



Building Design
P.O. Box 4

Permit Services
Ojo Caliente, NM 87549

Interior Consultation
505-919-9744

Construction Management
redc52@gmail.com

September 17, 2025

Paul Duran
Senior Planner
Historic Preservation Division
Planning & Land Use Department

RE: Historic Districts Review Board
Renovations, Additions & Alterations
219 – 219A Washington Avenue, Santa Fe, NM

Dear Paul,

On behalf of the Owner, who I am representing before the Historic Preservation Division, we request a review of the proposed renovations, additions and alterations to 219/219A Washington Avenue. The address is the New Tract B-2, “Lot Line Adjustment” of Tract B-2 and B-1A, recorded on December 23, 2016, in the records of Santa Fe County attached to this application.

My client at this time proposes improvements for the property designated as a contributing structure at 219 Washington Avenue in the Downtown and Eastside Historic District.

The proposed improvements include:

Building 219 Renovations were previously approved **Case No. 2024-007814-HDRB**

- a. North Façade includes the introduction of (4) new windows (wood divided lite) to provide additional natural light and a second means of egress, in the event of fire, required for the proposed sleeping rooms. **Exception approved Case No. 2024-007814-HDRB**
- b. West Façade includes the removal of an existing door and the introduction of a new entrance door in the enlarged existing opening. **Exception approved Case No. 2024-007814-HDRB**
- c. South Façade includes the removal of an existing door and the introduction of a new entrance door in the enlarged existing opening. Introduction of a new window to provide additional natural light to the proposed sleeping room. **Exception approved Case No. 2024-007814-HDRB**
- d. East Façade includes removal of the existing north door and introduction of a new entrance door in the enlarged existing opening. Introduction of a new window in a previous center door opening to provide additional natural light to the proposed sleeping room. The existing opening will be reduced in size. Introduction of a new window in the existing south opening to provide additional natural light to the proposed bathroom. **Exception approved Case No. 2024-007814-HDRB**

PROPOSED NEW CASE HDRB Renovations (219) – Additions (219) – New Building – 219A

1. Construct a Territorial brick coping on the top of parapets on the existing building 219.
2. Construct a proposed two-story rear addition (219), to the East rear façade of Existing building 219. The addition will be designated for:
 - Laundry & Unit 4 Bathroom – 122 SF The existing rear one-story Storage area (100 SF) will be remain in the same location, to introduce a new Laundry area and a bathroom for Unit 4.
 - Laundry folding area & addition Portal – 84 SF
The Portal will provide egress for Unit 2 and connect with the Laundry room.

- Construct a new two-story addition will provide Unit 4 (440 SF) on the first floor (including covered stairway).
Unit 5 (340 SF) on the second floor. Access to Unit 5 on the second floor will be provided by a covered exterior stairway to a roof deck on the first floor below. Access to Basement will be provided by a covered exterior stairway below.

TOTAL = 708 SF

3. Construct a new two-story addition will provide Units 6 (414 SF) & 7 (414 SF) on the first floor and Unit 8 (562 SF) on the second floor.
 - Access to Unit 8 on the second floor will be provided by a covered exterior stairway to a roof deck on the first floor below.
 - Access to Basement will be provided by a covered exterior stairway below. The style will match the existing 215 building style of a hip roof, stucco and foundation stone, stone sills and wood posts where necessary.
 - Portal (west side) – 40 SF
 - Portal (south side) – 101 SF
 - Covered Stairway – 100 SF

TOTAL = 979 SF

4. No work is proposed for Building 215 Washington Ave. The renovation for this building was previously approved on October 22, 2019, Case no. 2019-000994-HDRB.

The allowable by Code is not to exceed 50% of the existing footprint (897 SF +100 SF) or 498.5 SF.
Exception required for the additional square footage 58 SF, Section 14-5.2(D)(2)(d) of the Santa Fe Land Development Code.

For such an exception we must conclusively demonstrate, and the board shall make a positive finding of the fact that such exceptions comply with all the criteria listed as follows:

- (i) Does not damage the character of the District or impact the contributing status of the structures.
The new construction proposed is located in the rear of the property and the new territorial coping will blend in with the street or adjacent properties.
- (ii) Are required to prevent a hardship to the Owner or an injury to the public welfare.
The construction of the addition on 219 (Units 4,5) and the new building (Units 6,7,8) are requested for 219 Wahington Avenue for the development of individual mini-hotel units to meet the access, daylighting requirements and layout of the units interiors.
- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
**The new construction proposed will blend with the existing 219 and 215 structures.
Windows and doors will match the existing historic building 215
Portal design will match the existing 215 building
Exterior stairs will match existing stairs on 215 building with white metal as specified.**

Height, Pitch, Scale, Massing, and Floor Stepbacks

The allowable height by Historic Regulations is not to exceed 20'-1".

The proposed height for the addition to the existing 219 building will be 19'-8"

The proposed height for the new building (219A - Units 6,7,8,9,) is **23'-0"**. **Needs exception.**

The board may grant exceptions and impose conditions thereon to Subsection 14-5.2(D)(9) for height of structures within the historic districts as specified in Subsection 14-5.2(D)(9)(a). In order to approve an exception, the board shall make findings of fact that the applicant conclusively demonstrated that requested exceptions comply with all the criteria listed as follows: (Ord. No. 2023-27 § 1)

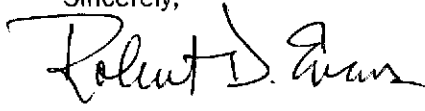
Exception Criteria for Height: 14-5.2(D)(9) height.

- (i) **Does not damage the character of the streetscape ;**
The new design on the existing building and the addition (219) will provide a territorial brick coping that blends with structures in the immediate vicinity The location of this structure (219A) is in the rear between the parking lot and the front 219 building.
- (ii) **Prevent a hardship to the applicant or an injury to the public welfare;**
The ceiling heights and parapets cause the Building height to exceed the allowable by 12". The Parking Garage on the property behind the East side of 219 prevents any additional detriment to the streetscape.
- (iii) **Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts;**
The heights of the Existing Garage (on the property in the rear), the heights of the proposed structure 219A and the existing structure (219) step their max height in a gradual fashion towards Washington Ave.
- (iv) **Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape ;**
Special conditions and circumstances are the 8'-6" ceiling heights in 219A, which allow more volume in the units and balance the smaller room size with a higher ceiling. Also, the Planning & Zoning requirements allow a height of 24'-6". Historic requirements allow a building height of 20'-1". **Exception requested for 219A building, 2'11" above maximum height.**
- (v) **Are due to special conditions and circumstances which are not a result of the actions of the applicant ; and**
Special conditions and circumstances balancing the heights of the existing buildings on the streetscape with the proposed building is a result of the existing building heights.
- (vi) **Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).**
Keeping the heights of the proposed building (219A) in concert with the existing garage (property behind 219A) and the existing 219 w/additions will have the least negative impact on the streetscape.

It is our desire to have the Historic Districts Review Board (HDRB) determine the submission meets the standards of the district.

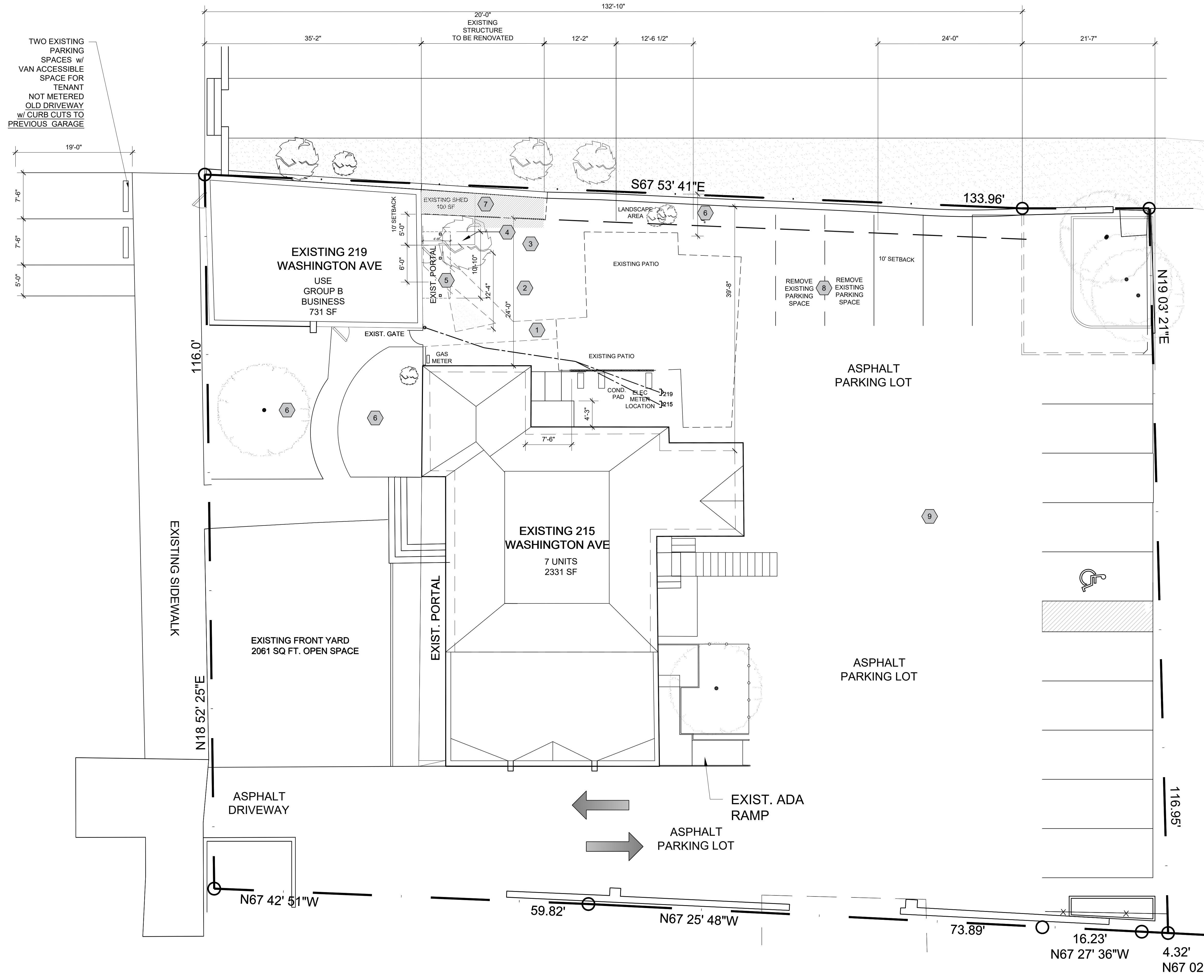
Thank you for your consideration of our request and please let me know if you require any further information.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert D. Evans". The signature is fluid and cursive, with a large initial "R" and "E".

Robert D. Evans

D Designer/Owner agent



EXISTING SITE PLAN SHEET KEYED NOTES

- GENERAL:
- EXISTING CONCRETE WALK TO BE REMOVED
 - EXISTING PATIO
 - EXISTING LANDSCAPE AREA
 - EXISTING TREE TO BE REMOVED
 - EXISTING PORTAL & WOOD COLUMNS TO BE REMOVED
 - LANDSCAPE PROVIDED WITH 2020 RENOVATION OF 215 WASHINGTON AVE PERMIT #20-5596
 - EXISTING SHED (6'-0" x 20'-0") TO BE REBUILT ON EXISTING FOOTPRINT
 - REMOVE 2 EXISTING PARKING SPACES FOR BUILDING AREA
 - 13 EXISTING PARKING SPACES

LEGEND

- EXISTING GRAVEL DRIVE
- EXISTING STRUCTURES TO REMAIN
- EXISTING EASEMENT

AREA CALCULATIONS

	EXISTING	PROPOSED
EXISTING		
BUILDING (219) HEATED:	897.00 SF	
UNITS 1, 2, 3		
REAR SHED NOT HEATED:	100.00 SF	
	997.00 SF	
EXISTING BUILDING (215) HEATED:	3762.00 SF	
EXISTING BASEMENT (215):	349.00 SF	
LAUNDRY & MECHANICAL (219)	100.00 SF	
EXISTING LOT COVERAGE TOTAL:	5208.00 SF	
LOT PARCEL AREA:	17,940.00 SF	
	412 AC. +/-	
LOT COVERAGE:	17.6%	
ALLOWABLE LOT COVERAGE:	NO REQUIREMENT	
MAXIMUM HGT OF STRUCTURES: 27' MAX. WITH STEPBACKS		
CHANGE IN EXISTING BUILDING HEIGHT: UNIT 5 EXISTING: 12'-4" PROPOSED 2NDFLR: 21'-0"		
ZONING DISTRICT: BCDMAR		
HDR DISTRICT: DOWNTOWN & EAST SIDE HISTORIC DISTRICT		
BUSINESS CAPITOL DISTRICT		
EAST MARCY SUB DISTRICT		
HDRB ACTION ON OCTOBER 22, 2019		
CASE # 2019-000984-HDRB		
215 WASHINGTON AVE.		
DESIGNATED WEST, NORTH & EAST FACADES AS PRIMARY.		
219 WASHINGTON AVE. WAS UPGRADED FROM NON-CONTRIBUTING TO CONTRIBUTING AND DESIGNATED THE WESTERN STREET-FACING FACADE AS PRIMARY.		
PARKING: 14.8(C)(2)		
1 PARKING SPACE PER RENTAL UNIT FOR HOTELS & MOTELS IN BCD		
REQUIRED PARKING SPACES:		
215 (7 UNITS)		
219 (4 UNITS LEASED TO MARKET STEER)		
PARKING SPACE PROVIDED:		
EXIST. 16 PARKING SPACES & 1 VAN HANDICAPPED SPACE		
BICYCLE SPACES: 4 EXISTING		
MINIMUM OPEN SPACE: 10% OF LOT AREA: 1,794 SQ FT		
EXISTING FRONT OPEN SPACE:	2,061 SQ FT	
CHANGE OF USE		
EXISTING USE GROUP: B, BUSINESS		
USE GROUP: R-1 RESIDENTIAL, SLEEPING UNITS WITH PRIMARILY TRANSIENT OCCUPANTS		

RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

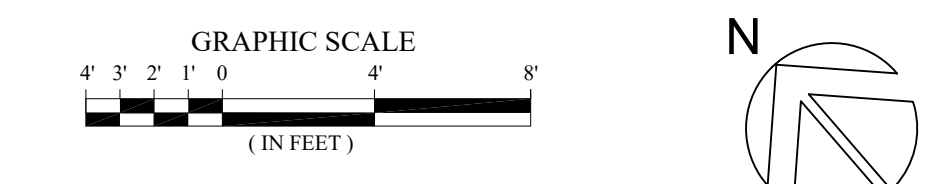
TITLE:
EXISTING
SITE PLAN

P.O. Box 4
 Ojo Caliente, N.M. 87579
 505.919.9744 phone
 redc52@gmail.com

DESIGN SERVICES
 Production Documents
 Residential - Commercial

Date: 09.17.2025
 revised:

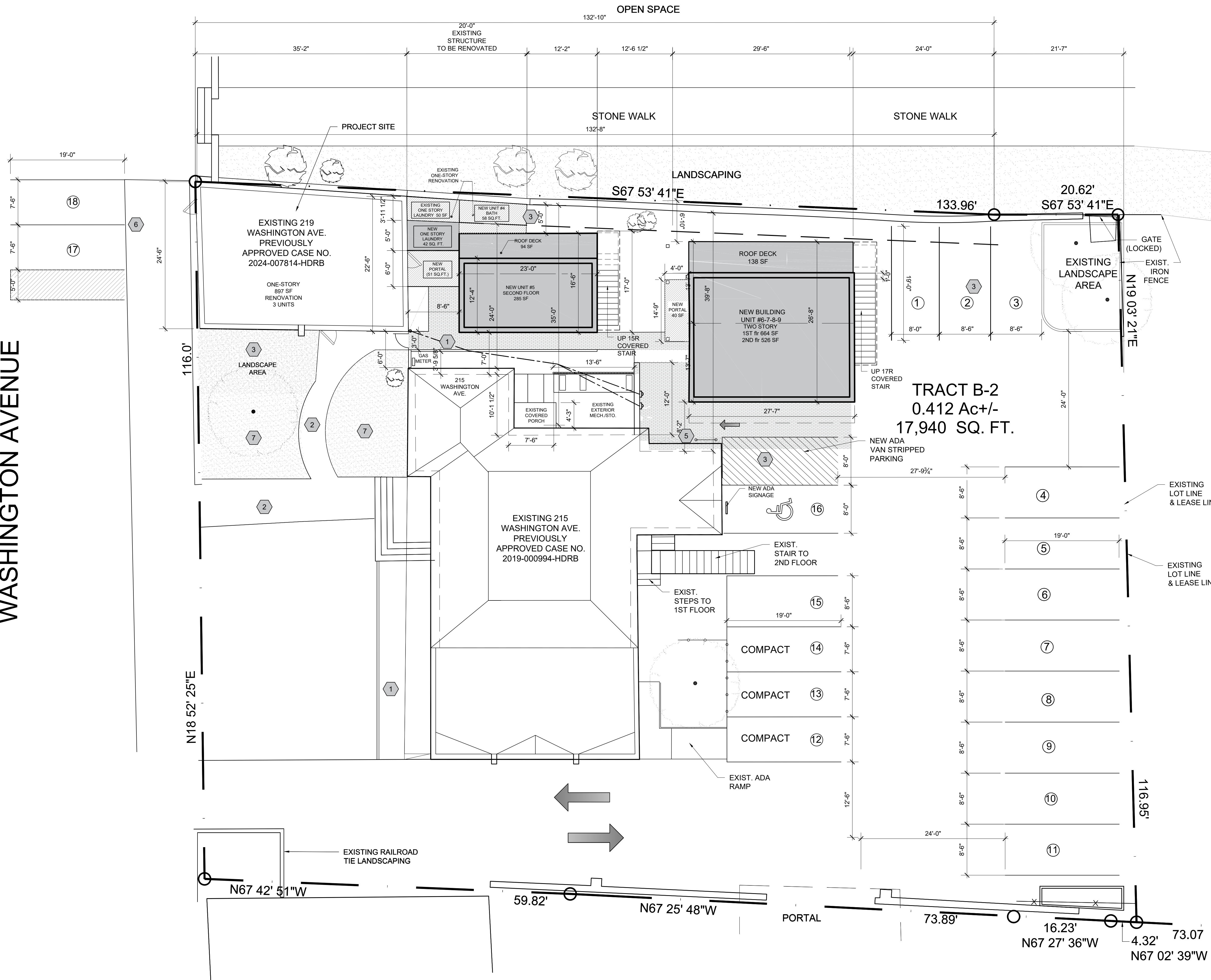
SP-1
 Sheet:



SCALE: 1/8" = 1'-0"

HDRB SUBMITTAL SET
 1

WASHINGTON AVENUE



PROPOSED SITE PLAN SHEET KEYED NOTES

- GENERAL:
1. INSTALL NEW 3'-0" CONCRETE WALK
 2. EXISTING BRICK WALK
 3. EXISTING LANDSCAPE AREA TO REMAIN
 4. NEW ADA PARKING SPACE VAN ACCESSIBLE
 5. EXISTING BICYCLE RACK (6)
 6. IDENTIFY PARKING SPACES (2) #17, #18
NEW PRIVATE PARKING SIGNAGE
 7. LANDSCAPE PLAN - APPROVED WITH 215 WASHINGTON AVE RENOVATION PERMIT #2020-5596

LEGEND

- EXISTING GRAVEL DRIVE
- EXISTING STRUCTURES TO REMAIN
- EXISTING EASEMENT

AREA CALCULATIONS

	EXISTING	PROPOSED
EXISTING		
BUILDING (219) HEATED:	897.00 SF	
UNITS 1, 2, 3	108.00 SF	
REAR SHED NOT HEATED:	1005.00 SF	
EXISTING BUILDING (215) HEATED:	3762.00 SF	
EXISTING BASEMENT (215):		349.00 SF
EXISTING LOT COVERAGE TOTAL:	4759.00 SF	
PROPOSED		
UNIT 4 BASEMENT		465.00 SF
UNIT 4 LAUNDRY		122.00 SF
UNIT 4 FIRST FLOOR		379.00 SF
UNIT 4 PORTAL & LAUNDRY FOLDING		84.00 SF
UNIT 5 SECOND FLOOR		287.00 SF
UNIT 5 COVERED EXTERIOR STAIRWAY		75.00 SF
UNIT 5 ROOF DECK		77.00 SF
UNIT 6 FIRST FLOOR		414.00 SF
UNIT 6 PORTALS		141.00 SF
UNIT 6 BASEMENT		664.00 SF
UNIT 8 SECOND FLOOR		332.00 SF
UNIT 9 SECOND FLOOR		332.00 SF
TOTAL: PROPOSED ROOFED AREA:		1129.00 SF
TOTAL: EXISTING 219 ROOFED AREA:		997.00 SF
TOTAL: EXISTING 215 ROOFED AREA:		3762.00 SF
TOTAL: EXISTING & PROPOSED ROOFED AREA:		
ROOF COVERAGE - 219 (UNITS 1,2,3)		897.00 SF
ROOF COVERAGE - 219 (UNIT 4,5)		379.00 SF
ROOF DECK 2ND - 219 (UNIT 4,5)	77.00 SF	287.00 SF
ROOF COVERAGE - 219 (UNIT 6,7,8,9)		504.00 SF
ROOF DECK 2ND - 219 (UNIT 6,7,8,9)	177.00 SF	141.00 SF
ROOF PORTAL - 219 (UNIT 6,7,8,9)		1829.00 SF
TOTAL ROOFED AREA		3762.00 SF
LOT PARCEL AREA:		
EXISTING	17,940.00 SF	17,940.00 SF
412 AC +/-		412 AC +/-
LOT COVERAGE:	26.5%	31.0%
ALLOWABLE LOT COVERAGE:		NO REQUIREMENT
MAXIMUM HGT OF STRUCTURES: 20' MAX WITH STEPBACKS		
CHANGE IN EXISTING BUILDING HEIGHT: UNIT 5 EXISTING: 12'-4"		
PROPOSED 2ND FLR: 19'-0"		
ZONING DISTRICT: BCDMAR		
HDR DISTRICT: DOWNTOWN & EAST SIDE HISTORIC DISTRICT		
BUSINESS CAPITOL DISTRICT		
EAST MARCY SUB DISTRICT		
HDRB ACTION ON OCTOBER 22, 2019		
215 WASHINGTON AVE.		
CASE #2019-000994-HDRB		
DESIGNATED WEST, NORTH & EAST FACADES		
AS PRIMARY.		
219 WASHINGTON AVE. WAS UPGRADED FROM		
NON-CONTRIBUTING TO CONTRIBUTING AND		
DESIGNATED THE WESTERN STREET-FACING		
FACADE AS PRIMARY.		
HDRB ACTION ON 2024		
219 WASHINGTON AVE.		
CASE #2024-007814-HDRB		
PARKING: 14-8 (C)(2)		
1 PARKING SPACE PER RENTAL UNIT FOR HOTELS & MOTELS IN BCD		
REQUIRED PARKING SPACES:		
215 (7 UNITS)		
219 (8 UNITS)		
213 (4 UNITS LEASED TO MARKET STEER)		
PARKING SPACE PROVIDED:		
EXIST: 16 PARKING SPACES & 1 VAN HANDICAPPED SPACE		
NEW TOTAL: 18 PARKING SPACES + 2 SPACES OFF SITE (SEE NEW PARKING		
AGREEMENT)		
BICYCLE RACKS: 6 SPACES		
MINIMUM OPEN SPACE: 10% OF LOT AREA: 1,794 SQ FT		
EXISTING FRONT OPEN SPACE: 2,061 SQ FT		
USE GROUP: R-1 RESIDENTIAL, SLEEPING UNITS WITH PRIMARILY TRANSIENT		
OCCUPANTS		
BUILDINGS REQUIRED TO BE FULLY SPRINKLERED		

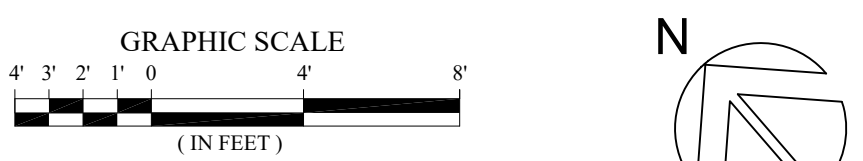
RENOVATIONS & ADDITIONS
 MINI-HOTEL for:
 DENNIS PRICE
 219 WASHINGTON AVE.
 SANTA FE, NM

TITLE:
 PROPOSED
 SITE PLAN

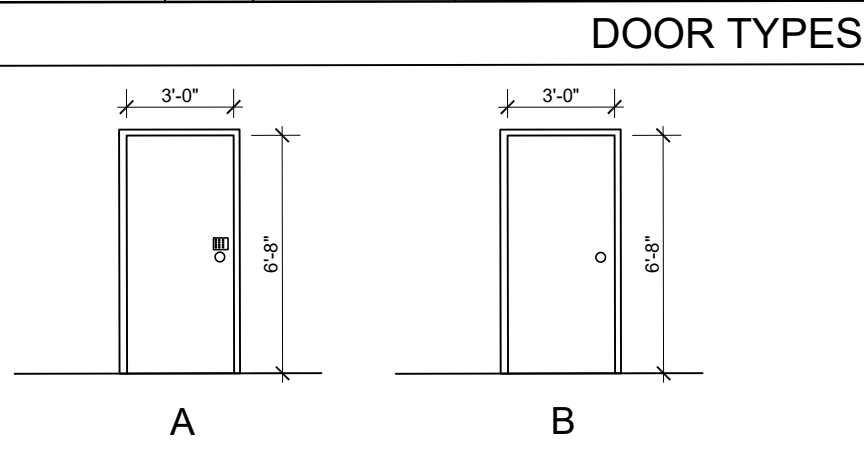
P.O. Box 4
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 redcs52@gmail.com

DESIGN SERVICES
 Production Documents
 Residential - Commercial

Date: 09.17.2025
 revised:
 Sheet: **SP-2**



DOOR SCHEDULE							
FLOOR PLAN							
NO.	SIZE (NOM)	THK	FRAME TYPE	ROUGH OPENING	DR TYP	JAMB WIDTH	HARDWARE
1	3'-0" x 6'-8"	1-3/4"	WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM ENTRY SET W/ KEYPAD
2	3'-0" x 6'-8"	1-3/4"	WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM PRIVACY SET
3	3'-0" x 6'-8"	1-3/4"	WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM PASSAGE
4	3'-0" x 6'-8"	1-3/4"	WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM ENTRY SET W/ KEYPAD
5	3'-0" x 6'-8"	1-3/4"	WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM PRIVACY SET
6	3'-0" x 6'-8"	1-3/4"	WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM PASSAGE



- PROP. BASEMENT PLAN SHT KEYED NOTES**
- GENERAL:
- 10" REINFORCED CMU FOUNDATION WALL w/18" x 12" CONCRETE FOOTING
 - 8" REINFORCED CMU FOUNDATION WALL w/18" x 12" CONCRETE FOOTING
 - FLOOR BEAM ABOVE TO CARRY FIRST FLOOR FRAMING, SEE STRUCTURAL
 - 3 1/2" ADJ. STEEL COLUMN ON 24" x 24" x 12" CONCRETE FOOTING
 - 2" x 6" WALL STUDS @16" O.C. w/5/8" TYPE 'X' FIRECODE GYP. BOARD
 - ELECTRIC PANEL, SEE ELECTRICAL
 - ON-DEMAND HOT WATER HEATER, SEE PLUMBING
 - 4" TURN DOWN CONCRETE SLAB - SEE STRUCTURAL FOR REINFORCING

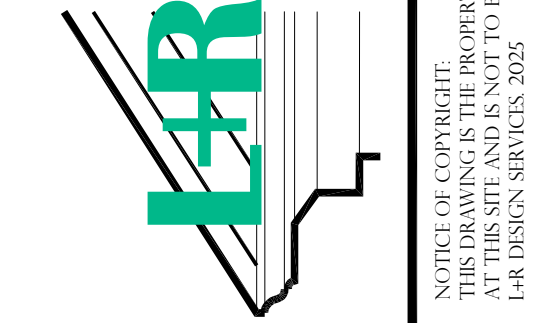
- LEGEND**
- EXISTING WALLS TO REMAIN
 - NEW 10" CMU REINFORCED FOUNDATION WALL
 - NEW 8" REINFORCED FOUNDATION WALL
 - NEW 2" x 6" WALLS STUDS @ 16" O.C. w/5/8" "TYPE X" F.C. GYP. BOARD

RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

TITLE:
PROPOSED FOUNDATION
BASEMENT PLAN

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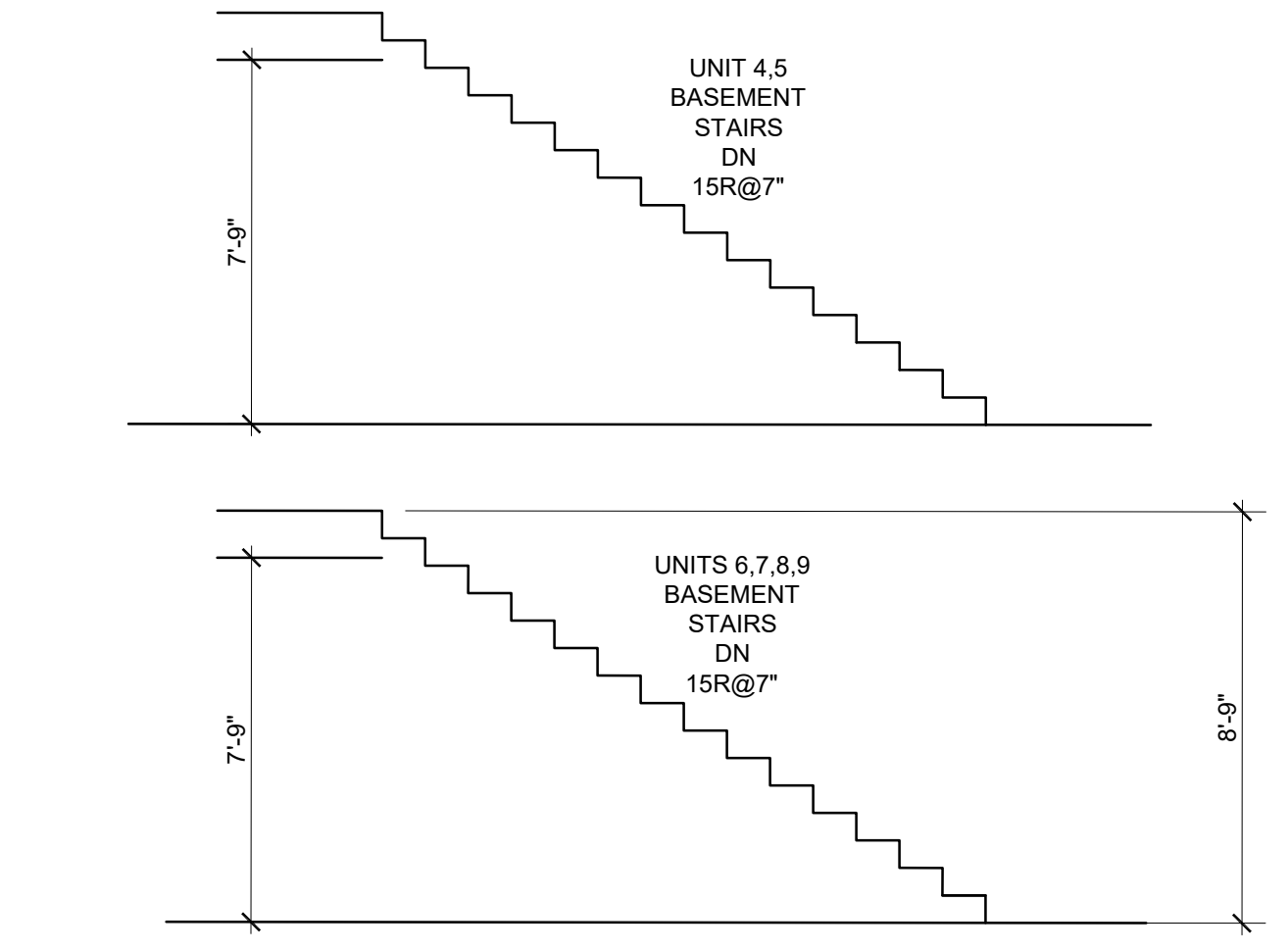
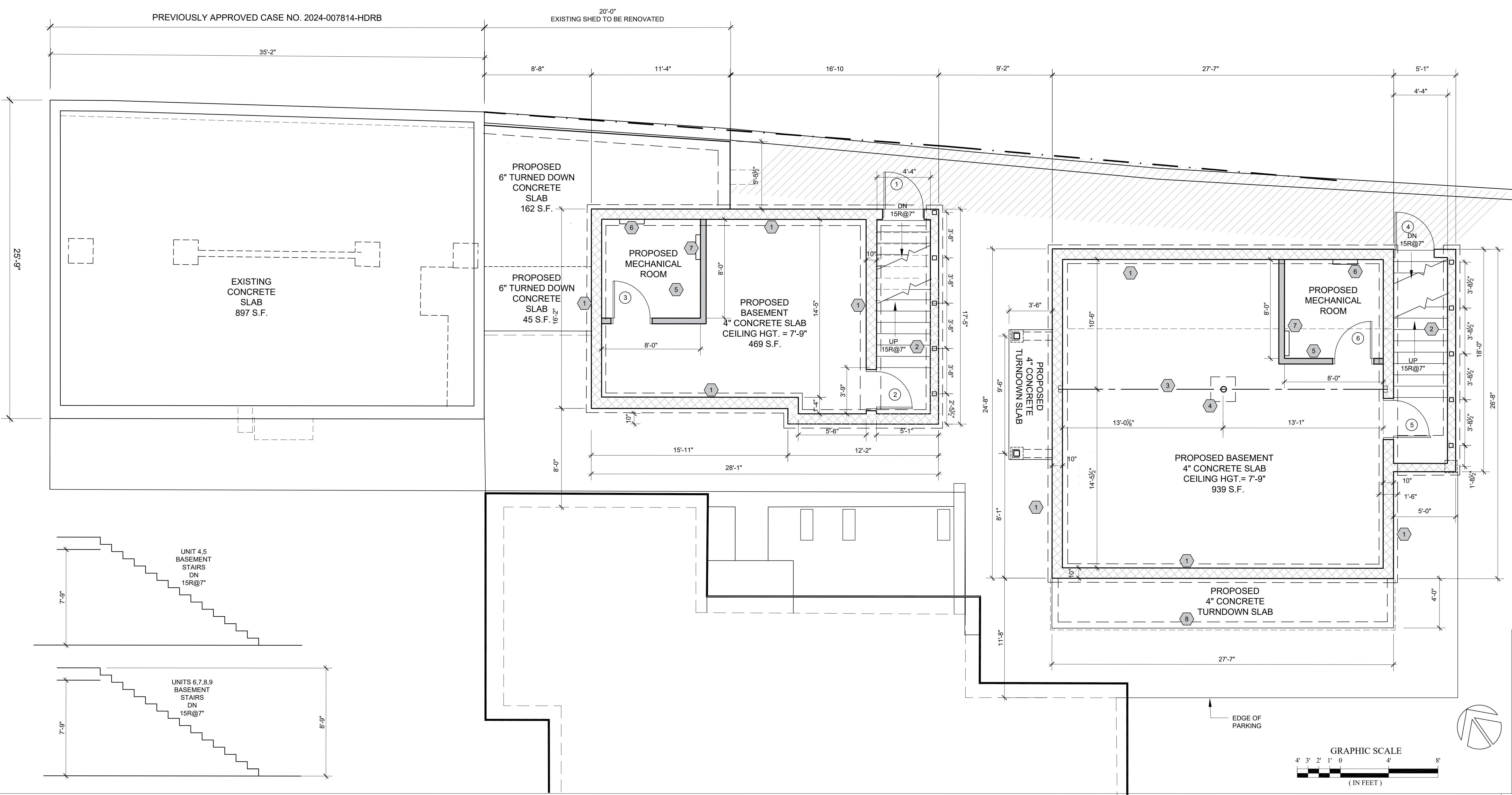


NOTICE: THE WORK SHOWN ON THIS DRAWING IS THE PROPERTY OF THE ARCHITECT HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND IS NOT TO BE USED WITHOUT WRITTEN CONSENT OF THE DESIGNER. L&R DESIGN SERVICES 2025

Date: 09.17.2025
 revised:

FP-B

Sheet:



PREVIOUSLY APPROVED CASE NO. 2024-007814-HDRB

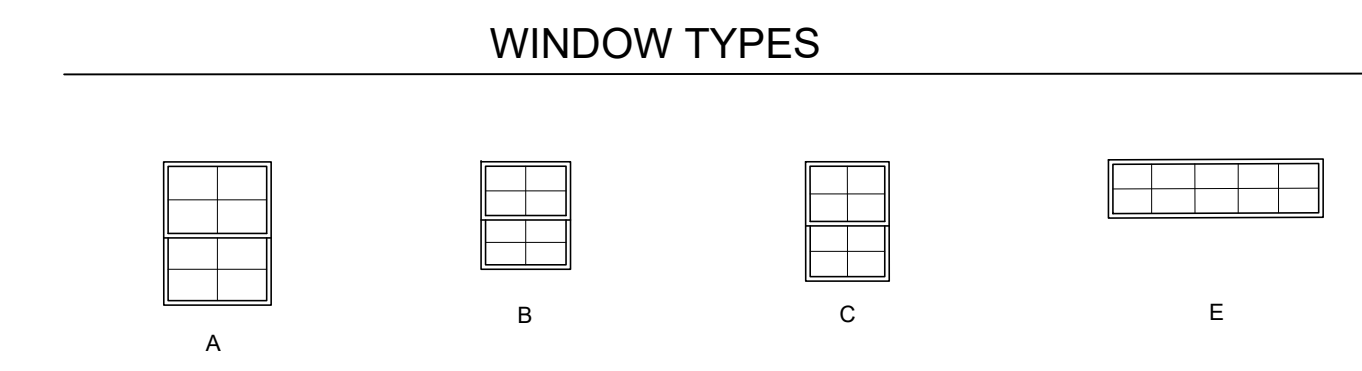
20'-0" EXISTING SHED TO BE RENOVATED

PROPOSED FOUNDATION/BASEMENT PLAN

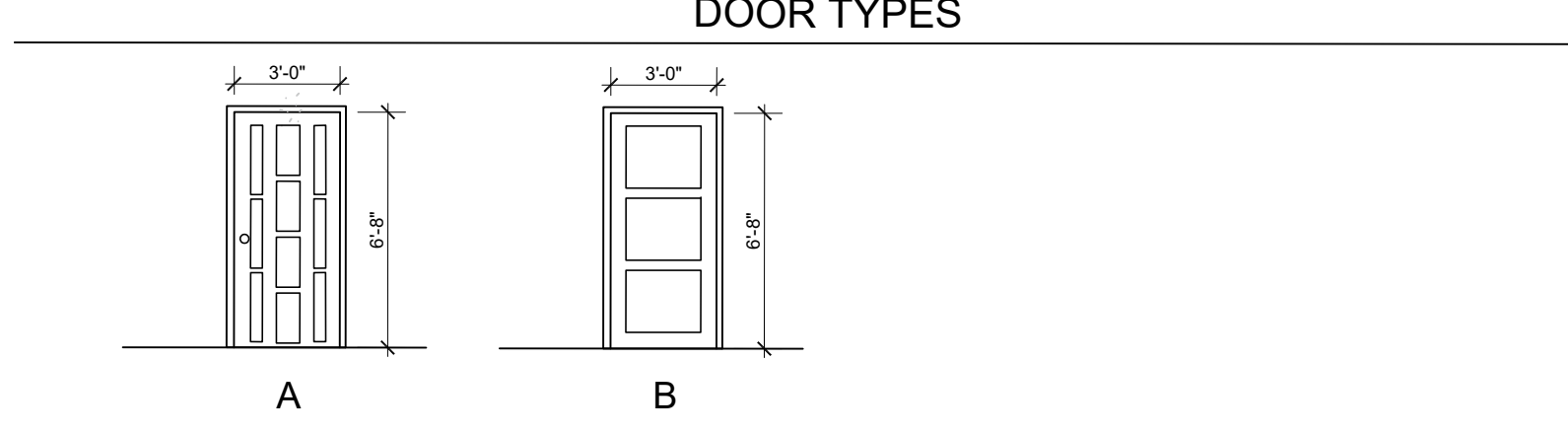
HDRB SUBMITTAL SET

WINDOW SCHEDULE							
#	MANUFACTURER	FRAME SIZE	R.O. SIZE	JAMB WIDTH	TYPE	QTY.	REMARKS
A	BY OWNER	3'-0" x 4'-6"	39" x 54"	V.I.F.	DH	4	UNIT 01 & 02
B	BY OWNER	2'-6" x 3'-0"	33" x 39" - V.I.F.	V.I.F.	DH	1	UNIT 02 - KITCHENETTE
C	BY OWNER	3'-0" x 4'-0"	31" x 43"	V.I.F.	DH	2	UNIT 02 / UNIT 03 - BATH
D	BY OWNER	3'-0" x 3'-6"	39" x 45"	V.I.F.	DH	2	UNIT 06 / UNIT 07
E	BY OWNER	4'-0" x 1'-6"	51" x 21"	V.I.F.	FIXED	2	UNIT 06 / UNIT 07
F	BY OWNER	3'-0" x 3'-6"	39" x 45"	V.I.F.	DH	2	UNIT 06 / UNIT 07 / UNIT 8 / UNIT 9

NOTE:
 ALL WINDOWS:
 1. VERIFY R. O. IN FIELD & CHECK MANUFACTURER FOR ROUGH OPENING REQUIREMENTS
 2. CONTRACTOR MAY SUBSTITUTE WINDOW MANUFACTURER W/ APPROVAL BY THE OWNER.
 3. VINYL CLAD EXTERIOR (COLOR: BY OWNER), INTERIOR WOOD PAINTED (COLOR SELECTED BY OWNER)



DOOR SCHEDULE										
FLOOR PLAN										
#	SIZE (NOM)	THK	FRAME TYPE	ROUGH OPENING	DR. TYP.	JAMB WIDTH	MFG.	HARDWARE	LOCATION	
1	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 1 - ENTRY	
2	2'-8" x 6'-8"	1-3/4"	SOLID WOOD	36" x 82 1/2"	B	4 1/2"	CUSTOM	PRIVACY SET	UNIT 1 - BATH	
3	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM	PASSAGE	UNIT 3 - BATH	
4	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 3 - ENTRY	
5	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	33" x 82 1/2"	B	4 1/2"	CUSTOM	PRIVACY SET	UNIT 2 - BATH	
6	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	PASSAGE	UNIT 2 - ENTRY	
7	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	LAUNDRY - ENTRY	
8	2'-8" x 6'-8"	1-3/4"	SOLID WOOD	36" x 82 1/2"	B	4 1/2"	CUSTOM	PRIVACY SET	UNIT 4 - BATH	
9	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 4 - ENTRY	
10	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 6 - ENTRY	
11	3'-0" x 6'-8"	1-3/4"	SOLID WOOD	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 7 - ENTRY	
12	3'-0" x 6'-8"	1-3/4"	STEEL INSULATED	39" x 82 1/2"	A	7 1/4"	CUSTOM	ENTRY SET W/ KEYPAD	BASEMENT - ENTRY	



- PROPOSED PLAN SHEET KEYED NOTES
- GENERAL:
- INSTALL NEW 2" x 6" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
 - INSTALL NEW 2" x 4" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
 - WIDEN DOOR FRAME OPENING TO ACCOMMODATE NEW 3'-0 x 6'-8 DOOR & FRAME, PATCH, SAND & PAINT, COLOR BY OWNER
 - INSTALL NEW WINDOWS & FRAMES, PATCH, SAND & PAINT, COLOR BY OWNER
 - REPAIR EXISTING WINDOW PANES AS NECESSARY, PATCH, SAND & PAINT
 - BLOCK PANE IN FRONT OF NEW WALL
 - FOLDING TABLE
 -
 - OVERFLOW DRAIN LOCATION
 - INFILL OPENING
 - EXISTING SKYLITE TO REMAIN
 - VENTLESS GAS LOGS
 - EXTERIOR WHITE METAL STAIRS & LANDING AT TOP W/ COVERED ROOF

- LEGEND
- NEW 2" x 6" WALLS STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
 - EXISTING WALLS TO REMAIN
 - ONE HOUR EXTERIOR WALL RATING - UL 305 OPENINGS <25%

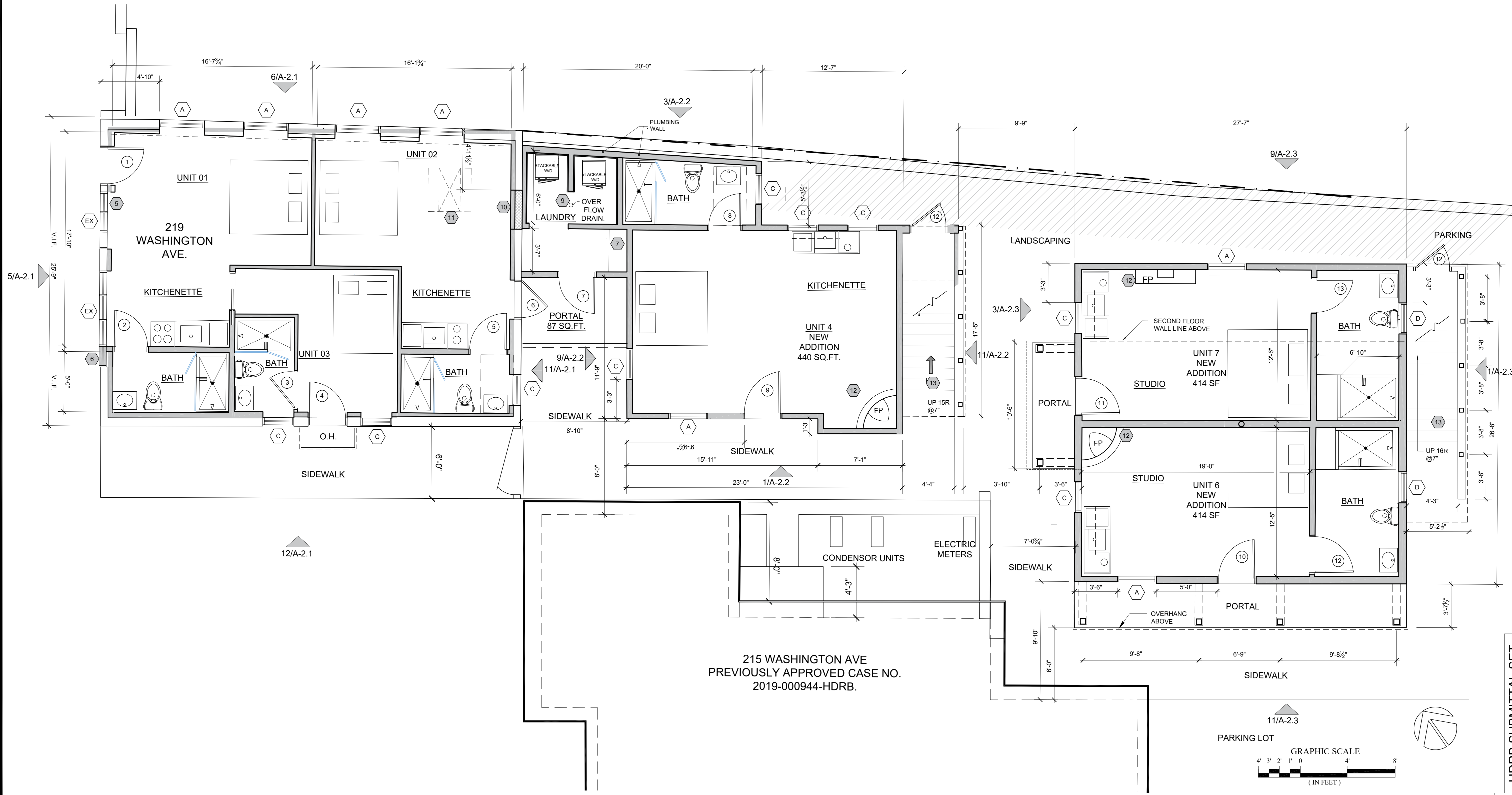
RENOVATIONS & ADDITIONS
 MINI-HOTEL for:
 DENNIS PRICE
 219 WASHINGTON AVE.
 SANTA FE, NM

TITLE:
 PROPOSED
 FIRST
 FLOOR
 PLAN
 SCHEDULES

P.O. Box 4
 Ojo Caliente, N.M. 87579
 505.919.9744 phone
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DESIGN SERVICES
 Production Documents
 Residential - Commercial

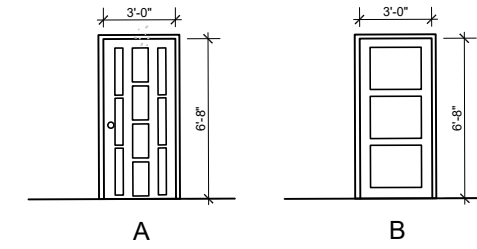
Date: 09.17.2025
 revised:
 Sheet: FP-1



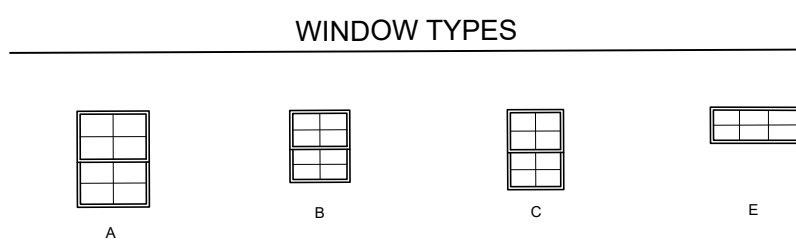
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DOOR & WINDOW SCHEDULES

DOOR SCHEDULE											
FLOOR PLAN	QTY	SIZE (INM)	THK	FRAME TYPE	ROUGH OPENING	JAMB	HTG	MFG.	HARDWARE	LOCATION	REMARKS
1	1	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	30" x 62 1/2"	A	7'-1 1/2"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 1 - ENTRY	UNIT 4.5 - BASEMENT STAIRS
2	2	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	30" x 62 1/2"	B	4'-1 1/2"	CUSTOM	PRIVACY SET	UNIT 1 - BATH	UNIT 4.5 - BASEMENT STAIRS
3	2	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	30" x 62 1/2"	B	4'-1 1/2"	CUSTOM	PASSAGE	UNIT 3 - BATH	UNIT 4.5 - MECHANICAL ROOM
4	2	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	30" x 62 1/2"	A	7'-1 1/2"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 3 - ENTRY	UNIT 6.7.8.9 - BASEMENT STAIRS
5	2	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	30" x 62 1/2"	B	4'-1 1/2"	CUSTOM	PRIVACY SET	UNIT 2 - BATH	
6	1	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	30" x 62 1/2"	A	7'-1 1/2"	CUSTOM	PASSAGE	UNIT 2 - ENTRY	UNIT 6.7.8.9 - MECHANICAL ROOM
7	1	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	30" x 62 1/2"	A	7'-1 1/2"	CUSTOM	ENTRY SET W/ KEYPAD	LABORATORY - ENTRY	
8	1	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	30" x 62 1/2"	A	7'-1 1/2"	CUSTOM	PRIVACY SET	UNIT 4 - BATH	
9	1	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	30" x 62 1/2"	A	7'-1 1/2"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 4 - ENTRY	
10	1	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	30" x 62 1/2"	A	7'-1 1/2"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 5 - ENTRY	
11	1	2'-0" x 6'-0"	1-3/4"	SOLID WOOD	30" x 62 1/2"	A	7'-1 1/2"	CUSTOM	ENTRY SET W/ KEYPAD	UNIT 7 - ENTRY	
12	1	2'-0" x 6'-0"	1-3/4"	STEEL INSULATED	30" x 62 1/2"	A	7'-1 1/2"	CUSTOM	ENTRY SET W/ KEYPAD	BASEMENT - ENTRY	



WINDOW SCHEDULE						
QTY	MANUFACTURER	FRAME SIZE	R.O. SIZE	GRID WIDTH	TYPE	REMARKS
4	BY OWNER	2'-0" x 4'-0"	30" x 50"	V.I.F.	DN	UNIT 51 & 52
1	BY OWNER	2'-0" x 2'-0"	18" x 30" x 1/2"	V.I.F.	DN	UNIT 52 - SKYLIGHT
2	BY OWNER	2'-0" x 4'-0"	31" x 40"	V.I.F.	DN	UNIT 52 / UNIT 51 - BATH
2	BY OWNER	2'-0" x 2'-0"	30" x 40"	V.I.F.	DN	UNIT 56 / UNIT 57
2	BY OWNER	4'-0" x 1'-0"	51" x 21"	V.I.F.	FIXED	UNIT 56 / UNIT 57
2	BY OWNER	2'-0" x 2'-0"	30" x 40"	V.I.F.	DN	UNIT 56 / UNIT 57 / UNIT 6



PROPOSED PLAN SHEET KEYED NOTES

- GENERAL:
- INSTALL NEW 2" x 6" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
 - INSTALL NEW 2" x 4" WALL STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
 - INSTALL NEW WINDOWS & FRAMES, PATCH, SAND & PAINT, COLOR BY OWNER
 - NEW 2'-4" OVERHANG
 - EXTERIOR EXIT METAL STAIRWAYS TO SECOND FLOOR TO MATCH 215 AND BE PROTECTED FROM WEATHER
 - NEW RAINNAI INSTANT HWL
 - NEW ELECTRIC PANEL LOCATION
 - OVERFLOW DRAIN LOCATION
 - INSTALL NEW 3/4" T.&G. PLYWOOD DECK ON EXISTING FLOOR OF SHED
 - EXISTING SKYLITE TO REMAIN
 - REPLACE MISSING GLASS PANES - FRONT WINDOW
 - BRICK BORDER AROUND NEW PLANTING AREAS
 - VENTLESS GAS LOGS

LEGEND

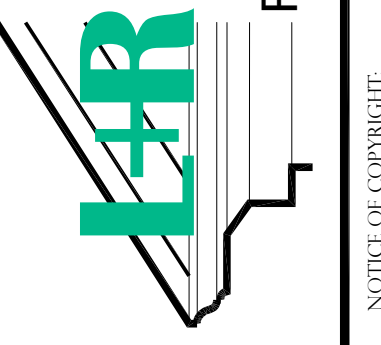
- PROPOSED WALLS
NEW 2" x 6" WALLS STUDS @ 16" O.C. w/ 5/8" GYP. BOARD
- EXISTING WALLS
TO REMAIN
- EXISTING RAISED FLOOR
TO BE REMOVED
- ONE HOUR RATED EXTERIOR WALL - UL 305
OPENINGS < 25% IBC TABLE 705.5 FIRE RESISTANCE RATING

RENOVATIONS & ADDITIONS
 MINI-HOTEL for:
 DENNIS PRICE
 219 WASHINGTON AVE.
 SANTA FE, NM

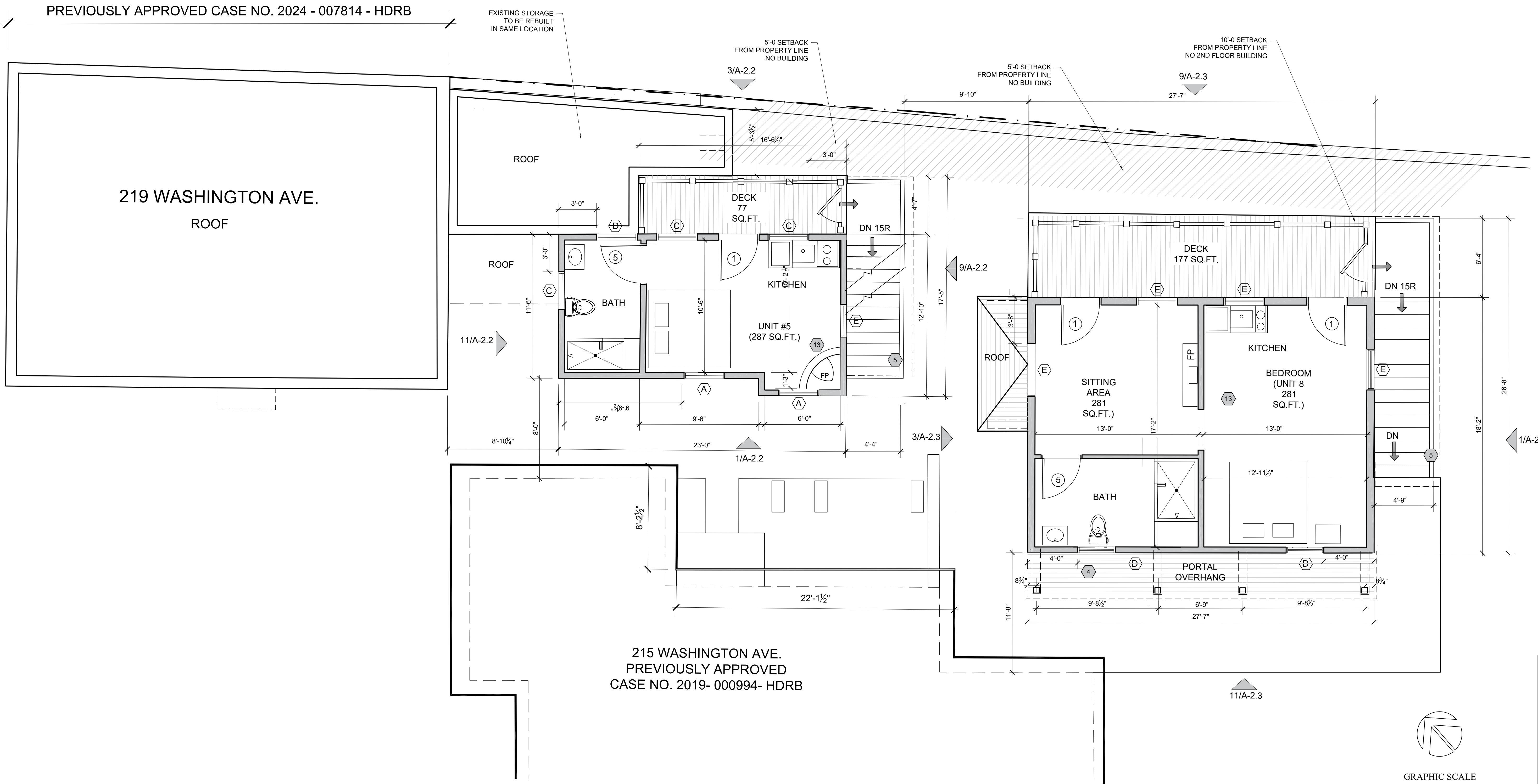
TITLE:
 PROPOSED
 SECOND
 FLOOR
 PLAN
 SCHEDULES

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215 WASHINGTON AVE.
 PREVIOUSLY APPROVED
 CASE NO. 2019- 000994- HDRB

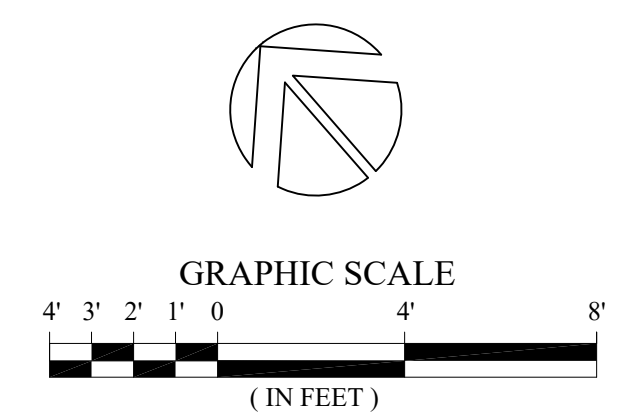
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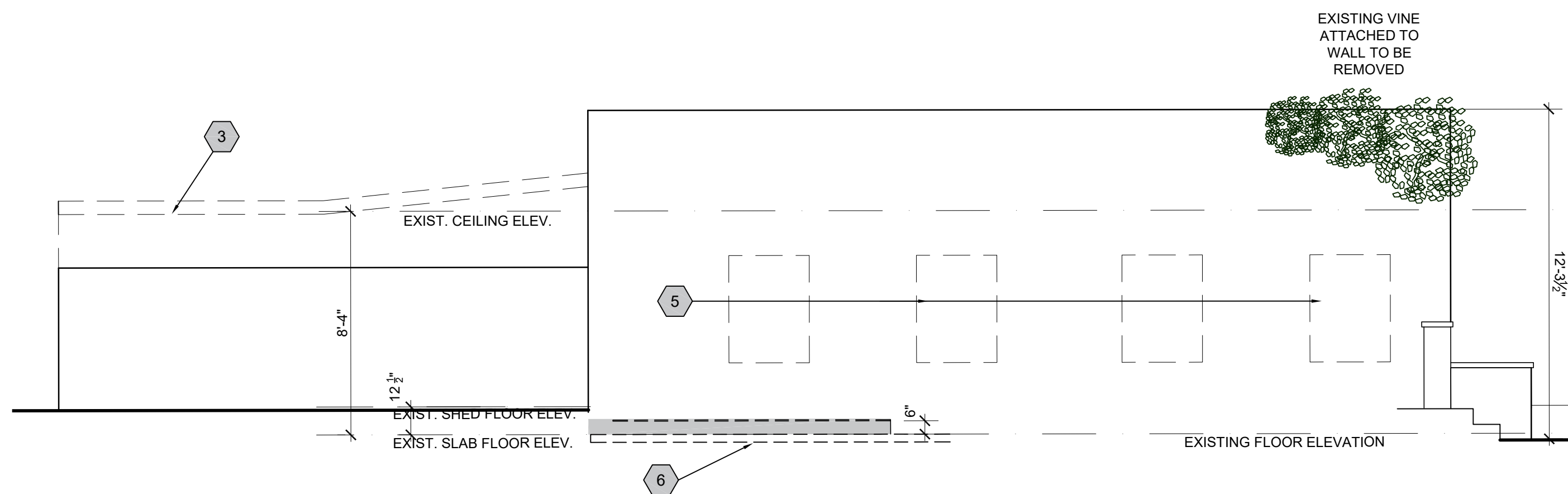
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FP-2

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EXISTING NORTH ELEVATION - UNITS 1,2,3

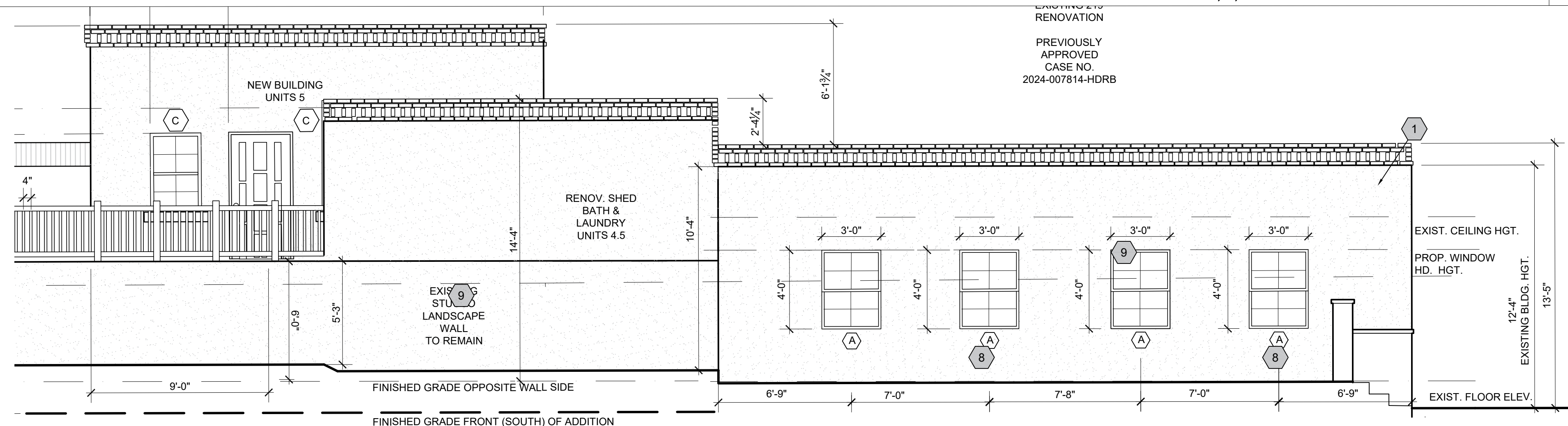
SCALE: 1/4" = 1'-0"

8

EXISTING/DEMO PLAN SHEET KEYED NOTES

GENERAL:

1. REMOVE DOOR & FRAME, COMPLETE. ROUGH-IN FOR NEW DOOR 36" x 84"
2. WIDEN DOOR FRAME ROUGH OPENING TO 39" AND HEIGHT TO 87"
3. REMOVE DOORS, WINDOWS & FRAMES COMPLETE
4. EXISTING SHED TO BE REMOVED IN REAR YARD & REBUILT ON EXIST. FOOTPRINT
5. DEMO CONCRETE LANDING - DROP GRADE 3" +/- (V.I.F.)
6. CUT OUT WALL FOR NEW WINDOWS & ROUGH FRAME FOR OPENING
7. EXISTING INTERIOR RAISED FLOOR TO BE REMOVED
8. REPLACE (2) PANES WITH NEW GLAZING TO MATCH EXISTING



PROPOSED NORTH ELEVATION - UNITS 1,2,3

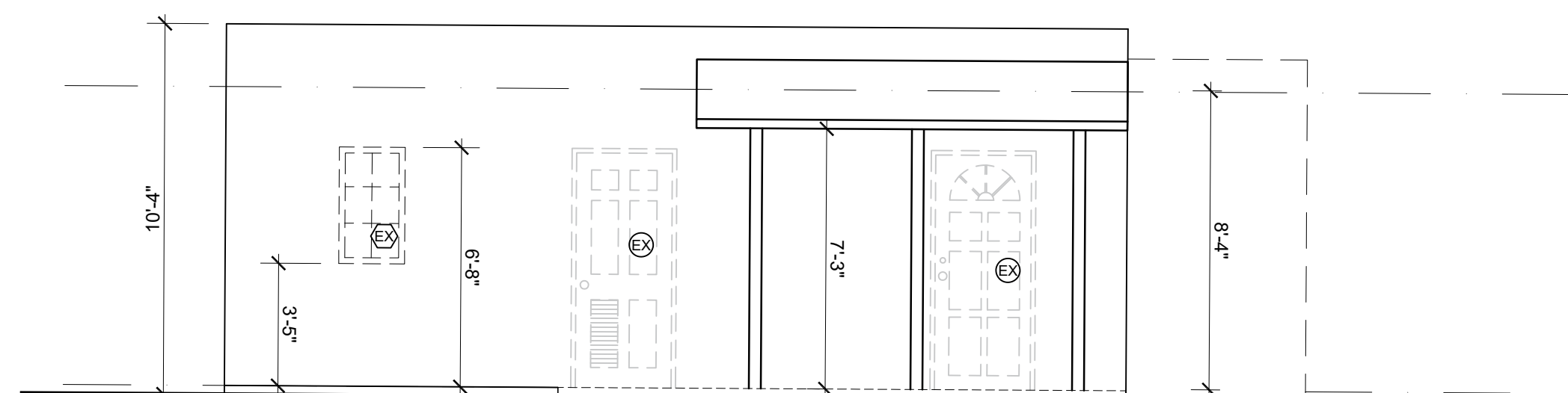
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PREVIOUSLY APPROVED CASE NO. 007814-HDRB

TITLE:

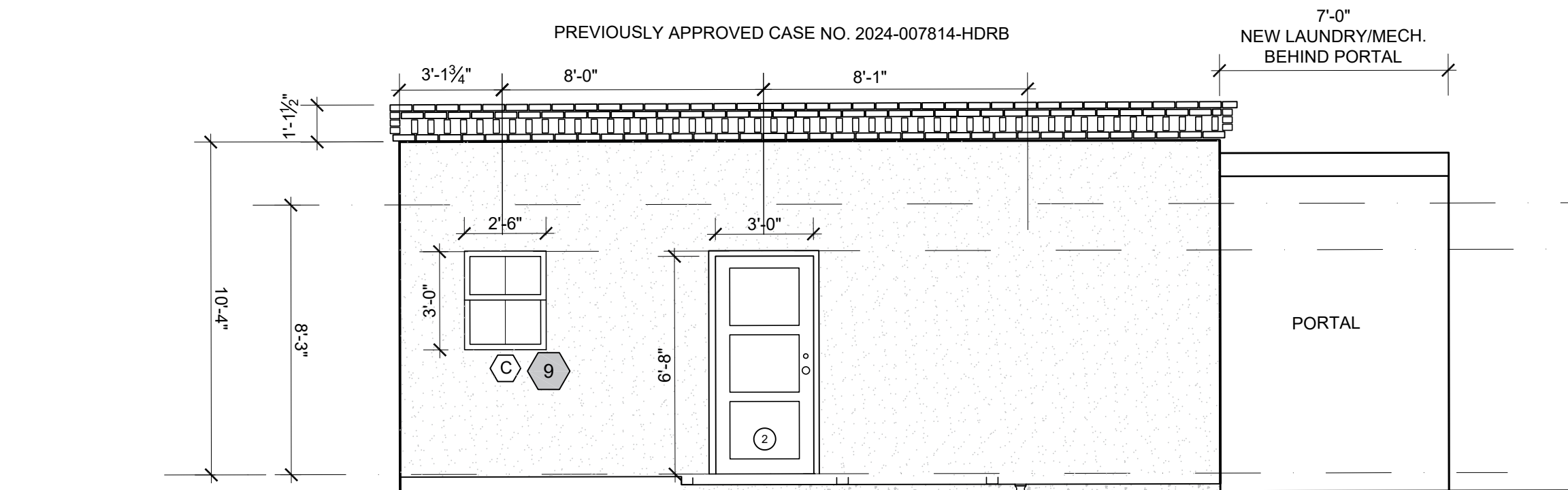
UNITS 1,2,3
NORTH & EAST
EXISTING
PROPOSED
ELEVATIONS



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

6

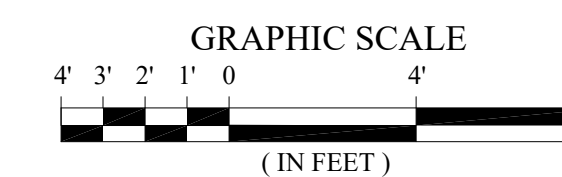


PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

5

PREVIOUSLY APPROVED CASE NO. 007814-HDRB



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RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

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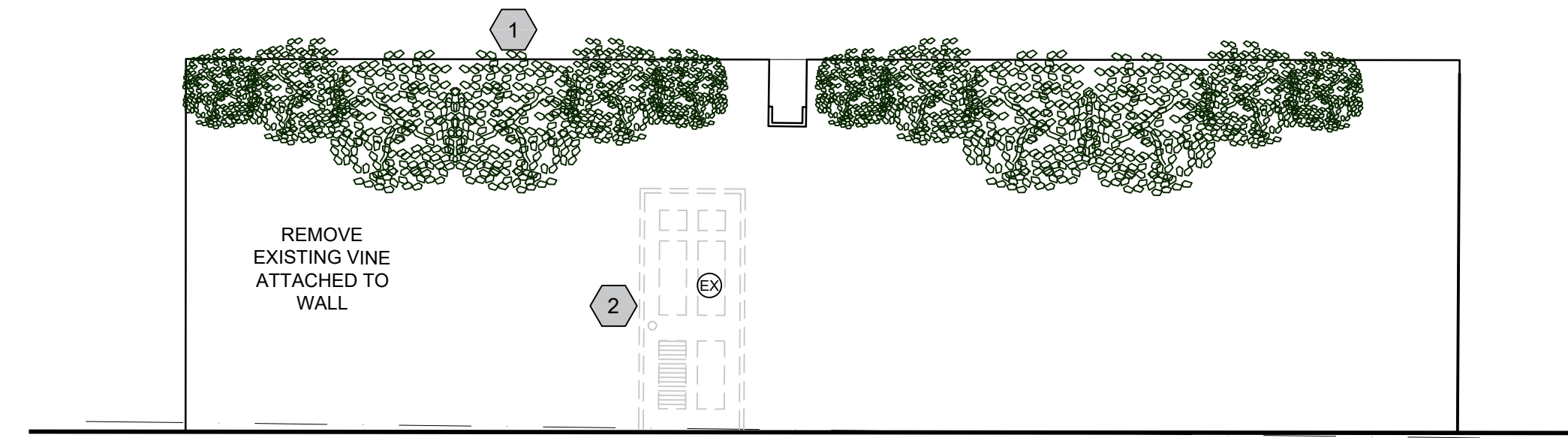


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PROPOSED PLAN SHEET KEYED NOTES

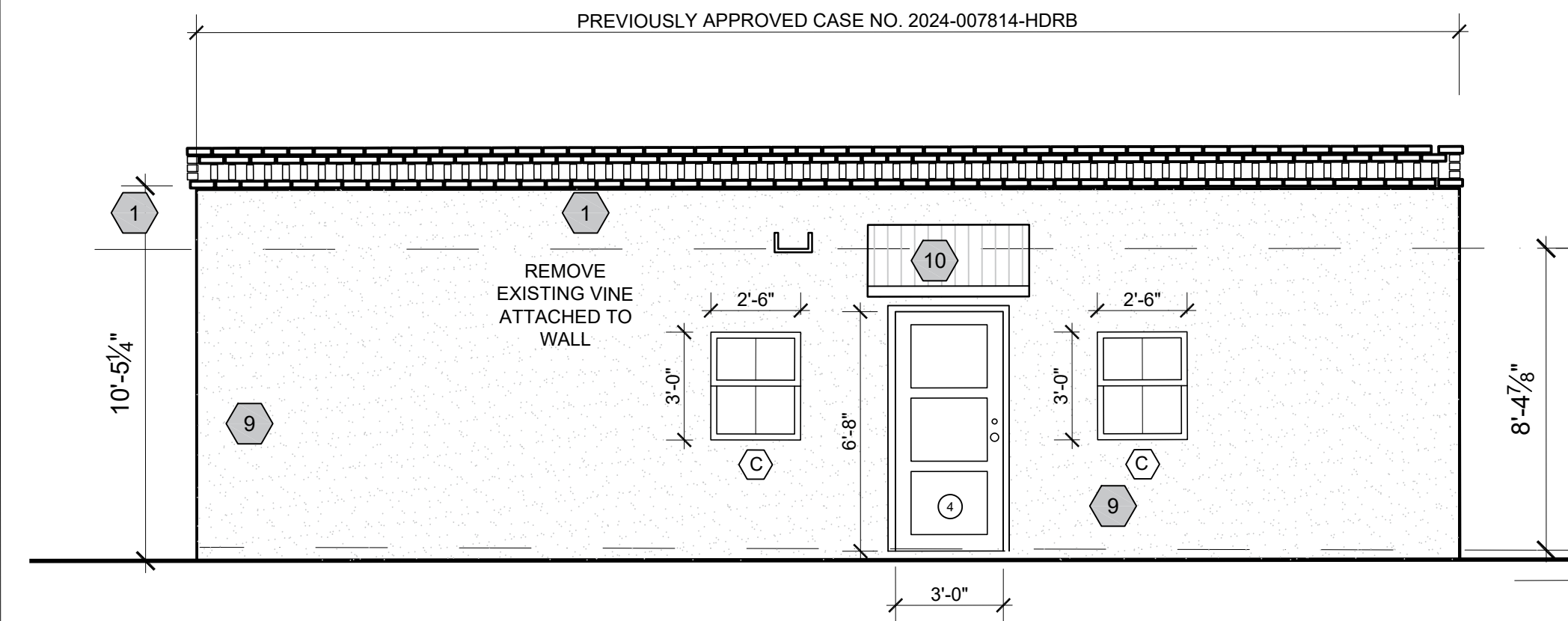
GENERAL:

1. REMOVE EXISTING VINE TO ACCOMODATE NEW WINDOW AND DOOR
2. VERIFY ROOT DAMAGE IN STUCCO WALL
3. RENOVATE OPENINGS WITH NEW WINDOW & DOOR, REPAIR WALL, AND PATCH AS NECESSARY, SAND AND PAINT, COLOR BY HDRB.
4. REAR PORTAL COLUMNS & FRAMING TO BE REPAIRED, SAND & PAINT
5. SET EXIST. PORTAL COLUMNS AT NEW SIDEWALK HEIGHT W/NEW ANCHORS
6. NEW 3" CONCRETE SLAB W/ 6x6x1.0 WWF
7. NEW SUMP DRAIN IN NEW CONC. SLAB
8. FINISH & COLOR ON RENOVATED SHED BY HDRB
9. SEE LANDSCAPE PLANS FOR GRADE CHANGE AREA
10. RE-STUCCO EXTERIOR WALLS
11. INSTALL OVERHANG ROOF OVER UNIT 3 EXTERIOR DOOR
12. EVALUATE & REPAIR EXISTING OVERHANG



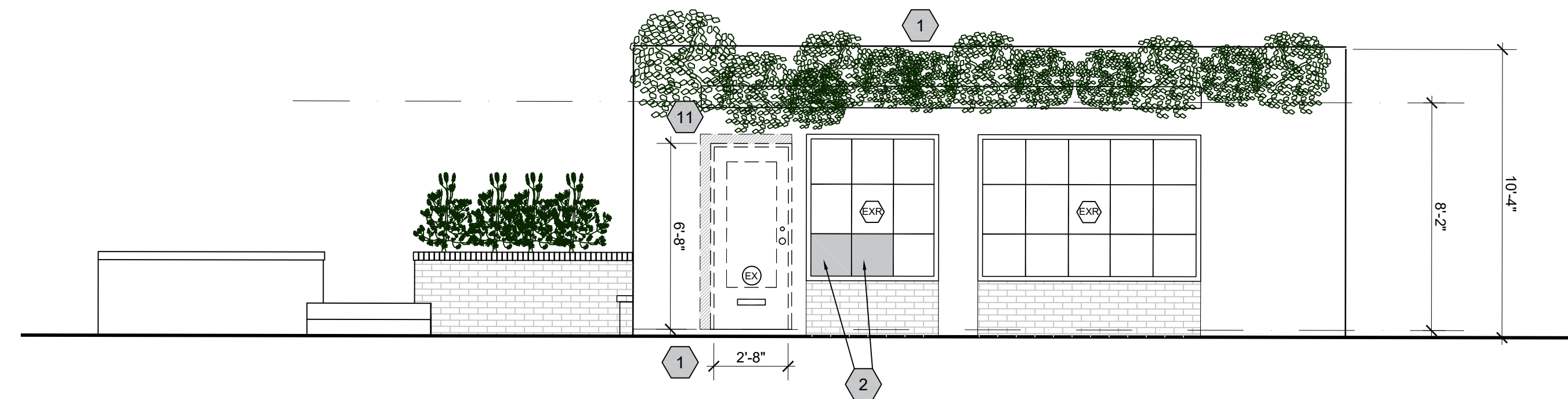
EXISTING SOUTH ELEVATION - UNITS 1,2,3

12



PROPOSED SOUTH ELEVATION - UNITS 1,2,3

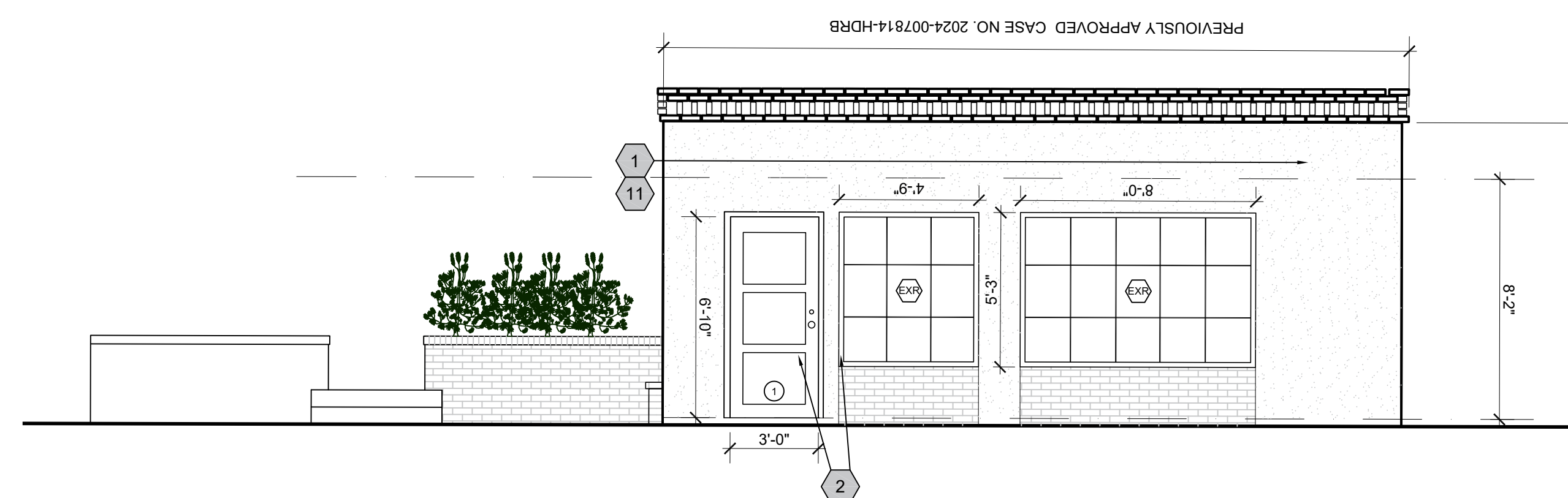
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EXISTING WEST ELEVATION - UNITS 1,2,3

SCALE: 1/4" = 1'-0"

6



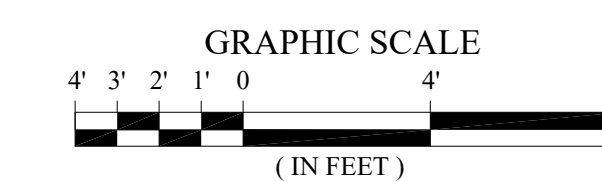
PROPOSED WEST ELEVATION - UNITS 1,2,3

SCALE: 1/4" = 1'-0"

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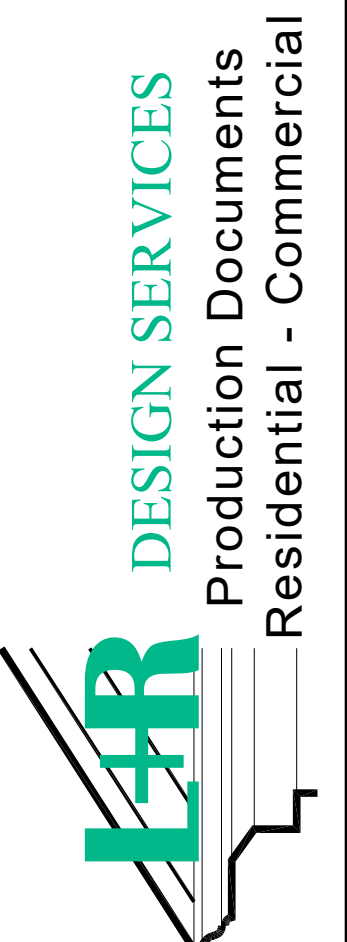
PREVIOUSLY APPROVED CASE NO. 007814-HDRB



RENOVATIONS & ADDITIONS
MINI-HOTEL for:
DENNIS PRICE
219 WASHINGTON AVE.
SANTA FE, NM

TITLE:
UNITS 1,2,3
SOUTH & WEST
EXISTING
PROPOSED
ELEVATIONS

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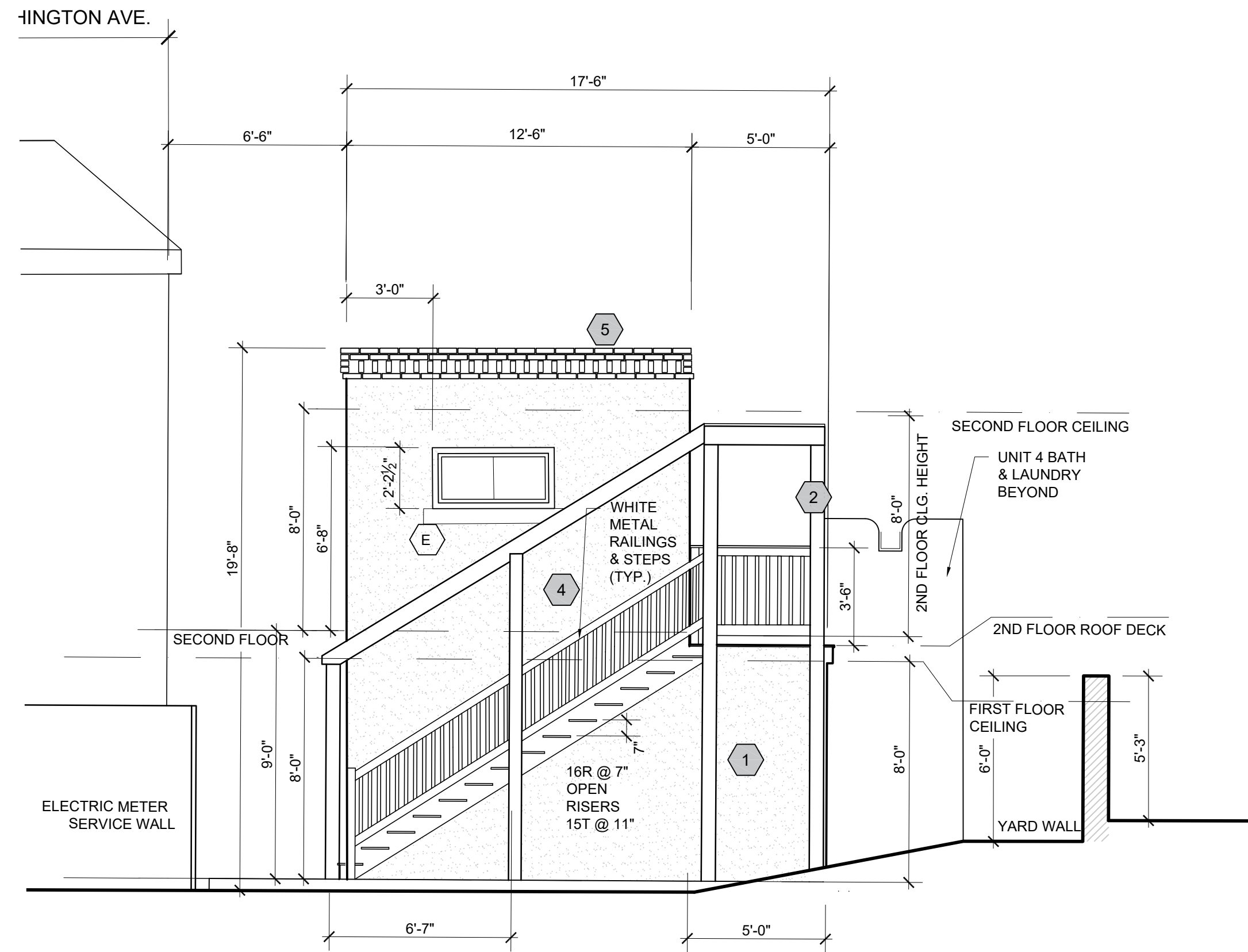
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PROPOSED EAST ELEVATION - UNITS 4,5

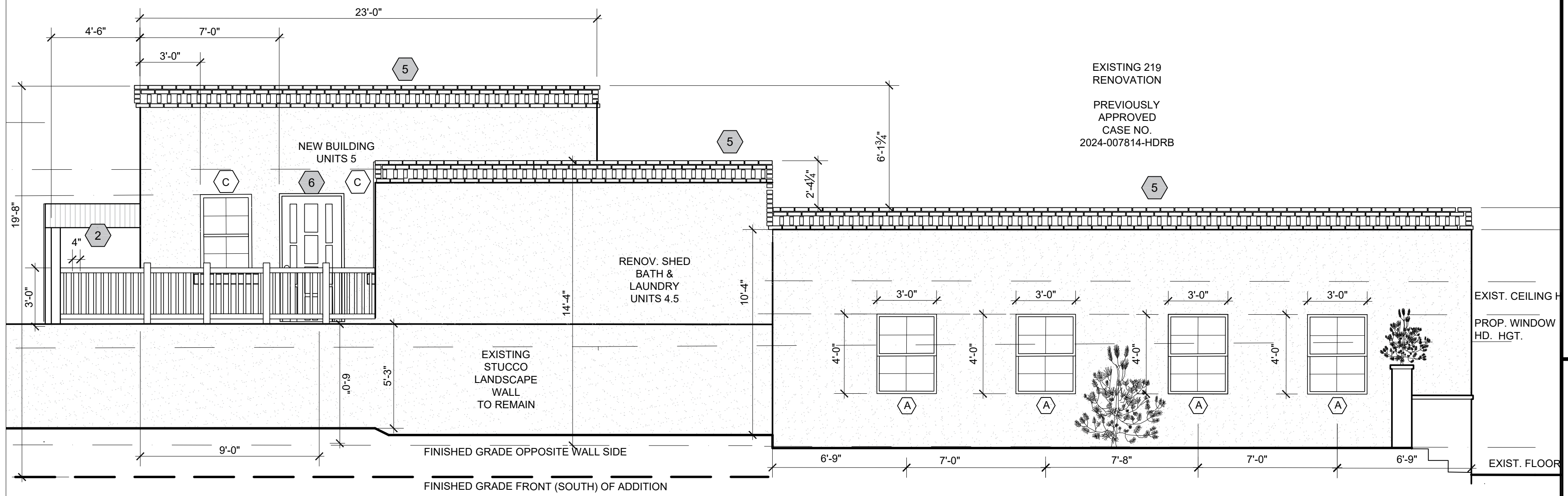
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11

PROPOSED ELEVATIONS SHEET KEYED NOTES

GENERAL:

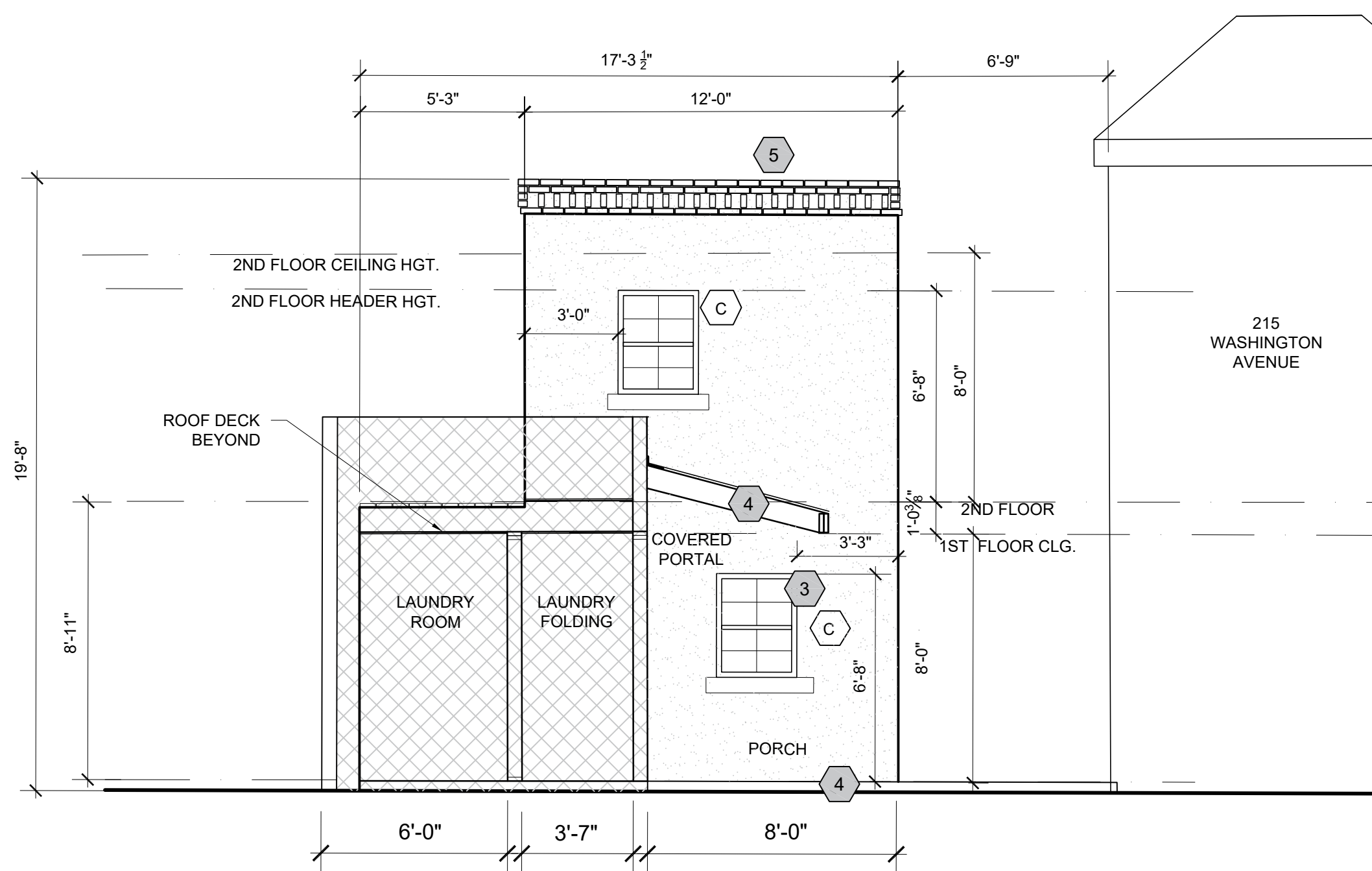
1. STAIRS TO SECOND FLOOR TO BE WHITE METAL GUARDS, HANDRAILS & TREADS (SLIP RESISTANT)
2. EXTERIOR ROOF COVERING OVER EXTERIOR STAIRS (WHITE METAL)
3. PORTAL ROOF OVER LAUNDRY ENTRY DOOR
4. STONE SILL TO MATCH BLDG. 215
5. TERRITORIAL BRICK COPING
6. UNIT FRONT DOORS TO MATCH 215 MAIN DOOR



PROPOSED NORTH ELEVATION - UNITS 4,5

SCALE: 1/4" = 1'-0"

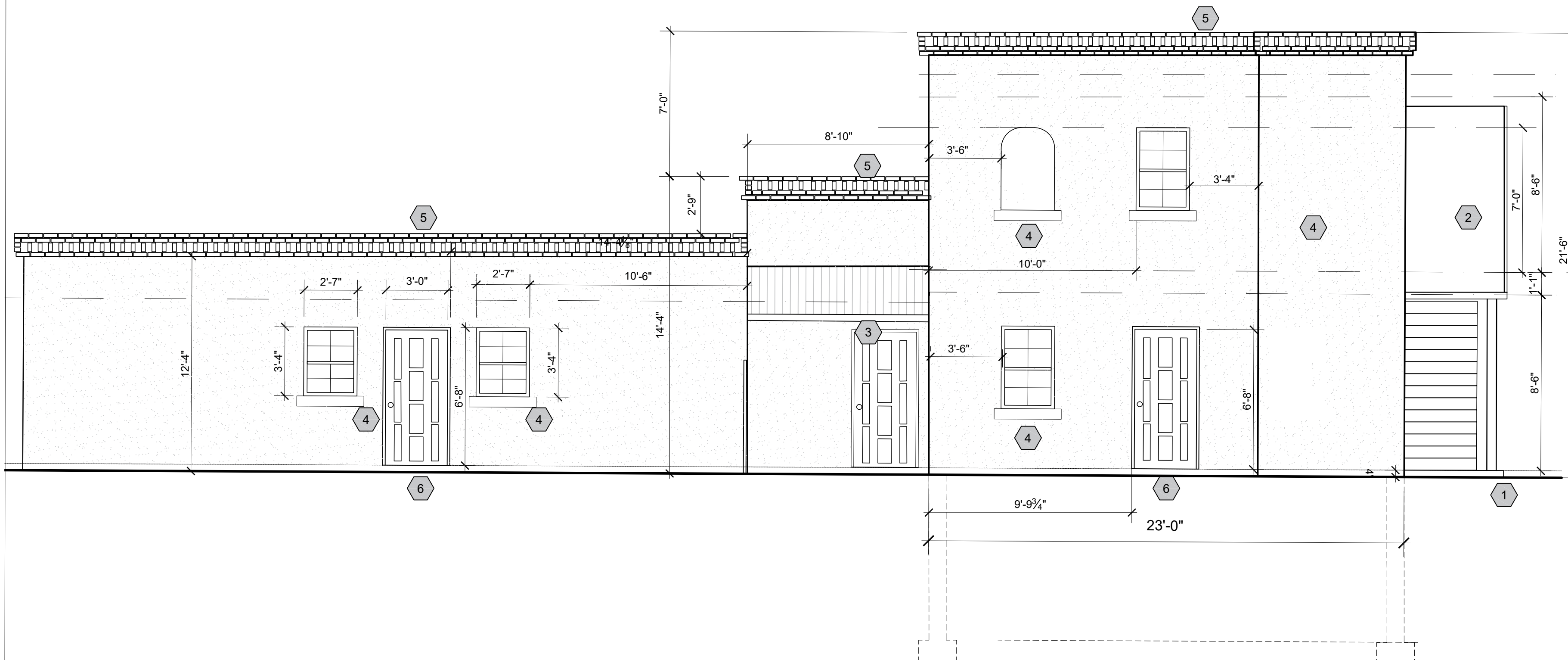
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PROPOSED WEST ELEVATION - UNITS 4,5

SCALE: 1/4" = 1'-0"

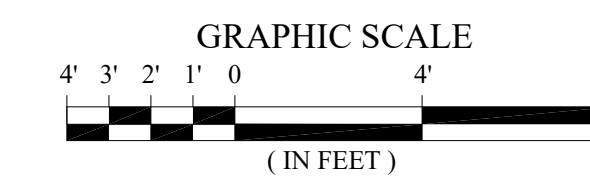
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PROPOSED SOUTH ELEVATION - UNITS 4-5

SCALE: 1/4" = 1'-0"

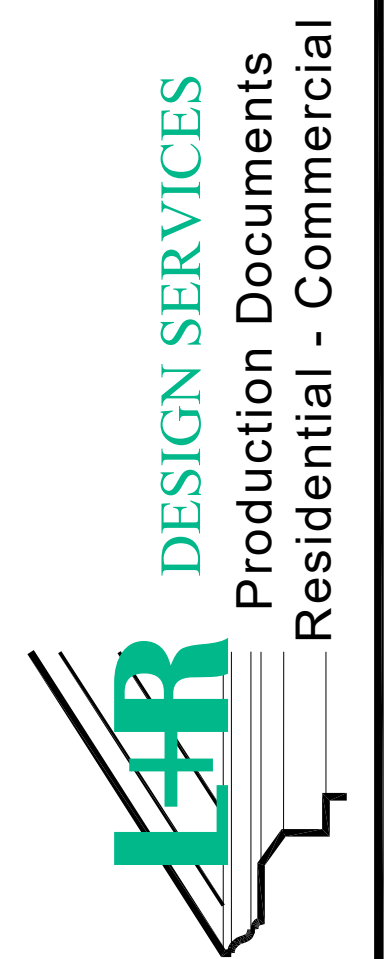
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RENOVATIONS & ADDITIONS
 MINI-HOTEL for:
 DENNIS PRICE
 219 WASHINGTON AVE.
 SANTA FE, NM

TITLE:
 UNITS 4 & 5
 PROPOSED
 ELEVATIONS
 TWO-STORY

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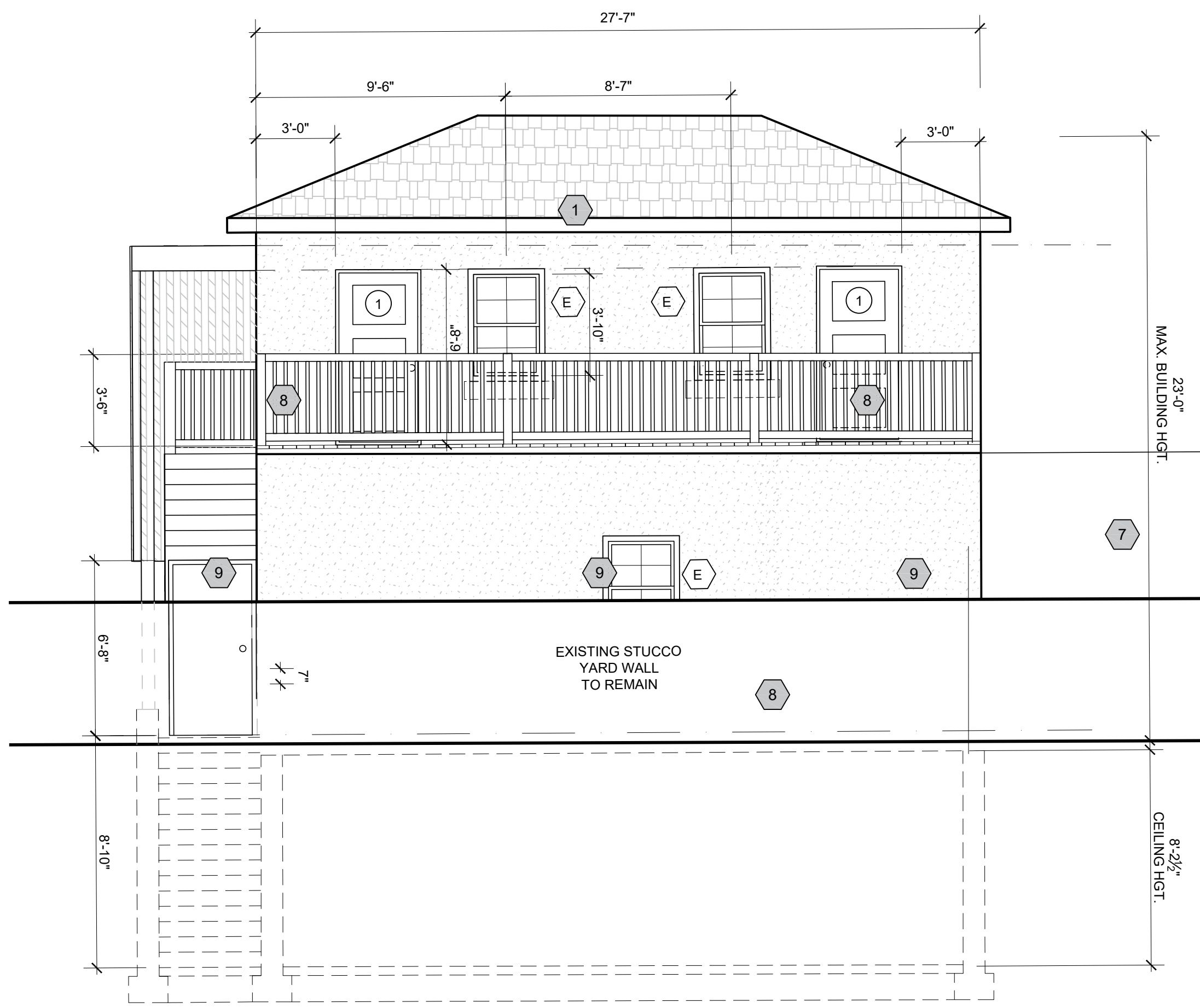
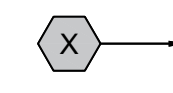
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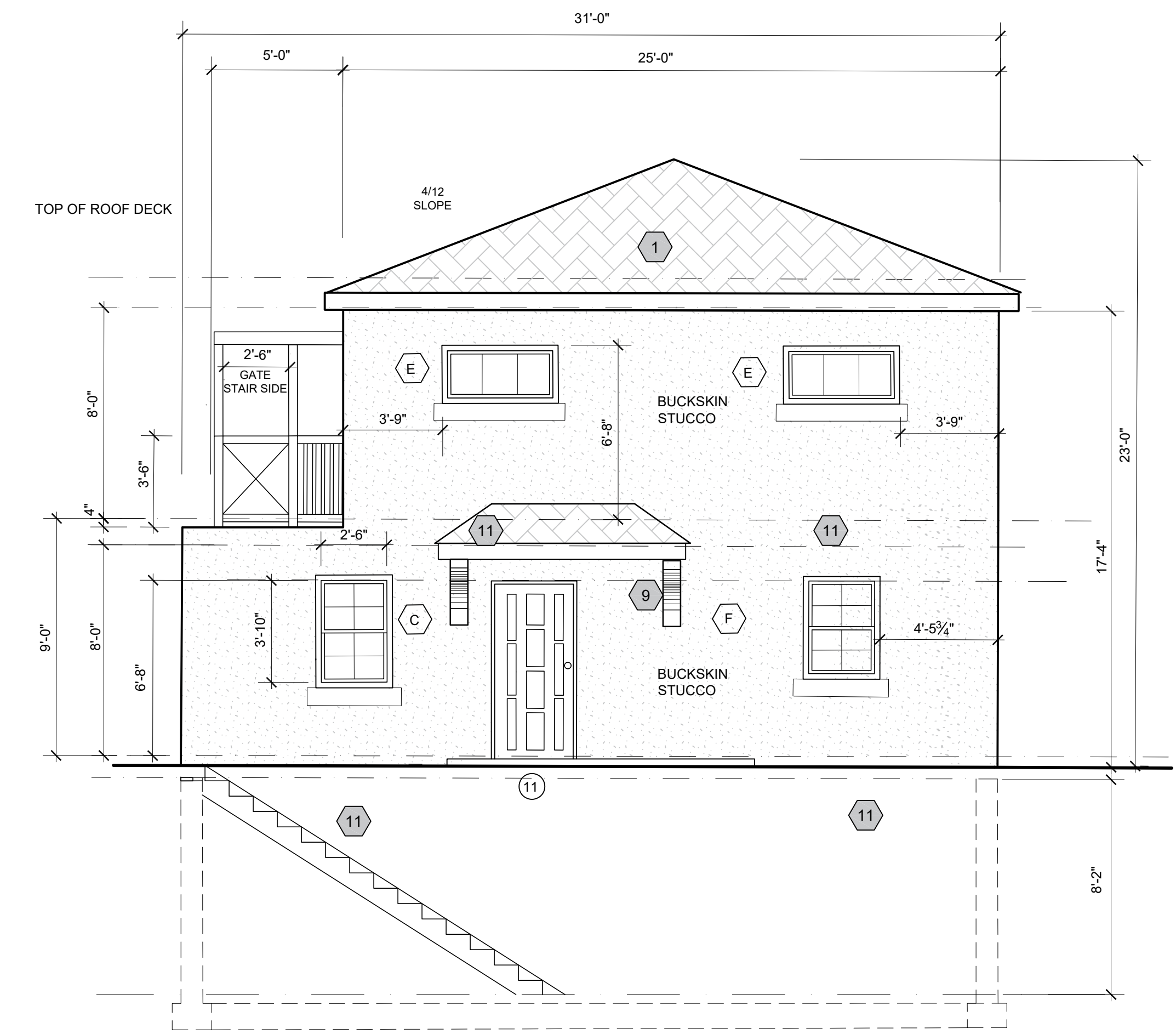
PROPOSED ELEVATIONS SHEET KEYED NOTES

GENERAL:

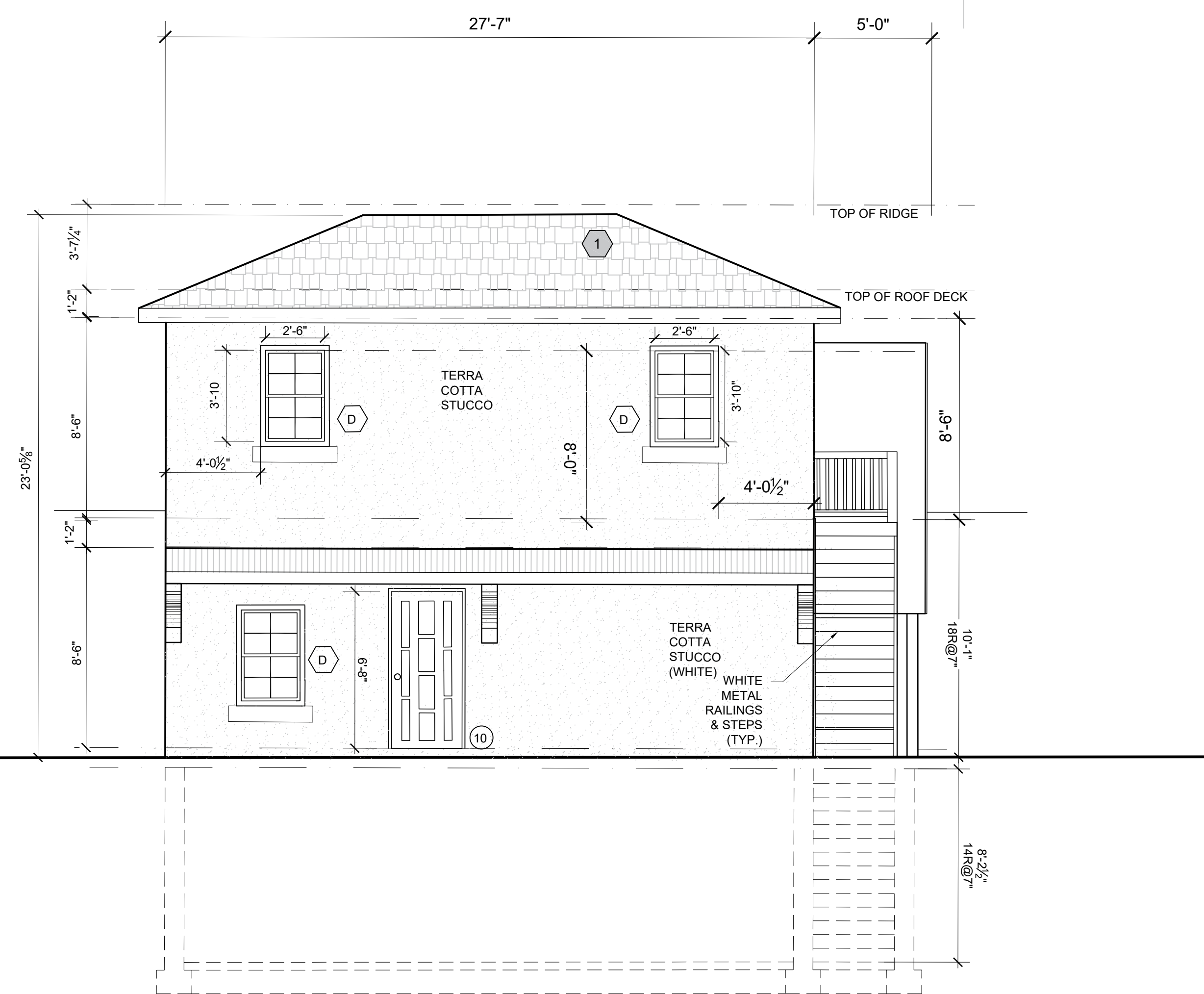
1. NEW SHINGLES TO MATCH EXISTING BUILDING 215
2. SET NEW PORTAL COLUMNS AT NEW SIDEWALK HEIGHT W/NEW ANCHORS
3. NEW 3" CONCRETE SLAB W/ 6x6x1.0 WWF
4. NEW SUMP DRAIN IN NEW CONC. SLAB
5. FINISH & COLOR ON RENOVATED SHED BY HDRB
6. SEE LANDSCAPE PLANS FOR GRADE CHANGE AREA
7. EXTERIOR COVERED STAIR, METAL TREADS, OPEN RISER, TYPICAL
8. STONE SILL - MATCH BLDG. 215
9. DECORATIVE WOOD BRACE - SUPPORT FOR OVERHANG - GRAY PAINT
10. EXTERIOR DOOR TO BASEMENT STAIRS BEHIND EXISTING WALL



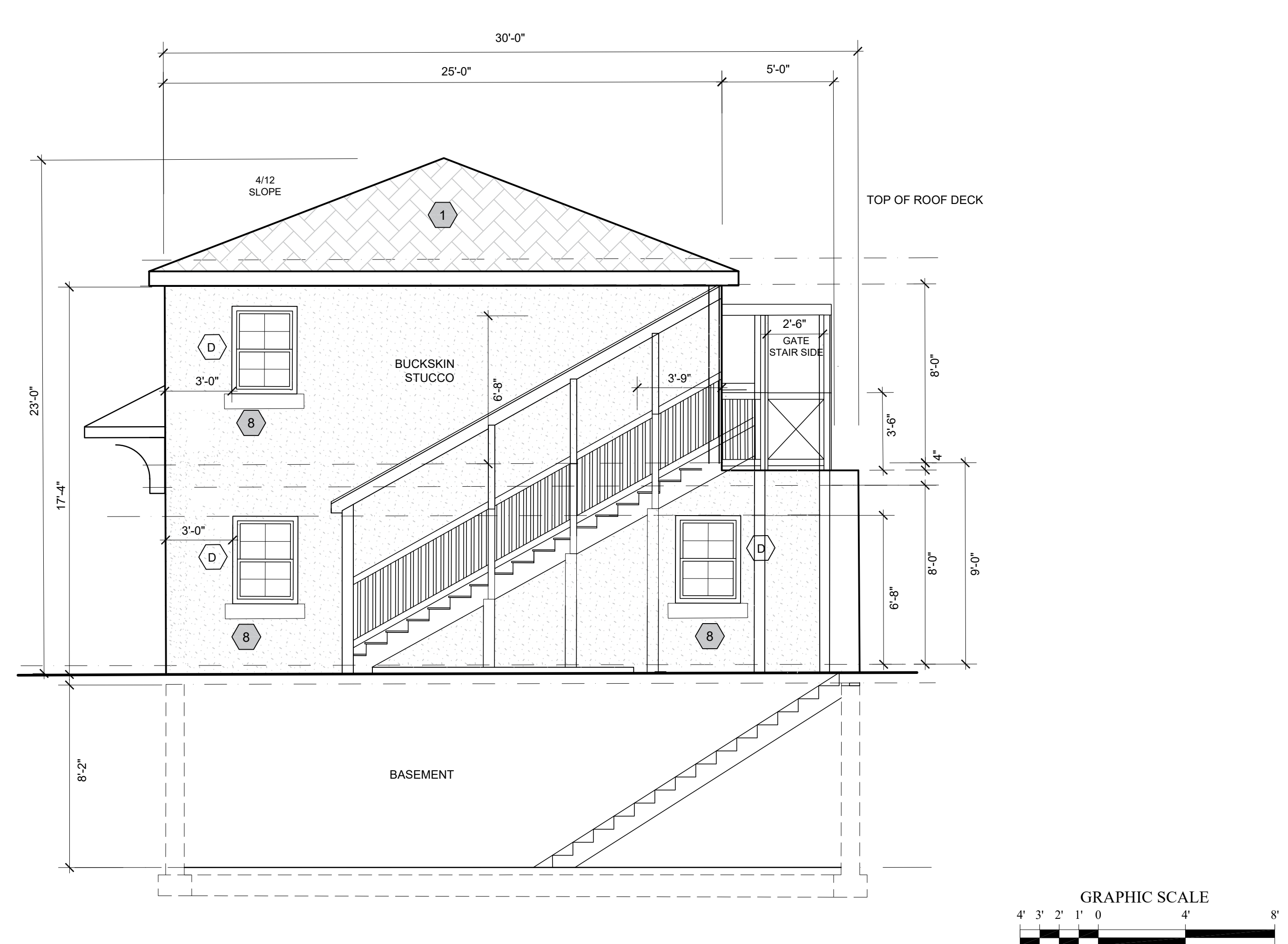
PROPOSED SOUTH ELEVATION - UNITS 6,7,8,9, SCALE: 1/4" = 1'-0" 11



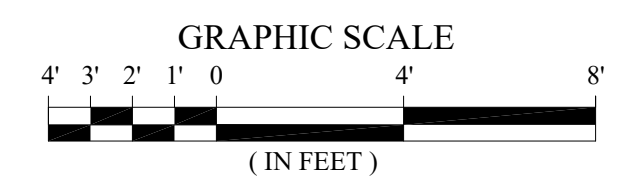
PROPOSED WEST ELEVATION - 6,7,8,9 SCALE: 1/4" = 1'-0" 3



PROPOSED NORTH ELEVATION - UNITS 6,7,8,9, SCALE: 1/4" = 1'-0" 9



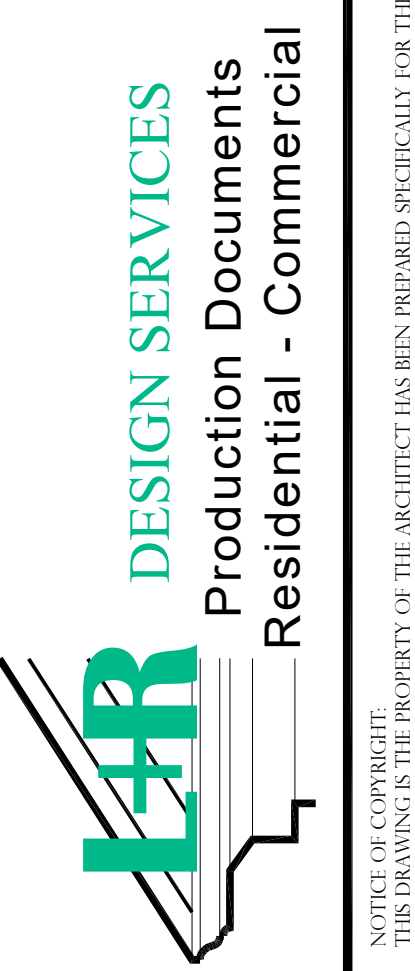
PROPOSED EAST ELEVATION 6,7,8,9 SCALE: 1/4" = 1'-0" 1



RENOVATIONS & ADDITIONS
 MINI-HOTEL for:
 DENNIS PRICE
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 SANTA FE, NM

TITLE:
 UNITS 6,7,8,9
 PROPOSED
 ELEVATIONS
 TWO-STORY

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