

City of Santa Fe, New Mexico

Attachment C Applicant Submittals

- 1. Application**
 - a. Agent Authorization**
 - b. Application Letter**
 - c. Variance Approval Criteria**
 - d. Blue Façade Paint Pictures and Affidavits**
- 2. Variance Plan Sheets**
 - a. Legal Lot of Record**
 - b. Site Plans**



LAND DEVELOPMENT CODE REFERENCE

VARIANCES (SECTION 14-3.16 SFCC)

Purpose and Applicability:

Variances may be granted to provisions regulating the size, location, and appearance of structures; the location and extent of open space; the extent of grading the width of configuration of public and private roads, driveways, and trails; and to similar standards for development established by Chapter 14. No variance shall be granted to provisions that restrict the type, intensity or principal or accessory uses permitted within a district, including limits on maximum residential density, and no variance shall be granted to any procedural rule.

Approval Criteria:

Subsections 14-3.16(C)(1) through (5) and, if applicable, Subsection 14-3.15(C)(6), are required to grant a variance.

- 1. One or more of the following special circumstances (a-d) applies:
a. unusual physical characteristics exist that distinguish the land or structure from others in the vicinity that are subject to the same relevant provisions of Chapter 14, characteristics that existed at the time of the adoption of the regulation from which the variance is sought, or that were created by natural forces or by government action for which no compensation was paid;
b. the parcel is a legal nonconforming lot created prior to the adoption of the regulation from which the variance is sought, or that was created by government action for which no compensation was paid;
c. there is an inherent conflict in applicable regulations that cannot be resolved by compliance with the more-restrictive provision as provided in Section 14-1.7; or
d. the land or structure is nonconforming and has been designated as a landmark, contributing or significant property pursuant to Section 14-5.2 (Historic Districts).
2. The special circumstances make it infeasible, for reasons other than financial cost, to develop the property in compliance with the standards of Chapter 14.
3. The intensity of development shall not exceed that which is allowed on other properties in the vicinity that are subject to the same relevant provisions of Chapter 14.
4. The variance is the minimum variance that will make possible the reasonable use of the land or structure. The following factors shall be considered:
a. whether the property has been or could be used without variances for a different category or lesser intensity of use;
b. consistency with the purpose and intent of Chapter 14, with the purpose and intent of the articles and sections from which the variance is granted and with the applicable goals and policies of the general plan.
5. The variance is not contrary to the public interest.
6. There may be additional requirements and supplemental or special findings required by other provisions of Chapter 14.

Approval Limited: A variance applies only to the type & extent of development shown on the plans approved at the variance hearing. All other development on the property shall comply with the terms of Chapter 14 or shall require a new or amended variance.

Note: If application is being made for Development in Special Flood Hazard Areas, then justification must be provided with the above approval criteria and the criteria found in Section 14-3.10(E) SFCC 1987.

SUBMITTAL CHECKLIST

Submittal requirements may vary based on the individual application. The City reserves the right to request additional information any time during the review process. Please submit each of the following submittal items as separate PDF files.

- Application letter (intent, location, acreage)
Statement addressing approval criteria
Legal lot of record, legal description
Proof of compliance with conditions of annexation approval (if applicable)
ENN Notes (if applicable)



PARCEL INFORMATION

Project Name: Davenport - Sharon Residence	
Address: 195 Brownell Howland Road	
Property Size: 5.079 acres	Uniform Parcel Code Number: 99303269
Zoning: R-1/ Escarpment	Proposed Use of Land: Residential Addition
Does this project have a Final Development Plan approval? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Case Number: <input type="text"/>	
Pre-application Conference Date: <input type="text"/>	Early Neighborhood Notice (ENN) Meeting Date: <input type="text"/>
Code Section from which the Variance is sought: 14-5.6-D-1	

PROPERTY OWNER INFORMATION

Name (First, Last): Seonaidh Davenport & Brian Sharon	
Address: 195 Brownell Howland Road	
Street Address	Suite/Unit #
Santa Fe	NM 87501
City	State ZIP Code
Phone: 206-351-6968	E-mail Address: seonaidh@gmail.com/ brian.sharon@gmail.com


APPLICANT/AGENT INFORMATION (IF DIFFERENT FROM OWNER)


Company Name: Palo Santo Designs, LLC	
Name (First, Last): Sandra Odems	
Address: 1300 Rufina Circle	
Street Address	Suite/Unit #
Santa Fe	NM 87507
City	State ZIP Code
Phone: 505-670-8785	E-mail Address: sandra@palosantodesigns.com
Correspondence Directed To: <input type="checkbox"/> Owner <input type="checkbox"/> Applicant <input checked="" type="checkbox"/> Both	

AGENT AUTHORIZATION (IF APPLICABLE)

I am/we are the owner(s) and record title holder(s) of the property located at:
195 Brownell Howland Road


I/we authorize **Palo Santo Designs, LLC** to act as my/our agent to execute this application.

Signed:  Date: **6/19/25**

Signed:  Date: **6/19/25**

SIGNATURE

I hereby certify that the documents submitted for review and consideration by the City of Santa Fe have been prepared to meet the minimum standards outlined in the Land Development Code, Chapter 14 SFCC 2001. Failure to meet these standards may result in the rejection of my application. I also certify that I have met with the City's Current Planning staff in a pre-application meeting to verify that the attached proposal is in compliance with the City's zoning and development plan requirements.

Signature:  Date: **6-20-2025**

AGENT AUTHORIZATION FORM

PROPERTY LEGAL DESCRIPTION: Section 8, T. 17N., R. 10E., N.M.P.M.

PARCEL ID: 99303269

STREET ADDRESS: 195 BROWNELL HOWLAND ROAD, SANTA FE NM 87501

Property Owner: SEONAI DH DAVENPORT

Property Owner: BRIAN SHARON

The undersigned, registered property owners of the above noted property, do hereby authorize

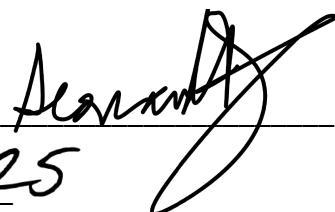
(Contractor/ Agent) Sandra Odems, of (Name of Firm) Palo Santo Designs, LLC


to act on my behalf and take all actions necessary for the processing, issuance and acceptance of this permit or certification and any and all standard conditions attached.

PROPERTY OWNER'S ADDRESS (if different from above): Same as above

TELEPHONE: 206-351-6968

We hereby certify the above information submitted in this application is true and accurate to the best of our knowledge.

Authorized Signature 
Date: 7/18/25

Authorized Signature 
Date: 7/18/25

PALO SANTO DESIGNS LLC

Committed to Building a Sustainable World

Planning Division
City of Santa Fe, NM

August 12, 2025

To whom it may concern,

Palo Santo Designs LLC, on behalf of Seonaidh Davenport and Brian Sharon, hereby request a variance to erect an Addition to their home at 195 Brownell Howland Road in Santa Fe. The lot acreage is approximately 5+ acres and is located in an R-1 zoned area in the Escarpment Overlay/ Ridgetop District.

The house was originally built in 1958 for Florence Davenport and was one of the last residential projects designed by John Gaw Meem. Mrs. Davenport's granddaughter and her family of three now live in the house and wish to expand the structure to include a Mud Room, Laundry, Dining Room and two small, covered Portals in a manner which is consistent and respectful of the original John Gaw Meem historical design.

The utility features of the house are an important addition in that the absence of a mud room and laundry room currently make the house dysfunctional. The washer and dryer currently reside in the cramped 1950s kitchen, and there was never a Dining Room. The house was originally designed for a single woman (a widow) living alone. Thus, the addition of these spaces is a very practical and important next step for this family to provide typical amenities consistent with modern living.

Note that adding the utility spaces (mud room & laundry) in the locations proposed – near the garage, driveway and side entry is the only practical option because the specific functions of the proposed additional rooms dictate their location – it is not feasible to place a “mudroom” any place other than near a home entry; a dining room needs to be near (and ideally connected to) the Kitchen; and the laundry room is logically placed right next to the mudroom for washing gear and clothing immediately after hikes, bike rides, dog walks, etc. Connecting the Addition to the north side of the Living Room (outside the Ridgetop Subdistrict) is also infeasible given that the septic system is in that location.

The house also currently has no covered portals on the view side of the house, which limits the usability of these areas due to extreme sun exposure. The addition of the

portals over the existing north-facing patios makes those outdoor areas useable year-round. Note that the proposed Addition overlays existing uncovered patios and does not extend the existing footprint of the structure in any significant way.

Overall, the Owners' plans for the property stem from the following tenets. They have asked that we include these for you in this letter.


Their project goals include:

- a. Being respectful of the historic nature of the John Gaw Meem design,
- b. Being respectful of the sense of place by not allowing the design to protrude past the current footprint of the structure and become more visible, and
- c. Being respectful of the ecological circumstance of the site by undertaking the absolute minimum in destruction of existing vegetation and going farther than simply replacing a removed tree but adding at least ten trees/ shrubs to provide a natural buffer between their house and the neighboring houses.

With this modest modernization, the third and fourth generations of this family can more comfortably occupy the family home, the property value is increased, and the core historic structure is lovingly preserved.

Please see the attached statement addressing the variance approval criteria.

Thank you,

A handwritten signature in black ink, appearing to read 'Sandra Odems', with a long horizontal flourish extending to the right.

Sandra Odems, Architect/ Agent
Palo Santo Designs, LLC
505-670-8785

PALO SANTO DESIGNS LLC

Committed to Building a Sustainable World

Statement Addressing Approval Criteria for a Land Development Variance, 8/12/25 Davenport – Sharon Residence, 195 Brownell Howland Road Santa Fe, NM 87501

Per City of Santa Fe Ordinance Code Section 14-5.6-A-2-a:

Purpose and Intent:

In order to further the purposes underlying the creation of the Escarpment Overlay District, this section prohibits development in the ridgetop subdistrict of the escarpment overlay district, other than driveway access and utility alignments, for lots created after February 26, 1992, as provided hereinafter:

Per City of Santa Fe Ordinance Code Section 14-5.6-D-1:

Location of Structures; Buildable Site:

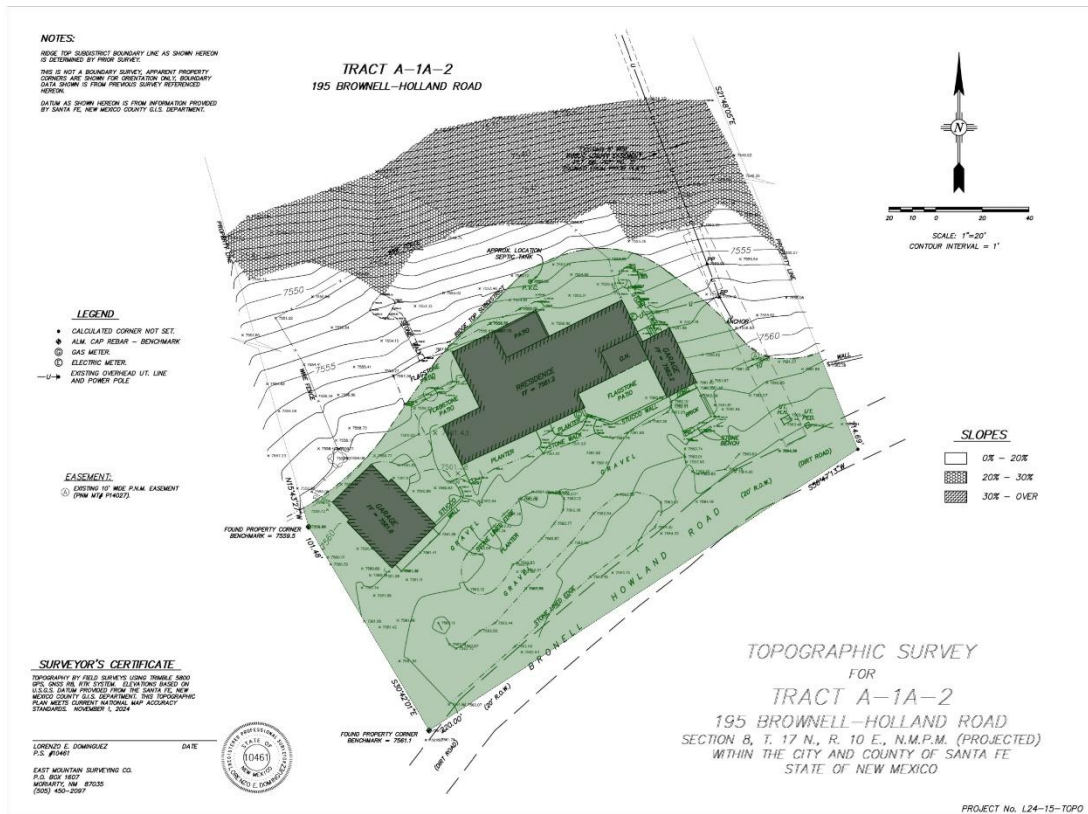
For all lots subdivided or re-subdivided after February 26, 1992, development in the ridgetop sub-district of the escarpment overlay district, other than driveway access and utilities, is prohibited.

In 2002, the lot at 195 Brownell Howland was split into two lots, with a new buildable area established on the survey for the newly created lot (at 193 Brownell Howland) for new construction. No "buildable area" was designated (or prohibited) on that survey for the original lot with the original house. Please see the attached certified and recorded Land Division Survey of Tract A1-A and the certified topographic study. Below is the view of the house as you enter the driveway.





Above are views of the house from the street. The house is thoroughly screened behind the vegetation until you reach the driveway entry.



Variance Approval Criteria:

1-a. Unusual physical characteristics exist that distinguish the land or structure from others in the vicinity that are subject to the same relevant provisions of Chapter 14, characteristics that existed at the time of the adoption of the regulation from which the variance is sought, or that were created by natural forces or by government action for which no compensation was paid.

The following unusual physical characteristics distinguish this project from others in the vicinity:

1. ***The house at 195 Brownell Howland is not built on the actual ridgetop and is therefore not visible from the City or from the closest neighborhood (Sierra Del Norte). It is built on the backside of the ridge and is only visible from the north along Bishop's Lodge Road. There is no foothills subdistrict designated below the ridgetop subdistrict on the north side, as that side of the lot is not visible from the primary areas of the City. Note that the proposed Addition will also not be visible from the street (Brownell Howland Rd.) or from anywhere on the City (south) side of the lot.***
2. ***The house was built in 1957 prior to the adoption of the Escarpment District and the creation of the Ridgetop Subdistrict. The boundary of the "Ridgetop" zone does not follow the ridge as one would expect. The boundary bulges outward and downhill***

(across the contours on the backside of the ridge) to include almost the entirety of the home, severely limiting options for any addition.

- 3. This house was designed by John Gaw Meem and built by the current Owners' grandmother. The house is not listed as a historic structure but is clearly a Meem house with many defining architectural features. The Owner's desire to upgrade, to make the home more functional and to prevent the house from falling into disrepair, should be acknowledged.*

2. The special circumstances make it infeasible, for reasons other than financial cost, to develop the property in compliance with the standards of Chapter 14.

Per the City GIS-provided Escarpment Overlay map (which differs from the certified survey for reasons not known), the boundary of the home is mostly locked within the Ridgetop Subdistrict except for a small area on the north side of the existing Living Room.

It is infeasible to build the Mudroom & Laundry Addition north of the Living Room for the following reasons:

- 1. A Mudroom is an informal entry to the house. Any other location than proposed is infeasible because it would not function as a Mudroom.*
- 2. The existing septic system is located on the north side of the Living Room. Building any addition here would not be feasible because a structure cannot be built on top of an existing septic system. The NMED and septic installer have determined that this location of the septic is required and that any other location would not be feasible due to limited access for pumping and due to topographic conditions. (Please see attached letter stating that the septic system placement has been reviewed by the NMED and it has been determined that the current location is the only option given the existing parameters of the property.)*
- 3. Building on the north side of the Living Room would create additional and unnecessary disturbance and destruction of the natural environment, which is in conflict with the intent of Chapter 14, specifically 14-5.6(A)(1) in that the escarpment district was "...established in order to conserve the value of buildings and land; and encourage the most appropriate use of land; and preserve the natural environment and the distinctive and historic ridgetop and foothills area environment as a visual asset for the benefit of the community and to maintain and encourage the sense of the city as a small community." Thus, building an addition or detached structure on the north side of the Living Room would absolutely be antithetical to the preservation of the natural environment.*

4. **Placing a new structure farther north and downhill to get below the septic and leach field area would require a separate and unique, detached structure – which would thereby disturb more land while not supporting the Owner’s desire to expand the current home. Note that the Owners wish to build a new Mud Room and Laundry near the Garage and a Dining Room near the Kitchen. Locating these features in a separate structure down the hill, far from the existing home, would not meet the basic improvements requested by the Owners. Structures farther downhill that contain plumbing would also require an additional septic system at a lower elevation, which would require even more disturbance of undeveloped property. Thus, constructing a separate structure on the north side, below the existing septic system, on presently undisturbed land is also at odds with the Purpose & Intent of the code.**



The image above shows the City GIS aerial image of the property with the Escarpment Districts overlaid. The darker green represents the Ridgetop Subdistrict, and the lighter green represents the Foothills Subdistrict. North is up on the page. The City is to the South. The contours indicate that the actual ridge is between the house and the City. Thus, the house is

not visible from downtown or from the closest neighborhood to the south, Sierra Del Norte. One can also see that the north face of the Living Room is outside the Ridgetop Subdistrict using this overlay. The existing septic system lies to the north of the house just outside the Living Room, where the vegetation becomes sparse and plants become smaller.

3. The intensity of development shall not exceed that which is allowed on other properties in the vicinity that are subject to the same relevant provisions of Chapter 14.

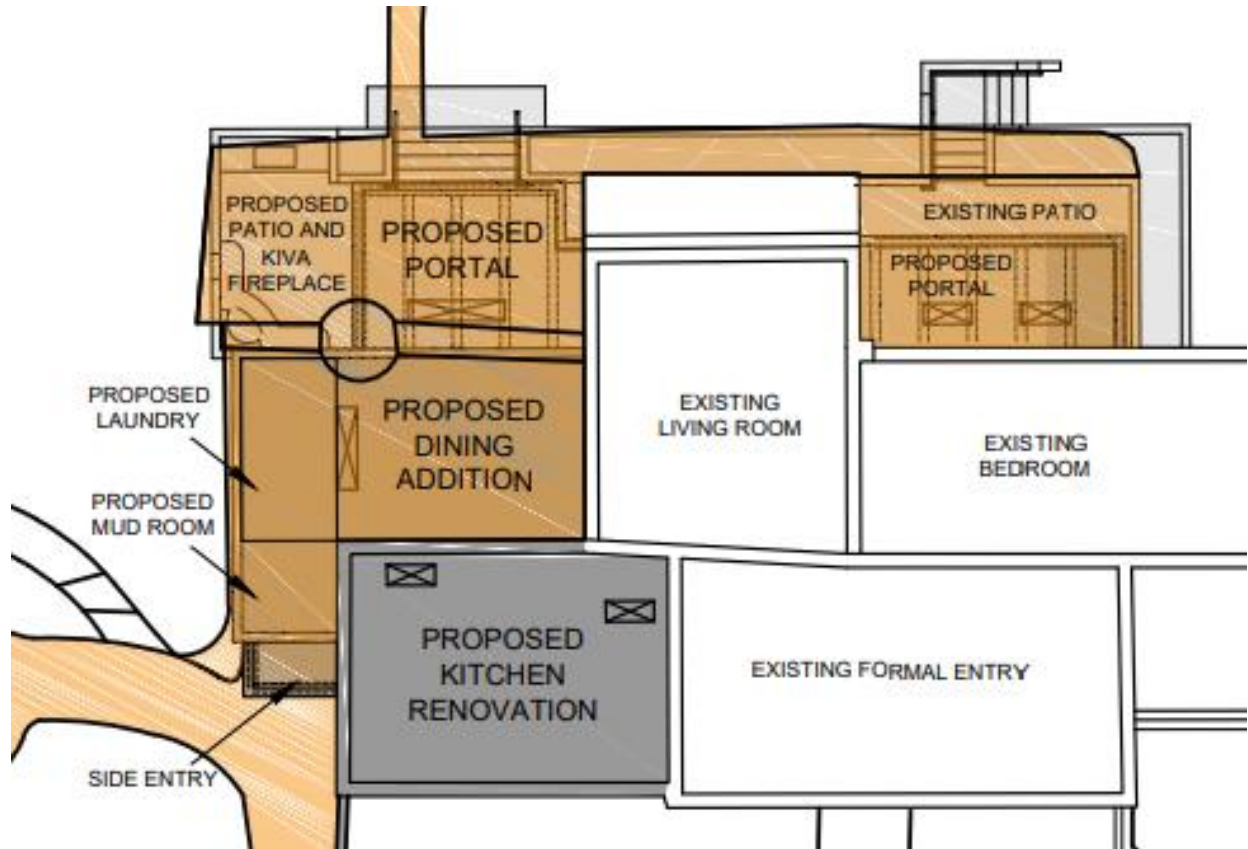
The intensity of the proposed development will not exceed that which is allowed on other properties for the following reasons:.

- 1. The proposed improvements are residential in nature and consistent with the R-1 zoning and surrounding low-density residential context. The project does not introduce any commercial uses, or traffic-generating facilities, or high impact development patterns that would change the intensity of the proposed development. No additional parking is required.***
- 2. The proposed Addition does not increase the development density or add detached structures to the currently developed property. The proposed Dining Room & NW Portal Addition would be built on top of an already established flagstone patio (existing structure attached to the ground), and a new small NE Portal would be built upon an already established walled Patio Area on the east side of the existing Living Room.***
- 3. The design keeps all new development within the footprint of the existing structures, preventing further development or disturbance of additional land. Also note that other properties in the vicinity have had multiple buildings demolished and rebuilt within the Ridgetop Subdistrict since 2017***


The image below shows the new house on the newly created lot at 193 Brownell Howland (left) and the Davenport Residence at 195 Brownell Howland (right), with the proposed new construction footprint at 195 Brownell Howland in green and pink. As you can see, the proposed new construction footprint overlaps the existing footprint of the developed area on that lot.



The drawing below enlarges the new construction footprint view of 195 Brownell Holland. Areas of the existing footprint are shown in orange, and the new construction overlap is labeled.



RENOVATION KEY

-  Existing Footprint with New Construction Overlay

Also note that Section 14-5.6(H) requires compliance with 14-8.2 Terrain Management. 14-8.2(A) Purpose is to “ensure sound and orderly development of the natural terrain; minimize erosion and sedimentation; minimize destruction of the natural landscape” all of which are better met by using these existing developed areas of the site.

Limiting new construction on this lot to areas outside the Ridgetop Subdistrict (as required by Section 14-4.6-D-1, Location of Structures) prevents the Owners from building the Addition they need, and at the same time creates more disturbed land and more visible construction on the hillside. We believe this does not fulfill the intent of the code for the Escarpment Overlay/ Ridgetop Subdistrict. It would, in fact, do the opposite.

Please refer to the Existing & Proposed Building Elevations to see the extent of the construction proposed. The Addition is kept tight to the exterior envelope of the existing structure and almost fully falls within the bounds of the current building elevations. The floor level steps down to keep the maximum parapet height under 14 ft and below the existing parapet levels. The project also meets all of the architectural design standards of the code.

4-b. The variance is the minimum variance that will make possible the reasonable use of the land or structure. The following factors shall be considered:

- a. Whether the property has been or could be used without variances for a different category or lesser intensity of use
- b. Consistency with the purpose and intent of Chapter 14, with the purpose and intent of the articles and sections from which the variance is granted and with the applicable goals and policies of the General Plan.

The variance requested is strictly limited in scope to what is the minimum required to enable the reasonable and functional use of the existing home. Please note the following:

- 1. Through a modest addition and interior remodel, the Owners hope to dramatically improve the functionality of the house. The intent is not to expand the residence excessively, but to update and improve the livability of the home while accommodating the unique constraints imposed on the lot. Although the property has been used previously as a residence, the requested additions would allow the Owners amenities currently enjoyed by neighboring residents.***
- 2. Per Chapter 14, approval of this variance would support the harmonious development of Santa Fe and would create conditions favorable to prosperity and general welfare, as well as efficiency and economy in the process of development.***
- 3. Per 14-5.6(K) Variances: The denial of this request due to strict compliance with the regulations would result in unnecessary hardship for the Owners. Alternately, approving the request would allow for substantial justice to be served, while also securing that the public interest has been secured through the process. We also believe that such variation as has been requested would not nullify the intent and purposes of these regulations, as the intent and purposes of Chapter 14 have been met.***

- 4. This proposal supports the General Plan goals by allowing modest, context-sensitive infill development that preserves scenic and environmental values on Escarpment lands. The proposal also minimizes grading and protects slopes, aligning with the General Plan policies for sustainable, low impact development, resource conservation and protection of scenic and environmental assets.***

Please refer to the next photograph taken from Bishop's Lodge Road (with the house facing north). The Davenport Residence at 195 Brownell Howland Rd. is the building on the left in the photo with the original blue painted facade. The proposed earthtone stucco additions on either side of that blue façade, which do not protrude past the face of the existing blue façade, would blend completely into the existing home and barely be noticed. (The newly constructed house on the right, which we'd expect to also be in the Ridgetop Subdistrict - but is not, is clearly the dominant feature on the hillside.)

Note that any development outside the ridgetop zone (just below the Owners' house) would be very visible and disturb more of the hillside than our proposed addition (right up against the house). The Intent of the code seeks to limit new development on the hillside because, as outlined in 14-5.6(A)(3)(b), "Development is highly visible on or about the ridgetop areas of the foothills for great distances and detracts from the overall beauty of the natural environment and adversely impacts the aesthetics of the mountain and foothill vistas as seen from the city."

Although trees closest to the house will be removed with this proposal, we believe that the older trees between the Kitchen and the detached Garage may not be very healthy, or likely to live much longer. (Please reference the attached letter from an Arborist who inspected the trees.) We also believe the large trees near the house are currently a fire hazard as they extend over the roof of the home. (Please refer to the attached FireWise report that recommends isolating/ reducing the size of the clump of trees between the house and the detached garage.) The Owners would also prefer to plant younger, healthier trees around the property rather than keep all the trees in this area immediately next to the home. The number of new evergreen trees to be planted will equal the number removed in species and will be of the required size (min. 8ft tall) and will be located with City staff to ensure their placement meets screening requirements. Formal landscape & irrigation plans will be included with the building permit application.



5. The variance is not contrary to the public interest.

The proposed small addition to this home would not adversely affect the community for the following reasons:

- 1. The Additions to the house would be basically unrecognizable without specific & detailed inspection.***
- 2. The Owner's investment in the home would be a great improvement to the property, thus conserving the value of the historic structure and supporting neighborhood property values.***
- 3. The remodel would meet the purpose and intent of the code (section 14-5.6-A(1) in preserving the city's aesthetic beauty and natural environment, which is essential to protect the general welfare of the people of the City, to promote tourism and the economic welfare of the city, and to protect the cultural and historic setting of the city.***

Based on criteria under 14-3.16, the unique physical constraints of the property, alignment with neighborhood development intensity, the minimal nature of the request, and consistency with public interest and General Plan goals fully justify the approval of this variance.

MARK ANGELO LOPEZ, LLC.
1716 SECOND ST.
SANTA FE NEW MEXICO 87507

August 6, 2025

Ms. Sandra Odems, Architect
Palo Santo Designs, LLC.
1300 Rufina Circle, Suite B 3
Santa Fe, New Mexico 87505

Re: Liquid waste system upgrade for 195 Brownell-Holland Santa Fe NM 87501

Dear Ms. Odems:

This letter is to summarize the regulatory required replacement and upgrade to the liquid waste system for 195 Brownell-Holland Santa Fe, New Mexico. The State of New Mexico Liquid Waste Disposal and Treatment Regulations (20.7.3 NMAC) administered by the New Mexico Environment Department (NMED), outlines the minimal requirements for a septic systems design and installation for all dwellings in New Mexico based on the number of bedrooms. The septic system installed at 195 Brownell-Holland now meets the current requirements for a three-bedroom dwelling.

The septic system that was replaced was insufficient for the current two-bedroom dwelling and was insufficient for the proposed three-bedroom dwelling for the following reasons. First, that septic system is believed to be installed approximately 1957. The septic tank was undersized with an approximate 650-gallon capacity and believed to be homemade. That tank did not have an inlet tee, an outlet tee, and did not contain a baffle wall. Upgrading that tank was not possible. A two or three-bedroom dwelling requires a minimal 1,000-gallon septic capacity, inlet and outlet tees with a sanitary filter. The effluent disposal is believed to have gone to a home-made seepage pit that did not meet current design requirements.

A permit search request to NMED did not locate an existing permit for that system. Therefore, NMED conducted an unpermitted septic system inspection on July 15, 2025, and subsequently failed that system. A septic system permit application was submitted to NMED on July, 15, 2025 with the following design requirements. The application proposed a 1,000-gallon approved septic tank, inlet and outlet tees, a sanitary filter, filter handle, risers and lids. The proposed leach field disposal design included thirty-five High Capacity Quick Four chambers with inspection ports bringing the leach field to 756 sq/ft of disposal area (750 sq/ft required).

The selected location of the septic system was most adequate due to the location of the failed liquid waste system that was required to be abandoned, and it was within reasonable distance from the dwelling. In addition, most importantly, the other terrain on the property for possible locations would have made any installation of a system more difficult with significant damage to the mountain side, trees, vegetation, and access for future pumping needs.

The new system was installed that meets all the State regulatory requirements, NMED inspected the installation of the system and the permit to operate was approved on August 4, 2025.

Feel free to contact me if you have any questions or need any additional information.


Mark Lopez

Very Good Tree Service
903 W Alameda St. #324
Santa Fe, NM 87501
(505) 819-3649
Ryan@verygoodtreeservice.com

August 12, 2025

Santa Fe Planning Department

RE: Tree Assessment Report – 195 Brownell Howland Rd., Santa Fe, NM

Dear Planning Department,

At the request of the property owner, Ms. Seonaidh Davenport, I conducted a site visit at 195 Brownell Howland Rd. to assess several trees in close proximity to the residence that may be impacted by construction activities. I was retained to evaluate the trees' current health, assess wildfire risk to the structure, and determine whether removal would be reasonable under the circumstances.

Tree Identification and Condition

The trees in question are:

1. *Pinus edulis* (piñon pine) – single trunk
2. *Juniperus monosperma* (one-seed juniper) – double trunk

Both trees have canopies that overhang or are very near the roofline, trunks within 0–1 inch of the raised walkway, and exhibit noticeable canopy thinning.

The *Juniperus monosperma* is affected by multiple stress factors, including juniper borer (*Callidium texanum* sp., likely), juniper mistletoe (*Phoradendron juniperinum*), and sapsucker (*Sphyrapicus* sp.) damage. These combined issues have resulted in significant canopy thinning. While junipers can persist for some years under such stress, they will ultimately decline and die.

The *Pinus edulis* is exhibiting advanced signs of piñon blister rust (*Cronartium* sp.), piñon needle scale (*Chionaspis pinifolia*), and sapsucker damage. The tree's canopy is significantly thinned, and given its condition, it is at high risk of infestation by the piñon bark beetle (*Ips confusus*), which readily attacks severely stressed trees.

Wildfire and Safety Considerations

Both trees are too close to the structure to be retained safely under current wildfire defensible space guidelines. Portirio Chavarria, with the Santa Fe County Fire Department, has recommended removal for fire safety, and I concur with this assessment.

Regulatory and Replacement Plan

Under the City of Santa Fe Land Use Code, these are considered “significant trees.” The property owner intends to comply with municipal requirements by replacing these trees with new specimens in a more suitable location. I recommend this course of action. If these trees were healthy and exemplary for their species, I would not support removal; however, given their severe stress and decline, replacement with properly sited, well-watered, and correctly planted trees will have a positive long-term effect on the property.

Please see the attached photographs for reference.

Sincerely,

Ryan Brenteson
Owner, Very Good Tree Service
ISA Board Certified Master Arborist, RM-8121B
Tree Risk Assessment Qualified
Certified Tree Safety Professional
Member, American Society of Consulting Arborists
Member of Santa Fe City Tree Board



Image 1: The 2 trees in question



Image 2: The pinon showing proximity to walkway



Image 3: Blister rust on Pinon



Image 4: Juniper borer exit holes on trunk



Image 5: This shows the thinning canopy and mistletoe in the juniper.

Site Hazard Notes	Structure Hazard Notes
<p>This home is in pinion-juniper woodland, on top of a hill of approximately 15-30% slope to the north (with an otherwise relatively flat property), making the north side of the home the highest priority for mitigation. This home is in a one-way-in, one-way-out subdivision in dense pinion-juniper, which may restricted firefighter access to the neighborhood in the event of a wildfire. Our vegetation-related mitigation recommendations include: 1) Remove pinion/juniper trees and overhanging branches of pinion/juniper trees within 5 feet of the home. Since the home is pumice construction, smaller shrubs and fine fuels such as bark mulch can remain in the 5-foot zone, but keep fuels away from exposed wood (such as doors or posts of the portal) and windows. Within 100 feet of the home (prioritizing the first 30 feet), we recommend reducing continuity of the pinion/juniper canopy by maintaining a mosaic of individual trees and clumps of 2-5 trees with at least 10' of space between the outer canopies of individuals and at least 15' of space between the outer canopies of clumps. In accordance with those aims, I would recommend isolating/reducing the size of the clump of trees between the home and garage. In addition, in the 30 foot zone, remove "ladder fuels" that could carry fire from the ground into the tree canopy, such as tall grasses and chamisa shrubs growing underneath and around trees as well as branches of mature trees hanging within 18-24" of the ground. Create gaps between clumps of remaining chamisas if necessary. (The general guidance is spacing between clumps of shrubs in the 30' zone should be at least 2 1/2 times their height).</p>	<p>Keep the roof clear of debris. Remove the coyote fencing within 5 feet of the house. *I also forgot to ask if you have an external air vents (sometimes on the roof; I did not see any on the walkaround). If so, screen vents with 1/8" metal mesh to prevent embers from entering the home.</p>

If you have any questions, please don't hesitate to reach out to our team.

Maya Hilty
Fireshed Coordinator
 Forest Stewards Guild
mhilty@forestguild.org

Carlos Saiz
Fire and Fuels Coordinator
 Forest Stewards Guild
carlos@forestguild.org

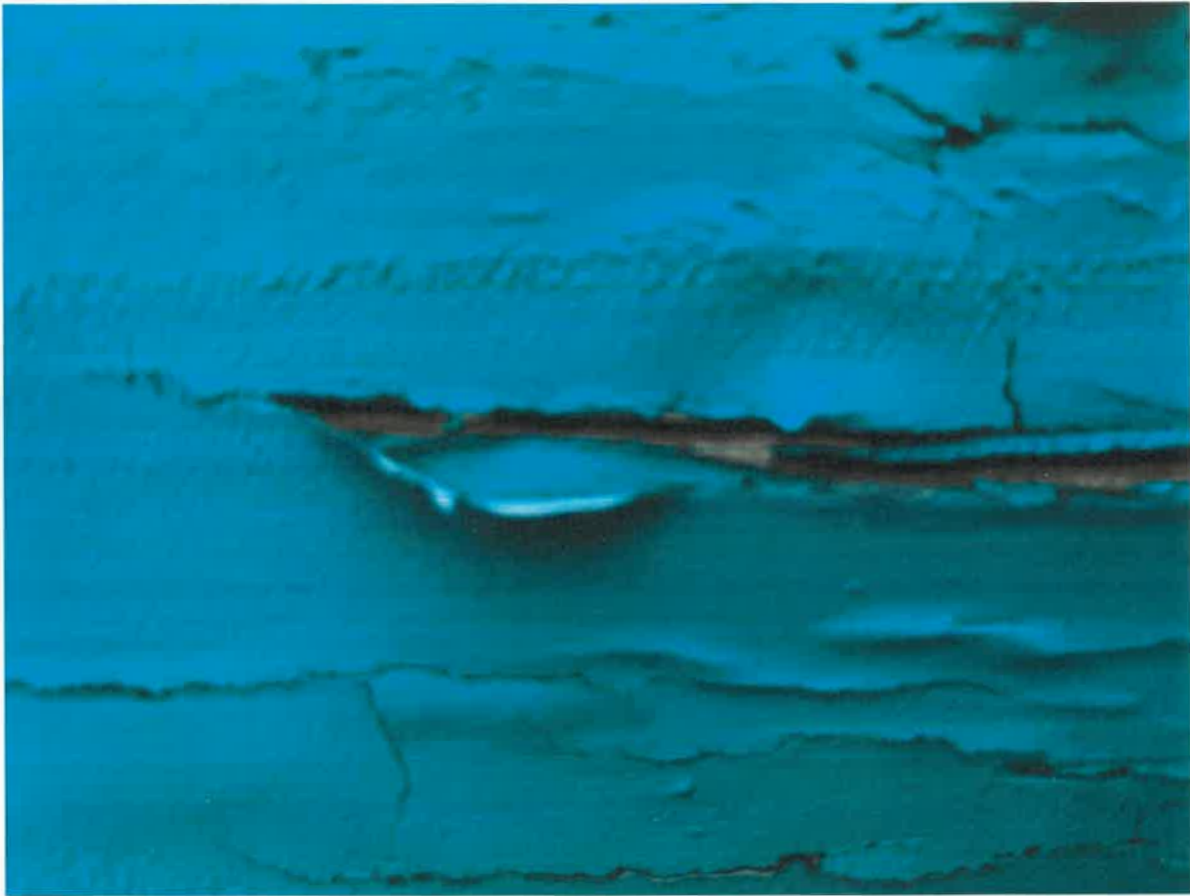
Porfirio Chavarria
Wildland Urban Interface Specialist
 City of Santa Fe Fire Department
pnychavarria@santafenm.gov

For more information about this project and other initiatives on the landscape, please visit our website at www.santafefireshed.org

DAVENPORT – SHARON RESIDENCE, 195 BROWNELL HOWLAND ROAD 8-12-25

The following photos show multiple blue/ turquoise paint layers over bare wood.

See attached signed affidavits stating that this color has been in existence on the trim of the home prior to 1992.







AFFIDAVIT

The State of New Mexico)
) S.S.
County of Santa Fe)

I, Seonaidh Davenport, of Santa Fe, New Mexico, MAKE OATH AND SAY THAT:

- 1. I grew up next door to the house at 195 Brownell-Howland Rd. It was built by my Grandmother in 1957, and was subsequently rented to a couple who were my adoptive grandparents, so I spent a lot of time there as a girl. The house is visible from Bishop's Lodge Road, and as a teen, I worked at the Bishop's Lodge, so I could see the house every day on my drive home from work. For my entire living memory, the North-facing living room windows have had the turquoise color paint..

STATE OF NEW MEXICO
COUNTY OF SANTA FE

SUBSCRIBED AND SWORN TO BEFORE
ME, on the 12th day of August, 2025

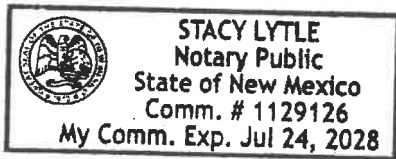
Signature Stacy Lytle
(Seal)

NOTARY PUBLIC

My Commission expires:

July 24, 2028

Seonaidh Davenport
(Signature) Seonaidh Davenport



AFFIDAVIT

The State of New Mexico)
) S.S.
County of Santa Fe)

I, Sonja Thorpe Bohannon, of Santa Fe, New Mexico, MAKE OATH AND SAY THAT:

- 1. I grew up at Bishop's Lodge and on Old Bishop's Lodge Road, so I have seen the house at 195 Brownell Howland Road my whole life. The paint color of the North-facing Living Room windows of the house at 195 Brownell-Howland Rd have been turquoise for the duration of my living memory, so since at least the late 1970s..

STATE OF NEW MEXICO
COUNTY OF SANTA FE

SUBSCRIBED AND SWORN TO BEFORE
ME, on the 11 day of August,
2025

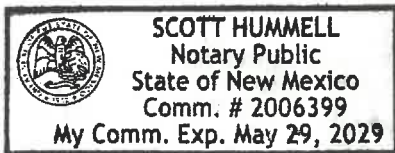
Signature [Signature]
(Seal)

NOTARY PUBLIC

My Commission expires:

5/29/2029

[Signature]
(Signature) Sonja Thorpe Bohannon



DAVENPORT - SHARON RESIDENCE

Addition & Remodel

195 Brownell-Howland Road, Santa Fe, NM 87501

VARIANCE
REQUEST
SUBMITTAL

NOT FOR
CONSTRUCTION

REVISIONS:

PALO SANTO DESIGNS LLC
Committed to Building a Sustainable World
www.palosantodesigns.com
505-988-7230

August 12, 2025

DAVENPORT-SHARON
ADDITION &
REMODEL

195 Brownell-Howland
Santa Fe, NM 87501

Cover Sheet

CS1.0

TABLE OF CONTENTS

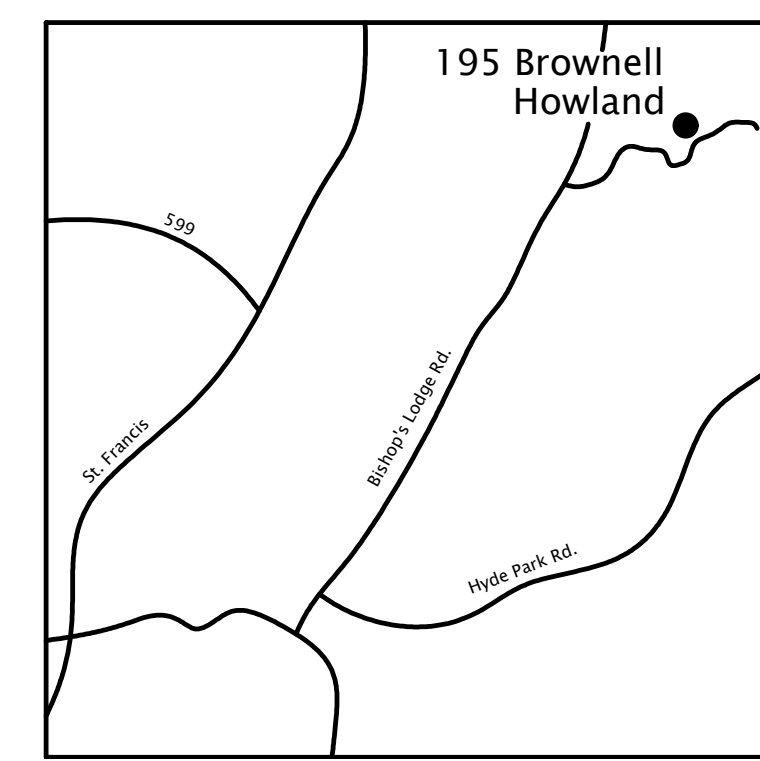
CS1.0 – Cover Sheet/ Code Analysis
Recorded Plats & Easements
Topographic Survey & Slope Analysis
Existing Aerial Imagery with GIS Overlay

ARCHITECTURAL:
A1.0 – Existing & Demo Site Plan
A1.1 – Proposed Site Plan
A1.2 – Preliminary Grading & Drainage Plan
A2.0 – Existing & Demo Floor Plan
A2.1 – Proposed Floor Plan
A3.0 – Existing & Proposed Exterior Elevations
A3.1 – Existing & Proposed Exterior Elevations
A3.2 – Existing & Proposed Exterior Elevations
A3.3 – Existing & Proposed Exterior Elevations

PROJECT LOCATION

195 Brownell-Howland Rd, Santa Fe, NM 87501

Take Bishop's Lodge Road north. Turn Right on Brownell-Howland Road, 195 is on the Left



PROJECT TEAM

OWNERS:
Seonaidh Davenport & Brian Sharon

ARCHITECT/ CONTRACTOR:
Palo Santo Designs LLC
1300 Rufina Circle, Suite 3B
Santa Fe, NM 87507
Contact: Sandra Odems
Phone: (505) 670-8785
Email: sandra@palosantodesigns.com

APPLICABLE CODES

2021 NM Residential Building Code
2021 International Residential Code
2021 NM Energy Conservation & 2021 IECC
2021 NM Plumbing & Mechanical Codes
2021 Uniform Plumbing & Mechanical Codes
2020 NM Electrical Code
2020 National Elect. Code & 2012 Elect. Safety
2015 Internat'l Fire Code & City Amendments
New Mexico Administrative Code
City of Santa Fe Ordinance

ABBREVIATIONS

A.F.F. – ABOVE FINISH FLOOR	H.M. – HOLLOW METAL
A.T.S. – ABOVE TOP OF SLAB	N.I.C. – NOT IN CONTRACT
BLDG. – BUILDING	N.T.S. – NOT TO SCALE
BRNG. HT. – BEARING HEIGHT	O.C. – ON CENTER
C/L – CENTERLINE	S.F. – SQUARE FEET
CLG. – CEILING	T.O.P. – TOP OF PARAPET
EQ. – EQUAL	T.O.S. – TOP OF SLAB
EX. – EXISTING	U.N.O. – UNLESS NOTED
GYP. BD. – GYPSUM BOARD	OTHERWISE
	V.I.F. – VERIFY IN FIELD

CODE ANALYSIS – CITY OF SANTA FE

OCCUPANCY GROUP: Single Family Residential
CONSTRUCTION TYPE: V-B
GROUND SNOW LOAD: 30 psf
WIND EXPOSURE CATEGOR: C – 105 mph (3 second gust)
SEISMIC SITE CLASS: D
CLIMATE ZONE – 5

ZONING:
RT – Single Family Res. 1du/4c

TRACT SIZE/ PARCEL NUMBER:
5.079 Acres/ Parcel #99303269

LOT COVERAGE:
40% max allowed/ not exceeded

OVERLAY ZONE/ COMMUNITY DISTRICT:
Escarpment Overlay – Ridgetop Subdistrict on portion of lot

SETBACKS REQUIRED:
Per City of Santa Fe Zoning:
Street/ Front Yard – 7'
Rear Yard – 15'
Side Yard – 5' (not exceeding 14ft in height), 10' setback if height is over 14 ft

BUILDING HEIGHTS:
R-1: Max height of structures is 24 ft
Overlay Zone Ridgetop Subdistrict: 14 ft
See referenced Architectural Site Standards

EXISTING GROSS AREA OF THE RESIDENCE:
2,675 sf Main House Heated Area
371 sf Guest Casita Heated Area
196 sf Covered Outdoor
3,242 sf Total Roofed Area

AREA OF THE PROPOSED ADDITION:
415 sf Main House Heated Area
378 sf Covered Outdoor
793 sf Total Roofed Area Added

REMODEL AREA:
499 sf Kitchen/ Bar/ Office/ Laundry
371 sf Guest Casita

TOTAL OVERALL PROJECTED AREA:
3,090 sf Main House Heated Area
371 sf Guest Casita Heated Area
574 sf Covered Outdoor
4,035 sf Total Overall Roofed Area

FIRE PROTECTION/ SPRINKLER SYSTEM:
Confirm sprinkler requirement with Fire Marshall at permit, Coordinate with Owner

EMERGENCY VEHICLE ACCESS (conforming):
Driveway length – less than 150 ft
Driveway width – 20 ft
Turnaround required – No
Driveway slope – does not exceed 10% grade

UTILITIES:
Existing electric & gas utilities on site

WATER SUPPLY AND WASTEWATER DISPOSAL:
Shared Private Well on neighbor's property to the west
New Onsite Waste Water Treatment System
Permit Number: LW-0011910

TERRAIN MANAGEMENT – MINOR DEVELOPMENT:
– Single lot
– Additional area disturbed is less than 5000 sf
– No slopes greater than 20% are disturbed (confirm with slope analysis)
– No more than 3500 sf of new impervious surface (confirm with final plan)
– Utilities shall be placed underground within or adjacent to roads. An easement may be required to run power from the existing pole below grade to the house service panel. Coordinate with PNM.

WATER HARVESTING:
Passive water harvesting for landscape irrigation purposes is required at a minimum. Below grade cisterns may be included for water storage for landscape irrigation purposes. 100% of required storm water detention may be stored in cisterns for Minor Development. Coordinate water harvesting with fire suppression plans.

LANDSCAPE:
Plan required by Escarpment Overlay District requirements, section G. Irrigation Plan to be included with Building Permit Application.

WALLS & FENCES:
T4-8.5 sec. A-B:
No retaining wall shall exceed six (6) feet in height. Retaining walls shall be stepped or terraced so that they are separated by a distance equal to the height of the higher wall. No fence shall exceed six (6) feet in height. In addition to the height limits, the combined height of a fence built on a retaining wall shall not exceed the maximum fence height plus four (4) feet as measured above the finished grade on the down-slope side.

ENERGY EFFICIENCY:
Per 2021 IECC, HERS not required for home remodels, renovations and additions.

MECHANICAL VENTILATION:
Per 2021 IECC

THERMAL BYPASS CHECKLIST:
All framing, insulation, and drywall / plaster contracts shall familiarize themselves with the DOE's Thermal Bypass Checklist and follow all mandatory requirements relating to the locations and continuity of air barriers and insulation in the home.

GREEN BUILDING CODE:
Green building code, Chapter 11 & 12 – See checklists included with Building Permit Application.

ESCARPMENT OVERLAY – RIDGETOP SUBDISTRICT:

Pre-application meeting required with City Staff.

Variance required for all development with the Ridgetop Subdistrict.

Public Notice Poster shall not be required, per Planning Staff.

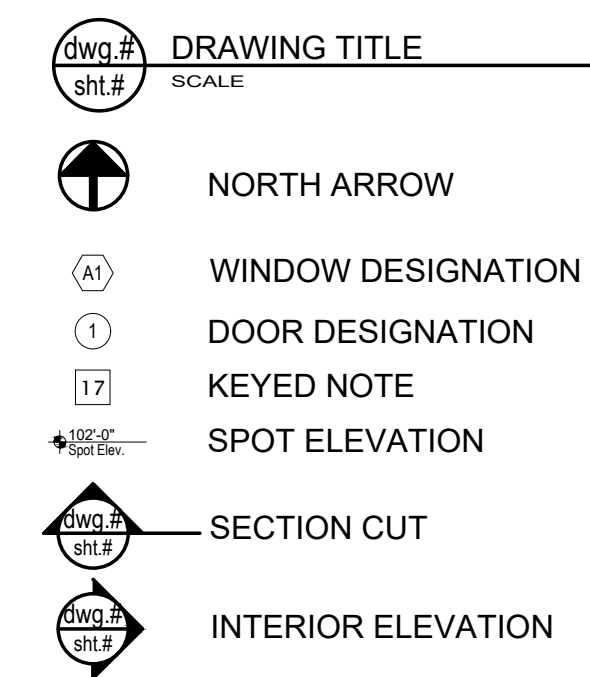
14-5.6(F) – Architectural and Site Standards:

4. The highest point of any structure shall not exceed a maximum height of 14 ft above each and every point of measurement along the structure of the perimeter. This measurement shall be from the undisturbed natural grade of the land at the perimeter, or from the finished highest grade at the perimeter, whichever is more restrictive. The highest point includes the top of parapets, except that chimneys may exceed the maximum height by not more than 3 ft above immediately adjacent roof.

8. Decks greater than three (3) horizontal feet in depth, and more than five (5) feet above grade are prohibited.

9. Exterior lighting shall not directly illuminate the surfaces of structures (excluding entries, garages and portals), or landscaping. The light source of any exterior indirect lighting shall be less than three (3) feet in height (excluding entries, garages and portals).

PLAN SYMBOLS



GENERAL NOTES

- All references to the Building Code or Building Department shall be construed to mean the rules and regulations adopted by the State of New Mexico & the City of Santa Fe.
 - Contractors shall visit the Project Site to become familiar with existing conditions and to verify all elevations, dimensions and conditions of existing building(s) and the site. Discrepancies and/or conflicts between the Contract Documents and the actual field conditions shall be reported to the Architect in writing for correction prior to bidding.
 - Contractors shall be responsible to secure the worksite and render it adequately protected when work is not in progress.
 - Contractors shall perform their work so that there is a minimum of disruption caused to those portions of the building(s) and site where there is no work taking place.
 - All construction refuse and debris shall be removed from the job site not less than once a month and shall be properly disposed of off the property, or contained within a dumpster on site.
 - Work for this project shall be carried out in accordance with State and Local Codes and requirements of any other agency having jurisdiction. In all cases the most restrictive requirements shall apply.
 - Where conflicts occur between the Contract Drawings, Specifications, Field Conditions and/or the Building Code, the most stringent requirements shall apply, in the sole judgment of the Architect.
 - Dimensions have preference over scale.
 - All work shall be executed in accordance with the best accepted trade practices and per manufacturers' recommendations.
 - All Contractors shall coordinate their work with that of other Contractors. No Contractor shall delay or interfere with the work of any other Contractor.
 - All site exits not in the area of the Work shall be kept readily accessible and unobstructed at all times.
 - Contractors shall be responsible for delivery of materials and equipment to the Project Site.
 - Fireblocking shall be installed per the International Residential Building Code.
- RENOVATION NOTES:
- Notify Architect prior to proceeding if discrepancies or conflicts are discovered.
 - Relocate utilities, equipment and devices as necessary to accommodate proposed design changes. Notify Architect prior to proceeding if changes to the proposed plans are required.
 - Existing exposed wires & piping on the interior & exterior shall be re-routed within wall, roof and floor cavities so that they are no longer visible.

LAND DIVISION OF TRACT A-1A FOR THE ANNE THOMPSON DAVENPORT REVOCABLE TRUST U/A DTD MAY 13, 2002

7010031

LYING AND BEING SITUATE IN THE BROWNELL-HOLLAND AREA, WHICH IS IN
THE NORTHEASTERLY AREA OF THE SANTA FE GRANT, IN (PROJECTED) SECTION 8,
T. 17N., R. 10E., N.M.P.M., WITHIN THE CITY AND COUNTY OF SANTA FE,
STATE OF NEW MEXICO.

M/F
TRL CO., LLC
INSTRUMENT #1354001
TAX ID#
1-056-101-173-430

OWNER'S CONSENT FOR LOT SPLIT

THE UNDERSIGNED OWNER(S) DO HEREBY ATTEST THAT THE LAND DIVISION AND PLATTING AS SHOWN HEREON IS MADE WITH THEIR FREE CONSENT AND IS IN ACCORDANCE WITH THEIR WISHES AND DESIRES. THE UNDERSIGNED OWNER(S) DO HEREBY GRANT REASONABLE EASEMENTS TO ALL EXISTING PUBLIC UTILITIES. THESE LANDS LIE WITHIN THE PLATTING AND PLANNING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO.

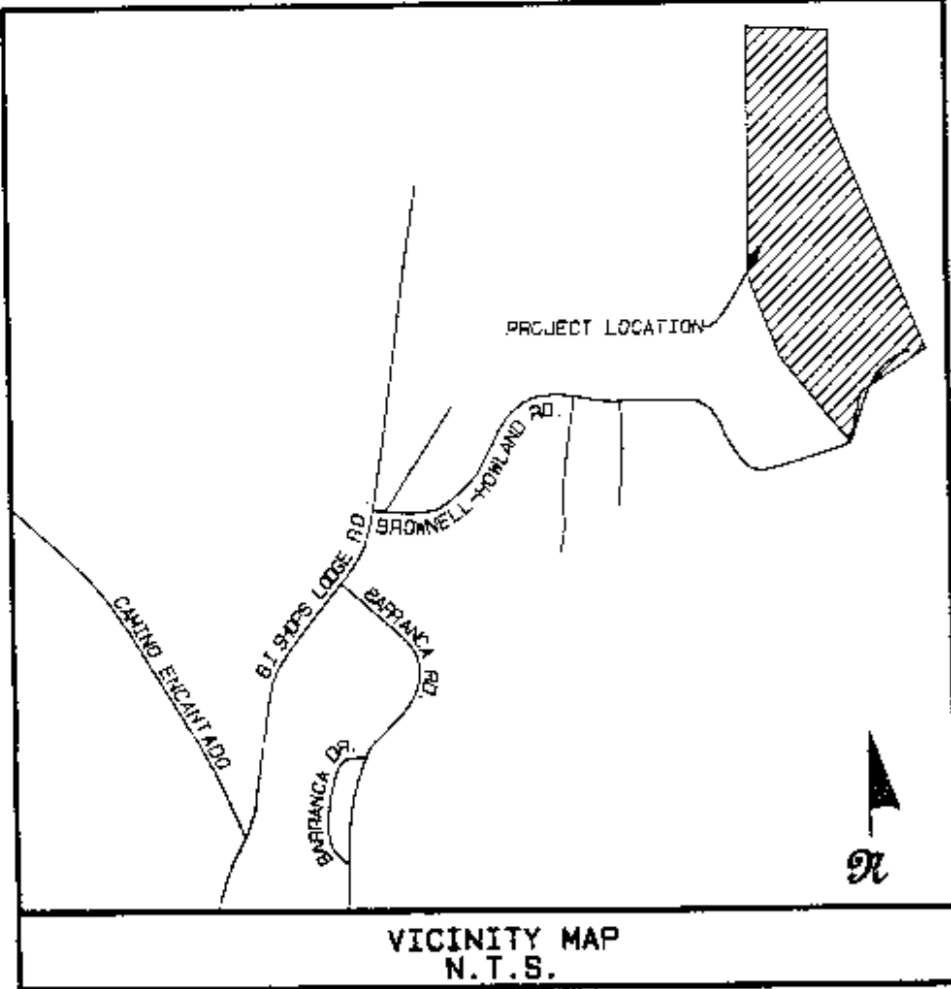
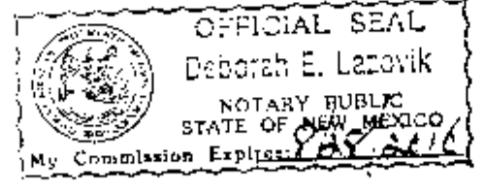
Anne Thompson Davenport
ANNE THOMPSON DAVENPORT, TRUSTEE FOR THE ANNE THOMPSON DAVENPORT REVOCABLE TRUST U/A DTD MAY 13, 2002 (OWNER TRACT A-1A-1 & A-1A-2)

STATE OF NEW MEXICO } SS
COUNTY OF SANTA FE }

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3RD DAY OF February, 2009

Deborah E. Lazovik
NOTARY PUBLIC

MY COMMISSION EXPIRES 2/28/2010



Graphic Scale 1" = 50'
0 25 50 100 150

LEGEND

- SET 1/2" REBAR STAMPED M. NOONAN, N.M.P.L.S. No. 6998
- ⊙ WELL
- ⊕ ELECTRIC METER
- UTILITY POLE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND GAS LINE

NOTES:

1. BASIS OF BEARINGS IS TAKEN FROM A PLAT ENTITLED "LOT SPLIT OF TRACT A-1 FOR DAVID C. DAVENPORT" PREPARED BY MITCHEL K. NOONAN, N.M.P.L.S. No. 6998, RECORDED IN BOOK 305, PAGE 003 ON MAY 15, 1995 AT THE SANTA FE COUNTY CLERK'S OFFICE.
2. REFER TO A WARRANTY DEED RECORDED AS INSTRUMENT #1354001 AT THE SANTA FE COUNTY CLERK'S OFFICE.
3. SEE DFORM MAP 39049C0410D, DATED JUNE 17, 2008 SHOWING THAT TRACT A-1A LAY WITHIN ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
4. REFER TO PLAT ENTITLED "LANDS SURVEYED FOR FLORENCE DAVENPORT" PREPARED BY WALTER G. TURLEY, R.P.E.B.L.S. No. 95, DATED JUNE 5, 1958.

OWNER'S CONSENT FOR EXTINGUISHMENT OF PRIVATE INGRESS & EGRESS 20' R.O.W. AND REGRANT OF 20' PUBLIC UTILITY EASEMENT PRIVATE INGRESS & EGRESS 20' R.O.W.

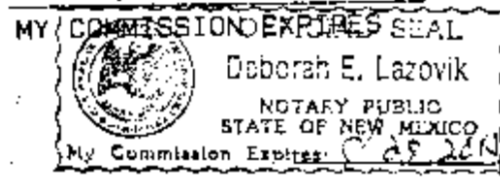
THE UNDERSIGNED OWNER(S) DO HEREBY ATTEST THAT THE EXTINGUISHMENT OF PRIVATE INGRESS & EGRESS 20' R.O.W. (HONEY HATCHED AREA ONLY) AND REGRANT OF 20' PUBLIC UTILITY EASEMENT PRIVATE INGRESS & EGRESS 20' R.O.W. AS SHOWN HEREON IS MADE WITH THEIR FREE CONSENT AND IS IN ACCORDANCE WITH THEIR WISHES AND DESIRES.

Anne Thompson Davenport

ANNE THOMPSON DAVENPORT, TRUSTEE FOR THE ANNE THOMPSON DAVENPORT REVOCABLE TRUST U/A DTD MAY 13, 2002 (OWNER TRACT A-1A-1 & A-1A-2)
STATE OF NEW MEXICO } SS
COUNTY OF SANTA FE }

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 3RD DAY OF February, 2009

Deborah E. Lazovik
NOTARY PUBLIC



Dave Davenport
DAVE DAVENPORT (OWNER TRACT A-2)
BETH DAVENPORT
STATE OF NEW MEXICO } SS
COUNTY OF SANTA FE }

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22nd DAY OF February, 2009

Deborah E. Lazovik
NOTARY PUBLIC

Shirley M. Parker
SHIRLEY M. PARKER, TRUSTEE (OWNER TRACT B)
STATE OF NEW MEXICO } SS
COUNTY OF SANTA FE }

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19th DAY OF February, 2009

Deborah E. Lazovik
NOTARY PUBLIC

Nancy Meem Wirth
NANCY MEEM WIRTH (OWNER LOTS 1, 2 & 4)
STATE OF NEW MEXICO } SS
COUNTY OF SANTA FE }

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 19th DAY OF February, 2009

Deborah E. Lazovik
NOTARY PUBLIC

Gene Reed
GENE REED, President G.P. FOR WHITSON INVESTMENTS LP (OWNER LOT 2-A)
STATE OF NEW MEXICO } SS
COUNTY OF SANTA FE }

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 6th DAY OF March, 2009

Bret M. Friedman
NOTARY PUBLIC



CITY OF SANTA FE APPROVAL, NOTES & CONDITIONS

APPROVED BY THE SUMMARY COMMITTEE AT THEIR MEETING OF DECEMBER 4, 2008 AS CASE No. SP-2008-24.

CHAIR: 4/6/09 SECRETARY: 4/16/09

REVIEWED BY: 10/26/10 CITY ENGINEER: 10/26/10 CITY PLANNER: 10/26/10

1. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 2001 AND SUBSEQUENT AMENDMENTS.
2. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT/OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
3. EACH LOT SHALL BE SERVED BY SEPARATE WATER SERVICES INCLUDING SETTING UP SEPARATE METER SERVICE ASSESSMENT ACCOUNTS.
4. BUILDABLE AREAS FOR PLATTED PARCELS WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION AS DETAILED IN THE LAND DEVELOPMENT CODE.
5. AS PER MEMO FROM BARBARA SALAS, CITY OF SANTA FE FIRE MARSHAL, PRIOR TO ANY NEW CONSTRUCTION A FIRE ACCESS ROAD IN ACCORDANCE WITH CHAPTER 14 OF THE SANTA FE CITY CODE AND THE INTERNATIONAL FIRE CODE SHALL BE PROVIDED. FIRE ACCESS ROAD REQUIREMENTS SHALL ADDRESS WIDTH, GRADE AND TURNAROUNDS.

SURVEYOR'S CERTIFICATE

I MITCHEL K. NOONAN, N.M.P.L.S. No. 6998 DO HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION. THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. 09/04/08

Mitchel K. Noonan 02/13/09
MITCHEL K. NOONAN N.M.P.L.S. No. 6998

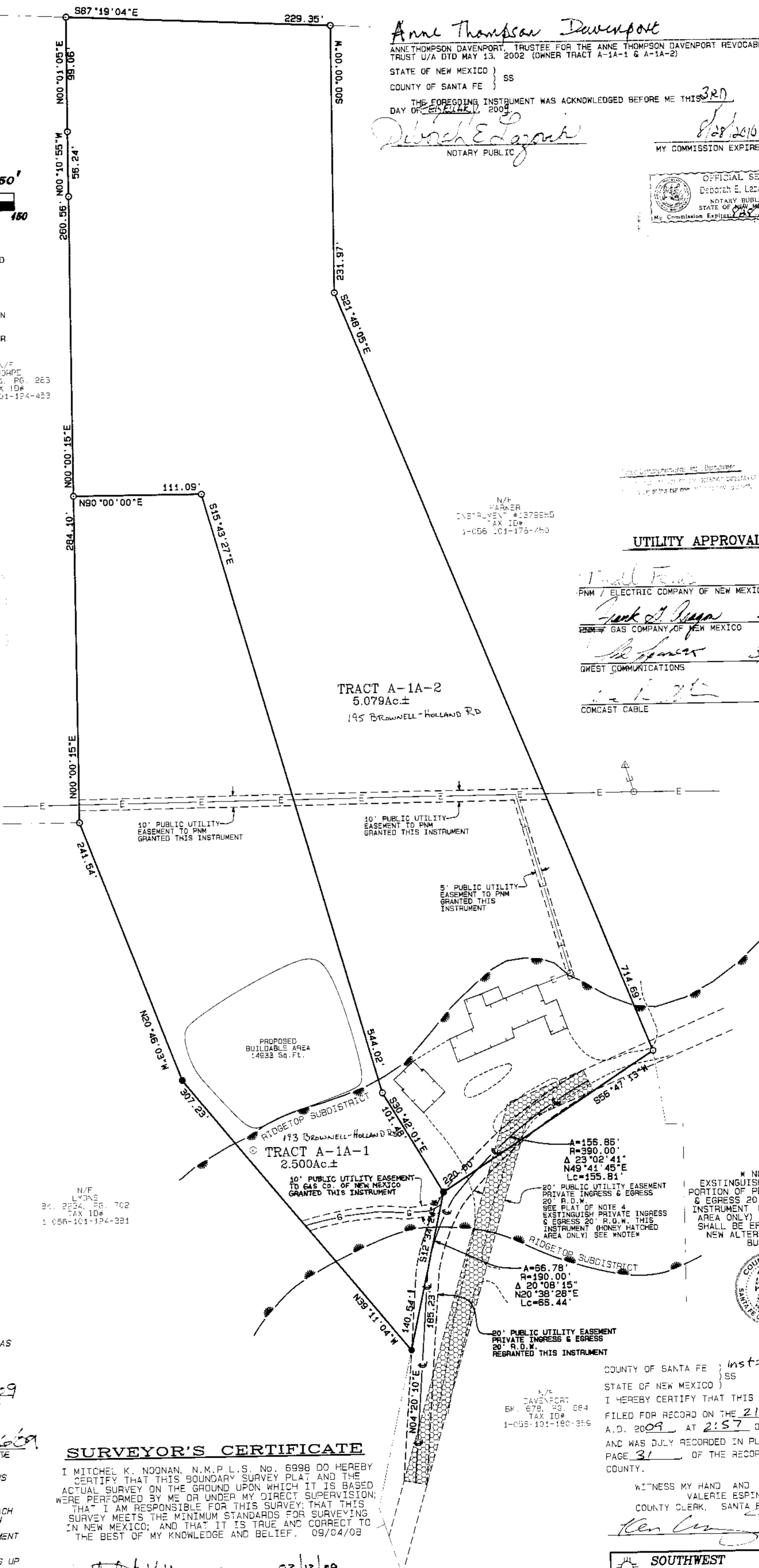
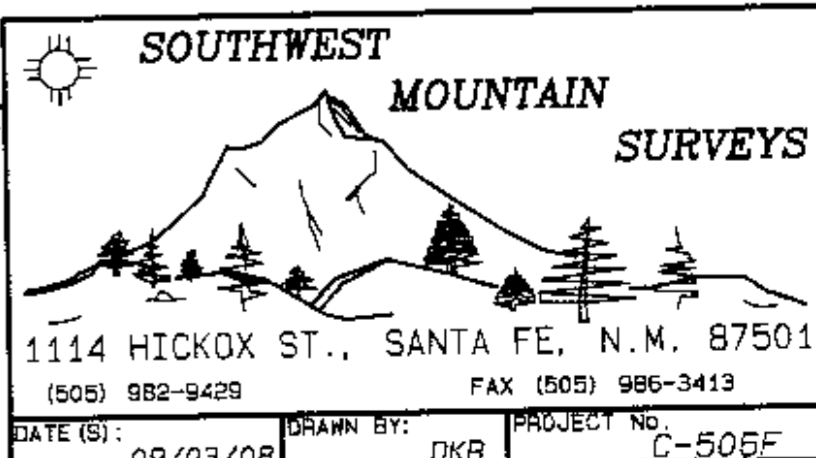


INDEXING INFORMATION FOR COUNTY CLERK

TAX ID# 1-056-101-160-428
OWNER: ANNE THOMPSON DAVENPORT
FILED: INSTRUMENT #1354001
SUBDIVISION: N/A
SECTIONS: SB, 17N, 10E, SANTA FE LAND GRANT

COUNTY OF SANTA FE } SS
STATE OF NEW MEXICO }
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THE 21 DAY OF April, A.D. 2009 AT 2:57 O'CLOCK P.M. AND WAS DJLY RECORDED IN PLAT BOOK 701 PAGE 31 OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE
VALERIE ESPINOZA
COUNTY CLERK, SANTA FE-COUNTY, N.M.
Valerie Espinoza DEPUTY



UTILITY APPROVAL

<u>Paul Farris</u>	3-24-09	DATE
PNM / ELECTRIC COMPANY OF NEW MEXICO		
<u>Frank J. Ryan</u>	3-25-09	DATE
PNM GAS COMPANY OF NEW MEXICO		
<u>Deborah E. Lazovik</u>	3/24/2009	DATE
QUEST COMMUNICATIONS		
<u>Comcast</u>	3-25-09	DATE
COMCAST CABLE		

EXHIBIT "A"

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS EXHIBIT FOR EASEMENT SURVEY WAS PREPARED FROM FIELD NOTES OF AN ACTUAL ON THE GROUND SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM RESPONSIBLE FOR THIS SURVEY. THIS SURVEY MEETS THE MINIMUM REQUIREMENTS FOR THIS CLASSIFICATION OF (EASEMENT) SURVEY AS PER THE MINIMUM STANDARDS FOR LAND SURVEYING IN NEW MEXICO AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

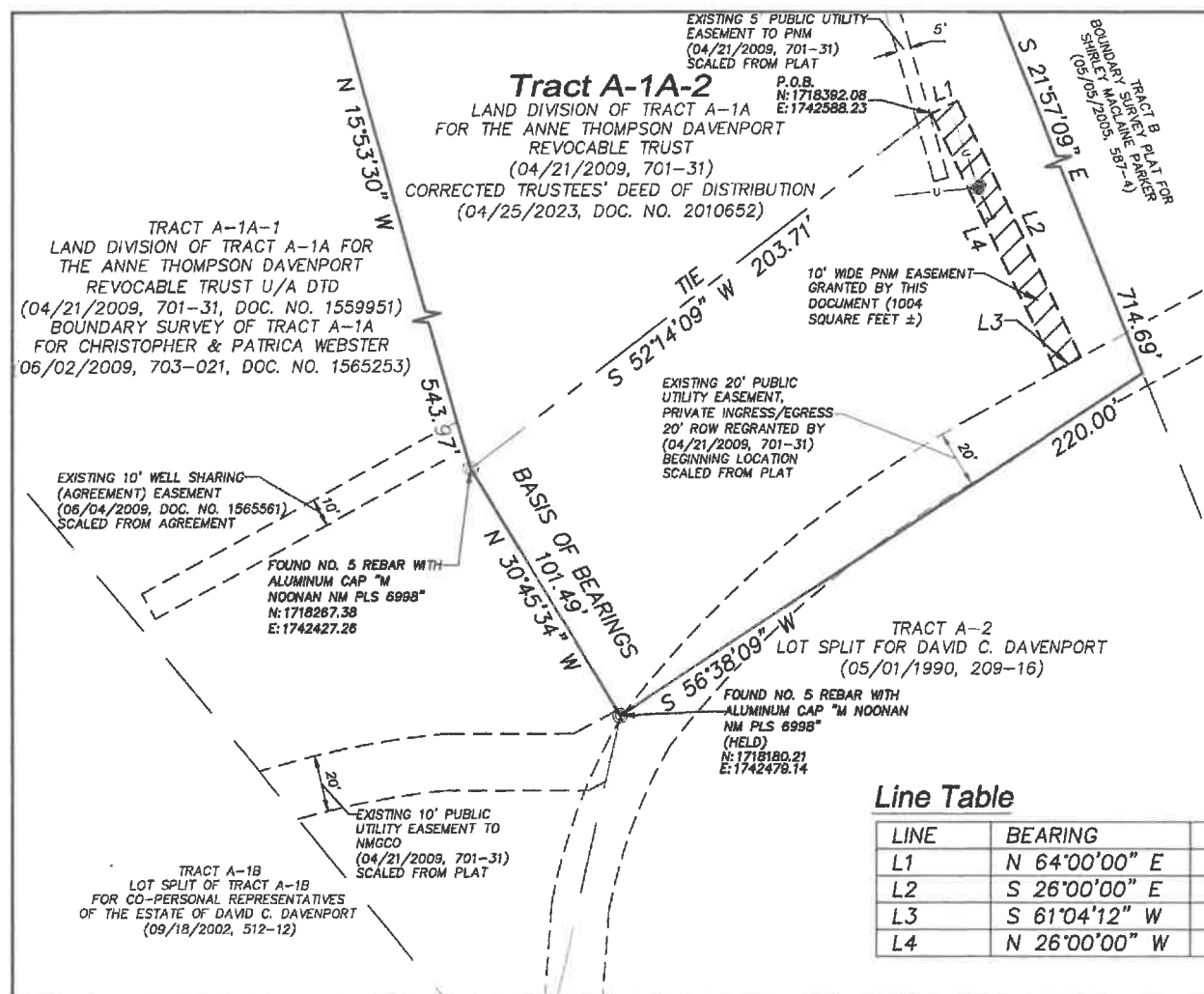
Larry W. Medrano 05/07/2024
 LARRY W. MEDRANO DATE
 N.M.S. No. 11993

Acknowledgment

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 7th DAY OF May 2024 BY LARRY W. MEDRANO, PRESIDENT, PRECISION SURVEYS, INC.

BY *Larry W. Medrano*
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 12-13-2026

State of New Mexico
 Notary Public
 Nicholas Jackson Pressnall
 Commission Number 1139327
 Expiration Date 12/13/2026



Line Table

LINE	BEARING	DISTANCE
L1	N 64°00'00" E	10.00'
L2	S 26°00'00" E	100.13'
L3	S 61°04'12" W	10.02'
L4	N 26°00'00" W	100.64'

COORDINATE AND DIMENSION INFORMATION STATE PLANE ZONE: NM-C GRID HORIZONTAL DATUM: NAVD88 U.S. SURVEY FEET VERTICAL DATUM: U.S. SURVEY FEET CONTROL: TRIMBLE RTX PRECISE POSITIONING SYSTEM SCHEMATIC SCALE FACTOR: GRID TO GROUND: 1.0004469400 GROUND TO GRID: 0.9995325866		PLSS INFORMATION LAND GRANT: SANTA FE GRANT SECTION: 08 TOWNSHIP: 17 NORTH RANGE: 10 EAST MERIDIAN: N17M CITY: SANTA FE COUNTY: SANTA FE STATE: NM SCALE: 1"=50'		PROJECT INFORMATION CREW/TECH: SP DATE OF SURVEY: 04/24/2024 DRAWN BY: MT CHECKED BY: LM PSI JOB NO.: 245080EA1 SHEET NUMBER: 1 OF 1 UPC: 1066101155439000000		INDEXING INFORMATION PROPERTY OWNER: DAVENPORT, SEONAIKH & BRIAN SMITH SHARON SUBDIVISION NAME: LAND DIVISION OF TRACT A-1A FOR THE ANNE THOMPSON DAVENPORT REVOCABLE TRUST UPC: 1066101155439000000		LEGEND-NOT ALL SYMBOLS MAY BE USED N 90°00'00" E MEASURED BEARING AND DISTANCES FOUND AND USED MONUMENT AS DESIGNATED UTILITY POLE ANCHOR EDGE OF ASPHALT		PNM PROJECT NO. MT #: P14027 PNM APPROVAL:	
--	--	---	--	--	--	--	--	--	--	---	--



VARIANCE
REQUEST
SUBMITTAL

NOT FOR
CONSTRUCTION

REVISIONS:

PALO SANTO DESIGNS LLC

Committed to Building a Sustainable World

www.palosantodesigns.com
505-988-7230

August 12, 2024

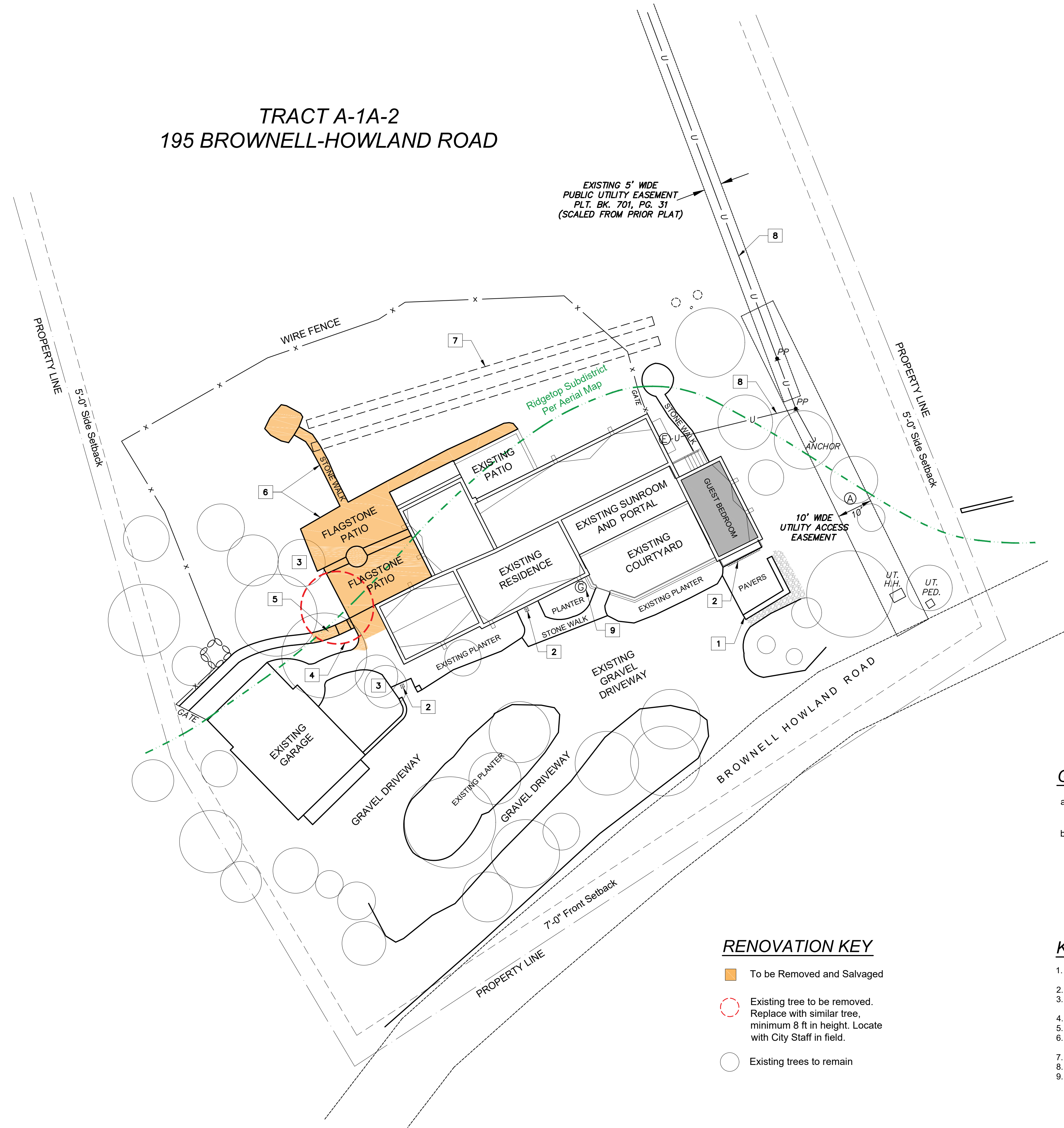
DAVENPORT-SHARON
ADDITION &
REMODEL

195 Brownell-Howland,
Santa Fe NM 87501

Aerial Image
with Escarpment
Overlay

1 EXISTING SITE Aerial Image with Escarpment Overlay
Not to Scale

TRACT A-1A-2
195 BROWNELL-HOWLAND ROAD



EXISTING 5' WIDE
PUBLIC UTILITY EASEMENT
PLT. BK. 701, PG. 31
(SCALED FROM PRIOR PLAT)

10' WIDE
UTILITY ACCESS
EASEMENT

GENERAL NOTES:

- a. New septic system with new tank and new leach field. Approved for 3 bedroom use (includes the Casita). Septic permit # LW-0011910
- b. Moss rock border and planters at drive to remain, typical.

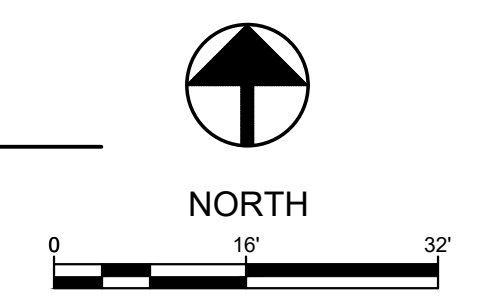
RENOVATION KEY

- To be Removed and Salvaged
- Existing tree to be removed. Replace with similar tree, minimum 8 ft in height. Locate with City Staff in field.
- Existing trees to remain

KEYED NOTES:

- 1. Existing stone bench, pavers, and gravel areas behind bench to remain.
- 2. Existing drains to remain
- 3. Prune existing tree only as needed to accommodate new construction.
- 4. Remove existing tree.
- 5. Existing stone steps to be relocated.
- 6. Remove existing flagstone patios and stone walkway. Salvage flagstone to Owner approved location on jobsite.
- 7. Location of existing leach field and septic system.
- 8. Existing overhead utility lines to remain.
- 9. Existing gas meter to remain.

1 EXISTING SITE PLAN
A1.0 SCALE: 1/16" = 1'-0"



VARIANCE
REQUEST
SUBMITTAL

NOT FOR
CONSTRUCTION

REVISIONS:

PALO SANTO DESIGNS LLC
Committed to Building a Sustainable World
www.palosantodesigns.com
505-988-7230

August 12, 2025

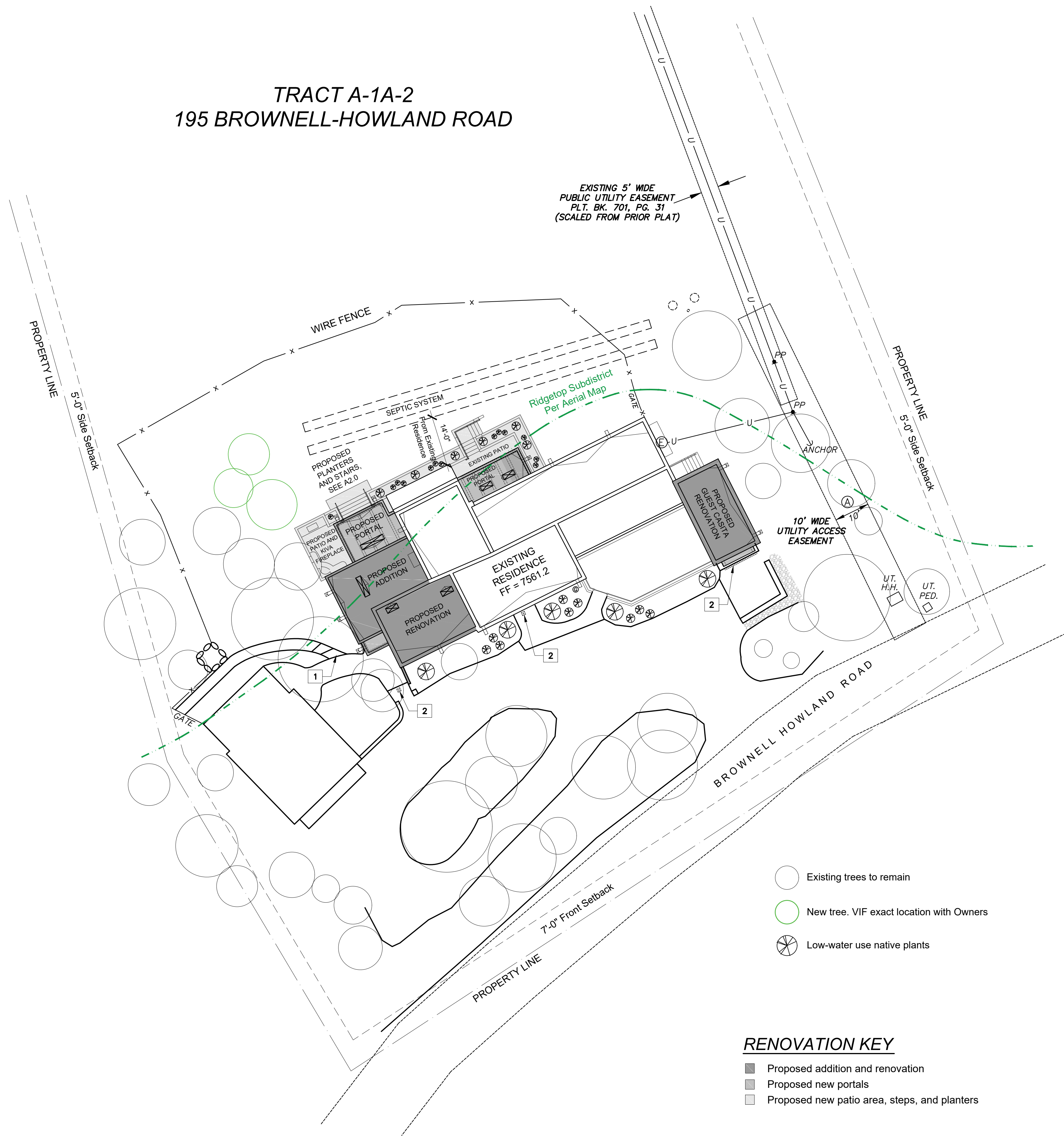
DAVENPORT-SHARON
ADDITION &
REMODEL

195 Brownell-Howland,
Santa Fe NM 87501

Existing &
Demo Site
Plan

A1.0

TRACT A-1A-2
195 BROWNELL-HOWLAND ROAD



- Existing trees to remain
- New tree. VIF exact location with Owners
- Low-water use native plants

- RENOVATION KEY**
- Proposed addition and renovation
 - Proposed new portals
 - Proposed new patio area, steps, and planters

GENERAL NOTES:

- a. See Landscape Plan for planting, hardscape, hot tub, cold plunge, and sauna. Coordinate utility requirements for special features with Eclipse Electrical and Owner for service size, connections & disconnects as required by code.
- b. Coordinate water harvesting with fire suppression plans for cistern and sprinklers on rooftop.
- c. Revegetate all disturbed areas to approximate existing species and density, typical. Provide temporary irrigation to re-establish landscaping.

KEYED NOTES:

1. Relocate stone steps. Verify exact location in field with Owners.
2. Protect existing site drainage inlets and relocate piping as needed to daylight.

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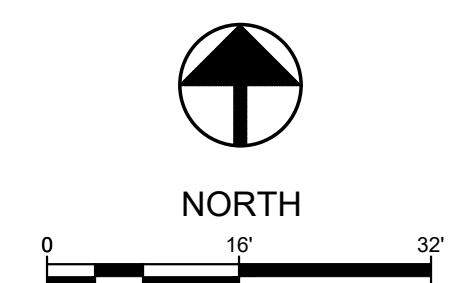
**DAVENPORT-SHARON
ADDITION &
REMODEL**

195 Brownell-Howland,
Santa Fe NM 87501

Proposed Site &
Landscaping
Plan

A1.1

1 PROPOSED SITE PLAN
A1.1 SCALE: 1/16" = 1'-0"





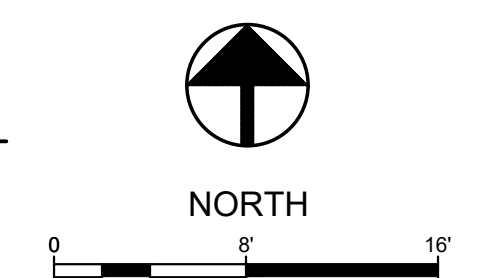
GENERAL NOTES:
a. See Fire Suppression drawing for water harvesting and conveyance to cistern to provide water for rooftop sprinkler system. Coordinate with Owner and Fire Suppression Consultant.
b. Detention pond location and size TBD by Civil Engineer.

KEYED NOTES:
1. New 12" x 12" catch basin. Connect to below grade conveyance to cistern. Coordinate with Fire Suppression Consultant for overall water harvesting plan.
2. Existing site surface drainage inlet to remain. Coordinate with new drainage plans.

RENOVATION KEY
■ New Wall - Interior 2x6 wood framing or exterior CMU wall. All infill to match existing adjacent wall construction, VIF.
■ Existing Wood Frame Wall to Remain
▨ Existing Adobe or CMU Wall to Remain
■ New 8" CMU wall and masonry fireplace

1 PRELIMINARY GRADING PLAN with existing topographic contours
A1.2 SCALE: 1/8" = 1'-0"

See Civil for final Grading & Drainage Plan

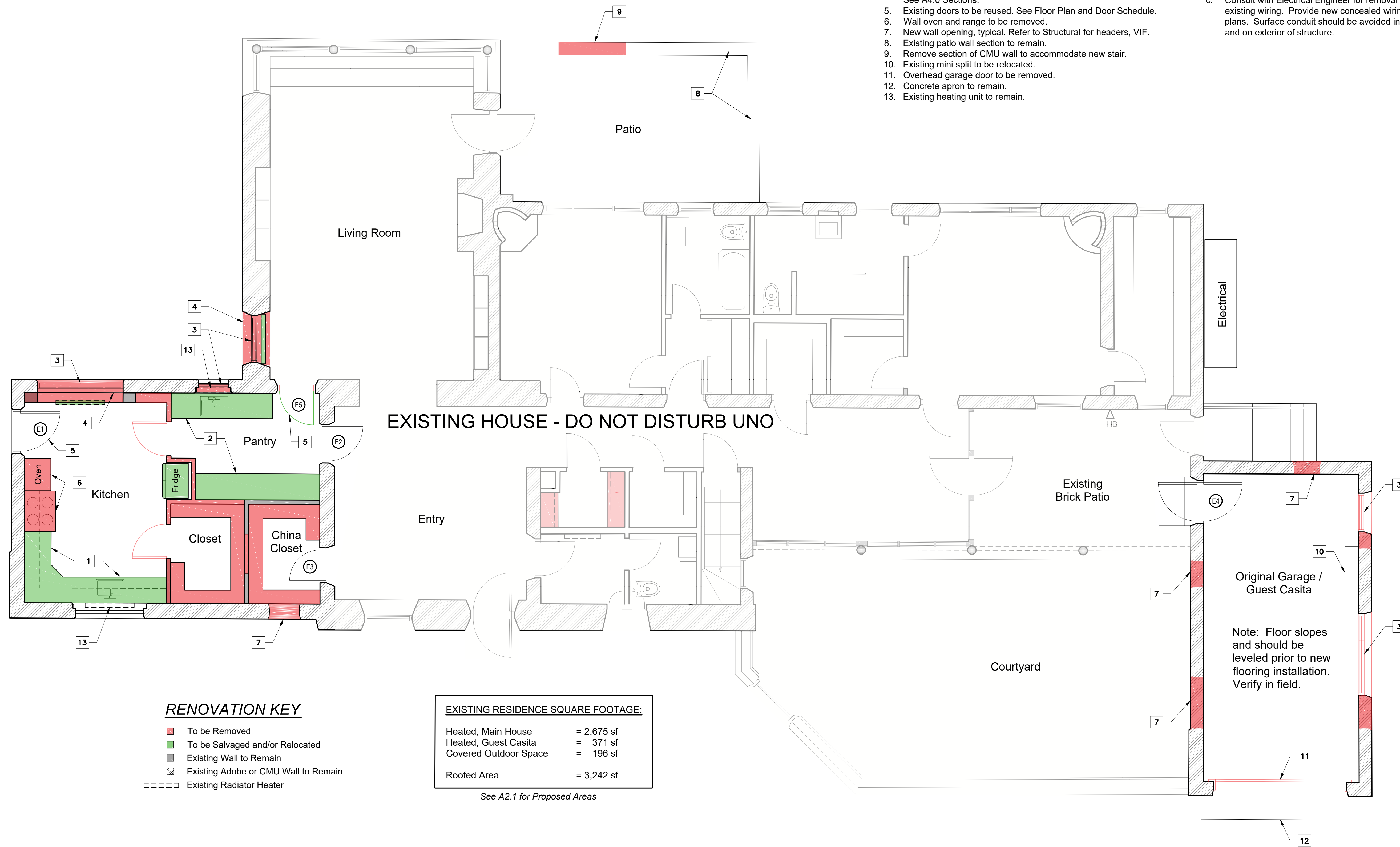


KEYED NOTES:

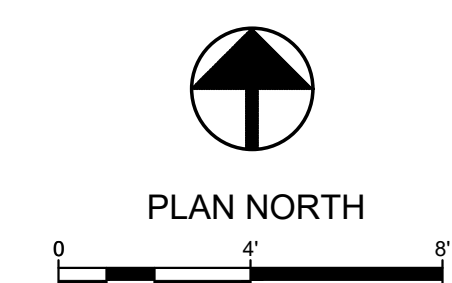
1. Kitchen cabinets and cabinet pulls to be reused in Laundry. Verify in field with Owner.
2. Pantry cabinets to be reused in Garage. Salvage to Owner.
3. Existing window to be removed.
4. Convert window opening to full-height passage opening with steps. See A4.0 Sections.
5. Existing doors to be reused. See Floor Plan and Door Schedule.
6. Wall oven and range to be removed.
7. New wall opening, typical. Refer to Structural for headers, VIF.
8. Existing patio wall section to remain.
9. Remove section of CMU wall to accommodate new stair.
10. Existing mini split to be relocated.
11. Overhead garage door to be removed.
12. Concrete apron to remain.
13. Existing heating unit to remain.

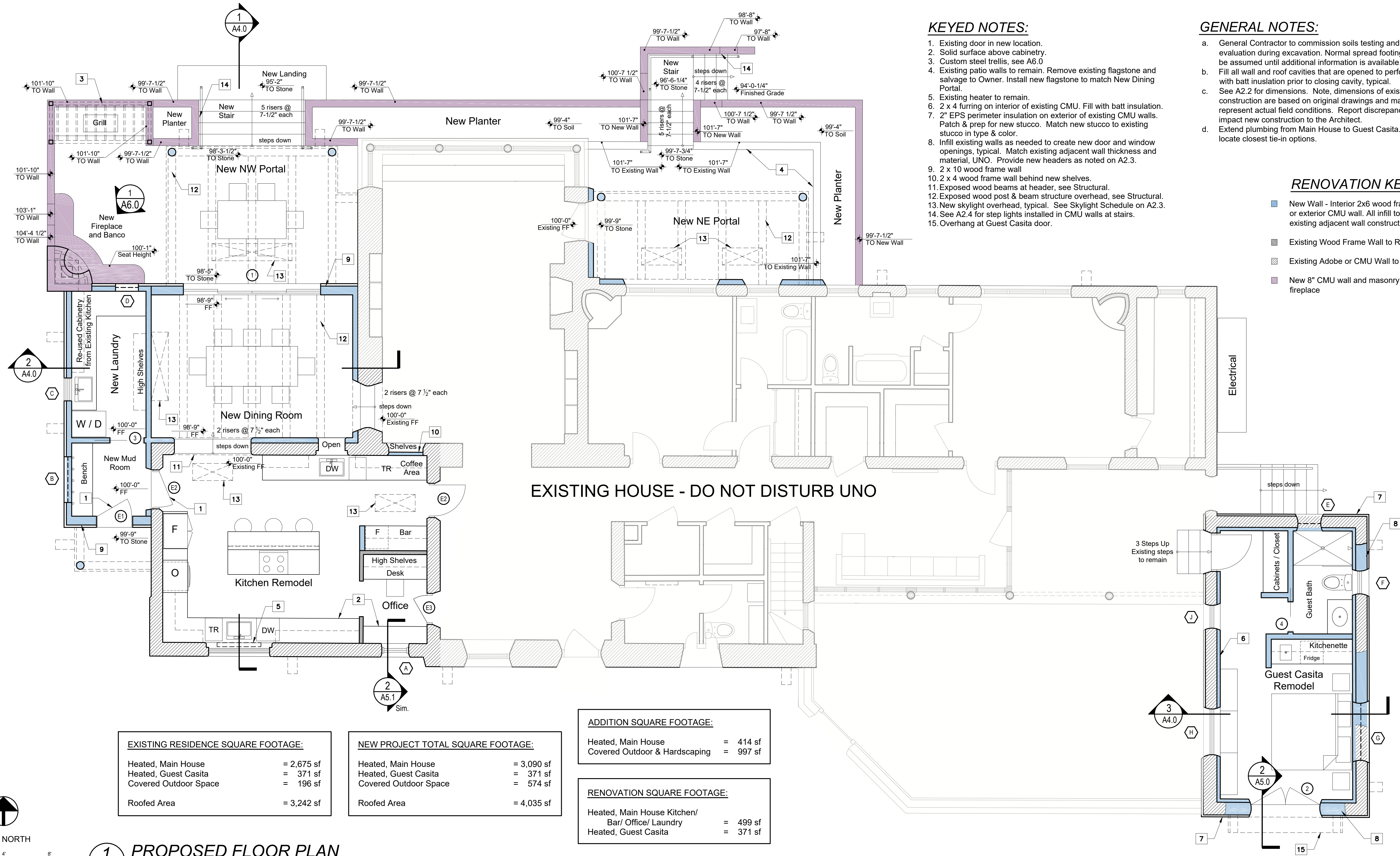
GENERAL NOTES:

- a. Salvage all existing appliances to Owner, UNO. VIF
- b. Remove existing floor coverings, lighting, plumbing fixtures, and ceiling treatments in all remodel areas (Kitchen, Pantry, Kitchen Closet, China Closet and Guest Casita). Salvage TBD in field with Owner.
- c. Consult with Electrical Engineer for removal of conduit and existing wiring. Provide new concealed wiring per proposed plans. Surface conduit should be avoided in finished spaces and on exterior of structure.



1 EXISTING AND DEMO FLOOR PLAN
 A2.0 SCALE: 1/4" = 1'-0"





KEYED NOTES:

1. Existing door in new location.
2. Solid surface above cabinetry.
3. Custom steel trellis, see A6.0
4. Existing patio walls to remain. Remove existing flagstone and salvage to Owner. Install new flagstone to match New Dining Portal.
5. Existing heater to remain.
6. 2 x 4 furring on interior of existing CMU. Fill with batt insulation.
7. 2" EPS perimeter insulation on exterior of existing CMU walls. Patch & prep for new stucco. Match new stucco to existing stucco in type & color.
8. Infill existing walls as needed to create new door and window openings, typical. Match existing adjacent wall thickness and material, UNO. Provide new headers as noted on A2.3.
9. 2 x 10 wood frame wall
10. 2 x 4 wood frame wall behind new shelves.
11. Exposed wood beams at header, see Structural.
12. Exposed wood post & beam structure overhead, see Structural.
13. New skylight overhead, typical. See Skylight Schedule on A2.3.
14. See A2.4 for step lights installed in CMU walls at stairs.
15. Overhang at Guest Casita door.

GENERAL NOTES:

- a. General Contractor to commission soils testing and evaluation during excavation. Normal spread footings may be assumed until additional information is available.
- b. Fill all wall and roof cavities that are opened to perform work with batt insulation prior to closing cavity, typical.
- c. See A2.2 for dimensions. Note, dimensions of existing construction are based on original drawings and may not represent actual field conditions. Report discrepancies that impact new construction to the Architect.
- d. Extend plumbing from Main House to Guest Casita. Field locate closest tie-in options.

RENOVATION KEY

- New Wall - Interior 2x6 wood framing or exterior CMU wall. All infill to match existing adjacent wall construction, VIF.
- Existing Wood Frame Wall to Remain
- Existing Adobe or CMU Wall to Remain
- New 8" CMU wall and masonry fireplace

EXISTING HOUSE - DO NOT DISTURB UNO

EXISTING RESIDENCE SQUARE FOOTAGE:	
Heated, Main House	= 2,675 sf
Heated, Guest Casita	= 371 sf
Covered Outdoor Space	= 196 sf
Roofted Area	= 3,242 sf

NEW PROJECT TOTAL SQUARE FOOTAGE:	
Heated, Main House	= 3,090 sf
Heated, Guest Casita	= 371 sf
Covered Outdoor Space	= 574 sf
Roofted Area	= 4,035 sf

ADDITION SQUARE FOOTAGE:	
Heated, Main House	= 414 sf
Covered Outdoor & Hardscaping	= 997 sf

RENOVATION SQUARE FOOTAGE:	
Heated, Main House Kitchen/Bar/Office/Laundry	= 499 sf
Heated, Guest Casita	= 371 sf

1 PROPOSED FLOOR PLAN
A2.1 SCALE: 1/4" = 1'-0"

Elevation 100'-0" on Floor Plan = Elevation 7561.2' on Site Plan. See Civil for grading and drainage

VARIANCE REQUEST SUBMITTAL	NOT FOR CONSTRUCTION	<p>PALO SANTO DESIGNS LLC Committed to Building a Sustainable World</p> <p>www.palosantodesigns.com 505-988-7230</p>	<p>DAVENPORT-SHARON ADDITION & REMODEL</p> <p>August 12, 2025</p> <p>195 Brownell-Howland, Santa Fe NM 87501</p>	<p>Proposed Floor Plan</p> <p style="font-size: 2em;">A2.1</p>
REVISIONS:				

**VARIANCE
REQUEST
SUBMITTAL**

**NOT FOR
CONSTRUCTION**

REVISIONS:

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August 12, 2025

**DAVENPORT-SHARON
ADDITION &
REMODEL**

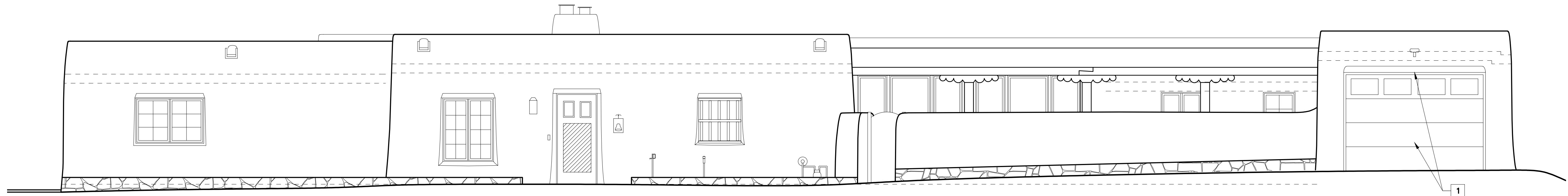
**195 Brownell-Howland,
Santa Fe NM 87501**

**Existing and
Proposed
Elevations**

A3.0

EXISTING KEYED NOTES:

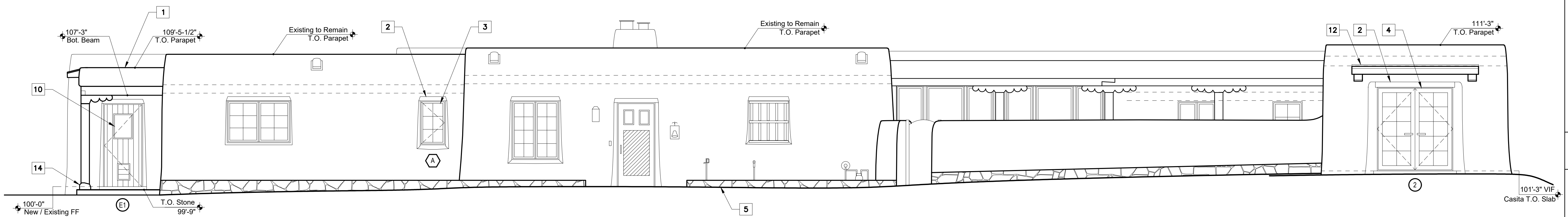
1. Replace existing false header above Garage Door with new exposed wood header above Guest Bedroom french doors. Remove Garage door and salvage to Owners. VIF
2. Window to be removed. Convert to new opening. See A2.1 Proposed Floor Plan.
3. Remove flagstone patios, benches, and steps. Salvage flagstone to Owner.
4. Remove and relocate exterior door. See A2.1 Proposed Floor Plan.
5. Delete canale as needed. See Roof Plan.
6. Review piping and conduit this side of house. Relocate as needed.
7. Remove existing window. Patch and frame for new windows. See A2.1 Proposed Floor Plan.
8. Relocate existing canale.



1 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- a. Provide new 3-coat stucco patching and re-color coat all remodel areas. Match existing stucco in type and color, typical. Follow manufacturers instructions for application. Provide color sample for approval prior to proceeding with color coat.
- b. No change to existing building heights other than thickness to re-stucco, typical.
- c. Paint color of all existing exposed wood headers/ lintels shall remain blue. Paint touch-up as needed to match.
- d. Paint color for all new exposed wood headers/ lintels, columns, beams and/ or corbels to be white or brown only. No blue paint on new window/door, headers/ lintels or exterior wood structures and/or trim.



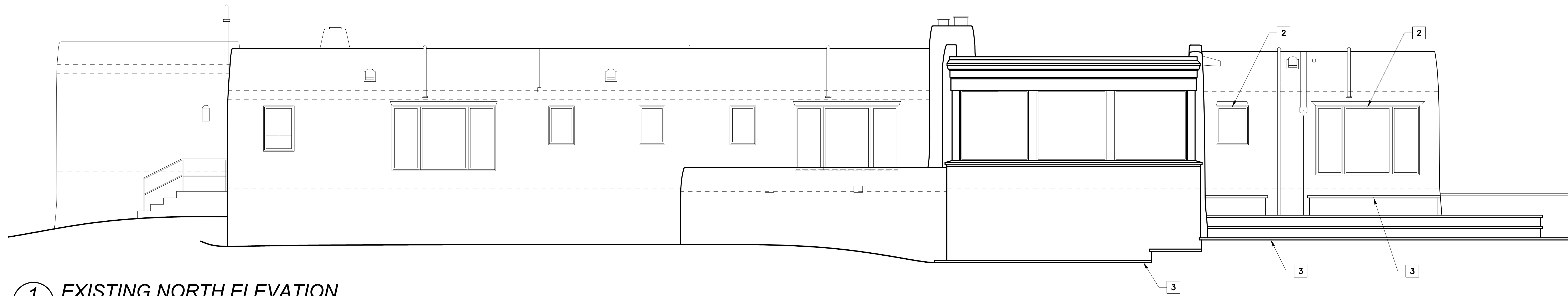
2 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED KEYED NOTES:

1. New portal at new Mud Room Entry.
2. New exposed wood header above new window or door. Paint all new wood headers/ lintels white.
3. New wood and aluminum clad window. Match existing window clad color (white).
4. New wood and aluminum clad glazed door. See Glazed Door and Window Schedule. Match clad color of existing windows (white).
5. Stone borders to remain. Protect as needed during construction.
6. Custom steel handrails. Details TBD.
7. New steel trellis. Details TBD.
8. New mini split outdoor unit. Provide concrete slab below unit.
9. New canale location. Match new canales to existing canales. Paint to match existing canales.
10. Add glass window in existing door. Verify with Owner in the field.
11. Existing concrete slab slopes. VIF and level as needed prior to installing new flooring.
12. New Eyebrow Overhang at Guest Bedroom french doors. Paint all exposed wood columns, beams, and corbels brown to match similar existing wood members at Porch.
13. Waterproof on the back of all new retaining walls, typical.
14. Stone base, typical at all columns

EXISTING KEYED NOTES:

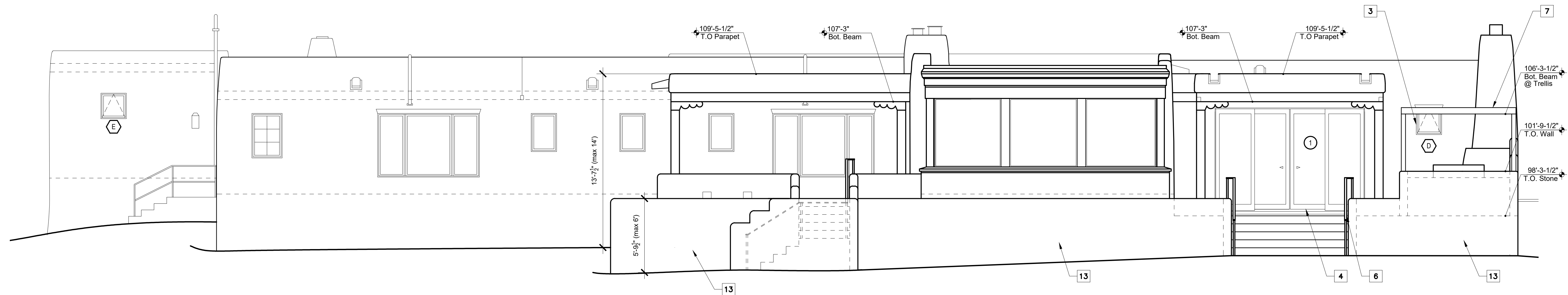
1. Replace existing false header above Garage Door with new exposed wood header above Guest Bedroom french doors. Remove Garage door and salvage to Owners. VIF
2. Window to be removed. Convert to new opening. See A2.1 Proposed Floor Plan.
3. Remove flagstone patios, benches, and steps. Salvage flagstone to Owner.
4. Remove and relocate exterior door. See A2.1 Proposed Floor Plan.
5. Delete canale as needed. See Roof Plan.
6. Review piping and conduit this side of house. Relocate as needed.
7. Remove existing window. Patch and frame for new windows. See A2.1 Proposed Floor Plan.
8. Relocate existing canale.



1 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- a. Provide new 3-coat stucco patching and re-color coat all remodel areas. Match existing stucco in type and color, typical. Follow manufacturers instructions for application. Provide color sample for approval prior to proceeding with color coat.
- b. No change to existing building heights other than thickness to re-stucco, typical.
- c. Paint color of all existing exposed wood headers/ lintels shall remain blue. Paint touch-up as needed to match.
- d. Paint color for all new exposed wood headers/ lintels, columns, beams and/ or corbels to be white or brown only. No blue paint on new window/door, headers/ lintels or exterior wood structures and/or trim.



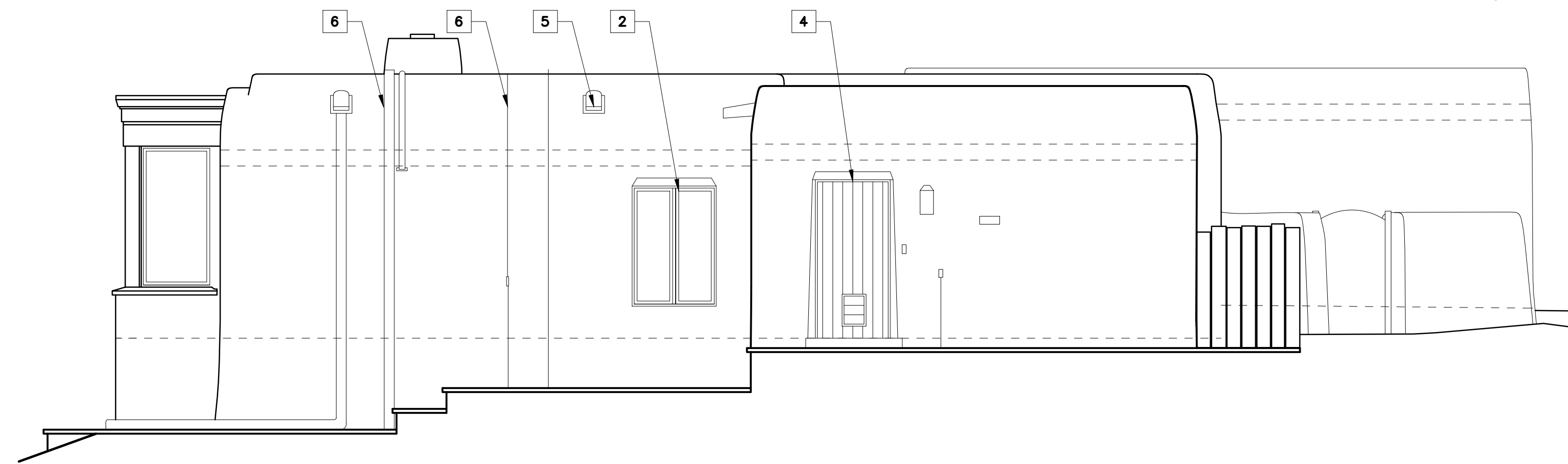
2 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED KEYED NOTES:

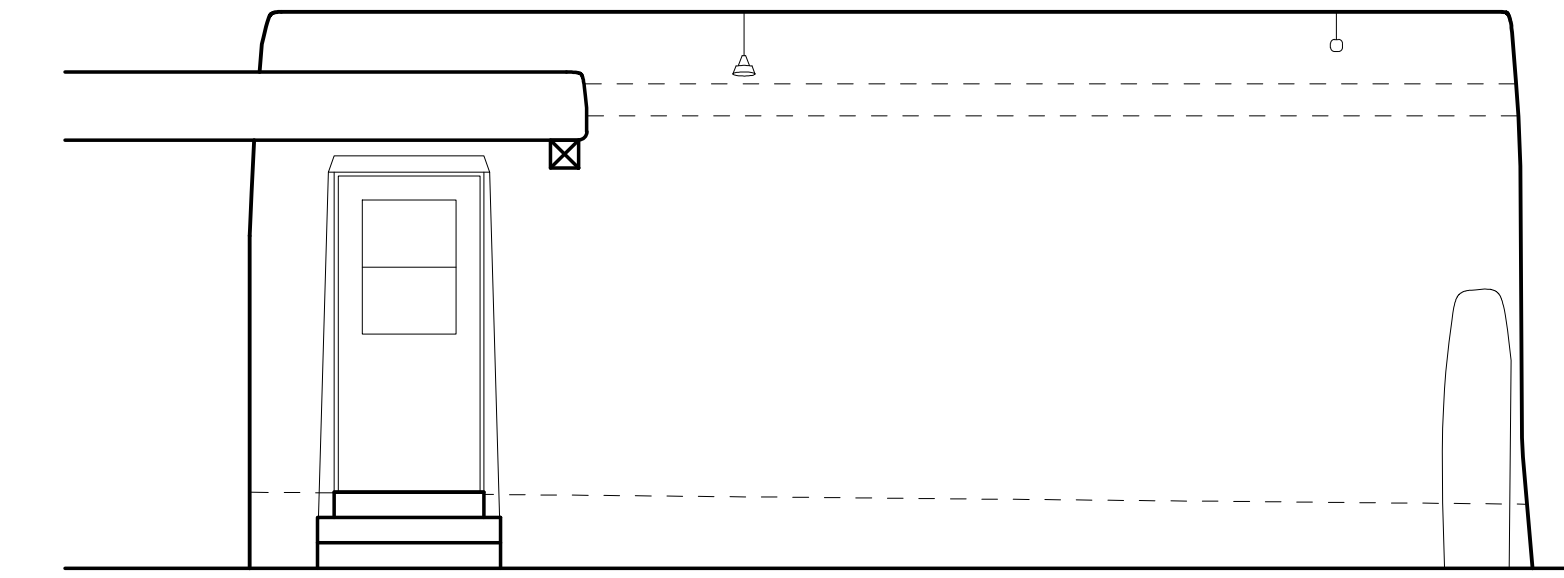
1. New portal at new Mud Room Entry.
2. New exposed wood header above new window or door. Paint all new wood headers/ lintels white.
3. New wood and aluminum clad window. Match existing window clad color (white).
4. New wood and aluminum clad glazed door. See Glazed Door and Window Schedule. Match clad color of existing windows (white).
5. Stone borders to remain. Protect as needed during construction.
6. Custom steel handrails. Details TBD.
7. New steel trellis. Details TBD.
8. New mini split outdoor unit. Provide concrete slab below unit.
9. New canale location. Match new canales to existing canales. Paint to match existing canales.
10. Add glass window in existing door. Verify with Owner in the field.
11. Existing concrete slab slopes. VIF and level as needed prior to installing new flooring.
12. New Eyebrow Overhang at Guest Bedroom french doors. Paint all exposed wood columns, beams, and corbels brown to match similar existing wood members at Porch.
13. Waterproof on the back of all new retaining walls, typical.
14. Stone base, typical at all columns

EXISTING KEYED NOTES:

1. Replace existing false header above Garage Door with new exposed wood header above Guest Bedroom french doors. Remove Garage door and salvage to Owners. VIF
2. Window to be removed. Convert to new opening. See A2.1 Proposed Floor Plan.
3. Remove flagstone patios, benches, and steps. Salvage flagstone to Owner.
4. Remove and relocate exterior door. See A2.1 Proposed Floor Plan.
5. Delete canale as needed. See Roof Plan.
6. Review piping and conduit this side of house. Relocate as needed.
7. Remove existing window. Patch and frame for new windows. See A2.1 Proposed Floor Plan.
8. Relocate existing canale.



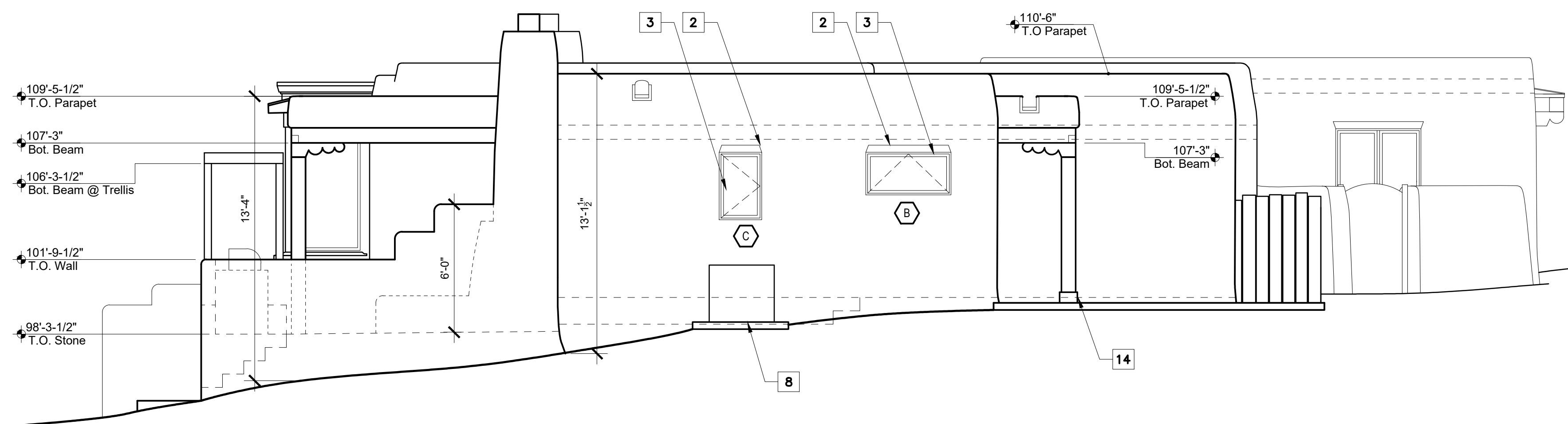
1 EXISTING WEST ELEVATION
A3.2 SCALE: 1/4" = 1'-0"



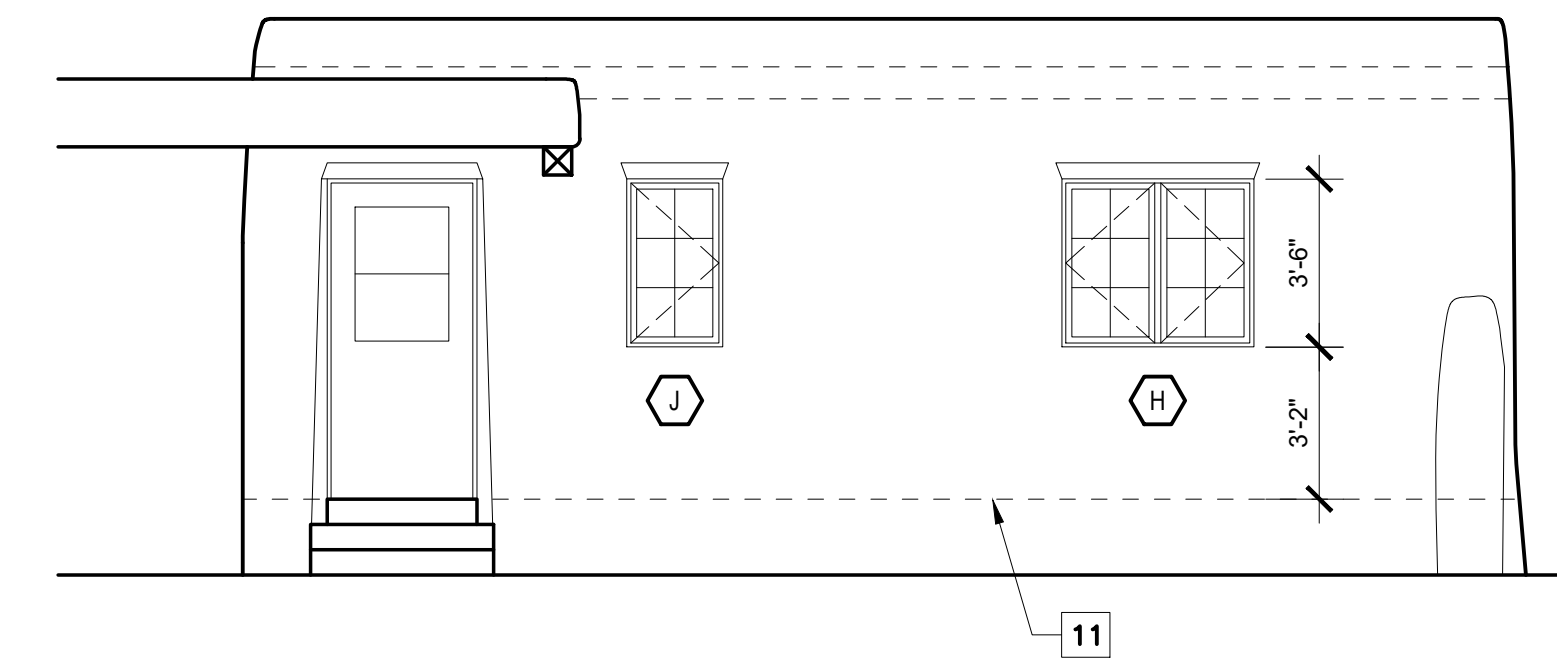
3 EXISTING WEST COURTYARD ELEVATION
A3.2 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- a. Provide new 3-coat stucco patching and re-color coat all remodel areas. Match existing stucco in type and color, typical. Follow manufacturers instructions for application. Provide color sample for approval prior to proceeding with color coat.
- b. No change to existing building heights other than thickness to re-stucco, typical.
- c. Paint color of all existing exposed wood headers/ lintels shall remain blue. Paint touch-up as needed to match.
- d. Paint color for all new exposed wood headers/ lintels, columns, beams and/ or corbels to be white or brown only. No blue paint on new window/door, headers/ lintels or exterior wood structures and/or trim.



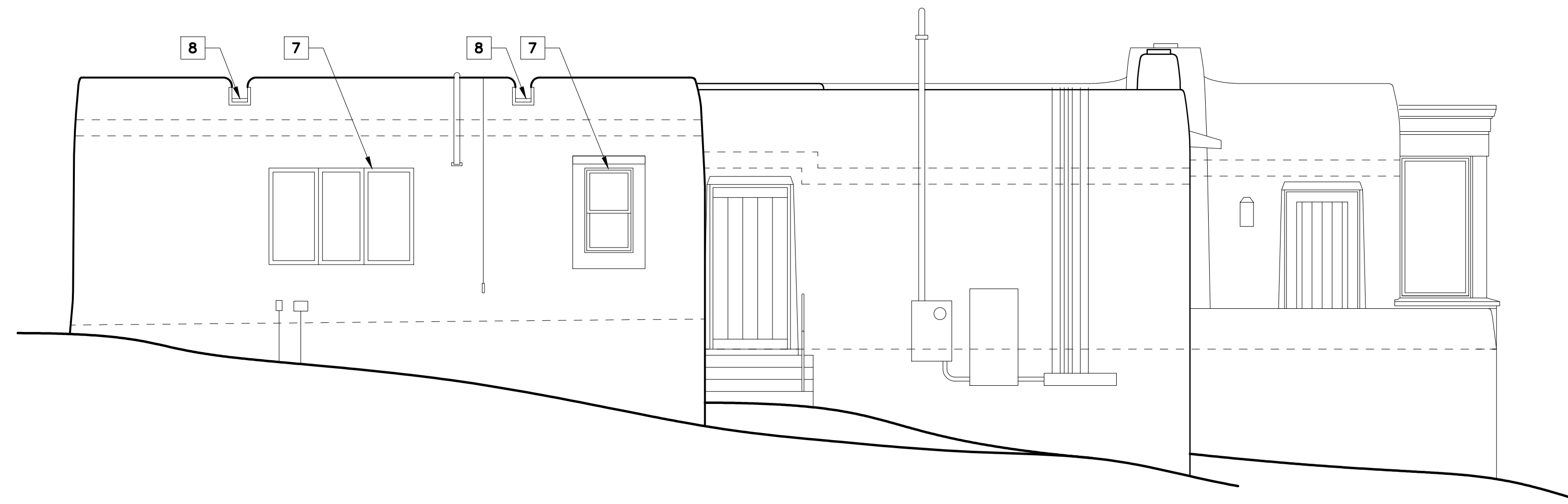
2 PROPOSED WEST ELEVATION
A3.2 SCALE: 1/4" = 1'-0"



4 PROPOSED WEST COURTYARD ELEVATION
A3.2 SCALE: 1/4" = 1'-0"

PROPOSED KEYED NOTES:

1. New portal at new Mud Room Entry.
2. New exposed wood header above new window or door. Paint all new wood headers/ lintels white.
3. New wood and aluminum clad window. Match existing window clad color (white).
4. New wood and aluminum clad glazed door. See Glazed Door and Window Schedule. Match clad color of existing windows (white).
5. Stone borders to remain. Protect as needed during construction.
6. Custom steel handrails. Details TBD.
7. New steel trellis. Details TBD.
8. New mini split outdoor unit. Provide concrete slab below unit.
9. New canale location. Match new canales to existing canales. Paint to match existing canales.
10. Add glass window in existing door. Verify with Owner in the field.
11. Existing concrete slab slopes. VIF and level as needed prior to installing new flooring.
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13. Waterproof on the back of all new retaining walls, typical.
14. Stone base, typical at all columns



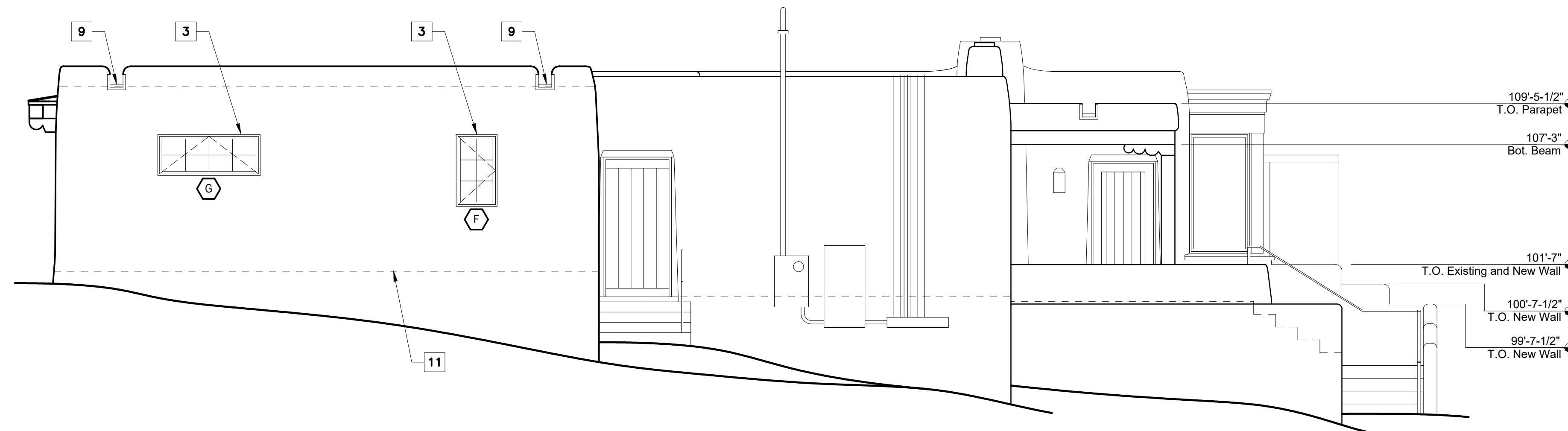
1 EXISTING EAST ELEVATION
A3.3 SCALE: 1/4" = 1'-0"

EXISTING KEYED NOTES:

1. Replace existing false header above Garage Door with new exposed wood header above Guest Bedroom french doors. Remove Garage door and salvage to Owners. VIF
2. Window to be removed. Convert to new opening. See A2.1 Proposed Floor Plan.
3. Remove flagstone patios, benches, and steps. Salvage flagstone to Owner.
4. Remove and relocate exterior door. See A2.1 Proposed Floor Plan.
5. Delete canale as needed. See Roof Plan.
6. Review piping and conduit this side of house. Relocate as needed.
7. Remove existing window. Patch and frame for new windows. See A2.1 Proposed Floor Plan.
8. Relocate existing canale.

GENERAL NOTES:

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2 PROPOSED EAST ELEVATION
A3.3 SCALE: 1/4" = 1'-0"

PROPOSED KEYED NOTES:

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4. New wood and aluminum clad glazed door. See Glazed Door and Window Schedule. Match clad color of existing windows (white).
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13. Waterproof on the back of all new retaining walls, typical.
14. Stone base, typical at all columns