

City of Santa Fe, New Mexico

memo

DATE: December 9, 2025

TO: Historic Districts Review Board Members

VIA: Heather Lamboy, Planning & Land Use Department Director #LL
Maggie Moore, Assistant Land Use Director *MRM*
Gary Moquino, Historic Preservation Division Manager *GM*

FROM: Lani McCulley, Senior Planner, Historic Preservation Division *LM*

2025-011549-HDRB, 527 Agua Fria St. units 1, 2, & 3, Westside-Guadalupe Historic District, Significant, Osage Design Studio, agent for Neirika, LLC, owner, requests a status review with primary façade designation, if applicable.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: ownership history documents

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: 2025 HCPI

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be maintained as significant for its association with events or persons that are important on a local level and the historic integrity of the building, with all facades as primary, per 14-5.2(C) Designation of Significant, Contributing or Noncontributing Status Within Historic Districts.

fences often feature wooden pedestrian gates. There are no vehicle gates. The average is forty-three inches in height, which is the maximum allowable height.

The properties tend to be narrow and long, with multiple buildings on most sites. The buildings vary in distance from the street, with some right up to the sidewalk and others set back twenty to thirty feet from the street. The buildings are a combination of residential and commercial spaces.

The buildings are a variety of Spanish Pueblo Revival, Territorial, and Vernacular style flat roof homes, as well as a variety of pitched roof homes. The homes are in lighter brown stuccos with white, brown, and blue trims and natural wood elements. There are several properties with metal elements as well.



Figure 2: Street View of Residence

Site Description:

The 3,017 sq. ft. multi-family residence at 527 Agua Fria units 1, 2, and 3 sits on a 0.418-acre lot and was constructed between 1908 and 1912. While the GIS map shows the residence as significant to the Westside-Guadalupe Historic District, the Historic Cultural Properties Inventory from 1997 states that the HCPI was not adopted, and there is no case for status on this property since then. If the property was not reviewed for status in 1997 or since, the property would be listed as contributing, as it was before 1997. Therefore, the residence is coming forward for clarification of status.

According to the 1997 HCPI, the residence has been listed on the national register since 1997 and as a contributing resource to the Guadalupe Neighborhood in the National Register of Historic Places nomination of the district in 1999. The accessory dwelling unit at the rear of the lot is listed as non-contributing, but is not subject to this case. According to the 2025 HCPI, the structure is located on a 1908 Sanborn Fire Insurance Map and is not listed on the state register or the national register.

Per the 1997 HCPI, the residence is constructed in a Mediterranean-style architecture with thick, stucco-plastered walls, red-tiled roofs, and ornate archways, with large, symmetrical facades designed for warmth and indoor-outdoor living. The 2025 HCPI calls this a New Mexico

Vernacular style; otherwise, the descriptions of the existing residence are the same. However, there are differences in the history of the structure's construction.

The roof is a red metal tile roof with gables of various heights, gable horns, and exposed rafters. The roof heights vary, with the lowest at 7'-10" and the highest at just under 20'-0". According to the 1997 HCPI, the roof was changed to the existing tile roof in 1920-1925. According to the 2025 HCPI, *"the original roof was a flat roof with drainage to the north. At some point, a gabled roof was added, raising the elevations of the residence. It is not evident if this was a clay tile roof, but it now has a metal roof simulating a tile roof. The cross-gable roof is offset. The lower metal roofs covering the front porches and side and back additions have a combination of metal tile and standing seam. The roof over the garage and connector is a low-slope standing-seam metal roof."*

The walls are concrete and stucco in light tan, most windows are 8-lite wood casements in pairs and trios, and a few picture windows. The doors are wood, with the front south door being curved to match the curve in the portal. The south portal has a gable roof with a round arched opening. The southeast corner portal has a shed roof and stucco piers. The yard wall along the street is low stucco with a wood pedestrian gate, and the rear fencing is a 6'-0" high plank wood fence.

According to the 1997 HCPI, the structure has had few alterations since its construction in 1912. The roof was changed in 1920-1925. The diamond vents had glass installed behind them at an unknown time. The previous garage was connected to the main structure with an addition, which is understood to be the 1984 northeast addition under case H-84-343, though the file is no longer available for verification. However, it does show in the 1998 Sanborn map provided in the 2025 HCPI. The roof was approved to be replaced in 2024.

According to the 2025 HCPI, *"The original house was built sometime before 1908. An addition was constructed at the rear of the house (northeast side) sometime after 1908 and before 1913. A much larger addition was constructed on the west side of the house sometime after 1913 and before 1921. The new southwest corner of the house is constructed of adobe. A covered front porch was added at the southeast corner of the house. Another large addition was added to the back of the house, possibly an enclosed back porch with a lower roof. A separate garage was added to the west and access to a cellar on the east side of the house sometime after 1921 and before 1930. It is estimated that the double gable roof was added after 1930, and a small restroom addition was added at the top of the cellar stair on the northeast corner of the house."*

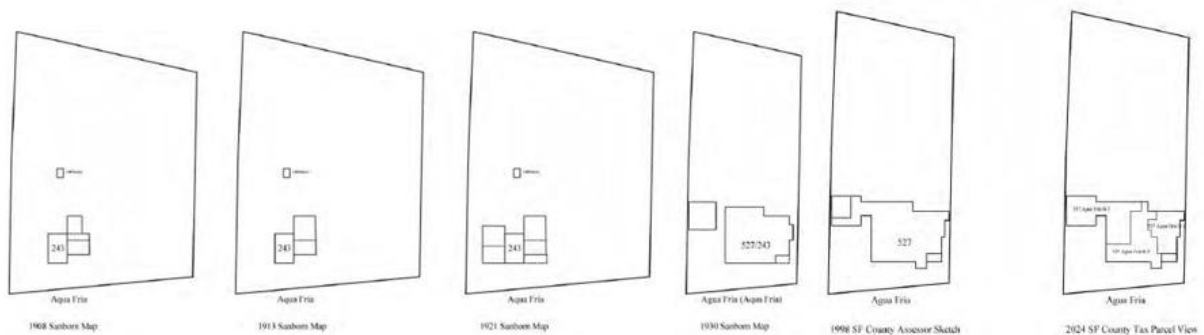


Figure 3: Sanborn Maps from the 2025 HCPI

While the HCPIs do not match, they do both conclude that the residence is listed in the Santa Fe Historic District State Register from September 29, 1972 (State Register #260) and to the National Register from July 23, 1973 (National Register # 73001150), and is a contributing structure to the Westside-Guadalupe Historic listing and the additions to the structure are all historic save the connection between the garage and residence. The maps do not provide proof of a flat or pitched roof, but if the roof began as a flat roof, it was historically altered to a pitched roof historically.

Mrs. C. W. Dudrow is listed as the owner of the property on the 1912 Kings Map. The 1985 HCPI shows the residence was purchased by A. C. Koch in 1912 from the Dudrow Estate. A. C. Koch or a Koch family member is listed as the owner of the property from 1928 through 1964. Mrs. Dorothea K Dunakin, a nurse, was associated with the property from 1944 through 1951. No further information on these residents is provided by the HCPIs.

Staff researched both C.W. Dudrow and A. C. Koch to determine their contributions to the city of Santa Fe. Charles W. Dudrow came to Santa Fe between 1869 and 1872 and was involved in the lumber, coal, and transfer business in Santa Fe. He was part-owner with his wife's father of the Dudrow and Bear Ice, Transfer, and Livery in 1881. The business was located near the train depot and Our Lady of Guadalupe Church and was part of the beginning of the development of the area. The Dudrow warehouse became the Santa Fe Builders Supply Company (Sanbuso) in 1916 and is now the New Mexico School for the Arts and Sciences. Dudrow is buried in Fairview Cemetery.

Staff found that Adolphe Christian Koch (died in 1939) resided in Santa Fe with his wife Alice Broche Koch (died in 1982 at 106 years old) and their son Ferdinand Adolph Koch. Both are buried in Fairview Cemetery. Ferdinand A Koch was a prominent figure in Santa Fe's history, active in the dry cleaning business, land sales, including the Santa Fe Ski Basin, and various civic associations. He is listed in the New Mexico Ski Hall of Fame for his negotiation of the deal for the Ski Basin. He died in 1982. Jamie Koch is the son of Ferdinand Koch and is a native of the City of Santa Fe. Jamie Koch served as finance chairman for Governors Bruce King and Bill Richardson, was State Chair of the Democratic Party, and is a former state representative.

These two families were important to the establishment of Santa Fe and still represent Santa Fe with their community efforts.

The residential building is currently a three-unit structure that is being converted to a main residence with a guest house. It currently has an interior-only construction permit for the conversion work that is in progress. The addressing from multi-family to single-family will be changed after the conversion is complete.

PREVIOUS CASE SUMMARIES:

ARC:

No Archaeological clearance has been issued for this property.

HDRB:

In case H-84-343, the residence was approved for the construction of an addition on the northeast side of the structure. There are no documents on file in the Historic Preservation Division.

ADMINISTRATIVE:

In case 2024-009160-ADMIN, the residence was approved for a reroof.

APPLICANT'S REQUEST:

The applicant requests:

1. Status review with primary façade designation, if applicable for the residence.

The 2025 HCPI recommends a contributing status, while the 1997 HCPI recommends a significant status for the residence. In 1997, the residence was found to be a listed property. However, in 2025, it no longer holds that listing. The provided HCPIs do not address the people who resided in the structure. Staff did short research on the residents of the structure and found that they are of importance to Santa Fe enough that section 14-12(A) “for its association with events or persons that are important on a local, regional, national, or global level” is met. Since the residence has not been altered since 1997, when it was on the register, staff believe that it could still be listed if the listing for the residence had been maintained. All the additions and alterations to the structure are historic outside of the small addition that connects the residence to the garage. Therefore, the staff disagrees with the contributing recommendation and finds that this structure meets the requirement to be listed as significant.

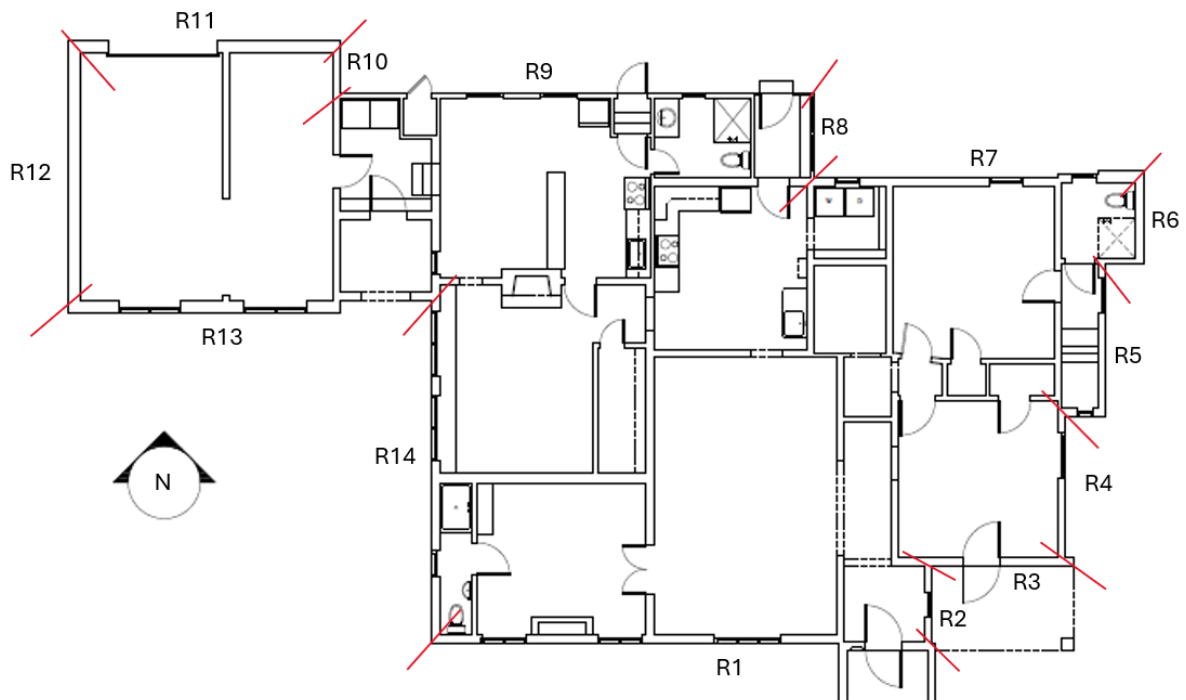


Figure 4: Façade Diagram

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture, and material between *buildings* of historic design and those of more modern design.

(C) Regulation of Significant and Contributing Structures in the Historic Districts

(Ord. No. 2004-26)

(1) Purpose and Intent

It is intended that:

- (a) Each *structure* is to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical *development*, such as the addition of conjectural features or architectural elements from other *buildings*, shall not be undertaken.
- (b) Changes to *structures* that have acquired historic *significance* in their own right shall be retained and preserved, recognizing that most *structures* change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a *structure* be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic *property* and its environment would be unimpaired.

(2) Designation of Significant, Contributing, or Noncontributing Status within Historic Districts

(a) Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing" based upon the definitions of these terms in Article 14-12. Staff shall maintain a record as to the current status of *structures* located in the Historic Districts.

(b) Board Authority to Review Status Designation

- (i) The Board is authorized to change the status of a *structure* or to designate a status for a *structure* with no status designated.
- (ii) A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period, or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national, or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older, that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old, or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

(D) General Design Standards for All H Districts

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.

(2) Additions

- (a) Additions shall have similar materials, architectural *treatments* and styles, features, and details as the existing *structure*, but shall not duplicate those of the existing *structure* in a manner that will make the addition indistinguishable from the existing *structure*.
- (b) Additions to *buildings* that meet the standards of Subsection 14-5.2(E) shall continue to meet those standards set forth in Subsection 14-5.2(E) in addition to the standards set forth in this section.
- (c) Additions are not permitted to *primary façades*.
- (d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of *structures* instead of attaching them to the significant or contributing portion.
- (e) The height of additions:
 - (i) For significant and *landmark structures* shall be a minimum of six (6) inches less than the parapet or equivalent roof-feature of the existing adjacent connecting facade.
 - (ii) For contributing *structures* shall be no more than one additional *story* higher than the existing *structure*. To the extent architecturally practicable, two-story additions shall be set to the rear or the side rear of the *structure*. When an additional *story* is to be placed upon an existing contributing *structure*, that footprint may be no greater than fifty percent of the footprint of the existing *structure*, subject to the provisions of Subsection A(1) above. For the purposes of this paragraph, an additional *story* shall not exceed twelve (12) feet from the existing rooftop to the highest point of that *story*.

(3) Remodeling to Increase Height; Rooftop Appurtenances

- (a) For *remodeling* of existing significant and *landmark structures*, no increase in height of the *structures* is permitted. (For standards relating to additions to existing *structures*, see paragraph (2) above.)
- (b) For significant and *landmark structures*, *publicly visible* rooftop appurtenances, including but not limited to solar collectors, clerestories, decks, or mechanical equipment, shall not be added, nor shall the parapet be raised to conceal the *rooftop appurtenances*. For contributing *buildings*, solar collectors, clerestories, decks, or mechanical equipment if *publicly visible* shall not be added.

(4) Porches and Portals

Existing *porches* or *portals* shall not be enclosed.

(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:
- (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing, and *landmark structures*, architectural features, finishes, and details other than doors and windows shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical, or pictorial evidence.

(6) Roofs

The existing roof styles and materials shall be maintained or replaced in kind if necessary. The addition of dormers or other roof features should only be considered when they are an existing or historical feature of the *structure*.

(8) Archaeological Resources

Discovery of archaeological resources made during the historic districts review process shall be referred to the archaeological review committee.

(9) Height, Pitch, Scale, Massing, and Floor Step backs

The height, pitch, *scale*, and massing of any *structure* in a historic district, as defined in this section, shall be limited as provided for in this section, unless further restricted within this chapter.

(a) Applicability

The following sections identify specific areas and specific *projects* subject to this section. Planning and land use department staff shall determine whether or not properties are included within this section. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

- F. When the proposed *building*, *yard wall*, or fence is located in a *streetscape* that includes no *buildings*, *yard walls*, or fences, the height of the proposed *building* shall not exceed sixteen (16) feet. *Yard walls* and fences in this *streetscape* shall not exceed five (5) feet in height.

(c) Height

- (ii) In exercising its authority under this section, the board shall limit the height of *structures* as set forth in this section. Heights of existing *structures* shall be as set forth on the official map of *building* heights in the historic districts.
- A. If a proposed *building* has a parapet, the façade shall not be in excess of two (2) feet of the average of the height of the façades in the *streetscape*.
 - B. If the proposed *building* has a pitched roof, the ridge height of the proposed *building* shall not be in excess of two (2) feet of the average of the ridge height of the pitched roofs in the *streetscape*.
 - C. *Yard walls* and fences shall be limited to a height that does not exceed the average of the height of other *yard walls* and fences in the *streetscape*.
 - D. Pursuant to Section 14-7.4(C), the height of any other *structure* shall be limited to the allowable *building* height within the applicable *streetscape*, as defined in this section. (Ord. No. 2002-37 § 26)
 - E. The height and dimension of signage are set forth in Section 14-8.10(H).
 - F. The board may increase the allowable height for proposed *buildings* and additions located on a sloping site where the difference in the natural *grade* along the *structure's* foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable *streetscape* measured from natural or finished *grade*, whichever is more restrictive. This increase in height shall be constructed only in the form of *building* step-backs from the *street*.

(d) Pitch

If the determined *streetscape* includes over fifty percent of *buildings* with pitched roofs, the proposed *building* may have a pitched roof. A pitched roof is defined as a gable, shed, or *hipped roof*. The pitch of the roof shall match the predominant pitch extant in the *streetscape*.

(e) Scale

The height of a proposed *building* or addition, its façade length, and its roof form and pitch shall appear to be in proportion to the height, façade length, and roof form and pitch of *buildings* in the applicable *streetscape*, or the *building* on which the addition is proposed.

(f) Massing and Floor Step backs

The Board may require that upper floor levels be stepped back, to carry out the intent of this section; provided that the board in making such determinations shall take into account whether the height of the proposed *building*, *yard wall*, fence, or proposed step back of upper floor levels is in harmony with the massing of the applicable *streetscape* and *preservation* of the historic and characteristic visual

qualities of the *streetscape*. The Board shall also require that the *publicly visible* façades of the *structure* be in conformance with Subsections 14-5.2(E) through (H), and in meeting those requirements, may require that different floor levels be stepped back.

(I) **Westside-Guadalupe Historic District**

(1) District Standards

Compliance with the following structural standards shall occur whenever those exterior features of *buildings* and other *structures* subject to public view from any public *street*, way, or other public place are erected, altered, or demolished:

- (a) Slump block, stucco, brick, or stone shall be used as exterior *wall* materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior *wall* materials;
- (b) The color of stuccoed *buildings* shall predominantly be in browns, tans, local earth tones, and soft pastels. Surfaces of stone or brick shall be in the natural color. Entryways, and *portales* or *porches* may be emphasized by the use of white or other colors. Painting of *buildings* with a color that causes arresting or spectacular effects, or with bold repetitive patterns, or using *buildings* as signs is prohibited. Murals, however, are permitted and may be referred to the *city* arts board for an advisory recommendation.
- (c) Roof form, *slope*, and shape. It is intended that *buildings* be designed to be "wall-dominated". "Wall-dominated" means that the *building's* geometry is more defined by *walls* than by roofs. *Buildings* with flat, gabled, shed, or *hipped roofs* can be designed as "wall-dominated" solutions and are allowed. The height of the roof above the *wall* shall be no greater than the height of the *wall*. Folded plate, hyperbolic, or mansard roofs are not allowed.
- (d) The use of solar and other energy-collecting and conserving strategies is encouraged. The use of large, glazed areas on south-facing *walls* for trombe *walls* or other solar collectors, direct gain, or other energy-collecting purposes is allowed. When in view from any public *street*, way, or other public place, solar equipment shall be screened as follows:
 - (i) raising the parapet;
 - (ii) setting back from the edge of the roof;
 - (iii) framing the collector with wood;
 - (iv) in the case of pitched roofs, by integrating the collector into the pitch;
 - (v) in the case of ground solar collectors, by a *wall* or vegetation;
 - (vi) in the case of *wall* collectors, by enclosing by end or other *walls*;
 - (vii) other means that screen the collector or integrate it into the overall *structure*.
Non-glare materials shall be used in solar collectors.

- (e) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the *screening* problems.
 - (f) *Walls* and fences shall be of brick, *adobe*, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block *walls* are allowed. *Walls* of unstuccoed concrete block, unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the *wall* or fence is not in the *street* frontage.
 - (g) *Greenhouses*
 - (h) Attached *greenhouses* that front on the *street* shall give the appearance of being integrated into the *structure* of the *building* or of being a substantive addition rather than having a lean-to effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding *greenhouses* that front on the *street* is prohibited. *Greenhouses* with slanting sides shall be bracketed at the ends, and that *greenhouses* made from enclosed *porches* or *portales* maintain the shape of the *porch* or *portal*.
 - (i) *Porches* and *portales* are encouraged;
 - (j) When parking spaces are required for commercial or multi-family *residential buildings*, they shall be placed to the rear or side of the building.
- (2) Walls; Fences; Solar Collectors; Administration

Applications for the erection, alteration, or demolition of *walls*, fences, and solar collectors and required submittals shall be reviewed by the planning and land use department. Approval, disapproval, or referral shall be indicated by the division on the *application* for the building *permit* and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)