



TEL (505) 989-4958 MAIL: P O BOX 925 SANTA FE NM 87504
1524 PASEO DE PERALTA — STUDIO@MARTINEZARCH.COM

DAVIS RESIDENCE, 346 HILLSIDE AVENUE

October 15, 2024

Downtown/Eastside Historic District, Contributing

EXISTING CONDITIONS:

An existing house and studio occupy the lot. The main house was constructed in the 1920's and is Contributing. An addition was added to the main house in 1950's. The studio was constructed around the same time as the addition to the main house. A full HCPI produced by John Murphey is attached to this letter.

Our application was approved as submitted at the HDRB hearing on January 10, 2023. See the attached HDRB Board Action Letter. We then submitted for administrative approval for eliminating the exterior fireplace and removing a window under the portal. We received approval but never received our approval letter.

PROPOSED CONSTRUCTION:

As stated in our application for Administrative Approval submitted on April 14, 2023 (see attached)

We received approval but never received our approval letter.

- Eliminate exterior fireplace
- Eliminate bedroom window under portal

As stated in our application for Administrative Approval submitted on June 14, 2024 (see attached)

We never received our approval letter.

Site Plan

- The patio on the south side of the house has been reconfigured to have two different levels. A series of planters will be installed at the edges of the patio for fall protection.
- A water feature has been added that extends under the elevated patio.
- The concrete slab patio outside the Casita has been replaced with flagstone.
- A skylight was added to the Casita. It is not publicly visible.
- 2 condensing units have been added. One on the roof of the Casita and one on the east side of the kitchen.
- The existing stairs on the north side of the kitchen have been redone to meet code.

Floor Plan

- The kitchen window on the east elevation has been removed.
- The entry steps have had flagstone added to the treads.
- The steps at the kitchen door have been demolished and re-built to code with a guard rail and handrail.
- A water feature has been added that extends under the elevated patio.
- The mini-split condensing unit on the east side of the kitchen is shown.
- The Patio on the south side of the house has been reconfigured to have two different levels with steps down to existing grade. A series of planters will be installed at the edges of the patio for fall protection.
- The concrete slab at the south side of the casita has been changed to a random flagstone pattern.
- The exterior light fixture locations are now shown. See attached Finishes for photo of exterior light.

North Elevation

- The steps at the kitchen door have been demolished and re-built to code with a guard rail and handrail.
- Flagstone has been added to the treads of the entry portal steps.
- The condensing unit on the Casita roof is shown.
- The exterior light fixture locations are now shown.

East Elevation

- The steps at the kitchen door have been demolished and re-built to code with a guard rail and handrail.
- The window in the kitchen has been removed.
- The (2) mini-split condensing units are shown.
- The Patio on the south side of the house has been reconfigured to have two different levels with steps down to existing grade. A series of planters will be installed at the edges of the patio for fall protection. The planters are shown dashed for clarity.

South Elevation

- The Patio on the south side of the house has been reconfigured to have two different levels with steps down to existing grade. A series of planters will be installed at the edges of the patio for fall protection. The planters are shown dashed for clarity.
- A water feature has been added that extends under the elevated patio.
- The sliding glass door on the Casita has different divisions.
- The condensing unit on the Casita roof is shown.
- Downspouts have been added.
- Exterior light fixture locations are now shown.

West Elevation

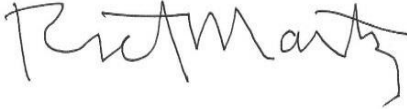
- The condensing unit on the Casita roof is shown.

Current Application of October 15, 2024 - Roof Replacement:

We are now requesting approval for the following changes to the approved drawings (See attached Exception):

- Replacing the existing asphalt shingled roof with a new metal roof. The existing roof roof has multiple leaks and must be replaced. The proposed metal roof matches the color of the shingles and is historic in color, with the appearance of weathered tin roofing.

All City of Santa Fe building codes and zoning regulations will be met.

A handwritten signature in black ink, appearing to read "Richard Martinez". The signature is fluid and cursive, with the first name "Richard" and last name "Martinez" clearly distinguishable.

Richard Martinez
Martinez Architecture Studio PC

A R C H I T E C T U R E
M A R T I N E Z
S T U D I O P C

TEL (505) 989-4958 MAIL: P O BOX 925 SANTA FE NM 87504
1524 PASEO DE PERALTA — STUDIO@MARTINEZARCH.COM

April 14, 2023

City of Santa Fe
Historic Preservation Division
200 Lincoln Ave., Santa Fe, NM 87501

RE: 346 Hillside Ave
Case #2022-006237-HDRB

Our application was approved as presented at the HDRB hearing on January 10, 2023 (see attached). We are now requesting administrative approval for the following changes to the approved drawings:

- The exterior fireplace has been eliminated.
- The bathroom window under the portal has been eliminated.

All City of Santa Fe regulations will be met.



Richard Martinez
Martinez Architecture Studio PC

A R C H I T E C T U R E
M A R T I N E Z
S T U D I O P C


TEL (505) 989-4958 MAIL: P O B O X 925 S A N T A F E N M 87504
1524 P A S E O D E P E R A L T A — S T U D I O @ M A R T I N E Z A R C H . C O M

June 14, 2024

City of Santa Fe
Historic Preservation Division
200 Lincoln Ave.
Santa Fe, NM 87501

RE: 346 Hillside Avenue
Case #2022-006237-HDRB

Our application was approved as submitted at the HDRB hearing on January 10, 2023. See the attached HDRB Board Action Letter. We then submitted for administrative approval for eliminating the exterior fireplace and removing a window under the portal. We received approval but never received our letter. We are now submitting for Administrative Approval for the items on the attached itemized list in order to pass the final historic inspection.



Richard Martinez
Martinez Architecture Studio PC

346 Hillside Avenue

Applicant's Response to Exception Criteria Removal of Historic Material for a New Roof

Following are the exception criteria set forth in City Code section 14.5.2(C)(5)(b), along with the Applicant's responses to each criterion as they relate to the after-the-fact request to remove historic material in conjunction with replacing the roof on the main house. (§14.5.2(D)(1)(a)): **“The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.”**

Pre-Existing: A +/- 6' tall coyote fence and trees between the house and Hillside Avenue partially screens views of the house. The Historic Cultural Properties inventory (HCPI) prepared by John Murphey describes the roof on the main house as a hipped roof over the 1,830 SF main house. The pre-existing asphalt shingled roof was not original and was charcoal in color. The applicant does not have information as to when the pre-existing roof was installed. The pre-existing roof suffered from multiple major leaks and was at the end of its useful life.

According to architecturedigest.com and other roofing websites, asphalt shingle-roofs typically have a lifespan of 15-30 years. Absent documentation as to when the pre-existing roof was installed, City historic staff concluded without conclusive evidence that the roof was more than 50 years old and required this request for exception based on removal of historic material.

Existing: The roof has been replaced with a new metal roof matching the color of the pre-existing roof to the extent possible and hipped configuration of the pre-existing roof. The new roof has the appearance of weathered tin roofing. The roof is comprised of Zia Lock standing seam panels.

(1) *Do not damage the character of the district.*

Response: The pre-existing asphalt shingle roof is not an architectural feature that embodies the District. The new roof matches the pre-existing color, dimensions and hipped design and thereby maintains the character of the pre-existing roof, which is most likely *not* a historic roof. The roof is consistent with roof design styles present in the streetscape along Hillside, including the house at 368 Hillside, and in the Downtown/East side of Santa Fe generally, and will not damage the character of the district.

(2) Are required to prevent hardship to the applicant or an injury to the public welfare;

Response: The pre-existing roof suffered from multiple major leaks that caused interior damage and the **Applicant's roofing contractor concluded that the asphalt shingle roof** was at the end of its lifespan. Periodic replacement of roofs is necessary to protect against water intrusion that would adversely affect the structural integrity of houses as well as its livability. As with all roofs reaching the end of their lifespan, the new roof is necessary to prevent further hardship in both respects. Deterioration of the house due to ongoing leaks would ultimately harm the public welfare, as the structural integrity of this 100+ year old contributing house would be compromised. The **Applicant's desire** in carrying out the remodel, of which this exception request is a part, is to protect and preserve the house and its appearance as a part of the fabric of the District.

(3) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts.

Response: The Applicant evaluated design options for the new roof, including patching the existing roof and installing a new asphalt shingle roof. **The Applicant's roofing contractor** advised that the condition of the pre-existing roof was such that patching was not a viable option, as the roof had reached the end of its useful lifespan. The Applicant chose to retain the longstanding structure of the hipped roof and to select a color matching that of the pre-existing roof and maintain the appearance of the roof, and a material that provides better performance and durability. Metal roofs are common **in the neighborhood and given the original construction date in the early 1920's the original roof** may have been metal. The roof on the addition was metal when the Applicant purchased the property. The Applicant rejected other design options that would change the appearance of the roof.



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT DESC: 2022-006237-HDRB. 346 Hillside Ave. Downtown & Eastside Historic District. Richard Martinez, agent for Martha Davis, proposes additions on the south elevations of the main house and the studio and the construction of an attached deck on the main house.

CASE NUMBER: 2022-006237--HDRB

PROJECT TYPE: Remodel

LOCATION: 346 HILLSIDE AVE
Santa Fe, NM 87501

CONTACTS: Applicant	Martinez Architecture Studio PC	P. O. Box 925 Santa Fe, NM 87504
Property Owner	Martha E Davis	346 Hillside AVE Santa Fe, NM 87501

BOARD ACTION

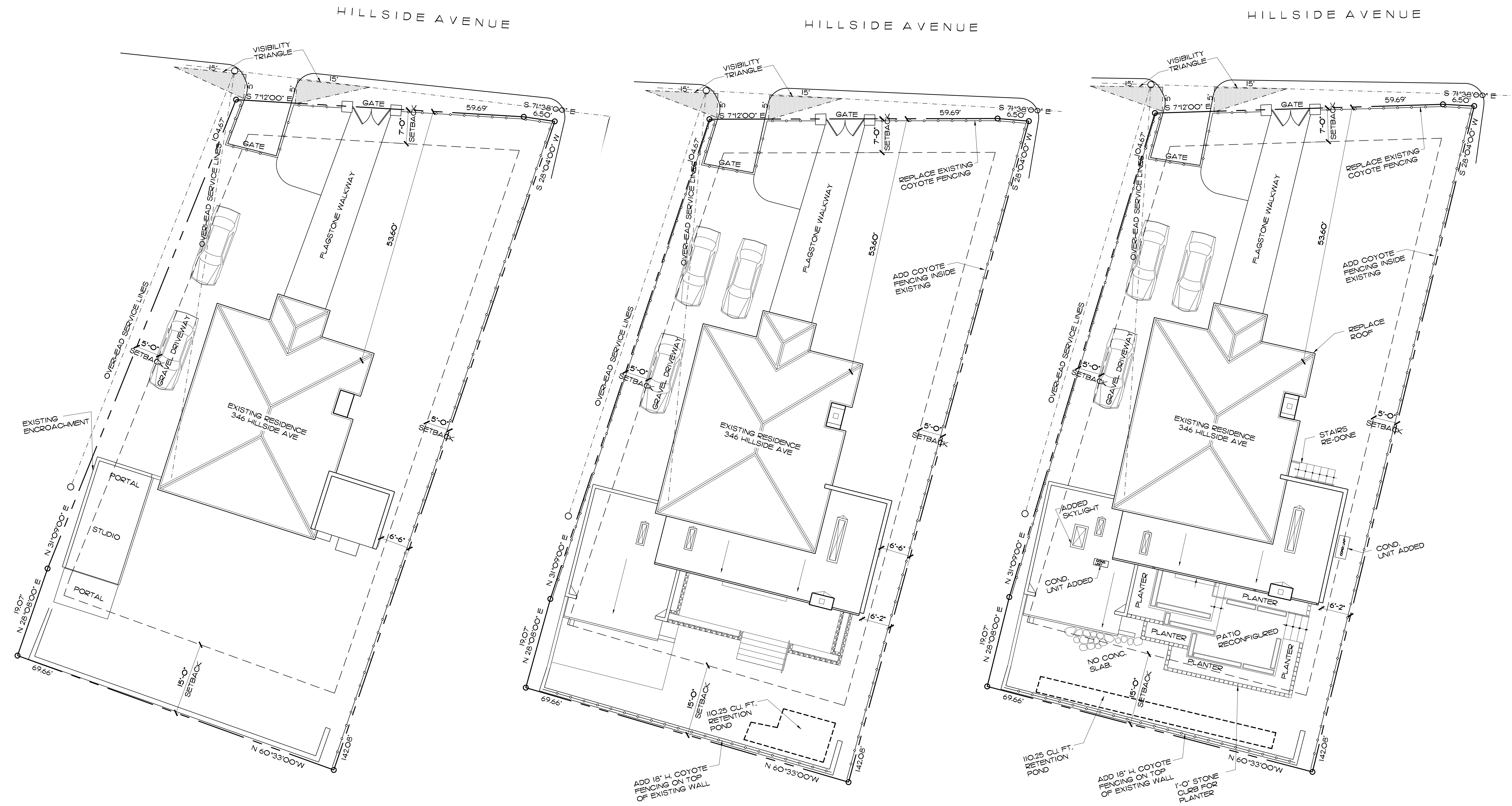
This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Jan 10, 2023. The decision of the Board was to approve the project.

For further information please call 505-955-6605.

Sincerely,

Heather Lamboy

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**



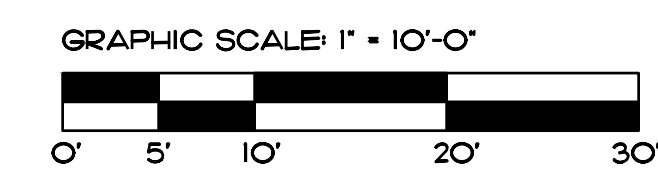
1 PREVIOUSLY EXISTING
A-1.0 SCALE: 1" = 10'-0"

1 APPROVED SITE PLAN
A-1.0 SCALE: 1" = 10'-0"

2 PROPOSED SITE PLAN
A-1.0 SCALE: 1" = 10'-0"

LEGEND:
PROPOSED SITE PLAN

- EXISTING TO REMAIN
- NEW



MARTINEZ
ARCHITECTURE
STUDIO PC

1524 PASEO DE PERALTA SANTA FE
505-989-4958 studio@martinezarch.com

DAVIS RESIDENCE
346 HILLSIDE AVE
SANTA FE, NEW MEXICO

NOVEMBER 22, 2024

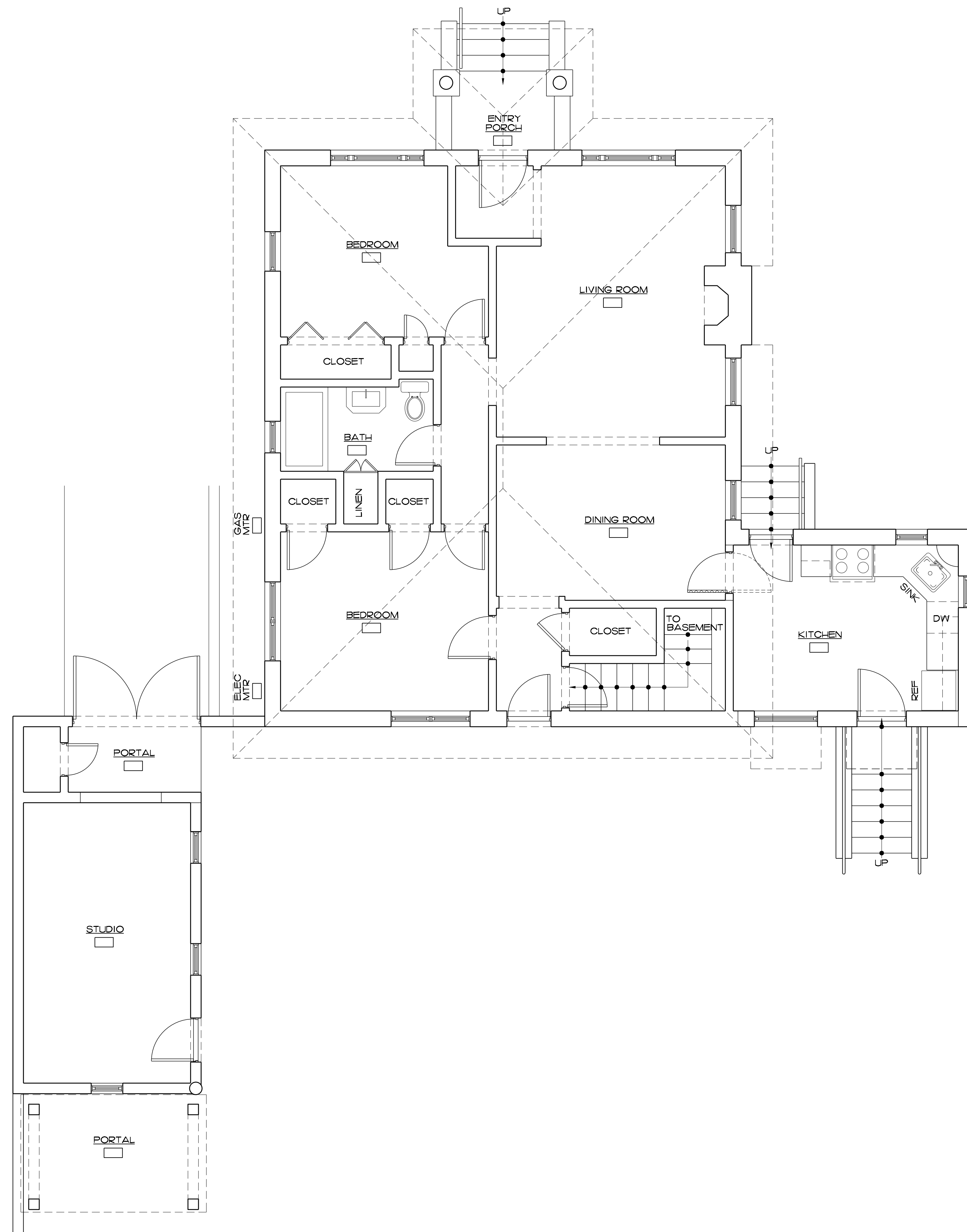
APPROVED
&
PROPOSED
SITE PLAN

A
1.0

SET #

2208 - DAVIS

P:\2208 - Davis Addition\Current Drawings\2208 - Davis_FINAL_ADMIN_APP_241122.dwg, 11/25/2024 2:34:43 PM, DWG To PDF.pc3



GENERAL NOTES:
PROPOSED FLOOR PLAN

1. ALL WALL DIMENSIONS ARE TO OUTSIDE FACE OF RIGID INSULATION, NOT ROUGH FRAMING, UNLESS OTHERWISE INDICATED.
2. CONTRACTOR SHALL COORDINATE DOOR HEIGHTS WITH EXISTING FRAMED OPENINGS.

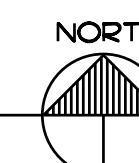
KEYED NOTES:
PROPOSED FLOOR PLAN

- 1
- 2
- 3

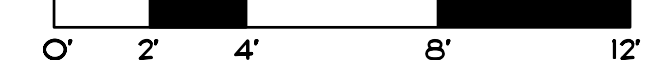
LEGEND:
PROPOSED FLOOR PLAN

- EXISTING WALLS TO REMAIN
- NEW FRAME WALLS
- STONE CLAD WALLS

1 PREVIOUSLY EXISTING
A-2.0 SCALE: 1/4" = 1'-0"



GRAPHIC SCALE: 1/4" = 1'-0"



MARTINEZ
ARCHITECTURE
STUDIO PC

1524 PASEO DE PERALTA SANTA FE
505.989.4958 studio@martinezarch.com

DAVIS RESIDENCE
346 HILLSIDE AVE
SANTA FE, NEW MEXICO

OCTOBER 15, 2024

EXISTING
FLOOR PLAN

A
2.0

SET #

2208 - DAVIS



1 PREVIOUS EXISTING NORTH ELEVATION
A-3.0 SCALE: 1/4" = 1'-0"



2 APPROVED NORTH ELEVATION
A-3.0 SCALE: 1/4" = 1'-0"

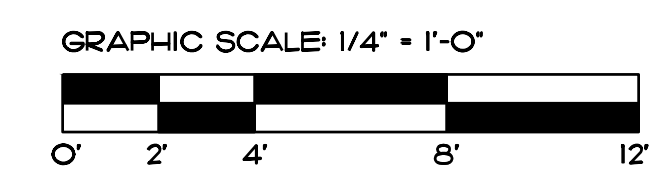


3 PROPOSED NORTH ELEVATION
A-3.0 SCALE: 1/4" = 1'-0"

LEGEND:
EXTERIOR ELEVATIONS

EXISTING TO REMAIN

NEW



MARTINEZ
ARCHITECTURE
STUDIO PC

1524 PASEO DE PERALTA SANTA FE
505.989.4958 studio@martinezarch.com

DAVIS RESIDENCE
346 HILLSIDE AVE
SANTA FE, NEW MEXICO

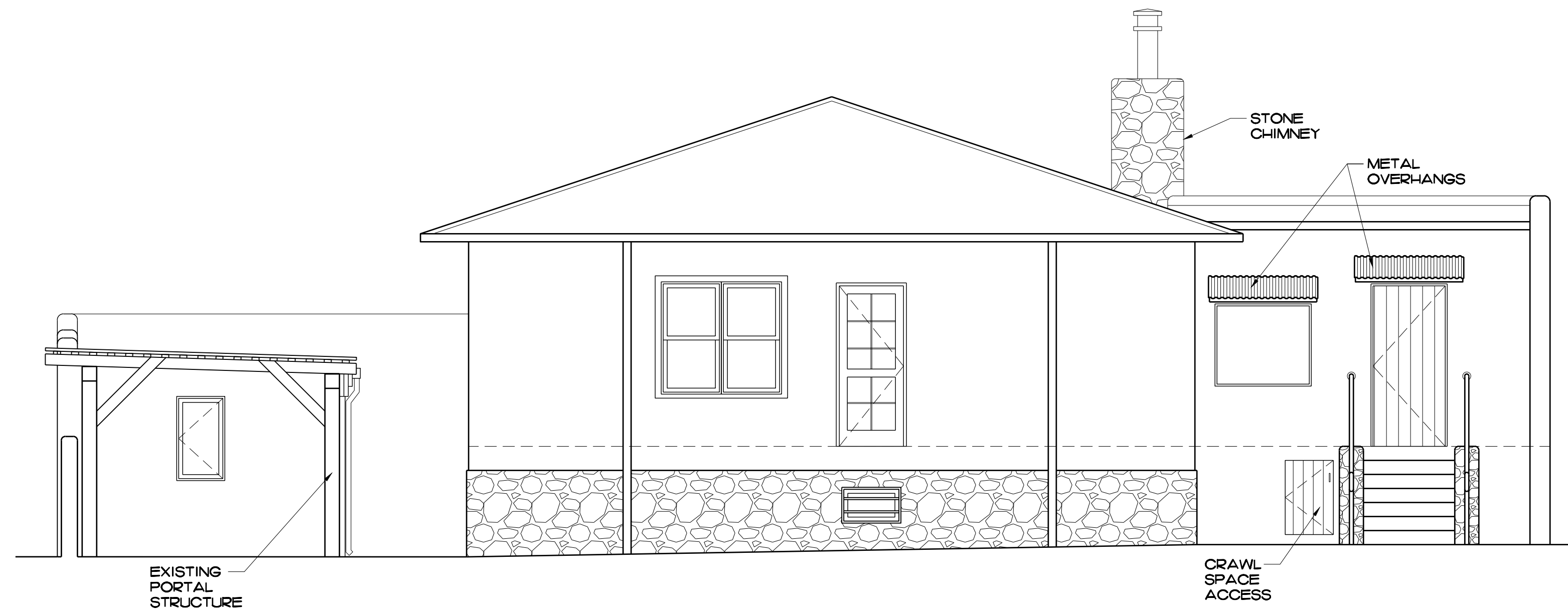
OCTOBER 15, 2024

APPROVED &
PROPOSED
EXTERIOR
ELEVATIONS

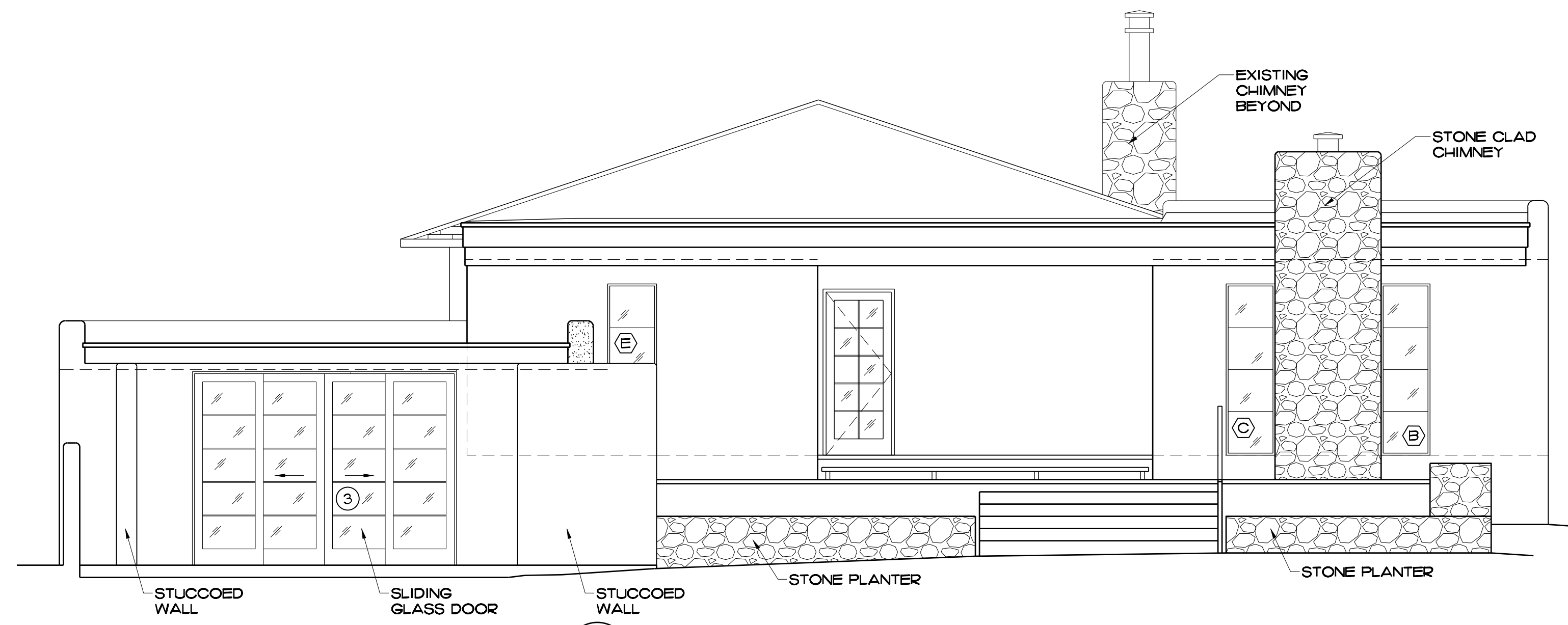
A
3.0

SET #

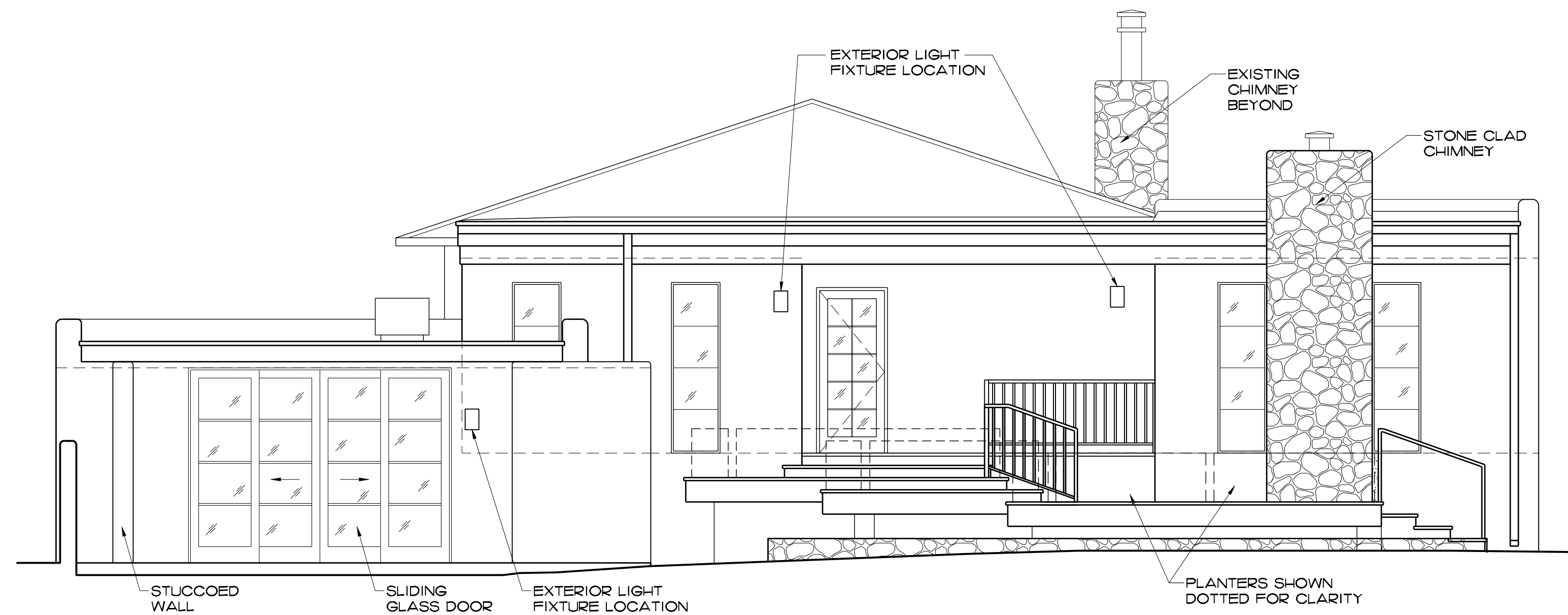
2208 - DAVIS



1 PREVIOUS EXISTING SOUTH ELEVATION
A-31 SCALE: 1/4" = 1'-0"

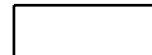



2 APPROVED SOUTH ELEVATION
A-31 SCALE: 1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION
A-31 SCALE: 1/4" = 1'-0"

LEGEND:
EXTERIOR ELEVATIONS

 EXISTING TO REMAIN

 NEW



MARTINEZ
ARCHITECTURE
STUDIO PC

1524 PASEO DE PERALTA SANTA FE
505.989.4958 studio@martinezarch.com

DAVIS RESIDENCE
346 HILLSIDE AVE
SANTA FE, NEW MEXICO

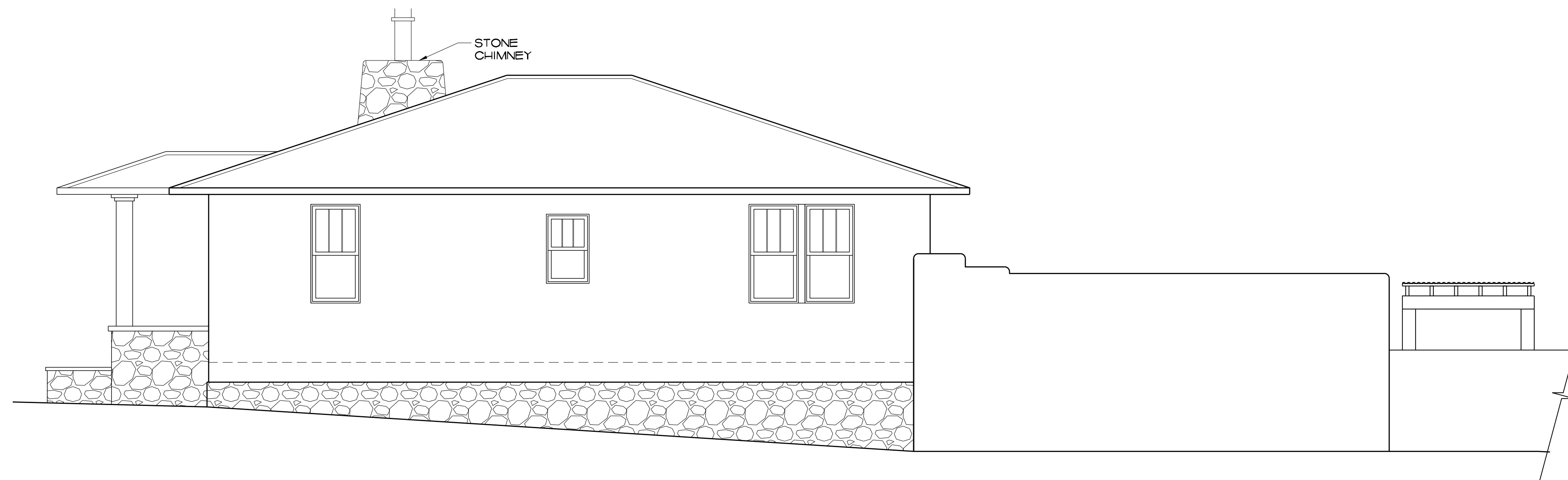
OCTOBER 15, 2024

APPROVED &
PROPOSED
EXTERIOR
ELEVATIONS

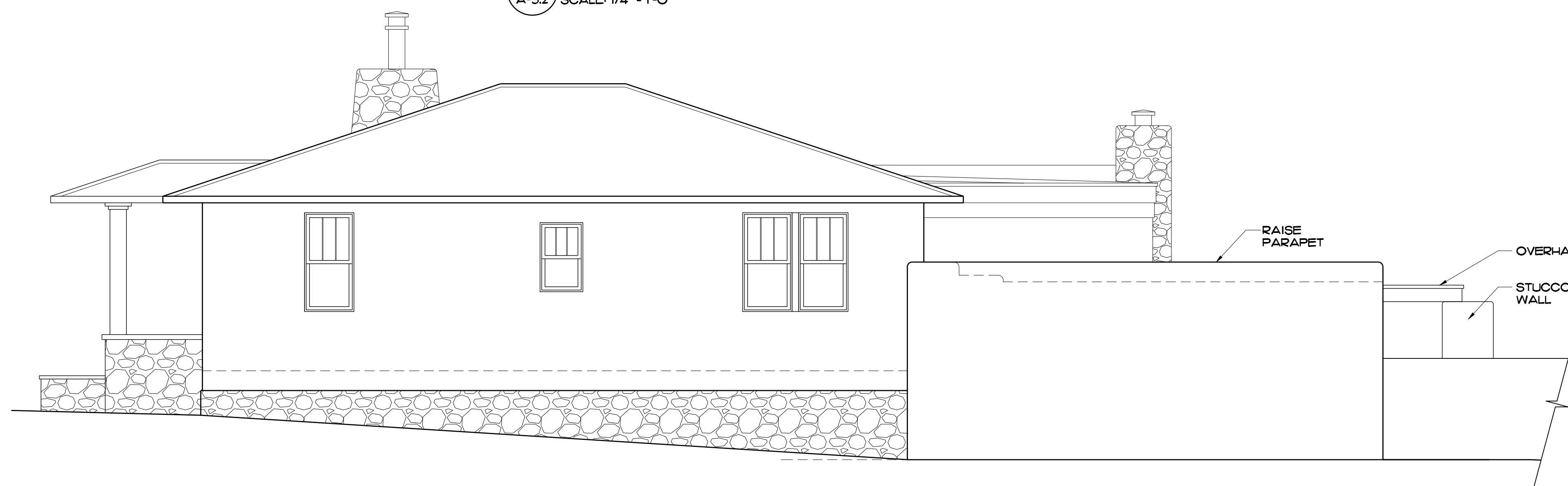
A
3.1

SET #

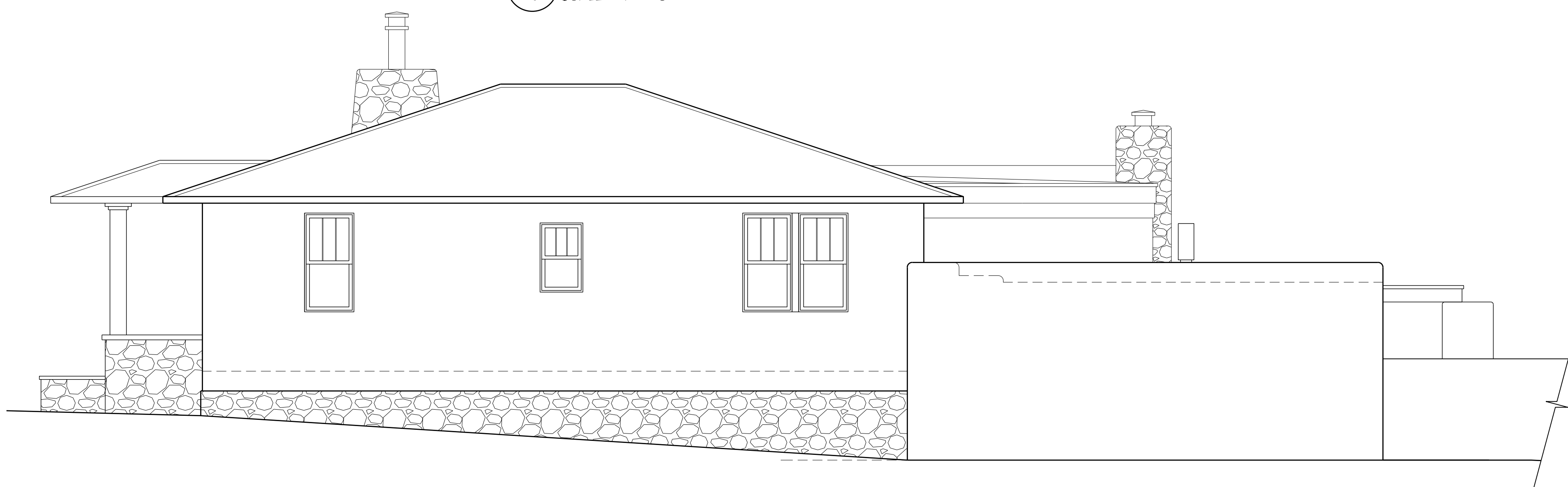
2208 - DAVIS



1 PREVIOUSLY EXISTING WEST ELEVATION
A-3.2 / SCALE: 1/4" = 1'-0"





1 APPROVED WEST ELEVATION
A-3.2 / SCALE: 1/4" = 1'-0"

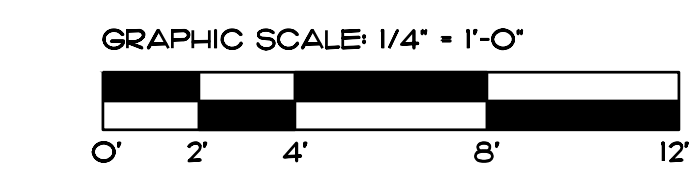


2 PROPOSED WEST ELEVATION
A-3.2 / SCALE: 1/4" = 1'-0"

LEGEND:
EXTERIOR ELEVATIONS

 EXISTING TO REMAIN

 NEW



MARTINEZ
ARCHITECTURE
STUDIO PC

1524 PASEO DE PERALTA SANTA FE
505-989-4958 studio@martinezarch.com

DAVIS RESIDENCE
346 HILLSIDE AVE
SANTA FE, NEW MEXICO

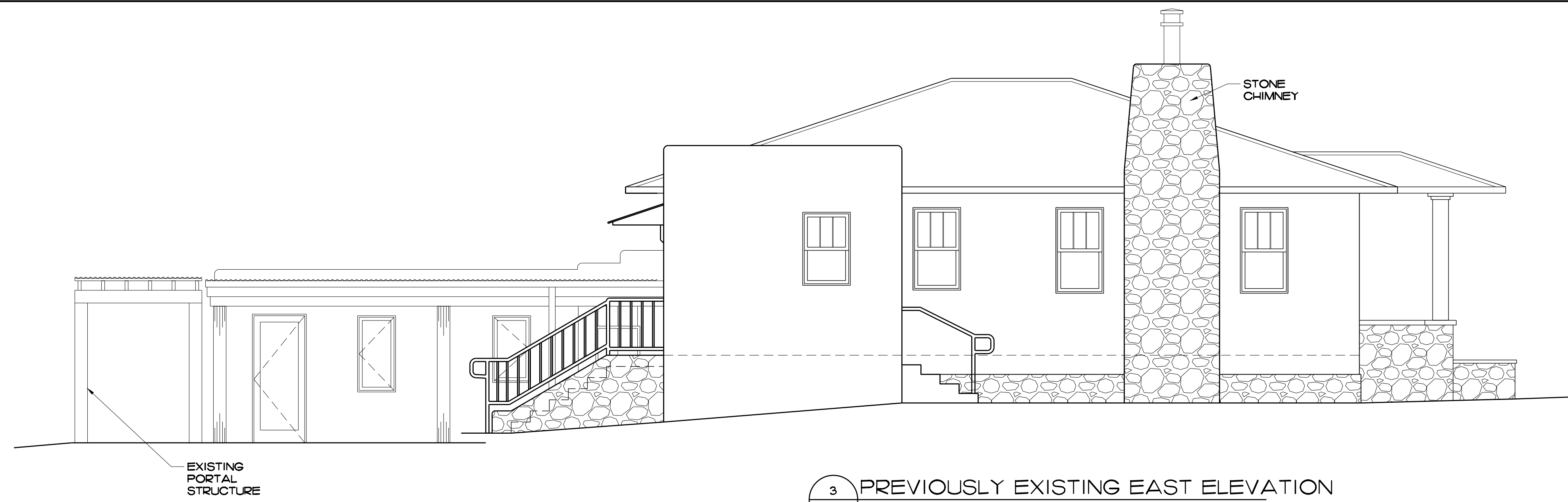
OCTOBER 15, 2024

APPROVED &
PROPOSED
EXTERIOR
ELEVATIONS

A
3.2

SET #

2208 - DAVIS

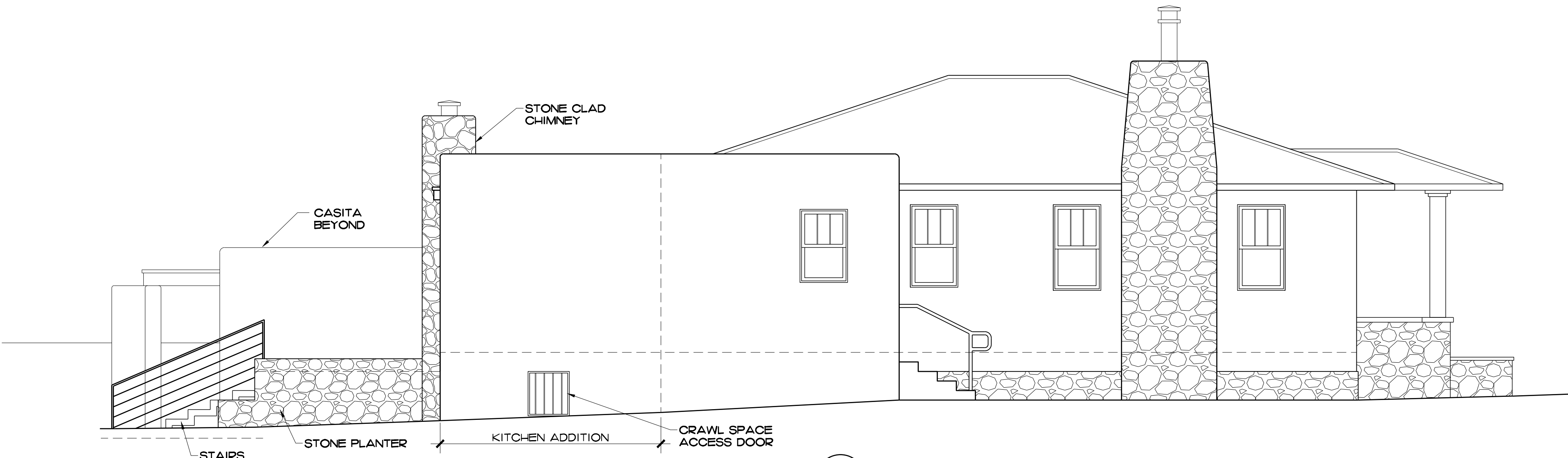


3 PREVIOUSLY EXISTING EAST ELEVATION
A-3.0 SCALE: 1/4" = 1'-0"

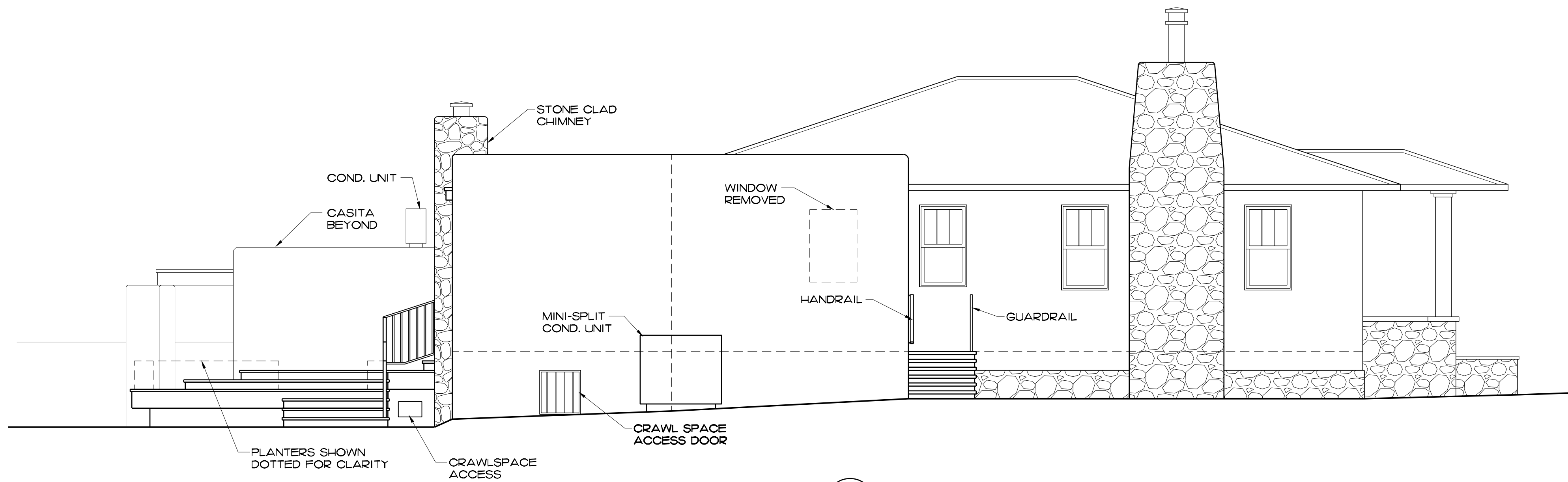
LEGEND:
EXTERIOR ELEVATIONS

EXISTING TO REMAIN

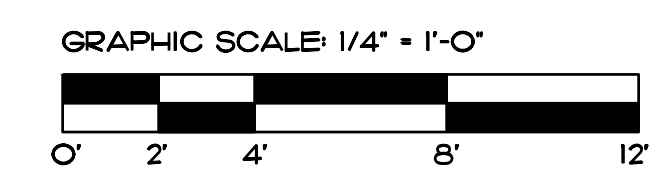
NEW



3 APPROVED EAST ELEVATION
A-3.0 SCALE: 1/4" = 1'-0"



4 PROPOSED EAST ELEVATION
A-3.0 SCALE: 1/4" = 1'-0"



MARTINEZ
ARCHITECTURE
STUDIO PC

1524 PASEO DE PERALTA SANTA FE
505-989-4958 studio@martinezarch.com

DAVIS RESIDENCE
346 HILLSIDE AVE
SANTA FE, NEW MEXICO

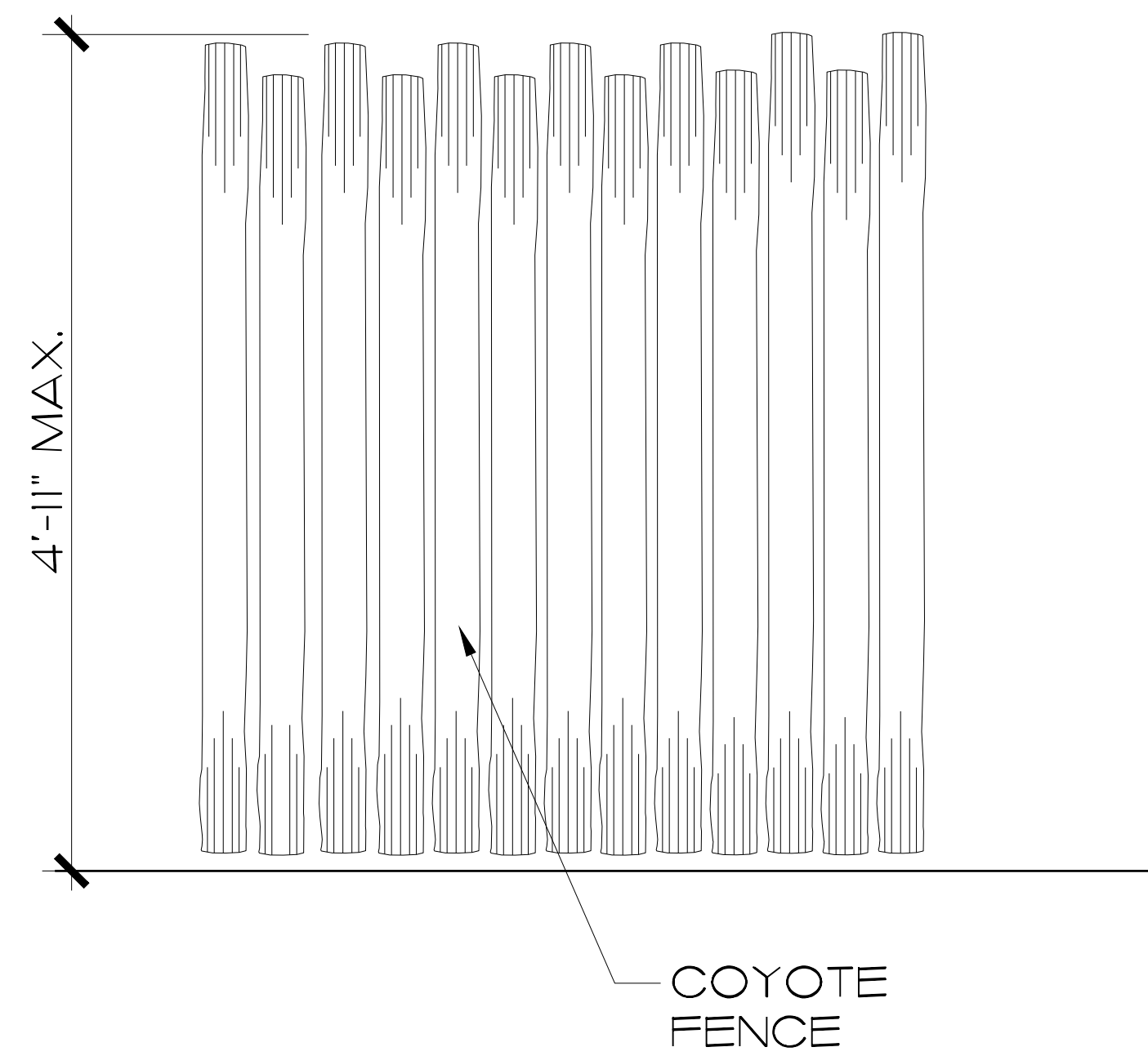
OCTOBER 15, 2024

APPROVED &
PROPOSED
EXTERIOR
ELEVATIONS

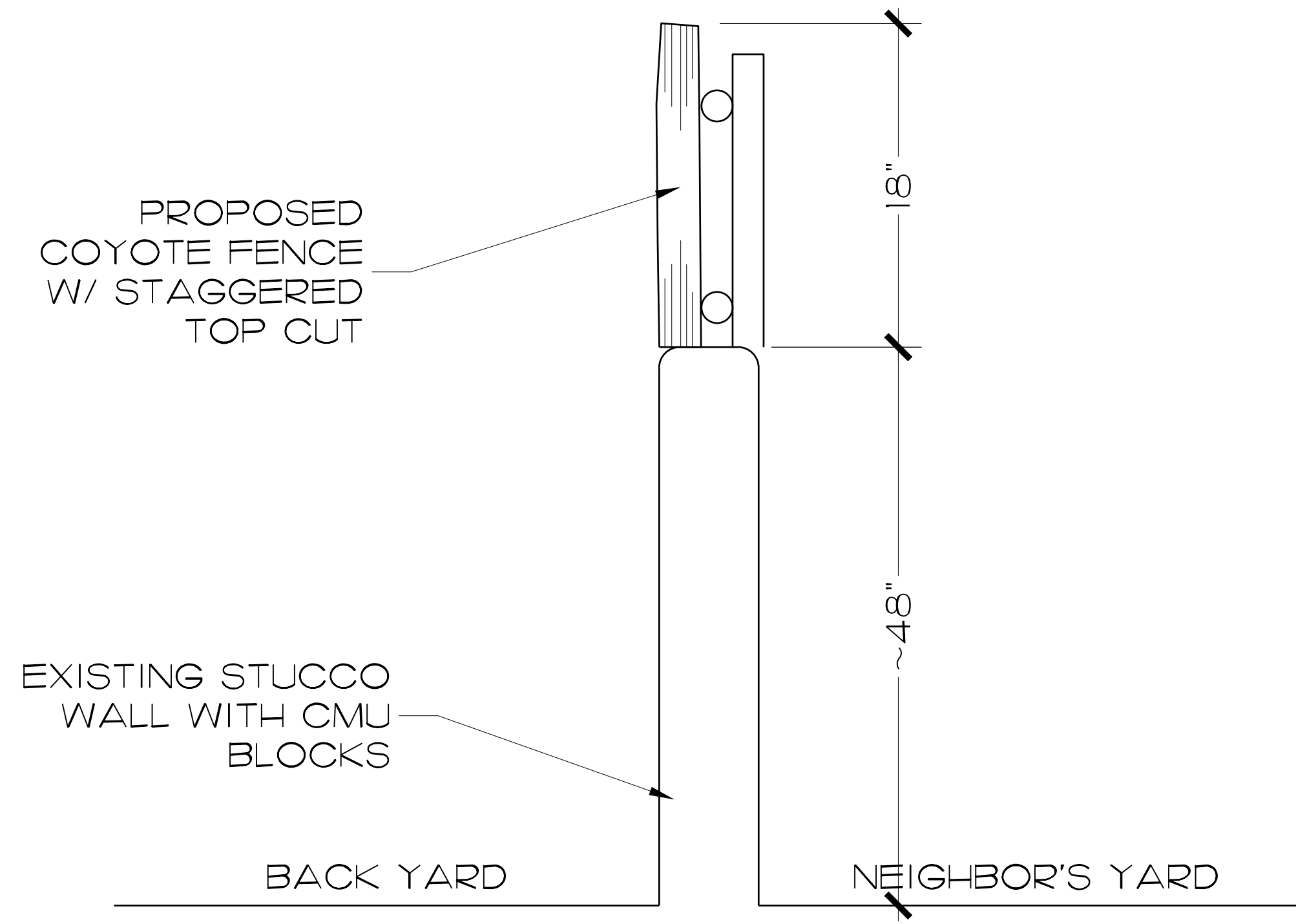
A
3.3

SET #
2208 - DAVIS

P:\2208 - Davis Addition\Current Drawings\2208 - Davis_FINAL_ADMIN_APP_241122.dwg, 11/25/2024 2:34:59 PM, DWG To PDF.pcl



1 TYPICAL COYOTE FENCE ELEVATION
A-4.0 SCALE: 1" = 1'-0"



2 COYOTE FENCE ON WALL DETAIL
A-4.0 SCALE: 1" = 1'-0"



3 PEDSTRAIN FRONT GATE
A-4.0



4 FRONT AUTOGATE
A-4.0

MARTINEZ
ARCHITECTURE
STUDIO PC
1524 PASEO DE PERALTA SANTA FE
505-989-4958 studio@martinezarch.com

DAVIS RESIDENCE
346 HILLSIDE AVE
SANTA FE, NEW MEXICO

NOVEMBER 12, 2024

FENCING AND GATE
DETAILS

A
4.0

SET #
2208 - DAVIS

A R C H I T E C T U R E
M A R T I N E Z
S T U D I O P C

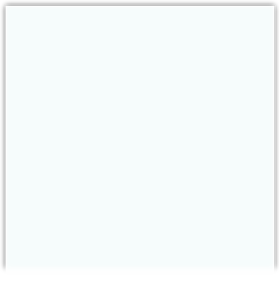
TEL (505) 989-4958 MAIL: P O BOX 925 SANTA FE NM 87504
1524 PASEO DE PERALTA — STUDIO@MARTINEZARCH.COM

346 Hillside Avenue
October 15, 2024

Stucco – El Rey “Buckskin”



Windows, Doors & Trim – “White”



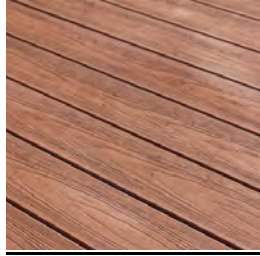
Stone Planters & Chimney



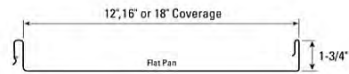
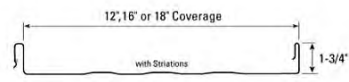
MARTINEZ ARCHITECTURE STUDIO PC

TEL (505) 989-4958 MAIL: P O BOX 925 SANTA FE NM 87504
1524 PASEO DE PERALTA — STUDIO@MARTINEZARCH.COM

Medium Brown Wood Decking



Roof



Exterior Light Fixture

