

September 10, 2025

Santa Fe Historic Preservation Division
PO Box 909. Santa Fe, New Mexico 87504-0909

Re: 121 EAST SANTA FE AVE, SANTA FE, NM 87505

Dear HDRB,

This proposal covers the property at 121 E Santa Fe Ave. This is a two-part proposal that requests a clarification on work already completed (the "Exception") for which we believed we received approval and a second proposal for which we received partial approval. In reference to the second proposal, we will only be applying for those items that were not approved in the first submission. From this point forward, we reference P1 for proposal one (the Exception), P2 for proposal 2 and P2a if referencing those items that were already administratively approved.

P1 (Exception) was permitted (23-30663) for a new roof that required a "rebuild and reframing of the roofline" where the house meets the casita. The modification to the roof line was required because a significant amount of construction done decades prior to the acquisition of the property by the us that was not consistent with code (specifically code requiring a 12:1 slope). This necessitated removal of four walls of approximately 25-feet. Because of the inadequate construction (we believe 1974) four walls were entirely rotted and inside the walls were significant amounts of rodent feces and dry rot. The roofers indicated that rebuilding with the old roof line would have resulted in the same problems with drainage from the back roof. Durabuild construction permitted the job and asked if they should rebuild the roofline requiring the replacement of the rotted walls. Once again, we believed this was permitted. We submitted a request to utilize cedar shakes, which are consistent with the dormers on the house and Gary Moquino approved verbally by stating that they would look great and be consistent with the house style (craftsman), so we ordered \$4,000 in cedar shakes. Additionally, we ordered modern double pane windows since they would not be visible from the street. Another important point is that several local realtors and a real estate attorney informed us that since it was not visible from the street, it would be OK.

At the request of Mr. Moquino, we submitted a proposal on September 14, 2023 for the walls, which we still believed were approved. Our hearing was postponed to October, then November. Two days before the first hard freeze of the winter, I called Paul Duran personally and told him that I needed to protect the house and since we had our proposal postponed two times already, I had to get the windows in. He approved saying that we had to "protect the house". We had our proposal postponed again to December, then January, and finally completed the cedar shakes in February consistent with

statutes requiring us to protect the house and under the assumption a hearing would not take place before permanent damage to the house would happen. We are requesting retroactive approval of this work. This amendment added approximately 28 square feet to address the exception items listed below.

To summarize the *exception* from 14-5.2(D)(2)(d):

1. There were four walls that were entirely rotted: so badly they could be moved by pushing on them lightly. We believed this was a safety hazard, both because of the risk of it breaking off and because an intruder could easily knock the wall down. This condition was a result of the poor roofline design.
2. There were four walls that contained extensive amounts of rodent feces and assorted collections of rodent "treasures" including fur, organic material and other assorted random materials. Given the risk of Hanta virus and other diseases related to rodents in and around the home it was critical we replace the walls urgently.
3. The door from the outside of the house was separate from the door to the laundry room (also outside) on the north elevation. Evidence indicates that at some point there was a large tree between the two doors. We have already seen that this area will continue to sink as the tree roots continue to decay. This created a very low spot that (given the northern exposure) created an ice rink effect during the winter - a significant safety hazard as well as a difficult situation for anyone needing to do the laundry during a freeze period (all winter due to the northern exposure).
4. The casita has been and is a rental unit. The health and safety problems would apply to renters of the casita as well as the primary owner.
 - (i) The additional walls are stucco and cedar shake, consistent with the district and the property. The add on done in the past added a stucco casita to the back of the house. The dormers and house immediately next door is almost 100% cedar shake.
 - (ii) Four walls were completely rotted due to the add on in the last century. This poses a health risk (mold) and a physical risk (falling down).
 - (iii) The replacement of the walls allow the home to be occupied and remain structurally sound.

P2 was submitted in the middle of November 2023 and once again never made it to committee since our hearing continued to be postponed. The request was for the following:

1. The east dormer has windows that are not substantially like the other two dormers on the house. We would like to replace the windows on said dormer to reflect the style of the windows and the other two dormers more accurately. We propose to replace the windows with double paned in a style that is similar to the historic windows on the rest of the house (except the casita). This does not appear to be a part of the original house and the current windows are

substantially different. The replacement would include grills across the entire window. *Administratively approved on November 27, 2023.*

- 2. The steps from the front patio are concrete and brick. The concrete has deteriorated significantly and the rise and run of the existing steps are not consistent with existing code. Additionally, someone put new lumber on top of rotted old lumber creating a “lip” that has tripped and injured several people. There have not yet been any personal injury lawsuits.**

The national building code reads: “Treads must be at least 10 inches deep, measuring from front to back. Stair treads must sustain a weight of at least 300 pounds in an area no more than four inches square. The rise, or the vertical distance from one tread to the next, can be no more than 7 1/4 inches high.”

The current steps ARE HAZARDOUS, and several guests have tripped on them. Because they added a deck on top of a deck, there is a “lip” at the top of the steps that creates a significant tripping hazard. Additionally, there are no handrails, which would be added when the stairs are replaced. We propose replacing the concrete steps with Messmers (<https://www.messmers.com/>) over cedar. Since the existing deck is painted red, we feel that cedar and its natural red tone would be sufficiently similar in color. Therefore, natural cedar would be the primary request, (see deck request at item 3). Photos of current steps are attached. Exhibit 2A, 2B, 2C, and 2D. *This was not administratively approved even though it is a significant safety hazard.*

- 3. Replacement of front patio deck is needed as previous owners “decked over” an existing rotted deck and evidence of rotting under the second deck is showing. We are requesting that we be allowed to use cedar as decking material to be coated with Messmers. Note that the deck is currently painted red, so moving to a natural cedar with a red tinted stain would not significantly change the look and would better match the natural brick of the house. Neighbors have indicated that the “second” porch was added to the first porch several years ago by a tenant (not owner). He also advised them it was not permitted and that he warned them that putting new wood on rotten wood would only result in the top deck rotting within a few years. Note that this was done without historic or permits. Photos attached exhibit 3A and 3B. *This was not administratively approved even though it is a significant safety hazard.***
- 4. We would like to request that we be allowed to repair the brick planter immediately in front of the deck. Many bricks are missing. We will endeavor to use the same bricks, but may not be able to locate them, in which case we would like to substitute like/kind. Photos attached Exhibit 4A, 4B and 4C. *Administratively approved on November 27, 2023.***

5. The front deck does not, nor may have never had a railing, however the deck is 30 to 38 inches above ground. Given the height above ground, that is not within code guidelines which require “Decks higher than 30” off the ground have guardrails to satisfy a majority of local building codes. Most U.S. guidelines require railings at least 36” tall between the decking and top rail, though this varies by location. California and Washington require 42” or taller railings for decks.” We have had two people fall off the patio without injury but feel this is just luck that serious injuries have not happened yet.

This proposal asks permission to install railings consistent in height with the Santa Fe code. I could not locate the height requirements but will build consistent with code.

This is a safety hazard, and we request immediate approval to mitigate this problem. Photos attached Exhibit 5A and 5B. Also, see elevations for railing. They would be consistent with craftsman style homes as found on several Internet sites (see attached in file). Once again, we are open to suggestions for style should the committee make a recommendation. *This was not approved even though it is a significant safety hazard.*

6. The front door needs repair. There are several holes in it and one of the decorative accents are missing. We would like to repair and repaint the door white, which is the current color. Additional problems include failure to close properly, allowing cold weather in as well as loose glass. *Administratively approved on November 27, 2023.*
7. The house hasn't been painted in at least 20 years. Weather and UV damage can still be mitigated with new primer and paint. We propose painting the house the same color of white. Photos general photos. *Administratively approved on November 27, 2023.*
8. The windows have had little or no paint for at least 20 years. We propose to repair and repaint the windows. These windows are angled sash weighted windows. At least half of them are semi-functional due to the ropes being cut. We will paint the windows the original white. *Administratively approved on November 27, 2023.*
9. We still have four original screens for the windows (11 windows). We would like to request that we repair and replace the screens as well as manufacture identical new storm windows for the winter weather. Current color is white. We anticipate that the color will remain white. *Administratively approved on November 27, 2023.*

10. Historic photos of the house feature a white picket fence. We are requesting that we be allowed to rebuild the original white picket fence. Note that the photos supplied were from the state historic division circa 1974 (Harvey Kaplan). *At the moment, we will withdraw this request.*

11. Replace decrepit fence at the end of the driveway (on west side of the house) with a higher quality cedar single gate as well as a double gate to accommodate larger items going to the backyard (see drawing). Regarding the double gate, the single gate is not large enough to accommodate furniture or appliances that need to go to the back of the house or the ADU. The current fence is in disrepair and is currently painted red. We propose to stain cedar in a red tint that would not significantly change the look. Drawing and photos attached Exhibit 12A, 12B, 12C, and 12D. *Administratively approved on November 27, 2023.*

Note that for the remainder of the proposal we will no longer reference to the previously approved items. The complete list is contained in attachment 1.

Sincerely,

Dr. Brett and Kirsten Trusko
Owner, 121 E Santa Fe Ave
Brett.trusko@gmail.com
Mobile: (505) 496-5209

Attachment One
Summary of Request P1 and P2a

1. Retroactive approval of roofline repair including rebuild of walls and window replacement (an exception per 14-5.2(D)(2)9d).
2. Replacement of front porch steps with wooden steps to bring them to code. Photos 2A, 2B, 2C, and 2D.
3. Replacement of front patio to mitigate risk of collapse. Photos 3A and 3B.
4. Addition of safety railing on front porch to mitigate fall hazard. There are no photos available. Refer to 3A and 3B for height concerns.
5. Replacement of front porch pendant lights to improve safety and security. Photos 5A, 5B, 5C and 5D.
6. We are withdrawing the picket fence request as we have changed our mind.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:

Date Submitted: 9.9.24
 Property Owner of Record: Kirsten & Brett Trusko
 Applicant/Agent Name: N/A
 Contact Person Phone Number: (415) 860 7025

Site Address: 121 East Santa Fe Ave, Santa Fe, NM 87501
 Proposed Construction Description: replace rotted wall - roof replace support
 TOTAL ROOF AREA: _____

Zoning District: _____
 Overlay: Escarpment _____
 Flood Zone* _____
 Other: _____

Lot Coverage: _____ %
 Open Space Required: _____

Submittals Reviewed with PZR: Lots 12-13, block 1, Salmon blkm
 Legal Lot of Record Development Plan Building Plans
 Existing Site Plan Proposed Site Plan Elevations

Setbacks:
 Proposed Front: _____ Minimum: _____
 2nd Front? _____
 Proposed Rear: _____ Minimum: _____
 Proposed Sides: L _____ R _____ Minimum: _____

Supplemental Zoning Submittals Required for Building Permit:
 Zero Lot Line Affidavit

Height: Proposed _____
 Maximum Height: _____ or
 Regulated by Historic Districts Ordinance
 Regulated by Escarpment District

Access and Visibility: Arterial or Collector**
 Visibility Triangle Required

Parking Spaces:
 Proposed _____ Accessible _____
 Minimum: _____

Use of Structure: Residential
 Commercial Type of Use: _____

Bicycle Parking**:
 Proposed: _____ Minimum: _____
 ** Commercial Requirement

Terrain: 30% slopes _____

* Requires an additional review conducted by Technical Review Division.
 ** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME BUILDING PERMIT APPLICATION.

Kirsten Trusko
 PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

9.9.24
 DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: _____
 Flood Plain Approval by _____ Date: _____
 Traffic Engineering Approval by _____ Date: _____

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments Conditions: _____ CASE #2025-010467

REVIEWER: Joel Cruz-Haber

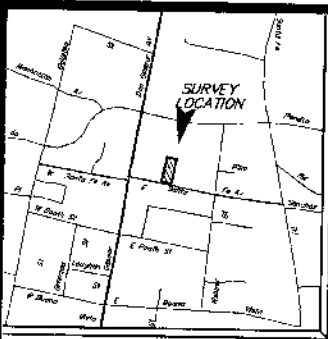
DATE: 05/16/2025

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

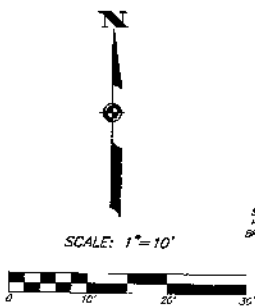
BOUNDARY SURVEY PLAT FOR GIFFORD M. KEEN AND KAREN KNIGHT

465019

ON LOTS 12 AND 13, BLOCK 1, SALMON ADDITION,
ALSO LOCATED AT 121 EASE SANTA FE AVENUE,
CITY AND COUNTY OF SANTA FE, NEW MEXICO.



VICINITY MAP

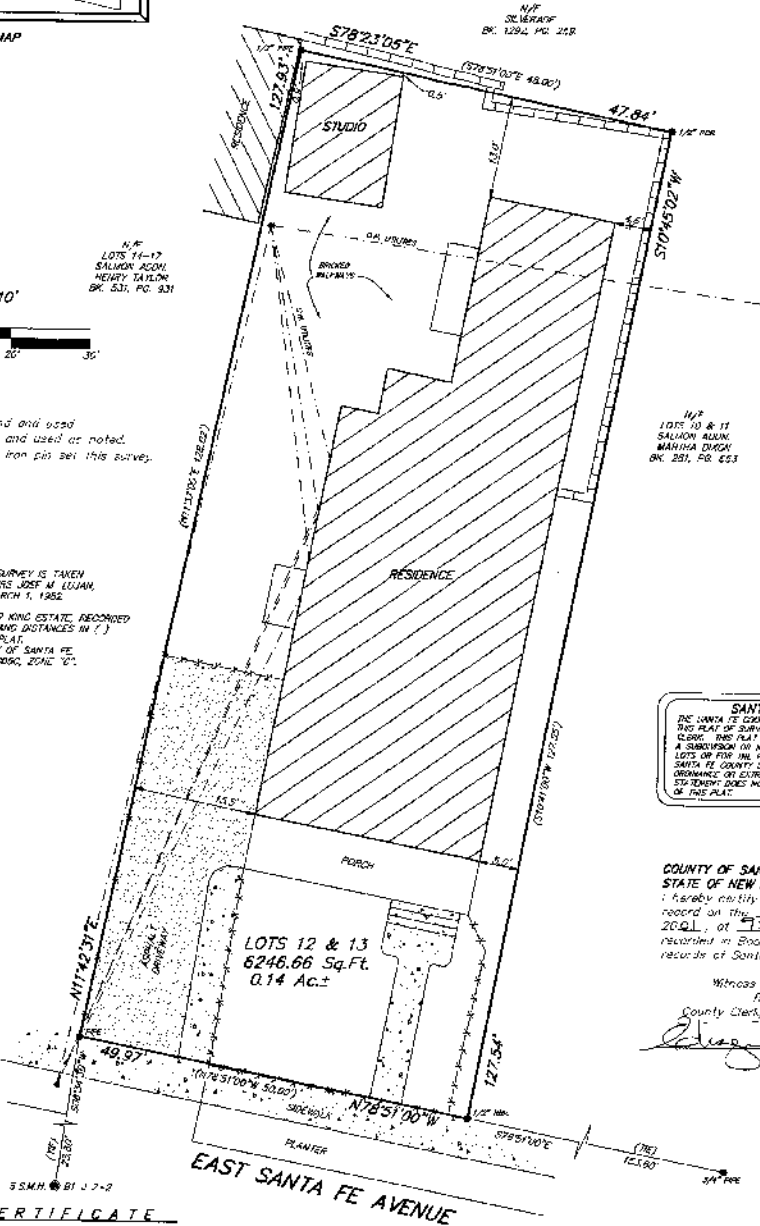


LEGEND

- S.S.M. found and used
- ▲— Points found and used or noted.
- 1/2" Diameter iron pin set this survey.
- Power joints.
- Fences.
- ▨— Walls.
- ▩— Concrete.

NOTES

- 1.) BASIS OF BEARING FOR THIS SURVEY IS TAKEN FROM SURVEY FOR MR. AND MRS. JOSE M. LOJAN BY JACK E. HOBBS DATED MARCH 1, 1982.
- 2.) REFERENCE DOCUMENTS: PLAT OF SURVEY FROM ELEANOR KING ESTATE, RECORDED IN BK. 2, PG. 88. BEARINGS AND DISTANCES IN () PARENTHESES ARE FROM THIS PLAT. SALMON ADDITION OF THE CITY OF SANTA FE.
- 3.) F.L.R.M. PLAN, NO. 35007-0086, 2014 "C".



SANTA FE COUNTY PUBLIC NOTICE
THE SANTA FE COUNTY LAND USE ADMINISTRATION HAS NOT REVIEWED THIS PLAT OF SURVEY BEFORE ITS FILING IN THE OFFICE OF THE COUNTY CLERK. THIS PLAT IS NOT BEING FILED FOR THE PURPOSE OF CREATING A SUBDIVISION OR NEW LOTS, ALTERING THE BOUNDARIES OF ANY EXISTING LOTS OR FOR THE PURPOSE OF REDEVELOPMENT AS DEFINED IN THE SANTA FE COUNTY LAND DEVELOPMENT CODE. EXCEPT FOR ZONING ORDINANCE OR SUBDIVISIONAL SUBDIVISION REGULATIONS, THIS STATEMENT DOES NOT IN ANYWAY REPRESENT OFFICIAL COUNTY APPROVAL OF THIS PLAT.

COUNTY OF SANTA FE
STATE OF NEW MEXICO
I hereby certify that this instrument was filed for record on the 24 day of SEP, 2001, at 9:00 o'clock a.m., and was duly recorded in Book 465, Page 19 of the records of Santa Fe County.

Witness my Hand and Seal of Office
ROSELYN BUSTAMANTE
County Clerk, Santa Fe County, New Mexico
[Signature]



CERTIFICATE

I, Alan C. Green, a duly registered Professional Surveyor in the State of New Mexico hereby certify that this plat represents a natural survey made in the field by me or under my direction, that it meets the Minimum Standards for Survey in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract or tracts.

[Signature]
ALAN C. GREEN
331 VILLEROS ST.
SANTA FE, N.M. 87505

JANUARY 20, 2001.
P.S. No. 12443
Santa Fe, N.M.



U.P.C. 1-954, 008-202-476

XYZ SURVEYING & DRAFTING

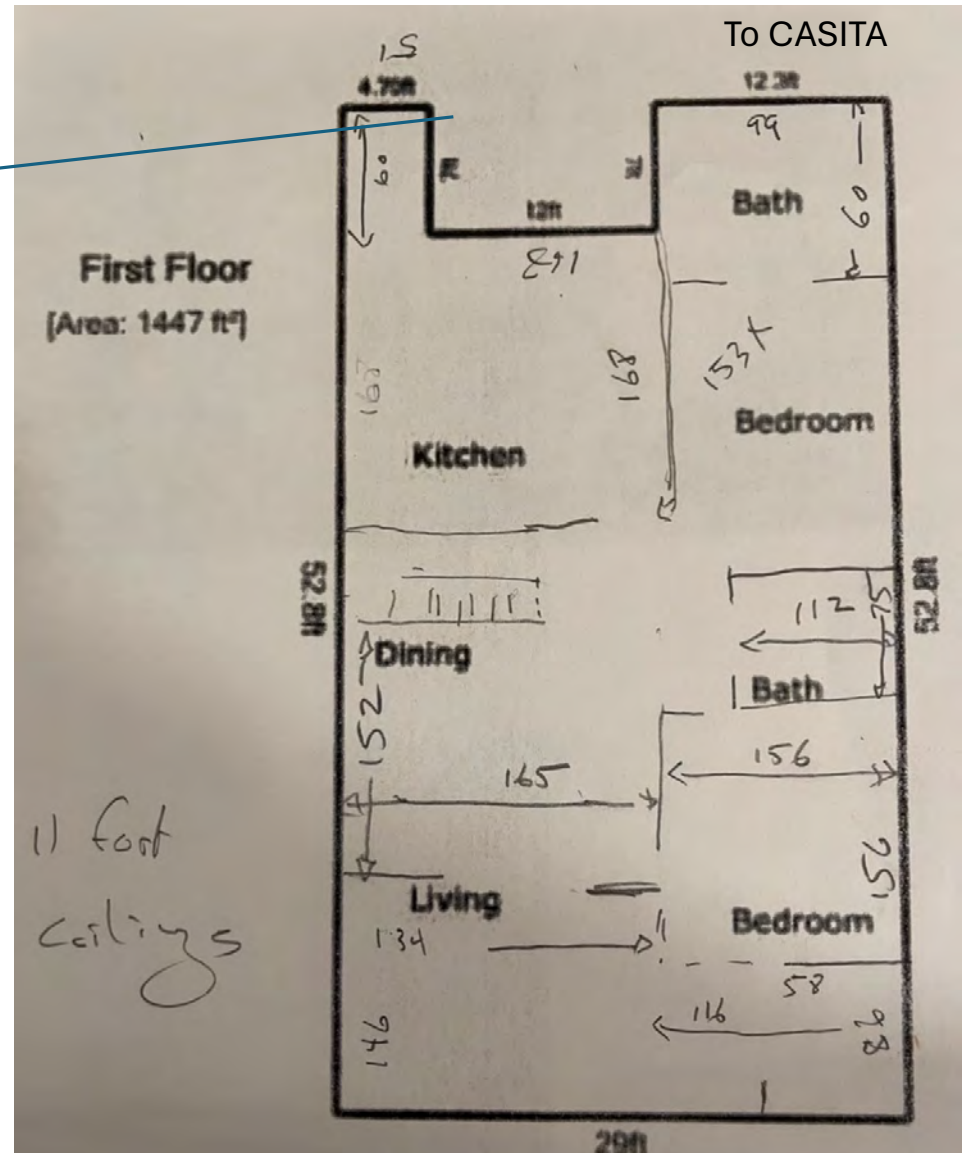
331 VILLEROS ST.	SANTA FE, NM	982-5536
Project No. XYZ0001	Sheet 400	of 4
REGISTRATION INFORMATION FOR COUNTY CLERK		
NAME	LOCATION	SUBMISSION
BEHNEY	SLC. 25, T17N, R9E	SALMON ADDN.

Original site plan.
Added in
correction of roof
line: 18" at back
of main house



Original floor plan.
Note: it didn't capture the wall/doors at the back of the utility room (housing washer & dryer).

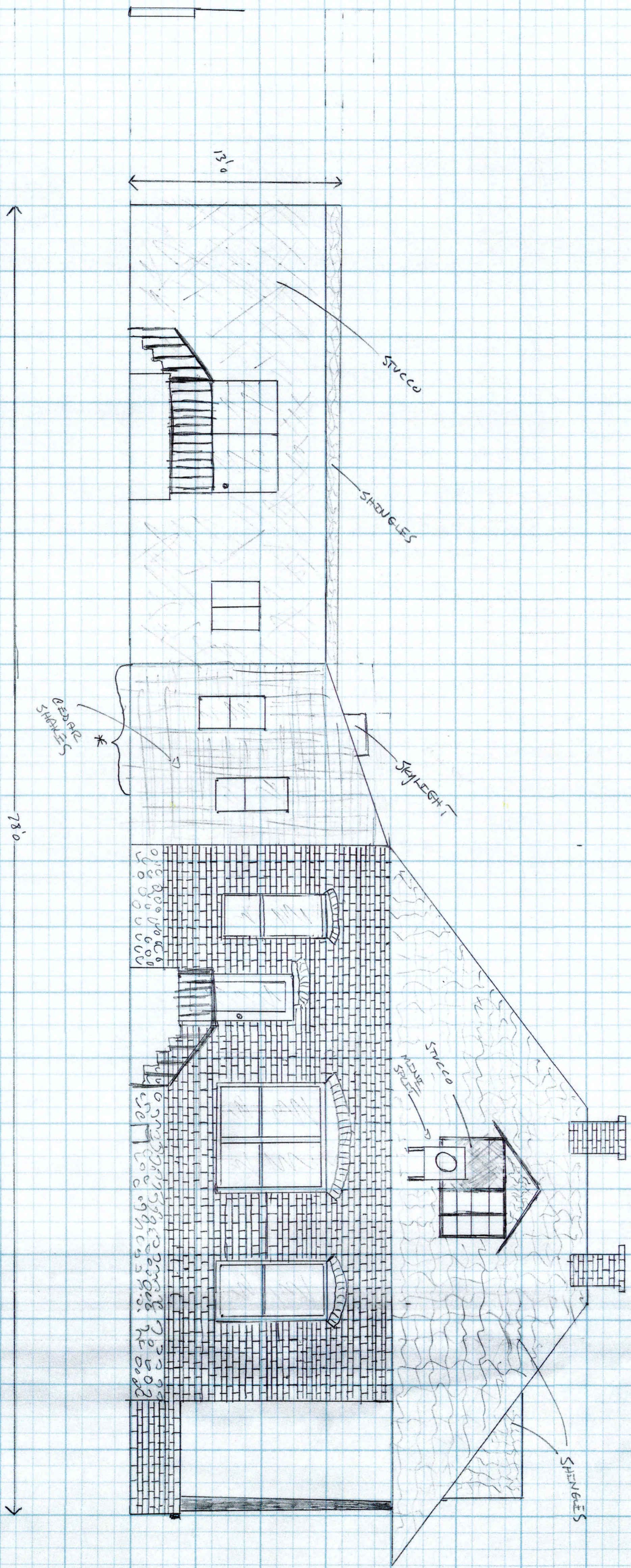
Note: Only 1st floor impacted by roof replacement and related work

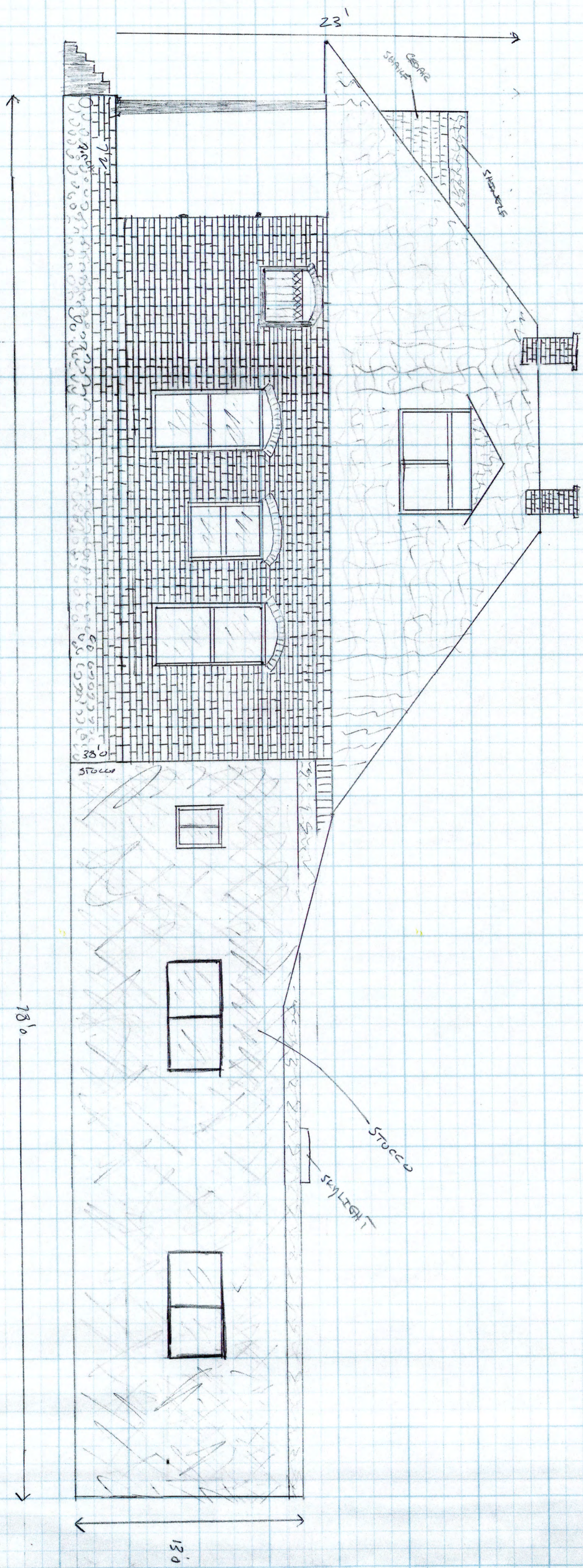


1st floor Current floor plan.
 Extended 18" from back of
 utility room to correct original
 roofline that caused the leaks,
 rot, and housed rodent feces.



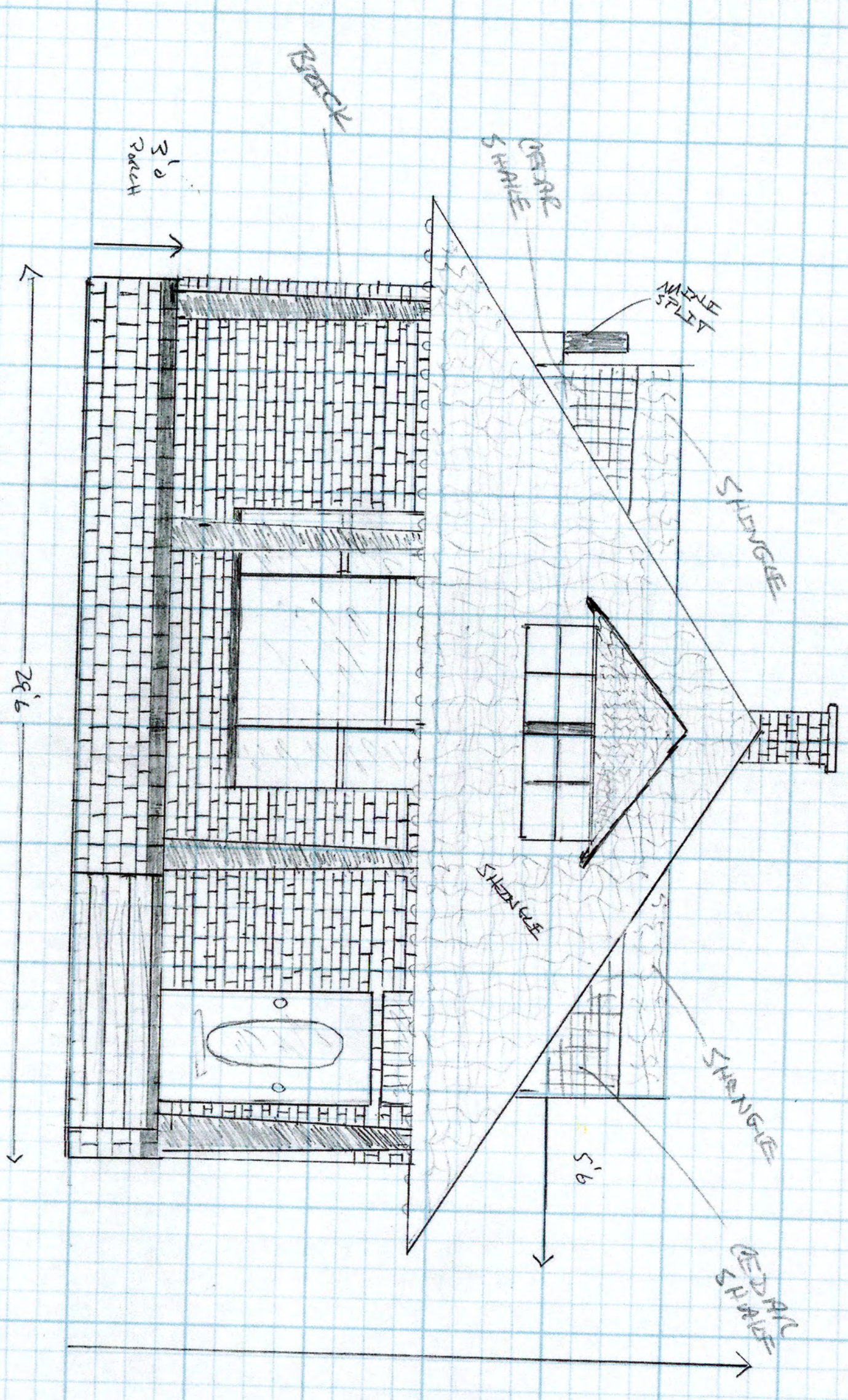
WEST ELEVATION
121 E SANTA FE AVE
SANTA FE, NM 87505





EAST
 SOUTH ELEVATION
 191 E SANTA FE AVE
 SANTA FE, NM 87505

SOUTH ELEVATION
121 E SANTA FE AVE
SANTA FE, NM 87505



NO WINDOWS TO
BE REPLACED

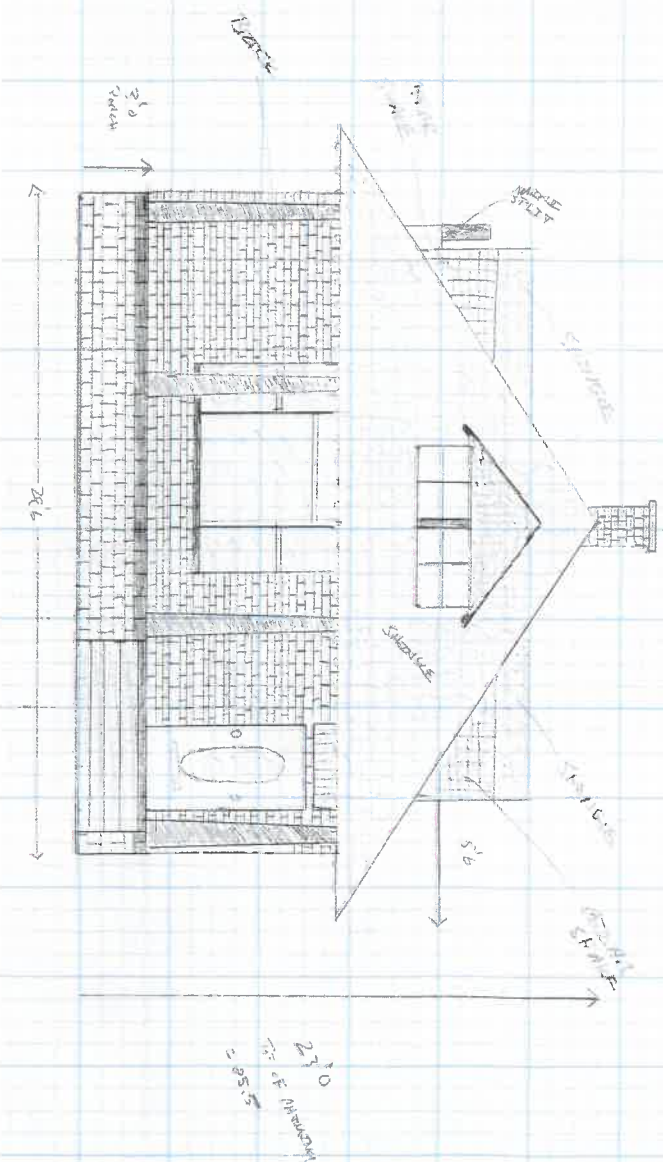
23'0"
TOP OF FINISHED
SIDE

1/4 Inch = 1 Foot

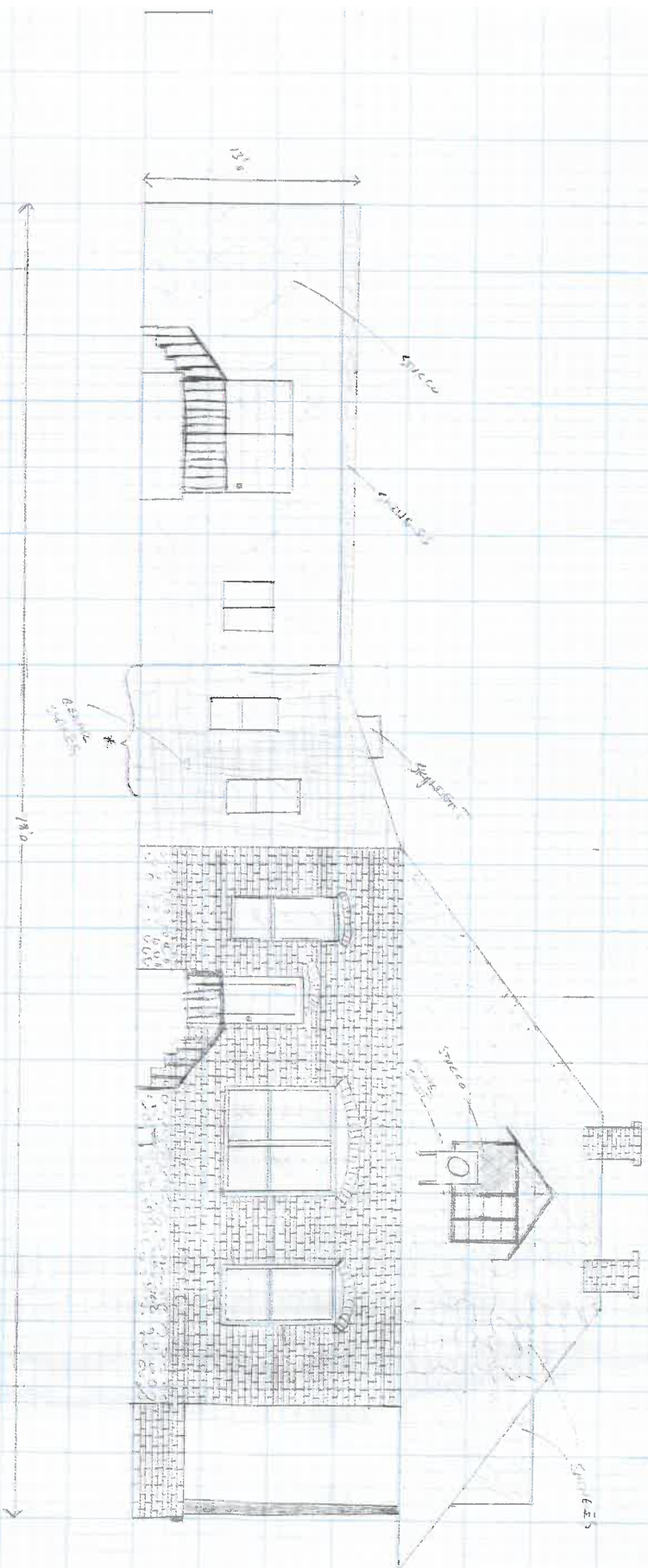
SOUTH ELEVATION
101 E. SOUTH ST. AVE.
SANTA FE, NM 87505

1/4" Scale = 1 Foot

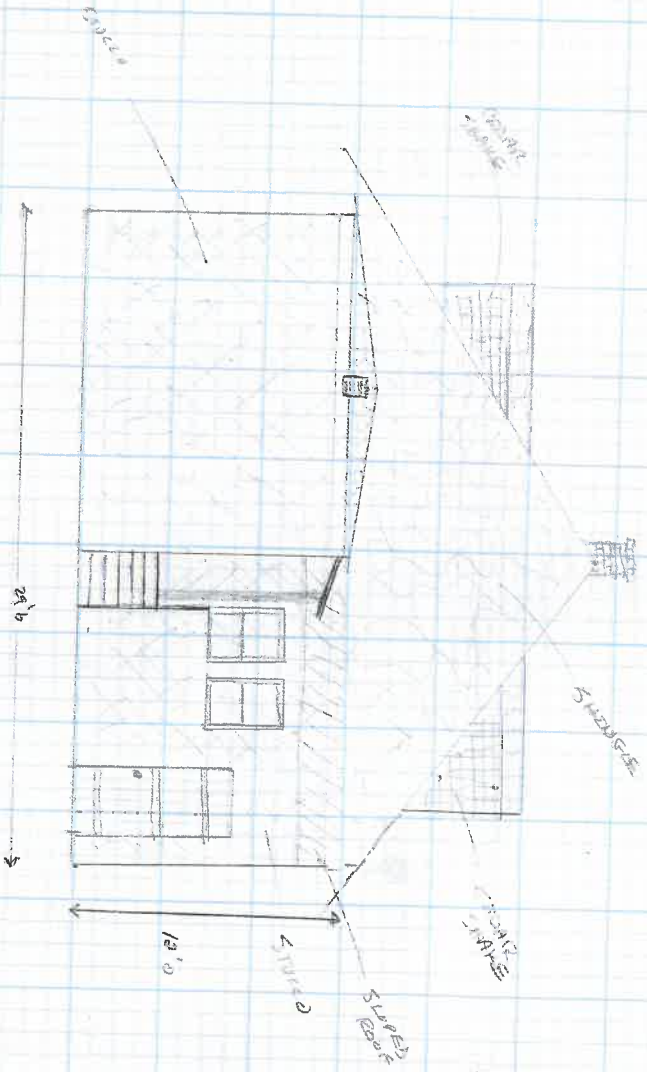
No windows to
be replaced



WEST BAYVIEW
121 A NORTH 7th AVE
SOUTH F.E. N.Y. 80705



WEST HEAVEN
121 E. SANDY POND AVE
SOUTH FEE, N.M. 87505



1/4 INCH = 1 FOOT

**Approved Roof Replacement
and related replacement of support walls (back of house, north and west walls)**

Area of where roofers corrected angle (remedy of leaks, rot, rodent feces)

Walls replaced in correcting roof angle

Stucco on North wall replaced in correcting roof angle



Shakes on west supporting wall replaced in correcting roof angle

4 Windows replaced

**Approved Roof Replacement Support Walls
and related surfaces**

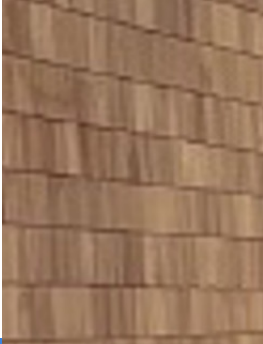
North wall replaced.
Replaced surface with
the similar stucco as
original (in shade so
looks darker)



North and west walls
before replacement.
Original stucco (pic in
bright sunlight so looks
lighter)



West wall replaced.
Covered with shakes to
match the 3 dormers



West front



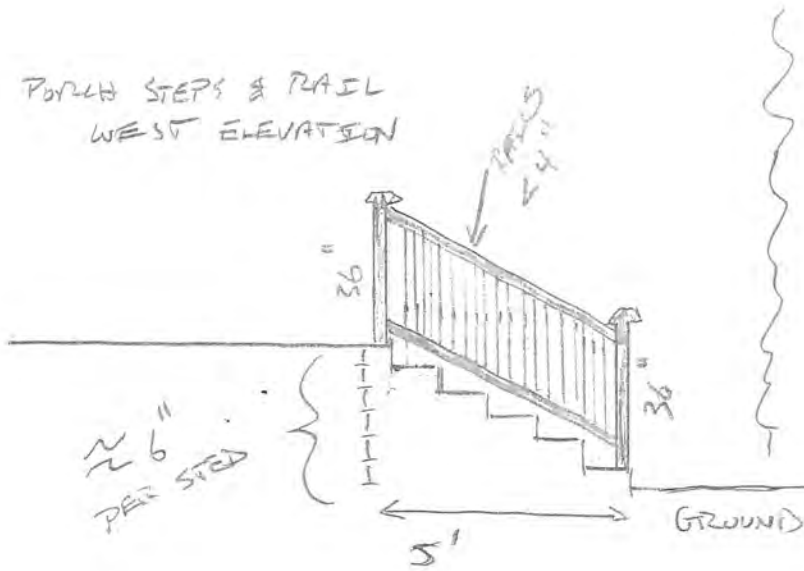
West back elevation, from the North, inside the north wall

Note: this shows the work completed to remedy the angle of the roof that had caused the leaking and rotted walls in previous roof

101 E SANTA FE
AVE

1/4 INCH = 1 FOOT

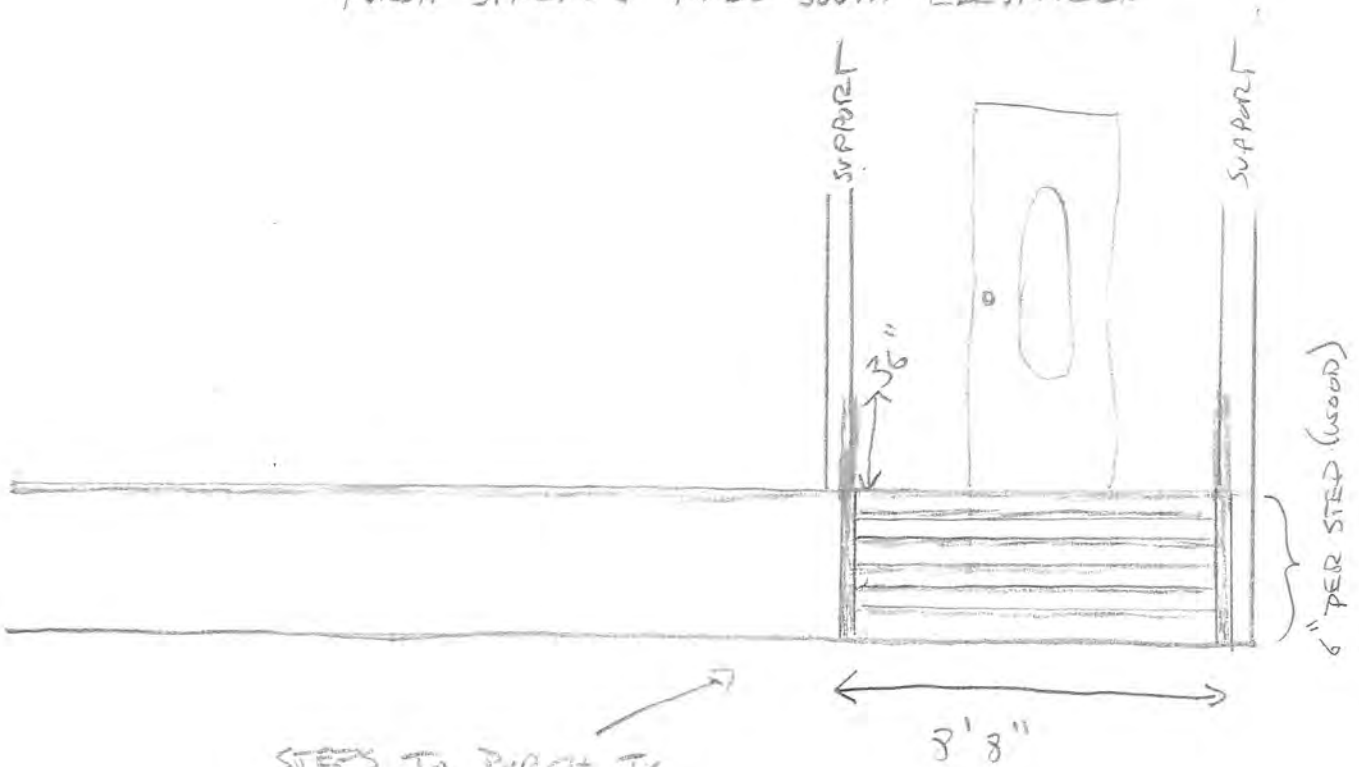
PORCH STEPS & RAIL
WEST ELEVATION



PORCH STEPS & RAIL
EAST ELEVATION



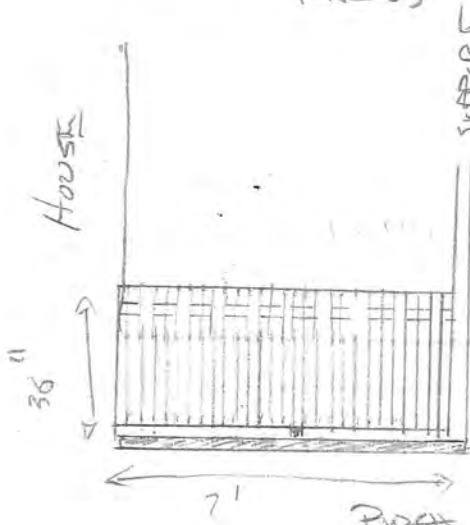
PORCH STAIRS & RAIL SOUTH ELEVATION



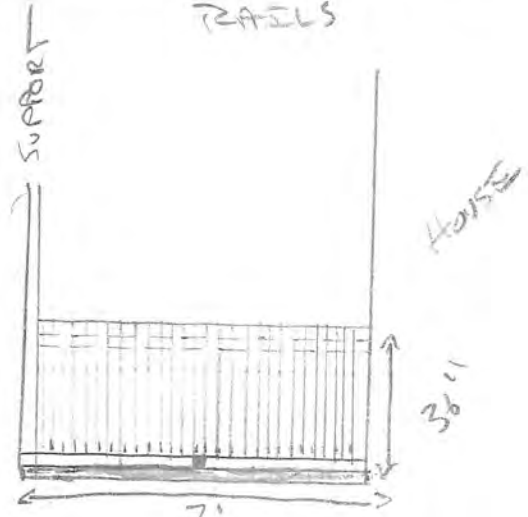
STEPS TO PORCH TO
BE WOOD @ 6" PER
CODE REQ

121 E SANTA FE 1/4 EACH = 1 FOOT
AVE

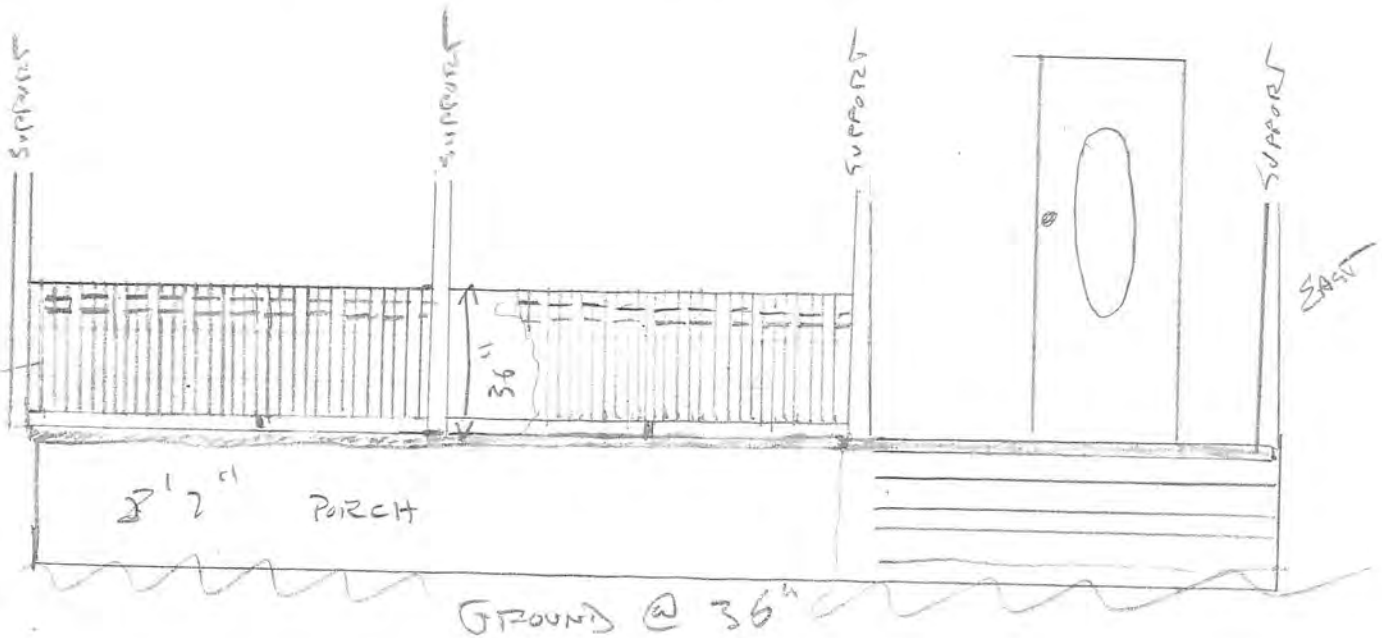
PORCH WEST ELEVATION
RAILS



PORCH EAST ELEVATION
RAILS



PORCH SOUTH ELEVATION
RAILS



DT: April 15, 2024

TO: Santa Fe Historic Preservation Division, PO Box 909. Santa Fe, NM 87504-0909

Re: 121 EAST SANTA FE AVE, SANTA FE, NM 87505. (1) Clarification of finish work for approved roof replacement (2) re-request approval of safety items

Appendix: Supporting photos for this clarification and proposal

For item #2 – safety of stairs. Exhibit 2A, 2B, 2C, and 2D



Item #3: safety replacement of deck. Exhibit 3A and 3B



#5 safety railing for front steps



Being actively used



Item #6: Exhibit 6A, 6B, 6C and 6D
Adding lights for safety of front porch and 2 walkways



Site of lights



site of lights



proposed light

3 pendant lights at 528 Don Gaspar (5 houses from 121 E Santa Fe), and similar to other local homes of the same period

