

Rosemary Rowell
1341 Upper Canyon Road

AUGUST 1, 2025

Amanda Romero

Historic Senior Planner

Land Use Department

City of Santa Fe(505) 955-6610

Dear Amanda,

Attached, please find HDBR required materials for our application at 1341 Upper Canyon Road.

History

1341 Upper Canyon has long been home to the Gentle Nudge Kindergarten, established 1971, and has recently been converted to residential artist studios as of 2020. Previous to this, the property had been used as a film location, hotel, and dude ranch built approximately 1890.

On the property is a standalone studio/garage space that has been in a state of disrepair for many years. The proposed plans will restore the non-contributing building to a simple studio space, complete with portal and wall surround courtyard. The exterior of the timber frame building is in need of replacement so the attached proposed stucco color options from LaHabra are included for your review and approval.

Subject Property is a 2x6 Wood Framed Building with windows and doors as shown on Plan. Building is Roofed. Interior of building will be sheet rock, textured, and painted. The property will be used as a studio for the owner. It will have an open floor plan. In its prior life the building was a Garage. Building footprint has not been changed. Building sq. ft. is 1056 sq. ft. Lot size is 1.42 Acres, or 61,867 sq. ft. Total lot coverage of Existing Buildings is 14%

Proposed Work

Owner proposes to completely stucco exterior of building using El Rey Stucco in Buckskin.

Build Portals on North Side and East Side of Building, Portal Floor to be concrete.

Complete installation of Exterior Doors.

Installation of 5 exterior lights.

Build a 4' tall garden wall along walkway. CMU construction with matching stucco finish to building.

Clean and gravel Parking Area

Clean and gravel walkway from Parking Area to Eastside entry portal.

Building Statistics

Square footage of building is 1056 Sq. ft.

Height of building is 11'10" Single Level.

Frame: stucco 2x6 frame.

Windows: Wood frame with a painted brown exterior finish, Jeld-Wen documentation attached.

Doors: Double French Door on Northside of building. Natural Wood door, on site in place.

Eastside Exterior Door is on site but not installed.

Propose 5 exterior lights. All fixtures to meet City of Santa Fe Outdoor Lighting Ordinance. Light Fixture Color to be bronze.

Stucco Color to be from El Rey, color to be Buckskin, attached.

Exterior Windows are wood, painted brown finish.

Doors to be natural wood Color Stain.

No Skylights.

Canales to match existing galvanized finish.

Roofing is existing torch down, tan color.

Portal Corbels and Beams Color to match exterior doors, Natural woods stain.

Walkway from parking area will be brown gravel

Mizell

Synchro PM, on behalf of 1341 Upper Canyon Rd

Rowell Portal & Yard Wall
1341 Upper Canyon Road
Santa Fe, New Mexico

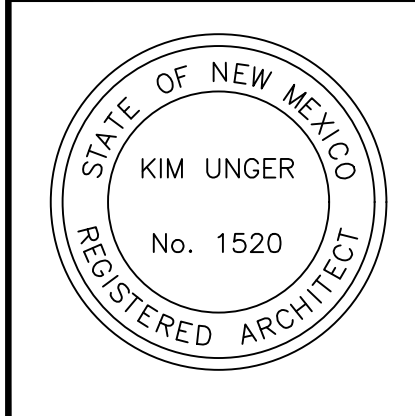
Date: August 25, 2025

Scale: 1" = 20'-0"

Title: Site Plan

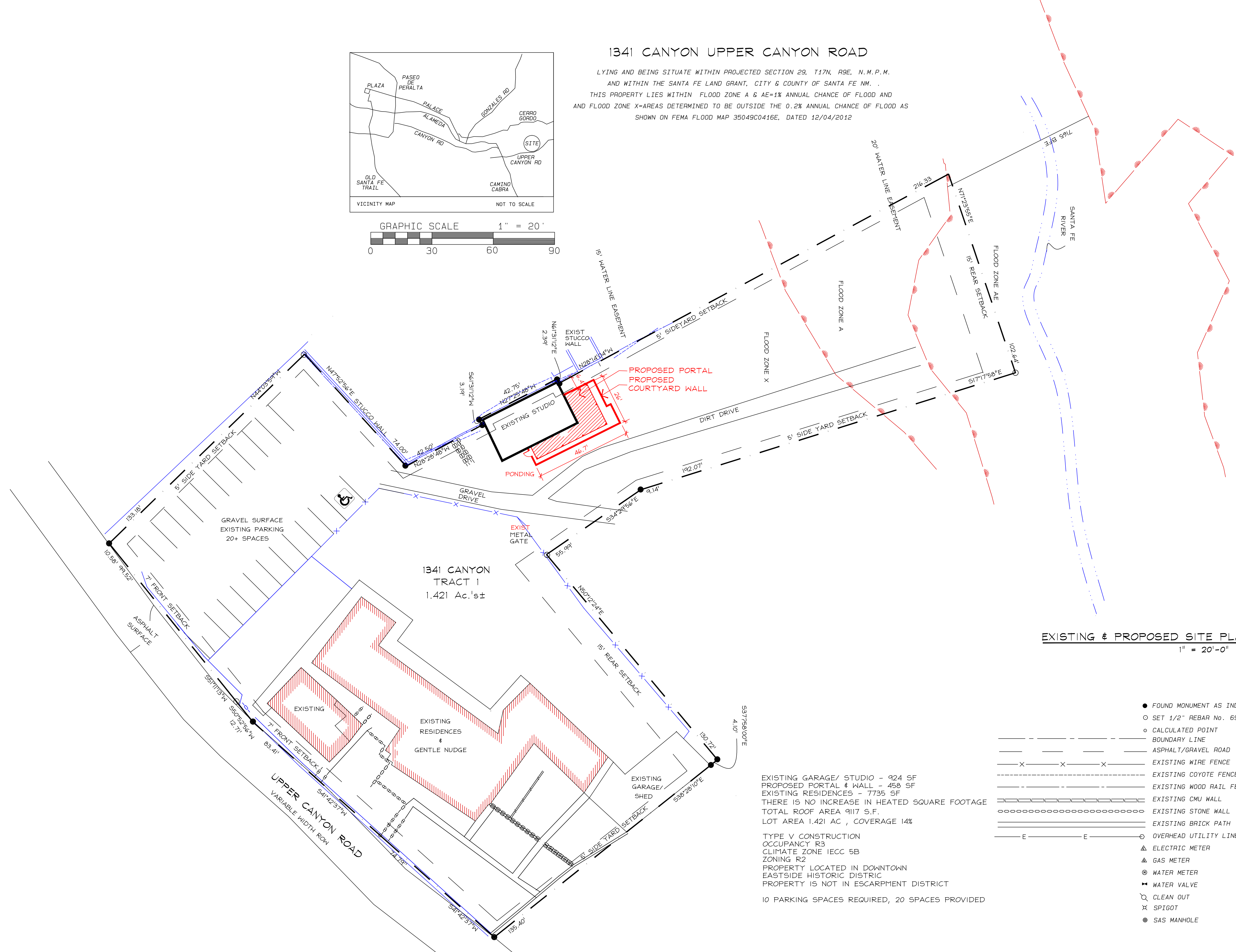
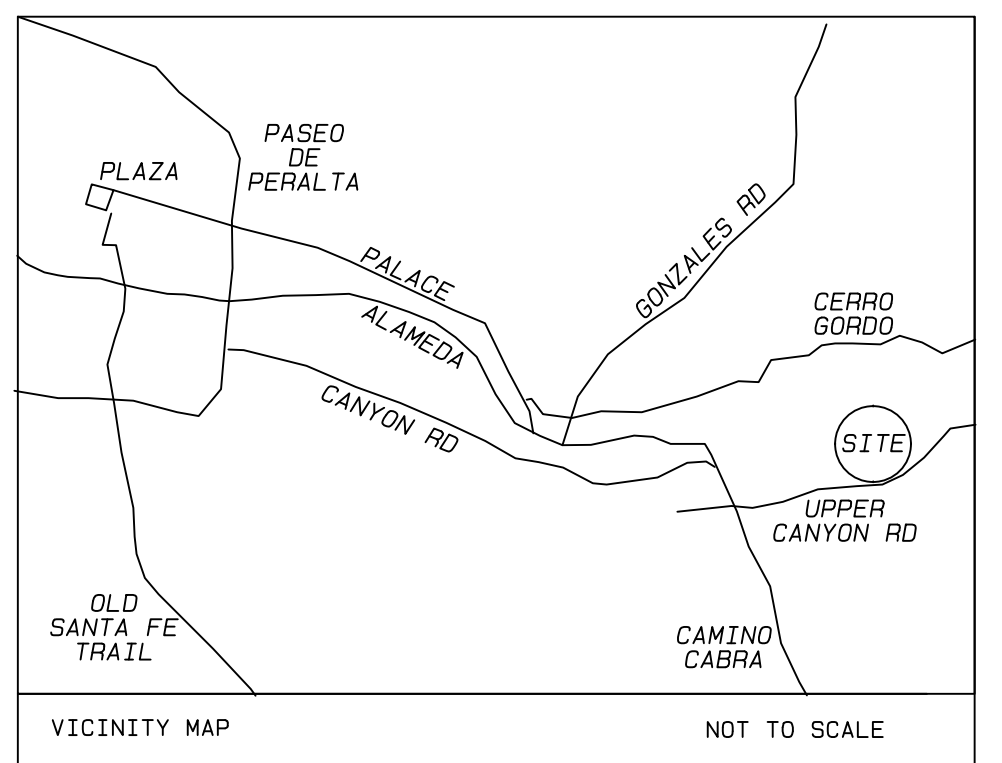
Revision:

HRB SUBMITTAL



1341 CANYON UPPER CANYON ROAD

LYING AND BEING SITUATE WITHIN PROJECTED SECTION 29, T17N, R9E, N.M.P.M.
 AND WITHIN THE SANTA FE LAND GRANT, CITY & COUNTY OF SANTA FE NM.
 THIS PROPERTY LIES WITHIN FLOOD ZONE A & AE=1% ANNUAL CHANCE OF FLOOD AND
 AND FLOOD ZONE X=AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD AS
 SHOWN ON FEMA FLOOD MAP 35049C0416E, DATED 12/04/2012



EXISTING & PROPOSED SITE PLAN
 1" = 20'-0"

EXISTING GARAGE/ STUDIO - 924 SF
 PROPOSED PORTAL & WALL - 458 SF
 EXISTING RESIDENCES - 7735 SF
 THERE IS NO INCREASE IN HEATED SQUARE FOOTAGE
 TOTAL ROOF AREA 9117 S.F.
 LOT AREA 1.421 AC , COVERAGE 14%

TYPE V CONSTRUCTION
 OCCUPANCY R3
 CLIMATE ZONE IECC 5B
 ZONING R2
 PROPERTY LOCATED IN DOWNTOWN
 EASTSIDE HISTORIC DISTRICT
 PROPERTY IS NOT IN ESCARPMENT DISTRICT

10 PARKING SPACES REQUIRED, 20 SPACES PROVIDED

- FOUND MONUMENT AS INDICATED
- SET 1/2" REBAR No. 6998
- CALCULATED POINT
- BOUNDARY LINE
- ASPHALT/GRAVEL ROAD
- x-x-x- EXISTING WIRE FENCE
- EXISTING COYOTE FENCE
- EXISTING WOOD RAIL FENCE
- EXISTING CMU WALL
- EXISTING STONE WALL
- EXISTING BRICK PATH
- E --- OVERHEAD UTILITY LINE & POLE
- ▲ ELECTRIC METER
- ▲ GAS METER
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ CLEAN OUT
- ⊙ SPIGOT
- SAS MANHOLE

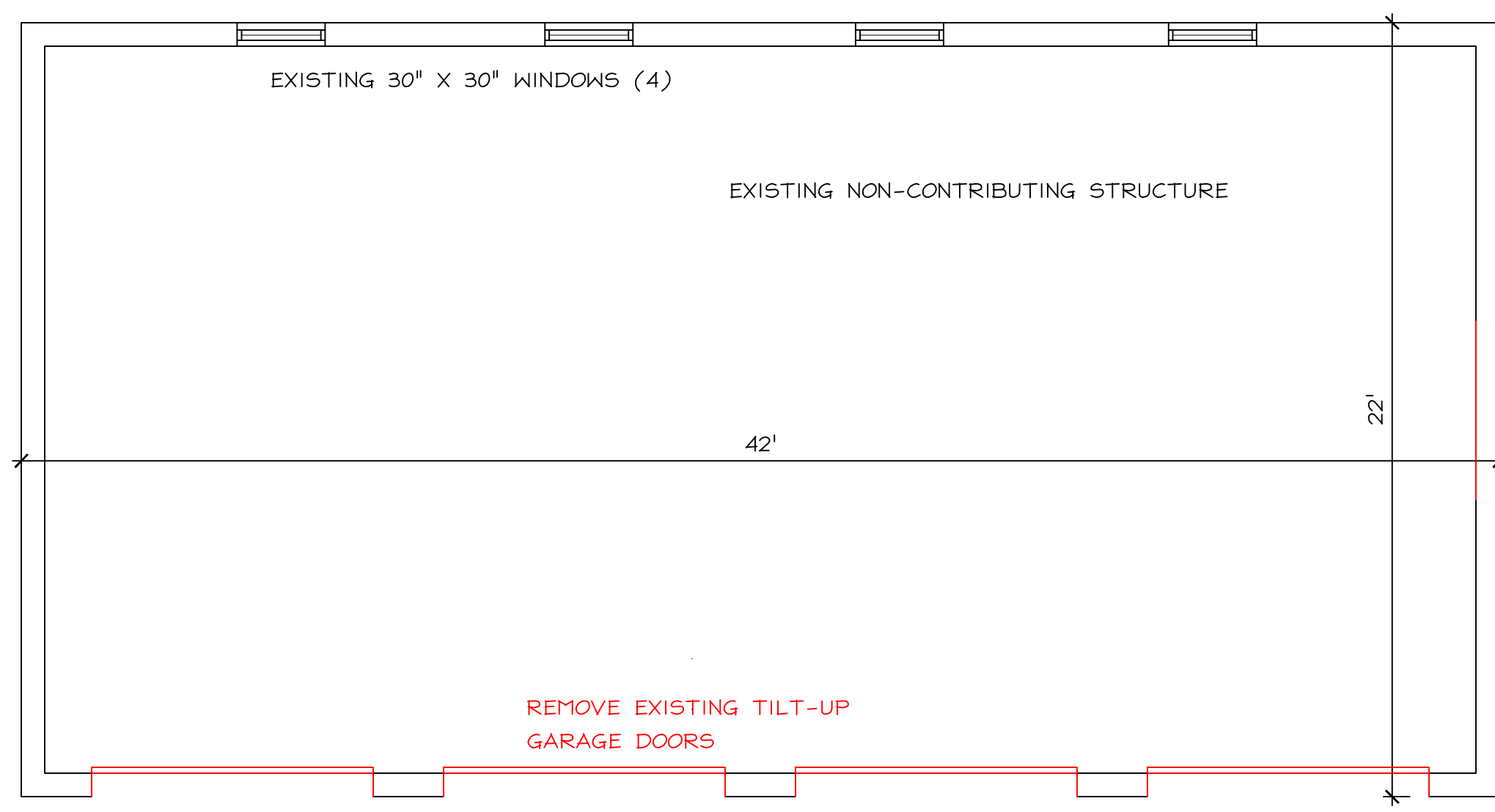
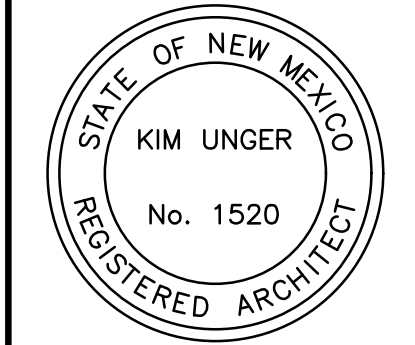
Date: August 15, 2025

Scale: 1/4" = 1'-0"

Title: Floor Plan

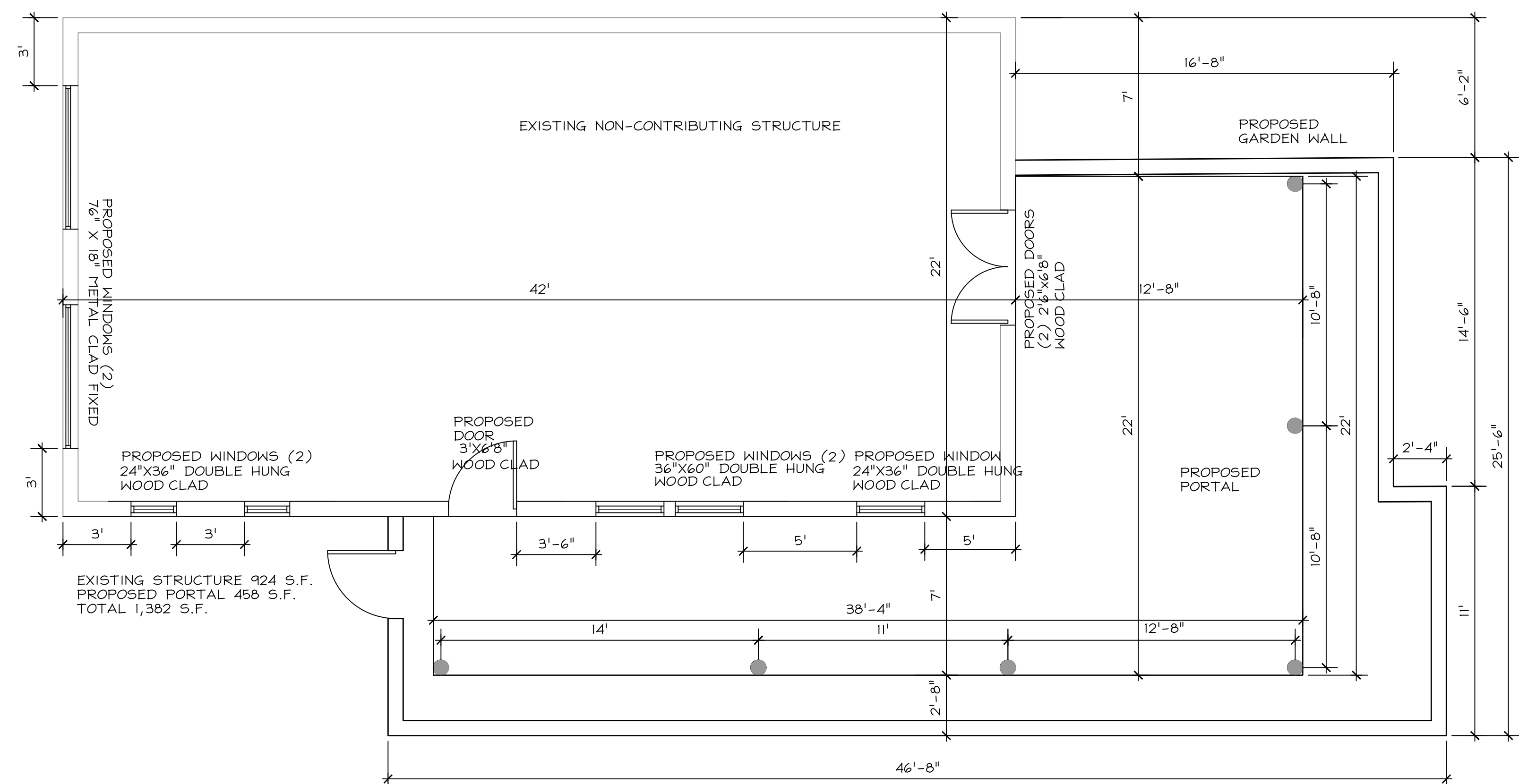
Revision:

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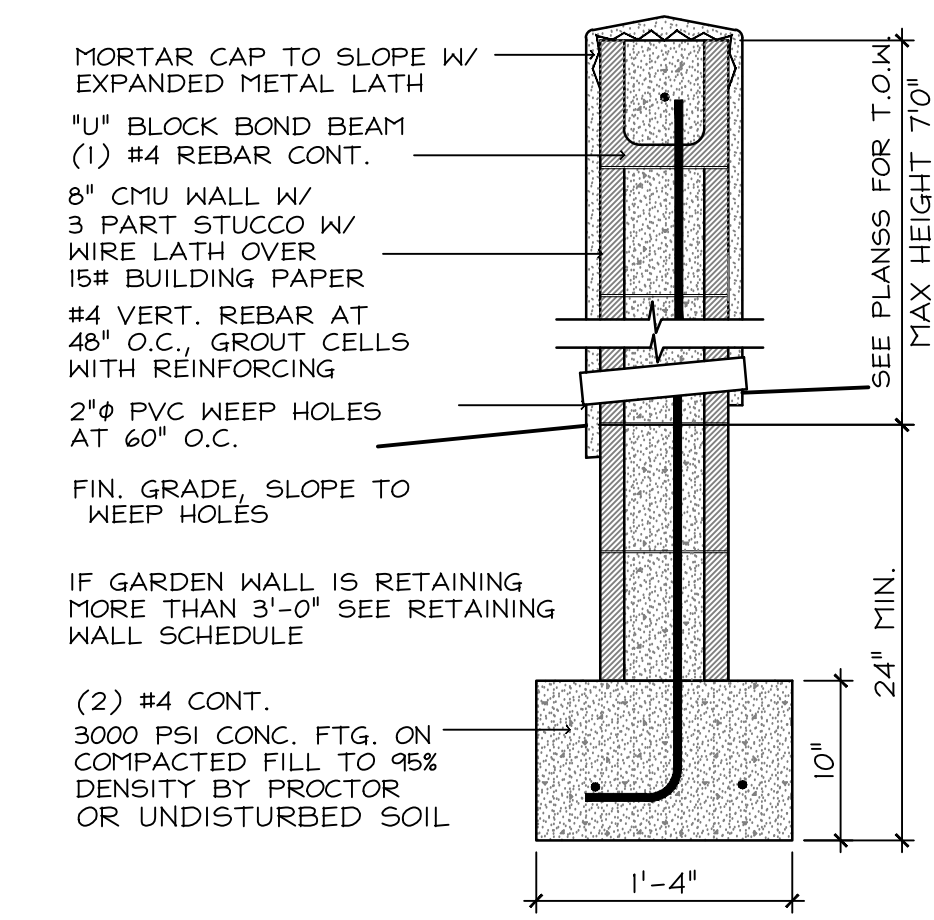
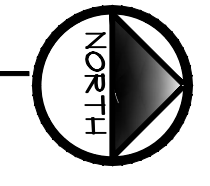
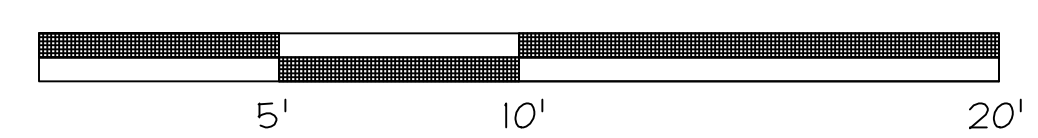
EXISTING FLOOR PLAN

1/4" = 1'-0"



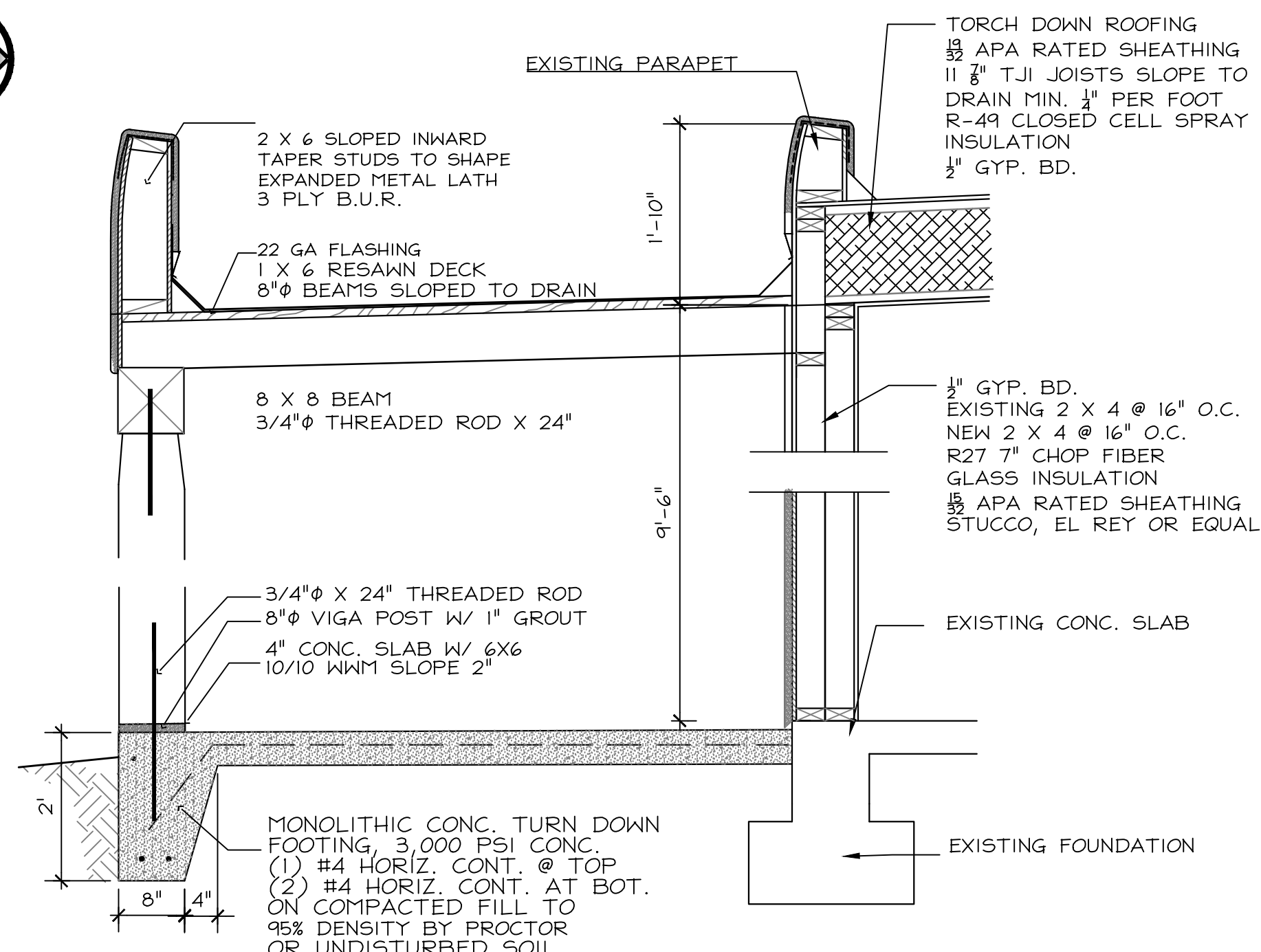
PROPOSED FLOOR PLAN

1/4" = 1'-0"



PROPOSED COURTYARD WALL

1" = 1'-0"

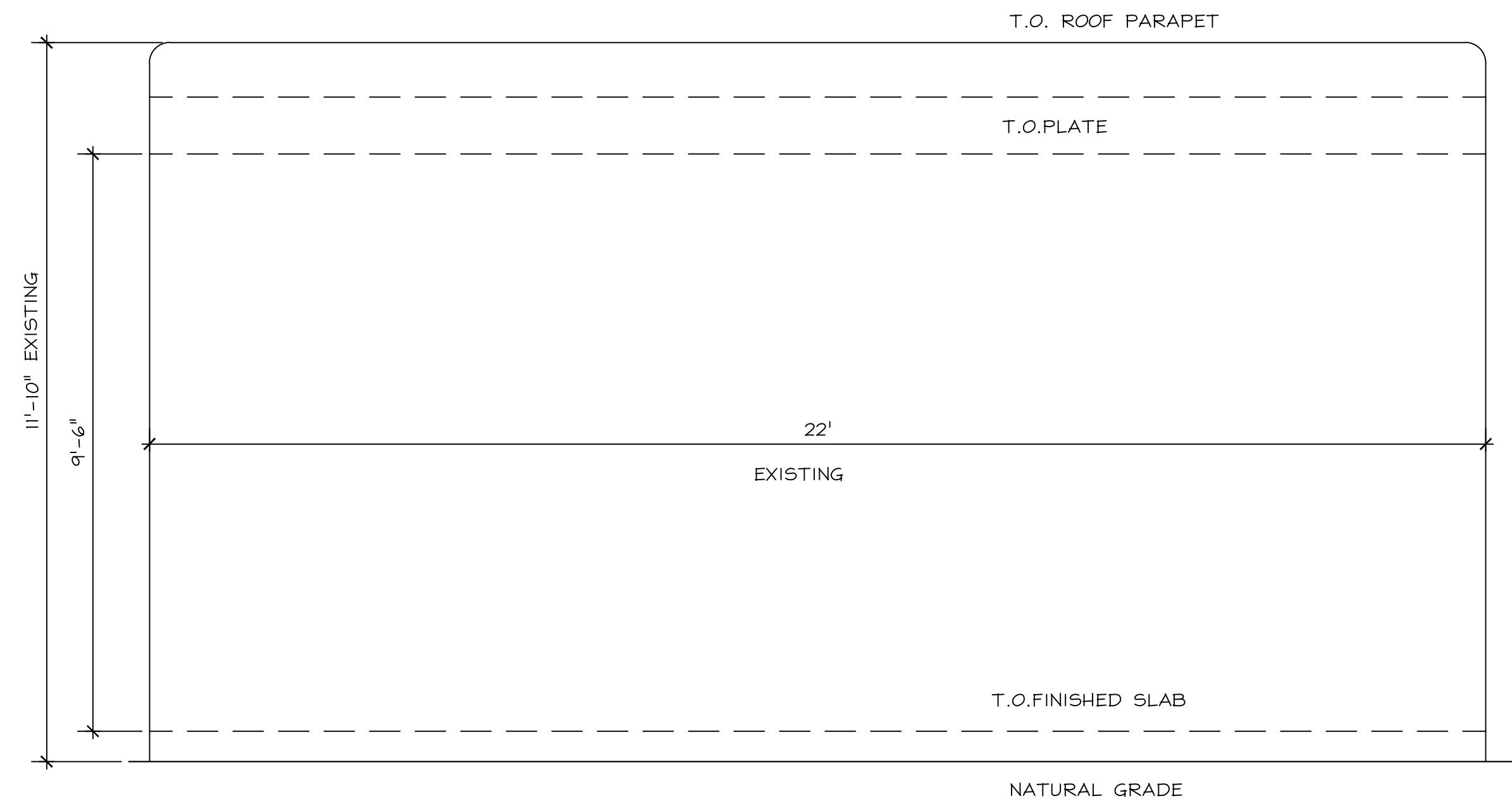


PROPOSED PORTAL SECTION

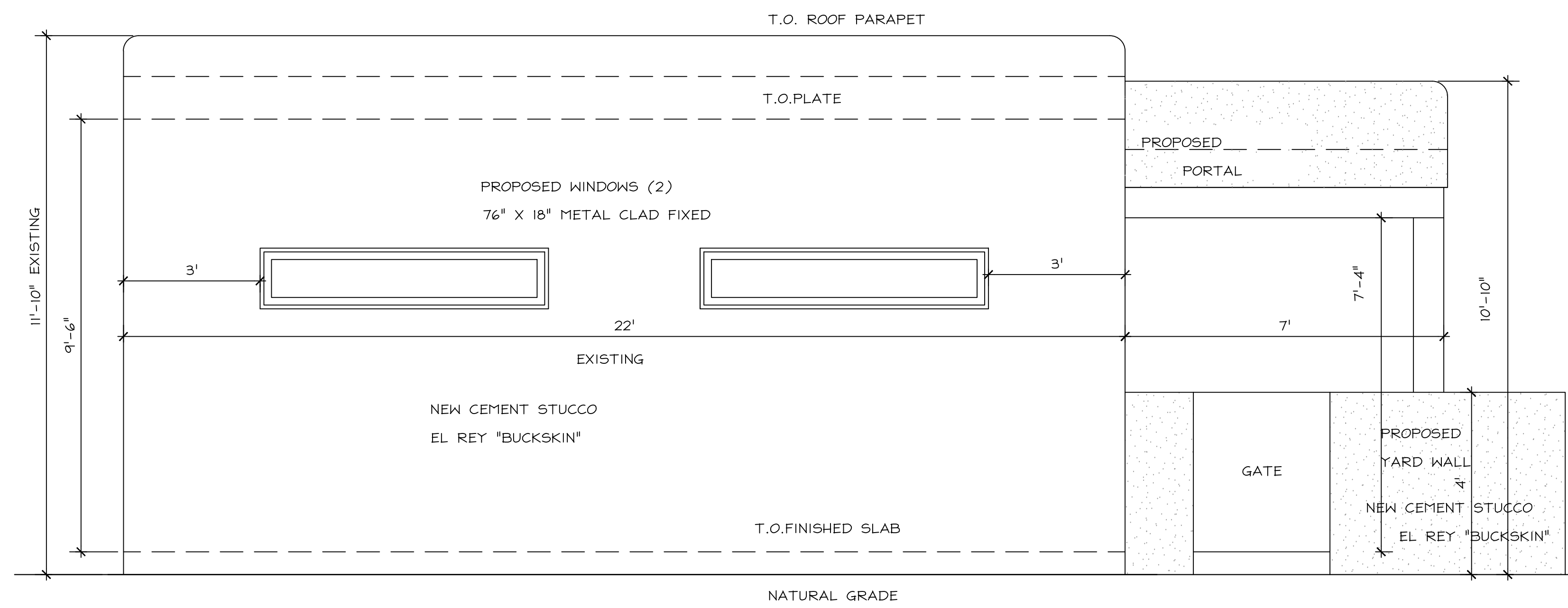
3/4" = 1'-0"

EXISTING TYP. WALL SECTION

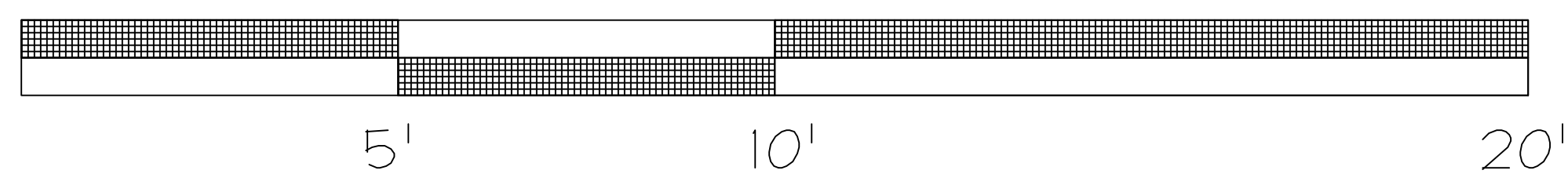
3/4" = 1'-0"



EXISTING SOUTH ELEVATION
 1/2" = 1'-0"



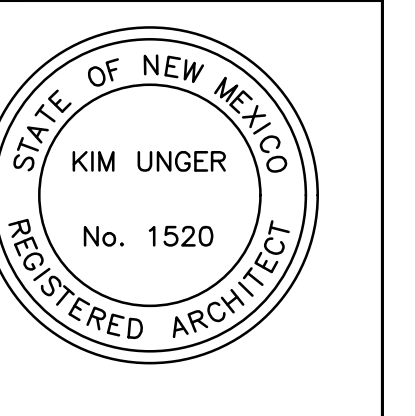
PROPOSED SOUTH ELEVATION
 1/2" = 1'-0"



UNGER ASSOCIATES ARCHITECTS PC
 P.O. BOX 23115
 SANTA FE, NM 87502
 505-984-1095

Rowell Portal & Yard Wall
1341 Upper Canyon Road
Santa Fe, New Mexico

Date: August 25, 2025
 Scale: 1/4" = 1'-0"
 Title: Elevations
 Revision:
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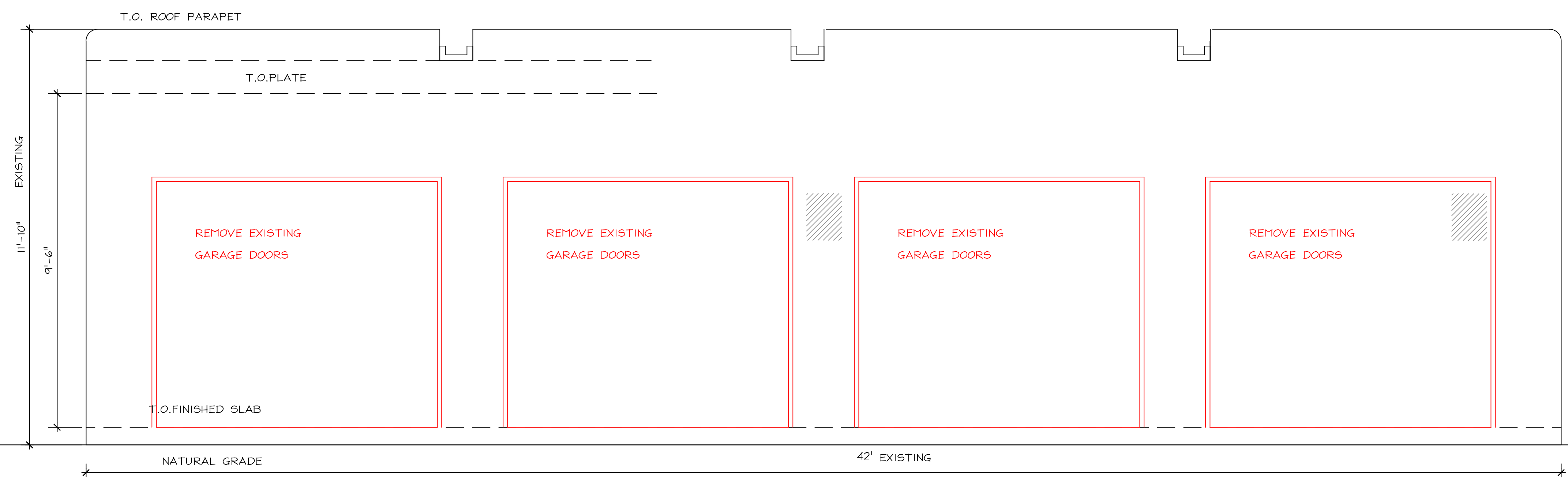
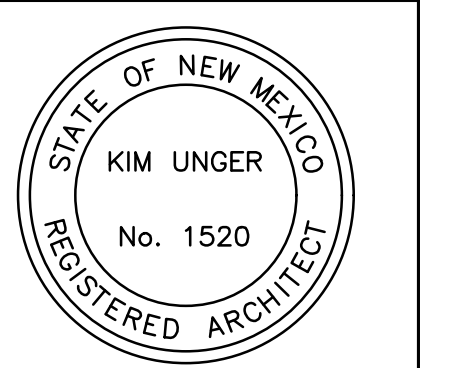
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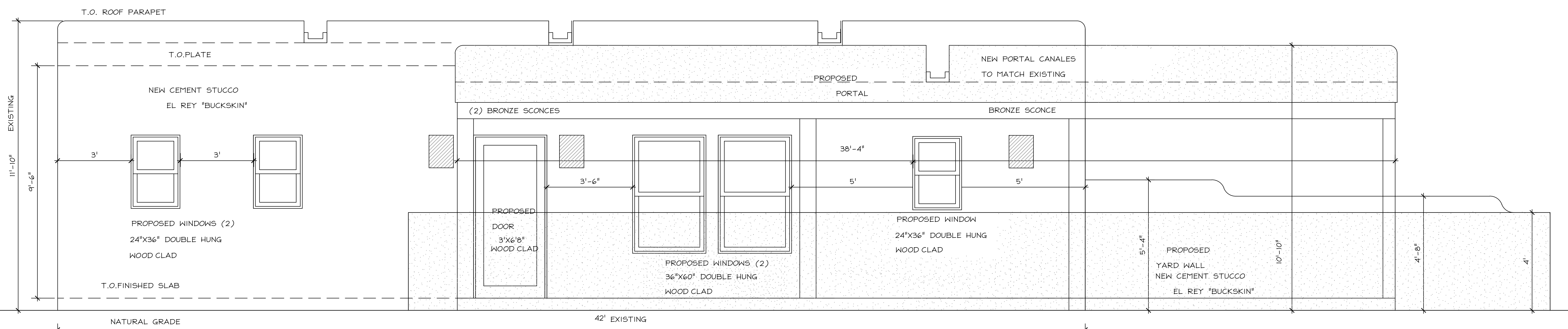
Title: Elevations

Revision:

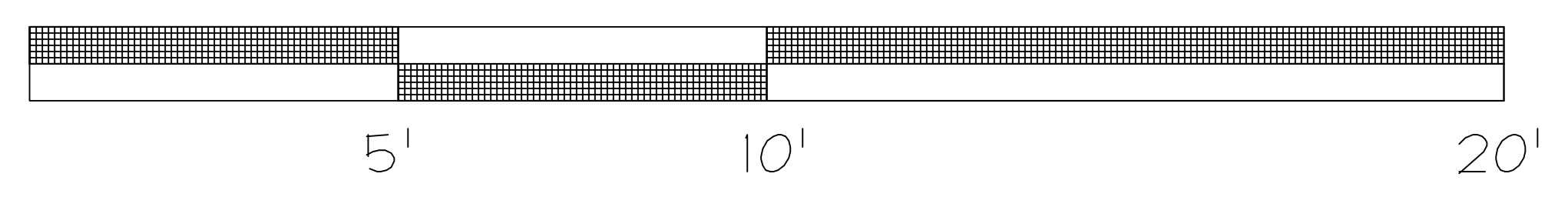
HRB SUBMITTAL

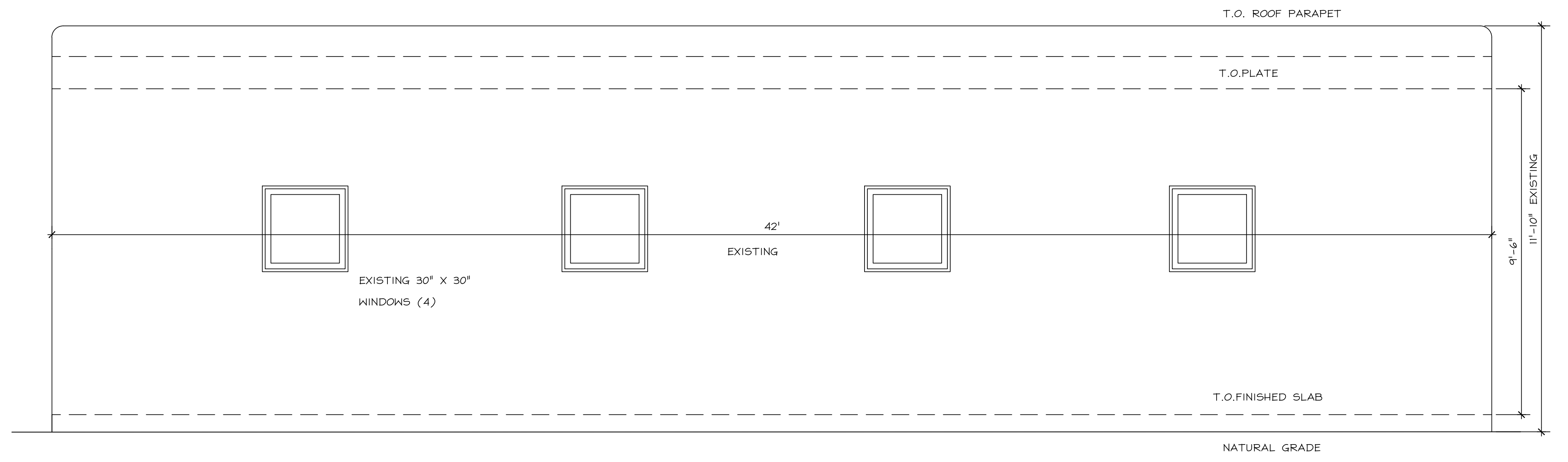


EXISTING EAST ELEVATION
1/2" = 1'-0"



PROPOSED EAST ELEVATION
1/2" = 1'-0"

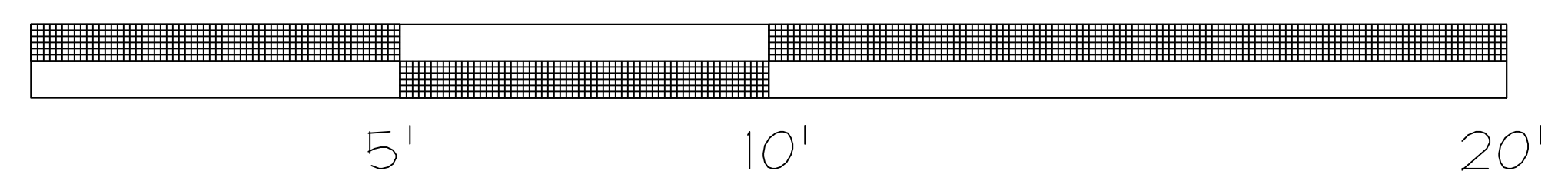


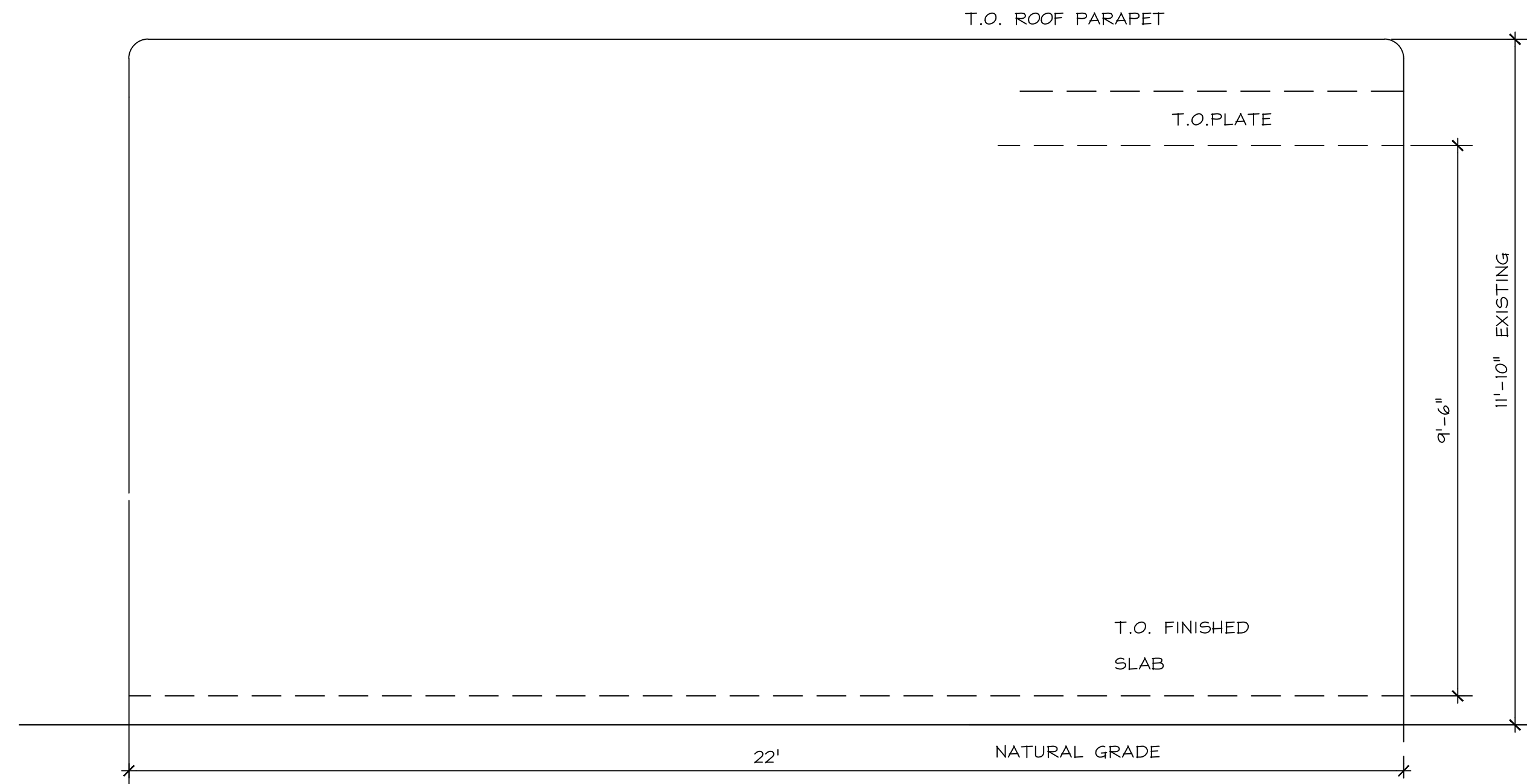


EXISTING WEST ELEVATION
 1/2" = 1'-0"



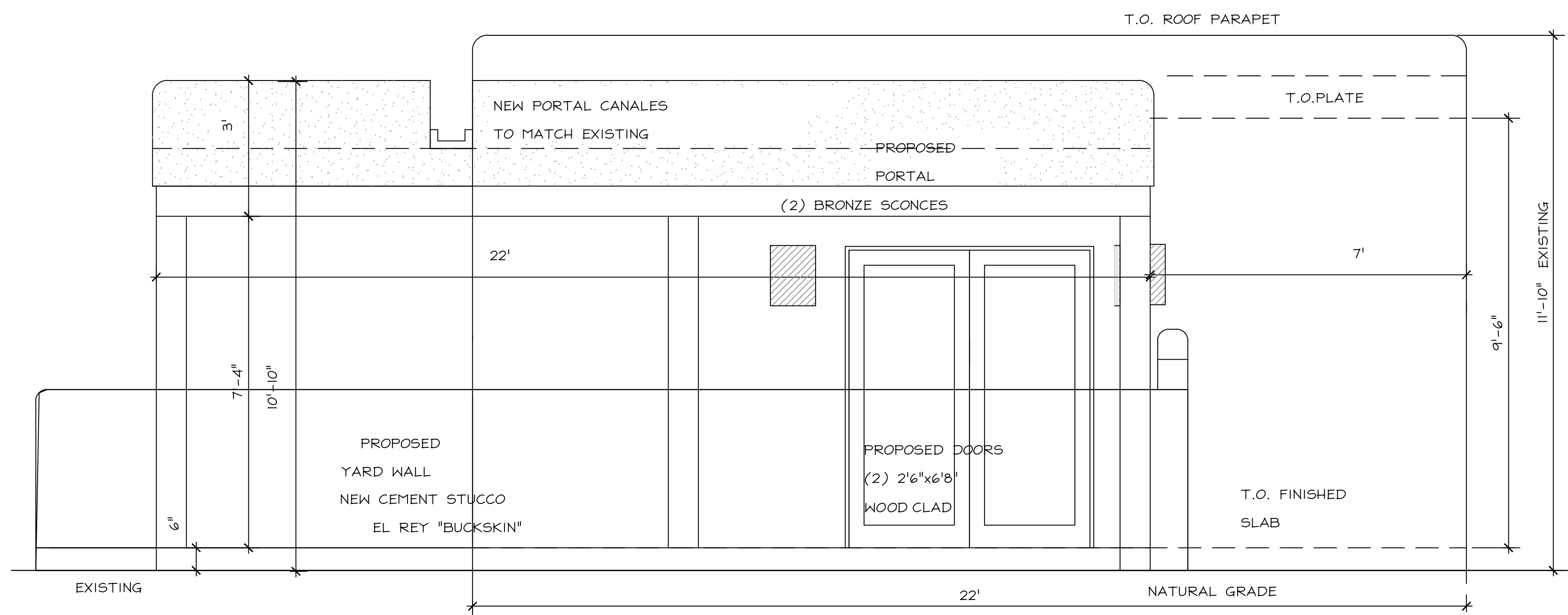
PROPOSED WEST ELEVATION
 1/2" = 1'-0"





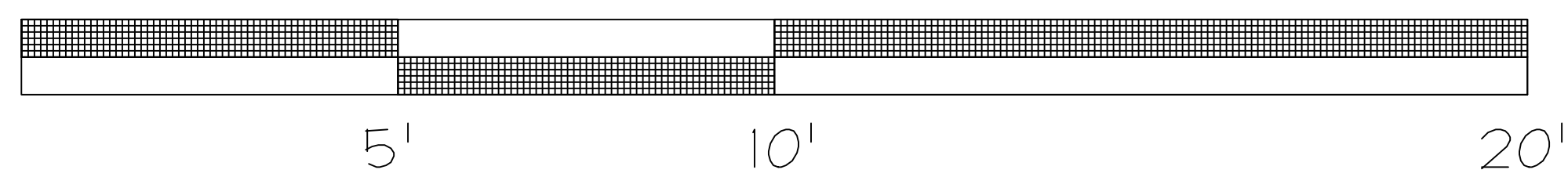
EXISTING NORTH ELEVATION

1/2" = 1'-0"



PROPOSED NORTH ELEVATION

1/2" = 1'-0"



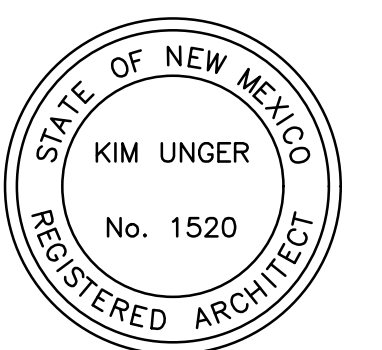
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Color Charts

- + Specifications
- + Details
- + Warranty
- + Tech Support
- + Literature
- + Color Charts
- + Textures
- + **Green/LEED**

*COLOR SELECTED TO MATCH EXISTING COLOR

Premium Stucco Finish Colors

Cameo 102 (67)	Colonial White 100 (76)	Madera 212 (24)	Candlelight 90 (75)	Hacienda 127 (52)
Cream 128 (70)	Ivory 129 (70)	La Morena 197 (19)	Soapstone 30 (66)	Fawn 117 (45)
Palomino 119 (55)	Navajo White 101 (71)	Sandalwood 121 (56)	Straw 122 (42)	Buckskin 106 (35)
Kokanee 108 (54)	Sand 103 (52)	Denim 107 (44)	Sahara 135 (35)	Adobe 116 (24)
Suede 118 (38)	Bamboo 105 (47)	Ash 110 (64)	Soft Rose 80 (60)	Cottonwood 115 (32)
Desert Rose 114 (39)	Pueblo 130 (53)	La Luz 125 (20)	Coral 124 (35)	Dove Gray 113 (50)

Stucco is the best value and the most efficient wall finish available. It is a tried and true finish with a proven long-term and well documented history. Providing a variety of textures, beauty, durability, and fire-resistance properties, portland cement stucco is the obvious choice for your home.



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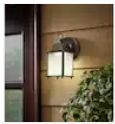
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- Integrated LED produces 350 Lumens of light (40W equivalence)
- [View More Details](#)

Fixture Color/Finish: Satin Bronze





A closer look at the coyote fence from the start of the driveway.



The subject studio behind the trees, not visible from the street due to elevation changes, 1301 adobe-esque wall, and foliage.



Front elevation looking west at the subject studio. Simple double hung windows replace the decrepit garage doors and a single entrance door to the artist studio.



The North elevation will have a pair of French doors opening to the proposed portal and CMU/stucco wall courtyard. The 1301 CMU wall on the zero lot line will be covered in stucco to match.

CLEAR OPENING LAYOUTS

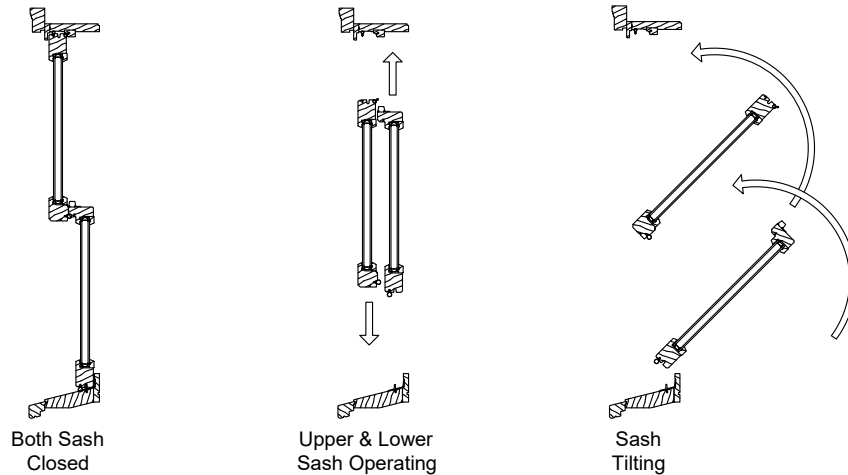
Clear Opening Options

Double-Hung (Even Divide)
 Width = Frame Width - 3 3/4"
 Height = (Frame Height / 2) - 2 27/32"

Cottage Double-Hung
 Width = Frame Width - 3 3/4"
 Height = (Frame Height / 2) - 8 5/32"

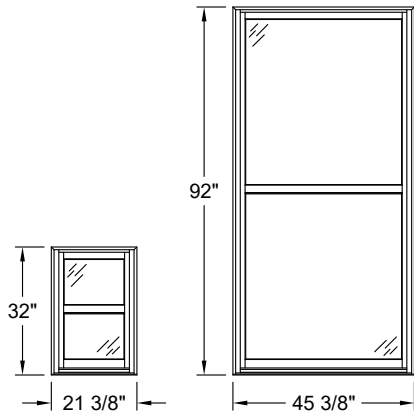
Reverse Cottage Double-Hung
 Width = Frame Width - 3 3/4"
 Height = (Frame Height / 2) - 7 29/32"

Siteline® Wood Double-Hung windows feature fully operating upper and lower sash which can be tilted or removed for easy cleaning.



MIN-MAX STANDARD SIZING

Operator Rectangle Units



Minimum Size: 21 3/8" x 32"
Maximum Size: 45 3/8" x 92"

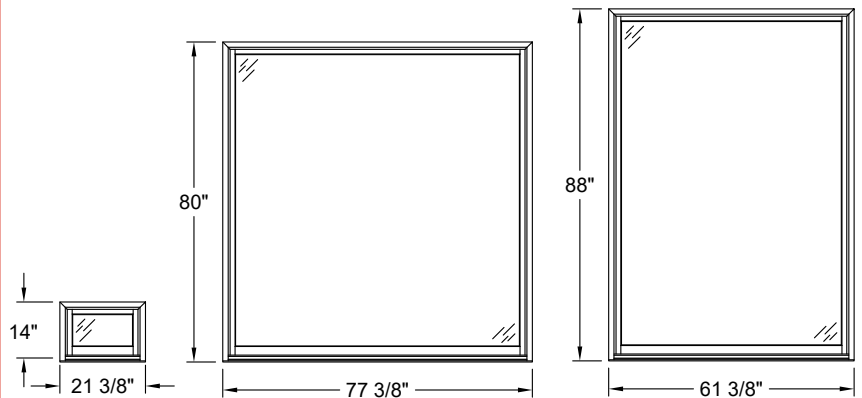
Standard Widths

21 3/8"	25 3/8"	29 3/8"	31 3/8"	33 3/8"
35 3/8"	37 3/8"	41 3/8"	45 3/8"	

Standard Heights

32"	36"	40"	44"	48"
52"	56"	60"	64"	68"
72"	76"	80"	88"	92"

Stationary Rectangle Units



Minimum Size: 21 3/8" x 14"
Maximum Width Size: 77 3/8" x 80"
Maximum Height Size: 61 3/8" x 88"

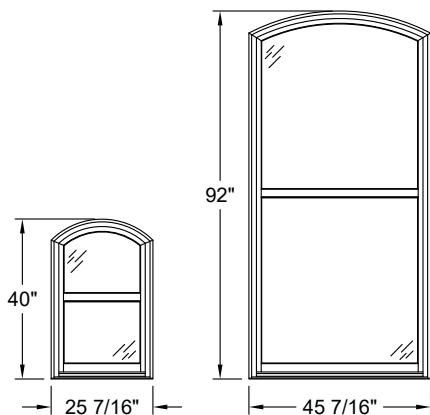
Standard Widths

21 3/8"	25 3/8"	29 3/8"	31 3/8"	33 3/8"	35 3/8"	37 3/8"
41 3/8"	45 3/8"	49 3/8"	53 3/8"	61 3/8"	69 3/8"	77 3/8"

Standard Heights

15"	18"	24"	32"	36"	40"	44"
48"	52"	56"	60"	64"	68"	72"
76"	80"	88"				

Operator Extended Circle Segment Units



Minimum Size: 25 3/8" x 40"
Maximum Size: 45 3/8" x 92"

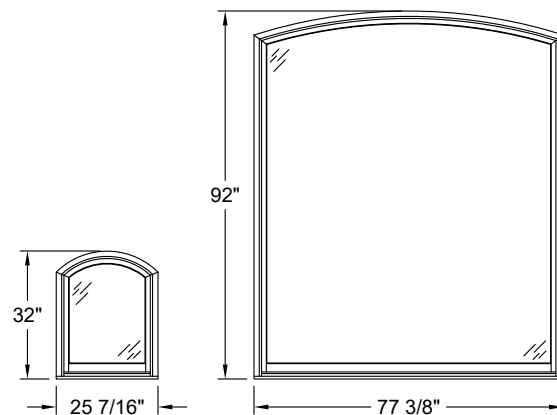
Standard Widths

25 3/8"	29 3/8"	31 3/8"	33 3/8"	35 3/8"
37 3/8"	41 3/8"	45 3/8"		

Standard Heights

40"	44"	48"	52"	56"
60"	64"	68"	72"	76"
80"	88"	92"		

Fixed Extended Circle Segment Units



Minimum Size: 25 3/8" x 32"
Maximum Size: 77 3/8" x 92"

Standard Widths

25 3/8"	29 3/8"	31 3/8"	33 3/8"	37 3/8"	41 3/8"	45 3/8"
49 3/8"	53 3/8"	61 3/8"	69 3/8"	77 3/8"		

Standard Heights

32"	36"	40"	44"	48"	52"	56"
60"	64"	68"	72"	76"	80"	88"
92"						