



December 9, 2025

Lani McCulley
Historic Preservation Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

RE: 801 Old Santa Fe Trail A

Dear Lani,

I am writing to submit for Historic District Review Board Approval for the property located at 801 Old Santa Fe Trail A, a significant property located within the Downtown and Eastside Historic District. The proposed scope of work and project details are outlined below:

Proposed Scope

Window Replacement: Replacement of existing windows with windows designed to fit into the existing window opening without disturbing the surrounding stucco. The frame overlaps the old window frame, allowing removal of the old sashes, leaving the original frame in place. These improvements are intended to enhance the energy efficiency, ensure egress safety while remaining in full compliance with the Historic Preservation Division's standards for the district.

Exceptions Requested

One request involves the removal of historic material, and the other for the replacement of historic windows on a primary façade. Please refer to the exception criteria outlined below:

1. 14-5.2(D)(1)(a) Historic Material: The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
 - (i) Do not damage the character of the district;

The proposed work will not damage the character of the historic district. All efforts have been made to preserve and maintain the historic integrity of the property, and any necessary changes will be executed using materials and methods that are compatible with the historic fabric. The insert replacement windows, leave the original frame in place. This avoids cutting into or patching the stucco to avoid additional exterior alterations.

- (ii) Are required to prevent a hardship to the [applicant](#) or an injury to the public welfare;

The proposed alterations are necessary to prevent undue hardship to the applicant. The current conditions create significant maintenance and livability challenges—particularly regarding proper insulation and egress safety—which, if left unaddressed, could compromise the structure’s habitability and pose safety concerns, including the ability to safely open the windows.

- (iii) Strengthen the unique heterogeneous character of the [City](#) by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

The proposed work aligns with the City’s dedication to maintaining its heterogeneous character. By permitting essential improvements that honor established historic standards, the project sustains residential use in the district and helps ensure that historic properties continue to serve as livable homes for current and future residents.

- 2. 14-5.2(D)(5)(a)(i) Windows: Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.

- (i) Do not damage the character of the district;

The proposed window work will not damage the character of the district. Where feasible, the windows will be restored using appropriate materials and methods.

- (ii) Are required to prevent a hardship to the [applicant](#) or an injury to the public welfare;

The replacement windows will match the size, style, and material of the existing windows throughout the property, and double-pane glazing will be used only where necessary for energy efficiency and resident comfort. These changes are required to ensure safety, comfort, and ongoing use of the property, and to prevent deterioration that would result in greater loss of historic material.

- (iii) Strengthen the unique heterogeneous character of the [City](#) by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

By enabling sensitive upgrades to the building’s windows, the project helps preserve the building’s usability and appeal. This approach reflects the City’s goal of offering a range of

design solutions that allow residents to remain in historic homes, contributing to the diverse and living character of Santa Fe's historic districts.

Elevations

Enclosed with this letter are the existing elevations of the residence, which highlight the location of the windows.

Conclusion

This proposal request to match the existing windows maintains the historic character and architectural integrity of the property while improving functionality and visibility. The replacement windows will ensure that the residence remains compatible with the surrounding historic environment. The exterior improvements will enhance the overall appearance of the structure, support its continued residential use, and contribute to the long-term preservation of the Historic District.

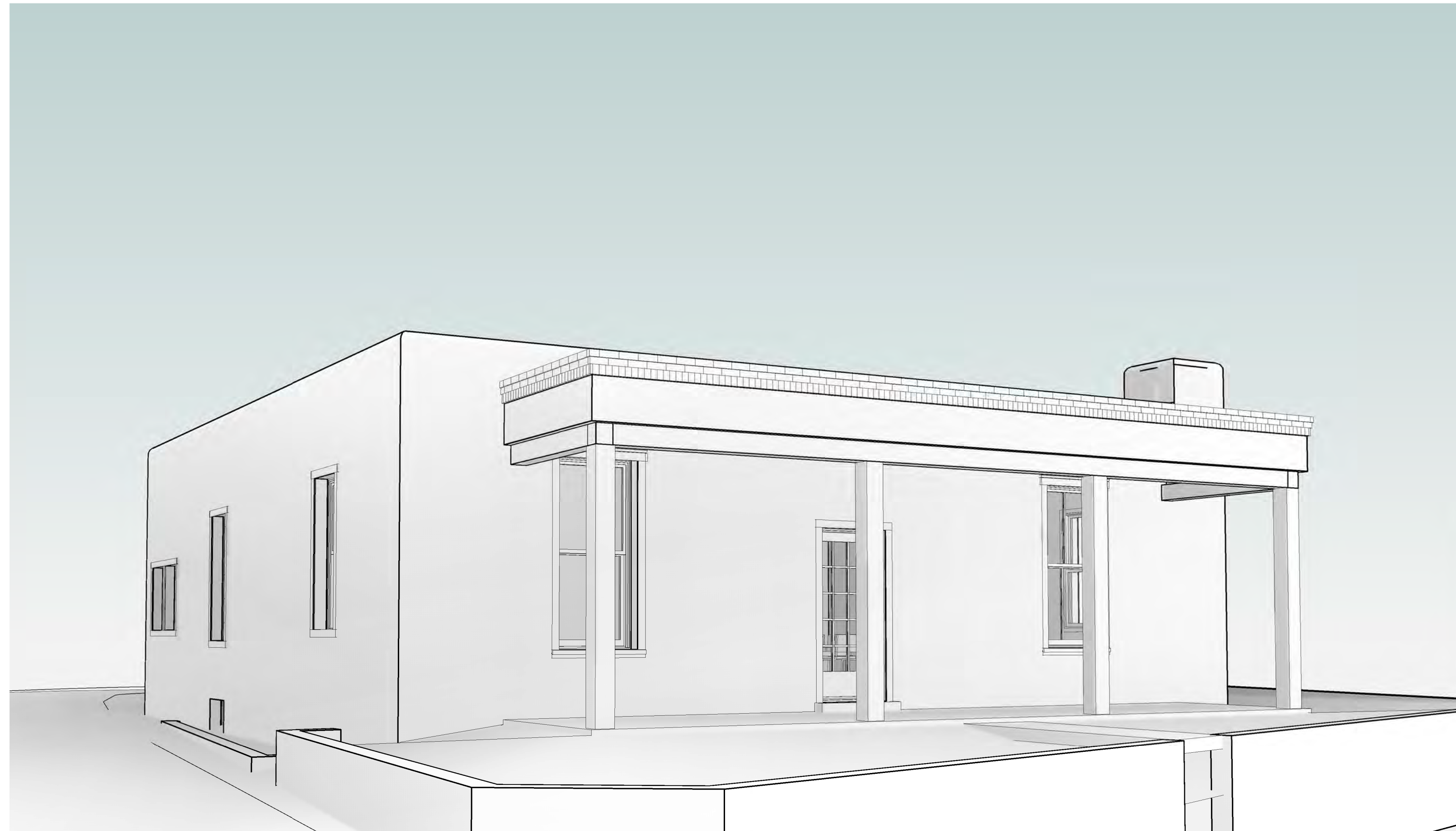
In support of this request, we have included the following documentation for your review:

1. Site Plan (Existing & Proposed)
2. Elevations
3. Photographs
4. Window Assessment
5. Proposed Window Specs

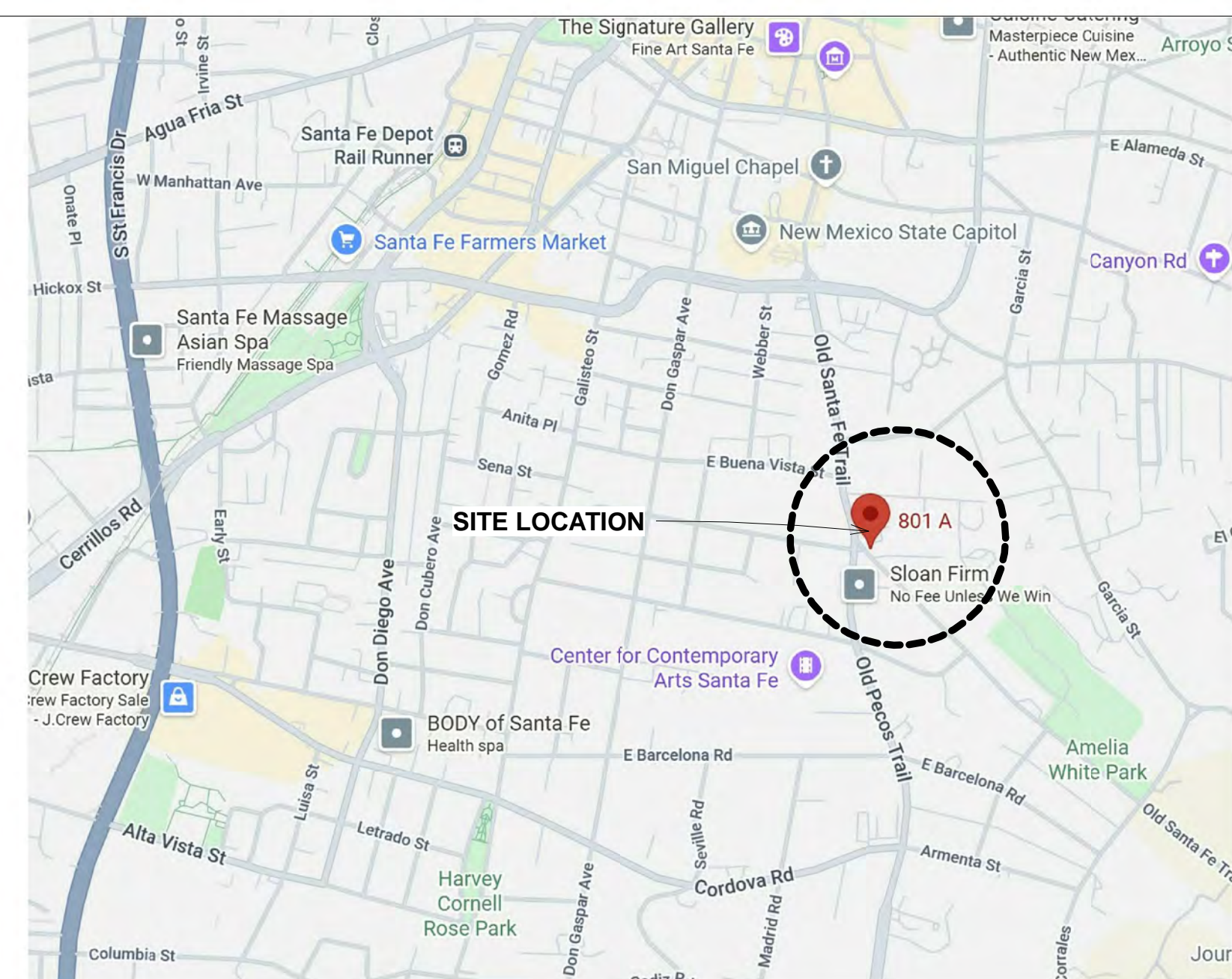
You may contact me at 505-557-4060 or at jennifer@santafepermits.com with any questions.

Thank you for your time and consideration.

Sincerely,
Jennifer Salimbene



801 OLD SANTA FE TRAIL - WINDOW REPLACEMENT



VACINITY MAP

PROJECT ADDRESS

LOT #
ADDRESS: 801 OLD SANTA FE TRAIL
SANTA FE, NM 87508

BUILDING CRITERIA

BUILDING CODE AND ORDINANCES
2021 INTERNATIONAL RESIDENTIAL CODE

ALLOWABLE HEIGHT	24'-0"
BUILDING HEIGHT	12'-9"

- WIND SPEED: 115 ULTIMATE
- SEISMIC DESIGN CATEGORY: C
- GROUND SNOW LOAD: 20 LB
- FROST LINE DEPTH: 24 INCHES
- WINTER DESIGN TEMP: 16 DEGREES
- TERMITE PROTECTION AS REQUIRED

2021 NM RESIDENTIAL BUILDING CODE
2020 NM ELECTRIC CODE
2021 NM MECHANICAL CODE
2021 NM PLUMBING CODE

ZONING: R-CS RESIDENTIAL COMPOUND DISTRICT SDUAC
CONSTRUCTION TYPE: TYPE III
CLIMATE ZONE: SANTA FE COUNTY, CLIMATE ZONE 6A

PROJECT DATA

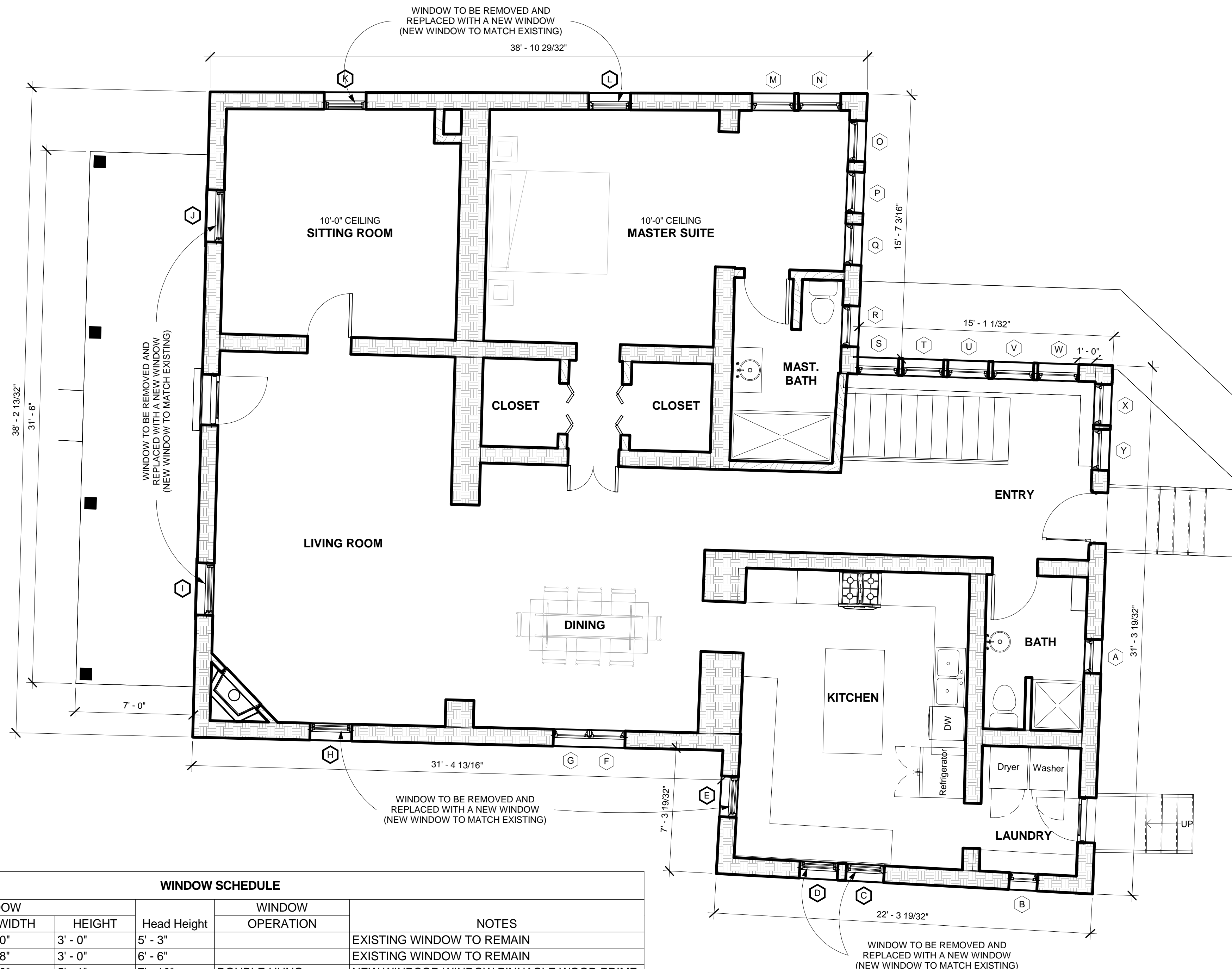
HEATED	
HOUSE HEATED	2,018 SF
BASEMENT HEATED	500 SF
NON-HEATED	
GARAGE	500 SF
PORTALS	221 SF
TOTAL UNDER ROOF	3,239 SF

SHEET INDEX

SHEET #	SHEET NAME
GENERAL G-1.01	COVER SHEET
ARCHITECTURAL AS-1.01	SITE PLAN
A-1.01	FLOOR PLAN & WINDOW SCHEDULE
A-4.01	EXTERIOR ELEVATIONS
A-4.02	EXTERIOR ELEVATIONS

COVER SHEET
G-1.01
PERMIT SET
Date: 12.8.25

ALL CONSTRUCTION MUST BE ACCORDANCE WITH NM IRC 2021.



GENERAL NOTES:

- A. EXISTING WINDOWS TO BE REMOVED AND REPLACED WITH NEW WINDOWS. WINDOWS ARE TO BE REPLICAS OF ORIGINAL WINDOWS AND MUST COMPLY WITH THE HISTORIC PRESERVATION GUIDELINES. (SEE WINDOW SCHEDULE A-1.01 SCHEDULE).
- B. WINDOW TRIM TO REMAIN IN PLACE.

GENERAL NOTES:

NM 2021 IRC NOTE:
R310.1.1/R310.1.2/R310.1.3

ALL WINDOWS IN BEDROOMS TO HAVE A MIN. 5.7 SQ. FT. OPENING WITH A MAX. 44" SILL HEIGHT. WINDOW MIN. 24" HEIGHT, 20" WIDTH EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5 SQ. FT.

ALL EXTERIOR DOORS INCLUDING DOOR FROM GARAGE TO HEATED TO HAVE AT LEAST ONE DEADBOLT, WITH DOOR JAMB SOLID FILLED BETWEEN FRAME AND JAMB. ADDRESS NUMBERS SHOULD BE LEGIBLE AND EASILY READ FROM THE STREET.

NEW MEXICO CLIMATE ZONE BASE ON HEATING AND COOLING DEGREE DAYS					
CITY	COUNTY	ELEV (FEET)	HEATING DEGREE DAYS (HDD) 60 °F DAY	COOLING DEGREE DAYS (CDD) 50 °F DAY	CLIMATE ZONE
SANTA FE	SANTA FE	7260 FT	6001		6A

owner:
Stuart Cohen
801 Old Santa Fe Trail
Santa Fe, NM 87505
505-617-823-5456

designer:
Evolution Design LLC
148 E. Chilli Line Rd.
Santa Fe, NM 87508
505-690-9903 voice

civil engineer:

landscape architect:

structural engineer:

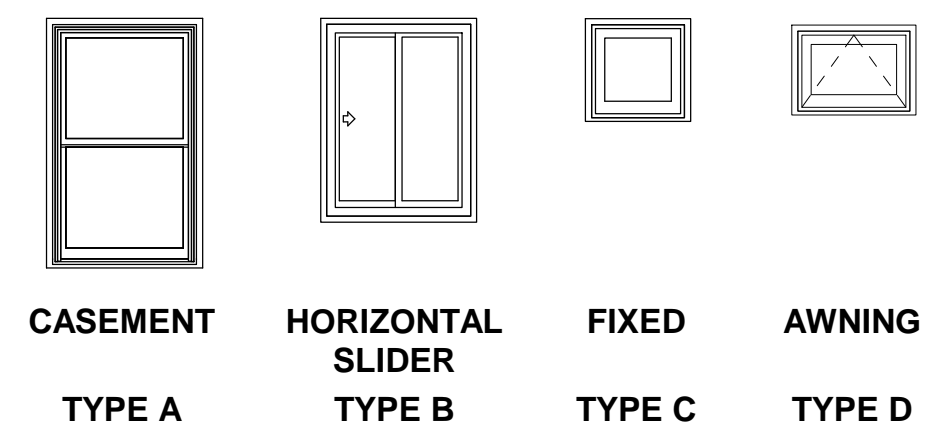
mechanical/electrical engineer:

801 OLD SANTA FE TRAIL - WINDOW REPLACEMENT

SANTA FE, NM 87505

Number Revision Description Date

WINDOW SCHEDULE						
WINDOW NO.	ROOM NO. & NAME	WIDTH	HEIGHT	Head Height	WINDOW OPERATION	NOTES
A	BATH	2' - 0"	3' - 0"	5' - 3"		EXISTING WINDOW TO REMAIN
B	LAUNDRY	1' - 8"	3' - 0"	6' - 6"		EXISTING WINDOW TO REMAIN
C	KITCHEN	2' - 3"	5' - 1"	7' - 10"	DOUBLE HUNG	NEW WINDSOR WINDOW PINNACLE WOOD PRIME
D	KITCHEN	2' - 3"	5' - 1"	7' - 10"	DOUBLE HUNG	NEW WINDSOR WINDOW PINNACLE WOOD PRIME
E	KITCHEN	2' - 5"	5' - 8"	8' - 2"	DOUBLE HUNG	NEW WINDSOR WINDOW PINNACLE WOOD PRIME
F	DINING	2' - 1 1/2"	4' - 6 1/2"	6' - 11"		EXISTING WINDOW TO REMAIN
G	DINING	2' - 1 1/2"	4' - 6 1/2"	6' - 11"		EXISTING WINDOW TO REMAIN
H	LIVING ROOM	2' - 5 3/4"	5' - 9 1/2"	8' - 6"	DOUBLE HUNG	NEW WINDSOR WINDOW PINNACLE WOOD PRIME
I	LIVING ROOM	3' - 1"	6' - 10"	8' - 9"	DOUBLE HUNG	NEW WINDSOR WINDOW PINNACLE WOOD PRIME
J	SITTING ROOM	3' - 1"	6' - 10"	8' - 9"	DOUBLE HUNG	NEW WINDSOR WINDOW PINNACLE WOOD PRIME
K	SITTING ROOM	2' - 5 3/4"	5' - 9 1/2"	8' - 5"	DOUBLE HUNG	NEW WINDSOR WINDOW PINNACLE WOOD PRIME
L	MASTER SUITE	2' - 5 3/4"	5' - 9 1/2"	8' - 0"	DOUBLE HUNG	NEW WINDSOR WINDOW PINNACLE WOOD PRIME
M	MASTER SUITE	2' - 6"	3' - 4"	6' - 0"		EXISTING WINDOW TO REMAIN
N	MASTER SUITE	2' - 6"	3' - 4"	6' - 0"		EXISTING WINDOW TO REMAIN
O	MASTER SUITE	2' - 5"	3' - 4"	5' - 11"		EXISTING WINDOW TO REMAIN
P	MASTER SUITE	2' - 5"	3' - 4"	5' - 11"		EXISTING WINDOW TO REMAIN
Q	MASTER SUITE	2' - 5"	3' - 4"	5' - 11"		EXISTING WINDOW TO REMAIN
R	MASTER SUITE	2' - 5"	3' - 4"	5' - 11"		EXISTING WINDOW TO REMAIN
S	ENTRY	2' - 5"	3' - 4"	6' - 0"		EXISTING WINDOW TO REMAIN
T	ENTRY	2' - 5"	3' - 4"	6' - 0"		EXISTING WINDOW TO REMAIN
U	ENTRY	2' - 5"	3' - 4"	6' - 0"		EXISTING WINDOW TO REMAIN
V	ENTRY	2' - 5"	3' - 4"	6' - 0"		EXISTING WINDOW TO REMAIN
W	ENTRY	2' - 5"	3' - 4"	6' - 0"		EXISTING WINDOW TO REMAIN
X	ENTRY	2' - 5"	3' - 4"	5' - 11"		EXISTING WINDOW TO REMAIN
Y	ENTRY	2' - 5"	3' - 4"	5' - 11"		EXISTING WINDOW TO REMAIN



HEATED	
HOUSE HEATED	2,018 SF
BASEMENT HEATED	500 SF
NON-HEATED	
GARAGE	500 SF
PORTALS	221 SF
TOTAL UNDER ROOF	3,739 SF

NM 2021 IRC NOTE:
R310.1.1/R310.1.2/R310.1.3

ALL WINDOWS IN BEDROOMS TO HAVE A MIN. 5.7 SQ. FT. OPENING WITH A MAX. 44" SILL HEIGHT. WINDOW MIN. 24" HEIGHT, 20" WIDTH EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5 SQ. FT.

FLOOR PLAN 1

1/4" = 1'-0"

Project No 2502
Date: 12.8.25
Sheet:

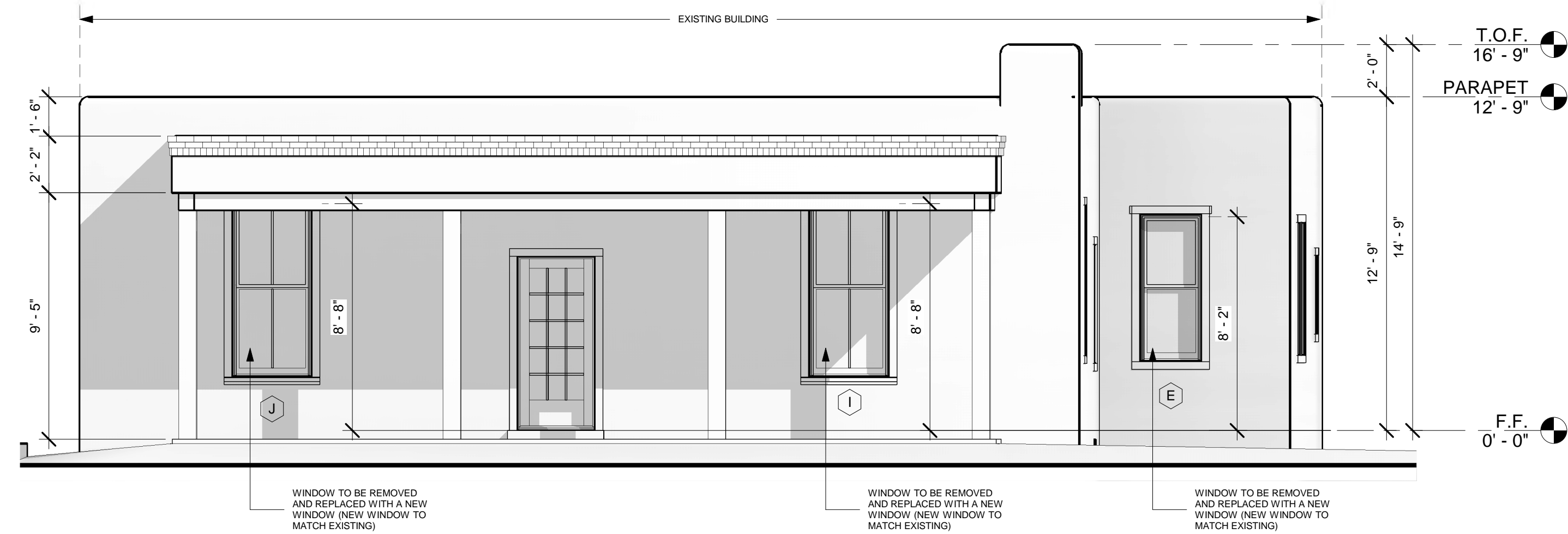
FLOOR PLAN & WINDOW SCHEDULE

A-1.01

PERMIT SET



PHOTO: WEST ELEVATION



GENERAL NOTES:

1. SELECTED WINDOWS TO BE REPLACED WITH NEW WINDOWS. NEW WINDOWS TO MATCH EXISTING. (SEE SCHEDULE)
2. WINDOW TYPE: WINDSOR WINDOWS - PINNACLE WOOD PRIME (PAINT TO MATCH EXISTING WINDOWS).
3. EXISTING WINDOWS WITH DIVIDED LITES/GRILLE PATTERNS MUST BE REPLACED WITH NEW WINDOWS WITH LITES/GRILLE PATTERNS TO MATCH EXISTING.
4. WINDOW TRIM IS TO REMAIN. PAINT TO MATCH IF NEEDED.
5. IF THE STUCCO IS DAMAGED DURING THE INSTALLATION OF THE NEW WINDOWS, THE STUCCO IS TO BE REPAIRED. STUCCO COLOR TO MATCH EXISTING STUCCO COLOR.

owner:
Stuart Cohen
 801 Old Santa Fe Trail
 Santa Fe, NM 87505
 505-617-823-5456

designer:
Evolution Design LLC
 148 E. Chili Line Rd.
 Santa Fe, NM 87508
 505-690-9903 voice

civil engineer:

landscape architect:

structural engineer:

mechanical/electrical engineer:

WEST 1

1/4" = 1'-0"

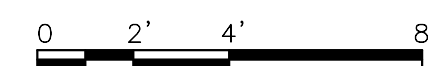
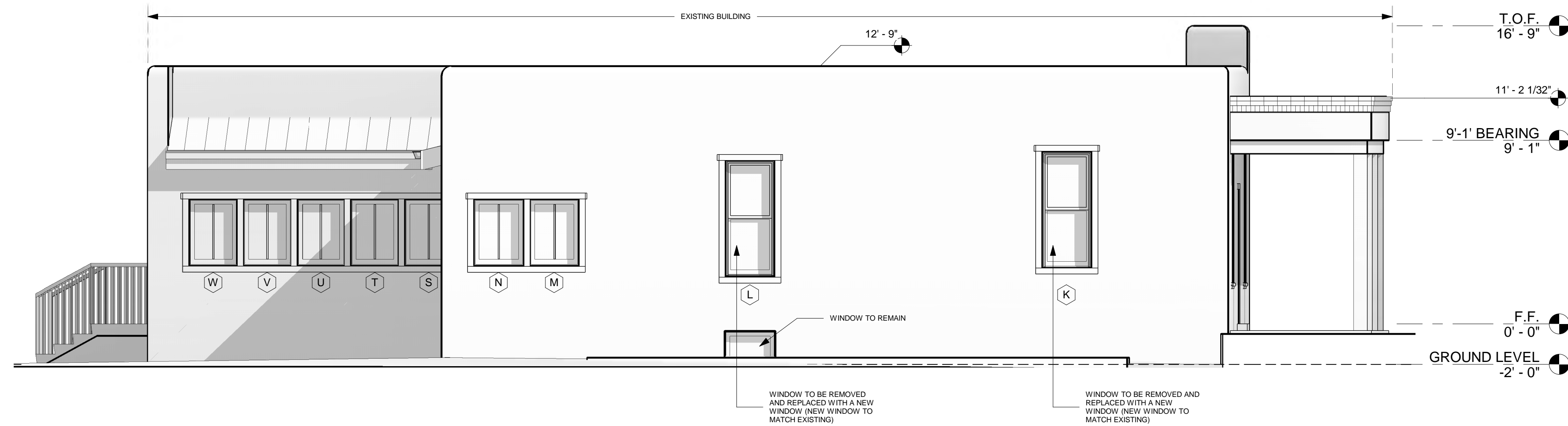
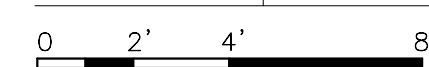


PHOTO: NORTH ELEVATION



NORTH 2

1/4" = 1'-0"



801 OLD SANTA FE TRAIL - WINDOW REPLACEMENT

SANTA FE, NM 87505

Number	Revision Description	Date

Project No: 2502
 Date: 12.8.25
 Sheet:

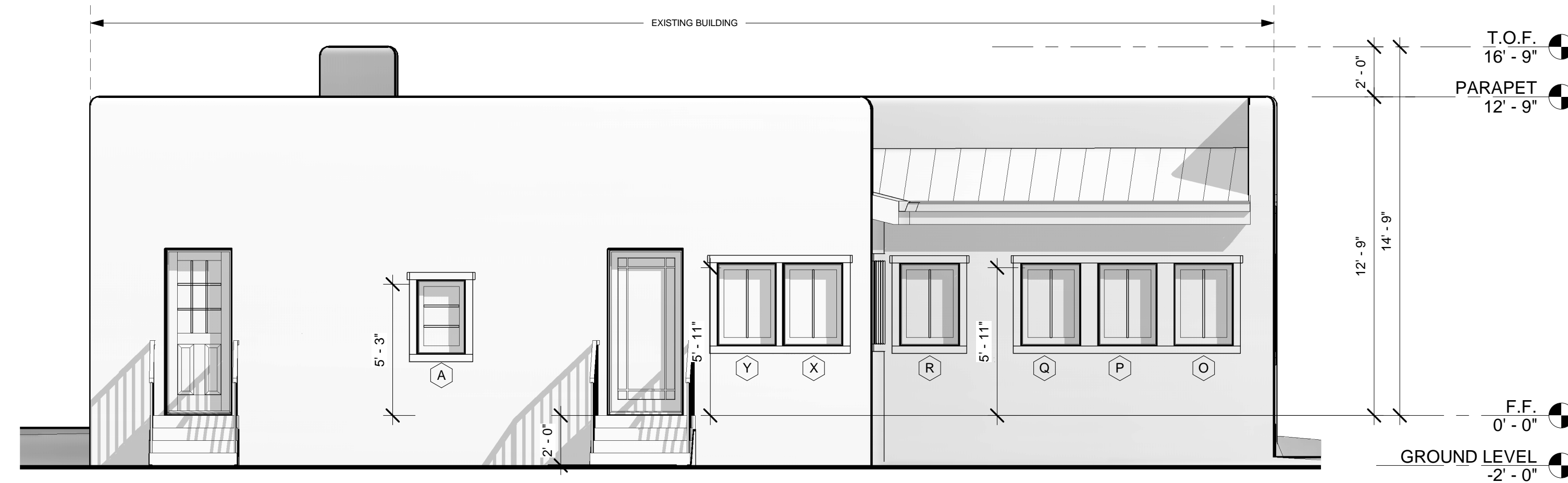
EXTERIOR ELEVATIONS

A-4.01

PERMIT SET



EAST ELEVATION



GENERAL NOTES:

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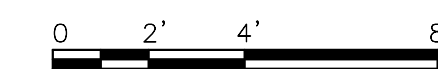
landscape architect:

structural engineer:

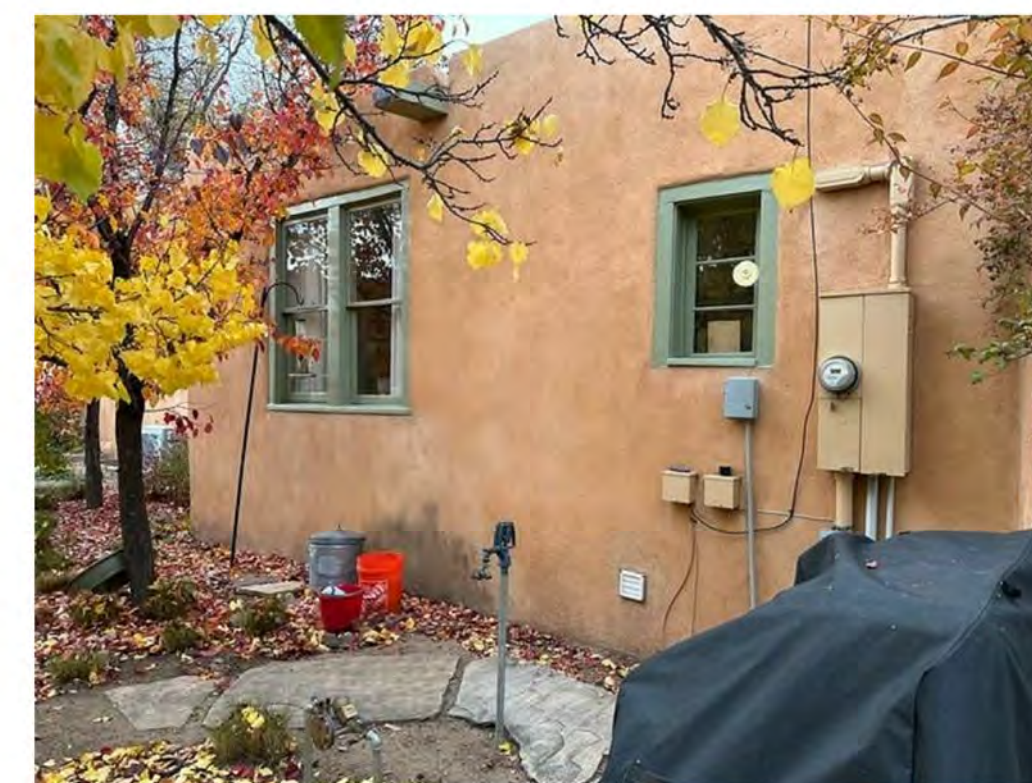
mechanical/electrical engineer:

EAST 3

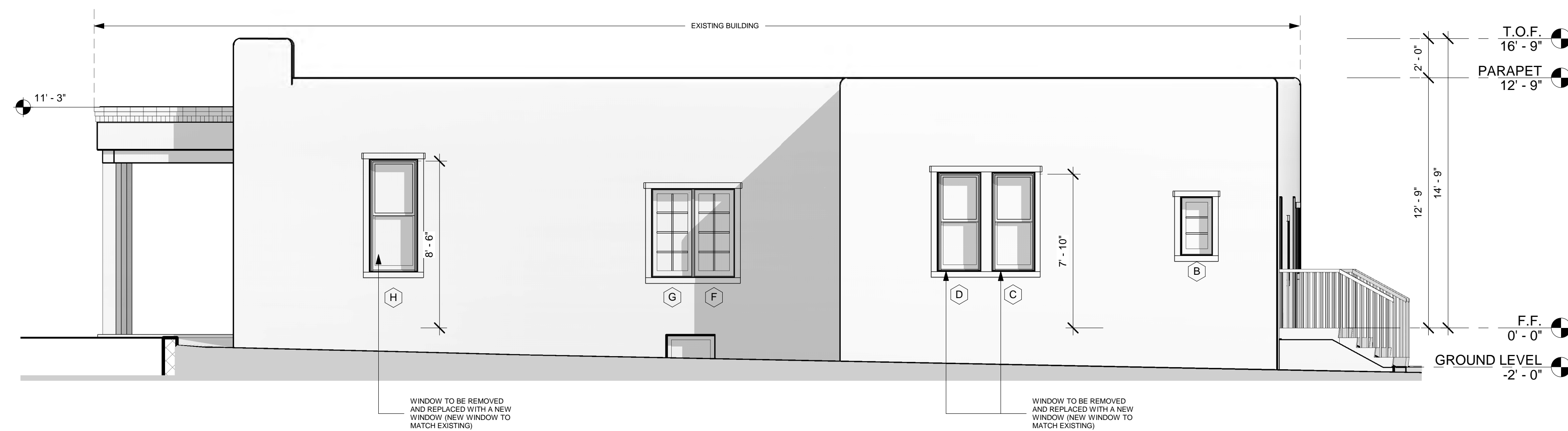
1/4" = 1'-0"



SOUTH LEFT ELEVATION

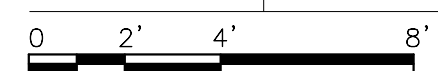


SOUTH RIGHT ELEVATION



SOUTH 4

1/4" = 1'-0"



801 OLD SANTA FE TRAIL - WINDOW REPLACEMENT

SANTA FE, NM 87505

Number	Revision Description	Date

Project No 2502
 Date: 12.8.25
 Sheet:

EXTERIOR ELEVATIONS

A-4.02

PERMIT SET



ARCHITECTURAL WINDOWS & DOORS SANTA FE

11 PLAZA LA PRENSA

UNIT 3

SANTA FE

NM 87507

Phone: 505-983-6611

Fax: 1-505-983-6688

Customer Quote

Short Form No Pricing

QUOTE EXPIRES

N/A

QUOTE DATE

Quote Not Ordered

BID BY

PRICE BOOK

Price Book 2025

CREATED

8/25/2025

tom@awadllc

PK # 328

Customer Information:

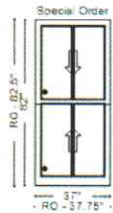
Delivery Information:

Janet Sanders
801 Old Santa Fe trail

Santa Fe NM 87505

QUOTE #	STATUS	CUSTOMER PO#	DATE PRINTED
3039841	None		10/7/2025 12:53 PM
CUSTOMER JOB NAME	TERMS	QUOTE NAME	PROJECT NAME
		Sanders	Sanders

Line #	Room ID	Quantity	Overall RO	Overall Frame
100	Front of house	2	37 3/4" X 82 1/2"	37" X 82"

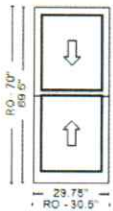


* Units viewed from exterior.

Pinnacle Wood Prime Double Hung XXXX-1 Complete Unit Dual Low-E IG 4-9/16 Jamb Ext (Room ID: Front of house)(Setup (Standard))(Glass Stop Profile: Ogee)(FD: 37 x 82)(Pine Species)(Primer)(With Finger Pulls)(Grey Spacer)(Tubes)(White Jambliner)(Satin Nickel Hardware)(No Brickmould)(No Sill Nosing)(CPR Number: 207930A)(1-1/4" Standard WDL w/Inner Bar)(Putty WDL Interior Profile)(Colonial Pattern 2W1H/2W1H)(Full Screen)(Hunter Green Screen - Not Applied)(BetterVue)(Energy Star: Meets in SC, S Zones)(LC-PG30-H) Performance Data:(U-Value: 0.27)(SHGC: 0.16)(VT: 0.35)(CR: 45)

* This product is a Special Order Unit. See performance and pricing messages at the end of this report.

Line #	Room ID	Quantity	Overall RO	Overall Frame
200	Driveway Yard	3	30 1/2" X 70"	29.75" X 69.5"

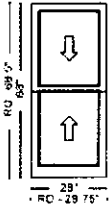


* Units viewed from exterior.

Pinnacle Wood Prime Double Hung XXXX-1 Complete Unit Dual Low-E IG 4-9/16 Jamb Ext (Room ID: Driveway Yard)(Setup (Standard))(Glass Stop Profile: Ogee)(FD: 29.75 x 69.5)(Pine Species)(Primer)(With Finger Pulls)(Grey Spacer)(Tubes)(White Jambliner)(Satin Nickel Hardware)(No Brickmould)(No Sill Nosing)(Full Screen)(Hunter Green Screen - Not Applied)(BetterVue)(Energy Star: Meets in SC, S Zones)(LC-PG35-H) Performance Data:(U-Value: 0.27)(SHGC: 0.19)(VT: 0.45)(CR: 45)

Line #	Room ID	Quantity	Overall RO	Overall Frame
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300 kitchen 1 29 3/4" X 68 1/2" 29" X 68"

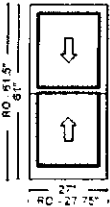


Pinnacle Wood Prime Double Hung XXXX-I Complete Unit Dual Low-E IG 4-9/16 Jamb Ext (Room ID: kitchen)(Setup (Standard))(Glass Stop Profile: Ogee)(FD: 29 x 68)(Pine Species) (Primer)(With Finger Pulls)(Grey Spacer)(Tubes)(White Jambliner)(Satin Nickel Hardware)(No Brickmould)(No Sill Nosing)(Full Screen)(Hunter Green Screen - Not Applied)(BetterVue) (Energy Star: Meets in SC, S Zones)(R-PG35-H) Performance Data:(U-Value: 0.27)(SHGC: 0.19)(VT: 0.45)(CR: 45)

* Units viewed from exterior.

Line #	Room ID	Quantity	Overall RO	Overall Frame
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400 kitchen 2 27 3/4" X 61 1/2" 27" X 61"



Pinnacle Wood Prime Double Hung XXXX-I Complete Unit Dual Low-E IG 4-9/16 Jamb Ext (Room ID: kitchen)(Setup (Standard))(Glass Stop Profile: Ogee)(FD: 27 x 61)(Pine Species) (Primer)(With Finger Pulls)(Grey Spacer)(Tubes)(White Jambliner)(Satin Nickel Hardware)(No Brickmould)(No Sill Nosing)(Full Screen)(Hunter Green Screen - Not Applied)(BetterVue) (Energy Star: Meets in SC, S Zones)(R-PG35-H) Performance Data:(U-Value: 0.27)(SHGC: 0.19)(VT: 0.45)(CR: 45)

* Units viewed from exterior.

Quote Comments:

Disclaimer:

Messages:

* Any special order product must be approved and pricing provided by Windsor Windows & Doors. The product would be manufactured as requested as a non-standard product and may not carry a performance rating. Windsor makes no claims that this product will perform to any such rating. Local building codes may differ. Customer is responsible to confirm products meet all applicable codes and requirements.

* Units meeting Egress size conform to 2018 IRC Section R310.2 Egress requirements; Local codes may differ. Customer is responsible to confirm units meet all applicable requirements.

Submitted By: _____ Date: _____

Accepted By: _____ Date: _____

We appreciate the opportunity to provide you with this quote!