

Osage Design Studio
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September 1, 2025

Historic Preservation Division
Planning and Land Use Department
City Hall
200 Lincoln Avenue
Santa Fe, NM 87501

Address: 527 Agua Fria Street, Santa Fe NM 87501
Owners: NEIRIKA LLC
Building Status: Significant
UPC: 1-053-099-521-161
Parcel No.: 11266176

On behalf of the applicant NEIRIKA LLC, I am submitting a request for approval of an interior and exterior remodel of the subject structure and exceptions listed below. The property is located within the Guadalupe Historic District. The site has two existing residential structures. The subject structure is a triplex to be converted into a duplex located at the front of the property facing Agua Fria Street. The rear structure is not part of the scope of this request; no work planned on the rear structure.

Exterior work includes:

- Replacement of all of the windows and the majority of the exterior doors.
- The work includes stucco repair and a new stucco color coat.
- Removing and raising the roof on the northeast corner of the structure.
- Removing and raising the roof along the north side (rear) of the structure.
- A 36 square foot addition in heated area.

Please see the attached plans for reference.

The roof has been recently replaced with a pre-finished red “clay tile” shaped roof system. In addition, the interior has received a non-structural demolition of interior partitions, cabinetry, and fixtures. This work was permitted with the City of Santa Fe. Interior work includes installing new interior partitions, bathroom fixtures, and kitchen fixtures & appliances.

Exception Requests

In general, per Chapter 14-5-2 (D), for all facades of significant structures, architectural features, finishes, and details shall be repaired or restored rather than replaced. In addition, no additions are permitted to primary facades. Exceptions are required to for multiple modifications to the primary facade. Exception requests must address the following criteria:

- a. Do not damage the character of the district.
- b. Are required to prevent a hardship to the applicant or an injury to the public welfare.

- c. Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Each exception request is listed below with its corresponding response to the criteria.

1. Replace existing windows and selected exterior doors, including altering the size and location of fenestrations. The exception request includes removal of iron grilles on some of the windows and replacement of existing “diamond” gable vents. *14-5-2(D)(5)(a)(i)(ii)(iii): Historic windows shall be repaired or restored wherever possible. No new openings shall be made unless historic documentation supports its prior existence. No existing openings shall be closed.*

- a. *Do not damage the character of the district.*

Response: The structure has been designated “significant” and all facades are considered “primary”. However, in the opinion of the Applicant, changes to the street facing public façade should take precedence. On the street facing façade, the changes involve window & door replacement in existing openings. No size changes are requested. No new openings or infilled openings are requested. Thus, the character of the district will be maintained. The most extensive work is proposed for the rear. This work will be hidden from the public view. Hence, the character of the district will be maintained.

- b. *Are required to prevent a hardship to the applicant or an injury to the public welfare.*

Response: The exception request includes replacement of existing windows, replacement of doors, removal of iron grilles, replacement of the diamond gable vents, and new doors & windows in new openings on the north façade. As noted in the window assessment report, only a few of the windows are historic to the structure. The current window types vary. Many are single pane, non-insulated units or older insulated units that do not meet the current energy code. Replacement would allow for code compliance, increasing the comfort of the inhabitants. None of the doors are historic. Replacement will allow for units that function well and have a design congruent with the overall appearance of the remodeled structure. The existing iron grilles are not historic and inhibit maintenance access to the windows. The fixed glazed diamond gable vents are non-functioning. Code requires that attics be vented which new louvered metal vents, painted to match the fascia, will allow. As noted in the exception request below, the rear “lean to” addition does not meet code regarding ceiling height. By replacing windows and doors in existing and new openings, as well as raising the roof, allows for the spaces to be more efficiently utilized and provide code required life safety egress.

- c. *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.*

Response: The unique character of the City will be maintained as the proposed window & door replacement will provide a fresh, consistent, harmonious appearance. While it is common for individual structures to have different window and door sizes, configurations, finishes, etc., it is not pleasing for these structures to have units in varying degrees of maintenance.

2. Raise roof on northeast corner of the existing structure. Raise roof along the north side (rear) of the structure. *14-5-2(D)(3)(a): For remodeling of significant structures, no increase in height is permitted.*

- a. *Do not damage the character of the district.*

Response: The character of the structure and the district would not be compromised as the proposed change is raising the roof without changing the structure's footprint or the roof design.

- b. *Are required to prevent a hardship to the applicant or an injury to the public welfare.*

Response: The current headroom in these spaces (both at the northeast corner and along the rear) is approximately 6'-0". The minimum ceiling heights per the current building code is 7'-0" with 6'-8" in bathrooms and laundry rooms. Thus, the current northeast room and space along the rear are non-compliant. Raising the ceiling and roof heights of these spaces allows for the spaces to be comfortably occupied and code compliant. In addition, interior removal of finishes (during the permitted interior demolition) has shown that the existing framing is substandard and has extensive mold damage. The contractor is recommending reframing this area regardless of whether or not the height increase request is granted. Denial of this exception request would limit the usability of these spaces, denying the Owner of full benefit of use of the residence.

- c. *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.*

Response: Raising the ceiling and roof heights of this space would maintain the existing overall appearance of the structure, retaining the character of the City.

3. 36 SF addition to north side (rear) of structure. *14-5-2(D)(2)(c): Additions not permitted to primary facades.*

- a. *Do not damage the character of the district.*

Response: The character of the structure and district would not be compromised as the proposed change would be architecturally integrated with the overall appearance of the structure with matching scale and finishes.

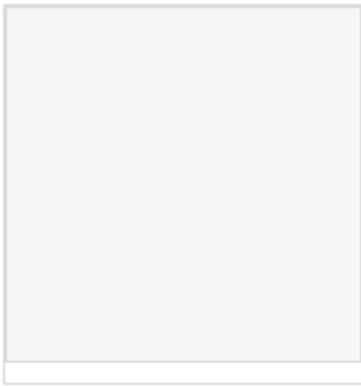
- b. *Are required to prevent a hardship to the applicant or an injury to the public welfare.*

Response: The Applicant intends to convert the existing use as a residential tri-plex to a duplex. The proposed addition allows for the second dwelling unit (accessory dwelling unit) to fully utilize the available floor area while maintaining a more logical separation between the units. This unit separation would occur between the historic residential structure and the garage addition. Per the current building code, a fire separation must be maintained between the units. The "straight line" separation between the units will make this construction simpler, ensuring higher integrity construction methods. If the exception request were denied, the interior remodel would have to be redesigned with a portion of the second unit encroaching on the original structure. This would increase the construction difficulty and possibly compromise the code required separation.

Finish Schedule:

Item / Material:	Color:	Notes:
Exterior Stucco	Match existing color	Patch & repair. New color coat.
Fascia Trim	Match existing color	Pre-finished metal and wood fascia & wood trim. Repair and repaint wood trim
Roofing	Match existing type & color	Replace at north modifications
Windows	Pella "Bright White"	New windows
Exterior Doors	"White" to match windows	New exterior doors to be either painted wood or clad units provided by window manufacturer.

Proposed Windows: The proposed replacement would be Pella wood windows with pre-finished exterior cladding and simulated divided lights. The exterior color to be "Bright White". See the Plans for window location, size, type, and grille pattern.



Bright White



7/8" Ogee Integral Light Technology



Existing wood and pre-finished metal fascia

Existing stucco

Existing pre-finished metal roofing with "clay tile" profile



Photographs of interior along rear façade (north wall). White pole set at 6'-0" (disregard numbers on pole). Per code, minimum ceiling height of a habitable space is 7'-0"

Photo on left in area of proposed Bedroom-2. Approximate bearing to beams 5'-8".

Photo on right in area of proposed rear hallway. Approximate bearing is 6'-10". However, finish floor will be raised approximately 6" to match floor level of remainder of residence.

527 Agua Fria Street
Existing Exterior Photographs
6/30/25



1 - South Façade (facing Agua Fria)



2 - South Façade showing west face of structure



3 - South Façade (facing Agua Fria)



4 - South Façade (facing Agua Fria)



5 - East Façade (southeast corner)



6 - East Façade



7 - North Façade (northeast corner)



8 - North Façade



9 - North Façade



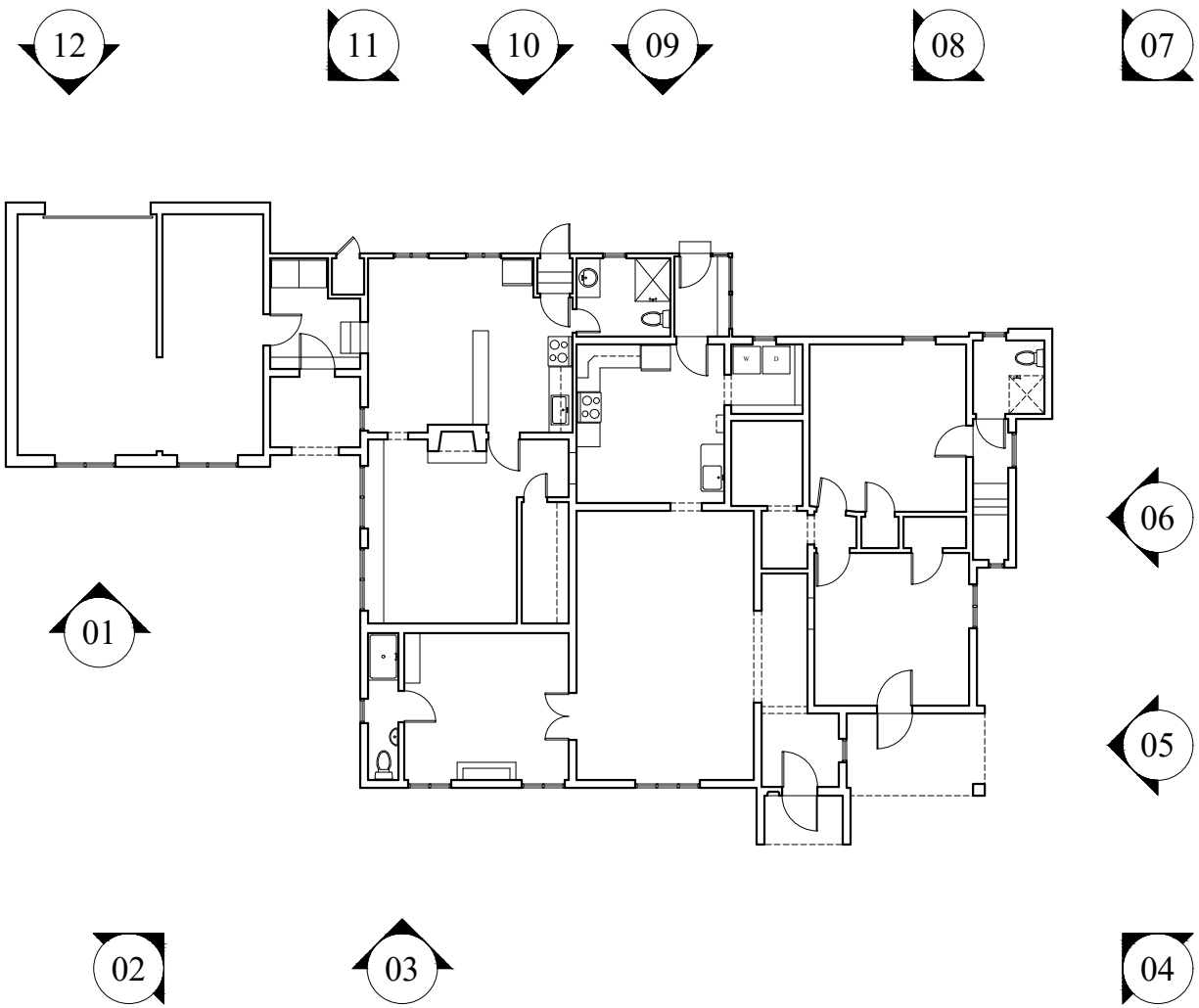
10 - North Façade



11 - North Façade

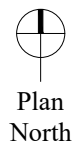


12 - North Façade (northwest corner)



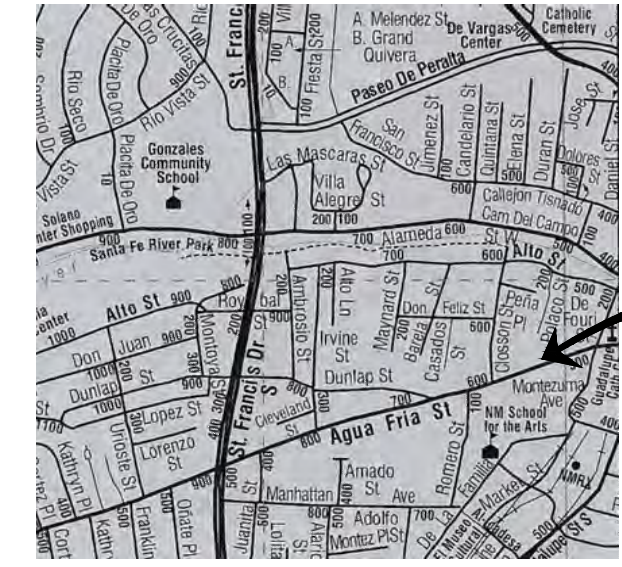
Agua Fria Street

Photo Key Plan



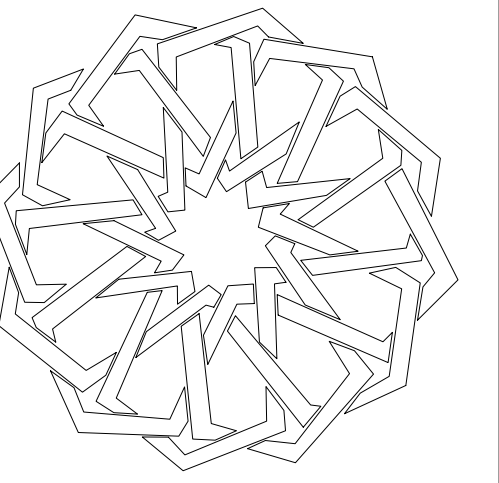
City of Santa Fe Chapter 14 Land Development Code	
Owner	NERIKA LLC
Address	527 Agua Fria Street, Santa Fe NM 87501
UPC	1-053-099-521-161
Tax Parcel	1126 6176
Legal	Guadalupe Neighborhood Parcel 284, T17N R9E S23
Zoning	R-21
Historic District	Westside Guadalupe Historic District
Hist. Bldg. Status	Significant (confirm with Historic Preservation Division)
Flood Plain	Not applicable
Archeological	Historic Downtown Archeological Review District
Escarpment	Not applicable
Mountain	Not applicable
Density	21 dwelling units per acre
Min. Lot Size	3,000 SF minimum, 2,000 SF with common open space
Existing Lot Size	0.418± acres
Max. Height	24' maximum height for residential structures, within 10' of side or rear property no portion of any story above ground level shall be higher than 14.0'. Maximum height might be superseded by historic.
Existing Height	18'-8"± (no proposed change)
Setbacks (minimum yard requirements)	Front: 7' (20' for front facing garage) Side: 5' Rear: 15' or 20% of average lot depth, whichever is less
Maximum Lot Coverage:	40% maximum for single family or multi-family of fewer than 6 units. 40% maximum for multi-family with 6 or more units. May increase to 55% maximum if private open space is provided. (Lot coverage is the total area of structures on a lot in relation to lot area). For residential development, the portion of a lot occupied by easements for private roads and lot access driveways is excluded from the lot area. Lots smaller than one acre, common open space, fire access roads & other facilities intended primarily for other lots excluded from lot area.
Existing Lot Coverage:	23.4%
Proposed Lot Coverage:	23.4% (no change)
Open Space	No minimum open space required for single family residence except as provided by setbacks. Open space required to increase lot coverage per 14-7.5: Provide a minimum of 50% of total gross floor area (including 2 nd floor). Minimum dimension of 12' (and not less than 4' / 40 SF for balconies. Portals, porches, roof decks, and balconies can contribute to the amount required. NOT REQUIRED: site meets maximum allowed lot coverage.

Accessory Structures	Generally, cannot be used as an accessory dwelling – may have a half bathroom (sink & toilet) or kitchen but not both.
Parking Residential	Dwelling Unit: 2 spaces per unit Attached Dwelling Unit (2-5 units): 2 spaces per dwelling unit Attached Dwelling Unit (over 5 units, less than 800 SF): 1 assigned space and 0.25 unassigned space per DU Attached Dwelling Unit (over 5 units, 800-1200 SF): 1 assigned space and 0.5 unassigned space per DU Attached Dwelling Unit (over 5 units, over 1200 SF): 1 assigned space and 1.0 unassigned space per DU Accessory Dwelling Unit: 1 space if ADU < 1,000 SF; otherwise 2 spaces Accessory Structures: parking not required 3 offstreet parking spaces
Required Parking Spaces	3 offstreet parking spaces
Existing Parking Spaces	6 off street parking spaces provided on lot for subject lot (1 in garage).
Parking Space Size	Standard pull in: 8.5' x 19', 23' drive aisle Small car: 7.6' x 15', 20' drive aisle. Parking lots with 10 or more spaces may have up to 20% of total req'd spaces designated as small car. Parallel: 8.5' x 23' Parking lots with less than 40 spaces may be gravel.

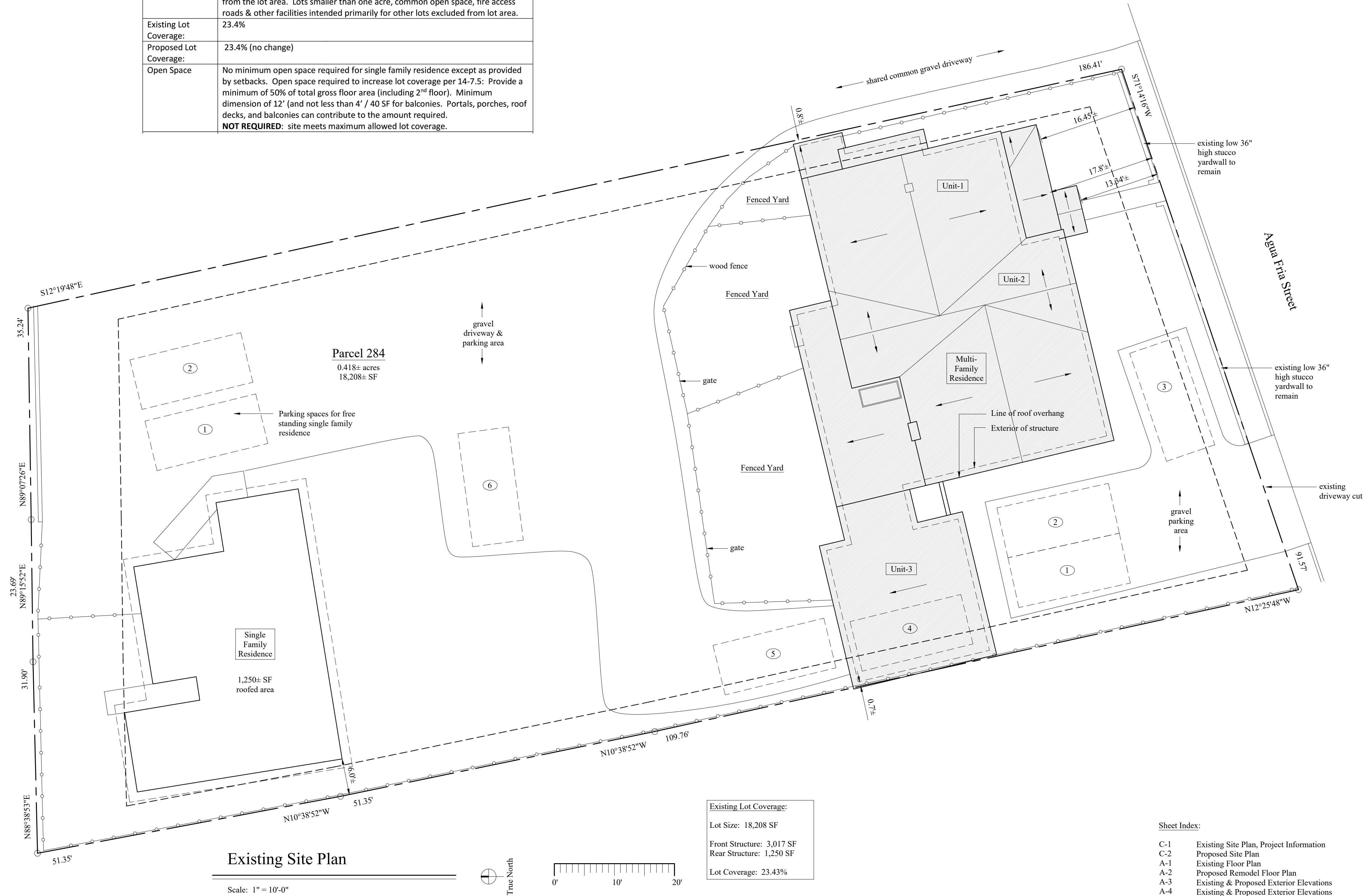


Vicinity Map

Site



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Renovation of an Existing Residential Structure

NERIKA LLC

527 Agua Fria Street, Santa Fe NM 87501

Existing Site Plan
Project Information

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9/1/25

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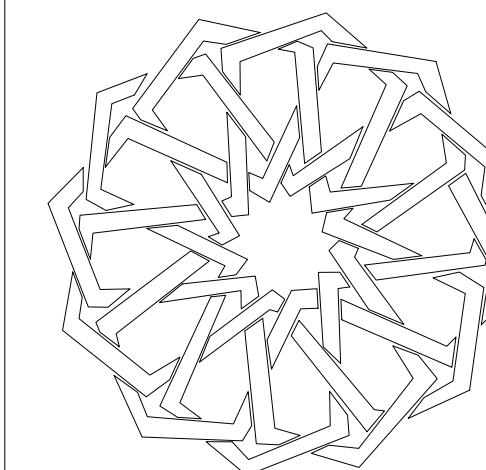
- C-1 Existing Site Plan, Project Information
- C-2 Proposed Site Plan
- A-1 Existing Floor Plan
- A-2 Proposed Remodel Floor Plan
- A-3 Existing & Proposed Exterior Elevations
- A-4 Existing & Proposed Exterior Elevations

Scope of Work: Exterior and Interior
Remodel of an existing residential
structure.

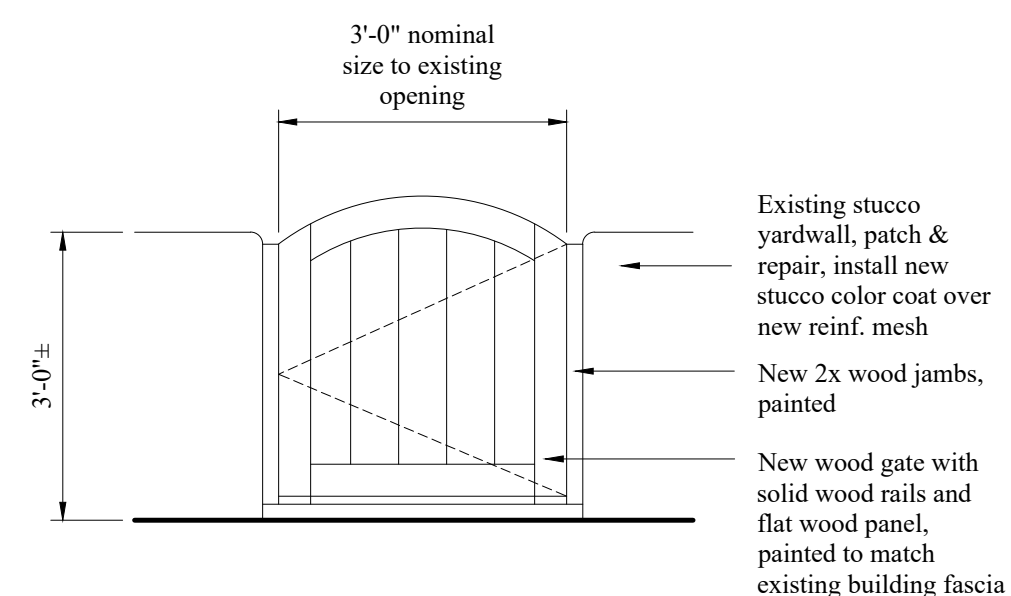
Issued for City of Santa Fe Historic
Division Review

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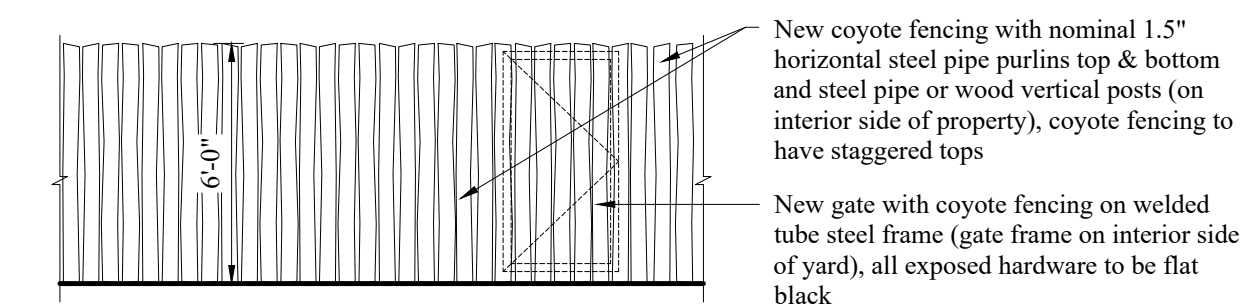


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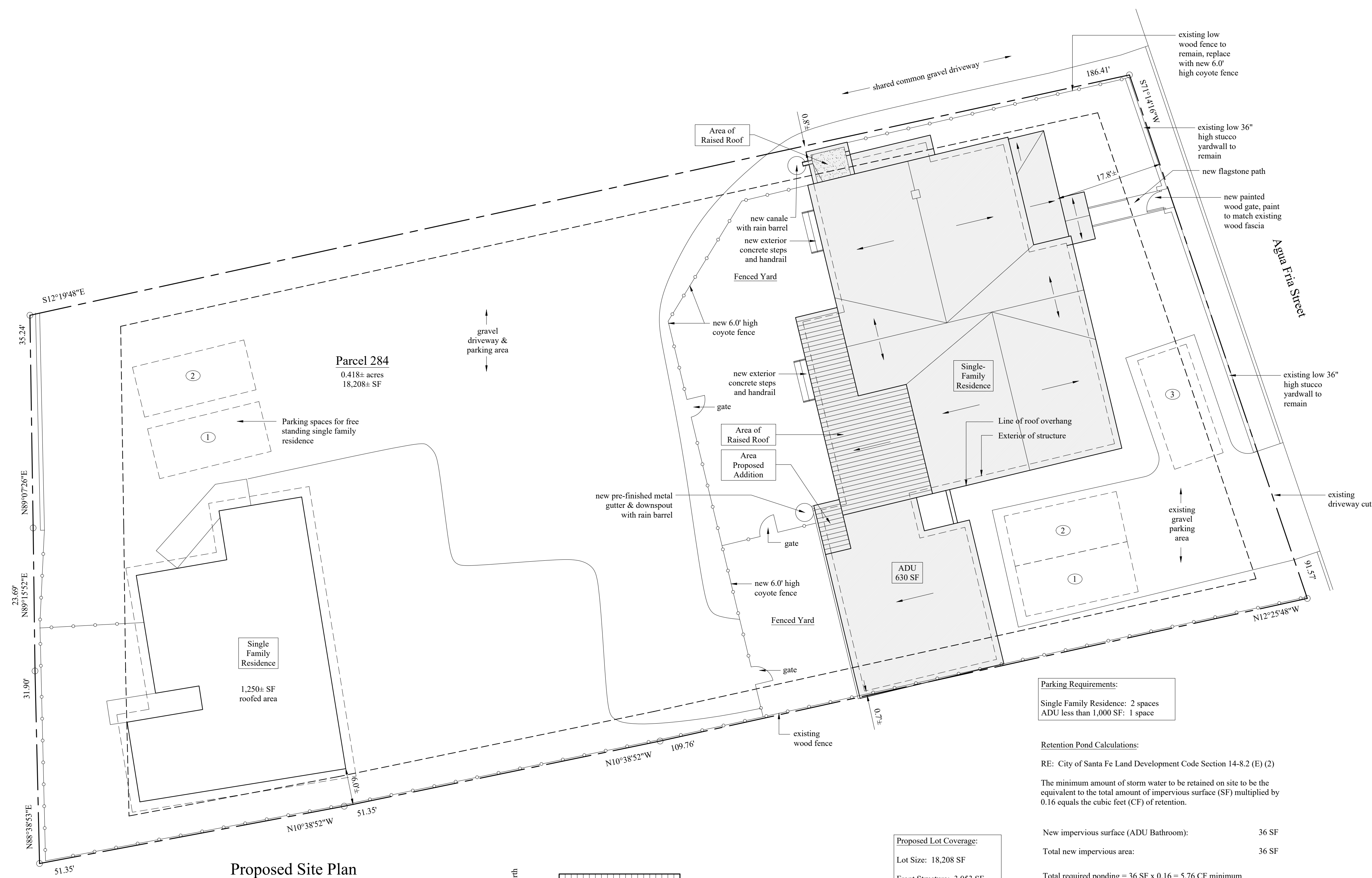
02 Gate Detail

Scale: 1/2" = 1'-0"



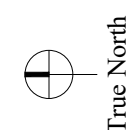
01 Coyote Fence Elevation

Scale: 1/4" = 1'-0"



Proposed Site Plan

Scale: 1" = 10'-0"



Proposed Lot Coverage:
 Lot Size: 18,208 SF
 Front Structure: 3,053 SF
 Rear Structure: 1,250 SF
 Lot Coverage: 23.63%

Parking Requirements:
 Single Family Residence: 2 spaces
 ADU less than 1,000 SF: 1 space

Retention Pond Calculations:
 RE: City of Santa Fe Land Development Code Section 14-8.2 (E) (2)
 The minimum amount of storm water to be retained on site to be the equivalent to the total amount of impervious surface (SF) multiplied by 0.16 equals the cubic feet (CF) of retention.

New impervious surface (ADU Bathroom):	36 SF
Total new impervious area:	36 SF
Total required ponding = 36 SF x 0.16 = 5.76 CF minimum (5.76 CF x 7.48 = 43 gallons minimum)	
Required retainage provided with (1) 50 gallon rain barrel	

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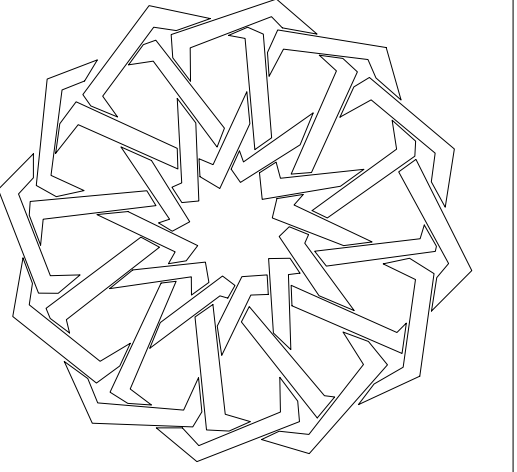
Proposed Site Plan

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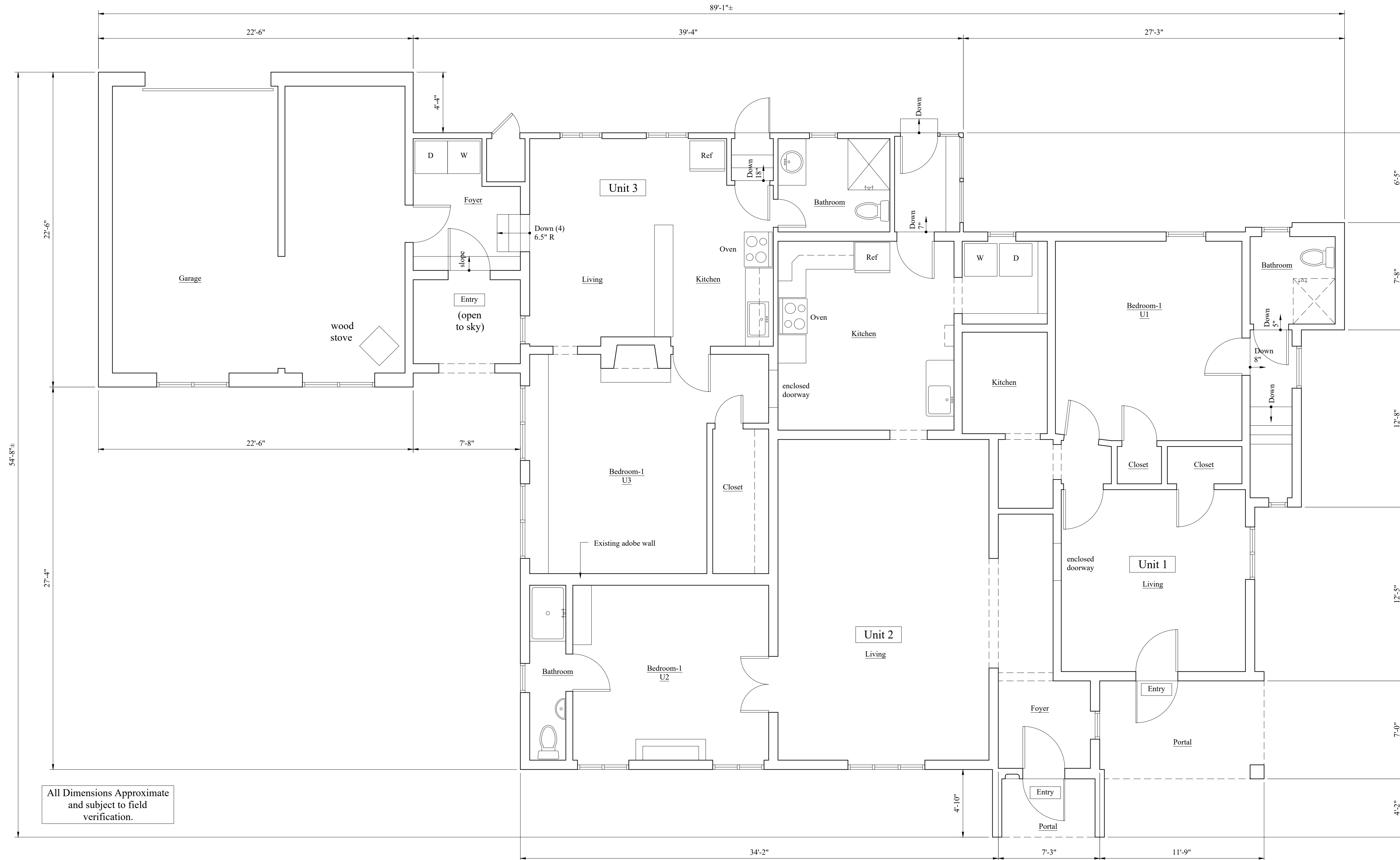


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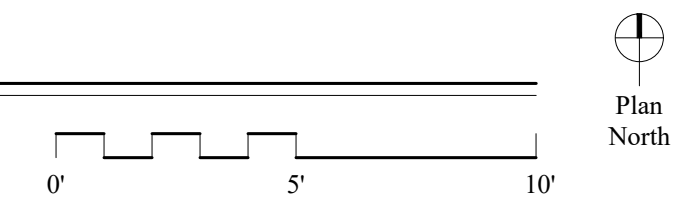


All Dimensions Approximate and subject to field verification.

Existing Floor Areas - Unit 3:		Existing Floor Areas - Unit 2:		Existing Floor Areas - Unit 1:		Total Existing Floor Areas:	
Heated:	727 SF	Heated:	993 SF	Heated:	625 SF	Heated:	2,345 SF
Non-heated (garage):	506 SF	Non-heated (garage):	0 SF	Non-heated (garage):	0 SF	Non-heated (garage):	506 SF
Portals:	51 SF	Portals:	33 SF	Portals:	82 SF	Portals:	166 SF
Total Heated:	727 SF	Total Heated:	993 SF	Total Heated:	625 SF	Total Heated:	2,345 SF
Total Roofed:	1,284 SF	Total Roofed:	1,026 SF	Total Roofed:	707 SF	Total Roofed:	3,017 SF

Existing Floor Plan

Scale: 1/4" = 1'-0"



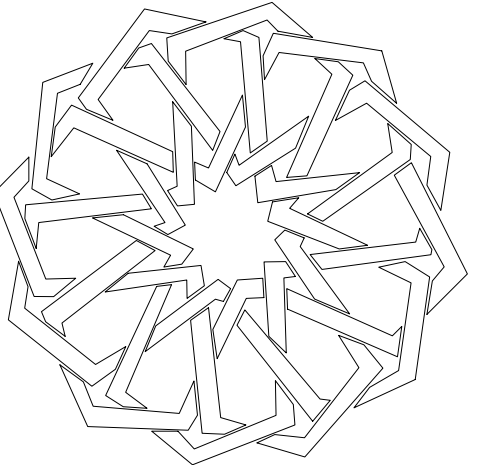
Existing Floor Plan

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Guadalupe Neighborhood Parcel 284
 527 Agua Fria Street, Santa Fe NM 87501

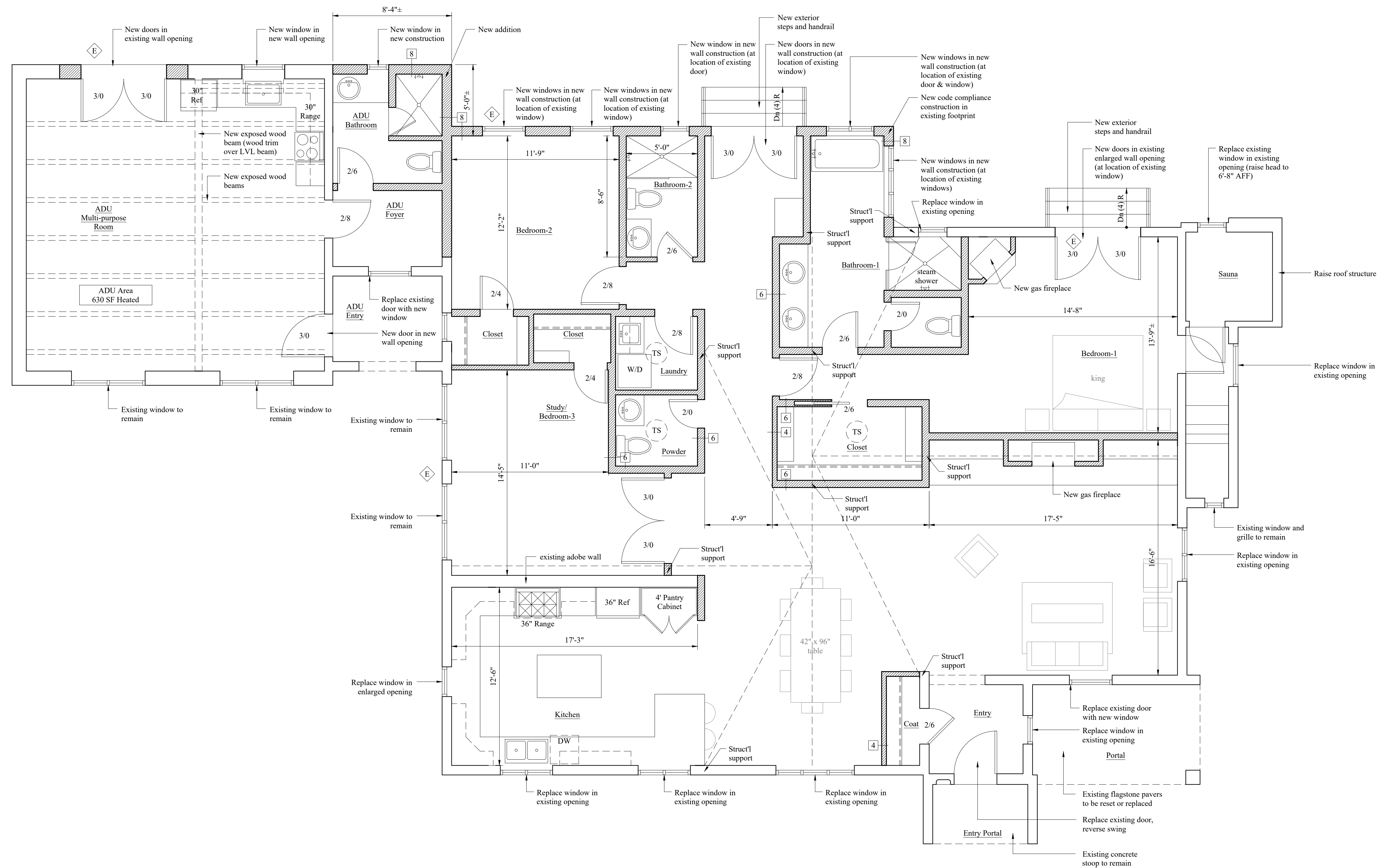
Proposed Remodel Plan

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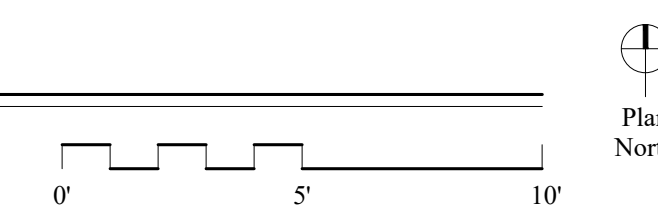


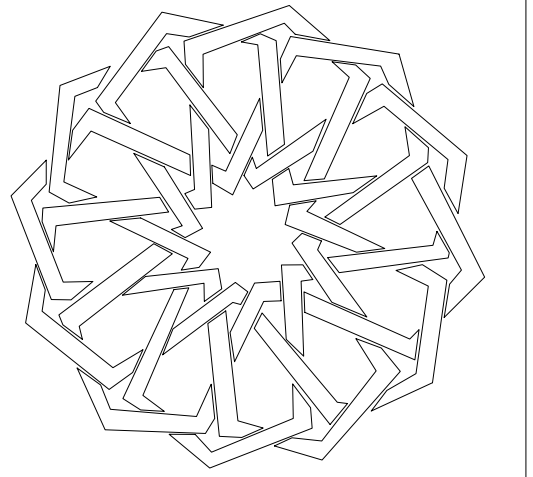
Total Existing Floor Areas:		Total Proposed Floor Areas:		Total Adjusted Floor Areas:	
Heated:	2,345 SF	Heated:	36 SF	Heated:	2,345 SF
Non-heated (garage):	506 SF	Non-heated (garage):	0 SF	Non-heated (garage):	0 SF
Portals:	166 SF	Portals:	0 SF	Portals:	166 SF
Total Heated:	2,345 SF	Total Heated:	36 SF	Total Heated:	2,887 SF
Total Roofed:	3,017 SF	Total Roofed:	36 SF	Total Roofed:	3,053 SF

Wall Legend:		Wall Types:	
	Existing wood framed construction		2 x 8 wood studs
	New CMU / masonry construction		2 x 6 wood studs
	New wood framed construction		2 x 4 wood studs

Proposed Floor Plan

Scale: 1/4" = 1'-0"



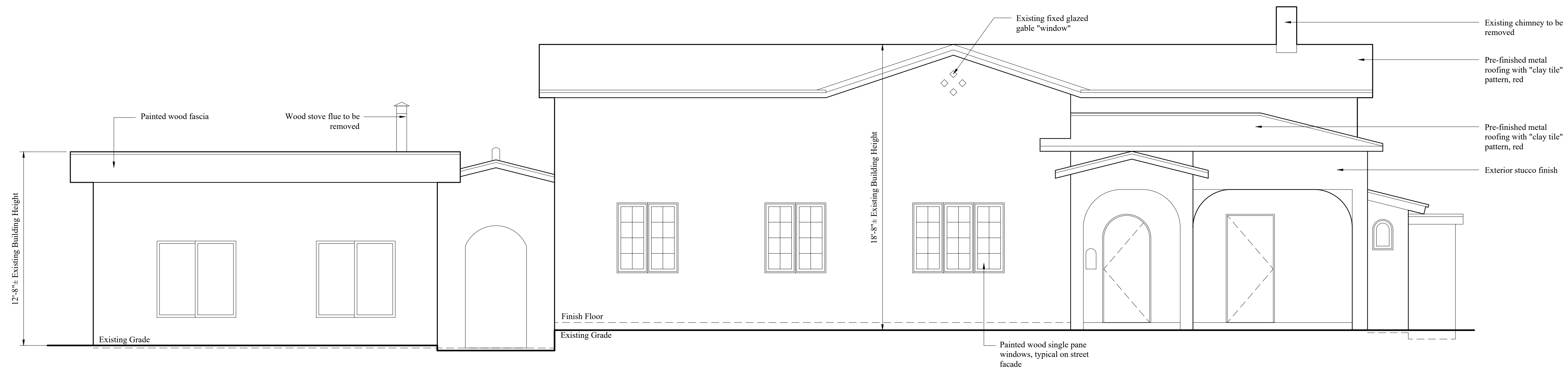


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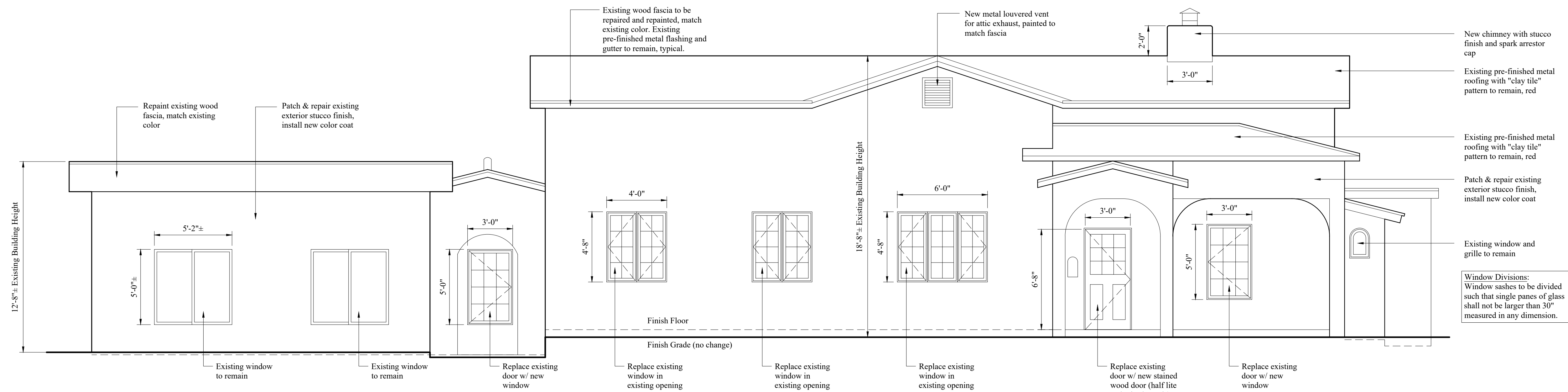
NIERIKA LLC

527 Agua Fria Street, Santa Fe NM 87501



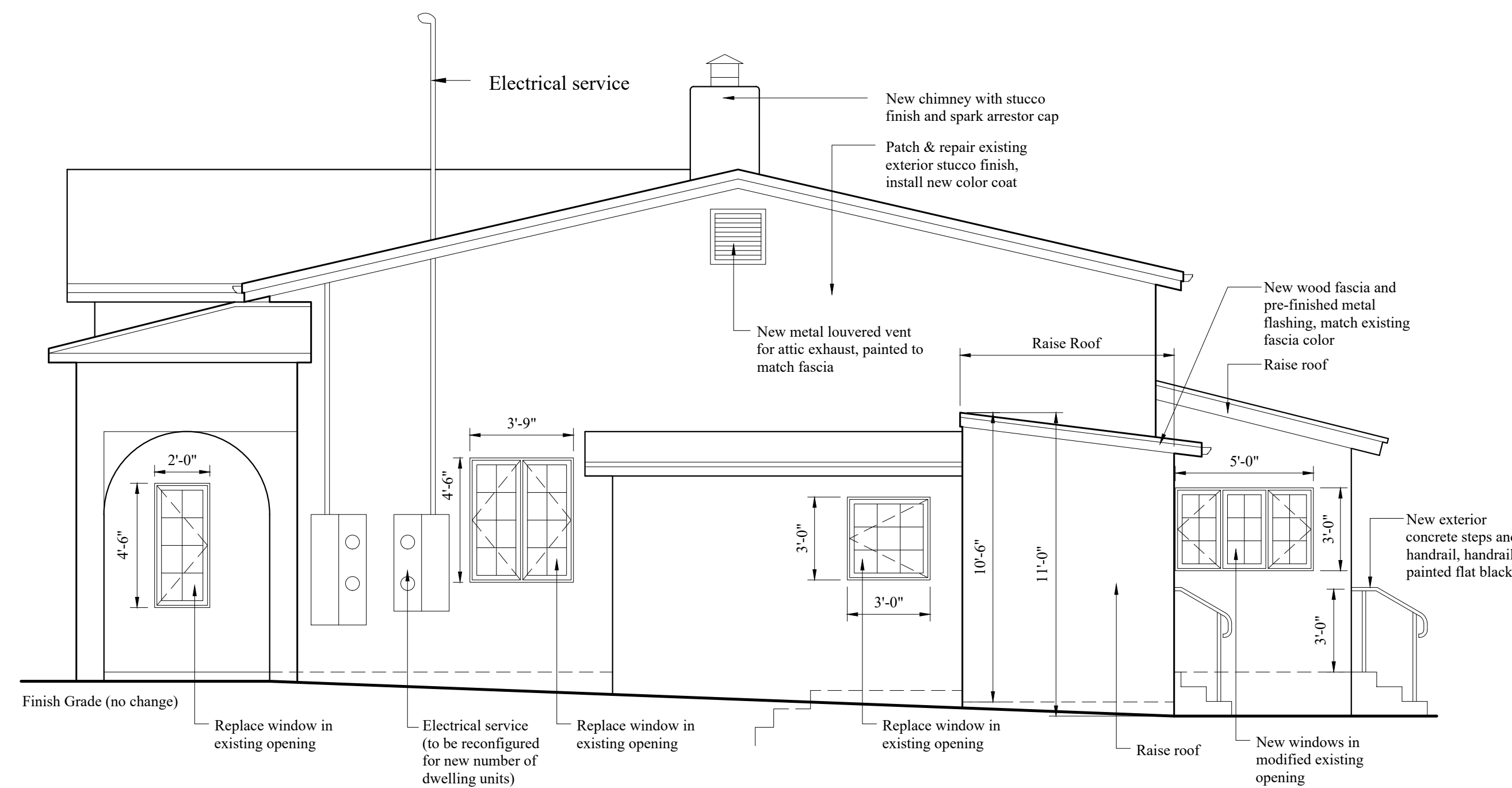
Existing Front (South) Elevation

Scale: 1/4" = 1'-0"



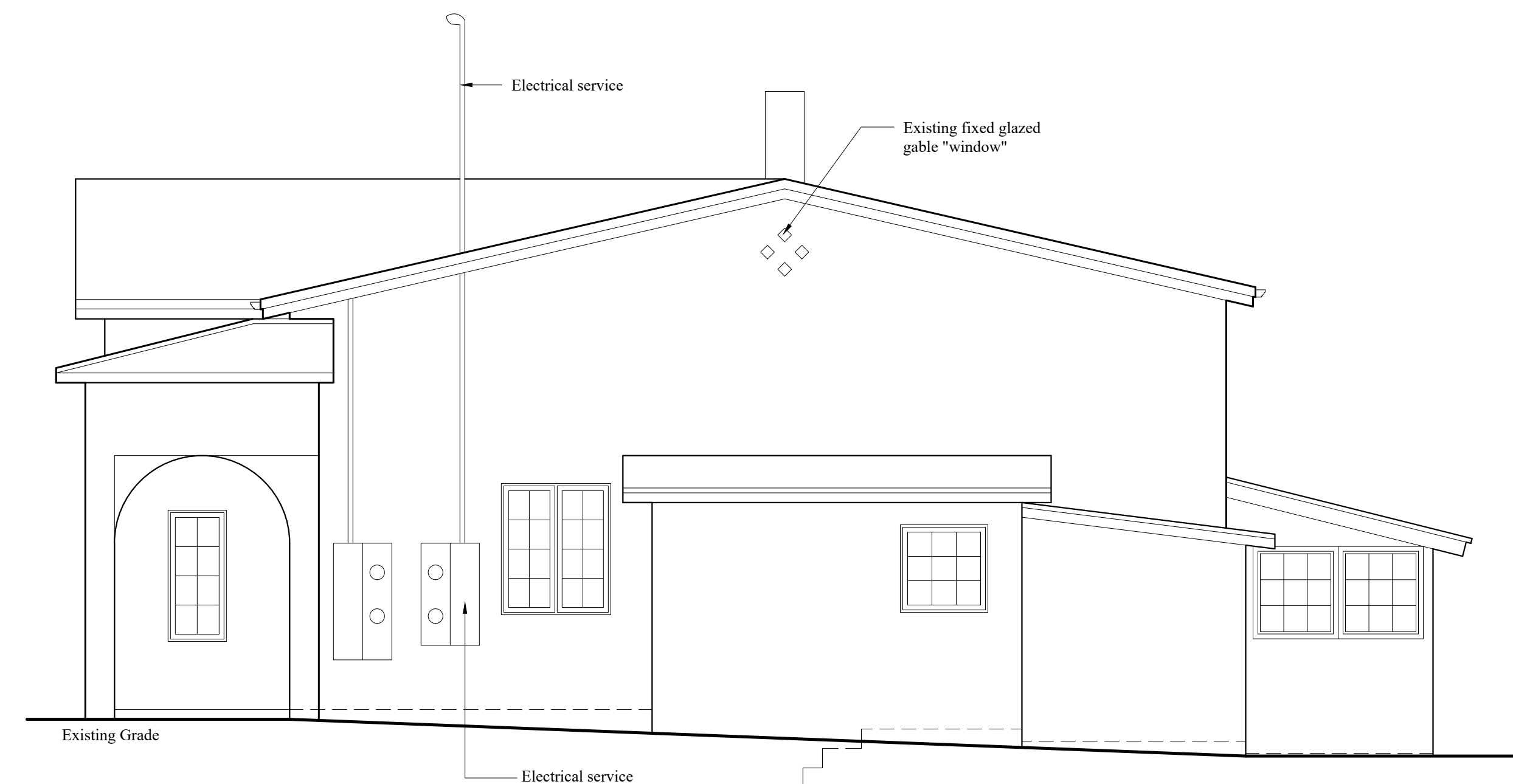
Proposed Front (South) Elevation

Scale: 1/4" = 1'-0"



Proposed Right Side (East) Elevation

Scale: 1/4" = 1'-0"



Existing Right Side (East) Elevation

Scale: 1/4" = 1'-0"

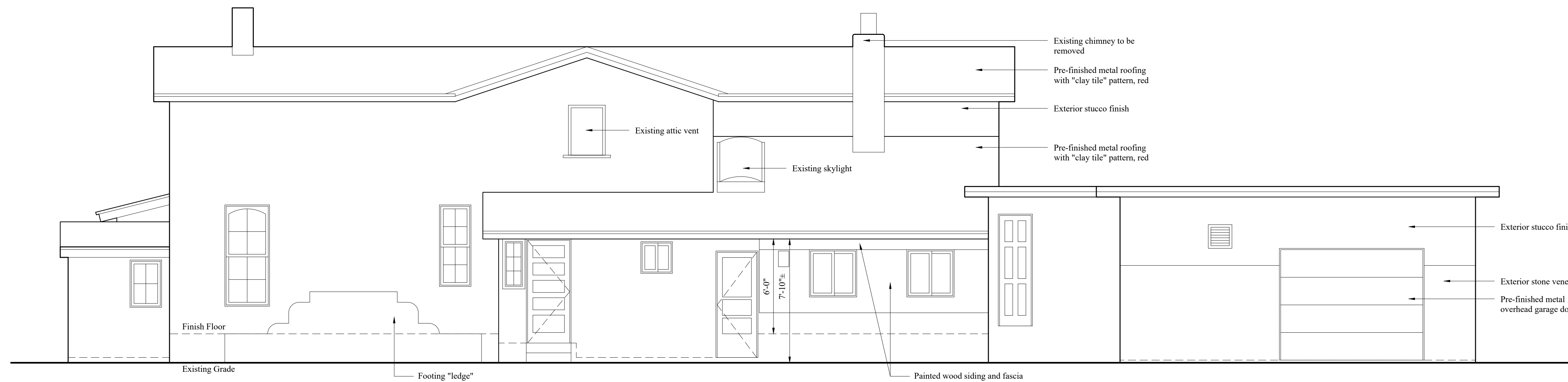
Exterior Elevations

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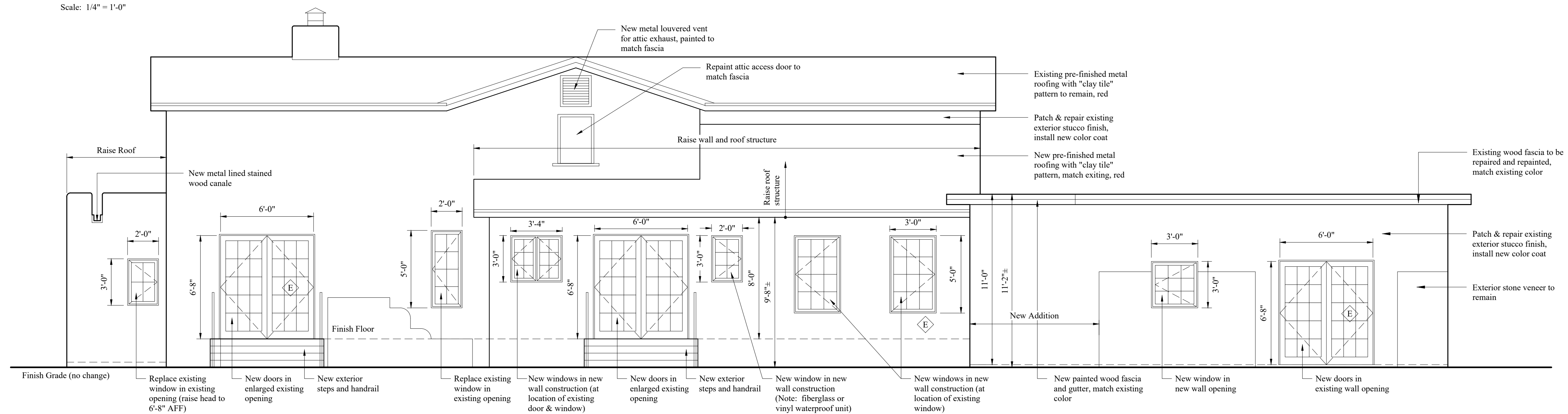
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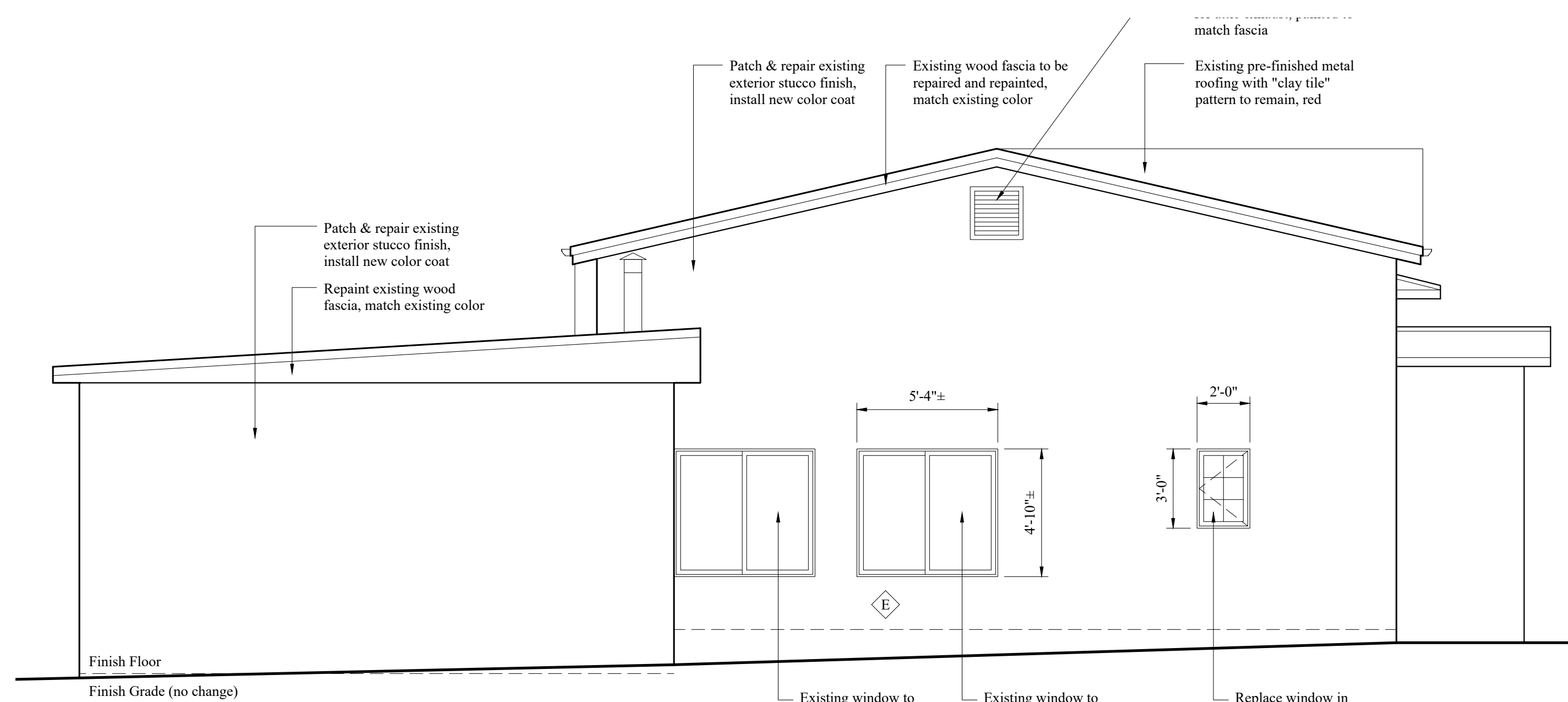
Existing Rear (North) Elevation

Scale: 1/4" = 1'-0"



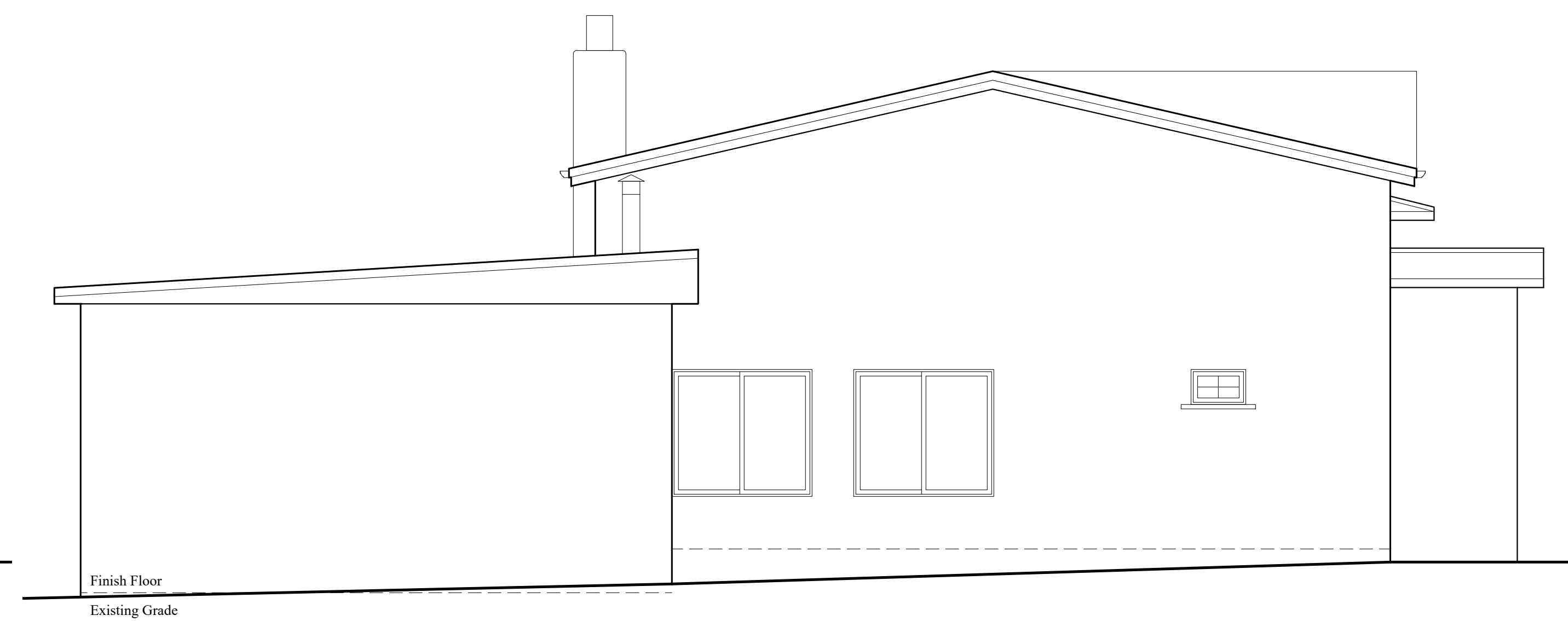
Proposed Rear (North) Elevation

Scale: 1/4" = 1'-0"



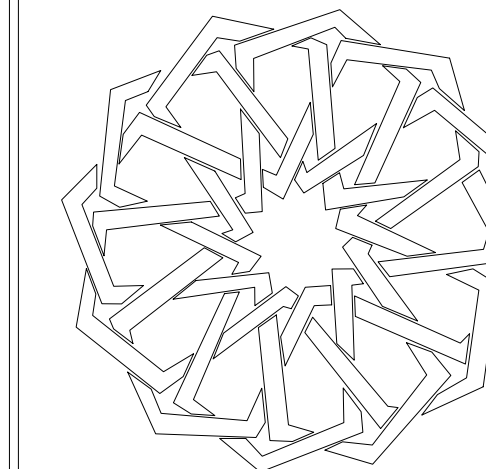
Proposed Left Side (West) Elevation

Scale: 1/4" = 1'-0"



Existing Left Side (West) Elevation

Scale: 1/4" = 1'-0"



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Exterior Elevations

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