

**City of Santa Fe, New Mexico**

**Attachment C  
Applicant Submittals**

6. Master Plan

# MASTER PLAN GIRLS INC. OF SANTA FE

2904 RUFINA STREET, SANTA FE, NEW MEXICO 87507

**MASTER PLAN  
2904 RUFINA STREET**

## BUILDING CODE & ZONING INFORMATION

### APPLICABLE BUILDING CODES

SANTA FE CITY LAND DEVELOPMENT CODE  
 2021 NEW MEXICO COMMERCIAL BUILDING CODE (NMCBC)  
*2021 International Building Code (IBC) amended by NMAC Title 14 Chapter 7 Part 2*  
 2021 NEW MEXICO COMMERCIAL ENERGY CONSERVATION CODE (NMECC)  
*2021 International Energy Conservation Code (IECC) amended by NMAC Title 14 Chapter 7 Part 9*  
 2021 NEW MEXICO PLUMBING CODE (NMPC)  
*2021 Uniform Plumbing Code (UPC) amended by NMAC Title 14 Chapter 8 Part 2*  
 2021 NEW MEXICO MECHANICAL CODE (NMMC)  
*2021 Uniform Mechanical Code (UMC) amended by NMAC Title 14 Chapter 9 Part 2*  
 2020 NEW MEXICO ELECTRICAL CODE (NMEC)  
*2020 National Electrical Code (NEC) amended by NMAC Title 14 Chapter 10 Part 4*  
 2012 NEW MEXICO ELECTRICAL SAFETY CODE (NMESC)  
*2012 National Electrical Safety Code (NEC) amended by NMAC Title 14 Chapter 10 Part 5*  
 2021 INTERNATIONAL FIRE CODE

### ACCESSIBILITY

EITHER NMCBC (2021 IBC CH. 11 & 2017 ICC A117.1) OR DOJ 2010 STANDARDS FOR ACCESSIBLE DESIGN (ADA) - WHICHEVER IS MORE RESTRICTIVE.

### ZONING

CURRENT: I-1 & I-2 INDUSTRIAL (LOT 3) & C-2 COMMERCIAL (TRACT 2A, LOT 2-2);  
 PROPOSED: C-2 COMMERCIAL (BOTH LOTS)

### LOT SIZE

TRACT 2A, LOT 2-2:	0.398 ACRES	17,336.88 SF
LOT 3:	3.877 ACRES	168,882.12 SF
TOTAL COMBINED LOTS:	4.275 ACRES	186,219.00 SF

### SETBACKS FOR C-2

STREET: 15'-0"  
 SIDE: 0'-0"  
 REAR: 10'-0"

### LANDSCAPE REQUIREMENTS

PER SANTA FE CITY CODE 14-8.4

### FLOOD PLAIN

PROPOSED STRUCTURES OUT OF FLOOD PLAIN

## PROJECT TEAM

### OWNER

GIRLS INC. OF SANTA FE  
 301 HILLSIDE AVENUE  
 SANTA FE, NEW MEXICO 87501  
 (505) 982-2042



of Santa Fe

### ARCHITECT

AUTOTROPH  
 222 EAST MARCY STREET STE 19  
 SANTA FE, NEW MEXICO 87501  
 (505) 216-7555



### PLANNER

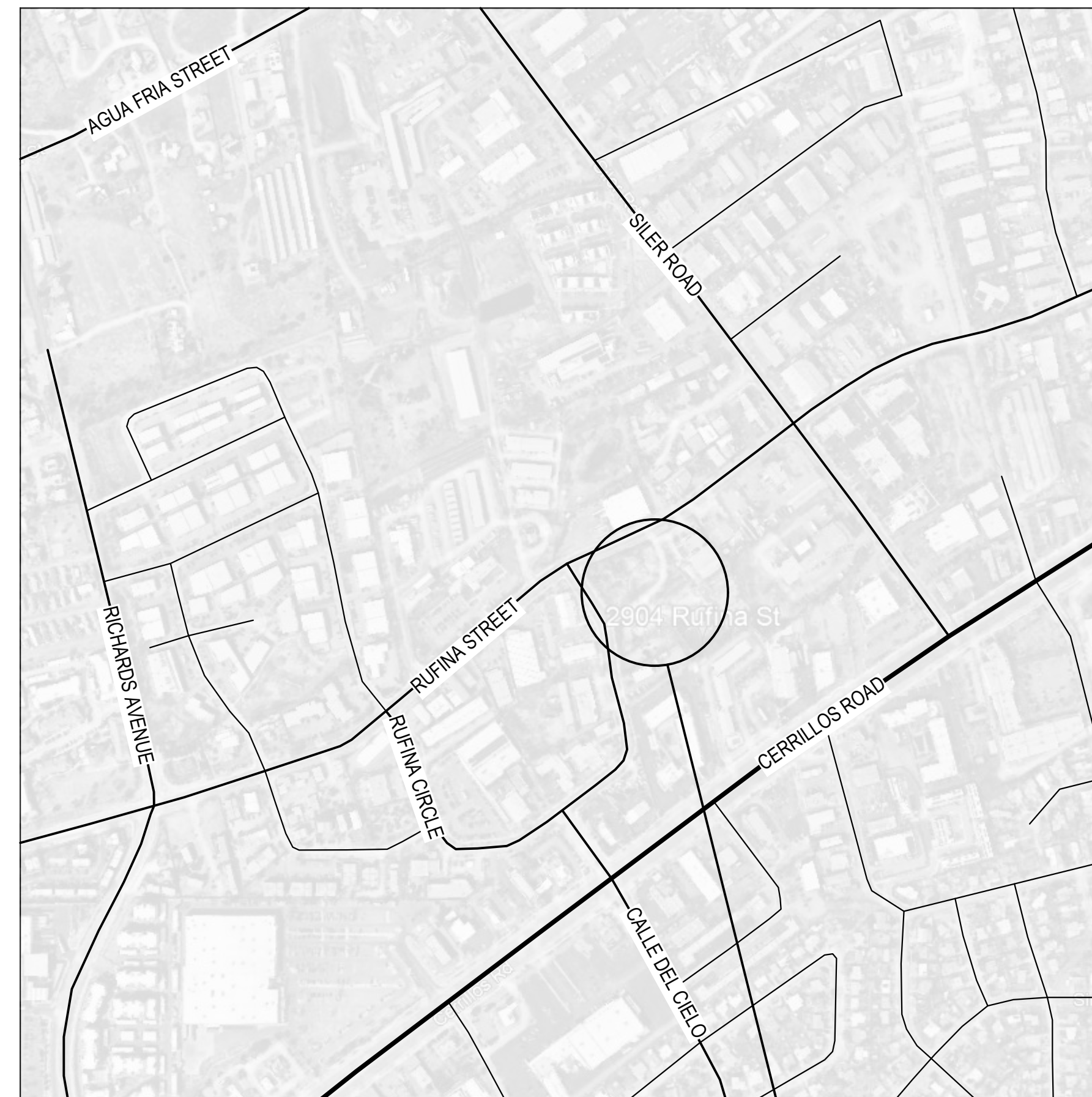
JENKINS GAVIN  
 130 GRANT AVENUE STE 101  
 SANTA FE, NEW MEXICO 87501  
 (505) 820-7444

DESIGN ENGINEERING

### CIVIL ENGINEER

DESIGN ENGINEERING  
 POST OFFICE BOX 2758  
 SANTA FE, NEW MEXICO 87504  
 (505) 989-3557

## VICINITY MAP



PROJECT SITE

## DRAWINGS INDEX

- C-0 COVER SHEET
- C-1 EXISTING CONDITIONS SITE PLAN
- C-2 PROPOSED SITE MASTER PLAN
- C-3 PROPOSED PRELIMINARY LANDSCAPE PLAN
- C-4 CONCEPTUAL TERRAIN MANAGEMENT
- C-5 CONCEPTUAL UTILITY PLAN

## DRAWINGS INFO

MASTER PLAN DRAWINGS DATE: SEPTEMBER 25, 2025  
 ARCHITECT'S PROJECT NUMBER: 2502

## CITY OF SANTA FE APPROVALS

GOVERNING BODY APPROVAL, CASE NO. 2025-\_\_\_\_\_  
 APPROVED BY THE GOVERNING BODY AT THEIR MEETING ON \_\_\_\_\_

MAYOR \_\_\_\_\_ DATE \_\_\_\_\_

ATTEST:  
 CITY CLERK \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF SANTA FE LAND USE APPROVAL:

CITY PLANNER \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEERING FOR LAND USE \_\_\_\_\_ DATE \_\_\_\_\_

NOT FOR CONSTRUCTION



No.	DESCRIPTION	DATE

GIRLS INC OF SANTA FE  
 MASTER PLAN

2904 RUFINA STREET, SANTA FE, NEW MEXICO 87507

CASE # 2025-11030

COVER SHEET

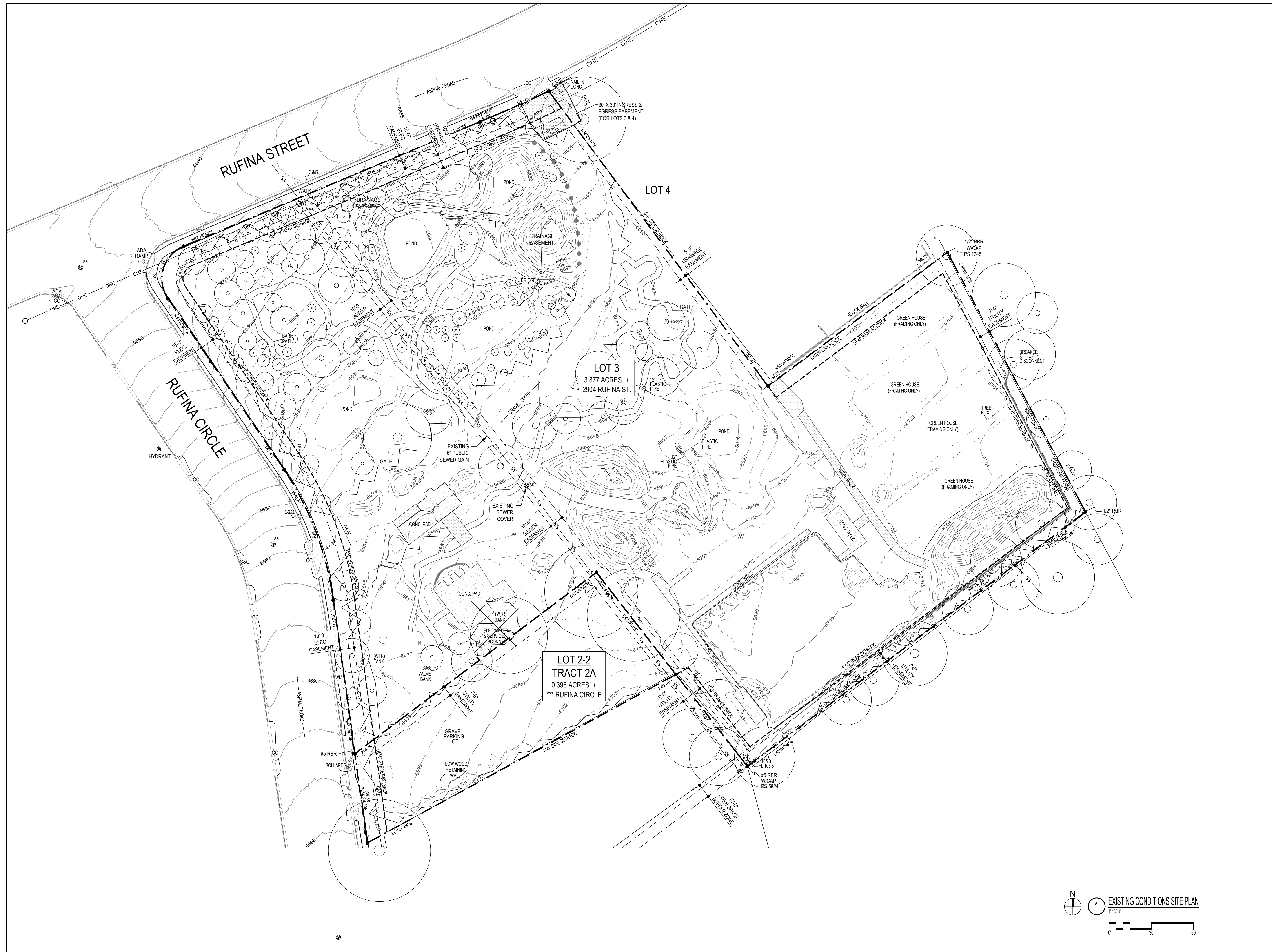
ARCHITECT'S PROJECT NUMBER: 2502  
 FIRST SUBMISSION DATE: SEPTEMBER 25, 2025

C-0



222 EAST MARCY STREET, SUITE 19  
 SANTA FE, NEW MEXICO 87507  
 (505) 216-7555  
 WWW.AUTOTROPHDESIGN.COM

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**LEGEND**

- PROPERTY LINES
- - - EASEMENT LINES
- EXISTING LARGE & MEDIUM SIZE TREES
- - - 5' CONTOUR LINES
- - - 1' CONTOUR LINES
- ▨ EXISTING CONCRETE

NOT FOR CONSTRUCTION

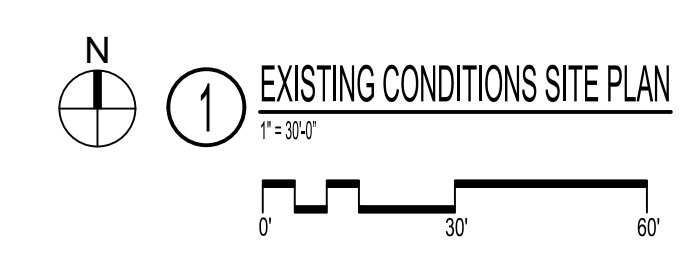


No.	DESCRIPTION	DATE

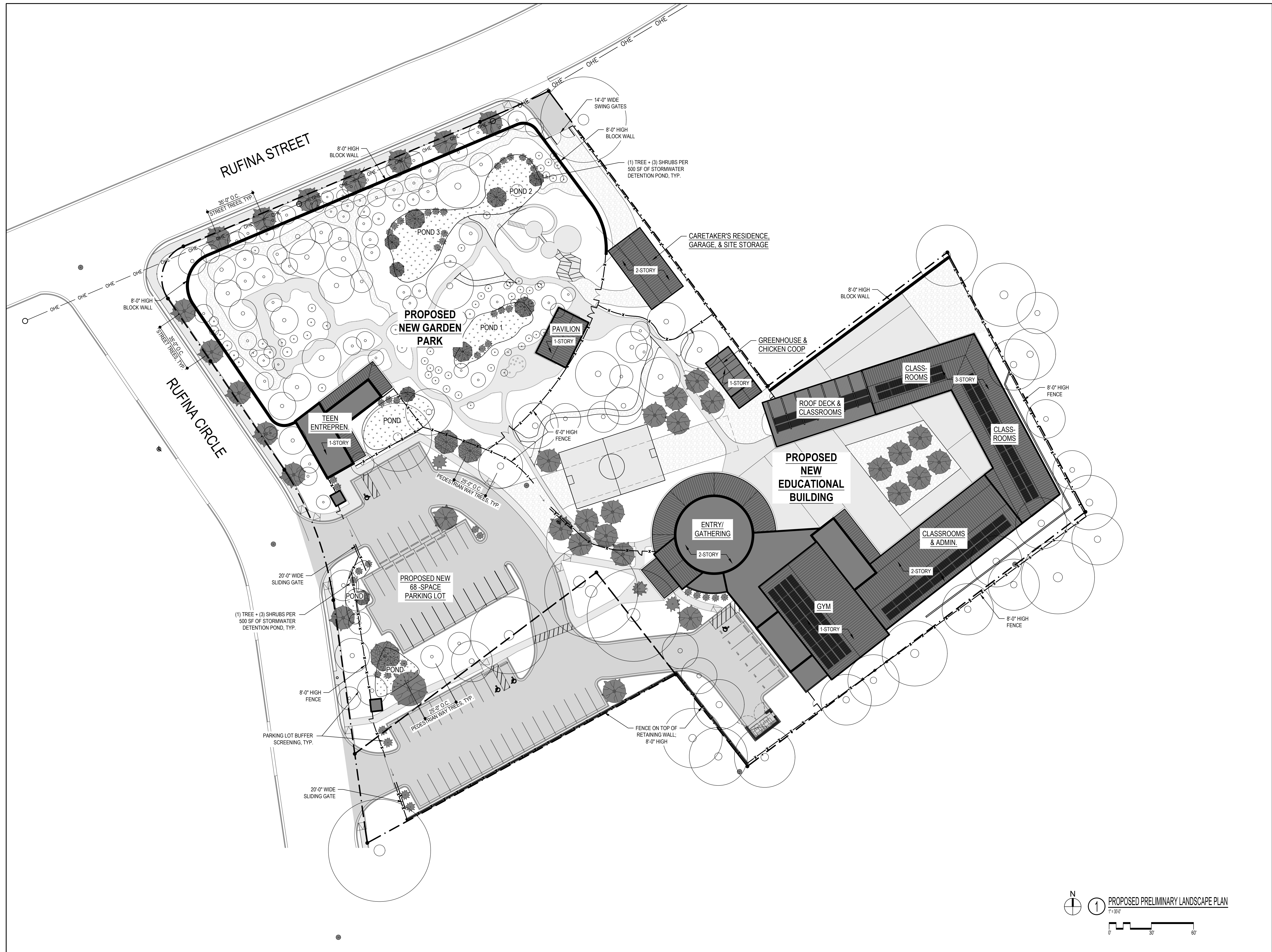
**GIRLS INC OF SANTA FE MASTER PLAN**  
 2904 RUFINA STREET, SANTA FE, NEW MEXICO 87507  
 CASE # 2025-11030  
**EXISTING CONDITIONS SITE PLAN**

ARCHITECT'S PROJECT NUMBER: 2502  
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**C-1**



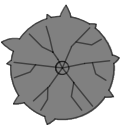
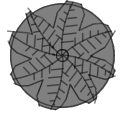

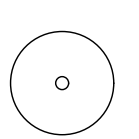




**GENERAL NOTES**

1. LANDSCAPE DESIGN SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF SFCC SECTION 14-8.4.
2. ALL DECIDUOUS TREES TO BE 2-INCH MINIMUM CALIPER.
3. ALL EVERGREEN TREES TO BE 6-FEET MINIMUM IN HEIGHT.
4. NEW PLANTS TO BE WATER-WISE CITY APPROVED PLANTS.
5. ALL PLANT MATERIAL SHALL BE COLD-HARDY TO USDA CLASSIFICATION ZONE 5.
6. NEW PLANT MATERIAL TO BE MULCHED TO A 2-INCH MINIMUM DEPTH.
7. A MINIMUM OF ONE TREE AND THREE SHRUBS SHALL BE PLANTED PER 500 SF OF REQUIRED PONDING AREA.
8. STREET TREES AND PEDESTRIAN WAY TREES SHALL BE PLANTED WITHIN THE ACCEPTABLE SPACING RANGE DESCRIBED IN SFCC SECTION 14-8.4.
9. THE LAYOUT SHOWN HEREON IS CONCEPTUAL AND MAY BE MODIFIED AS PART OF THE DEVELOPMENT PLAN PROCESS WITHOUT THE NEED FOR MASTER PLAN AMENDMENT.

**PLANT LEGEND**

-  PROPOSED NEW TREE - DECIDUOUS
-  PROPOSED NEW TREE - CONIFEROUS
-  PROPOSED NEW SHRUB
-  EXISTING TREE

NOT FOR CONSTRUCTION



No.	DESCRIPTION	DATE

**GIRLS INC OF SANTA FE MASTER PLAN**  
 2904 RUFINA STREET, SANTA FE, NEW MEXICO 87507  
 CASE # 2025-11030  
**PROPOSED PRELIMINARY LANDSCAPE PLAN**

ARCHITECT'S PROJECT NUMBER: 2502  
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