



Building Design
P.O. Box 4

Permit Services
Ojo Caliente, NM 87549

Interior Consultation
505-919-9744

Construction Management
redc52@gmail.com

November 25, 2025

Paul Duran
Senior Planner
Historic Preservation Division
Planning & Land Use Department

RE: Historic Districts Review Board
Renovations, Additions & Alterations
219 – 219A Washington Avenue, Santa Fe, NM

Dear Paul,

On behalf of the Owner, who I am representing before the Historic Preservation Division, we request a review of the proposed renovations, additions and alterations to 219/219A Washington Avenue. The address is the New Tract B-2, “Lot Line Adjustment” of Tract B-2 and B-1A, recorded on December 23, 2016, in the records of Santa Fe County attached to this application.

My client at this time proposes improvements for the property designated as a contributing structure at 219 Washington Avenue in the Downtown and Eastside Historic District.

The proposed improvements include:

Building 219 Renovations were previously approved **Case No. 2024-007814-HDRB**

- a. North Façade includes the introduction of (4) new windows (wood divided lite) to provide additional natural light and a second means of egress, in the event of fire, required for the proposed sleeping rooms. **Exception approved Case No. 2024-007814-HDRB**
- b. West Façade includes the removal of an existing door and the introduction of a new entrance door in the enlarged existing opening. **Exception approved Case No. 2024-007814-HDRB**
- c. South Façade includes the removal of an existing door and the introduction of a new entrance door in the enlarged existing opening. Introduction of a new window to provide additional natural light to the proposed sleeping room. **Exception approved Case No. 2024-007814-HDRB**
- d. East Façade includes removal of the existing north door and introduction of a new entrance door in the enlarged existing opening. Introduction of a new window in a previous center door opening to provide additional natural light to the proposed sleeping room. The existing opening will be reduced in size. Introduction of a new window in the existing south opening to provide additional natural light to the proposed bathroom. **Exception approved Case No. 2024-007814-HDRB**

PROPOSED NEW CASE HDRB Renovations (219) – Additions (219) – New Building – 219A

1. Construct a proposed two-story rear addition (219), to the East rear façade of Existing building 219. The addition will be designated for:
 - o Unit 4 Bathroom – **123 SF** The existing rear one-story Storage area (100 SF) will be demolished, and construct a new Bathroom for Unit 4 that complies with the setback requirement of 5’ from Property line.
 - o Construct a new Portal – **94 SF**, connecting the new addition to the existing 219 building. The Portal will provide egress for Unit 2.

- Construct a new two-story addition that will provide Unit 4 (**334 SF**) on the first floor and access to basement will be provided by a covered exterior stairway below (**89 SF**).
Unit 5 (**272 SF**) on the second floor. Access to Unit 5 on the second floor will be provided by a covered exterior stairway (**89 SF**) to a roof deck (**54 SF**) on the second floor above.

TOTAL = 640 SF

2. Construct a new two-story building (219A) will provide Units 6 (**312.5 SF**) & 7 (**312.5 SF**) on the first floor and Unit 8 (**484 SF**) on the second floor with access provided by a covered exterior stairway (**93 SF**) to a roof deck (**141 SF**).
 - Access to Basement will be provided by a covered exterior stairway below. The style will match the existing 215 building style of a hip roof, stucco and foundation stone, stone sills and wood posts where necessary.
 - Portal (west side) – **40 SF**
 - Portal (south side) – **105 SF**

TOTAL = 1004 SF

3. No work is proposed for Building 215 Washington Ave. The renovation for this building was previously approved on October 22, 2019, Case no. 2019-000994-HDRB.

The allowable by Code is not to exceed 50% of the existing footprint (897 SF +100 SF) or 498.5 SF.

**Exception required for the additional square footage 640 - 499 = 141 SF
Section 14-5.2(D)(2)(d) of the Santa Fe Land Development Code.**

For such an exception we must conclusively demonstrate, and the board shall make a positive finding of the fact that such exceptions comply with all the criteria listed as follows:

- (i) Does not damage the character of the District or impact the contributing status of the structures.
The new construction proposed is located in the rear of the property and the new territorial coping on the 219 Addition will blend in with the street on adjacent properties.
- (ii) Are required to prevent a hardship to the Owner or an injury to the public welfare.
The construction of the addition on 219 (Units 4,5) and the new building (Units 6,7,8) are requested for 219 Wahington Avenue for the development of individual mini-hotel units to meet the access, daylighting requirements and layout of the units interiors.
- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
**The new construction proposed will blend with the existing 219 and 215 structures.
Windows and doors will match the existing historic building 215
Portal design will match the existing 215 building
Exterior stairs will match existing stairs on 215 building with white metal as specified.**

Height, Pitch, Scale, Massing, and Floor Stepbacks

The allowable height by Historic Regulations is not to exceed 20'-1".

The proposed height for the addition to the existing 219 building will be 19'-8"

The proposed height for the new building (219A - Units 6,7,8,) is 23'-0". **Exception required.**

Exceeds height requirement by 2'-11"

The board may grant exceptions and impose conditions thereon to Subsection 14-5.2(D)(9) for height of structures within the historic districts as specified in Subsection 14-5.2(D)(9)(a). In order to approve an exception, the board shall make findings of fact that the applicant conclusively demonstrated that requested exceptions comply with all the criteria listed as follows: (Ord. No. 2023-27 § 1)

Exception Criteria for Height: 14-5.2(D)(9) height.

(i) Does not damage the character of the streetscape ;

The original structure at 219 Washington Ave. served as a garage. It was renovated and became office space. The existing building (219) and the new design addition (219A) will not impact the contributing status or the west primary street-facing façade. The location of this structure (219A) is in the rear between the parking lot and the front 219 building. The additional square footage if necessary for the remodeling of the structure from professional office space to hotel space.

(ii) Prevent a hardship to the applicant or an injury to the public welfare;

The existing 219 Building Being renovated for three (3) addition units. There will be no injury to the public welfare as all ADA and construction code requirements will be met. The new 219 Addition - two-story building on the rear of property behind the East side of 219 will have a territorial coping introduced to reflect that existing detail in surrounding buildings and will retain the character of the Downtown & Eastside District and is only visible from the streetscape on the north side in the open space and prevents any additional detriment to the streetscape.

(iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts;

The style of the Sotheby's building on the north side will be in concert with the new 219 Addition with proposed territorial coping at the top and the new proposed structure 219A will mimic the style of 215 Washington Ave., with a hip roof, stone sills, white stucco, under portals, wood supports for portals and block finish on exterior front walls 24" A.F.F.

(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape ;

Special conditions and circumstances are the 8'-6" ceiling heights in 219A, which allow more volume in the units and balance the smaller room size with a higher ceiling. Also, the Planning & Zoning requirements allow a height of 24'-6". Historic requirements allow a building height of 20'-1. 219A height is proposed at 23'-0".

(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant ; and

Special conditions and circumstances balancing the heights of the existing buildings on the streetscape with the proposed building is a result of the existing building heights. The proposed height of 19'-8" at (219 addition) is 5" lower than the maximum allowed height (20'-1") and respectively, is 6' shorter than the adjacent two-story building at 215 Washington Ave.

(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).

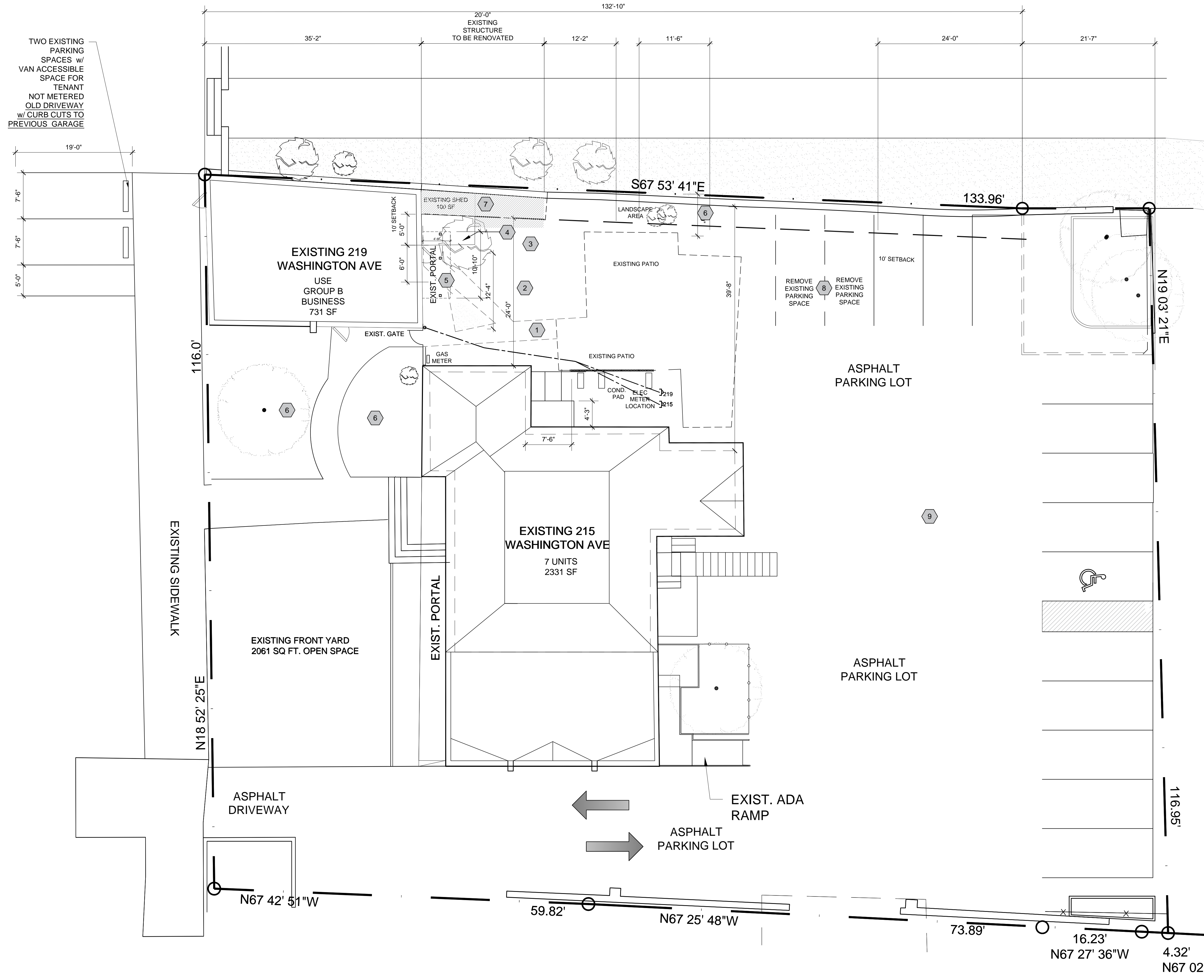
Keeping the heights of the existing 219 w/additions to a 19'-8" height meets the maximum allowed of 20'1. Keeping the style of 219A in concert with building 215 will have the least negative impact on the streetscape, as the building will be located in the rear of the property. The proposed design and heights of (219) (19'-8") and (219A) (23'-0") will not detract from what is currently established on the Washington Ave. streetscape. The variation of heights rise as they extend eastward from Washington Ave. and do not overwhelm the Washington Ave. streetscape.

It is our desire to have the Historic Districts Review Board (HDRB) determine the submission meets the standards of the district.

Thank you for your consideration of our request and please let me know if you require any further information.

Sincerely,

Robert D. Evans
Designer/Owner agent



EXISTING SITE PLAN SHEET KEYED NOTES

- GENERAL:
- EXISTING CONCRETE WALK TO BE REMOVED
 - EXISTING PATIO
 - EXISTING LANDSCAPE AREA
 - EXISTING TREE TO BE REMOVED
 - EXISTING PORTAL & WOOD COLUMNS TO BE REMOVED
 - LANDSCAPE PROVIDED WITH 2020 RENOVATION OF 215 WASHINGTON AVE PERMIT #20-5596
 - EXISTING SHED (6'-0" x 20'-0") TO BE REBUILT ON EXISTING FOOTPRINT
 - REMOVE 2 EXISTING PARKING SPACES FOR BUILDING AREA
 - 13 EXISTING PARKING SPACES

LEGEND

- EXISTING GRAVEL DRIVE
- EXISTING STRUCTURES TO REMAIN
- EXISTING EASEMENT

AREA CALCULATIONS

	EXISTING	PROPOSED
EXISTING		
BUILDING (219) HEATED:	897.00 SF	
UNITS 1, 2, 3		
REAR SHED NOT HEATED:	100.00 SF	
	997.00 SF	
EXISTING BUILDING (215) HEATED:	3762.00 SF	
EXISTING BASEMENT (215):	349.00 SF	
LAUNDRY & MECHANICAL (219)	100.00 SF	
EXISTING LOT COVERAGE TOTAL:	5208.00 SF	
LOT PARCEL AREA:	17,940.00 SF	
	.412 AC. +/-	
LOT COVERAGE:	17.6%	
ALLOWABLE LOT COVERAGE:	NO REQUIREMENT	
MAXIMUM HGT OF STRUCTURES: 27' MAX. WITH STEPBACKS		
CHANGE IN EXISTING BUILDING HEIGHT: UNIT 5, EXISTING: 12'-4" PROPOSED 2ND FLR: 21'-0"		
ZONING DISTRICT: BCDMAR		
HDR DISTRICT: DOWNTOWN & EAST SIDE HISTORIC DISTRICT		
BUSINESS CAPITOL DISTRICT		
EAST MARCY SUB DISTRICT		
HDRB ACTION ON OCTOBER 22, 2019		
CASE # 2019-000594-HDRB		
215 WASHINGTON AVE.		
DESIGNATED WEST, NORTH & EAST FACADES AS PRIMARY.		
219 WASHINGTON AVE. WAS UPGRADED FROM NON-CONTRIBUTING TO CONTRIBUTING AND DESIGNATED THE WESTERN STREET-FACING FACADE AS PRIMARY.		
PARKING: 14-8.6(C)(2)		
1 PARKING SPACE PER RENTAL UNIT FOR HOTELS & MOTELS IN BCD		
REQUIRED PARKING SPACES:		
215 (7 UNITS)		
219 (4 UNITS) LEASED TO MARKET STEER)		
PARKING SPACE PROVIDED:		
EXIST: 16 PARKING SPACES & 1 VAN HANDICAPPED SPACE		
BICYCLE SPACES: 4 EXISTING		
MINIMUM OPEN SPACE: 10% OF LOT AREA: 1,794 SQ FT		
EXISTING FRONT OPEN SPACE:	2,061 SQ FT	
CHANGE OF USE		
EXISTING USE GROUP: B, BUSINESS		
USE GROUP: R-1 RESIDENTIAL, SLEEPING UNITS WITH PRIMARILY TRANSIENT OCCUPANTS		

RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

TITLE:
EXISTING
SITE PLAN

P.O. Box 4
 Ojo Caliente, N.M. 87579
 505.919.9744 phone
 redc52@gmail.com

DESIGN SERVICES
 Production Documents
 Residential - Commercial

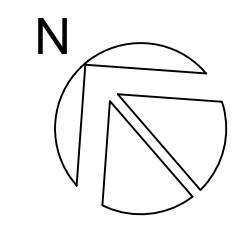
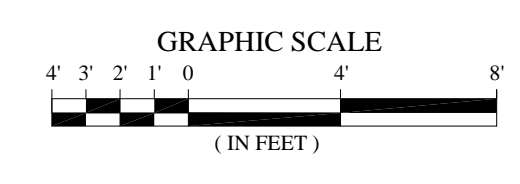
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 L&R DESIGN SERVICES, 2025

HDRB SUBMITTAL SET

Date: 11.10.2025
 revised:

SP-1

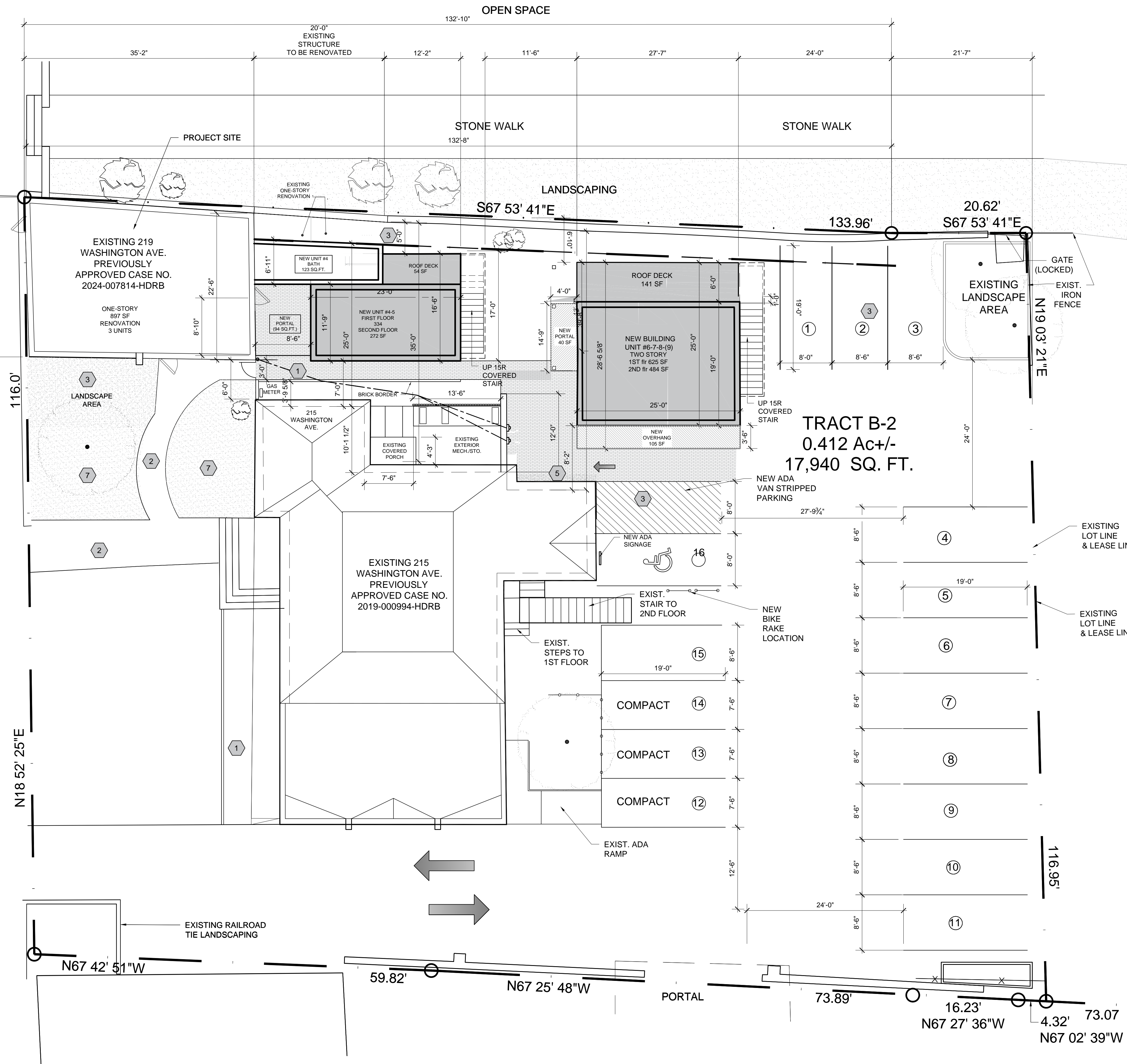
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EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"

WASHINGTON AVENUE



PROPOSED SITE PLAN SHEET KEYED NOTES

- GENERAL:
1. INSTALL NEW 3'-0" CONCRETE WALK
 2. EXISTING BRICK WALK
 3. EXISTING LANDSCAPE AREA TO REMAIN
 4. NEW ADA PARKING SPACE VAN ACCESSIBLE
 5. EXISTING BICYCLE RACK (6)
 6. IDENTIFY PARKING SPACES (2) #17, #18 NEW PRIVATE PARKING SIGNAGE
 7. LANDSCAPE PLAN - APPROVED WITH 215 WASHINGTON AVE RENOVATION PERMIT #2020-5596

LEGEND

- EXISTING GRAVEL DRIVE
- EXISTING STRUCTURES TO REMAIN
- EXISTING EASEMENT

AREA CALCULATIONS

	EXISTING	PROPOSED
EXISTING		
BUILDING (219) HEATED:	897.00 SF	
UNITS 1, 2, 3	100.00 SF	
REAR SHED NOT HEATED:	997.00 SF	
EXISTING BUILDING (215) HEATED:	3762.00 SF	
EXISTING BASEMENT (215):		349.00 SF
EXISTING LOT COVERAGE TOTAL:	4759.00 SF	
PROPOSED		
UNIT 4 BASEMENT		334.00 SF
UNIT 4 BATH		123.00 SF
UNIT 4 FIRST FLOOR		334.00 SF
UNIT 4 PORCH		94.00 SF
UNIT 5 SECOND FLOOR		272.00 SF
UNIT 5 COVERED EXTERIOR STAIRWAY		77.00 SF
UNIT 5 ROOF DECK		141.00 SF
UNIT 6 FIRST FLOOR		312.50 SF
UNIT 6 PORTALS		105.00 SF
UNIT 6 BASEMENT		625.00 SF
UNIT 8 SECOND FLOOR		484.00 SF
UNIT 8 ROOF DECK		141.00 SF
TOTAL PROPOSED UNITS 4-6 ROOFED AREA:		684.00 SF
TOTAL PROPOSED UNITS 6, 7, 8:		863.00 SF
TOTAL EXISTING 219 ROOFED AREA:		997.00 SF
TOTAL EXISTING 215 ROOFED AREA:		3901.00 SF
TOTAL EXISTING & PROPOSED ROOFED AREA:		897.00 SF
ROOF COVERAGE - EXIST. 219 (UNITS 1, 2, 3):		100.00 SF
ROOF COVERAGE - EXIST. 219 (REAR SHED):		100.00 SF
ROOF COVERAGE - 219 (UNIT 4, 5):		640.00 SF
ROOF DECK 2ND - 219 (UNIT 4, 5):	54.00 SF	722.00 SF
ROOF COVERAGE - 219A (UNIT 6, 7, 8):		141.00 SF
ROOF DECK 2ND - 219A (UNIT 6, 7, 8):	141.00 SF	145.00 SF
ROOF PORTAL - 219A (UNIT 6, 7, 8):		1507.00 SF
TOTAL ROOFED AREA:	3901.00 SF	6405.00 SF
LOT PARCEL AREA:	17,940.00 SF .412 AC +/-	17,940.00 SF .412 AC +/-
LOT COVERAGE:	27.3%	36.0%
ALLOWABLE LOT COVERAGE:		NO REQUIREMENT
MAXIMUM HGT OF STRUCTURES: 20'-1" MAX. WITH STEPBACKS		
CHANGE IN PROPOSED BUILDING HEIGHT		
UNIT 1, 2, 3 EXISTING: 10'-4" TO 12'-4"		
UNIT 4, 5 PROPOSED HEIGHT: 19'-8" PROPOSED COPING: 14"		
UNIT 6, 7, 8 PROPOSED HEIGHT: 20'-0" HIP ROOF TO MATCH BLDG. 215		
ZONING DISTRICT: BCDMAR		
HDR DISTRICT: DOWNTOWN & EAST SIDE HISTORIC DISTRICT		
BUSINESS CAPITOL DISTRICT		
EAST MARCY SUB DISTRICT		
HDRB ACTION ON OCTOBER 22, 2019		
215 WASHINGTON AVE		
CASE #2019-000994-HDRB		
DESIGNATED WEST, NORTH & EAST FACADES AS PRIMARY		
219 WASHINGTON AVE. WAS UPGRADED FROM NON-CONTRIBUTING TO CONTRIBUTING AND DESIGNATED THE WESTERN STREET-FACING FACADE AS PRIMARY.		
HDRB ACTION ON 2024		
219 WASHINGTON AVE.		
CASE #2024-007814-HDRB		
PARKING: 14-8.6(C)(2)		
1 PARKING SPACE PER RENTAL UNIT FOR HOTELS & MOTELS IN BCD		
REQUIRED PARKING SPACES:		
215 (7 UNITS)		
219 (8 UNITS)		
213 (4 UNITS LEASED TO MARKET STEER)		
PARKING SPACE PROVIDED:		
EXIST: 16 PARKING SPACES & 1 VAN HANDICAPPED SPACE		
NEW TOTAL: 18 PARKING SPACES + 2 SPACES OFF SITE (SEE NEW PARKING AGREEMENT)		
BICYCLE RACKS: 6 SPACES		
MINIMUM OPEN SPACE: 10% OF LOT AREA: 1,794 SQ FT		
EXISTING FRONT OPEN SPACE: 2,061 SQ FT		
USE GROUP: R-1 RESIDENTIAL, SLEEPING UNITS WITH PRIMARILY TRANSIENT OCCUPANTS		
BUILDINGS REQUIRED TO BE FULLY SPRINKLERED		

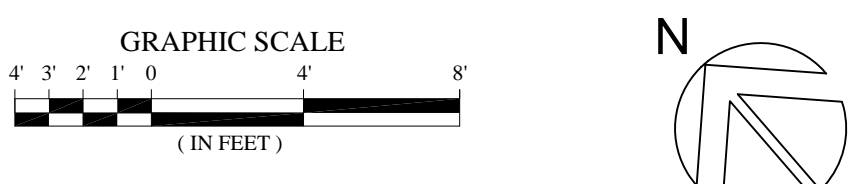
RENOVATIONS & ADDITIONS
 MINI-HOTEL for:
 DENNIS PRICE
 219 WASHINGTON AVE.
 SANTA FE, NM

TITLE:
 PROPOSED
 SITE PLAN

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DESIGN SERVICES
 Production Documents
 Residential - Commercial

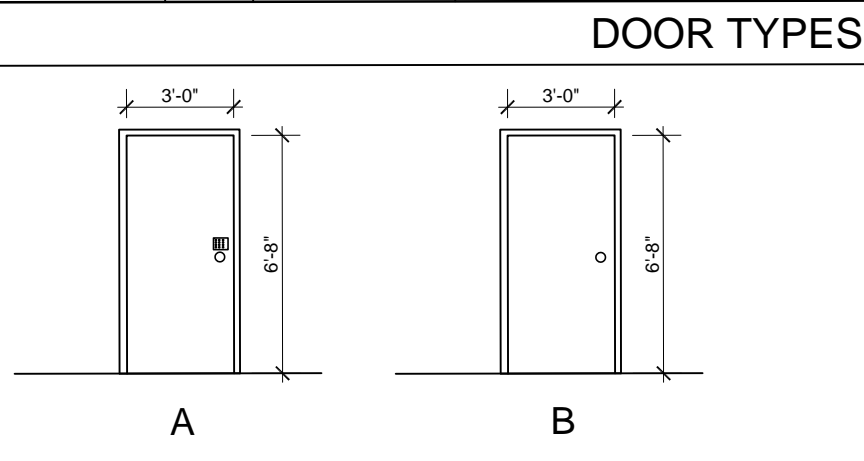
Date: 11.10.2025
 revised:
 Sheet: SP-2



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

DOOR SCHEDULE							
FLOOR PLAN							
NO.	SIZE (NOM)	THK	FRAME TYPE	ROUGH OPENING	DR TYP	JAMB WIDTH	HARDWARE
1	3'-0" x 6'-8"	1-3/4"	METAL	39" x 82 1/2"	A	7 1/4"	CUSTOM ENTRY SET W/ KEYPAD
2	3'-0" x 6'-8"	1-3/4"	METAL	33" x 82 1/2"	B	4 1/2"	CUSTOM PRIVACY SET
3	3'-0" x 6'-8"	1-3/4"	METAL	33" x 82 1/2"	B	4 1/2"	CUSTOM PASSAGE
4	3'-0" x 6'-8"	1-3/4"	METAL	39" x 82 1/2"	A	7 1/4"	CUSTOM ENTRY SET W/ KEYPAD
5	3'-0" x 6'-8"	1-3/4"	METAL	33" x 82 1/2"	B	4 1/2"	CUSTOM PRIVACY SET
6	3'-0" x 6'-8"	1-3/4"	METAL	39" x 82 1/2"	A	7 1/4"	CUSTOM PASSAGE



- PROP. BASEMENT PLAN SHT KEYED NOTES**
- GENERAL:
- 10' REINFORCED CMU FOUNDATION WALL w/18" x 12" CONCRETE FOOTING
 - 8" REINFORCED CMU FOUNDATION WALL w/18" x 12" CONCRETE FOOTING
 - FLOOR BEAM ABOVE TO CARRY FIRST FLOOR FRAMING, SEE STRUCTURAL
 - 3 1/2" ADJ. STEEL COLUMN ON 24" x 24" x 12" CONCRETE FOOTING
 - 2" x 6" WALL STUDS @ 16" O.C. w/5/8" TYPE 'X' FIRECODE GYP. BOARD
 - ELECTRIC PANEL, SEE ELECTRICAL
 - ON-DEMAND HOT WATER HEATER, SEE PLUMBING
 - 4" TURN DOWN CONCRETE SLAB - SEE STRUCTURAL FOR REINFORCING

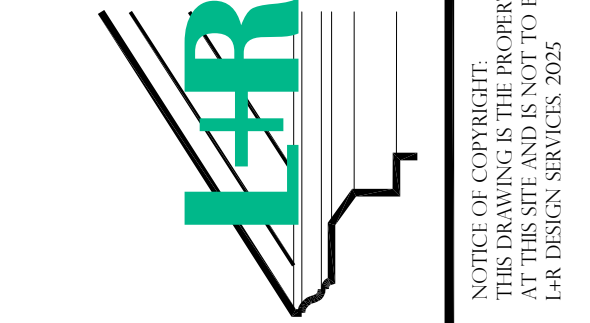
- LEGEND**
- EXISTING WALLS TO REMAIN
 - NEW 10" CMU REINFORCED FOUNDATION WALL
 - NEW 8" REINFORCED FOUNDATION WALL
 - NEW 2" x 6" WALLS STUDS @ 16" O.C. w/5/8" "TYPE X" F.C. GYP. BOARD

RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

TITLE:
PROPOSED FOUNDATION
BASEMENT PLAN

P.O.Box 4
 Ojo Caliente, N.M. 87579
 505.919.9744 phone
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DESIGN SERVICES
 Production Documents
 Residential - Commercial

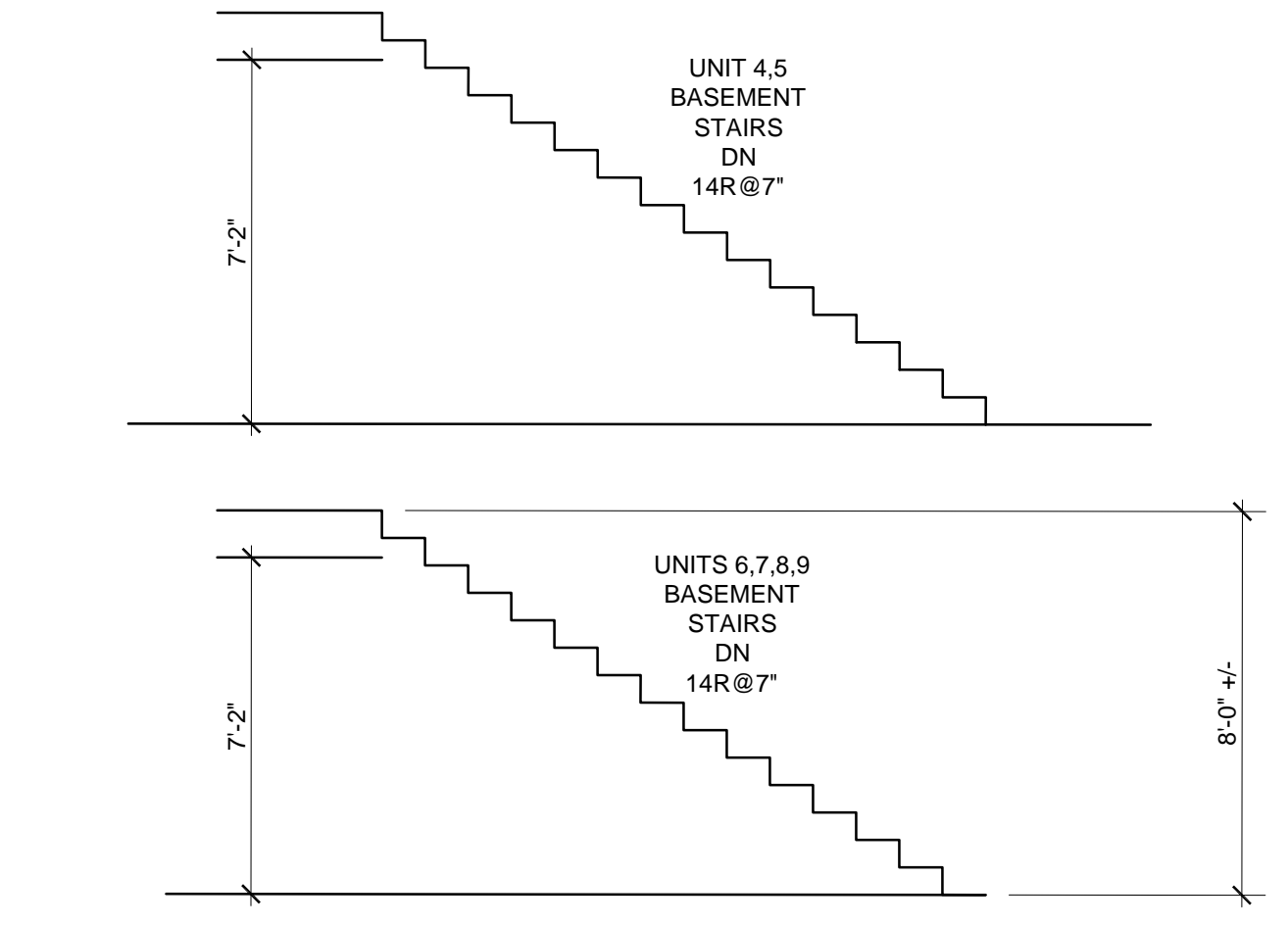
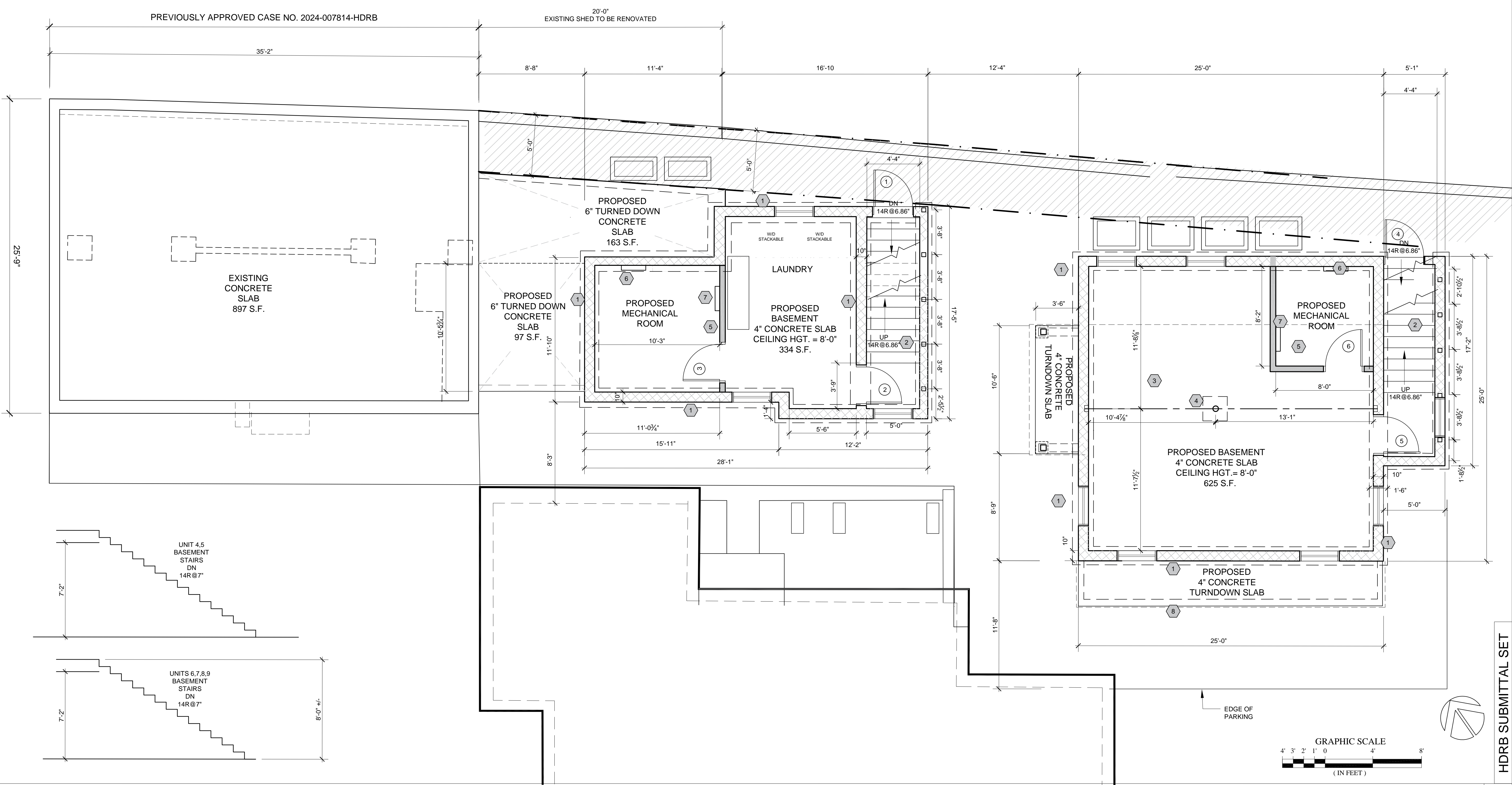


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Date: 12.03.2025
 revised:

FP-B

Sheet:



PREVIOUSLY APPROVED CASE NO. 2024-007814-HDRB

20'-0" EXISTING SHED TO BE RENOVATED

PROPOSED FOUNDATION/BASEMENT PLAN

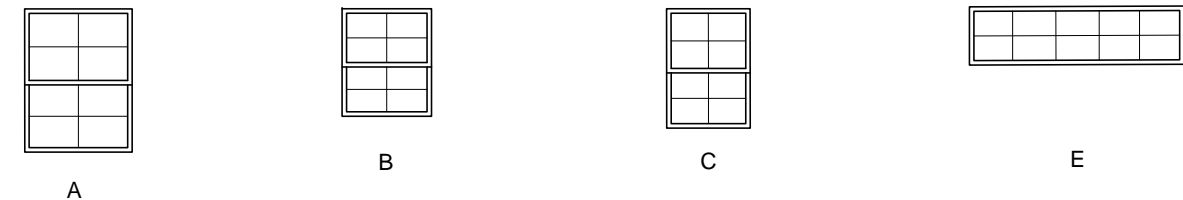
SCALE: 1/4" = 1'-0"

HDRB SUBMITTAL SET

WINDOW SCHEDULE							
NO.	MANUFACTURER	FRAME SIZE	R.O. SIZE	JAMB WIDTH	TYPE	QTY.	REMARKS
A	BY OWNER	3'-0" x 4'-6"	39" x 54"	V.I.F.	DH	4	UNIT 01 & 02
B	BY OWNER	2'-6" x 3'-0"	33" x 39" - V.I.F.	V.I.F.	DH	1	UNIT 02 - KITCHENETTE
C	BY OWNER	3'-0" x 4'-0"	31" x 43"	V.I.F.	DH	2	UNIT 02 / UNIT 03 - BATH
D	BY OWNER	3'-0" x 3'-6"	39" x 45"	V.I.F.	DH	2	UNIT 06 / UNIT 07
E	BY OWNER	4'-0" x 1'-6"	51" x 21"	V.I.F.	FIXED	2	UNIT 06 / UNIT 07
F	BY OWNER	3'-0" x 3'-6"	39" x 45"	V.I.F.	DH	2	UNIT 06 / UNIT 07 / UNIT 8 / UNIT 9
G	BY OWNER	4'-0" x 3'-0"	51" x 37"	V.I.F.	DH	1	UNIT 04 - BATH

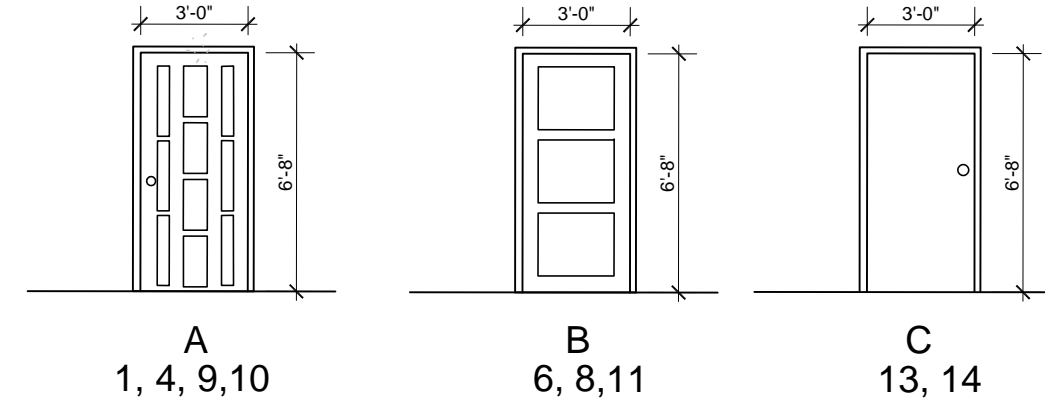
- NOTE:
ALL WINDOWS:
1. VERIFY R. O. IN FIELD & CHECK MANUFACTURER FOR ROUGH OPENING REQUIREMENTS
2. CONTRACTOR MAY SUBSTITUTE WINDOW MANUFACTURER W/ APPROVAL BY THE OWNER.
3. VINYL CLAD EXTERIOR (COLOR: BY OWNER); INTERIOR WOOD PAINTED (COLOR: SELECTED BY OWNER)

WINDOW TYPES



DOOR SCHEDULE										
FLOOR PLAN										
NO.	SIZE (NOM)	THK	FRAME TYPE	ROUGH OPENING	DR. TYP.	JAMB WIDTH	MFG.	HARDWARE	LOCATION	
1	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 1 - ENTRY	
2	2'-8" x 6'-8"	1-3/4"	SOLID WOOD	36" x 82 1/2"	B	4 1/2"	CUSTOM	PRIVACY SET	UNIT 1 - BATH	
3	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM	PASSAGE	UNIT 3 - BATH	
4	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 3 - ENTRY	
5	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM	PRIVACY SET	UNIT 2 - BATH	
6	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	PASSAGE	UNIT 2 - ENTRY	
7	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	LAUNDRY - ENTRY	
8	2'-8" x 6'-8"	1-3/4"	SOLID WOOD	36" x 82 1/2"	B	4 1/2"	CUSTOM	PRIVACY SET	UNIT 4 - BATH	
9	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 4 - ENTRY	
10	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 6 - ENTRY	
11	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 7 - ENTRY	
12	3'-0" x 6'-8"	1-3/4"	STEEL INSULATED	39" x 82 1/2"	C	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	BASEMENT - ENTRY	

DOOR TYPES



PROPOSED PLAN SHEET KEYED NOTES

- GENERAL:
- INSTALL NEW 2" x 6" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
 - INSTALL NEW 2" x 4" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
 - WIDEN DOOR FRAME OPENING TO ACCOMMODATE NEW 3'-0" x 6'-8" DOOR & FRAME, PATCH, SAND & PAINT, COLOR BY OWNER
 - INSTALL NEW WINDOWS & FRAMES, PATCH, SAND & PAINT, COLOR BY OWNER
 - REPAIR EXISTING WINDOW PANES AS NECESSARY, PATCH, SAND & PAINT
 - BLOCK PANE IN FRONT OF NEW WALL
 -
 - INFILL OPENING
 - EXISTING SKYLITE TO REMAIN
 - VENTLESS GAS LOGS
 - EXTERIOR WHITE METAL STAIRS & LANDING AT TOP w/ COVERED ROOF

LEGEND

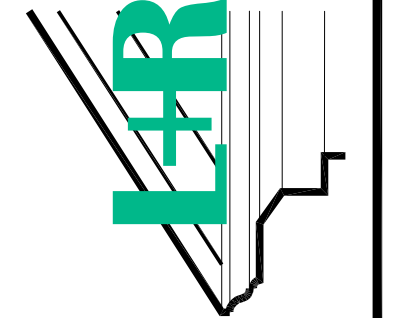
- NEW 2" x 6" WALLS STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
- EXISTING WALLS TO REMAIN
- ONE HOUR EXTERIOR WALL RATING - UL 305 OPENINGS <25%

RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

TITLE:
PROPOSED
FIRST
FLOOR
PLAN
SCHEDULES

P.O. Box 4
Ojo Caliente, N.M. 87579
505.919.9744 phone
redc52@gmail.com

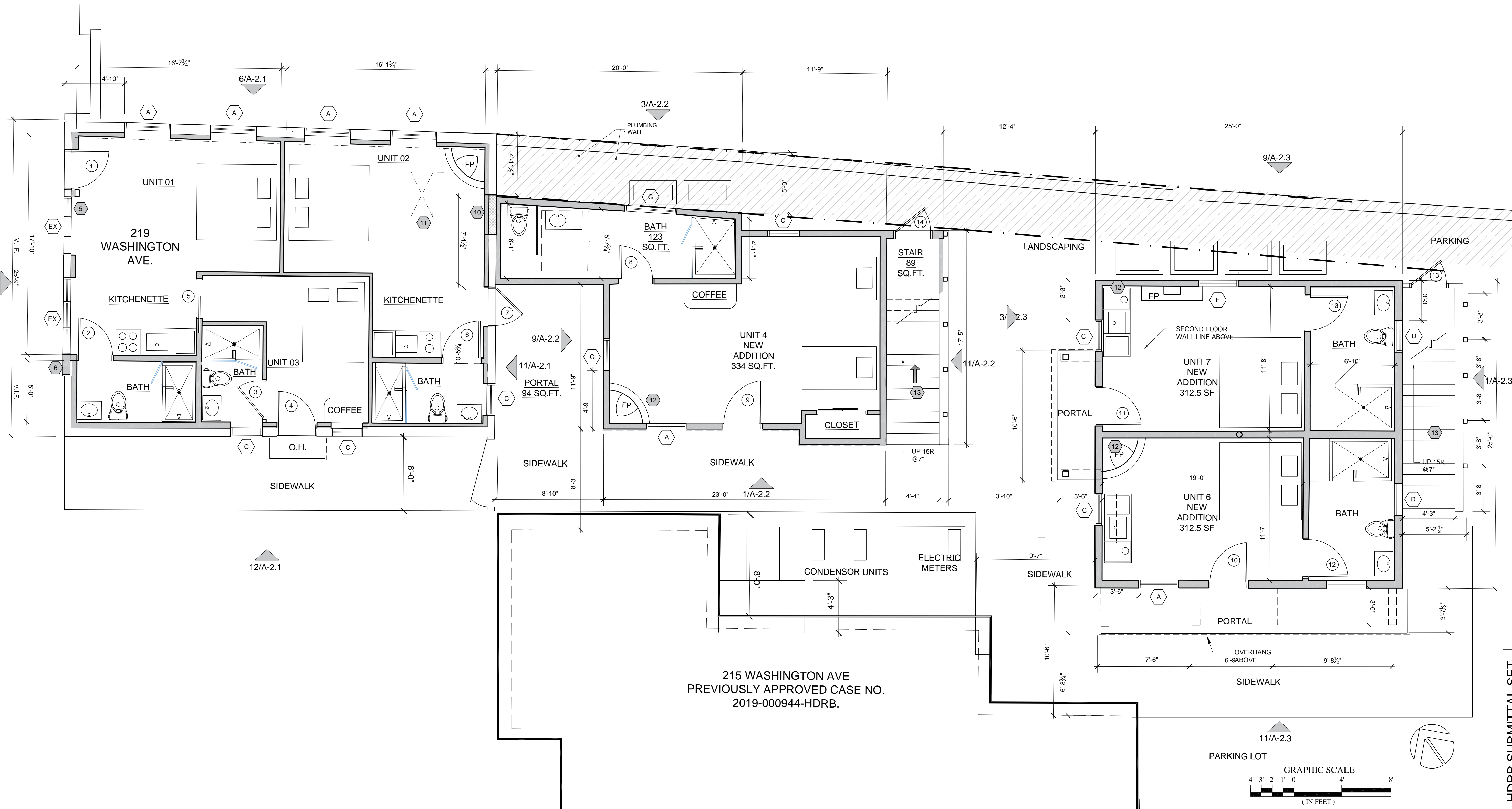
DESIGN SERVICES
Production Documents
Residential - Commercial



Date: 12.03.2025
revised:

FP-1

Sheet:



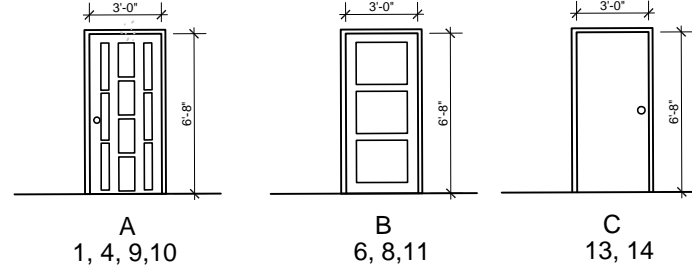
PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

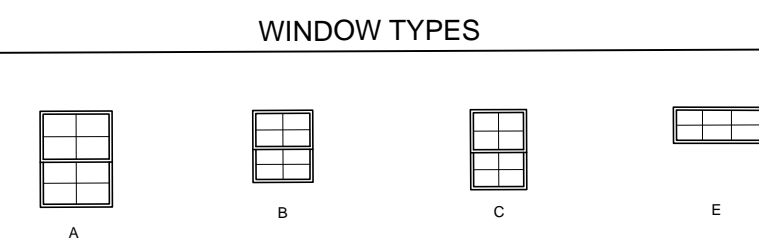
HDRB SUBMITTAL SET

DOOR & WINDOW SCHEDULES

DOOR SCHEDULE									
FLOOR PLAN	SIZE (INCH)	THK	FRAME TYPE	ROUGH OPENING DR TOP HEIGHT	JAMB	MFG.	HARDWARE	LOCATION	REMARKS
1	3'-0" x 6'-0"	1-3/4"	SOLID WOOD	3'0" x 6'2" 1/2"	A	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 1 - ENTRY
2	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	3'0" x 6'2" 1/2"	B	4-1/2"	CUSTOM	PRIVACY SET	UNIT 1 - BATH
3	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	3'0" x 6'2" 1/2"	B	4-1/2"	CUSTOM	PASSAGE	UNIT 3 - BATH
4	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	3'0" x 6'2" 1/2"	A	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 3 - ENTRY
5	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	3'0" x 6'2" 1/2"	B	4-1/2"	CUSTOM	PRIVACY SET	UNIT 2 - BATH
6	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	3'0" x 6'2" 1/2"	A	7-1/4"	CUSTOM	PASSAGE	UNIT 2 - ENTRY
7	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	3'0" x 6'2" 1/2"	A	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 4 - ENTRY
8	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	3'0" x 6'2" 1/2"	A	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 4 - BATH
9	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	3'0" x 6'2" 1/2"	A	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 4 - ENTRY
10	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	3'0" x 6'2" 1/2"	A	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 5 - ENTRY
11	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	3'0" x 6'2" 1/2"	A	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 7 - ENTRY
12	2'-0" x 6'-0"	1-3/4"	STEEL INSULATED	3'0" x 6'2" 1/2"	C	7-1/4"	CUSTOM	ENTRY SET W/ KEYPAD	BASEMENT - ENTRY



WINDOW SCHEDULE						
MANUFACTURER	FRAME SIZE	R.O. SIZE	JAMB WIDTH	TYPE	QTY.	REMARKS
BY OWNER	2'-0" x 4'-0"	3'0" x 5'-0"	V.I.F.	DN	4	UNIT 01 & 02
BY OWNER	2'-0" x 2'-0"	2'0" x 2'0" V.I.F.	V.I.F.	DN	1	UNIT 01 - ATTIC/VENT
BY OWNER	2'-0" x 4'-0"	3'1" x 4'-0"	V.I.F.	DN	2	UNIT 02 / UNIT 03 - BATH
BY OWNER	2'-0" x 2'-0"	3'0" x 4'-0"	V.I.F.	DN	2	UNIT 06 / UNIT 07
BY OWNER	4'-0" x 1'-0"	5'1" x 2'1"	V.I.F.	FIXED	2	UNIT 06 / UNIT 07
BY OWNER	2'-0" x 2'-0"	3'0" x 4'-0"	V.I.F.	DN	2	UNIT 06 / UNIT 07 / UNIT 08



PROPOSED PLAN SHEET KEYED NOTES

- GENERAL:
- INSTALL NEW 2" x 6" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
 - INSTALL NEW 2" x 4" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
 - INSTALL NEW WINDOWS & FRAMES, PATCH, SAND & PAINT, COLOR BY OWNER
 - NEW 2'-4" OVERHANG
 - EXTERIOR EXIT METAL STAIRWAYS TO SECOND FLOOR TO MATCH 215 AND BE PROTECTED FROM WEATHER
 - FACTORY WINDOW WALL - W/36" DOOR
 - NEW ELECTRIC PANEL LOCATION
 - STUCCO WALL INDENT - MATCH BLDG. 215
 - INSTALL NEW 3/4" T.&G. PLYWOOD DECK ON EXISTING FLOOR OF SHED
 - EXISTING SKYLITE TO REMAIN
 - REPLACE MISSING GLASS PANES - FRONT WINDOW
 - BRICK BORDER AROUND NEW PLANTING AREAS
 - VENTLESS GAS LOGS

LEGEND

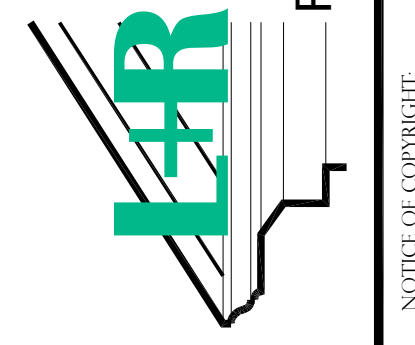
- PROPOSED WALLS
NEW 2" x 6" WALLS STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
- EXISTING WALLS TO REMAIN
- EXISTING RAISED FLOOR TO BE REMOVED
- ONE HOUR RATED EXTERIOR WALL - UL 305
OPENINGS < 25% IBC TABLE 705.5 FIRE RESISTANCE RATING

RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

TITLE:
PROPOSED SECOND FLOOR PLAN SCHEDULES

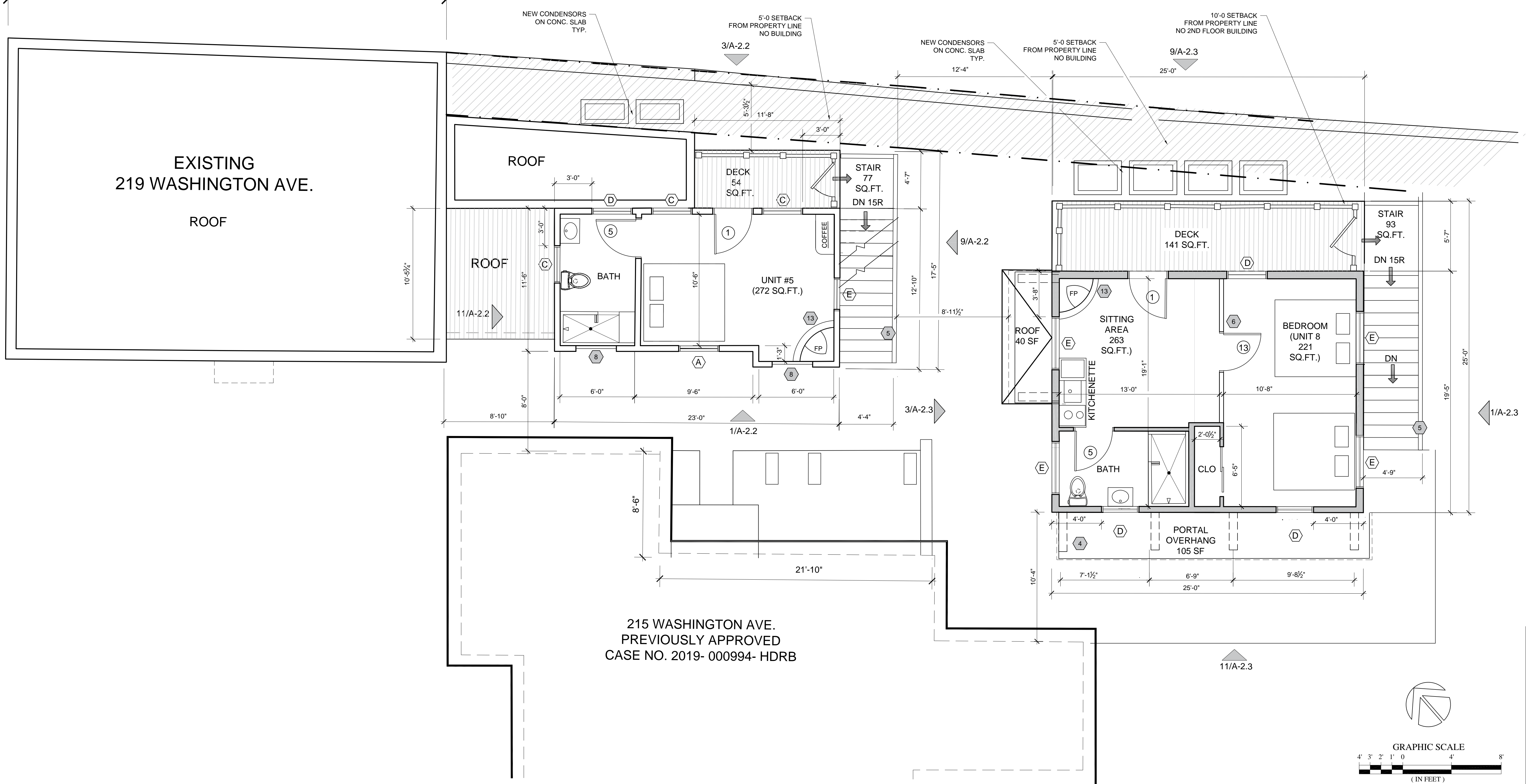
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Ojo Caliente, N.M. 87579
505.919.9744 phone
redc52@gmail.com

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Residential - Commercial

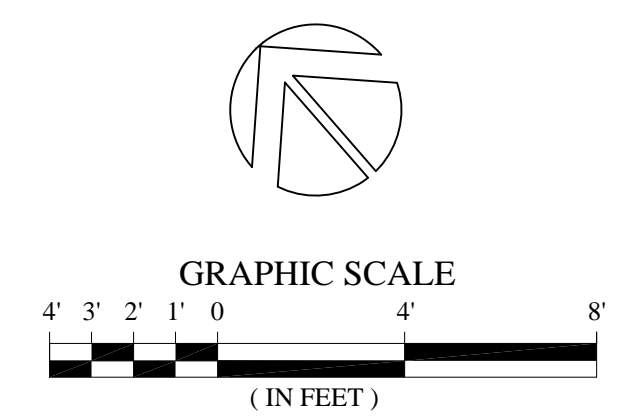


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L&R DESIGN SERVICES 2025

PREVIOUSLY APPROVED CASE NO. 2024 - 007814 - HDRB



215 WASHINGTON AVE.
PREVIOUSLY APPROVED
CASE NO. 2019- 000994- HDRB



SCALE: 1/4" = 1'-0"

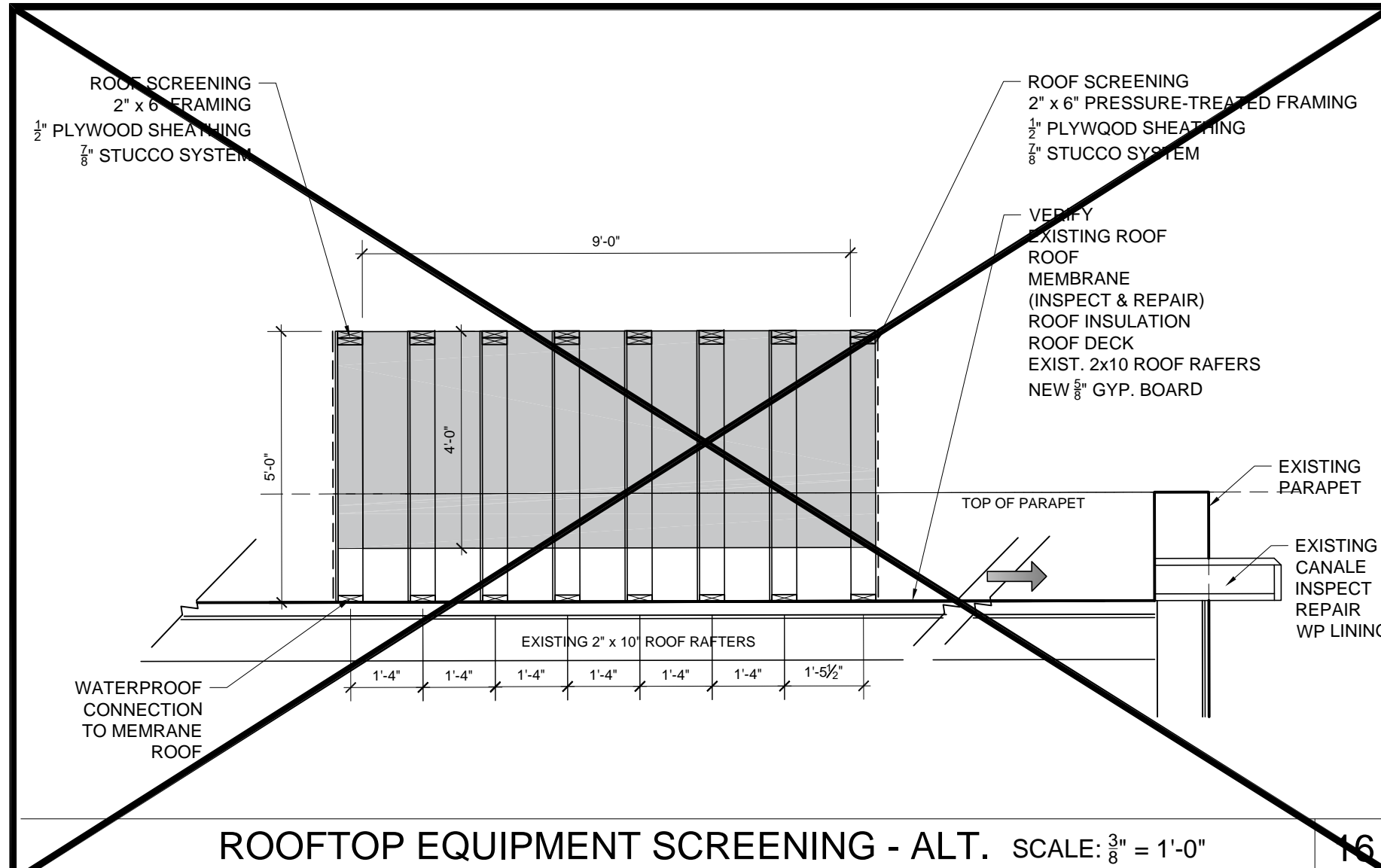
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FP-2

Sheet:

PROPOSED SECOND FLOOR PLAN



ROOFTOP EQUIPMENT SCREENING - ALT. SCALE: $\frac{3}{8}'' = 1'-0''$

16

LEGEND

- NEW 2" x 6" WALLS STUDS @ 16" O.C.
- EXISTING WALLS TO REMAIN

ROOF DRAINAGE CALCULATIONS

ROOF AREA: 818 SQFT
1 CANALE = 400 SF OF AREA

PROPOSED ROOF PLAN SHEET KEYED NOTES

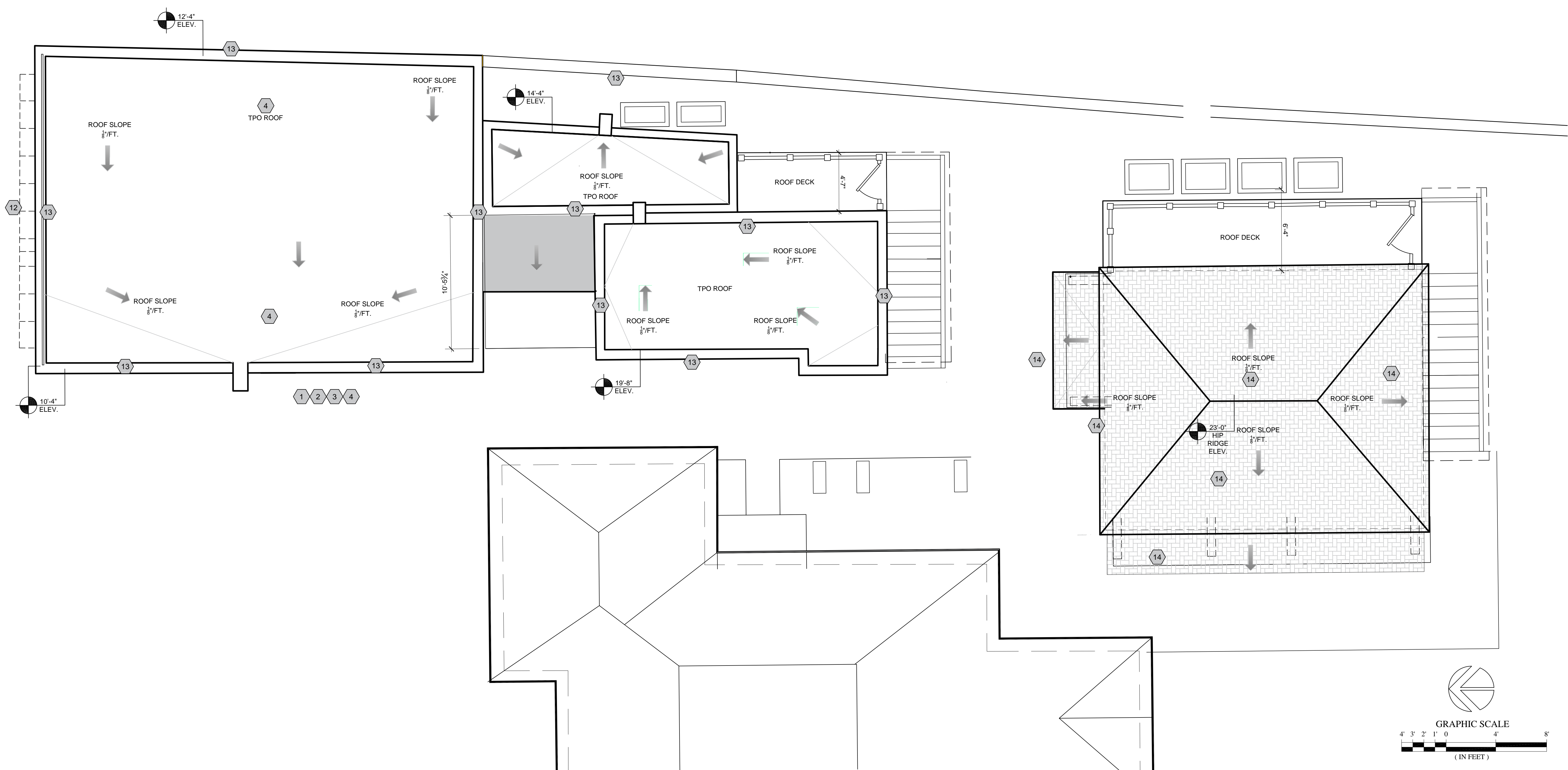
GENERAL:

1. INSPECT ROOF FOR WATER DAMAGE AND AREAS THAT NEED REPAIR DETERMINE NEED FOR NEW ROOF
2. INSPECT AROUND ROOF VENT OPENINGS WHERE VENTS HAVE BEEN REMOVED REPAIR AND PATCH
3. PROVIDE NEW ROOF CAPS FOR NEW VENT OPENINGS (SEE MEP)
4. REPLACE ROOF FINISH AS NECESSARY, MOISTURE-PROTECT WOOD EDGES
5. EXHAUST AND RE-CIRCULATION SEE MECHANICAL DRAWINGS
6. NEW HVAC MINI-SPLIT CONDENSERS ON ROOF. SEE MECHANICAL DWG FOR TIE-DOWN TO ROOF.
7. EXISTING WOOD OVERHANG - INSPECT, REPAIR, SAND & STAIN
8. EXISTING WOOD CANALE - INSPECT, REPAIR, WATERPROOF LINING
9. MECHANICAL CONDENSERS MOUNTED ON ROOF PER MFG. SPECIFICATIONS, (4 TYP.)
10. ROOF SCREENING TO PROVIDE VISUAL BLOCK OF ROOFTOP EQUIPMENT (IF REQUIRED).
11. NEW TPO ROOF - TAN FINISH
12. EXISTING WOOD OVERHANG TO BE EVALUATED FOR REUSE OR REMOVAL
13. TERRITORIAL BRICK COPING ON TOP OF PARAPET
14. SHINGLES TO MATCH STYLE & MATERIAL OF EXISTING SHINGLES ON 215 BUILDING ROOF

RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

TITLE:

PROPOSED
ROOF
PLANS



PROPOSED ROOF PLAN

SCALE: $\frac{1}{4}'' = 1'-0''$

9

EXISTING/DEMOLITION - 219 ROOF PLAN

SCALE: $\frac{1}{4}'' = 1'-0''$

HBRD SUBMITTAL SET

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A-.1.4

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1

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redc52@gmail.com

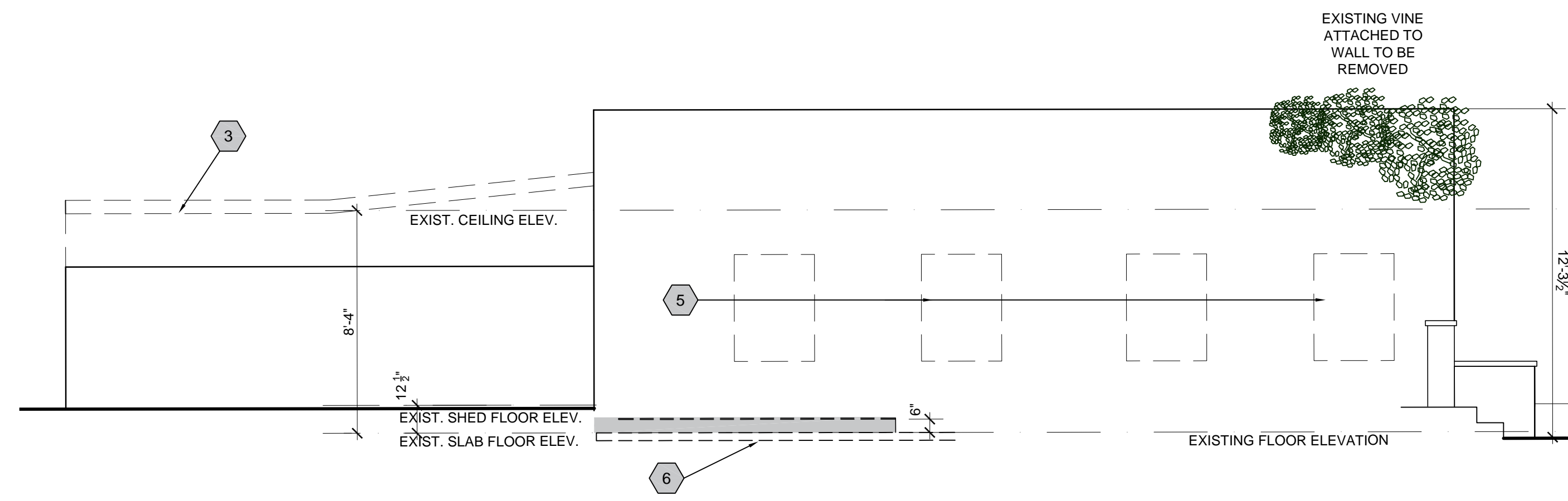
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Production Documents
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EXISTING/DEMO PLAN SHEET KEYED NOTES

GENERAL:

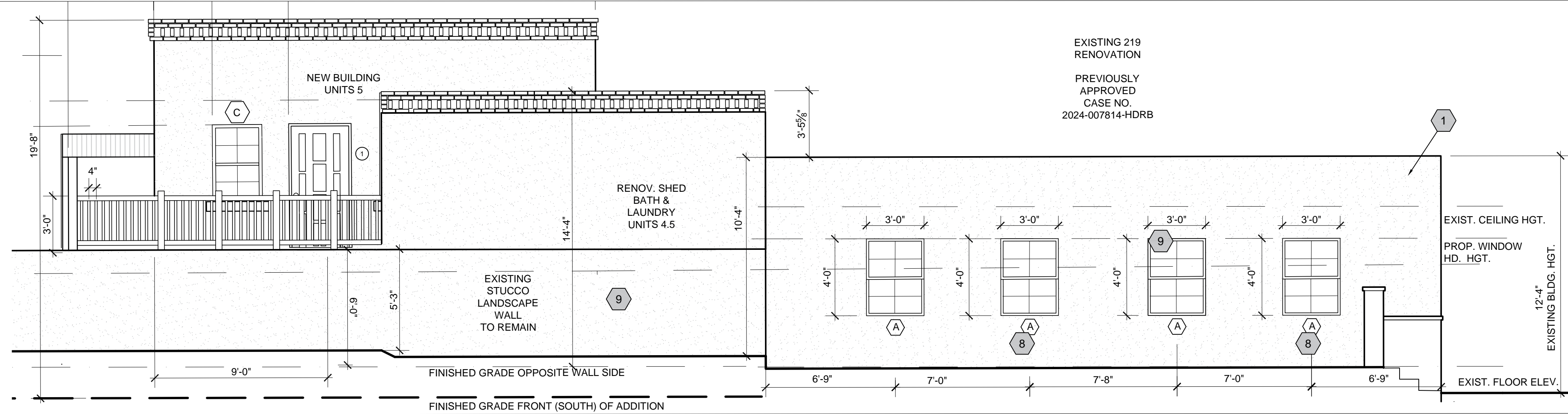
1. REMOVE DOOR & FRAME, COMPLETE. ROUGH-IN FOR NEW DOOR 36" x 84"
2. WIDEN DOOR FRAME ROUGH OPENING TO 39" AND HEIGHT TO 87"
3. REMOVE DOORS, WINDOWS & FRAMES COMPLETE
4. EXISTING SHED TO BE REMOVED IN REAR YARD
5. DEMO CONCRETE LANDING - DROP GRADE 3" +/- (V.I.F.)
6. CUT OUT WALL FOR NEW WINDOWS & ROUGH FRAME FOR OPENING
7. EXISTING INTERIOR RAISED FLOOR TO BE REMOVED
8. REPLACE (2) PANES WITH NEW GLAZING TO MATCH EXISTING
9. EXISTING SHED ROOF & POSTS TO BE REMOVED



EXISTING NORTH ELEVATION - UNITS 1,2,3

SCALE: 1/4" = 1'-0"

8

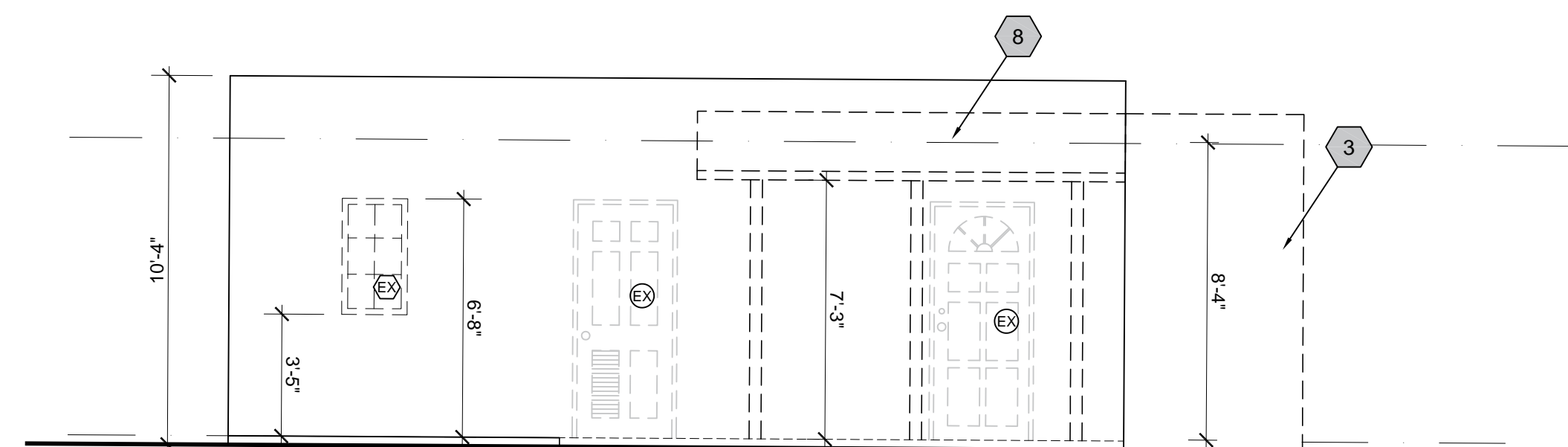


PROPOSED NORTH ELEVATION - UNITS 1,2,3

SCALE: 1/4" = 1'-0"

7

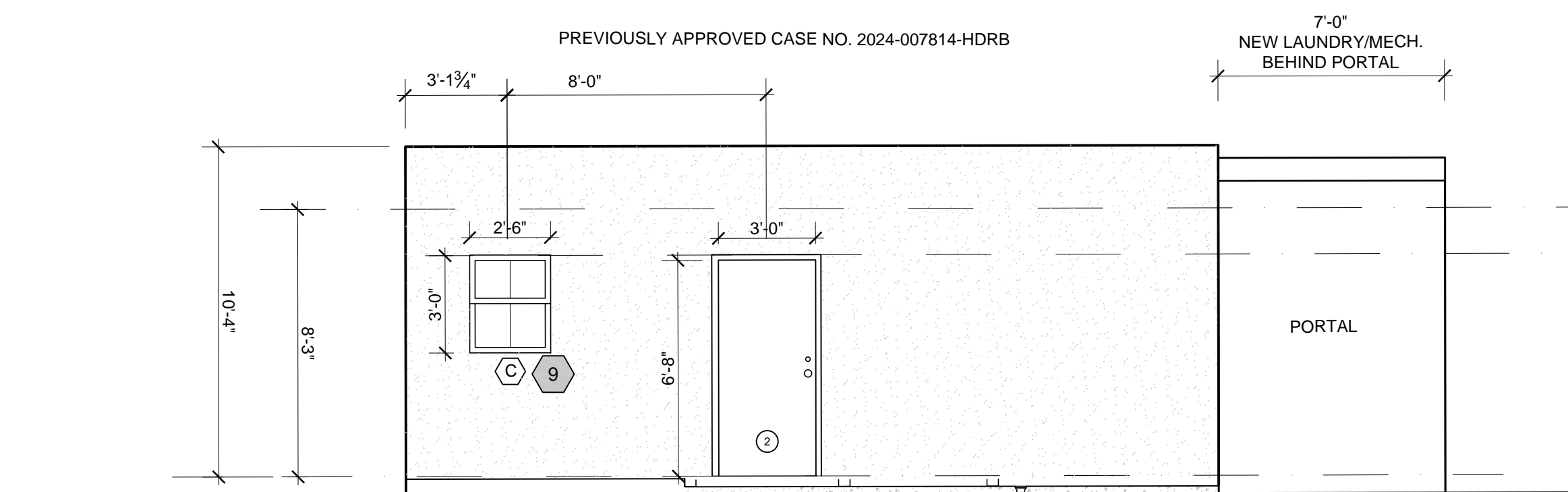
PREVIOUSLY APPROVED CASE NO. 007814-HDRB



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

6

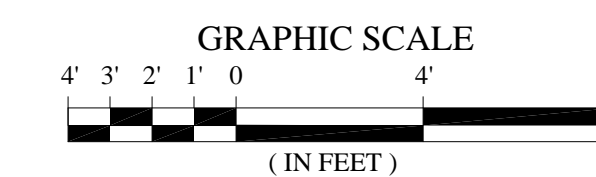


PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

5

PREVIOUSLY APPROVED CASE NO. 007814-HDRB



HDRB SUBMITTAL

RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

TITLE:
UNITS 1,2,3
NORTH & EAST
EXISTING
PROPOSED
ELEVATIONS

P.O.Box 4
 Ojo Caliente, N.M. 87579
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 redcs52@gmail.com

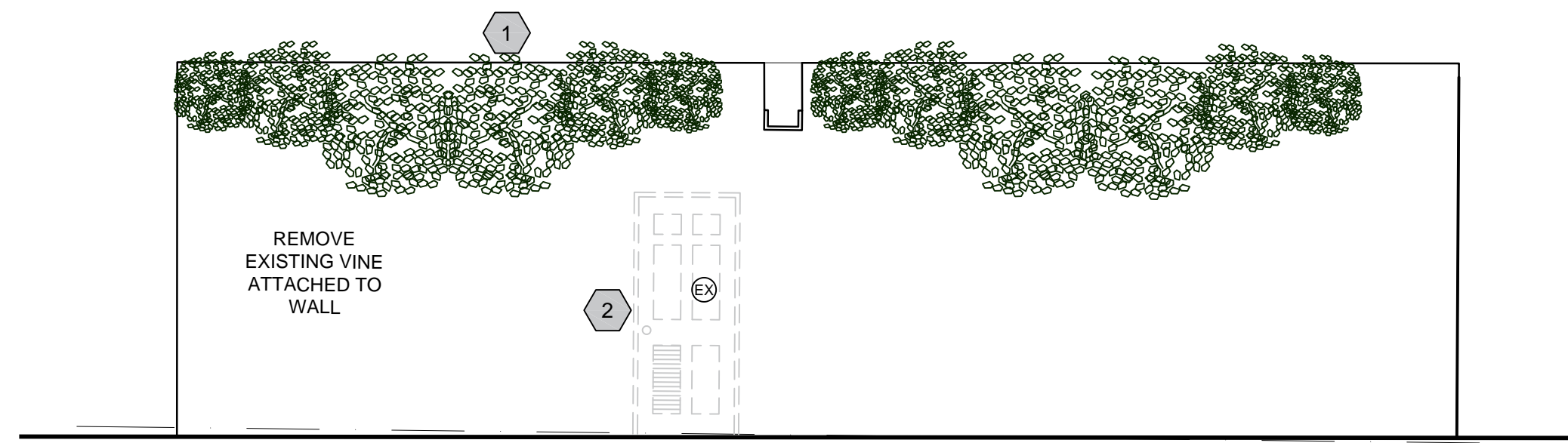


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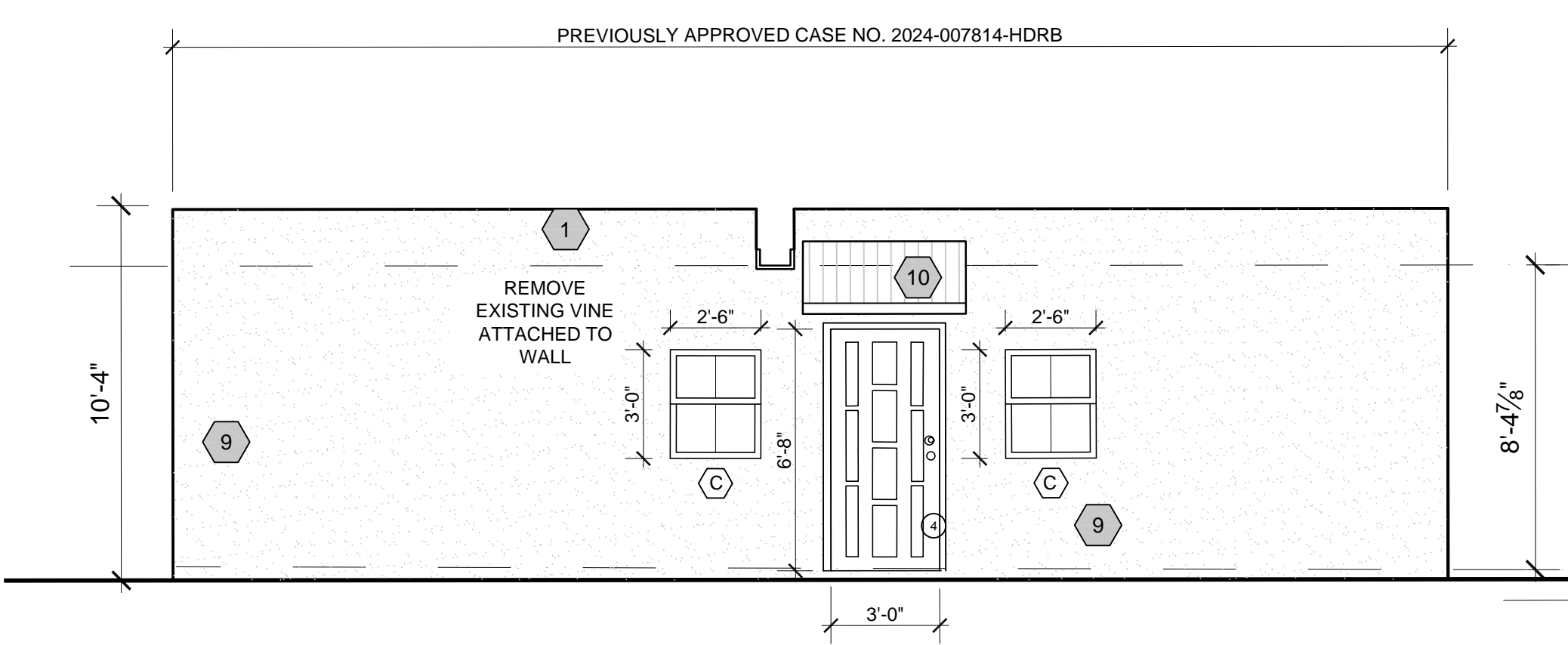
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Sheet:



EXISTING SOUTH ELEVATION - UNITS 1,2,3

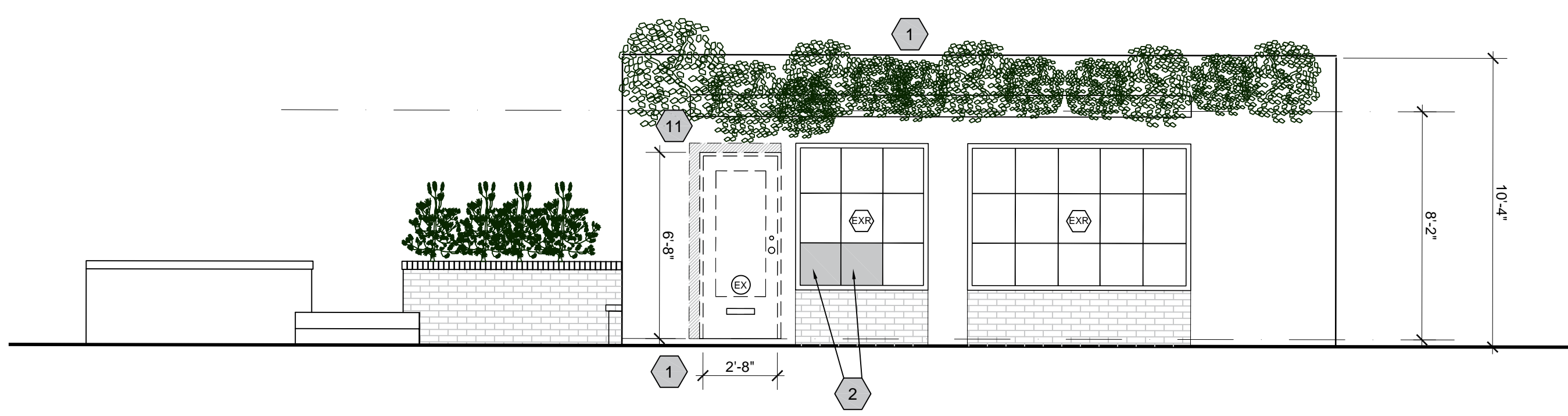
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PROPOSED SOUTH ELEVATION - UNITS 1,2,3

7

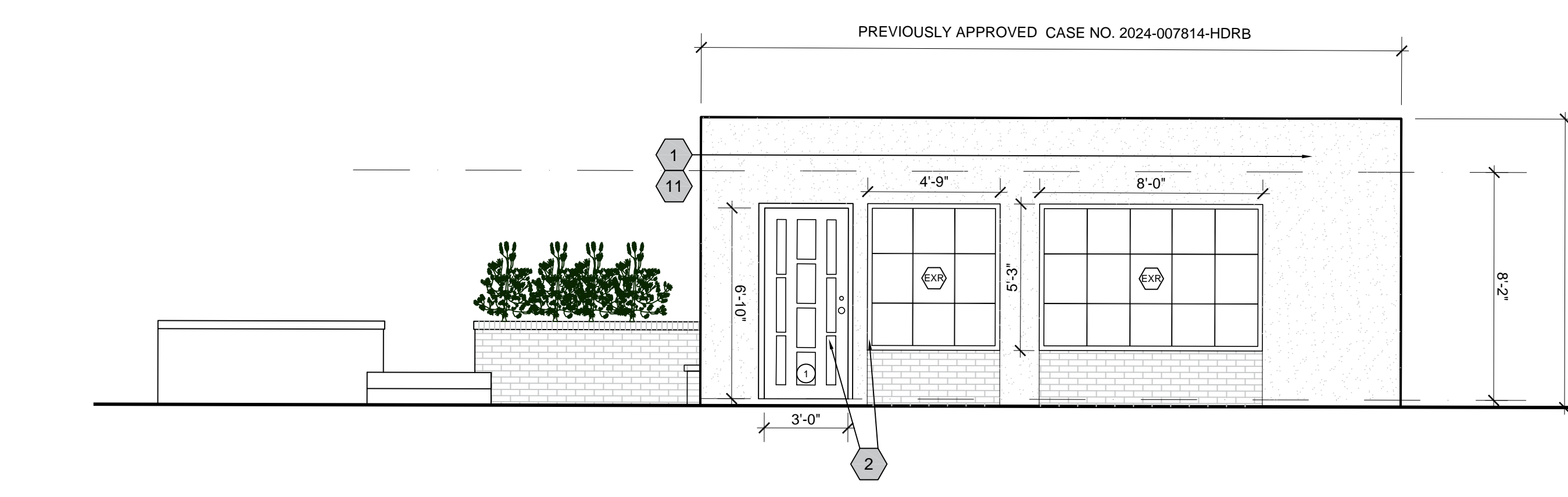
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EXISTING WEST ELEVATION - UNITS 1,2,3

SCALE: 1/4" = 1'-0"

6

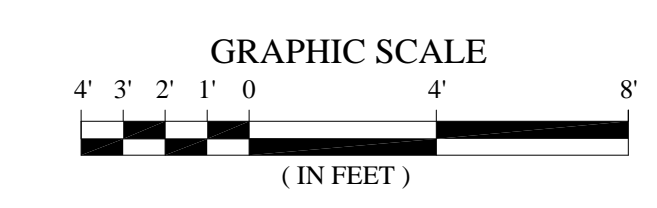


PROPOSED WEST ELEVATION - UNITS 1,2,3

SCALE: 1/4" = 1'-0"

5

PREVIOUSLY APPROVED CASE NO. 007814-HDRB



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PROPOSED PLAN SHEET KEYED NOTES

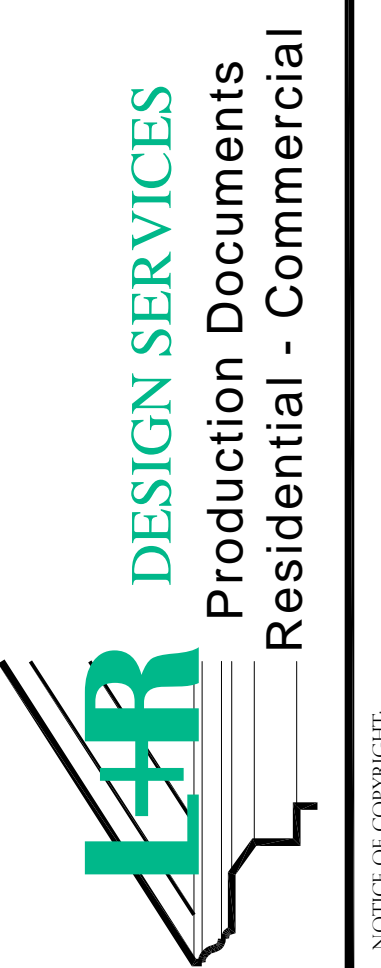
GENERAL:

1. REMOVE EXISTING VINE TO ACCOMODATE NEW WINDOW AND DOOR
VERIFY ROOT DAMAGE IN STUCCO WALL
2. RENOVATE OPENINGS WITH NEW WINDOW & DOOR, REPAIR WALL, AND PATCH AS NECESSARY, SAND AND PAINT, COLOR BY HDRB.
- 3.
- 4.
5. NEW 3" CONCRETE SLAB W/ 6x6X1.0 WWF
6. NEW SUMP DRAIN IN NEW CONC. SLAB
7. FINISH & COLOR ON RENOVATED SHED BY HDRB
8. SEE LANDSCAPE PLANS FOR GRADE CHANGE AREA
9. RE-STUCCO EXTERIOR WALLS
10. INSTALL OVERHANG ROOF OVER UNIT 3 EXTERIOR DOOR
11. EVALUATE & REPAIR EXISTING HISTORICAL OVERHANG ELEMENT

RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

TITLE:
UNITS 1,2,3
SOUTH & WEST
EXISTING
PROPOSED
ELEVATIONS

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redcs52@gmail.com

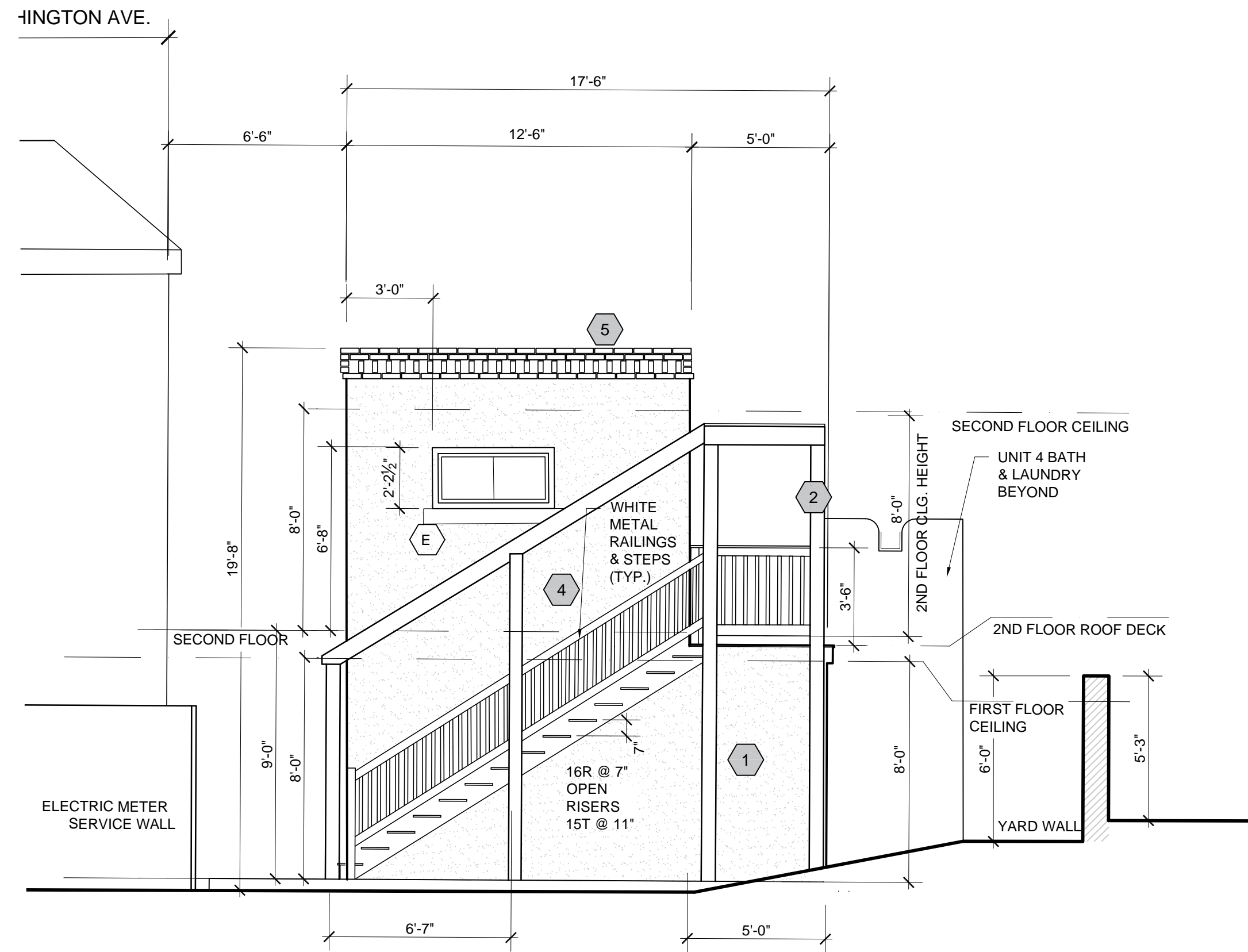


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PROPOSED EAST ELEVATION - UNITS 4,5

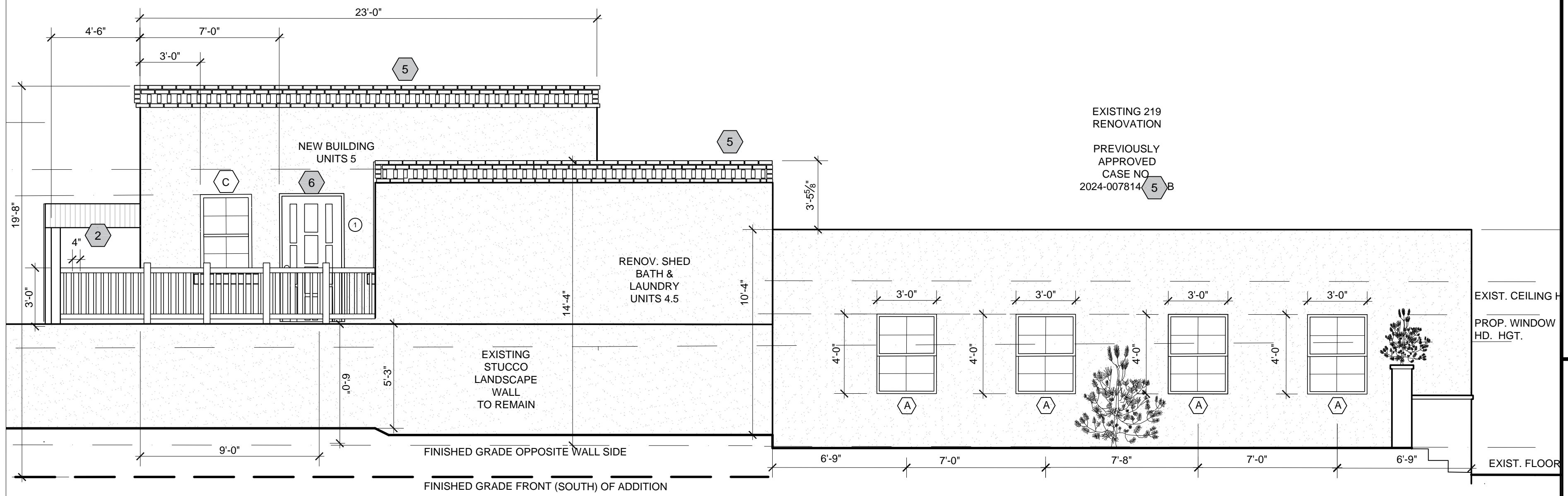
SCALE: 1/2" = 1'-0"

11

PROPOSED ELEVATIONS SHEET KEYED NOTES

GENERAL:

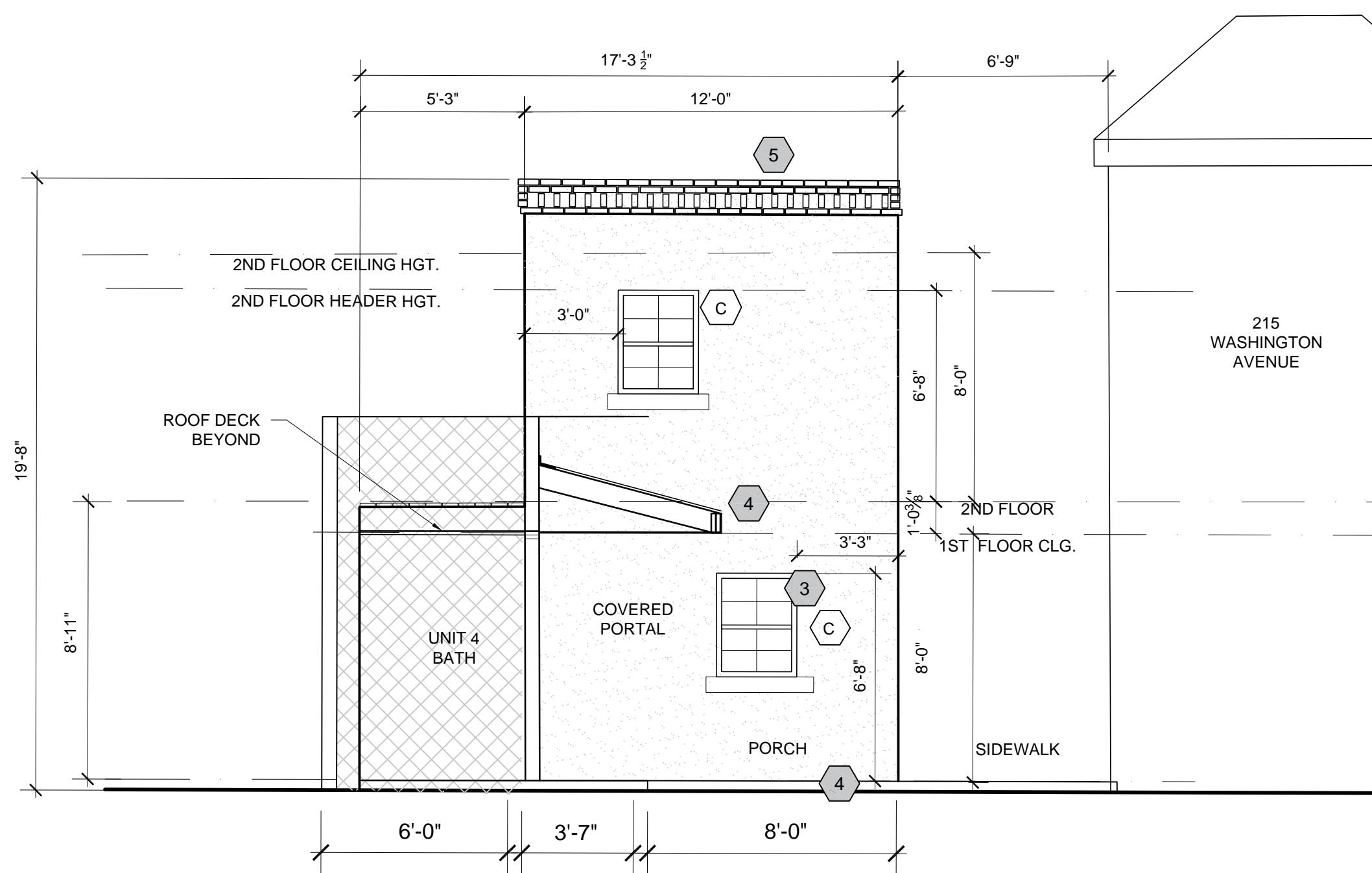
1. STAIRS TO SECOND FLOOR TO BE WHITE METAL GUARDS, HANDRAILS & TREADS (SLIP RESISTANT)
2. EXTERIOR ROOF COVERING OVER EXTERIOR STAIRS (WHITE METAL)
3. PORTAL ROOF OVER LAUNDRY ENTRY DOOR
4. STONE SILL TO MATCH BLDG. 215
5. TERRITORIAL BRICK COPING
6. UNIT FRONT DOORS TO MATCH 215 MAIN DOOR
7. DECO ARCH INDENT IN EXTERIOR WALL - 4"



PROPOSED NORTH ELEVATION - UNITS 4,5

SCALE: 1/2" = 1'-0"

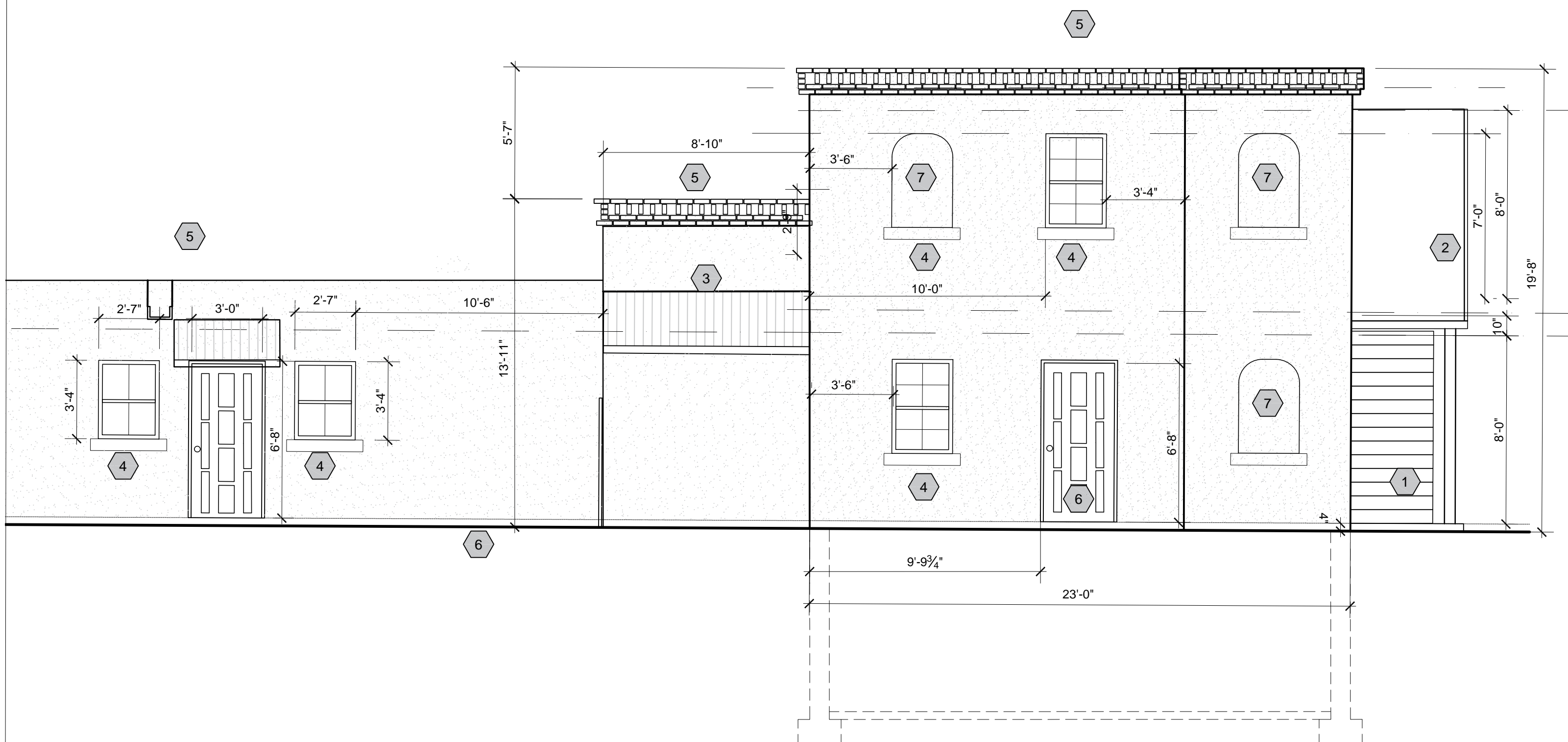
3



PROPOSED WEST ELEVATION - UNITS 4,5

SCALE: 1/2" = 1'-0"

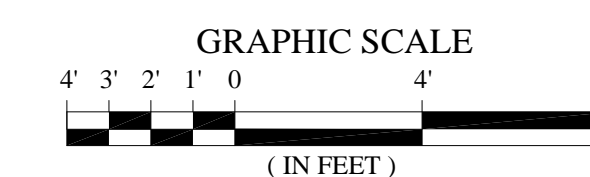
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PROPOSED SOUTH ELEVATION - UNITS 4-5

SCALE: 1/2" = 1'-0"

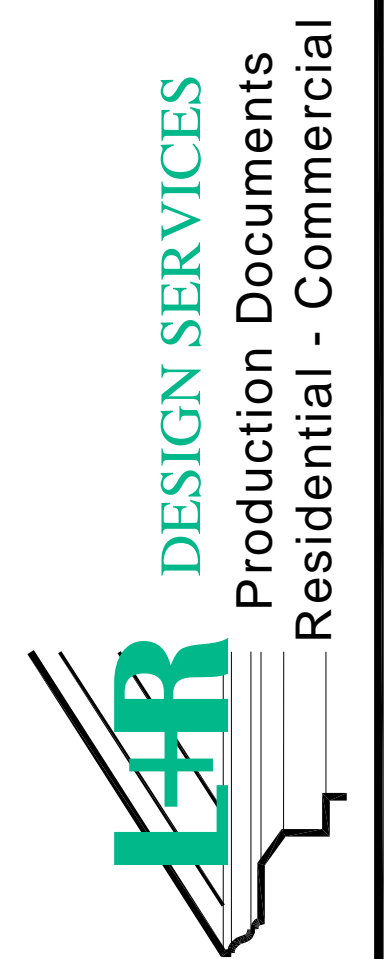
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RENOVATIONS & ADDITIONS
 MINI-HOTEL for:
 DENNIS PRICE
 219 WASHINGTON AVE.
 SANTA FE, NM

TITLE:
 UNITS 4 & 5
 PROPOSED
 ELEVATIONS
 TWO-STORY

P.O. Box 4
 Ojo Caliente, N.M. 87579
 505.919.9744 phone
 reuc52@gmail.com



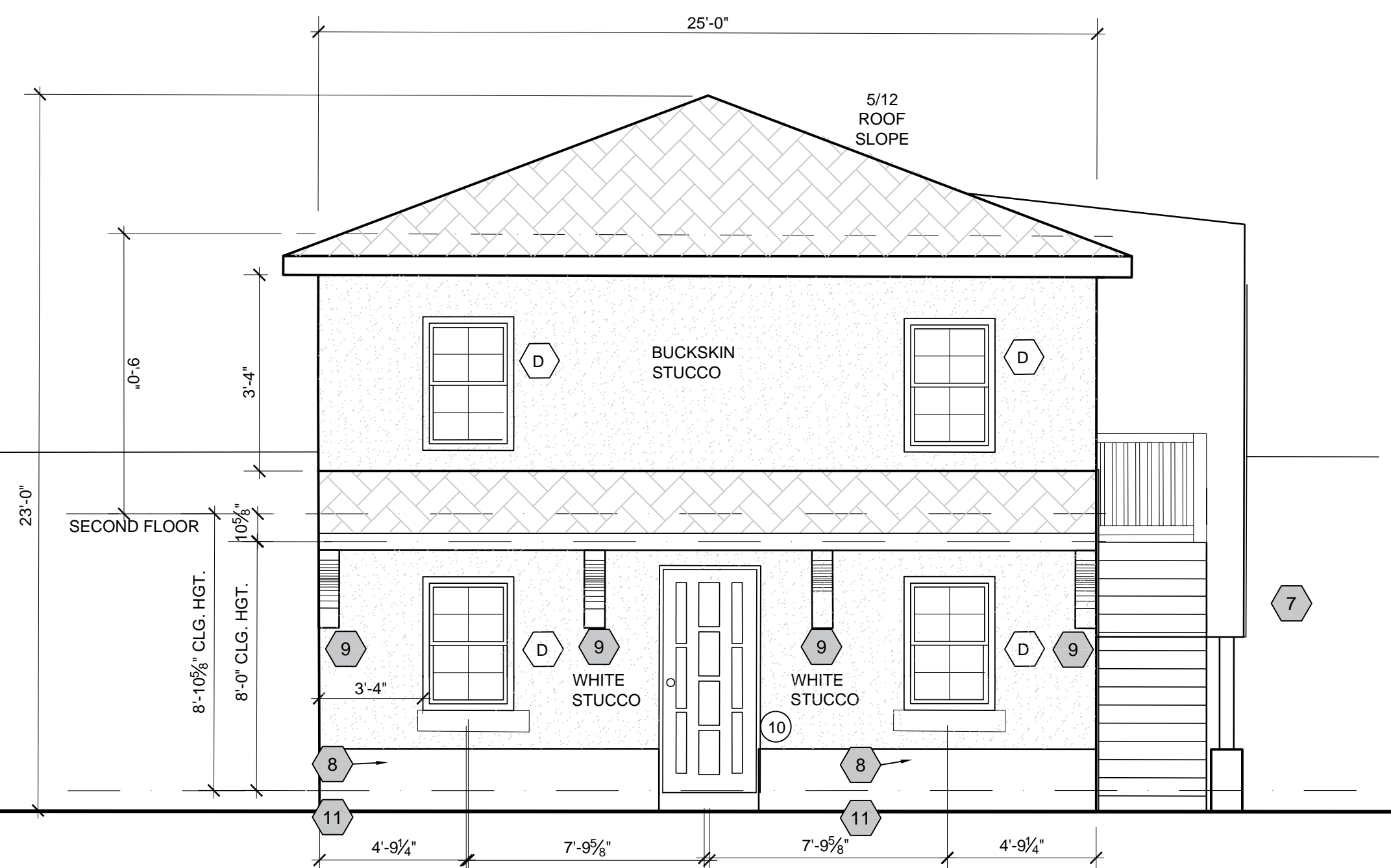
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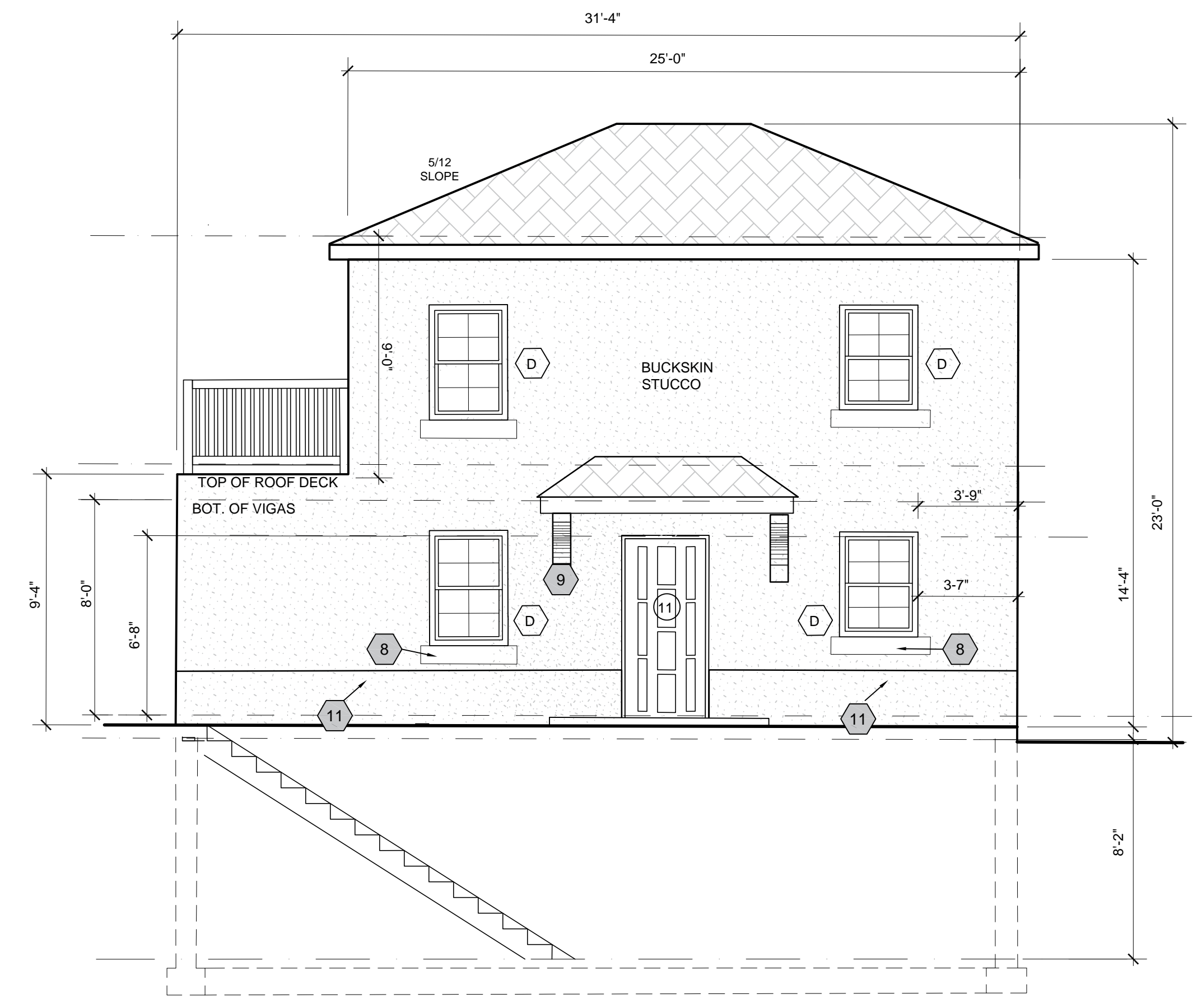
HDRB SUBMITTAL



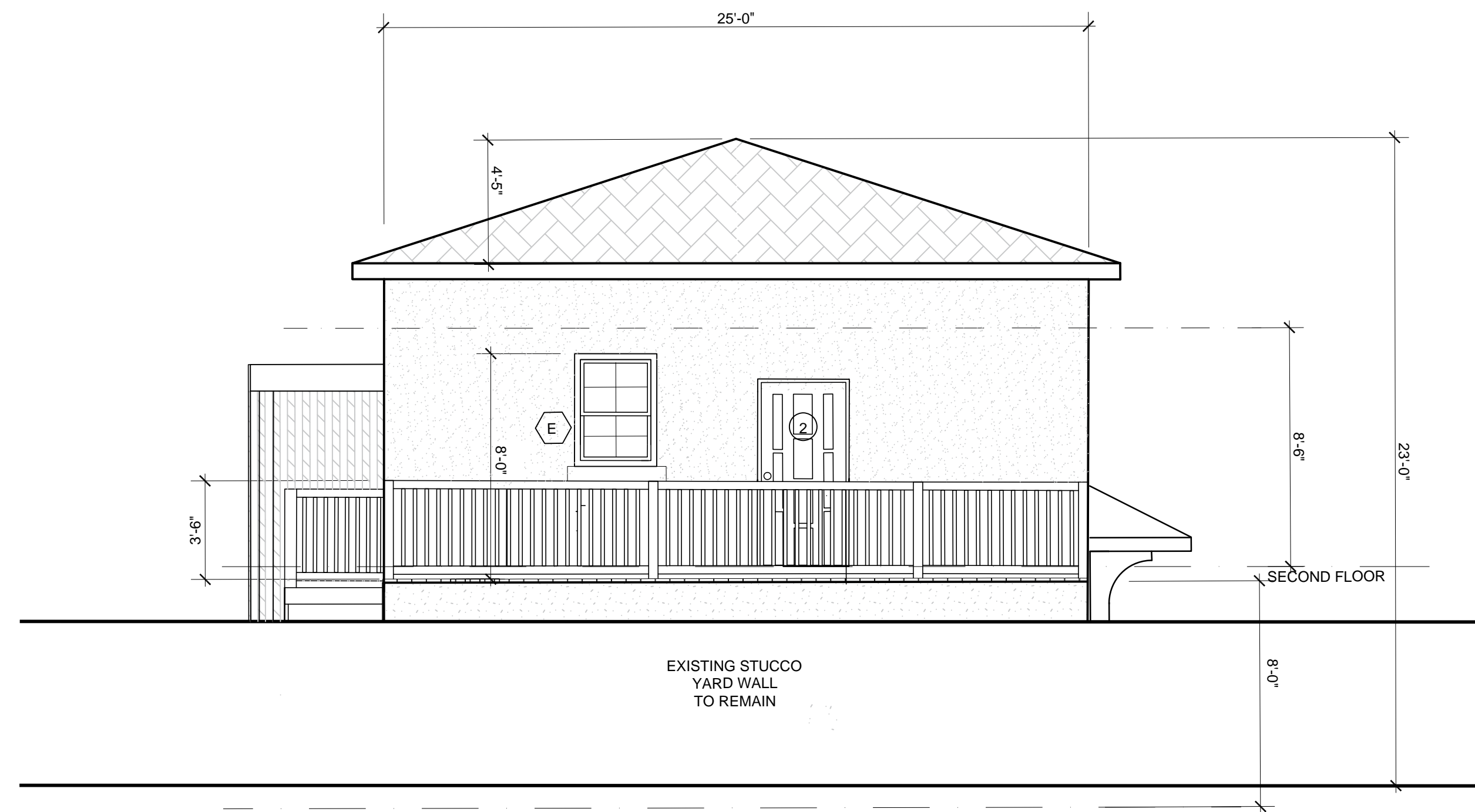
PROPOSED SOUTH ELEVATION - UNITS 6,7,8,9, SCALE: 1/4" = 1'-0" 11

PROPOSED ELEVATIONS SHEET KEYED NOTES

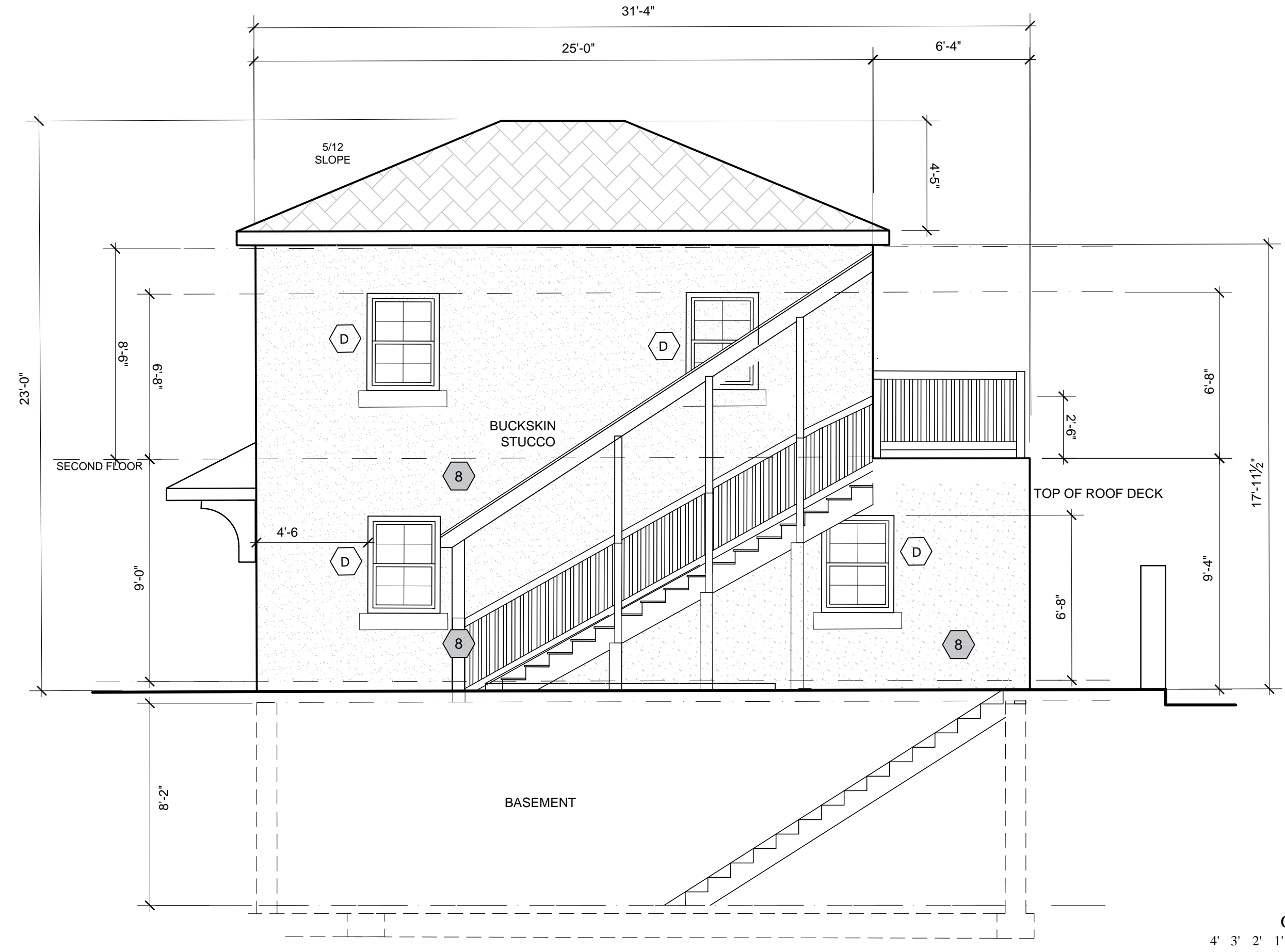
- GENERAL:
1. SET NEW PORTAL COLUMNS AT NEW SIDEWALK HEIGHT W/NEW ANCHORS
 2. NEW 3" CONCRETE SLAB W/ 6x6X1.0 WWF
 3. NEW SUMP DRAIN IN NEW CONC. SLAB
 4. FINISH & COLOR ON RENOVATED SHED BY HDRB
 5. SEE LANDSCAPE PLANS FOR GRADE CHANGE AREA
 6. EXTERIOR COVERED STAIR, METAL TREADS, OPEN RISER, TYPICAL
 7. STONE SILL - MATCH BLDG. 215
 8. DECORATIVE WOOD BRACE - SUPPORT FOR OVERHANG - GRAY PAINT
 9. EXTERIOR DOOR TO BASEMENT STAIRS BEHIND EXISTING WALL
 10. STONE BLOCK 24" A.F.G. - TO MATCH FONRT ELEVATION OF 215



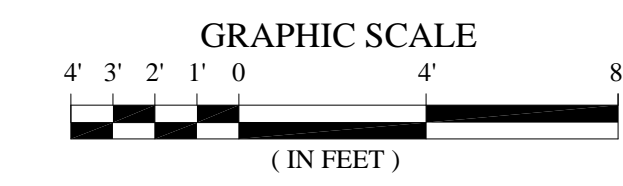
PROPOSED WEST ELEVATION - 6,7,8,9 SCALE: 1/4" = 1'-0" 3



PROPOSED NORTH ELEVATION - UNITS 6,7,8,9 SCALE: 1/4" = 1'-0" 9



PROPOSED EAST ELEVATION 6,7,8,9 SCALE: 1/4" = 1'-0" 1



HDRB SUBMITTAL

Date: 12.03.2025
revised:

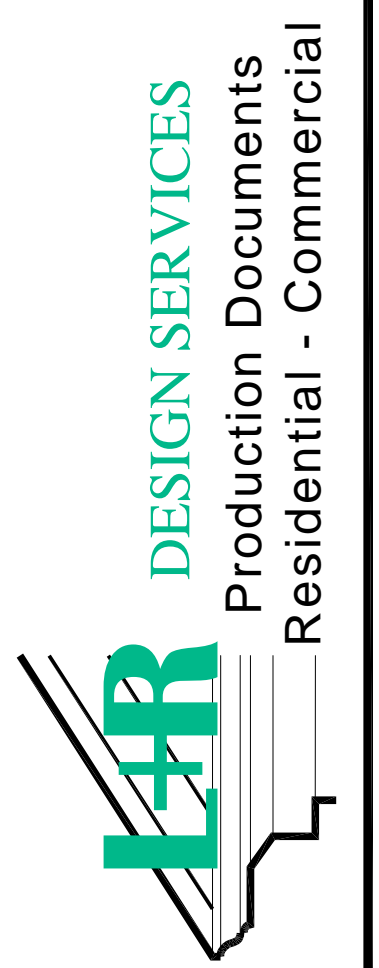
A-2.3

Sheet:

RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

TITLE:
UNITS 6,7,8
PROPOSED
ELEVATIONS
ONE AND A
HALF-STORY

P.O. Box 4
Ojo Caliente, N.M. 87579
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