

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H 26666

building threatened? yes	surveyed date 7/16/85 by HMW	county SANTA FE	ID no. 051613479
field map SFHD # 47	number 479	UTM reference easting zone 12 13 northing	
location description 241 MAYNARD SE CORNER @ DON FELIX		city/town SANTA FE	
building name		legal description tnsp N S range E W sec 1/2 1/2	
film roll by SL no. SFHD 11	negative nos. 36	loc. of neg. HPB	plan shape



date of construction P45 estimate 1984 actual
source
use present residential other historic residential other
condition excellent good fair deteriorating
degree of remodeling minor moderate major
describe:

style	foundation material
architectural features	wall material/surface
comments	

surroundings RESIDENTIAL
relationship to surroundings similar <input checked="" type="checkbox"/> not similar
district potential yes no
significance eligible of <input checked="" type="checkbox"/> none
if eligible, interest why? N-C. DATE
associated buildings? yes what type?
if inventoried, list ID nos.
see back? yes

ARCHITECTURAL History Services

John W. Murphey
Architectural Historian/Researcher/Planner
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San Francisco Bay Area, California
john@archhistoryservices.com
Maryland Business Listing L- 17332974
New Mexico CRS: First Light Consulting, CRS #03-224084-00-8

Sent Via Email

June 27, 2025

Richard Martinez, AIA, NOMA NM
Martinez Architecture Studio PC
P.O. Box 925,
Santa Fe, NM 87504

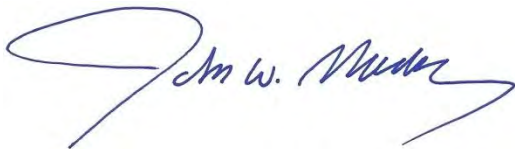
RE: Aerial Photographs Study: 241 Maynard Street, Santa Fe County Parcel # 18500831

Dear Mr. Martinez

Per your request, I reviewed historical aerial photographs to determine the existence of a house at 241 Maynard Street, located on the southeast corner of Maynard and Don Felix Streets. This involved examining aerial imagery spanning from 1935 to 1978. Based on this review, the current structure was constructed after the final available New Mexico Department of Transportation aerial flight in 1978 (see Fig. 5). Throughout the period reviewed, the subject property appears to have remained an undeveloped lot, possibly used for agricultural purposes prior to 1935. A selection of representative aerial photographs follows.

Please let me know if you have any questions.

Thank you,

A handwritten signature in blue ink that reads "John W. Murphey". The signature is fluid and cursive, with a long horizontal stroke at the end.

John W. Murphey
Architectural Historian
Owner, Architectural History Services

Aerial Documentation



Figure 1: 2023 Santa Fe County Assessor satellite image of subject property.



Figure 2: 1935 aerial photograph. United States Soil Conservation Service, NM 133, Sheet # 1009.

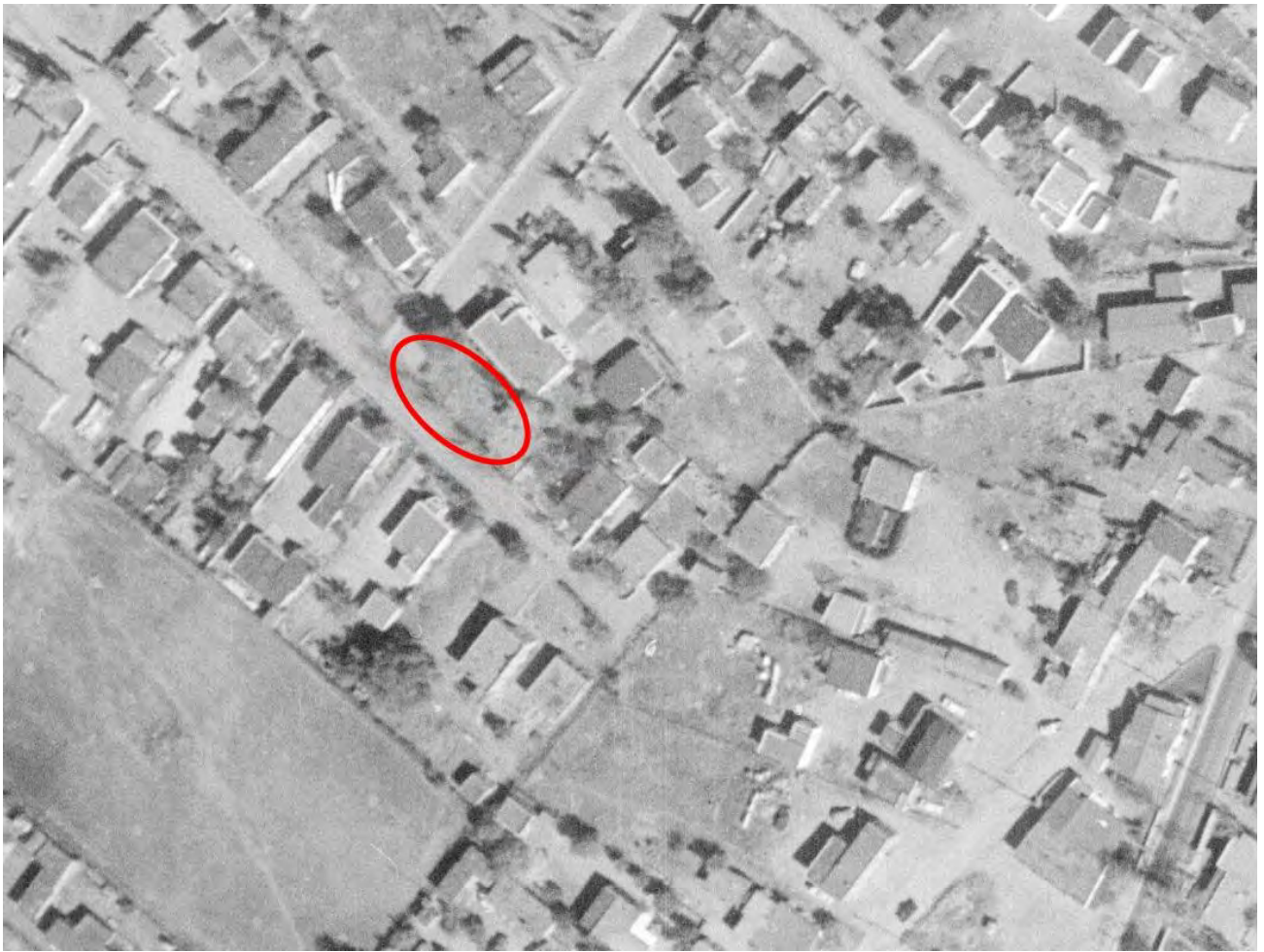


Figure 3: November 10, 1958, New Mexico Department of Transportation.



Figure 4: April 19, 1975, aerial photograph. City of Santa Fe.



Figure 5: September 11, 1978, aerial photograph. New Mexico Department of Transportation.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<p>To Be Completed By Applicant:</p> <p>Date Submitted: July 2, 2025</p> <p>Property Owner of Record: Isaac Montoya & Jacqueline Maestas</p> <p>Applicant/Agent Name: Martinez Architecture Studio PC</p> <p>Contact Person Phone Number: (505) 989 - 4958</p>	<p>Site Address:</p> <p style="text-align: center;">241 Maynard Street</p> <p>Proposed Construction Description: <small>Interior remodel; replace dining room window with door; replace entry double-doors with a single door and add portal; replace bay windows with longer, squared-off bump-out; new roof, add skylights; replace fence with stuccoed wall and wood gate.</small></p> <p>TOTAL ROOF AREA: 1,594 SF</p>
<p>Zoning District: CI-R</p> <p>Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____</p> <p>Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations</p> <p>Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit</p> <p>Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required</p> <p>Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use:</p> <p>Terrain: <input type="checkbox"/> 30% slopes _____</p> <p><small>* Requires an additional review conducted by Technical Review Division. ** Requires an additional review conducted by the Traffic Engineering Division</small></p>	<p>Lot Coverage : 32.4 % <input type="checkbox"/> Open Space Required: N/A</p> <p>Setbacks: Proposed Front: 13'1.5" Minimum: 7'0" 2nd Front? 18'0" Proposed Rear: 20'9" Minimum: 15'0" Proposed Sides: LN/A R 6'0" Minimum: 5'0"</p> <p>Height: Proposed 14'0" Maximum Height: 15'0" or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District</p> <p>Parking Spaces: Proposed 2 Accessible _____ Minimum: 2</p> <p>Bicycle Parking**: Proposed: N/A Minimum: N/A ** Commercial Requirement</p>

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Martinez Architecture Studio PC _____ [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Rut Montoya

July 2, 2025

SIGNATURE

DATE

To Be Completed By City Staff: 2025-010961-PAR

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

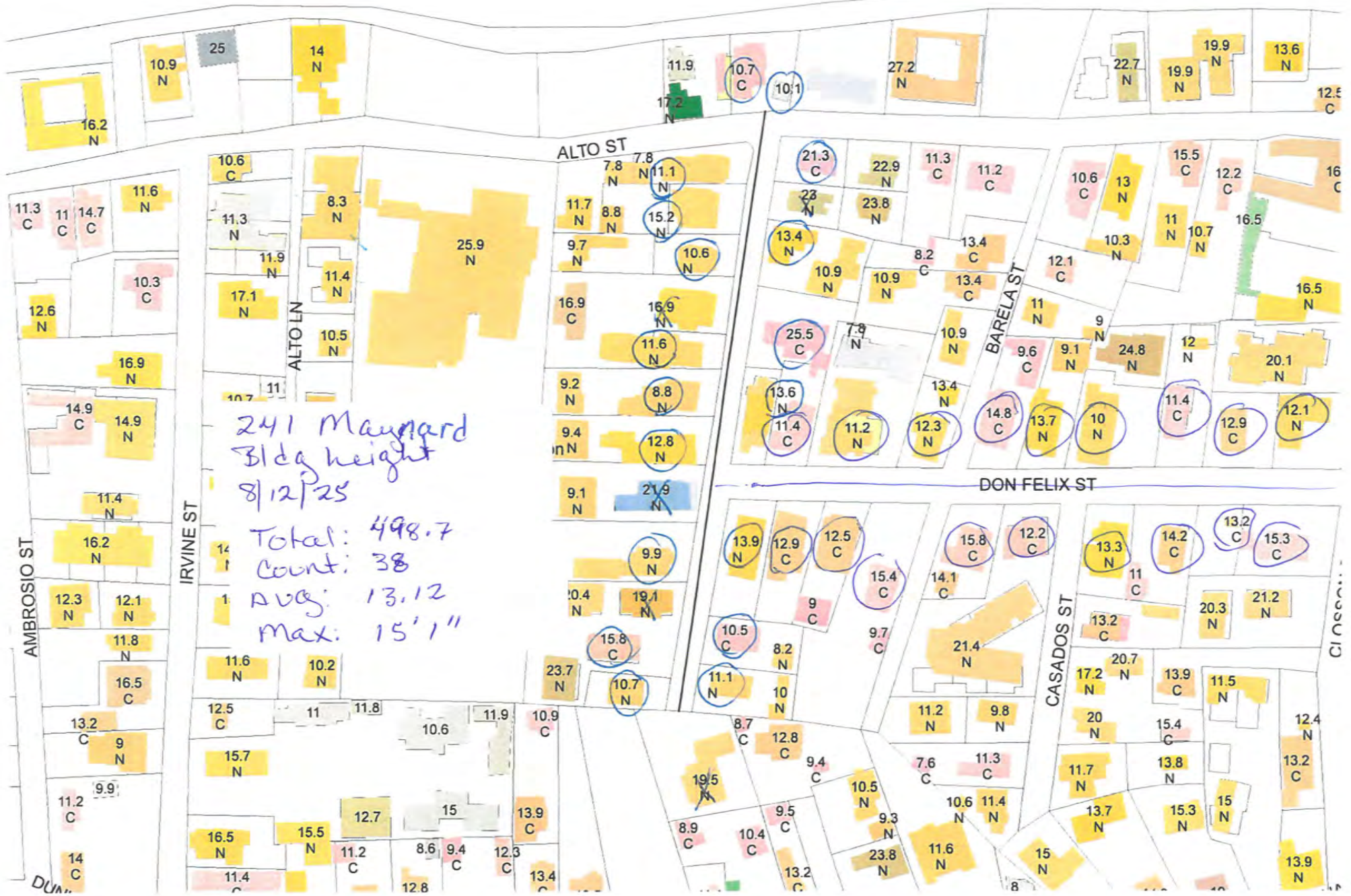
Zoning Approval:
 Preliminary Approval with conditions Rejected

Comments/Conditions: _____

REVIEWER: *Stephanie Perea* 8.6.25

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

W ALAMEDA ST



16.8 N
15.5 N
15.2 N

ALTO ST

DON FELIX ST

BARELA ST

CASADOS ST

IRVINE ST

AMBROSIO ST

DUN...

Circ...

WALL AND FENCE GUIDELINES SANTA FE HISTORIC DISTRICTS

[ADOPTED 24 AUGUST 1999]

Purpose and intent: These guidelines are offered to promote continuity and harmony of design elements that comprise streetscape in the Santa Fe Historic Districts, including, but not limited to walls, fences, open space and landscaping and their connectivity to the primary structures(s) on the property and the physical character of the street or public façade of the property. These guidelines are consistent with the purpose and intent, and standards in the Historic Districts Ordinance [Section 14-70 SFCC 1987].

SCALE:

Walls should not extend for more than 50 feet in a single, horizontal plane without a plane change of at least one foot.

Wall heights should modulate a minimum of 8 inches, or one block course, at least every 25'.

Walls should include openings such as gates, windows and nichos at appropriate intervals.

Walls and fences in excess of 4 feet in height and having street frontage or visibility shall be brought to the HDRB for review and approval prior to submission for building permit review. Where there is a conflict between this guideline and the allowable height as calculated under Section 14-70.20 SFCC 1987, the latter shall prevail. [This supersedes the HDRB's 8/13/96 policy requiring the same for walls or fences in excess of 3 feet in height. It encourages the construction of lower privacy walls that still allow the structure on the site to make a contribution to the streetscape, and provide for a view shed into the property. This is recommended in response to the proliferation of inappropriately high yard walls that have been and are being constructed throughout the city's historic districts, causing an impact on the historic and visual character of the historic districts.]

Wall heights should be carefully regulated by the HDRB standards as calculable for the particular streetscapes [Section 14-70.20 SFCC 1987]; and should be restricted so as not to increase the allowable height for the streetscape by more than 20%.

Solid fences should be stepped back and modulated the same as walls.

Fences with fenestration, such as coyote fences, may continue in an unrestricted horizontal distance at the same height and in the same horizontal plane.

SETBACK:

Unfenestrated walls and fences (e.g. cedar stake, ponderosa slat) should setback from the front property line an average of 1 foot for every 10 feet of horizontal length of the wall. This could be accomplished in a single plane or with step backs as outlined above.

Open fences (e.g. wire and post, picket) or fenestrated fences (e.g. coyote) may be constructed without setback at the front property line, unless otherwise regulated by the underlying zoning.

Walls with openings comprising 20% of the surface area of a single plane may be constructed at the property line, unless restricted by the underlying zoning.

Side or rear walls or fences may be constructed at the property line as per that allowed by the underlying zoning.

Walls or fences within existing compounds should be restricted to privacy barriers to enclose courtyards, parking and private areas; and should be connected to and not extend more than 25 feet from the main structure. However, walls or fences should not be connected to significant structures. Desired connections may be made to significant structures by way of other means [e.g. Landscaping]. These treatments will help maintain traditional compound common elements, such as open space and the ability to communicate with neighbors, and therefore assist in the preservation of the character of existing compounds.

MATERIAL, TEXTURE AND COLOR:

Walls should be predominantly of the same material, texture and color as the main structure(s) to be located on the property, or may be of material indigenous or traditional for the area such as river rock, limestone, flagstone or slate.

Fences should be of the material, texture and color of fences typical of the existing streetscape or design vernacular if applicable to a particular H-District or streetscape.

GATES:

Vehicular gates should be permitted only at entrances to private driveways or compounds and set back in accordance with the underlying zoning.

Vehicular gating of subdivisions or other large-scale developments is strongly discouraged, and may be prohibited [See City of Santa Fe 1999 General Plan].

Gates should be designed to complement the wall or fence treatment containing them with respect to scale, height, material, texture and color. Fenestrated gates should be encouraged as opposed to solid gates.

LANDSCAPING (Suggested Options)

Walls and fences in excess of 50' in length should install landscaping along the exterior façade within the suggested setback or step back.

Landscaping on top of or over a wall is encouraged to provide for additional screening if desired from the interior of the property.

Terracing of walls is encouraged and should be landscaped.

The use of native, drought resistant plant material is encouraged in all wall, fence or terrace landscaping.