



April 07, 2025

Historic Preservation Division
Land Use Department
200 Lincoln Avenue
Santa Fe, NM 87501
Via Email:hpdsuubmittal@santafenm.gov

**Re: Proposed One-Garage Addition at
439 Camino del Monte Sol
Lot 1-A of the Cinco Soles Subdivision**

Dear Historic Preservation Division,

Hoopes Architects, acting as agent for our client - who owns the above-referenced property, are proposing a one-car garage addition with a connecting breezeway. We are requesting HDRB approval.

This residence is currently undergoing interior renovations. We have all the proper Historic Preservation Division approvals (reference Case # 2024-009101) and a City of Santa Fe Building Permit (# 2024-39006-EXTR) where Tierra Concepts is acting as the General Contractors. Once approved, we wish to construct this garage addition in a seamless manner with on-going construction.

It is our interpretation of the City of Santa Fe codes for the Eastside Historic District that the garage must be 10 ft from the house and its connection (breezeway) 10 ft back from the front façade. Our proposed garage at 10'-3" high is well under the 14 ft height limit. These code sections are cited on our drawing set Cover Sheet attached to this submitted.

We wish to "match existing conditions". Namely, by matching existing house stucco (same color), matching windows and lintels (same detailing, paint, and stain colors), and matching the same garage doors and lintel that exist at other Cinco Soles Compound garages.

For your review and comment, we have submitted herein:

- A drawing set (Cover Sheet, Site Plan, Floor Plans and Exterior Elevations).
- Labeled exterior photos of the street & all facades, including existing garage door at other Compound properties.
- Color Chart (Stucco, Stain, and Paint).
- Architects Color Renderings

After HDRB approval we wish to submit for a Building Permit as soon as possible. We appreciate your expeditious review and consideration of this matter. If you have any questions, please contact me at the number below. Thank you!

Thank you for your review.

Sincerely,

Charles William Rosenberg,
Project Architect

Hoopes Architects Ltd. Co.
333 Montezuma Ave.
Santa Fe. NM 87504
505.986.1010

LEGEND

- MONUMENT CAPPED REBAR "13054" FOUND AND USED OR AS NOTED
- ✱ COMPUTED POINT
- △ CONTROL MONUMENT
- ⚡ UTILITY POLE OVERHEAD UTILITY LINES AND POLE BUT ANCHOR WHEN APPLICABLE
- ⌚ TELEPHONE PEDESTAL
- ⊕ ELECTRIC METER
- ⊕ GAS CONNECT
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ SEWER MANHOLE COVER
- ⊕ TELEPHONE MANHOLE COVER
- ⚡ FIRE HYDRANT
- ⊕ LIGHT POLE
- ⊕ CLEAN-OUT
- ⊕ AIR CONDITIONING UNIT
- ⊕ WATER CONTROL BOXES



SEE PLANS AND EXTERIOR ELEVATIONS HEREIN FOR GARAGE ADDITION

(NOTE: ALL PLANS ARE ROTATED 180 DEGREES FROM AS SHOWN HERE ON SITE PLAN)

SUBJECT PROPERTY:
439 A CAMINO DEL MONTE SOL
"LOT 1A" OF
CINCO SOLES SUBDIVISION

EXISTING GRAVEL DRIVES AND PARKING SHOWN WITH POCHÉ

PROPOSED ONE-CAR GARAGE ADDITION - SEE ENLARGED SITE PLAN FOR MORE INFORMATION



01

OVERALL ARCHITECTURAL SITE PLAN
scale: 1" = 20'-0"



HOOPES ARCHITECTS

251 MONTELEONA AVE. SUITE 200
SANTA FE, NM 87501
505.826.8750
www.hoopesarchitects.com

BOLAND - GREULICH RESIDENCE

ARCHITECTS PROJECT NO. 2065

439 CAMINO DEL MONTE SOL, SANTA FE, NEW MEXICO 87505

ISSUE DATE: 08/14/2025

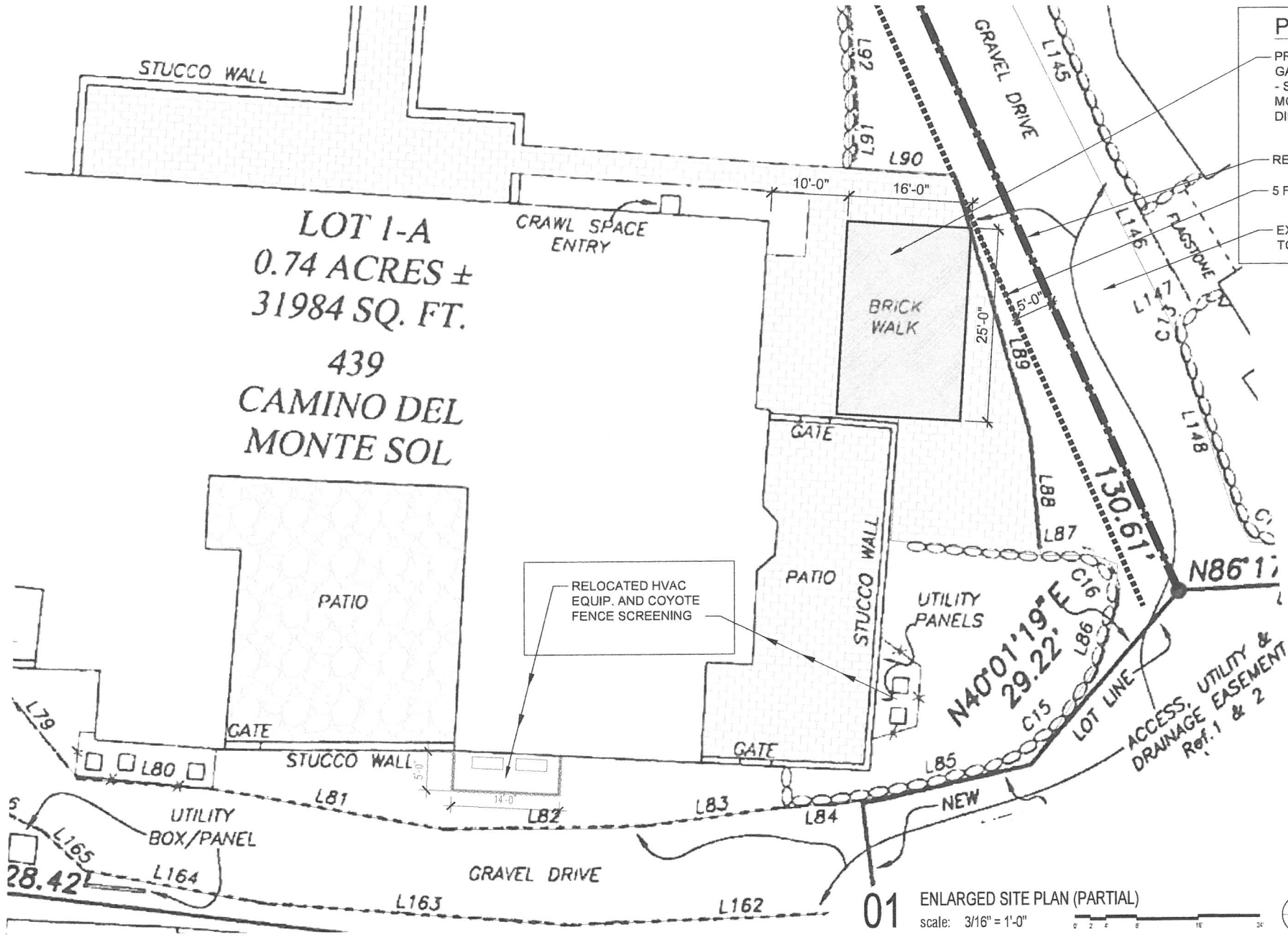
ASI # 4 (RE-BUILD FLUE ON EXISTING FIREPLACE)

SITE PLAN

AS-101

PLAN NOTES

- PROPOSED ONE-CAR GARAGE (SHOWN SHADED - SEE FLOOR PLANS FOR MORE INFO AND DIMENSIONS)
- REAR PROPERTY LINE
- 5 FT REAR SETBACK
- EXISTING GRAVEL DRIVE TO REMAIN AS IS



HOOPES ARCHITECTS
 211 MONTE ALBA AVE. SUITE 200
 SAN ANTONIO, TEXAS 78202
 TEL: 214.343.1111
 WWW.HOOPESARCHITECTS.COM

BOLAND - GREULICH RESIDENCE
 ARCHITECTS PROJECT NO. 2065
 439 CAMINO DEL MONTE SOL, SAN ANTONIO, TEXAS 78202
 ISSUE DATE: 08/14/2025

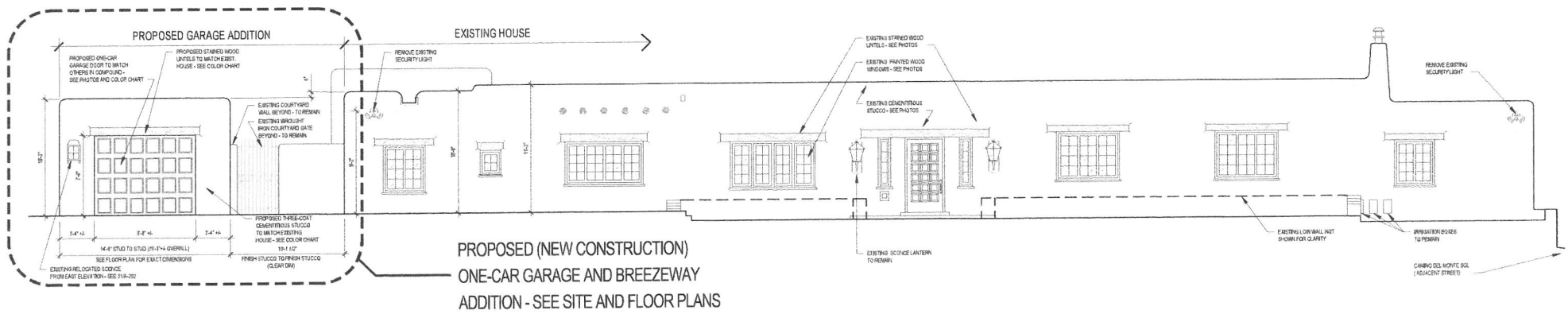
ASI # 4 (RE-BUILD FLUE ON EXISTING FIREPLACE)
 SITE PLAN

AS-102

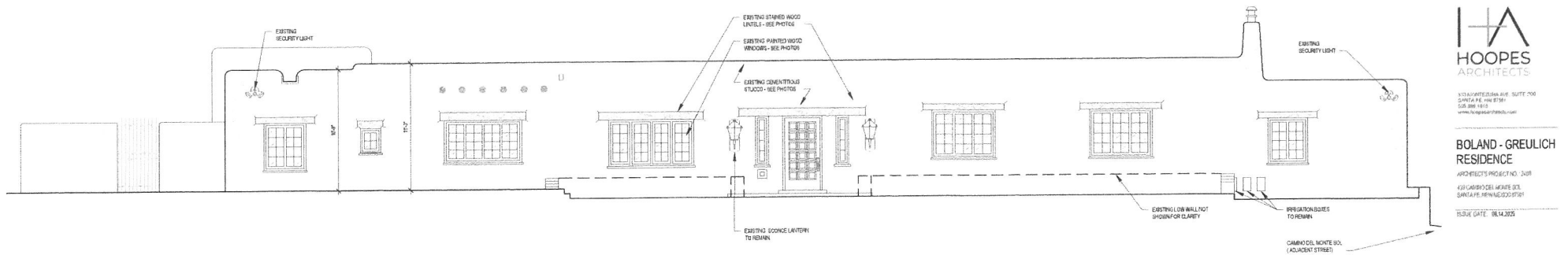
01

ENLARGED SITE PLAN (PARTIAL)
 scale: 3/16" = 1'-0"





02 PROPOSED NORTH EXTERIOR ELEVATION
 scale: 1/4" = 1'-0"



01 EXISTING NORTH EXTERIOR ELEVATION
 scale: 1/4" = 1'-0"



HOOPES ARCHITECTS

3130 CANTERBURY AVE. SUITE 200
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BOLAND - GREULICH RESIDENCE

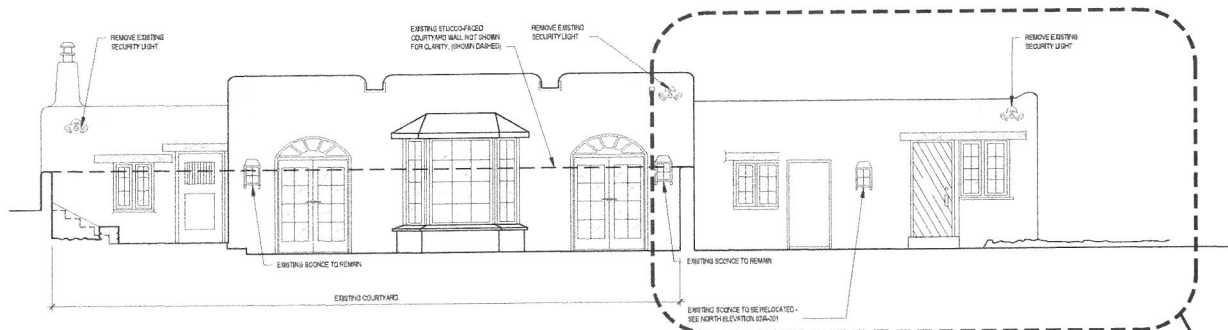
ARCHITECTS PROJECT NO. 2408
 430 CAMINO DEL MONTE SOL,
 SANTA FE, NEW MEXICO 87501

ISSUE DATE: 08.14.2025

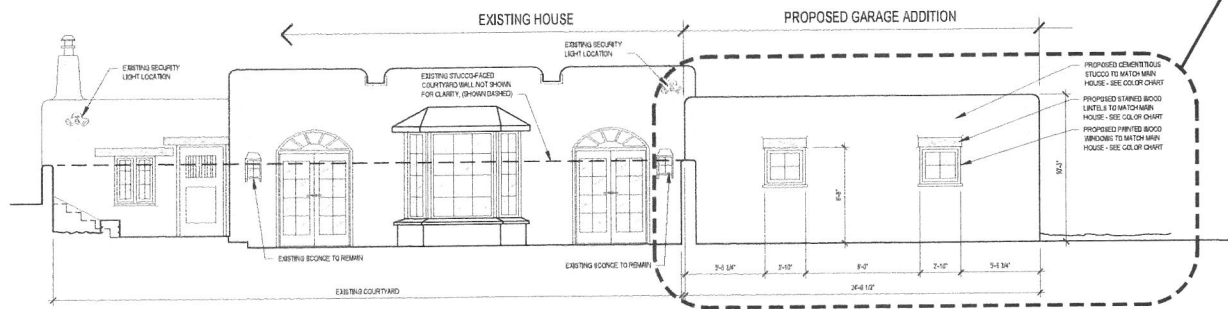
AS1 # 4 (RE-BUILD FLUE ON EXISTING FIREPLACE)

EXISTING AND NEW ELEVATIONS

A-201



03 PROPOSED EAST EXTERIOR ELEVATION/SECTION
scale: 1/4" = 1'-0"



02 PROPOSED EAST EXTERIOR ELEVATION
scale: 1/4" = 1'-0"



01 EXISTING EAST EXTERIOR ELEVATION
scale: 1/4" = 1'-0"

PROPOSED (NEW CONSTRUCTION)
ONE-CAR GARAGE ADDITION - SEE
SITE AND FLOOR PLANS



HA
HOOPES
ARCHITECTS

315 ALVARADO AVENUE, SUITE 200
SANTA FE, NM 87501
760.946.6343
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**BOLAND - GREULICH
RESIDENCE**

ARCHITECTS PROJECT NO. 2408
430 CAMINO DEL MONTE SOLO,
SANTA FE, NEW MEXICO 87501

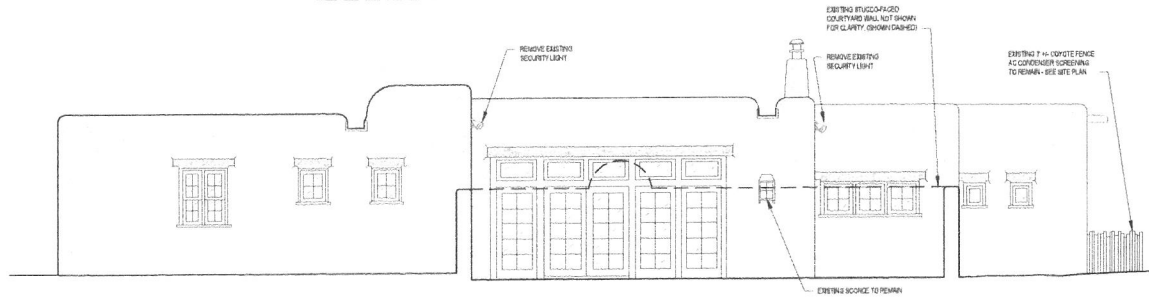
FIGURE DATE: 08.14.2015

ASI # 4 (RE-BUILD FLUE ON
EXISTING FIREPLACE)

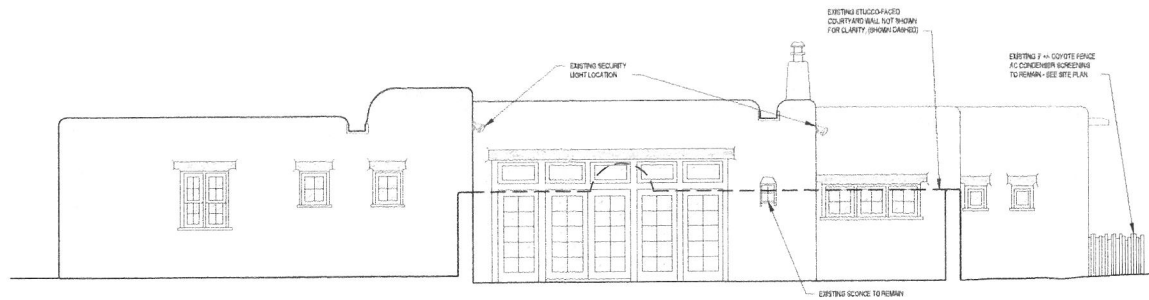
EXISTING AND
NEW ELEVATIONS

A-202

NOTE: PROPOSED GARAGE ADDITION NOT SEEN ON THIS FACADE



02 PROPOSED WEST EXTERIOR ELEVATION
 scale: 1/4" = 1'-0"
 (CAMINO DEL MONTE SOL STREET FACADE)



01 EXISTING WEST EXTERIOR ELEVATION
 scale: 1/4" = 1'-0"
 (CAMINO DEL MONTE SOL STREET FACADE)



HOOPES ARCHITECTS

313 MONTE ZUMA AVE. SUITE 100
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 505.899.1510
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BOLAND - GREULICH RESIDENCE
 ARCHITECTS PROJECT NO. 2408
 430 CAMINO DEL MONTE SOL, SANTA FE, NEW MEXICO 87501
 ISSUE DATE: 08.14.2025

ASI # 4 (RE-BUILD FLUE ON EXISTING FIREPLACE)
 EXISTING AND NEW ELEVATIONS

A-204

CJV BUILDERS, LLC

PO BOX 91686
ALBUQUERQUE, NM 87199
(505)269-3974
LIC. #352758

Joe & Cathy Goldberg
1504 Harvard Court
Albuquerque, New Mexico
87106

September 26, 2025

Payment Application #2

Demolition

Ceiling/walls downstairs, electrical, walls, etc.

Aug. 8 -(2 men, 8 hours at \$90.00 per hour)	\$ 720.00
Aug. 14-(2 men, 8 hours at \$90.00 per hour)	\$ 720.00
Aug 19-(2 men, 4 hours at \$90.00 per hour)	\$ 360.00
Aug 25-(1 man, 8 hours at \$45.00 per hour)	\$ 360.00
Aug 29-(1 man, 8 hours at \$45.00 per hour)	\$ 360.00

Dumpsters-

MCT waste-(see attached billings) \$ 1,090.11

Dump Fees

Sandoval County Landfill, City of Alb., and MCT

See attached billings \$ 190.64

Paradise Village-alarm reconnect with devices \$ 1,700.00

Windows & Doors (exterior)

Marvin Windows/Doors \$ 93,448.00

Fleetwood Windows/Doors \$ 150,441.99

Total \$ 243,889.99

1/2 Down payment \$ 121,945.00

Total \$ 127,445.75

Supervision (8%) \$ 10,195.66

Total \$ 137,641.41

Overhead (9%) \$ 12,387.72

Total \$ 150,029.13

Tax \$ 11,064.64

Total \$ 161,093.77

CJV BUILDERS, LLC

a New Mexico limited liability company

by.  9/30/25

Robert P. Baines-Member

Joe Goldberg-Owner

Cathy Goldberg-Owner

Craig Hoopes-Architect