

December 1, 2025

City of Santa Fe
Planning Division
200 Lincoln Ave., 1st Floor
Santa Fe, NM 87501

Re: **AC by Marriott Hotel Development Plan Architectural Points Analysis**

Dear Planning Division Staff,

Please see brief narratives below regarding the Architectural Points Analysis.

Walls

Predominant Exterior Surface Material: With the exception of windows, doors, and accents, the exterior finish for all exterior walls will be stucco (30 points).

Color of Predominant Material: The proposed stucco colors are a lighter earthtone color and a second earthtone color with the same general hue but a darker shade. The included exterior elevations and perspective rendering show the earthtone colors that we are proposing (30 points).

Exterior Surface Treatment: Our design intent is that the two earthtone stucco colors be considered one color since they are of the same general hue (10 points).

Roofs

Form: The building's parapets will conceal the flat roof entirely from public view (20 points).

Predominant Material: All roof surfaces are concealed entirely from public view (20 points).

Predominant Color: All roof surfaces are concealed entirely from public view (15 points).

Building Form

Massing: This multi-story building will have more than 20,000 square feet of gross floor area, and it is designed with wall plane projections and/or setbacks on each publicly visible façade. However, while some of the building design could be interpreted to meet this section's criteria, each publicly visible façade's wall plane projections and setbacks do not meet the criteria of having a depth of at least three percent of the length of the façade and simultaneously extending at least 20 percent of the length of the façade (0 points).

Doors & Windows

Treatment: More than 50 percent of doors, windows and glazed surfaces will have frames recessed a minimum of two inches (20 points).

Area: All wall surfaces (those which are not located under canopies having a horizontal depth of at least six feet) will have less than 50 percent openings consisting of doors, windows, glazing and other penetrations (20 points).

Location: All doors, windows and glazed surfaces will be located at least two feet from outside building corners (20 points).

Glazing: All glazing will be clear or tinted neutral gray (10 points).

Equipment

Screening: All roof and wall mounted mechanical, electrical, communications, and service equipment (including satellite dishes and vent pipes) will be screened from public view by parapets, walls, fences, dense evergreen foliage, or by other means (10 points).

Please let us know if you have any questions about the narratives above. Thank you!

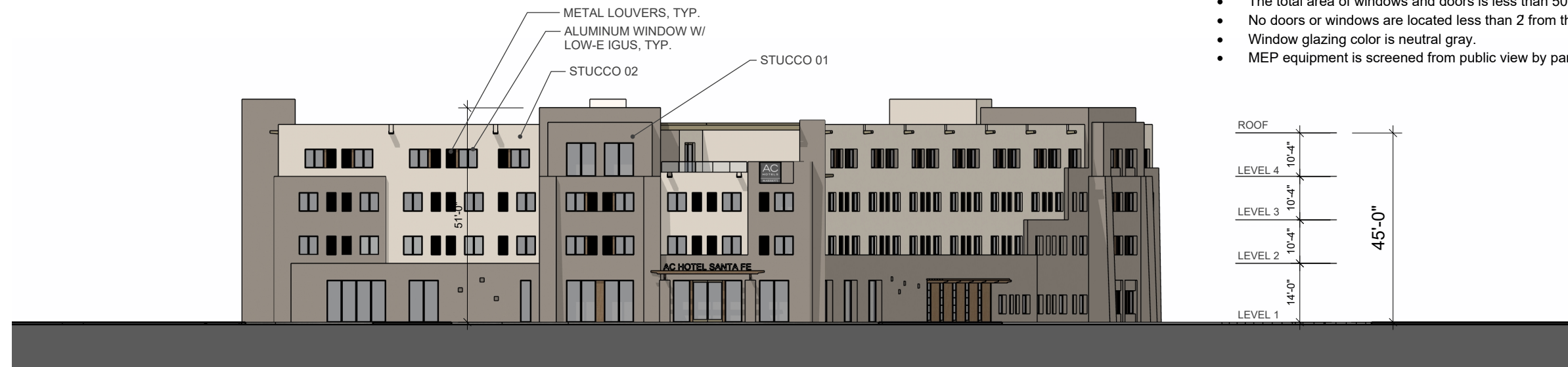
Very Sincerely and Respectfully,



Christine Robbins-Elrod, AIA, LEEP AP BD+C/ND/Homes, WELL AP
Principal
ChristineRElrod@5gstudio.com

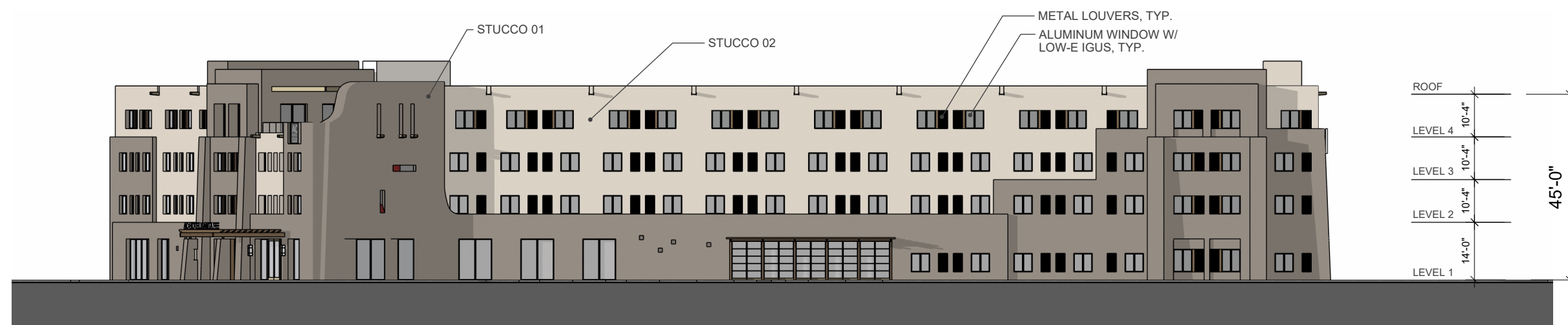
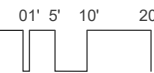
Architectural Points Analysis Highlight

- Stucco is the predominant exterior surface material. 30
- Earthtones are the colors of predominant exterior surface material. 30
- More than 75% of exterior wall surfaces are with monolithic treatment. 10
- Flat roof surfaces are entirely concealed from public view by parapets. 20
- Roofing surfaces are entirely concealed from public view. 20
- Roofing material color is entirely concealed from public view. 15
- All windows and doors are recessed a min. 3" from exterior wall surfaces. 20
- The total area of windows and doors is less than 50% of the façade area. 20
- No doors or windows are located less than 2' from the corners. 20
- Window glazing color is neutral gray. 10
- MEP equipment is screened from public view by parapets. 10



02 NORTH ELEVATION

SCALE 1"=30'



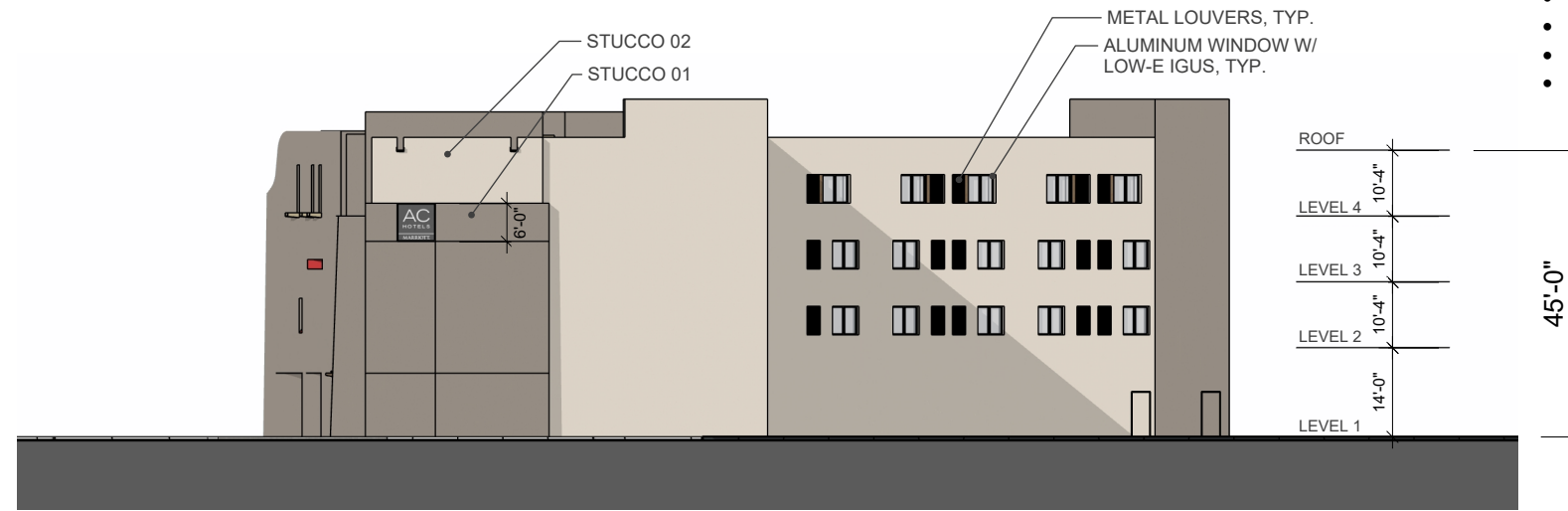
01 WEST ELEVATION (CERRILLOS ROAD)

SCALE 1"=30'



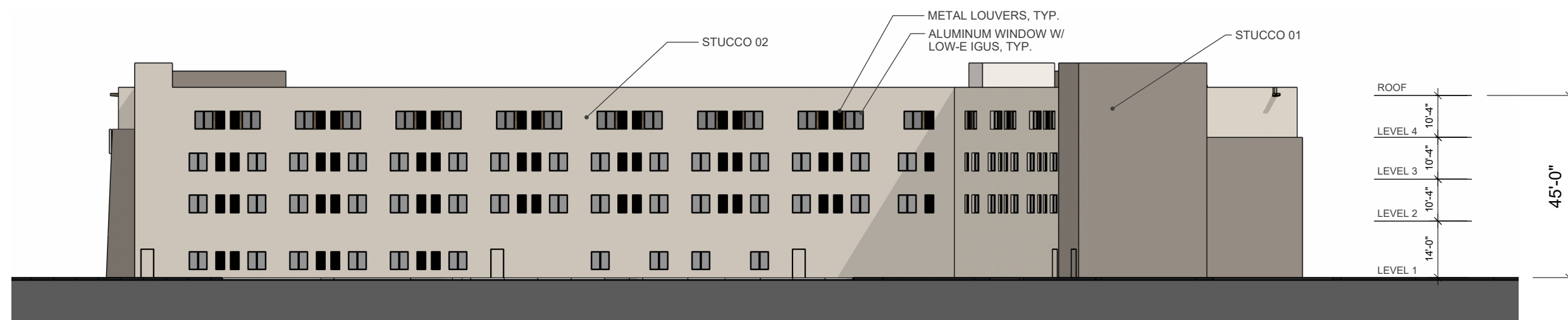
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- Window glazing color is neutral gray. 10
- MEP equipment is screened from public view by parapets. 10



02 SOUTH ELEVATION (CORDOVA ROAD)

SCALE 1"=30'



01 EAST ELEVATION

SCALE 1"=30'



01 NORTHWEST PERSPECTIVE VIEW

ARCHITECTURAL POINTS ANALYSIS / Santa Fe AC Marriott

DATE

Architectural Design Standard	Points	Actual
WALLS		
Predominant Exterior Surface Material		
Stucco, Adobe	30	30
Brick, natural stone, and integral color masonry	25; 30*	
Concrete and painted CMU	20; 30*	
Metal siding, glass curtain wall, wood siding, simulated materials	10; 30*	
Mirrored glass curtainwall systems	-10	
Color of Predominant Material		
Earthtones, creams, and pastels of earthtone hues	30	30
Pastel colors of non-earthtone hues, whites, grays, grayish greens	15; 30*	
High intensity colors	0; 20*	
metallic colors, glass, black	-10	
Exterior Surface Treatment		
(A) Wall surfaces appear monolithic with at least 75 percent of the total wall area one material and one color. Differing shades of the same general hue shall not be considered different colors. Non-solar fenestration, window and door awnings, applied trim, and accent materials, colors, and decorative bands, with the exception of stucco, masonry or concrete control joints, are used in such a way that they do not give a panelized or prefabricated appearance, produce striped or checkerboard patterns, or exceed 25 percent of the surface area of any façade. Fenestration and/or accent colors on wall surfaces under portals or canopies having a horizontal depth of at least six feet shall be exempt from area calculations	10	10
(B) Wall surfaces do not meet the criteria set forth in paragraph (A) above	-10	
ROOFS		
Form		
(A) Flat roof surfaces entirely concealed from public view by parapets	20	20
(B) Flat roof surfaces not entirely concealed from public view by parapets, uniformly sloping roofs, or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with greater than or equal to four feet of vertical rise for every 12 feet of horizontal run and less than or equal to 12 feet of vertical rise for every 12 feet of horizontal run	15	
(C) Uniformly sloping roofs or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with less than four feet of vertical rise for every 12 feet of horizontal run or having a slope with greater than 12 feet of vertical rise for every 12 feet of horizontal run	10	
(D) Any type of sloping roof having a height, from springline to peak, that exceeds the average height of the supporting walls; non-uniformly sloping roofs; or any combination of flat and non-uniformly sloping roofs	-10	
Predominant Material		
(A) All surfaces are concealed from public view	20	20
(B) Standing, flat, or batten seam metal roofing, or membrane, asphalt or gravel surfaces exposed to public view	15	
(C) Flat tiles of clay, concrete or slate	10	
(D) Barrel tiles of clay, concrete, or slate; and asphalt shingles	5	
(E) Wood shingles or shakes and other materials including but not necessarily limited to plastic, fiberglass or metal roof tiles	-10	
Predominant Color		
(A) All surfaces are concealed from public view	15	15
(B) Dark reds, browns, and earthtones, and natural metals including aluminum, zinc, tin, and lead	10	
(C) Low-intensity colors other than those stated above	5	
(D) White	0	
(E) Bright, non-fading, high-intensity colors and any use of multiple colors	-15	

Architectural Design Standard	Points	Actual
BUILDING FORM		
Massing		
(A) One-story buildings with over 10,000 square feet of gross floor area and multi-story buildings with over 20,000 square feet of gross floor area which are designed with wall plane projections or setbacks on each publicly visible façade having a depth of at least three percent of the length of the façade and extending at least 20 percent of the length of the façade	30	0
(B) One-story buildings with less than or equal to 10,000 square feet of gross floor area and multi-story buildings with less than or equal to 20,000 square feet of gross floor area which are designed with either offsetting wall planes or upper story setbacks of at least four horizontal feet, or a recessed entry space or projecting canopy or portal having a depth of at least six horizontal feet, on at least one publicly visible façade	30	
(C) Buildings not utilizing the massing techniques described in paragraphs (A) or (B) above	0	
DOORS & WINDOWS		
Treatment		
(A) More than 50 percent of doors, windows and glazed surfaces, which are not located under portales or canopies having a horizontal depth of at least six feet, have either frames recessed a minimum of two inches, are cased with trim, have divided lites, or have exposed or otherwise articulated lintels	20	20
(B) More than 50 percent of doors, windows and glazed surfaces do not meet the requirements set forth in paragraph (A) above	0	
Area		
(A) All wall surfaces which are not located under portales or canopies having a horizontal depth of at least six feet, and which do not include solar fenestration, have less than or equal to 50 percent openings consisting of doors, windows, glazing and other penetrations	20	20
(B) Wall surfaces do not meet the requirements as set forth in paragraph (A) above	0	
Location		
(A) All doors, windows and glazed surfaces, on structures having a gross floor area greater than 150 square feet, are located at least two feet from outside building corners	20	20
(B) All doors, windows and glazed surfaces, on structures having a gross floor area less than or equal to 150 square feet, have at least a two inch mullion at inside and outside building corners	20	
Glazing		
(A) All glazing is clear or tinted neutral gray	10	10
(B) Any use of colored glazing	0	
(C) Any use of mirrored glazing	-10	
EQUIPMENT		
Screening		
(A) All roof and wall mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, are screened from public view by parapets, walls, fences, dense evergreen foliage, or by other means	10	10
(B) All building mounted equipment set forth in paragraph (A) above is either screened; and/or painted to match visually adjacent surfaces	5	
(C) All building mounted equipment set forth in paragraph (A) above is not screened and/or painted to match visually adjacent surfaces	-10	
TOTAL		
REQ'D (R-1 Zoning)		205
PROVIDED		205