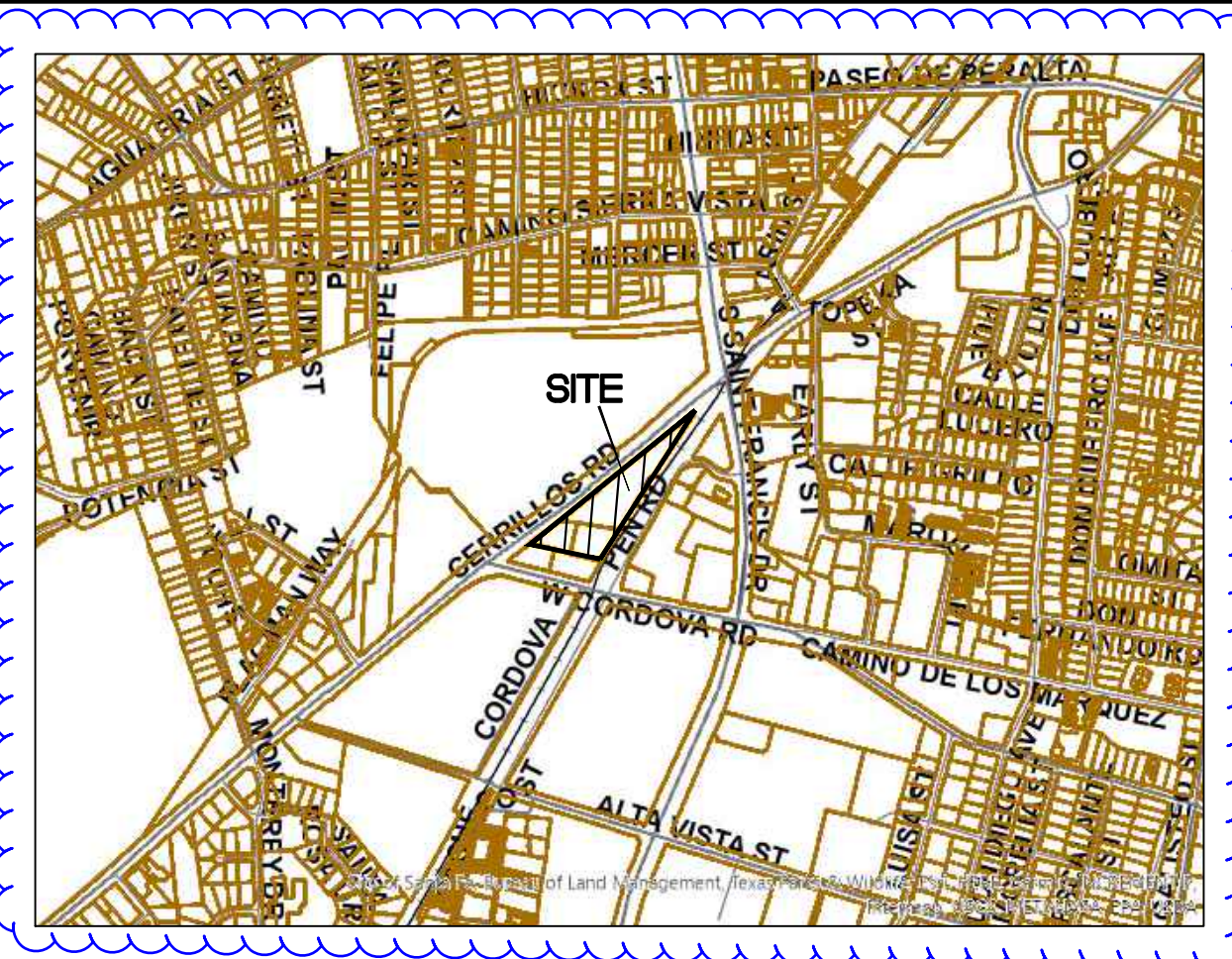


# AC MARRIOTT HOTEL DEVELOPMENT PLAN 1000, 1101 AND 1103 CERRILLOS RD CASE # 2025-11380



**VICINITY MAP:**

**NOTES:**

1. NO VARIANCES ARE APPROVED FOR THIS DEVELOPMENT PLAN. THE CITY CODE AND APPLICATION CHAPTERS SHALL GOVERN AND APPLY TO THIS DEVELOPMENT PLAN IN ITS ENTIRETY.
2. CITY OF SANTA FE DRAINAGE:
  - a. SUBJECT TO THE APPROVAL OF CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION/SEDIMENT CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF EACH SEGMENT OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
  - b. MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER. THE CITY OF SANTA FE IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THESE EASEMENTS AND DRAINAGE FACILITIES AT THE DISCRETION OF THE CITY. THE OWNER AGREES TO INDEMNIFY AND TO HOLD HARMLESS FROM ALL DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTION RIGHT.

**OWNER/DEVELOPER:**

TITAN DEVELOPMENT  
6300 RIVERSIDE PLAZA, SUITE 200  
ALBUQUERQUE, NM 87120  
505-998-0163 IAN ROBERTSON

**SURVEYOR (ALTA/TOPO):**

EDWARD M TRUJILLO  
DAWSON SURVEYS INC  
7505 MALLARD WAY, SUITE A  
SANTA FE, NM  
505-471-6660

**PLANNER:**

JENKINGSGAVIN  
130 GRANT AVE SUITE 101  
SANTA FE, NM 87501  
505-820-7444  
JENKINGSGAVIN.COM JENNIFER JENKINS

**CIVIL ENGINEER:**

TIERRA WEST,LLC  
5571 MIDWAY PARK PL, NE  
ALBUQUERQUE, NM  
505.858.3100  
TIERRAWESTLLC.COM

**ARCHITECT:**

5G STUDIO COLLABORATIVE, LLC  
1217 MAIN STREET  
DALLAS, TX 75202  
214-670-0050 CHRISTINE ROBBINS-ELROD

**LANDSCAPE:**

YELLOWSTONE LANDSCAPE  
7525 SECOND STREET NW  
ALBUQUERQUE, NM 87107  
505-998-9615 CODY McNALLEN

**MEP:**

BLUM CONSULTING ENGINEERS, INC  
12790 MERIT DRIVE, BUILDING 9, SUITE 700  
DALLAS, TX 75251  
214-373-8222 JAKE MUSICK

SHEET LIST	
SHEET #	SHEET NAME
C-001	COVER SHEET
C-002	EXISTING CONDITIONS
C-003	TOPOGRAPHIC SURVEY
DP-1	DEVELOPMENT PLAN
C-004	CONDITIONS OF APPROVAL

**NOTE**

AT TIME OF CONSTRUCTION, THE CONTRACTOR SHALL ENSURE ADA COMPLIANCE FOR CONSTRUCTION OF ADA ACCESSIBLE FEATURES AND APPURTENANCES, AS DETAILED IN, AND IN ADDITION TO, THE APPROVED CONSTRUCTION PERMIT DOCUMENTS AS REQUIRED. IMPROVEMENTS SHALL COMPLY WITH ICC ANSI A117.1-2009 CHAPTERS 1-5 AND CHAPTER 7, 2015 NEW MEXICO ACCESSIBLE PARKING CHECKLIST, MUTCD, NMDOT PEDESTRIAN ACCESS STANDARDS AND PROWAG, NM STATE STATUTE AND ADMINISTRATIVE CODE AND DOJ REGULATIONS AS APPLICABLE.

<p style="text-align: center;">CITY APPROVALS</p> <p>APPROVED BY THE SANTA FE PLANNING COMMISSION AT THEIR MEETING ON _____</p> <p>CASE # _____</p> <p>PLANNING COMMISSION CHAIRPERSON _____ DATE _____</p> <p>PLANNING COMMISSION SECRETARY _____ DATE _____</p> <p>REVIEWED BY THE CITY OF SANTA FE _____</p> <p>CITY PLANNER _____ DATE _____</p> <p>CITY ENGINEER FOR LAND USE _____ DATE _____</p>	<p style="text-align: center;">DRAINAGE FACILITIES MAINTENANCE</p> <p>ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY ALL PROPERTY OWNERS. THE PROPERTY OWNERS ALSO HAVE THE RESPONSIBILITY FOR MAINTENANCE OF THE PUBLIC DRAINAGE EASEMENT. INSPECTIONS SHALL BE CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO OR OTHER QUALIFIED PERSON. INSPECTIONS SHALL BE CONDUCTED ON THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE: ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. MAINTENANCE OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED AND DOCUMENTED BY THE ENGINEER AND THE OWNER. THE OWNER SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES. WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE ENGINEERS' RECOMMENDATIONS, AND SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:</p> <ol style="list-style-type: none"> <li>A. FLUSH ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND VEGETATION THAT PREVENTS OR HINDERS THE FLOW OF STORMWATER IN THE DRAINAGE STRUCTURE(S).</li> <li>B. REMOVE SEDIMENT IN PONDS THAT IS GREATER THAN 6 INCHES IN DEPTH, AND IF NECESSARY, RESEED WITH NATIVE GRASSES AND INSTALL FILTER FABRIC AND 3 TO 4 INCH COBBLE AS DIRECTED BY THE ENGINEER.</li> <li>C. INSPECT FOR SEDIMENTATION IN ALL SWALES, DITCHES, DRAINAGE PONDS AND REMOVE AND STABILIZE AS NECESSARY.</li> <li>D. INSPECT FOR SOIL EROSION AND ALL DRAINAGE PONDS, CUT AND FILL SLOPES, AND REPAIR OR STABILIZE ACCORDINGLY.</li> <li>E. INSPECT THE STRUCTURAL INTEGRITY OF DRAINAGE PONDS, SLOPES, RIP-RAP, GABIONS, DROP INLETS, CULVERTS, ENERGY DISSIPATORS, AND RETAINING WALLS, ROCK PLATING, EROSION CONTROL MATS OR BLANKETS, AND REPAIR OR STABILIZE ACCORDINGLY.</li> </ol>
<p style="text-align: center;">AFFIDAVIT</p> <p>KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED. ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.</p> <p>OWNER'S PRINTED NAME _____</p> <p>OWNER'S SIGNATURE _____</p> <p>THE FOREGOING WAS SWORN, ACKNOWLEDGED, AND SUBSCRIBED BEFORE ME BY _____ THIS _____ DAY OF _____, 20____.</p> <p>NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____</p>	<p style="text-align: center;">DRAINAGE FACILITIES DESIGN NOTE</p> <p>ALL STORM WATER DETENTION/RETENTION AREAS SHALL DRAIN WITHIN 24 HOURS OF A STORM EVENT AS PER ARTICLE 14-8.2 (D)(4)(C)(II)</p> <p style="text-align: center;">GENERAL NOTES</p> <ol style="list-style-type: none"> <li>A. SOLID WASTE COLLECTION WILL BE PROVIDED BY SF SOLID WASTE COLLECTION.</li> <li>B. EXTERIOR LUMINARIES SHALL COMPLY WITH CHAPTER 14-8.9 SFCC. (WALL RACKS SHALL BE SHIELDED)</li> <li>C. THE SITE SHALL COMPLY WITH INTERNATIONAL FIRE CODE (IFC) 2021.</li> <li>D. FIRE DEPARTMENT ACCESS SHALL COMPLY WITH IFC 2021.</li> <li>E. THIS SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IFC REQUIREMENTS.</li> <li>F. ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.</li> <li>G. FIRE LANE SURFACE SHALL BE ALL WEATHER AND SUPPORT 75,000 POUNDS.</li> <li>H. THE PROJECT IS SERVED BY A PUBLIC SANITARY SEWER COLLECTION SYSTEM.</li> </ol> <p style="text-align: center;">DUST CONTROL</p> <p>ALL ON-SITE SOIL DISTRIBUTING CONSTRUCTION ACTIVITY SHALL BE ADDRESSED AND PROVIDE MEASURES TO MITIGATE OR CONTROL DUST FROM BEING TRANSPORTED OFFSITE AND POLLUTING NEIGHBORING PROPERTIES. ANY PERSON, OWNER, CONTRACTOR OR OPERATOR WHO CONDUCTS EARTH MOVING AND DUST GENERATING ACTIVITIES IS RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) IN ORDER TO MITIGATE OFF PROPERTY TRANSPORT OF FUGITIVE DUST EMISSIONS. A PLAN, OR STORMWATER PREVENTION PLAN (SWPPP) WHEN APPLICABLE, LISTING THE BEST MANAGEMENT PRACTICES (BMPs), SHALL BE PROVIDED TO THE CITY ENGINEER, OR THEIR DESIGNEE FOR REVIEW AND APPROVAL. THE APPROVED BMPs SHALL BE APPLIED TO THE GRADED AND OR DISTURBED SOIL IN ORDER TO STABILIZE THE SITE. THE INITIAL BMP SHALL ADDRESS HOW THE CONTRACTOR WILL MINIMIZE THE AMOUNT OF DISTURBED SOIL, AND HOW THE CONTRACTOR WILL STABILIZE THE DISTURBED SERVICE AREA EXPOSED TO WIND OR VEHICLE TRAFFIC DURING CONSTRUCTION.</p> <p>SEE SHEET C0-101 FOR FULL DUST CONTROL NOTES.</p>
<p style="text-align: center;">MODIFICATIONS</p> <p>SITE PLAN MODIFICATIONS ARE SUBJECT TO APPROVAL BY THE CITY OF SANTA FE AS PART OF THE BUILDING PERMIT PROCESS.</p>	<p style="text-align: center;">GUNNISON'S PRAIRIE DOG NOTE</p> <p>THIS PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE GUNNISON'S PRAIRIE DOG ORDINANCE (ARTICLE 14-8. 12).</p> <p style="text-align: center;">NOTARIZED STORMWATER AGREEMENT</p> <p>STORMWATER AGREEMENT: PROPERTY OWNER(S) HEREBY BY AGREE THAT ALL STORMWATER EASEMENTS AND ANY OTHER DRAINAGE AND STORMWATER MANAGEMENT IMPROVEMENTS ARE ON PRIVATE PROPERTY AND WILL BE MAINTAINED AND KEPT FULLY FUNCTIONAL AS ORIGINALLY DESIGNED AND CONSTRUCTED WITHIN PRIVATE PROPERTY BOUNDARIES BY THE PROPERTY OWNER AND SUBSEQUENT HEIRS, ASSIGNS, AND FUTURE OWNERS. THE CITY IS HEREBY GRANTED THE FOLLOWING: (1) ACCESS FOR INSPECTION OF SAID IMPROVEMENTS; (2) IN THE EVENT OF DRAINAGE AND STORMWATER MANAGEMENT IMPROVEMENT MAINTENANCE DEFICIENCY AND AFTER TEN (10) DAYS WRITTEN NOTICE TO THE RESPECTIVE PROPERTY OWNER, TO ENTER AND RESTORE FULL FUNCTIONAL CAPACITY OF THE DRAINAGE AND STORMWATER MANAGEMENT IMPROVEMENTS; AND (3) TO LIEN PROPERTY FOR BOTH DIRECT AND INDIRECT COSTS ASSOCIATED WITH SUCH WORK. BY SIGNATURE AFFIXED TO THIS INSTRUMENT, THE PROPERTY OWNER(S) APPROVE AND AGREE THAT THIS AGREEMENT IS BINDING PERPETUALLY, RUNNING WITH THE LAND, ON PRESENT AND FUTURE OWNERS, HEIRS, AND ASSIGNS.</p> <p>OWNERS PRINTED NAME _____</p> <p>OWNERS SIGNATURE _____</p> <p>THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF _____, 20____.</p> <p>NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____</p>

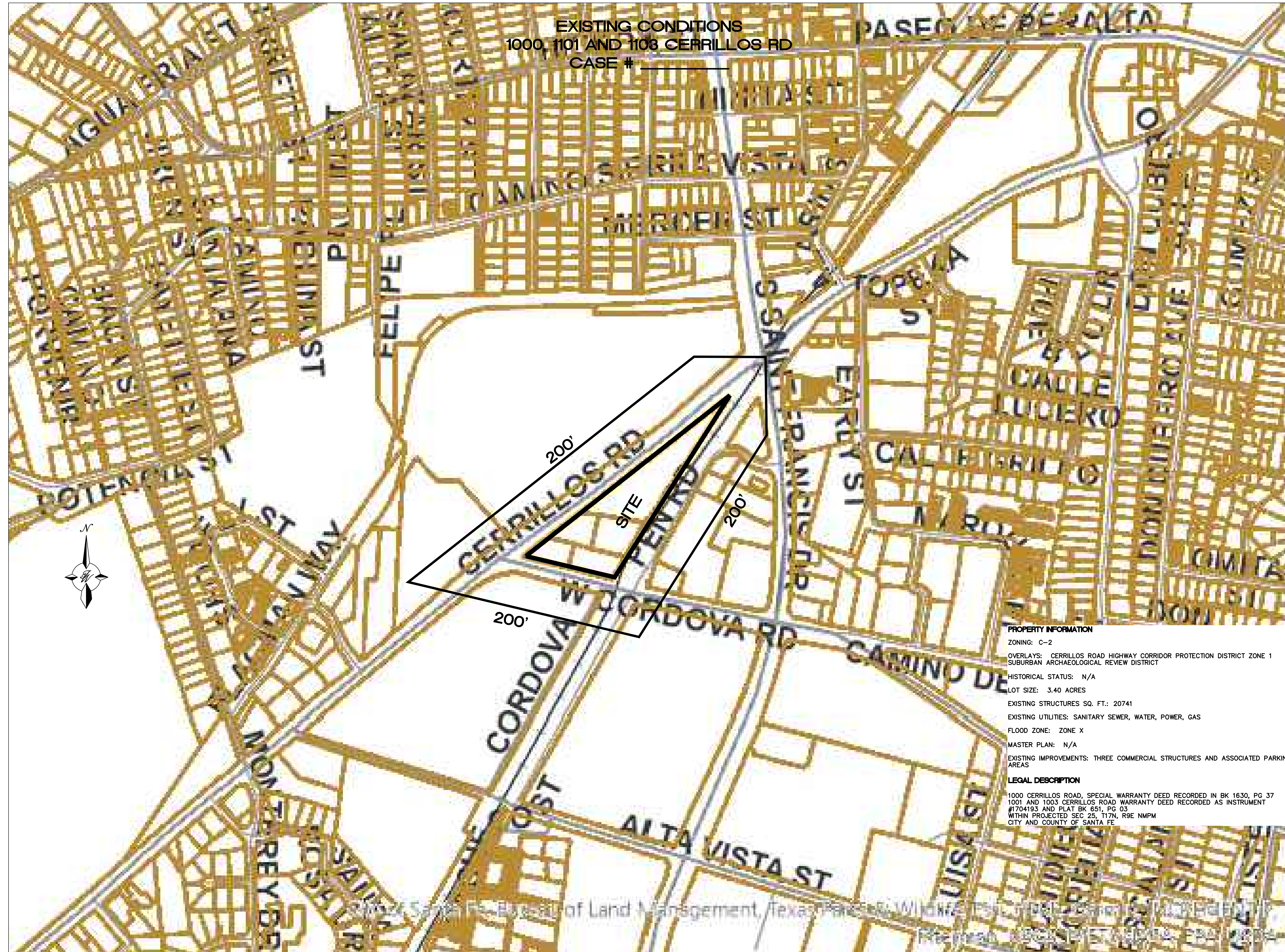
COUNTY OF SANTA FE } SS  
STATE OF NEW MEXICO }

I HEREBY CERTIFY THAT THIS INSTRUMENT# \_\_\_\_\_ WAS FILED FOR RECORD ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., AND WAS DULY RECORDED IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE  
COUNTY CLERK, SANTA FE COUNTY, NM  
\_\_\_\_\_  
DEPUTY

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>JURISDICTION: CITY OF SANTA FE</p> <p>PROJECT NAME: AC MARRIOTT HOTEL</p> <p>DRAWING TYPE: COVER SHEET</p> <p>DRAWING DATE: 12-2-25</p>
---	--

EXISTING CONDITIONS  
 1000, 1101 AND 1103 CERRILLOS RD  
 CASE # \_\_\_\_\_



**PROPERTY INFORMATION**  
 ZONING: C-2  
 OVERLAYS: CERRILLOS ROAD HIGHWAY CORRIDOR PROTECTION DISTRICT ZONE 1  
 SUBURBAN ARCHAEOLOGICAL REVIEW DISTRICT  
 HISTORICAL STATUS: N/A  
 LOT SIZE: 3.40 ACRES  
 EXISTING STRUCTURES SQ. FT.: 20741  
 EXISTING UTILITIES: SANITARY SEWER, WATER, POWER, GAS  
 FLOOD ZONE: ZONE X  
 MASTER PLAN: N/A  
 EXISTING IMPROVEMENTS: THREE COMMERCIAL STRUCTURES AND ASSOCIATED PARKING AREAS

**LEGAL DESCRIPTION**  
 1000 CERRILLOS ROAD, SPECIAL WARRANTY DEED RECORDED IN BK 1630, PG 37  
 1001 AND 1003 CERRILLOS ROAD WARRANTY DEED RECORDED AS INSTRUMENT  
 #1704193 AND PLAT BK 651, PG 03  
 WITHIN PROJECTED SEC 25, T17N, R9E NMPM  
 CITY AND COUNTY OF SANTA FE

**NOTES:**

FOR ADDITIONAL INFORMATION AFFECTING THIS LOT, SEE RECORDED PLATS, DOCUMENTS, FOR NOTES, RESTRICTIONS AND EASEMENTS, THIS PROPERTY IS SUBJECT TO ALL VALID RESTRICTIONS, EASEMENTS AND COVENANTS OF RECORD.

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINE, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES.

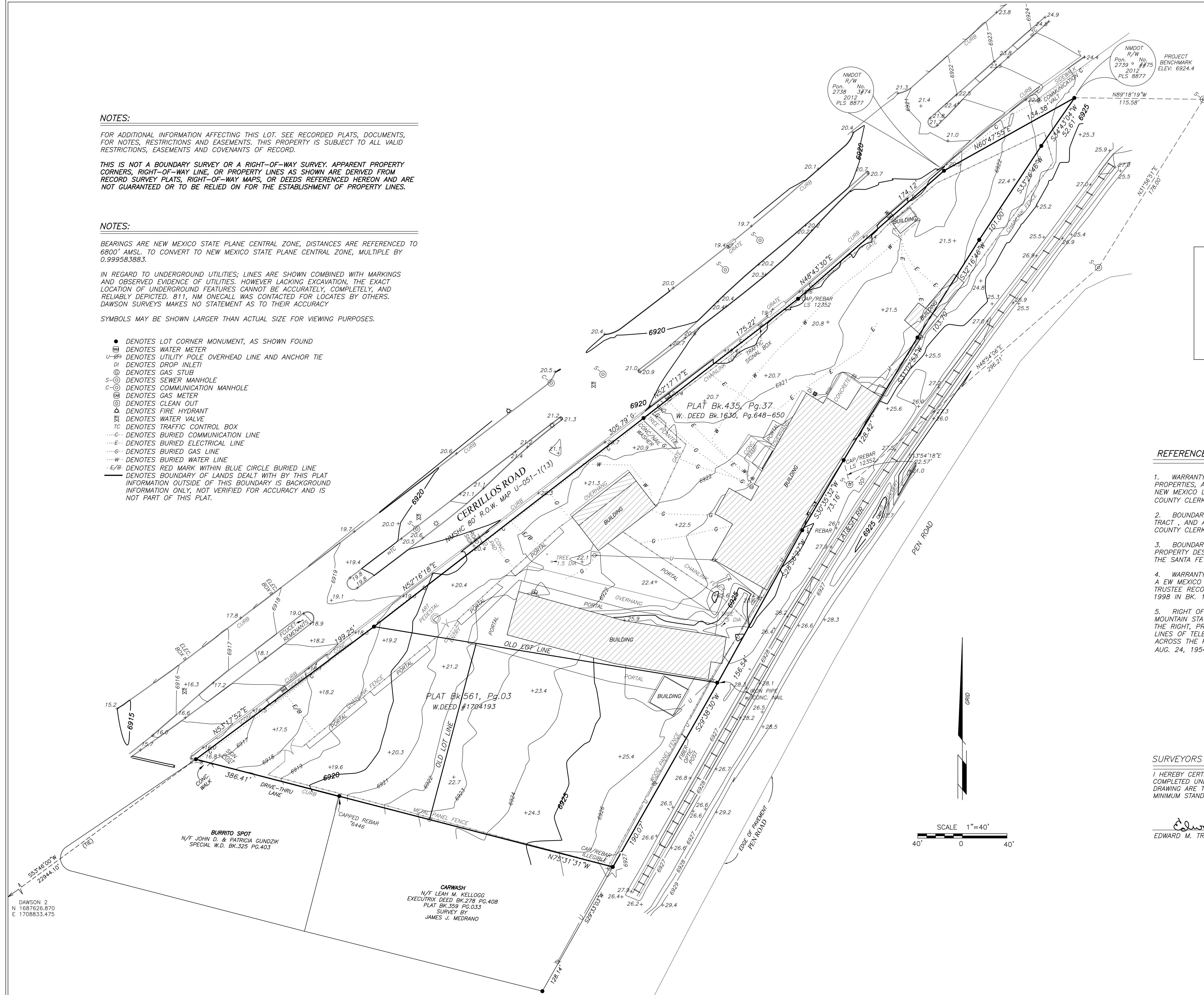
**NOTES:**

BEARINGS ARE NEW MEXICO STATE PLANE CENTRAL ZONE, DISTANCES ARE REFERENCED TO 6800' AMSL. TO CONVERT TO NEW MEXICO STATE PLANE CENTRAL ZONE, MULTIPLY BY 0.999583883.

IN REGARD TO UNDERGROUND UTILITIES, LINES ARE SHOWN COMBINED WITH MARKINGS AND OBSERVED EVIDENCE OF UTILITIES. HOWEVER LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. 811, NM ONECALL WAS CONTACTED FOR LOCATES BY OTHERS. DAWSON SURVEYS MAKES NO STATEMENT AS TO THEIR ACCURACY

SYMBOLS MAY BE SHOWN LARGER THAN ACTUAL SIZE FOR VIEWING PURPOSES.

- DENOTES LOT CORNER MONUMENT, AS SHOWN FOUND
  - ⊕ DENOTES WATER METER
  - U-99 DENOTES UTILITY POLE OVERHEAD LINE AND ANCHOR TIE
  - DI DENOTES DROP INLET
  - ⊙ DENOTES GAS STUB
  - S-⊙ DENOTES SEWER MANHOLE
  - C-⊙ DENOTES COMMUNICATION MANHOLE
  - ⊕ DENOTES GAS METER
  - ⊕ DENOTES CLEAN OUT
  - ⊕ DENOTES FIRE HYDRANT
  - ⊕ DENOTES WATER VALVE
  - TC DENOTES TRAFFIC CONTROL BOX
  - C--- DENOTES BURIED COMMUNICATION LINE
  - E--- DENOTES BURIED ELECTRICAL LINE
  - G--- DENOTES BURIED GAS LINE
  - W--- DENOTES BURIED WATER LINE
  - E/B- DENOTES RED MARK WITHIN BLUE CIRCLE BURIED LINE
  - DENOTES BOUNDARY OF LANDS DEALT WITH BY THIS PLAT
- INFORMATION OUTSIDE OF THIS BOUNDARY IS BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.



TOPOGRAPHIC MAP  
PREPARED FOR  
**TITAN DEVELOPMENT**  
1000 CERRILLOS ROAD, SPECIAL WARRANTY DEED  
RECORDED IN Bk. 1630, Pg. 649 AND  
PLAT Bk. 435, Pg. 37  
1001 AND 1003 CERRILLOS ROAD, WARRANTY DEED  
RECORDED AS INSTRUMENT #1704193, AND  
PLAT Bk. 651, Pg. 03,  
WITHIN  
PROJECTED SEC. 26, T.17N, R.9E, N.M.P.M.  
CITY AND COUNTY OF SANTA FE, NEW MEXICO

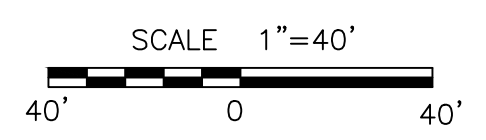
**REFERENCE DOCUMENT:**

1. WARRANTY DEED, 1001 CERRILLOS ROAD AND 1003 CERRILLOS ROAD FROM: JT PROPERTIES, A NEW MEXICO LIMITED LIABILITY COMPANY, TO: MGT INVESTMENTS, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY, RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK ON MAY 1, 2013 AS INSTRUMENT #1704193.
2. BOUNDARY SURVEY PLAT PREPARED FOR LOS SECOS, LLC. SHOWING A 0.56 ACRES± TRACT, AND A 0.77 ACRES± TRACT, RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK ON JUNE 4, 2003 IN PLAT Bk. 561, Pg. 03.
3. BOUNDARY SURVEY PLAT PREPARED FOR GILLIAM IRREVOCABLE TRUST SHOWING PROPERTY DESCRIBED IN WARRANTY DEED Bk. 1630, Pg. 648, RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK ON FEBRUARY 15, 2000 IN PLAT Bk. 435, Pg. 37.
4. WARRANTY DEED, 1000 CERRILLOS ROAD FROM: SANTA FE RENTALS AND SALES, INC., A NEW MEXICO CORPORATION, TO: GILLIAM IRREVOCABLE TRUST, W. THOMAS KELLAHIN, TRUSTEE RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK ON SEPTEMBER 15, 1998 IN Bk. 1540, Pg. 351-353.
5. RIGHT OF WAY FROM: ESTATE OF JOSEPH BRYNE, J. ELMO TIPTON TRUSTEE TO: THE MOUNTAIN STATE TELEPHONE AND TELEGRAPH CO. AND PUBLIC SERVICE COMPANY OF N.M. THE RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, OPERATE AND MAINTAIN THEIR LINES OF TELEPHONE, TELEGRAPH AND ELECTRIC POWER, FIXTURES UPON, OVER AND ACROSS THE PROPERTY, RECORDED IN THE OFFICE OF THE SANTA FE COUNTY CLERK ON AUG. 24, 1954 AS INSTRUMENT #119,841.

**SURVEYORS CERTIFICATE**

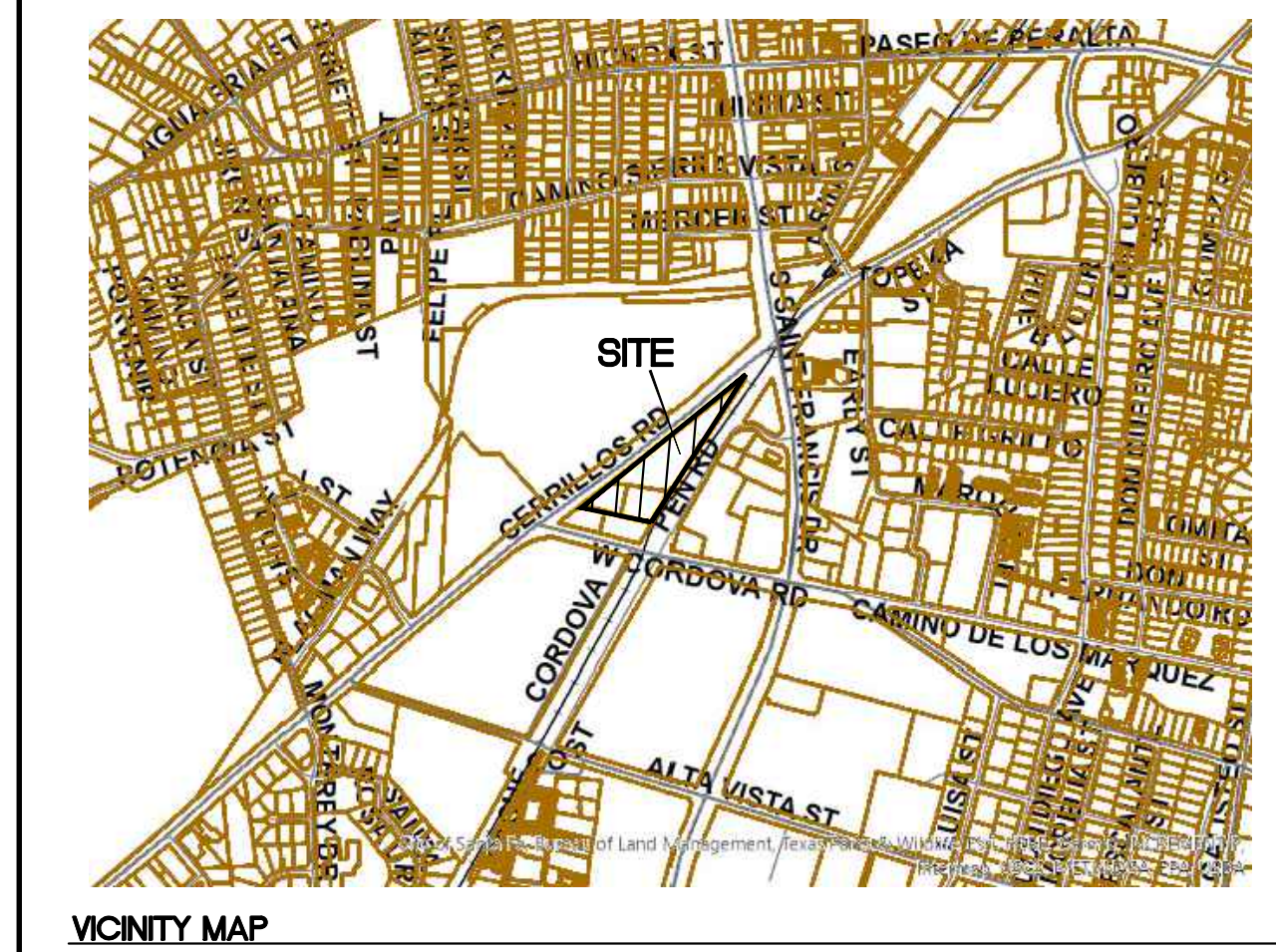
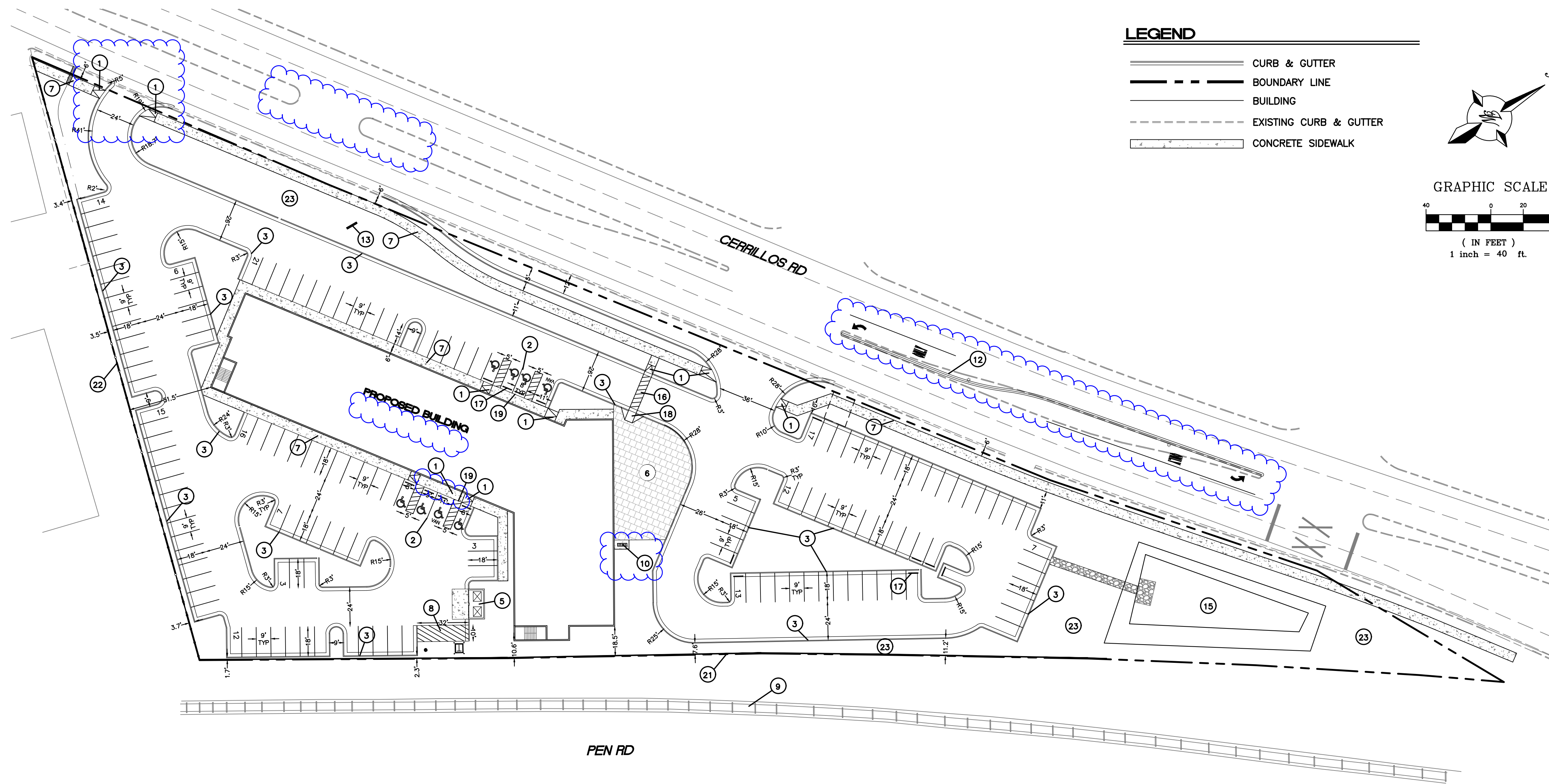
I HEREBY CERTIFY THAT THIS MAP IS A TRUE REPRESENTATION OF A TOPOGRAPHIC SURVEY COMPLETED UNDER MY PERSONAL SUPERVISION IN AUGUST OF 2025. THE SURVEY AND DRAWING ARE TRUE AND CORRECT, TO THE BEST OF MY KNOWLEDGE, AND MEET THE MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS IN NEW MEXICO.

*Edward M. Trujillo* SEPT. 03, 2025  
EDWARD M. TRUJILLO, N.M.P.L.S. #12352 DATE



DAWSON SURVEYS INC.  
PROFESSIONAL LAND SURVEYORS  
7505 MALLARD WAY SUITE A  
SANTA FE, N.M. Tel: (505) 471-6660  
E-mail: dawsonsveys@gmail.com  
FILE#10890/TOPO DATE: 09/03/2025

**C-003**



**LEGAL DESCRIPTION**  
 1000 CERRILLOS ROAD, SPECIAL WARRANTY DEED RECORDED IN Bk. 1630, Pg.649 AND PLAT Bk. 435, Pg.37, 1001 AND 1003 CERRILLOS ROAD, WARRANTY DEED RECORDED AS INSTRUMENT #1704193, AND PLAT Bk.651, Pg.03,

**SITE DATA**

PROPOSED USE HOTEL  
 LOT AREA 148122 SF (3.40 ACRES)  
 ZONING C-2  
 ROOFED AREA 19853 GSF  
 LOT COVERAGE 13.4%  
 MAXIMUM PERMISSIBLE HEIGHT 45'  
 PROPOSED HEIGHT 45'

**BUILDING SETBACK**  
 STREET 15'  
 REAR 10'  
 SIDE 0'  
 GFA 79491 SF

**PARKING REQUIRED** 150 SPACES (1 PER HOTEL ROOM)  
**PARKING PROVIDED** 151 SPACES  
**ACCESSIBLE PARKING REQUIRED** 8 SPACES (2 VAN)  
**ACCESSIBLE SPACES PROVIDED** 8 SPACES (2 VAN)

**BICYCLE SPACES REQUIRED** 6 (1 PER 15 ROOMS OR 6 IF MORE THAN 75 ROOMS)  
**BICYCLE SPACES PROVIDED** 6

**OPEN SPACE REQUIRED 20%** 0.68 AC  
**OPEN SPACE PROVIDED 25.3%** 0.86 AC

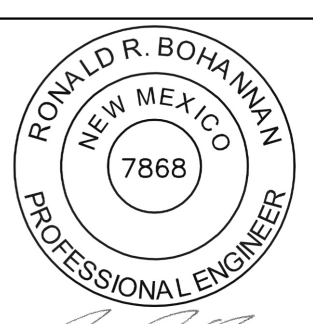
- KEYED NOTES**
- 1 UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-8
  - 2 ACCESSIBLE PARKING PER ADA REQUIREMENTS (5)
  - 3 STANDARD CURB AND GUTTER, SEE DETAIL SHEET DET-8
  - 4 CONCRETE SIDEWALK
  - 5 DOUBLE DUMPSTER
  - 6 STAMPED CONCRETE, SEE ARCHITECTURAL PLANS FOR PATTERN AND COLOR
  - 7 NEW 6" CONCRETE SIDEWALK PER CITY OF SANTA FE STANDARDS
  - 8 LOADING ZONE
  - 9 EXISTING RAILROAD TRACK
  - 10 BICYCLE RACK (6)
  - 11 SITE LIGHTING
  - 12 MOUNTABLE MEDIAN CURB TYPE A PER NMDOT 609-01-1/1
  - 13 MONUMENT SIGN
  - 14 DIRECTIONAL SIGN
  - 15 DRAINAGE POND
  - 16 6" PEDESTRIAN CROSSWALK
  - 17 CONCRETE WHEEL STOP (TYP)
  - 18 ACCESSIBLE RAMP SEE DETAIL SHEET DET 8
  - 19 ZERO CURB
  - 20 TRANSFORMER
  - 21 8" TALL SCREEN/SOUND ( 560 LF) WALL SEE DETAIL SHEET 11
  - 22 WROUGHT IRON FENCE (375 LF) SEE DETAIL SHEET 11
  - 23 OPEN SPACE

	<b>1000, 1101, 1103 CERRILLOS RD</b> <b>SANTA FE, NM</b>	DRAWN BY pm
	<b>DEVELOPMENT PLAN</b>	DATE 12-2-25
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
RONALD R. BOHANNAN P.E. #7868		SHEET # <b>DP-1</b>
		JOB # 2025080

AC MARRIOTT HOTEL  
 CONDITIONS OF APPROVAL  
 1000, 1101 AND 1103 CERRILLOS RD  
 CASE # 2025-11380

**CONDITIONS OF APPROVAL**

1. AT TIME OF CONSTRUCTION, THE CONTRACTOR SHALL ENSURE ADA COMPLIANCE FOR CONSTRUCTION OF ADA ACCESSIBLE FEATURES AND APPURTENANCES, AS DETAILED IN, AND IN ADDITION TO, THE APPROVED CONSTRUCTION PERMIT DOCUMENTS AS REQUIRED. IMPROVEMENTS SHALL COMPLY WITH ICC ANSI A117.1-2009 CHAPTERS 1-5 AND CHAPTER 7, 2015 NEW MEXICO ACCESSIBLE PARKING CHECKLIST, MUTCD, NMDOT PEDESTRIAN ACCESS STANDARDS AND PROWAG, NM STATE STATUTE AND ADMINISTRATIVE CODE AND DOJ REGULATIONS AS APPLICABLE.
2. AN APPROVED WATER PLAN WILL BE REQUIRED FOR ALL NEW PUBLIC WATER INFRASTRUCTURE AND FIRE SERVICES.
3. AN APPROVED AGREEMENT TO CONSTRUCT AND DEDICATE (ACD) WILL BE REQUIRED WITH THE WATER DIVISION FOR ALL NEW PUBLIC WATER INFRASTRUCTURE AND FIRE SERVICES.
4. A SEPARATE IRRIGATION METER WILL BE REQUIRED IF THE TOTAL LANDSCAPED AREA IS 1,000 SQUARE FEET OR GREATER. AN APPROVED BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED BEYOND THE METER ON ANY NEW IRRIGATION SERVICE.
5. DEVELOPMENT COMPLY WITH THE 2021 INTERNATIONAL FIRE CODE (IFC) AND ADOPTED CITY ORDINANCES UPON BUILDING PERMIT APPROVAL.

 12-2-25 RONALD R. BOHANNAN P.E. #7868	<b>1000, 1101, 1103 CERRILLOS RD          SANTA FE, NM</b>	<small>DRAWN BY</small> pm
	<b>CONDITIONS OF          APPROVAL</b>	<small>DATE</small> 12-2-25
	<small>TERRA WEST, LLC</small> 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	<small>DRAWING</small>
	<small>SHEET #</small> <b>C-004</b>	<small>JOB #</small> 2025080