

Development Review Team (DRT) Comment Form for Planning Commission

Date: November 12, 2025

DRT Member: Fire Marshal Geronimo Griego

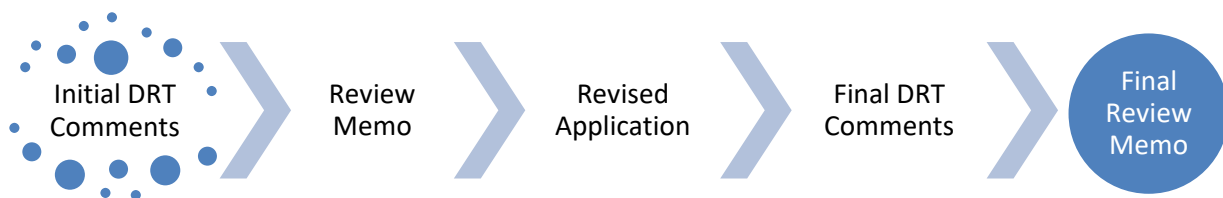
Dept/Div: Fire Marshal's Office

Case No.: 2025-11380 - AC Marriott Hotel

Planner: Claudia Kath, Senior Land-Use Planner

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

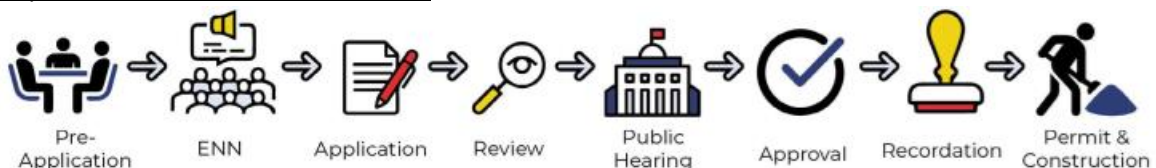


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

| Conditions of Approval: | Must be completed by: | Applicant response**: |
|--|---|-----------------------|
| 1. Shall comply with the most currently adopted International Fire Code (IFC) and adopted city ordinances upon building permit approval. | <i>Prior to Building Permit Approval.</i> | |
| | | |
| | | |
| | | |
| | | |

| Technical Corrections: | Must be completed by: | Applicant Response**: |
|------------------------|-----------------------|-----------------------|
| | | |

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

- 1.

Explanation of Conditions or Corrections (if needed):

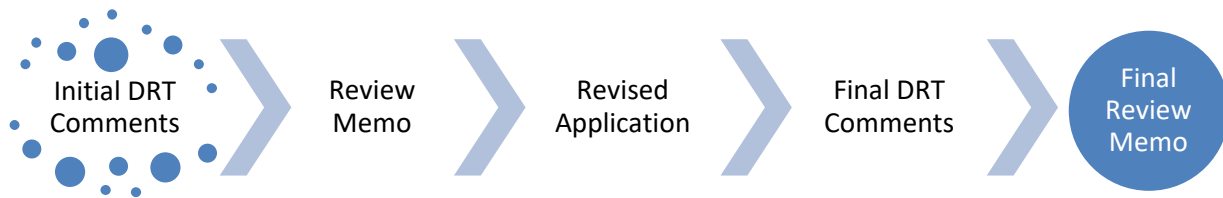
1. Shall comply with the most currently adopted fire code at the time of building permit approval to include adopted city ordinances for access and fire flow requirements.

Development Review Team (DRT) Comment Form

Date: October 29, 2025
DRT Member: Taylor Jurgens
Dept/Div: Public Utilities/Water Division/Engineering
Case No.: Case 2025-11380: AC Marriott Hotel Development Plan
Case Planner: Claudia Kath

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

| Conditions of Approval: | Must be completed by: | Applicant response: |
|---|-----------------------------------|----------------------------|
| 1. An approved Water Plan will be required for all new public water infrastructure and fire services. | Prior to Public Hearing | |
| 2. An approved Agreement to Construct and Dedicate (ACD) will be required with the Water Division for all new public water infrastructure and fire services. | Prior to Building Permit Approval | |
| 3. A separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall be installed beyond the meter on any new irrigation service. | At the time of development | |
| 4. Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements. | At the time of development | |
| 5. | | |
| 6. | | |

| Technical Corrections: | Must be completed by: | Applicant Response: |
|--|------------------------------|----------------------------|
| 1. Specific technical comments on the water plans will be provided by the Water Division to the design engineer. | Prior to Water Plan Approval | |
| 2. | | |
| 3. | | |
| 4. | | |

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

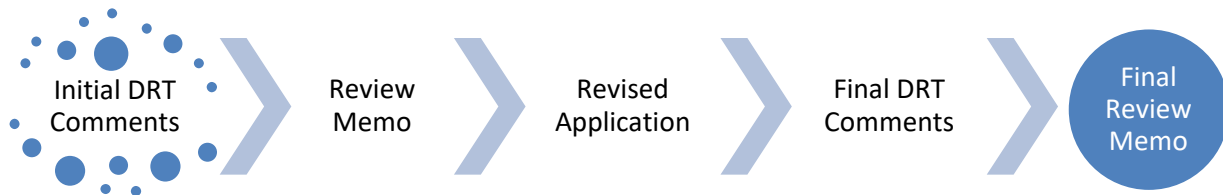
(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: January 29, 2026
 DRT Member: Stan Holland, P.E.
 Dept/Div: Utilities\ Wastewater Division
 Case No.: Case #: 2025-11380 - AC Marriott Hotel Development Plan Resubmittal
 Case Planner: Claudia Kath Senior Planner

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review

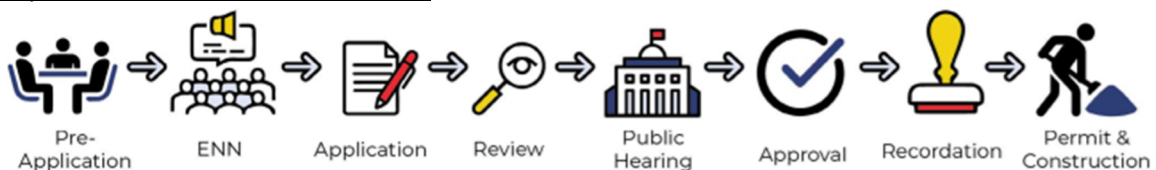


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

| Conditions of Approval: | Must be completed by: | Applicant response**: |
|---|--|------------------------------|
| 1. The Wastewater Division requires design drawings for both the sanitary sewer and storm water systems for this project to have both plan and profile drawings. Also, these drawings shall be highlighted to have the storm and sewer systems stand out beyond the other features. | <i>Prior to Building Permit Approval</i> | |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |

| Technical Corrections: | Must be completed by: | Applicant Response**: |
|-------------------------------|------------------------------|------------------------------|
| 1. | | |
| 2. | | |
| 3. | | |
| 4. | | |

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Date: 1/29/2026

DRT Member: Alan Hook

Dept/Div: Water Resources

Case No.: 2025-11380

Case Planner: Claudia Kath

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

| Conditions of Approval: | Must be completed by: | Applicant response**: |
|--|-----------------------------------|-----------------------|
| 1. Resubmit Utility Service Application and complete the Commercial subtotal including the landscape irrigation demand to get the Total Project Water Demand in AFY for AC Marriott Hotel | Prior to Building Permit Approval | |
| 2. Include the following reliable data for your Alternative Development Water Budget (DWB) | Prior to Building Permit Approval | |
| 3. For the Preliminary Alternative Development Water Budget, provide 3 comparable hotels for reliable data comparison a. El Rey was traditionally a Motel, not a Hotel, and is now the El Rey Motor Court. b. Not aware of a Spring Hill Suite in Santa Fe, c. Provide 3 hotels in Santa Fe of comparable size (i.e. Courtyard by Marriott @ 3347 Cerrillos Rd) | Prior to Building Permit Approval | |
| 4. | | |
| 5. | | |
| 6. | | |

| Technical Corrections: | Must be completed by: | Applicant response**: |
|------------------------|-----------------------|-----------------------|
| 1. | | |
| 2. | | |
| 3. | | |
| 4. | | |

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]

Explanation of Conditions or Corrections (if needed):

Form Updated: April 2024

Development Review Team (DRT) Comment Form

Date:

DRT Member: Teddy Padilla

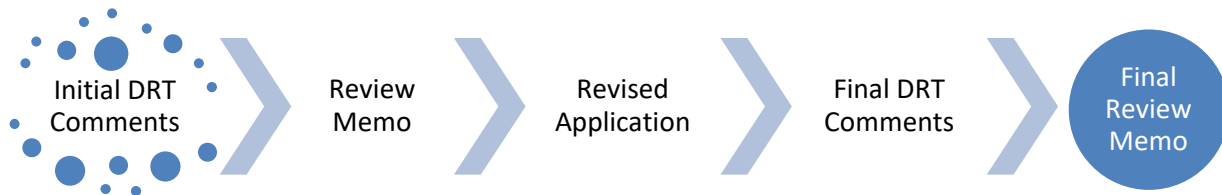
Dept/Div Land Use/ Technical Review

Case No.: 2025-11380

Case Planner: Claudia Kath

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

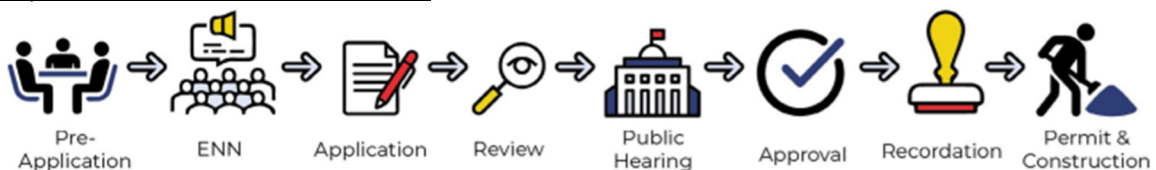


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- At the time of development* -

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

Form Updated: September 2023

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

| Conditions of Approval: | Must be completed by: | Applicant response**: |
|--|-----------------------|-----------------------|
| 1. At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable. | Recordation | |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |

| Technical Corrections: | Must be completed by: | Applicant Response**: |
|------------------------|-----------------------|-----------------------|
| 1. | | |
| 2. | | |
| 3. | | |
| 4. | | |

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: 12/04/2025

DRT Member: Paul A. Duran

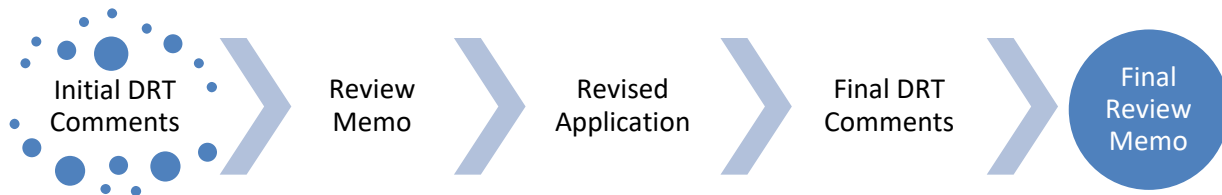
Dept/Div: Land Use/ Historic Preservation

Case No.: 2025-11380-AC Marriott Hotel 1000 Cerrillos Rd

Case Planner: Claudia Kath

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Form Updated: September 2023

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

| Conditions of Approval: | Must be completed by: | Applicant response**: |
|--|-----------------------|-----------------------|
| 1. 1000 Cerrillos Road is the historic location of the 1800s State Penitentiary. Staff encourages monitoring of ground disturbing activities for the development of the proposed hotel given the unknown potential to encounter historic prison burials around the site boundaries. This opportunity to monitor the ground disturbance will clear this area from future monitoring of ground disturbance where areas are proposed to be disturbed. | | |
| 2. On Sheet W-1, Utility Contact information needs to be updated. Mr. Frank Leyba is retired and no longer works for the City of Santa Fe. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |

| Technical Corrections: | Must be completed by: | Applicant Response**: |
|------------------------|-----------------------|-----------------------|
| 1. | | |
| 2. | | |
| 3. | | |
| 4. | | |

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

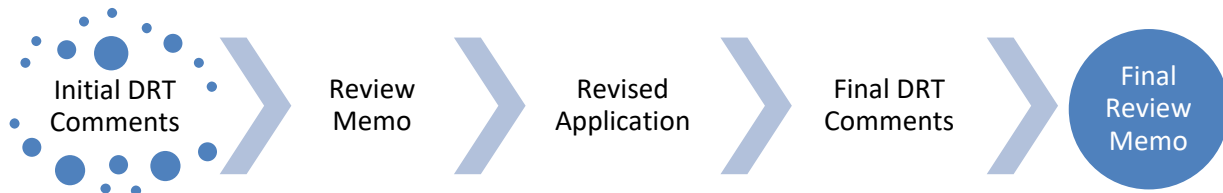
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

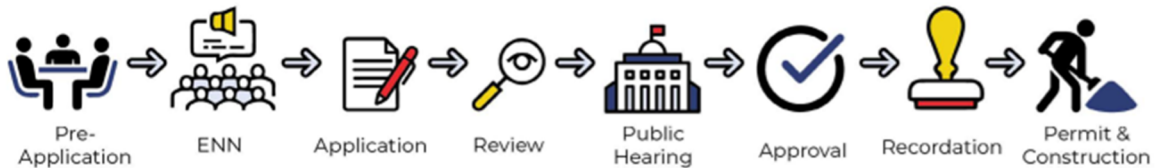


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

| Application Received | DRT Application Intake | DRT Initial Review Comments Due |
|----------------------|------------------------|---------------------------------|
| | | |

Date: January 29, 2026

DRT Member: Claudia Kath

Dept/Div: Current Planning Land Use

Case No.: 2025-11380

Case Planner:

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

| Conditions of Approval: | Must be completed by: | Applicant response**: |
|--|-----------------------------------|------------------------------|
| 1. No color, gray scale or photos on any plan sheets – black and white linework only | Prior to Recordation | |
| 2. Confirm an approved Water Budget prior to requesting an Alternative Water Budget | Prior to Recordation | |
| 3. Show all exterior light fixtures with cutsheets in revised photometric plan | Prior to Building Permit Approval | |
| 4. Show shields on all lights to prevent nuisance glare | Prior to Building Permit Approval | |
| 5. | | |

| Technical Corrections: | Must be completed by: | Applicant response**: |
|-------------------------------|------------------------------|------------------------------|
| 1. | | |
| 2. | | |
| 3. | | |
| 4. | | |

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

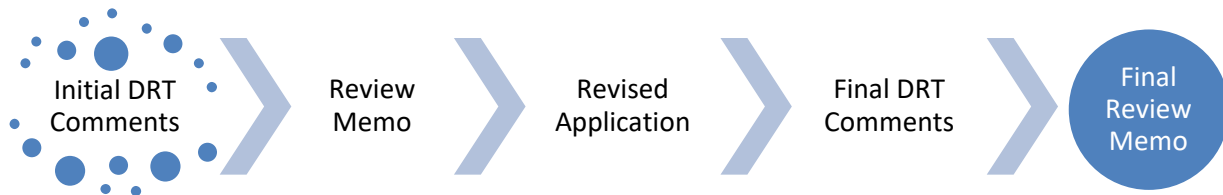
(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: 12/9/2025
 DRT Member: Dee Beingessner
 Dept/Div: Terrain Management
 Case No.: 2025-11380
 Case Planner: Claudia Kath

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

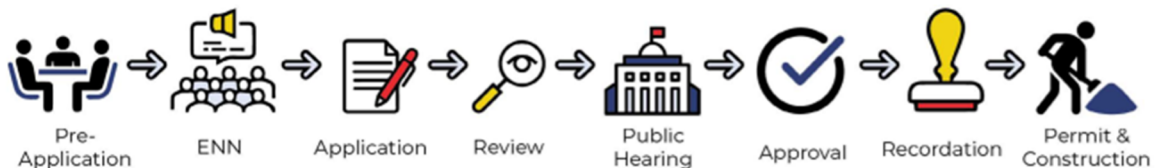


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

| Conditions of Approval: | Must be completed by: | Applicant response**: |
|-------------------------|-----------------------|-----------------------|
| 1. | | |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |

| Technical Corrections: | Must be completed by: | Applicant response**: |
|---|-----------------------|-----------------------|
| 1. V100 yr volume calcs appear to have an error. While utilizing the equation they provided, staff has found significantly different results | Prior to recordation | |
| 2. Could they provide the equation for how the flow rates are calculated in the existing drainage and proposed drainage data tables? | Prior to recordation | |
| 3. Please provide a summary of the total developed discharge rate, post detainment | Prior to recordation | |
| 4. How was the volume of the pond determined to be sufficient, were hydrographs generated? | Prior to recordation | |
| 5. B.O.P. elevation in the volume calculations for the north pond has not been updated to 6917.10, please re-run these calculations to provide updated volumes and orifice flow rates | Prior to recordation | |
| 6. There appears to still be some curb cuts without call outs | Prior to recordation | |
| 7. Could we modify the recessed area adjacent to cerillos road to include the entire planter strip, so that the street trees can maximize the amount of rainwater harvesting to them | Prior to recordation | |
| 8. Roof flow was stated as "flow to surface" Is the roof just going to drip right on the sidewalk? Or is there a gutter, sidewalk culverts, etc? | Prior to recordation | |
| 9. Please edit the pond riser detail to show the orifice 6 inches above BOP | Prior to recordation | |
| 10. Please meander swale in basin 2 to the pond and add water harvesting feature | Prior to recordation | |

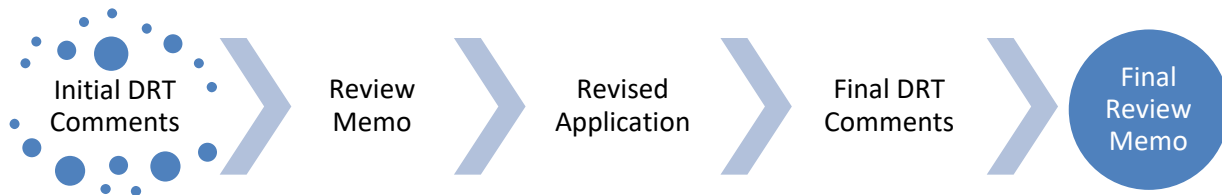
**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

Development Review Team (DRT) Comment Form

Date: December 10, 2025
DRT Member: Lawrence Rivera
Dept/Div: Landscape, Irrigation, and Outdoor Lighting
Case No.: Case #: 2025-11380 - AC Marriott Hotel Development Plan Resubmittal
Case Planner: Claudia Kath Senior Planner, Office: 505-955-6661, Cell: 505-231-3399

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

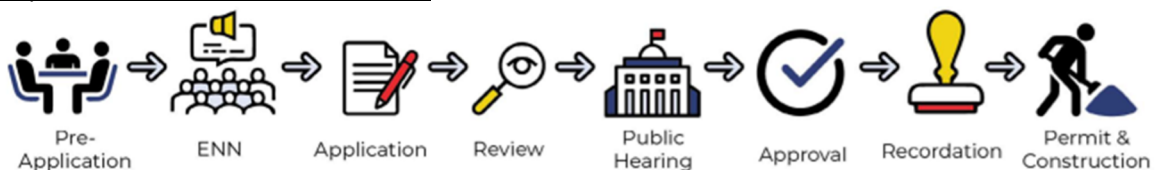


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

| Conditions of Approval: | Must be completed by: | Applicant response**: |
|-------------------------|-----------------------|-----------------------|
| 1. | | |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |

| Technical Corrections: | Must be completed by: | Applicant Response**: |
|--|-----------------------|-----------------------|
| 1. Retention / detention pond conveyance system from the parking lot is very ridged. Provide landscape plantings along the conveyance swale to screen and soften the aesthetics of the swale in the landscape as seen from Cerrillos Road. | Prior to Recordation | |
| 2. | | |
| 3. | | |
| 4. | | |

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:


1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: November 3, 2025

DRT Member: Leroy Pacheco, PE and Phil Gallegos, PE (Wilson&Company) 

Dept/Div: Public Works Department – Traffic Engineering

Case No.: Case #: 2025-11380 - AC Marriott Hotel Development Plan

Case Planner: Land Use Department - Claudia Kath, Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

| Conditions of Approval: | Must be completed by: | Applicant response: |
|-------------------------|-----------------------|---------------------|
| 1. None | | |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |

| Technical Corrections: | Must be completed by: | Applicant Response: |
|---|---|---------------------|
| 1. See attached letter date 11/3/2025 from Wilson & Company | Next DRT review submittal est. 11/27/25 | |
| 2. | | |
| 3. | | |
| 4. | | |

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. Any and all future proposed improvements of this site that affect public infrastructure will be subject to **City Code Chapter 23** and additional reviews and possible corrections to meet Public Works Standards for roadways, ADA, signing, striping, lighting, etc. may be required at that time.

City Code Chapter 23-3.18 City construction and assessment.

Nothing in subsections 23-3.12 and 23-3.15 SFCC 1987 prevents the city from ordering construction of curbs, gutters and sidewalks and assessing the cost thereof against the property benefited in any manner provided by the laws of the state. (Code 1953, § 24-28; Code 1973, § 30-29; SFCC 1981, § 4-13-18; Ord. #38-1987, § 8).

Memorandum

To: Leroy Pacheco, PE COSF

From: Philip A. Gallegos, PE, Senior Transportation Engineer

CC: Robert Luna, PE, PTOE, Traffic Engineering Practice Lead, SW Region

Date: 11/3/2025

Re: Marriott Hotel TIA Review

Wilson and Company has reviewed the DRAFT TIA dated October 14, 2025 for the Marriott Hotel – Santa Fe Development prepared by Tierra West and have the following comments. Please let me know if you have any questions or require further information.

GENERAL COMMENTS

- NMDOT does not approve the proposed secondary west driveway as a right-out, left-in-only access. And only supports this driveway as a right-in, right-out only configuration. As per email from Kathleen Garcia, PE, D5 Traffic Engineer dated 10/10/25. All analysis for this driveway shall be reevaluated and included in all references to driveway including in the tables and appendices.
- Appendices need to be listed in the Table of Contents
- Calculations shall be included for the proposed auxiliary lanes.
- Multimodal Review beginning on page 33 is generally thorough however a paragraph discussing the Deaf Population utilizing pedestrian facilities in the vicinity of the School for the Deaf should be included and any mitigations to improve access for this population.

REPORT COMMENTS

- Executive Summary page iv Driveway B needs to be referenced as a Right In/Right Out and evaluated as per NMDOT direction
- Page 2 Driveway B shall be analyzed as a Right In/Right Out driveway as per NMDOT direction.
- Page 3 Driveway B shall be shown as a Right In/Right Out driveway as per NMDOT direction.
- Page 4 No. 5 Driveway B shall be analyzed as a Right In/Right Out driveway as per NMDOT direction.
- Page 5 last paragraph shall reflect the most current NMDOT design as per email from Kathleen Garcia, PE, D5 Traffic Engineer dated 10/10/25.
- Page 7 Safety Analysis the most recent 3 years were evaluated. This should be 5 years as determined by the COSF.
- Page 7 Cerrillos Rd./ST. Francis Dr. first sentence should read 117 crashes. Also since rear end collisions are the major contributing factor and paragraph discussing possible mitigation measures should be included.
- Page 8 The Crash Summary Table provided shall be included with all of the required information. The table provided is only partial. Also since rear end collisions are the major contributing factor and paragraph discussing possible mitigation measures should be included.

- Page 9 The Crash Summary Table provided shall be included with all of the required information. The table provided is only partial.
- Page 15 Need to show 2027 data first or is this a typo? Also Need to reevaluate with correct Rt. In/Rt. Out Configuration for Driveway B which isn't even shown.
- Page 16 Where are the rest of the intersections? And Driveway B needs to be evaluated as a Rt. In/Rt. Out.
- Page 17 the year 2027 needs to be shown first
- Page 18 Driveway B needs to be evaluated as a Rt. In/Rt. Out
- Table 4 2027 AM Peak Hour shows a 520-foot queue length. Why is this so high from the No Build since delay is about the same?
- Page 28 Driveway B needs to be evaluated as a Rt. In/Rt. Out.
- Table 12 Driveway B needs to be evaluated as a Rt. In/Rt. Out.
- Page 30 Driveway B needs to be evaluated as a Rt. In/Rt. Out.
- Page 30 The proposed Driveway A WB Deceleration Lane shall reflect the NMDOT design.
- Driveway B needs to be evaluated as a Rt. In/Rt. Out.
- Page 37 Potential mitigations to address rear end collisions shall be included since they are the major contributing factor.
- Page 37 Recommendations Driveway B needs to be evaluated as a Rt. In/Rt. Out.

Sincerely,

Philip A Gallegos, PE
Senior Transportation Engineer

RE: [EXTERNAL] [#2025080] - Request to Reconsider Extension of Westbound Left Turn Lane on Cerrillos Rd. at Cordova Rd. for Marriott Hotel Project

From Garcia, Kathleen, DOT <kathleen.garcia@dot.nm.gov>

To Terry Brown<tbrown@tierrawestllc.com>

CC Ron Bohannan<rrb@tierrawestllc.com>, Jacob Liberman<jliberman@tierrawestllc.com>, Jay Nelson<JNelson@tierrawestllc.com>, Vince Carrica<vcarrica@tierrawestllc.com>, Leroy Nicholas Pacheco, PE<engineer@leroypacheco.com>, Gallegos, Phil<philip.gallegos@wilsonco.com>, Martinez, Javier, NMDOT<Javier.Martinez@dot.nm.gov>

Date Friday, October 10th, 2025 at 12:34 PM

Good afternoon Terry,

After review, NMDOT does not approve the proposed secondary west driveway as a right-out, left-in-only access. We can only support this driveway as a right-in, right-out only configuration.

Allowing left-in movements at that location raises safety and operational concerns, especially given how close it is to the westbound left-turn lane at Cordova Road. Introducing additional left-turn movements in that area could negatively impact traffic flow and safety on Cerrillos Road.

In terms of the reconstruction project on Cerrillos Road (CN S100681), the plan to extend the westbound left-turn lane at Cordova Road to 175 feet plus transition is necessary. This design accommodates both deceleration and queuing needs and will move forward as planned.

Thank you,

Kathleen Garcia, P.E.

NMDOT District 5

Traffic Engineer

Cell: (505) 618-0635

Email: kathleen.garcia@dot.nm.gov

CAUTION: This email originated outside of our organization. Exercise caution prior to clicking on links or opening attachments.

Javier,

I am writing on behalf of the design team for the proposed Marriott Hotel project located along the south side of Cerrillos Road west of the signalized intersection of St. Francis Drive. As part of this development, we propose two unsignalized driveways:

- A full-access driveway along the south side of Cerrillos Road, approximately 850 feet west of St. Francis Drive (aligned with the existing School for the Deaf driveway).
- A secondary right-out, left-in-only driveway located approximately 425 feet west of the full-access driveway.

The need for the secondary (west) driveway was identified during the traffic data collection phase of our study. Observations revealed that eastbound queuing on Cerrillos Road at St. Francis Drive occasionally extends to the full-access driveway. While our calculated 95th percentile queue length at this intersection is approximately half that observed distance, the occasional passage of the Rail Runner train (approximately once per hour or so) is anticipated to periodically cause queues exceeding the 95th percentile during affected signal cycles. Consequently, the west driveway provides essential secondary left-turn access to the site should queuing block the east (full-access) driveway.

This driveway has been positioned as far west as feasible on the site to accommodate (1) grading constraints and (2) the construction of an adequate length of westbound left-turn lane. Please see the attached site plan (2025080-SP-SP-1 with Driveways.pdf) for details.

During yesterday's design team meeting, we reviewed the New Mexico Department of Transportation (NMDOT) plans for project CN S100681 – NM 14 (Cerrillos Road) Reconstruction. These plans indicate an intention to extend the existing westbound left-turn lane on Cerrillos Road at Cordova Road from its current length of approximately 85 feet (plus transition) to about 175 feet (plus transition).

According to the Traffic Impact Study for the Marriott Hotel site, the maximum 95th percentile queue length for the westbound left-turn movement at Cerrillos Road and Cordova Road is 65 feet, based on the horizon year (2037) build scenario volumes. The proposed extension of this left-turn lane would conflict with our west driveway location. We evaluated relocating the west driveway eastward to align with the NMDOT design but determined that site grading constraints preclude this adjustment. For reference, please see the attached NMDOT plan sheets, particularly Sheet No. 3-64.

In light of this conflict, we kindly request that NMDOT consider retaining the existing left-turn lane length at Cerrillos Road and Cordova Road. This would enable the west driveway to serve as an alternate access point for westbound left-turn traffic to the Marriott Hotel site during periods when eastbound queuing obstructs the primary east driveway. Our analyses confirm that the current lane configuration provides sufficient storage to accommodate the 95th percentile queue through the 2037 horizon year.

We appreciate your consideration of this matter and look forward to your feedback. Please let us know a convenient time for a discussion if needed.

Best Regards,

TERRY O. BROWN, P.E.



5571 Midway Park Pl. NE

Albuquerque, NM 87109