
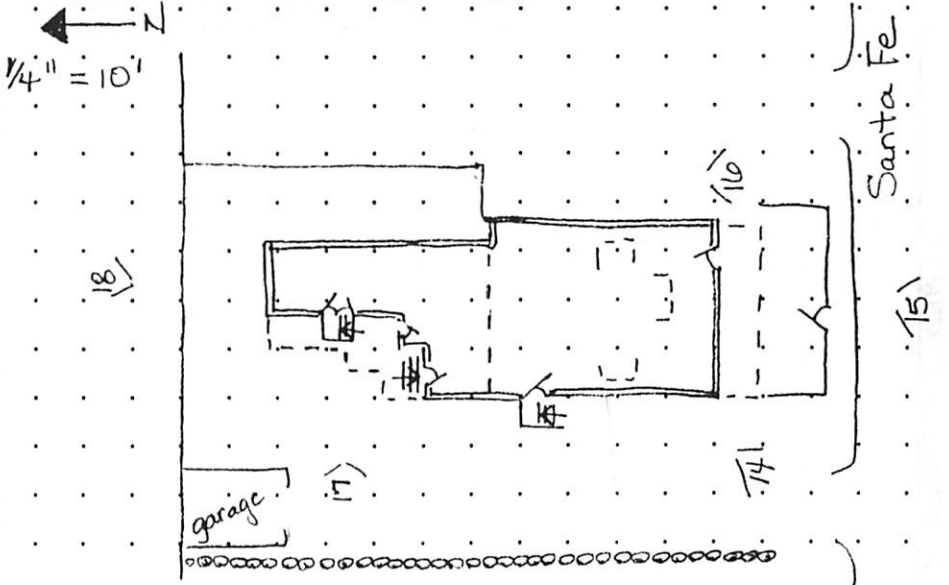



NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1993

IDENTIFICATION	ADDRESS: <u>121 E. Santa Fe</u>	ID NUMBER: <u>051600030</u>
	BUILDING NAME:	
	UTM REFERENCE EASTING NORTHING ZONE <u>12 13</u>	LEGAL DESCRIPTION: TNSP <u>17</u> (N) S RANGE <u>9</u> (E) W SEC <u>25</u> NW 1/4 NE 1/4
FIELD MAP <u>Santa Fe Historic Structures Survey, 1983-85/1992</u>		
DATE OF CONSTRUCTION: ____ ESTIMATE <sup>by</sup> <u>1912</u> ACTUAL		
SOURCE(S) <u>King's map - Salmon Addn. 12-13</u>		
ARCHITECTURAL STYLE: <u>Hipped Box / NM Ver.</u>	PHOTO	#15 south elevation
USE: HISTORIC: <u>residential</u> OTHER _____ PRESENT: <u>residential</u> OTHER _____		
SURROUNDINGS: <u>residential</u>		
RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		
ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO WHAT TYPE? <u>garage</u> IF INVENTORIED, LIST ID NUMBER(S) _____	SITE PLAN	
DEGREE OF REMODELING: ____ MINOR <input checked="" type="checkbox"/> MODERATE ____ MAJOR		
EXPLAIN:		
OVERALL CONDITION: ____ EXCELLENT <input checked="" type="checkbox"/> GOOD ____ FAIR ____ DETERIORATED	SIGNIFICANCE	LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES ____ NO ____ ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING ____ NON-CONTRIBUTING
BUILDING THREATENED? ____ YES <input checked="" type="checkbox"/> NO		LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES ____ NO ____ ELIGIBLE <u>Contributing</u>
		LOCAL DESIGNATION: <u>Don Gaspar</u> HISTORIC DISTRICT <input checked="" type="checkbox"/> SIGNIFICANT ____ CONTRIBUTING ____ NON-CONTRIBUTING LOCAL LANDMARK ____ YES <input checked="" type="checkbox"/> NO

SURVEYED 8/93 BY DB

NEGATIVES WITH NMHPD ROLL # DB8 NEG # 14 TO 18

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION	ROOFS & DRAINS	hipped, asphalt shingle w/ overhang, shaped rafters; metal ridges, roof dormers; corr. metal on rear
	BUILDING WALLS	red brick; rear portion stucco
	FOUNDATIONS	raised, rough-cut stone
	DOORS	front (south) - oval light in wood door, transom in segmental wood opening; carved wood panel; elaborate carved wood; new large-light wood, paired
	WINDOWS	front - trio  w/ leaded upper lights; 1/1 wood DHWs
	PORCHES OR PORTALES	full-facade porch under main roof, south - raised wood floor, tapered wood posts over brick piers
	BALCONIES	
	<del>GARAGE</del> COURTYARDS	stucco with old wood doors, shed roof with wood fascia, boarded single-light window
	FENCES/WALLS	picket fence around front yard
	ARCH. DETAILS	segmental openings, brick arches w/ wood window/door surrounds
	OTHER	side door of original house has been replaced - carved panel door w/ transom over 2/3 of the door - opening changed
	COMMENTS	Large rear addition w/ gable & shed corr. metal roof, stucco walls, NM carpenter detailing - clearly differentiated.

ADDITIONAL PHOTOGRAPHS



west elevation, S end

#14



west elevation, N end

#17

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1993 (concluded)

IDENTIFICATION	ADDRESS	ID NUMBER: 0516 00030
	121 E. Santa Fe	SANTA FE ID NUMBER: H3392
		SURVEYED/RESEARCHED
		DATE 8/93 BY DB



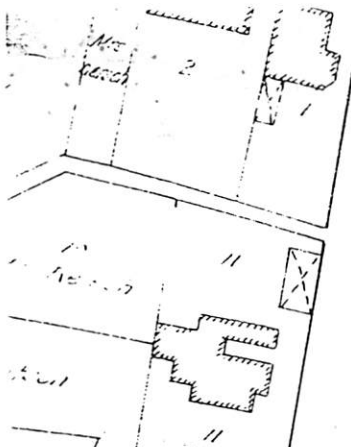
#18 north elevation



#16 east elevation

1912 Kings

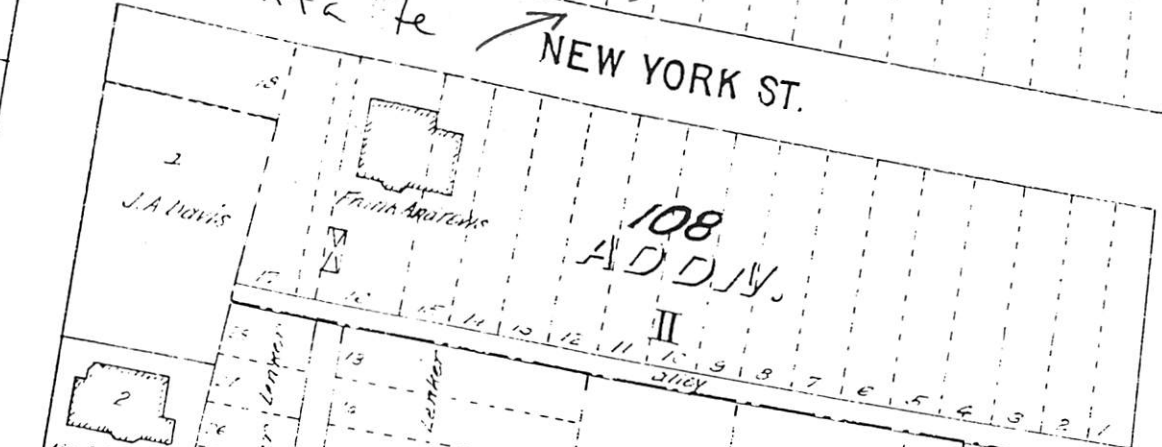
121 E. Santa Fe



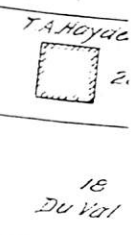
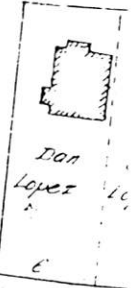
Santa Fe  
NEW YORK ST.

Salman  
H  
Adairton

Petsch

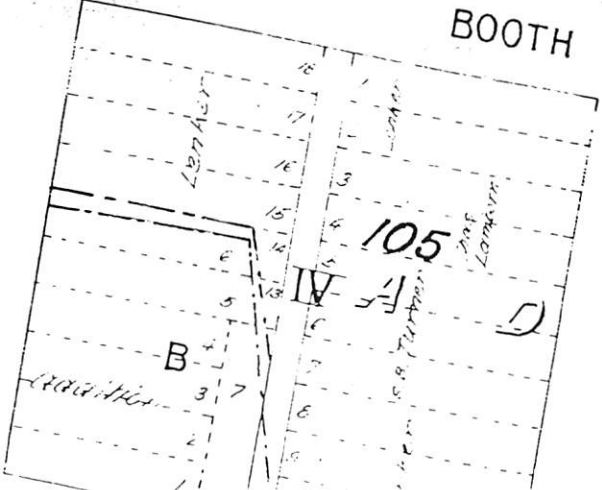


WEBBER



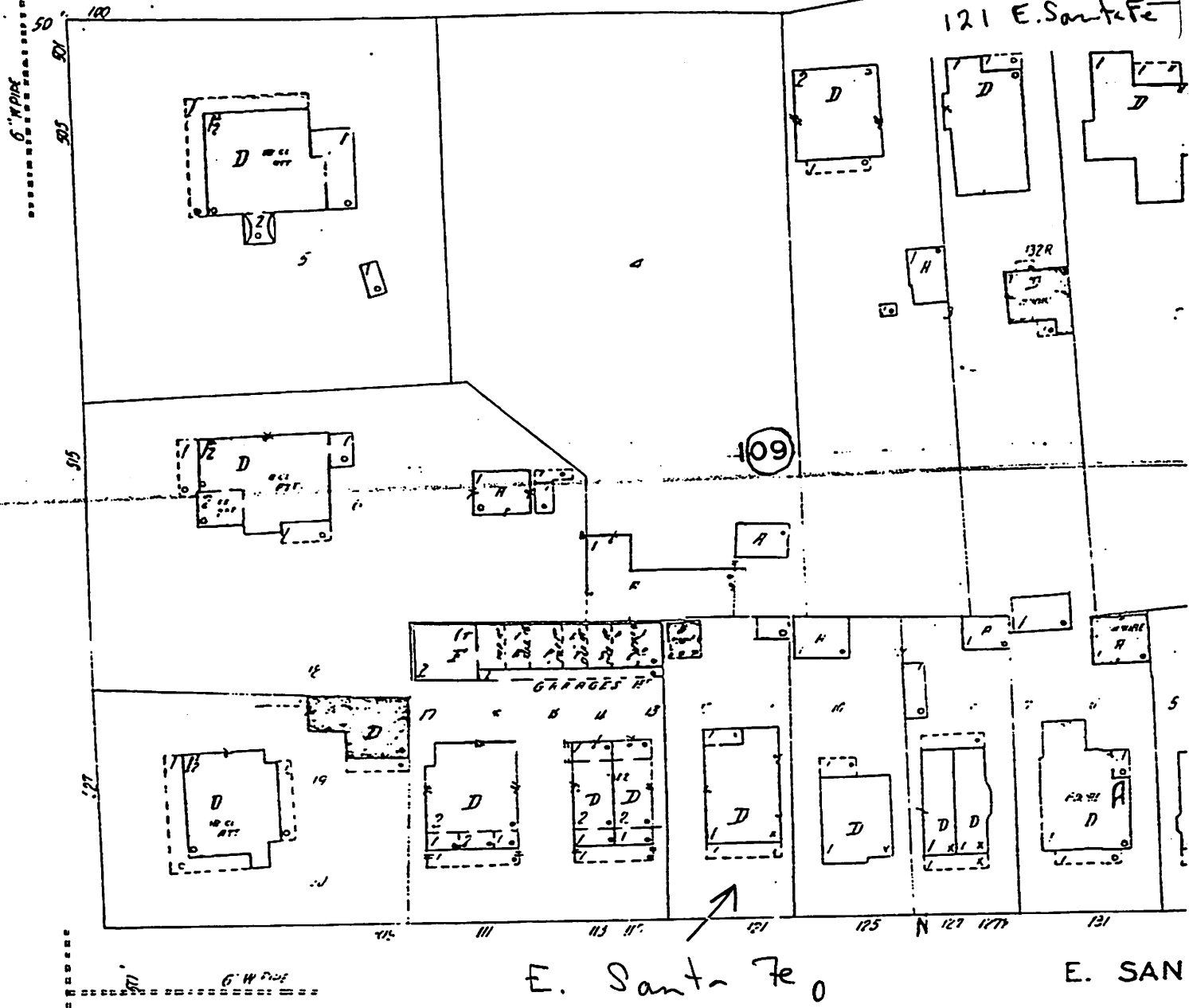
BOOTH

ST



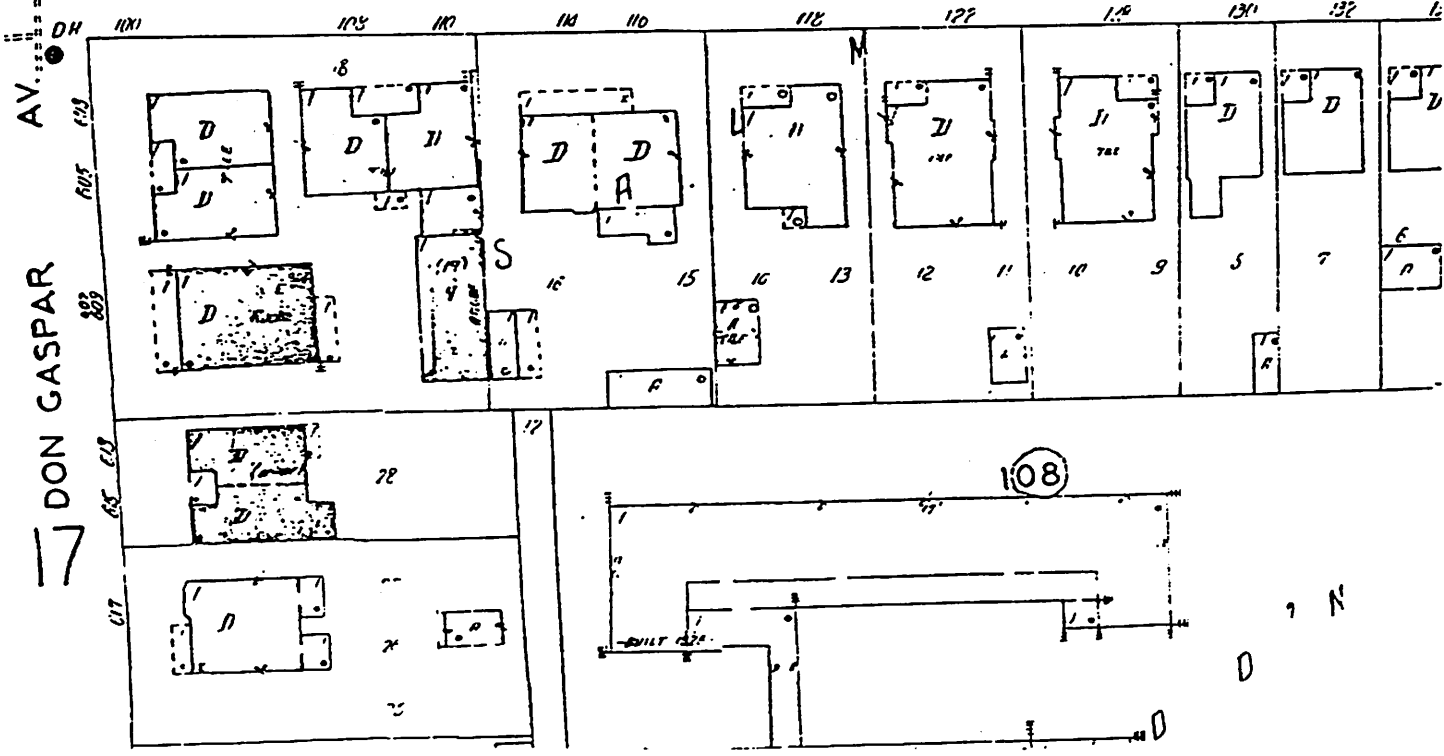
Mrs. H.S. Du Vo

1948 Sanborn  
121 E. Santa Fe



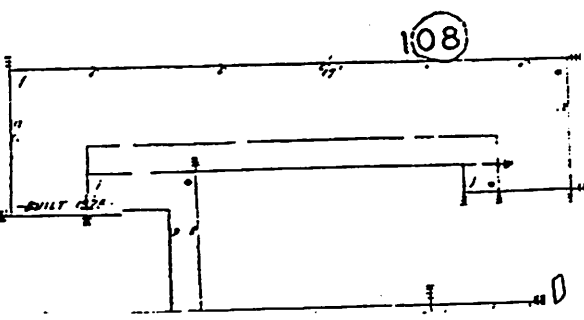
E. Santa Fe

E. SAN



AV.

DON GASPAR



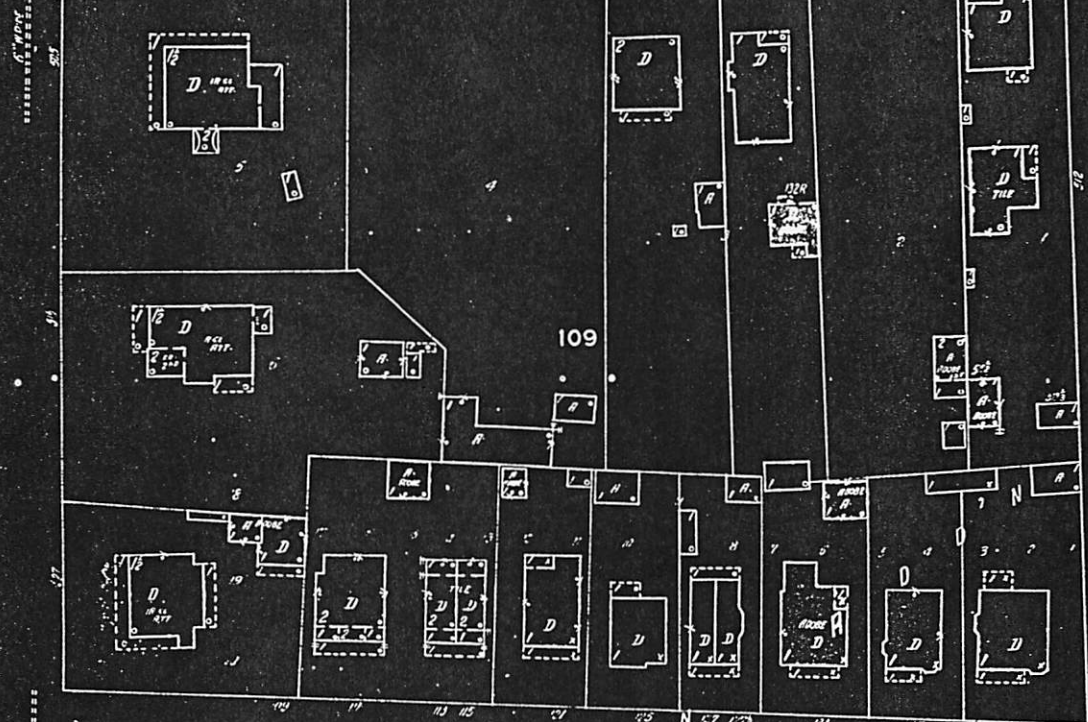
108

1930 Sanborn  
121 E. Santa Fe

18

PALOMA AV

E. MANHATTAN AV.

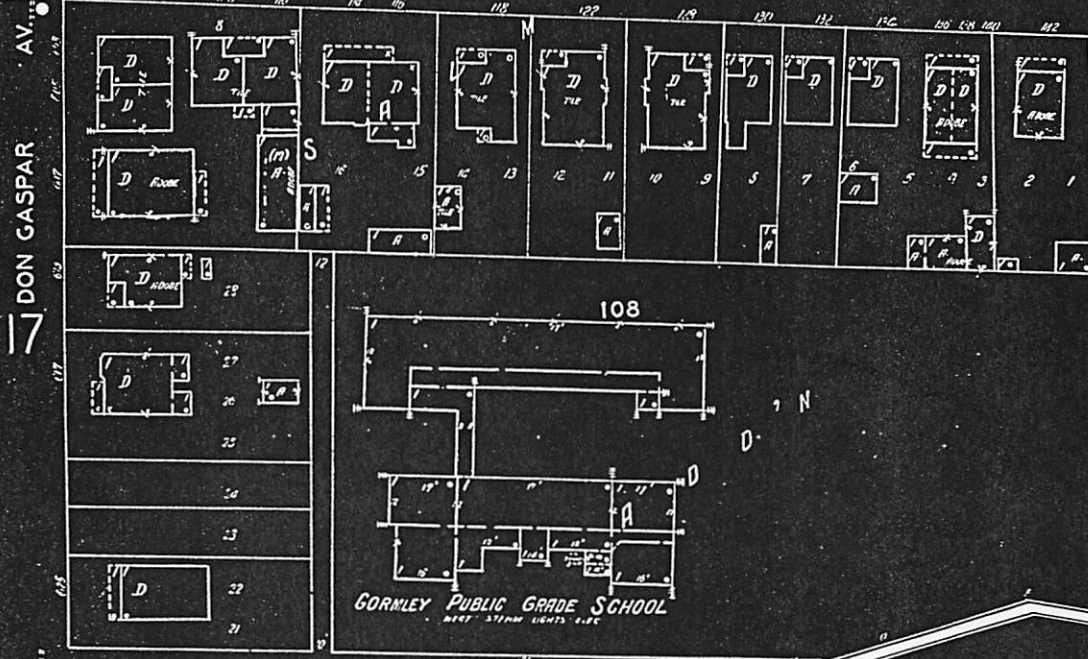


WEBBER

90A

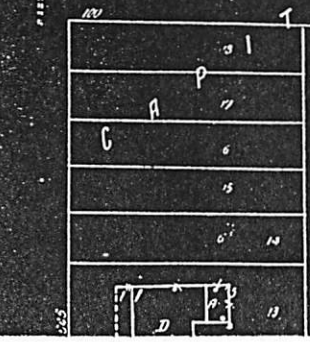
E. SANTA FE AV.

17 DON GASPAR AV.

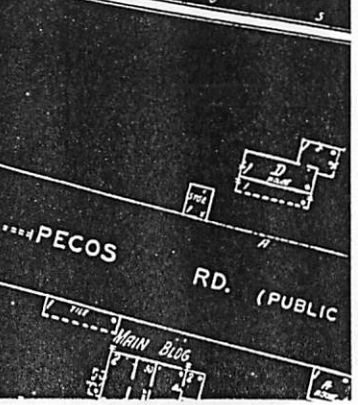
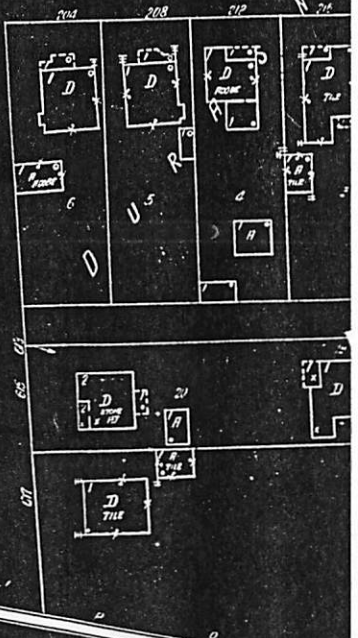


GORNLEY PUBLIC GRADE SCHOOL

E. BOOTH



105



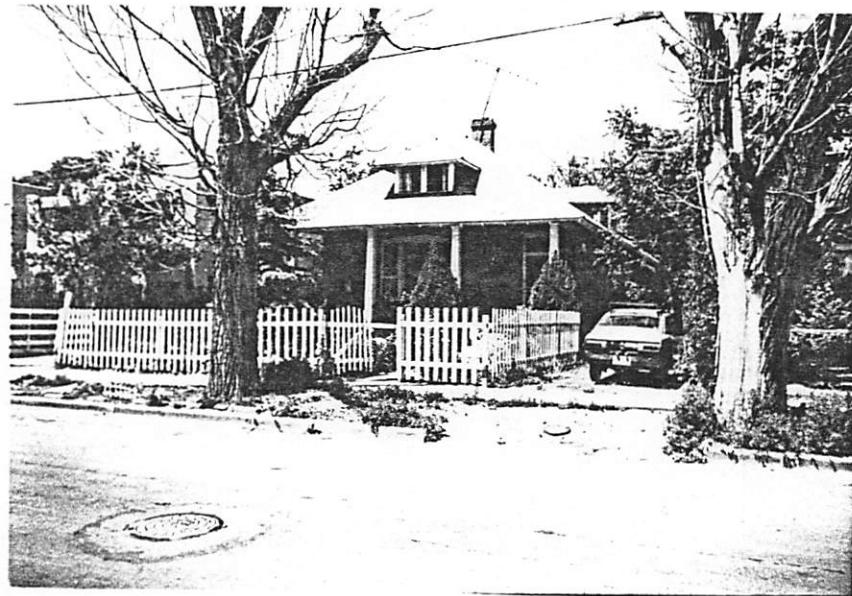
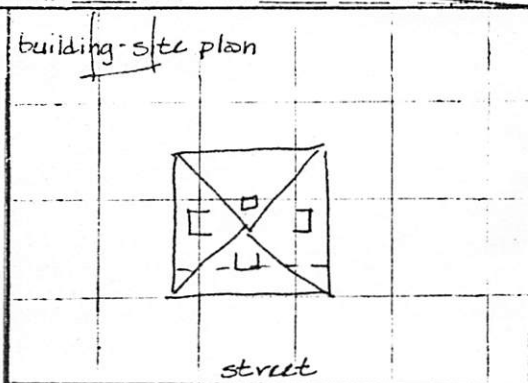
PECOS

RD. (PUBLIC)

MAIN BLDG

building threatened? yes	surveyed date 7-82 by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 30	UTM reference zone 12 13	easting 414920 northing 3947670
location description 121 E. Santa Fe		city/town Santa Fe	
		land grant/reservation	

building name	legal description tnsp N S range E W sec
film roll by E.T. no. 2	negative nos. 14 15
	loc. of neg. City of Santa Fe



date of construction 1900	estimated before 1912 actual
source Kings map	

use present	residential
other	
historic	residential
other	

condition	excellent	good
	fair	deteriorating

degree of remodeling	minor	moderate	major
describe:			

surroundings	yes	
relationship to surroundings	similar	not similar

district potential	yes	no
--------------------	-----	----

significance	significant	contributing
	supporting	intrusive

associated buildings?	yes
what type?	stuccoed garage
if inventoried, list ID nos.	

see back?	yes
-----------	-----

style one Bungalow	foundation material stone
	wall material/surface brick-red

architectural features hip dormers - shingled clapboard porch posts
---

comments slight arches d/A wd triple front window 1936 cd - King ES 1928 cd - Berry FA mgn Bng to Lumber 1912 Kings map - Dunleavy
---



Berry, FA (Ferdinand)  
came to SF in 1927 bought the SF  
Mill & Lumber Co, then organized Big 90  
Lumber  
Dunlavy Mercantile - SFNM 1-13-04  
one of largest firms in State  
JP Dunlavy, Pres  
FE Dunlavy, Sec  
MT Dunlavy, Treas  
est 1903  
1912 - MT Dunlavy - lawyer

ADDRESS: 121 E. Santa Fe

HIST. SURVEY #: 30

(OD = Out of District; M = Moved  
DEM = Demolished; N/A = not a building)

NAME:

**CITY SURVEY**

Area #: 10                      Signif. Status: S

(S = Significant; C = Contributing; NC = Noncontributing)

**REGISTER STATUS (Individual Nominations)**

National: N                      State: N                      State #: N/A

HSFF: N                      HABS: N

(OSFT = To be in forthcoming 4th edition of Old Santa Fe Today.  
Not covered by a more detailed Bulletin article.)

**DOCUMENTATION**

SFHS Inventory: Y

NR Nomination: N/A                      SR Nomination: N/A

HSFF Bulletin: N/A                      HABS Data: N/A

Historic Photos:                      Museum:                      Archives:

Modern Photos:                      MNM:                      SRC:

Surveys:                      Floor Plans:                      Elevations:

Other: Letter from HPD re proposed renovations.

Bibliography:

Comments:



**TONEY ANAYA**  
GOVERNOR

STATE OF NEW MEXICO

OFFICE OF CULTURAL AFFAIRS  
HISTORIC PRESERVATION DIVISION

VILLA RIVERA, ROOM 101  
228 EAST PALACE AVENUE  
SANTA FE, NEW MEXICO 87503  
(505) 827-8320

**THOMAS W. MERLAN**  
DIRECTOR

**JILL Z. COOPER**  
CULTURAL AFFAIRS OFFICER

February 21, 1985

Kathryn O. Bennett  
121 E. Santa Fe Avenue  
Santa Fe, New Mexico 87501

Re: Don Gaspar Historic District (SR #891)  
Dunleavy Berry House  
State Income Tax Application (Form B, Part 1)

Dear Kathryn:

At its February 15, 1985 meeting, the Cultural Properties Review Committee reviewed and approved the State Income Tax Application (Form B, Part 1) for the Dunleavy Berry House with the following conditions:

1. The new railing proposed for the front porch, side porch and steps must be consistent with the late Victorian detailing of the district. A similar design to the examples provided of the neighboring property design will be acceptable. Provide the design for final approval to the State Historic Preservation Division.
2. Proposed new front fencing should be a similar design to the existing picket. To provide a more visual screen, pickets can be placed closer together. Height should be compatible with the historic fencing in the district. Submit the final design for approval to the State Historic Preservation Division.
3. New roofing must be consistent with original. Wood shingles may be acceptable if historic precedence is shown. Match the existing if no historic precedence can be found.

Although all work is approved, the following are the only allowable expenditures for State tax credit:

1. Replacement of missing moldings, sanding and refinishing woodwork, new rear door, new wood flooring on porch, and new door at utility room (new exterior fencing planter, lattice work are not allowable).
2. Patching and repainting plaster (new wallpaper is not allowable).
3. New bathroom sink and spigot (new shower apparatus is not allowable).

4. Replumbing the kitchen cabinet, and new glass for kitchen light.
5. Replaster of the rear is acceptable only on the historic part of the house.
6. Rewiring the house (replacement of fixtures is not allowable).
7. Chimney repair.

Please contact me if you have any questions or need further assistance.

Sincerely,



Barbara Zook  
Architectural Technician

BZ/bc