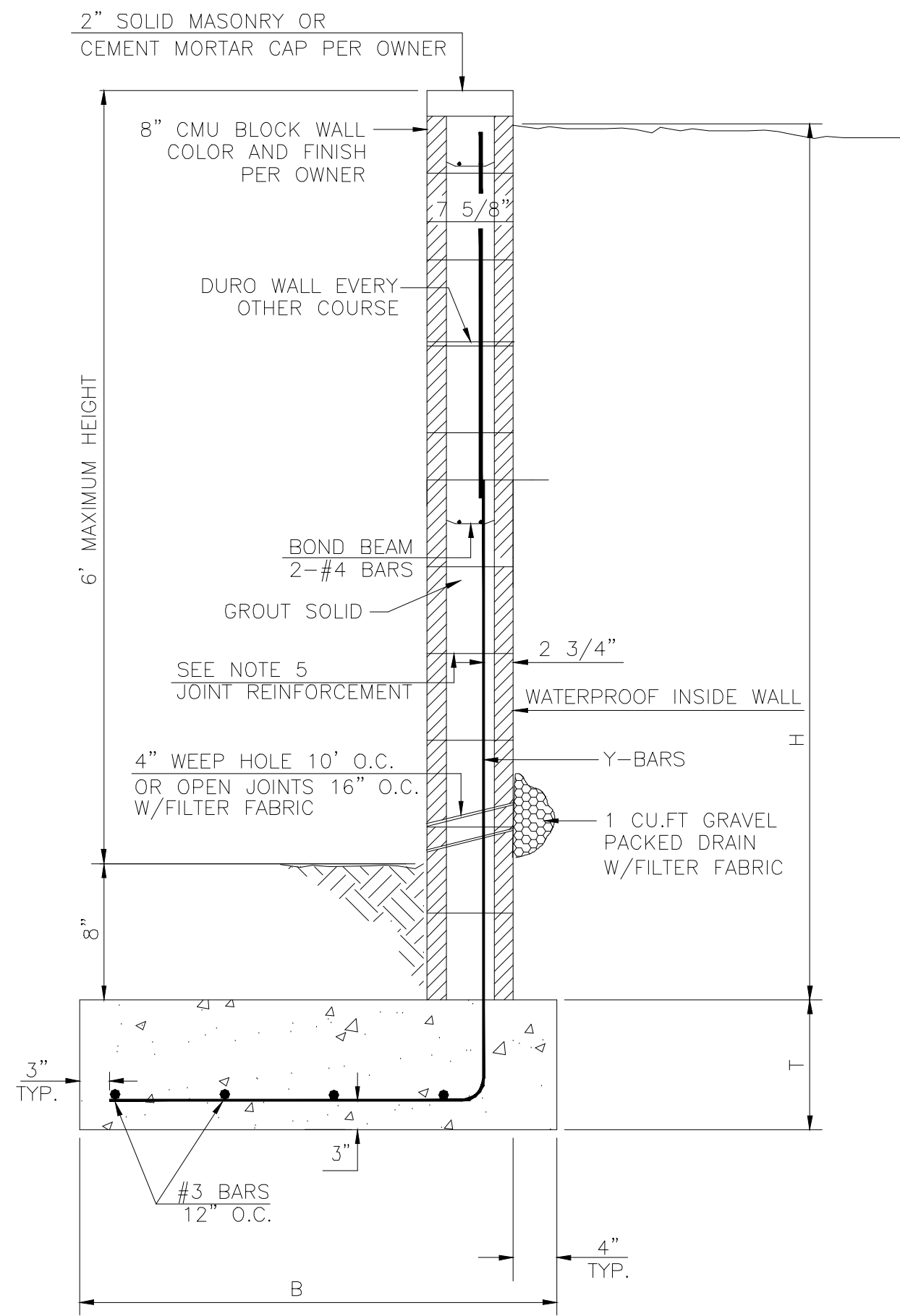
H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-6"	9"	#4 @ 24" O.C.	
3'-4"	2'-9"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-8"	4'-0"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
5'-4"	5'-0"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.
6'-0"	5'-6"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.

**GENERAL NOTES:**

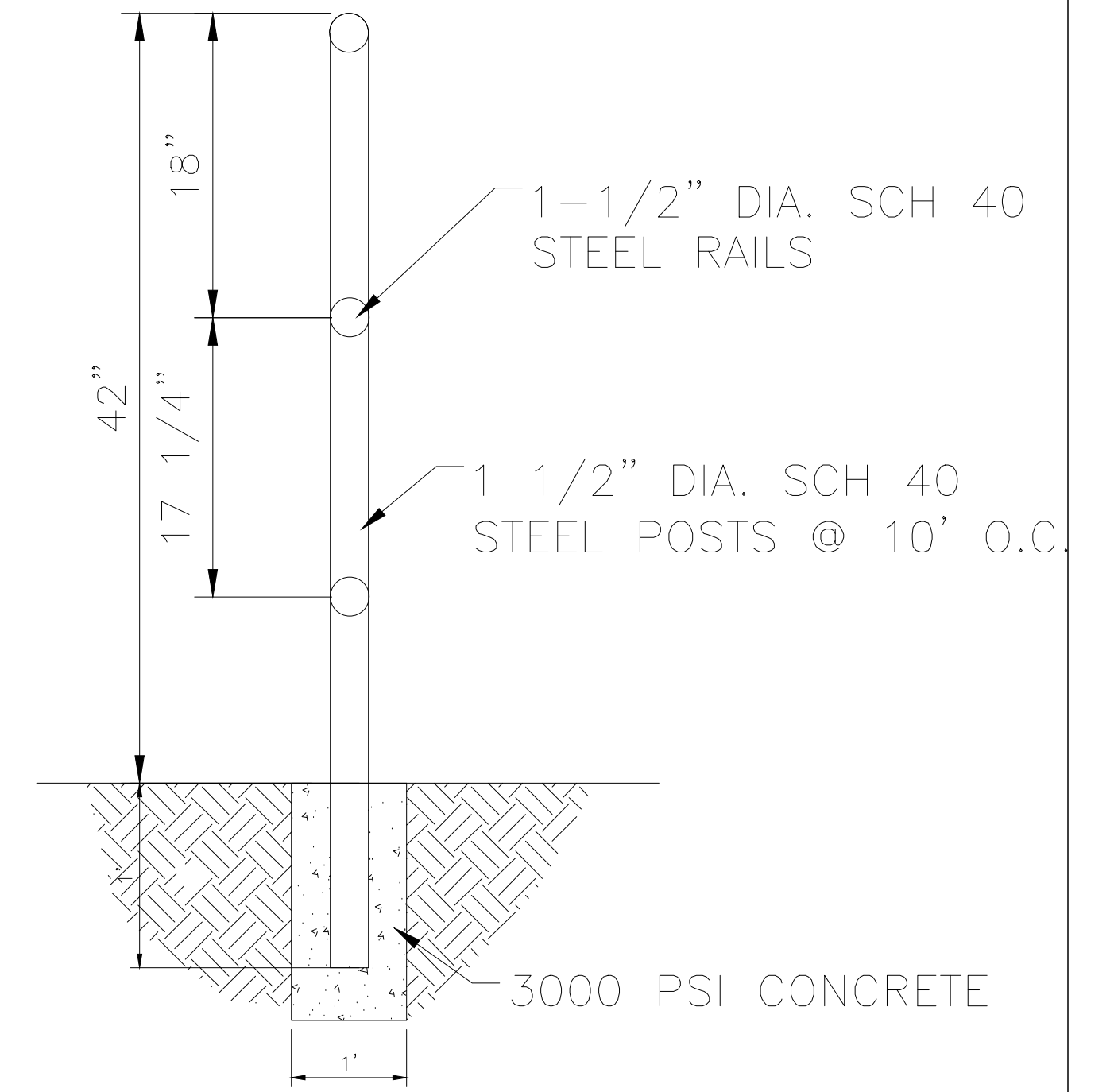
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3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. USE EITHER KEYED EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
7. 30 BAR DIAMETER LAPS TYPICAL.
8. DUR-O-WAL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
9. OWNER TO SELECT MASONRY COLOR AND/OR FINISH

**8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)**

H	B	T	Y-BARS
ft.-in.	ft.-in.	in.	
1'-4"	1'-6"	10"	#4 @ 24" O.C.
2'-0"	1'-6"	10"	#4 @ 24" O.C.
2'-8"	2'-0"	10"	#4 @ 16" O.C.
3'-3"	2'-4"	10"	#4 @ 16" O.C.
4'-0"	2'-9"	10"	#4 @ 16" O.C.
4'-8"	3'-0"	10"	#5 @ 16" O.C.

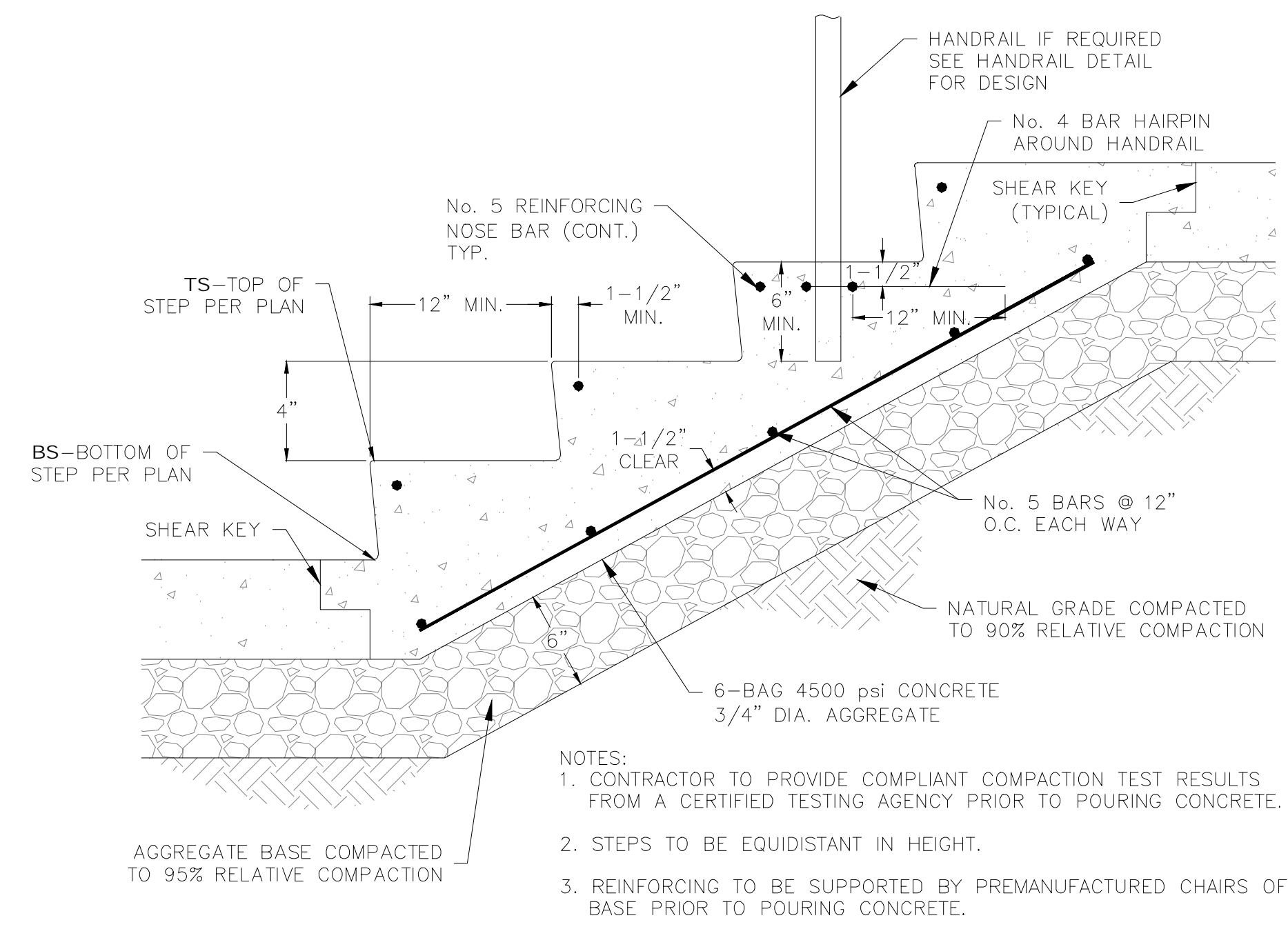
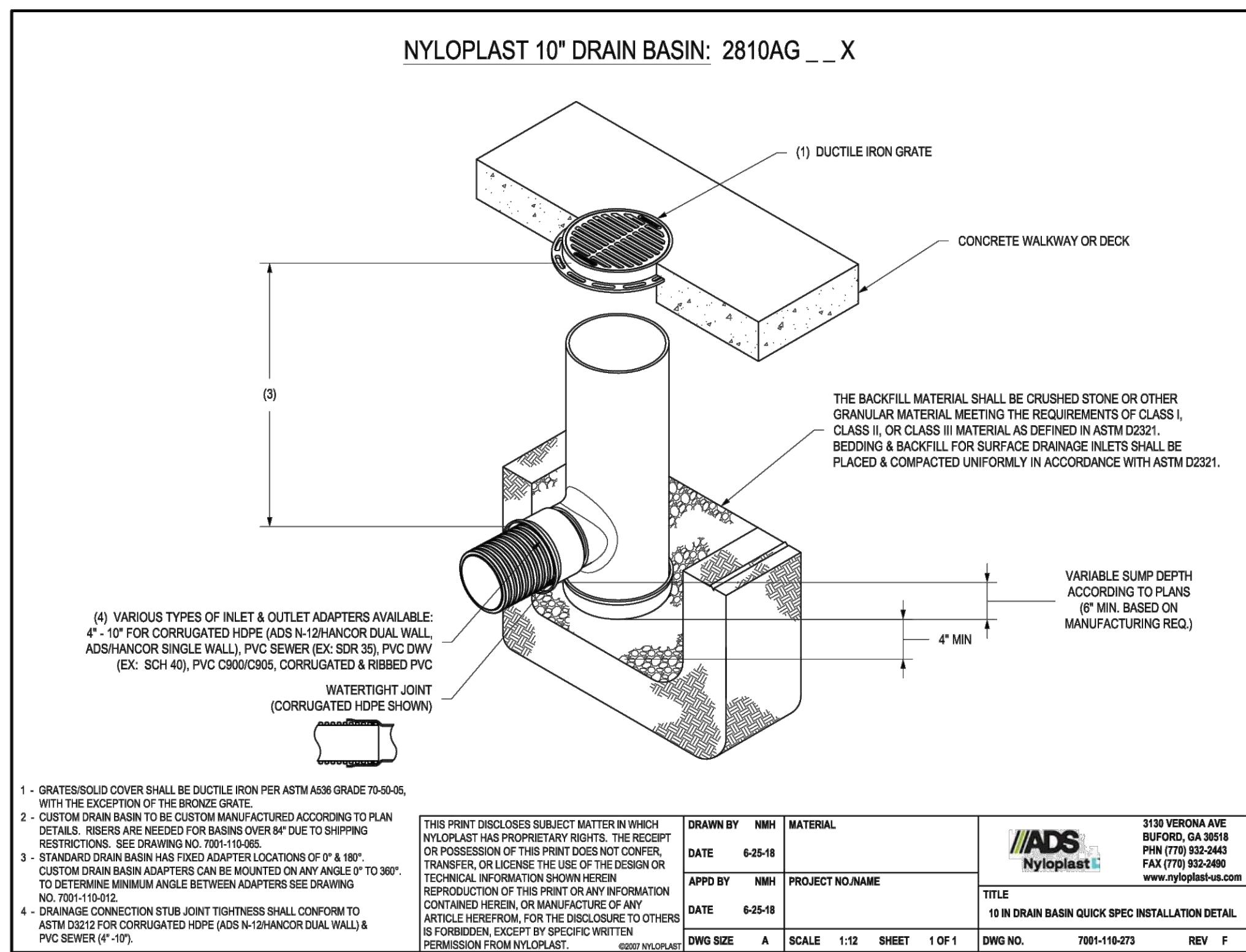
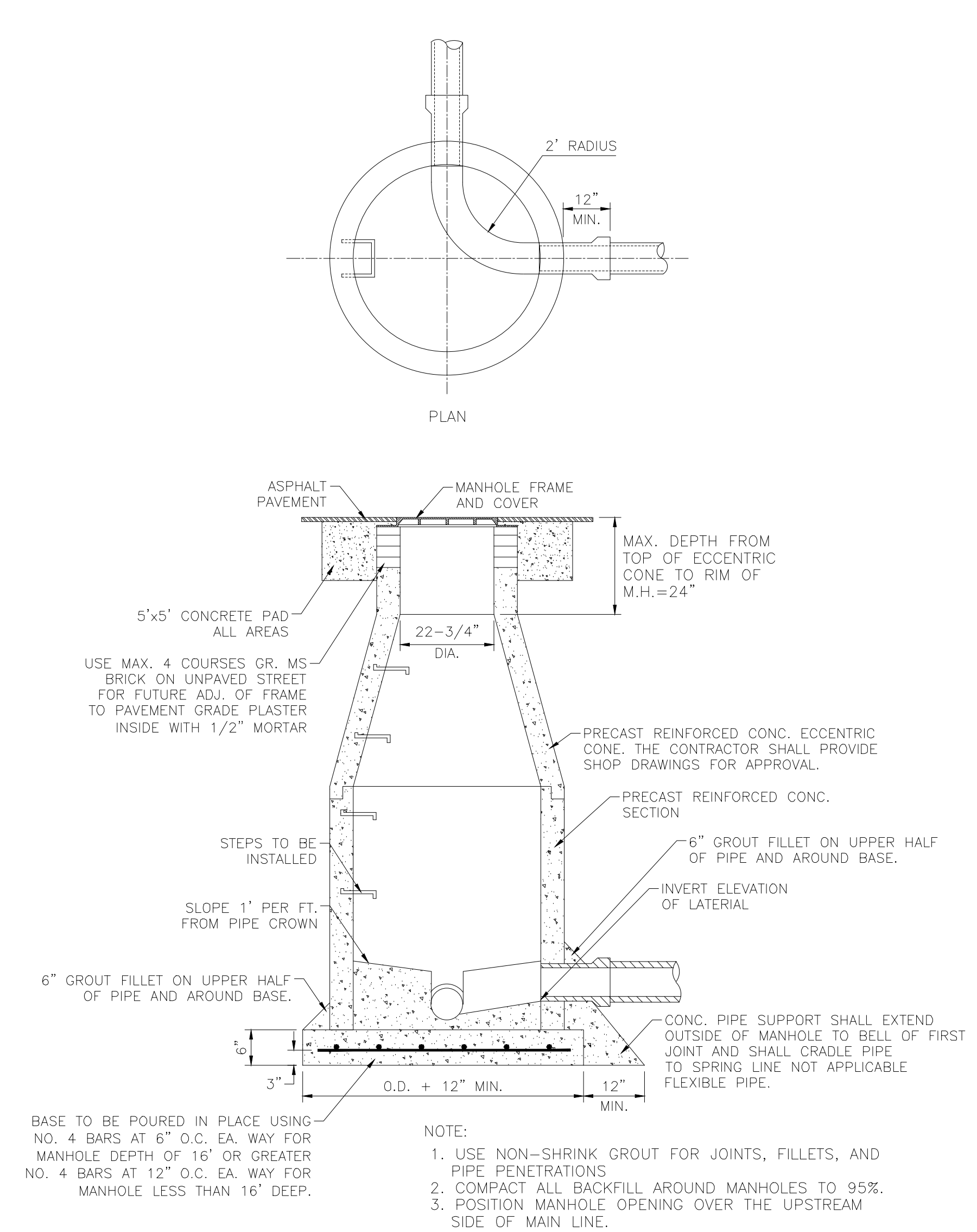
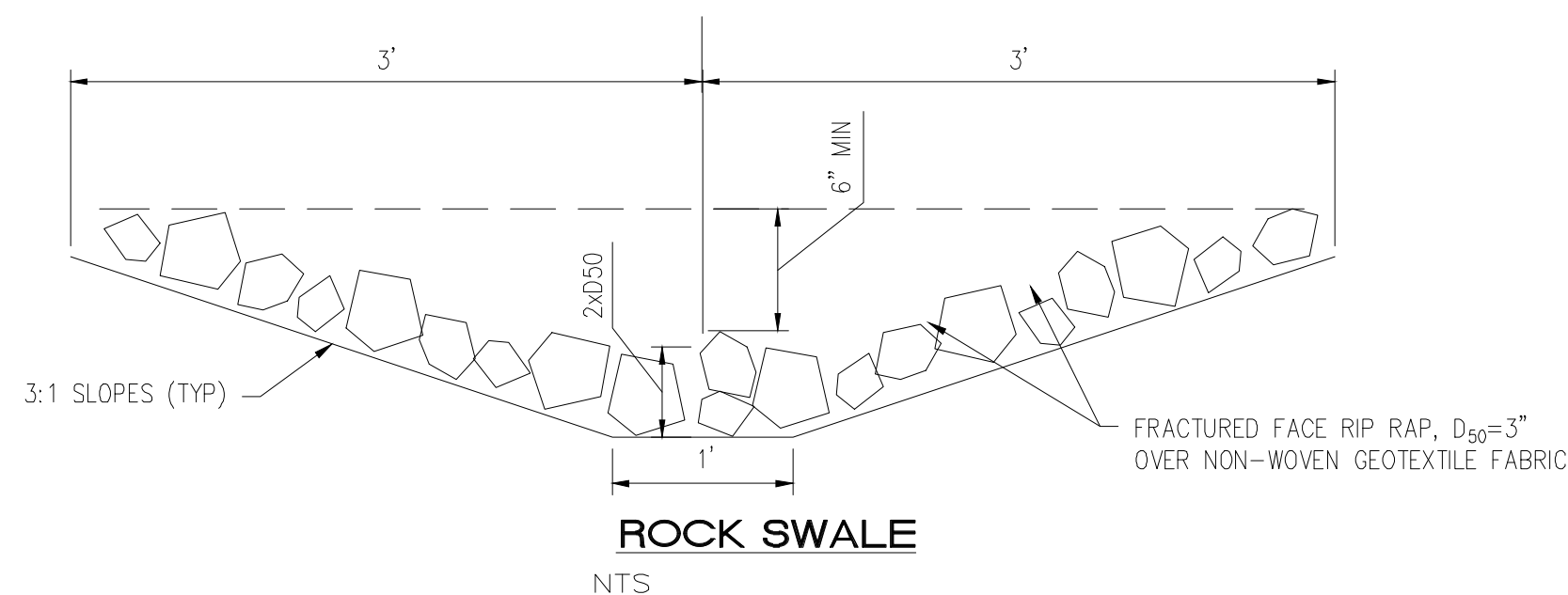
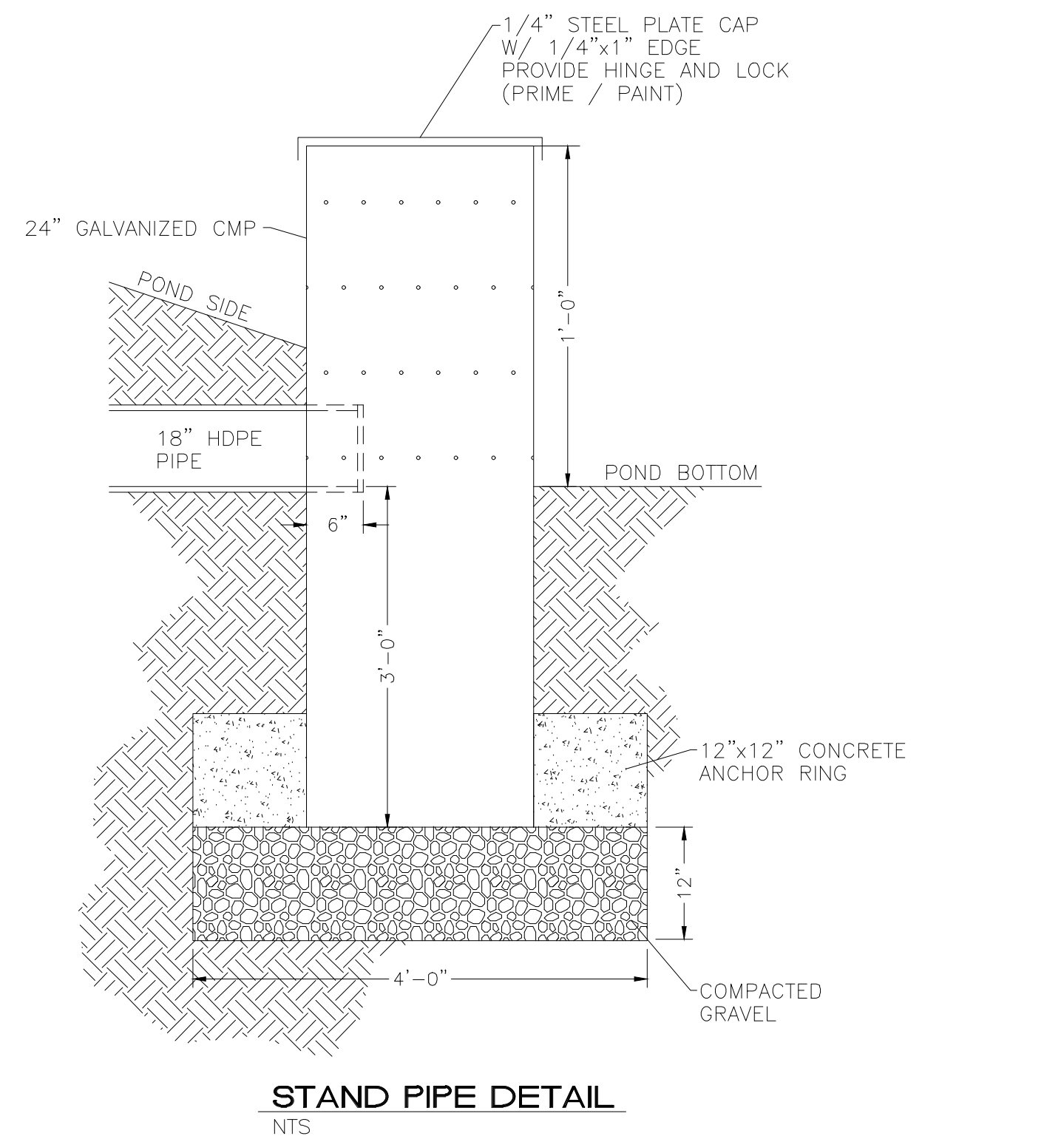
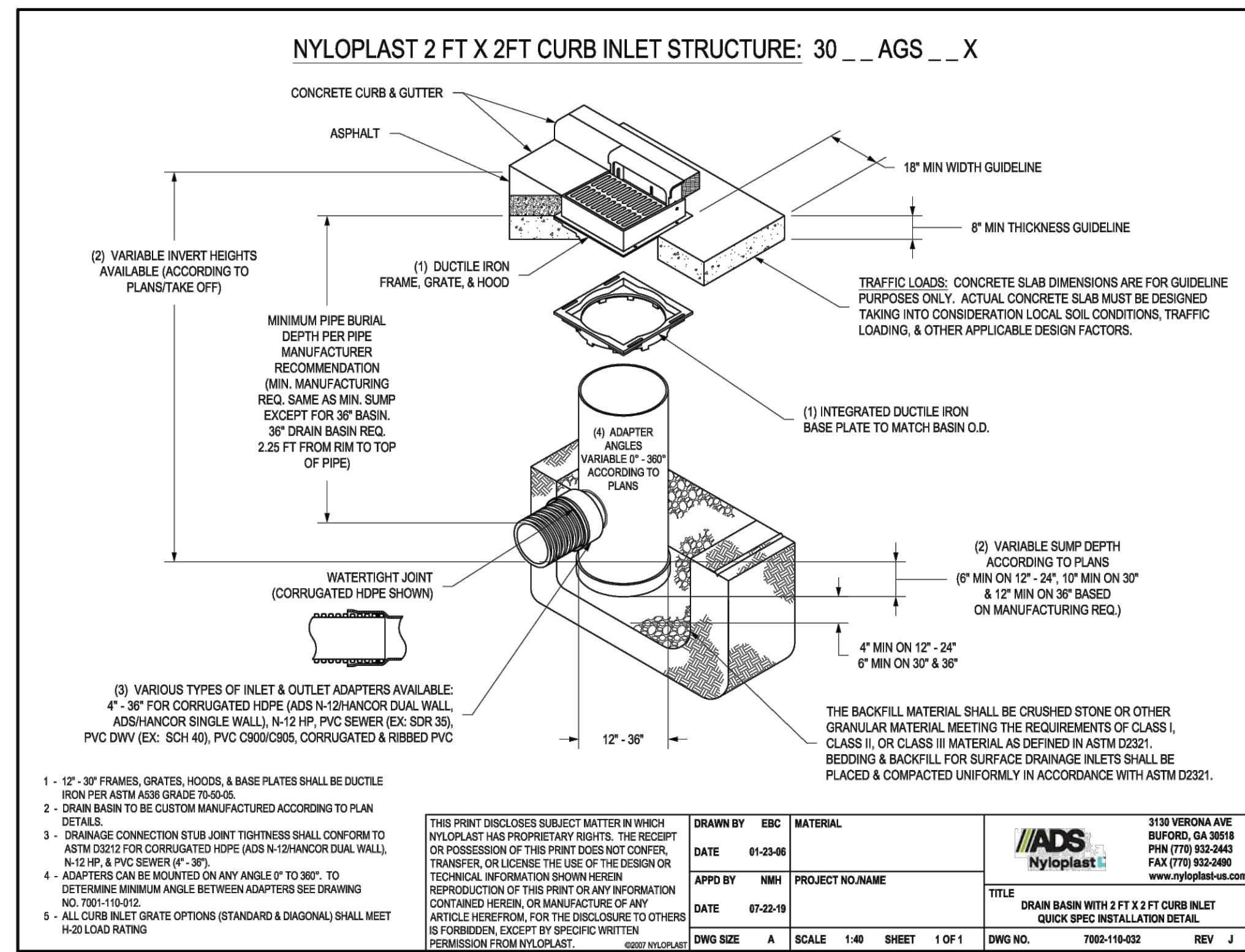


**L-FOOTING RETAINING WALL DETAIL**  
NTS

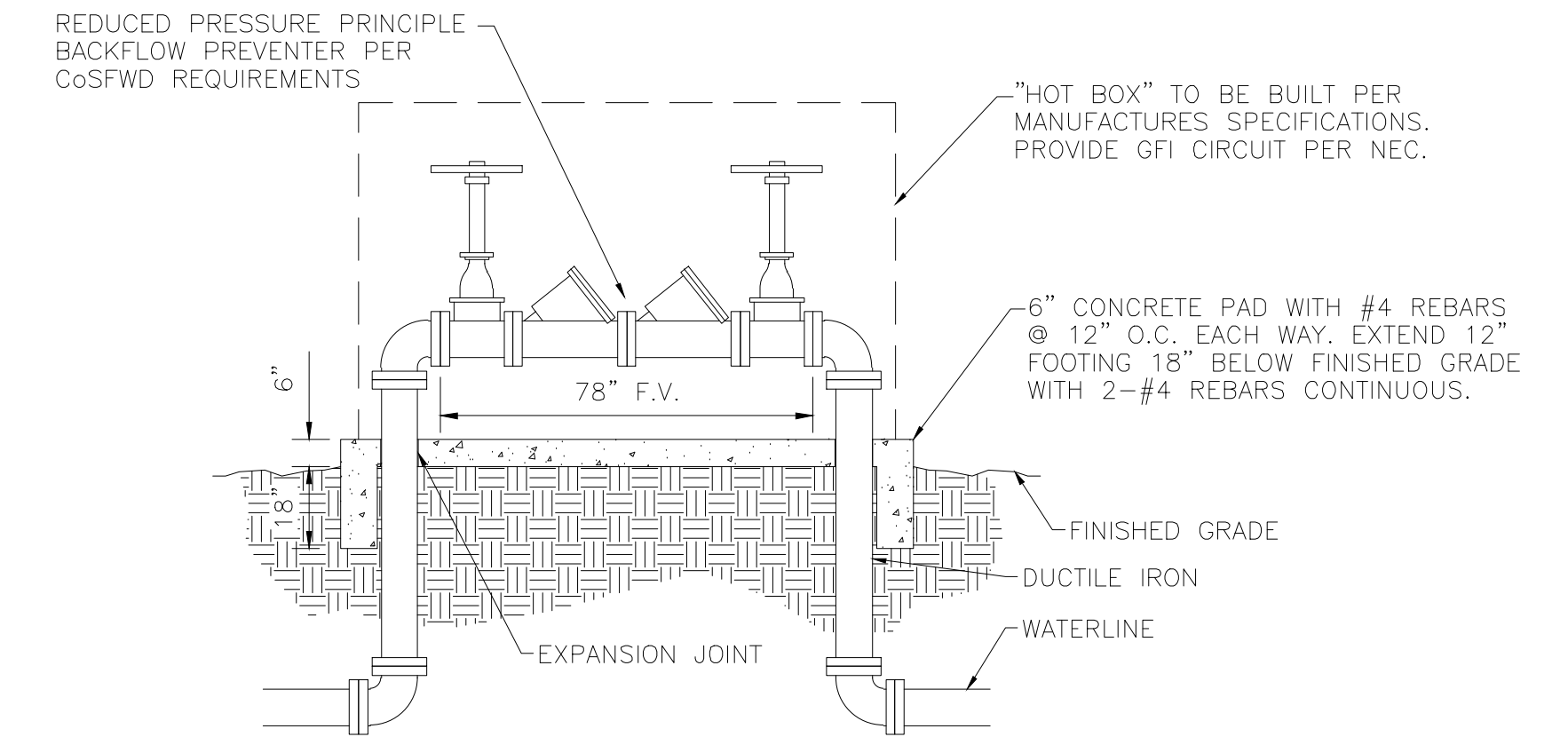
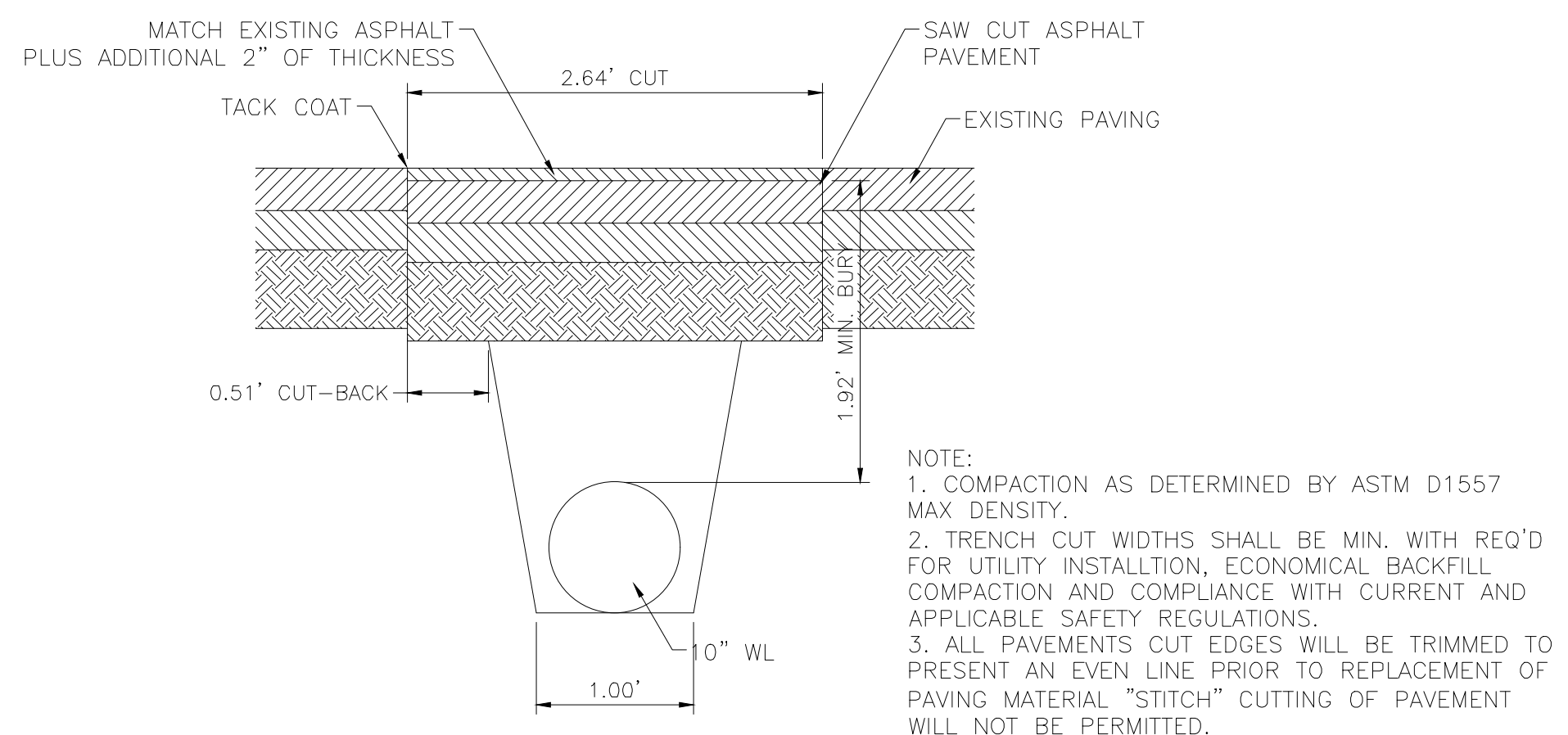
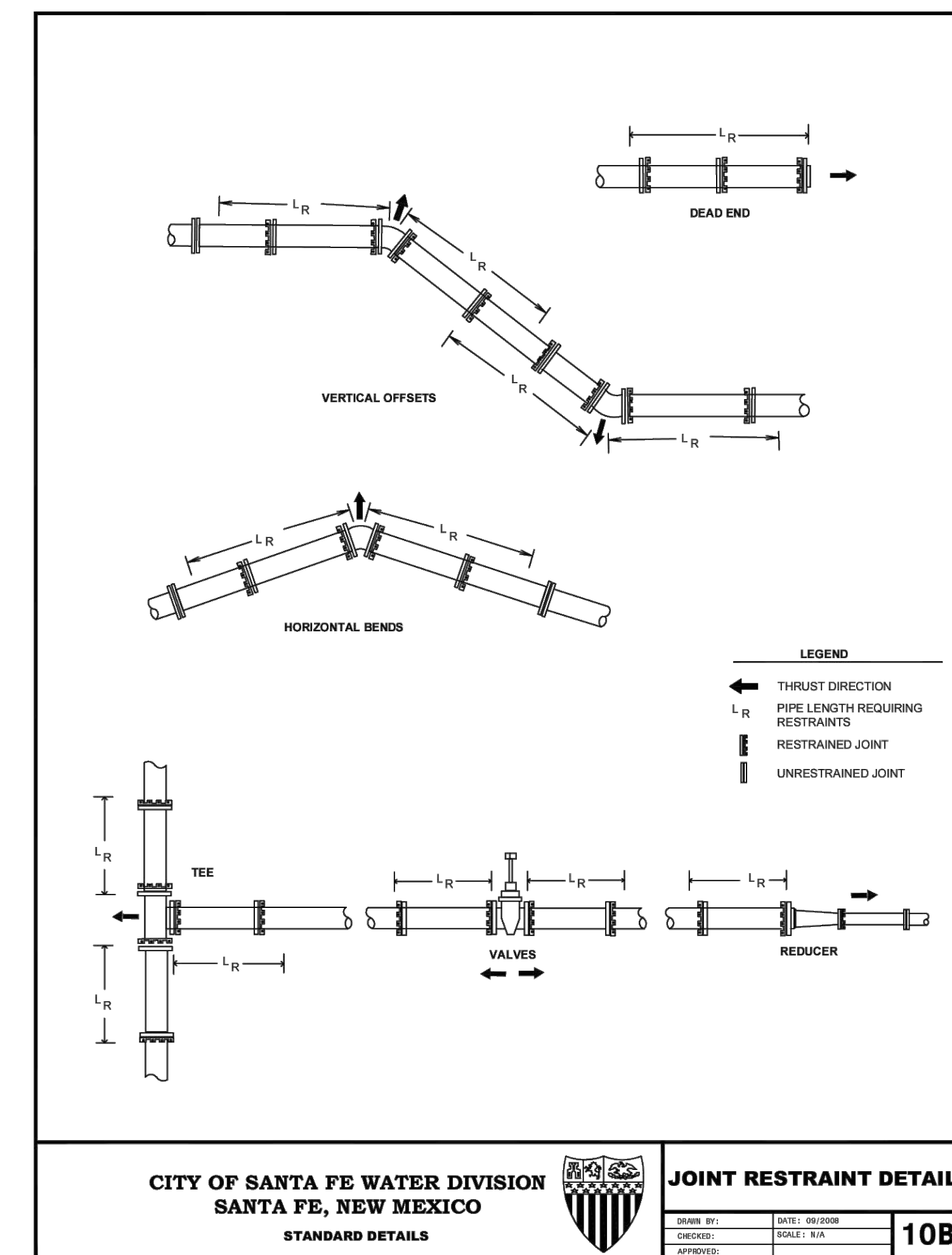
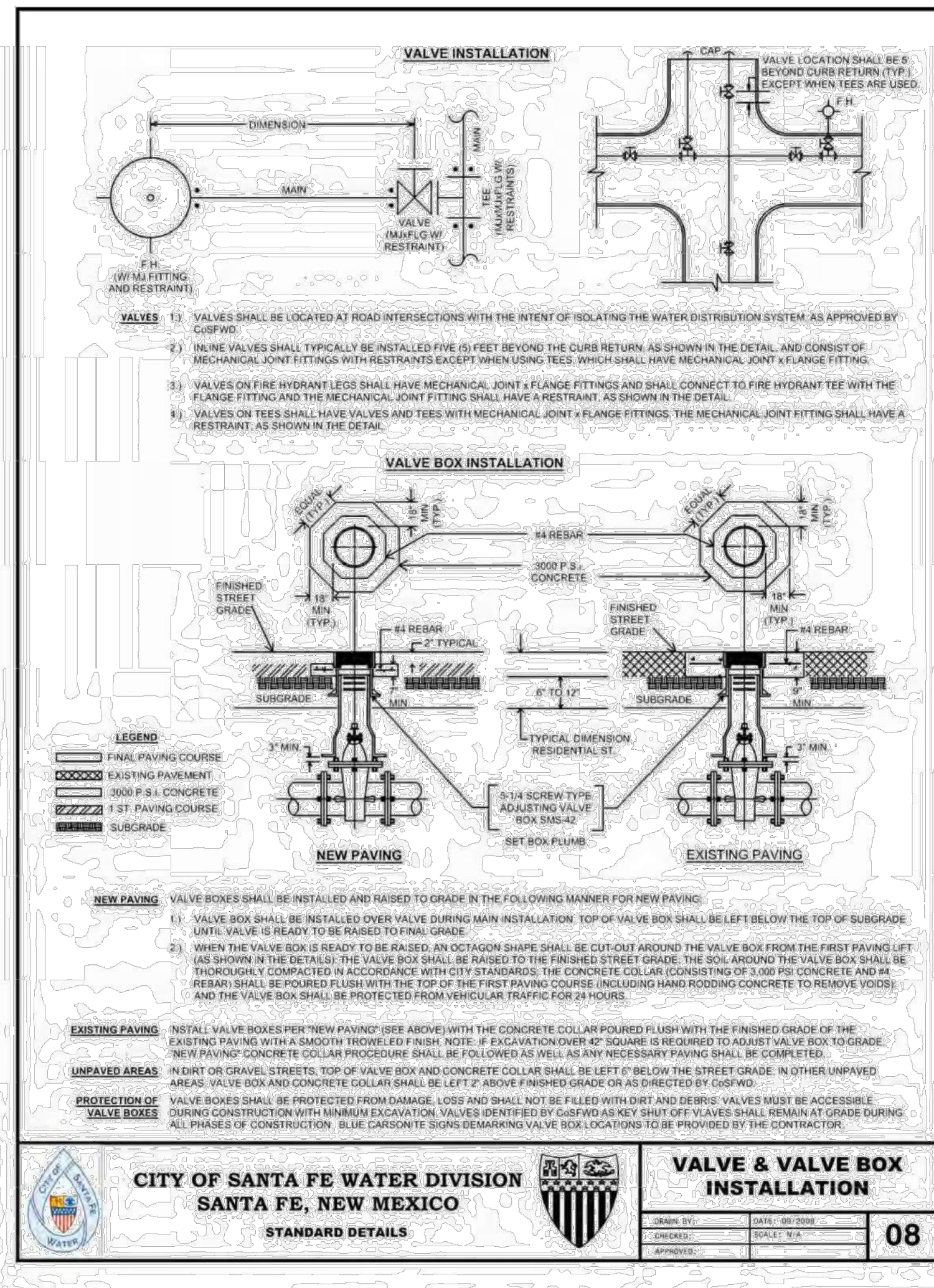
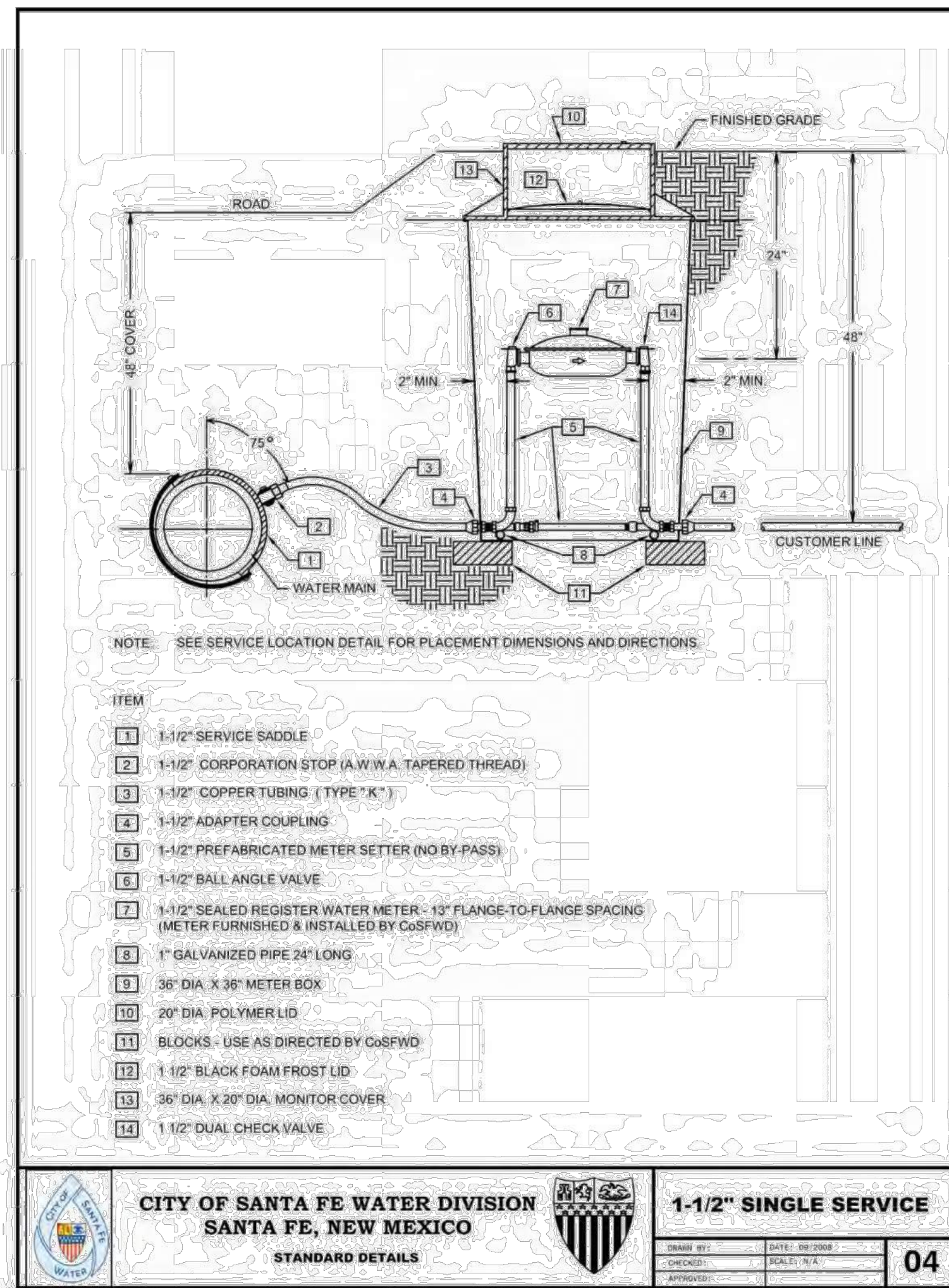


**GUARD RAIL DETAIL OR SIMILAR**  
NTS

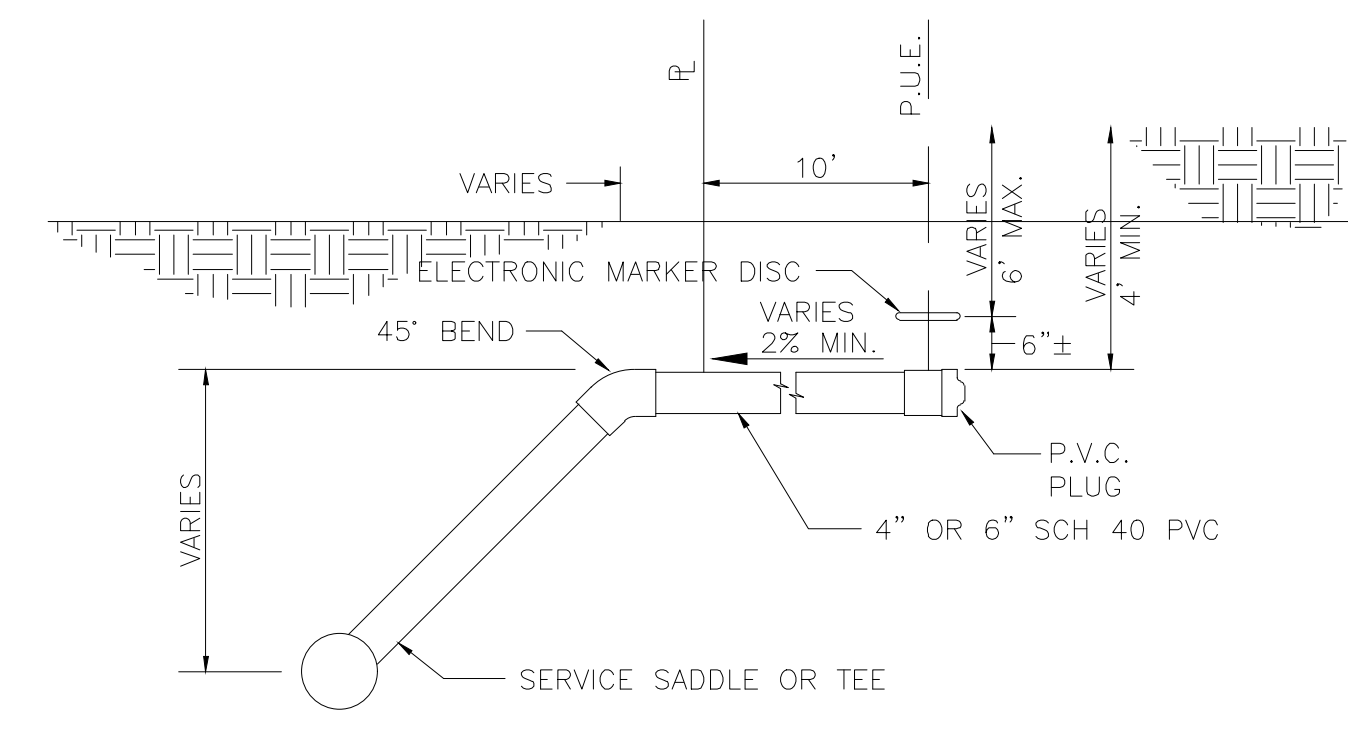
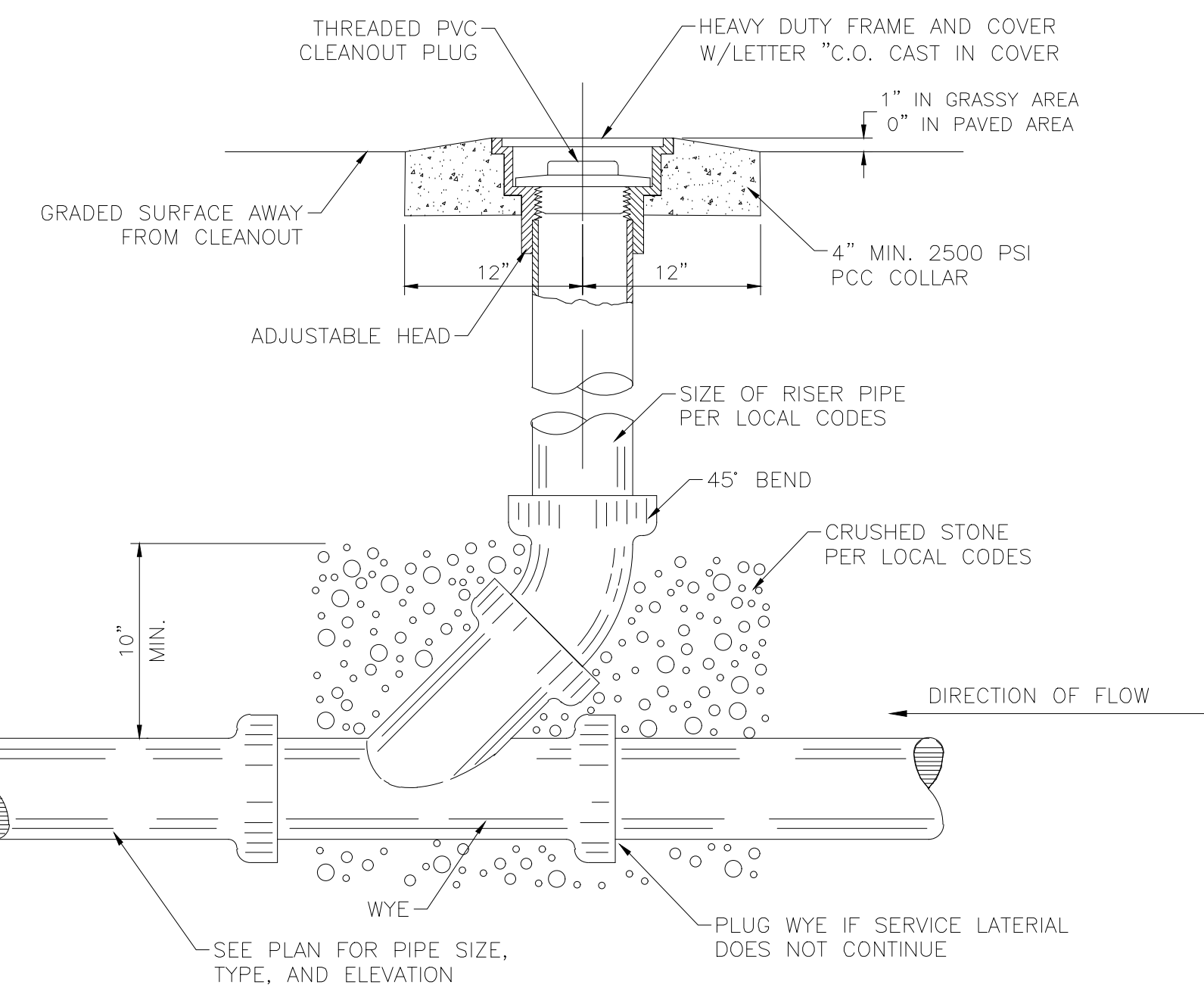
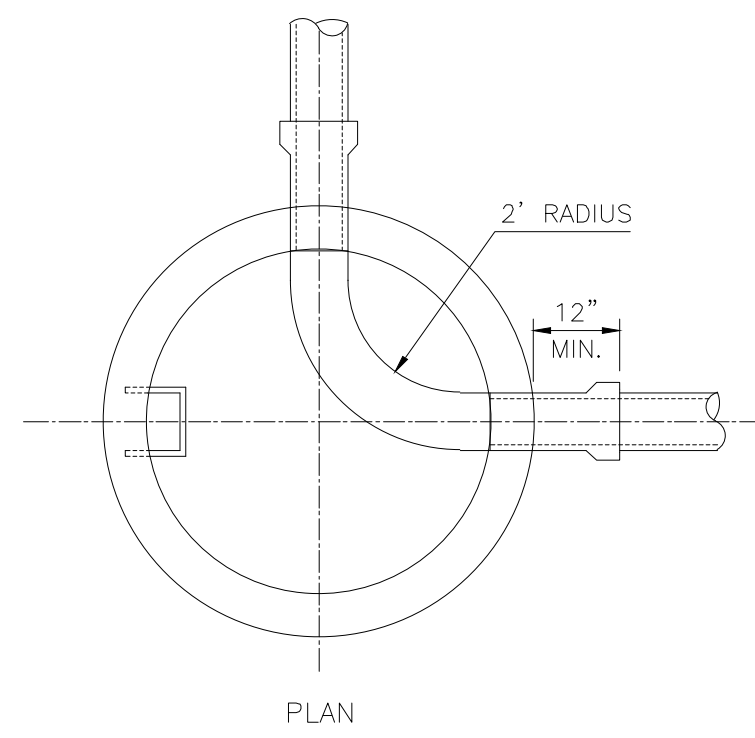
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	<b>SITE CIVIL</b> DETAILS	DATE 09/29/2025
		DRAWING
		SHEET # <b>DET-3</b>
JOB # 2025065		



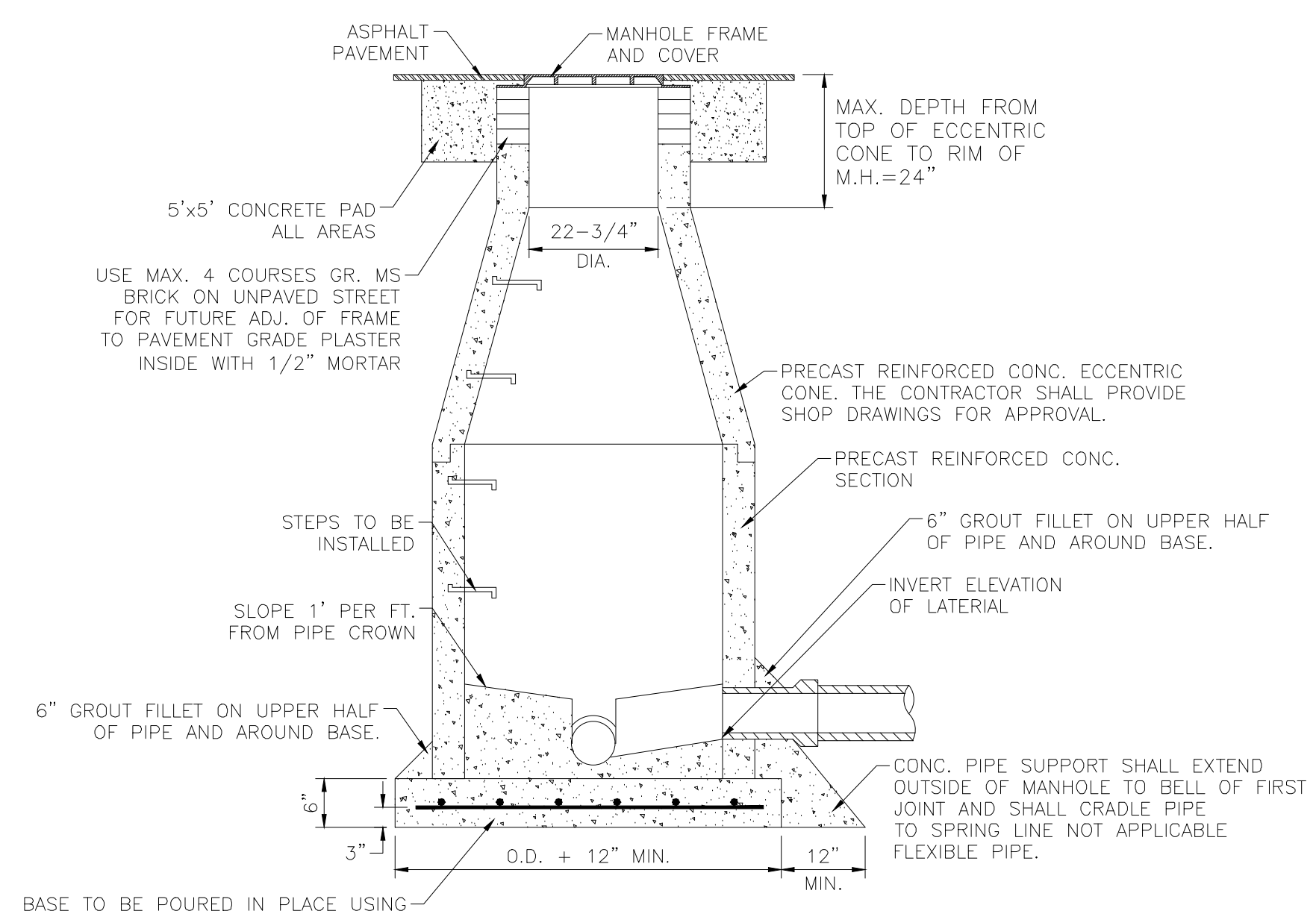
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	<b>SITE CIVIL</b> <b>DETAILS</b>	DATE 09/29/2025  DRAWING
09/30/2025 RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>DET-4</b>  JOB # 2025065



	<b>SFO APPRENTICE HOUSING</b> SANTA FE, NM	DRAWN BY AS
	<b>WATER UTILITY</b> DETAILS	DATE 09/29/2025
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
09/30/2025 RONALD R. BOHANNAN P.E. #7868		SHEET # <b>DET-5</b>
		JOB # 2025065

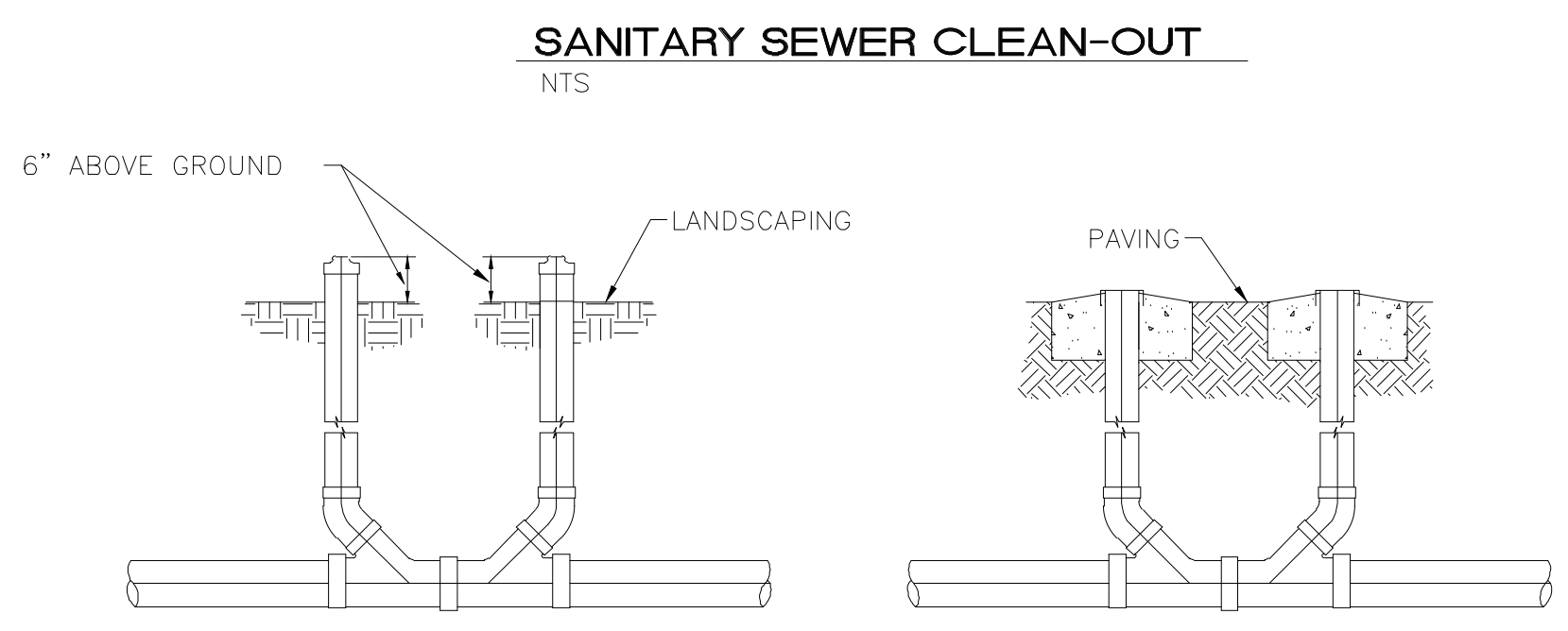


**TYP. SANITARY SYSTEM SERVICE CONNECTION FOR DEEP SANITARY SEWERS**  
NTS

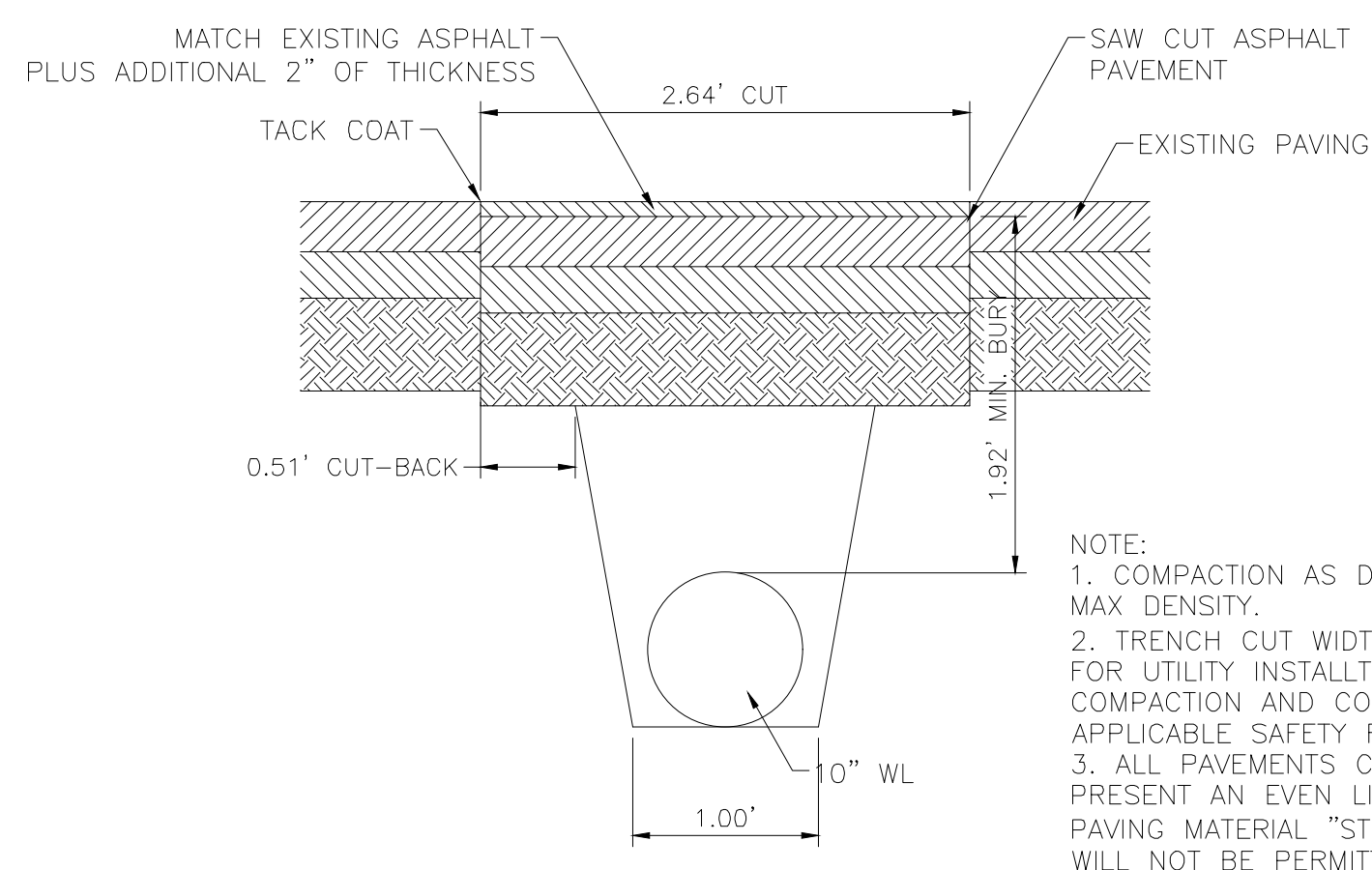


- NOTE:
1. USE NON-SHRINK GROUT FOR JOINTS, FILLETS, AND PIPE PENETRATIONS
  2. COMPACT ALL BACKFILL AROUND MANHOLES TO 95%.
  3. POSITION MANHOLE OPENING OVER THE UPSTREAM SIDE OF MAIN LINE.

**SEWER MANHOLE TYPE "E" DETAIL**  
NTS



**SANITARY SEWER DOUBLE CLEAN-OUTS**  
NTS



- NOTE:
1. COMPACTION AS DETERMINED BY ASTM D1557 MAX DENSITY.
  2. TRENCH CUT WIDTHS SHALL BE MIN. WITH REQ'D FOR UTILITY INSTALLATION, ECONOMICAL BACKFILL COMPACTION AND COMPLIANCE WITH CURRENT AND APPLICABLE SAFETY REGULATIONS.
  3. ALL PAVEMENTS CUT EDGES WILL BE TRIMMED TO PRESENT AN EVEN LINE PRIOR TO REPLACEMENT OF PAVING MATERIAL "STITCH" CUTTING OF PAVEMENT WILL NOT BE PERMITTED.

**PAVEMENT CUT FOR UTILITIES**  
NTS

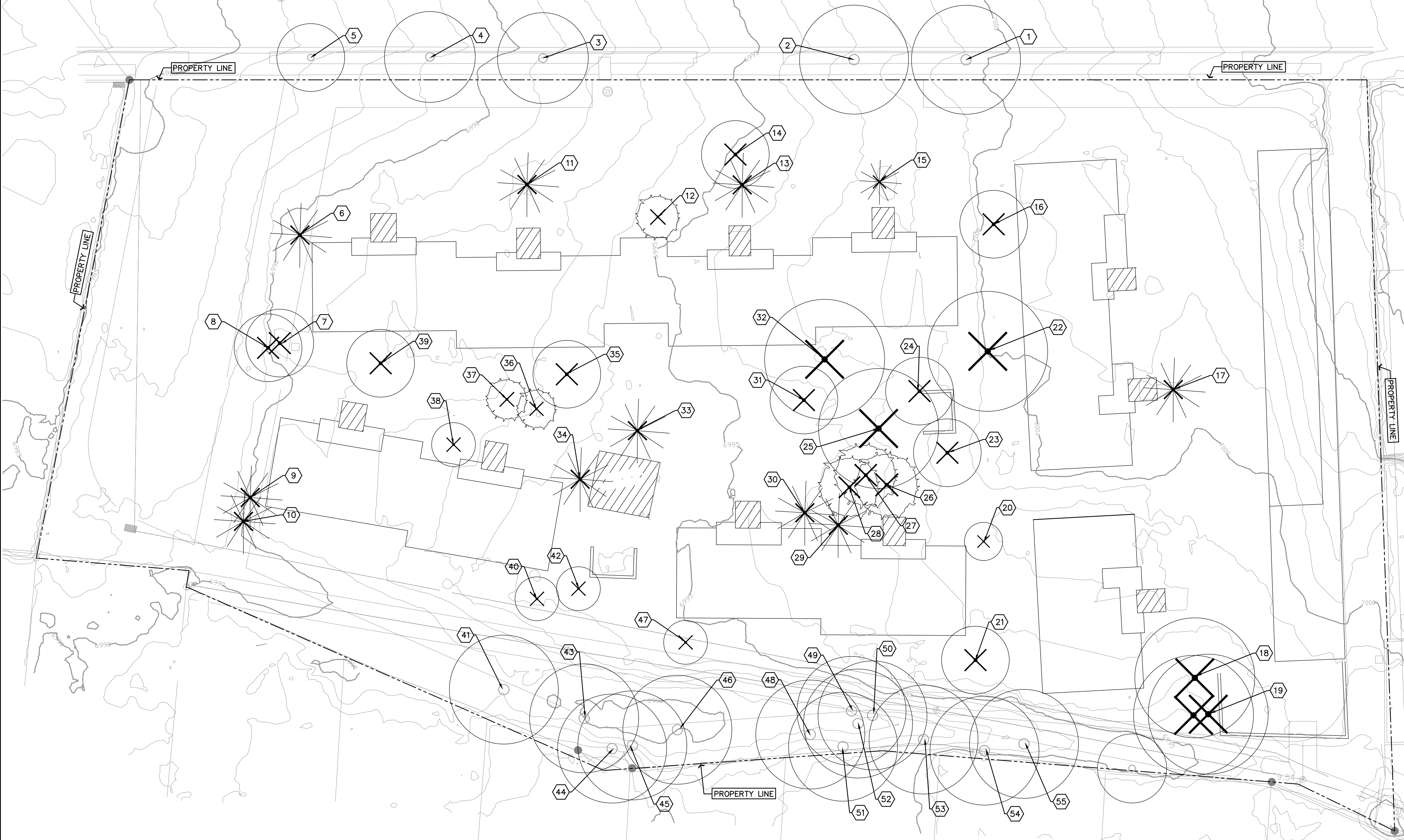
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	<b>SANITARY SEWER DETAILS</b>	DATE 09/29/2025
		DRAWING
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>DET-6</b>
JOB # 2025065		

SIGNIFICANT TREE SURVEY

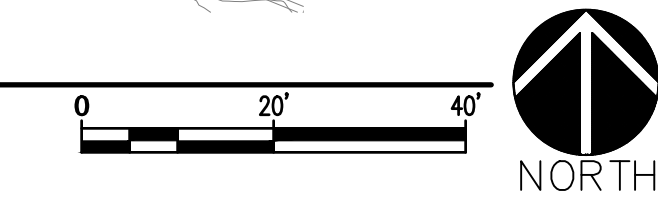
CODE	DESCRIPTION	CODE	DESCRIPTION	CODE	DESCRIPTION
TP-01	35' HT, 12" DBH, GREEN ASH (FRAXINUS PENNSYLVANICA)	TP-19	56' HT, 22.5" & 23.5" DBH, SIBERIAN ELM (ULMUS PUMILA)	TP-37	22' HT, 9" DBH, ROCKY MOUNTAIN JUNIPER VARIETY (JUNIPERUS SCOPULORUM)
TP-02	38' HT, 13" DBH, GREEN ASH (FRAXINUS PENNSYLVANICA)	TP-20	13' HT, 3" DBH, PURPLE PLUM (PRUNUS CERASIFERA)	TP-38	26' HT, 7.5" DBH, QUAKING ASPEN, POPULUS TREMULOIDES
TP-03	35' HT, 13" DBH, GREEN ASH (FRAXINUS PENNSYLVANICA)	TP-21	45' HT, 13.5" DBH, GREEN ASH (FRAXINUS PENNSYLVANICA)	TP-39	33' HT, 7" & 10" & 12" & 12" DBH, CHERRY TREE (PRUNUS AVIUM)
TP-04	53' HT, 12.5" DBH, GREEN ASH (FRAXINUS PENNSYLVANICA)	TP-22	54' HT, 27" DBH, SIBERIAN ELM (ULMUS PUMILA)	TP-40	25' HT, 9" DBH, GREEN ASH (FRAXINUS PENNSYLVANICA)
TP-05	35' HT, 9.5" DBH, GREEN ASH (FRAXINUS PENNSYLVANICA)	TP-23	55' HT, 26" DBH, GREEN ASH (FRAXINUS PENNSYLVANICA)	TP-41	31' HT, 16" DBH, SIBERIAN ELM (ULMUS PUMILA)
TP-06	41' HT, 10.5" DBH, PONDEROSA PINE (PINUS PONDEROSA)	TP-24	25' HT, 5" & 9" DBH, NORWAY MAPLE (ACER PLATANOIDES)	TP-42	30' HT, 7" DBH, WHITE ASH (FRAXINUS AMERICANA)
TP-07	66' HT, 27" DBH, SIBERIAN ELM (ULMUS PUMILA)	TP-25	61' HT, 35.5" DBH, SILVER POPLAR (POPULUS ALBA)	TP-43	38' HT, 12" DBH, SIBERIAN ELM (ULMUS PUMILA)
TP-08	55' HT, 26.5" DBH, SIBERIAN ELM (ULMUS PUMILA)	TP-26	13' HT, 6" DBH, ROCKY MOUNTAIN JUNIPER VARIETY (JUNIPERUS SCOPULORUM)	TP-44	40' HT, 22" & 18" DBH, SIBERIAN ELM (ULMUS PUMILA)
TP-09	42' HT, 16" DBH, PONDEROSA PINE (PINUS PONDEROSA)	TP-27	13' HT, 7" DBH, ROCKY MOUNTAIN JUNIPER VARIETY (JUNIPERUS SCOPULORUM)	TP-45	45' HT, 30" DBH, SIBERIAN ELM (ULMUS PUMILA)
TP-10	42' HT, 16" DBH, PONDEROSA PINE (PINUS PONDEROSA)	TP-28	13' HT, 7" DBH, ROCKY MOUNTAIN JUNIPER VARIETY (JUNIPERUS SCOPULORUM)	TP-46	51' HT, 23" & 23" DBH, SIBERIAN ELM (ULMUS PUMILA)
TP-11	37' HT, 20.1" DBH, PONDEROSA PINE (PINUS PONDEROSA)	TP-29	64' HT, 21" DBH, PONDEROSA PINE (PINUS PONDEROSA)	TP-47	15' HT, 9" DBH, CRAB APPLE (MALUS PUMILA)
TP-12	40' HT, 14.5" DBH, BLUE SPRUCE ( PICEA PUNGENS)	TP-30	61' HT, 13" & 15" DBH, PONDEROSA PINE (PINUS PONDEROSA)	TP-48	46' HT, 37" DBH, SIBERIAN ELM (ULMUS PUMILA)
TP-13	50' HT, 21" DBH, PONDEROSA PINE (PINUS PONDEROSA)	TP-31	28' HT, 5.5" DBH, SILVER POPLAR (POPULUS ALBA)	TP-49	45' HT, 17" DBH, SIBERIAN ELM (ULMUS PUMILA)
TP-14	33' HT, 14.5" DBH, GREEN ASH (FRAXINUS PENNSYLVANICA)	TP-32	52' HT, 21" DBH, SIBERIAN ELM (ULMUS PUMILA)	TP-50	45' HT, 14" DBH, SIBERIAN ELM (ULMUS PUMILA)
TP-15	37' HT, 13.5" DBH, PONDEROSA PINE (PINUS PONDEROSA)	TP-33	54' HT, 20" DBH, BLUE SPRUCE ( PICEA PUNGENS)	TP-51	45' HT, 11" DBH, SIBERIAN ELM (ULMUS PUMILA)
TP-16	23' HT, 14" DBH, APPLE ( MALUS DOMESTICA)	TP-34	64' HT, 26" DBH, PONDEROSA PINE (PINUS PONDEROSA)	TP-52	45' HT, 13" DBH, SIBERIAN ELM (ULMUS PUMILA)
TP-17	43' HT, 18.5" DBH, PONDEROSA PINE (PINUS PONDEROSA)	TP-35	25' HT, 12" & 7" & 8" DBH, CRAB APPLE ( MALUS PUMILA)	TP-53	42' HT, 15" DBH, SIBERIAN ELM (ULMUS PUMILA)
TP-18	56' HT, 31" & 29" DBH, SIBERIAN ELM (ULMUS PUMILA)	TP-36	21' HT, 9" DBH, ROCKY MOUNTAIN JUNIPER VARIETY (JUNIPERUS SCOPULORUM)	TP-54	42' HT, 36" DBH, SIBERIAN ELM (ULMUS PUMILA)

PLANT LEGEND

- (X) DECIDUOUS TREE TO BE REMOVED
- (X) JUNIPER TREE TO BE REMOVED
- (\*) PINE TREE TO BE REMOVED
- (○) DECIDUOUS TREE TO REMAIN
- (○) JUNIPER TREE TO REMAIN
- (\*) PINE TREE TO REMAIN
- PROPERTY LINE



A1 OVERALL TREE PRESERVATION PLAN  
SCALE: 1"=20'-0"



NOT FOR  
CONSTRUCTION

Santa Fe Opera  
Apprentice Housing  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505

NO	DATE	DESCRIPTION
DATE:	10/14/2025	
PROJECT #:	25014	
DRAWN BY:	LI, MV, MS	
CHECKED BY:	GM	
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TREE  
PRESERVATION  
PLAN

LD100



**NOT FOR CONSTRUCTION**

**Santa Fe Opera  
Apprentice Housing  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505**

**COMPLIANCE WITH EXISTING VEGETATION ORDINANCES**

SIGNIFICANT TREES TO BE REMOVED:	QTY:	SIZE:
JUNIPER	9	8' HT. OR GREATER
PINE (ZERO PINON PINE)	14	8' HT. OR GREATER
DECIDUOUS	22	6" CAL. OR GREATER
<b>TOTAL</b>	<b>45</b>	
SIGNIFICANT TREES TO BE RETAINED:	QTY:	SIZE:
JUNIPER	0	8' HT. OR GREATER
PINE (ZERO PINON PINE)	0	8' HT. OR GREATER
DECIDUOUS	21	6" CAL. OR GREATER
<b>TOTAL</b>	<b>21</b>	

REQUIRED REPLACEMENT TREES:	
TOTAL REQUIRED REPLACEMENT TREES	45
TOTAL TREES PROVIDED	85

(REFER TO PLANTING PLANS FOR SPECIES AND LOCATIONS)

**GENERAL NOTES**

- A. SIGNIFICANT TREE SPECIES AND LOCATIONS AS REPRESENTED ON PLAN WERE OBTAINED FROM A COMBINATION OF FIELD WORK, AERIAL PHOTOGRAPHY, AND NUMERIC SURVEY TECHNIQUES.
- B. SIGNIFICANT TREES TO BE REMOVED FOR CONSTRUCTION OF SANTA FE APPRENTICE HOUSING SHALL BE:
  1. FLAGGED IN THE FIELD
  2. REVIEWED BY CITY OF SANTA FE LAND USE COMPLIANCE OFFICER
  3. REPLACED AT A RATIO OF 1:1 EITHER ON SITE OR PER AGREEMENT AND WITH CITY STAFF.
- C. SIGNIFICANT TREES SHALL BE ANY DECIDUOUS TREE 6" DBH OR GREATER AND ANY EVERGREEN TREE 8' HT. OR TALLER.
- D. REPLACEMENT TREES SHALL BE 2" CALIPER OR GREATER IF DECIDUOUS AND 6' HT. OR TALLER IF EVERGREEN.
- E. TRANSITION LINE BETWEEN EXCAVATION AND NATIVE SOIL SHALL BE SMOOTHLY RAKED, CREATING A CLEAN CONSISTENT GRADE.
- F. EXISTING GRADE BELOW NATIVE TREES AND SHRUBS SHALL REMAIN UNDISTURBED THROUGHOUT THE DRIPLINE OF THE PLANT MATERIAL. NO MOUNDING OF SOIL, FILL DIRT, ORGANIC OR INORGANIC DEBRIS SHALL BE ABANDONED UNDER NATIVE PLANT MATERIAL CANOPIES.
- G. ALL DISTURBED AREAS DUE TO CONSTRUCTION AND NOT PART OF THE LANDSCAPE PLAN SHALL BE RESTORED TO THE NATURAL STATE THAT EXISTED PRIOR TO CONSTRUCTION. GRADE OUT ANY DAMAGE TO THE NATURAL TERRAIN PRIOR TO THE RE-APPLICATION OF NATIVE STONE MATERIAL.
- H. AREAS OF NATURAL GRAVEL, COBBLE, FRACTURED STONE, AND/OR BOULDER FIELDS SHALL BE RESTORED TO THE NATURAL STATE THAT EXISTED PRIOR TO CONSTRUCTION. GRADE OUT ANY DAMAGE TO THE NATURAL TERRAIN PRIOR TO THE RE-APPLICATION OF NATIVE STONE MATERIAL.
- I. SIGNIFICANT TREES THAT ARE TO BE PRESERVED OR RELOCATED SHALL BE HEALTHY AND FREE FROM SERIOUS INSECT OR PARASITE INFESTATION. PROVIDE FLAGGING OF PRESERVED TREES FOR A CITY STAFF INSPECTION.
- J. DURING CONSTRUCTION, EXISTING PLANT MATERIAL TO BE PRESERVED SHALL BE ENCLOSED BY A TEMPORARY FENCE AT LEAST FIVE (5) FEET OUTSIDE THE DRIPLINE. IN NO CASE SHALL VEHICLES BE PARKED, OR MATERIALS OR EQUIPMENT BY STORED OR STOCKPILED WITHIN THE ENCLOSED AREA.
- K. ALL AREAS WITH EXPOSED SOIL SURFACES DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED TO MINIMIZE EROSION AND STORMWATER RUNOFF AND TO IMPROVE THE INFILTRATION OF PRECIPITATION.
- L. DESTROYED VEGETATION SHALL BE REMOVED PROMPTLY TO PREVENT INSECT INFESTATION OF HEALTHY VEGETATION.

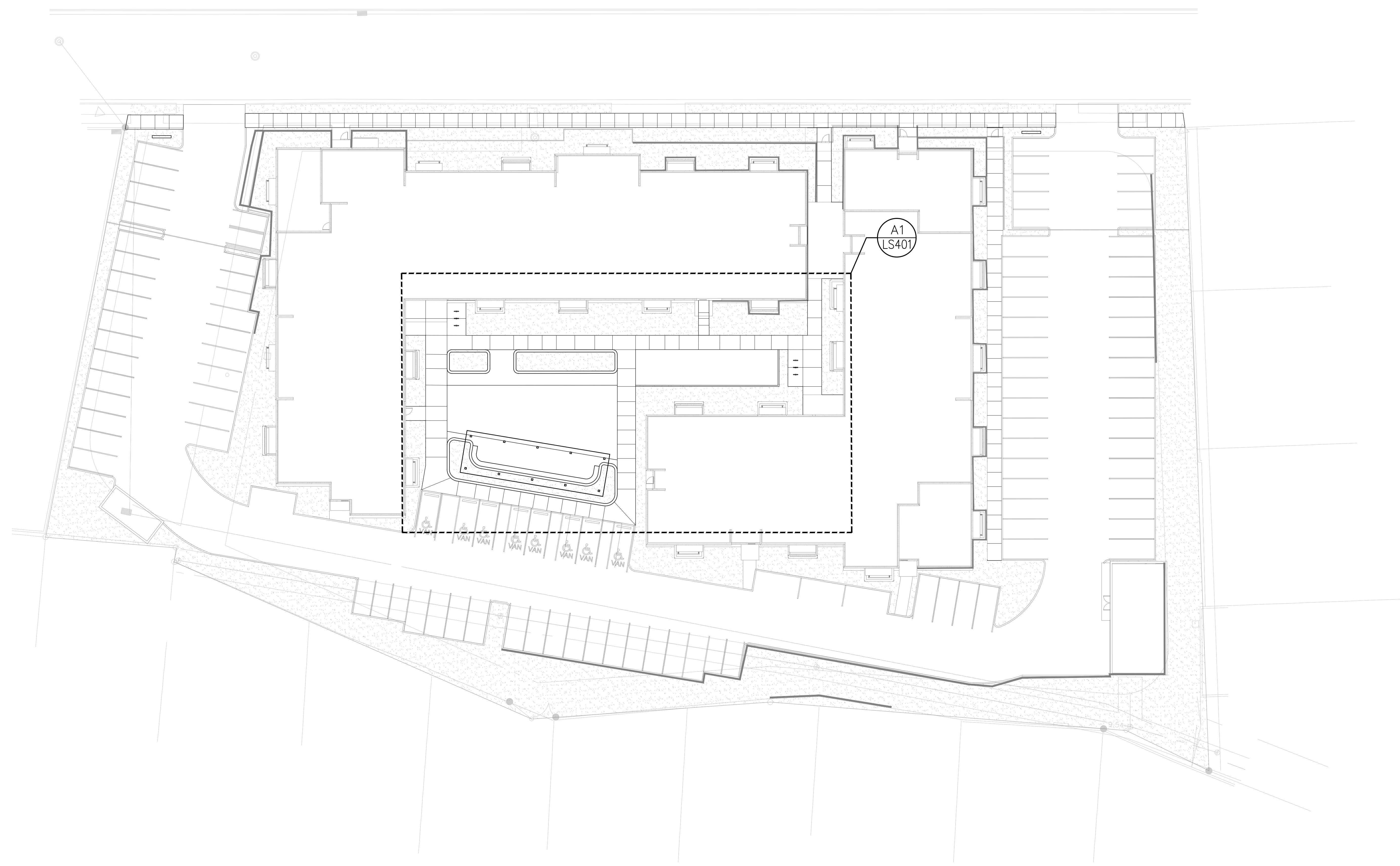
**TREE PROTECTION NOTES**

1. CONTRACTOR SHALL ESTABLISH A ROOT PROTECTION ZONE AROUND EACH EXISTING TREE TO REMAIN. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY A RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE LINEAR FEET FOR EACH INCH DIAMETER OF THE TREE. THE TREE DIAMETER SHALL BE MEASURED AT BREST HEIGHT (4.5' ABOVE FINISH GRADE). EXAMPLE: A 10 INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
2. CONTRACTOR SHALL INSTALL FENCING AT THE PERIMETER OF ROOT PROTECTION ZONES. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING SHALL BE A MINIMUM OF 4' HEIGHT.
3. CONTRACTOR SHALL NOT STORE OR DRIVE EQUIPMENT, VEHICLES OR MATERIALS WITHIN THE ROOT PROTECTION ZONE.
4. CONTRACTOR SHALL PROTECT EXISTING ROOTS FROM DAMAGE WHEN WORKING WITHIN THE ROOT PROTECTION ZONE. THE CONTRACTOR SHALL LIMIT DEMOLITION OR OTHER CONSTRUCTION ACTIVITIES WITHIN THE ROOT PROTECTION ZONE TO THE MINIMUM DISTURBANCE REQUIRED TO COMPLETE CONSTRUCTION.
5. CONTRACTOR SHALL NOT ALLOW CONCRETE TRUCKS TO CLEAN CHUTES OR DUMP EXCESS CONCRETE OR ANY OTHER CEMENTITIOUS PRODUCTS IN ANY PORTION OF THE SITE. CONTRACTOR SHALL CLEAN THE WASTE OF OTHER CEMENTITIOUS MATERIALS FROM THE SURFACE AND THEY SHALL NOT BE TURNED UNDER DURING FINAL GRADING.
6. CONTRACTOR SHALL NOT TRENCH WITHIN THE DRIPLINE OF EXISTING TREES. AT LOCATIONS WHERE IS IT NECESSARY TO INSTALL LINES OR WIRE WITHIN THE DRIPLINE OF EXISTING TREES, THE UTILITY SHALL BE INSTALLED BY BORING UNDER TREE ROOTS.

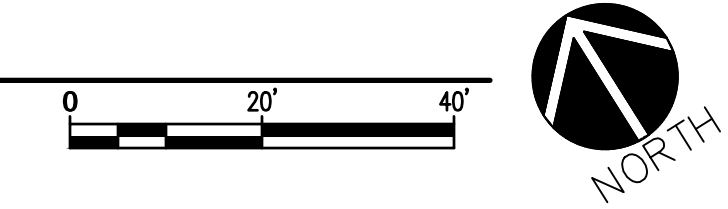
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PROJECT #:	25014	
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SHEET TITLE		

**TREE PRESERVATION PLAN**

**LD200**



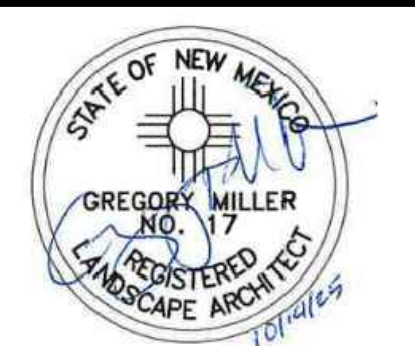
**A1** OVERALL LANDSCAPE SITE PLAN  
SCALE: 1"=20'-0"



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DATE:	10/14/2025	
PROJECT #:	25014	
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SHEET TITLE		

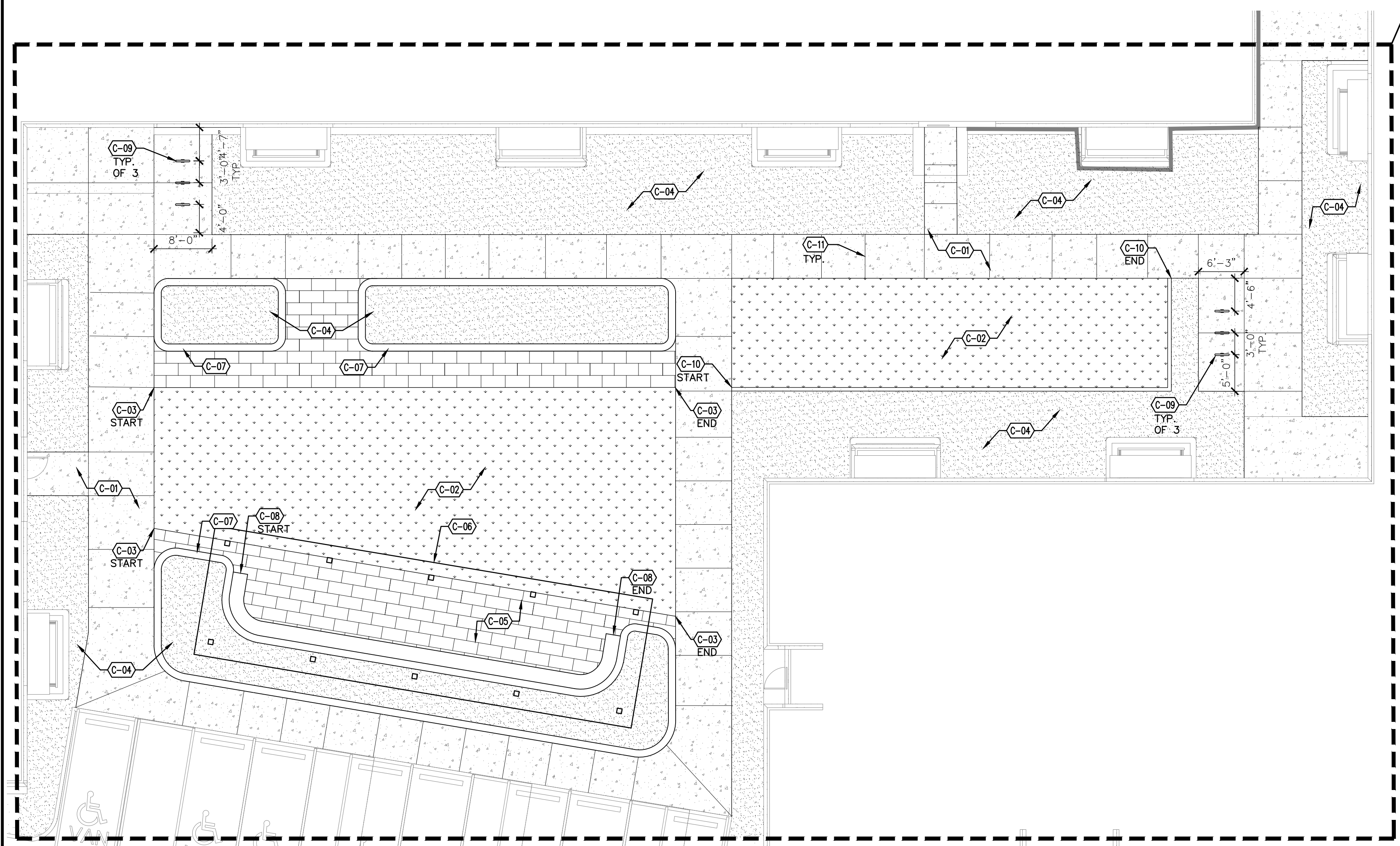
**LANDSCAPE  
SITE  
PLAN**

LS100



NOT FOR CONSTRUCTION

**Santa Fe Opera**  
**Apprentice Housing**  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505



CONSTRUCTION KEYED NOTES

SYMBOL	CODE	DESCRIPTION	DETAIL
	C-01	CONSTRUCT CONCRETE PAVING.	A1/LS501
	C-02	SOD, SEE PLANTING PLAN.	
	C-03	CONSTRUCT PAVER RESTRAINT.	C3/LS501
	C-04	LANDSCAPE AREA, SEE PLANTING PLAN.	
	C-05	CONSTRUCT PAVERS OVER BASE COURSE.	A3/LS501
	C-06	CONSTRUCT 15' X 60' STEEL SHADE TRELIS STRUCTURE. INSTALL PER MANUFACTURER'S INSTRUCTIONS.	A1/LS502
	C-07	CONSTRUCT CMU WITH STUCCO FINISH RAISED PLANTER.	A4/LS501
	C-08	CONSTRUCT STUCCO BANCO.	B2/LS501
	C-09	FURNISH AND INSTALL BIKE RACK - MODEL: U-RACK, COLOR: BRONZE, SOURCE: MADRAX (1-800-448-7931), SURFACE MOUNT TO CONCRETE SLAB PER MANUFACTURER'S SPECIFICATIONS.	B1/LS501
	C-10	CONSTRUCT CONCRETE MOWCURB.	A2/LS501
	C-11	CONSTRUCT CONCRETE JOINT.	A1/LS501

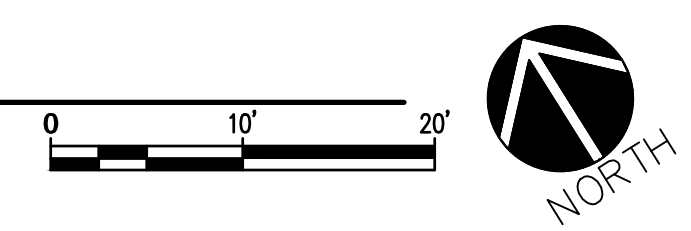
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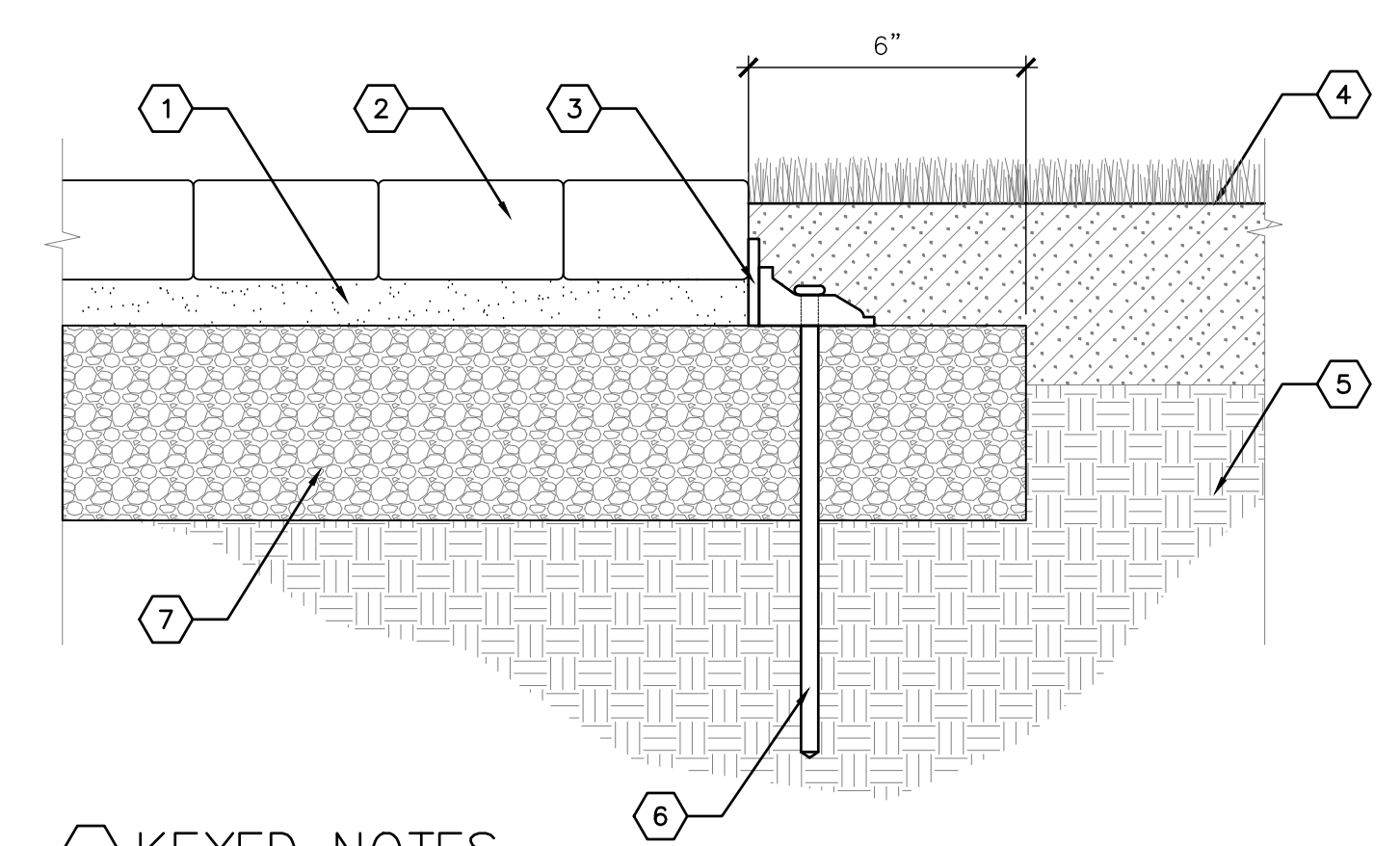
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LANDSCAPE COURTYARD ENLARGEMENT

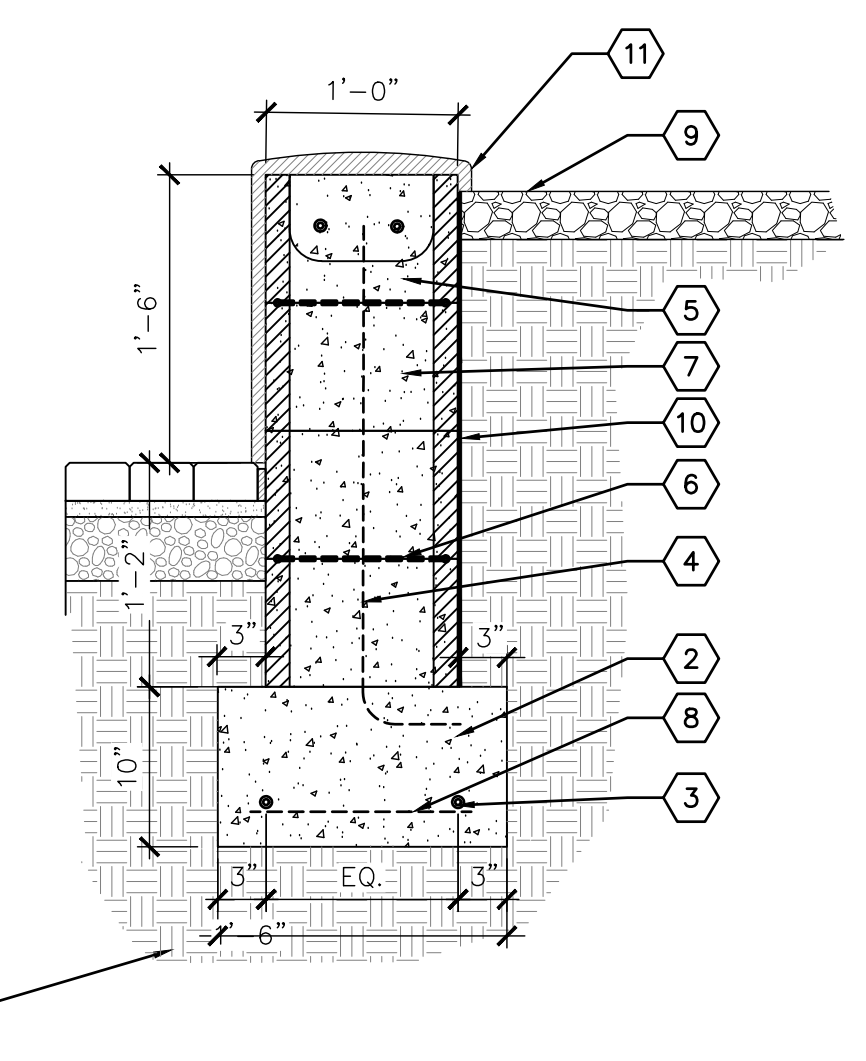
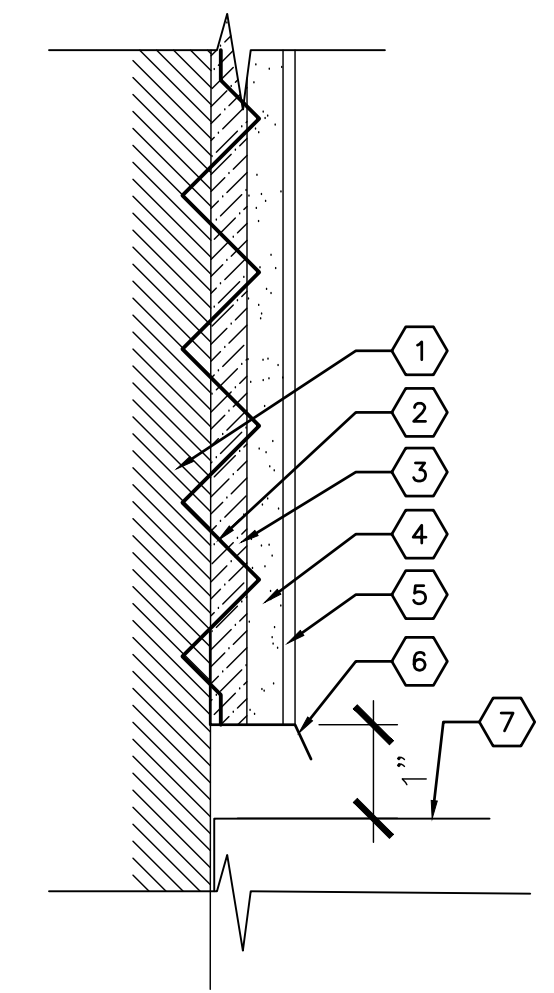
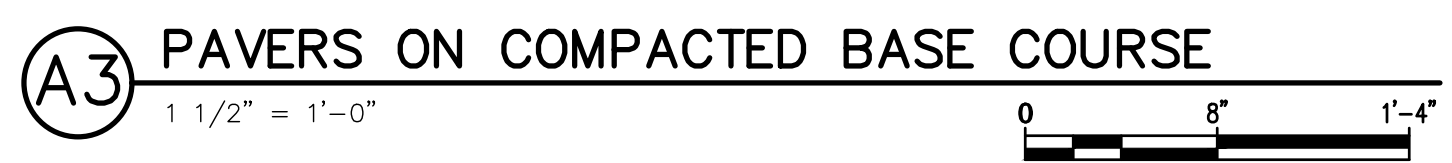
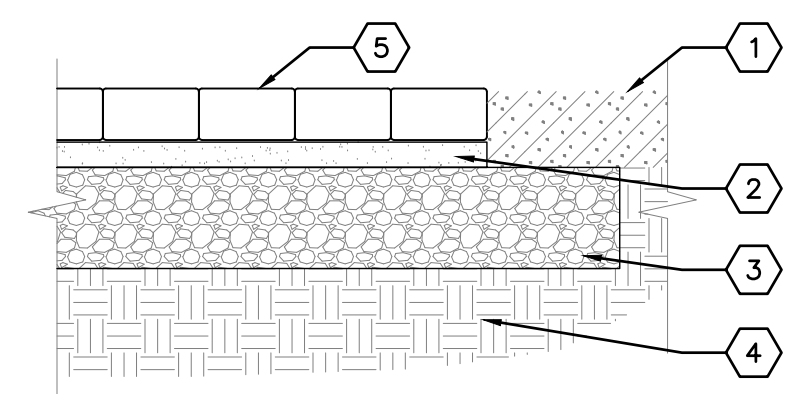
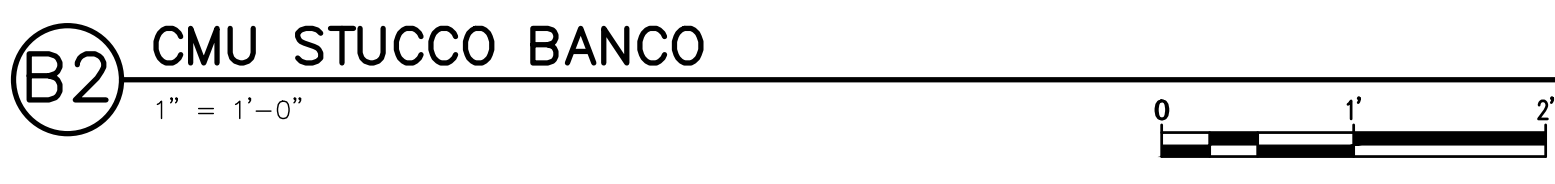
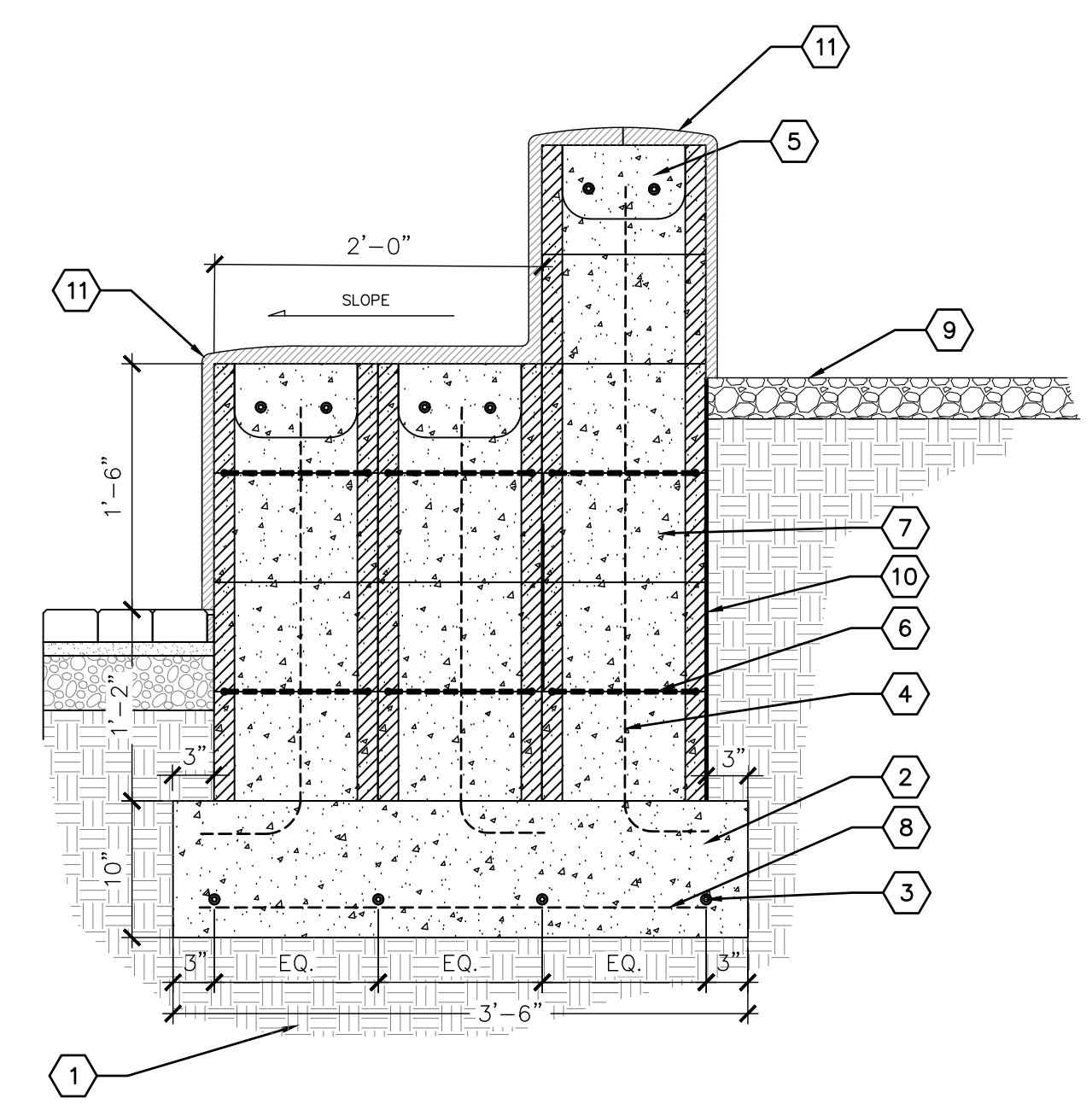
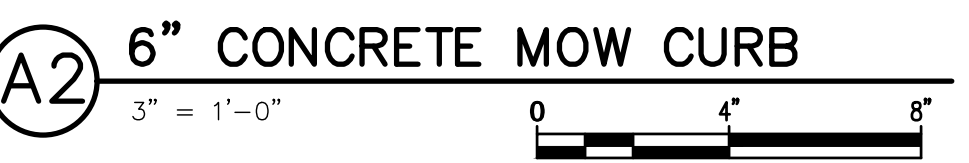
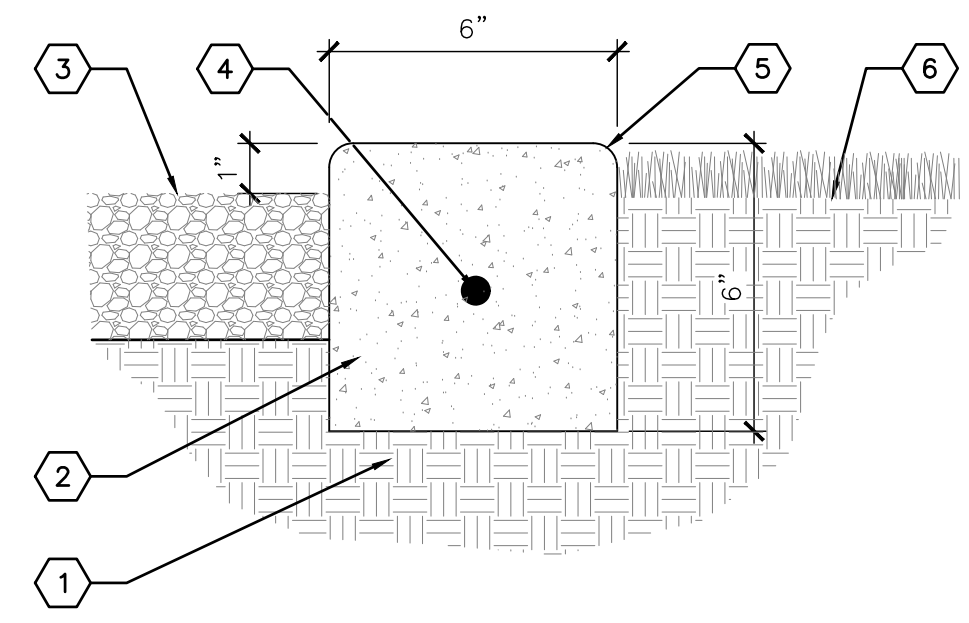
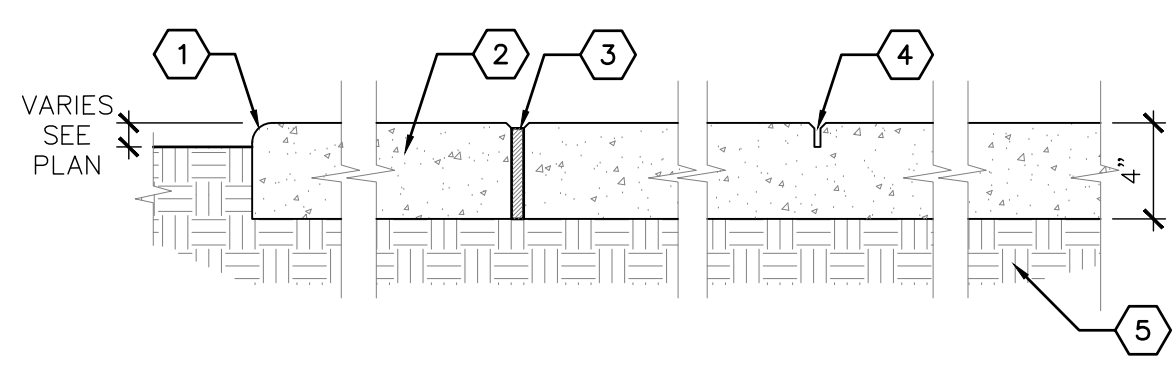
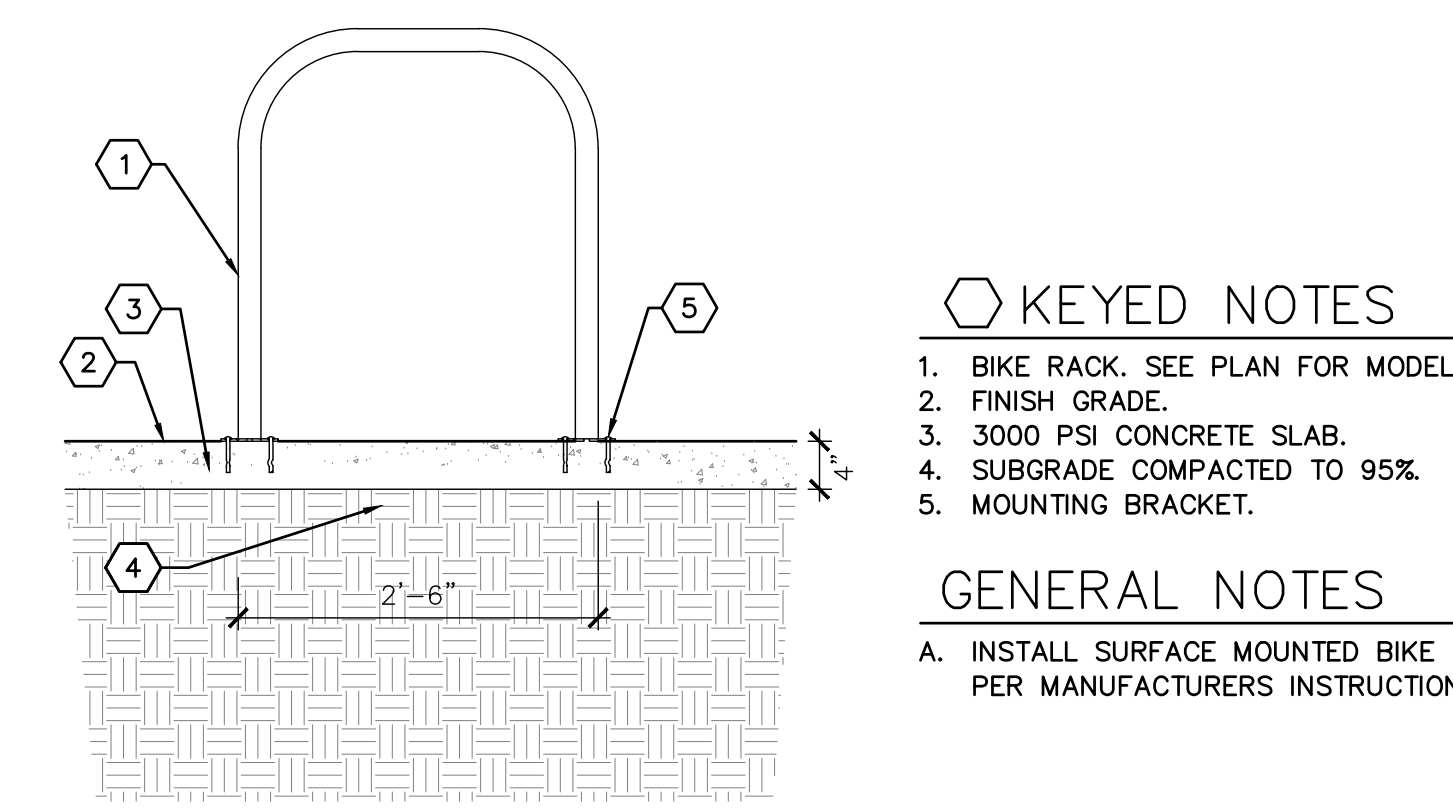
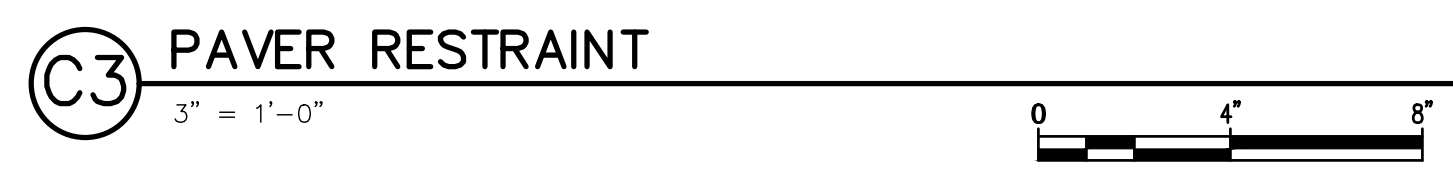
LS401

**A1** COURTYARD ENLARGEMENT  
SCALE: 1"=10'-0"





- KEYED NOTES**
1. SAND LEVELING COURSE
  2. PAVERS - SEE PLAN
  3. HDPE PAVES RESTRAINT, SNAP EDGE, OR APPROVED EQUAL
  4. SOD
  5. SUBGRADE COMPACTED TO 95%
  6. 3/8" X 10" METAL SPIKE AS PROVIDED BY RESTRAINT MANUFACTURER
  7. COMPACTED BASE COURSE
- GENERAL NOTES**
- A. METAL SPIKE SPACING SHALL BE PER MANUFACTURER'S SPECIFICATIONS.



NO	DATE	DESCRIPTION
DATE:	10/14/2025	
PROJECT #:	25014	
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LANDSCAPE DETAILS

LS501



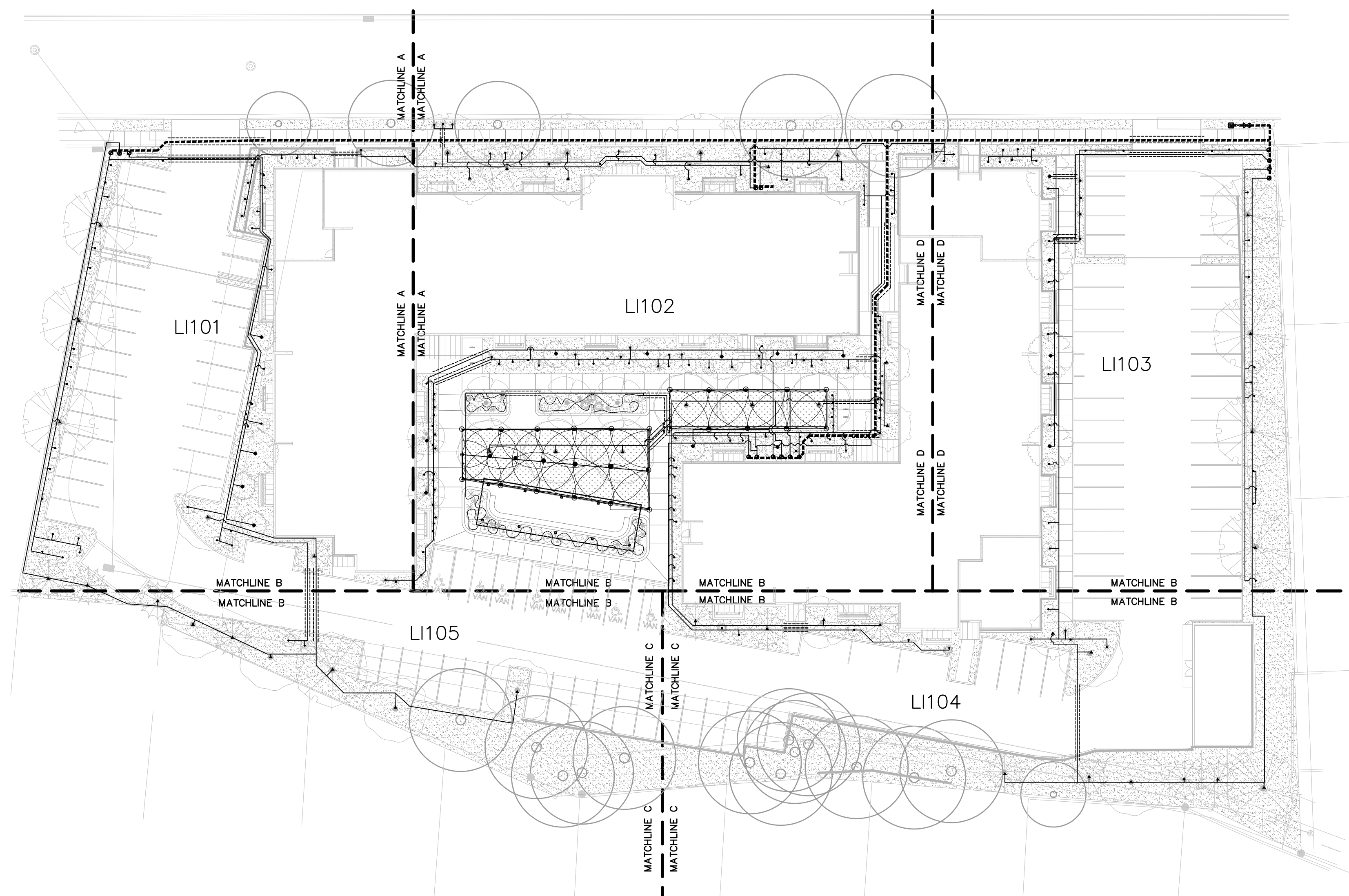


NOT FOR  
CONSTRUCTION

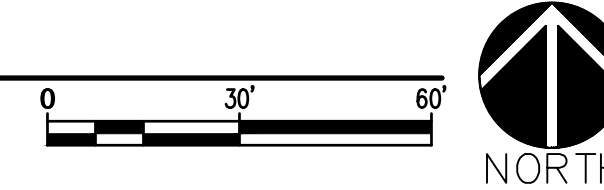
**Santa Fe Opera  
Apprentice Housing**  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505

**GENERAL IRRIGATION NOTES**

CODE	DESCRIPTION
GI-01	AIR RELEASE VALVE LOCATIONS ARE SHOWN SCHEMATICALLY ON THE PLAN AT HIGH ELEVATION POINTS. THE CONTRACTOR SHALL SURVEY THE FINAL LOCATIONS OF ALL AIR RELEASE VALVES BEFORE INSTALLATION TO ENSURE THAT THEY ARE LOCATED AT ACTUAL HIGH POINTS.
GI-02	CONTRACTOR SHALL COORDINATE SLEEVE INSTALLATION WITH ALL PARTIES INVOLVED TO ENSURE THAT PIPE AND SLEEVES ARE INSTALLED AT PROPER DEPTHS AND BEFORE INSTALLATION OF CURB AND GUTTER, ASPHALT PAVEMENT, SIDEWALKS, CONCRETE PADS, ETC.
GI-03	CONTRACTOR SHALL FURNISH LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO CONSTRUCT THE PROPOSED IRRIGATION SYSTEM PER THE DRAWINGS AND SPECIFICATIONS.
GI-04	CONTRACTOR SHALL PROVIDE ONE (1) 120-VOLT, 20 AMP CIRCUIT FROM THE ELECTRICAL PANEL TO THE IRRIGATION CONTROLLER AND THE BACKFLOW PREVENTER ENCLOSURE (ONE TO EACH). ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (NEC). REFERENCE ELECTRICAL PLANS.
GI-05	FOR PVC IRRIGATION PIPING AND EQUIPMENT REFERENCE SPECIFICATION SECTION 328400 - LANDSCAPE IRRIGATION SYSTEM.
GI-06	LOCATION AND SIZE OF IRRIGATION EQUIPMENT ON PLAN ARE SHOWN DIAGRAMMATICALLY FOR GRAPHIC CLARITY. LOCATION OF CONTROLLERS, PUMPS, BACKFLOW PREVENTERS, VALVES, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD.
GI-07	LOCATION OF THE IRRIGATION MAIN AND LATERAL LINES ON PLAN IS SHOWN DIAGRAMMATICALLY FOR GRAPHIC CLARITY. UNLESS OTHERWISE NOTED ON THE PLAN, ANY IRRIGATION LINES SHOWN IN HARDSCAPE AREAS ARE FOR GRAPHIC CLARITY ONLY. IRRIGATION LINES SHALL BE LOCATED IN IMMEDIATELY ADJACENT LANDSCAPE AREAS.
GI-08	IRRIGATION SYSTEM WAS DESIGNED AT A MINIMUM STATIC PRESSURE OF 60 PSI AT THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO LANDSCAPE ARCHITECT BEFORE CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 60 PSI, CONTRACTOR SHALL RECEIVE DIRECTION FROM LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY.
GI-09	VALVE BOXES IN TURF OR SEED AREAS SHALL BE GREEN WITH GREEN BOLT-DOWN LIDS. VALVE BOXES IN MULCH AREAS SHALL BE TAN WITH TAN BOLT-DOWN LIDS.



**A1 OVERALL IRRIGATION PLAN**  
SCALE: 1"=30'-0"



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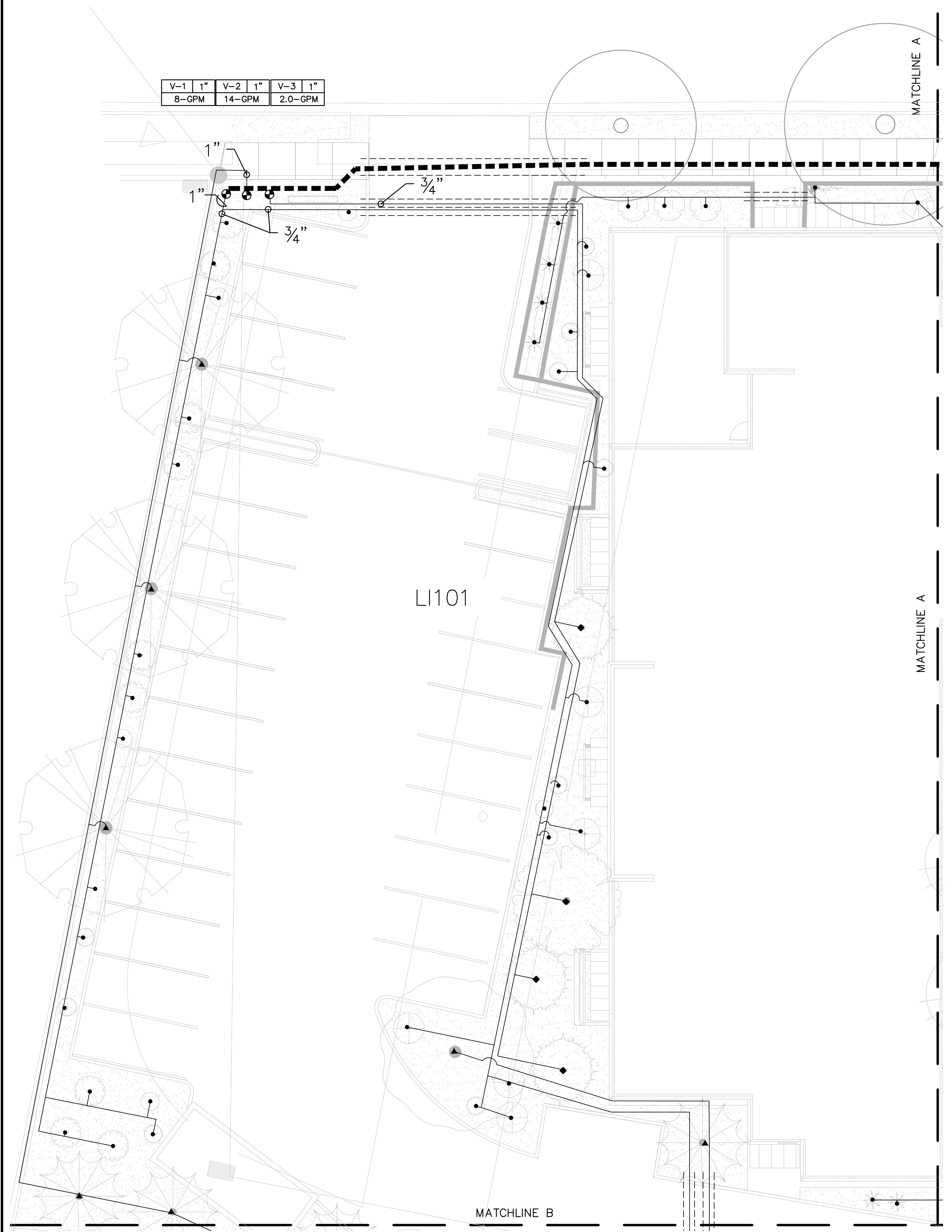
**OVERALL  
IRRIGATION  
PLAN**

LI100

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SHEET TITLE		

**IRRIGATION PLAN**

L1101



**GENERAL IRRIGATION NOTES**

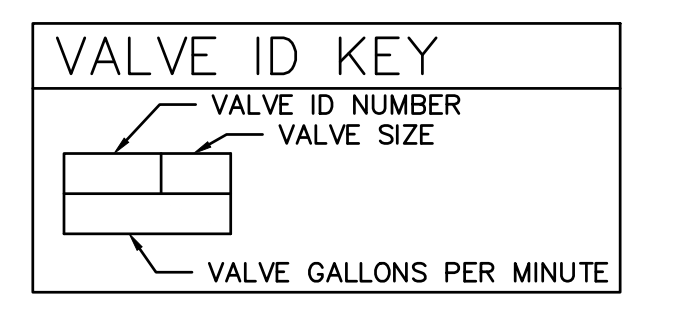
- | CODE  | DESCRIPTION  |
|-------|--|
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| GI-05 | FOR PVC IRRIGATION PIPING AND EQUIPMENT REFERENCE SPECIFICATION SECTION 328400 - LANDSCAPE IRRIGATION SYSTEM.  |
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| GI-09 | VALVE BOXES IN TURF OR SEED AREAS SHALL BE GREEN WITH GREEN BOLT-DOWN LIDS. VALVE BOXES IN MULCH AREAS SHALL BE TAN WITH TAN BOLT-DOWN LIDS.   |

**IRRIGATION LEGEND**

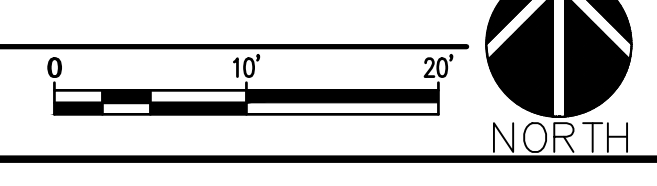
- IRRIGATION MAIN LINE, SCHEDULE 40, BELL END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN. DEPTH OF BURY 28" FOR CONTINUOUS PRESSURE MAIN, 18" FOR NON-CONTINUOUS PRESSURE MAIN.
- LATERAL PIPING, SCH. 40, BELL END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN. DEPTH OF BURY, 18". LATERAL PIPE CONVEYING LESS THAN 5 GPM SHALL BE 3/4".
- NETAFIM INLINE DRIP PIPING
- MAIN LINE AND LATERAL SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC.
- 24-VOLT IRRIGATION WIRE SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC.
- REMOTE CONTROL VALVE ASSEMBLY, RAIN BIRD PEB SERIES, OR EQUAL, PLASTIC BODY 24-VOLT AUTOMATIC VALVE, SIZE AS SHOWN ON PLAN. INSTALL PER DETAIL A2/LI501.
- MANUAL ISOLATION VALVE ASSEMBLY, SPEARS SCH. 80 PVC BALL VALVE WITH UNIONS, SAME SIZE AS LINE. INSTALL PER DETAIL B4/LI501.
- MAIN LINE GATE VALVE ASSEMBLY, XXXX. INSTALL PER DETAIL XX/LI501.
- BACKFLOW PREVENTER AND MASTER VALVE ASSEMBLY, FEBCO 825Y, OR EQUAL, X" REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED AND INSULATED BACKFLOW ENCLOSURE, HOT BOX MODEL XXXX, OR EQUAL, WITH RAIN BIRD PEB SERIES, OR EQUAL X" PLASTIC BODY 24-VOLT AUTOMATIC MASTER VALVE, RAIN BIRD PEB SERIES, OR EQUAL, IN VALVE BOX. INSTALL PER DETAIL B5/LI501.
- PRESSURE COMPENSATING BUBBLER ASSEMBLIES, RAIN BIRD 1400 SERIES WITH CHECK VALVE. INSTALL AS FOLLOWS:
 

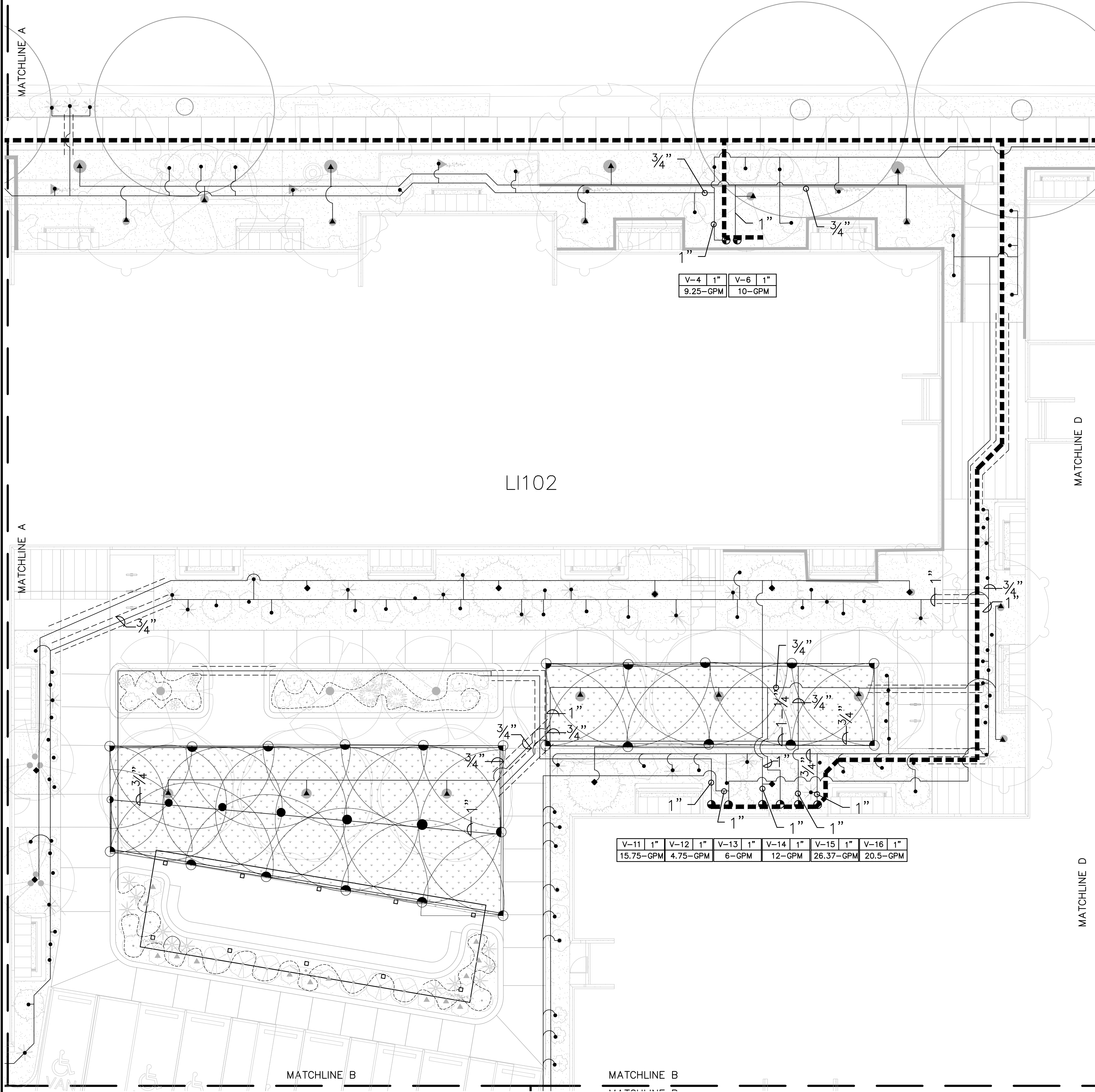
MODEL NO.	GPM	PSI
1401 .25		30
1401 .50 (2 PER VERT. SHRUB)		30
1402 1.0 (2 PER TREE)		30
- REFERENCE DETAILS A6/LI501 AND A4 LI501
- SPRAY POP-UP SPRINKLER ASSEMBLIES, RAINBIRD ROTARY SERIES R-VAN14 AND R-VAN18 ON RAINBIRD 1806 POP UP HEADS. INSTALL PER DETAIL B1/LI501.
 

MODEL NO.	RADIUS	GPM	PSI	PR
R-VAN14-180	8'-14'	0.61	40	.62
R-VAN14-360	8'-14'	1.27	40	.62
R-VAN18-90	13'-18'	0.50	40	.64
R-VAN18-180	13'-18'	0.98	40	.64
R-VAN18-360	13'-18'	1.80	40	.64
- SOLVENT WELD PVC CAP, SIZE PER LINE SIZE.
- IRRIGATION CONTROLLER, RAIN BIRD ESP-LXME, OR EQUAL, X-STATION CONTROLLER INSTALLED IN RAIN BIRD LXMM, OR EQUAL, METAL WALL-MOUNTED CABINET. INSTALL PER DETAIL A3/LI501. PROVIDE GROUNDING PROTECTION TO CONTROLLER PER DETAIL A3/LI502.
- WATER METER, BY OTHERS. SEE UTILITY PLAN.



**A1 IRRIGATION PLAN**  
SCALE: 1"=10'-0"





**GENERAL IRRIGATION NOTES**

- | CODE  | DESCRIPTION  |
|-------|--|
| GI-01 | AIR RELEASE VALVE LOCATIONS ARE SHOWN SCHEMATICALLY ON THE PLAN AT HIGH ELEVATION POINTS. THE CONTRACTOR SHALL SURVEY THE FINAL LOCATIONS OF ALL AIR RELEASE VALVES BEFORE INSTALLATION TO ENSURE THAT THEY ARE LOCATED AT ACTUAL HIGH POINTS.   |
| GI-02 | CONTRACTOR SHALL COORDINATE SLEEVE INSTALLATION WITH ALL PARTIES INVOLVED TO ENSURE THAT PIPE AND SLEEVES ARE INSTALLED AT PROPER DEPTHS AND BEFORE INSTALLATION OF CURB AND GUTTER, ASPHALT PAVEMENT, SIDEWALKS, CONCRETE PADS, ETC.  |
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| GI-04 | CONTRACTOR SHALL PROVIDE ONE (1) 120-VOLT, 20 AMP CIRCUIT FROM THE ELECTRICAL PANEL TO THE IRRIGATION CONTROLLER AND THE BACKFLOW PREVENTER ENCLOSURE (ONE TO EACH). ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (NEC). REFERENCE ELECTRICAL PLANS.   |
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| GI-08 | IRRIGATION SYSTEM WAS DESIGNED AT A MINIMUM STATIC PRESSURE OF 60 PSI AT THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO LANDSCAPE ARCHITECT BEFORE CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 60 PSI, CONTRACTOR SHALL RECEIVE DIRECTION FROM LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY. |
| GI-09 | VALVE BOXES IN TURF OR SEED AREAS SHALL BE GREEN WITH GREEN BOLT-DOWN LIDS. VALVE BOXES IN MULCH AREAS SHALL BE TAN WITH TAN BOLT-DOWN LIDS.   |

**IRRIGATION LEGEND**

- IRRIGATION MAIN LINE, SCHEDULE 40, BELL END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN. DEPTH OF BURY 28" FOR CONTINUOUS PRESSURE MAIN, 18" FOR NON-CONTINUOUS PRESSURE MAIN.
- LATERAL PIPING, SCH. 40, BELL END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN. DEPTH OF BURY, 18". LATERAL PIPE CONVEYING LESS THAN 5 GPM SHALL BE 3/4".
- NETAFIM INLINE DRIP PIPING
- MAIN LINE AND LATERAL SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC.
- 24-VOLT IRRIGATION WIRE SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC.
- REMOTE CONTROL VALVE ASSEMBLY, RAIN BIRD PEB SERIES, OR EQUAL, PLASTIC BODY 24-VOLT AUTOMATIC VALVE, SIZE AS SHOWN ON PLAN. INSTALL PER DETAIL A2/LI501.
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- MAIN LINE GATE VALVE ASSEMBLY, XXXX. INSTALL PER DETAIL XX/LI501.
- BACKFLOW PREVENTER AND MASTER VALVE ASSEMBLY, FEBCO B25Y, OR EQUAL, "X" REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED AND INSULATED BACKFLOW ENCLOSURE, HOT BOX MODEL XXXX, OR EQUAL, WITH RAIN BIRD PEB SERIES, OR EQUAL "X" PLASTIC BODY 24-VOLT AUTOMATIC MASTER VALVE, RAIN BIRD PEB SERIES, OR EQUAL, IN VALVE BOX. INSTALL PER DETAIL B5/LI501.
- PRESSURE COMPENSATING BUBBLER ASSEMBLIES, RAIN BIRD 1400 SERIES WITH CHECK VALVE. INSTALL AS FOLLOWS:
 

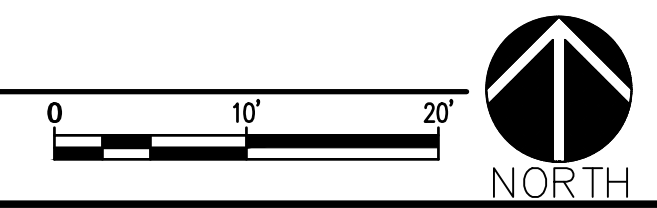
MODEL NO.	GPM	PSI
1401 .25		30
1401 .50 (2 PER VERT. SHRUB)		30
1402 1.0 (2 PER TREE)		30
- REFERENCE DETAILS A6/LI501 AND A4 LI501
- SPRAY POP-UP SPRINKLER ASSEMBLIES, RAINBIRD ROTARY SERIES R-VAN14 AND R-VAN18 ON RAINBIRD 1806 POP UP HEADS. INSTALL PER DETAIL B1/LI501.
 

MODEL NO.	RADIUS	GPM	PSI	PR
R-VAN14-180	8'-14"	0.61	40	.62
R-VAN14-360	8'-14"	1.27	40	.62
R-VAN18-90	13'-18"	0.50	40	.64
R-VAN18-180	13'-18"	0.98	40	.64
R-VAN18-360	13'-18"	1.80	40	.64
- SOLVENT WELD PVC CAP, SIZE PER LINE SIZE.
- IRRIGATION CONTROLLER, RAIN BIRD ESP-LXME, OR EQUAL, X-STATION CONTROLLER INSTALLED IN RAIN BIRD LXMM, OR EQUAL, METAL WALL-MOUNTED CABINET. INSTALL PER DETAIL A3/LI501. PROVIDE GROUNDING PROTECTION TO CONTROLLER PER DETAIL A3/LI502.
- WATER METER, BY OTHERS. SEE UTILITY PLAN.

**VALVE ID KEY**

	VALVE ID NUMBER
	VALVE SIZE
	VALVE GALLONS PER MINUTE

**A1 IRRIGATION PLAN**  
SCALE: 1"=10'-0"



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**IRRIGATION PLAN**

L1102



GENERAL IRRIGATION NOTES

CODE	DESCRIPTION
GI-01	AIR RELEASE VALVE LOCATIONS ARE SHOWN SCHEMATICALLY ON THE PLAN AT HIGH ELEVATION POINTS. THE CONTRACTOR SHALL SURVEY THE FINAL LOCATIONS OF ALL AIR RELEASE VALVES BEFORE INSTALLATION TO ENSURE THAT THEY ARE LOCATED AT ACTUAL HIGH POINTS.
GI-02	CONTRACTOR SHALL COORDINATE SLEEVE INSTALLATION WITH ALL PARTIES INVOLVED TO ENSURE THAT PIPE AND SLEEVES ARE INSTALLED AT PROPER DEPTHS AND BEFORE INSTALLATION OF CURB AND GUTTER, ASPHALT PAVEMENT, SIDEWALKS, CONCRETE PADS, ETC.
GI-03	CONTRACTOR SHALL FURNISH LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO CONSTRUCT THE PROPOSED IRRIGATION SYSTEM PER THE DRAWINGS AND SPECIFICATIONS.
GI-04	CONTRACTOR SHALL PROVIDE ONE (1) 120-VOLT, 20 AMP CIRCUIT FROM THE ELECTRICAL PANEL TO THE IRRIGATION CONTROLLER AND THE BACKFLOW PREVENTER ENCLOSURE (ONE TO EACH). ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (NEC). REFERENCE ELECTRICAL PLANS.
GI-05	FOR PVC IRRIGATION PIPING AND EQUIPMENT REFERENCE SPECIFICATION SECTION 328400 - LANDSCAPE IRRIGATION SYSTEM.
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GI-07	LOCATION OF THE IRRIGATION MAIN AND LATERAL LINES ON PLAN IS SHOWN DIAGRAMMATICALLY FOR GRAPHIC CLARITY. UNLESS OTHERWISE NOTED ON THE PLAN, ANY IRRIGATION LINES SHOWN IN HARDSCAPE AREAS ARE FOR GRAPHIC CLARITY ONLY. IRRIGATION LINES SHALL BE LOCATED IN IMMEDIATELY ADJACENT LANDSCAPE AREAS.
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IRRIGATION LEGEND

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	NETAFIM INLINE DRIP PIPING
	MAIN LINE AND LATERAL SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC.
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	MAIN LINE GATE VALVE ASSEMBLY, XXXX. INSTALL PER DETAIL XX/LI501.
	BACKFLOW PREVENTER AND MASTER VALVE ASSEMBLY, FEBCO 825Y, OR EQUAL, X" REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED AND INSULATED BACKFLOW ENCLOSURE, HOT BOX MODEL XXXX, OR EQUAL, WITH RAIN BIRD PEB SERIES, OR EQUAL X" PLASTIC BODY 24-VOLT AUTOMATIC MASTER VALVE, RAIN BIRD PEB SERIES, OR EQUAL, IN VALVE BOX. INSTALL PER DETAIL B5/LI501.

PRESSURE COMPENSATING BUBBLER ASSEMBLIES, RAIN BIRD 1400 SERIES WITH CHECK VALVE. INSTALL AS FOLLOWS:

MODEL NO.	GPM	PSI
1401 .25		30
1401 .50 (2 PER VERT. SHRUB)		30
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REFERENCE DETAILS A6/LI501 AND A4 LI501

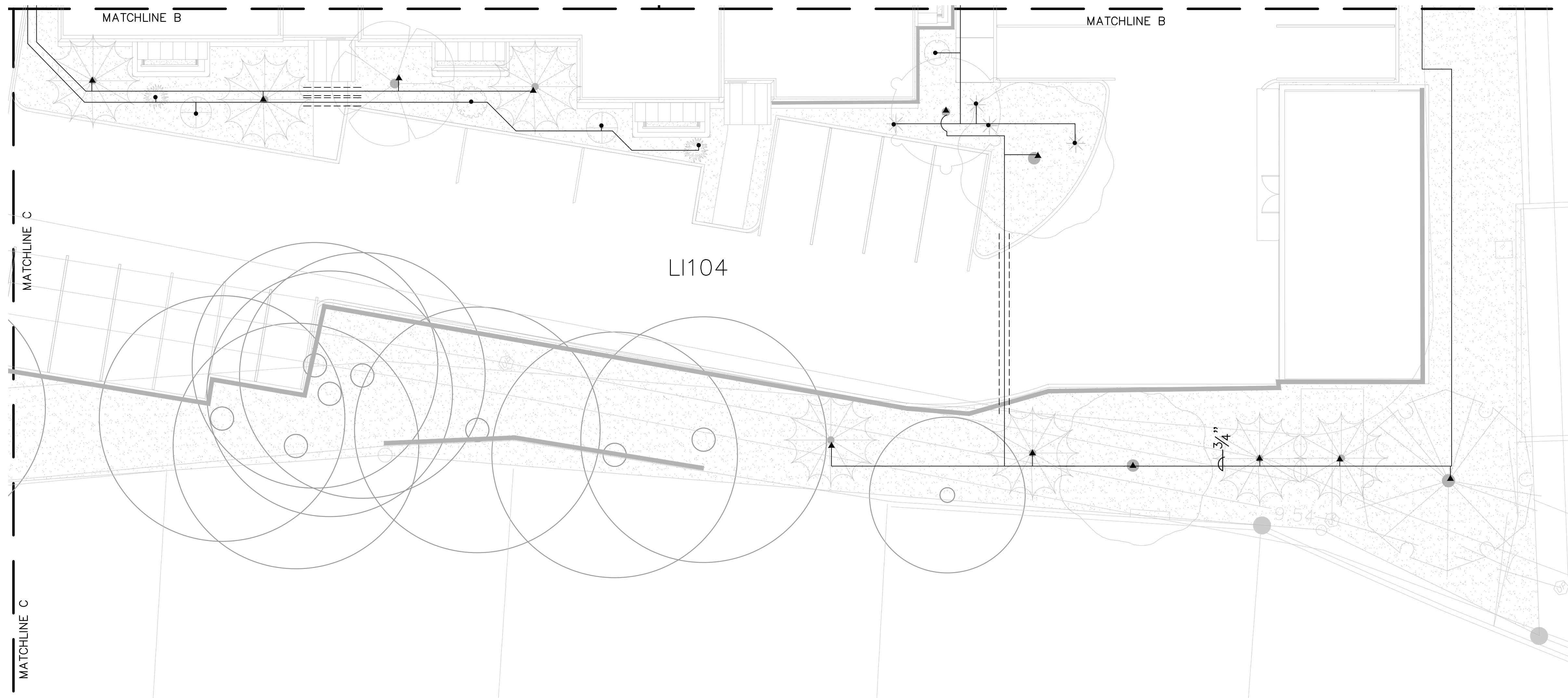
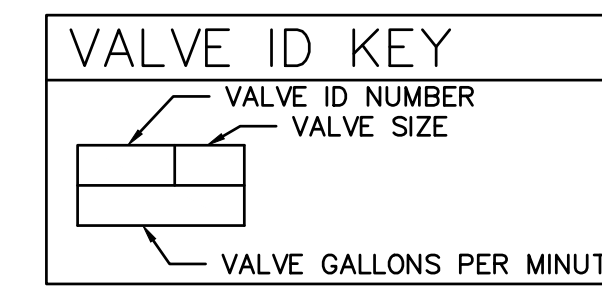
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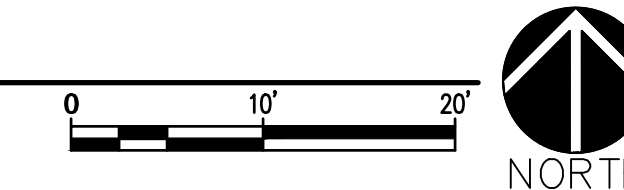
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WATER METER, BY OTHERS. SEE UTILITY PLAN.



A1 IRRIGATION PLAN  
SCALE: 1"=10'-0"



NO	DATE	DESCRIPTION
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	GM	

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SHEET TITLE

IRRIGATION  
PLAN

LI104

GENERAL IRRIGATION NOTES

CODE	DESCRIPTION
GI-01	AIR RELEASE VALVE LOCATIONS ARE SHOWN SCHEMATICALLY ON THE PLAN AT HIGH ELEVATION POINTS. THE CONTRACTOR SHALL SURVEY THE FINAL LOCATIONS OF ALL AIR RELEASE VALVES BEFORE INSTALLATION TO ENSURE THAT THEY ARE LOCATED AT ACTUAL HIGH POINTS.
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GI-06	LOCATION AND SIZE OF IRRIGATION EQUIPMENT ON PLAN ARE SHOWN DIAGRAMMATICALLY FOR GRAPHIC CLARITY. LOCATION OF CONTROLLERS, PUMPS, BACKFLOW PREVENTERS, VALVES, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD.
GI-07	LOCATION OF THE IRRIGATION MAIN AND LATERAL LINES ON PLAN IS SHOWN DIAGRAMMATICALLY FOR GRAPHIC CLARITY. UNLESS OTHERWISE NOTED ON THE PLAN, ANY IRRIGATION LINES SHOWN IN HARDSCAPE ARE FOR GRAPHIC CLARITY ONLY. IRRIGATION LINES SHALL BE LOCATED IN IMMEDIATELY ADJACENT LANDSCAPE AREAS.
GI-08	IRRIGATION SYSTEM WAS DESIGNED AT A MINIMUM STATIC PRESSURE OF 60 PSI AT THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO LANDSCAPE ARCHITECT BEFORE CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 60 PSI, CONTRACTOR SHALL RECEIVE DIRECTION FROM LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY.
GI-09	VALVE BOXES IN TURF OR SEED AREAS SHALL BE GREEN WITH GREEN BOLT-DOWN LIDS. VALVE BOXES IN MULCH AREAS SHALL BE TAN WITH TAN BOLT-DOWN LIDS.

IRRIGATION LEGEND

- IRRIGATION MAIN LINE, SCHEDULE 40, BELL END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN. DEPTH OF BURY 28" FOR CONTINUOUS PRESSURE MAIN, 18" FOR NON-CONTINUOUS PRESSURE MAIN.
- LATERAL PIPING, SCH. 40, BELL END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN. DEPTH OF BURY, 18". LATERAL PIPE CONVEYING LESS THAN 5 GPM SHALL BE 3/4".
- NETAFIM INLINE DRIP PIPING
- MAIN LINE AND LATERAL SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC.
- ===== 24-VOLT IRRIGATION WIRE SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC.
- REMOTE CONTROL VALVE ASSEMBLY, RAIN BIRD PEB SERIES, OR EQUAL, PLASTIC BODY 24-VOLT AUTOMATIC VALVE, SIZE AS SHOWN ON PLAN. INSTALL PER DETAIL A2/LI501.
- ⊗ MANUAL ISOLATION VALVE ASSEMBLY, SPEARS SCH. 80 PVC BALL VALVE WITH UNIONS, SAME SIZE AS LINE. INSTALL PER DETAIL B4/LI501.
- ⊗ MAIN LINE GATE VALVE ASSEMBLY, XXXX. INSTALL PER DETAIL XX/LI501.
- ⊗ BACKFLOW PREVENTER AND MASTER VALVE ASSEMBLY, FEBCO 825Y, OR EQUAL, "X" REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED AND INSULATED BACKFLOW ENCLOSURE, HOT BOX MODEL XXXX, OR EQUAL, WITH RAIN BIRD PEB SERIES, OR EQUAL "X" PLASTIC BODY 24-VOLT AUTOMATIC MASTER VALVE, RAIN BIRD PEB SERIES, OR EQUAL, IN VALVE BOX. INSTALL PER DETAIL B5/LI501.

PRESSURE COMPENSATING BUBBLER ASSEMBLIES, RAIN BIRD 1400 SERIES WITH CHECK VALVE. INSTALL AS FOLLOWS:

MODEL NO.	GPM	PSI
1401 .25		30
1401 .50 (2 PER VERT. SHRUB)		30
1402 1.0 (2 PER TREE)		30

REFERENCE DETAILS A6/LI501 AND A4 LI501

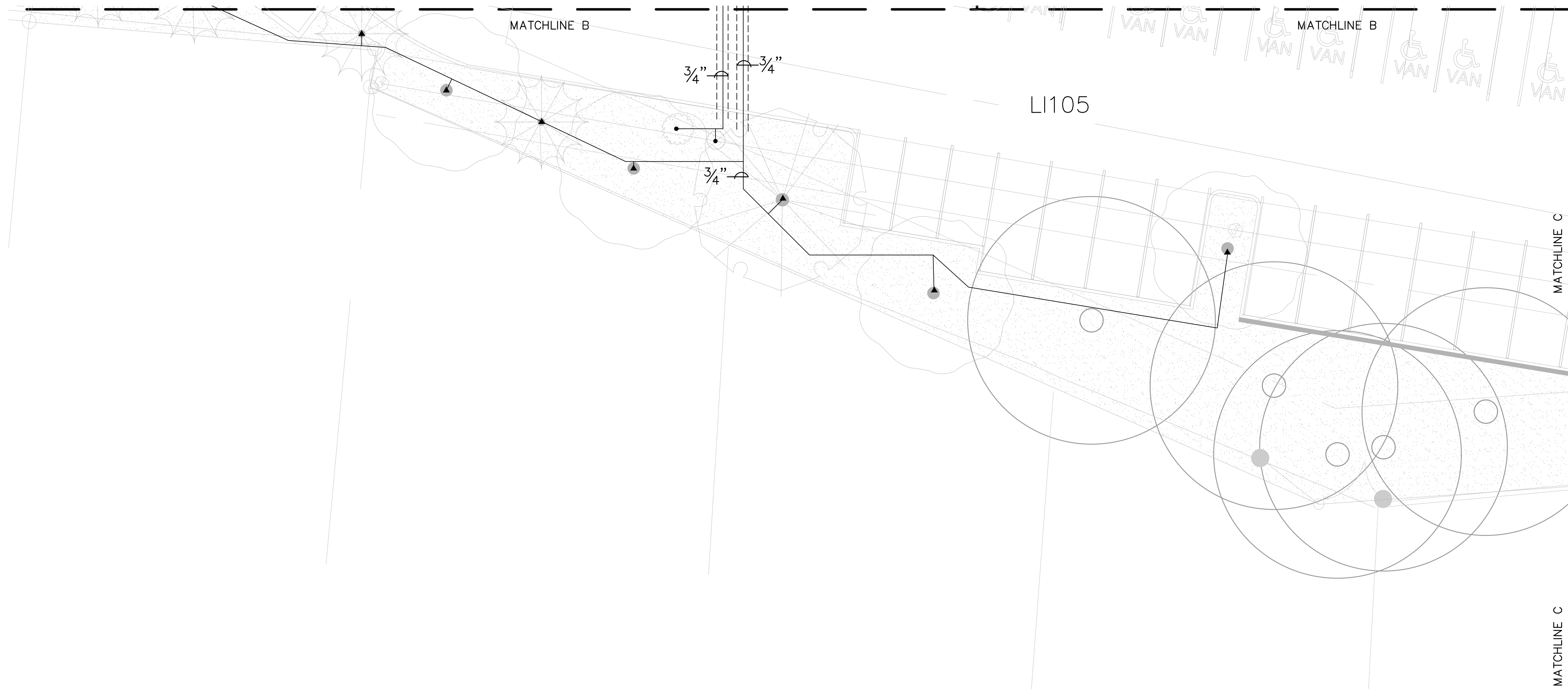
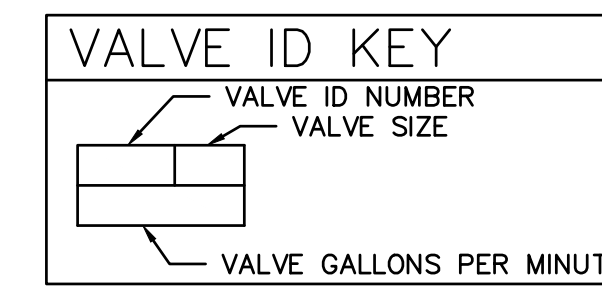
SPRAY POP-UP SPRINKLER ASSEMBLIES, RAINBIRD ROTARY SERIES R-VAN14 AND R-VAN18 ON RAINBIRD 1806 POP UP HEADS. INSTALL PER DETAIL B1/LI501.

MODEL NO.	RADIUS	GPM	PSI	PR
R-VAN14-180	8'-14'	0.61	40	.62
R-VAN14-360	8'-14'	1.27	40	.62
R-VAN18-90	13'-18'	0.50	40	.64
R-VAN18-180	13'-18'	0.98	40	.64
R-VAN18-360	13'-18'	1.80	40	.64

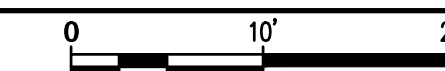
⊔ SOLVENT WELD PVC CAP, SIZE PER LINE SIZE.

⊔ IRRIGATION CONTROLLER, RAIN BIRD ESP-LXME, OR EQUAL, X-STATION CONTROLLER INSTALLED IN RAIN BIRD LXMM, OR EQUAL, METAL WALL-MOUNTED CABINET. INSTALL PER DETAIL A3/LI501. PROVIDE GROUNDING PROTECTION TO CONTROLLER PER DETAIL A3/LI502.

⊔ WATER METER, BY OTHERS. SEE UTILITY PLAN.



A1 IRRIGATION PLAN  
SCALE: 1"=10'-0"



NO	DATE	DESCRIPTION
DATE:	10/14/2025	
PROJECT #:	25014	
DRAWN BY:	LI, MV, MS	
CHECKED BY:	GM	
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SHEET TITLE

IRRIGATION  
PLAN

LI105

PLANT HYDROZONES

THE IRRIGATION SYSTEM IS ZONED BY LEVELS OF WATER USE BY PLANT TYPE. THIS LEGEND INDICATES THE PLANT HYDROZONE THAT IS IRRIGATED BY EACH VALVE.

VALVE NUMBER	COVERAGE	GPM
01	VERY LOW - LOW SHRUBS	8
02	LOW - MEDIUM TREE	14
03	VERY LOW - LOW TREE	2
04	LOW - MEDIUM SHRUB	12
05	VERY LOW - LOW SHRUBS	4
06	LOW - MEDIUM TREE	10
07	LOW - MEDIUM SHRUB	6
08	VERY LOW - LOW TREES	2
09	VERY LOW - LOW SHRUBS	2.5
10	LOW - MEDIUM TREE	18
11	LOW - MEDIUM TREES/SHRUBS	15.75
12	VERY LOW - LOW SHRUBS	3.5
13	VERY LOW - LOW TREES	4.5
14	LOW - MEDIUM TREE	12
15	TURF	26.37
16	LOW - MEDIUM SHRUB	20.5

SANTA FE OPERA APPRENTICE HOUSING - Landscape Water Budget Years 1-2												
ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 10/14/2025												
TOTAL OVERALL VOLUME												
WATERING REQUIREMENTS												
MONTHLY WATERING SCHEDULE	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
WATERING CYCLES PER MONTH	1	1	2	4	8	12	12	12	8	4	1	1
GALLONS PER WATERING CYCLE												
VERY LOW-LOW TREES AND SHRUBS	95	95	190	380	760	1140	1140	1140	760	380	95	95
LOW-MEDIUM TREES AND SHRUBS	638	638	1276	2552	5104	7656	7656	7656	5104	2552	638	638
DRIFLINE	126	126	252	504	1008	1512	1512	1512	1008	504	126	126
TURF GRASS AREA	791.1	791.1	1582.2	3164.4	6328.8	9493.2	9493.2	9493.2	6328.8	3164.4	791.1	791.1
TOTAL GALLONS/MONTH	1650.1	1650.1	3300.2	6600.4	13200.8	19801.2	19801.2	19801.2	13200.8	6600.4	1650.1	1650.1
TOTAL ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION:	108906.6 gallons per year*											
1 ACRE FOOT OF WATER = 325,891 GALLONS												
TOTAL ACRE FEET OF WATER PER YEAR:	0.334 acre feet per year*											
* RUN TIME TOTAL WATER USE ARE CALCULATED FOR ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, THE ANTICIPATED WATER USE MAY DECREASE UP TO 50%												

SANTA FE OPERA APPRENTICE HOUSING - Landscape Water Budget Years 3												
ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 10/14/2025												
TOTAL OVERALL VOLUME												
WATERING REQUIREMENTS												
MONTHLY WATERING SCHEDULE	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
WATERING CYCLES PER MONTH	1	1	2	4	8	12	12	12	8	4	1	1
GALLONS PER WATERING CYCLE												
VERY LOW-LOW TREES AND SHRUBS	71.25	71.25	142.5	285	570	855	855	855	570	285	71.25	71.25
LOW-MEDIUM TREES AND SHRUBS	398.75	398.75	797.5	1595	3190	4785	4785	4785	3190	1595	398.75	398.75
DRIFLINE	78.75	78.75	157.5	315	630	945	945	945	630	315	78.75	78.75
TURF GRASS AREA	527.4	527.4	1054.8	2109.6	4219.2	6328.8	6328.8	6328.8	4219.2	2109.6	527.4	527.4
TOTAL GALLONS/MONTH	1076.15	1076.15	2152.3	4304.6	8609.2	12913.8	12913.8	12913.8	8609.2	4304.6	1076.15	1076.15
TOTAL ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION:	71025.9 gallons per year*											
1 ACRE FOOT OF WATER = 325,891 GALLONS												
TOTAL ACRE FEET OF WATER PER YEAR:	0.218 acre feet per year*											
* RUN TIME TOTAL WATER USE ARE CALCULATED FOR ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, THE ANTICIPATED WATER USE MAY DECREASE UP TO 50%												

LANDSCAPE WATER BUDGET SUMMARY

THE IRRIGATION SYSTEM IS ZONED BY LEVELS OF WATER USE BY PLANT TYPE. WATER USE AND TOTAL GALLONS PER MINUTE FOR EACH VALVE IS SHOWN IN THE PLANT HYDROZONES TABLE.

VALVES 01, 03, 05, 08, 09, 12 AND 13 IRRIGATE VERY LOW AND LOW WATER-USE TREES AND SHRUBS. THE TOTAL GALLONS PER MINUTE USING BUBBLER IRRIGATION FOR THESE VALVES IS 23. IN YEARS 1 AND 2 THE TOTAL GALLONS PER WATERING CYCLE IS 92 AND THE ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION IS 6,072 GALLONS PER YEAR (0.018634 ACRE FEET). IN YEAR 3 THE TOTAL GALLONS PER WATERING CYCLE IS 69, AND THE ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION IS 4,554 GALLONS PER YEAR (0.013975 ACRE FEET).

VALVES 02, 03, 04, 05, 10, 16 AND 16 IRRIGATE LOW AND LOW-MEDIUM WATER-USE TREES AND SHRUBS. THE TOTAL GALLONS PER MINUTE USING BUBBLER IRRIGATION FOR THESE VALVES IS 23. IN YEARS 1 AND 2 THE TOTAL GALLONS PER WATERING CYCLE IS 92 AND THE ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION IS 6,072 GALLONS PER YEAR (0.018634 ACRE FEET). IN YEAR 3 THE TOTAL GALLONS PER WATERING CYCLE IS 69, AND THE ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION IS 4,554 GALLONS PER YEAR (0.013975 ACRE FEET).

VALVE 15 IRRIGATES TURF GRASS. THE TOTAL GALLONS PER MINUTE USING BUBBLER IRRIGATION FOR THESE VALVES IS 26.37 IN YEARS 1 AND 2 THE TOTAL GALLONS PER WATERING CYCLE IS 791.1 AND THE ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION IS 52,213 GALLONS PER YEAR (0.160234 ACRE FEET). IN YEAR 3 THE TOTAL GALLONS PER WATERING CYCLE IS 527.4, AND THE ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION IS 34,808 GALLONS PER YEAR (0.10682 ACRE FEET).

VALVE 11 IRRIGATES LOW AND LOW-MEDIUM WATER-USE TREES AND SHRUBS IN THE RAISED PLANTERS. THE TOTAL GALLONS PER MINUTE USING DRIP IRRIGATION IS 126. IN YEARS 1 AND 2 THE TOTAL GALLONS PER WATERING CYCLE IS 126. FOR YEARS 1 AND 2 THE ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION IS 9,382 GALLONS PER YEAR (0.028792 ACRE FEET). IN YEAR 3 THE TOTAL GALLONS PER WATERING CYCLE IS 78.75. FOR YEAR 3 THE ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION IS 5,197.5 GALLONS PER YEAR (0.015950 ACRE FEET PER YEAR)

SANTA FE OPERA APPRENTICE HOUSING - Landscape Water Budget Years 1-2												
ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 10/14/2025												
VERY LOW-LOW TREES AND SHRUBS												
TOTAL VOLUME OF VALVE NUMBER(S): 01, 03, 05, 08, 09, 12, 13												
GALLONS PER MINUTE - BUBBLER IRRIGATION												
TOTAL GALLONS PER WATERING CYCLE BUBBLERS (4 MIN RUN TIME)												
23.75												
95												
WATERING REQUIREMENTS												
MONTHLY WATERING SCHEDULE	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
WATERING CYCLES PER MONTH	1	1	2	4	8	12	12	12	8	4	1	1
GALLONS PER WATERING CYCLE	95	95	190	380	760	1140	1140	1140	760	380	95	95
TOTAL GALLONS/MONTH	95	95	190	380	760	1140	1140	1140	760	380	95	95
TOTAL ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION:	6270 gallons per year*											
1 ACRE FOOT OF WATER = 325,891 GALLONS												
TOTAL ACRE FEET OF WATER PER YEAR:	0.0192 acre feet per year*											
* RUN TIME TOTAL WATER USE ARE CALCULATED FOR ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, THE ANTICIPATED WATER USE MAY DECREASE UP TO 50%												

SANTA FE OPERA APPRENTICE HOUSING - Landscape Water Budget Years 1-2												
ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 10/14/2025												
DRIFLINE												
TOTAL VOLUME OF VALVE NUMBER(S): 11												
GALLONS PER MINUTE - DRIP IRRIGATION												
TOTAL GALLONS PER WATERING CYCLE (8 MIN RUN TIME)												
15.75												
126												
WATERING REQUIREMENTS												
MONTHLY WATERING SCHEDULE	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
WATERING CYCLES PER MONTH	1	1	2	4	8	12	12	12	8	4	1	1
GALLONS PER WATERING CYCLE	126	126	252	504	1008	1512	1512	1512	1008	504	126	126
TOTAL GALLONS/MONTH	126	126	252	504	1008	1512	1512	1512	1008	504	126	126
TOTAL ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION:	8316 gallons per year*											
1 ACRE FOOT OF WATER = 325,891 GALLONS												
TOTAL ACRE FEET OF WATER PER YEAR:	0.026 acre feet per year*											
* RUN TIME TOTAL WATER USE ARE CALCULATED FOR ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, THE ANTICIPATED WATER USE MAY DECREASE UP TO 50%												

SANTA FE OPERA APPRENTICE HOUSING - Landscape Water Budget Years 3												
ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 10/14/2025												
VERY LOW-LOW TREES AND SHRUBS												
TOTAL VOLUME OF VALVE NUMBER(S): 01, 03, 08, 09, 12, 13												
GALLONS PER MINUTE - BUBBLER IRRIGATION												
TOTAL GALLONS PER WATERING CYCLE BUBBLERS (3 MIN RUN TIME)												
23.75												
71.25												
WATERING REQUIREMENTS												
MONTHLY WATERING SCHEDULE	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
WATERING CYCLES PER MONTH	1	1	2	4	8	12	12	12	8	4	1	1
GALLONS PER WATERING CYCLE	71.25	71.25	142.5	285	570	855	855	855	570	285	71.25	71.25
TOTAL GALLONS/MONTH	71.25	71.25	142.5	285	570	855	855	855	570	285	71.25	71.25
TOTAL ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION:	4702.5 gallons per year*											
1 ACRE FOOT OF WATER = 325,891 GALLONS												
TOTAL ACRE FEET OF WATER PER YEAR:	0.0144 acre feet per year*											
* RUN TIME TOTAL WATER USE ARE CALCULATED FOR ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, THE ANTICIPATED WATER USE MAY DECREASE UP TO 50%												

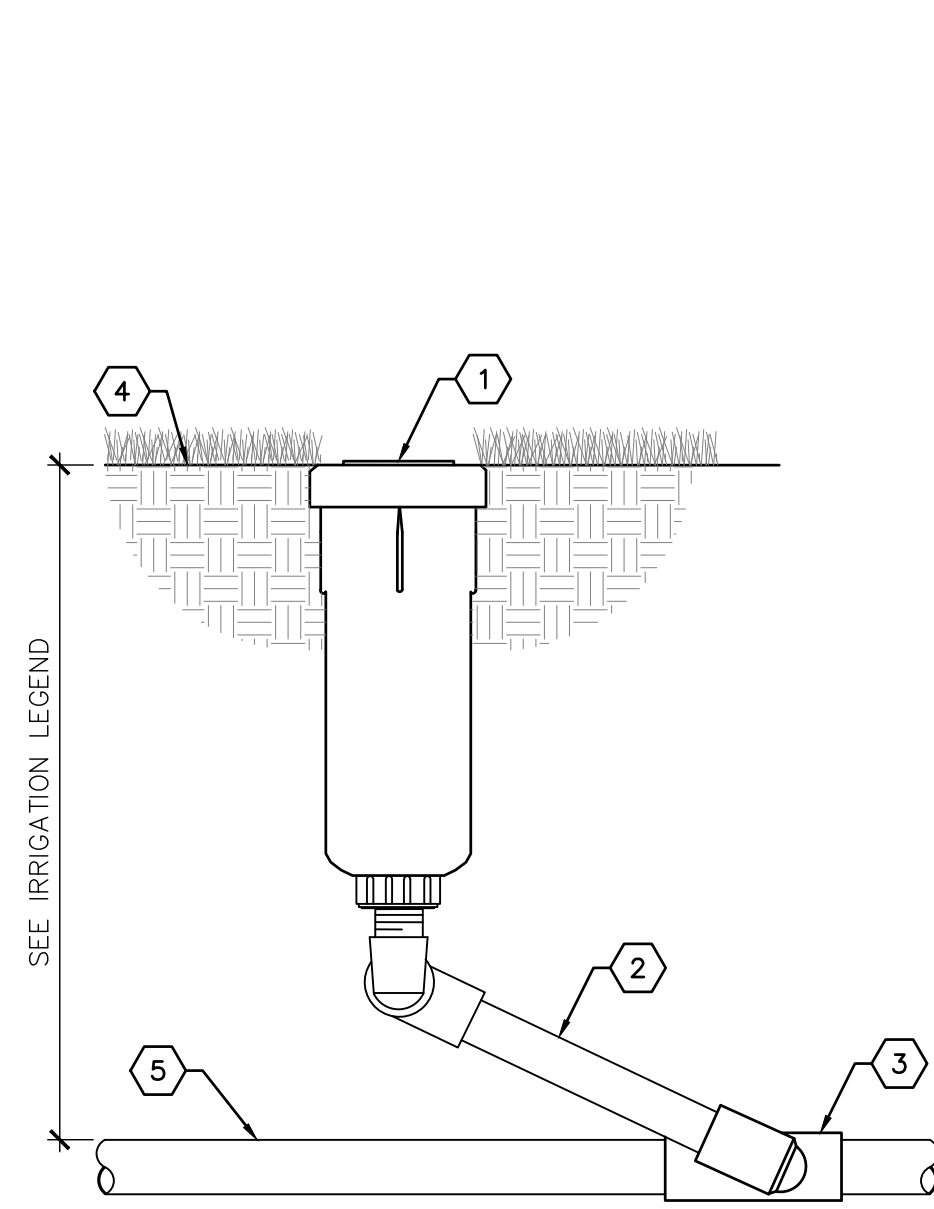
SANTA FE OPERA APPRENTICE HOUSING - Landscape Water Budget Years 3												
ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 10/14/2025												
LOW-MEDIUM SHRUBS AND TREES DRIP												
TOTAL VOLUME OF VALVE NUMBER(S): 11												
GALLONS PER MINUTE - DRIP IRRIGATION												
TOTAL GALLONS PER WATERING CYCLE (5 MIN RUN TIME)												
15.75												
78.75												
WATERING REQUIREMENTS												
MONTHLY WATERING SCHEDULE	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
WATERING CYCLES PER MONTH	1	1	2	4	8	12	12	12	8	4	1	1
GALLONS PER WATERING CYCLE	78.75	78.75	157.5	315	630	945	945	945	630	315	78.75	78.75
TOTAL GALLONS/MONTH	78.75	78.75	157.5	315	630	945	945	945	630	315	78.75	78.75
TOTAL ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION:	5197.5 gallons per year*											
1 ACRE FOOT OF WATER = 325,891 GALLONS												
TOTAL ACRE FEET OF WATER PER YEAR:	0.016 acre feet per year*											
* RUN TIME TOTAL WATER USE ARE CALCULATED FOR ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, THE ANTICIPATED WATER USE MAY DECREASE UP TO 50%												

SANTA FE OPERA APPRENTICE HOUSING - Landscape Water Budget Years 1-2												
ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 10/14/2025												
LOW-MEDIUM TREES AND SHRUBS												
TOTAL VOLUME OF VALVE NUMBER(S): 02, 04, 06, 07, 10, 14, 16												
GALLONS PER MINUTE - BUBBLER IRRIGATION												
TOTAL GALLONS PER WATERING CYCLE BUBBLERS (8 MIN RUN TIME)												
79.75												
638												
WATERING REQUIREMENTS												
MONTHLY WATERING SCHEDULE	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
WATERING CYCLES PER MONTH	1	1	2	4	8	12	12	12	8	4	1	1
GALLONS PER WATERING CYCLE	638	638	1276	2552	5104	7656	7656	7656	5104	2552	638	638
TOTAL GALLONS/MONTH	638	638	1276	2552	5104	7656	7656	7656	5104	2552	638	638
TOTAL ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION:	42108 gallons per year*											
1 ACRE FOOT OF WATER = 325,891 GALLONS												
TOTAL ACRE FEET OF WATER PER YEAR:	0.129 acre feet per year*											
* RUN TIME TOTAL WATER USE ARE CALCULATED FOR ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, THE ANTICIPATED WATER USE MAY DECREASE UP TO 50%												

SANTA FE OPERA APPRENTICE HOUSING - Landscape Water Budget Years 1-2												
ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 10/14/2025												
TURF GRASS AREA												
TOTAL VOLUME OF VALVE NUMBER(S): 15												
GALLONS PER MINUTE - ROTARY IRRIGATION												
TOTAL GALLONS PER WATERING CYCLE ROTARY (30 MIN RUN TIME)												
26.37												
791.1												
WATERING REQUIREMENTS												
MONTHLY WATERING SCHEDULE	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
WATERING CYCLES PER MONTH	1	1	2	4	8	12	12	12	8	4	1	1
GALLONS PER WATERING CYCLE	791.1	791.1	1582.2	3164.4	6328.8	9493.2	9493.2	9493.2	6328.8	3164.4	791.1	791.1
TOTAL GALLONS/MONTH	791.1	791.1	1582.2	3164.4	6328.8	9493.2	9493.2	9493.2	6328.8	3164.4	791.1	791.1
TOTAL ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION:	52212.6 gallons per year*											
1 ACRE FOOT OF WATER = 325,891 GALLONS												
TOTAL ACRE FEET OF WATER PER YEAR:	0.160 acre feet per year*											
* RUN TIME TOTAL WATER USE ARE CALCULATED FOR ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, THE ANTICIPATED WATER USE MAY DECREASE UP TO 50%												

SANTA FE OPERA APPRENTICE HOUSING - Landscape Water Budget Years 3												
ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 10/14/2025												
LOW-MEDIUM TREES AND SHRUBS												
TOTAL VOLUME OF VALVE NUMBER(S): 02, 04, 06, 07, 10, 14, 16												
GALLONS PER MINUTE - BUBBLER IRRIGATION												
TOTAL GALLONS PER WATERING CYCLE BUBBLERS (5 MIN RUN TIME)												
79.75												
398.75												
WATERING REQUIREMENTS												
MONTHLY WATERING SCHEDULE	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
WATERING CYCLES PER MONTH	1	1	2	4	8	12	12	12	8	4	1	1
GALLONS PER WATERING CYCLE	398.75	398.75	797.5	1595	3190	4785	4785	4785	3190	1595	398.75	398.75
TOTAL GALLONS/MONTH	398.75	398.75	797.5	1595	3190	4785	4785	4785	3190	1595	398.75	398.75
TOTAL ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION:	26317.5 gallons per year*											
1 ACRE FOOT OF WATER = 325,891 GALLONS												
TOTAL ACRE FEET OF WATER PER YEAR:	0.081 acre feet per year*											
* RUN TIME TOTAL WATER USE ARE CALCULATED FOR ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, THE ANTICIPATED WATER USE MAY DECREASE UP TO 50%												

SANTA FE OPERA APPRENTICE HOUSING - Landscape Water Budget Years 3												
ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 10/14/2025												
TURF GRASS AREA												
TOTAL VOLUME OF VALVE NUMBER(S): 15												
GALLONS PER MINUTE - ROTARY IRRIGATION												
TOTAL GALLONS PER WATERING CYCLE ROTARY (20 MIN RUN TIME)												
26.37												
527.4												
WATERING REQUIREMENTS												
MONTHLY WATERING SCHEDULE	JAN	FEB	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
WATERING CYCLES PER MONTH	1	1	2	4	8	12	12	12	8	4	1	1
GALLONS PER WATERING CYCLE	527.4	527.4	1054.8	2109.6	4219.2	6328.8	6328.8	6328.8	4219.2	2109.6	527.4	527.4
TOTAL GALLONS/MONTH	527.4	527.4	1054.8	2109.6	4219.2	6328.8	6328.8	6328.8	4219.2	2109.6	527.4	527.4

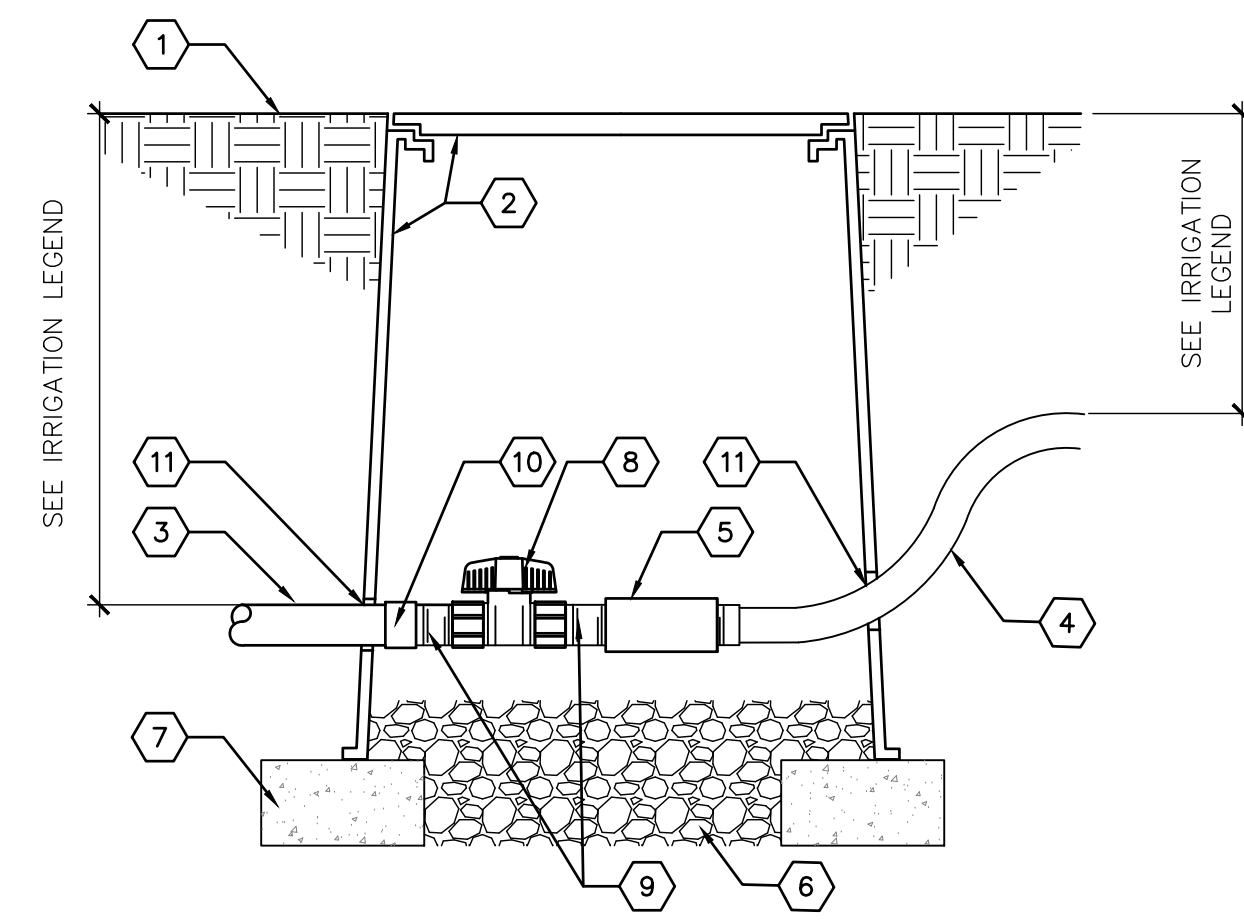


KEYED NOTES

1. SPRINKLER BODY - SEE IRRIGATION LEGEND
2. UNFITTED SWING JOINT, SAME SIZE AS HEAD'S INLET SIZE
3. PVC LATERAL PIPE FITTING
4. FINISH GRADE
5. LATERAL PIPING

**B1** SPRINKLER ASSEMBLY

NOT TO SCALE

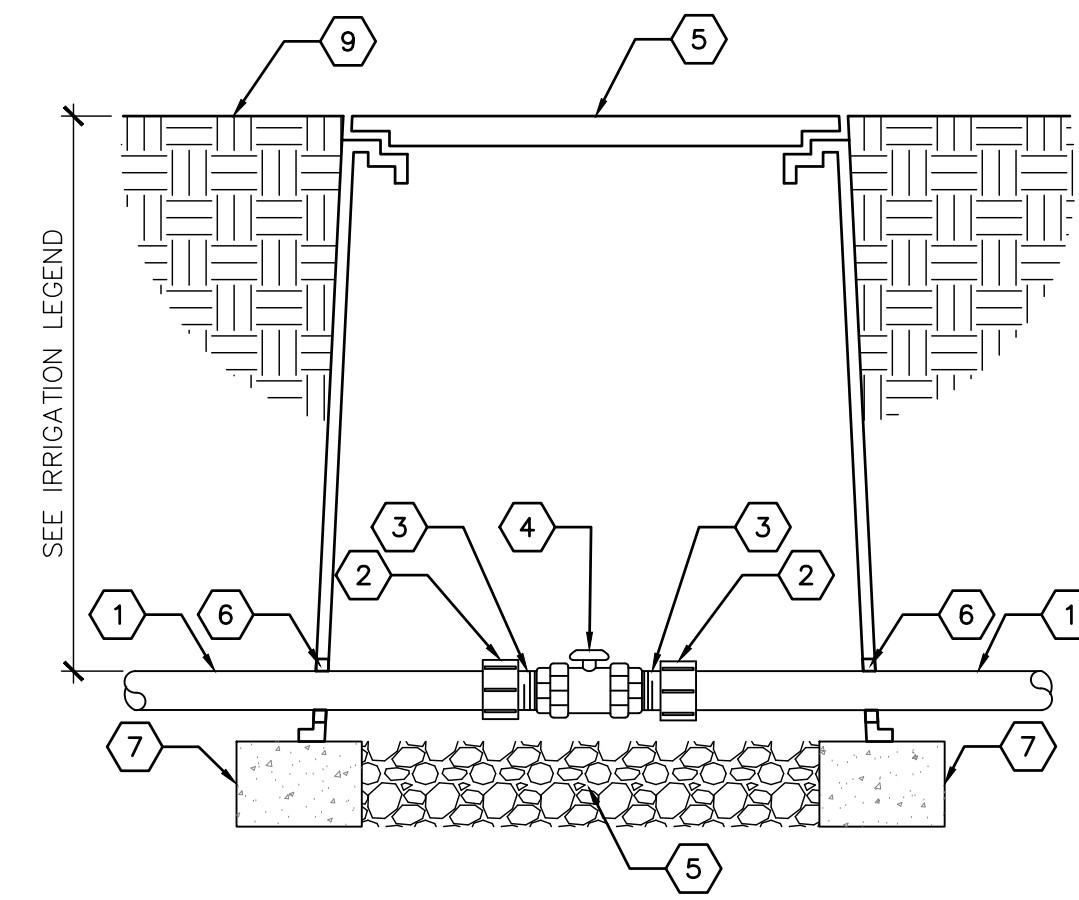


KEYED NOTES

1. FINISH GRADE
2. 10" ROUND VALVE BOX WITH BOLT-DOWN DROP-IN COVER
3. PVC LATERAL PIPING
4. POLY DRIP TUBING
5. POLY TO PVC COUPLING, FEMALE ADAPTER X COMPRESSION
6. 6" DEPTH OF 1" DIAMETER WASHED GRAVEL WITH MIN. 2" CLEARANCE FROM BOTTOM OF EQUIPMENT AND PIPING
7. SOLID CMU BLOCK, TWO PER BOX
8. SCH. 80 PVC BALL VALVE
9. SCH. 80 PVC CLOSE NIPPLE
10. SCH. 80 PVC FEMALE ADAPTER
11. NOTCH OR CORE DRILL VALVE BOX WALL, 1/2" LARGER THAN PIPE DIAMETER

**B2** PVC TO POLY CONNECTION

NOT TO SCALE

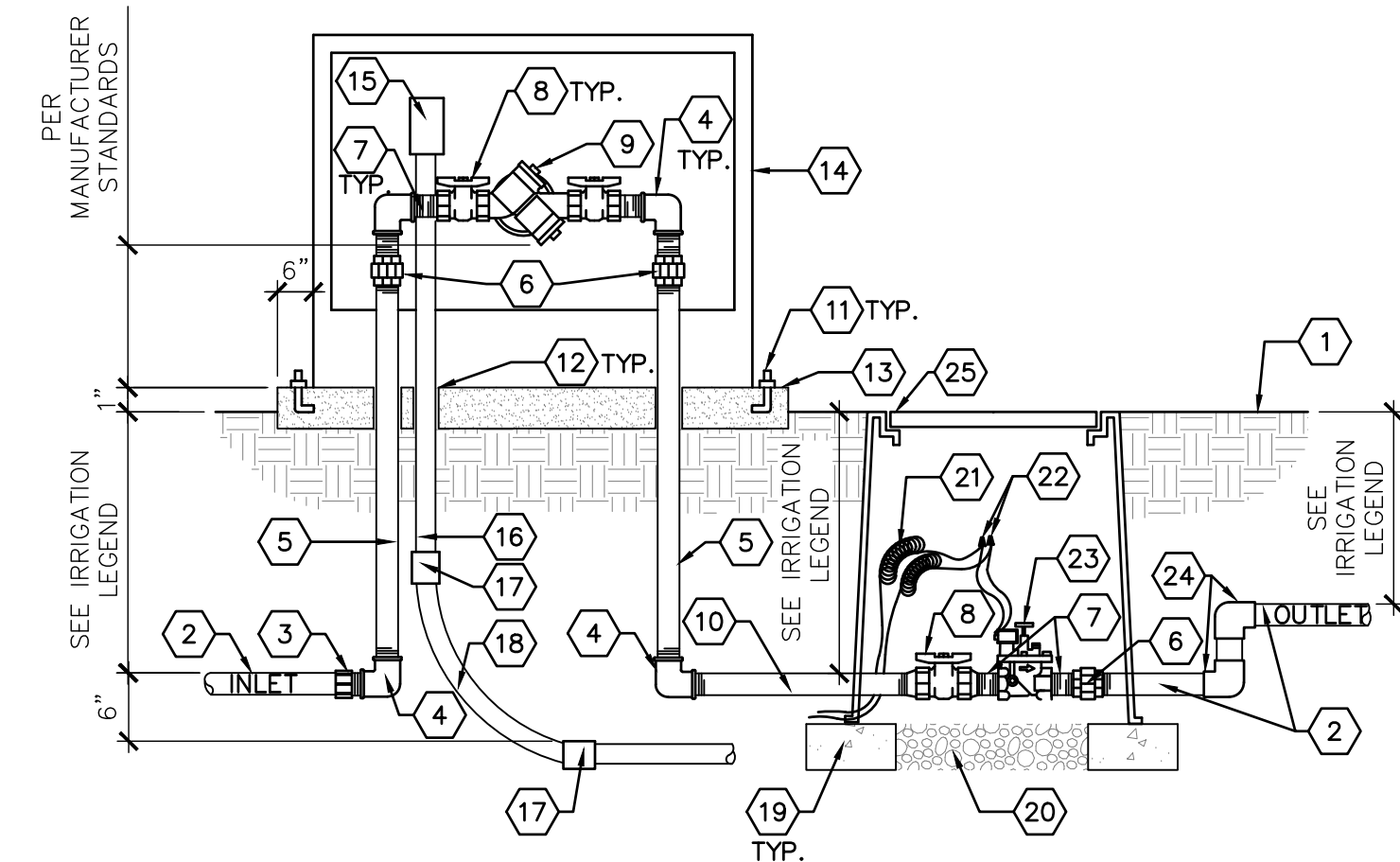


KEYED NOTES

1. MAINLINE
2. SCH. 80 PVC FEMALE ADAPTER
3. SCH. 80 PVC NIPPLE, 3" LENGTH
4. SCH. 80 MANUAL BALL VALVE WITH UNIONS
5. 10" X 15" HEAVY-DUTY VALVE BOX WITH T-STYLE BOLT-DOWN COVER AND EXTENSIONS AS REQUIRED
6. NOTCH OR CORE DRILL VALVE BOX WALL, 1/2" LARGER THAN PIPE DIAMETER
7. SOLID CMU BLOCK, FOUR PER BOX
8. 6" DEPTH OF 1" DIAMETER WASHED GRAVEL WITH MIN. 2" CLEARANCE FROM BOTTOM OF EQUIPMENT AND PIPING
9. FINISH GRADE

**B4** MANUAL ISOLATION VALVE

NOT TO SCALE



KEYED NOTES

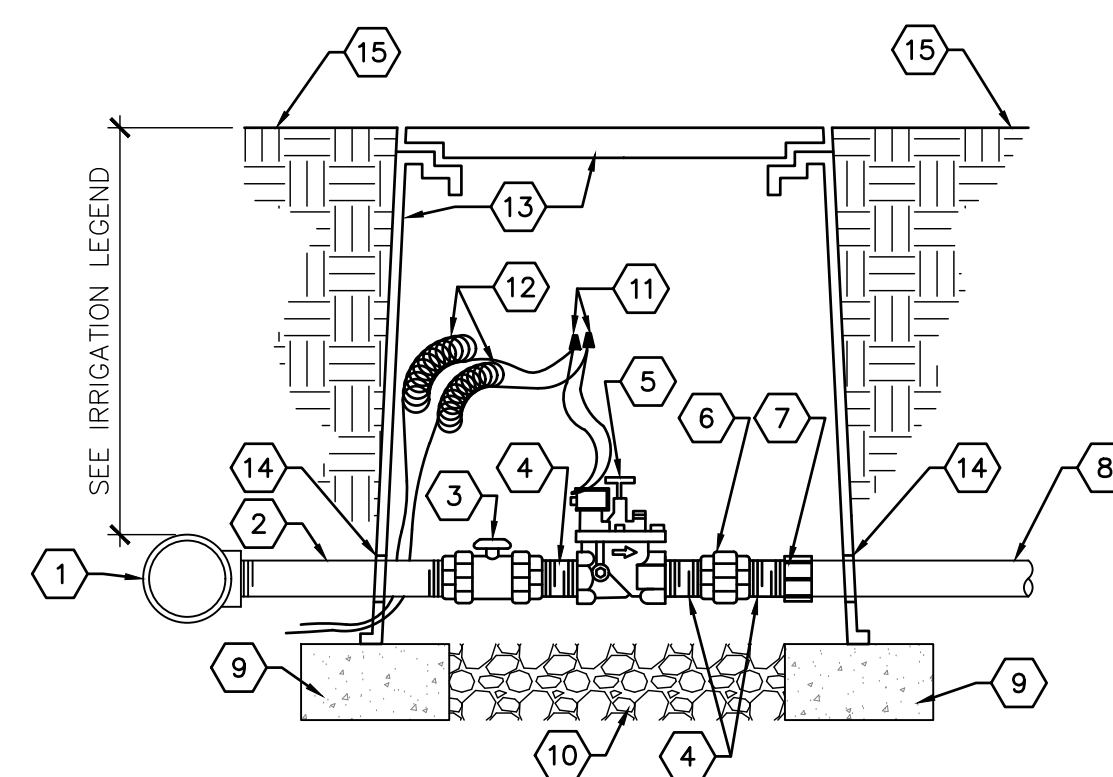
1. FINISH GRADE
2. PVC MAINLINE - SEE LEGEND
3. SCH. 40 PVC MALE ADAPTER
4. GALVANIZED ELBOW
5. GALVANIZED NIPPLE, LENGTH AS REQUIRED
6. GALVANIZED UNION
7. GALVANIZED NIPPLE - 3" LENGTH
8. SPEARS TRUE UNION SCH. 80 PVC BALL VALVE
9. REDUCED PRESSURE BACKFLOW PREVENTER - SEE IRRIGATION LEGEND
10. GALVANIZED NIPPLE - 36" LENGTH
11. 1/2"x6" ANCHOR BOLTS, FOUR PER BOX
12. PVC SLEEVE
13. 3000 PSI CONCRETE PAD, 6" THICK WITH TOOLED EDGES
14. INSULATED ENCLOSURE - SEE LEGEND
15. JUNCTION BOX FOR HEAT TAPE
16. RIGID CONDUIT
17. WATERTIGHT CONNECTOR
18. RIGID SWEEP ELL
19. SOLID CMU BLOCK, FOUR PER BOX
20. 6" DEPTH OF 1" WASHED GRAVEL WITH 2" CLEARANCE TO BOTTOM OF VALVE ASSEMBLY
21. 36" WIRE LOOPS
22. WATERPROOF WIRE SPLICE
23. MASTER VALVE - SEE IRRIGATION LEGEND
24. MAIN LINE ELL, 90 DEGREE
25. APPLIED ENGINEERING PRODUCTS 1730-18P2P VALVE BOX W/ 8" EXTENSIONS (1730-XC) AS REQUIRED

GENERAL NOTES

- CONTRACTOR SHALL SUPPLY AND INSTALL WINTERGARD WET H612 HEAT CABLE AROUND EXPOSED PIPES AND BACKFLOW PREVENTER. MINIMUM 1:3 SPIRALING RATIO.

**B5** BACKFLOW PREVENTER & MASTER VALVE ASSEMBLY

NOT TO SCALE



KEYED NOTES

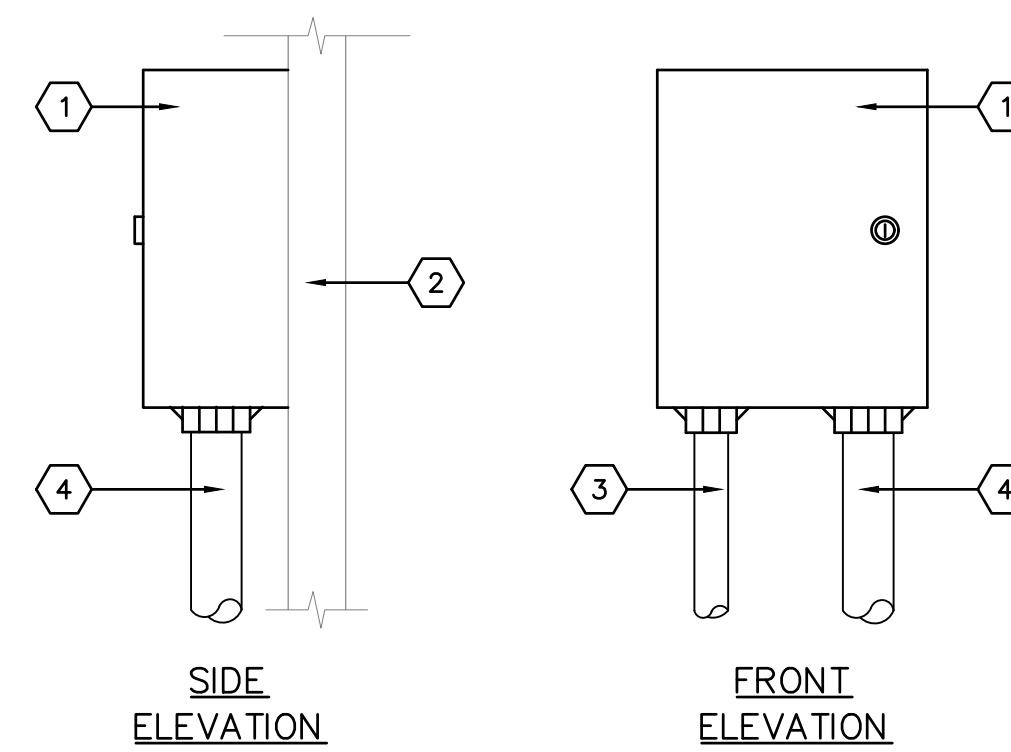
1. SERVICE TEE AT MAINLINE
2. SCH. 80 PVC NIPPLE, LENGTH AS REQUIRED
3. SCH. 80 PVC BALL VALVE WITH UNIONS
4. SCH. 80 PVC NIPPLE, 3" LENGTH
5. REMOTE CONTROL VALVE - SEE IRRIGATION LEGEND
6. SCH. 80 PVC UNION
7. SCH. 80 PVC FEMALE ADAPTER
8. LATERAL PIPING
9. SOLID CMU BLOCK, FOUR PER BOX
10. 6" DEPTH OF 1" DIAMETER WASHED GRAVEL WITH MIN. 2" CLEARANCE FROM BOTTOM OF EQUIPMENT AND PIPING
11. WATERPROOF WIRE CONNECTOR
12. 36" WIRE EXPANSION LOOPS
13. 17" X 30" HEAVY-DUTY VALVE BOX WITH T-STYLE BOLT-DOWN COVER AND EXTENSIONS AS REQUIRED
14. NOTCH OR CORE DRILL VALVE BOX WALL, 1/2" LARGER THAN PIPE DIAMETER
15. FINISH GRADE

GENERAL NOTES

- CONTRACTOR SHALL INSTALL ONE AUTOMATIC VALVE ASSEMBLY PER VALVE BOX.

**A2** REMOTE CONTROL VALVE ASSEMBLY

NOT TO SCALE



KEYED NOTES

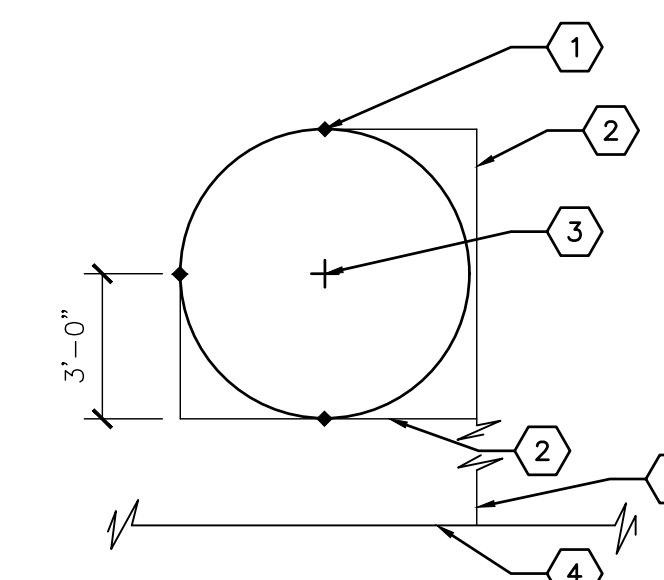
1. AUTOMATIC CONTROLLER - SEE IRRIGATION LEGEND
2. WALL - SEE PLAN
3. 120-VOLT WIRE CONDUIT
4. 24-VOLT WIRE CONDUIT

GENERAL NOTES

- CONTROLLER SHALL BE MOUNTED SECURELY TO WALL USING APPROPRIATE FASTENERS FOR WALL TYPE.
- ALL EXPOSED CONDUIT SHALL BE E.M.T. OR EQUAL AND APPROVED BY LOCAL CODES.
- ALL CONDUIT CONNECTIONS SHALL BE MADE USING WATERTIGHT CONNECTORS.
- MOUNT TOP OF CONTROLLER 52" TO 58" ABOVE FINISH GRADE
- PAINT CONTROLLER CABINET AND CONDUITS TO MATCH WALL IF REQUIRED BY PROJECT PER OWNER DIRECTION.

**A3** WALL-MOUNT CONTROLLER

NOT TO SCALE



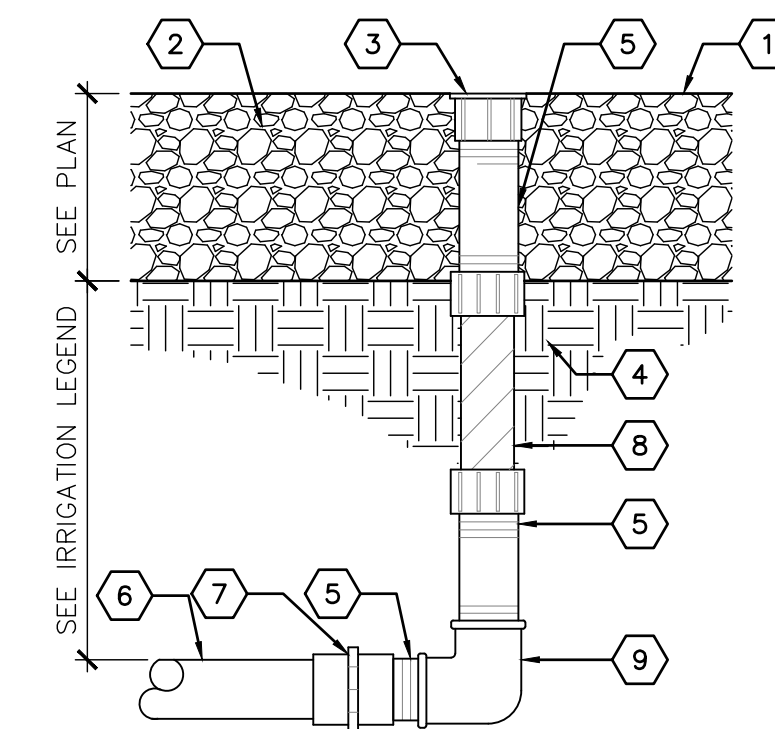
KEYED NOTES

1. BUBBLER - SEE IRRIGATION LEGEND. 3"/TREE, TYP.
- 3/4" LATERAL.
- TREE CENTER.
- LATERAL. SEE PLAN.

**A4** BUBBLER LAYOUT AT TREE

SCALE: N.T.S.

P-025-SFOH-10



KEYED NOTES

1. FINISH GRADE
- MULCH
- PRESSURE COMPENSATING BUBBLER - SEE IRRIGATION LEGEND. TOP OF BUBBLER SHALL BE FLUSH WITH TOP OF MULCH
- COMPACTED SUBGRADE
- 1/2" SCH. 80 PVC THREADED NIPPLE, LENGTH AS REQUIRED
- 3/4" LATERAL PIPING
- 3/4" X 1/2" SCH. 40 PVC FEMALE ADAPTER
- 1/2" X 6" FLEX NIPPLE
- 1/2" SCH. 40 PVC THREADED ELBOW

**A6** BUBBLER ASSEMBLY

NOT TO SCALE

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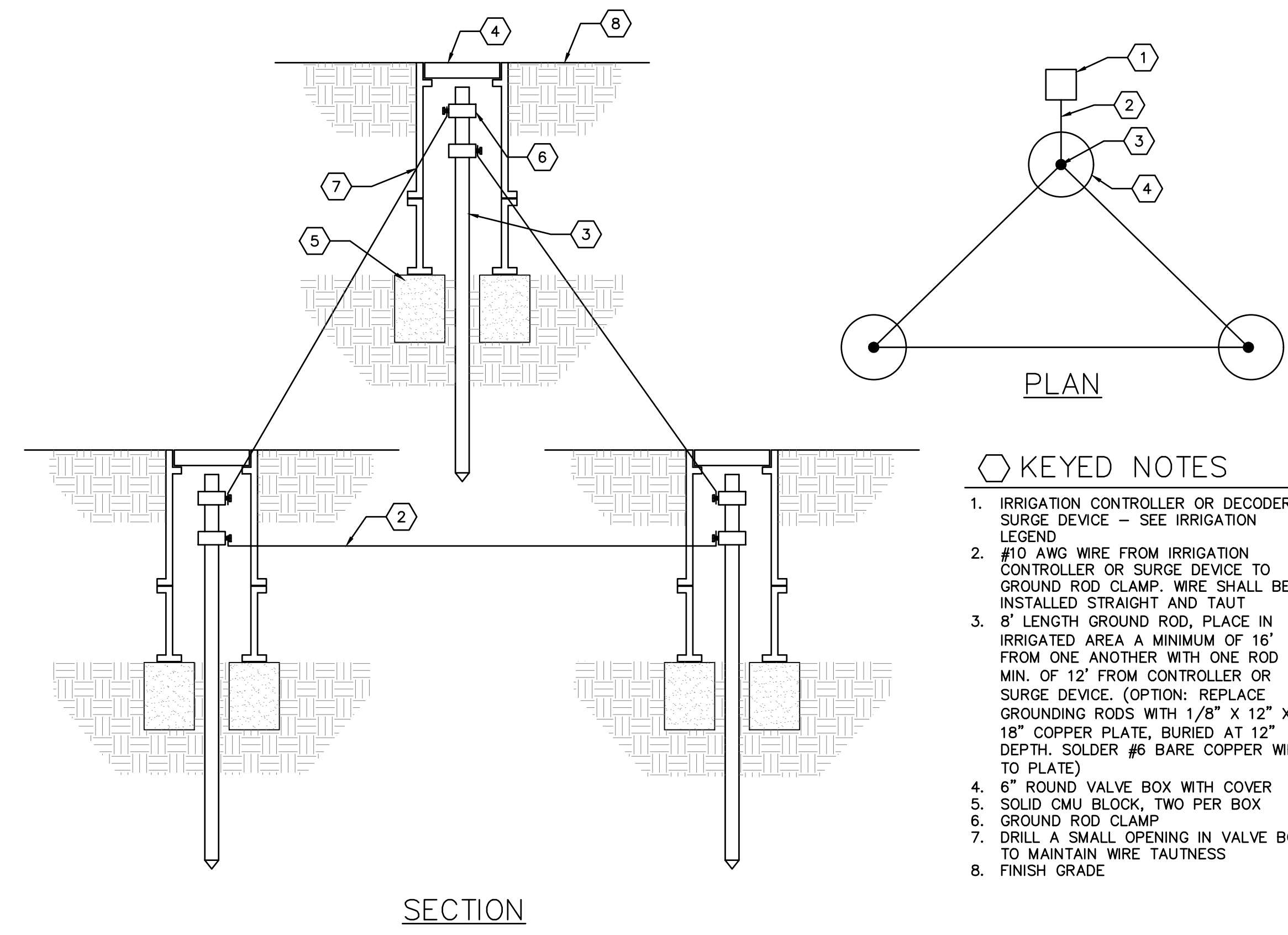
SHEET TITLE

IRRIGATION DETAILS



NOT FOR  
CONSTRUCTION

**Santa Fe Opera  
Apprentice Housing**  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505



- KEYED NOTES
- IRRIGATION CONTROLLER OR DECODER SURGE DEVICE - SEE IRRIGATION LEGEND
  - #10 AWG WIRE FROM IRRIGATION CONTROLLER OR SURGE DEVICE TO GROUND ROD CLAMP. WIRE SHALL BE INSTALLED STRAIGHT AND TAUT
  - 8' LENGTH GROUND ROD, PLACE IN IRRIGATED AREA A MINIMUM OF 16" FROM ONE ANOTHER WITH ONE ROD A MIN. OF 12" FROM CONTROLLER OR SURGE DEVICE. (OPTION: REPLACE GROUNDING RODS WITH 1/8" X 12" X 18" COPPER PLATE, BURIED AT 12" DEPTH. SOLDER #6 BARE COPPER WIRE TO PLATE)
  - 6" ROUND VALVE BOX WITH COVER
  - SOLID CMU BLOCK, TWO PER BOX
  - GROUND ROD CLAMP
  - DRILL A SMALL OPENING IN VALVE BOX TO MAINTAIN WIRE TAUTNESS
  - FINISH GRADE

**A3** GROUNDING  
NOT TO SCALE

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SHEET TITLE  
**IRRIGATION  
DETAILS**

**LI502**

PLANT SCHEDULE LP100

SEE LP501 FOR COMPLETE PLANT SCHEDULE.

SYMBOL	COMMON NAME	BOTANICAL NAME	SYMBOL	COMMON NAME	BOTANICAL NAME
<b>TREES</b>					
	EMERALD SUNSHINE ELM	ULMUS DAVIDIANA JAPONICA 'JFS-BIEBERICH' TM		DWARF RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS
	LACEBARK ELM	ULMUS PARVIFOLIA		FENDLER BARBERRY	BERBERIS FENDLERI
	SENSATION BOX ELDER	ACER NEGUNDO 'SENSATION'		GOLDEN CURRANT	RIBES AUREUM
	TEXAS RED OAK	QUERCUS BUCKLEYI		KINNIKINNICK	ARCTOSTAPHYLOS UVA-URSI
<b>SMALL TREE/LARGE SHRUB</b>					
	ALLEGHENY SERVICEBERRY	AMELANCHIER UTAHENSIS		MORMON TEA	EPHEDRA VIRIDIS
	BLUE ICE ARIZONA CYPRESS	CUPRESSUS ARIZONICA GLABRA 'BLUE ICE'		RUBBER RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
	DESERT WILLOW 'LUCRETIA HAMILTON'	CHILOPSIS LINEARIS 'LUCRETIA HAMILTON'		SHRUBBY CINQUEFOIL	POTENTILLA FRUTICOSA
	EASTERN REDBUD	CERCIS CANADENSIS		WOODS' ROSE	ROSA WOODSII
	NEW MEXICO OLIVE	FORESTIERA PUBESCENS	<b>VINES</b>		
	ROCKY MOUNTAIN JUNIPER	JUNIPERUS SCOPULORUM		ANEMONE CLEMATIS	CLEMATIS MONTANA
<b>SHRUBS</b>					
	APACHE PLUME	FALLUGIA PARADOXA		CHINESE WISTERIA	WISTERIA SINENSIS
	COMMON WHITE SNOWBERRY	SYMPHORICARPOS ALBUS		MAJOR WHEELER HONEYSUCKLE	LONICERA SEMPERVIRENS 'MAJOR WHEELER'
	CREeping MAHONIA	MAHONIA REPENS	<b>PERENNIALS</b>		
	CREeping THREE-LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'		DWARF PLUMBAGO	CERATOSTIGMA PLUMBAGINOIDES
<b>GRASSES &amp; DESERT ACCENTS</b>					
				BEAR GRASS	NOLINA MICROCARPA
				BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'
				BRAKELIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'BRAKELIGHTS'
				DEER GRASS	MUHLENBERGIA RIGENS
				PARRY AGAVE	AGAVE PARRYI
				RED YUCCA	HESPERALOE PARVIFLORA
				WALK IN BEAUTY™ PRICKLY PEAR	OPUNTIA HYBRID 'WALK IN BEAUTY'
				EXISTING TREE	

COMPLIANCE WITH CITY LANDSCAPE ORDINANCES

**INTERIOR PARKING LOT LANDSCAPE REQUIREMENTS**

PARKING SPACES:	103
REQUIRED LANDSCAPE AREA PER SPACE:	10 SF
PERMEABLE LANDSCAPE AREA REQUIRED:	1,030 SF
PERMEABLE LANDSCAPE AREA PROVIDED:	11,923 SF
REQUIRED NUMBER OF TREES @ 1 PER 90 REQD SF:	11
NUMBER OF PARKING LOT TREES PROVIDED:	29
REQUIRED NUMBER OF SHRUBS @ 2 PER 90 REQD SF:	22
NUMBER OF PARKING LOT SHRUBS PROVIDED:	63

OPEN SPACE REQUIREMENTS	QUANTITY	PERCENT
TOTAL LOT AREA:	108,963 SF	
REQUIRED OPEN SPACE 83 DU X 250SF:	20,750 SF	
OPEN SPACE PROVIDED:	21,764 SF	
REQUIRED NUMBER OF TREES @ 1 PER 500 SF:	42	
TOTAL NUMBER OF TREES PROVIDED (NOT INCLUDING BASINS):	42	
NUMBER OF EVERGREEN TREES REQUIRED:	11	25% OF TOTAL
NUMBER OF EVERGREEN TREES PROVIDED:	15	35% OF TOTAL
REQUIRED NUMBER OF SHRUBS @ 2 PER 500 SF:	84	
TOTAL NUMBER OF SHRUBS PROVIDED (NOT INCLUDING BASINS):	188	
NUMBER OF EVERGREEN SHRUBS REQUIRED:	16	25% OF TOTAL
NUMBER OF EVERGREEN SHRUBS PROVIDED:	73	39% OF TOTAL
TURFGRASS AREA PROVIDED:	2,727 SF	13%

**DESIGNATED STORMWATER BASIN REQUIREMENTS**

REQUIRED NUMBER OF TREES EACH BASIN @ 1 PER 500 SF

NUMBER OF TREES REQUIRED/PROVIDED	
BASIN A	TBD
BASIN B	TBD
BASIN C	TBD
BASIN D	TBD
BASIN E	TBD

REQUIRED NUMBER OF SHRUBS EACH BASIN @ 3 PER 500 SF

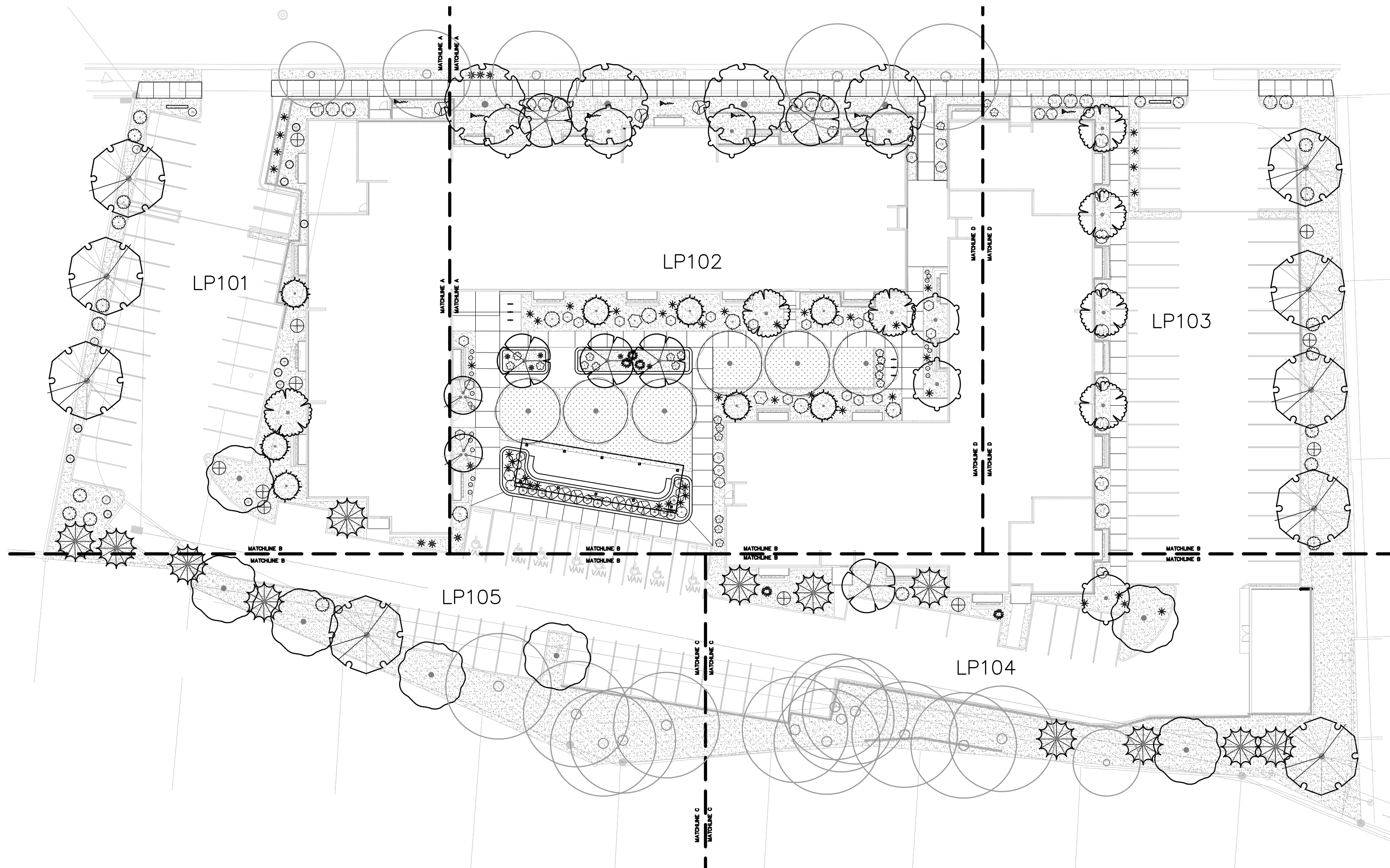
NUMBER OF SHRUBS REQUIRED/PROVIDED	
BASIN A	TBD
BASIN B	TBD
BASIN C	TBD
BASIN D	TBD
BASIN E	TBD

TREE PROTECTION NOTES

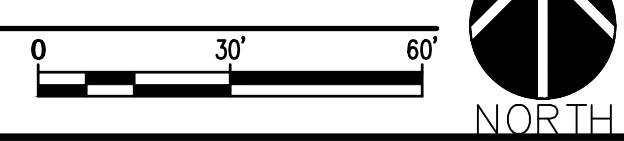
- CONTRACTOR SHALL ESTABLISH A ROOT PROTECTION ZONE AROUND EACH EXISTING TREE TO REMAIN. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY A RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE LINEAR FEET FOR EACH INCH DIAMETER OF THE TREE. THE TREE DIAMETER SHALL BE MEASURED AT BREST HEIGHT (4.5' ABOVE FINISH GRADE). EXAMPLE: A 10 INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
- CONTRACTOR SHALL INSTALL FENCING AT THE PERIMETER OF ROOT PROTECTION ZONES. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING SHALL BE A MINIMUM OF 4' HEIGHT.
- CONTRACTOR SHALL NOT STORE OR DRIVE EQUIPMENT, VEHICLES OR MATERIALS WITHIN THE ROOT PROTECTION ZONE.
- CONTRACTOR SHALL PROTECT EXISTING ROOTS FROM DAMAGE WHEN WORKING WITHIN THE ROOT PROTECTION ZONE. THE CONTRACTOR SHALL LIMIT DEMOLITION OR OTHER CONSTRUCTION ACTIVITIES WITHIN THE ROOT PROTECTION ZONE TO THE MINIMUM DISTURBANCE REQUIRED TO COMPLETE CONSTRUCTION.
- CONTRACTOR SHALL NOT ALLOW CONCRETE TRUCKS TO CLEAN CHUTES OR DUMP EXCESS CONCRETE OR ANY OTHER CEMENTITIOUS PRODUCTS IN ANY PORTION OF THE SITE. CONTRACTOR SHALL CLEAN THE WASTE OF OTHER CEMENTITIOUS MATERIALS FROM THE SURFACE AND THEY SHALL NOT BE TURNED UNDER DURING FINAL GRADING.
- CONTRACTOR SHALL NOT TRENCH WITHIN THE DRIPLINE OF EXISTING TREES. AT LOCATIONS WHERE IS IT NECESSARY TO INSTALL LINES OR WIRE WITHIN THE DRIPLINE OF EXISTING TREES, THE UTILITY SHALL BE INSTALLED BY BORING UNDER TREE ROOTS.

GENERAL PLANTING NOTES

CODE	DESCRIPTION
GP-01	CONTRACTOR SHALL INSTALL VINES PER DETAIL A4/LP501.
GP-02	CONTRACTOR SHALL INSTALL SHRUBS PER DETAIL C5/LP501.
GP-03	CONTRACTOR SHALL INSTALL TREES PER DETAIL A5/LP501.
GP-04	CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES AS DIRECTED BY LANDSCAPE ARCHITECT IN THE FIELD.
GP-05	FILTER FABRIC SHALL BE MIN. 4 OZ. NON-WOVEN NEEDLE-PUNCHED POLYPROPYLENE (TENCATE MIRAFI 140N OR EQUIVALENT). OVERLAP ENDS 3" AND TURN DOWN EDGES 6".
GP-06	SEE SITE ELECTRICAL PLAN AND PHOTOMETRICS.
GP-07	IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE CALLED OUT UNDER "REMARKS" AND HEIGHT & SPREAD CALLED OUT UNDER "INSTALLED SIZE", THE SPECIFIED PLANT MUST MEET HEIGHT & SPREAD REQUIREMENTS SPECIFIED UNDER "INSTALLED SIZE", EVEN IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER.
GP-08	IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT LIST.
GP-09	TOP OF MULCH SHALL BE 1" BELOW TOP OF ADJACENT CONCRETE SURFACES.
GP-10	TREES INSTALLED WITHIN TURF AND NATIVE SEED AREAS SHALL HAVE A 4" DEPTH OF SHREDDED WOOD MULCH WITHIN A 6' DIAMETER AREA AT THE BASE OF EACH TREE.
GP-11	NO GRADING SHALL OCCUR WITHIN THE DRIPLINE OF TREES TO BE PRESERVED IN PLACE.
GP-12	ALL PLANTING BEDS SHALL BE SWALED, SLOPED, OR RECESSED BELOW GRADE TO PREVENT FUGITIVE WATER. REFERENCE CIVIL GRADING PLAN. WHERE CONTOURS ON CIVIL GRADING PLAN ARE NOT DETAILED ENOUGH DUE TO PLAN SCALE, PLANTING BEDS SHALL BE RECESSED 2" BELOW ADJACENT PAVEMENT TO TOP OF MULCH MATERIAL. SEE CIVIL HYDROLOGY PLAN FOR BASIN VOLUMES AND CALCULATIONS.



**A1** OVERALL PLANTING PLAN  
SCALE: 1"=30'-0"



NOT FOR CONSTRUCTION

**Santa Fe Opera**  
**Apprentice Housing**  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505

NO	DATE	DESCRIPTION
DATE:	10/14/2025	
PROJECT #:	25014	
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SHEET TITLE

OVERALL PLANTING PLAN

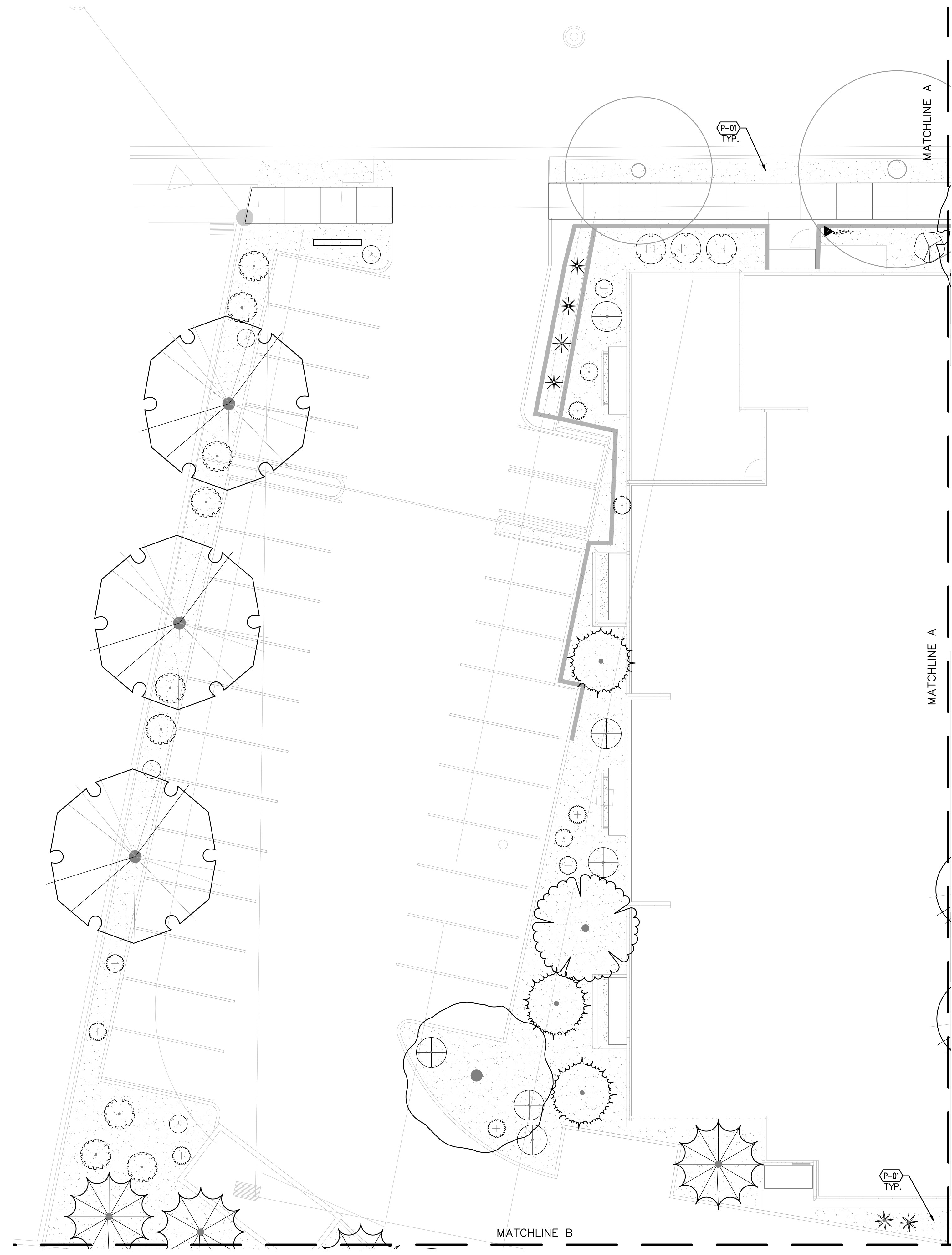
LP100

**PLANT SCHEDULE LP101** SEE LP501 FOR COMPLETE PLANT SCHEDULE.

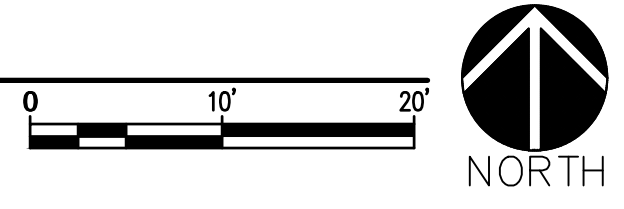
SYMBOL	CODE	COMMON NAME	BOTANICAL NAME
<b>TREES</b>			
	UR	EMERALD SUNSHINE ELM	ULMUS DAVIDIANA JAPONICA 'JFS-BIEBERICH' TM
	QI	TEXAS RED OAK	QUERCUS BUCKLEYI
<b>SMALL TREE/LARGE SHRUB</b>			
	CI	BLUE ICE ARIZONA CYPRESS	CUPRESSUS ARIZONICA GLABRA 'BLUE ICE'
	CL	DESERT WILLOW 'LUCRETIA HAMILTON'	CHILOPSIS LINEARIS 'LUCRETIA HAMILTON'
	PP	ROCKY MOUNTAIN JUNIPER	JUNIPERUS SCOPULORUM
<b>SHRUBS</b>			
	FP	APACHE PLUME	FALLUGIA PARADOXA
	CN	DWARF RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS
	EV	MORMON TEA	EPHEDRA VIRIDIS
	CR	RUBBER RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
	RW	WOODS' ROSE	ROSA WOODSII
<b>VINES</b>			
	AC	ANEMONE CLEMATIS	CLEMATIS MONTANA
<b>GRASSES &amp; DESERT ACCENTS</b>			
	HP3	BRAKELIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'BRAKELIGHTS'
	MR4	DEER GRASS	MUHLENBERGIA RIGENS
	HP2	RED YUCCA	HESPERALOE PARVIFLORA
	OX	WALK IN BEAUTY™ PRICKLY PEAR	OPUNTIA HYBRID 'WALK IN BEAUTY'
<b>EXISTING TREE</b>			

**PLANTING KEYED NOTES LP101**

SYMBOL	CODE	DESCRIPTION
	P-01	FURNISH AND INSTALL 7/16" 'SANTA FE BROWN' ROCK MULCH, AT 4" DEPTH OVER FILTER FABRIC. AVAILABLE FROM BUILDODOLOGY, INC. (505-344-6626), OR APPROVED EQUAL.
	P-02	TURFGRASS SOD SHALL BE 'SIEMPRE VERDE TALL FESCUE' AS AVAILABLE FROM EVERGREEN TURF, 505-384-5247, OR APPROVED EQUAL. TOP OF SOD SHALL BE INSTALLED 1" BELOW TOP OF ADJACENT SURFACES.



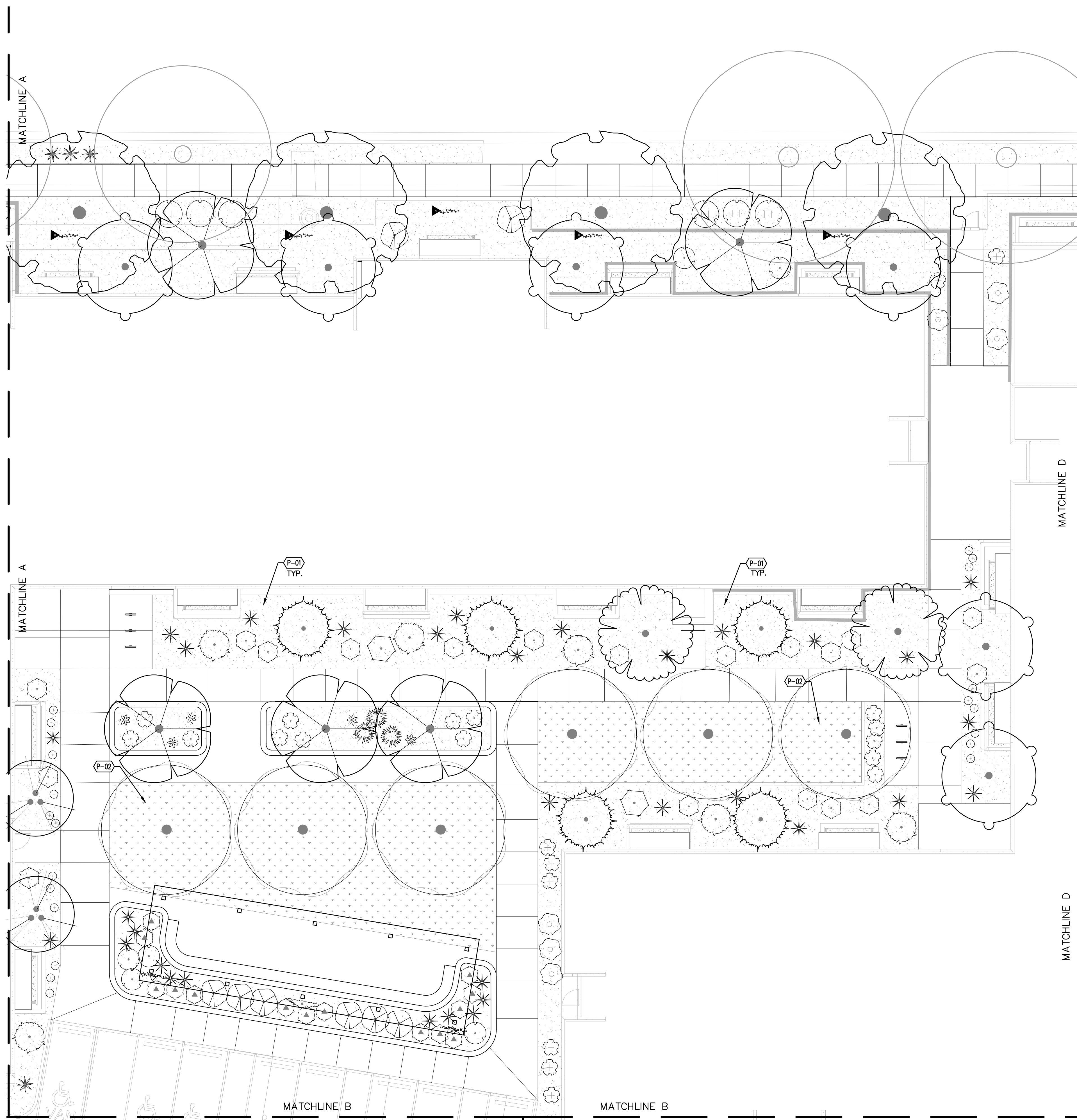
**A1 PLANTING PLAN**  
SCALE: 1"=10'-0"



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**PLANTING PLAN**

**LP101**



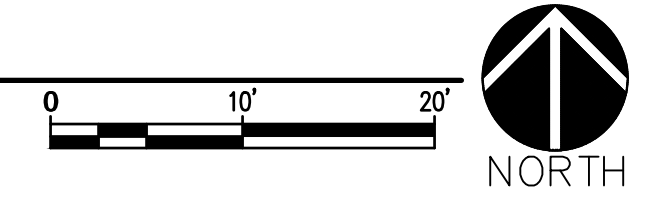
**PLANT SCHEDULE LP102** SEE LP501 FOR COMPLETE PLANT SCHEDULE.

SYMBOL	CODE	COMMON NAME	BOTANICAL NAME
<b>TREES</b>			
	UP	LACEBARK ELM	ULMUS PARVIFOLIA
	SB	SENSATION BOX ELDER	ACER NEGUNDO 'SENSATION'
<b>SMALL TREE/LARGE SHRUB</b>			
	AU2	ALLEGHENY SERVICEBERRY	AMELANCHIER UTAHENSIS
	CI	BLUE ICE ARIZONA CYPRESS	CUPRESSUS ARIZONICA GLABRA 'BLUE ICE'
	CL	DESERT WILLOW 'LUCRETIA HAMILTON'	CHILOPSIS LINEARIS 'LUCRETIA HAMILTON'
	ER2	EASTERN REDBUD	CERCIS CANADENSIS
	FP2	NEW MEXICO OLIVE	FORESTIERA PUBESCENS
<b>SHRUBS</b>			
	SA	COMMON WHITE SNOWBERRY	SYMPHORICARPOS ALBUS
	MR	CREEPING MAHONIA	MAHONIA REPENS
	RT	CREEPING THREE-LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'
	BF	FENDLER BARBERRY	BERBERIS FENDLERI
	RG	GOLDEN CURRANT	RIBES AUREUM
	AU	KINNIKINICK	ARCTOSTAPHYLOS UVA-URSI
	PF	SHRUBBY CINQUEFOIL	POTENTILLA FRUTICOSA
	RW	WOODS' ROSE	ROSA WOODSII
<b>VINES</b>			
	AC	ANEMONE CLEMATIS	CLEMATIS MONTANA
	WS	CHINESE WISTERIA	WISTERIA SINENSIS
	LM2	MAJOR WHEELER HONEYSUCKLE	LONICERA SEMPERVIRENS 'MAJOR WHEELER'
<b>PERENNIALS</b>			
	CP	DWARF PLUMBAGO	CERATOSTIGMA PLUMBAGINOIDES
<b>GRASSES &amp; DESERT ACCENTS</b>			
	NM	BEAR GRASS	NOLINA MICROCARPA
	BB	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'
	HP3	BRAKELIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'BRAKELIGHTS'
	MR4	DEER GRASS	MUHLENBERGIA RIGENS
	AP2	PARRY AGAVE	AGAVE PARRYI
	HP2	RED YUCCA	HESPERALOE PARVIFLORA
<b>EXISTING TREE</b>			

**PLANTING KEYED NOTES LP102**

SYMBOL	CODE	DESCRIPTION
	P-01	FURNISH AND INSTALL 7/16" 'SANTA FE BROWN' ROCK MULCH, AT 4" DEPTH OVER FILTER FABRIC. AVAILABLE FROM BUILDOLGY, INC. (505-344-6626), OR APPROVED EQUAL.
	P-02	TURFGRASS SOD SHALL BE 'SIEMPRE VERDE TALL FESCUE' AS AVAILABLE FROM EVERGREEN TURF, 505-384-5247, OR APPROVED EQUAL. TOP OF SOD SHALL BE INSTALLED 1" BELOW TOP OF ADJACENT SURFACES.

**A1 PLANTING PLAN**  
SCALE: 1"=10'-0"



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	10/14/2025	
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**PLANTING PLAN**  
LP102



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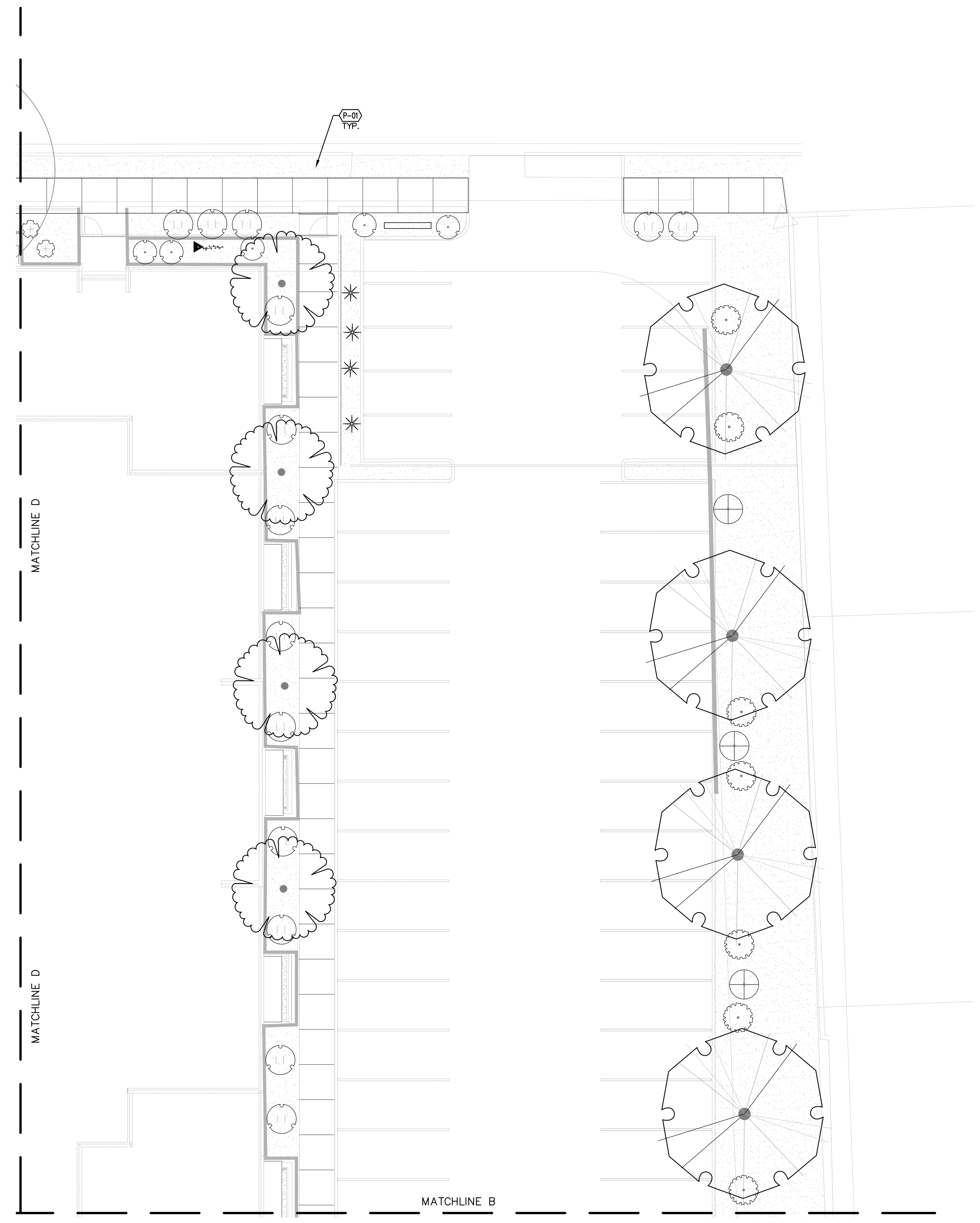
**Santa Fe Opera  
Apprentice Housing**  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505

PLANT SCHEDULE LP103

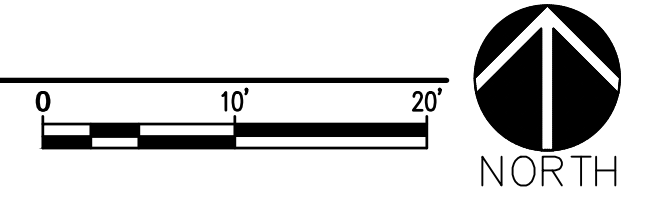
SYMBOL	CODE	COMMON NAME	BOTANICAL NAME
<b>TREES</b>			
	QI	TEXAS RED OAK	QUERCUS BUCKLEYI
<b>SMALL TREE/LARGE SHRUB</b>			
	CL	DESERT WILLOW 'LUCRETIA HAMILTON'	CHILOPSIS LINEARIS 'LUCRETIA HAMILTON'
<b>SHRUBS</b>			
	FP	APACHE PLUME	FALLUGIA PARADOXA
	SA	COMMON WHITE SNOWBERRY	SYMPHORICARPOS ALBUS
	CR	RUBBER RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
	PF	SHRUBBY CINQUEFOIL	POTENTILLA FRUTICOSA
<b>VINES</b>			
	AC	ANEMONE CLEMATIS	CLEMATIS MONTANA
<b>GRASSES &amp; DESERT ACCENTS</b>			
	MR4	DEER GRASS	MUHLENBERGIA RIGENS
	HP2	RED YUCCA	HESPERALOE PARVIFLORA

PLANTING KEYED NOTES LP103

SYMBOL	CODE	DESCRIPTION
	P-01	FURNISH AND INSTALL 7/16" 'SANTA FE BROWN' ROCK MULCH, AT 4" DEPTH OVER FILTER FABRIC. AVAILABLE FROM BUILDOLGY, INC. (505-344-6626), OR APPROVED EQUAL.



**A1** PLANTING PLAN  
SCALE: 1"=10'-0"



NO	DATE	DESCRIPTION
DATE:	10/14/2025	
PROJECT #:	25014	
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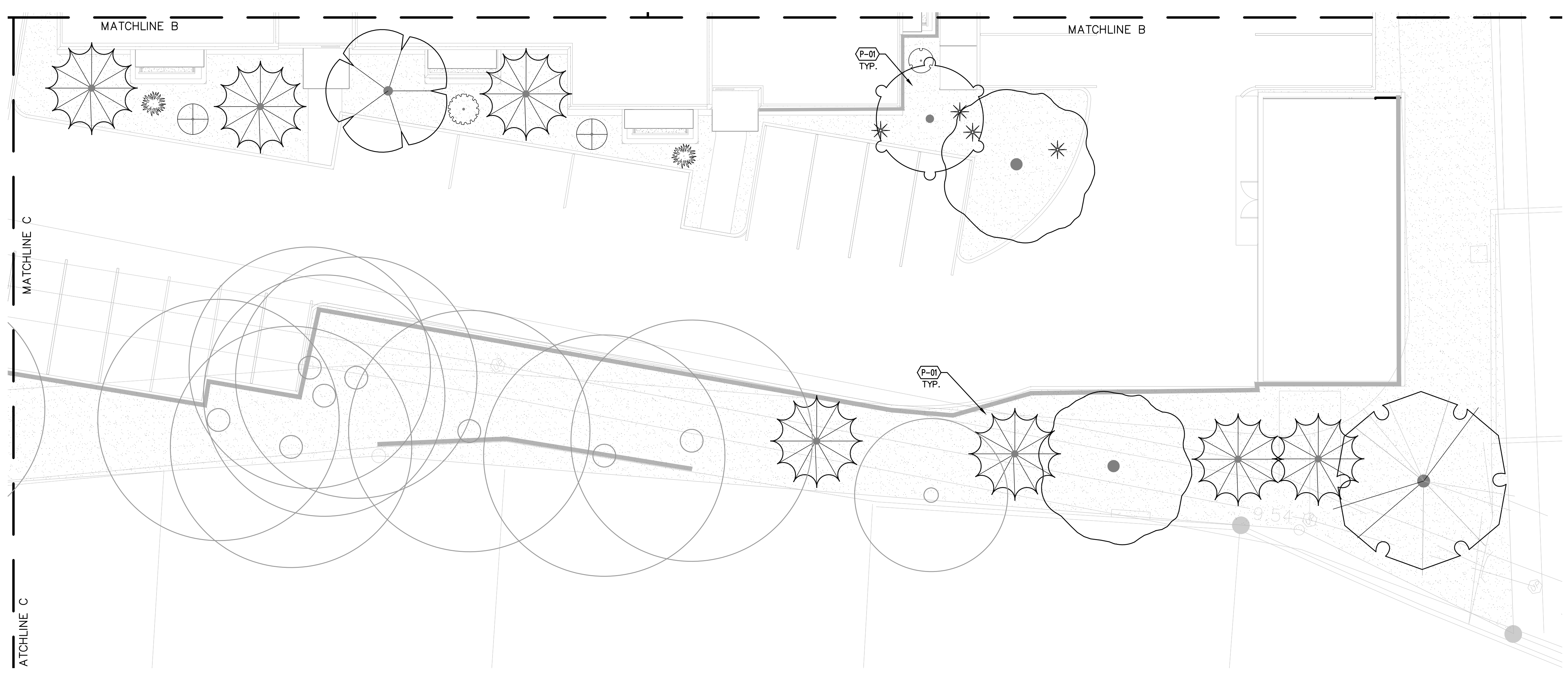
PLANTING PLAN  
LP10

PLANTING KEYED NOTES LP104

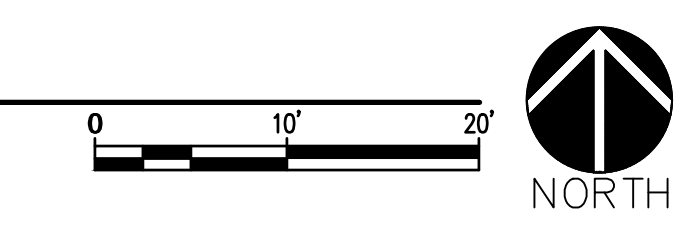
SYMBOL	CODE	DESCRIPTION
	P-01	FURNISH AND INSTALL 7/16" 'SANTA FE BROWN' ROCK MULCH, AT 4" DEPTH OVER FILTER FABRIC. AVAILABLE FROM BUILDLOGY, INC. (505-344-6626), OR APPROVED EQUAL.

PLANT SCHEDULE LP104

SYMBOL	CODE	COMMON NAME	BOTANICAL NAME
<b>TREES</b>			
	UR	EMERALD SUNSHINE ELM	ULMUS DAVIDIANA JAPONICA 'JFS-BIEBERICH' TM
	QI	TEXAS RED OAK	QUERCUS BUCKLEYI
<b>SMALL TREE/LARGE SHRUB</b>			
	AU2	ALLEGHENY SERVICEBERRY	AMELANCHIER UTAHENSIS
	ER2	EASTERN REDBUD	CERCIS CANADENSIS
	PP	ROCKY MOUNTAIN JUNIPER	JUNIPERUS SCOPULORUM
<b>SHRUBS</b>			
	FP	APACHE PLUME	FALLUGIA PARADOXA
	SA	COMMON WHITE SNOWBERRY	SYMPHORICARPOS ALBUS
	CR	RUBBER RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
<b>GRASSES &amp; DESERT ACCENTS</b>			
	NM	BEAR GRASS	NOLINA MICROCARPA
	HP2	RED YUCCA	HESPERALOE PARVIFLORA
<b>EXISTING TREE</b>			



**A1** PLANTING PLAN  
SCALE: 1"=10'-0"



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DATE:	10/14/2025	
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SHEET TITLE		

PLANTING PLAN

LP104



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CONSTRUCTION

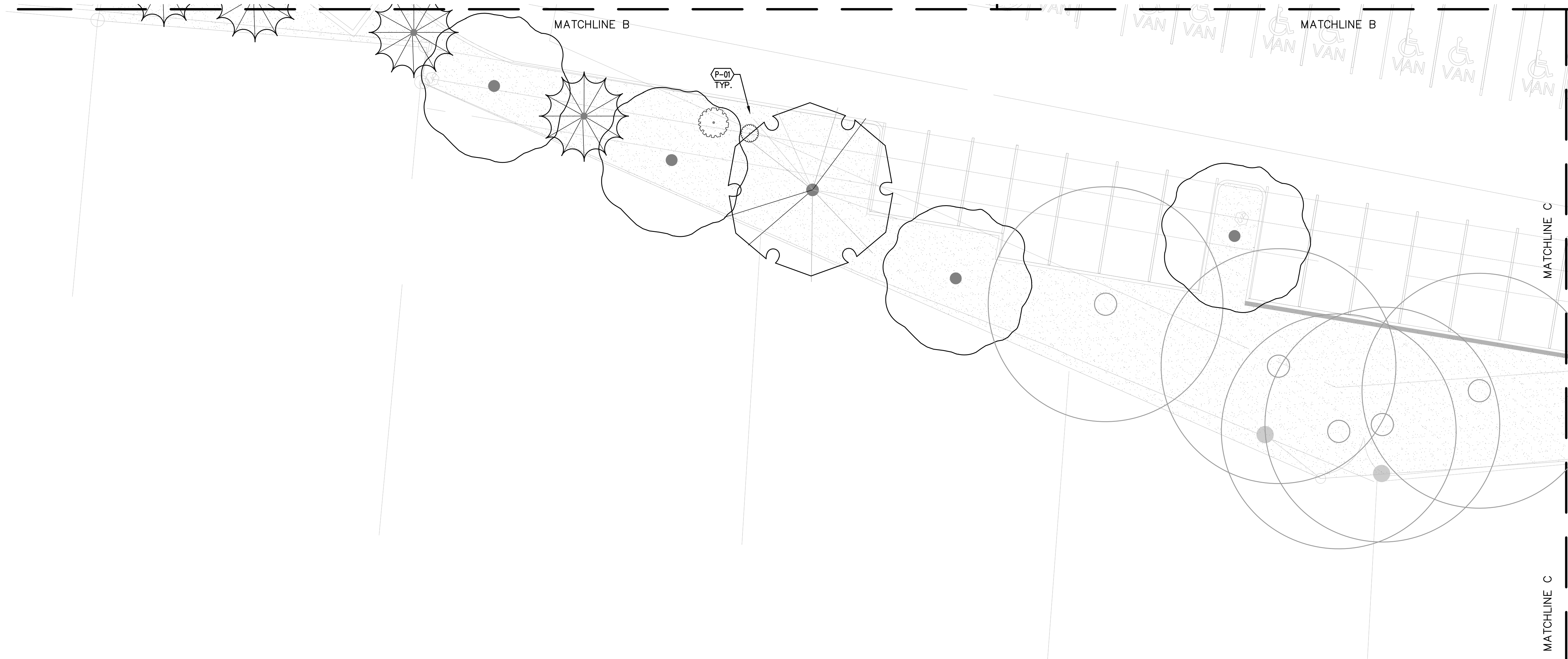
Santa Fe Opera  
Apprentice Housing  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505

PLANTING KEYED NOTES LP105

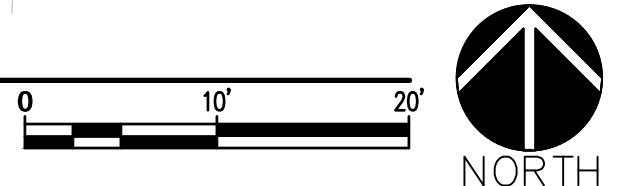
SYMBOL	CODE	DESCRIPTION
	P-01	FURNISH AND INSTALL 7/16" 'SANTA FE BROWN' ROCK MULCH, AT 4" DEPTH OVER FILTER FABRIC. AVAILABLE FROM BUILDLOGY, INC. (505-344-6626), OR APPROVED EQUAL.

PLANT SCHEDULE LP105

SYMBOL	CODE	COMMON NAME	BOTANICAL NAME
<b>TREES</b>			
	UR	EMERALD SUNSHINE ELM	ULMUS DAVIDIANA JAPONICA 'JFS-BIEBERICH' TM
	QI	TEXAS RED OAK	QUERCUS BUCKLEYI
<b>SMALL TREE/LARGE SHRUB</b>			
	PP	ROCKY MOUNTAIN JUNIPER	JUNIPERUS SCOPULORUM
<b>SHRUBS</b>			
	EV	MORMON TEA	EPHEDRA VIRIDIS
	CR	RUBBER RABBITBRUSH	CHRYSOETHAMNUS NAUSEOSUS
<b>EXISTING TREE</b>			



A1 PLANTING PLAN  
SCALE: 1"=10'-0"



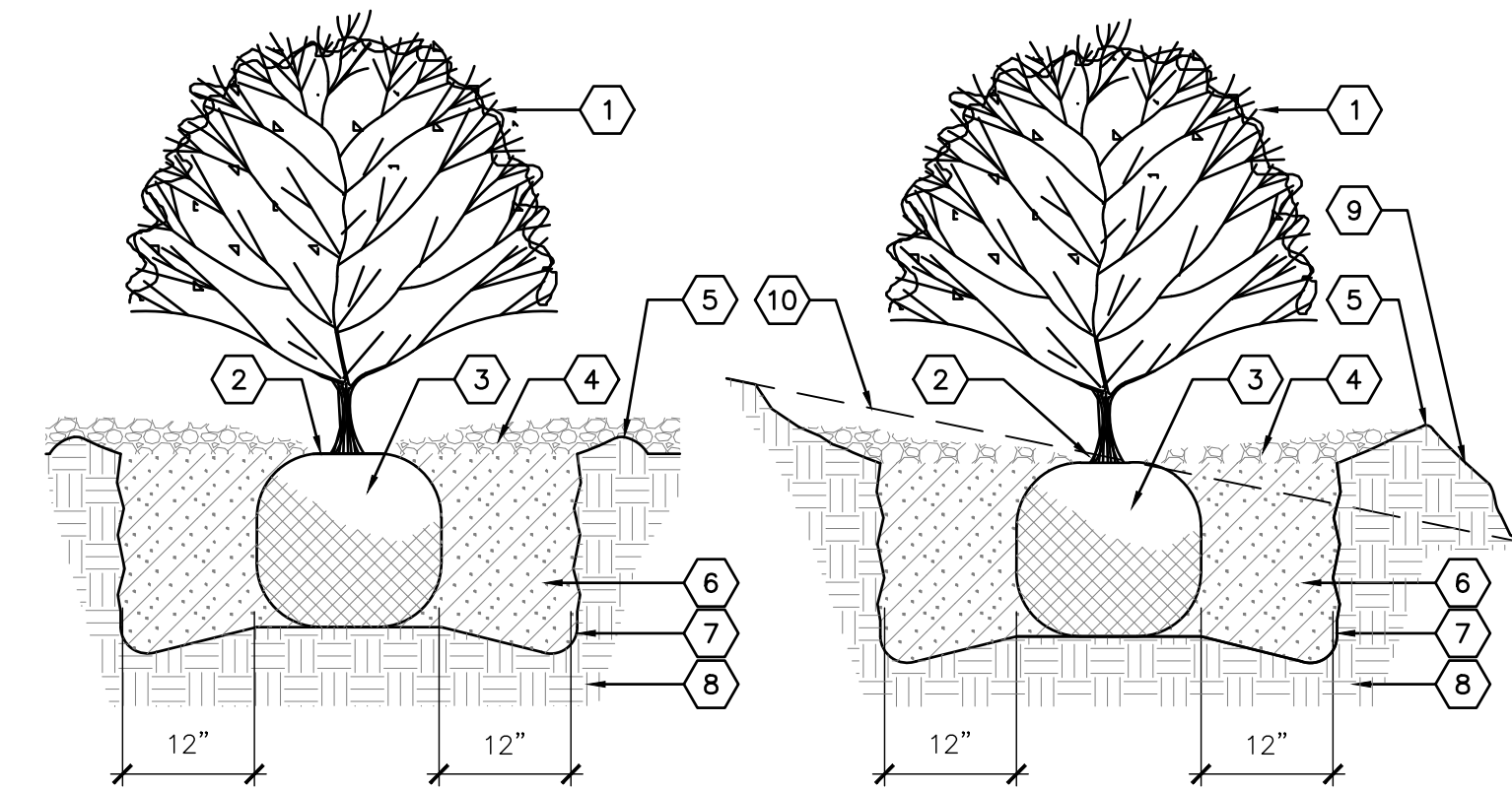
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	10/14/2025	
PROJECT #:		25014
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SHEET TITLE		

PLANTING  
PLAN  
LP105

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	CONTAINER	HT.	SPD.	INSTALLED SIZE	WATER USE
<b>TREES</b>										
	UR	7	EMERALD SUNSHINE ELM	ULMUS DAVIDIANA JAPONICA 'JFS-BIEBERICH' TM	DECIDUOUS	B&B	40'	25'	2" CAL.	L-M
	UP	4	LACEBARK ELM	ULMUS PARVIFOLIA	DECIDUOUS	B&B	35'	30'	2.5" CAL.	L-M
	SB	6	SENSATION BOX ELDER	ACER NEGUNDO 'SENSATION'	DECIDUOUS	B&B	30'	25'	2" CAL.	L-M
	QI	9	TEXAS RED OAK	QUERCUS BUCKLEYI	DECIDUOUS	B&B	35'	35'	2.5" CAL.	L-M
<b>SMALL TREE/LARGE SHRUB</b>										
	AU2	7	ALLEGHENY SERVICEBERRY	AMELANCHIER UTAHENSIS	NATIVE	5 GAL.	10'	10'	MIN. 18" SPD.	M
	CI	8	BLUE ICE ARIZONA CYPRESS	CUPRESSUS ARIZONICA GLABRA 'BLUE ICE'	EVERGREEN	24" BOX	25'	12'	2" CAL.	VL-L
	CL	7	DESERT WILLOW 'LUCRETIA HAMILTON'	CHILOPSIS LINEARIS 'LUCRETIA HAMILTON'	DECIDUOUS	24" BOX	15'-20'	15'-20'	2" CAL.	VL-L
	ER2	6	EASTERN REDBUD	CERCIS CANADENSIS	DECIDUOUS	24" BOX	25'	25'	2" CAL.	L-M
	FP2	2	NEW MEXICO OLIVE	FORESTIERA PUBESCENS	DECIDUOUS	24" BOX	15'	15'	2" CAL.	VL-L
	PP	12	ROCKY MOUNTAIN JUNIPER	JUNIPERUS SCOPULORUM	EVERGREEN	24" BOX	15'	15'	6'-8" HT.	L-M
<b>SHRUBS</b>										
	FP	11	APACHE PLUME	FALLUGIA PARADOXA	NATIVE	5 GAL.	6'	6'	MIN. 18" SPD.	VL-L
	SA	12	COMMON WHITE SNOWBERRY	SYMPHORICARPOS ALBUS	NATIVE	5 GAL.	4'	4'	MIN. 18" SPD.	L-M
	MR	6	CREEPING MAHONIA	MAHONIA REPENS	NATIVE/EVGN	5 GAL.	2'	4'	MIN. 12" HT.	VL-L
	RT	19	CREEPING THREE-LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'	NATIVE	5 GAL.	1'	6'	MIN. 18" HT.	L
	CN	7	DWARF RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS	NATIVE/EVGN	5 GAL.	3'	3'	MIN. 12" HT.	VL-L
	BF	2	FENDLER BARBERRY	BERBERIS FENDLERI	NATIVE	5 GAL.	6'	6'	MIN. 18" SPD.	L-M
	RG	6	GOLDEN CURRANT	RIBES AUREUM	NATIVE	5 GAL.	6'	6'	MIN. 18" HT.	L-M
	AU	14	KINKIKINICK	ARCTOSTAPHYLOS UVA-URSI	EVERGREEN	5 GAL.	6"	3'-6"	MIN. 6" SPD.	L-M
	EV	5	MORMON TEA	EPHEDRA VIRIDIS	NATIVE/EVGN	5 GAL.	3'	3'	MIN. 18" SPD.	VL-L
	CR	18	RUBBER RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS	NATIVE/EVGN	5 GAL.	5'	5'	MIN. 18" SPD.	VL-L
	PF	10	SHRUBBY CINQUEFOIL	POTENTILLA FRUTICOSA	DECIDUOUS	5 GAL.	2'	3'	MIN. 12" SPD.	L-M
	RW	9	WOODS' ROSE	ROSA WOODSII	NATIVE	5 GAL.	5'	5'	MIN. 18" SPD.	L-M
<b>VINES</b>										
	AC	7	ANEMONE CLEMATIS	CLEMATIS MONTANA	DECIDUOUS	5 GAL.	5'	5'	MIN 3' HT	L-M
	WS	1	CHINESE WISTERIA	WISTERIA SINENSIS	DECIDUOUS	5 GAL.	10'-40'	4'-30'	MIN 3' HT	L-M
	LM2	2	MAJOR WHEELER HONEYSUCKLE	LONICERA SEMPERVIRENS 'MAJOR WHEELER'	DECIDUOUS	5 GAL.	8'	12'	MIN 3' HT	L-M
<b>PERENNIALS</b>										
	CP	21	DWARF PLUMBAGO	CERATOSTIGMA PLUMBAGINOIDES	DECIDUOUS	3 GAL.	6"	1'-6"	MIN. 8" SPD.	L-M
<b>GRASSES &amp; DESERT ACCENTS</b>										
	NM	5	BEAR GRASS	NOLINA MICROCARPA	NATIVE/EVGN	3 GAL.	5'	5'	5 GAL.	VL-L
	BB	14	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	NATIVE	3 GAL.	3'	3'	MIN. 10" HT	L
	HP3	6	BRAKELIGHTS RED YUCCA	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	EVERGREEN	5 GAL.	3'	3'	MIN. 12" HT.	L-M
	MR4	23	DEER GRASS	MUHLENBERGIA RIGENS	NATIVE	5 GAL.	5'	5'	MIN. 18" SPD.	L-M
	AP2	5	PARRY AGAVE	AGAVE PARRYI	EVERGREEN	5 GAL.	3'	3'	MIN. 8" SPD.	VL-L
	HP2	45	RED YUCCA	HESPERALOE PARVIFLORA	EVERGREEN	3 GAL.	4'	4'	MIN. 12" HT.	L-M
	OX	4	WALK IN BEAUTY™ PRICKLY PEAR	OPUNTIA HYBRID 'WALK IN BEAUTY'	EVERGREEN	3 GAL.	1'	4'	MIN. 18" SPD.	VL-L

KEY  
 VL VERY LOW  
 L LOW  
 M MEDIUM



SHRUB PLANTING

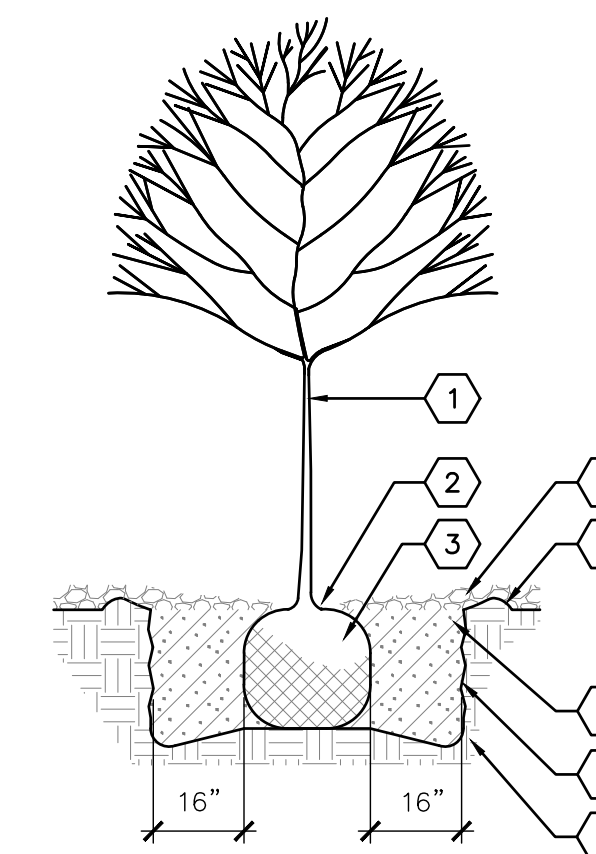
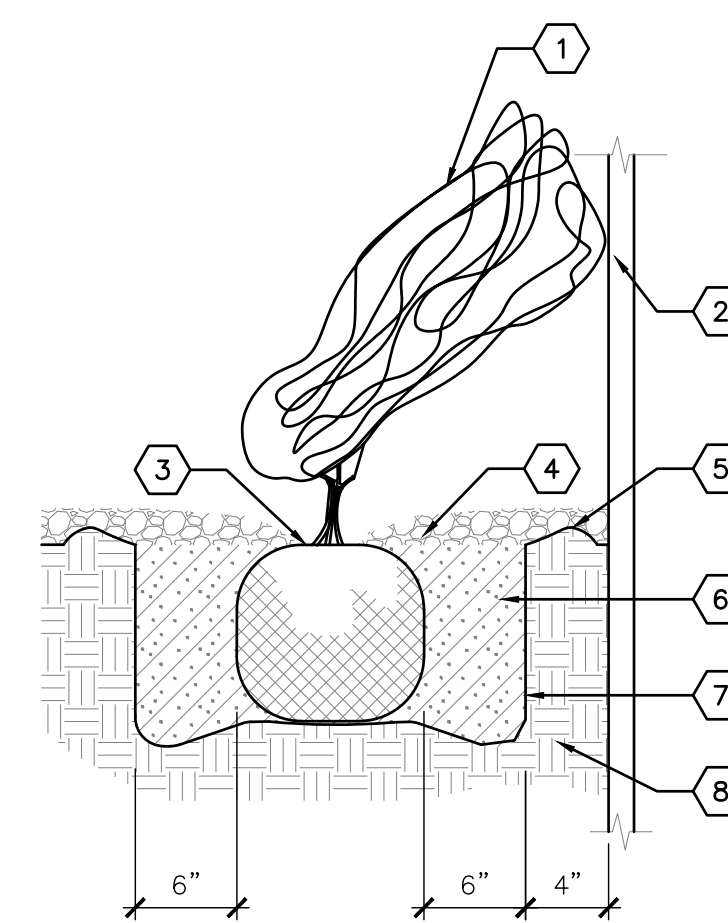
SHRUB PLANTING ON SLOPE

KEYED NOTES

1. SHRUB - SEE PLAN FOR SPECIES AND LOCATIONS
2. PLANT AT SAME DEPTH MAINTAINED AT NURSERY
3. PLACE SHRUB IN HOLE AND STRAIGHTEN.
4. MULCH - SEE PLAN. HOLD BACK 2" FROM SHRUB STEMS
5. COMPACTED EARTHEN BERM, 6" HEIGHT
6. BACKFILL AND SOIL AMENDMENTS - SEE SPECIFICATIONS. MIX THOROUGHLY PRIOR TO INSTALLATION
7. SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES
8. UNDISTURBED SUBGRADE
9. PROPOSED GRADE. SMOOTHLY TAPER SLOPE TO FORM SHRUB WELL
10. EXISTING GRADE

C5 SHRUB PLANTING

NOT TO SCALE



TREE PLANTING

TREE PLANTING ON SLOPE

KEYED NOTES

1. TREE - SEE PLAN FOR SPECIES AND LOCATIONS
2. REMOVE EXISTING SOIL FROM NURSERY AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE 2"-3" ABOVE GRADE
3. PLACE TREE IN HOLE AND STRAIGHTEN. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE AND/OR ROPE, AND BURLAP PRIOR TO BACKFILL
4. MULCH - SEE PLAN. HOLD BACK 4"-6" FROM TREE TRUNK
5. EARTHEN BERM, 6" HEIGHT
6. COMPACTED BACKFILL AND SOIL AMENDMENTS - SEE SPECIFICATIONS. MIX THOROUGHLY PRIOR TO INSTALLATION
7. SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES
8. UNDISTURBED SUBGRADE
9. PROPOSED GRADE. SMOOTHLY TAPER SLOPE TO FORM TREE WELL
10. EXISTING GRADE

A4 VINE PLANTING

NOT TO SCALE

A5 TREE PLANTING

NOT TO SCALE

NOT FOR CONSTRUCTION

Santa Fe Opera  
 Apprentice Housing  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505

NO	DATE	DESCRIPTION
DATE:	10/14/2025	
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SHEET TITLE

PLANTING  
 DETAILS

LP501



DEVELOPMENT PLAN

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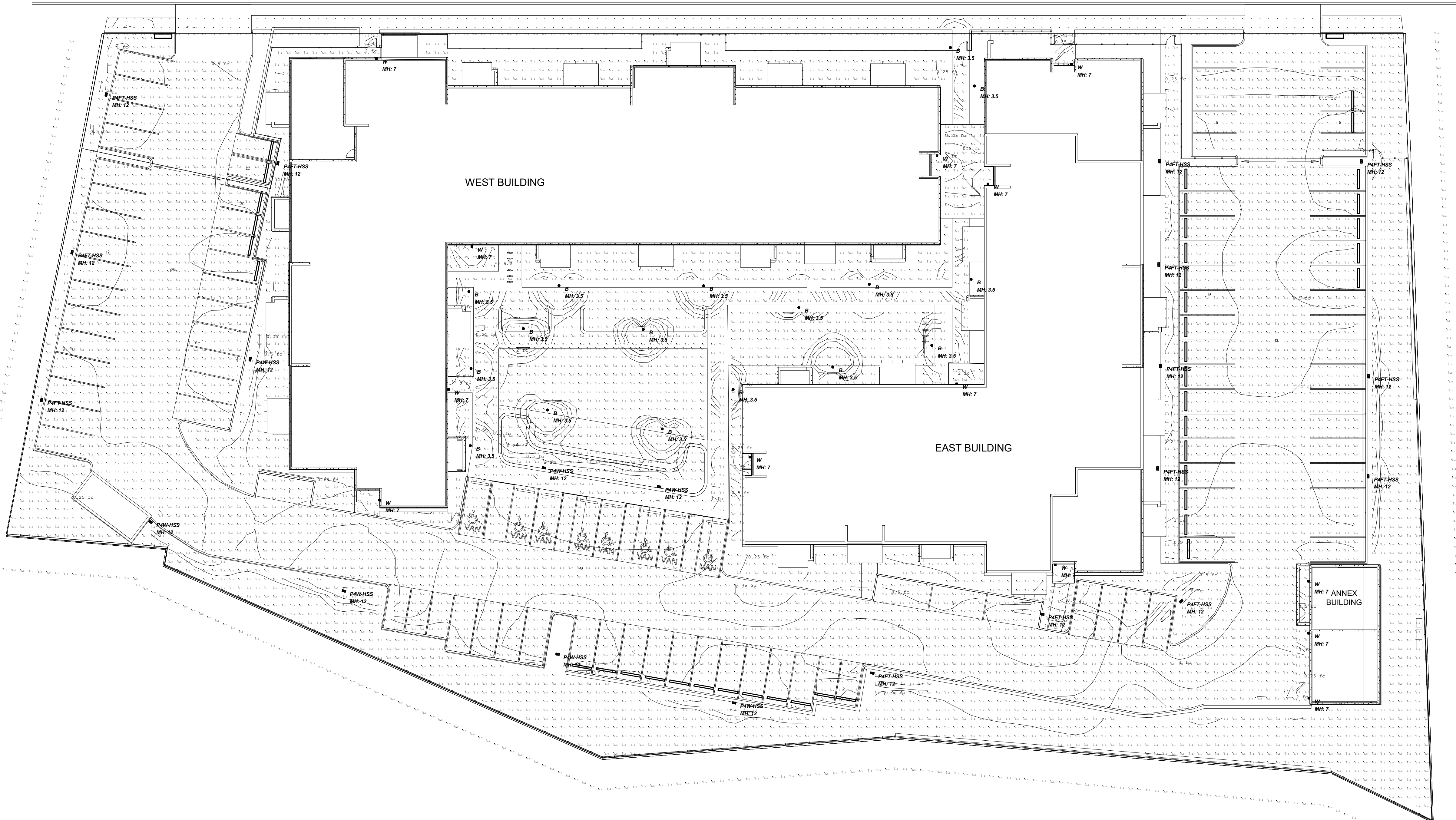
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Santa Fe Opera Apprentice Housing  
DEVELOPMENT PLAN  
214 Camino De Los Marquez, Santa Fe, NM 87505

LUMINAIRE SCHEDULE				Lum. Watts	Total Watts
SYMBOL	QUANTITY	TAG	Description		
⊙	17	B	Above All ZONE2-R-42H-25SP-SW-8 Lighted bollard, 42in OAH, dimmed.	15	255
□	14	P4FT-HSS	INVUE CCP-SA1B-730-U-T4FT-HSS Full cut off area light with 10ft pole on a 2ft pedstal; 12ft OAH. Includes back light shield.	24	336
□	7	P4W-HSS	INVUE CCP-SA1B-730-U-T4W-HSS Full cut off area light with 10ft pole on a 2ft pedstal; 12ft OAH. Includes back light shield.	24	168
⊠	13	W	Spitzer Celia CEL-WS-6A-14L-U-30K-GC Wall mounted area light at entrances.	29.6047	384.861

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTRANCE ANNEX	Illuminance	Fc	3.88	21.7	0.2	19.40	108.50
ENTRANCE EAST E BLDG	Illuminance	Fc	6.28	29.7	0.6	10.47	49.50
ENTRANCE NE	Illuminance	Fc	1.96	18.2	0.1	19.60	182.00
ENTRANCE NORTHEAST E BLDG	Illuminance	Fc	3.33	23.1	0.2	16.65	115.50
ENTRANCE NORTHWEST W BLDG	Illuminance	Fc	2.97	12.1	0.3	9.90	40.33
ENTRANCE NW COURYARD	Illuminance	Fc	3.39	20.3	0.5	6.78	40.60
ENTRANCE SE EAST BLDG	Illuminance	Fc	2.17	10.6	0.4	5.43	26.50
ENTRANCE SE EAST BLDG COURTYARD	Illuminance	Fc	4.04	13.9	0.6	6.73	23.17
ENTRANCE SOUTHWEST W BLDG	Illuminance	Fc	6.55	22.5	1.2	5.46	18.75
ENTRANCE SW W BLDG	Illuminance	Fc	4.75	18.9	1.1	4.32	17.18
GROUNDS AT PERIMETER W, S & E	Illuminance	Fc	0.22	2.5	0.0	N.A.	N.A.
GROUNDS E BLDG COURTYARD	Illuminance	Fc	0.91	22.1	0.0	N.A.	N.A.
GROUNDS NORTH W BLDG	Illuminance	Fc	0.02	0.4	0.0	N.A.	N.A.
GROUNDS SOUTH E BLDG	Illuminance	Fc	0.48	2.6	0.0	N.A.	N.A.
GROUNDS SOUTH W BLDG	Illuminance	Fc	0.40	0.9	0.1	4.00	9.00
GROUNDS W BLDG COURTYARD	Illuminance	Fc	0.24	4.2	0.0	N.A.	N.A.
GROUNDS WEST W BLDG	Illuminance	Fc	0.47	2.4	0.0	N.A.	N.A.
N SIDEWALK PUBLIC SIDE	Illuminance	Fc	0.05	1.1	0.0	N.A.	N.A.
PARKING	Illuminance	Fc	0.88	2.4	0.0	N.A.	N.A.
PEDESTRIAN AREA EAST SIDE	Illuminance	Fc	1.49	2.4	0.0	N.A.	N.A.
PEDESTRIAN AREA INTERIOR COURTYA	Illuminance	Fc	1.89	29.1	0.0	N.A.	N.A.
PROPERTY LINE NORTH	Illuminance	Fc	0.11	3.0	0.0	N.A.	N.A.
PUBLIC SPACE INTERIOR COURTYARD	Illuminance	Fc	0.63	19.0	0.0	N.A.	N.A.
ZONE 10FT OFF PROJECT BOUNDARY	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.

CAMINO DE LOS MARQUEZ



A1 SITE LIGHTING PHOTOMETRICS  
1" = 20'-0"

NO	DATE	DESCRIPTION
	10/14/25	
PROJECT #:	Project Number	
DRAWN BY:	WB	
CHECKED BY:	JCA	

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SHEET TITLE  
SITE LIGHTING PHOTOMETRIC PLAN

SL1





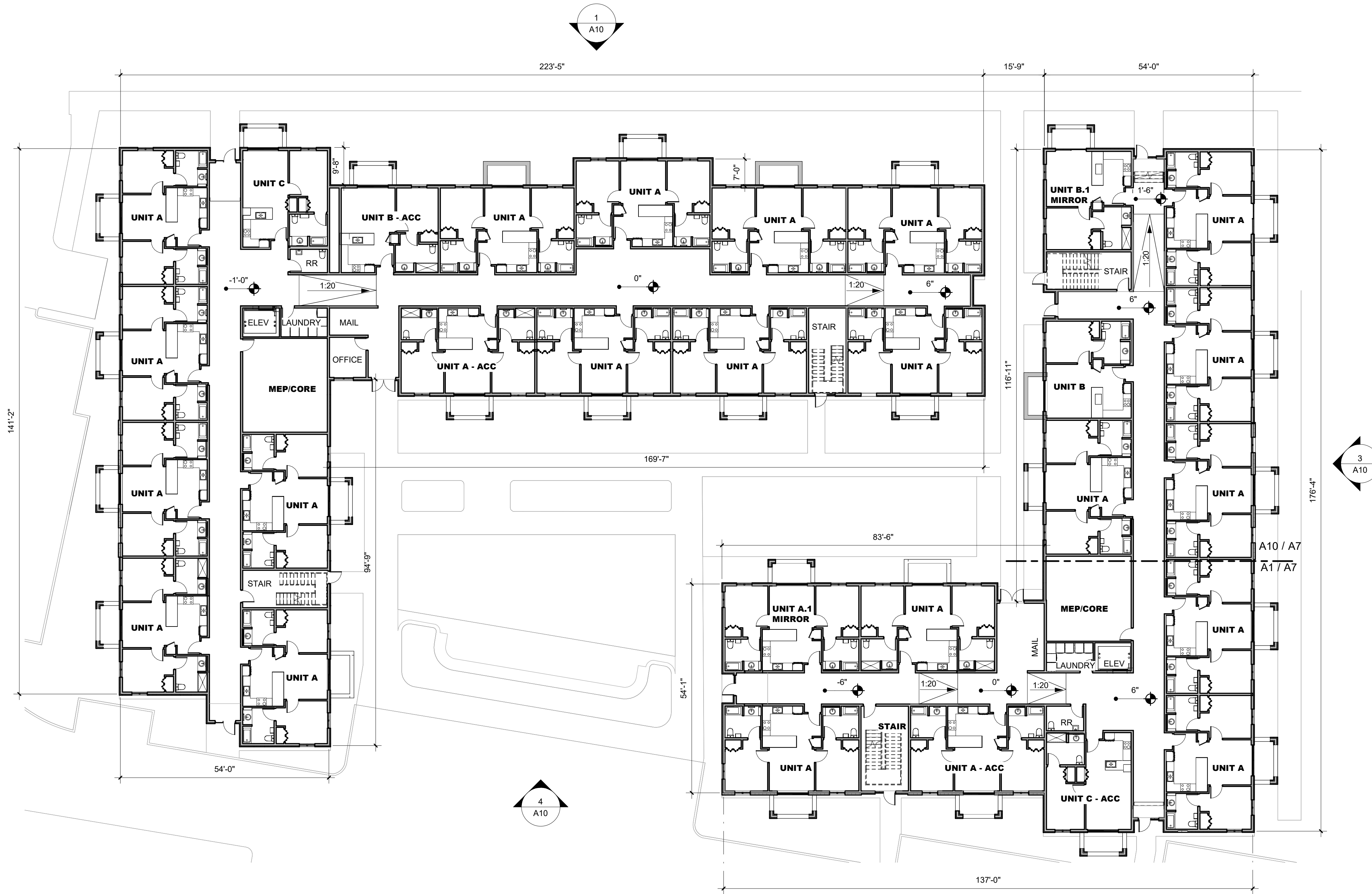
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2. ALL DIMENSIONS ARE TO FACE OF STUD OR GRIDLINE UNLESS NOTED OTHERWISE.

DEVELOPMENT PLAN

NOT FOR CONSTRUCTION

**Santa Fe Opera**  
**Apprentice Housing**  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505



**UNIT COUNT**

Level 1 Total			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	22
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	2
UNIT B	1 BEDROOM/1 BATH	567 SF	2
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	1
UNIT C	1 BEDROOM/1 BATH	550 SF	1
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	1
<b>Level 1 Total</b>			<b>29</b>

East Building Level 1			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	9
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	1
UNIT B	1 BEDROOM/1 BATH	567 SF	2
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	0
UNIT C	1 BEDROOM/1 BATH	550 SF	0
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	1
<b>East Building Level 1</b>			<b>13</b>

West Building Level 1			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	13
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	1
UNIT B	1 BEDROOM/1 BATH	567 SF	0
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	1
UNIT C	1 BEDROOM/1 BATH	550 SF	1
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	0
<b>West Building Level 1</b>			<b>16</b>

NO	DATE	DESCRIPTION
DATE:	2025-10-14	
PROJECT #:	25014	
DRAWN BY:	DA	
CHECKED BY:	KM	

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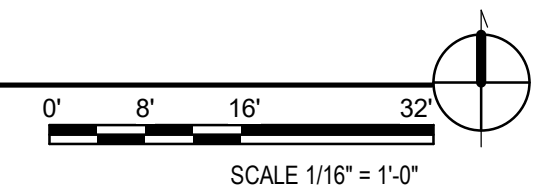
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SHEET TITLE

**OVERALL FLOOR PLAN - LEVEL 1**

**A1**

**A1 FLOOR PLAN - LEVEL 1 OVERALL**  
1/16" = 1'-0"





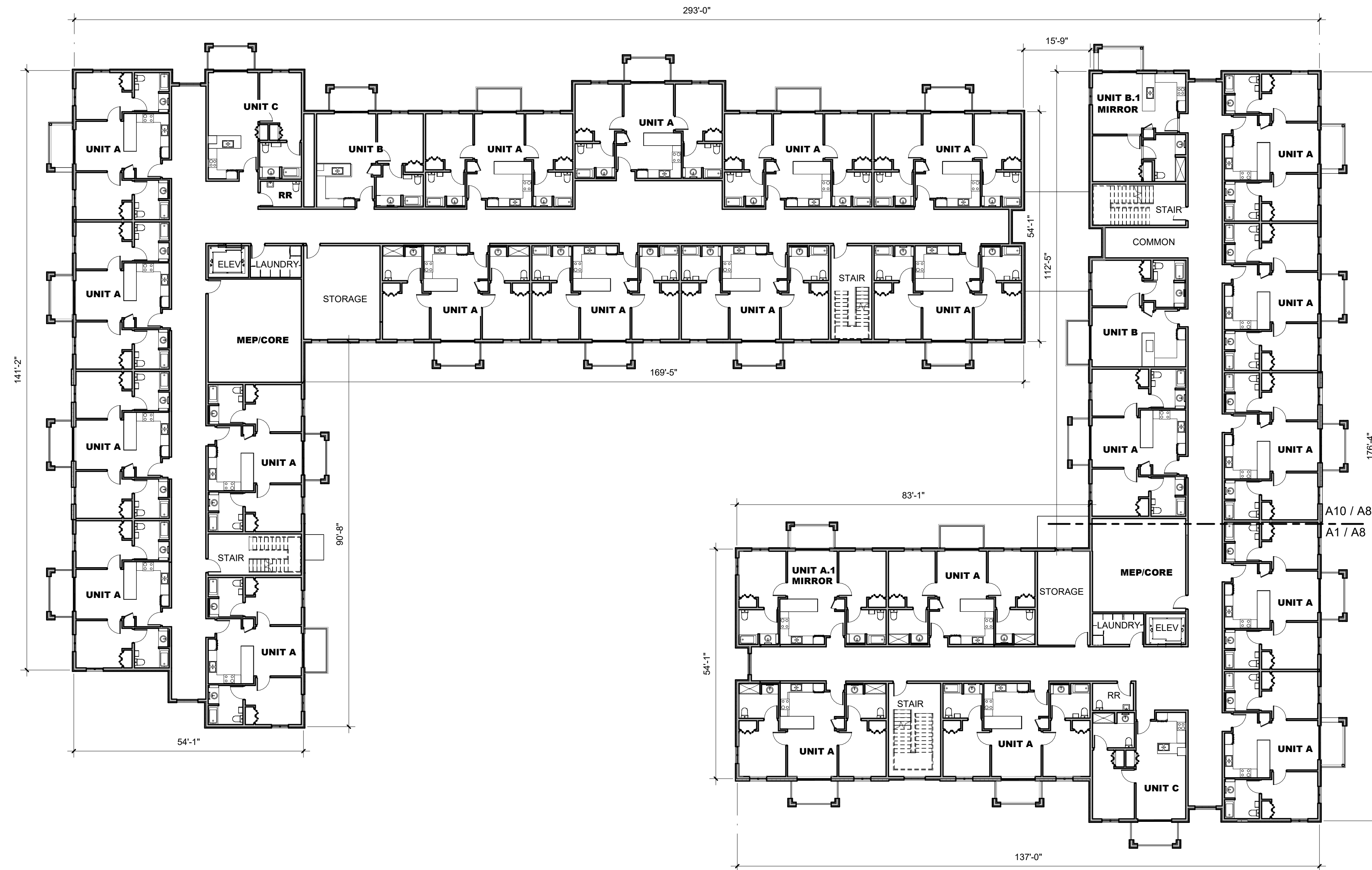
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DEVELOPMENT PLAN

NOT FOR CONSTRUCTION

**Santa Fe Opera**  
**Apprentice Housing**  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505



**UNIT COUNT**

Level 2 Total			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	24
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	0
UNIT B	1 BEDROOM/1 BATH	567 SF	3
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	0
UNIT C	1 BEDROOM/1 BATH	550 SF	2
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	0
<b>Level 2 Total</b>			<b>29</b>

East Building Level 2			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	10
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	0
UNIT B	1 BEDROOM/1 BATH	567 SF	2
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	0
UNIT C	1 BEDROOM/1 BATH	550 SF	1
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	0
<b>East Building Level 2</b>			<b>13</b>

West Building Level 2			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	14
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	0
UNIT B	1 BEDROOM/1 BATH	567 SF	1
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	0
UNIT C	1 BEDROOM/1 BATH	550 SF	1
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	0
<b>West Building Level 2</b>			<b>16</b>

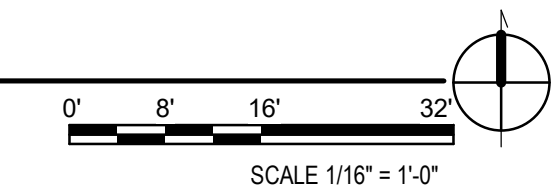
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OVERALL FLOOR PLAN - LEVEL 2

A2

**A1 FLOOR PLAN - LEVEL 2 - OVERALL**  
1/16" = 1'-0"



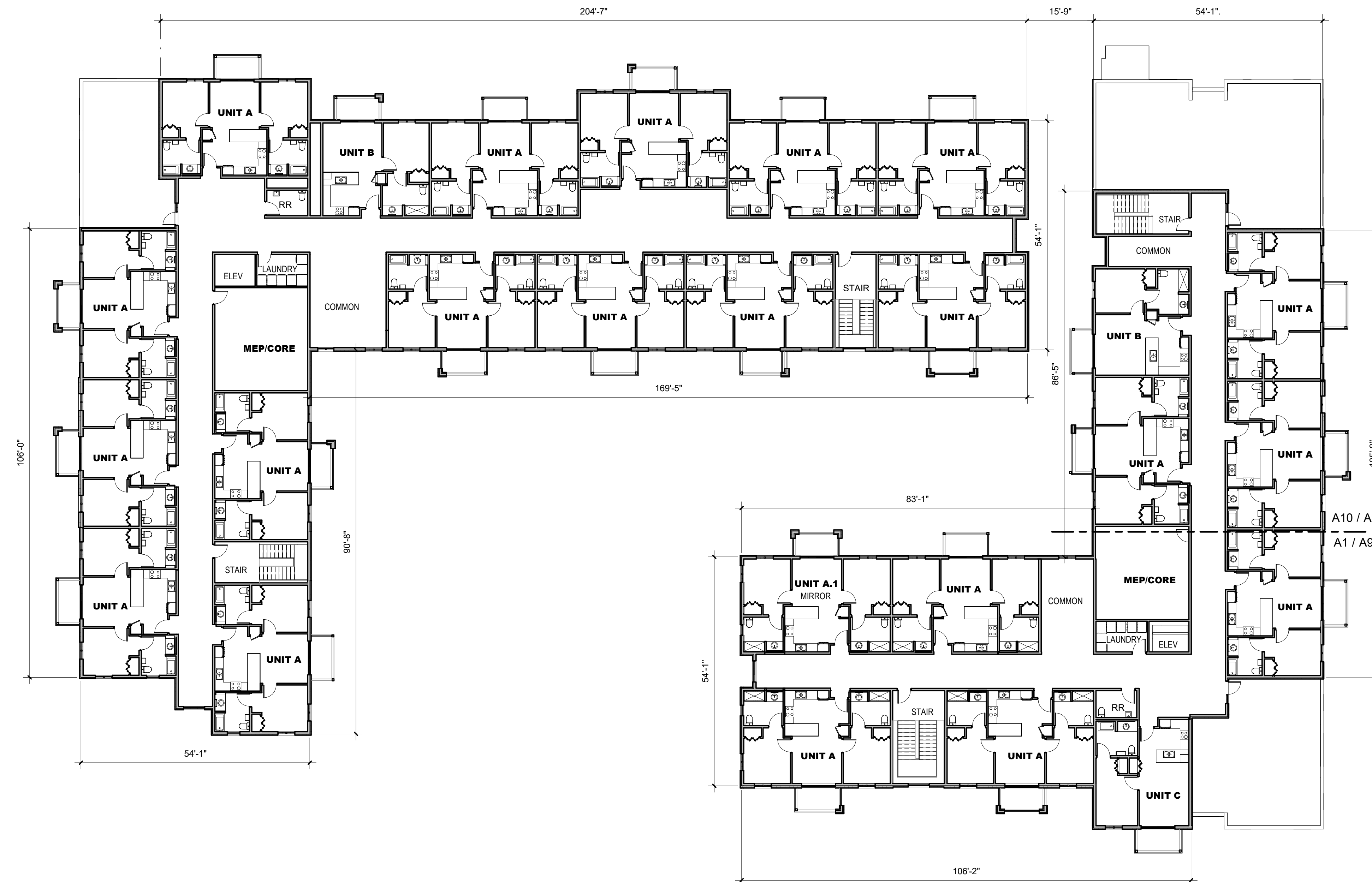


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DEVELOPMENT PLAN

NOT FOR CONSTRUCTION



**UNIT COUNT**

Level 3 Total			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	22
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	0
UNIT B	1 BEDROOM/1 BATH	567 SF	2
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	0
UNIT C	1 BEDROOM/1 BATH	550 SF	1
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	0
<b>Level 3 Total</b>			<b>25</b>

East Building Level 3			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	8
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	0
UNIT B	1 BEDROOM/1 BATH	567 SF	1
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	0
UNIT C	1 BEDROOM/1 BATH	550 SF	1
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	0
<b>East Building Level 3</b>			<b>10</b>

West Building Level 3			
Unit Name	Description	Size	Quantity
UNIT A	2 BEDROOM/2 BATH	787 SF	14
UNIT A - ACC	2 BEDROOM/2 BATH	787 SF	0
UNIT B	1 BEDROOM/1 BATH	567 SF	1
UNIT B - ACC	1 BEDROOM/1 BATH	567 SF	0
UNIT C	1 BEDROOM/1 BATH	550 SF	0
UNIT C - ACC	1 BEDROOM/1 BATH	550 SF	0
<b>West Building Level 3</b>			<b>15</b>

**Santa Fe Opera**  
**Apprentice Housing**  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505

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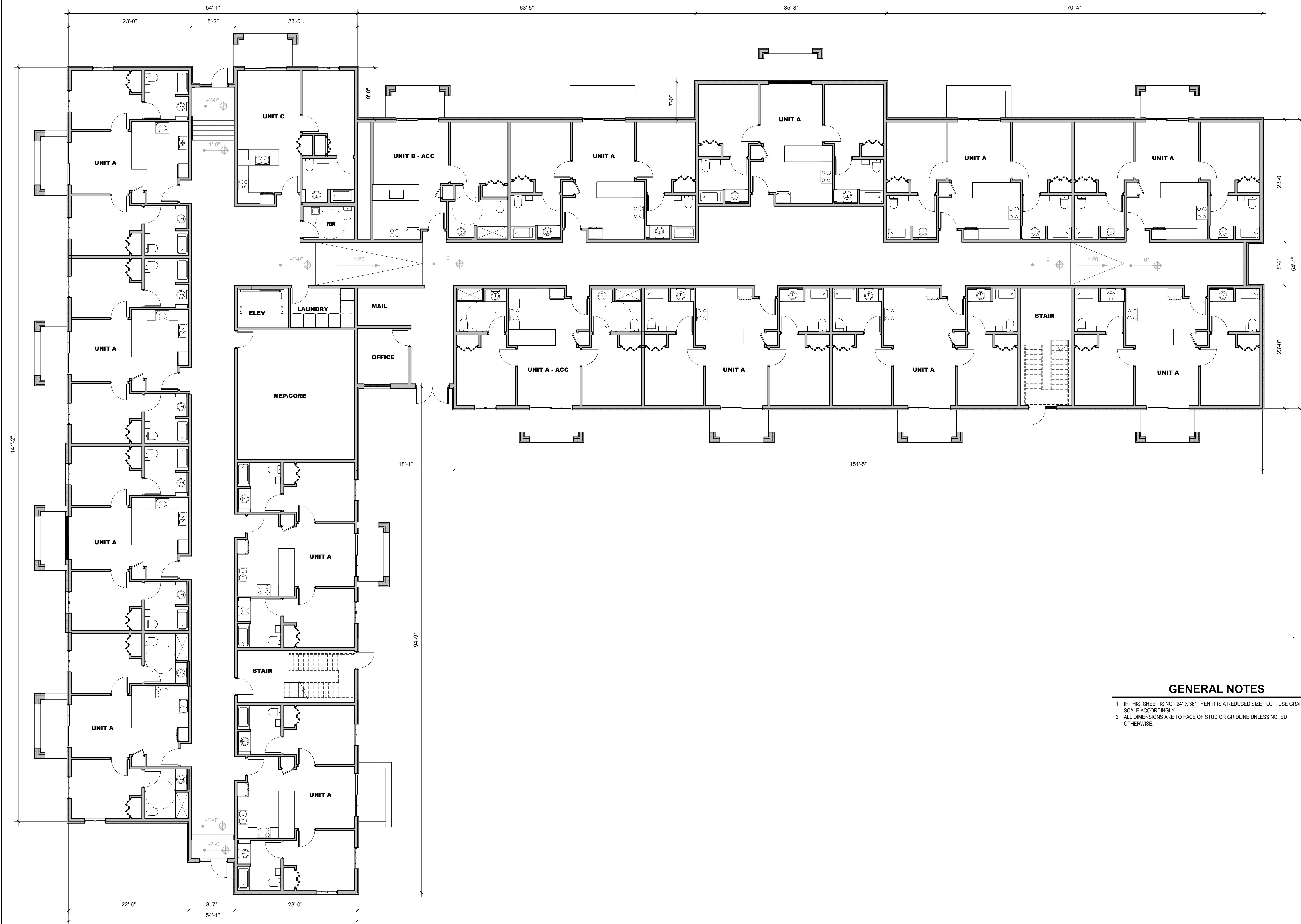
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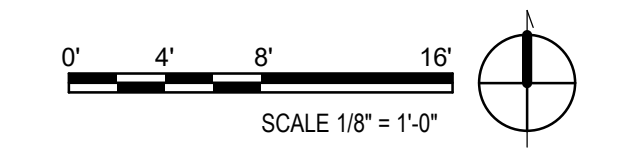
OVERALL FLOOR PLAN - LEVEL 3

A3





**A1 WEST BLDG FLOOR PLAN - LEVEL 1**  
 1/8" = 1'-0"



**GENERAL NOTES**

1. IF THIS SHEET IS NOT 24" X 36" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
2. ALL DIMENSIONS ARE TO FACE OF STUD OR GRIDLINE UNLESS NOTED OTHERWISE.



**DEVELOPMENT PLAN**  
 NOT FOR CONSTRUCTION

**Santa Fe Opera  
 Apprentice Housing**  
 DEVELOPMENT PLAN  
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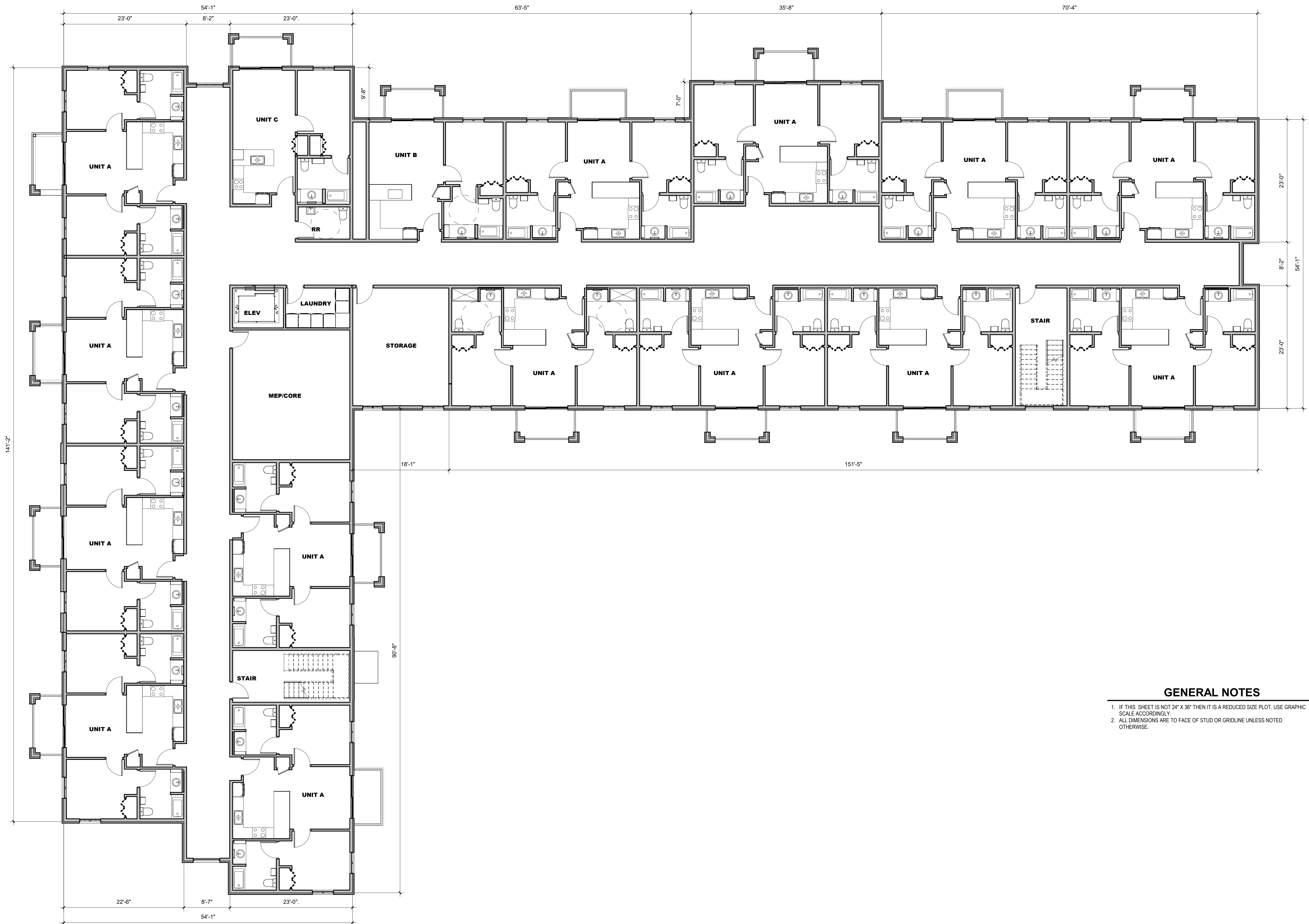
**FLOOR PLAN  
 WEST - LEVEL 1**

**A4**



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DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505



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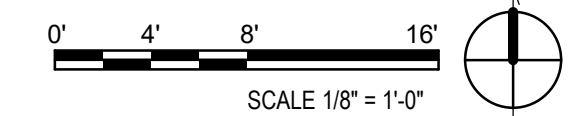
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SHEET TITLE

FLOOR PLAN  
WEST - LEVEL 2

A5

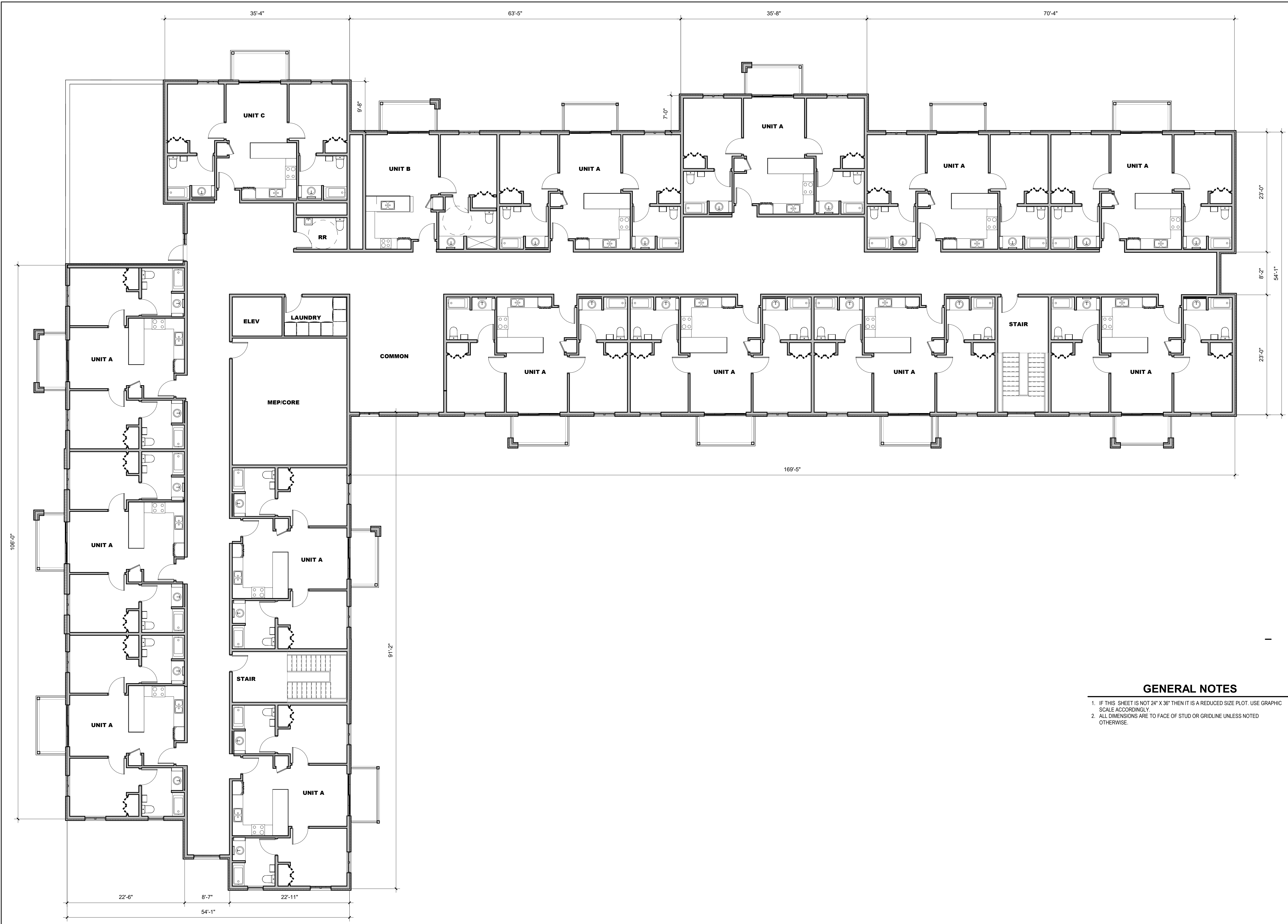
**A1 WEST BLDG FLOOR PLAN - LEVEL 2**  
1/8" = 1'-0"





DEVELOPMENT PLAN  
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**Santa Fe Opera  
Apprentice Housing**  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505



**GENERAL NOTES**

1. IF THIS SHEET IS NOT 24" X 36" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
2. ALL DIMENSIONS ARE TO FACE OF STUD OR GRIDLINE UNLESS NOTED OTHERWISE.

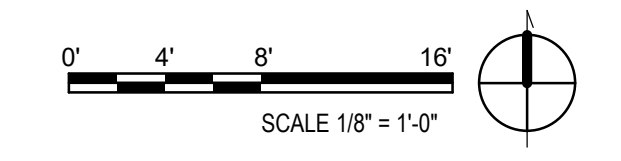
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SHEET TITLE

FLOOR PLAN  
WEST - LEVEL 3

**A1 WEST BLDG FLOOR PLAN - LEVEL 3**  
1/8" = 1'-0"



**A6**

**GENERAL NOTES**

1. IF THIS SHEET IS NOT 24" X 36" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
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DEVELOPMENT PLAN

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**Santa Fe Opera  
Apprentice Housing**  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505

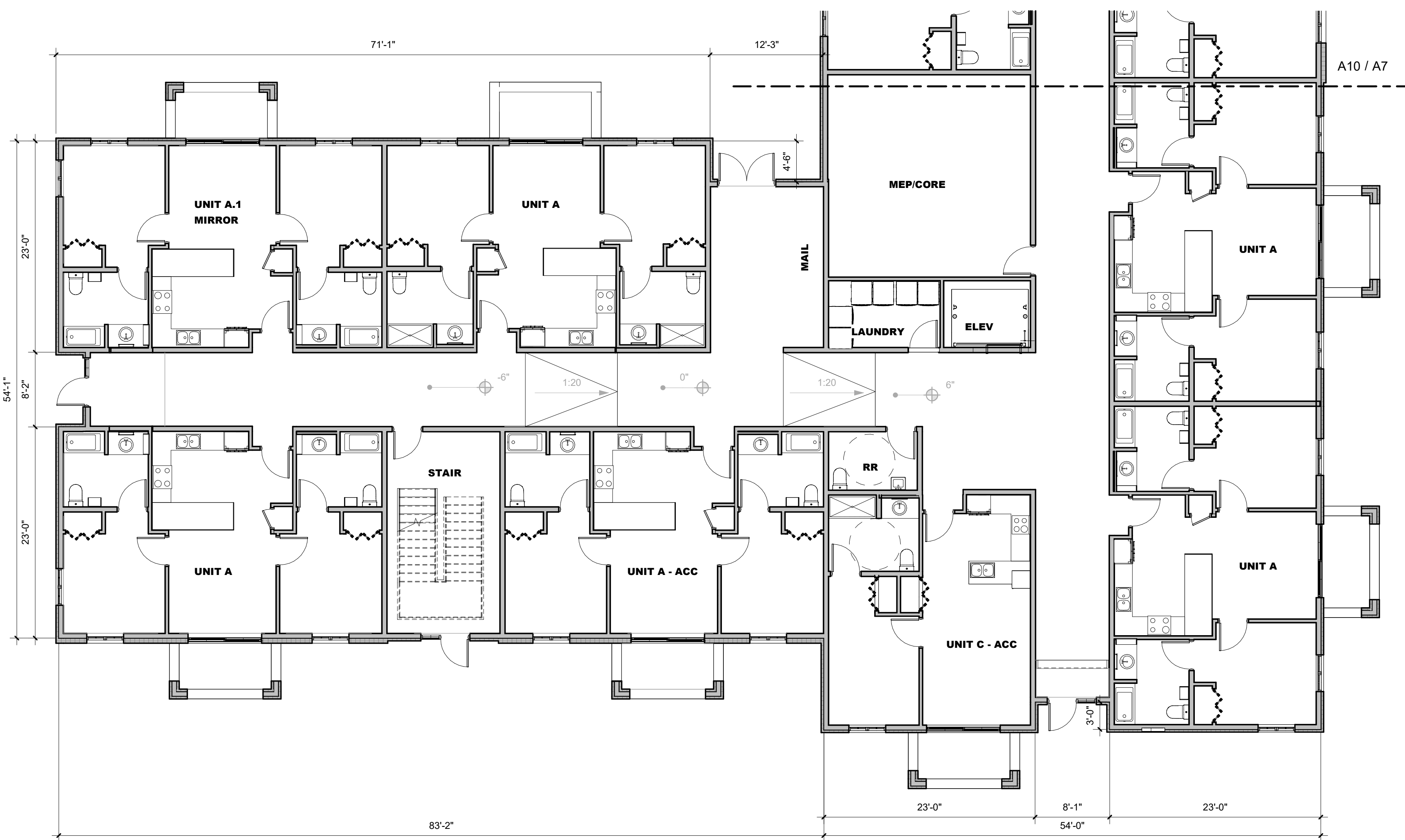
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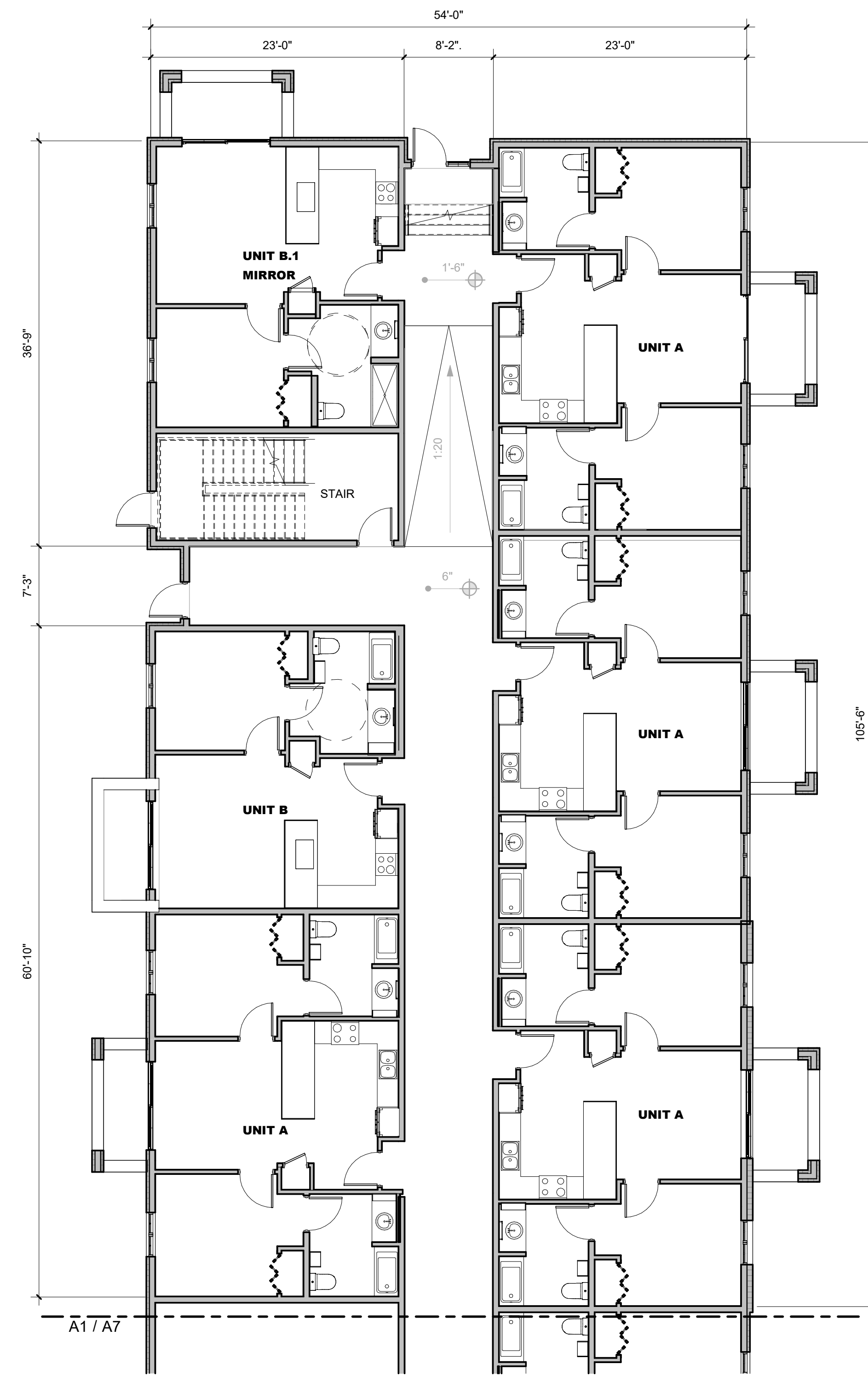
FLOOR PLAN  
EAST - LEVEL 1

**A7**



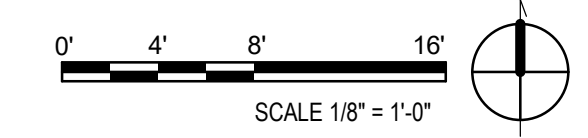
**A1 EAST BUILDING FLOOR PLAN - SOUTH AREA - LEVEL 1**

1/8" = 1'-0"



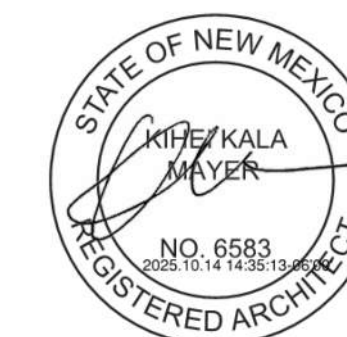
**A10 EAST BLDG FLOOR PLAN - NORTH AREA - LEVEL 1**

1/8" = 1'-0"



**GENERAL NOTES**

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2. ALL DIMENSIONS ARE TO FACE OF STUD OR GRIDLINE UNLESS NOTED OTHERWISE.



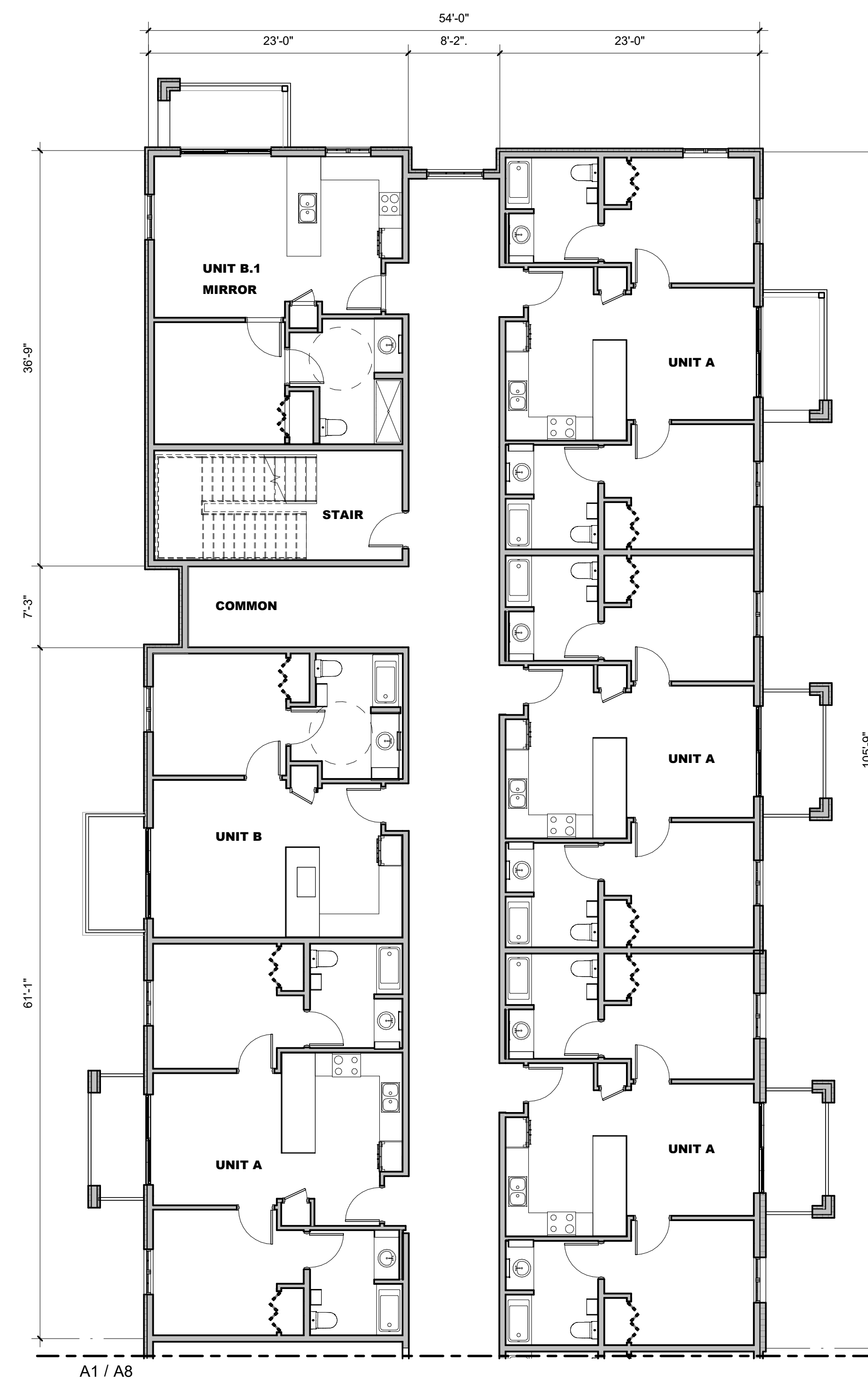
DEVELOPMENT PLAN

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Apprentice Housing**  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505



**A1 EAST BLDG FLOOR PLAN - SOUTH AREA - LEVEL 2**  
1/8" = 1'-0"



**A10 EAST BLDG FLOOR PLAN - NORTH AREA - LEVEL 2**  
1/8" = 1'-0"



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SHEET TITLE

**FLOOR PLAN  
EAST - LEVEL 2**

**A8**

**GENERAL NOTES**

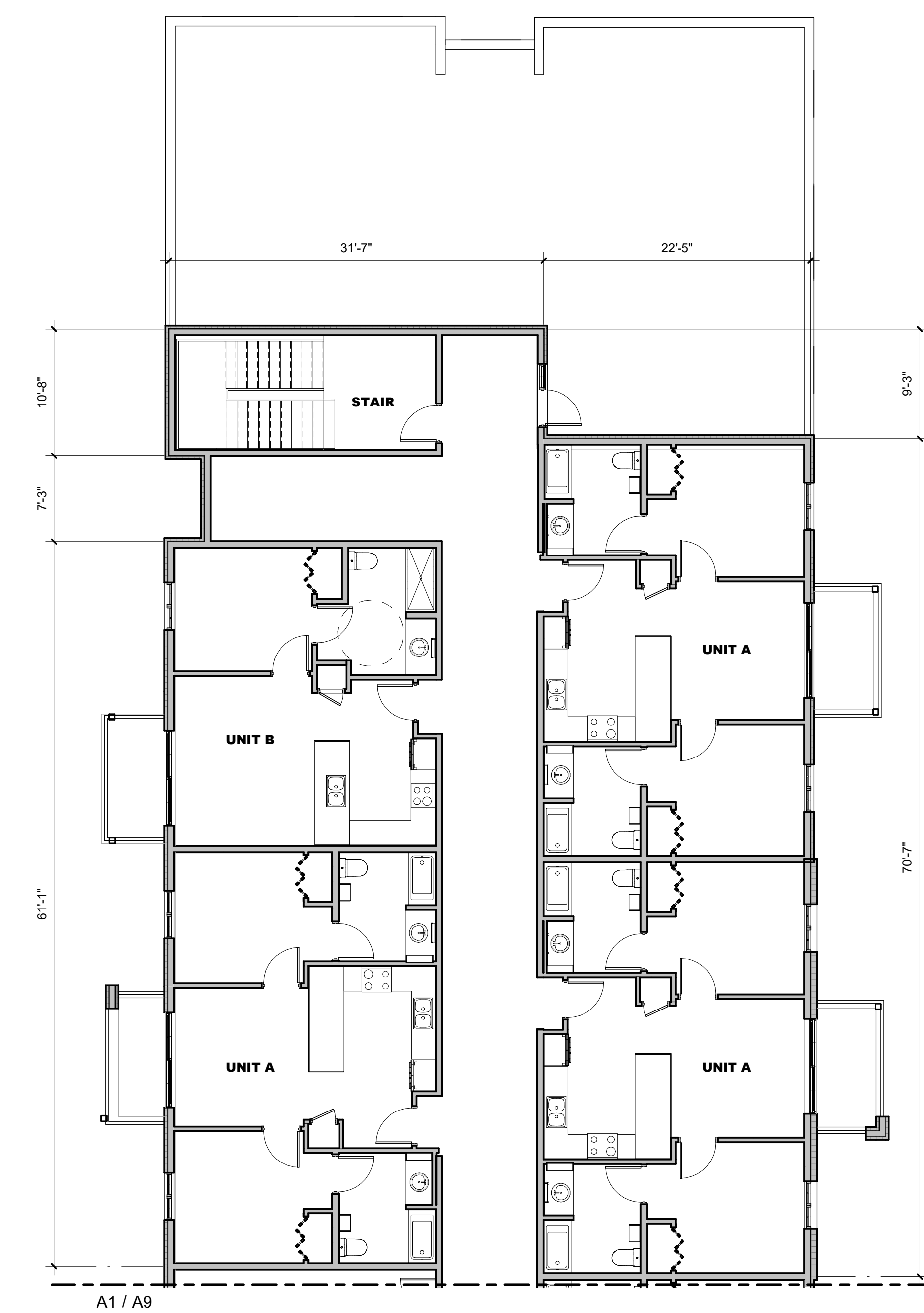
1. IF THIS SHEET IS NOT 24" X 36" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
2. ALL DIMENSIONS ARE TO FACE OF STUD OR GRIDLINE UNLESS NOTED OTHERWISE.



DEVELOPMENT  
PLAN

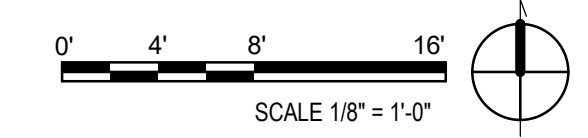
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**Santa Fe Opera  
Apprentice Housing**  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505



**A1 EAST BLDG FLOOR PLAN - SOUTH AREA - LEVEL 3**  
1/8" = 1'-0"

**A10 EAST BLDG FLOOR PLAN - NORTH AREA - LEVEL 3**  
1/8" = 1'-0"



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SHEET TITLE

**FLOOR PLAN  
EAST - LEVEL 3**

**A9**



**GENERAL NOTES**

1. IF THIS SHEET IS NOT 24" X 36" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
2. INSTALL CONTROL JOINTS WHERE GYPSUM BOARD EXTENDS UNINTERRUPTED MORE THAN 30 FEET IN ANY DIRECTION.

DEVELOPMENT PLAN

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**Santa Fe Opera  
Apprentice Housing**  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505



**OVERALL WEST ELEVATION**

1" = 20'-0"



**OVERALL EAST ELEVATION**

1" = 20'-0"

**MATERIALS LEGEND**

- STUCCO, COLOR: TIERRA
- METAL, COLOR: AGED BRONZE



**OVERALL NORTH ELEVATION FROM CAMINO DE LOS MARQUEZ**

1" = 20'-0"



**OVERALL SOUTH ELEVATION**

1" = 20'-0"

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SHEET TITLE  
**OVERALL EXTERIOR ELEVATIONS**

**A10**



**GENERAL NOTES**

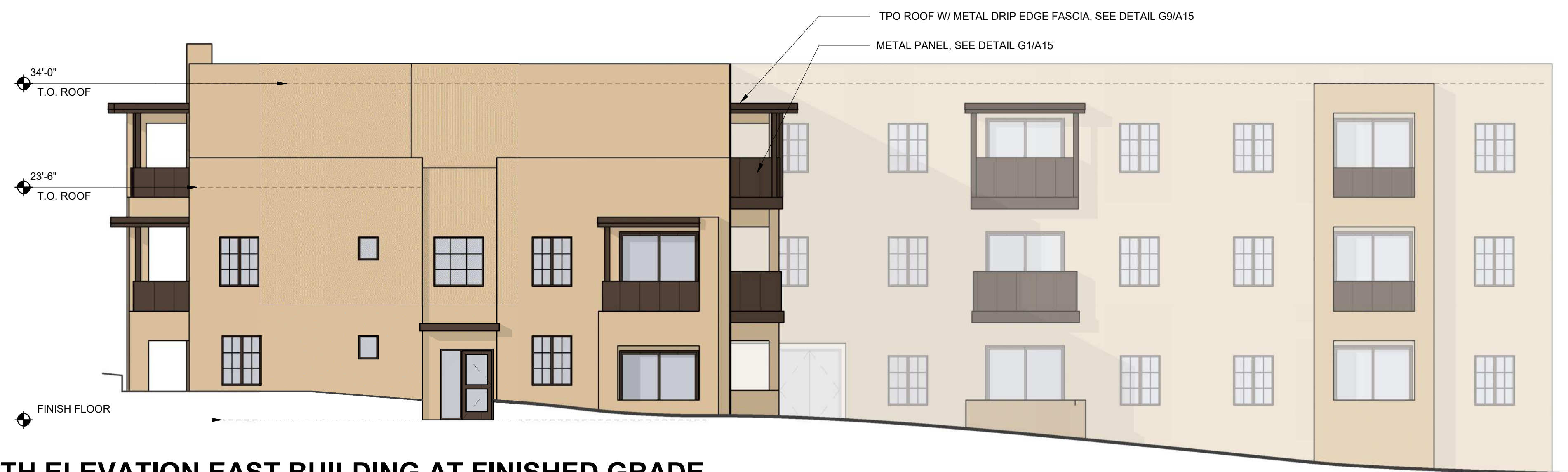
1. IF THIS SHEET IS NOT 24" X 36" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
2. INSTALL CONTROL JOINTS WHERE GYPSUM BOARD EXTENDS UNINTERRUPTED MORE THAN 30 FEET IN ANY DIRECTION.

**MATERIALS LEGEND**

- STUCCO, COLOR: TIERRA
- METAL, COLOR: AGED BRONZE

**BUILDING FAÇADE AREAS - NORTH**

TIERRA STUCCO	5394 SF
TOTAL STUCCO AREA	5394 SF
TOTAL STUCCO AREA	5394 SF
TOTAL OPENING AREA	2940 SF
TOTAL FAÇADE AREA	8334 SF
TOTAL % OPENING AREA	35%
TOTAL % STUCCO AREA	65%



**NORTH ELEVATION EAST BUILDING AT FINISHED GRADE**

1/8" = 1'-0"



**NORTH ELEVATION WEST BUILDING AT FINISHED GRADE**

1/8" = 1'-0"

DEVELOPMENT PLAN

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**Santa Fe Opera  
Apprentice Housing**  
 DEVELOPMENT PLAN  
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SHEET TITLE

**NORTH  
EXTERIOR  
ELEVATIONS**

**A11**



**GENERAL NOTES**

- IF THIS SHEET IS NOT 24" X 36" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
- INSTALL CONTROL JOINTS WHERE GYPSUM BOARD EXTENDS UNINTERRUPTED MORE THAN 30 FEET IN ANY DIRECTION.

**MATERIALS LEGEND**

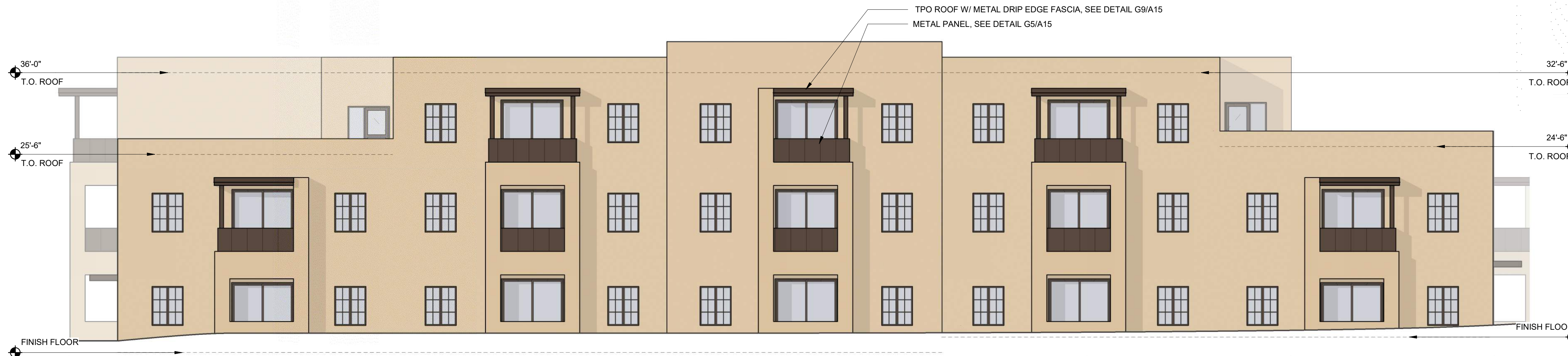
- STUCCO, COLOR: TIERRA
- METAL, COLOR: AGED BRONZE

**BUILDING FAÇADE AREAS - EAST**

TIERRA STUCCO	0 SF
TOTAL STUCCO AREA	6923 SF
TOTAL STUCCO AREA	6923 SF
TOTAL OPENING AREA	1464 SF
TOTAL FAÇADE AREA	8387 SF
TOTAL % OPENING AREA	17%
TOTAL % STUCCO AREA	83%

**BUILDING FAÇADE AREAS - WEST**

TIERRA STUCCO	7450 SF
TOTAL STUCCO AREA	7450 SF
TOTAL STUCCO AREA	7450 SF
TOTAL OPENING AREA	1245 SF
TOTAL FAÇADE AREA	8695 SF
TOTAL % OPENING AREA	14%
TOTAL % STUCCO AREA	86%



**EAST ELEVATION EAST BUILDING AT FINISHED GRADE**

1/8" = 1'-0"



**WEST ELEVATION WEST BUILDING AT FINISHED GRADE**

1/8" = 1'-0"

**DEVELOPMENT PLAN**

NOT FOR CONSTRUCTION

**Santa Fe Opera**  
**Apprentice Housing**  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505

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SHEET TITLE

**EAST - WEST EXTERIOR ELEVATIONS**



**GENERAL NOTES**

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2. INSTALL CONTROL JOINTS WHERE GYPSUM BOARD EXTENDS UNINTERRUPTED MORE THAN 30 FEET IN ANY DIRECTION.

**MATERIALS LEGEND**

- STUCCO, COLOR: TIERRA
- METAL, COLOR: AGED BRONZE

**BUILDING FAÇADE AREAS - SOUTH**

TIERRA STUCCO	13406 SF
TOTAL STUCCO AREA	13406 SF
TOTAL STUCCO AREA	13406 SF
TOTAL OPENING AREA	2861 SF
TOTAL FAÇADE AREA	16267 SF
TOTAL % OPENING AREA	18%
TOTAL % STUCCO AREA	82%



**SOUTH ELEVATION EAST BUILDING AT FINISHED GRADE**

1/8" = 1'-0"



**SOUTH ELEVATION WEST BUILDING AT FINISHED GRADE**

1/8" = 1'-0"

**DEVELOPMENT PLAN**

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Apprentice Housing**  
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SHEET TITLE

**SOUTH  
EXTERIOR  
ELEVATIONS**

**A13**



**GENERAL NOTES**

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2. INSTALL CONTROL JOINTS WHERE GYPSUM BOARD EXTENDS UNINTERRUPTED MORE THAN 30 FEET IN ANY DIRECTION.

**MATERIALS LEGEND**

- STUCCO, COLOR: TIERRA
- METAL, COLOR: AGED BRONZE

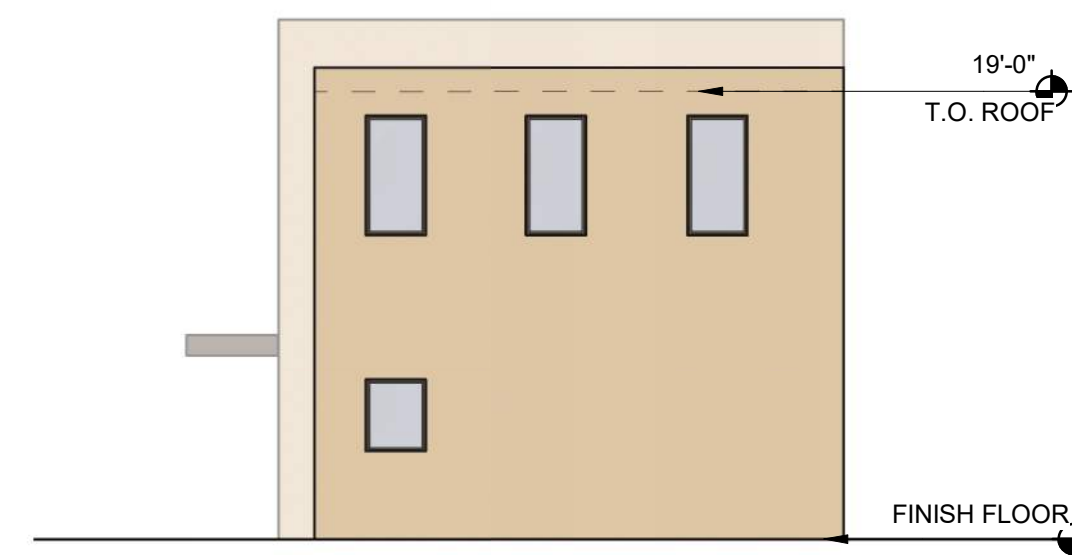
**BUILDING FAÇADE AREAS - ANNEX**

TIERRA STUCCO	774 SF
TOTAL STUCCO AREA	774 SF
TOTAL STUCCO AREA	774 SF
TOTAL OPENING AREA	391 SF
TOTAL FAÇADE AREA	1165 SF
TOTAL % OPENING AREA	34%
TOTAL % STUCCO AREA	66%



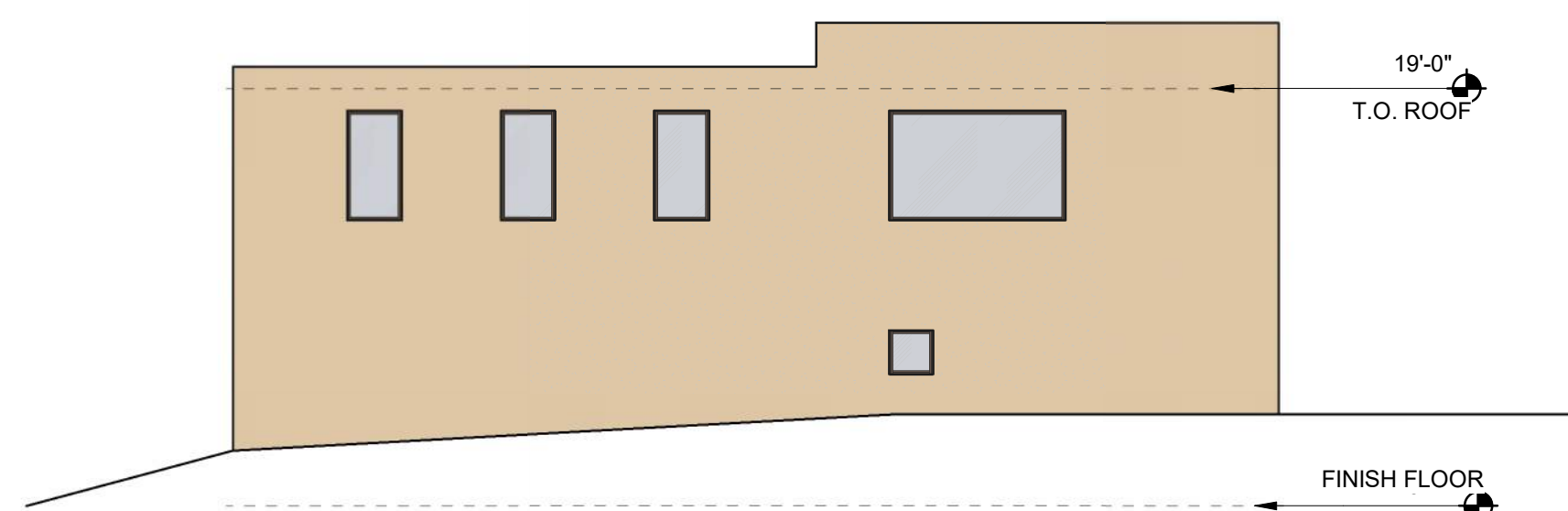
**ANNEX WEST ELEVATION**

1/8" = 1'-0"



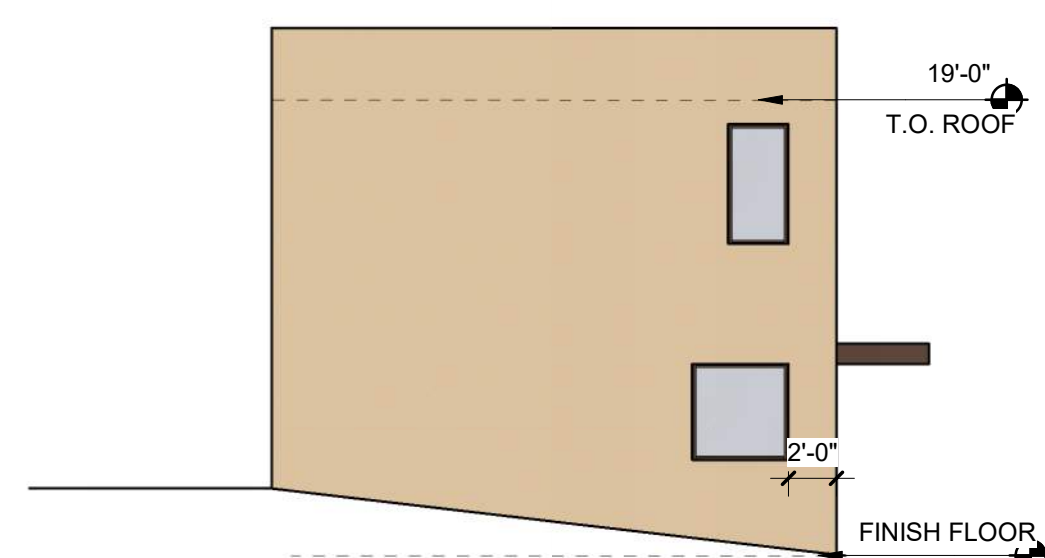
**ANNEX SOUTH ELEVATION**

1/8" = 1'-0"



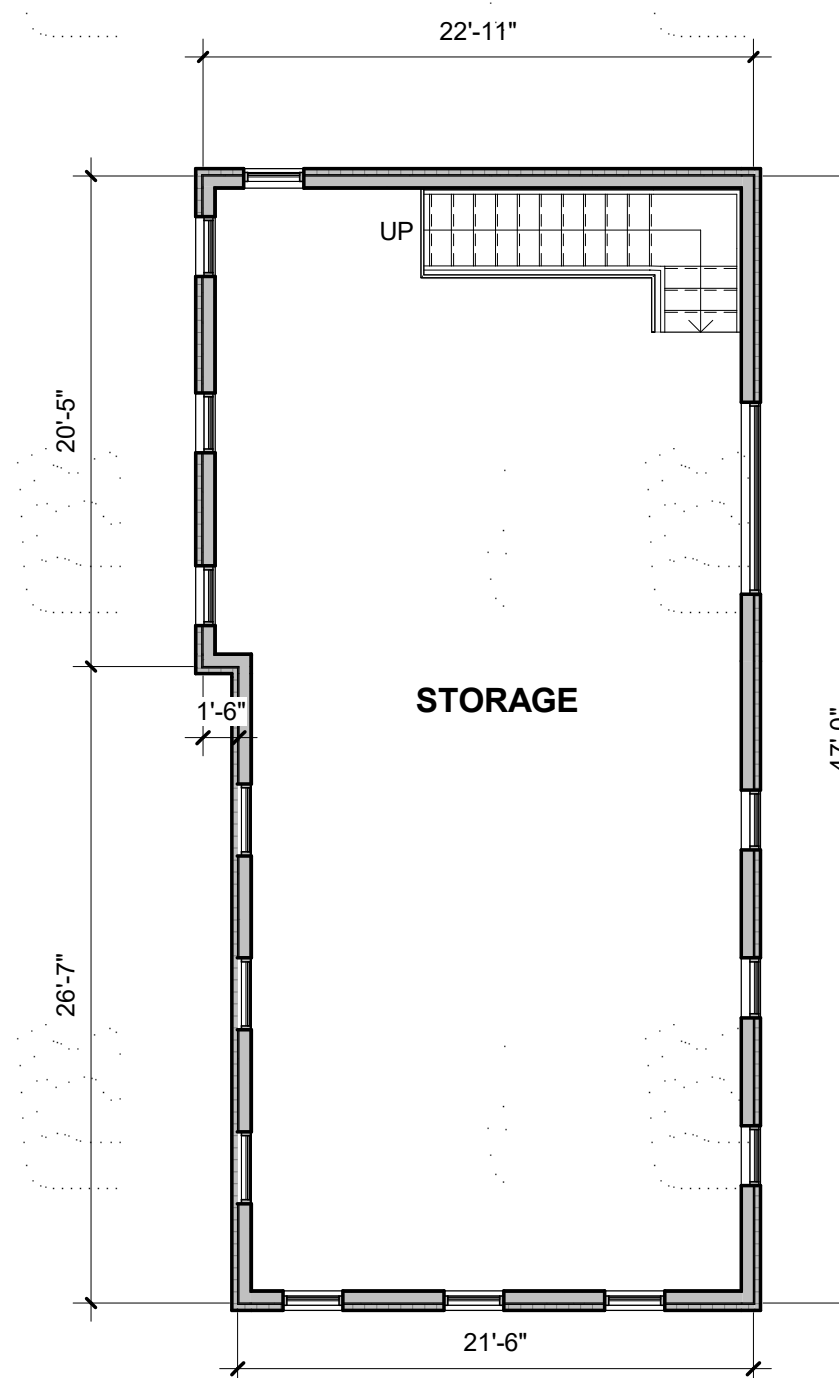
**ANNEX EAST ELEVATION**

1/8" = 1'-0"



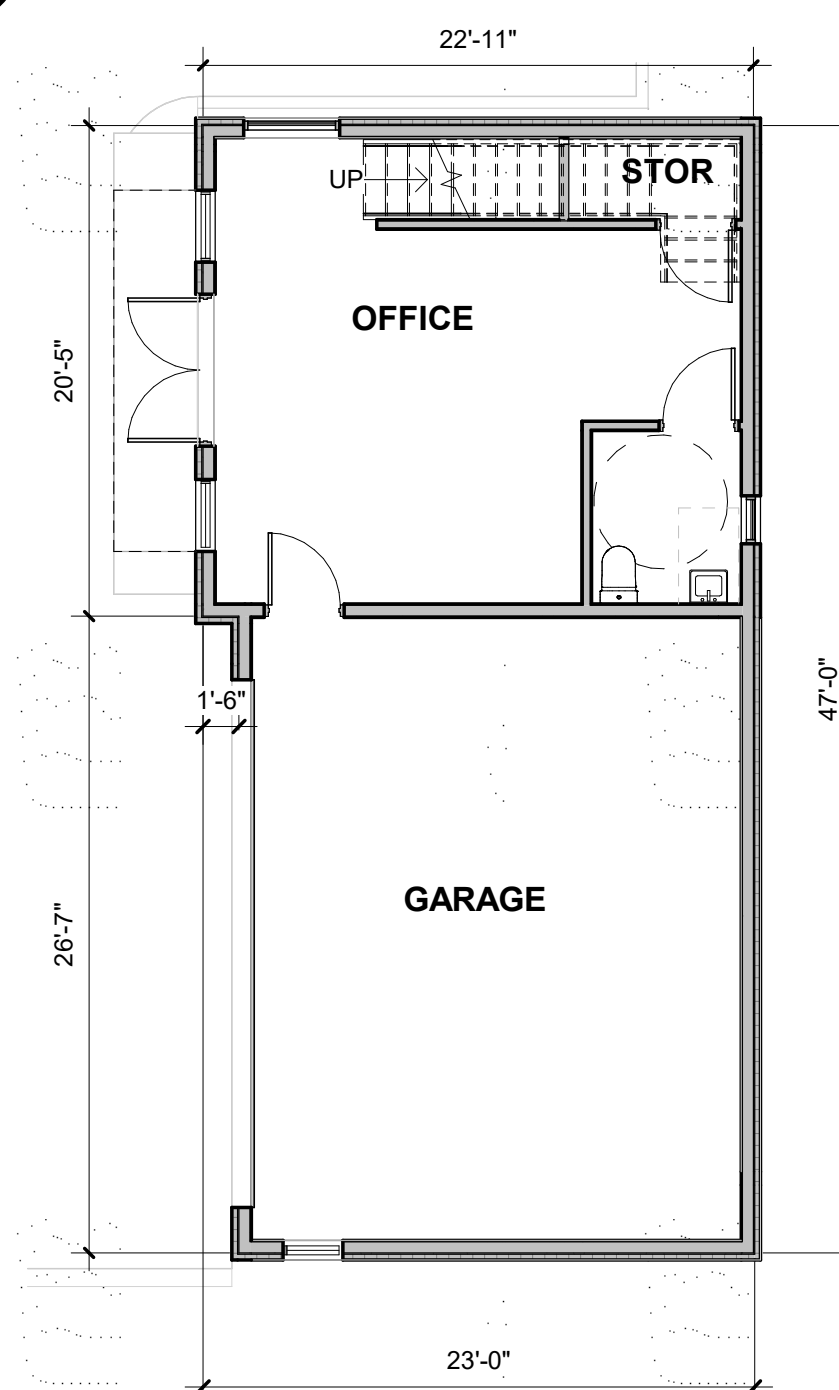
**ANNEX NORTH ELEVATION**

1/8" = 1'-0"



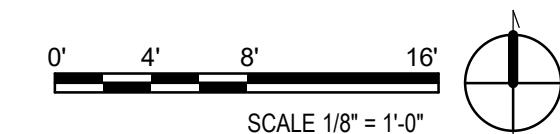
**E9 FLOOR PLAN - LEVEL 2 ANNEX BLDG**

1/8" = 1'-0"



**A9 FLOOR PLAN - LEVEL 1 ANNEX BLDG**

1/8" = 1'-0"



**DEVELOPMENT PLAN**

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**Santa Fe Opera**  
**Apprentice Housing**  
 DEVELOPMENT PLAN  
 214 Camino de los Marquez, Santa Fe, NM 87505

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SHEET TITLE

**ANNEX BUILDING**

**A14**



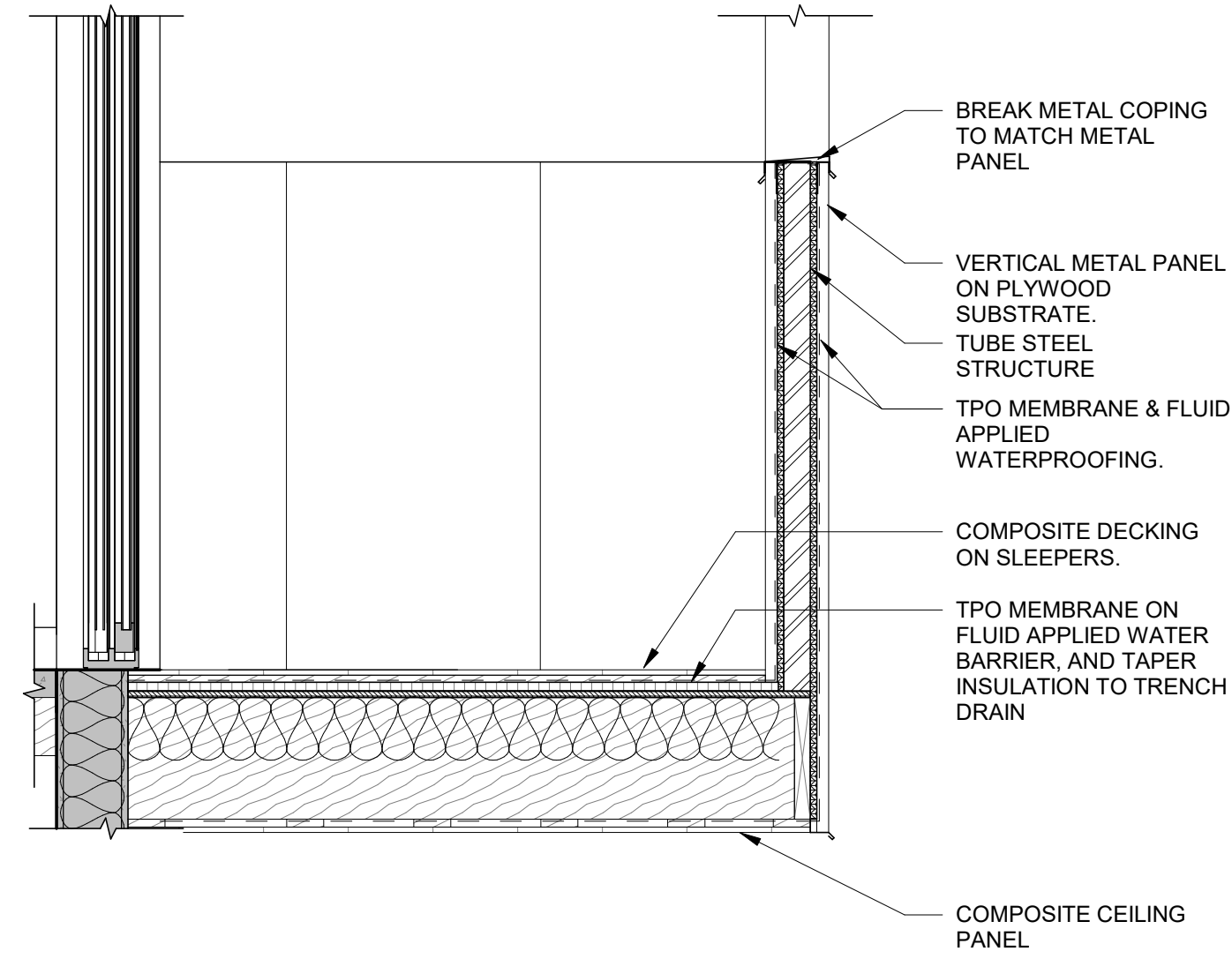
**GENERAL NOTES**

1. IF THIS SHEET IS NOT 24" X 36" THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
2. DETAILS ON THIS SHEET ARE FOR DESIGN INTENT AND GENERIC IN NATURE.

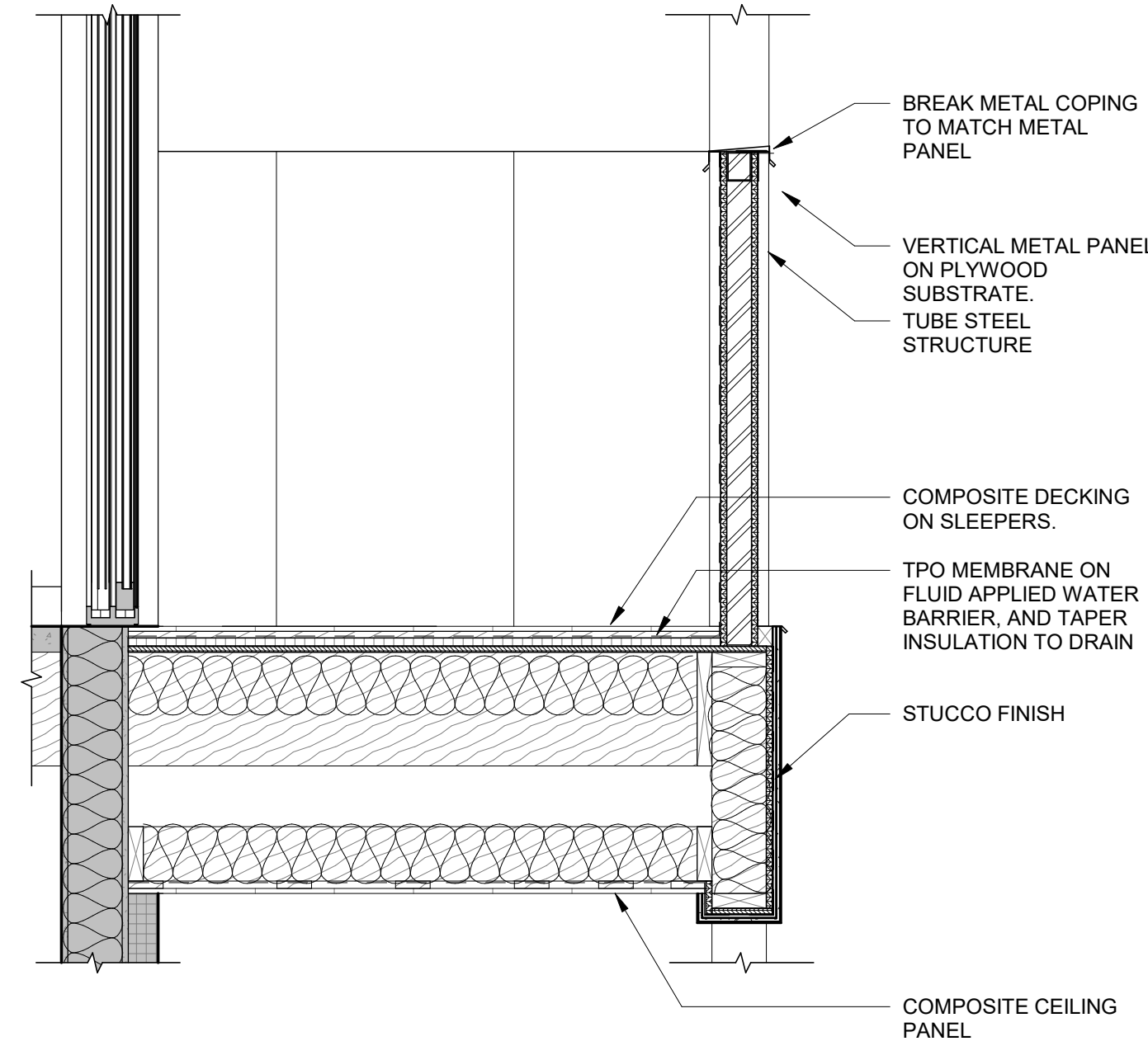
DEVELOPMENT PLAN

NOT FOR CONSTRUCTION

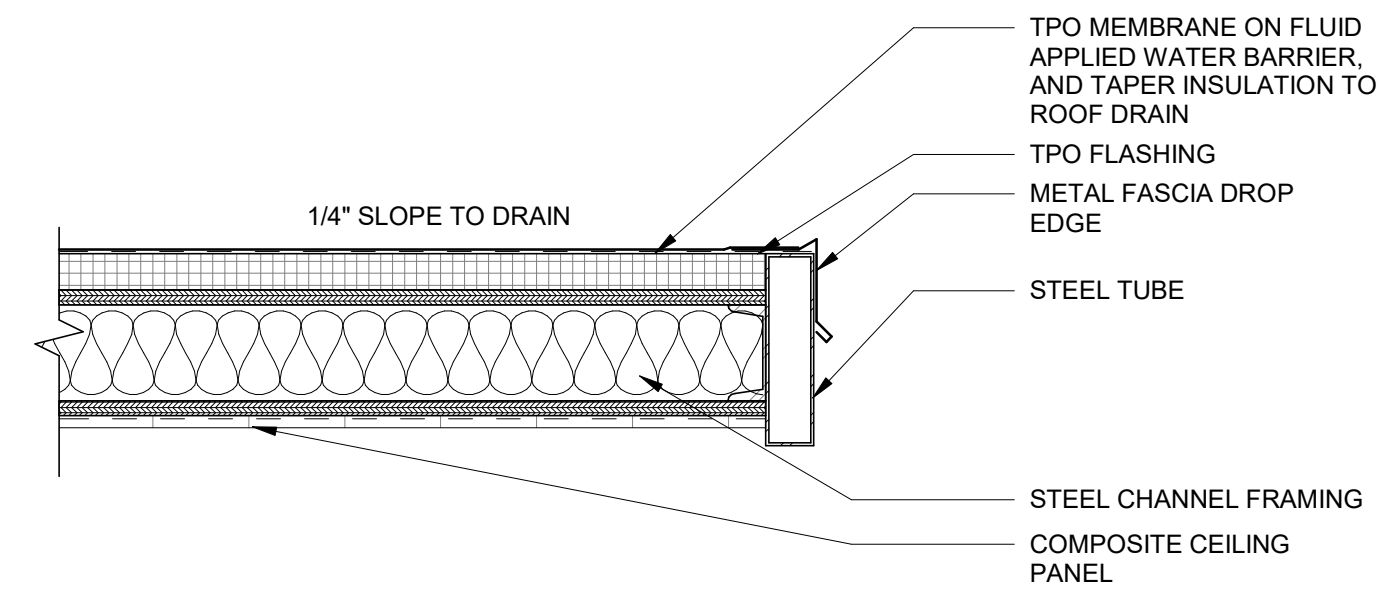
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Apprentice Housing  
DEVELOPMENT PLAN  
214 Camino de los Marquez, Santa Fe, NM 87505



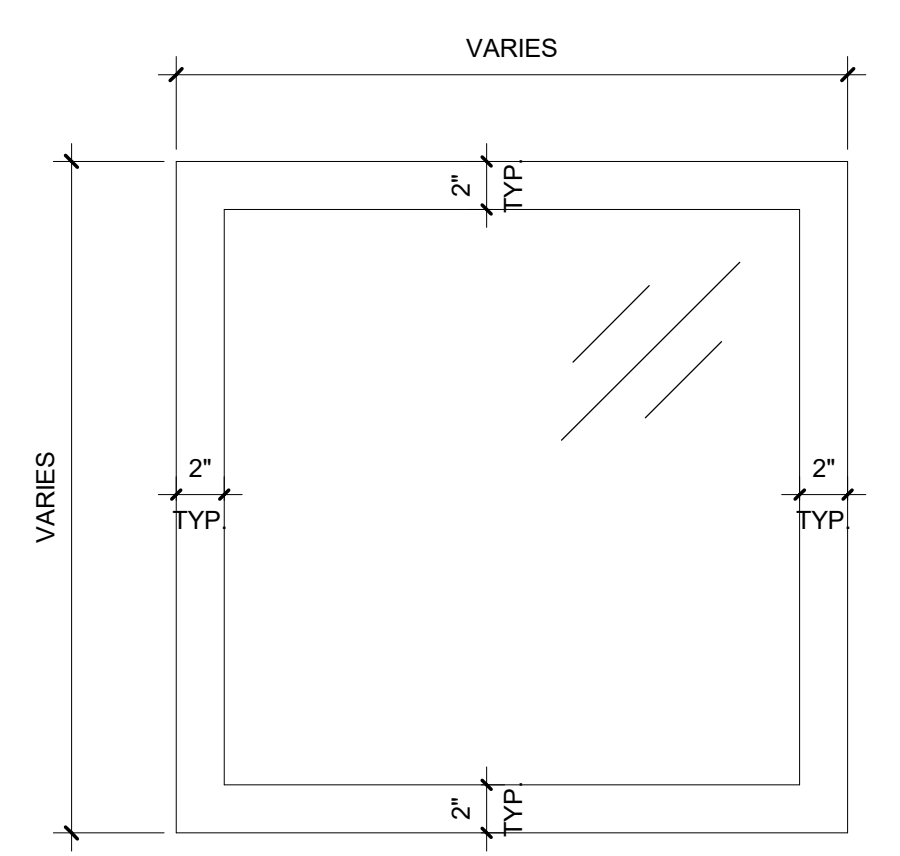
**G1 TYPICAL OVERHANG BALCONY SECTION**  
3/4" = 1'-0"



**G5 TYPICAL BALCONY SECTION**  
3/4" = 1'-0"

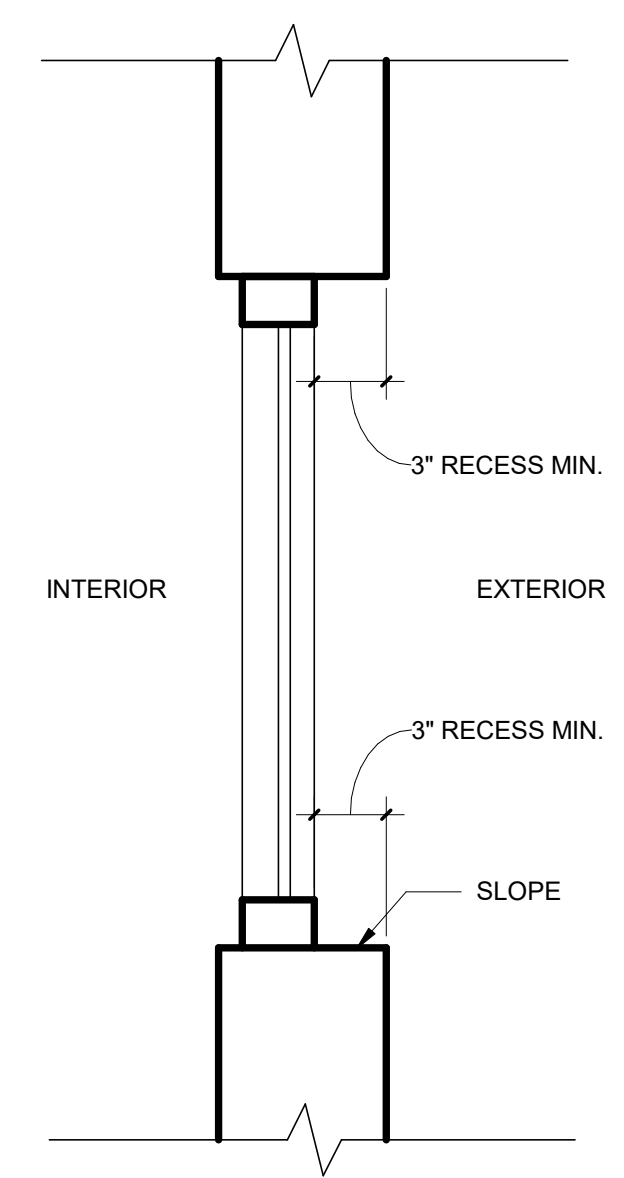


**G9 TYPICAL CANOPY DETAIL**  
1 1/2" = 1'-0"

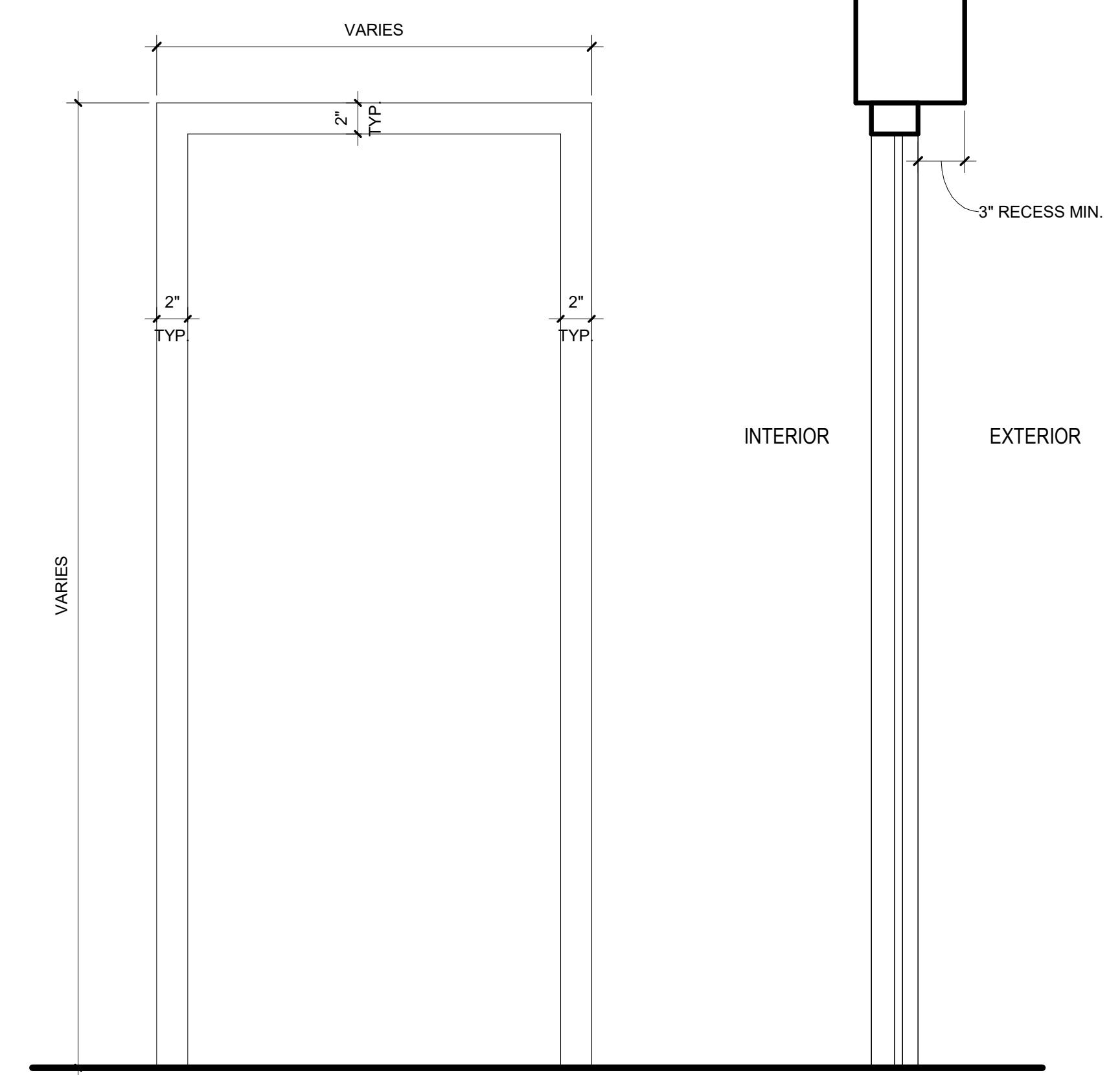


**A1 TYP WINDOW RECESS DETAIL**  
1 1/2" = 1'-0"

NOTE - TYP. DETAIL AT ALL EXTERIOR WINDOWS



**A6 TYP DOOR RECESS DETAIL**  
1 1/2" = 1'-0"



NOTE - TYP. DETAIL AT ALL EXTERIOR DOORS



**A10 METAL PANEL AND STUCCO COLORS**  
6" = 1'-0"

NO	DATE	DESCRIPTION
DATE:	2025-10-14	
PROJECT #:	25014	
DRAWN BY:	AA	
CHECKED BY:	KM	
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SHEET TITLE

TYPICAL DETAILS

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