



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909

Sam Pick, Mayor

Isaac J. Pino, City Manager

Councilors:
Larry A. Delgado, Dist. 1
Debbie Jaramillo, Dist. 1
Bernie Beenhouwer, Dist. 2
Ouida MacGregor, Dist. 2

Councilors:
Carlos A. Gallegos, Dist. 3
Frank Montaño, Dist. 3
Peso Chavez, Dist. 4
Phil Griego, Mayor Pro Tem
Dist. 4

Case #H 92-38 Meeting Date March 23, 1992

Project Address 210 Don Gaspar District Core

Agent _____ Address 210 Don Gaspar Phone _____

Owner Robert Packard/Don Fortel Address c/o On Water Phone 982-8787

PUBLICLY VISIBLE FACADES: (X) NORTH (X) SOUTH (X) EAST (X) WEST

HISTORICAL SIGNIFICANCE: NUMBER 317 AREA NO. 1 AGE c. 1921-30

(X) SIGNIFICANT () CONTRIBUTING () NON-CONTRIBUTING

(X) SURVEY SHEET ATTACHED () SURVEY SHEET NOT AVAILABLE () NOT SURVEYED

APPROVAL REQUIREMENTS: () NEW CONSTRUCTION (X) EXTERIOR RENOVATION
() DEMOLITION () BASAL SQUARE FOOTAGE _____

PROPOSAL: New door, entry way on Water Street at restaurant entrance.

BOARD ACTION

This is to certify that the Historic Design Review Board at their meeting on _____, acted on the above referenced case. The decision of the Board was to () approve, () conditionally approve, () table, () deny your request. You shall make part of your Building Permit application any conditions imposed by the Board which are listed as follows:

For further information please call 984-6657.

Sincerely,

Mary Grzeskowiak
Urban Design Review Specialist

NOTE: HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST. (SFCC 1987, SECTION 7-1.6)



②

FACING N.E. CORNER OF HOTEL ST. FRANCIS, ON THE CORNER OF WATER ST. AND DON GASPAR. ADDITIONAL SIGNAGE TO AWNING OVER THE DOOR, WILL BE A WOODEN, ROUTED SIGN ABOVE THE EXISTING HOTEL ST. FRANCIS SIGN. THE DIMENSIONS WILL BE 3' X 4' X 2³/₄", AND WE INTEND TO USE THE EXISTING LIGHT FIXTURES FOR BOTH SIGNS.

3



FACING IN THE CORNER WHERE THE RESTAURANT EXISTS NOW,
WOODEN SIGNAGE ABOVE EXISTING HOTEL SIGN AND PAINTING ON
THE FAR WEST AWNING IN 8" LETTERS OUR NAME AND ADDRESS



ON WATER STREET FACING EXISTING DOOR, THE DOOR FACING NORTH. PROPOSED SIGNAGE IS PAINTING IN 8" LETTERS, OUR NAME AND ADDRESS ON THE BOTTOM FOOT OF THE AWNING IN WHITE LETTERS. POSSIBLE ILLUMINATION FROM WITHIN THE AWNING IN ORDER TO PREVENT ADDITIONAL EXTERNAL LIGHT FIXTURES

City of Santa Fe, New Mexico

memo

DATE: March 23, 1992

TO: Historic Design Review Board Members

FROM: Mary Grzeskowiak, Urban Design Review Specialist

CASE #H- 92-38 ADDRESS 210 DON GASPAR

REFERENCE ATTACHMENTS (Chronologically):

<u>CITY SUBMITTALS</u>	<u>APPLICANT SUBMITTALS</u>
<u> </u> Case Synopsis	<u> X </u> Proposal Letter
<u> X </u> District Guidelines	<u> X </u> Vicinity Map
<u> X </u> State Historical Survey Sheet	<u> X </u> Site Plan/Floor Plan
<u> </u> Minutes of _____	<u> X </u> Photographs
<u> </u> Other _____	<u> X </u> Elevations
	<u> </u> Other _____

STAFF RECOMMENDATIONS:

The enclosed proposal, which focuses on the West door/window bay on the buildings N. (Water St. elevation) facade, includes removing the existing door and window and recessing the entry way to 6 ft. The existing transom lights will be retained and a new header installed to support them. The new door and window will be divided lights and wood work will be painted white. In addition, the existing knee wall will be retained and be built out (into the recess) for use as a planter.

Since this work is occurring on a secondary facade, and is held back away from the primary corner of Don Gaspar and Water Street, it will not impact the historic status of the building. In addition, this area will continue to read as a void, as it currently does in its store front configuration. Staff recommends approval.

14-70.9 Standards; Downtown and Eastside.

GLC

1. CORE HISTORIC DISTRICT

(Section 14-70.9, SFCC 1987; pgs. 1636 - 1638)

The Board reviews publicly visible projects, such as new construction, additions, renovations, remodeling, and demolitions of roofed structures.

Staff reviews not publicly visible roofed structures, as mentioned above. Staff also reviews signs and miscellaneous structures (including walls/fences, non-roofed structures, repainting and stucco colors), that are publicly visible or not.

Buildings are required to be designed in the "Santa Fe Style", defined as including both the Pueblo Spanish and Territorial vernaculars. Briefly, the design regulations state that no glass pane may be greater than 30 inches in any dimension (except under portals), that doors and windows can constitute no more than 40 percent of any facade, and that no window or door can be closer than three (3) feet to the outside edge of any facade. A building's massing, color and proportion must be characteristic of adobe construction, even if made in frame/stucco or block/stucco. Pitch roofs are allowed, but must meet certain tests; ask for Resolution 88 for specifics.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls.

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space

under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection;

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by restoration of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements;

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

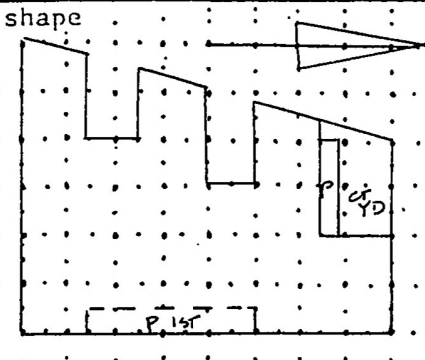
(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

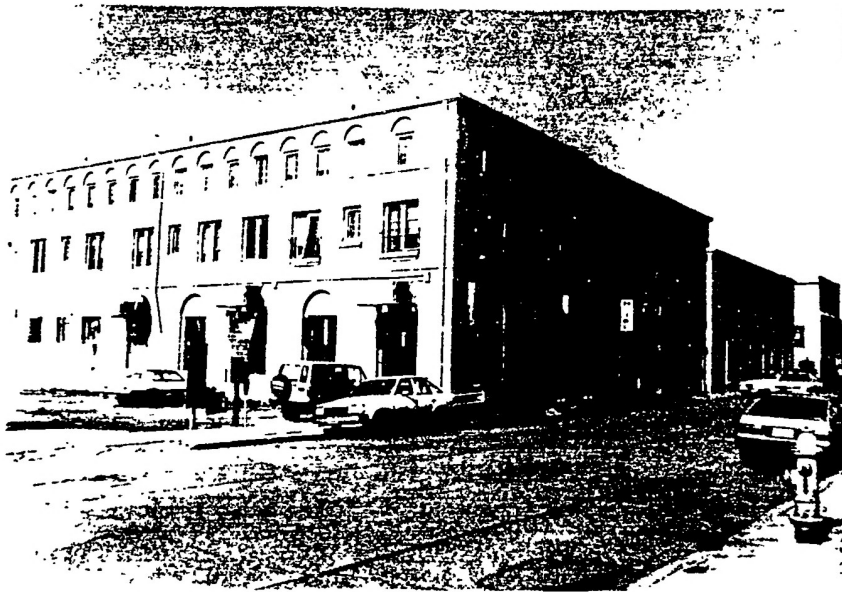
(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of

the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang.
(Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)

building threatened? yes	surveyed date 12/15/84 by HMW	county SANTA FE	ID no. 051610317
field map SFHD # 1	number 317	UTM reference zone 12 13	easting northing
location description 210 DON GASPAR SW CORNER @ WATER.		city/town SANTA FE	
building name DE VARGAS HOTEL.		legal description tensp N S range E W sec 1/2 1/4	
film roll by HMW no. SFHD # 19	negative nos. 11	loc. of neg. HPB	plan shape 



date of construction 1921.30 estimate _____ actual
source SANB.
use present residential other HOTEL
historic residential other HOTEL

condition <input checked="" type="checkbox"/> excellent <input type="checkbox"/> good <input type="checkbox"/> fair <input type="checkbox"/> deteriorating
--

degree of remodeling <input checked="" type="checkbox"/> minor <input type="checkbox"/> moderate <input type="checkbox"/> major
--

describe:

surroundings COURT

relationship to surroundings <input type="checkbox"/> similar <input checked="" type="checkbox"/> not similar
--

district potential <input type="checkbox"/> yes <input type="checkbox"/> no
--

significance <input checked="" type="checkbox"/> eligible <input type="checkbox"/> of <input type="checkbox"/> none
--

if eligible, interest
why? PRIMARY; TYPE, INTEG.

associated buildings? <input type="checkbox"/> yes what type?
--

if inventoried, list ID nos.

see back? <input checked="" type="checkbox"/> yes

style MISSION REV.	FOUNDATION MATERIAL CONC.
	wall material/surface BRK / STUCCO
architectural features HIPPED RES. NV FOR PLAN.; LONG EAVE. 3 HORIZ TIER OLD: 1ST & 3RD HAVE SEMI CIRC ARCHES W/ REG. WINDS IN THEM, 2ND HAS STRAIGHT LINTELS. 3RD FL: 4/4 WD. CASMET WINDS; 2ND 3/3 WD CASMETS, FRONT & PART OF SIDES W/ SMALL WDW LODGE W/ WI ORILL. 1ST FL: 4/4 WD CASMETS; EXCEPT SOME FRONTS @ N END. SGL LF SGL LIGHT DOORS W/ LARGER SGL DISPLAYS W/ SGL TRANSOM, COMMENTS ONE WDW HAS A LEADED GLASS TRANSOM. 2 REAR LIGHTWELLS / LOADING & SERVICE AREAS. 2 SETS OF DBL DOORS W/ SGL LIGHTS @ REAR. OWNER'S APT: NW CORNER OF BLDG, 6/1, 10/1 D.H. WD WINDS, OVERLOOKS C'YD ON N W/ FRAME PORCH.	

COMMENTS:

~~EXPLANATION~~

DR. DIAZ HAD SANATORIUM IN N WING OF BLDG FACING WATER.
W.G. SARGENT TOOK THIS OVER IN 1925 & BUILT 3 S PORTION &
REMODELING DIAZ'S BLDG.

THE BLDG HAS A CLASSICAL/RENAISSANCE FEEL IN ITS 3 TIER
HIERARCHY & SEMI CURV ARCHES, BUT QUALIFIES AS MISSION REV.
AS SEMI-CURV ARCHES DEFINE THIS TYPE AS WELL.

A SCHEME SIMILAR TO THIS WAS PUBLISHED AROUND 1911 IN THE
NEW MEXICAN, WITH A NEW LUXURY HOTEL IDEA FIRST SURFACED.

EVENTUALLY LA FONDA WAS BUILT AS THE LUXURY HOTEL, IN SPANISH,
& THIS FOLLOWED 5 YRS LATER, IT WOULD SEEM RECYCLING THE
EARLIER SCHEME.

EXC. INTEG, GOOD CONDITION.

INT. LOBBY ALTERED.

PLANNED TO BE APT PROJECT IN 1985.

3/3/92

TO WHOM IT MAY CONCERN;

OUR PROPOSED ALTERATIONS WILL TAKE PLACE IN WHAT IS NOW THE HOTEL ST. FRANCIS, FORMALLY THE DE VAREZAS HOTEL. THE ORIGINAL BUILDING ERRECTED IN THE 1880'S, A MAJORITY OF THE EDIFICE WAS DESTROYED BY FIRE RIGHT AROUND THE TURN OF THE CENTURY. WHAT WAS LEFT OF THE BUILDING IS ESSENTIALLY WHERE THE RESTAURANT EXISTS NOW. AFTER IT WAS RECONSTRUCTED IN THE FIRST PART OF THE CENTURY, IT WENT FROM BEING A MAJOR MEETING PLACE FOR POLITICIANS DURING THE DEPRESSION AND THE FORTIES TO BEING A RUN DOWN TENAMENT HOTEL IN THE SIXTIES AND SEVENTIES. IT WAS VIRTUALLY GUTTED AND COMPLETELY REMODELED IN THE MID-EIGHTIES. FROM THE EARLY 70'S TO THE EARLY 80'S ON THE SOUTH END OF THE HOTEL A RESTAURANT OPERATED, WHEN THE HOTEL ST. FRANCIS REOPENED, IT MOVED THE RESTAURANT OPERATION TO THE NORTH SIDE OF THE BUILDING WHICH WAS FORMALLY FRANCISCO'S. WHAT WE PROPOSE TO DO WITH THE EXISTING DOORWAY ON WATER STREET IS REMOVE AN EXISTING DOOR AND WINDOW, LEAVE THE LEADED GLASS TRANSOM AND RECESS THE NEW ENTRYWAY. A HEADER WILL BE PUT IN PLACE TO SUPPORT THE TRANSOM. AFTER THE TRANSOM IS REINFORCED, THE NEW FRAMING FOR A SINGLE, FRENCH STYLE DOOR AND ADDITIONAL MATCHING WINDOW WILL BE RECESSED INTO THE BUILDING WITH AMPLE SPACE PROVIDED FOR HANDICAP ACCESS. THE NEW FRENCH

DOOR AND MATCHING GLAZING WILL PAINTED WHITE.

THE FLOORING ON THE OUTSIDE OF THE DOOR, FACING THE STREET, WILL BE DONE IN HALF-INCH PAVERS TO PRESERVE THE CONTINUITY OF THE SIDEWALK.

IN THE CEILING OUTSIDE, THERE WILL BE TWO RECESSED CAN LIGHTS IN DRY WALL. THE ENTIRE EXTERNAL ENTRY WAY WILL BE PLASTERED TO MATCH THE REST OF THE EXTERNAL OF THE HOTEL.

WHERE THE EXISTING DOOR IS NOW, THERES A SMALL MORTAR WALL WHICH SUPPORTS THE WINDOW. AFTER THE DOOR AND WINDOW ARE REMOVED THIS WALL WILL REMAIN AND BE TURNED INTO A FLOWER BOX FEATURE.

FOR THE SIGNAGE FEATURES WE PROPOSE TO PAINT THE NAME AND ADDRESS ON THE BOTTOM EIGHT-INCH PERIMETER OF THE AWNING DIRECTLY ABOVE THE NEW DOOR. LIGHTING ON THE INSIDE OF THE AWNING WILL PROVIDE AN ADEQUATE ILLUMINATION TO SHOW THE SIGNAGE DURING EVENING HOURS. ADDITIONAL SIGNAGE WILL BE PLACED ABOVE THE HOTEL ST. FRANCIS SIGN ON THE CORNER OF WATER AND DON PASPAR. LIGHTING WILL BE PROVIDED BY THE EXISTING FIXTURES USED BY THE HOTEL. THE SIGN WILL BE MADE OF WOOD, THE DIMENSIONS WILL BE 3 FEET X 4 FEET X 2 ³/₄ INCHES.

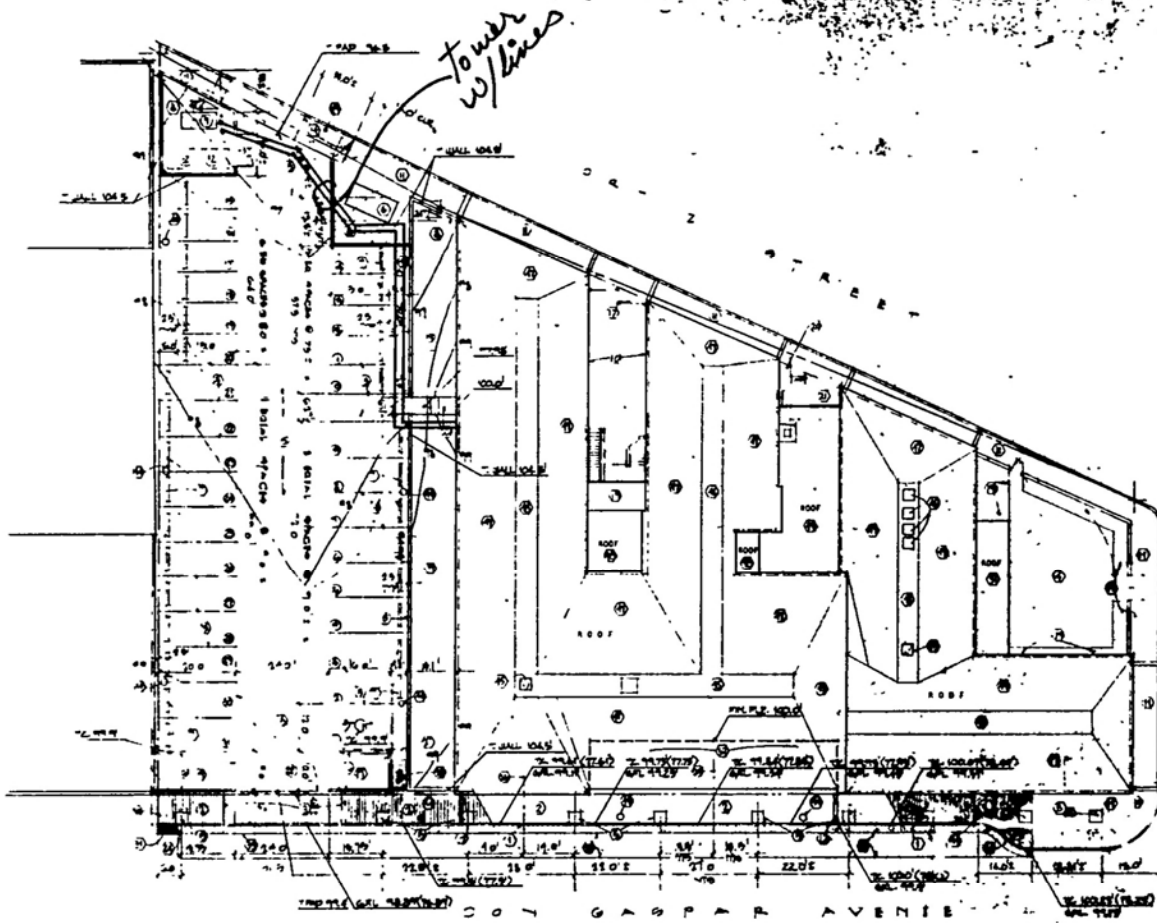
THANK YOU FOR YOUR CONSIDERATION.

SINCERELY,

ROBERT PACKARD

OWNER, ON WATER

Signage:
mg already
consulted
with applicant/
no variance
request.



SITE/ROOF PLAN

1/2" = 1'-0"

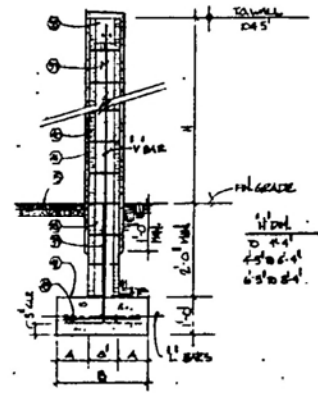


GENERAL NOTES

1. FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS. ELEVATIONS NOTED WITHIN PARENTHESES () WERE PROVIDED BY LEEDS/HELLMUTH/OBATA/PERKINS ARCHITECTS TO COORDINATE CURB AND GUTTER WORK WITH CITY OF SANTA FE STREET IMPROVEMENTS PROJECT.

KEY NOTES

1. REMOVE CONCRETE CURB AND GUTTER AND REPLACE
2. REMOVE CONCRETE SIDEWALK AND REPLACE WITH BRICK PAVING SET ON SAND BED
3. NEW CONCRETE DRIVE PAD AND LAYDOWN CURB
4. BRICK PAVING - SEE FLOOR PLAN
5. 36" X 36" W/ST FLOOR FREE GRATE
6. CONCRETE TRANSFORMER PAD - SEE ELECTRICAL
7. CONCRETE PARKING STOPPER
8. MASONRY WALL - SEE 1/21
9. COILING TOWER - SEE MECHANICAL
10. CONCRETE SLAB
11. NEW LINCOLN CURB AND GUTTER ETC THIS AREA BY CITY
12. SIDEWALK DRAIN WITH STEEL COVER
13. 4" WIDE PAINTED STRIPES
14. HANDICAPPED SYMBOL - PAINTED
15. ASPHALTIC CONCRETE PAVING
16. CONCRETE CURB
17. WOOD FENCE WITH GATE (2) (2)
18. SPOT ALL CELLS SOLID - SEE CIV ENGINEER
19. LANDSCAPING - SEE 402
20. GAS METER
21. LOADING DOCK
22. CONCRETE WALK AND STEPS
23. BRICK PAVED HANDICAPPED WALK - SLOPE = 1/2" X 2"
24. CURB OF REMOVAL OF EXISTING CURB AND GUTTER/NEW CURB AND GUTTER
25. CENTERLINE OF FRONT DOORS
26. LOCATE TREE GATE WITH NORTH EDGE 15' SOUTH OF WATER STREET CURB
27. DEPRESS CURB AND HANDICAPPED RAMP TO BE FLUSH WITH ASPHALT CONCRETE PAVING
28. DIMENSION TO EXISTING BUILDING CORNER
29. REMOVE AND RELOCATE EXISTING LIGHT POLE
30. BRICK PAVING FLUSH OUT WITH EXISTING SIDEWALK
31. DRAIN INLET
32. TRASH BINS
33. WATER METERING PIT PER CITY AND HANDED BY CHRISTY WATER COMPANY STANDARDS
34. REMOVE EXISTING SIDEWALK, CURB AND GUTTER AND REPLACE WITH NEW LAYDOWN CURB AND DRIVE PAD
35. REPLACE PAVEMENT THIS AREA FROM FACE OF CURB AND GUTTER TO FIRST PAVEMENT JOINT IN STREET
36. 10' RADIUS REVERSE CURVE
37. WOOD GATES (2)
38. BOND BEAM, GARUT SOLID WITH CONTINUOUS
39. 2'-0" HIGH LAP SPlice DOWELS TO MATCH 1" BOND. ALTERNATE HOOKS, CHART CELLS SOLID
40. 8" C.H.S.
41. PORTLAND CEMENT PLASTER
42. CONCRETE FOOTING (NOOPI) (CONCRETE)
43. #3 BAR AT 36" O.C. TRANS.
44. LIGHT STANDARDS. COORDINATE LOCATION WITH CITY AND P.H.H.
45. NEW ROOF HATCH
46. EROSION FENCE. SEE MECHANICAL
47. REPAIR/REPLACE DAMAGED ASPHALT SHINGLE ROOFING
48. REMOVE EXISTING ROOFING AND REPLACE WITH NEW BUILT-UP ROOF. PROVIDE NEW FLASHING (PAINTED) AT JUNCTION WITH SLOPED ROOF
49. NEW BUILT-UP ROOF
50. REPAIR/REPLACE DAMAGED STRIPPER METAL ROOF
51. WOOD GATE, SEE 6/A2
52. NEW COLLEGE CONCRETE SLAB AND REEF COMPACTED FILL. SLOPE SLAB 1" X 6" O.C. EACH WAY.



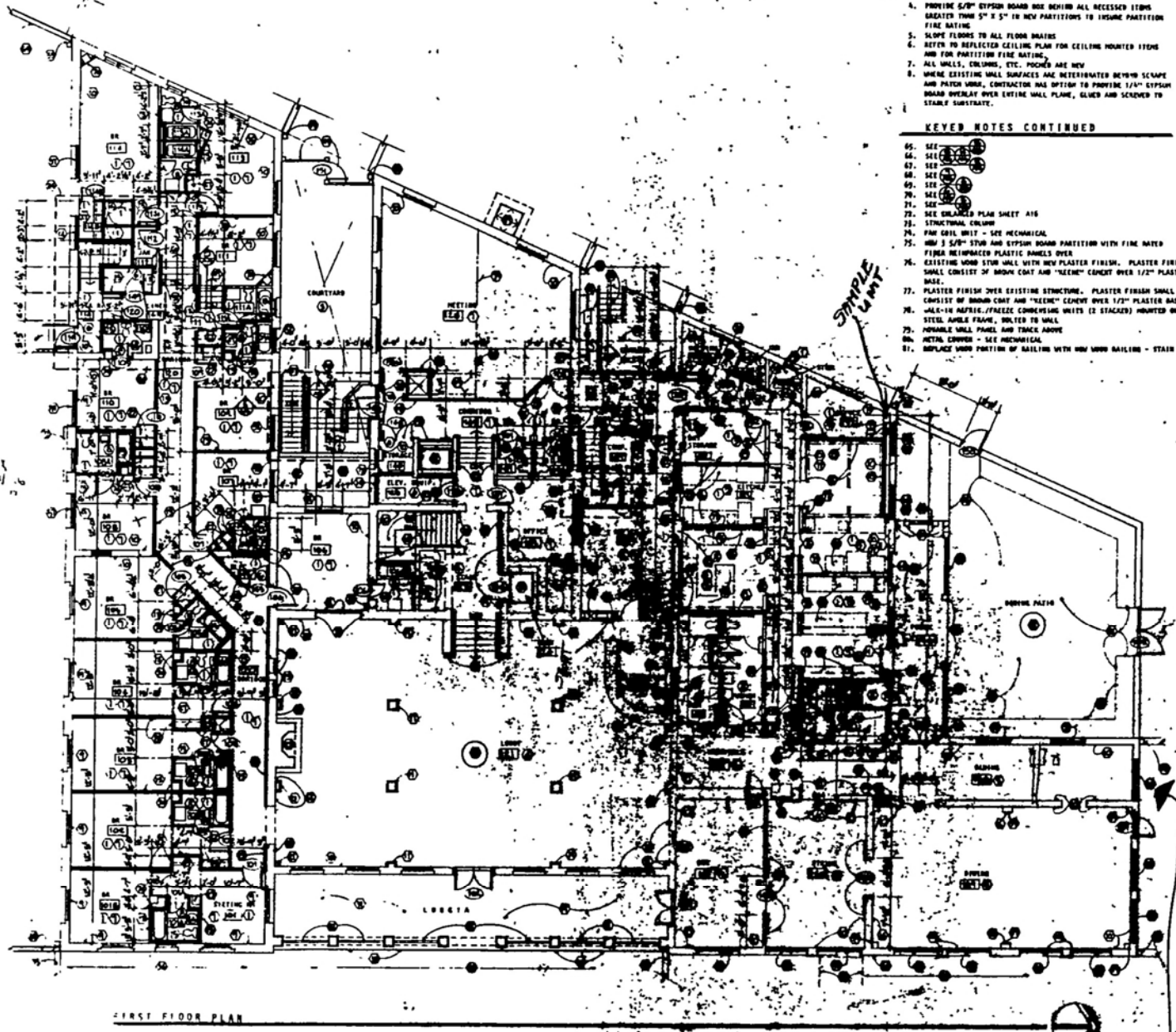
1 GARDEN WALL

NO.	AREA	UNIT	VOLUME	QUANTITY
1	45' x 4'	sq	180 sq'	2.25
2	65' x 4'	sq	260 sq'	3.25



STEVEN MALLORY PEARL & CO. ARCHITECTS
SANTA FE, N.M. 87505

DATE: 1/11/11
DRAWN BY: J.P.M.
CHECKED BY: J.P.M.
SCALE: AS SHOWN



FIRST FLOOR PLAN

GENERAL NOTES

1. EXTERIOR DIMENSIONS ARE FROM FACE OF FINISH OR EXISTING WALLS TO FACE OF METAL STUD PARTITION, C.I.P. OR CONCRETE. INTERIOR DIMENSIONS ARE FROM FACE OF FINISH OR EXISTING WALLS TO CENTERLINE OF METAL WALLS. FIELD VERIFY ALL DIMENSIONS. REFER TO BOOM SCHEDULE AND ACCESSORY SCHEDULE TO PROJECT MANUAL.
2. PATCH ALL FLOORS, WALLS, AND CEILINGS AS MAY BE REQUIRED TO MATCH EXISTING FINISHES.
3. PROVIDE 5/8" EPSILON BOARD OVER ALL NEEDED 1/2" Gypsum BOARD THIN 5" x 5" IN NEW PARTITIONS TO INSURE PARTITION FIRE RATING.
4. SLOPE FLOORS TO ALL FLOOR DRAINS.
5. REFER TO REFLECTED CEILING PLAN FOR CEILING MOUNTED ITEMS AND FOR PARTITION FIRE RATING.
6. ALL WALLS, COLUMNS, ETC. POCKER ARE NEW.
7. WHERE EXISTING WALL SURFACES ARE DETERIORATED REMOVE SCRAPES AND PATCH WORK. CONTRACTOR HAS OPTION TO PROVIDE 1/2" GYPSUM BOARD OVERLAY OVER ENTIRE WALL PLANE, GLEND AND SCAINED TO STABLE SUBSTRATE.

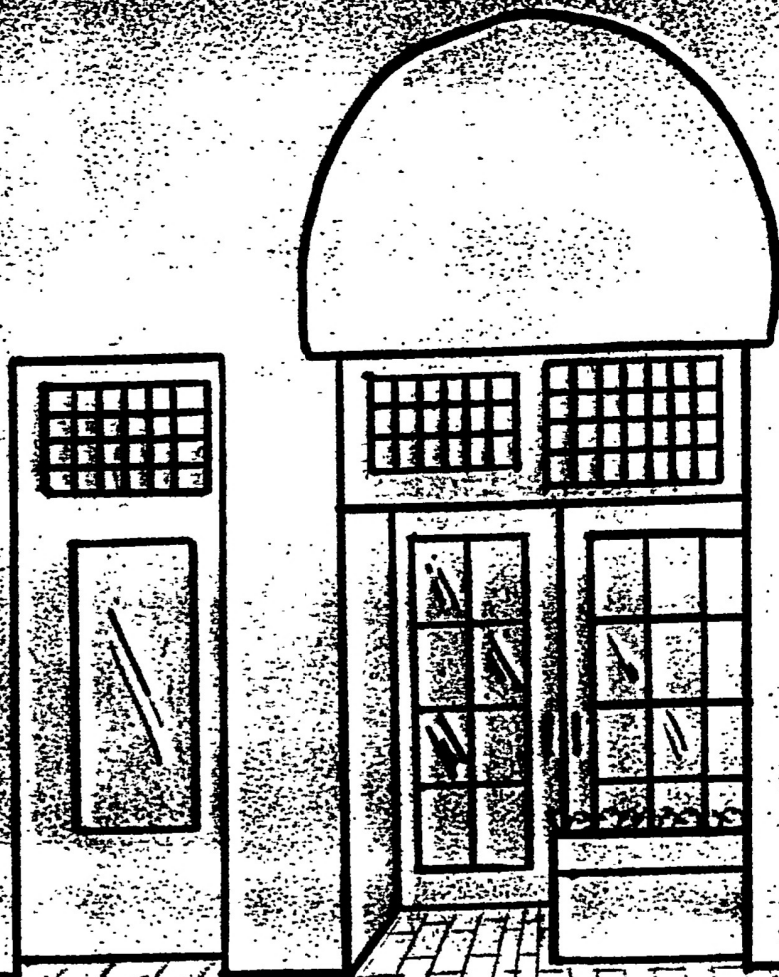
KEYED NOTES CONTINUED

65. SEE [Symbol]
66. SEE [Symbol]
67. SEE [Symbol]
68. SEE [Symbol]
69. SEE [Symbol]
70. SEE [Symbol]
71. SEE [Symbol]
72. SEE ENLARGED PLAN SHEET A16
73. STRUCTURAL COLUMN
74. FAN COIL UNIT - SEE MECHANICAL
75. NEW 5/8" STUD AND EPSILON BOARD PARTITION WITH FINE MESH FIBER REINFORCED PLASTIC PANELS OVER EXISTING WOOD STUD WALL WITH NEW PLASTER FINISH. PLASTER FINISH SHALL CONSIST OF BROWN COAT AND "HELMET" CONCRET OVER 1/2" PLASTER BASE.
77. PLASTER FINISH OVER EXISTING STRUCTURE. PLASTER FINISH SHALL CONSIST OF BROWN COAT AND "HELMET" CONCRET OVER 1/2" PLASTER BASE.
78. 1/2" x 1/2" METRIC FRIDGE CONDENSING WEBS (2 STACKED) MOUNTED ON STEEL ANGLE FRAME, BOLTED TO WALL.
79. REMOVABLE WALL PANEL AND TRACK ABOVE.
80. METAL COVER - SEE MECHANICAL.
81. REPLACE WOOD PARTITION OF BATHING WITH NEW WOOD BATHING - STAIN

KEYED NOTES

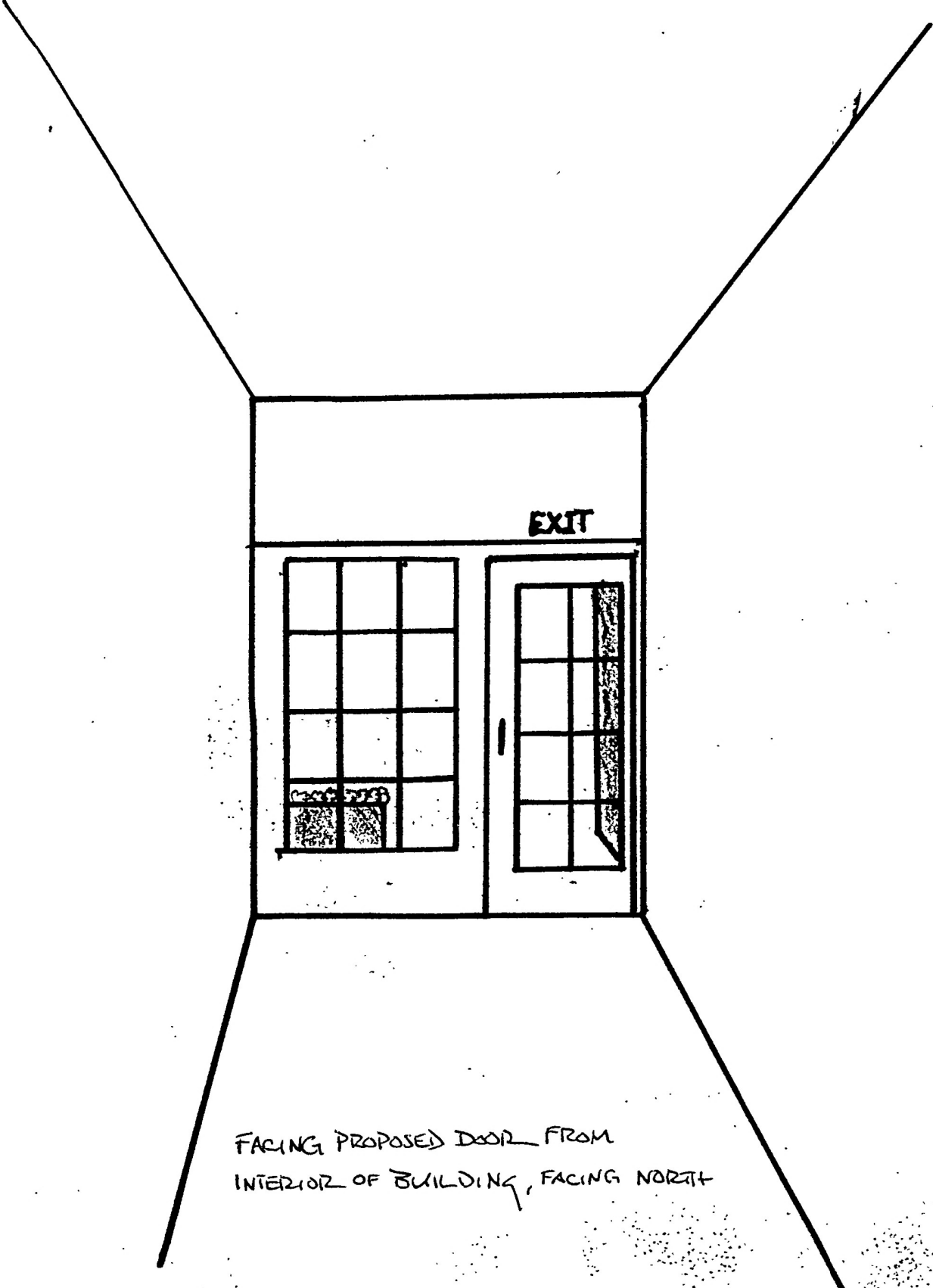
1. NEW CONCRETE TOPPING SLAB IN THIS AREA OVER PLUMB FINISH FLOOR.
2. NEW CONCRETE AND METAL BRICK PAIR FLOOR IN THIS AREA WITH FLOOR FINISH OVER.
3. NEW CONCRETE TOPPING SLAB OVER WATERPROOFING MEMBRANE IN THIS AREA.
4. EXISTING QUARRY TILE FLOORING AND BASE TO REMAIN IN THIS AREA. REPLACE ALL DAMAGED TILE.
5. NEW QUARRY TILE FLOORING AND BASE IN THIS AREA.
6. NEW 5/8" FLOORING WITH PAINTED WOOD MADE IN THIS AREA.
7. NEW CARPET AND PAD WITH PAINTED WOOD MADE IN THIS AREA.
8. BATHROOM FINISHES IN THIS AREA AS FOLLOWS:
 4. NEW QUARRY TILE FLOORING WITH EXISTING WALLS AS REQUIRED FOR PROPER INSTALLATION OF NEW TILE.
 5. NEW 5/8" FLOORING WITH PAINTED WOOD MADE IN THIS AREA.
 6. NEW EPSILON BOARD WALLS. TAPE, TEXTURE, AND PAINT.
9. EXISTING PLASTER WALLS. SCRAPES, PATCH AS REQUIRED, TEXTURE AND PAINT.
10. NEW SUPERFINE EPSILON BOARD CEILING 8'-0" ABOVE FINISHED FLOOR. TAPE, TEXTURE AND PAINT.
11. EXISTING BRICK MASONRY WALLS. PATCH AND REPAIR AS REQUIRED.
12. EXISTING MASONRY WALL WITH PLASTER FINISH. SCRAPES, PATCH AS REQUIRED, TEXTURE AND PAINT.
13. EXISTING COLUMN OR PILASTER WITH PLASTER FINISH. SCRAPES, PATCH AS REQUIRED, TEXTURE AND PAINT.
14. RETURN AIR DUCT ENCASE - SEE MECHANICAL.
15. NEW METAL STUD PARTITION WITH 5/8" TYPE "C" EPSILON BOARD EACH FACE AND FULL THICK BOND INFORMATION BATHING BETWEEN STUDS. EXTERIOR FROM FLOOR TO STRUCTURE ABOVE. TAPE, TEXTURE AND PAINT.
16. NEW 5" METAL STUD WALL WITH 5/8" TYPE "C" EPSILON BOARD EACH FACE AND FULL THICK INSULATION BETWEEN STUDS. EXTERIOR FROM FLOOR TO STRUCTURE ABOVE. TAPE, TEXTURE AND PAINT INTERIOR FACE. STRUCTURE CEILING FACE.
17. NEW METAL STUD PARTITION WITH 5/8" TYPE "C" EPSILON BOARD ON EXTERIOR FACE. EXTERIOR FROM FLOOR TO CEILING ABOVE.
18. NEW COLUMN, SEE STRUCTURAL, B/117.
19. NEW METAL STUD PARTITION TO SPILT PARTIAL AT EXIST. STUD.
20. NEW CARBON CONCRETE PLAN, SCORE 12" O.C. EACH NEW SCRAPES, PATCH AS REQUIRED, TEXTURE AND PAINT WOOD EXISTING WALL HAS REMOVED.
21. NEW PLASTER EXISTING TO MATCH EXISTING.
22. RESTORE EXISTING FIREPLACE.
23. SEE ENLARGED STAIR PLAN, SHEET A16.
24. SEE ENLARGED STAIR PLAN, SHEET A16.
25. LINE OF OVERLAP ABOVE.
26. PATCH DEPRESSIONS IN STAIR TREADS AND CARPET.
27. NEW CLOSET DOOR AND SHELVE ABOVE.
28. NEW 36" x 36" FLOOR TYPE PANDA/ALUMINUM.
29. FUTURE SERVICE ELEVATION.
30. EXISTING PASSENGER ELEVATOR - REMOVE & DEMOLISH.
31. ELECTRIC WATER COOLER.
32. EXISTING GAS METER.
33. EXISTING JOINT BRICK LEAFER AND NEW BRICK BRASH.
34. EXISTING WOOD COLUMN, SCRAPES AND PAINT.
35. EXISTING WOOD MULLION AND BALUSTRADE, SCRAPES AND PAINT.
36. NEW BRICK PAVING ON 1" SAND AND.
37. NEW 1/2" O.D. PIPE RAILING FOR EXISTING STAIR.
38. NEW STAIR.
39. NEW STAIR.
40. EXISTING PIT TO DEMOLISH.
41. SEE ENLARGED STAIR PLAN SHEET A16.
42. SEE ENLARGED STAIR PLAN SHEET A16.
43. NEW WOOD FLOOR AND WOOD 2" WIDE x 8" TALL NEW UNMATCHED BAY.
44. DEMONSTRATION DESK, REMOVE EXIST. WOOD ABOVE EXISTING TILE BASE, REPLACE BY NEW WOOD CONSTRUCTION & FINISH. CHECKED TOP IN SAME LOCATION FOR IMPROVING, NEW. CHECKED IMPROVING - SEE EXISTING IMPROVING DRAWINGS.
45. DEMONSTRATION DESK, REMOVE EXIST. WOOD ABOVE EXISTING TILE BASE, REPLACE BY NEW WOOD CONSTRUCTION & FINISH. CHECKED TOP IN SAME LOCATION FOR IMPROVING, NEW. CHECKED IMPROVING - SEE EXISTING IMPROVING DRAWINGS.
46. DEMONSTRATION DESK, REMOVE EXIST. WOOD ABOVE EXISTING TILE BASE, REPLACE BY NEW WOOD CONSTRUCTION & FINISH. CHECKED TOP IN SAME LOCATION FOR IMPROVING, NEW. CHECKED IMPROVING - SEE EXISTING IMPROVING DRAWINGS.
47. DEMONSTRATION DESK, REMOVE EXIST. WOOD ABOVE EXISTING TILE BASE, REPLACE BY NEW WOOD CONSTRUCTION & FINISH. CHECKED TOP IN SAME LOCATION FOR IMPROVING, NEW. CHECKED IMPROVING - SEE EXISTING IMPROVING DRAWINGS.
48. EXISTING ANGLY WITH NEW BRICKS LAY STAIR.
49. STAIRCASE DOOR.
50. EXISTING MURMURE, PAINT.
51. FOUNTAIN.
52. FOUNTAIN.
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100. FOUNTAIN.

* subject doorway.

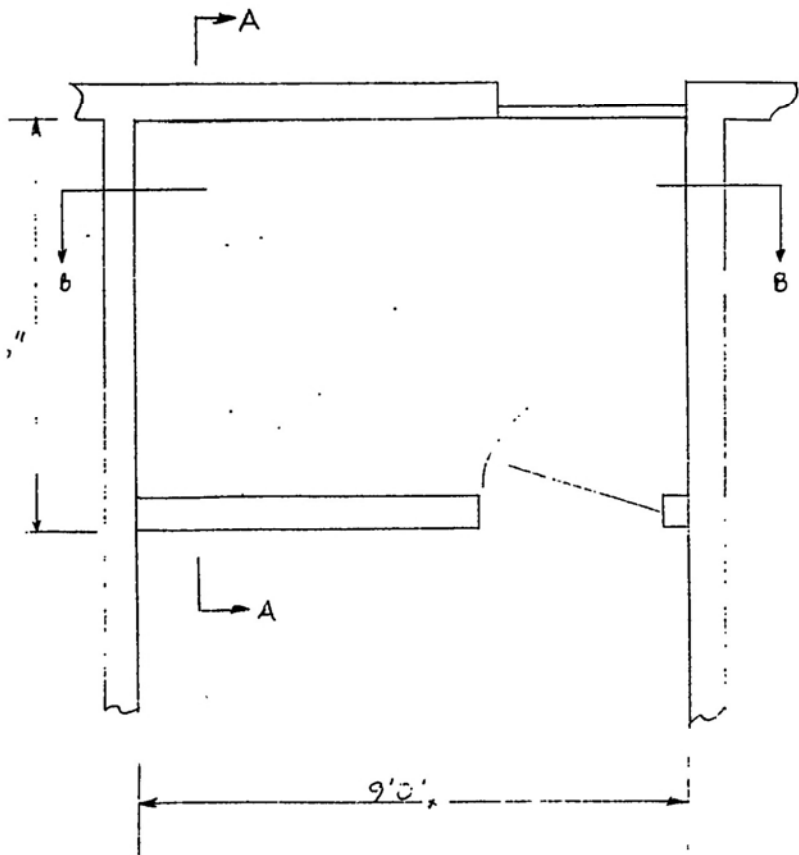


FACING PROPOSED DOOR
 THE BUILDING, FACING SOUTH ON
 NORTH

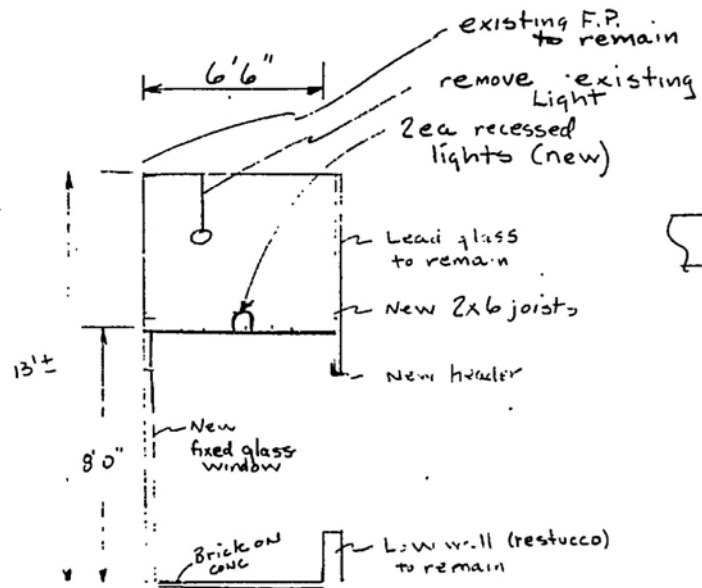
HUNTS & LINDSEY		REMARKS
<input checked="" type="checkbox"/>	HISTORIC DESIGN REVIEW	Condition of the fence & track the door's window be made to match the existing fence track
<input checked="" type="checkbox"/>	LANDSCAPE REVIEW	
<input checked="" type="checkbox"/>	ESCARPMENT ARCH. REVIEW	
<input checked="" type="checkbox"/>	APPROVAL	
<input type="checkbox"/>	CONDITIONAL APPROVAL	
<input type="checkbox"/>	REJECT	
NAME		DATE 3-23-92
WATER ST.		Paul [Signature]



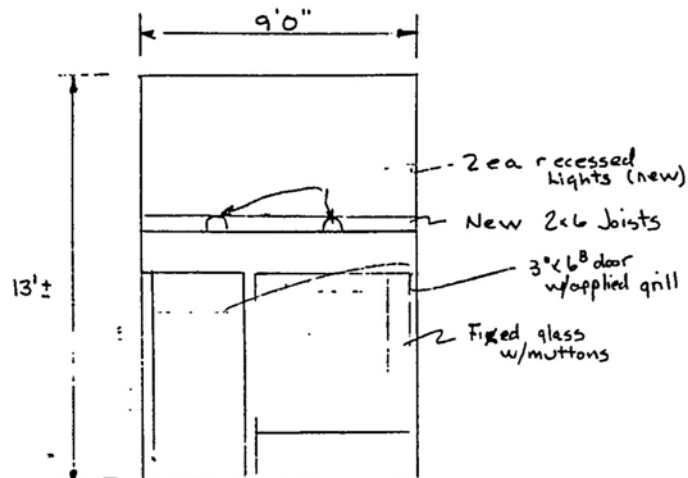
FACING PROPOSED DOOR FROM
INTERIOR OF BUILDING, FACING NORTH



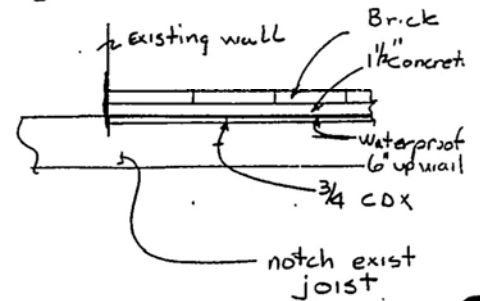
PLAN
scale 1/2" = 1'0"



Sec A-A
scale 1/4" = 1'0"



Sec B-B
1/4" = 1'0"



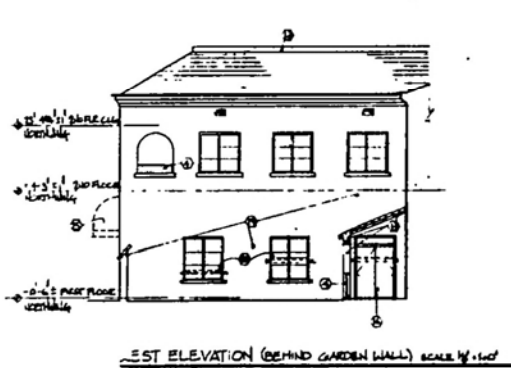
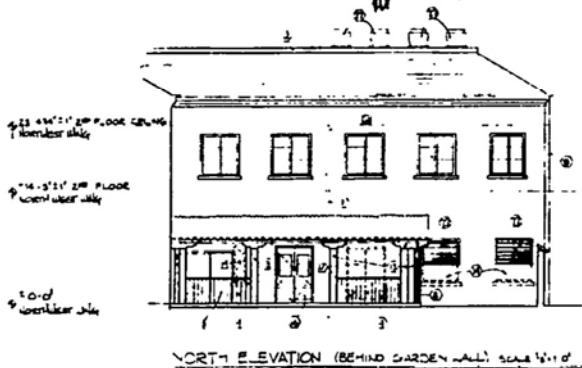
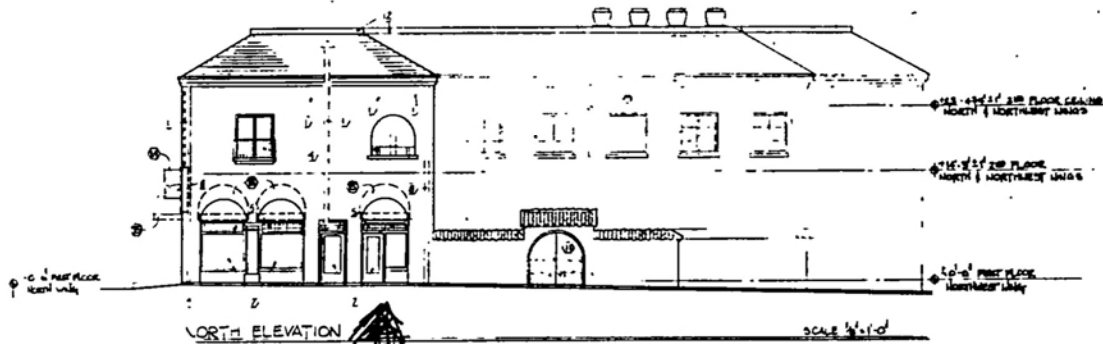
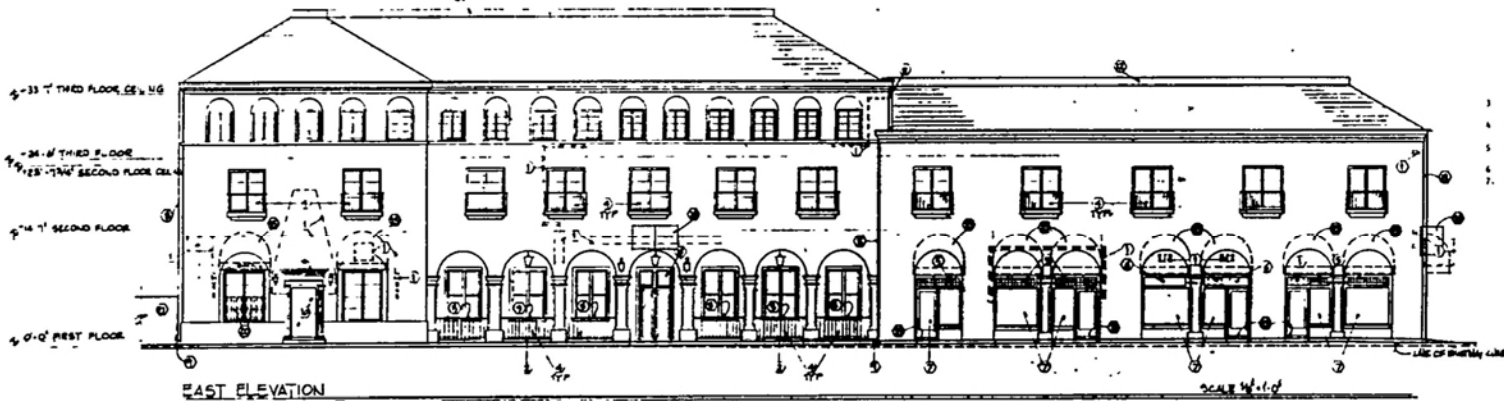
Floor Detail
No Scale

Notes

- 1) Slope floor to drain
- 2) Stucco walls
- 3) Electrical
 - a) add heater if possible
 - b) add 2 ea recessed lights
 - c) add J-Box + fixture allow for outside light
 - d) add exit light if reqd
- 4) Hardware
 - a) Lever passage
 - b) closure
 - c) dead bolt

FRANCISCO'S REST
@ ST. FRANCIS HOTEL

FLT 3/2/92



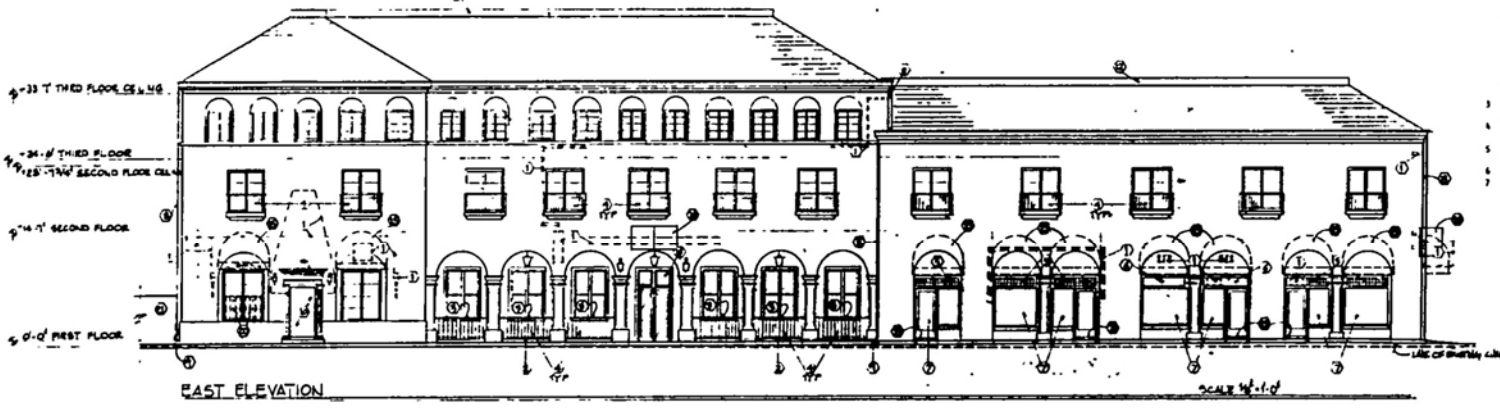
GENERAL NOTES

- REPAIR STUCCO SURFACES.
 - REMOVE DAMAGED AREAS TO STRUCTURE
 - WATERCAST ALL SURFACES
 - PATCH DAMAGED AREAS INCLUDING ALL CORNERS
 - PAINT ALL SURFACES
- REPAIR ALL EXISTING WINDOWS.
 - REPAIR/REPLACE WOOD SNEP SHIMS.
 - REPLACE ALL SADDLES ON MISSING GLASS LIGHTS WITH GLASS TO MATCH BEING.
 - REMOVE ALL GLAZING AND REGLAZE WITH EXISTING GLASS
 - REGULAR PERIMETER OF ALL FRAMES
 - REPLACE MISSING HARDWARE
 - REMOVE SCREWS AND ASSOCIATED HARDWARE
 - REFINISH WINDOWS AND FRAMES AS SPECIFIED
 - REPAIR EXISTING SASH AND FRAMES. SCRAPE LOOSE PAINT, FILL CRACKS, INSTALL BUTCHER, SAND, FILL AND REFINISH AS SPECIFIED
- REPAIR EXISTING DOORS AND/OR FRAMES TO REPAIR SCRAPE LOOSE PAINT, FILL CRACKS, INSTALL BUTCHER, SAND, FILL AND REFINISH
- REPAIR ROOF LEAKS AND REPLACE DAMAGED ASPHALT SHINGLES OR SHIMMER FLOORING, AND REPAIR FLASHINGS
- REPAIR/RECONSTRUCT CAST STONE WINDOW SILLS, AND COLUMNS/PILAS AND CAPITALS
- REPAIR SHEET METAL CORNICES/GUTTERS TO BE WATER-TIGHT. CLEAN
- FIELD VERIFY ALL ELEVATIONS

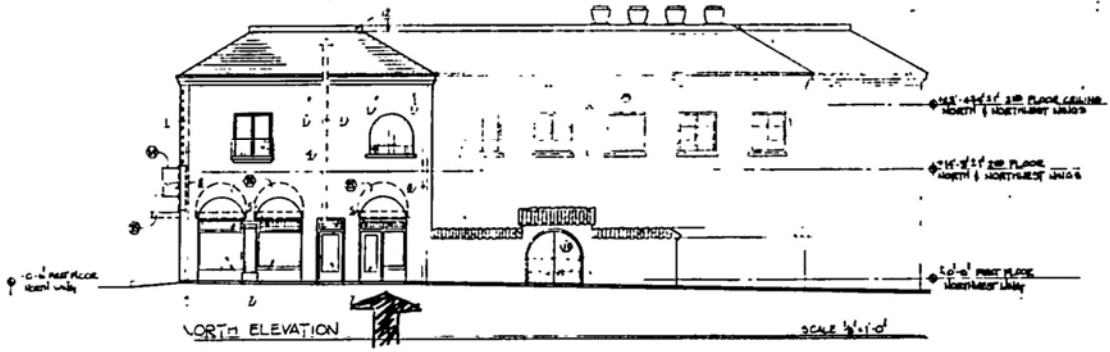
KEYED NOTES

- REMOVE SASH, MECHANICAL UNIT, CANNOPY, CORNICE, DUCT, PIPING, LAMBS, ATTACHMENT, LIGHT FIXTURE, OR OTHER APPURTENANCES, PATCH BRICK, WALL FINISH, ETC TO MATCH EXISTING
- REMOVE CONCRETE TOPPING SLAB. INSTALL NEW CONCRETE SLAB OVER COMPACTED FILL. SLOPE SLAB 1" R.C. EACH WAY
- REPLACE WOOD PORTION OF RAILING. REPLACE WITH NEW WOOD RAILING - STAIR
- REPAIR, REMOVE AND REFINISH RAILING
- REPAIR LEADED GLASS TRANOM
- REMOVE EXISTING TRANOM PANEL AND REPLACE WITH LEADED GLASS TO MATCH EXISTING
- REPAIR EXISTING STREETLIGHT FRAMING OR REPLACE WITH NEW FRAMING AND FITTER ON OPERABLE DOOR PANELS (WHERE INDICATED), TO MATCH EXISTING. REGLAZE WINDOWS, SIKELIGHTS AND DOORS WITH SAFETY GLASS
- REPAIR SHEET METAL DOWNSPOUT AND REFINISH
- INSTALL SIMONS'S BRUSH WITH STEEL PLATE COVER AND BRICE W/
- REPAIR AND REFINISH EXISTING DOOR AND FRAME AS FIELD PANEL
- REPAIR AND REFINISH EXISTING WOOD GATES
- REPAIR SHEET METAL PANEL AND REFINISH
- REPAIR AND REFINISH EXISTING WOOD FRAMING
- REMOVE EXISTING WINDOW. BLOCK UP OPENING WITH METAL STUDS AND SHEATHING AND STUCCO
- REMOVE EXISTING DOUBLE DOORS & PARTIAL WALL TO INSTALL NEW DOOR AND FRAME. BLOCK UP REMAINDER OF OPENING WITH METAL STUDS AND SHEATHING AND STUCCO
- REMOVE EXISTING WINDOW AND MASONRY BELOW. INSTALL NEW WINDOW AND FRAMES
- REMOVE EXISTING DOUBLE DOORS. BLOCK UP OPENING WITH METAL STUDS, SHEATHING AND STUCCO
- REMOVE STONE VESTIBULE AND INSTALL NEW DOORS AND FRAMES
- REMOVE EXISTING VINES FROM WALLS FOR WALL REFINISHING, LEAVE ROOF STRUCTURE
- REMOVE SHUTTERS AND RENOVATE WINDOW BEHIND
- NEW MASONRY WALL WITH STUCCO FINISH - SEE SITE PLAN.
- NEW METAL DOWNSPOUT - SEE MECHANICAL
- REMOVE PORTION OF EXISTING DOOR AND FRAME BELOW TOP OF NEW CURB AND CONCRETE CURB WITH 1" R.C. PANELS TO EXISTING MASONRY. CURB WIDTH TO MATCH EXISTING MASONRY. CURB HEIGHT TO MATCH NEW SIMONS'S BRUSH TO MAIN. SEAL COLD JOINT BETWEEN EXISTING CONSTRUCTION AND NEW CURB. CABLE JOINT BETWEEN DOOR AND TOP OF CURB
- NEW BUILDING SIER OVER EXISTING
- NEW RAILING OVER EXISTING WINDOW OPENING
- REMOVE EXISTING WINDOW AND MASONRY BELOW. INSTALL NEW OR RELOCATED WINDOW AND FRAME
- NEW EXHAUST FAN - SEE MECHANICAL - PAINT

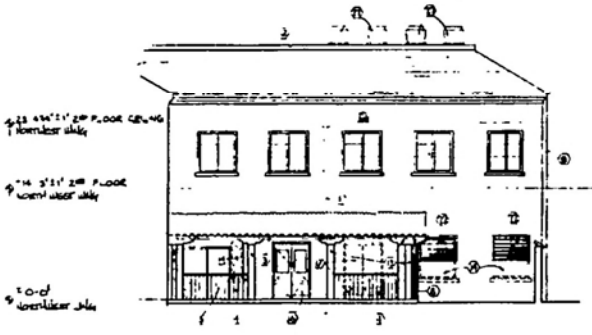
L. J. GARDNER ARCHITECTS, L. P. CHARLOTTE, N. C.



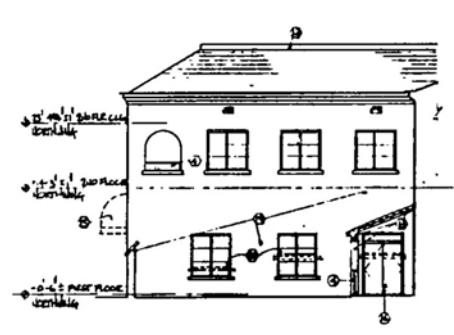
EAST ELEVATION



NORTH ELEVATION



NORTH ELEVATION (BEHIND GARDEN WALL) SCALE 1/4" = 1'-0"



EAST ELEVATION (BEHIND GARDEN WALL) SCALE 1/4" = 1'-0"

GENERAL NOTES

1. REPAIR STUCCO SURFACES:
 - A. REMOVE DAMAGED AREAS TO STRUCTURE
 - B. WATERPROOF ALL SURFACES
 - C. PATCH DAMAGED AREAS INCLUDING ALL CRACKS
 - D. PAINT ALL SURFACES
2. REPAIR ALL EXISTING WINDOWS
 - A. REPAIR/REPLACE WOOD SILL SHIMS.
 - B. REPLACE ALL BROKEN OR MISSING GLASS LIGHTS WITH GLASS TO MATCH EXIST.
 - C. REMOVE ALL GLAZING AND REGLAZE WITH EXISTING GLASS
 - D. REPAIR PERIMETER OF ALL FRAMES
 - E. REPLACE MISSING HARDWARE
 - F. REMOVE SCREENS AND ASSOCIATED HARDWARE
 - G. REFRISH WINDOWS AND FRAMES AS SPECIFIED
 - H. REPAIR EXISTING SASH AND FRAMES. SCRAPE LOOSE PAINT, FILL CRACKS, INSTALL BUTCHER, SAND, FILL AND REFRISH AS SPECIFIED
3. REPAIR EXISTING ROOFS AND/OR FRAMES TO REMAIN. SCRAPE LOOSE PAINT, FILL CRACKS, INSTALL BUTCHER, SAND, FILL AND REFRISH
4. REPAIR ROOF LEAKS AND REPLACE DAMAGED ASPHALT SHINGLES OR STOMPUP HEAVY ROOFING, AND REPAIR FLASHINGS
5. REPAIR/RECONSTRUCT CAST STONE WINDOW SILLS, AND COLUMNS/PILASTERS AND CAPITALS
6. REPAIR SHEET METAL CORNICES/GUTTERS TO BE WATER-TIGHT. CLEAN
7. FIELD VERIFY ALL ELEVATIONS

KEYED NOTES

1. REMOVE SIGN, MECHANICAL UNIT, CANNOPY, LIGHTS, PIPING, LIGHTS, ATTACHMENT, LIGHT FIXTURE, OR OTHER APPURTENANCE, PATCH CRACK, HOLE, FINISH, ETC TO MATCH EXISTING
2. REMOVE CONCRETE TROPPING SLAB. INSTALL NEW CONCRETE CONCRETE SLAB OVER COMPACTED FILL. SCOUR SLAB 1" @ C. EACH MAT
3. REPLACE WOOD PORTION OF RAILING. REPLACE WITH NEW WOOD RAILING - STAIN
4. REPAIR, REMOVE AND REFRISH RAILING
5. REPAIR LEADER GLASS TRANSOM
6. REMOVE EXISTING TRANSOM PANEL AND REPLACE WITH LEADER GLASS TO MATCH EXISTING
7. REPAIR EXISTING STOREFRONT FRAMING OR REPLACE WITH NEW FRAMING AND FIBER OR OPERABLE DOOR PANELS (WHERE INDICATED), TO MATCH EXISTING. REGLAZE WINDOWS, SIDELIGHTS AND DOORS WITH SAFETY GLASS
8. REPAIR SHEET METAL ROOFING AND REFRISH
9. INSTALL STAINLESS BRASS WITH STEEL PLATE COVER AND BRICE ON
10. REPAIR AND REFRISH EXISTING DOOR AND FRAME AS FIBER PANEL
11. REPAIR AND REFRISH EXISTING WOOD GATES
12. REPAIR SHEETMETAL FACIA AND REFRISH
13. REPAIR AND REFRISH EXISTING WOOD FRAMING
14. REMOVE EXISTING WINDOW. BLOCK UP OPENING WITH METAL STUDS AND SHEATHING AND STUCCO
15. REMOVE EXISTING DOUBLE DOORS & HANDBAY WALL TO INSTALL NEW DOOR AND FRAME BLOCK UP REMAINDER OF OPENING WITH METAL STUDS AND SHEATHING AND STUCCO
16. REMOVE EXISTING WINDOW AND HANDBAY BELOW. INSTALL NEW DOORS AND FRAMES
17. REMOVE EXISTING DOUBLE DOORS. BLOCK UP OPENING WITH METAL STUDS, SHEATHING AND STUCCO
18. REMOVE STONE VESTIBULE AND INSTALL NEW DOORS AND FRAMES
19. REMOVE EXISTING WINGS FROM WALLS FOR WALL REFRISHING, LEAVE ROOF STRUCTURE.
20. REMOVE SMITHERS AND REINSTALL STATE WINDOW BEARING
21. NEW HANDBAY WALL WITH EXISTING FINISH - SEE SITE PLAN.
22. NEW METAL LOUVER - SEE MECHANICAL
23. REMOVE PORTION OF EXISTING DOOR AND FRAME BELOW TOP OF NEW CURB. NEW CONCRETE CURB WITH 1" IN BENCH FOR EXISTING HANDBAY. CURB WIDTH TO MATCH EXISTING HANDBAY. CURB HEIGHT 1" ABOVE NEW SIGNALLER SLOPED TO DRAIN. SEAL CURB JOINT BETWEEN EXISTING CONSTRUCTION AND NEW CURB. JOINT BETWEEN DOOR AND TOP OF CURB
24. NEW BUILDING SIGN THIS LOCATION
25. NEW AWNING OVER EXISTING WINDOW OPENING
26. REMOVE EXISTING WINDOW AND HANDBAY BELOW. INSTALL NEW OR RELOCATED WINDOW AND FRAME
27. NEW EXHAUST FAN - SEE MECHANICAL - PAINT

EST. BY WIND MALLETT IN ASS. G. CASHMILL, P.A.