

A R C H I T E C T U R E
M A R T I N E Z
S T U D I O P C

TEL (505) 989-4958 MAIL: P O BOX 925 SANTA FE NM 87504
1524 PASEO DE PERALTA — STUDIO@MARTINEZARCH.COM

PROPOSAL LETTER

210 Don Gaspar Avenue

September 28, 2025

Downtown-Eastside Historic District, Significant Status

Description of Proposed Project: We propose relocating the existing south side metal door because of existing conditions, change ADA bath from room #106 to room #107 to make ADA compliant.

Location: This property is located at 210 Don Gaspar Avenue

Square Footages: Not applicable—no square footages are being changed.

Heights and Other Dimensions: The relocated metal side door dimensions will be 3'-0" wide x 6'-8" tall just like the existing door.

Materials, Colors and Finishes: Similar to the existing side door, the replacement will be flush metal and painted to the match existing stucco.

Window and Door Styles: The metal door will be similar in style to the existing door.

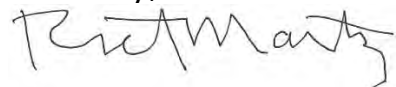
Yard walls and Gates: Existing walk, wall and gate not being changed.

Brief Architectural History:

Current Status: Significant

Date of Construction: 1924

Sincerely,



Richard Martinez

Martinez Architecture Studio PC

210 Don Gaspar Avenue

Applicant's Response to Exception Criteria Closing an Existing Opening on a Primary Façade

Following are the exception criteria set forth in City Code section §14-4.6.D.II, along with the Applicant's responses to each criterion as they relate to request to close an existing door opening on a primary façade, subject to §14-4.6.E.4.d: **“no historic opening may be closed.” The Hotel St. Francis is designated as a Significant structure, and all four elevations are primary.**

The requested exception arises in conjunction with the proposed interior renovation of a portion of the hotel, which was built in 1924. To meet current Americans with Disabilities Act (ADA) requirements, the City is requiring that the bathrooms for five rooms be ADA compliant, where 1 room is currently compliant, as the hotel was built long before the ADA was adopted.

Meeting the ADA standards necessitates that an existing exterior non-historic metal fire door (and non-historic opening) **installed in the 1980's** on the first floor be relocated **approximately 6' west of its current location to accommodate the larger bathroom** for the adjacent room. This solution requires the most minimal exterior and interior modifications compared to other alternatives, which would have greater impacts. The new fire door and opening would be of the same material, color and size as the existing door, and necessitates the exception request. The dimensions of the existing and **proposed fire door are 3' wide and 6'8" tall.**

(1) *Do not damage the character of the district.*

Response: The existing non-historic fire door is on the south façade, which faces the **hotel's parking lot and is minimally visible from Ortiz Street** and Don Gaspar Avenue. The new door would be of the same size and would match the existing door to the extent feasible as to material and color. The new fire door would be partially screened by an existing wall separating the first-floor pedestrian walkway from the parking lot.

The only perceivable difference between the existing and proposed condition would be that the fire door would be at a slightly different location and would be partially screened by the existing wall, and the fire door would be less visible than the existing condition. The overall visual setting would remain – a hotel with a fire door on the south façade.

Given that the existing fire door and opening are non-historic, that the door is minimally visible from off-site and the new fire door would match the existing fire door, it would not be reasonable to conclude that closing the existing opening and creating a new opening on the south façade +/- **6' from the existing fire door** would damage the character of the district.

(2) *Are required to prevent hardship to the applicant or an injury to the public welfare;*

Response: The hotel is nearing 100 years of existence, and the rooms are in need of renovation. The ADA, which was adopted long after construction of the hotel, requires that five rooms include ADA-compliant bathrooms, which necessitates expansion of the bathroom square footage. Given the layout of the existing rooms and existing constraints including piping, non-rectangular shape of some rooms, window location and the existence of a step into some of the bathrooms, to meet the ADA requirements and access requirements to the hotel, an adjustment of the existing fire door on the south façade is necessary.

Not relocating the fire door by +/- **6'** or making a different room/bathroom ADA compliant would, in some cases be infeasible due to the existing constraints and in other cases would increase the extent of necessary modifications, or result in loss of a room. Either result would be a hardship for the applicant and loss of a room would also **constitute an injury to the public welfare by reducing the hotel's ability to accommodate guests in the downtown Business Commercial District and would reduce the amount of Lodger's Tax received by the City.**

(3) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts.*

Response: The architect considered a range of design options to the existing 3-story hotel to accommodate the required additional four ADA-compliant bathrooms including modification of other hotel rooms to be ADA compliant. The ground floor of the hotel **was originally a restaurant and was converted to hotel rooms in the 1980's and there is** greater flexibility to accommodate the requirement on the ground floor, where three of the five ADA-compliant bathrooms are proposed to be located.

Many of the existing rooms have sinks outside the bathrooms, and within the rooms. The ADA requires that the sinks be located within the bathrooms. Additional constraints of existing piping, windows and walls and the non-rectangular shape of some existing rooms all constitute further constraints, which render modification of other rooms to meet the ADA requirements either infeasible or would result in greater extent of modifications. After substantial analysis and design effort, the architect concluded that the proposed renovation of the first floor room on the south façade to meet ADA requirements, necessitating relocation of the existing non-historic metal fire door +/- **6'** to the west, would be the most feasible and minimally invasive design option that would accomplish the objectives of the room renovation effort while complying with the ADA requirements in light of the existing constraints present in the almost century old hotel.

210 Don Gaspar Avenue

Applicant's Response to Exception Criteria Creating a New Opening on a Primary Façade

Following are the exception criteria set forth in City Code section §14-4.6.D.II, along with the Applicant's responses to each criterion as they relate to request to close an existing door opening on a primary façade, subject to §14-4.6.E.4.c: **“no new opening shall be made where one does not exist unless historic documentation supports its prior existence.”** **The Hotel St. Francis is designated as a Significant structure, and all four elevations are primary.**

The requested exception arises in conjunction with the proposed interior renovation of a portion of the hotel, which was built in 1924. To meet current Americans with Disabilities Act (ADA) requirements, the City is requiring that the bathrooms for five rooms be ADA compliant, where 1 room is currently compliant, as the hotel was built long before the ADA was adopted.

Meeting the ADA standards necessitates that an existing exterior non-historic metal fire **door installed in the 1980's** on the first floor **be relocated approximately 6' west of its current location** to accommodate the larger bathroom for the adjacent room. This solution requires the most minimal exterior and interior modifications compared to other alternatives, which would have greater impacts. The new fire door and opening would be of the same material, color and size as the existing door, and necessitates the **exception request. The dimensions of the existing and proposed fire door are 3' wide and 6'8" tall.**

(1) *Do not damage the character of the district.*

Response: The existing non-historic fire door is on the south façade, which faces the **hotel's parking lot and is minimally visible from Ortiz Street** and Don Gaspar Avenue. The new door would be of the same size and would match the existing door to the extent feasible as to material and color. The new fire door would be partially screened by an existing wall separating the first-floor pedestrian walkway from the parking lot.

The only perceivable difference between the existing and proposed condition would be that the fire door would be at a slightly different location and would be partially screened by the existing wall, and the fire door would be less visible than the existing condition. The overall visual setting would remain – a hotel with a fire door on the south façade. No historic features of the hotel would be affected by relocation of the fire door.

Given that the existing fire door and opening are non-historic, that the door is minimally visible from off-site and the new fire door would match the existing fire door, it would not be reasonable to conclude that creating a new opening on the south façade +/- **6' from the existing fire door** would damage the character of the district.

(2) *Are required to prevent hardship to the applicant or an injury to the public welfare;*

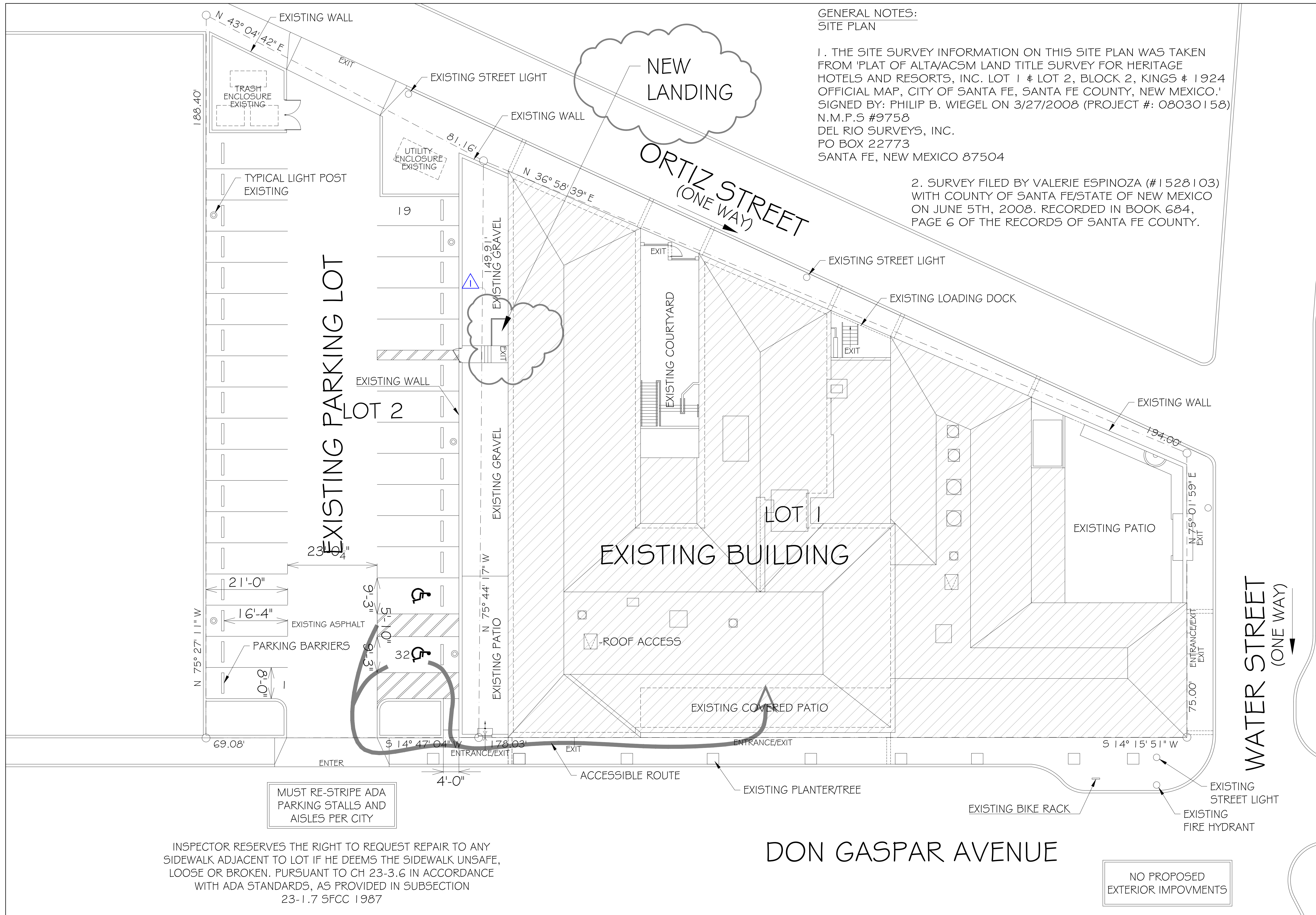
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GENERAL NOTES:
SITE PLAN

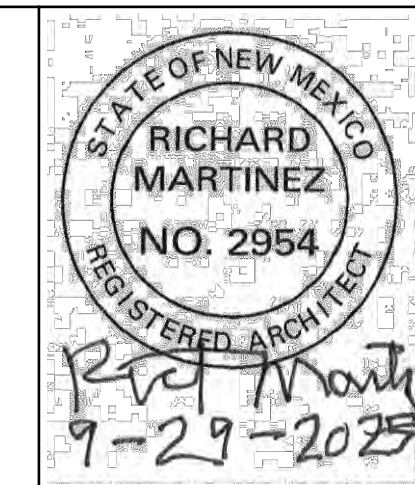
1. THE SITE SURVEY INFORMATION ON THIS SITE PLAN WAS TAKEN FROM 'PLAT OF ALTA/ACSM LAND TITLE SURVEY FOR HERITAGE HOTELS AND RESORTS, INC. LOT 1 & LOT 2, BLOCK 2, KINGS & 1924 OFFICIAL MAP, CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO.' SIGNED BY: PHILIP B. WIEGEL ON 3/27/2008 (PROJECT #: 08030158) N.M.P.S #9758 DEL RIO SURVEYS, INC. PO BOX 22773 SANTA FE, NEW MEXICO 87504

2. SURVEY FILED BY VALERIE ESPINOZA (#1528103) WITH COUNTY OF SANTA FE/STATE OF NEW MEXICO ON JUNE 5TH, 2008. RECORDED IN BOOK 684, PAGE 6 OF THE RECORDS OF SANTA FE COUNTY.

MUST RE-STRIPE ADA PARKING STALLS AND AISLES PER CITY

INSPECTOR RESERVES THE RIGHT TO REQUEST REPAIR TO ANY SIDEWALK ADJACENT TO LOT IF HE DEEMS THE SIDEWALK UNSAFE, LOOSE OR BROKEN. PURSUANT TO CH 23-3.6 IN ACCORDANCE WITH ADA STANDARDS, AS PROVIDED IN SUBSECTION 23-1.7 SFCC 1987

NO PROPOSED EXTERIOR IMPROVMENTS



MARTINEZ ARCHITECTURE ARCHITECTURE STUDIO PC
1524 PASEO DE PERALTA SANTA FE
505.989.4958 studio@martinezarch.com

HOTEL ST. FRANCIS
PARTIAL INTERIOR RENOVATION
210 DON GASPAS AVE,
SANTA FE, NEW MEXICO

FEBRUARY 20, 2025

REVISOR 9/26/2025

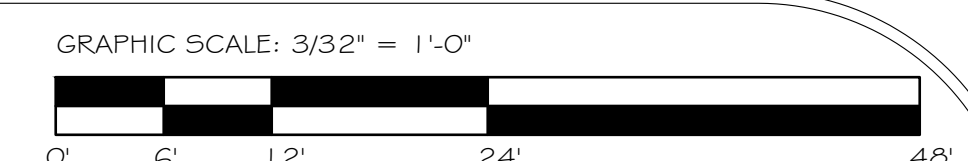
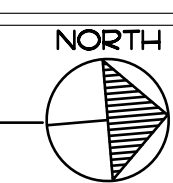
EXISTING OVERALL SITE

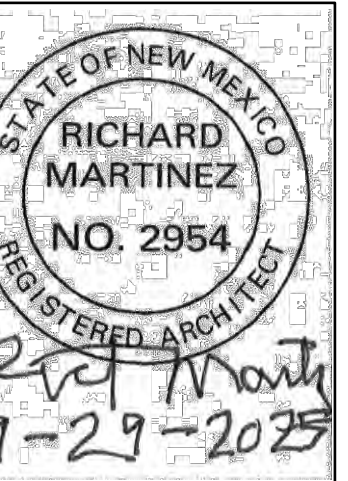
A
1.0

SET #

ST. FRANCIS RENO - 2405

EXISTING SITE
SCALE 3/32" = 1'-0"





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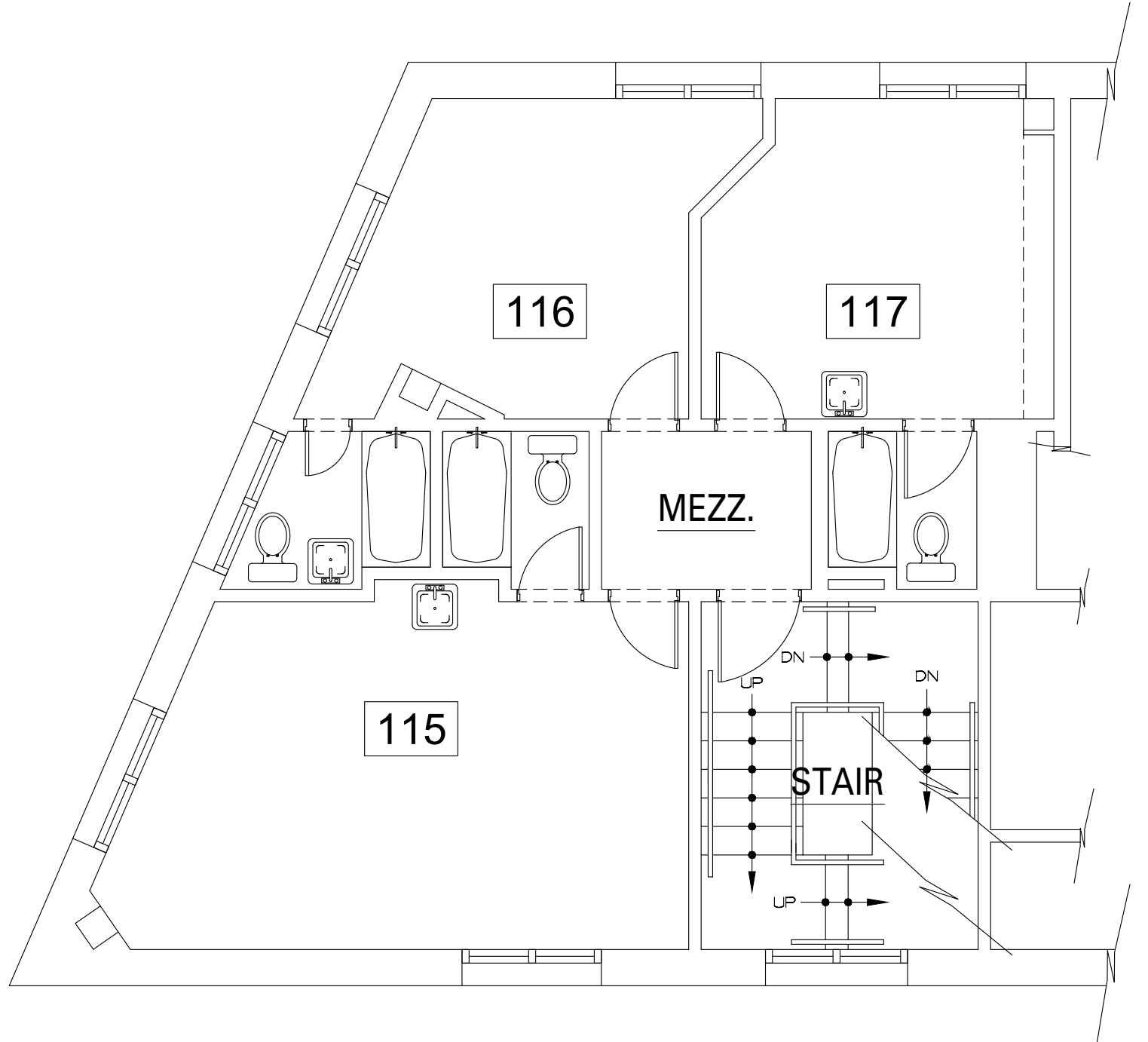
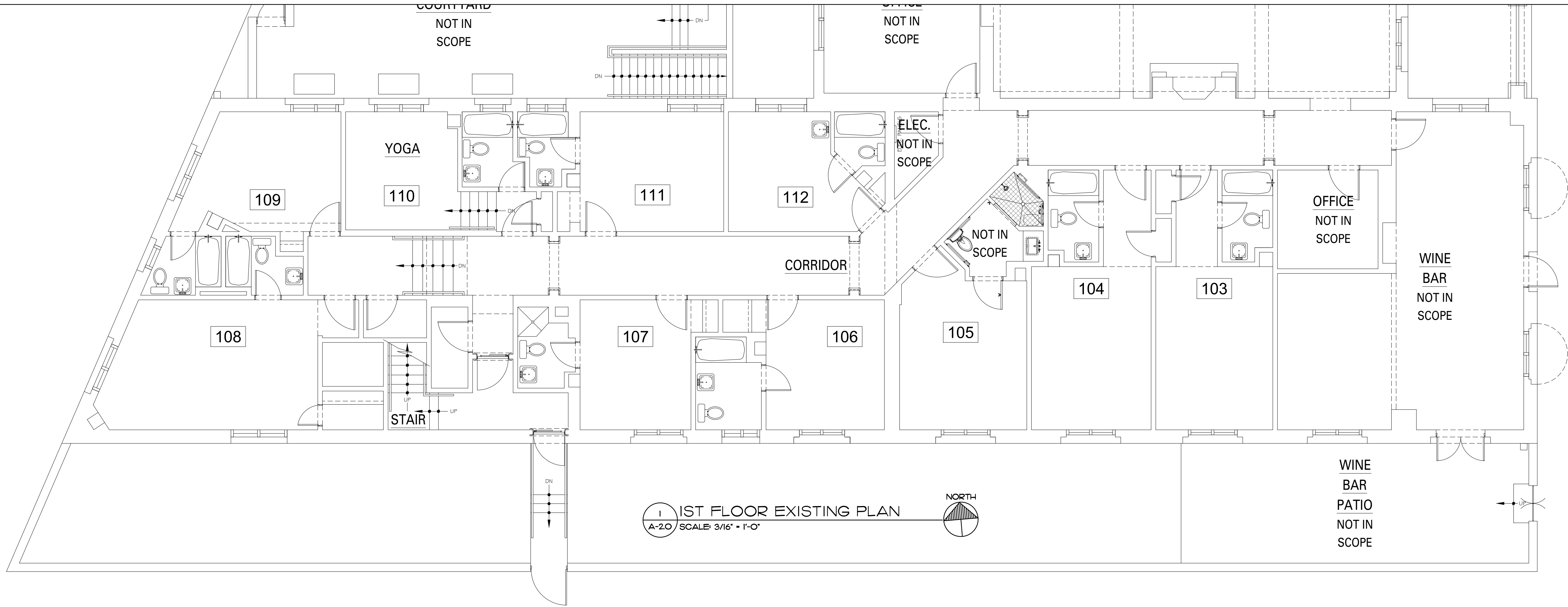
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210 DON GASPAR AVE,
SANTA FE, NEW MEXICO

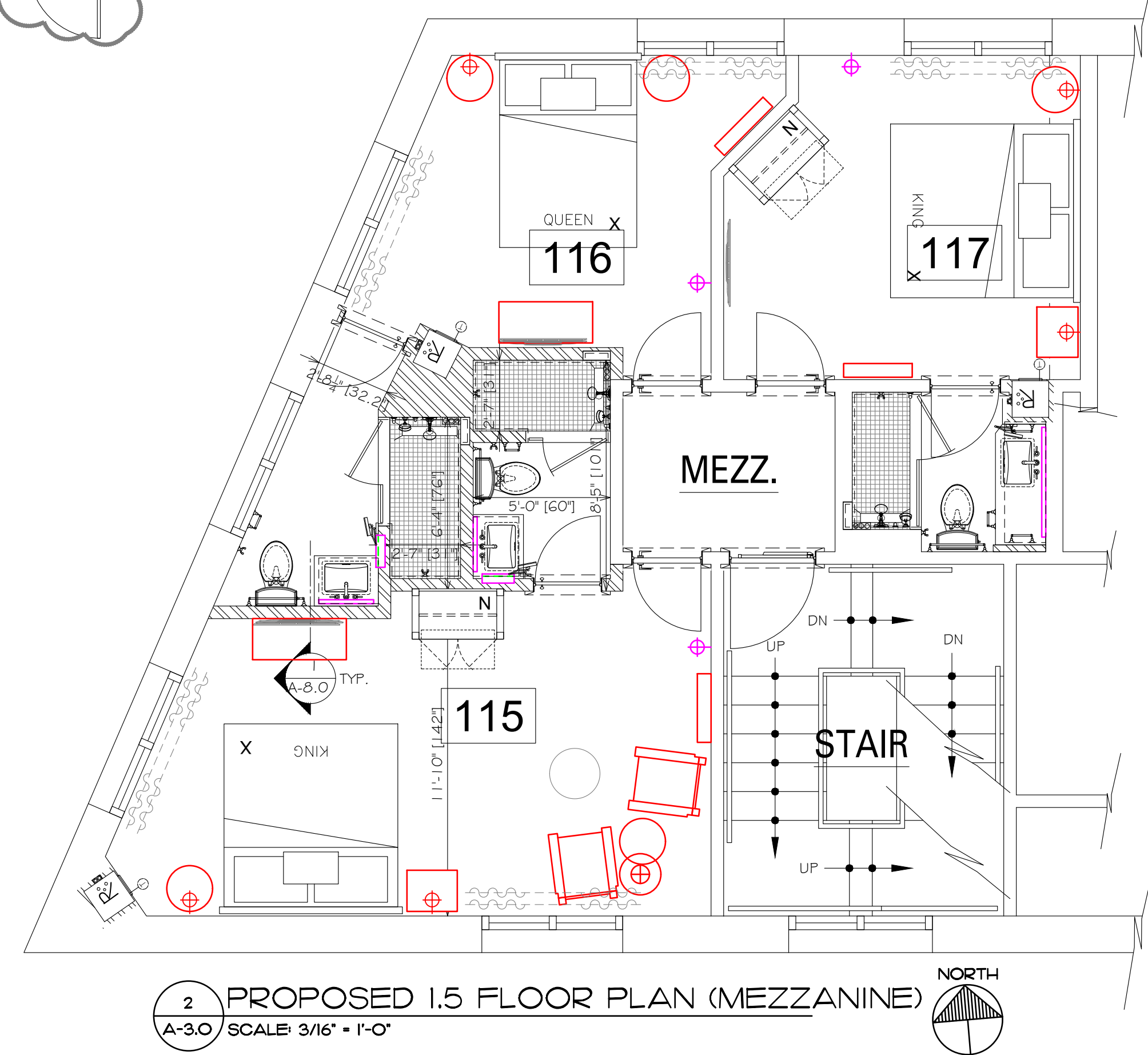
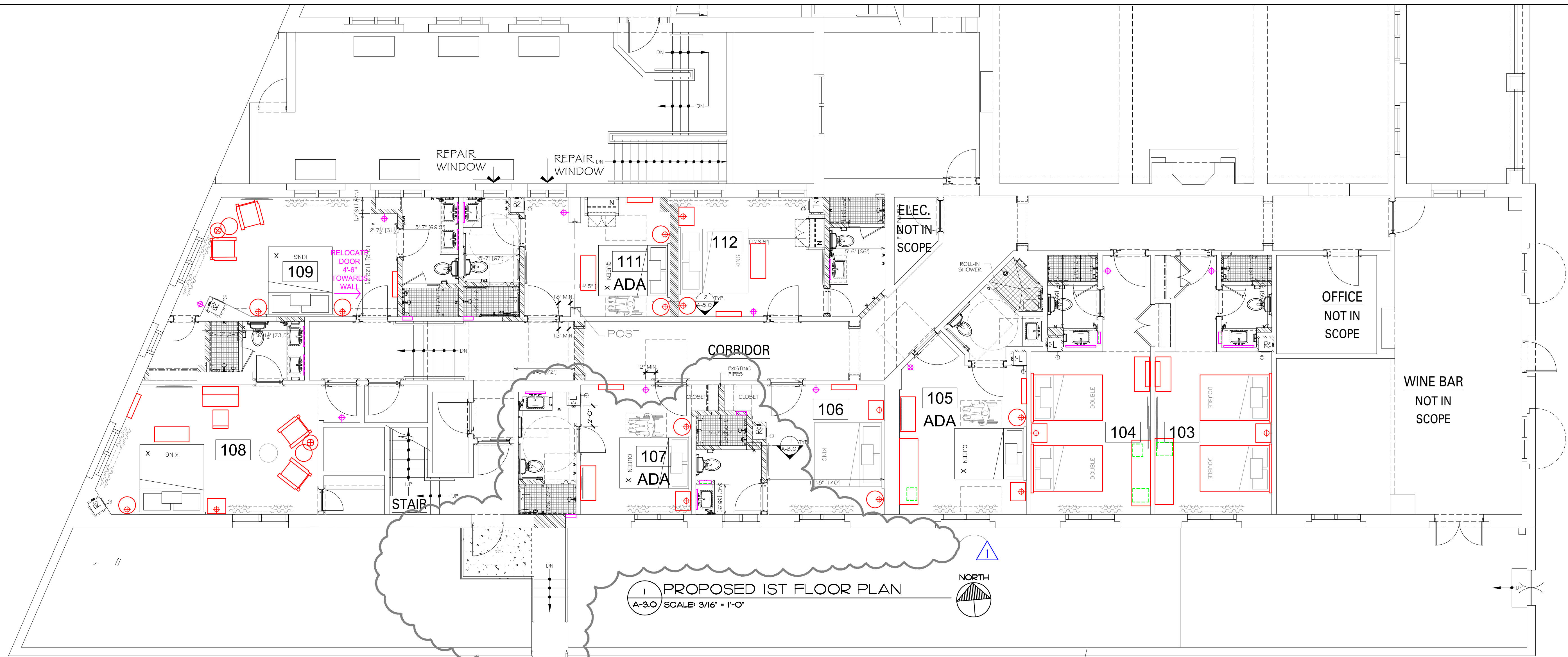
FEBRUARY 20, 2025

1ST & 1.5
FLOOR
(MEZZANINE)
EXISTING
PLANS

A
2.0

SET #
ST. FRANCIS RENO - 2405

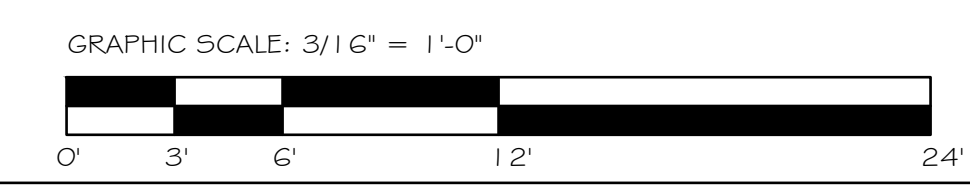




- GENERAL NOTES:
 PROPOSED FLOOR PLAN
1. MODIFY FIRE SPRINKLERS AS NECESSARY TO COMPLY WITH REGULATIONS.
 2. MODIFY EMERGENCY LIGHTS, EXIT SIGNS, SMOKE DETECTORS, ECT. AS NECESSARY TO COMPLY WITH REGULATIONS.
 3. ALL WALL DIMENSIONS ARE TO FACE OF ROUGH FRAMING UNLESS OTHERWISE INDICATED.
 4. CONTRACTORS SHALL COORDINATE DOOR HEIGHTS WITH EXISTING FRAMED OPENINGS.

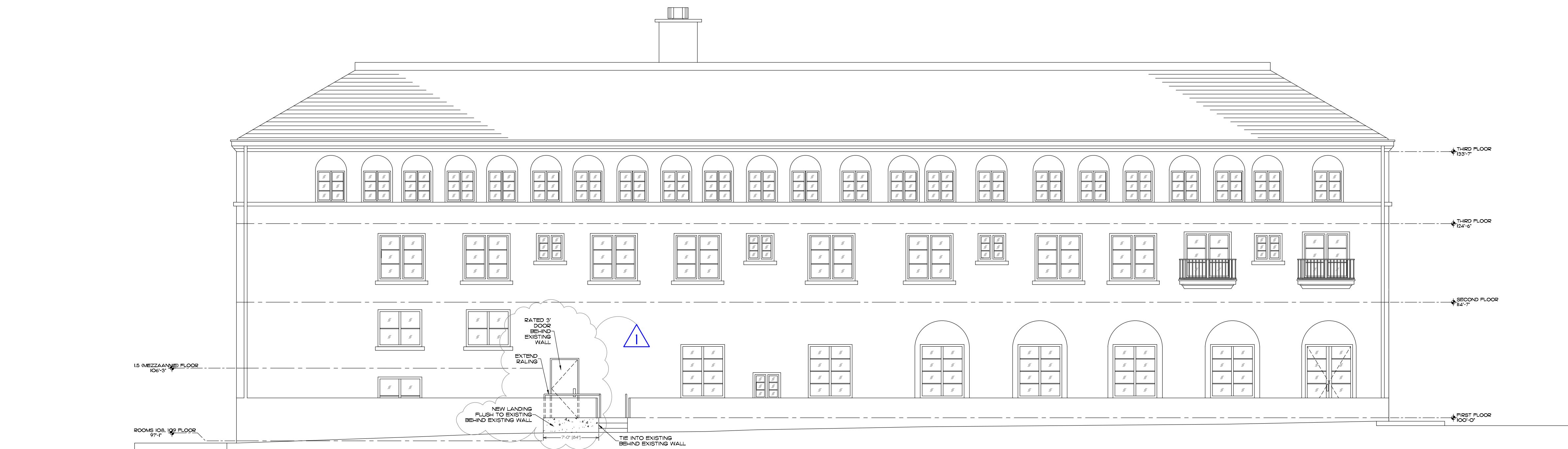
LEGEND:
 PROPOSED FLOOR PLAN

- EXISTING WALLS
- TYPICAL METAL STUD WALLS; SEE DETAIL 1/A-8.0
- TYPICAL DOUBLE METAL STUD WALLS; SEE DETAIL 2/A-8.0
- FAN COIL UNITS SEE MP-O.1 - MP-G.0

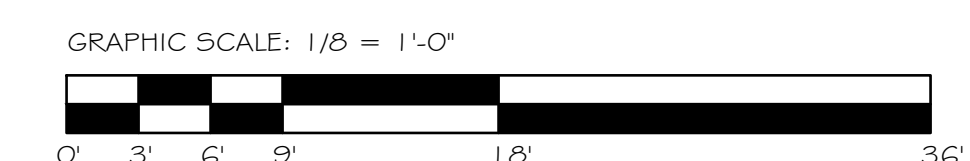




1 EXISTING SOUTH ELEVATION
 A-5.0 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
 A-5.0 SCALE: 1/8" = 1'-0"





Keep existing stair,
expand upper landing by 7'-0"
to the west while moving egress door to the west by 73.5"









