



PURPOSE AND INSTRUCTIONS

Prior to a public hearing in front of the Historic District Review Board (HDRB) all applicants must obtain Historic Districts Preliminary Zoning Review (HPZR) from the Current Planning Division. The HPZR does not grant zoning approval. Following design approval from the HDRB, final zoning review will be performed at the time of building permit.

Applicants must submit complete and accurate information for review. Incomplete submittals will not be processed. All HPZR requests must be submitted to Current Planning via zoningcounter@santafenm.gov

PROJECT INFORMATION

Form with fields for Date (4-8-2025), Property Owner (Christopher Greulich & Matthew Boland), Applicant/Agent Contact (Charles Rosenberg), Site Address (439 Camino del Monte Sol), and various zoning and setback details.

Historic Planning Case Manager Paul Duran

If you selected "other," please write in the name of your case manager.

ADDITIONAL SUBMITTALS (IF APPLICABLE)

Form with checkboxes for Affidavit Restricting Use of an Accessory Structure, Setback Affidavit, Site Visibility Triangle, Escarpment Slope Analysis, and Flood Plain Grading Plan.

This hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting the Land Use Department staff prior to HDRB hearing.

Charles William Rosenberg Owner Applicant Agent

To Be Completed by Land Use Department Staff

PRELIMINARY REVIEW STATUS

Form with checkboxes for Preliminary Reviewed, Reviewed w/ conditions, Denied, and handwritten comments: lot is not zoned for commercial Arts Activities. Includes fields for completed by (Rebekah Clouser) and date (4/25/25).



**City of Santa Fe**  
Land Use Department  
200 Lincoln Ave.  
Santa Fe, New Mexico 87504-0909

**PROJECT** 2025-010871-HDRB, 439 Camino del Monte Sol, Downtown and Eastside Historic District,  
**DESC:** Contributing, Craig Hoopes, agent for Chris Greulich and Matthew Boland, owners, request status review with primary façade designation(s) if applicable.

**CASE NUMBER:** 2025-010871--HDRB

**PROJECT TYPE:** Historic Status Review

**LOCATION:** 439 CAMINO DEL MONTE SOL  
Santa Fe, NM 87505

**CONTACTS:** Applicant Craig Hoopes 333 Montezuma Ave.  
Santa Fe, NM 87501


## **BOARD ACTION**

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Aug 26, 2025. The decision of the Board was to adopt staff's recommendation that the historic status of the structure be upgraded to significant for all the reasons set forth in the staff report and for some of the additional specific reasons that were flushed out in the discussion tonight including the fact that this was one of the very earliest if not earliest design inspirations at least of John Gaw Meem in 1925 for what was then being developed as the Spanish Pueblo Revival style, that Mary Austin, herself seemed to be involved in this with the assistance of another very important figure Frank Applegate, so if there are modifications that were made from the original Meem drawings it's fair to assume that they were made by Mary Austin, herself and Frank Applegate, that the house was the center of cultural activities in Santa Fe for nearly a decade at one of the most significant periods in Santa Fe's history including the origin of the Santa Fe preservation movement and the origin of the Old Santa Fe Association as founded by Mary Austin and others in that circle that revolved around this very house, that it was deeded by Mary Austin to be continued as a cultural property under the ownership of the Indian Arts Fund and was for several years, that it was then a school of fine arts, that included all the faculty who were very important Santa Fe artists, and that most of the modifications that have been made to the property since the time it was originally built were made in the historic era and are more than 50 years old and show the evolution and accretive style of Santa Fe architecture and therefore find that it does retain a high level of historic integrity and it's important for it's associations and also a finding that there is information in the record that some of the modifications to the exterior may be non-historic and that would be taken into consideration by the Board in any future applications.

For further information please call 505-955-6605.

**NOTE:** Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**

Sincerely,

A handwritten signature in black ink that reads "Paul A. Duran". The signature is written in a cursive style with a large, stylized "A".

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Paul Duran

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# ARCHITECTURAL History Services

**John W. Murphey**  
Architectural Historian/Researcher/Planner  
Santa Fe, New Mexico  
San Francisco Bay Area, California  
john@archhistoryservices.com  
Maryland Business Listing L- 17332974  
New Mexico CRS: First Light Consulting, CRS #03-224084-00-8

July 13, 2025 – Revised July 23, 2025, upon receiving full set of John Gaw Meem drawings

Craig Hoopes, AIA, NCARB  
Hoopes Architects  
333 Montezuma Avenue  
Santa Fe, NM 87501

## **Re: 439 A Camino del Monte Sol – Evaluation for Significant Structure Status**

Dear Mr. Hoopes:

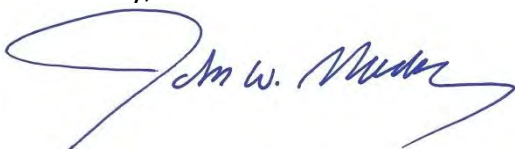
Per your June 13, 2025 email, I understand that the Historic Districts Review Board requested an evaluation of the above-referenced property for potential designation as a Significant Structure within the Downtown and Eastside Historic District. From this request, it appears the HDRB sought to determine whether the building might hold individual significance as a work associated with architect John Gaw Meem.

After reviewing period architectural drawings, early photographs, and available aerial imagery, it is clear that the building has undergone substantial alterations that have severely compromised its ability to convey Meem's original design for his client, Mary Hunter Austin. Over the decades following Austin's death in 1934, the structure experienced successive additions, expansions, and interior modifications that obscured or removed nearly all character-defining features from the Meem era. The only surviving façade is the original portion of the north elevation holding the entry door.

The building's cumulative changes — including the transformation of each elevation, reconfiguration of interior spaces, replacement of original fenestration, and introduction of non-historic design elements such as large skylights — have substantially eroded its historical integrity. These factors preclude the property from meeting the City of Santa Fe's requirements for Significant Structure status, which demand a high degree of integrity and clear representation of its period of significance.

The findings presented below summarize the property's historical evolution and provide a direct comparison between its original design of the Austin and Meem period, and its current altered condition, underscoring why it no longer embodies the distinctive characteristics necessary for Significant Structure designation.

Sincerely,

A handwritten signature in blue ink, appearing to read "John W. Murphey". The signature is fluid and cursive, with a long, sweeping underline that extends to the right.

## Capsule Property Development History

### Mary Austin

Mary Hunter Austin (1868–1934) first arrived in Santa Fe in 1918, following an invitation from Ina Sizer Cassidy to visit the city. Austin, a well-known and respected playwright and author who had previously written about the Paiute Indians of the Mojave Desert, sought to expand her research into Native American cultures of the Southwest. Cassidy, a sculptor and writer, introduced Austin to Edgar Lee Hewett, director of the School of American Research, who could help facilitate her work.<sup>1</sup>

In late April 1918, Austin left New York City and boarded a train west to Santa Fe. She made an initial, brief scouting visit and returned that fall for a longer stay. The *Santa Fe New Mexican* noted her second arrival, announcing that the “famous novelist and playwright” would return to study “Pueblo tenure and Indian communal customs.”<sup>2</sup>

In a letter to her publisher, Houghton Mifflin, Austin described her warm welcome, particularly at the School of American Research (then housed in the Palace of the Governors), where she began her studies: “I am now sitting in almost the oldest building... The school here has put every facility at my command and the field is so rich that I lie awake nights fearing somebody may take it away from me.”<sup>3</sup> She was celebrated soon after in an article in *El Palacio*, which offered a glowing account of her career.<sup>4</sup>

Austin immediately immersed herself in Santa Fe’s cultural life, establishing the Community Theater Association in December.<sup>5</sup> During this period, she also visited Mabel Dodge Luhan’s home and salon, *Los Gallos*, in Taos. Luhan — the daughter of Charles Ganson, an immensely wealthy banker — had become a collector of artists and one of the country’s most influential art patrons. The scene at Los Gallos inspired Austin, who envisioned creating a similar salon-like environment in Santa Fe.<sup>6</sup>

This vision led to Austin’s acquisition of several parcels of land off Camino del Monte Sol, a road running from Acequia Madre to the Sunmount Sanatorium that was lined with artists’ homes and studios. These purchases comprised three deeds issued between 1923 and 1926 for land acquired from the Romero and Sandoval families.<sup>7</sup> As she explained in her autobiography, the “circumstances were all favorably arrayed” to build a home. “I had a novel half-done, several good

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<sup>1</sup> Augusta Fink, *I-Mary: A Biography of Mary Austin* (Tucson: The University of Arizona Press, 1983), 182.

<sup>2</sup> “Personal Gossip of the Town,” *Santa Fe New Mexican*, October 12, 1918, 8.

<sup>3</sup> Quoted in Fink, *I-Mary*, 185.

<sup>4</sup> *Ibid.*

<sup>5</sup> “Community Theatre Association,” *Santa Fe New Mexican*, December 4, 1918, 4.

<sup>6</sup> Ester F. Lanigan, *Mary Austin: Song of Maverick* (Tucson: The University of Arizona Press, 1989), 152-154.

<sup>7</sup> These deeds are recorded individually and referenced in the Executor’s Deed from Harry P. Mera et al. to Clyde B. Gartner, recorded August 11, 1939, in Book 18, Page 58, Instrument No. 59844, records of Santa Fe County, New Mexico.

magazine commissions, and money on hand to accomplish the house as *I had planned it.*<sup>8</sup>

### ***Casa Querida* and John Gaw Meem**

In 1925, Austin had her house constructed on Camino del Monte Sol. She later named it Casa Querida, or “The Beloved House,” though never referred to is as such in *Earth Horizon*, her autobiography written at the home in 1932.

Austin — and several of her biographers — emphasized that she designed and built Casa Querida herself. She had done the same with her earlier home, Rose Cottage, in Carmel, California, 18 years before.<sup>9</sup> In her autobiography, she refers only briefly to the construction, stating: “I had rented a place at the top of the hill [a Frank Applegate property] and engaged a builder.”<sup>10</sup> She never mentions an architect who may have assisted her with the design. However, upon examining John Gaw Meem’s early project files, it appears that the young designer may have provided assistance to Austin in designing Casa Querida.

At that time, Meem was staying at Sunmount Sanatorium, where he opened an architectural practice in a shed with fellow patient Cassius D. McCormick. McCormick, an Indiana-born son of an industrialist, brought business acumen, project development experience, and financial resources to the partnership. On February 22, 1924, they announced their new firm, Meem & McCormick, Architects.<sup>11</sup> The pair quickly became involved in Santa Fe’s booming residential construction scene, serving as consulting architects for a local real estate syndicate.

Through his contacts at Sunmount — most of them wealthy — Meem gained commissions for small residential and remodeling projects. His first chance at actual design came in 1924 when one of his fellow patients, Hubert Galt, a Chicago capitalist, purchased a five-room adobe house and asked Meem to develop a renovation scheme.<sup>12</sup>

This early work was followed the next year by a rush of new commissions for new homes, including one for Mary Austin. This work included formative projects such as the Ashley Pond House, the Meadors-Staples-Anthony House, and a dude ranch designed for the actor Tex Austin.

The file for the Mary Austin project is marked No. 9 and comes after the Ashley Pond project. It contains over 30 drawings, many of them studies, suggesting various façade and floor plan layouts. The surviving drawings show that Meem developed five different schemes for Austin (Fig. 2). This level of iteration is unusual and may indicate Meem’s uncertainty or, more likely, that Austin was actively involved in the design process and requested multiple changes.

Austin was 25 years older than Meem and was in a much more powerful position than the young architect (or, more accurately at this point, designer), who was just beginning his career. They did

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<sup>8</sup> Mary Austin, *Earth Horizon: Autobiography* (New York: Houghton Mifflin Co., 1932), 355. Emphasis added.

<sup>9</sup> *Ibid.* and Lanigan, *Mary Austin: Song of Maverick*, 153.

<sup>10</sup> Austin, *Earth Horizon: Autobiography*, 355.

<sup>11</sup> John W. Murphey and Alan “Mac” Watson, *John Gaw Meem Office* (National Register of Historic Places Nomination), Santa Fe, N.M.: New Mexico Historic Preservation Division, 2018, 31.

<sup>12</sup> *Ibid.*, 28.

not appear to move in the same social circles. Austin was an activist, championing Native American rights and pushing for the passage of the Pueblo Lands Act of 1924; Meem seeking commissions and giving lectures to groups such as the Kiwanis, of which he was a member.

The drawings — many of them undated — begin to show the two (this is assumed) arriving at a design that would inform Casa Querida. Among these is a final construction set, dated May 25, 1925, illustrating the north, west, south, and east elevations of the planned house (Figs. 3-7). These drawings, coupled with photographs taken during its construction, help suggest what was actually built — a house quite different from the structure that stands on the site today (Figs. 23-27).

Austin's autobiography does not mention Meem in any connection but does discuss her friendship with Frank Applegate, an artist and sculptor who was also something of a designer. Applegate had redesigned the de la Peña House and is credited with work on other artists' homes and studios along Camino del Monte Sol. While Applegate's biographers state that Austin hired Meem to "design and build" the house—something an architect typically would not have done at the time—it appears Applegate instead served as an informal adviser during construction.<sup>13</sup> The biographers further claim that Applegate's wife, Betty Applegate McClung, recalled that he often ridiculed its design.<sup>14</sup>

Despite Meem's involvement, he is not mentioned in any contemporary accounts in the *Santa Fe New Mexican* connecting him to the house or to Mary Austin. Articles in 1925 do mention him in relation to other commissions, including the Tex Austin dude ranch, a house designed for Emory Stedman, a patio addition at Sunmount, and future work for the Church of the Holy Faith.<sup>15</sup>

A brief note in the *New Mexican* on May 27, 1925, stated that Mary Austin was building a home on Camino del Monte Sol, evidenced by "long rows of adobes, now baking in the sun."<sup>16</sup> Another article, a few months later, identified the building's contractor as Pete Harkins and listed its cost at \$10,000.<sup>17</sup> Based on newspaper accounts, Casa Querida was completed in November 1925 and occupied by Mary Austin and her niece, Mary Hunter, in December. Several photographs were taken after its completion (Figs. 8-13; see also Figs. 23-27).

Casa Querida's front door opened into a viga-beam hallway that organized the house, which contained seven principal rooms (Fig. 27). The front area held the public spaces, including a large reception room where Austin hosted teas and led her salon. On the opposite side was an intimate sitting room and library (Fig. 12). This space featured a corner fireplace and a bookshelf that, according to a drawing by John Gaw Meem, could hold 3,000 books. A door to the east opened into Austin's writing room that included a vault for safeguarding her manuscripts. Based on photographs, these rooms were decorated with handmade tin light fixtures, carved tables, and Native American pottery.

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<sup>13</sup> Daria Labinsky and Stan Hieronymus, *Frank Applegate of Santa Fe: Artist and Preservationist* (Albuquerque: LPD Press, 2001), 174.

<sup>14</sup> *Ibid.*

<sup>15</sup> Review of articles printed in the *Santa Fe New Mexican*, January to December 1925.

<sup>16</sup> "Many Fine Homes are Going up in Old Santa Fe," *Santa Fe New Mexican*, May 27, 1925, 5.

<sup>17</sup> "Building Activity is Continuing; Many Fine Homes Are Going Up," *Santa Fe New Mexican*, August 17, 1925, 6.

Continuing south, the hallway led to a bedroom and a living room. Mary Austin's bedroom was situated next to her study, while the living room stood to the west. A small kitchen occupied the southwest corner. A patio, or placita, was accessed through a door adjacent to a framed window wall in the living room. Along the west side of this patio, a wood arbor, or ramada, extended to connect the kitchen to the maid's quarters (Fig. 13).

### The Genius Club

Similar to Mabel Dodge Luhan's gatherings in Taos, Mary Austin established her own salon in Santa Fe. She hosted teas and supported the so-called Genius Club, a literary circle centered on manuscript reviews and discussions of contemporary literary trends.<sup>18</sup> Artists and writer friends from New York and beyond often visited, including the much younger photographer Ansel Adams, with whom Austin collaborated on *Taos Pueblo* (1929).

Her Santa Fe circle included Gerald and Ina Sizer Cassidy, Gustave and Jane Baumann, Will and Helen Shuster, Andrew Dasburg, Ida Rauh Eastman, and Witter Bynner, all frequent visitors to Casa Querida. On one occasion, while Austin was hospitalized, she lent her home to Willa Cather, who reportedly wrote portions of her novel *Death Comes for the Archbishop* there.<sup>19</sup>

Austin remained an active advocate for Native American rights and the arts throughout her later years. She donated the tract of land north of Casa Querida to the Indian Arts Fund, a nonprofit organization established in 1925 by Andrew Dasburg, Frank Applegate, Kenneth Chapman, and others to promote Native art and support a planned school for its study.<sup>20</sup> Austin envisioned the property as the center of this activity and hoped to build a museum on the adjacent land.<sup>21</sup>

In her will, she designated the Indian Arts Fund as the recipient of her house and the rest of her property. However, the establishment of the Laboratory of Anthropology in 1927—backed by significant financial support from John D. Rockefeller Jr.—ultimately derailed her plans for an independent museum and educational center.<sup>22</sup> Her collection of Native American art and artifacts would eventually be donated to the Laboratory of Anthropology.

In her final years at Casa Querida, Austin focused on completing two novellas and her autobiography. Now in her sixties, she began to suffer from coronary disease, experiencing her first heart attack in 1933. Cerebral hemorrhages further impaired her speech and thinking. Her niece, summoned from Chicago to assist her, found—as one biographer described it—Austin's "business affairs... in a state of utter confusion, with neglected bills, misplaced royalty checks, and

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<sup>18</sup> Fink, *I-Mary*, 231. Fink mistakenly claims that Austin formed the Genius Club, but evidence suggests it existed before she moved permanently to Santa Fe. Newspaper articles indicate that her presence, as an experienced writer, lent significant credibility to the group and helped local participants, such as Frank Applegate, get published.

<sup>19</sup> Austin, *Earth Horizon*, 359.

<sup>20</sup> Warranty Deed, Mary Austin to Indian Arts Fund, recorded August 28, 1926, Book T, Page 642, Instrument # 32140, Santa Fe County, New Mexico.

<sup>21</sup> *Ibid.*, 361.

<sup>22</sup> Fink, *I-Mary*, 231-32.

practically no cash in the bank.”<sup>23</sup>

Mary Hunter Austin died in her Casa Querida on August 13, 1934. She was 65.

### After Austin

Following her death, Casa Querida was initially used as Austin intended: to support the work of the Indian Arts Fund. This began the following year, when the house hosted the annual meeting of the New Mexico Association of Indian Affairs in March. Beginning in 1936, Casa Querida’s function expanded to include musical performances and art events. However, it is unclear how successful these activities were in sustaining the building and grounds financially.

By 1938, the Board of Trustees of the Indian Arts Fund held a special meeting to consider filing a petition with the District Court of Santa Fe County to sell the property.<sup>24</sup> In 1939, Harry P. Mera, Kenneth M. Chapman, and Mary Cabot Wheelwright—acting as executors of Austin’s estate—formally petitioned the court for permission to sell Casa Querida. They argued that the estate’s personal property was insufficient to cover Austin’s outstanding debts and to fulfill the distributions promised to her legatees, including the Indian Arts Fund. Ultimately, following a formal court order in July 1939, the executors were authorized to sell the property at a private sale, despite this outcome conflicting with Austin’s original vision for Casa Querida.<sup>25</sup>

The executors then sold the property to Clyde B. Gartner.<sup>26</sup> Clyde was the wife of James Gartner, a Tulsa oil executive; both were active arts patrons in Tulsa, and Clyde long held a dream of establishing an art school in Santa Fe.<sup>27</sup> Founded in 1937, the Arsuna School of Fine Arts aimed to create a fully accredited academic art program for elementary-age students. Its name, derived from its motto “Art Is One,” reflected a philosophy of unified, comprehensive creative development.

The faculty included several notable artists, such as Raymond Jonson and Alfred Morang, along with others whose names have faded with passage of time. Local resident Michael Lujan taught Spanish “not as something to be studied,” as an Arsuna advertisement stated, “but as a language to be enjoyed.”<sup>28</sup> Among the visiting lecturers was novelist Erskine Caldwell, whose *Tobacco Road* had been a best-seller in 1932. With the onset of World War II, this ambitious—and likely costly—arts-focused school closed its doors.

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<sup>23</sup> Quoted in Fink, *I-Mary*, 257.

<sup>24</sup> “Notice of Special Meeting of Board of Trustees of Indian Arts Fund [legal notice], *Santa Fe New Mexican*, March 2, 1938, 7.

<sup>25</sup> Executor’s Deed from Harry P. Mera et al. to Clyde B. Gartner, recorded August 11, 1939, in Book 18, Page 58, Instrument No. 59844, records of Santa Fe County, New Mexico.

<sup>26</sup> Quitclaim Deed, Harry P. Mera, et al, trustees, to Clyde B. Gartner, recorded August 11, 1939, Book 18, Page 61, Instrument # 59846, Santa Fe County, New Mexico.

<sup>27</sup> “Clyde Gartner’s School of Fine Arts in Santa Fe is Realization of Dream of Many Years,” *Tulsa Daily World*, July 3, 1938, Section 4, 3.

<sup>28</sup> “Arsuna School of Fine Arts [one-page advertisement], *Santa Fe New Mexican*, July 26, 1940, *Artists and Writers* supplement, 3.

The appearance of the Mary Austin House during this period, as depicted in a sketch by one of the school's instructors, closely resembled what Meem had drawn twenty years earlier (Fig. 14). A photograph published in the *Tulsa Tribune* in July 1939 (Fig.15) provides a more accurate depiction. Both this image and the sketch indicate that the house had not yet received the east addition across the front façade.

Clyde Gartner retained ownership of the property, converting it into apartments soon afterward. The conversion began with a single unit and gradually expanded to seven separate apartments.<sup>29</sup> This transformation likely required subdividing the original seven-room house into smaller living spaces, with the addition of kitchenettes and extra bathrooms. To accommodate further apartments, the footprint of the building was likely expanded.

A November 10, 1958 aerial photograph provides the clearest overhead view of the former Casa Querida and illustrates the extensive alterations carried out after Mary Austin's death in 1934 to convert the residence into apartments (Fig. 17). These modifications included substantial expansions at both ends of the front façade which changed its overall length, design, and sense of balance. As a result, the original east and west elevations from the Austin/Meem period were completely obscured, including the distinctive west chimney.

Additional alterations were also made to the rear elevation, creating a courtyard enclosed by building walls—a configuration that did not exist during Austin's occupancy and do not appear in an aerial from 1948 (Fig. 16).

Alterations intensified in the mid-1970s, when the property was converted into the Gerald Peters Gallery. This gallery, followed later by the Chiaroscuro Gallery, introduced substantial changes to the building's interior layout, including the reconfiguration of room divisions and modifications to fenestration—particularly along the west elevation, which historically contained the living room and kitchen.

Further additions were constructed along both the east and west elevations. Original windows were removed and replaced, and large skylights were installed on the roof. As a result, the rooms documented during Mary Austin's lifetime are no longer identifiable, and many of the building's original elevations have been fundamentally altered. Many of these projects, both proposed and approved, were reviewed by the then—Historic Design Review Board and were evidently permitted.

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<sup>29</sup> This is based on review of Santa Fe city directories from 1943 to 1959. A newspaper advertisement in 1943 for what is assumed to be the first apartment described it as two rooms with a kitchenette and bath with a patio. "For Rent," *Santa Fe New Mexican*, February 10, 1943, 7.

## Significant Structures Analysis

The current building does not meet the ordinance definition of a Significant Structure, either on its own merits or through its association with Mary Hunter Austin or John Gaw Meem.

While the building is over 50 years old, it does not exhibit the “distinctive characteristics of a type, period, or method of construction” as required. Instead, it is an amalgamation of additions erected over approximately 75 years. These additions, along with subsequent alterations, have obscured or removed design motifs and character-defining features from the Austin/Meem period.

Furthermore, the building does not “retain a high level of historic integrity,” an important prerequisite for Significant Structure status. Each elevation has been modified by at least one addition, and in some cases, multiple additions, further compromising its integrity.

Although the building meets the criteria for listing in the National Register of Historic Places as part of the Camino del Monte Sol Historic District (listed in 1988), this federal designation recognizes it as a contributing resource to the district. The National Register designation does not impose the same stringent integrity requirements as those established by the City of Santa Fe for Significant Structures.

While the building is historically associated with Mary Austin and, to a lesser extent, John Gaw Meem, changes made after Austin’s death and following Meem’s involvement have substantially erased the design and characteristics from their period. Additionally, the building no longer retains sufficient integrity to reflect its association with the Arsuna Fine Arts School period.

In summary, the building, as it stands today, does not meet the criteria for designation as a Significant Structure within the Downtown and Eastside Historic District.

### **Santa Fe, New Mexico - Code of Ordinances, CHAPTER 14 - LAND DEVELOPMENT Article 14-12.1 - DEFINITIONS, SIGNIFICANT STRUCTURE**

A *structure* located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a *structure* to be designated as significant, it must retain a high level of historic integrity. A *structure* may be designated as significant:

(A) for its association with events or persons that are important on a local, regional, national or global level; or

(B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

## Illustrations



**Figure 1: Existing floor plan. Red lines indicate assumed Austin/Meem era wall perimeter footprint, based on the 1925 John Gaw Meem drawings and 1925 construction photography. Solid yellow indicates an area where the walls have been modified; red where a room was likely added after initial construction but is shown in Meem’s floor plan.**



**Figure 2: Preliminary study drawing, north elevation. April 14, 1925.  
Austin, M. Residence, Job Number: 375-GG, 09. Courtesy John Gaw Meem Collection,  
Zimmerman Library, University of New Mexico, Albuquerque.**

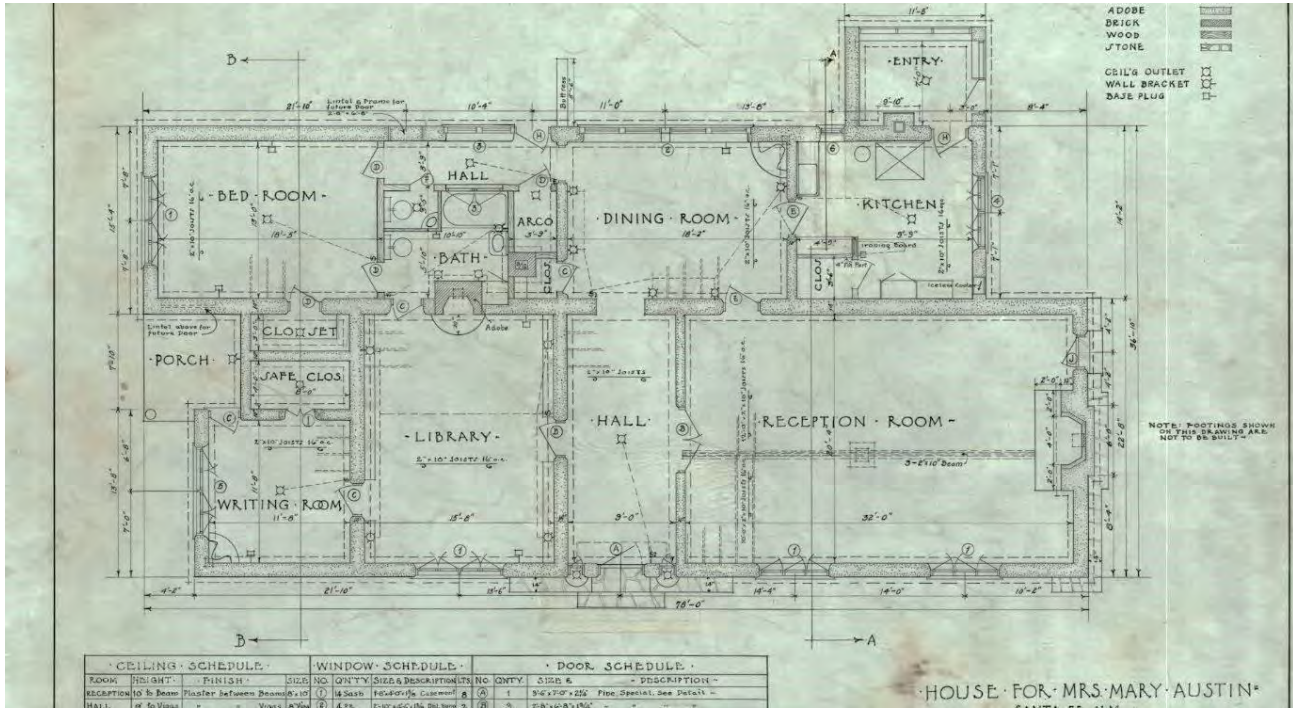


Figure 3: Construction drawing, floor plan, May 25, 1925. Austin, M. Residence, Job Number: 375-GG, 09. Courtesy John Gaw Meem Collection, Zimmerman Library, University of New Mexico, Albuquerque.



Figure 4: Construction drawing, north elevation, May 25, 1925. Austin, M. Residence, Job Number: 375-GG, 09. Courtesy John Gaw Meem Collection, Zimmerman Library, University of New Mexico, Albuquerque.

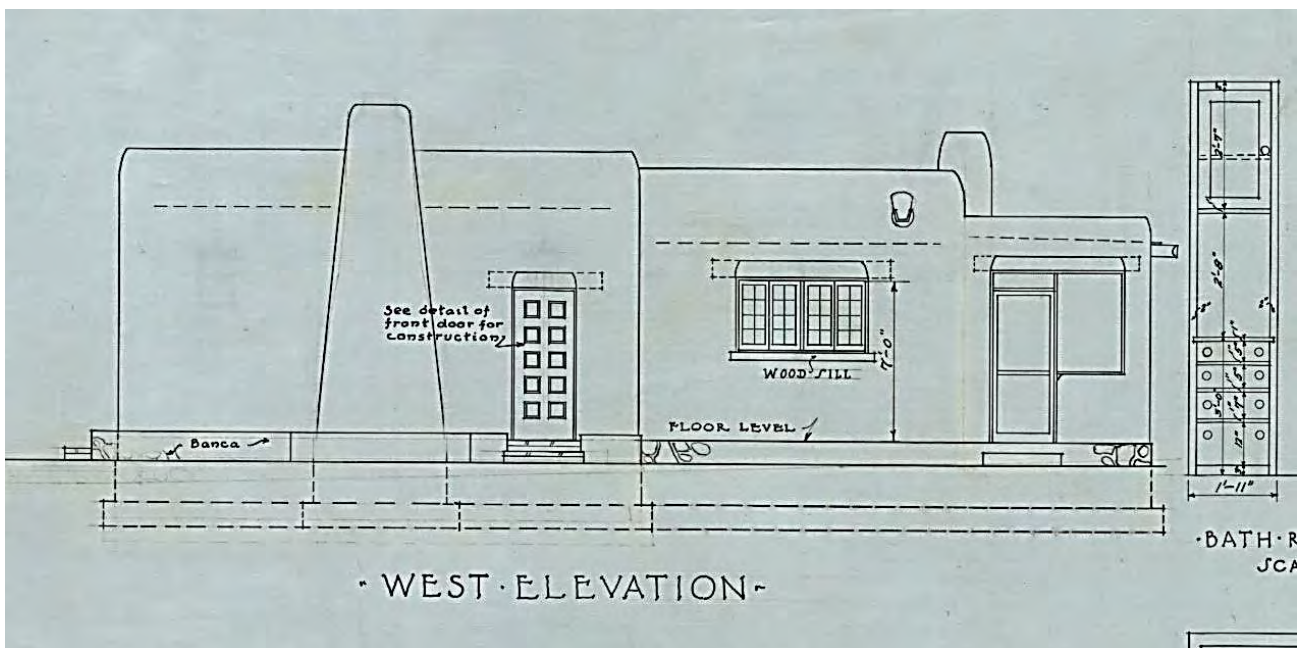


Figure 5: Construction drawing, west elevation, May 25, 1925. Note penciled in door right (south) of fireplace. Austin, M. Residence, Job Number: 375-GG, 09. Courtesy John Gaw Meem Collection, Zimmerman Library, University of New Mexico, Albuquerque.

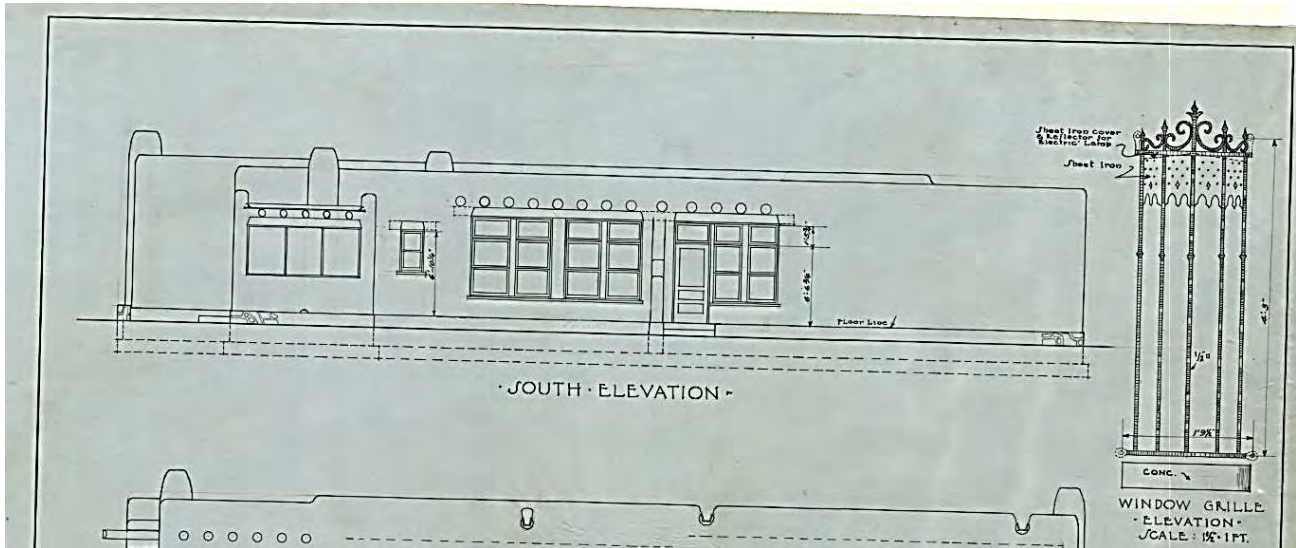


Figure 6: Construction drawing, south elevation, May 25, 1925.  
 Austin, M. Residence, Job Number: 375-GG, 09. Courtesy John Gaw Meem Collection,  
 Zimmerman Library, University of New Mexico, Albuquerque.

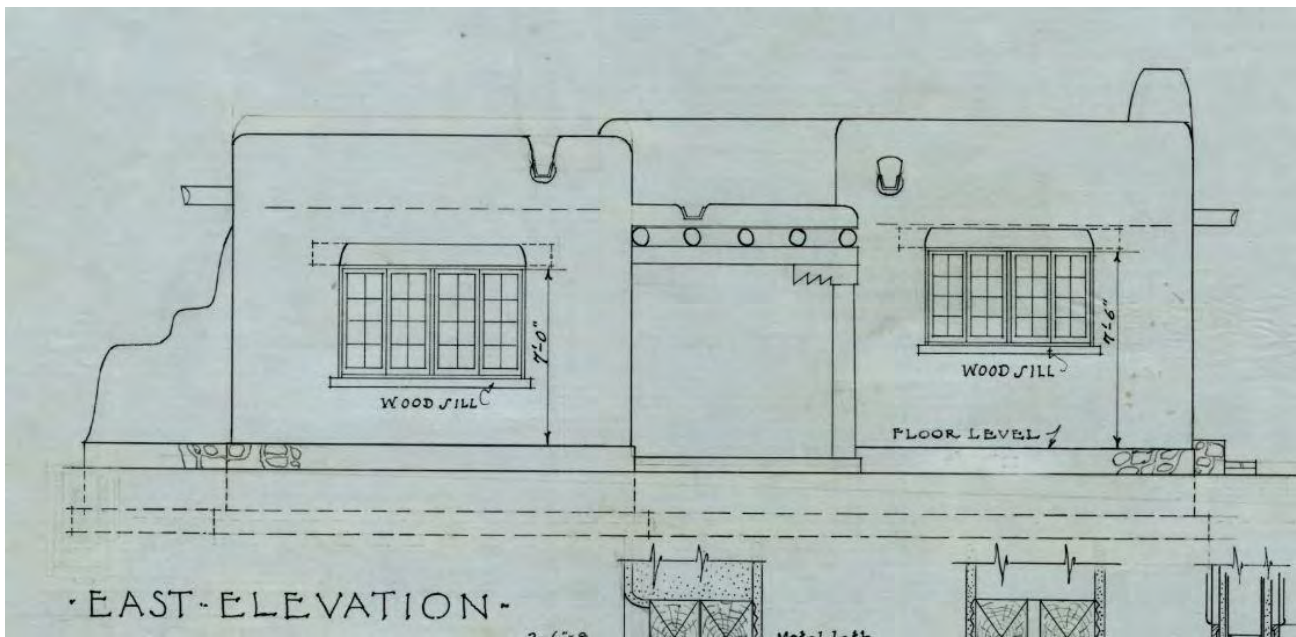


Figure 7: Construction drawing, east elevation, May 25, 1925.  
 Austin, M. Residence, Job Number: 375-GG, 09. Courtesy John Gaw Meem Collection,  
 Zimmerman Library, University of New Mexico, Albuquerque.



519  
Casa Querida under  
construction  
Album 296: Folder 3 (62)

Figure 8: South and east elevations under construction, 1925.  
Mary Austin Papers, Photographs, Box 3, Folder 3 (62). Courtesy of The Huntington Library, San Marino, California.

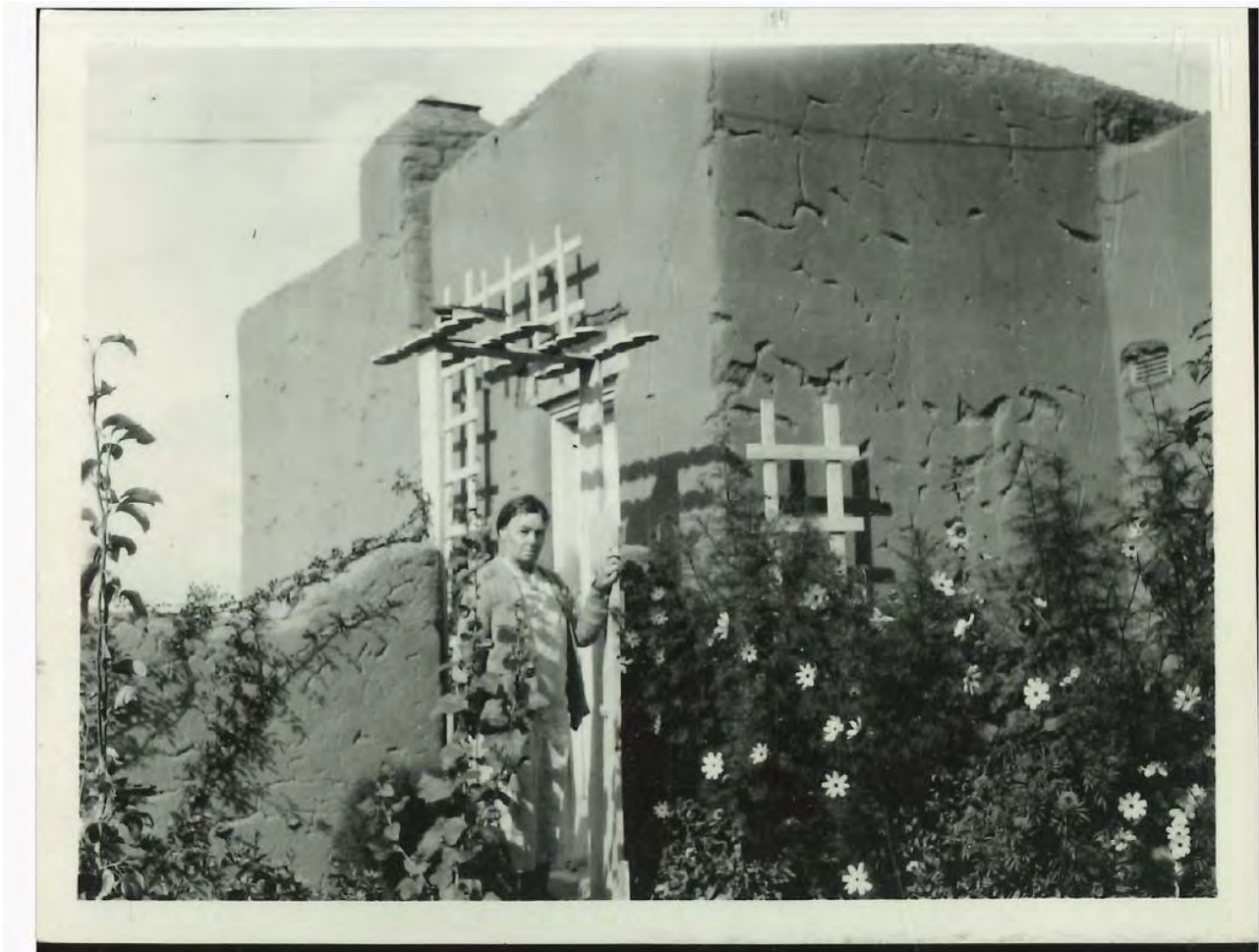


Album 296: Folder 3 (65)  
6 page 24 Santa Fe,  
The terrace at Casa Querida  
Terrace at The Beloved House or Casa Querida, Santa Fe,

Figure 9: Front (North) elevation facing west, 1925. Note shorter façade.  
Mary Austin Papers, Photographs, Box 3, Folder 3 (62). Courtesy of The Huntington Library, San Marino, California.



**Figure 10: Mary Austin standing at west façade. Note chimney and what also appears to be note. Note also distant building, which appears to be the maid's which is likely incorporated into the current footprint. Mary Austin Papers, Photographs, Box 3, Folder 3 (62). Courtesy of The Huntington Library, San Marino, California.**



**Figure 11: Mary Austin at west façade, standing south of chimney, 1925. Note original setback. Both elements are obscured now behind additions. Mary Austin Papers, Photographs, Box 3, Folder 3 (62). Courtesy of The Huntington Library, San Marino, California.**



16  
Mary Austin's sitting room and  
library. There is a fireplace.

**Figure 12: Sitting room and library. Mary Austin Papers, Photographs, Box 3, Folder 3 (62).  
Courtesy of The Huntington Library, San Marino, California.**



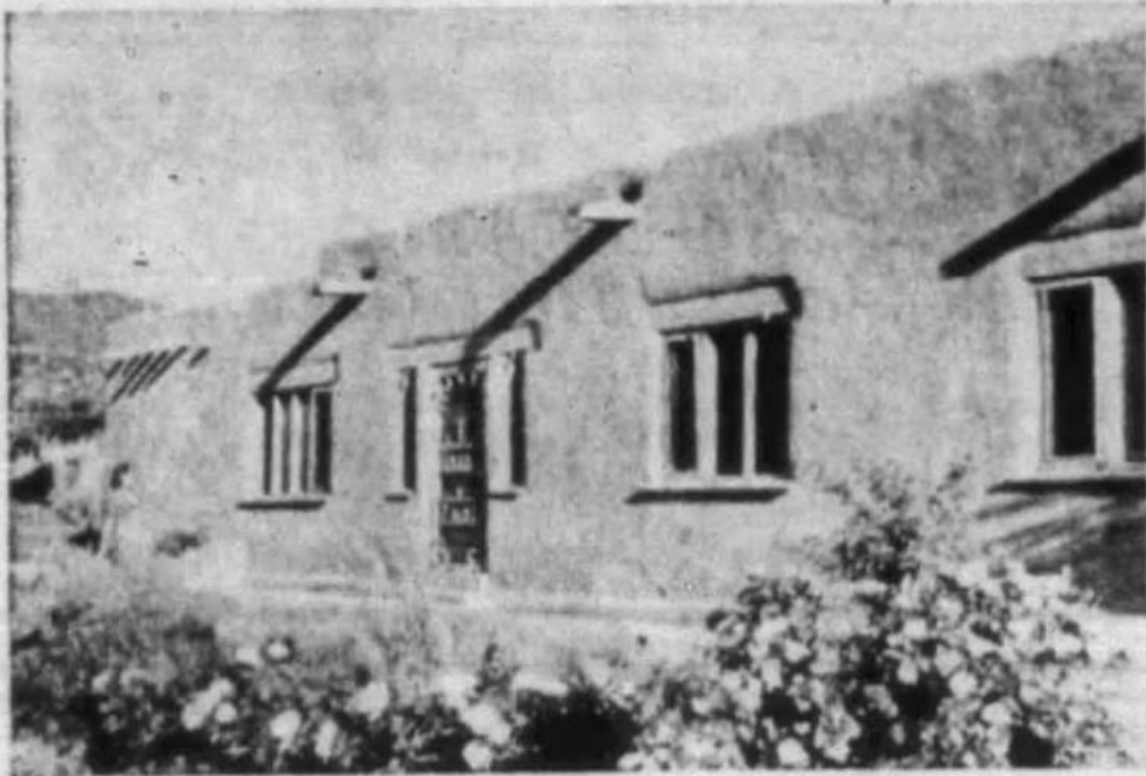
15  
The Placita at Casa  
Querida page 109  
3 (64)

Figure 13: Arbor connecting the house to the maid's quarters. This feature has been removed, and the space has been infilled with new construction. Mary Austin Papers, Photographs, Box 3, Folder 3 (62). Courtesy of The Huntington Library, San Marino, California.



**Figure 14: Circa 1940 ink sketch rendering for Arsuna School of Fine Arts. Note how the façade conforms to the length of Austin/Meem period. Creator, Dorothy Stauffer. Courtesy of Jonson Gallery of the University of New Mexico Art Museum.**

# New Mexico Art School Headed by an Ex-Tulsan

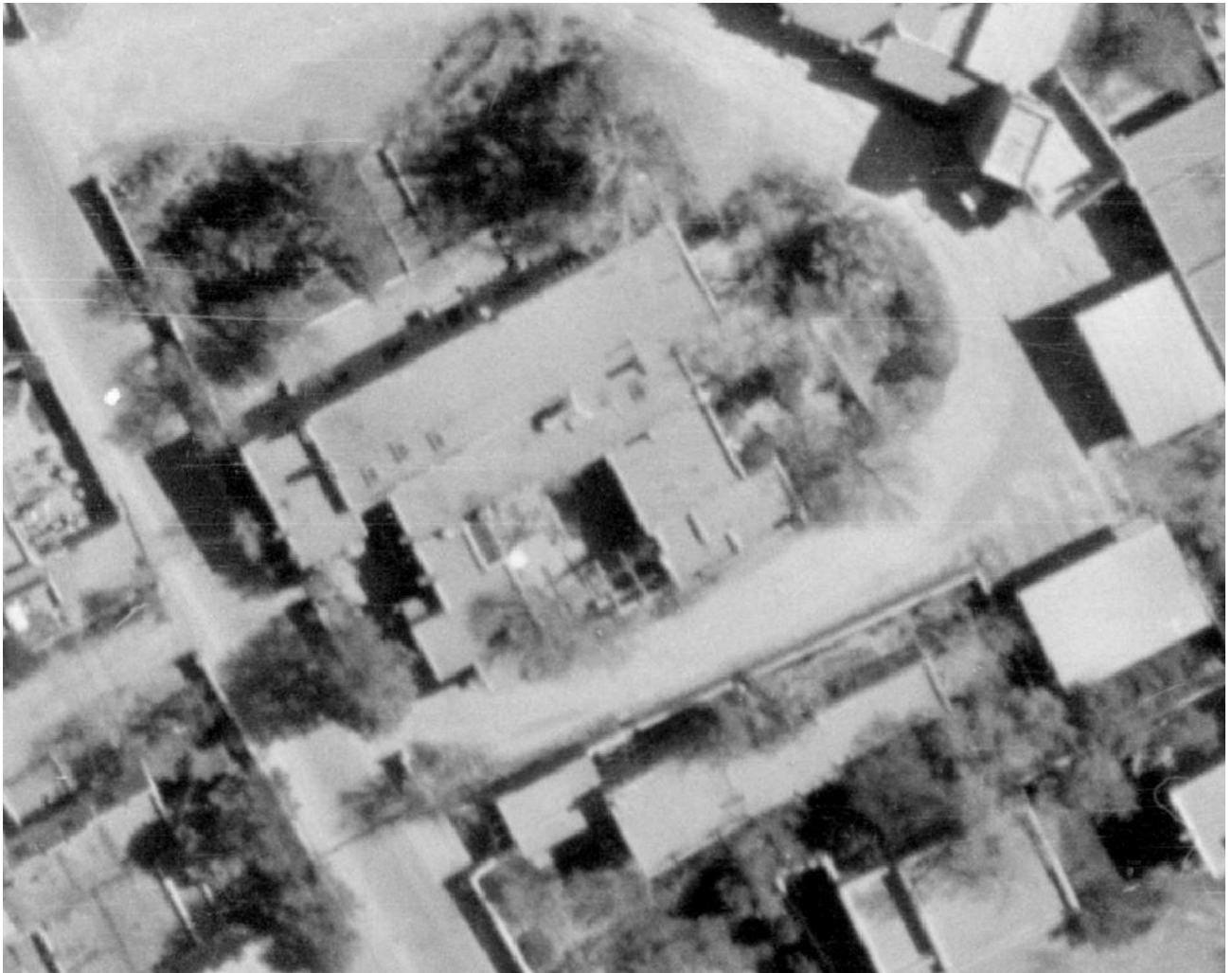


This is a picture of Mary Austin's former home in Santa Fe, N. M., which has been selected as the permanent home of the Arsuna School of Fine Arts, directed by Clyde Gartner, Tulsan.

Figure 15: Photograph of Arsuna School of Fine Arts appearing in the July 16, 1939 edition of the *Tulsa Tribune*.



**Figure 16: October 25, 1948, aerial photograph. Note the building now has one extension across the south elevation.**



**Figure 17: November 10, 1958, aerial photograph. Note how the house now has multiple additions and extensions. Compare with Figure 1 and Figure 3.**



**Figure 18: North elevation. Red indicates post-Austin/Meem additions.  
All current photographs taken by Gulia Caporusco, July 5, 2025.**



**Figure 19: West elevation. Red indicates post-Austin/Meem additions.**



**Figure 20: West elevation. Red indicates post-Austin/Meem additions.**



**Figure 21: Courtyard. Red indicates post-Austin/Meem additions.**



**Figure 22: North and east elevations. Red indicates post-Austin/Meem additions.**



**Figure 23: Comparison. North elevation, 1925 and 2025. Arrow indicates addition.**



**Figure 24: Comparison. West elevation, 1925 and 2025. Arrow indicates the location of the original chimney.**



**Figure 25: Comparison. South and east elevations, 1925 and 2025. Red indicates post-Austin/Meem additions.**



**Figure 26: Comparison. West elevation, 1925 and 2025. Red indicates post-Austin/Meem additions. Mary Austin Papers, Photographs, Box 3, Folder 3 (62). Courtesy of The Huntington Library, San Marino, California.**



**Figure 27: Comparison North entry hall, 1925 and 2025. Current photo courtesy of Zillow.**



# City of Santa Fe, New Mexico

Debbie Jaramillo, Mayor

Ron Curry, City Manager

Councilors: Frank Montaño, Mayor Pro Tem, Dist. 3

Patti J. Bushee, Dist. 1

Larry A. Delgado, Dist. 1

Cristopher Moore, Dist. 2

Molly Whitted, Dist. 2

Art Sanchez, Dist. 3

Peso Chavez, Dist. 4

Amy Manning, Dist. 4

Project description . . : RESTORATION OF PORTAL EAST ELEVATION  
Project number . . . . : 97- 10100152  
Case Number . . . . . : H-97-131  
Project type . . . . . : HISTORIC DESIGN REVIEW BOARD  
Application date . . . : 09/18/97

PROJECT LOCATION(S) : 439 A Camino Del Monte Sol

**PROJECT NAMES:**

OW- Peters III, Gerald & Kathleen  
Santa Fe, NM 87501

825 El Caminito  
(505) 9888961

AP- Bauer, Michael  
Santa Fe, NM 87501

1424 Paseo De Pralta  
(505) 9881905

**ACTION**

This is to certify that this case was withdrawn because the applicant failed to resubmit by the October 31, 1997 submittal deadline.

For further information please call 984-6808.

Sincerely,

Mary Grzeskowiak  
Historic Preservation Planner

Heather Pierson  
Historic Districts Case Planner



# City of Santa Fe, New Mexico

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Ron Curry, City Manager

Councilors: Frank Montañó, Mayor Pro Tem, Dist. 3  
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Santa Fe, NM 87501

1424 Paseo De Pralta  
(505) 9881905

BOARD ACTION

This is to certify that the Historic Design Review Board at its meeting on October 14, 1997, acted on the above referenced case. The decision of the Board was to postpone your request to October 28, 1997 at your request.

For further information please call 984-6808.

Sincerely,

Mary Grzeskowiak  
Historic Preservation Planner

Heather Pierson  
Historic Districts Case Planner



# City of Santa Fe, New Mexico

Project description . . : RESTORATION OF PORTAL EAST ELEVATION  
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Santa Fe, NM 87501 (505) 9888961

AP- Bauer, Michael 1424 Paseo De Pralta  
Santa Fe, NM 87501 (505) 9881905

## PROJECT DATA

HISTORICAL DISTRICT	DOWNTOWN AND EASTSIDE
HISTORIC BUILDING STATUS	CONTRIBUTING
PUBLICLY VISIBLE FACADE-EAST	Y
PUBLICLY VISIBLE FACADE-NORTH	Y
PUBLICLY VISIBLE FACADE-SOUTH	Y
PUBLICLY VISIBLE FACADE-WEST	Y
HISTORIC DIST SURVEY NUMBER	7270
YEAR OF CONSTRUCTION	1925
PROJECT TYPE (NEW, ADD, ETC.)	PORTAL
USE, EXISTING	GALLERY
USE, PROPOSED	RESIDENTIAL
HISTORIC BUILDING NAME	MARY AUSTIN HOUSE

# City of Santa Fe, New Mexico

# memo

DATE: 14 October 1997

TO: Historic Design Review Board Members

VIA: Anne M. Condon, Planning Division Team Leader *AMC*  
Mary Grzeskowiak, Historic Preservation Planner *MG*

FROM: Heather L. Pierson, Historic Districts Case Planner *HP*

## ITEM & ISSUE

CASE # H-97-131 ADDRESS 439 A Camino del Monte Sol (Main Residence)

## REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS	APPLICANT SUBMITTALS
<input type="checkbox"/> Case Synopsis	<input checked="" type="checkbox"/> Proposal Letter
<input checked="" type="checkbox"/> District Standards	<input checked="" type="checkbox"/> Vicinity Map
<input checked="" type="checkbox"/> State Historical Survey Sheet	<input checked="" type="checkbox"/> Site Plan/Floor Plan
<input type="checkbox"/> Minutes of _____	<input checked="" type="checkbox"/> Elevations
<input type="checkbox"/> Other _____	<input checked="" type="checkbox"/> Photographs
	<input type="checkbox"/> Other _____

## STAFF RECOMMENDATION

Staff acknowledges the architectural standards for design in the Downtown and Eastside Historic District have been met. Relative to preservation standards, the proposed alterations are occurring on a non-historic portion of the subject building and will not affect the "contributing" status of the building as required by Section 14-70.73A1 SFCC 1987.

## BACKGROUND & SUMMARY

The applicant has provided illustrations for the removal of an east elevation addition (including arched doors and a bay window) to restore the elevation's original profile. The New Mexico Historic Building Inventory Form indicates that the subject elevation has been altered through the addition of the bay window and arched openings. The applicant proposes to remove the aforementioned arched doors and bay window and convert the space into a portal. The heavy massing which currently exists between the openings will be retained so as not to create a false sense of historical development or conjectural feature as required by Section 14-70.71A SFCC 1987. As well, new true-divided-lite French doors will be inserted beneath the portal. Stucco will match that existing and exposed wood lintels will be a weathered grey to match those existing on the same elevation. The wall beneath the portal will be painted white.

## 14-70.9 STANDARDS; DOWNTOWN AND EASTSIDE.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection;

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are

avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements;

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang. (Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)

ADDRESS: 439 Camino del Monte Sol  
Camino del Monte Sol National Historic District

ID NUMBER: 0516000123

BUILDING NAME: Mary Austin House /  
Gerald Peters Gallery

IDENTIFICATION

UTM REFERENCE EASTING NORTHING  
ZONE 12 13

LEGAL DESCRIPTION:

TNSP 17 N 3 RANGE 10 E 3 SEC 30 NW 1/4 SW 1/4

FIELD MAP Santa Fe Historic  
Structures Survey No. 2, 1983-85

DATE OF CONSTRUCTION:

ESTIMATE 1925 ACTUAL

SOURCE(S) Santa Fe New Mexican  
4/26/1940

ARCHITECTURAL STYLE:  
Spanish-Pueblo Revival

USE:

HISTORIC: residential

OTHER \_\_\_\_\_

PRESENT: residential

OTHER commercial -  
art gallery

SURROUNDINGS: residential

PHOTO



#25 main entrance, north

BUILDING DATA

RELATIONSHIP TO  
HISTORIC SURROUNDINGS:

\_\_\_ SIMILAR X NOT SIMILAR

ASSOCIATED BUILDINGS ON SITE:

X YES \_\_\_ NO

WHAT TYPE? offices/storage  
and storage shed  
IF INVENTORIED, LIST ID NUMBER(S)

0516000123.1

DEGREE OF REMODELING:

\_\_\_ MINOR X MODERATE

\_\_\_ MAJOR

EXPLAIN: small addition  
on west, bay on east

OVERALL CONDITION:

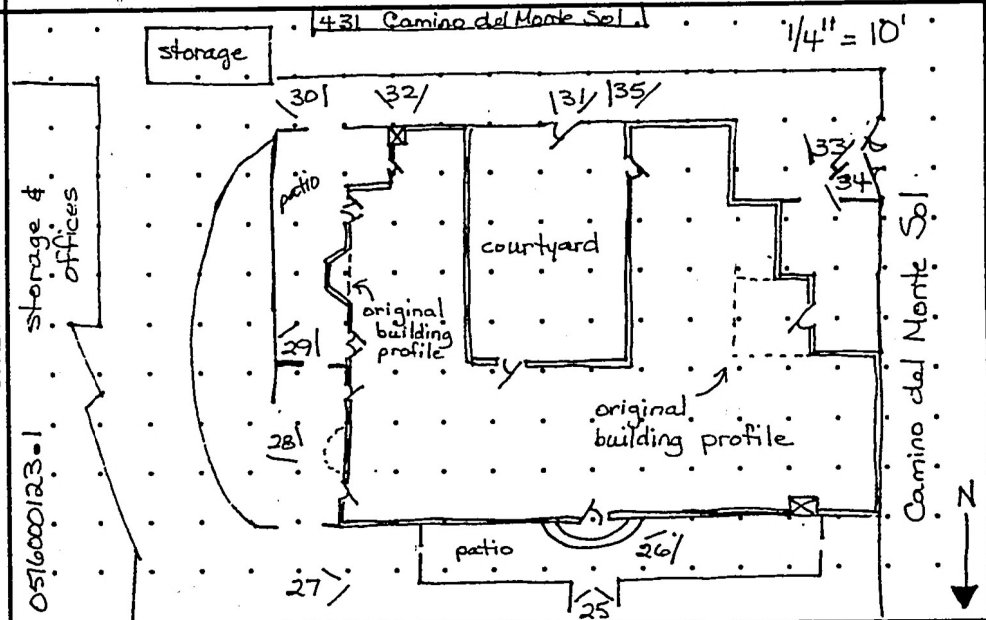
X EXCELLENT \_\_\_ GOOD

\_\_\_ FAIR \_\_\_ DETERIORATED

BUILDING THREATENED?

\_\_\_ YES X NO

SITE PLAN



SIGNIFICANCE

LISTED ON NATIONAL REGISTER OF HISTORIC PLACES?

X YES \_\_\_ NO \_\_\_ ELIGIBLE

X CONTRIBUTING \_\_\_ NON-CONTRIBUTING

LISTED ON STATE REGISTER OF CULTURAL PROPERTIES?

X YES \_\_\_ NO \_\_\_ ELIGIBLE CONTRIBUTING

LOCAL DESIGNATION: Core \_\_\_ HISTORIC DISTRICT

\_\_\_ SIGNIFICANT X CONTRIBUTING \_\_\_ NON-CONTRIBUTING

LOCAL LANDMARK \_\_\_ YES \_\_\_ NO

SURVEYED 8/91 BY DB

NEGATIVES WITH NMHPD ROLL # 8 NEG # 25 TO 35

ARCHITECTURAL AND LANDSCAPE FEATURES

FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	stucco	walls of addition on W and bay on E are wood
FOUNDATIONS	not visible	
DOORS	wood panels, french	
WINDOWS	4 6-lite wood csmts in groups of 2,3,4, and alone;	some 1x1 DHWs with wood reveals, Window to courtyard has large corbelled frame.
PORTALES		
CANALES	double-wide, wood lined with metal	
PORCHES	patios north, east, and southwest	
BALCONIES		
ROOFS	slightly stepped parapet; flat roof, lower on W	bay on E has corrugated metal roof
COURTYARDS	center south, grassed, surrounded by bldg and wall	
FENCES/WALLS	low stucco wall around entry patio, stone & stucco around yard	
ARCH. DETAILS	exposed lintels, wood sills, some projecting vigas	
OTHER	doors paired with windows as 1/2 sidelight on E	

**COMMENTS** interior has polished oak floors, probably new, but ceilings are plank or latillas over beams, vigas - appear original. Masonry fireplaces.

ADDITIONAL PHOTOGRAPHS



#26 partial north elevation



#27 from northeast

IDENTIFICATION

ADDRESS 439 Camino del Monte Sol  
Camino del Monte Sol National Historic District

ID NUMBER

0516000123

SURVEYED/RESEARCHED

DATE 8/91 BY DB

House was built in 1925 by writer Mary Austin. (See article in SF New Mexican 6/26/1940 p.13.) Architect was John Gaw Meem. (See Bunting: John Gaw Meem.) Was Arsuna School of Fine Arts in 1940. Now the Gerald Peters Gallery.

Comparison of current building profile and materials indicates a small addition on the west, center, and of a bay window on the east near the rear (south).

Associated building to the east (0516000123.1) has been substantially altered. Survey in 1983 shows two separate buildings. 1985 survey plat shows them joined at corner. Now completely joined with small 2nd story addition.

IDENTIFICATION

ADDRESS 439 Camino del Monte Sol  
Camino del Monte Sol National Historic District

ID NUMBER  
051000123

SURVEYED/RESEARCHED

DATE 8/91 BY DB



#28 partial east elevation (north)



#29 partial east elevation (south)



#30 from southeast

MICHAEL F. BAUER + ASSOCIATES • ARCHITECTS  
1424 PASEO DE PERALTA • SANTA FE • NEW MEXICO 87501  
505 • 988 • 1905

September 18, 1997

Historic Design Review Board  
City of Santa Fe  
Santa Fe, New Mexico

**Re: 439-A Camino del Monte Sol**

Dear Board Members and Staff:

The proposed project is to convert the existing Peters Gallery building (formerly known as the Mary Austin Residence) to a single family residence.

The only exterior modification is to change a recent addition on the east side of the house to a portal. This would be accomplished by removing the two arched doors and a bay window which would restore the house to its original profile.

The existing stucco color will be maintained. The new lintels at the portal will be old weathered beams to match the existing lintel on the northeast corner of the building. The new doors and sidelights will be placed in existing openings and painted blue to match the existing doors, windows and trim.

The attached historic survey describes the history of the building.

Please advise us if any additional information is required.

Sincerely,



Michael F. Bauer

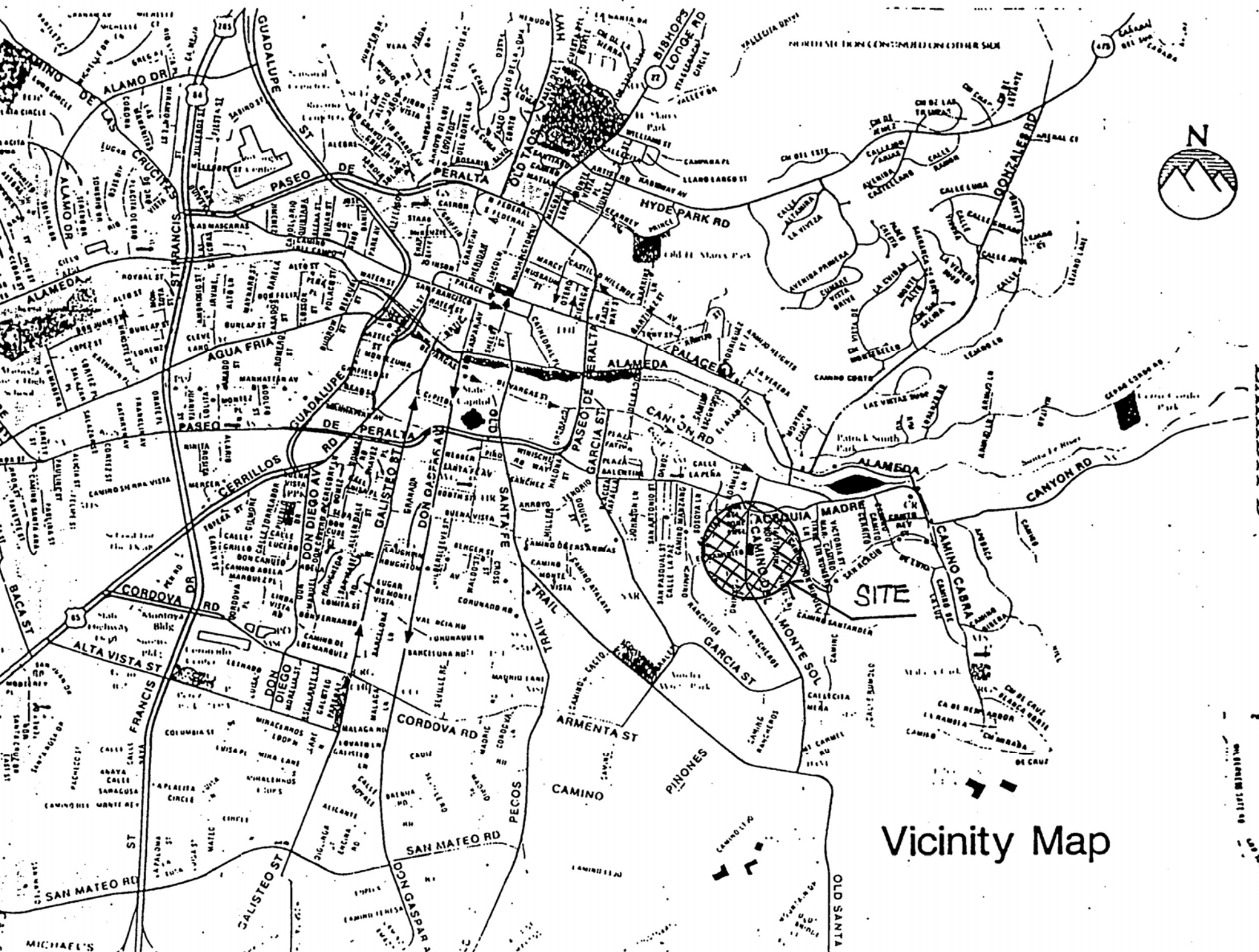


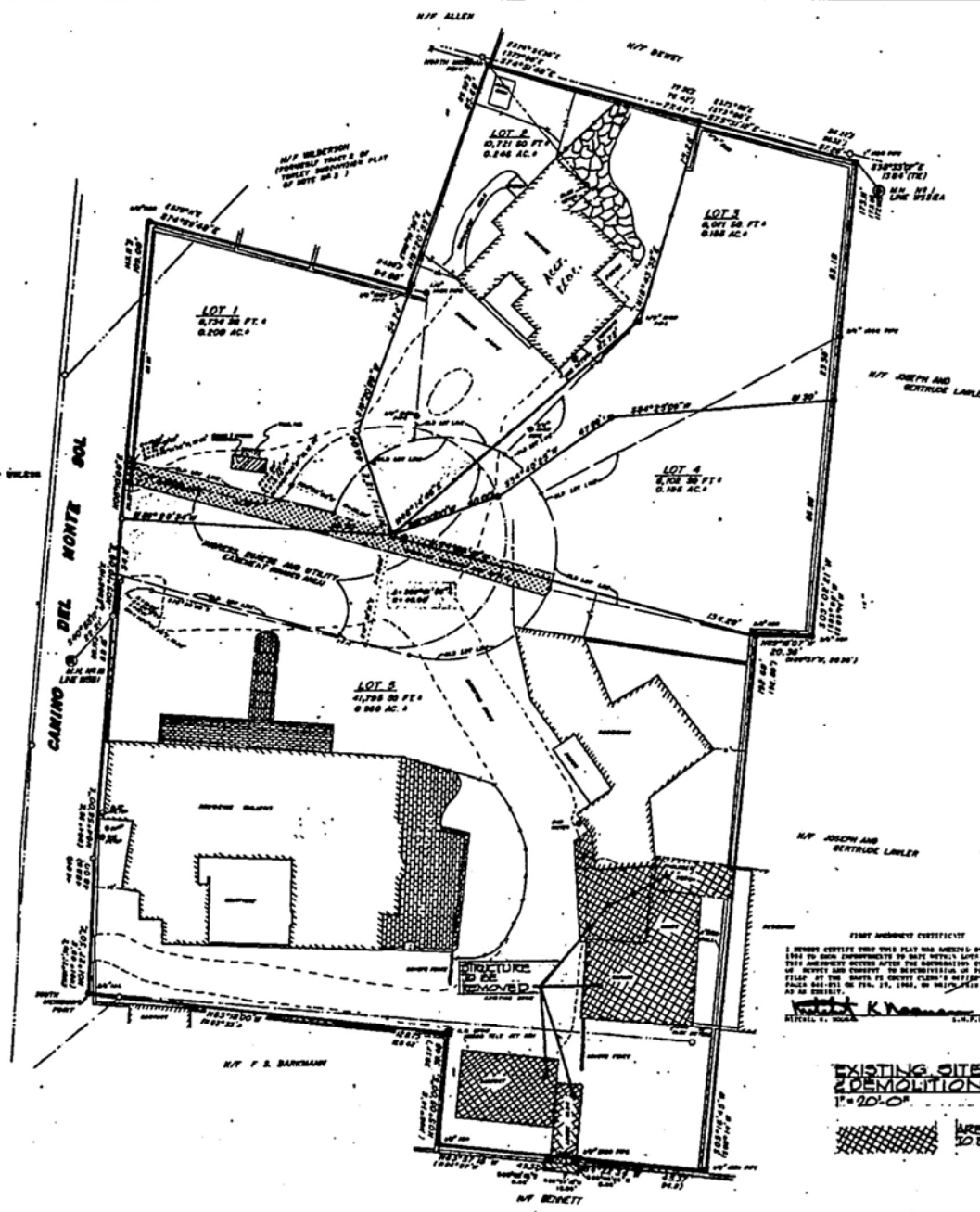
EXHIBIT D

Vicinity Map

ON JANUARY 1951

REPLAT OF SURVEY FOR  
GERALD P AND KATHLEEN R PETERS

LIVING AND BEING SITUATE AT HOUSE NUMBERS 433 THROUGH 439 CAMINO DEL MONTE SOC., WARD NO. 1, SANTA FE, NEW MEXICO, CONTAINING 1.777 AC. ±



NOTE:

1. MERIDIAN (S12°57'04"E) BASED ON CLOSING LINE BETWEEN POINTS FOUND AT THE SOUTHWEST CORNER OF THE PARCEL (ON CAMINO DEL MONTE SOC.) AND THE NORTHEAST CORNER OF LOT 2 AND PLAT TITLED "PLAT OF SURVEY FOR DAVID GARDNER WARD NO. 1, SANTA FE, NEW MEXICO" PREPARED BY GEORGE WITTELA, S.P.C.C.N. NO. 3148, DATED FEB-JUNE 1976 AND FILED AT THE S.P.C.C.N. BOOK 26, PAGE 28.
2. DATA IN DOUBLE PARENTHESES ( ( ) ) TAKEN FROM PLAT OF NOTE NO. 1.
3. ORIGINAL LOT LINES FOR TRACTS 1-6, AND PERMITS DATA IN PARENTHESES ( ) TAKEN FROM PLAT TITLED "LANDS SURVEYED FOR CLYDE S. GARDNER, WARD NO. 1 SANTA FE, NEW MEXICO" BY WALTER G. WITTELA, DATED JUNE 12, 1966, SURVEY NUMBER 43278-8-4.
4. DENOTES WATERLINE EASEMENT TO PUBLIC SERVICE CO. OF NEW MEXICO, DATED AUGUST 2, 1968 AND FILED AT THE S.P.C.C.N. JULY 28, 1981, BOOK 63, PAGE 160.
5. REFER TO GRANT OF EASEMENT BY AND BETWEEN MARY ELIZABETH BEHRETT AND GERALD P. AND KATHLEEN R. PETERS, FILED IN THE SANTA FE COUNTY CLERK'S OFFICE IN BOOK 63, PAGE 241-242.
6. \* DENOTES CALCULATED POINT.
7. ▨ DENOTES EASEMENT AREA.

CERTIFICATE

I HEREBY CERTIFY TO GERALD P. AND KATHLEEN R. PETERS THAT THIS PLAT AND THE NOTES HEREON, TO THE BEST OF MY KNOWLEDGE AND BELIEF ARE AN ACCURATE COPY OF A FIELD SURVEY COMPLETED BY ME OR UNDER MY DIRECTION ON 8/16/87 AND THAT THEY MEET THE STANDARDS FOR PROFESSIONAL SURVEYORS PRACTICING IN NEW MEXICO.

*Mitchell E. Bookler*  
M.E.S.L.S. NO. 6558 MICHAEL E. BOOKLER

STATE OF NEW MEXICO ) S.S.  
COUNTY OF SANTA FE )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF July 1988, BY MICHAEL E. BOOKLER.

*Gerald P. Peters*  
GERALD P. PETERS

MY COMMISSION EXPIRES: July 12, 1993

FIRST REMOVAL CERTIFICATE  
I HEREBY CERTIFY THAT THIS PLAT WAS MADE ON JANUARY 11, 1988 BY ME OR UNDER MY SUPERVISION BY DAVID WITTELA, S.P.C.C.N. NO. 3148, THAT THE SAME ACCURATELY REPRESENTS THE ACTUAL SURVEY AND CONFORMS TO THE REQUIREMENTS OF PLATTED TRACTS FILED AND ON FILE IN SANTA FE COUNTY PLAT BOOK 121, PAGE 441-442 ON FEB. 27, 1988, OR ANY PLAT TO WHICH THIS PLAT IS REFERRED.

EXISTING SITE PLAN IN  
DEMOLITION PLAN  
1" = 20'-0"

AREA OF STRUCTURES TO BE REMOVED

SOUTHWEST  
MOUNTAIN  
SURVEYS

ADLER & ASSOCIATES  
REGISTERED PROFESSIONAL SURVEYORS  
1000 N. SANTA FE, SANTA FE, NM 87501  
505-466-7025

MAEY ASS'T - COMPOUND  
ADLER & ASSOCIATES  
1000 N. SANTA FE, SANTA FE, NM 87501  
505-466-7025

4339-A-B-C

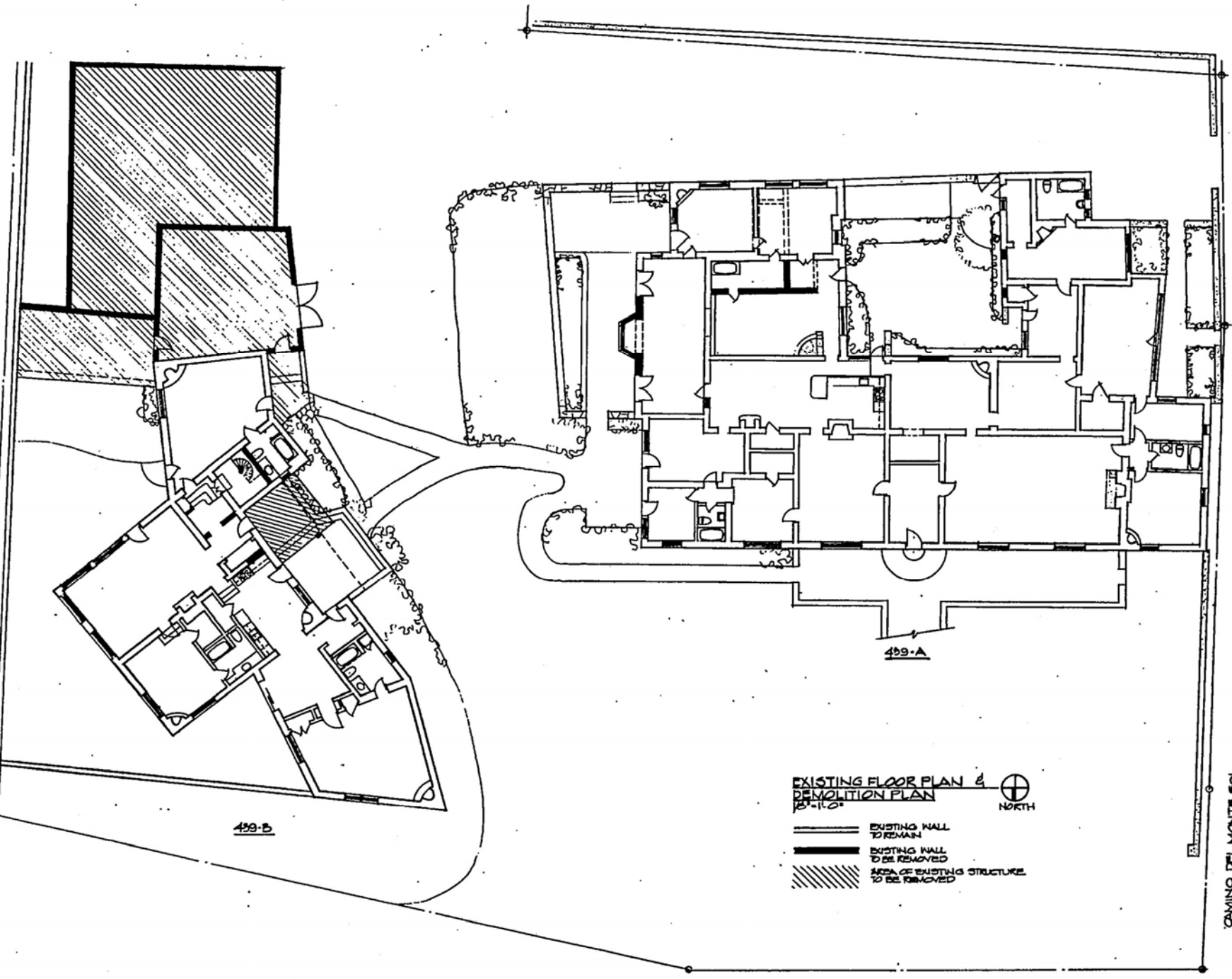
EXISTING SITE PLAN  
DEMOLITION PLAN

JOB#

85-16-97

2





ARCHITECT  
**MICHAEL J. BAKER & ASSOCIATES**  
 1441 JEFFERSON  
 SUITE 2000  
 SAN FRANCISCO, CA 94109  
 415.774.1100

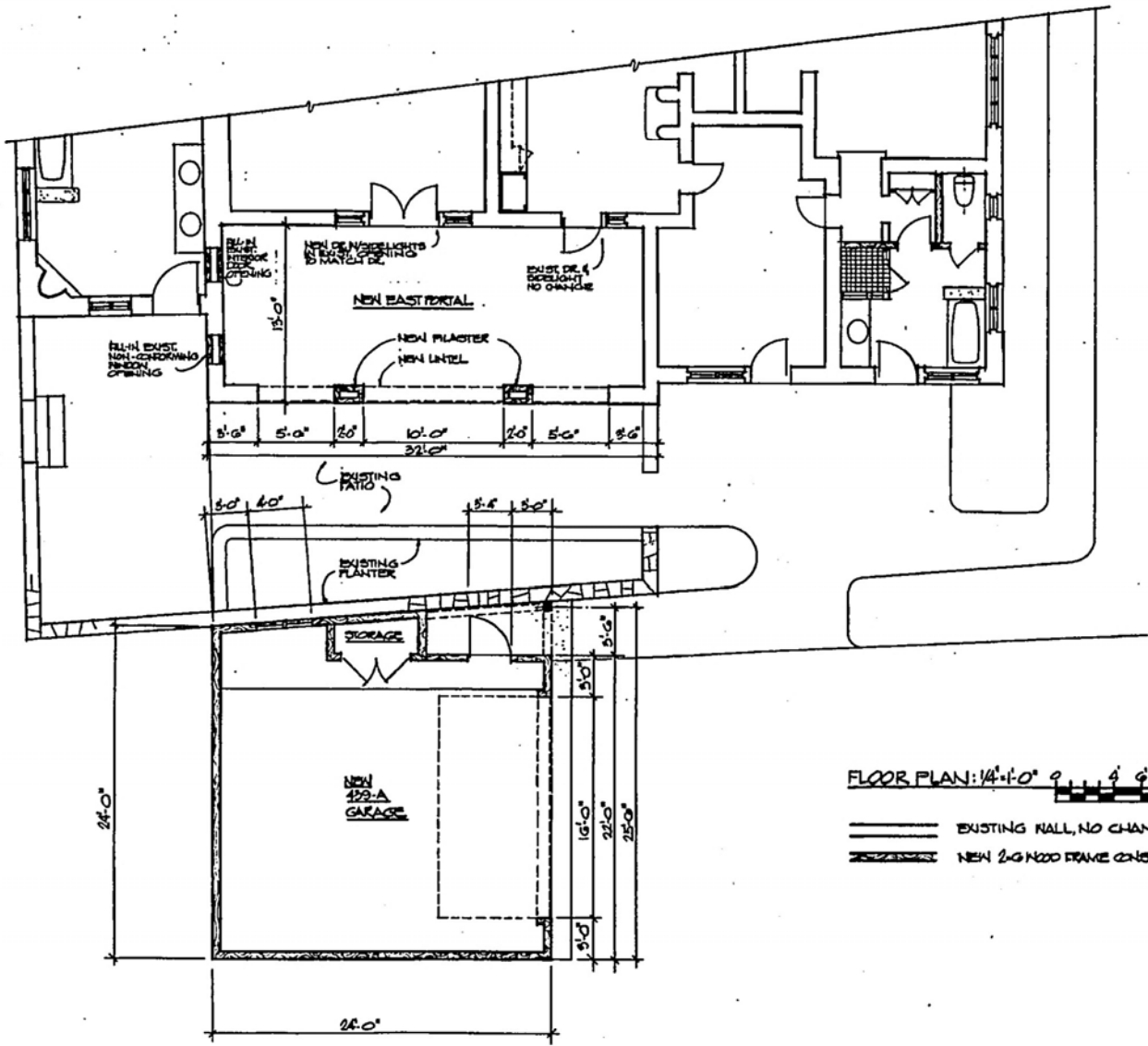
**MARY AUSTIN COMPOUND**  
 439-A • B  
 SAN FRANCISCO, CA

SHEET TITLE  
**EXISTING FLOOR PLAN & DEMOLITION PLAN**

DATE  
 9.18.97

SCALE  
 AS SHOWN





FLOOR PLAN: 14'-10" 9' 4' 5" NORTH

||||| EXISTING WALL, NO CHANGE  
 [Hatched Box] NEW 2-G NEED FRAME CONSTRUCTION



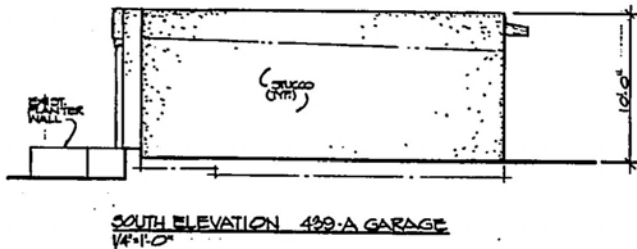
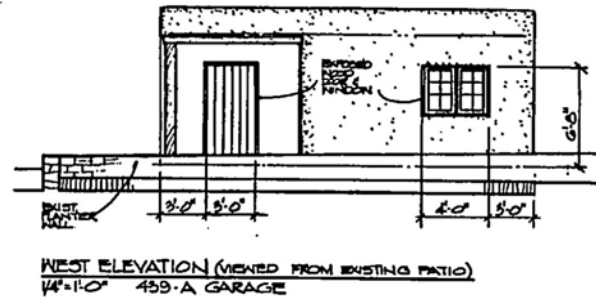
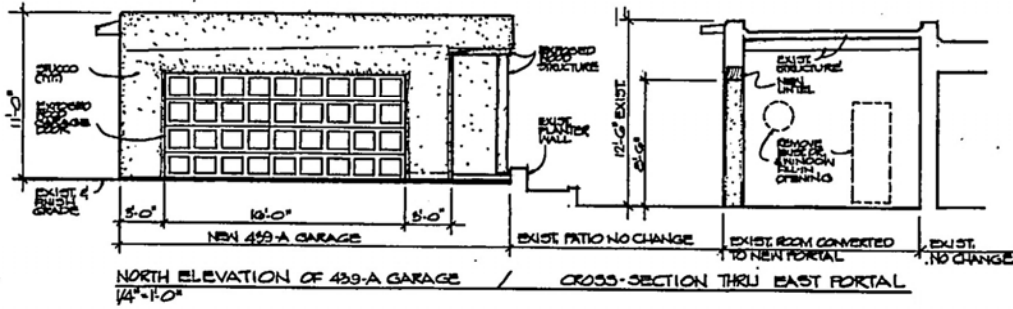
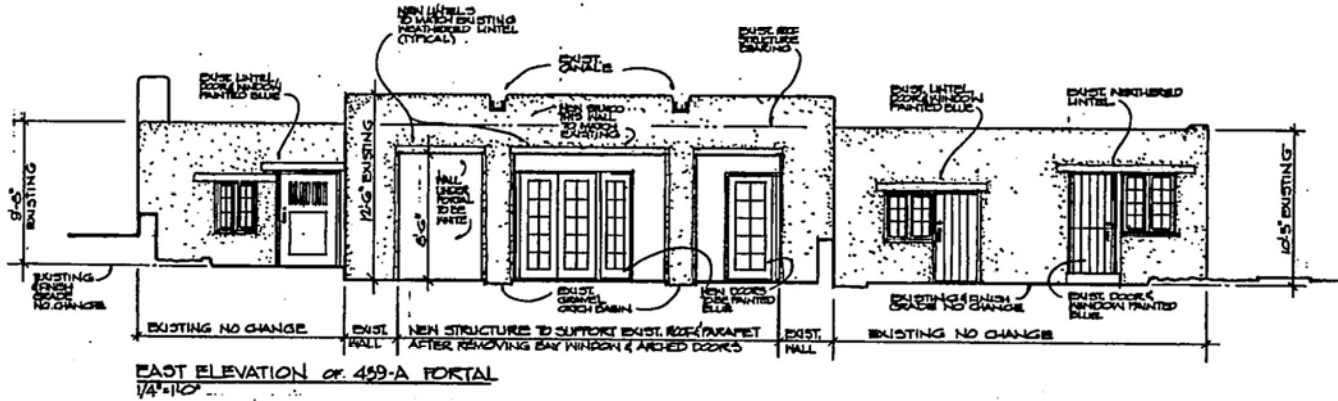
MICHAEL J. BAKER & ASSOCIATES  
 ARCHITECTS  
 1434 P.O. BOX 115  
 SHERMAN, TEXAS 75081-0115

MARY AUSTIN COMPOUND  
 14'-10" x 10'  
 SHEET TITLE

SHEET TITLE  
 FLOOR PLAN  
 14'-10"

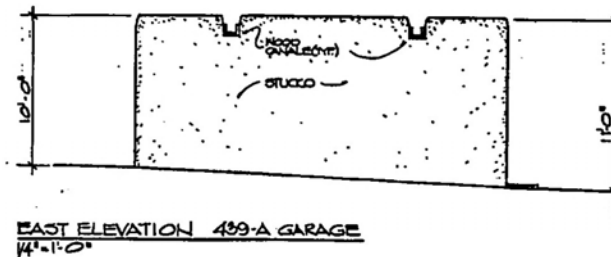
15-8-97

4



**EXTERIOR GARAGE BUILDING COLORS:**  
 STUCCO 1 EL REY BUOKSKIN 106

**EXTERIOR WOOD:**  
 WINDOW DOOR GARAGE DOOR:  
 FURNISH WILLIAMSON GATE HOUSE SEAM,  
 ALL EXPOSED WOOD STRUCTURE, COLUMN,  
 BEAM & CANALE OF  
 FURNISH WILLIAMSON GATE HOUSE STAIN,  
 THINNED 2 TO 1.



ARCHITECT  
**MICHAEL F. BAKER & ASSOCIATES**  
 1424 PINEBUSH BLVD. SUITE 100  
 SANTA FE, NM 87501  
 505-116-1105

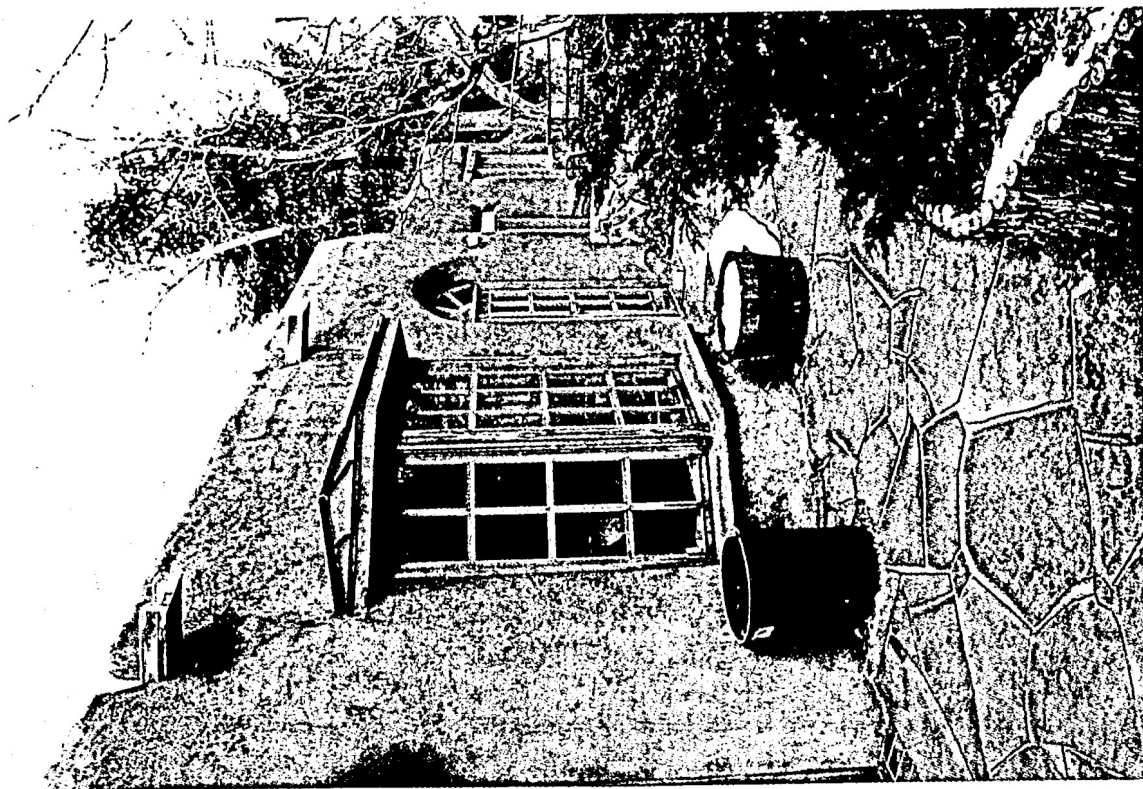
**RYAUSTIN COMPOUND**  
 499-A GARAGE  
 SANTA FE, NM

SHEET TITLE  
**EXTERIOR ELEV. OF  
 NEW FORTAL AND  
 GARAGE**  
 1/4" = 1'-0"

DATE  
 9/10/97  
 SHEET NO.  
**3**



439-A East Elevation showing Bay Window and Arched Doors to be removed.



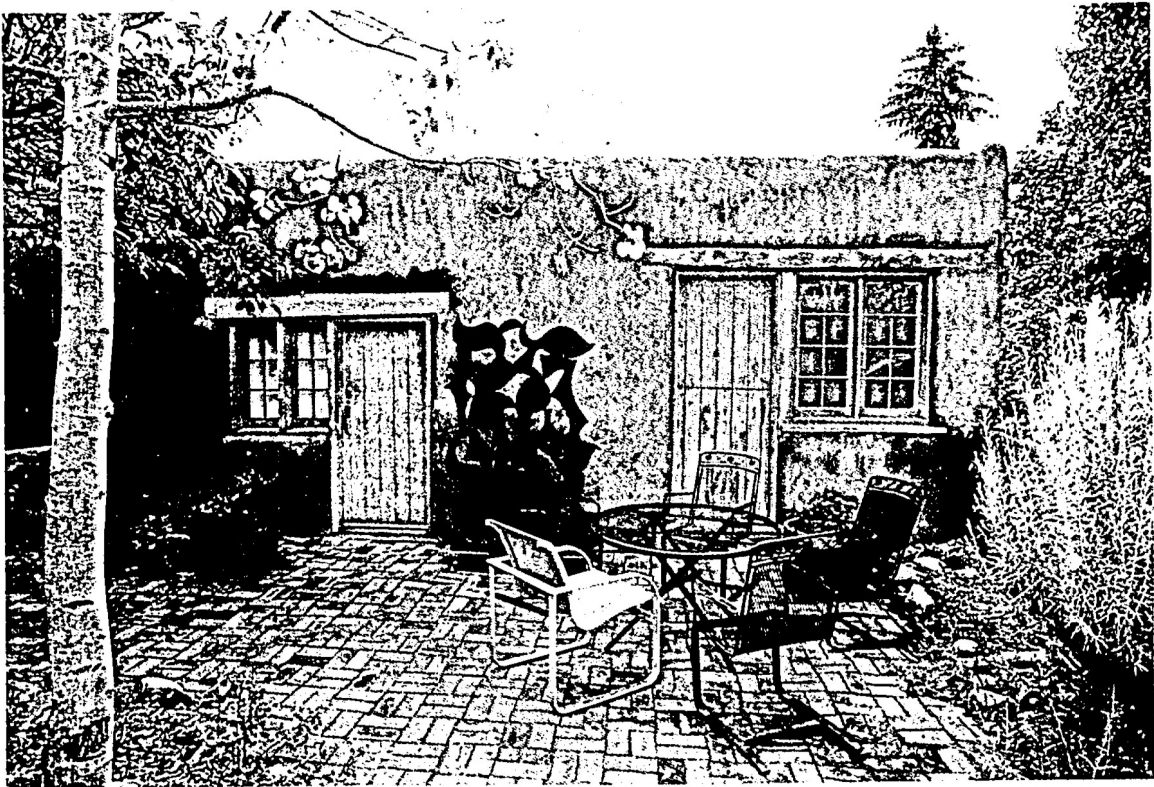
H-97-131



*Southeast corner*

439-A

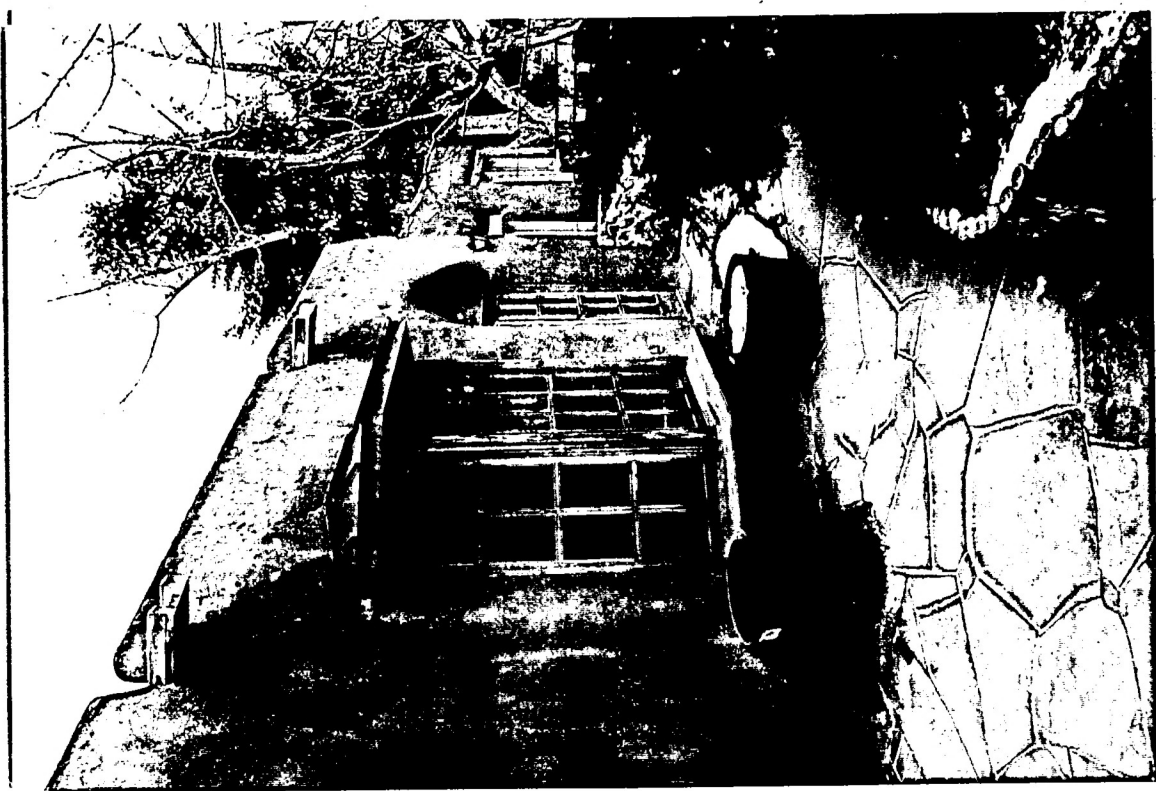
*Northeast corner*



H-97-131



439-A East Elevation showing Bay Window and Arched Doors to be removed.



H-97-131



*Southeast corner*

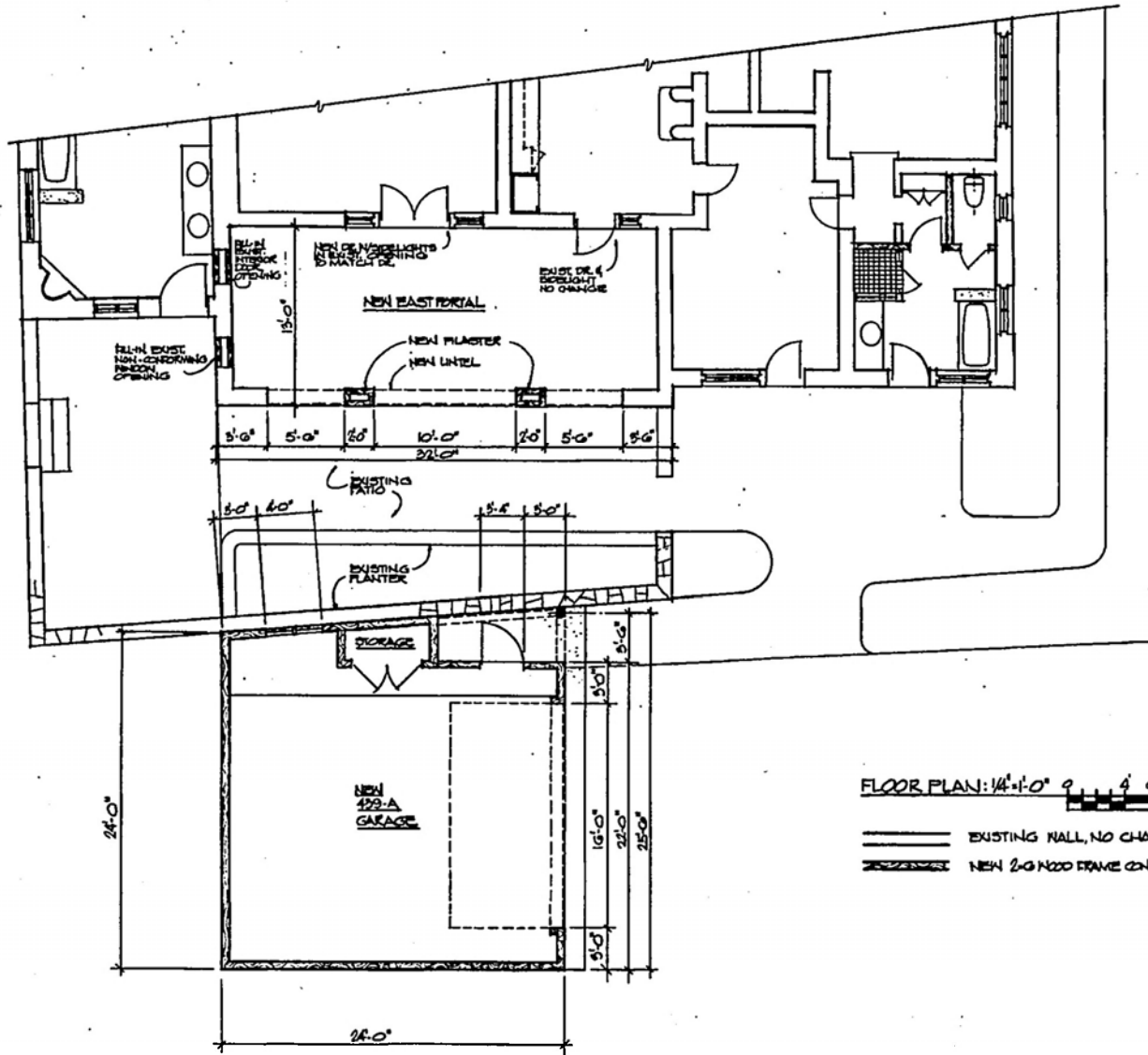
439-A

*Northeast corner*



H-97-131





FLOOR PLAN: 1/4"=1'-0" 0' 1' 2' 3' 4' 5' NORTH

==== EXISTING MALL, NO CHANGE  
 ===== NEW 2-G N220 FRAME CONSTRUCTION

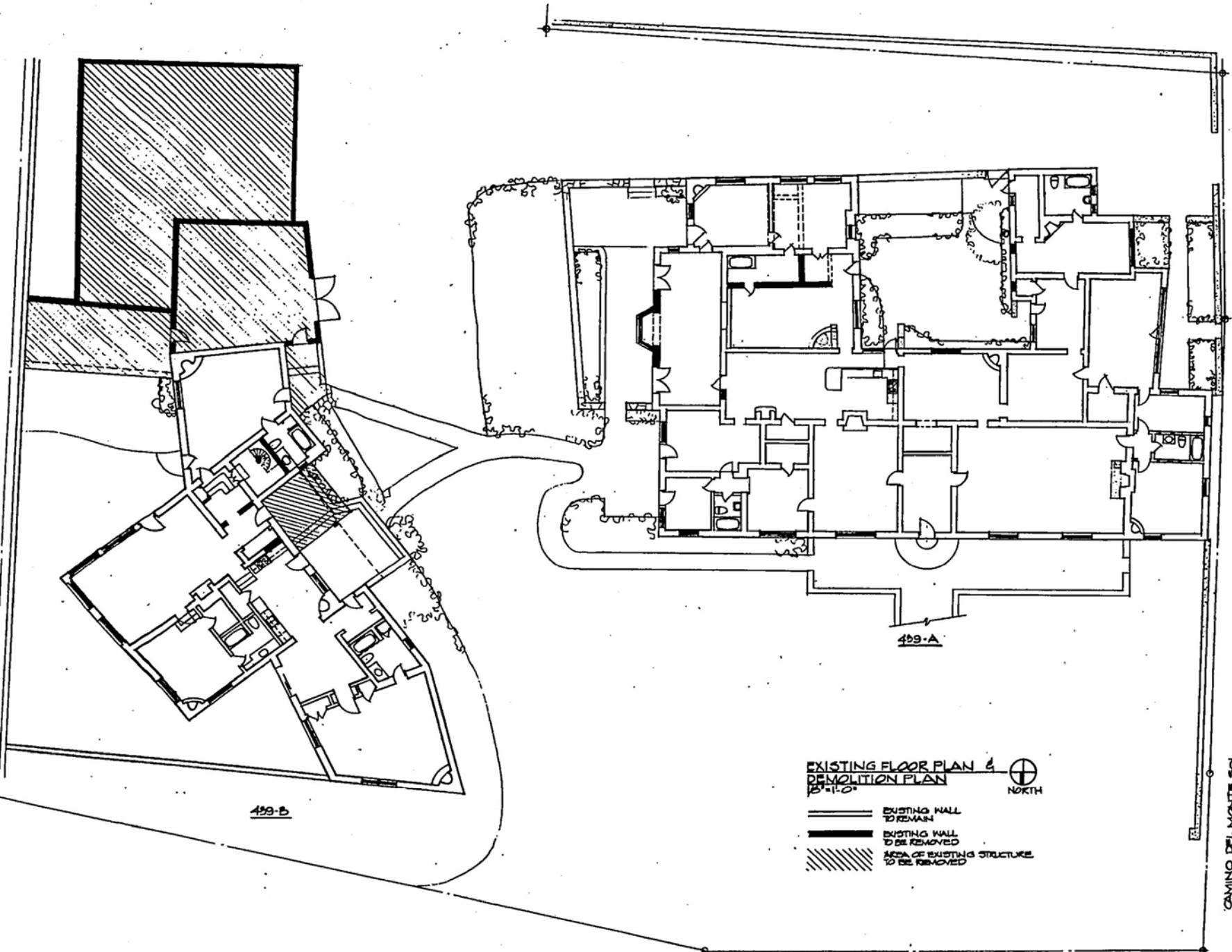


ARCHITECT  
 MICHAEL F. BAILE & ASSOCIATES  
 1144 PAPER ST. SUITE 101  
 SAN ANTONIO, TEXAS 78204  
 TEL. 512-345-1100

MARY AUSTIN COMPOUND  
 1/4 ACRE COMPOUND  
 SAN ANTONIO, TEXAS  
 #333-A

SHEET TITLE  
 FLOOR PLAN  
 1/4"=1'-0"

DATE  
 05-16-97  
 4



EXISTING FLOOR PLAN &  
DEMOLITION PLAN  
1/8" = 1'-0"

 EXISTING WALL TO REMAIN  
 EXISTING WALL TO BE REMOVED  
 AREA OF EXISTING STRUCTURE TO BE REMOVED

NORTH

CAMINO DEL MONTE SOL



ARCHITECT  
MICHAEL F. BAUER & ASSOCIATES  
1414 PINE ST. SUITE 200  
SPRING HOUSE, PA. 17138

MARY AUSTIN COMPOUND  
1414 PINE ST. SUITE 200  
SPRING HOUSE, PA. 17138  
459-A-B

SHEET TITLE  
EXISTING FLOOR PLAN  
& DEMOLITION PLAN

10

10/24/97







ARCHITECT  
**MICHAEL F. PALLER & ASSOCIATES**  
 1221 PASEO DEL MONTE, SUITE 101, MILPITAS, CA 95035  
 415-951-1000

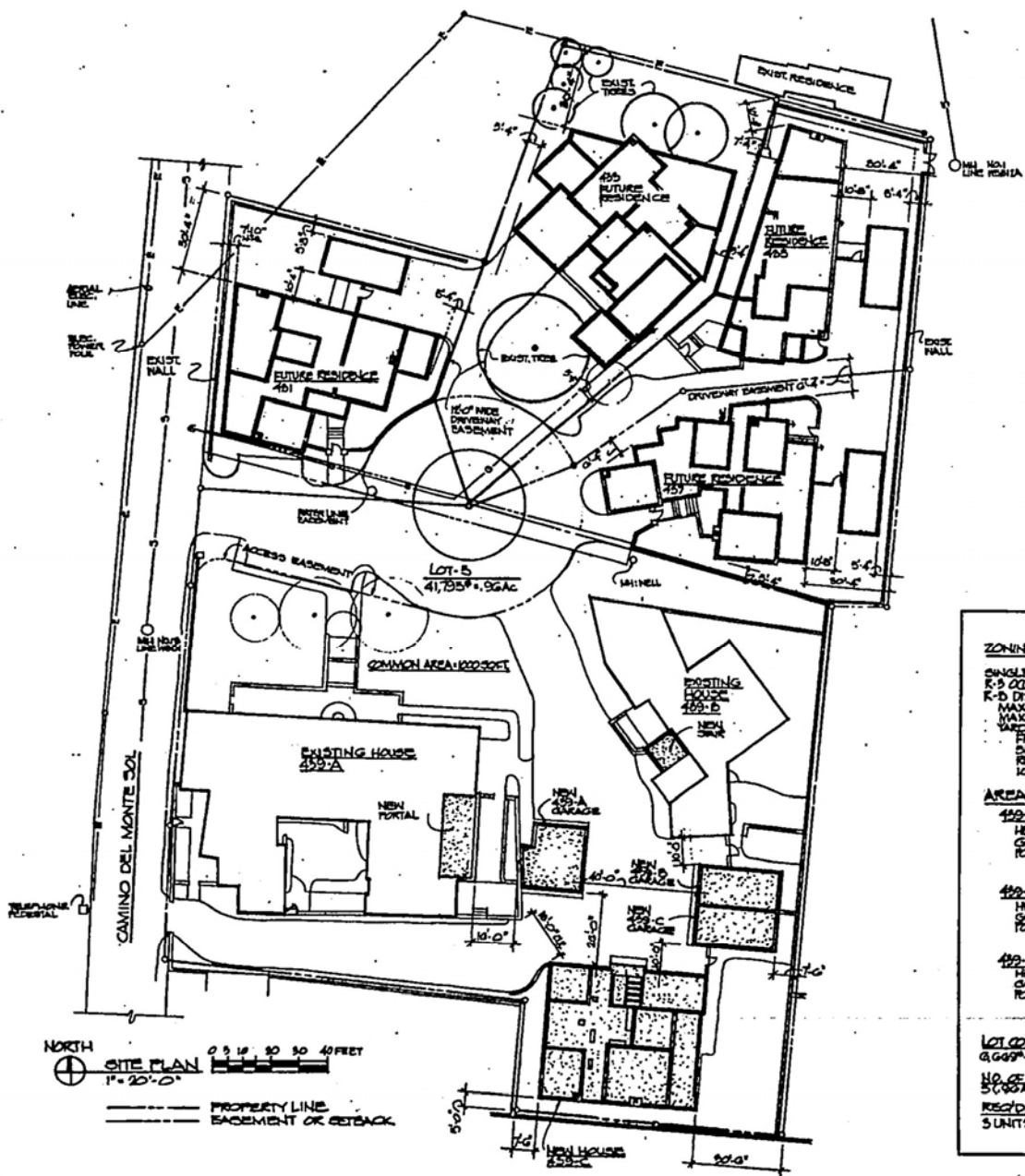
**MARY AUSTIN COMPOUND**  
 CAMINO DEL MONTE BL. SANTA FE, N.M.  
**433-A-11-C**

SHEET TITLE  
**THE PLAN - LOT 5**

DATE  
 9-18-97  
 SHEET NO.  
**1**



NORTH  
 VICINITY MAP



**ZONING REQUIREMENTS:**

SINGLE FAMILY DWELLING  
 R-5 OCCUPANCY, TYPE 3/4 CONSTRUCTION  
 R-5 DISTRICT & HISTORICAL DISTRICT  
 MAX. LOT COVERAGE: 40%  
 MAX. HEIGHT: 24'-0"  
 YARD SETBACKS:  
 FRONT YARD: 7'-0"  
 SIDE YARD: 5'-0"  
 REAR YARD: 5'-0"  
 10'-0" BETWEEN ADJACENT BUILDINGS

**AREA TABULATION:**

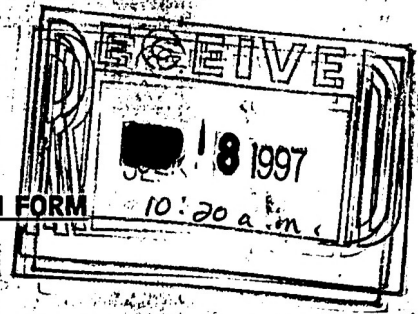
<b>432-A1 GALLERY</b>
HEATED/FINISHED: 5,730 SQ.FT.
GARAGE/STORAGE: 873
PORCH: 860
TOTAL: 6,263 SQ.FT.
<b>432-B1 HARVEY HOUSE</b>
HEATED/FINISHED: 2,284 SQ.FT.
GARAGE/STORAGE: 440
PORCH: 117
TOTAL: 2,841 SQ.FT.
<b>432-C NEW UNIT</b>
HEATED/FINISHED: 2,316 SQ.FT.
GARAGE/STORAGE: 400
PORCH: 400
TOTAL: 3,116 SQ.FT.

**LOT COVERAGE:**  
 9,689 SQ. FT. = 23.16% OF 41,755 SQ. FT.

**NO. OF UNITS ALLOWED: 5 UNITS PER ACRE**  
 5 (9,689) = 4 UNITS ALLOWED

**REQ'D. COMMON AREA: 250 SQ.FT./UNIT**  
 5 UNITS = 250' = 750 SQ.FT. REQ'D.

EXHIBIT (C)



HISTORIC DESIGN REVIEW BOARD APPLICATION FORM

Application Type: Preliminary Approval ( ) Final Approval

Project Location: 439-A CAMINO DEL MONTE SOL

Owner: PETERS, GERALD & KATHLEEN Phone: 988-8961

Address: 825-EL CAMINITO City, State, Zip Code: SANTA FE, NM 87501

Applicant: MICHAEL BAUER, ARCHITECT Phone: 988-1905

Address: 1424 PASEO DE PERALTA City, State, Zip Code: SANTA FE, NM 87501

Project Proposal: PORTAL ADDITION

New Construction: Single-Family Residence ( ) Commercial ( )  
Multi-Family Residence ( )

Other Construction: Demolition ( ) Remodel  Addition  Residential   
Sign(s) ( ) Wall/Fence ( ) Antenna ( )

Have you met with a Historic Districts Case Planner for a preapplication visit? Yes  No ( )

If yes, who? HEATHER PIERSON Date? 7-15-97

Does the project include multi-story new construction or an addition which will increase the height of the subject building? Yes ( ) No

If yes, what is the appropriate streetscape height (as determined during your preapplication visit)?

What is the proposed height as illustrated in your project? 12'-6" EXISTING

Have you met with the appropriate Zoning staff in the Permit and Development Review Division to determine that your project conforms with the city's zoning standards? Yes  No ( )

If yes, who? MONICA MONTAYA Date? 7-28-97

**If you have not met with zoning staff, please do so prior to submitting for HDRB review. All cases must comply with zoning requirements prior to review by the HDRB. Meeting with staff prior to the HDRB review will aid in expediting the permit process. Call 984-6571 for more information on required zoning.**

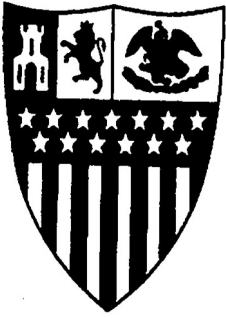
I certify that the documents submitted for Historic Design Review meet the minimum standards set forth in the Historic Districts Ordinance, Section 14-70 Santa Fe City Code 1987. Failure to meet these standards may result in rejection of my application. I also certify that I have met with a representative of the city's Zoning staff and verified the attached proposal is in compliance with the city's zoning requirements.

I agree to post notice of the proposed project on the site seven (7) days prior to the Historic Design Review Board meeting.

I am aware that a decision of the HDRB may be appealed by any aggrieved party within seven (7) days of the decision.

[Signature]  
Signature of Applicant or Owner

9-15-97  
Date



# City of Santa Fe, New Mexico

Debbie Jaramillo, Mayor

Ron Curry, City Manager

Councilors: Frank Montaña, Mayor Pro Tem, Dist. 3  
Patti J. Bushee, Dist. 1  
Larry A. Delgado, Dist. 1  
Cristopher Moore, Dist. 2

Molly Whitted, Dist. 2  
Art Sanchez, Dist. 3  
Peso Chavez, Dist. 4  
Amy Manning, Dist. 4

Project description . . : DETACHED GARAGE EASTERN PORTION OF PROP  
Project number . . . . : 97- 10100153  
Case Number . . . . . : H-97-132  
Project type . . . . . : HISTORIC DESIGN REVIEW BOARD  
Application date . . . : 09/18/97

PROJECT LOCATION(S) : 439 Camino Del Monte Sol  
(detached garage)

**PROJECT NAMES:**

OW- Peters III, Gerald & Kathleen  
Santa Fe, NM 87501

825 El Caminito  
(505) 9888961

AP- Bauer, Michael  
Santa Fe, NM 87501

1424 Paseo De Peralta  
(505) 9881905

**ACTION**

This is to certify that this case was withdrawn because the applicant failed to resubmit by the October 31, 1997 submittal deadline.

For further information please call 984-6808.

Sincerely,

Mary Grzeskowiak  
Historic Preservation Planner

Heather Pierson  
Historic Districts Case Planner



# City of Santa Fe, New Mexico

Debbie Jaramillo, Mayor

Ron Curry, City Manager

Councilors: Frank Montañó, Mayor Pro Tem, Dist. 3

Patti J. Bushee, Dist. 1

Larry A. Delgado, Dist. 1

Cristopher Moore, Dist. 2

Molly Whitted, Dist. 2

Art Sanchez, Dist. 3

Peso Chavez, Dist. 4

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825 El Caminito  
(505) 9888961

AP- Bauer, Michael  
Santa Fe, NM 87501

1424 Paseo De Peralta  
(505) 9881905

BOARD ACTION

This is to certify that the Historic Design Review Board at its meeting on October 14, 1997, acted on the above referenced case. The decision of the Board was to postpone your request to October 28, 1997 at your request.

For further information please call 984-6808.

Sincerely,

Mary Grzeskowiak  
Historic Preservation Planner

Heather Pierson  
Historic Districts Case Planner



# City of Santa Fe, New Mexico

Project description . . : DETACHED GARAGE EASTERN PORTION OF PROP  
Project number . . . . : 97- 10100153  
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(detached garage)

## PROJECT NAMES:

OW- Peters III, Gerald & Kathleen 825 El Caminito  
Santa Fe, NM 87501 (505) 9888961

AP- Bauer, Michael 1424 Paseo De Peralta  
Santa Fe, NM 87501 (505) 9881905

## PROJECT DATA

HISTORICAL DISTRICT	DOWNTOWN AND EASTSIDE
HISTORIC BUILDING STATUS	NOT APPLICABLE
PUBLICLY VISIBLE FACADE-EAST	Y
PUBLICLY VISIBLE FACADE-NORTH	Y
PUBLICLY VISIBLE FACADE-SOUTH	Y
PUBLICLY VISIBLE FACADE-WEST	Y
PROJECT TYPE (NEW, ADD, ETC.)	NEW
USE, PROPOSED	RESIDENTIAL
HISTORIC BUILDING NAME	MARY AUSTIN COMPOUND

# City of Santa Fe, New Mexico

# memo

DATE: 14 October 1997

TO: Historic Design Review Board Members

VIA: Anne M. Condon, Planning Division Team Leader  
Mary Grzeskowiak, Historic Preservation Planner

FROM: Heather L. Pierson, Historic Districts Case Planner

*me*  
*HP*

## ITEM & ISSUE

CASE #H-97-132 ADDRESS 439 A Camino del Monte Sol (detached garage)

## REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS	APPLICANT SUBMITTALS
<input type="checkbox"/> Case Synopsis	<input checked="" type="checkbox"/> Proposal Letter
<input checked="" type="checkbox"/> District Standards	<input checked="" type="checkbox"/> Vicinity Map
<input type="checkbox"/> State Historical Survey Sheet	<input checked="" type="checkbox"/> Site Plan/Floor Plan
<input type="checkbox"/> Minutes of _____	<input checked="" type="checkbox"/> Elevations
<input type="checkbox"/> Other _____	<input checked="" type="checkbox"/> Photographs
	<input type="checkbox"/> Other _____

## STAFF RECOMMENDATION

Staff acknowledges the standards for architectural design in the Downtown and Eastside Historic District have been met. The proposed garage will not have a negative impact on the adjacent historically "significant" structure as identified in Section 14-70.73A2 SFCC 1987; therefore, Staff recommends approval.

## BACKGROUND & SUMMARY

The applicant has provided illustrations for the construction of a single-story detached garage on the eastern portion of the subject property. The applicant states the garage will be of wood frame construction with a stucco finish. The garage's height will vary from 10 feet to 11 feet from grade. The garage door will be a raised-panel wood door which will be sealed with Sherwin Williams "Gate House" stain. The proposed stucco color is El Rey "Buckskin," and all exposed wood elements will be stained to match the garage door. Window lites are true-divided-lites.

#### 14-70.9 STANDARDS; DOWNTOWN AND EASTSIDE.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection;

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are

avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements;

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terracotta, or other material, subject to approval as hereinafter provided for building permits;

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang. (Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)

MICHAEL F. BAUER + ASSOCIATES • ARCHITECTS  
1424 PASEO DE PERALTA • SANTA FE • NEW MEXICO 87501  
505 • 988 • 1905

September 18, 1997

Historic Design Review Board  
City of Santa Fe  
Santa Fe, New Mexico

**Re: 439-A Camino del Monte Sol  
Garage/Storage Building**


Dear Board Members and Staff:

The proposed project is a new garage for the Mary Austin House.

The structure will be located to the east of the house and will be wood frame with stucco finish. All windows and doors are to be wood finished natural. The garage door will be of raised panel design finished natural. The finishes are specified on the drawings.

Please advise us if any additional information is required.

Sincerely,



Michael F. Bauer

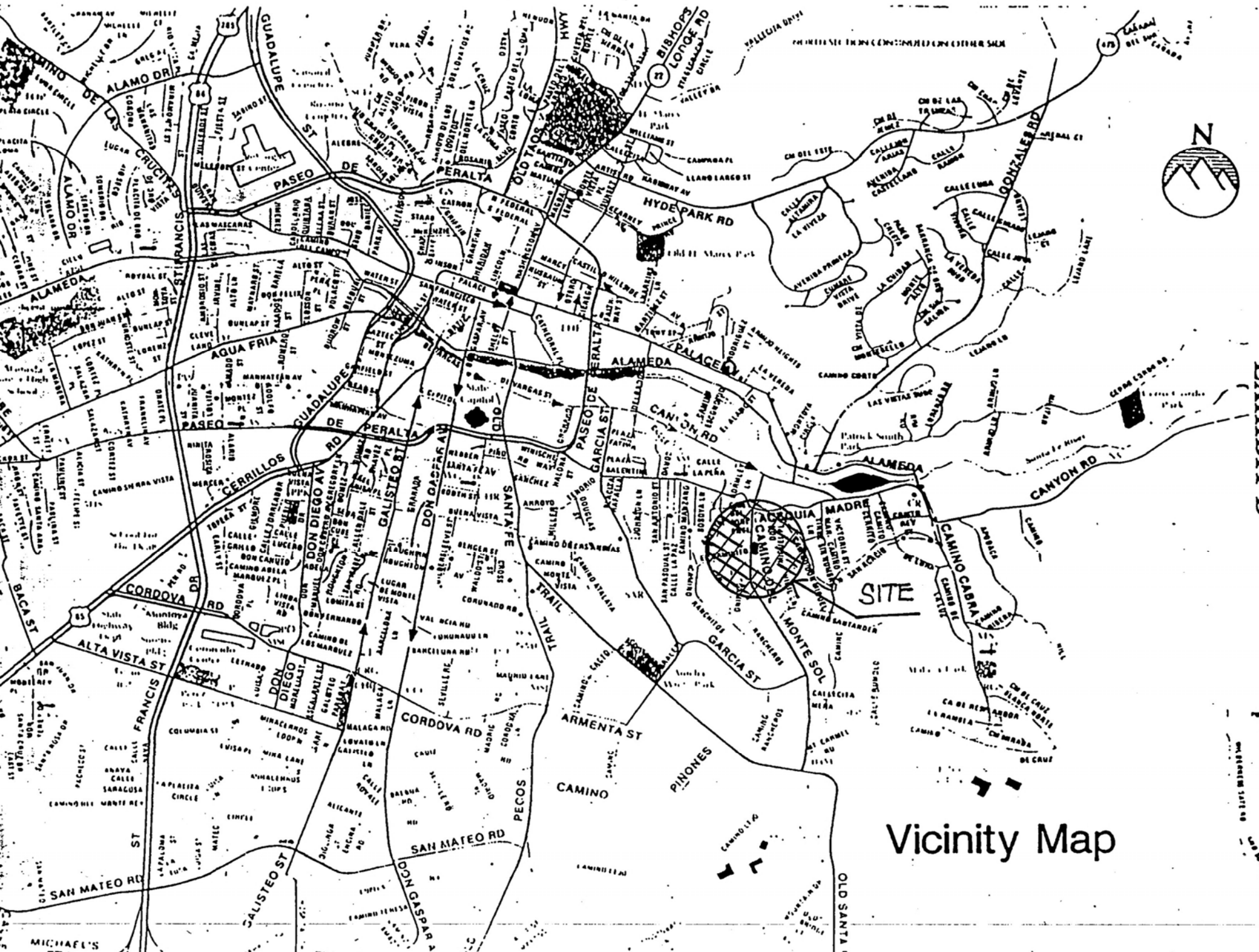


EXHIBIT D

Vicinity Map

PHOTOGRAPH BY  
 1948  
 1948

REPLAT OF SURVEY FOR  
GERALD P AND KATHLEEN R PETERS

LYERS AND SETTING BEYONDS AT BUSH BUNDLES 422 THROUGH 429 CARINO DEL MONTE SOG. MAPS NO. 1, SANTA FE, NEW MEXICO, CONTAINING 1.777 AC. ±

EXISTING

NOTES

1. MERIDIAN (83°57'04" E) BASED ON CLOSING LINE BETWEEN POINTS FOUND AT THE SOUTHWEST CORNER OF THE PARCEL (SEE CARINO DEL MONTE SOG.) AND THE SOUTHWEST CORNER OF LOT 1 AND PLAT TITLE "PLAT OF SURVEY FOR DAVID BARTNER HOLD NO. 1, SANTA FE, NEW MEXICO" PREPARED BY GEORGE RIVERA, S.F.P.C.S. NO. 2149, DATED FEBRUARY 18TH AND FILED AT THE S.F.P.C.S. BOOK 28, PAGE 26.
2. DATA IN DOUBLE PARENTHESES (( )) TAKEN FROM PLAT OF BUSH NO. 1.
3. ORIGINAL LOT LINES FOR TRACTS 1-5, AND PERIMETER DATA IN PARENTHESES ( ) TAKEN FROM PLAT TITLED "LANDS SURVEYED FOR CLYDE B. BARTNER, WARD NO. 1 SANTA FE, NEW MEXICO" BY WALTER S. TUCKER, DATED JUNE 13, 1940, SURVEY NUMBER 48278-9.
4. DEPUTY MATERIALS EASEMENT TO PUBLIC SERVICE CO. OF NEW MEXICO, DATED AUGUST 2, 1950 AND FILED AT THE S.F.P.C.S. JULY 28, 1951, BOOK 23, PAGE 124.
5. REFER TO GRANT OF EASEMENT BY AND BETWEEN MARY ELIZABETH BERNETT AND GERALD P. AND KATHLEEN R. PETERS, FILED IN THE SANTA FE COUNTY CLERK'S OFFICE IN BOOK 247, PAGE 24-26.
6. \* DENOTES CALCULATED POINT.
7. ▨ DENOTES EASEMENT AREA.

CERTIFICATE

I HEREBY CERTIFY TO GERALD P. AND KATHLEEN R. PETERS THAT THIS PLAT AND THE NOTES HEREON, TO THE BEST OF MY KNOWLEDGE AND BELIEF ARE AN ACCURATE COPY OF A FIELD SURVEY COMPLETED BY ME OR UNDER MY SUPERVISION ON 6/16/87 AND THAT THEY MEET THE STANDARDS FOR PROFESSIONAL SURVEYORS PRACTICING IN NEW MEXICO.

*Michael E. Noonan*  
S.F.P.C.S. NO. 4528 MICHAEL E. NOONAN

STATE OF NEW MEXICO | S.F.  
COUNTY OF SANTA FE |

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16th DAY OF July 1987 BY *Gerald P. Peters* and *Kathleen R. Peters*.

*Edward E. Hansen*  
NOTARY PUBLIC

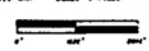
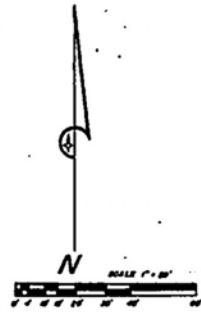
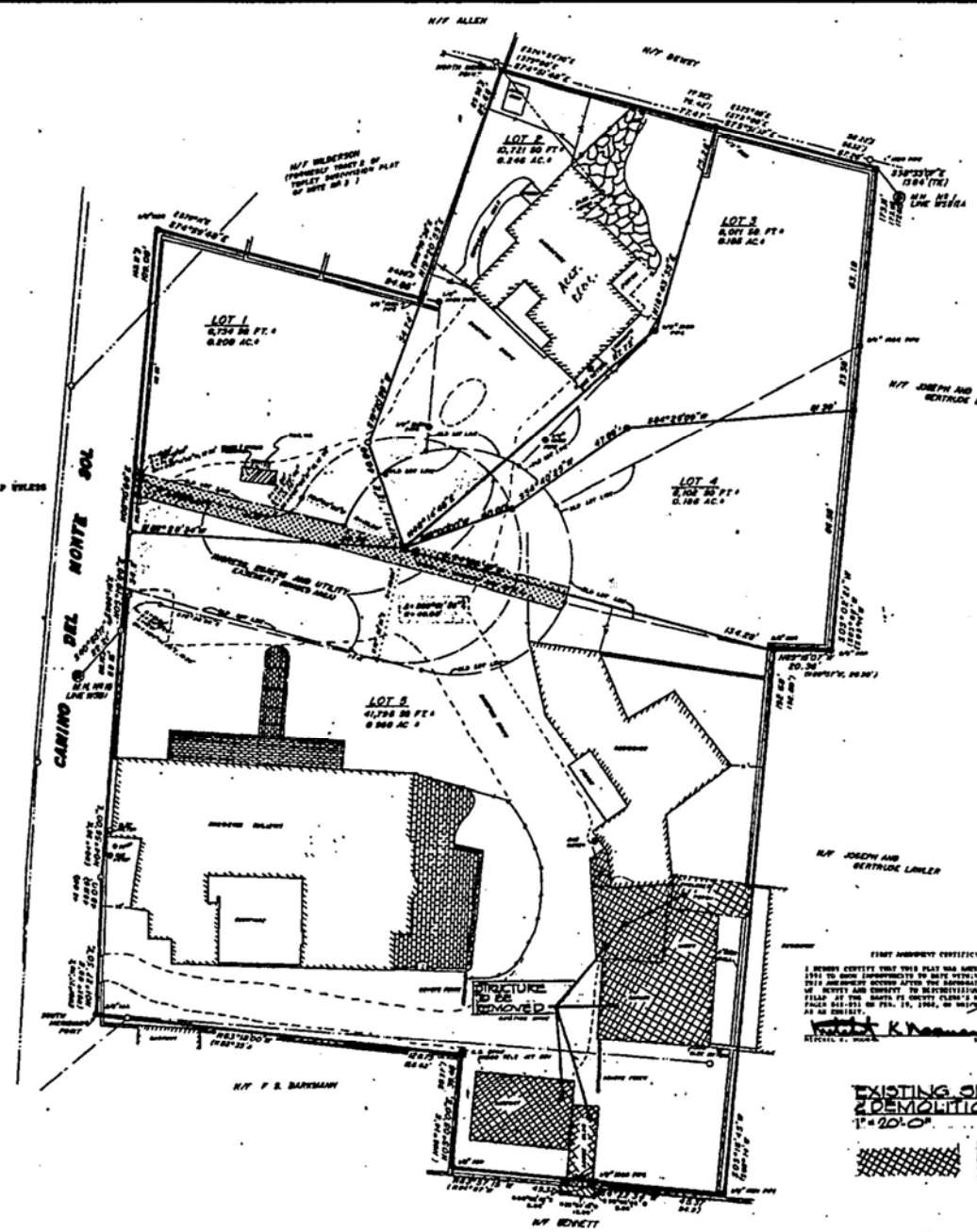
MY COMMISSION EXPIRES 7/31/1991

EXISTING SITE PLAN AND DEMOLITION PLAN  
1" = 20' 0"

AREA OF STRUCTURES TO BE REMOVED

SOUTHWEST MOUNTAIN SURVEYS

439-A-B-C  
EXISTING SITE PLAN AND DEMOLITION PLAN  
JUL 16 1987  
2



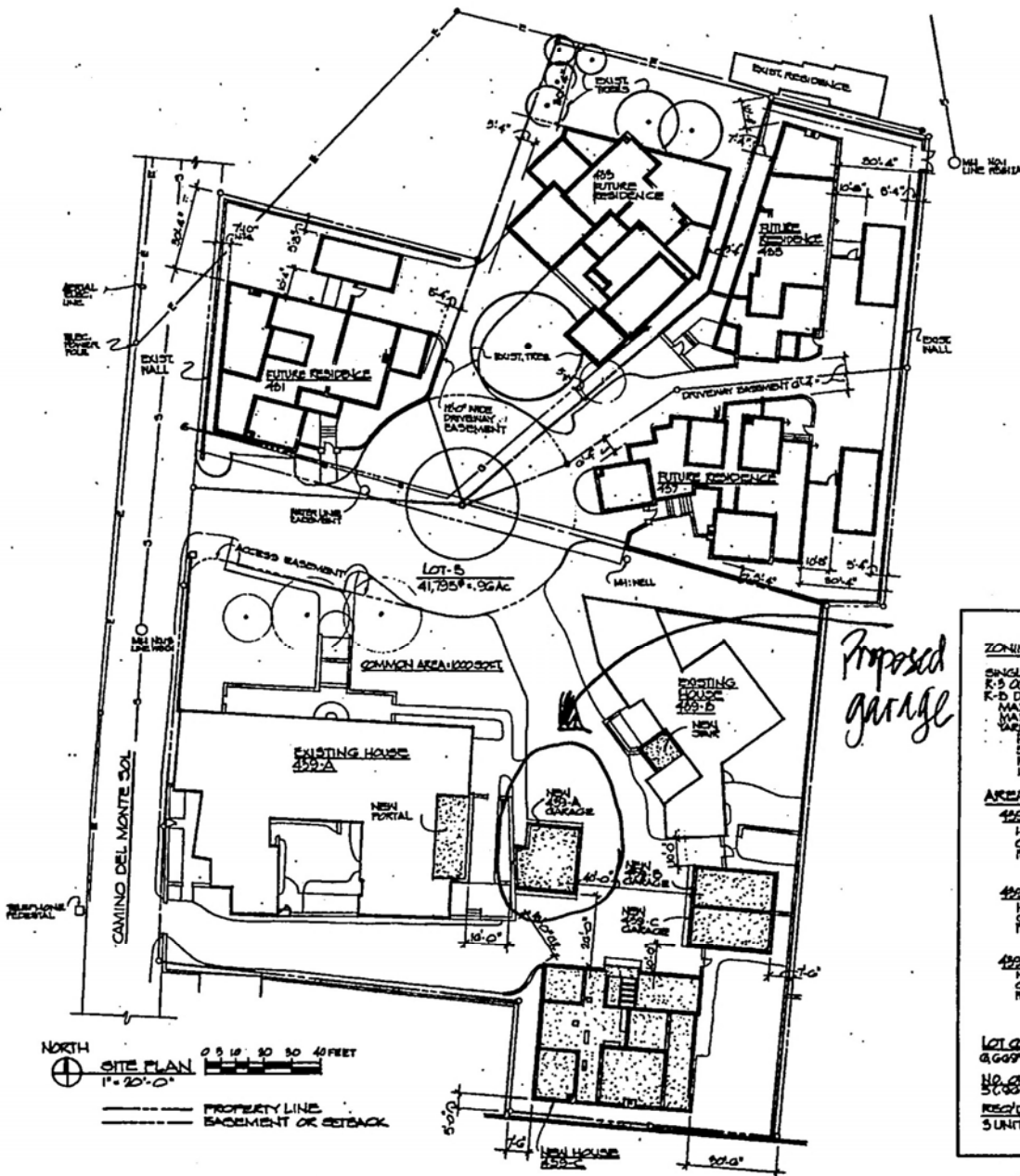
LEGEND  
--- EXISTING DRIVE  
--- EXISTING UTILITY LINE  
--- EXISTING EASEMENT  
--- EXISTING STRUCTURE  
--- EXISTING BOUNDARY OF ELEMENTS

FIRST AMENDMENT CERTIFICATE  
I HEREBY CERTIFY THAT THIS PLAT WAS AMENDED ON JANUARY 12, 1984 TO SHOW IMPROVEMENTS TO BUSH TRACTS 1, 2, 3, 4, 5. THIS AMENDMENT ACCORDS WITH THE REPRESENTATION OF "CERTIFICATE OF SURVEY AND CONVEY TO REDEVELOPMENT OF BUSH TRACTS" FILED AT THE SANTA FE COUNTY CLERK'S OFFICE IN BOOK 127, PAGE 24-26 ON FEB. 15, 1984. NO OTHER PLAT IS LISTED AS AN AMENDMENT.

*Gerald P. Peters*  
MICHAEL E. NOONAN S.F.P.C.S. NO. 4528



NORTH  
VICINITY MAP



*Proposed garage*

**ZONING REQUIREMENTS:**

- SINGLE FAMILY DWELLING
- R-3 OCCUPANCY TYPE 3EN CONSTRUCTION
- R-3 DISTRICT & HISTORICAL DISTRICT
- MAX. LOT COVERAGE: 40%
- MAX. HEIGHT: 34'-0"
- YARD SETBACKS:
- FRONT YARD: 7'-0"
- SIDE YARD: 5'-0"
- REAR YARD: 5'-0"
- 10'-0" BETWEEN ADJACENT BUILDINGS

**AREA TABULATION:**

<b>452-A GALLERY</b>
HEATED FINISHED: 2,730 SQ.FT.
GARAGE/STORAGE: 573
TOTAL: 3,303 SQ.FT.
<b>452-B HARVEY HOUSE</b>
HEATED FINISHED: 2,554 SQ.FT.
GARAGE/STORAGE: 440
TOTAL: 2,994 SQ.FT.
<b>452-C NEW UNIT</b>
HEATED FINISHED: 2,210 SQ.FT.
GARAGE/STORAGE: 500
TOTAL: 2,710 SQ.FT.

**LOT COVERAGE:**  
 $9,669 \div 4,411 = 2.192 / 4.751 = 52.7\%$

**NO. OF UNITS ALLOWED: 5 UNITS PER ACRE**  
 $5 \times (9,669) = 48 UNITS ALLOWED$

**REQ'D. COMMON AREA: 250 SQ.FT./UNIT**  
 $5 UNITS \times 250' = 750 SQ.FT. REQ'D.$



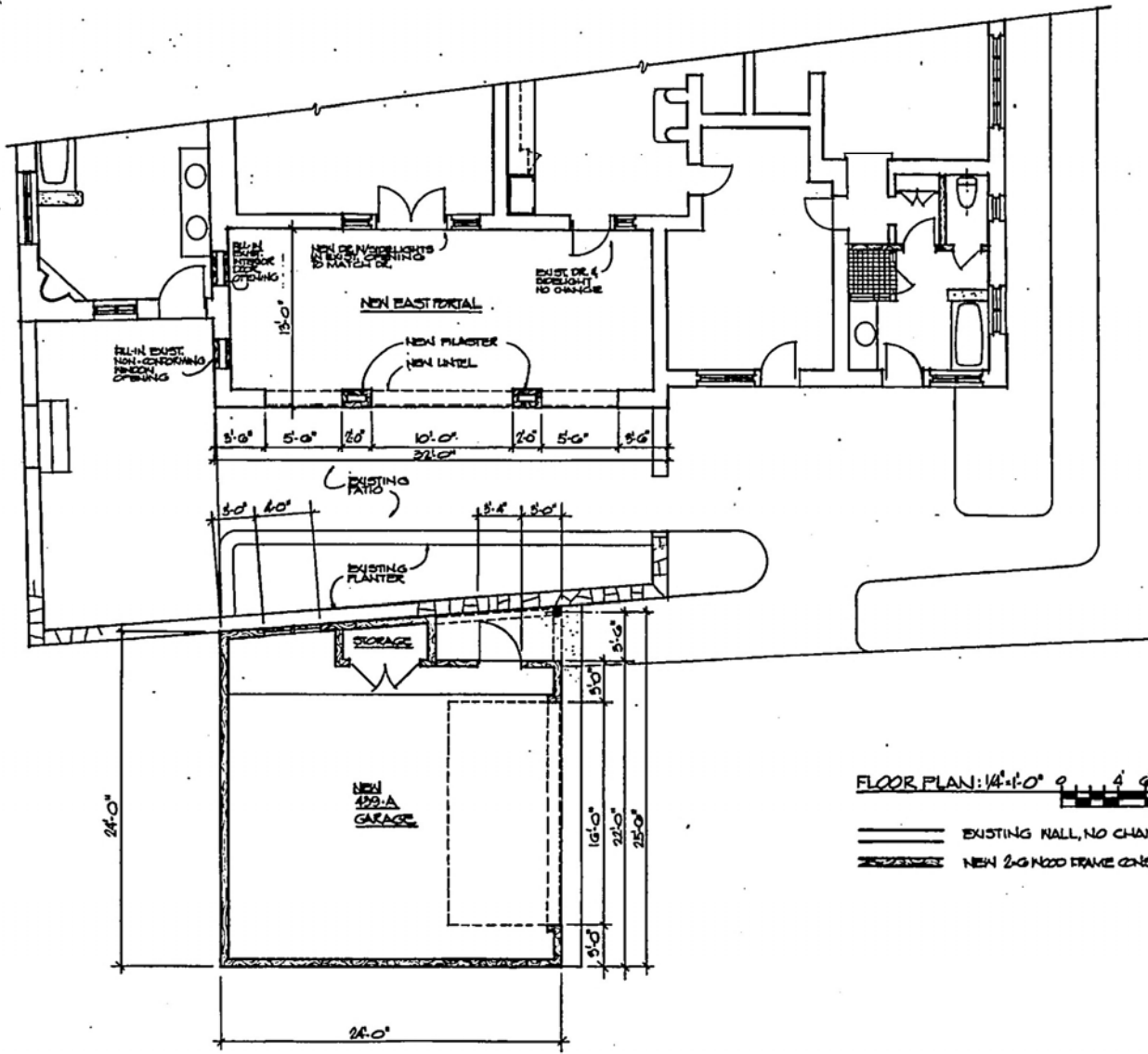
ARCHITECT  
**MICHAEL P. LEE & ASSOCIATES**  
 123 PAGES OF PLANS  
 410-145-1455

**MARY AUSTIN COMPOUND**  
 452-A, B, C  
 452-A, B, C

SHEET TITLE  
**THE PLAN - LOTS 5**  
 1-20-C

DATE  
 9-18-97

SHEET #  
**1**



FLOOR PLAN: 1/4" = 1'-0" 0 4 6 8 NORTH

- ==== EXISTING WALL, NO CHANGE
- ===== NEW 2x6 WOOD FRAME CONSTRUCTION



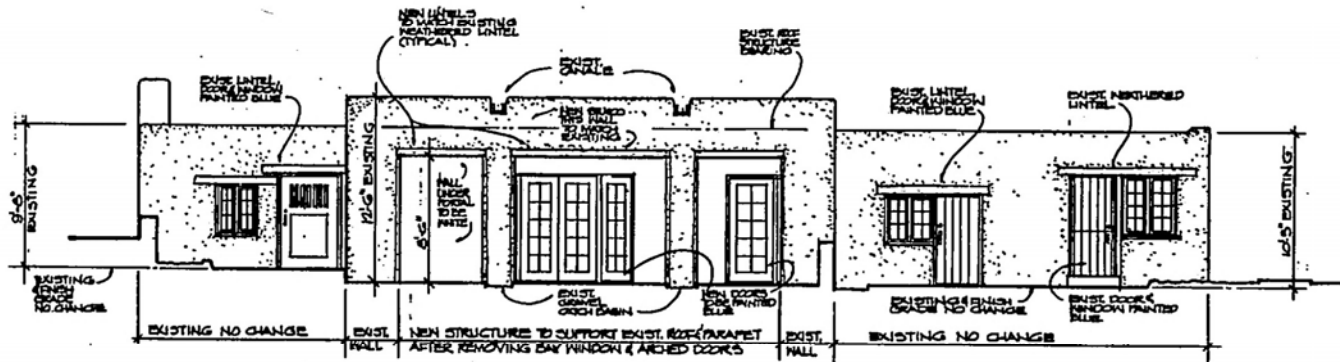
ARCHITECT  
**MICHAEL F. BAKER & ASSOCIATES**  
 1434 PHOENIX AVENUE, SUITE 101, MIAMI, FL 33134  
 September 1975

**MARY AUSTIN COMPOUND**  
 420-A  
 1434 PHOENIX AVENUE, SUITE 101, MIAMI, FL 33134

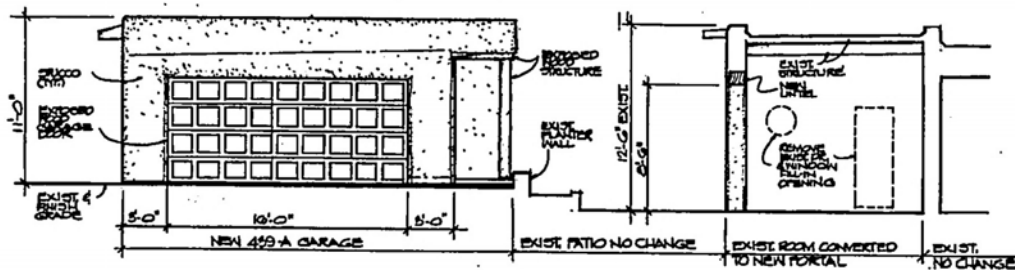
SHEET TITLE  
**FLOOR PLAN**  
 1/4" = 1'-0"

DATE  
 6-15-97

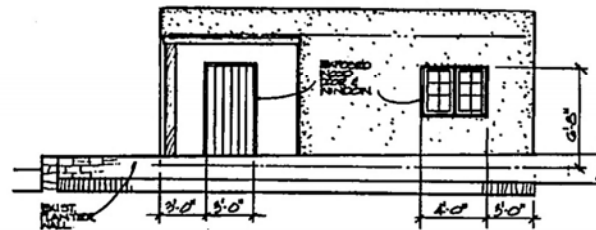
NO. 4



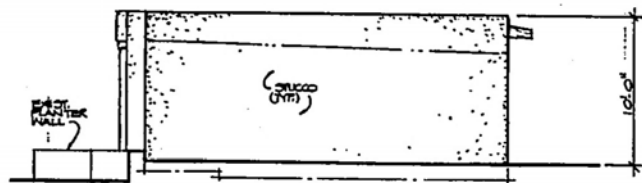
**EAST ELEVATION of 459-A PORTAL**  
1/4"=1'-0"



**NORTH ELEVATION OF 459-A GARAGE / CROSS-SECTION THRU EAST PORTAL**  
1/4"=1'-0"

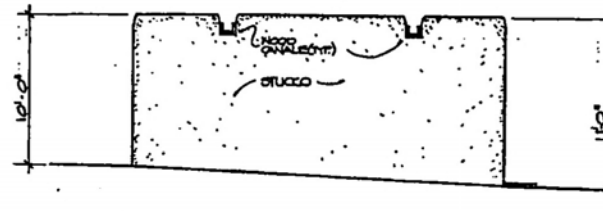


**WEST ELEVATION (VIEWED FROM EXISTING PATIO)**  
1/4"=1'-0" 459-A GARAGE



**SOUTH ELEVATION 459-A GARAGE**  
1/4"=1'-0"

**EXTERIOR GARAGE BUILDING COLORS:**  
STUCCO: EL REY BUONSKIN #108  
**EXTERIOR WOOD:**  
WINDOW, DOOR, GARAGE DOOR:  
\*BROWN WILLIAM'S GARAGE HOUSE STAIN  
ALL EXTERIOR WOOD STRUCTURES, GELLAN,  
BEAM & CANALS OR  
\*BROWN WILLIAM'S GARAGE HOUSE STAIN,  
THINNED 2 TO 1.



**EAST ELEVATION 459-A GARAGE**  
1/4"=1'-0"



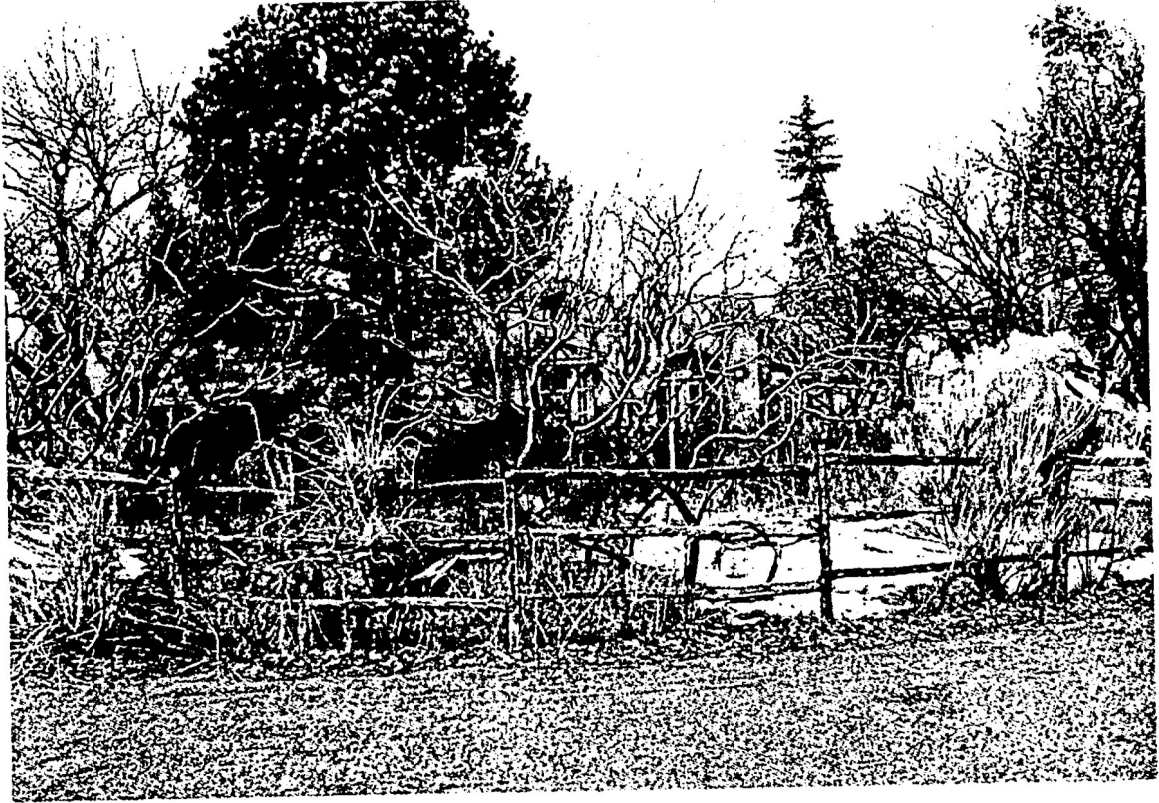
ARCHITECT  
**MICHAEL F. BAKER & ASSOCIATES**  
1425 PEARSON ST. SUITE 100  
DALLAS, TEXAS 75201  
214-740-1100

**RYAUSTIN.COMPOUND**  
CANTON, TEXAS  
409-433-1100

SHEET TITLE  
**EXTERIOR ELEV. OF  
NEW PORTAL AND  
GARAGE** 1/4"=1'-0"

Job #  
Date  
9/10/97

Scale  
3'



439-A Garage Site

H-97-132



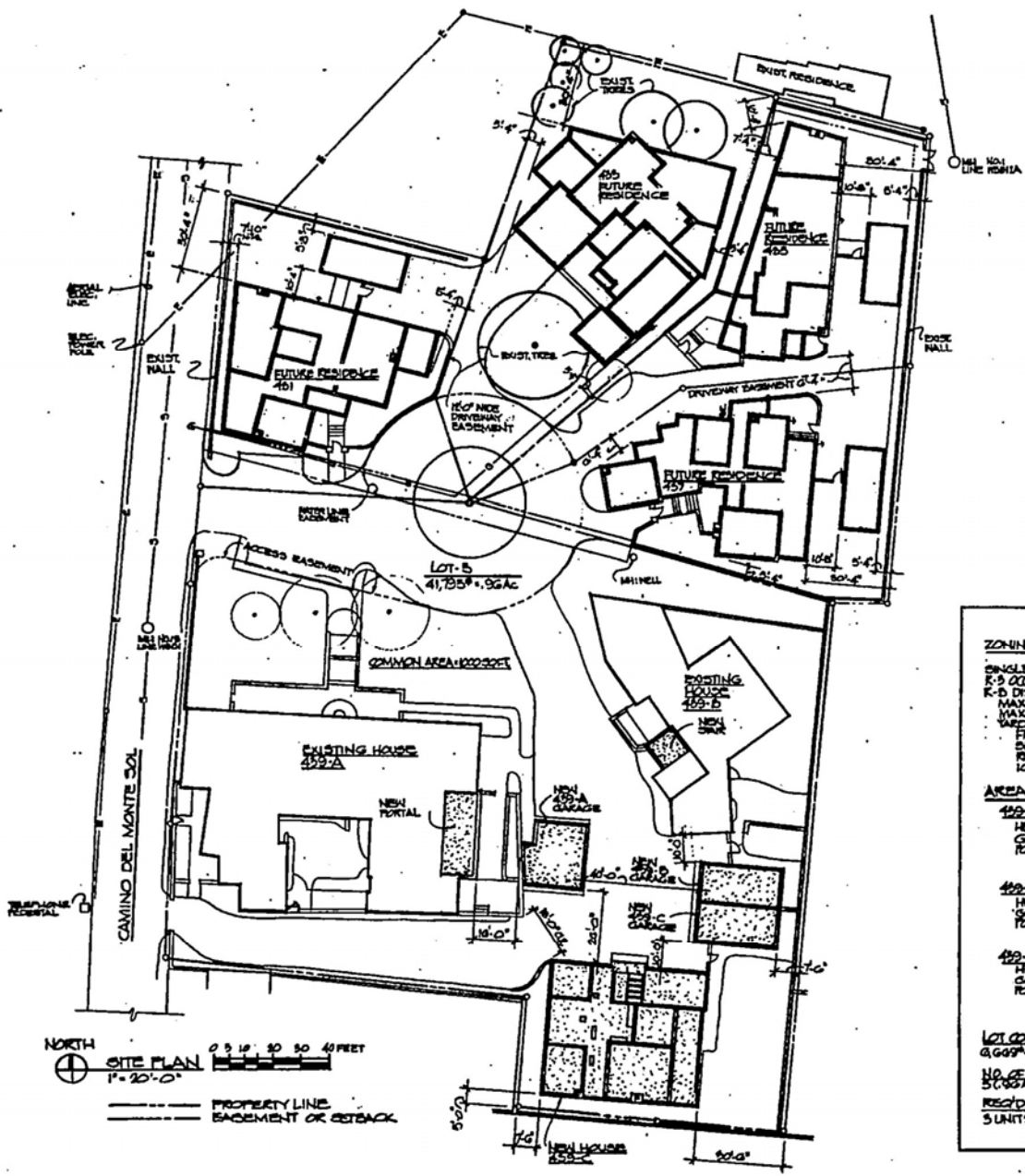
ARCHITECT  
**MICHAEL F. BAUER & ASSOCIATES**  
 1415 PASEO DEL MAR, SANTA MONICA, CA 90401  
 310-316-1188

**MARY AUSTIN COMPOUND**  
 439-A-B-C

SHEET TITLE  
**PHASE PLAN - LOTS 2**  
 11-20-07

DATE  
 9-15-07

SHEET NO.  
**1**



**ZONING REQUIREMENTS:**

SINGLE FAMILY DWELLING  
 R-5 OCCUPANCY, TYPE 3/4 CONSTRUCTION  
 R-5 DISTRICT & HISTORICAL DISTRICT  
 MAX. LOT COVERAGE: 40%  
 MAX. HEIGHT: 24'-0"  
 YARD SETBACKS:  
 FRONT YARD: 10'  
 SIDE YARD: 5'-0"  
 REAR YARD: 20'-0"  
 10'-0" BETWEEN ADJACENT BUILDINGS

**AREA TABULATION:**

<b>439-A1 GALLERY</b>	HEATED/FINISHED: 3,730 SQ.FT.
	GARAGE/STORAGE: 573
	TOTAL: 3,649 SQ.FT.
<b>439-B1 HARVEY HOUSE</b>	HEATED/FINISHED: 2,054 SQ.FT.
	GARAGE/STORAGE: 117
	TOTAL: 2,411 SQ.FT.
<b>439-C NEW UNIT</b>	HEATED/FINISHED: 2,240 SQ.FT.
	GARAGE/STORAGE: 500
	TOTAL: 3,100 SQ.FT.

**LOT COVERAGE:**  
 3,649 + 2,411 + 3,100 = 9,160 / 41,755 = 22%

**NO. OF UNITS ALLOWED: 5 UNITS PER ACRE**  
 5 (0.22 AC) = 1 UNITS ALLOWED

**REQ'D. COMMON AREA: 250 SQ.FT./UNIT**  
 5 UNITS x 250' = 750 SQ.FT. REQ'D.

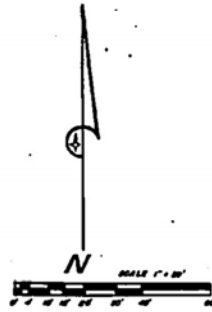


NORTH  
 VICINITY MAP



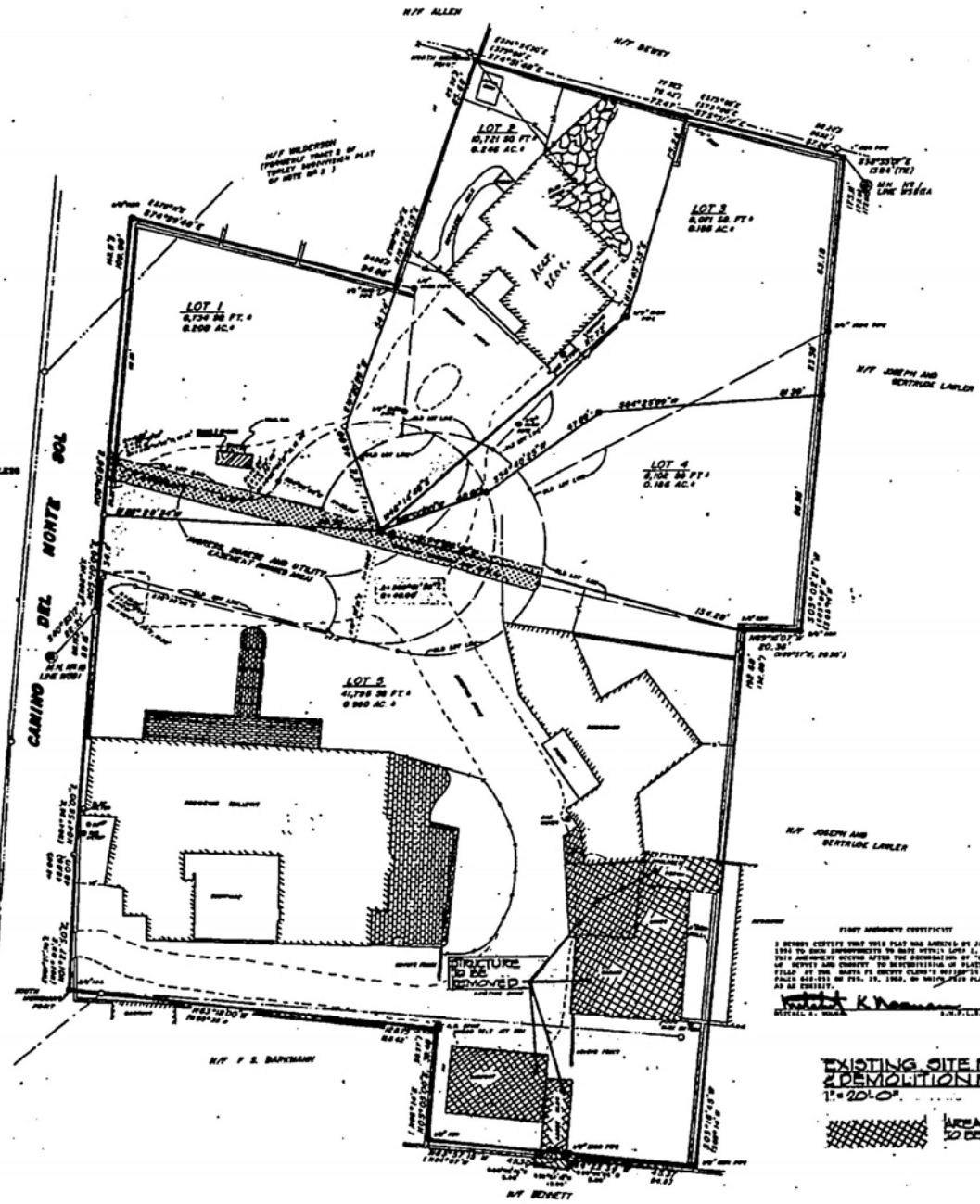
REPLAT OF SURVEY FOR  
GERALD P AND KATHLEEN R PETERS

LIVING AND BEING SITUATE AT HOUSE NUMBER 433 THROUGH 439 CARLING DEL MONTE SOC., WARD NO. 1, SANTA FE, NEW MEXICO, CONTAINING 1.777 AC. ±



**LEGEND**

--- SHOWN AS INDICATED.  
--- 1/8" BOUNDARY WITH CAP OR LINES  
--- CITY OF SANTA FE SANITARY ENGINEER'S MAP  
--- SPURVEAD STILITY LINE  
--- STILITY POLE  
--- STILITY LINE  
--- EXISTING DRIVE  
--- DOTTED OLD LOT LINES  
--- BOUNDARY OF PARCELS



**NOTE**

- MERIDIAN (213°51'04"R) BASED ON CLOSING LINE BETWEEN POINTS FOUND AT THE SOUTHWEST CORNER OF THE PARCEL (ON CARLING DEL MONTE SOC.) AND THE SOUTHWEST CORNER OF LOT 1 AND PLAT TITLED "PLAT OF SURVEY FOR DAVID GARTNER WARD NO. 1, SANTA FE, NEW MEXICO" PREPARED BY GEORGE RITVELD, P.M.S.L.S. NO. 2148, DATED FEB-JUNE 1970 AND FILED AT THE S.F.C.C.S. BOOK 20, PAGE 24.
- DATA IN DOUBLE PARENTHESES ( ) TAKEN FROM PLAT OF NOTE NO. 1.
- ORIGINAL LOT LINES FOR TRACTS 1-5, AND PERMITS DATA IN PARENTHESES ( ) TAKEN FROM PLAT TITLED "LANDS SURVEYS FOR CLYDE B. GARTNER, WARD NO. 1, SANTA FE, NEW MEXICO" BY WALTER G. TUCKER, DATED JUNE 12, 1960, SURVEY NUMBER 4914-B.
- DEPUTY WATERLINE EASEMENT TO PUBLIC SERVICE CO. OF NEW MEXICO, DATED JANUARY 3, 1960 AND FILED AT THE S.F.C.C.S. JUNE 28, 1961, BOOK 20, PAGE 104.
- REFER TO DEED OF EASEMENT BY AND BETWEEN MARY ELIZABETH BERRYETT AND GERALD P. AND KATHLEEN R. PETERS, FILED IN THE SANTA FE COUNTY CLERK'S OFFICE IN BOOK 64-B, PAGE 241-242.
- DEPUTES CALCULATED POINT.
- DEPUTES EASEMENT AREA.

**CERTIFICATE**

I HEREBY CERTIFY TO GERALD P. AND KATHLEEN R. PETERS THAT THIS PLAT AND THE NOTES HEREON, TO THE BEST OF MY KNOWLEDGE AND BELIEF ARE AN ACCURATE COPY OF A FIELD SURVEY COMPLETED BY ME OR UNDER MY DIRECTION ON 6/16/87 AND THAT THEY MEET THE STANDARDS FOR PROFESSIONAL PRACTICING IN NEW MEXICO.

*Mitchell E. Bookley*  
M.I.C. No. 6594      MITCHELL E. BOOKLEY

STATE OF NEW MEXICO ) S.S.  
COUNTY OF SANTA FE )

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12th DAY OF July 1987, BY MITCHELL E. BOOKLEY.

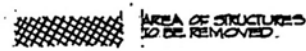
*Edward E. Steiner*  
EDWARD E. STEINER  
NOTARY PUBLIC

MY COMMISSION EXPIRES: May 12, 1989

**FIRST AMENDMENT CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAT WAS LABELED BY JANUARY 11, 1988 TO BE AN INSTRUMENT TO BE RECORDED IN BOOK 20, PAGE 104. THIS AMENDMENT OCCURS AFTER THE SUBMISSION OF CERTIFICATES TO THE COUNTY CLERK. TO BE RECORDED IN PLAT BOOK 20, PAGE 104. THIS AMENDMENT IS THE ONLY ONE TO BE RECORDED IN PLAT BOOK 20, PAGE 104. THIS AMENDMENT IS THE ONLY ONE TO BE RECORDED IN PLAT BOOK 20, PAGE 104.

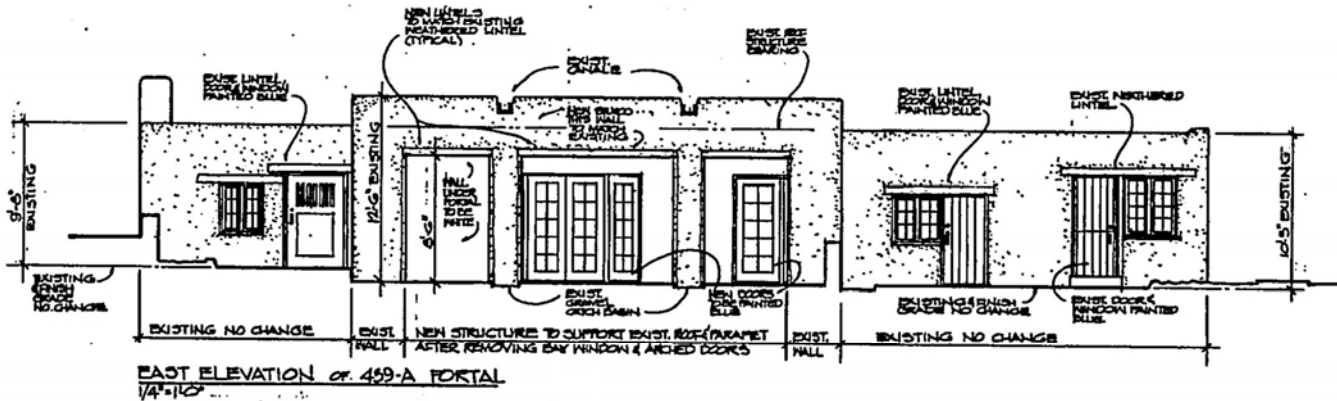
**EXISTING SITE PLAN AND DEMOLITION PLAN**  
1" = 20' 0"



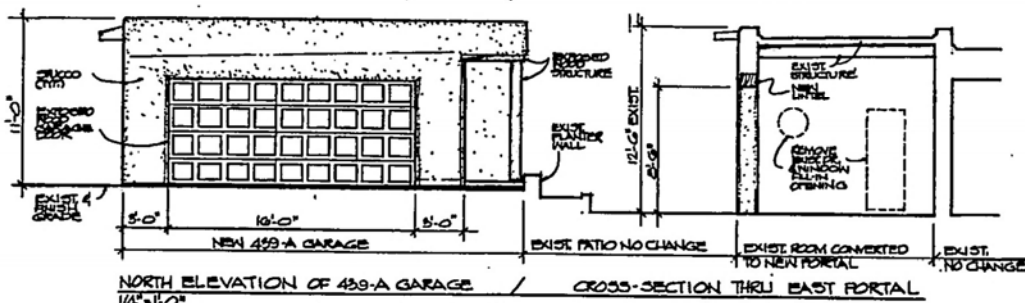
SOUTHWEST MOUNTAIN SURVEYS

MARY ADST - COMPOUND  
 439-A-B-C  
 5-11-87  
 EXISTING SITE PLAN  
 DEMOLITION PLAN  
 Job #  
 5-16-97  
 2

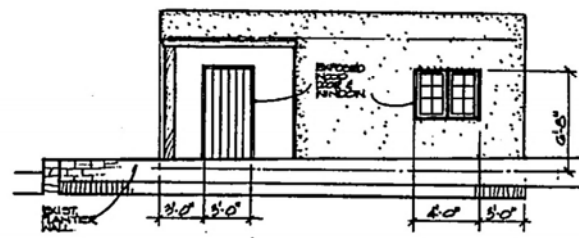




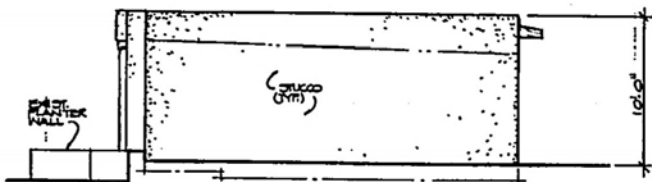
**EAST ELEVATION of 459-A FORTAL**  
1/4"=1'-0"



**NORTH ELEVATION OF 459-A GARAGE / CROSS-SECTION THRU EAST FORTAL**  
1/4"=1'-0"

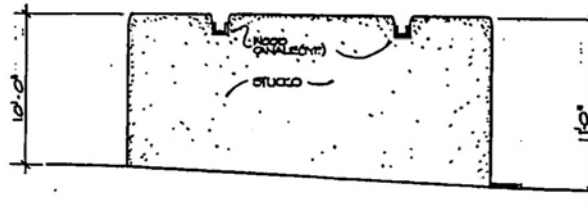


**WEST ELEVATION (VIEWED FROM EXISTING PATIO) 459-A GARAGE**  
1/4"=1'-0"



**SOUTH ELEVATION 459-A GARAGE**  
1/4"=1'-0"

**EXTERIOR GARAGE BUILDING COLORS:**  
 STUCCO: EL REY BUOCKIN 106  
**EXTERIOR WOOD:**  
 WINDOW DOOR GARAGE DOOR:  
 SEBON WILLIAMS' GATE HOUSE STAIN,  
 ALL EXPOSED WOOD STRUCTURE, GULLAN,  
 DEAN & CANAL 100  
 SEBON WILLIAMS' GATE HOUSE STAIN,  
 THINNED 2 TO 1.



**EAST ELEVATION 459-A GARAGE**  
1/4"=1'-0"



ARCHITECT  
**MICHAEL F. BAUER & ASSOCIATES**  
 1457 PINE BLVD. SUITE 100  
 SANTA FE, NM 87501

**MARY AUSTIN COMPOUND**  
 1457 PINE BLVD. SUITE 100  
 SANTA FE, NM 87501

SHEET TITLE  
**EXTERIOR ELEV. OF  
 NEW FORTAL AND**

DATE  
 9-10-97

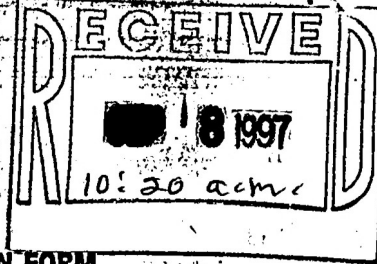
3



439-A Garage Site

H-97-132

EXHIBIT (C)



HISTORIC DESIGN REVIEW BOARD APPLICATION FORM

Application Type: Preliminary Approval ( ) Final Approval

Project Location: 439-A CAMINO DEL MONTE SOL

Owner: PETERS, GERALD & KATHLEEN Phone: 988-8961

Address: 825-EL CAMINITO City, State, Zip Code: SANTA FE, NM 87501

Applicant: MICHAEL BAUER, ARCHITECT Phone: 988-1905

Address: 1424 PASEO DE PERALTA City, State, Zip Code: SANTA FE, NM 87501

Project Proposal: GARAGE FOR 439-A

New Construction: Single-Family Residence  Commercial ( )  
Multi-Family Residence ( )

Other Construction: Demolition ( ) Remodel ( ) Addition ( ) Residential ( )  
Sign(s) ( ) Wall/Fence ( ) Antenna ( )

Have you met with a Historic Districts Case Planner for a preapplication visit? Yes  No ( )

If yes, who? HEATHER PIERSON Date? 7-15-97

Does the project include multi-story new construction or an addition which will increase the height of the subject building? Yes ( ) No

If yes, what is the appropriate streetscape height (as determined during your preapplication visit)?

What is the proposed height as illustrated in your project? 11'-0" MAX.

Have you met with the appropriate zoning staff in the Permit and Development Review Division to determine that your project conforms with the city's zoning standards? Yes  No ( )

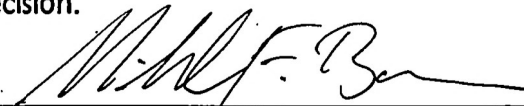
If yes, who? MONICA MONTOYA Date? 7-28-97

**If you have not met with zoning staff, please do so prior to submitting for HDRB review. All cases must comply with zoning requirements prior to review by the HDRB. Meeting with staff prior to the HDRB review will aid in expediting the permit process. Call 984-6571 for more information on required zoning.**

I certify that the documents submitted for Historic Design Review meet the minimum standards set forth in the Historic Districts Ordinance, Section 14-70 Santa Fe City Code 1987. Failure to meet these standards may result in rejection of my application. I also certify that I have met with a representative of the city's Zoning staff and verified the attached proposal is in compliance with the city's zoning requirements.

I agree to post notice of the proposed project on the site seven (7) days prior to the Historic Design Review Board meeting.

I am aware that a decision of the HDRB may be appealed by any aggrieved party within seven (7) days of the decision.

  
Signature of Applicant or Owner

9.15.97  
Date



# City of Santa Fe, New Mexico

Debbie Jaramilla, Mayor

Ron Curry, City Manager

Councilors: Frank Montaño, Mayor Pro Tem, Dist. 3  
Patti J. Bushee, Dist. 1  
Larry A. Delgado, Dist. 1  
Cristopher Moore, Dist. 2

Molly Whitted, Dist. 2  
Art Sanchez, Dist. 3  
Peso Chavez, Dist. 4  
Amy Manning, Dist. 4

Project description . . . : REM. OF B WINDOW & REST. PORTAL ON E ELE  
Project number . . . . : 97- 10100192  
Case Number . . . . . : H-97-171  
Project type . . . . . : HISTORIC DESIGN REVIEW BOARD  
Application date . . . : 11/05/97

**PROJECT LOCATION(S) : 439 A Camino Del Monte Sol**

**PROJECT NAMES:**

OW- Peters, Gerald & Kathleen      825 El Caminito  
Santa Fe, NM 87501                      (505)                      9888961

AP- Bauer, Michael                      1424 Paseo De Peralta  
Santa Fe, NM 87501                      (505)                      9881905

**BOARD ACTION**

This is to certify that the Historic Design Review Board at their meeting on November 25, 1997, acted on the above referenced case. The decision of the Board was to approve your request.

For further information please call 984-6808.

Sincerely,

Mary Grzeskowiak  
Historic Preservation Planner

Heather Pierson  
Historic Districts Case Planner

**Note: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6). PLEASE PROVIDE COPIES OF THIS LETTER WHEN SUBMITTING FOR BUILDING PERMIT.**



# City of Santa Fe, New Mexico

Project description . . : REM. OF B WINDOW & REST. PORTAL ON E ELE  
Project number . . . . : 97- 10100192  
Case Number . . . . . : H-97-171  
Project type . . . . . : HISTORIC DESIGN REVIEW BOARD  
Application date . . . : 11/05/97

**PROJECT LOCATION(S) :** 439 A Camino Del Monte Sol

**PROJECT NAMES:**

OW- Peters, Gerald & Kathleen 825 El Caminito  
Santa Fe, NM 87501 (505) 9888961

AP- Bauer, Michael 1424 Paseo De Peralta  
Santa Fe, NM 87501 (505) 9881905

**PROJECT DATA**

HISTORICAL DISTRICT	DOWNTOWN & EASTSIDE
HISTORIC BUILDING STATUS	CONTRIBUTING
PUBLICLY VISIBLE FACADE-EAST	Y
PUBLICLY VISIBLE FACADE-NORTH	Y
PUBLICLY VISIBLE FACADE-SOUTH	Y
PUBLICLY VISIBLE FACADE-WEST	Y
HISTORIC BUILDING NAME	MARY AUSTIN HOUSE
HISTORIC DIST SURVEY NUMBER	7270
AGE OF STRUCTURE	1925
PROJECT TYPE (NEW, ADD, ETC.)	PORTAL
USE, EXISTING	COMMERCIAL
USE, PROPOSED	RESIDENTIAL

# City of Santa Fe, New Mexico

# memo

DATE: 25 November 1997

TO: Historic Design Review Board Members

VIA: Anne M. Condon, Planning Division Team Leader *AMC*  
Mary Grzeskowiak, Historic Preservation Planner *MG*

FROM: Heather L. Pierson, Historic Districts Case Planner *HP*

**ITEM & ISSUE:**

CASE #H- 97-171 ADDRESS 439 A Camino del Monte Sol

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

- Case Synopsis
- District Standards
- State Historical Survey Sheet
- Minutes of \_\_\_\_\_
- Other \_\_\_\_\_

**APPLICANT SUBMITTALS**

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other \_\_\_\_\_

**STAFF RECOMMENDATION:**

Staff acknowledges the standards for architectural design, preservation, and height have been met and recommends approval.

**BACKGROUND & SUMMARY:**

The applicant has provided illustrations for the following renovation treatments: the removal of bay windows and French doors on the east elevation thereby creating a portal and restoring the historic profile of that elevation, the insertion of French doors beneath the proposed portal, and the construction of a dividing courtyard wall at the same height as the existing walls at the rear (south) of the building.

As noted on the New Mexico Building Inventory Form, the east elevation has been altered. The proposed work will not involve the removal of any historic fabric or character; therefore, the historic status will be retained (Section 14-70.73A1 SFCC 1987). The proposed portal structure will return the building to its original footprint on that elevation. The proposed yard wall is within the 6-foot height allowed per Section 14-70.20B2c SFCC 1987.

## 14-70.9 STANDARDS; DOWNTOWN AND EASTSIDE.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection;

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are

avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements;

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang. (Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991

H 1.2

ADDRESS: 439 Camino del Monte Sol  
Camino del Monte Sol National Historic District

ID NUMBER: 0516000123

BUILDING NAME: Mary Austin House / Gerald Peters Gallery

IDENTIFICATION

UTM REFERENCE EASTING NORTHING  
ZONE 12 13

LEGAL DESCRIPTION:

TNSP 17 N 3 RANGE 10 E 3 SEC 30 NW 1/4 SW 1/4

FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85

DATE OF CONSTRUCTION:

ESTIMATE 1925 ACTUAL

SOURCE(S) Santa Fe New Mexican 6/26/1940

ARCHITECTURAL STYLE: Spanish-Pueblo Revival

USE:

HISTORIC: residential

OTHER \_\_\_\_\_

PRESENT: residential

OTHER commercial - art gallery

SURROUNDINGS: residential

PHOTO



#25 main entrance, north

BUILDING DATA

RELATIONSHIP TO HISTORIC SURROUNDINGS:

    SIMILAR  NOT SIMILAR

ASSOCIATED BUILDINGS ON SITE:

YES     NO

WHAT TYPE? offices/storage and storage shed  
IF INVENTORIED, LIST ID NUMBER(S)

0516000123.1

DEGREE OF REMODELING:

    MINOR  MODERATE

    MAJOR

EXPLAIN: small addition on west, bay on east

OVERALL CONDITION:

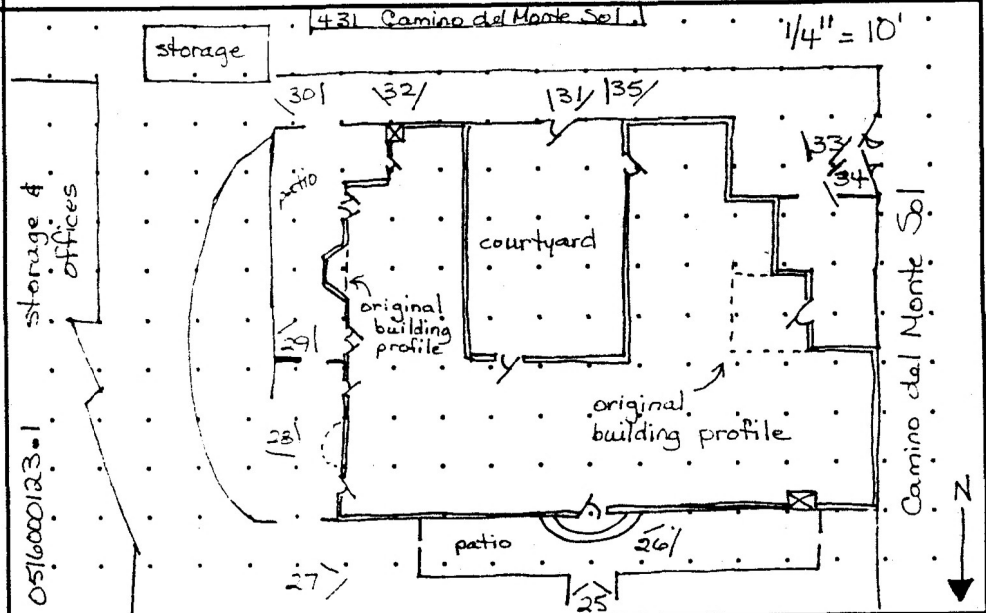
EXCELLENT     GOOD

    FAIR     DETERIORATED

BUILDING THREATENED?

    YES  NO

SITE PLAN



SIGNIFICANCE

LISTED ON NATIONAL REGISTER OF HISTORIC PLACES?

YES     NO     ELIGIBLE

CONTRIBUTING     NON-CONTRIBUTING

LISTED ON STATE REGISTER OF CULTURAL PROPERTIES?

YES     NO     ELIGIBLE CONTRIBUTING

LOCAL DESIGNATION: Core HISTORIC DISTRICT

    SIGNIFICANT  CONTRIBUTING     NON-CONTRIBUTING

LOCAL LANDMARK     YES     NO

SURVEYED 8/91 BY DB

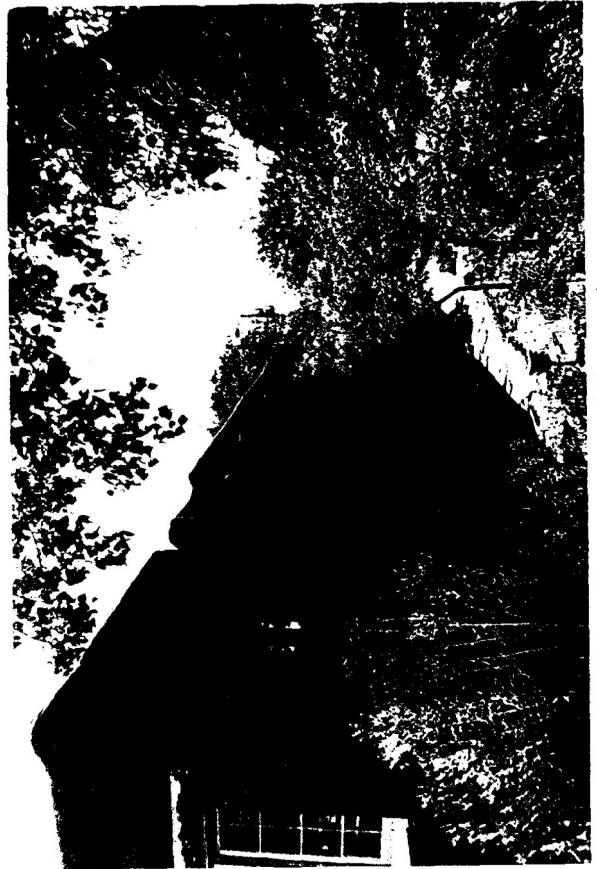
NEGATIVES WITH NMHPD ROLL # 8 NEG # 25 TO 35

ARCHITECTURAL AND LANDSCAPE FEATURES	FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
	BUILDING WALLS	stucco	walls of addition on W and bay on E are wood
	FOUNDATIONS	not visible	
	DOORS	wood panels, french	
	WINDOWS	4 6-lite wood casmts in groups of 2,3,4, and alone;	some 1x1 DHWs with wood reveals, Window to courtyard has large corbelled frame.
	PORTALES		
	CANALES	double-wide, wood lined with metal	
	PORCHES	patios north, east, and southwest	
	BALCONIES		
	ROOFS	slightly stepped parapet; flat roof, lower on W	bay on E has corrugated metal roof
	COURTYARDS	center south, grassed, surrounded by bldg and wall	
	FENCES/WALLS	low stucco wall around entry patio, stone & stucco around yard	
	ARCH. DETAILS	exposed lintels, wood sills, some projecting vigas	
OTHER	doors paired with windows as 1/2 sidelight on E		
COMMENTS	interior has polished oak floors, probably new, but ceilings are plank or latillas over beams, vigas - appear original. Masonry fireplaces.		

ADDITIONAL PHOTOGRAPHS



#26 partial north elevation



#27 from northeast

IDENTIFICATION

ADDRESS 439 Camino del Monte Sol  
Camino del Monte Sol National Historic District

ID NUMBER 051000123  
SURVEYED/RESEARCHED  
DATE 8/91 BY DB



#28 partial east elevation (north)



#29 partial east elevation (south)



#30 from southeast

IDENTIFICATION	ADDRESS 439 Camino del Monte Sol Camino del Monte Sol National Historic District	ID NUMBER 051600123
		SURVEYED/RESEARCHED
		DATE 8/91 BY DB



#35 courtyard gate, south



#31 courtyard, south



#32 partial south elevation

IDENTIFICATION

ADDRESS 439 Camino del Monte Sol  
Camino del Monte Sol National Historic District

ID NUMBER  
051600123

SURVEYED/RESEARCHED  
DATE 8/91 BY DB



#33 from southwest



#34 partial west elevation

IDENTIFICATION	ADDRESS 439 Camino del Monte Sol Camino del Monte Sol National Historic District	ID NUMBER 0516000123
		SURVEYED/RESEARCHED
		DATE <u>8/91</u> BY <u>DB</u>

House was built in 1925 by writer Mary Austin. (See article in SF New Mexican 6/26/1940 p.13.) Architect was John Gaw Meem. (See Bunting: John Gaw Meem.) Was Arsuna School of Fine Arts in 1940. Now the Gerald Peters Gallery.

Comparison of current building profile and materials indicates a small addition on the west, center, and of a bay window on the east near the rear (south).

Associated building to the east (0516000123.1) has been substantially altered. Survey in 1983 shows two separate buildings. 1985 survey plat shows them joined at corner. Now completely joined with small 2nd story addition.

MICHAEL F. BAUER + ASSOCIATES • ARCHITECTS  
1424 PASEO DE PERALTA • SANTA FE • NEW MEXICO 87501  
505 • 988 • 1905

November 5, 1997

Historic Design Review Board  
City of Santa Fe  
Santa Fe, New Mexico

**Re: 439-A Camino del Monte Sol, Unit 1 & 2**

Dear Board Members and Staff:

The proposed project is to convert the existing Peters Gallery building (formerly known as the Mary Austin Residence) to a two unit condominium.

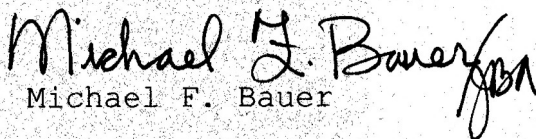
The major exterior modification is to change a recent addition on the east side of the house to a portal. This would be accomplished by removing the two arched doors and a bay window which would restore the house to its original profile.

The existing stucco color will be maintained. The new lintels at the portal will be old weathered beams to match the existing lintel on the northeast corner of the building. The new doors and sidelights will be placed in existing openings and painted blue to match the existing doors, windows and trim.

The other change is to construct a dividing yard wall in the South Courtyard at the same height as the existing wall.

Please advise us if any additional information is required.

Sincerely,

  
Michael F. Bauer

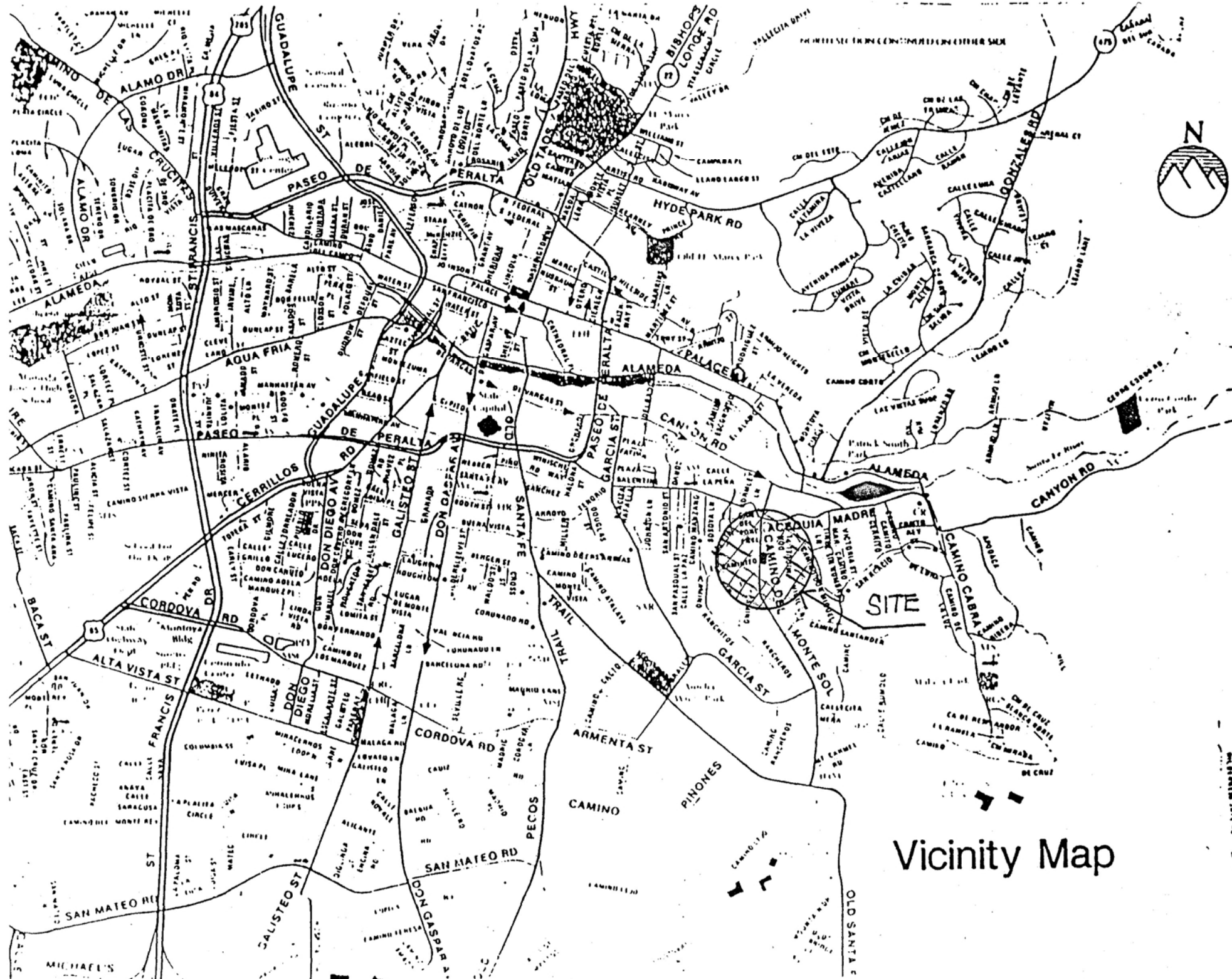
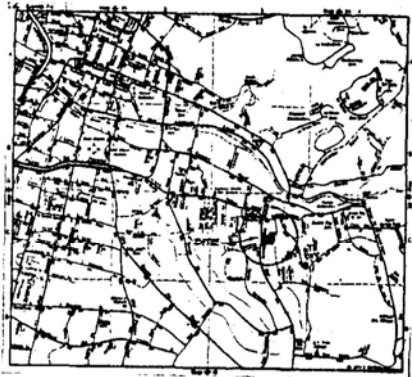


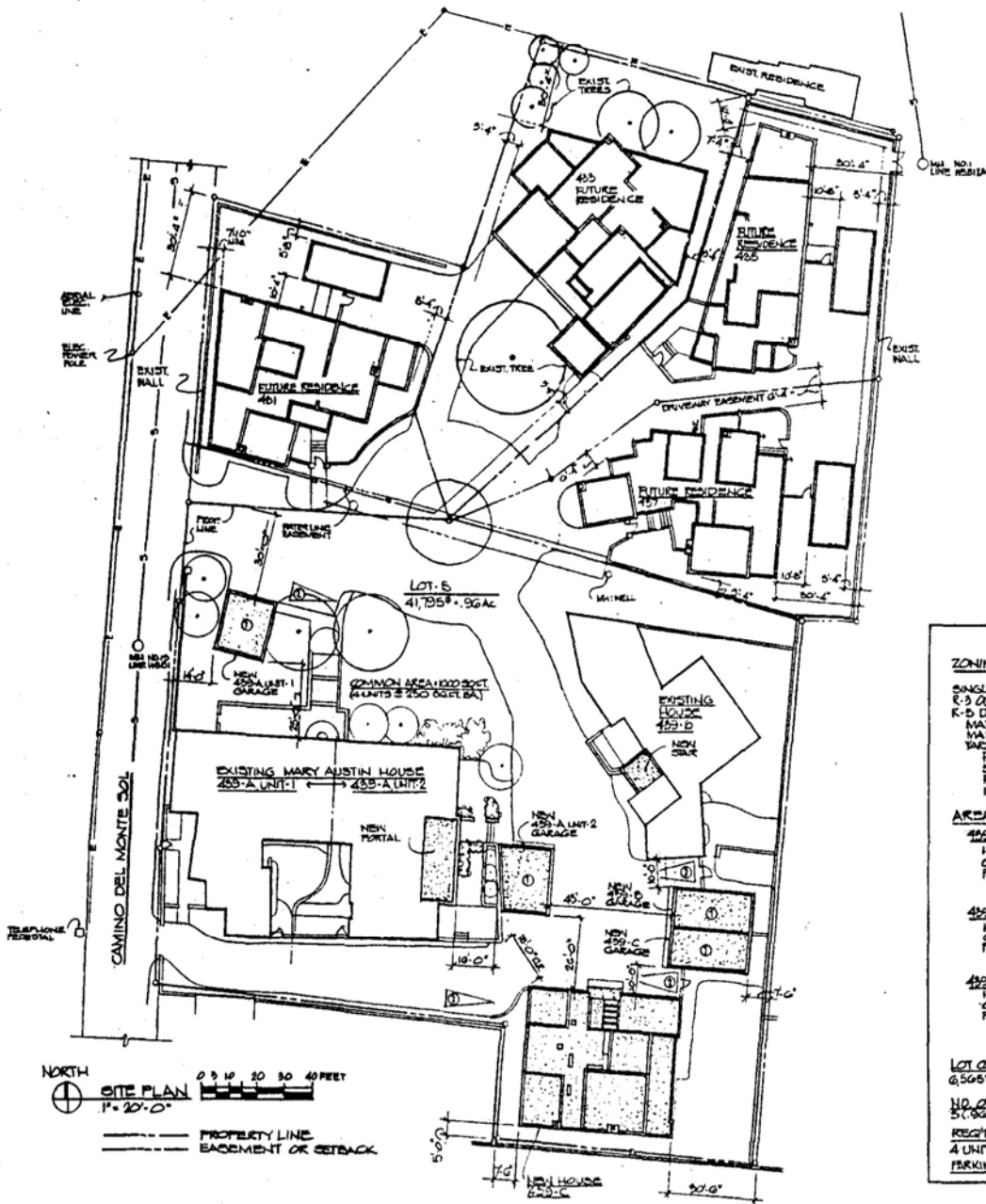
EXHIBIT D

Vicinity Map

Scale 1" = 1000'  
 Prepared by  
 THE ENGINEERING CENTER  
 SAN JOSE, CALIF.



NORTH  
VICINITY MAP



NORTH  
SITE PLAN  
1" = 20'-0"

--- PROPERTY LINE  
--- EASEMENT OR SETBACK

**ZONING REQUIREMENTS:**

SINGLE FAMILY DWELLING  
R-3 OCCUPANCY TYPE 3-N CONSTRUCTION  
R-3 DISTRICT & HISTORICAL DISTRICT  
MAX. LOT COVERAGE: 40%  
MAX. HEIGHT: 24'-0"  
YARD SETBACKS:  
FRONT YARD: 7'-0"  
SIDE YARD: 5'-0"  
REAR YARD: 5'-0"  
10'-0" BETWEEN ADJACENT BUILDINGS

**AREA TABULATION:**

433-A MARY AUSTIN HOUSE	UNIT-1	UNIT-2
HEATED FINISH-FLOOR:	2,577	2,801
GARAGE/STORAGE:	502	400
PORCH:	0	400
	3,079	3,601
		6,565

433-B HARVEY HOUSE	
HEATED FINISH-FLOOR:	2,054
GARAGE/STORAGE:	440
PORCH:	117
	2,611

433-C MEN UNIT	
HEATED FINISH-FLOOR:	2,316
GARAGE/STORAGE:	500
PORCH:	300
	3,116

**LOT COVERAGE:**  
6,565 / 40,411 = 16.24%  
**NO. OF UNITS ALLOWED:** 5 UNITS PER ACRE  
51,966 SQ. FT. = 4 UNITS ALLOWED  
**REG'D. COMMON AREA:** 250 SQ. FT./UNIT  
4 UNITS = 650' = 1,000 SQ. FT. REG'D.  
**PARKING:** 2 SPACES PER UNIT



ARCHITECT  
MICHAEL J. MILLER & ASSOCIATES  
1000 S. SANTA FE, SUITE 100, FT. SANDERS, CO. 81301  
719-586-0000

MARY AUSTIN COMPOUND  
CAMINO DEL MONTE 30L SANTA FE, NM  
433-A UNIT 1 & 2

SHEET TITLE  
SITE PLAN - LOTS 1 & 2  
1" = 20'-0"

JOB#  
DATE 0-19-87  
11-5-87

SHEET#  
1

MICHAEL BAUER & ASSOC.  
 SANTA FE, NEW MEXICO  
 8-11-87  
 11-5-87  
 REVISED 499-A TO 2 UNITS

PROPOSED DEVELOPMENT OF:  
 MARY AUSTIN COMPOUND  
 CAMINO DEL MONTE SOL  
 SANTA FE, NEW MEXICO  
 LOT-5 CONDOMINIUMS

SITE AND FLOOR PLAN  
 165' x 70'  
 NORTH

EXISTING WALL  
 NEW WALL

ZONING REQUIREMENTS:  
 R-5 DISTRICT; HISTORICAL DISTRICT  
 NO. OF UNITS ALLOWED: 5 UNITS PER AC  
 (5/1000) x 4.8 = 4 UNITS

MAX. LOT COVERAGE: 40%  
 MAX. HEIGHT: 24'0"  
 YARD SETBACKS:  
 FRONT YARD: 7'0"  
 SIDE YARD: 0'0"  
 REAR YARD: 5'0"  
 10' OF DETACHED ADJACENT BLDG. IS  
 REQ'D. COMMON AREA = (250' x 1000')

OCCUPANCY: R-5  
 TYPE I/II CONSTRUCTION

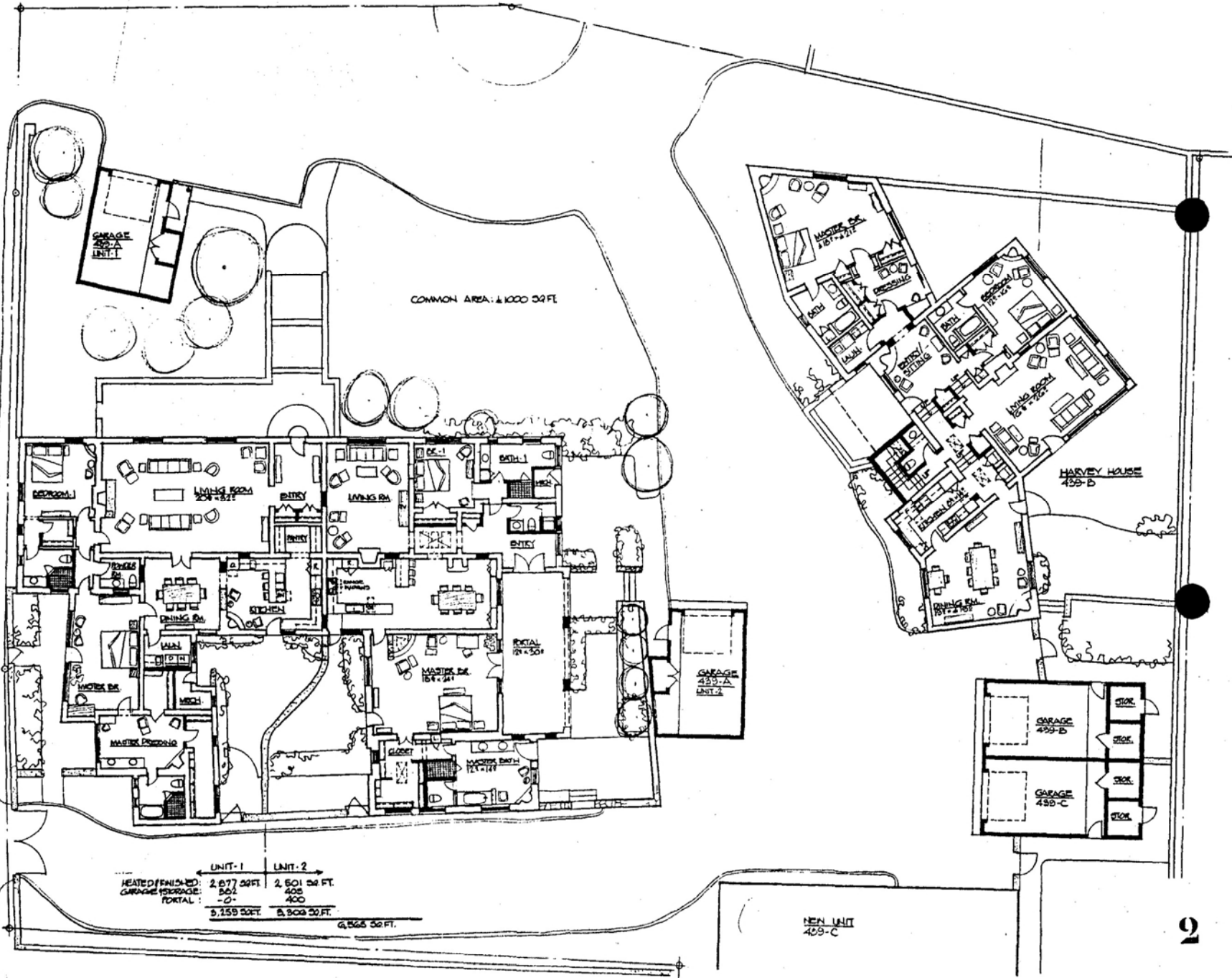
AREA TABULATION:

MARY AUSTIN HOUSE: 499-A  
 HEATED/FINISHED: 5,570 SQ. FT.  
 GARAGE/STORAGE: 767  
 TOTAL: 6,337 SQ. FT.

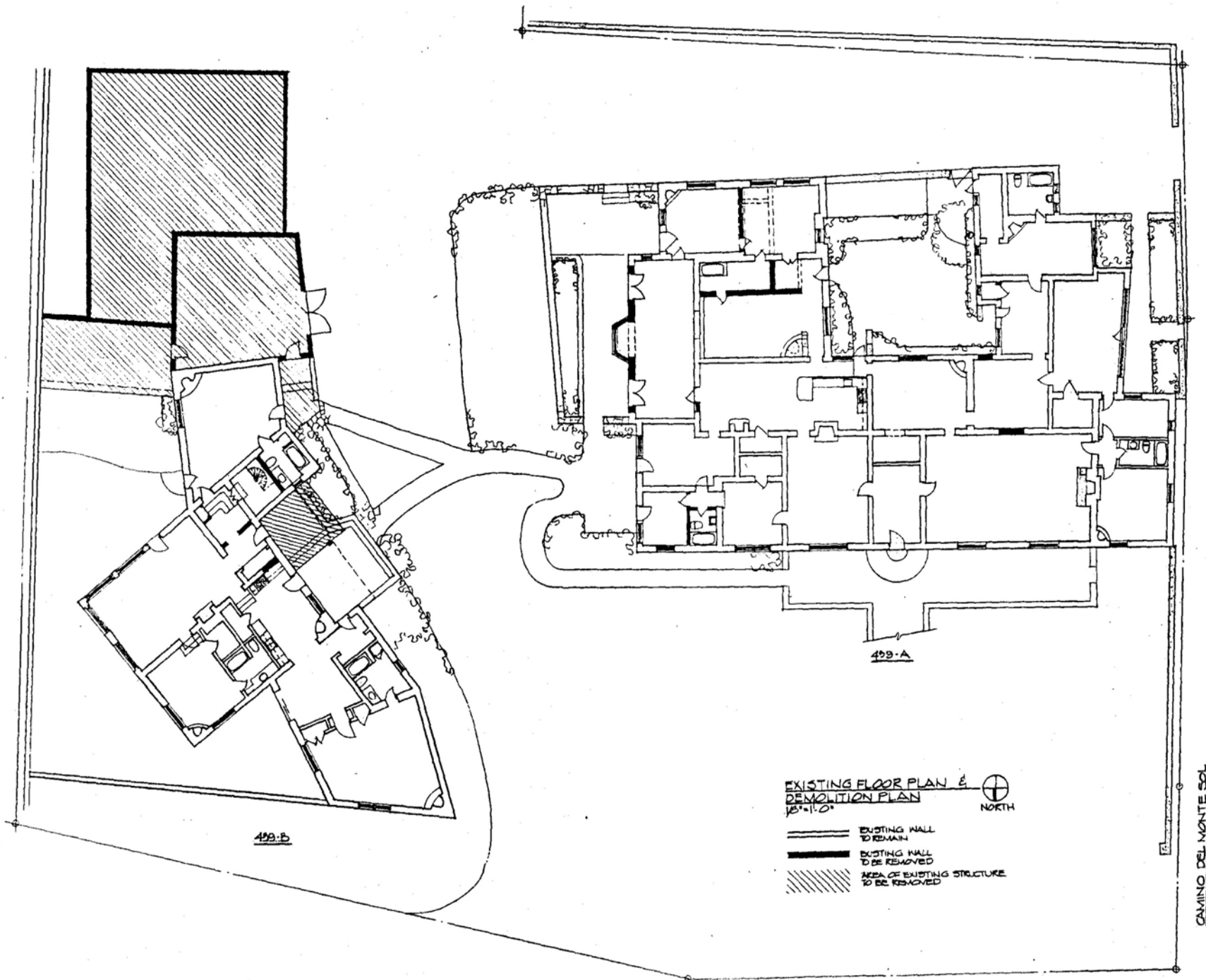
HARVEY HOUSE: 499-B  
 HEATED/FINISHED: 2,854 SQ. FT.  
 GARAGE/STORAGE: 440  
 TOTAL: 3,294 SQ. FT.

NEW UNIT: 499-C  
 HEATED/FINISHED: 2,816 SQ. FT.  
 GARAGE/STORAGE: 500  
 TOTAL: 3,316 SQ. FT.

LOT COVERAGE:  
 6,337 + 3,294 + 3,316 = 13,947 / 175 = 82.7%



	UNIT-1	UNIT-2
HEATED/FINISHED:	2,877 SQ. FT.	2,801 SQ. FT.
GARAGE/STORAGE:	567	400
TOTAL:	3,444 SQ. FT.	3,201 SQ. FT.



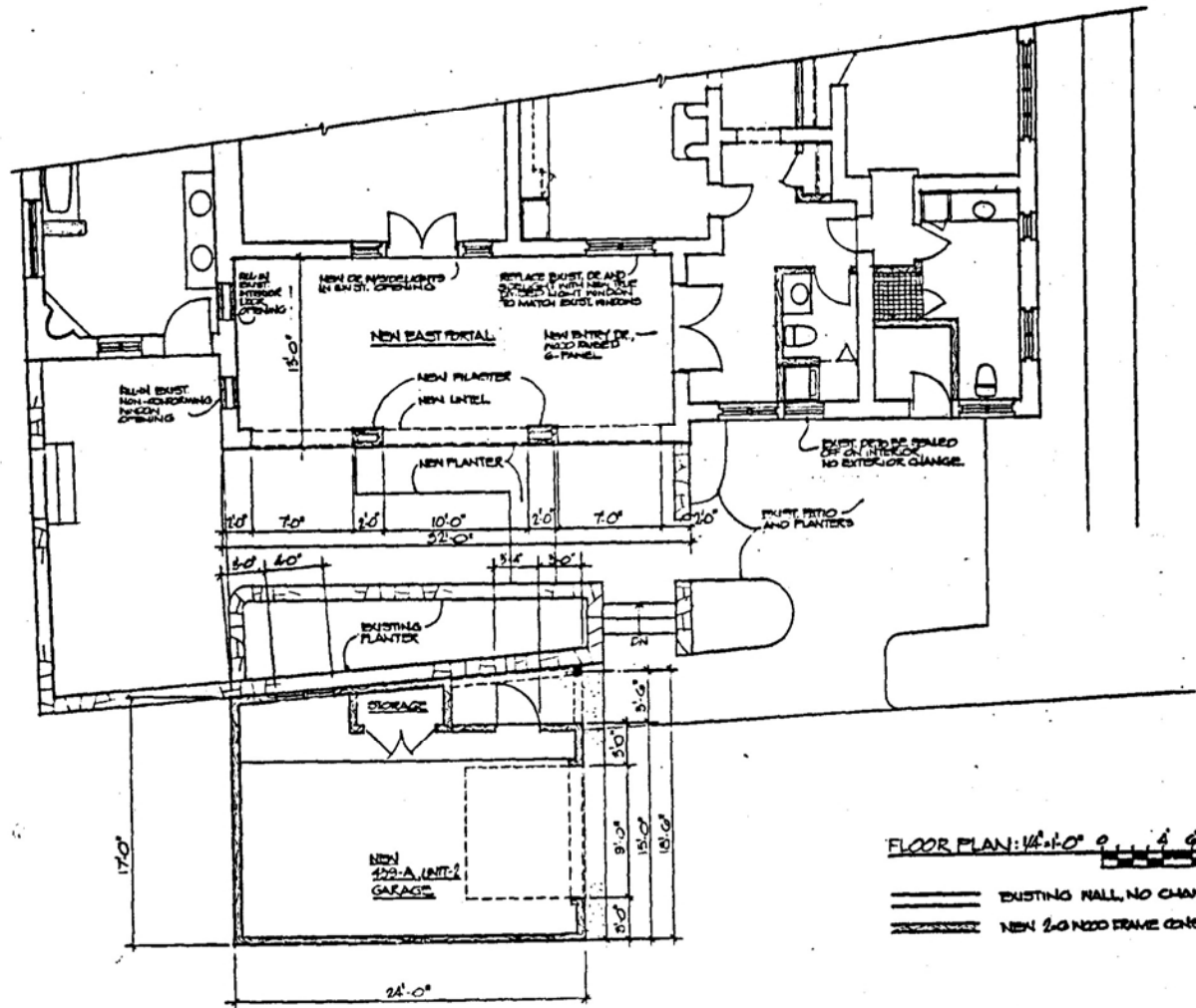
ARCHITECT  
 MICHAEL E. BAUER & ASSOCIATES  
 14293 PINEAPPLE  
 TAMPA, FL 33613  
 813-973-1100

MARY AUSTIN COMPOUND  
 CAMINO DEL MONTE SOL, SANTA FE, NM  
 479-A UNIT-2

SHEET TITLE  
 EXISTING FLOOR PLAN  
 & DEMOLITION PLAN

DATE  
 11-18-15





FLOOR PLAN: 1/4"=1'-0" 0 1 2 3 4 5' NORTH

==== BUSTING WALL, NO CHANGE  
 ===== NEW 20' X 10' FRAME CONSTRUCTION



ARCHITECT  
 MICHAEL WALKER & ASSOCIATES  
 1000 W. WASHINGTON ST. SUITE 100  
 BALTIMORE, MD 21201  
 TEL: 410-528-1111

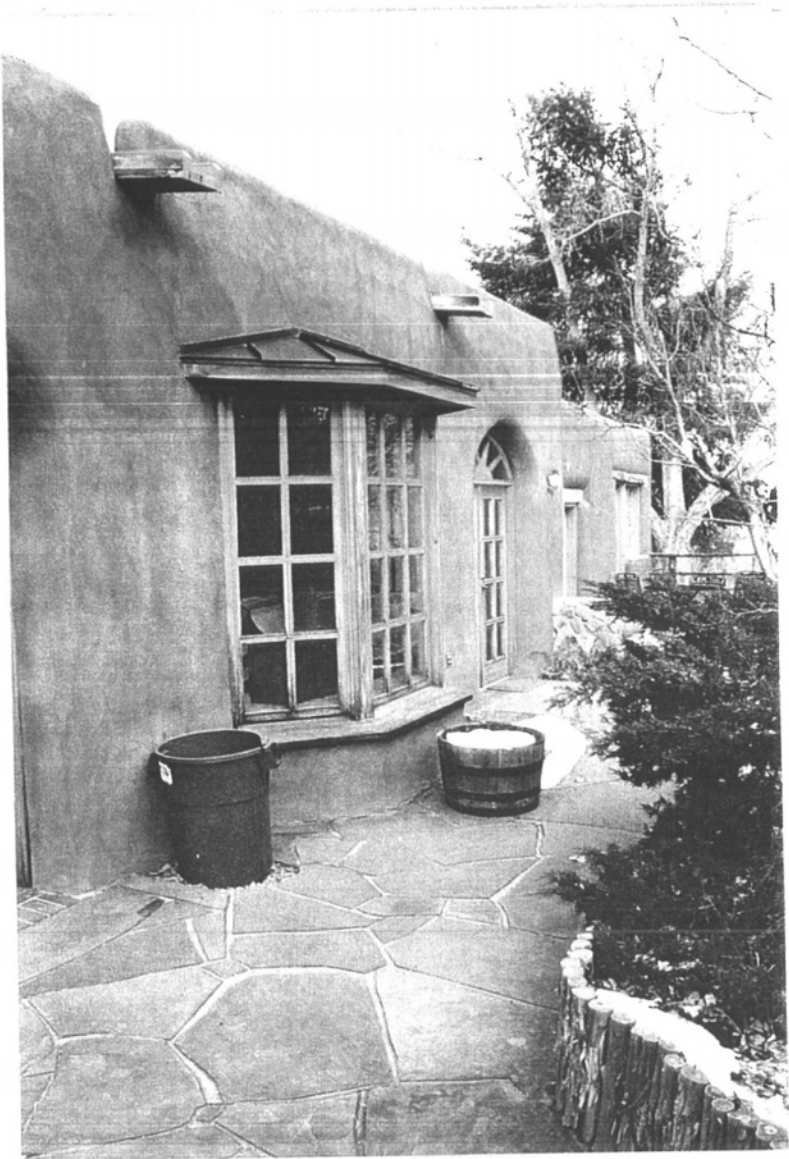
MARY AUSTIN COMPOUND  
 1000 W. WASHINGTON ST. SUITE 100  
 BALTIMORE, MD 21201  
 #309A UNIT-2

SHEET TITLE  
 FLOOR PLAN  
 1/4"=1'-0"

DATE  
 11-11-88

4





439-A, UNIT 2  
BAY WINDOW & FRENCH DOORS TO BE REMOVED  
FOR NEW EAST PORTAL





SOUTH COURTYARD: NEW WALL BETWEEN  
UNITS, HT. TO MATCH EXISTING.



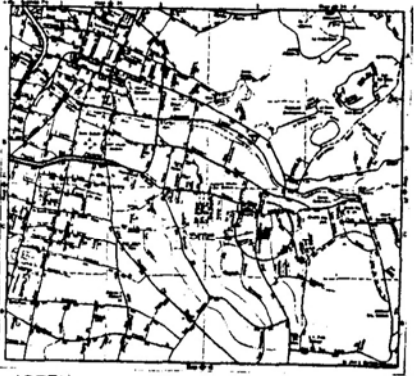
ARCHITECT  
**MICHAEL P. BAUER & ASSOCIATES**  
 121 PASEO DEL MONTE SO. SANTA FE, N.M. 87501  
 505-766-1705

**MARY AUSTIN COMPOUND**  
 CAMINO DEL MONTE SO. SANTA FE, N.M.  
**439-A UNIT 14.2**

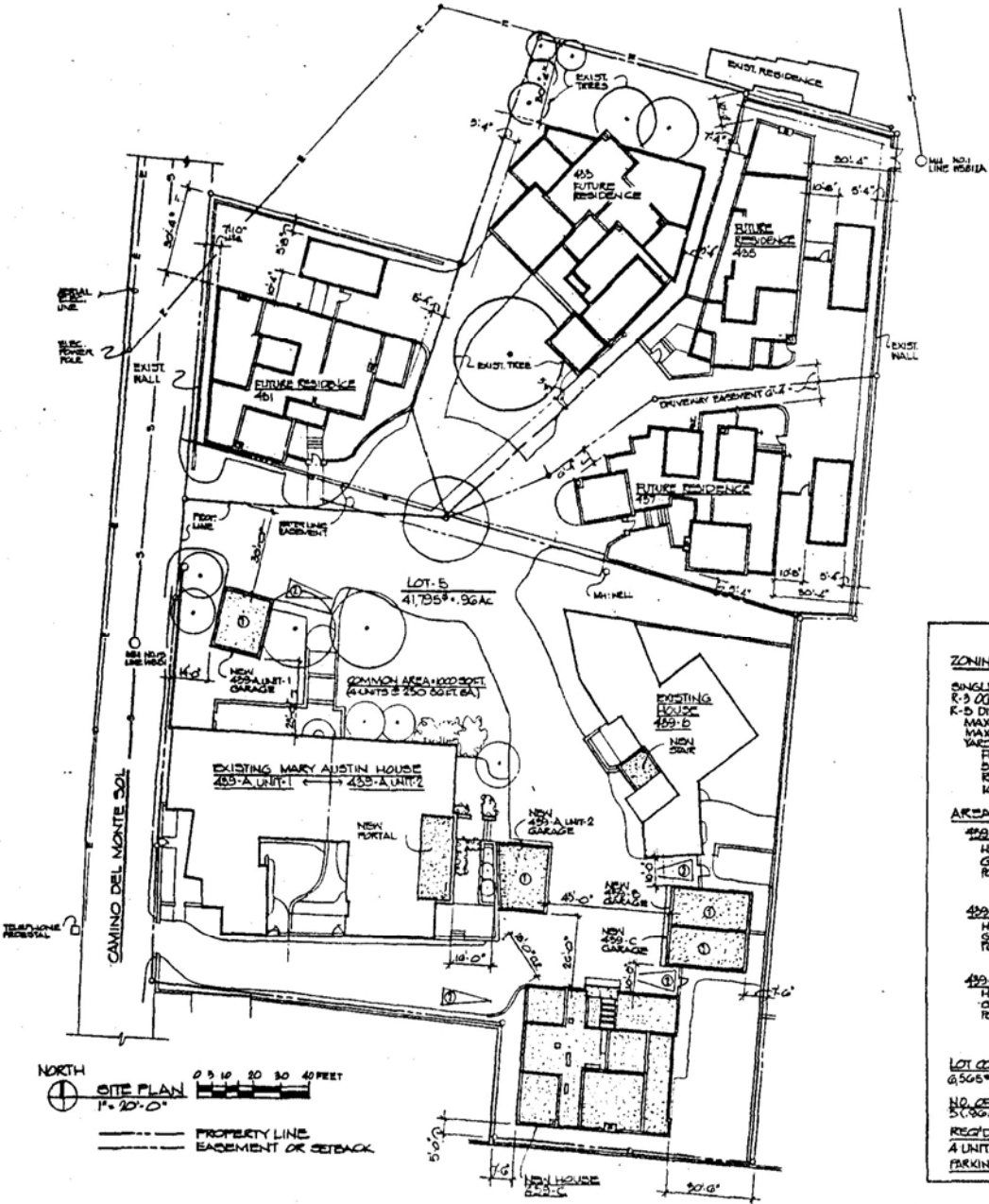
SHEET TITLE  
**UNIT PLAN - LOT-5**  
 1" = 20'-0"

DATE 9-16-87  
 11-5-87

SHEET #  
**1**



NORTH  
 VICINITY MAP



NORTH  
**SITE PLAN**  
 1" = 20'-0"  
 0 5 10 20 30 40 FEET  
 ——— PROPERTY LINE  
 - - - - - EASEMENT OR SETBACK

**ZONING REQUIREMENTS:**

SINGLE FAMILY DWELLING  
 R-3 OCCUPANCY TYPE 3 IN CONSTRUCTION  
 R-3 DISTRICT & HISTORICAL DISTRICT  
 MAX. LOT COVERAGE: 45%  
 MAX. HEIGHT: 24'-0"  
 YARD SETBACKS:  
 FRONT YARD: 7'-0"  
 SIDE YARD: 5'-0"  
 REAR YARD: 20'-0"  
 10'-0" BETWEEN ADJACENT BUILDINGS

**AREA TABULATION:**

	UNIT-1	UNIT-2
EXIST. MARY AUSTIN HOUSE	2,877	2,801
HEATED/FINISHED:	2,877	2,801
GARAGE/STORAGE:	562	465
PORCH:	0	400
TOTAL:	3,439	3,666

6,505

439-C NEW UNIT	2,216	500
HEATED/FINISHED:	2,216	500
GARAGE/STORAGE:	0	0
PORCH:	0	0
TOTAL:	2,216	500

5,108 500

**LOT COVERAGE:**  
 @ 565' x 411' = 3,100/4,795' = 22%  
 NO. OF UNITS ALLOWED: 5 UNITS PER ACRE  
 5 (1,000 AC) = 4 UNITS ALLOWED

REG'D. COMMON AREA: 250 SQ FT/UNIT  
 4 UNITS = 850' x 1,000 SQ FT. REG'D.  
 PARKING: 2 SPACES PER UNIT

MICHAEL BAUER & ASSOC.  
 SANTA FE, NEW MEXICO  
 8-11-97  
 11-5-97  
 REVISED 499-A TO 2 UNITS

PROPOSED DEVELOPMENT OF:  
 MARY AUSTIN COMPOUND  
 CAMINO DEL MONTE SOL  
 SANTA FE, NEW MEXICO  
 LOT-5 CONDOMINIUMS

SITE AND FLOOR PLAN  
 187' x 120'

NORTH

EXISTING WALL  
 NEW WALL

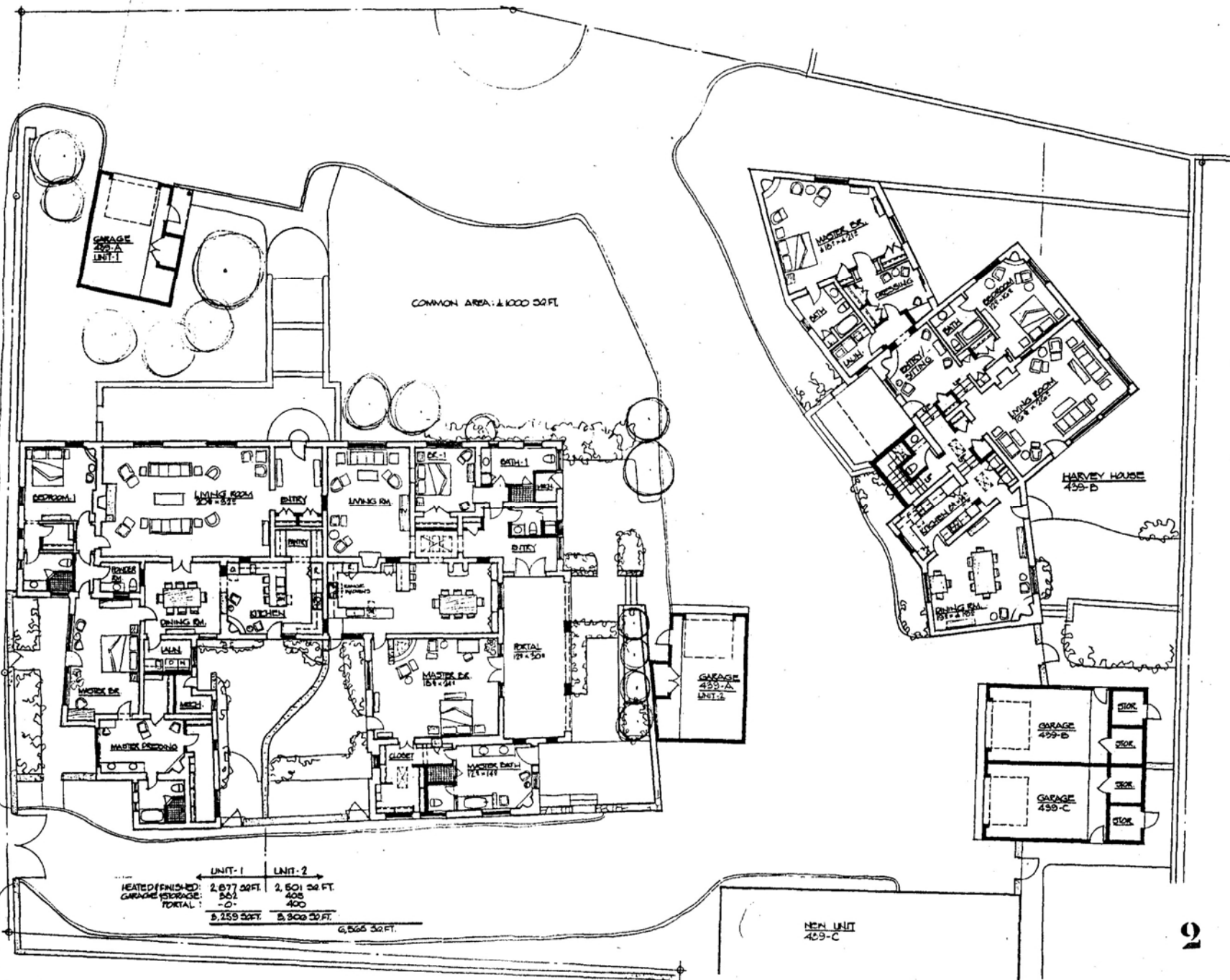
ZONING REQUIREMENTS:  
 R-5 DISTRICT; HISTORICAL DISTRICT  
 NO. OF UNITS ALLOWED: 5 UNITS PER AC  
 (5/106A) = 4.8 = 4 UNITS  
 MAX. LOT COVERAGE: 40%  
 MAX. HEIGHT: 24'-0"  
 YARD SETBACKS:  
 FRONT YARD: 7'-0"  
 SIDE YARD: 5'-0"  
 REAR YARD: 5'-0"  
 10'-0" BETWEEN ADJACENT BLDGS.  
 REQ'D. COMMON AREA = 4 (120') x 1000'  
 OCCUPANCY: R-5  
 TYPE: IN CONSTRUCTION

AREA TABULATION:  
 MARY AUSTIN HOUSE: 499-A  
 HEATED/FINISHED: 2,576 SQ. FT.  
 GARAGE/STORAGE: 767  
 TOTAL: 3,343 SQ. FT.

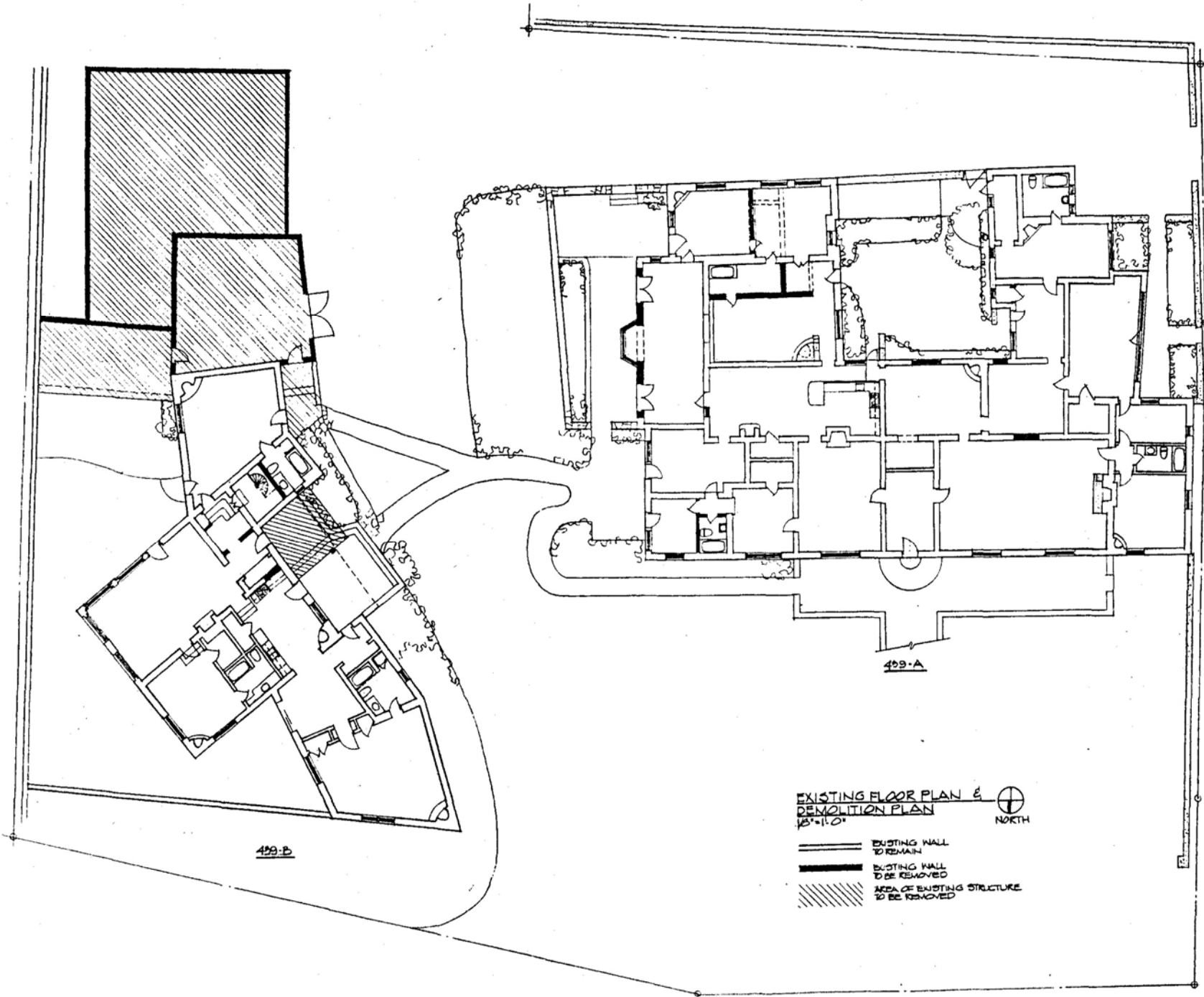
HARVEY HOUSE: 499-D  
 HEATED/FINISHED: 2,054 SQ. FT.  
 GARAGE/STORAGE: 440  
 TOTAL: 2,494 SQ. FT.

NEW UNIT: 499-C  
 HEATED/FINISHED: 2,816 SQ. FT.  
 GARAGE/STORAGE: 500  
 TOTAL: 3,316 SQ. FT.

LOT COVERAGE:  
 6,565' x 5,411' = 3,550,476' = 92%



	UNIT-1	UNIT-2
HEATED/FINISHED:	2,877 SQ. FT.	2,501 SQ. FT.
GARAGE/STORAGE:	567	400
TOTAL:	3,444	2,901
	3,259 SQ. FT.	3,300 SQ. FT.
		6,559 SQ. FT.



EXISTING FLOOR PLAN &  
DEMOLITION PLAN  
1/8" = 1'-0"



- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- ▨ AREA OF EXISTING STRUCTURE TO BE REMOVED

CAMINO DEL MONTE SOL



ACCOUNTANT  
MICHAEL F. BAUER & ASSOCIATES  
1424 PHOENIX BLVD. SANTA FE, N.M.  
505-760-1000

MARY AUSTIN COMPOUND  
CAMPUS DEL MONTE SOL SANTA FE, N.M.  
499-A UNIT-2

SHEET TITLE  
EXISTING FLOOR PLAN  
& DEMOLITION PLAN

DATE  
02-9-11







EXHIBIT (C)

NOV - 5 1997  
9:50 a.m.

**HISTORIC DESIGN REVIEW BOARD APPLICATION FORM**

Application Type: Preliminary Approval ( ) Final Approval

Project Location: 439-A CAMINO DEL MONTE SOL

Owner: PETERS, GERALD & KATHLEEN Phone: 988-8961

Address: 825-EL CAMINITO City, State, Zip Code: SANTA FE, NM 87501

Applicant: MICHAEL BAUER, ARCHITECT Phone: 988-1905

Address: 1424 PASEO DE PERALTA City, State, Zip Code: SANTA FE, NM 87501

Project Proposal: PORTAL AT 439-A, UNIT-2

New Construction: Single-Family Residence  Commercial ( )  
Multi-Family Residence ( )

Other Construction: Demolition ( ) Remodel ( ) Addition ( ) Residential ( )  
Sign(s) ( ) Wall/Fence ( ) Antenna ( )

Have you met with a Historic Districts Case Planner for a preapplication visit? Yes  No ( )

If yes, who? HEATHER PIERSON Date? 7-15-97 & 11-3-97

Does the project include multi-story new construction or an addition which will increase the height of the subject building? Yes ( ) No

If yes, what is the appropriate streetscape height (as determined during your preapplication visit)?  
\_\_\_\_\_

What is the proposed height as illustrated in your project? \_\_\_\_\_

Have you met with the appropriate Zoning staff in the Permit and Development Review Division to determine that your project conforms with the city's zoning standards? Yes  No ( )

If yes, who? MONICA MONTOYA Date? 7-28-97 & 11-3-97

**If you have not met with zoning staff, please do so prior to submitting for HDRB review. All cases must comply with zoning requirements prior to review by the HDRB. Meeting with staff prior to the HDRB review will aid in expediting the permit process. Call 984-6571 for more information on required zoning.**

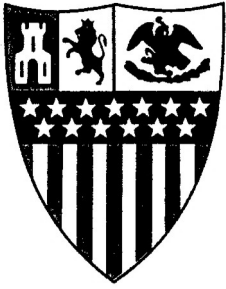
I certify that the documents submitted for Historic Design Review meet the minimum standards set forth in the Historic Districts Ordinance, Section 14-70 Santa Fe City Code 1987. Failure to meet these standards may result in rejection of my application. I also certify that I have met with a representative of the city's Zoning staff and verified the attached proposal is in compliance with the city's zoning requirements.

I agree to post notice of the proposed project on the site seven (7) days prior to the Historic Design Review Board meeting.

I am aware that a decision of the HDRB may be appealed by any aggrieved party within seven (7) days of the decision.

John B. Aronson  
Signature of Applicant or Owner

11-5-97  
Date



# City of Santa Fe, New Mexico

Debbie Jaramillo, Mayor

Ron Curry, City Manager

Councilors: Frank Montañño, Mayor Pro Tem, Dist. 3  
Patti J. Bushee, Dist. 1  
Larry A. Delgado, Dist. 1  
Cristopher Moore, Dist. 2

Molly Whitted, Dist. 2  
Art Sanchez, Dist. 3  
Peso Chavez, Dist. 4  
Amy Manning, Dist. 4

Project description . . . : DETACHED GARAGE-TO NW OF MAIN RESIDENCE  
Project number . . . . : 97- 10100193  
Case Number . . . . . : H-97-172A  
Project type . . . . . : HISTORIC DESIGN REVIEW BOARD  
Application date . . . : 11/05/97

**PROJECT LOCATION(S) : 439 A Camino Del Monte Sol**

**PROJECT NAMES:**

OW- Peters, Gerald & Kathleen      825 El Caminito  
Santa Fe, NM 87501                      (505)                      9888961

AP- Bauer, Michael                      1424 Paseo De Peralta  
Santa Fe, NM 87501                      (505)                      9881905

**BOARD ACTION**

This is to certify that the Historic Design Review Board at their meeting on November 25, 1997, acted on the above referenced case. The decision of the Board was to approve your request.

For further information please call 984-6808.

Sincerely,

Mary Grzeskowiak  
Historic Preservation Planner

Heather Pierson  
Historic Districts Case Planner

**Note: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6). PLEASE PROVIDE COPIES OF THIS LETTER WHEN SUBMITTING FOR BUILDING PERMIT.**



# City of Santa Fe, New Mexico

Project description . . : DETACHED GARAGE-TO NW OF MAIN RESIDENCE  
 Project number . . . . : 97- 10100193  
 Case Number . . . . . : H-97-172A  
 Project type . . . . . : HISTORIC DESIGN REVIEW BOARD  
 Application date . . . : 11/05/97

**PROJECT LOCATION(S) :** 439 A Camino Del Monte Sol

**PROJECT NAMES:**

OW- Peters, Gerald & Kathleen 825 El Caminito  
 Santa Fe, NM 87501 (505) 9888961

AP- Bauer, Michael 1424 Paseo De Peralta  
 Santa Fe, NM 87501 (505) 9881905

**PROJECT DATA**

HISTORICAL DISTRICT	DOWNTOWN & EASTSIDE
HISTORIC BUILDING STATUS	N/A
PUBLICLY VISIBLE FACADE-EAST	Y
PUBLICLY VISIBLE FACADE-NORTH	Y
PUBLICLY VISIBLE FACADE-SOUTH	N
PUBLICLY VISIBLE FACADE-WEST	Y
HISTORIC BUILDING NAME	MARY AUSTIN COMPOUND
PROJECT TYPE (NEW, ADD, ETC.)	NEW
USE, PROPOSED	RESIDENTIAL

# City of Santa Fe, New Mexico

# memo

DATE: 25 November 1997

TO: Historic Design Review Board Members

VIA: Anne M. Condon, Planning Division Team Leader *AMC*  
Mary Grzeskowiak, Historic Preservation Planner *MG*

FROM: Heather L. Pierson, Historic Districts Case Planner *HP*

**ITEM & ISSUE:**

CASE #H- 97-172A ADDRESS 439 A Camino del Monte Sol

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

- Case Synopsis
- District Standards
- State Historical Survey Sheet
- Minutes of \_\_\_\_\_
- Other \_\_\_\_\_

**APPLICANT SUBMITTALS**

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other \_\_\_\_\_

**STAFF RECOMMENDATION:**

Staff acknowledges the standards for architectural design in the Downtown and Eastside Historic District have been met and recommends approval.

**BACKGROUND & SUMMARY:**

The applicant has provided illustrations for the construction of a single-bay garage to the northwest of the main residence. The garage's height will vary from 9'6" to 11' from grade. The applicant states that the garage structure will be of wood frame construction. All windows and doors will be wood with a natural finish. The other finishes will match the rest of the compound.

b:sr/hpl97172a.hrb

## 14-70.9 STANDARDS; DOWNTOWN AND EASTSIDE.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection;

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and arials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are

avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements;

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang. (Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)

MICHAEL F. BAUER + ASSOCIATES • ARCHITECTS  
1424 PASEO DE PERALTA • SANTA FE • NEW MEXICO 87501  
505 • 988 • 1905

November 5, 1997

Historic Design Review Board  
City of Santa Fe  
Santa Fe, New Mexico

**Re: 439-A Camino del Monte Sol  
Garage/Storage Building, Unit-1**

Dear Board Members and Staff:

The proposed project is a new garage for the Mary Austin House, Unit-1.

The structure will be located to the <sup>northwest</sup> ~~east~~ of the house and will be wood frame with stucco finish. All windows and doors are to be wood finished natural. The garage door will be of raised panel design finished natural. The finishes are specified on the drawings.

Please advise us if any additional information is required.

Sincerely,

*Michael F. Bauer*  
Michael F. Bauer *mfba*

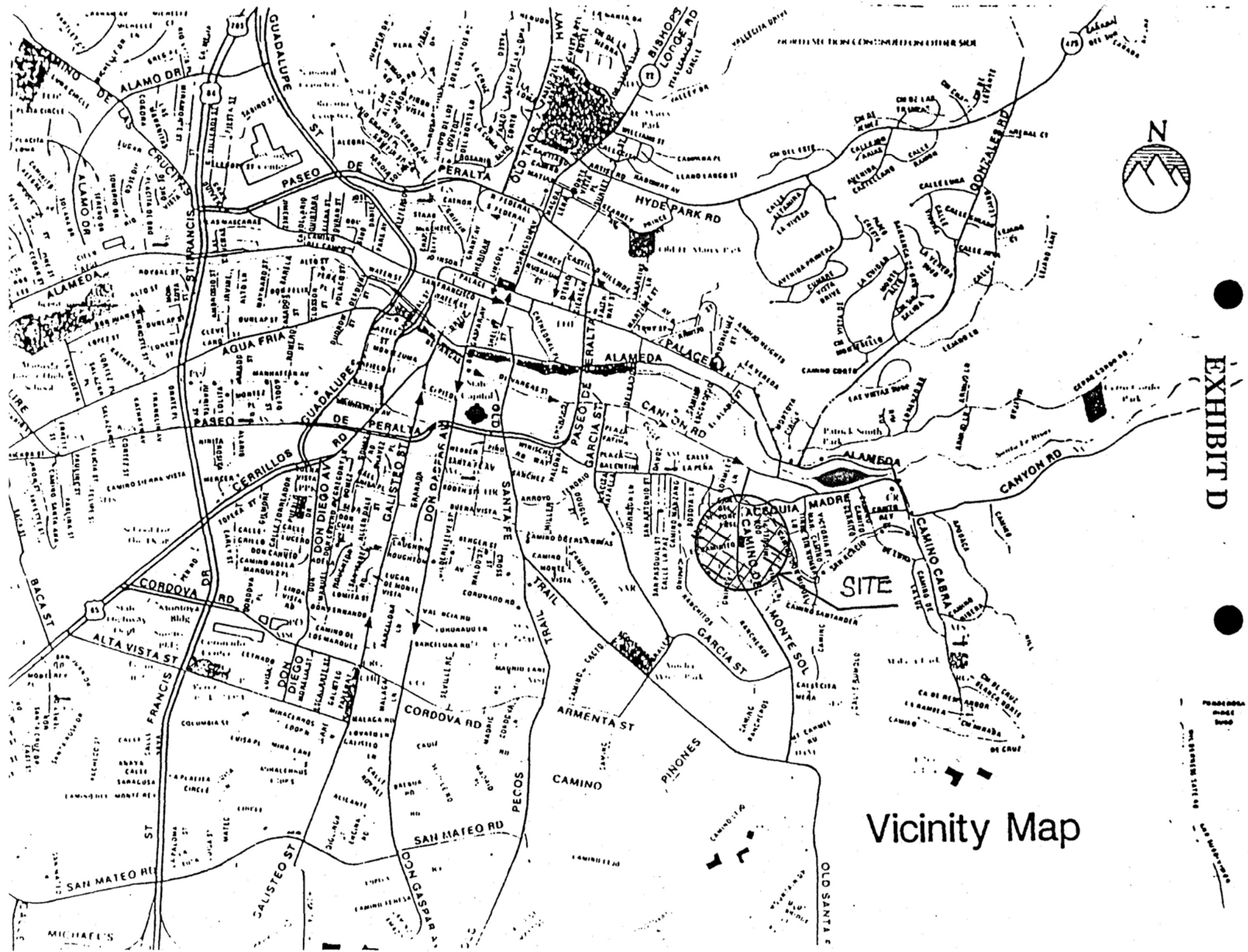


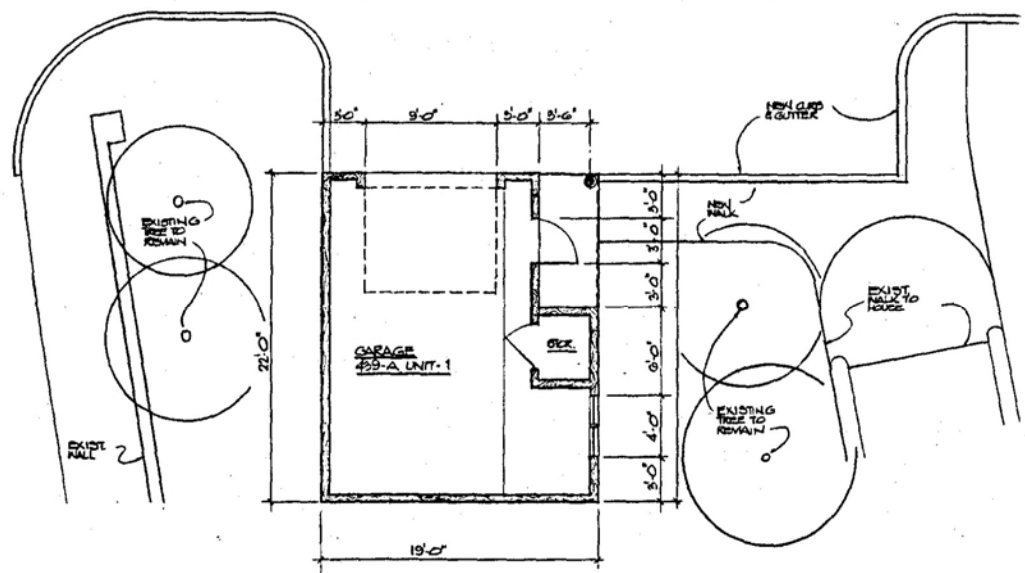
EXHIBIT D

Vicinity Map

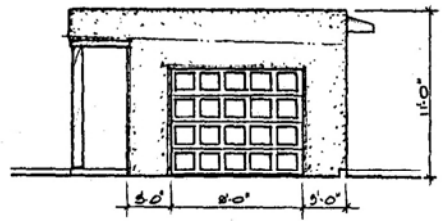


**EXTERIOR GARAGE BUILDING COLOR:**  
 SILKCO: EL REY' DUCKSKIN® 106

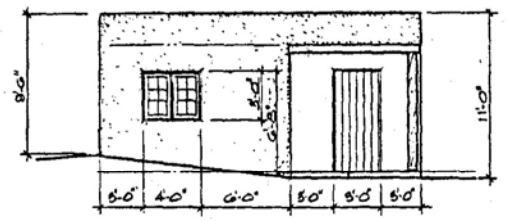
**EXTERIOR WOOD:**  
 WINDOW, DOOR, GARAGE DOOR: SHERWIN WILLIAMS' GATEHOUSE STAIN  
 ALL DIMENSIONED WOOD STRUCTURE, COLUMN, BEAM AND CANALES: SHERWIN WILLIAMS' GATEHOUSE STAIN, THINNED 2 TO 1.



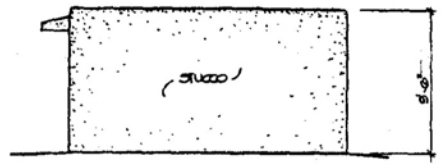
FLOOR PLAN: 1/4"=1'-0"  
 2" x 6" WOOD FRAME CONSTRUCTION



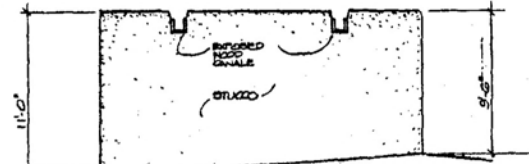
NORTH ELEV. 1/4"=1'-0"



EAST ELEV. 1/4"=1'-0"



SOUTH ELEV. 1/4"=1'-0"



WEST ELEV. 1/4"=1'-0"



ARCHITECT:  
 MICHAEL P. MULLER & ASSOCIATES  
 1425 POND DR. BEAVER CREEK, CO. 80501

MARY AUSTIN COMPOUND  
 1331-A UNIT-1

SHEET TITLE  
 FLOOR PLAN AND  
 EXTERIOR ELEVATIONS  
 1/4"=1'-0"

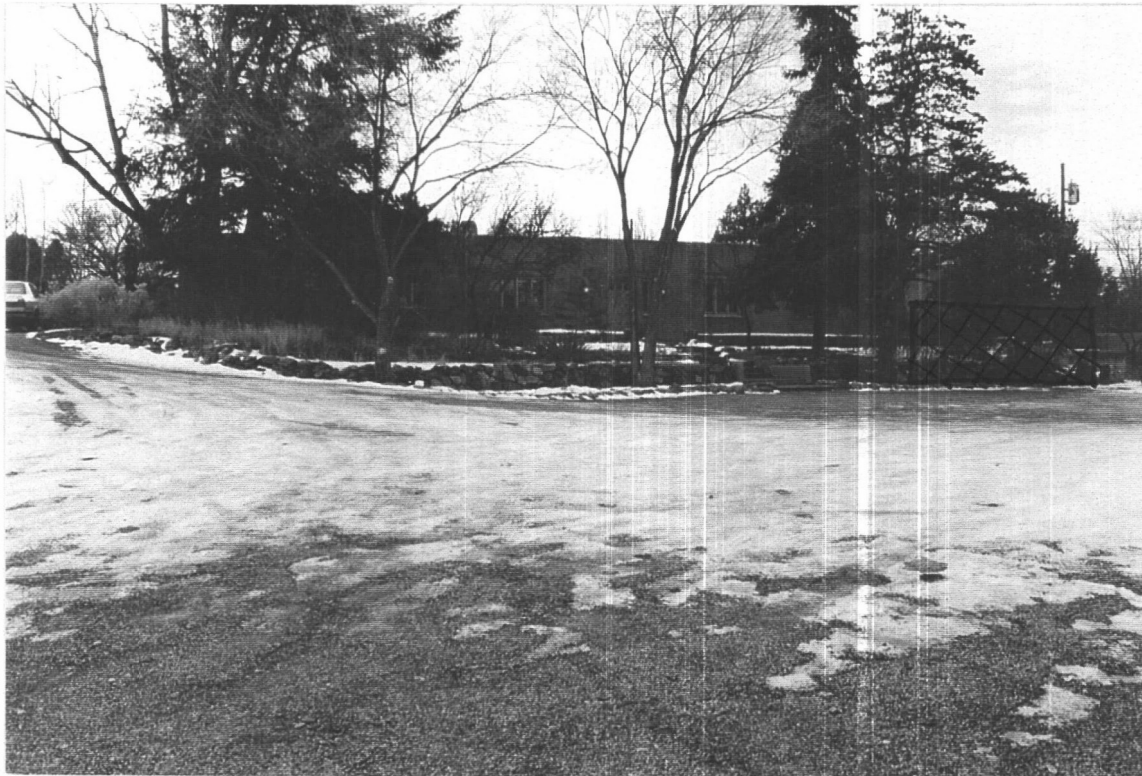
JOB#

DATE 11-5-87

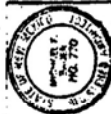
SHEET#  
 19



439-A, UNIT-1 GARAGE SITE



← SITE



ASSOCIATE  
MICHAEL P. BAUER & ASSOCIATES  
1414 PHOENIX BLVD. SUITE 100, MC  
76707-1414

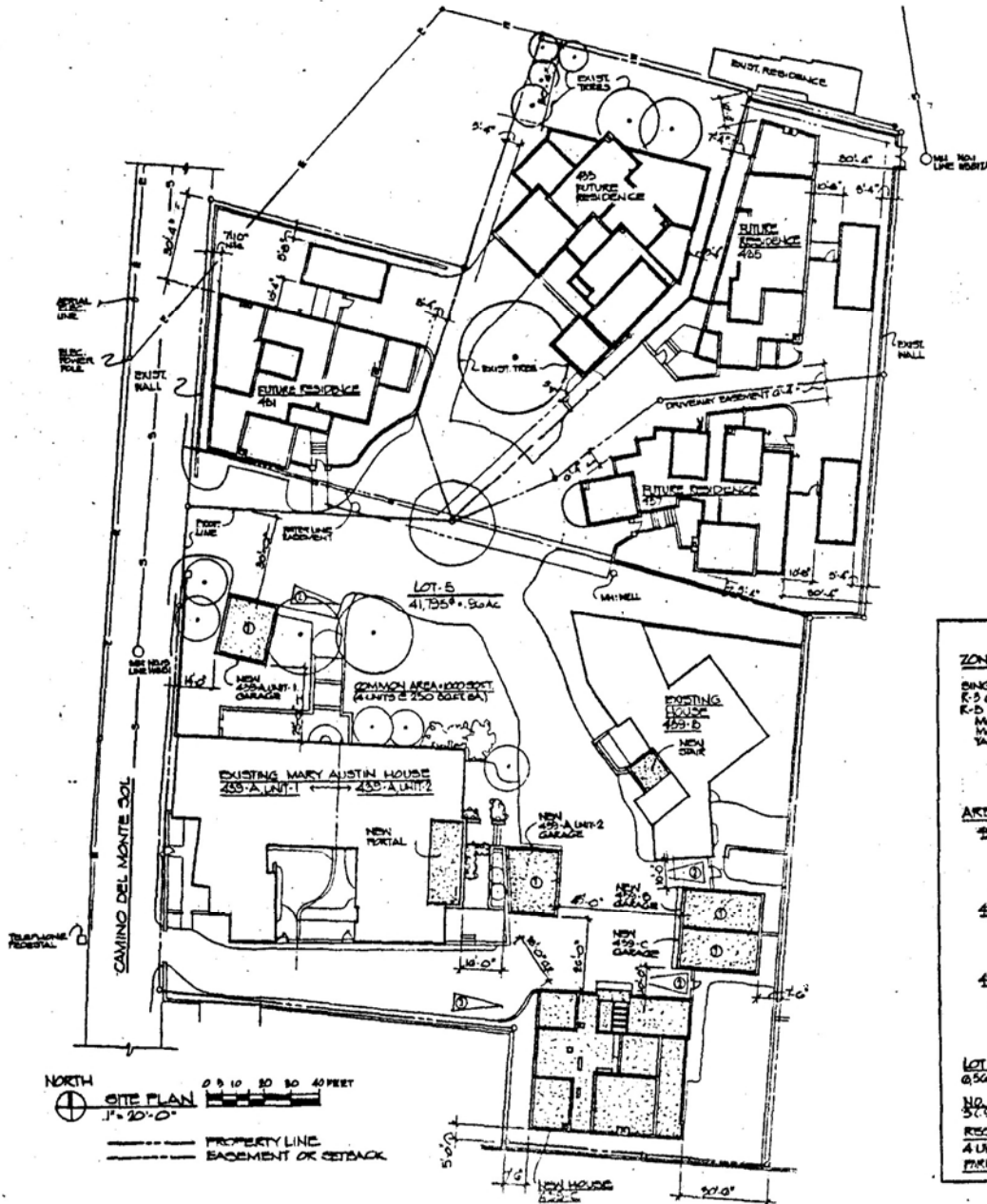
MARY AUSTIN COMPOUND  
CIVIL AND ARCHITECTURAL  
4739-A UNIT 142

SHEET TITLE  
PHASE I LOT 5  
1" = 20'-0"

DATE 04-08-97  
11-5-97  
SHEET #  
1



NORTH  
VICINITY MAP



NORTH  
SITE PLAN  
1" = 20'-0"  
0 10 20 30 40 FEET  
--- PROPERTY LINE  
--- BACKSET OR SETBACK

**ZONING REQUIREMENTS:**

SINGLE FAMILY DWELLING  
R-3 OCCUPANCY TYPE 3 IN CONSTRUCTION  
R-D DISTRICT & HISTORICAL DISTRICT  
MAX. LOT COVERAGE: 40%  
MAX. HEIGHT: 24'-0"  
YARD SETBACKS:  
FRONT YARD: 7'-0"  
SIDE YARD: 5'-0"  
REAR YARD: 5'-0"  
10'-0" BETWEEN ADJACENT BUILDINGS

**AREA TABULATION:**

	UNIT-1	UNIT-2
429-A MARY AUSTIN HOUSE	2,877	3,501
HEATED/FINISHED	262	405
GARAGE/STORAGE	0	400
PORCH	3,139	3,501
	4,500	

429-B HARVEY HOUSE	2,284	30 FT
HEATED/FINISHED	440	
GARAGE/STORAGE	117	
PORCH	2,411	30 FT

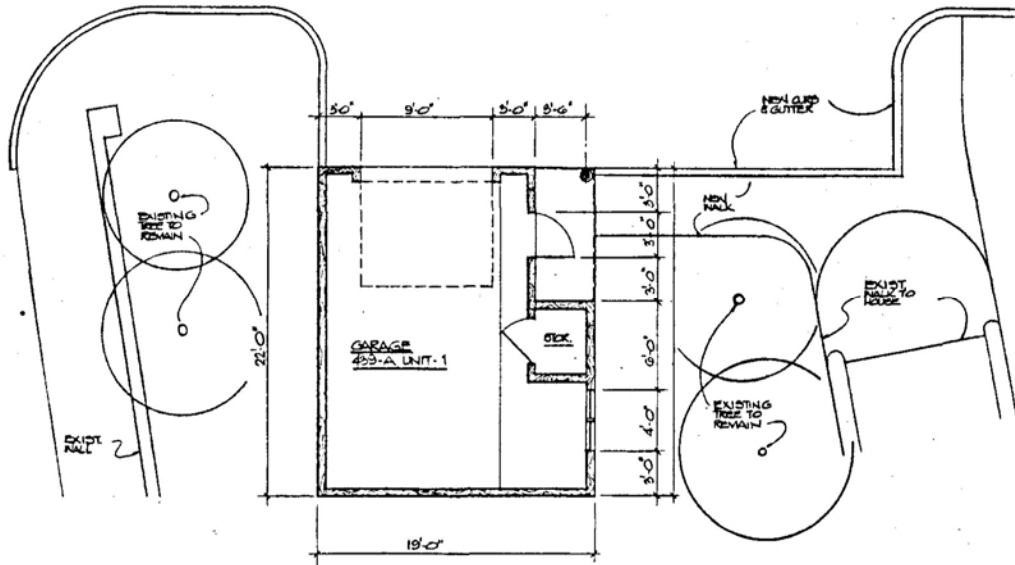
  

429-C NEW UNIT	4,210	30 FT
HEATED/FINISHED	200	
GARAGE/STORAGE	200	
PORCH	5,108	30 FT

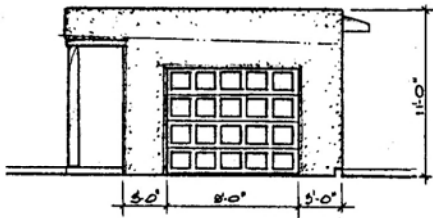
**LOT COVERAGE:**  
 $9,500 \div 24,411 = 39.3\%$   
 NO. OF UNITS ALLOWED: 5 UNITS PER ACRE  
 $57,000 \text{ SQ. FT.} \div 11,000 \text{ SQ. FT.} = 5.18 \text{ UNITS}$   
 REG'D. COMMON AREA: 250 SQ. FT./UNIT  
 4 UNITS = 1,000 SQ. FT. REG'D.  
 PARKING: 2 SPACES PER UNIT

**EXTERIOR GARAGE BUILDING COLORS:**  
 STUCCO: 'EL KEY' DUCKIN #106

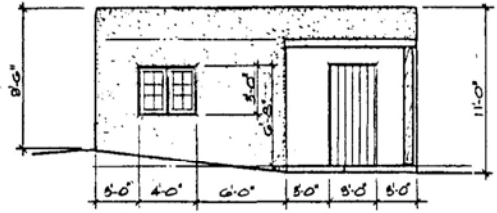
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 ALL EXPOSED WOOD STRUCTURE, COLUMN,  
 BEAM AND TRUSSES:  
 'SHEVIN WILLIAMS' GATEHOUSE STAIN,  
 THINNED 2 TO 1.



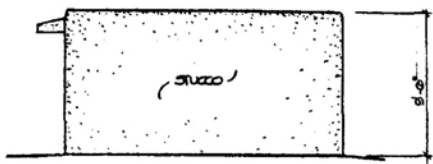
FLOOR PLAN: 1/4"=1'-0"  
 2" x 6" WOOD FRAME CONSTRUCTION



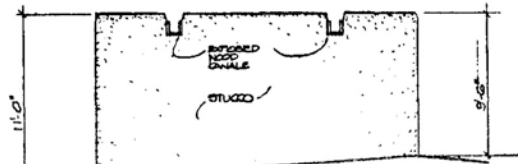
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EAST ELEV. 1/4"=1'-0"



SOUTH ELEV. 1/4"=1'-0"



WEST ELEV. 1/4"=1'-0"



ARCHITECT:  
 MICHAEL F. BAUER & ASSOCIATES  
 1424 ROAD 25, PATAKE, BUNN, MD, 21151  
 301-780-1805

MARY AUSTIN COMPOUND  
 433-A UNIT-1

SHEET TITLE  
 FLOOR PLAN AND  
 EXTERIOR ELEVATIONS  
 1/4"=1'-0"

JOB #

DATE 11-5-97

MS  
 15

EXHIBIT (C)

NW - 5 1997

9:52 a.m.

HISTORIC DESIGN REVIEW BOARD APPLICATION FORM

Application Type: Preliminary Approval ( ) Final Approval

Project Location: 439-A CAMINO DEL MONTE SOL

Owner: PETERS, GERALD & KATHLEEN Phone: 988-8961

Address: 825-EL CAMINITO City, State, Zip Code: SANTA FE, NM 87501

Applicant: MICHAEL BAUER, ARCHITECT Phone: 988-1905

Address: 1424 PASEO DE PERALTA City, State, Zip Code: SANTA FE, NM 87501

Project Proposal: NEW GARAGE FOR 439-A, UNIT-1

New Construction: Single-Family Residence  Commercial ( ) Multi-Family Residence ( )

Other Construction: Demolition ( ) Remodel ( ) Addition ( ) Residential ( ) Sign(s) ( ) Wall/Fence ( ) Antenna ( )

Have you met with a Historic Districts Case Planner for a preapplication visit? Yes  No ( )

If yes, who? HEATHER PIERSON Date? 7-15-97 & 11-3-97

Does the project include multi-story new construction or an addition which will increase the height of the subject building? Yes ( ) No

If yes, what is the appropriate streetscape height (as determined during your preapplication visit)?

What is the proposed height as illustrated in your project?

Have you met with the appropriate Zoning staff in the Permit and Development Review Division to determine that your project conforms with the city's zoning standards? Yes  No ( )

If yes, who? MONICA MONTOYA Date? 7-28-97 & 11-3-97

If you have not met with Zoning staff, please do so prior to submitting for HDRB review. All cases must comply with zoning requirements prior to review by the HDRB. Meeting with staff prior to the HDRB review will aid in expediting the permit process. Call 984-6571 for more information on required zoning.

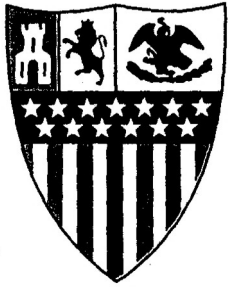
I certify that the documents submitted for Historic Design Review meet the minimum standards set forth in the Historic Districts Ordinance, Section 14-70 Santa Fe City Code 1987. Failure to meet these standards may result in rejection of my application. I also certify that I have met with a representative of the city's Zoning staff and verified the attached proposal is in compliance with the city's zoning requirements.

I agree to post notice of the proposed project on the site seven (7) days prior to the Historic Design Review Board meeting.

I am aware that a decision of the HDRB may be appealed by any aggrieved party within seven (7) days of the decision.

Signature of Applicant or Owner: John B. Arvison

Date: 11-5-97



# City of Santa Fe, New Mexico

Debbie Jaramillo, Mayor

Ron Curry, City Manager

Councilors: Frank Montaña, Mayor Pro Tem, Dist. 3

Patti J. Bushee, Dist. 1

Larry A. Delgado, Dist. 1

Cristopher Moore, Dist. 2

Molly Whitted, Dist. 2

Art Sanchez, Dist. 3

Peso Chavez, Dist. 4

Amy Manning, Dist. 4

Project description . . : DETACHED GARAGE TO THE E. OF MAIN RES.  
Project number . . . : 97- 10100196  
Case Number . . . . : H-97-172B  
Project type . . . . : HISTORIC DESIGN REVIEW BOARD  
Application date . . : 11/05/97

**PROJECT LOCATION(S) : 439 Camino Del Monte Sol**

**PROJECT NAMES:**

OW- Peters III, Gerald  
Santa Fe, NM 87501

825 El Caminito  
(505) 9888961

AP- Bauer, Michael  
Santa Fe, NM 87501

1424 Paseo De Peralta  
(505) 9881905

**BOARD ACTION**

This is to certify that the Historic Design Review Board at their meeting on November 25, 1997, acted on the above referenced case. The decision of the Board was to approve your request.

For further information please call 984-6808.

Sincerely,

Mary Grzeskowiak Planner III  
Historic Preservation Planner

Heather Pierson  
Historic Districts Case Planner

**Note: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6). PLEASE PROVIDE COPIES OF THIS LETTER WHEN SUBMITTING FOR BUILDING PERMIT.**

# City of Santa Fe, New Mexico

# memo

DATE: 25 November 1997

TO: Historic Design Review Board Members

VIA: Anne M. Condon, Planning Division Team Leader *AMC*  
Mary Grzeskowiak, Historic Preservation Planner *MG*

FROM: Heather L. Pierson, Historic Districts Case Planner *HP*

## **ITEM & ISSUE:**

CASE # H-97-172B ADDRESS 439 A Camino del Monte Sol

## **REFERENCE ATTACHMENTS (Sequentially):**

### **CITY SUBMITTALS**

- Case Synopsis
- District Standards
- State Historical Survey Sheet
- Minutes of \_\_\_\_\_
- Other \_\_\_\_\_

### **APPLICANT SUBMITTALS**

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other \_\_\_\_\_

## **STAFF RECOMMENDATION:**

Staff acknowledges the standards for architectural design in the Downtown and Eastside Historic District have been met and recommends approval.

## **BACKGROUND & SUMMARY:**

The applicant has provided illustrations for the construction of a single-bay garage to the east of the main residence. The garage's height will vary from 10' to 11' from grade. The applicant states that the garage structure will be of wood frame construction. All windows and doors will be wood with a natural finish. The other finishes will match the rest of the compound.

b:sr\hp\97172b.hrb

MICHAEL F. BAUER + ASSOCIATES • ARCHITECTS  
1424 PASEO DE PERALTA • SANTA FE • NEW MEXICO 87501  
505 • 988 • 1905

November 5, 1997

Historic Design Review Board  
City of Santa Fe  
Santa Fe, New Mexico

**Re: 439-A Camino del Monte Sol  
Garage/Storage Building, Unit-2**

Dear Board Members and Staff:

The proposed project is a new garage for the Mary Austin House, Unit-2.

The structure will be located to the <sup>last</sup> north of the house and will be wood frame with stucco finish. All windows and doors are to be wood finished natural. The garage door will be of raised panel design finished natural. The finishes are specified on the drawings.

Please advise us if any additional information is required.

Sincerely,

*Michael F. Bauer*  
Michael F. Bauer

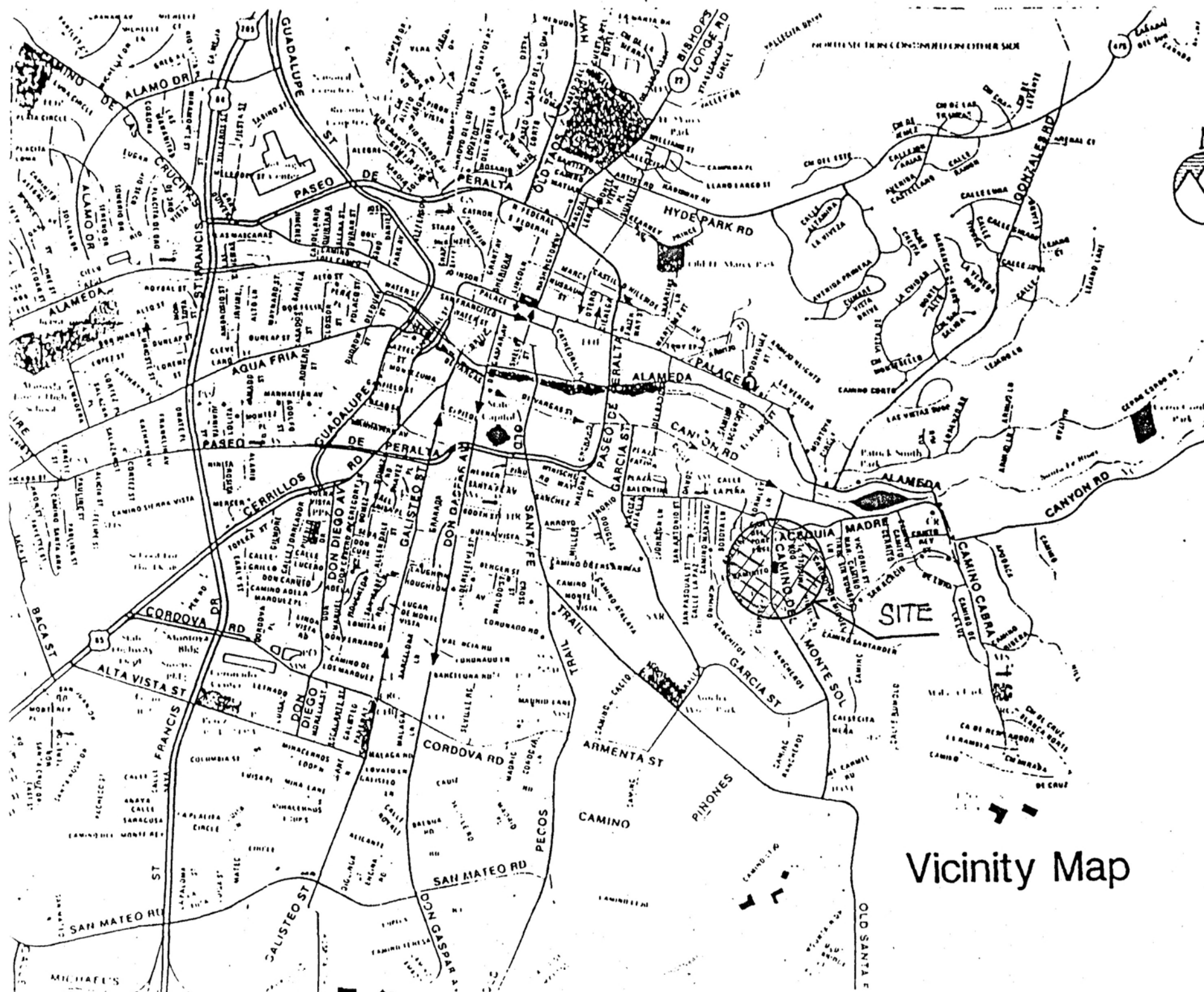
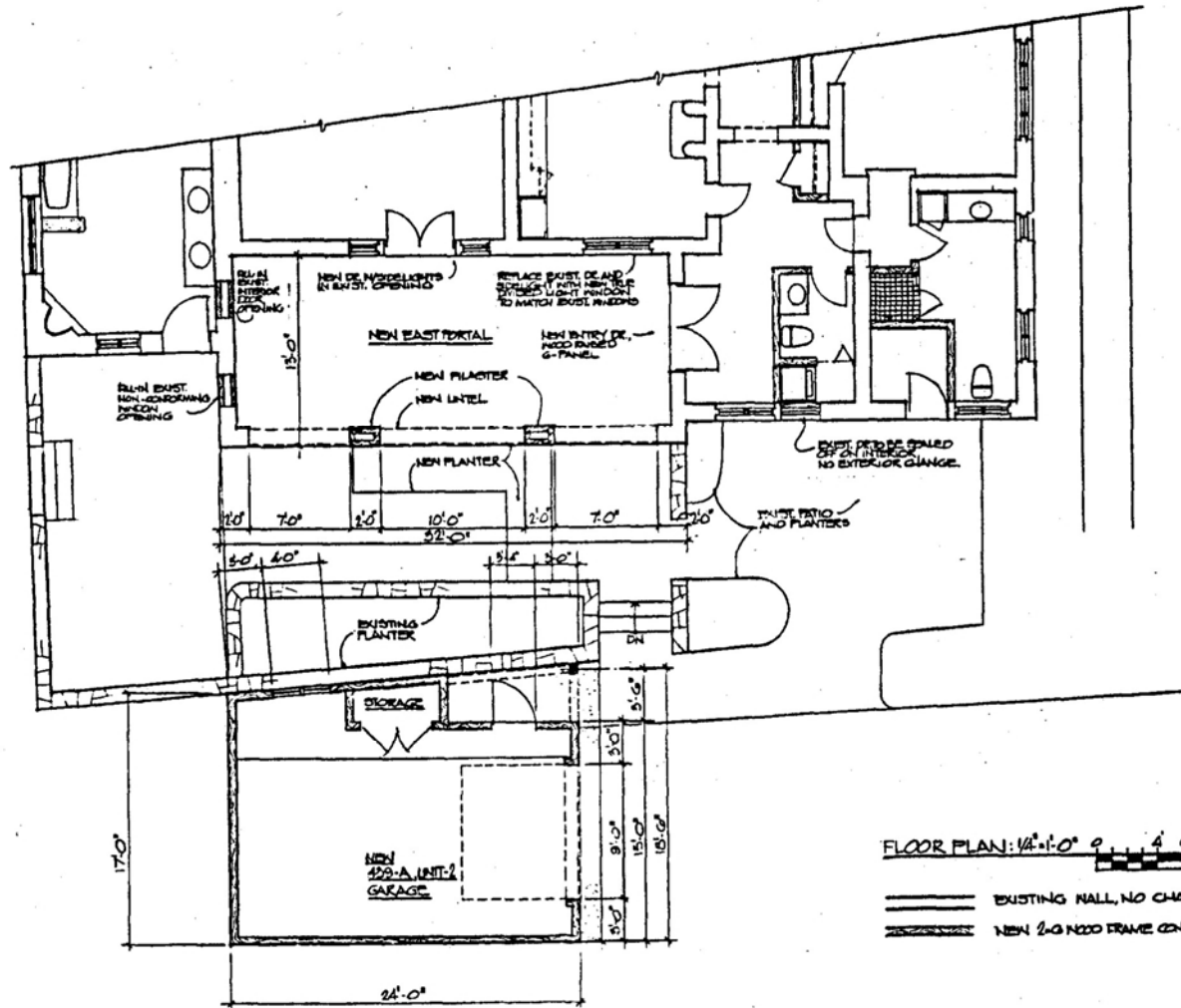


EXHIBIT D

Vicinity Map

SCALE BAR  
 0 100 200  
 FEET  
 0 100 200  
 METERS





FLOOR PLAN: 1/4" = 1'-0" 0 1 2 3 4 5 6 NORTH

==== EXISTING HALL, NO CHANGE  
 - - - - - NEW 2-G NEED FRAME CONSTRUCTION



ARCHITECT  
 MICHAEL P. BAUER & ASSOCIATES  
 1424 PRAIRIE BLVD., SUITE 100, HOUSTON, TEXAS 77010  
 TEL: 770-1000

MARY AUSTIN COMPOUND  
 CARROLLTON, TEXAS  
 122-A UNIT-2

SHEET TITLE  
 FLOOR PLAN  
 1/4" = 1'-0"

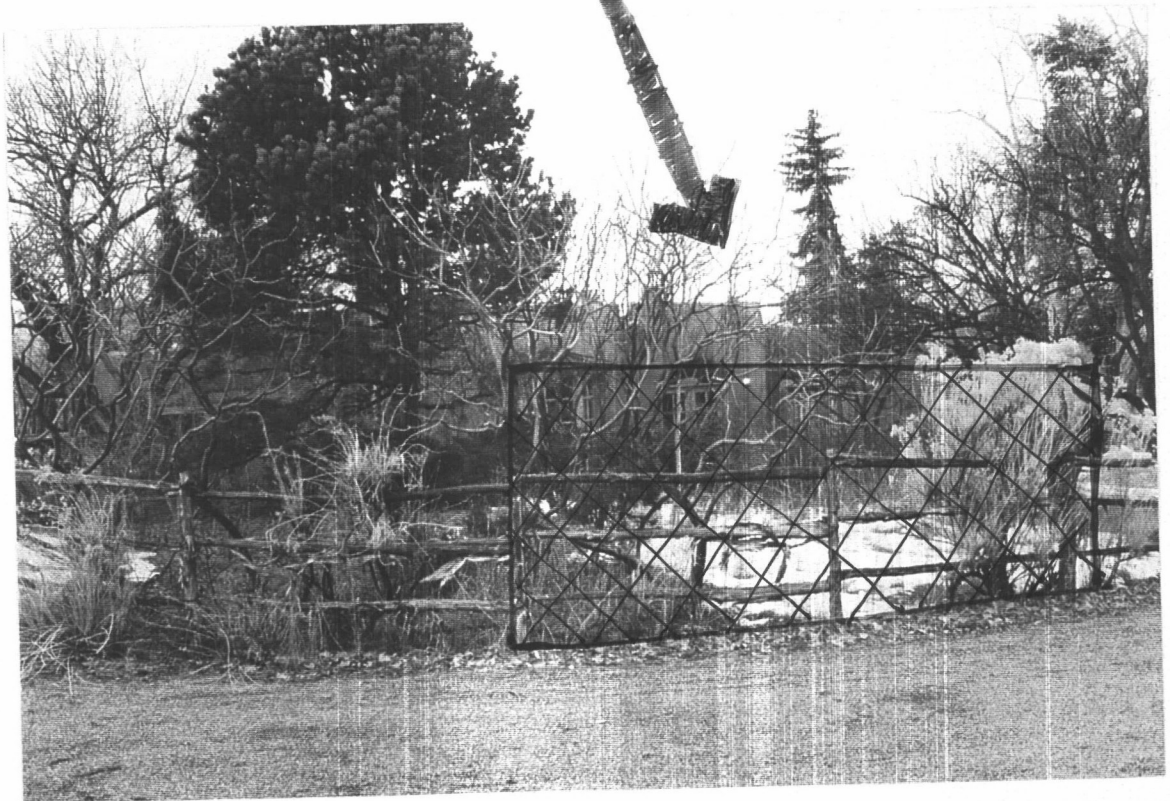
DATE 3-16-97  
 11-3-97

NO. 4

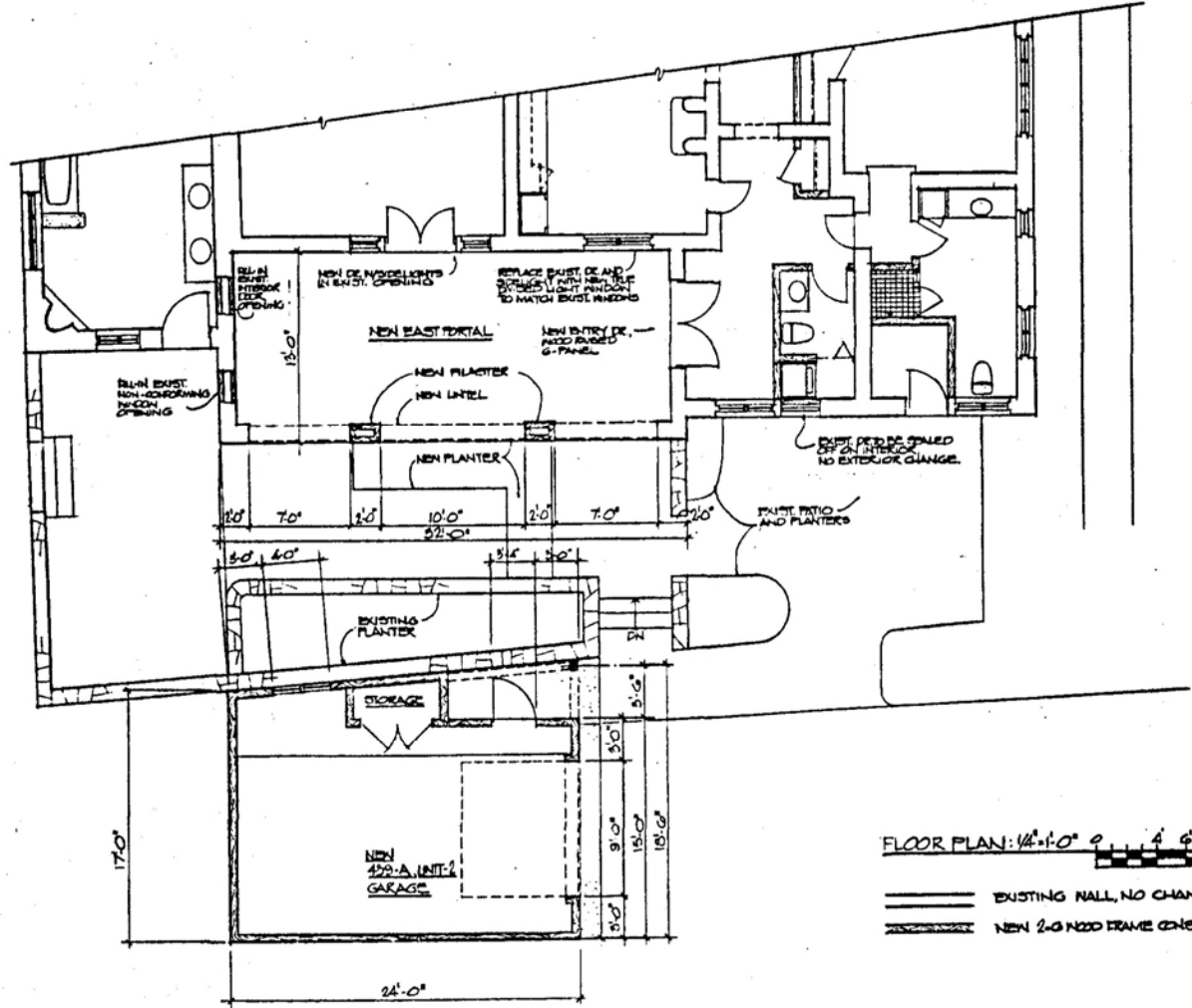




439-A, UNIT-2 GARAGE SITE







FLOOR PLAN: 1/4" = 1'-0" 0 1 2 3 4 5 6 7 8 9 10 NORTH

==== EXISTING WALL, NO CHANGE  
 - - - - - NEW 2-G NEED FRAME CONSTRUCTION



ARCHITECT  
 MICHAEL P. BAUER & ASSOCIATES  
 1424 PROGRESS PARKWAY, SUITE 200, P.O. BOX 671801  
 BALTIMORE, MARYLAND 21216-1801  
 TEL: 410-528-1100

MARY AUSTIN COMPOUND  
 422-A UNIT 2  
 1/4" = 1'-0"

SHEET TITLE  
 FLOOR PLAN  
 1/4" = 1'-0"

DATE: 11-2-97

4



EXHIBIT (C)

NOV - 5 1997  
9:52 a.m.

HISTORIC DESIGN REVIEW BOARD APPLICATION FORM

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Multi-Family Residence ( )

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\_\_\_\_\_

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John B. Aronson  
Signature of Applicant or Owner

11-5-97  
Date