



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., Santa Fe, NM 87504-0909

Project description . . : REPAIR/RESTORATION OF BUILDING EXTERIOR
 Project number . . . : 95- 10100091
 Case Number : H-95-91
 Project type : HISTORIC DESIGN REVIEW BOARD
 Application date . . : 06/19/95

PROJECT LOCATION(S) : 515 Paseo De Peralta

PROJECT NAMES:

OW- Gabel, Dorathea P.O. Box 1218
 Santa Fe, NM 87501 (505) 5243952

PROJECT DATA

HISTORICAL DISTRICT	DOWNTOWN & EASTSIDE
HISTORIC BUILDING STATUS	SIGNIFICANT
PUBLICLY VISIBLE FACADE-EAST	Y
PUBLICLY VISIBLE FACADE-NORTH	N
PUBLICLY VISIBLE FACADE-SOUTH	Y
PUBLICLY VISIBLE FACADE-WEST	Y
HISTORIC DIST SURVEY NUMBER	566
AGE OF STRUCTURE	PRE 1912
PROJECT TYPE (NEW, ADD, ETC.)	RENOVATION

City of Santa Fe, New Mexico

memo

DATE: 11 July 1995
TO: Historic Design Review Board Members
FROM: Mary Grzeskowiak, Planner III *MG*

CASE #H-95-91 ADDRESS 515 PASEO DE PERALTA

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS	APPLICANT SUBMITTALS
<input type="checkbox"/> Case Synopsis	<input checked="" type="checkbox"/> Proposal Letter
<input checked="" type="checkbox"/> District Standards	<input checked="" type="checkbox"/> Vicinity Map
<input checked="" type="checkbox"/> State Historical Survey Sheet	<input checked="" type="checkbox"/> Site Plan/Floor Plan
<input type="checkbox"/> Minutes of _____	<input checked="" type="checkbox"/> Elevations
<input type="checkbox"/> Other _____	<input checked="" type="checkbox"/> Photographs
	<input checked="" type="checkbox"/> Other <u>engineering report</u>

STAFF RECOMMENDATIONS:

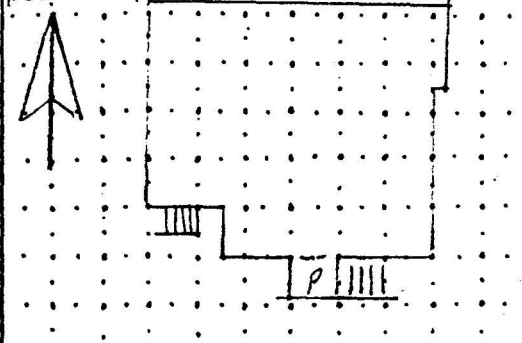
The applicant has proposed what appears to be a sensitive approach to repairing and stabilizing the subject building on the site, specifically the west elevation "tower" structure on the building.

As illustrated in the structural engineering assessment and drawing, the tower feature will be shored with tie rods, and the missing areas of brick work patched and filled before restuccoing. In addition the applicant has indicated that modern features on the exterior of the building (eaves, window frames, and doors) will be scraped, repaired/replaced to match the existing, and repainted.

Staff notes that the proposed approach to the deterioration through restorative treatments is very sensitive to the building. At the request of staff, the applicant will be prepared to specify stucco and trim colors, and the "non-shrinking filler" material referenced in the proposal letter.

Pending the compatibility of this information with the requirements of the SFCC, staff acknowledges the applicant for the approach proposed herein and recommends approval.

building threatened? yes	surveyed date 11/85 by HMW	county SANTA FE	ID no. 051610566
field map SFHD # 1	number 566	UTM reference easting zone 12 13	northing
location description 501(2) P° de PERALTA 515		city/town SANTA FE	
building name		legal description tnsp N S range E W sec 1/4 1/4	
film roll by SL no. SFHD # 24	negative nos. ?	loc. of neg. HPB	plan shape



date of construction
PRE 1900 estimate _____ actual
source
KING'S.

use
present residential
other _____
historic residential
other _____

condition
_____ excellent good
_____ fair _____ deteriorating

degree of remodeling
 minor _____ moderate _____ major
describe:

style TERRITORIAL	foundation material STONE
	wall material/surface BRK / STUCCO

architectural features
STUCCO'S BRK LOUVER - 2 DENTIL ROWS, 1 N. HDR, 1 DOGTOOTH; COLLOD RE WENT OVER TOPS AS FLASHING.

surroundings
CORNER/RES
relationship to surroundings
_____ similar not similar

2/2 D.I.H. W.D. WINDOWS, SCL'S, TRANS W/ SEG UNITS, STRONG FOR TRANS.

district potential
_____ yes _____ no

OTHER PORCH W/ SEMI-CIRC. ARCH OPENINGS
SCL LF 2 ARCH LIGHT W.D. DOOR W/ SCL TRANS.

significance
 eligible _____ of _____ none
if eligible, interest

3 6/6 D.I.H. IN BAND ON REAR E.; STAIRS TO L SIDE
comments FRONT ENTRY: SCL IS LIGHT DOOR W/ SCL TRANS.

why? PRIMARY: STYLE, INTEG.

WAS STUCCO'D VERY EARLY - SHIMS IN C.1910 PHOTOS.
AN EXC. BRK TERRITORIAL W/ STEPPED MASS PLAN.

associated buildings? _____ yes
what type?

if inventoried, list ID nos.

see back? _____ yes

14-70.9 Standards; Downtown and Eastside.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls:

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations:

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection:

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts:

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements:

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below:

(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits:

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles: except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang.
(Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)

June 19, 1995
Box 1218
Mesilla, NM 88046

Historic Design Review Board
City of Santa Fe
200 Lincoln Ave
P.O. Box 909
Santa Fe, N.M. 87504-0909

Re: 515 Paseo de Peralta, Area #1, House #533, "Significant".

Dear Historic Board Members:

This proposal is for the repair and restoration of the exterior stucco, exterior wood surfaces, and structural integrity of the front porch on significant historic building #533, located at 515 Paseo de Peralta (Ex. A).

The building is of double brick construction covered with a rough cement stucco. The existing stucco was probably applied at the time of original construction. The bricks are roughened and pocked to hold the stucco without lath. The brick faces do not show signs of ever having been the exterior surface. I know that the existing stucco has been in place since 1937 when the building was purchased by my parents. At that time the stucco appeared to be old (See 1937 photo at Ex. B).

Due to weathering and age, the stucco has peeled and cracked in several places. There are large cracks with missing bricks in the front porch. It is proposed that those bricks be replaced and the cracks filled with a non shrinking filler. Lath would be used as necessary to hold the new stucco. The porch structure will be reinforced for safety with steel bands and plates which will be covered with stucco. This plan was recommended and endorsed by Ken DeLapp, professional and structural engineer (Ex. C).

The brick pattern in the parapets will not be covered by new stucco. The wood in the eaves, window frames, and doors will be scraped and painted. Rotten wood will be replaced as needed. The original configurations will be maintained.

The earliest record of a building on this site which I have been able to find is dated December 13, 1872 in Book Q Deeds at Page 256 and refers to "tenements and apputenances thereunto". This was on a deed filed October 1, 1887 transferring title. It is unknown to me if the "tenements and apputenances" were the existing building.

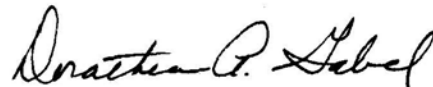
?
should
be expandable
?
(freeze
thaw
cycle)

The first positive identification that I have been able to make of the present standing building appears on King's Official Map Santa Fe - 1912 Portion of Block 39. The unique shape of the house is recognizable on what was then Hillside Avenue.

In 1937 when my parents bought the house it consisted of two apartments. The address then was 133 Hillside. During the housing shortage in early World War II the larger apartment was split and an attached garage converted into a bedroom. The building then took on the three apartment configuration that it has today.

The objective of this proposed project is to repair, restore, and maintain the exterior of the structure. NO changes or additions will be made except for the steel reinforcement to the porch and metal lath, both of which will be covered with stucco. The rock foundations and brick trim on the parapets will not be covered with new stucco.

Respectfully submitted,



Dorathea A. Gabel
Owner

stucco color?
trim color?

DELAPP ENGINEERING CORPORATION
CONSULTING ENGINEERS

1300 LUISA STREET - SUITE 23
SANTA FE, NEW MEXICO 87501

TELEPHONE (505) 983-4992
FACSIMILE (505) 984-0792

June 17, 1995

Doratheia A. Gabel
Box 1218
Mesilla, New Mexico 88046

Dear Mrs. Gabel:

This letter is regarding your house located at 515 Paseo de Peralta, in Santa Fe. I visited the house, with you and Mr. Gabel, in March. We paid particular attention to the needs of the porch at the front door, but also looked at all other walls.

I am attaching two 8 1/2 by 11 drawing sheets to indicate the repairs and strengthening required for the front entry porch. The south and west sides have suffered serious deterioration, with cracking and some of the brick masonry having fallen. With the tie rods added and filling and patching of the walls, I feel that the walls will be adequate and safe.

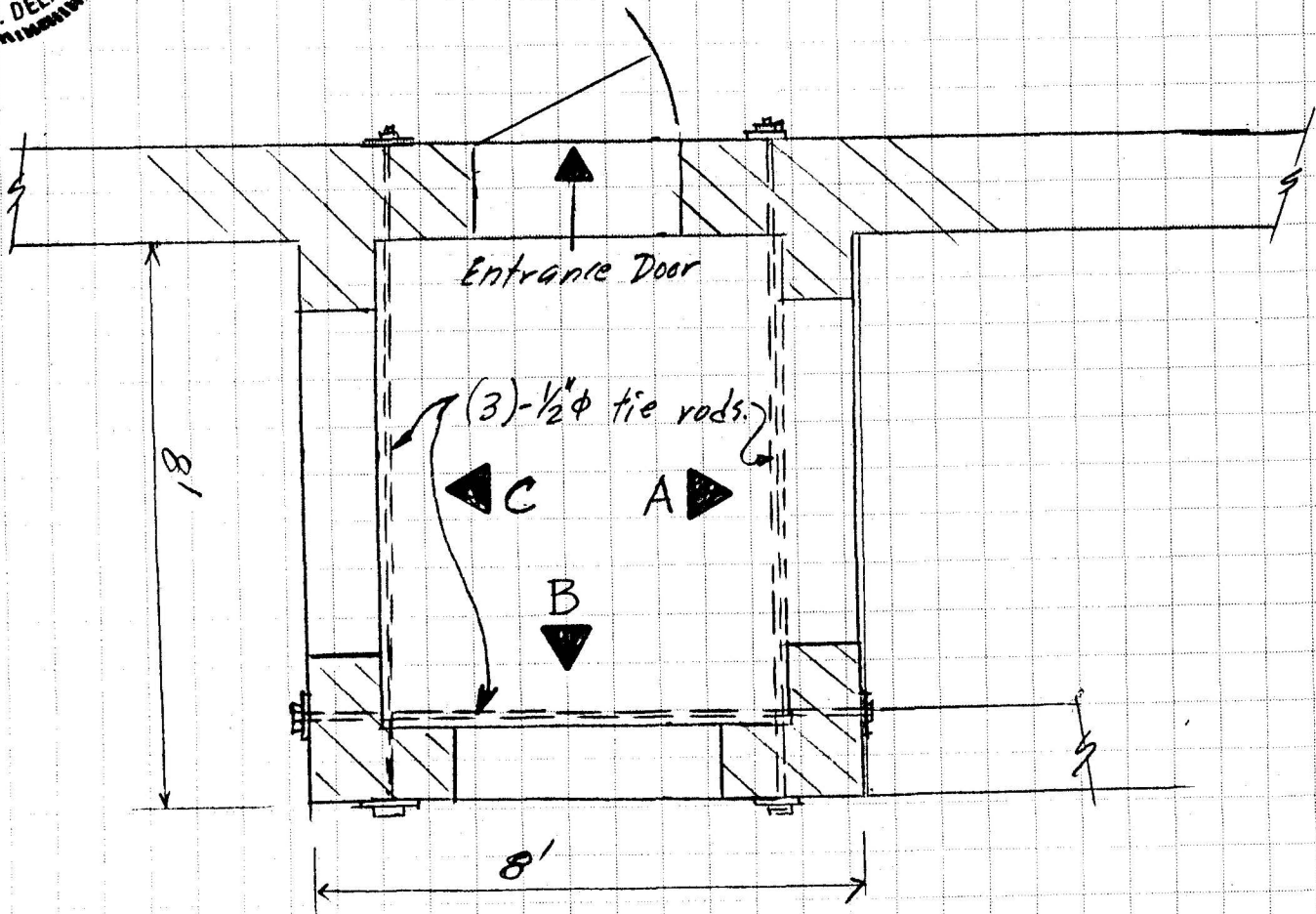
The remainder of the cracks in various walls appear to be mostly slight movements, having occurred over the long life of the house. The cracks seem to be at the exterior surfaces, rather than going all the way through the walls. These should be filled and patched as new stucco is applied to the outside.



Very truly yours,

Kenneth D. DeLapp, P.E.
Structural Engineer

Enclosure.

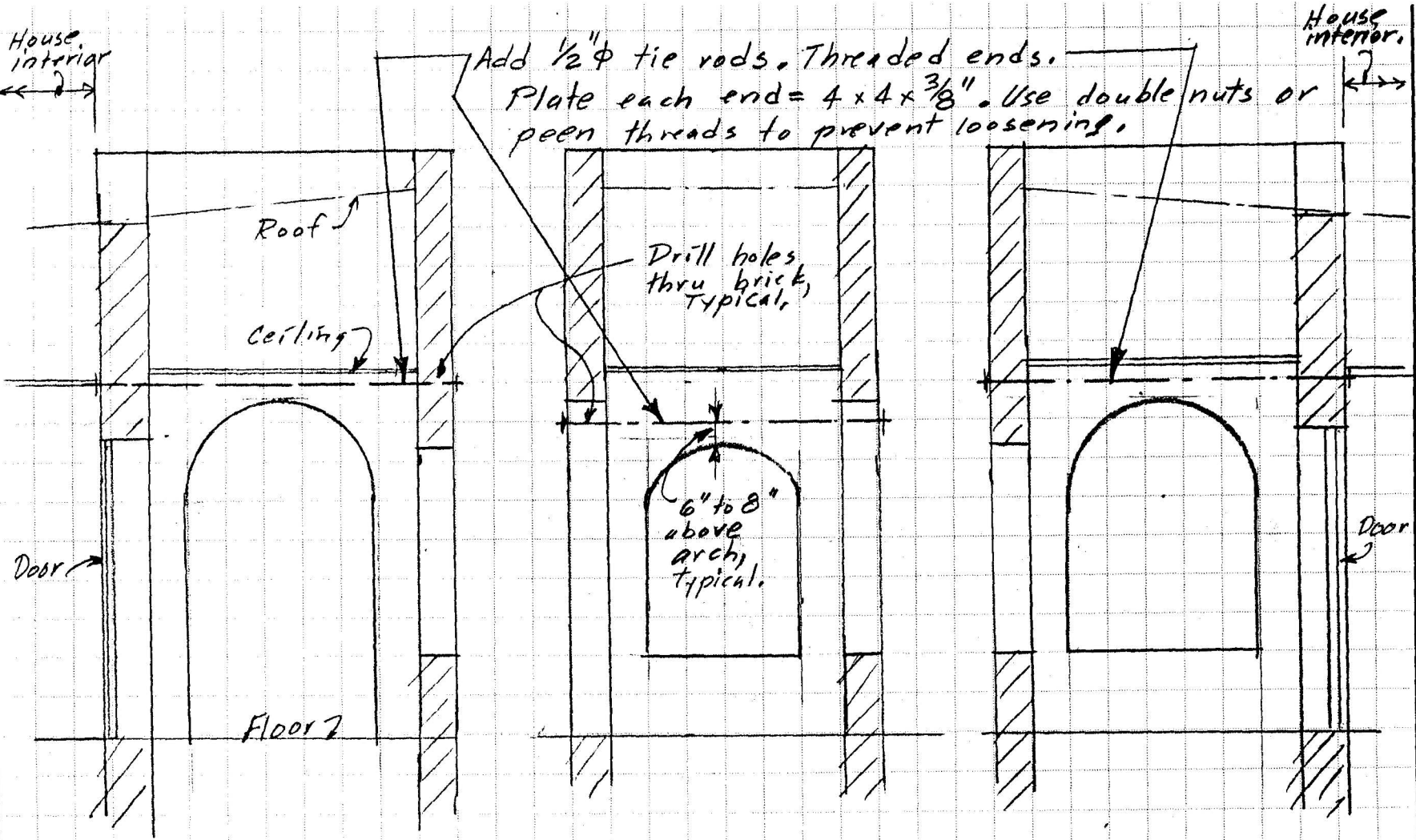


PLAN
 $\frac{3}{8}'' = 1'-0'' (\pm)$

Delapp Engineering Corporation
Consulting Engineers
1300 Luisa Street #23
SANTA FE, NEW MEXICO 87505

SCALE _____

JOB 515 San de Peralta (Gabel)
SHEET NO. 1 OF 2
DATE 6-17-95
DATE _____

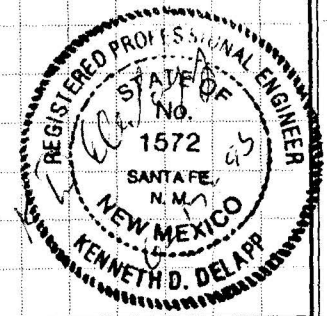


ELEV. A
Looking East

ELEV. B
Looking South

ELEV. C
Looking West

1. Drill & install tie rods. Snug up on nuts.
2. Fill & patch all cracks & holes in walls of entry.
3. Re-tighten and set nuts just before new stucco is applied.



Delapp Engineering Corporation
Consulting Engineers
1300 Luisa Street #23
SANTA FE, NEW MEXICO 87505

JOB 515 Paseo de Peralta (Sabel)
 SHEET NO. 2 OF 2
 DATE 6-17-95
 SCALE _____

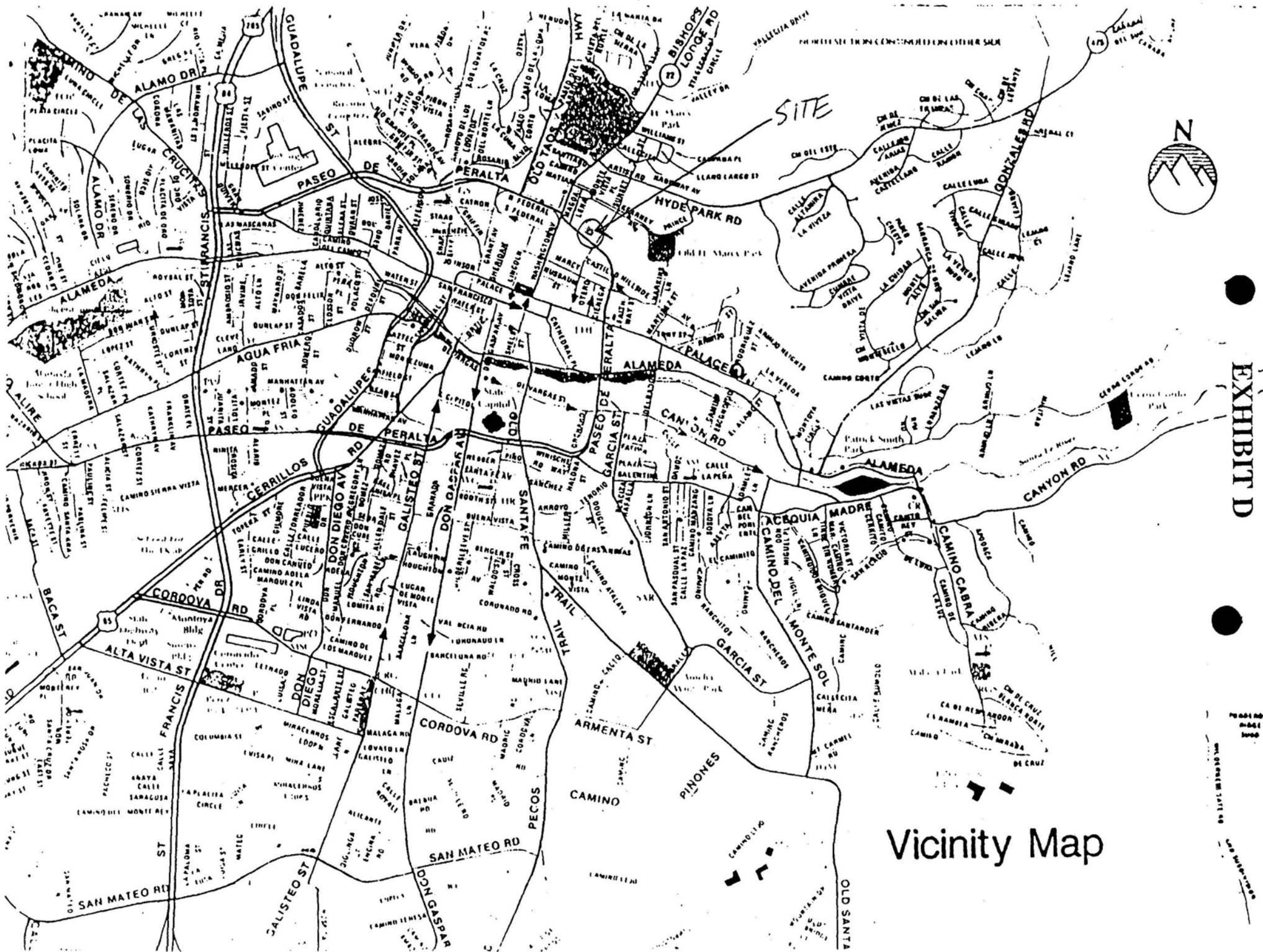
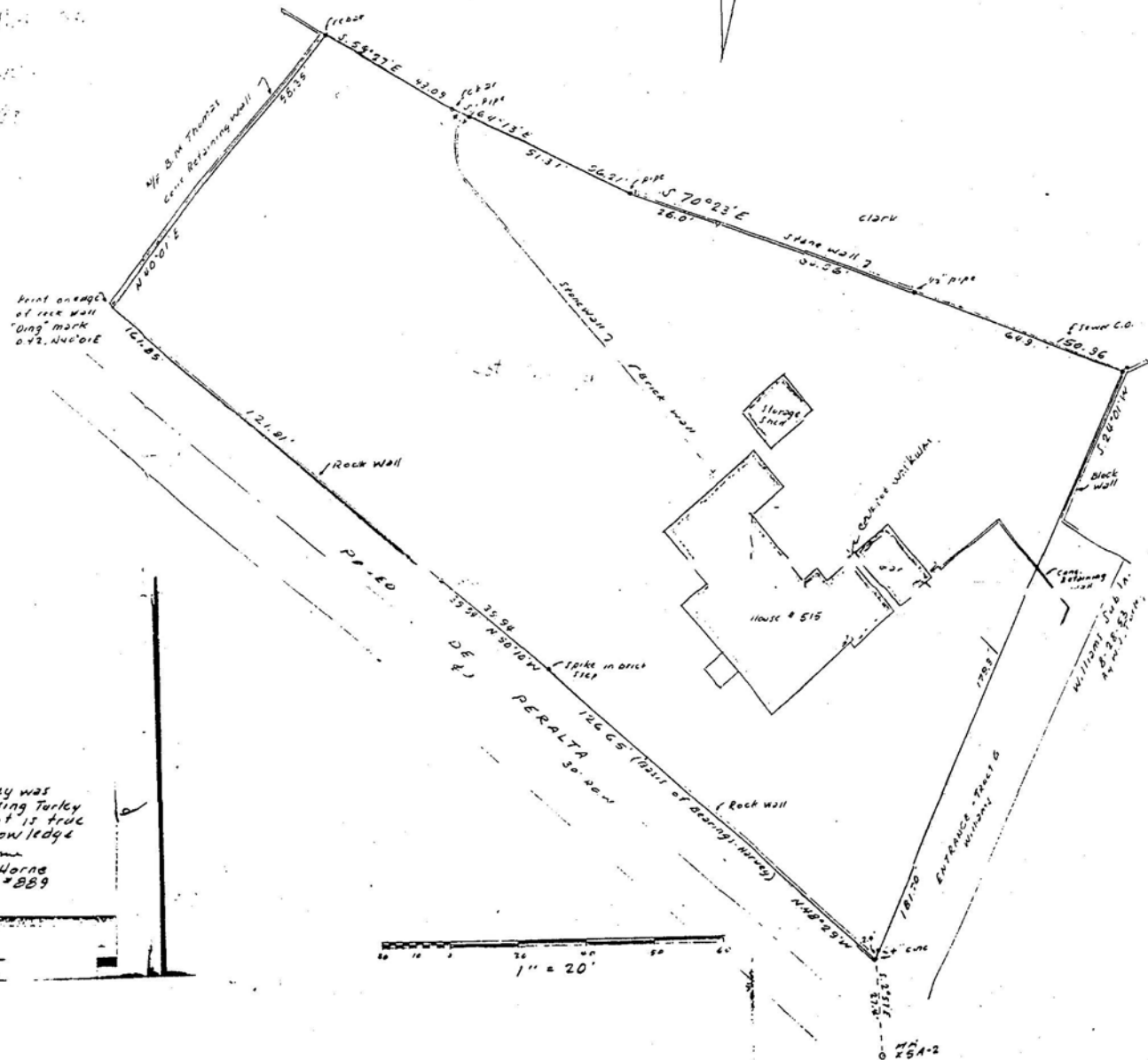


EXHIBIT D

Vicinity Map

74-001 1000
 74-001 1000
 74-001 1000

MOUNTAIN BELL *B. L. S. 28*
 PUBLIC SERVICE CO. OF N.M. *Plot 1 to 4*
 SANGRE DE CRISTO H.O. CO. *Field of R. L. 1942*
 GAS CO. OF N.M. *Field of R. L. 1942*



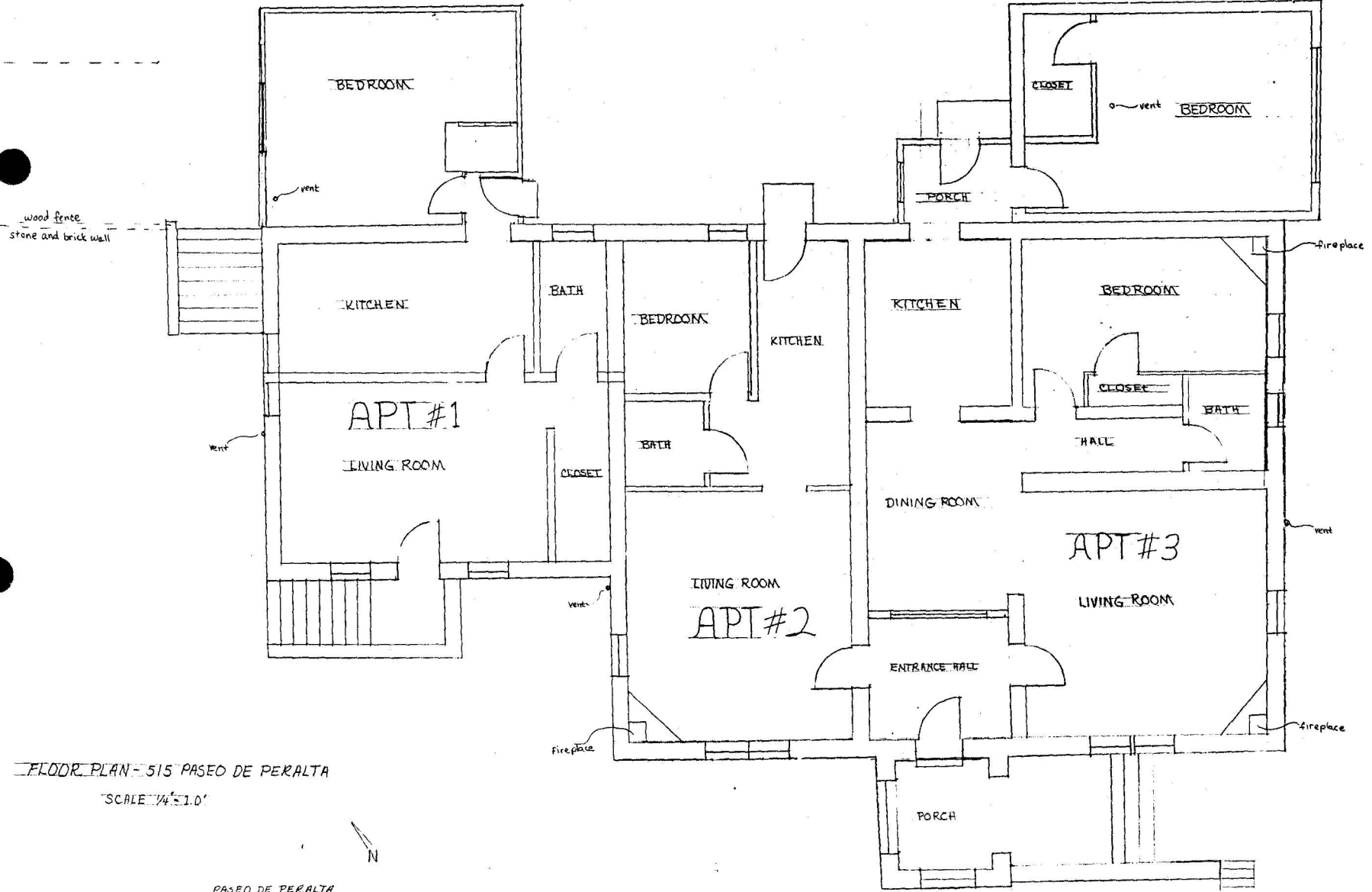
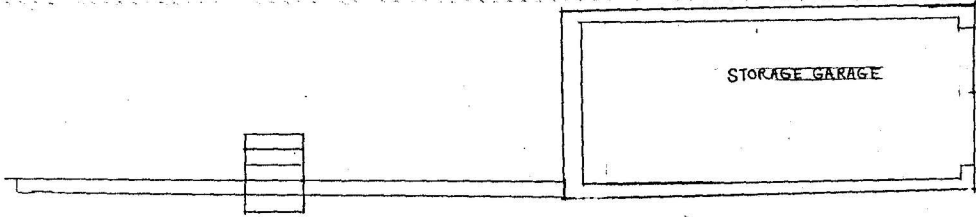
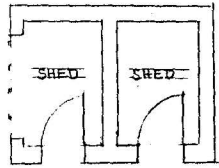
Refer Plat - Tract of land surveyed for
 Doretta K. Dunakin - Preliminary
 Suite 7E, N.M. by J.C. Harvey
 11/10, 1942. BL 416



I hereby certify that this plot and survey was
 made by me from my field surveys, using Turkey
 and Harvey surveys as a basis, and it is true
 and correct to the best of my knowledge
 and belief.

J.G. Horn
 Jack G. Horn
 PE & LS # 889

4 Nov 1983

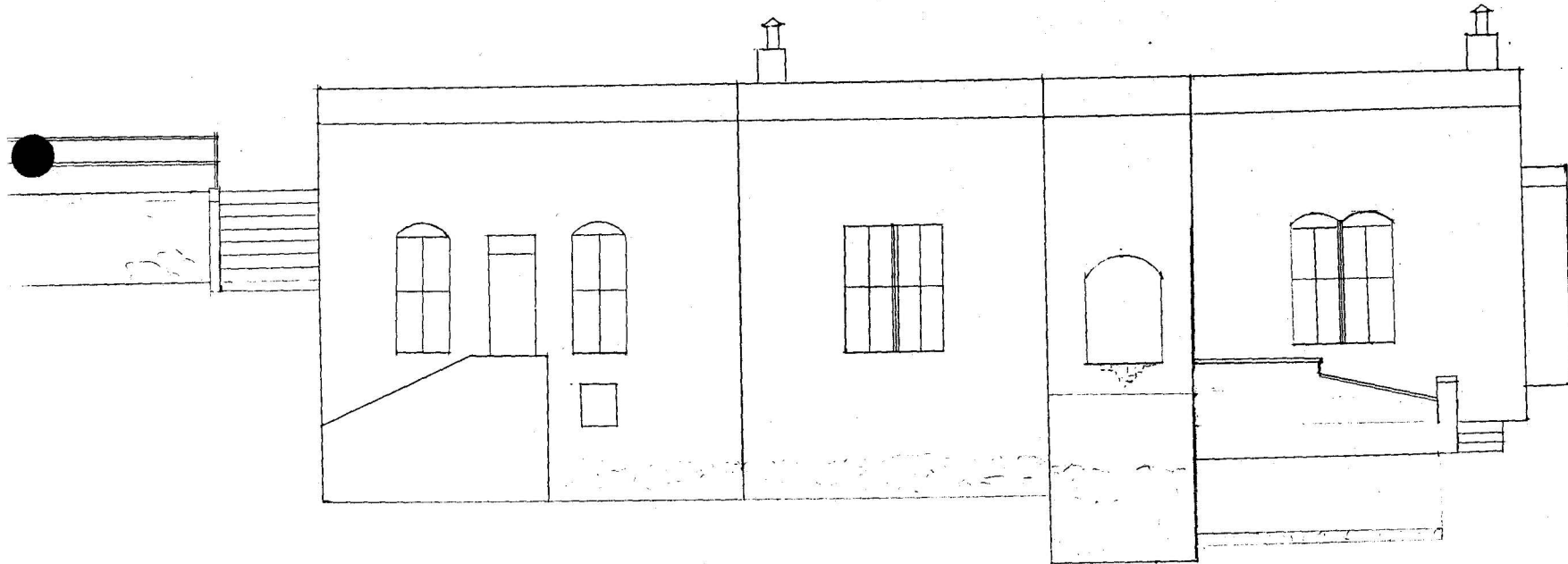


FLOOR PLAN - 515 PASEO DE PERALTA

SCALE 1/4" = 1.0'



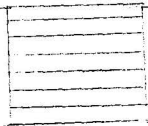
PASEO DE PERALTA



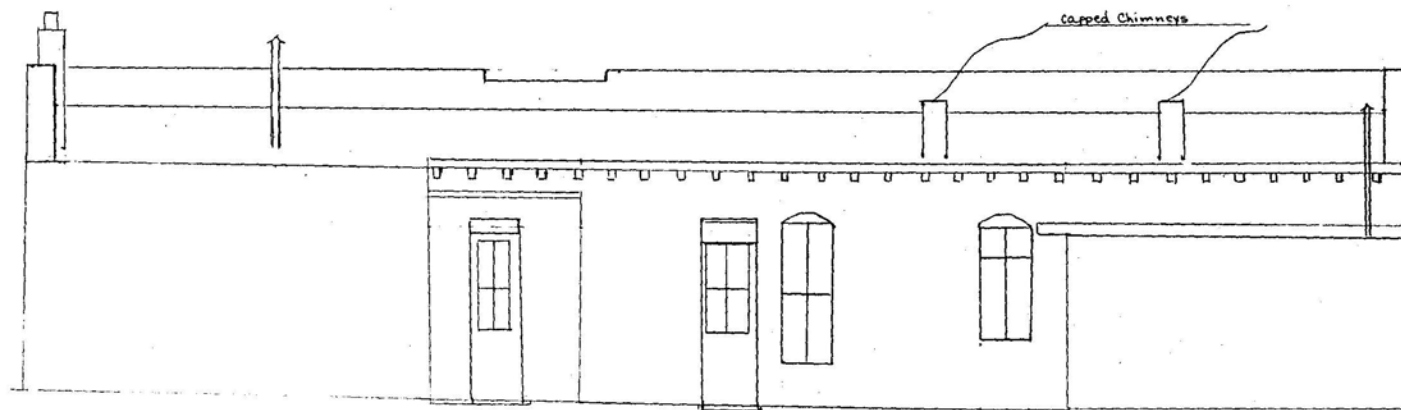
SOUTH ELEVATION

315 PASEO DE PERALTA

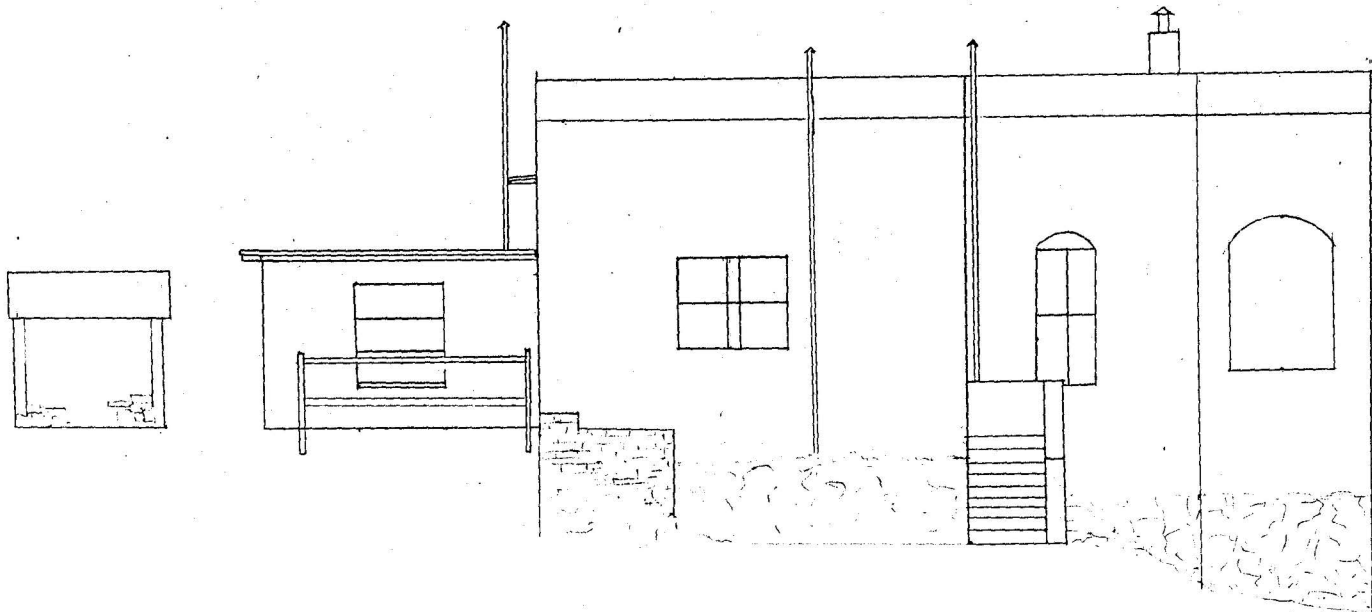
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PASEO DE PERALTA



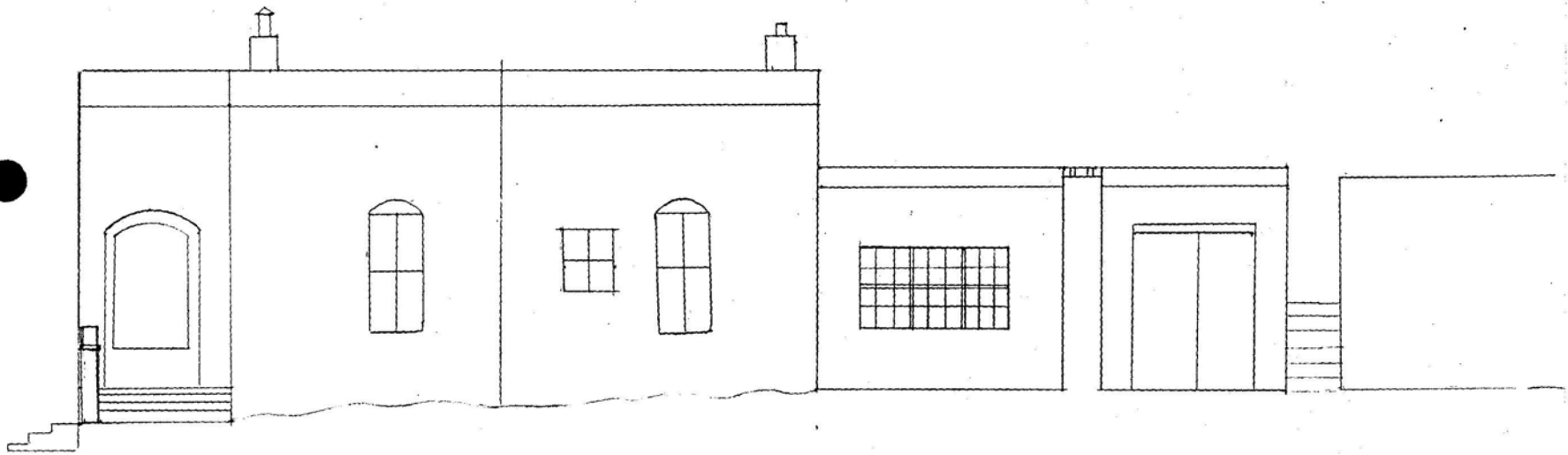
NORTH ELEVATION



WEST ELEVATION

515 PASEO DE PERALTA

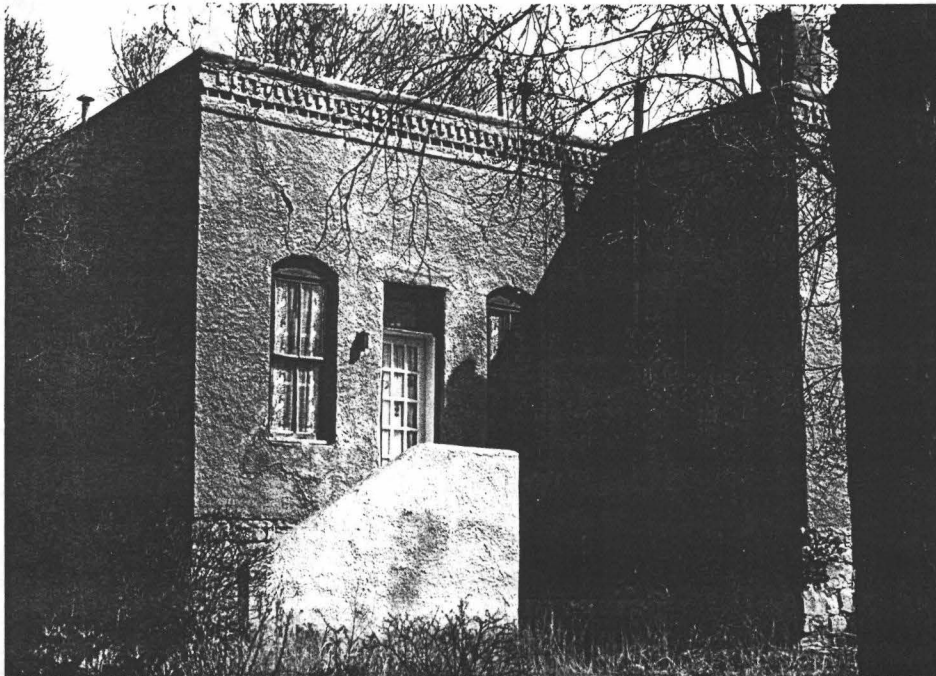
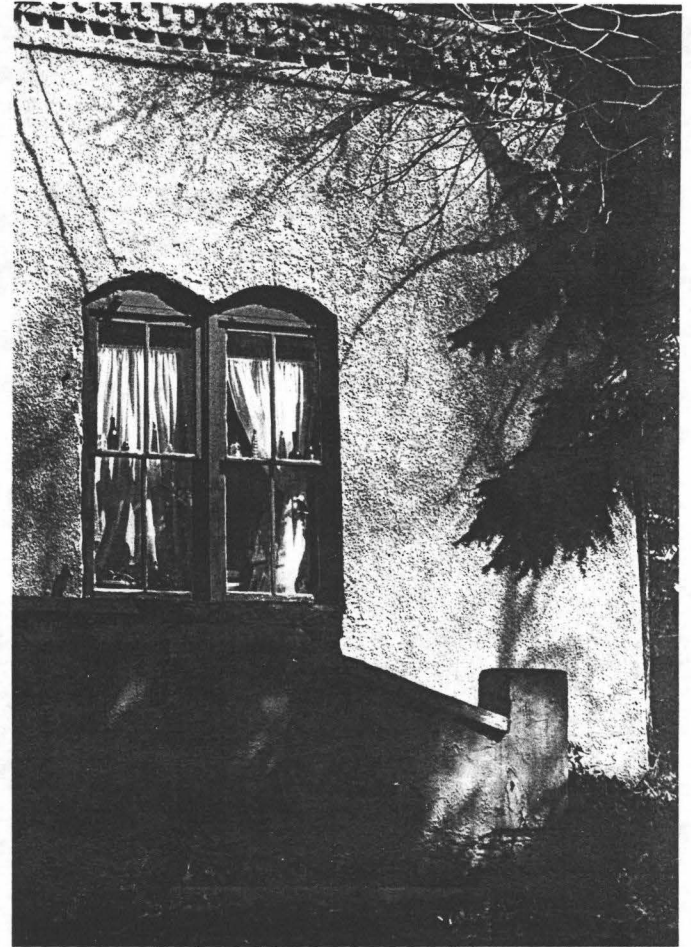
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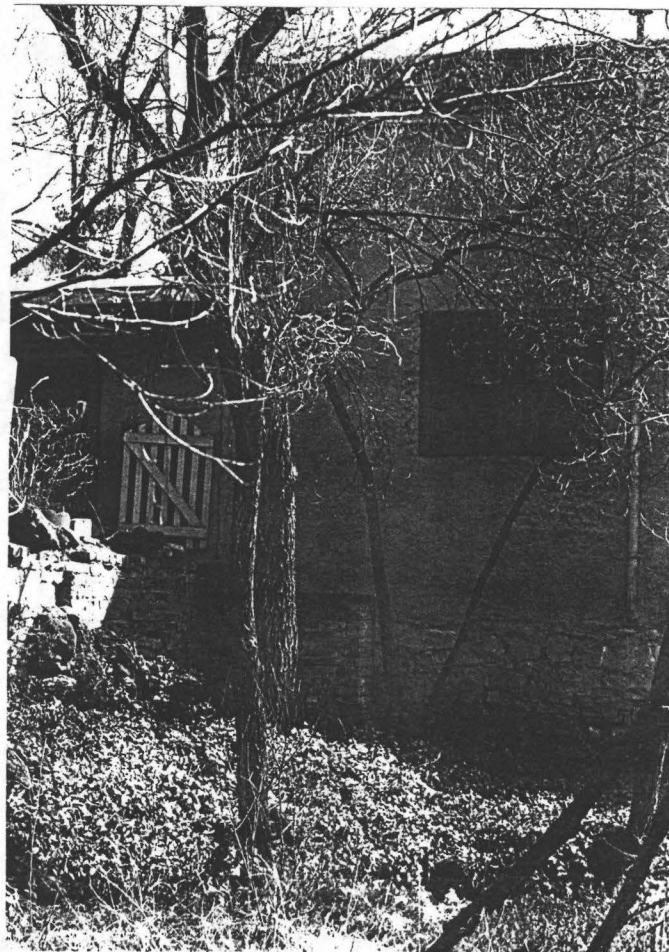
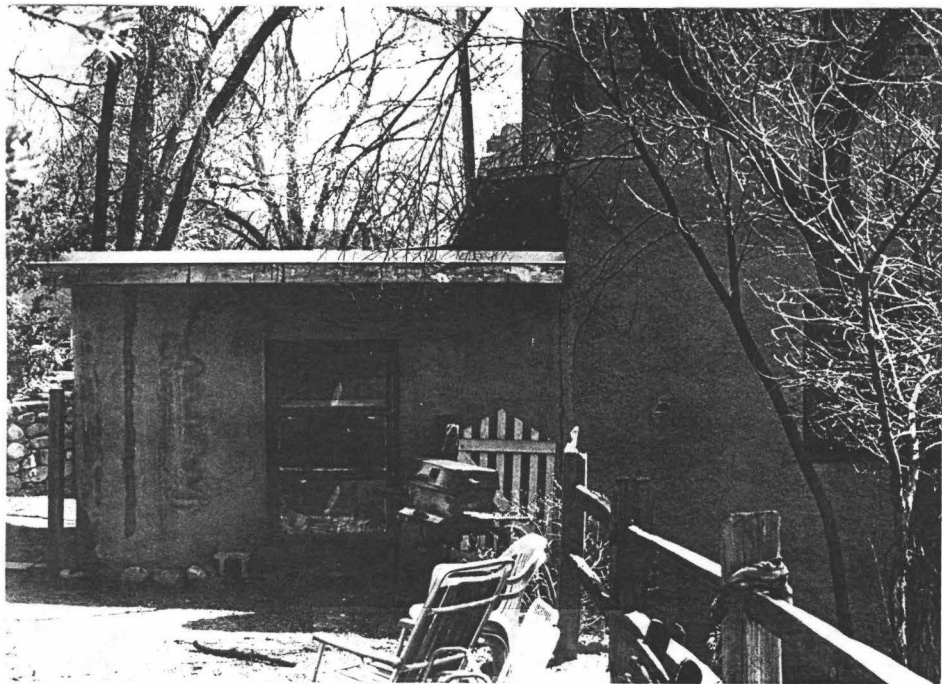
EAST ELEVATION

515 PASEO DE PERALTA

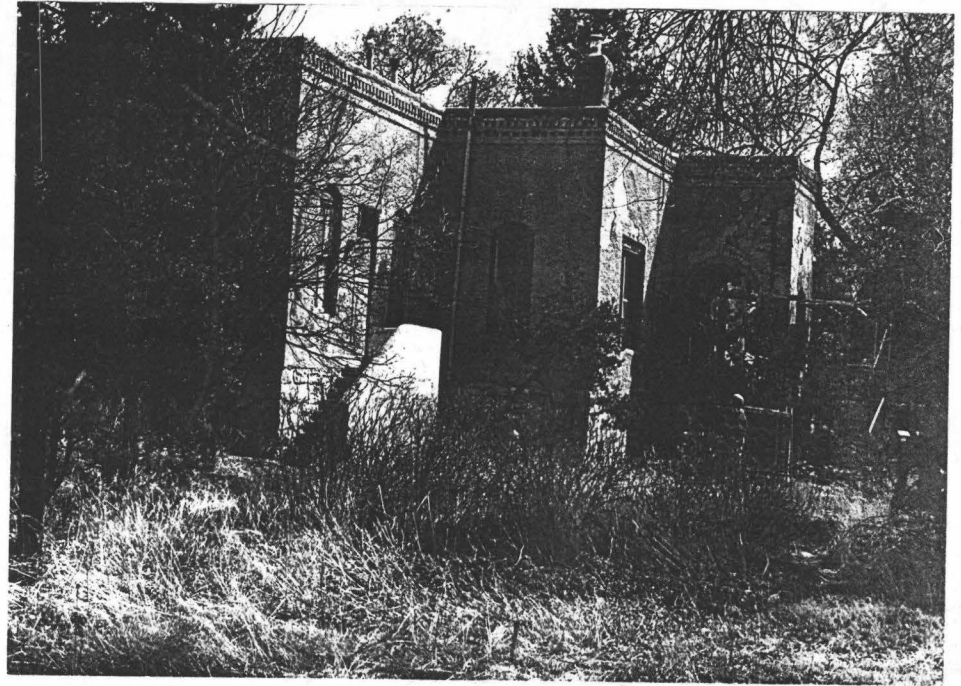
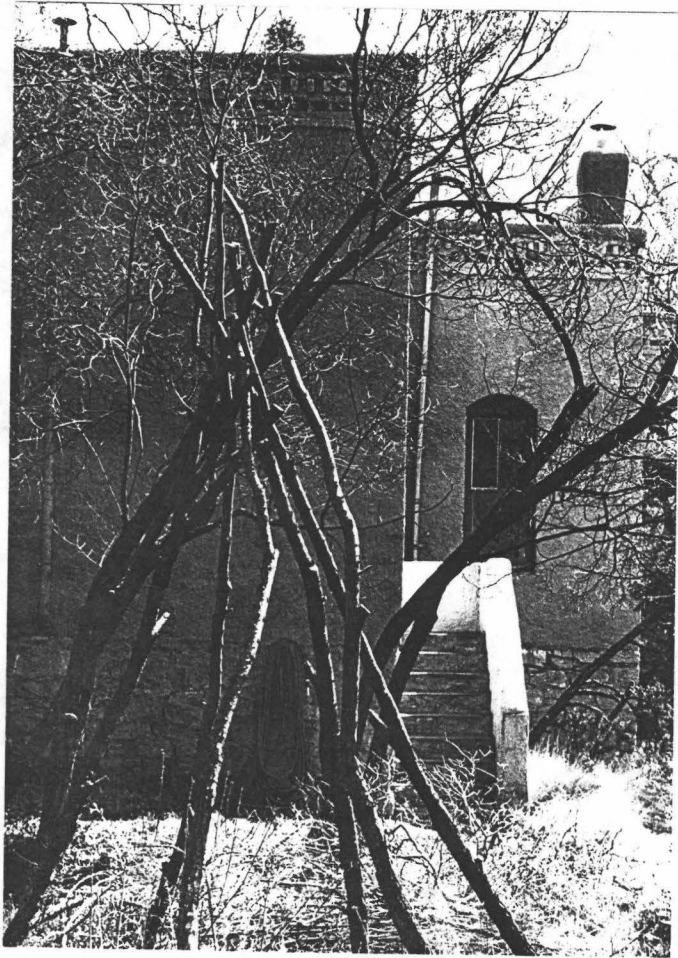
SCALE 1/4" = 10'



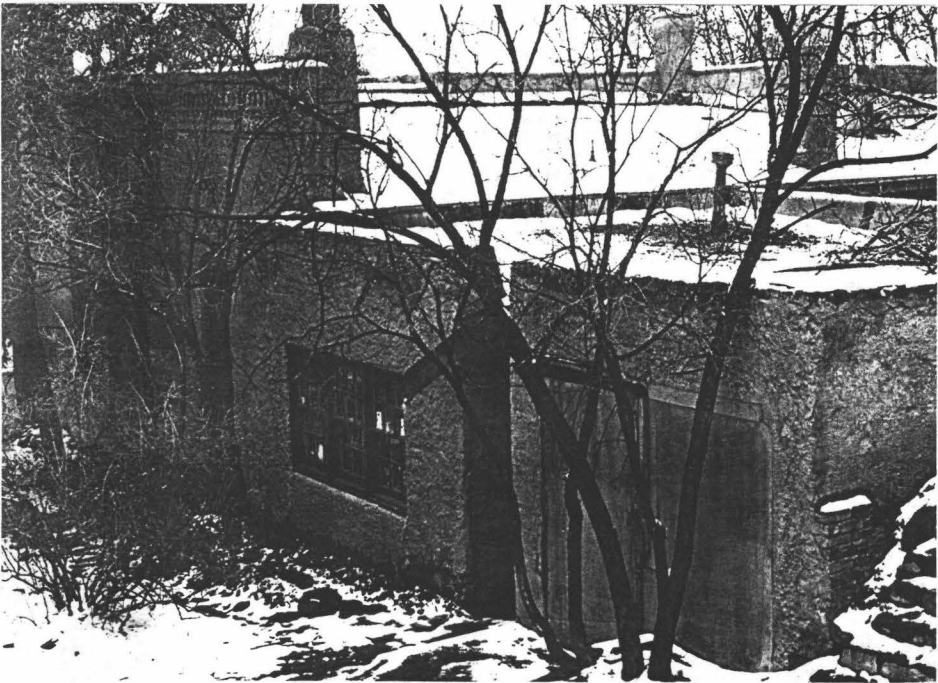
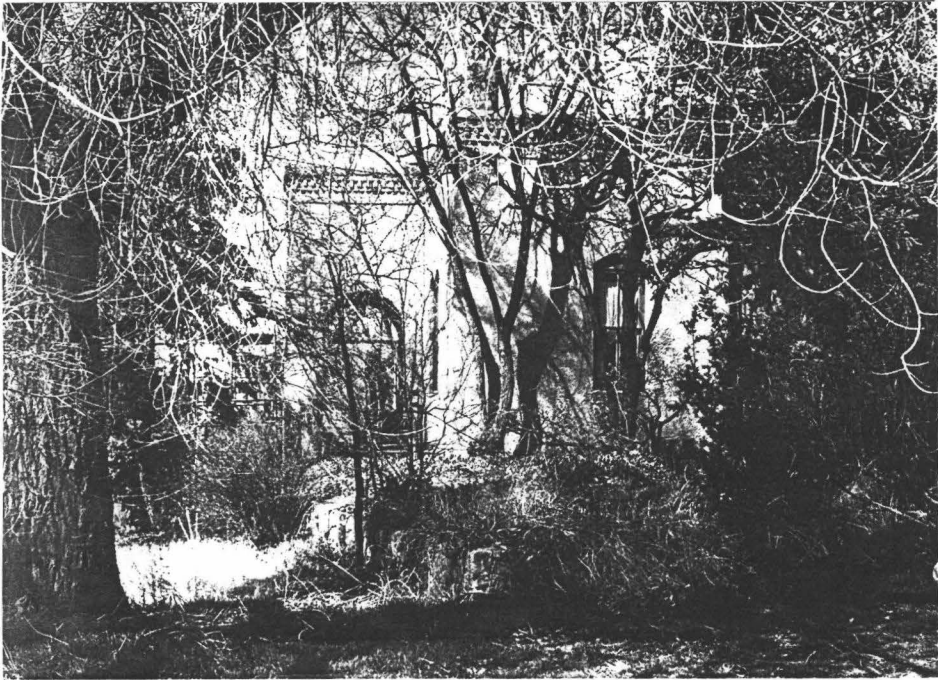
South Elevation



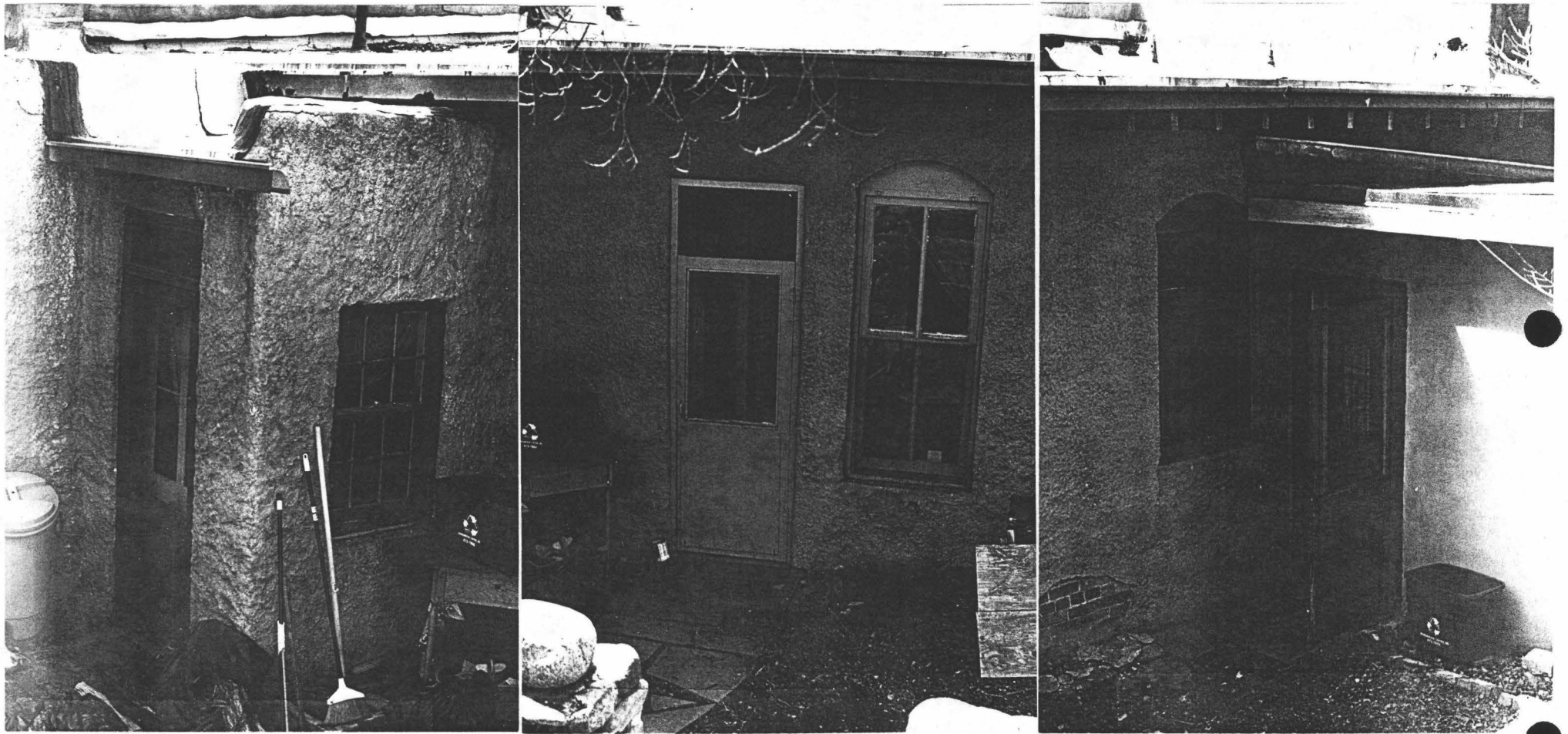
West Elevation



West Elevation



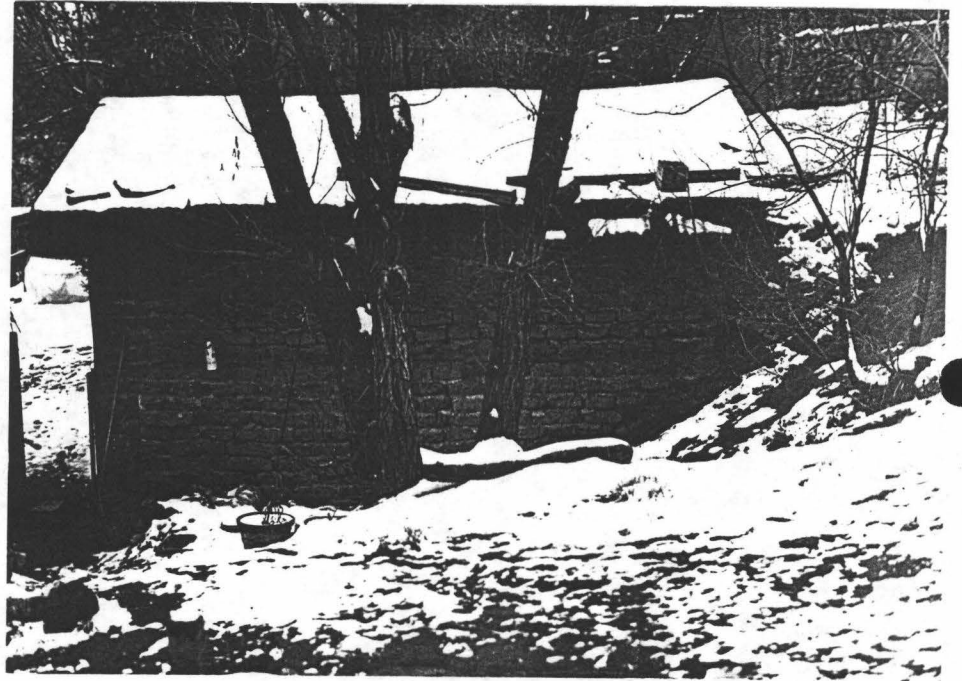
East Elevation



North Elevation



Roof

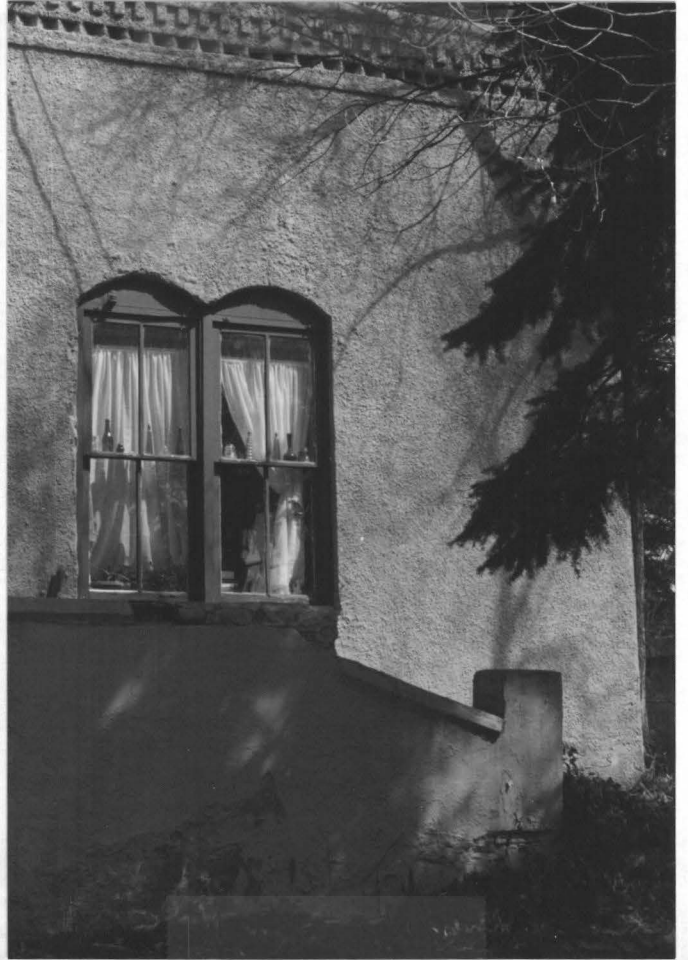


Shed

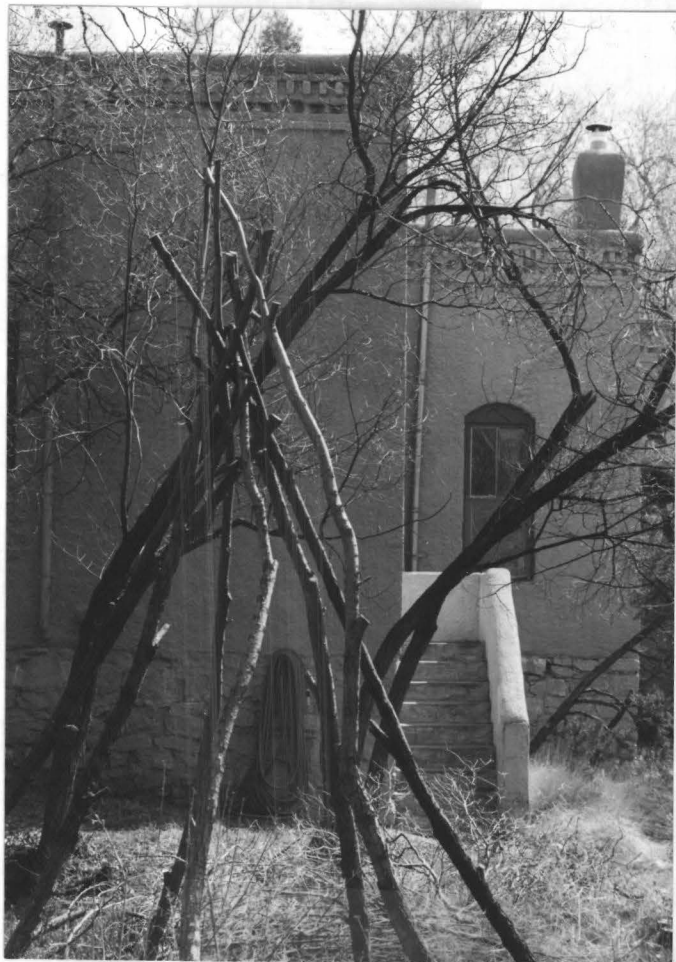
North Elevation



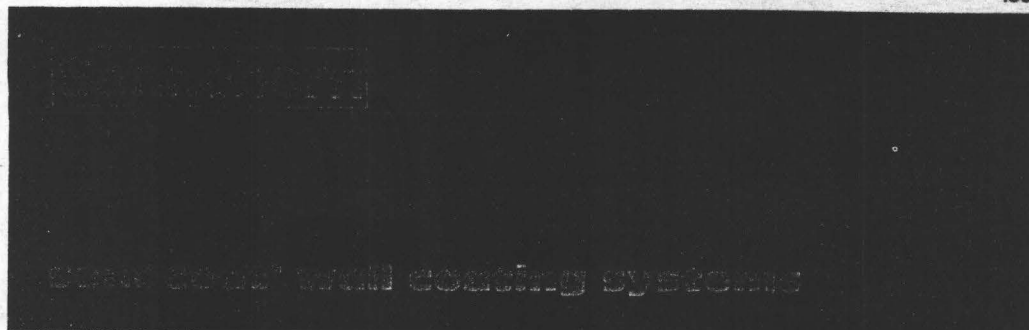
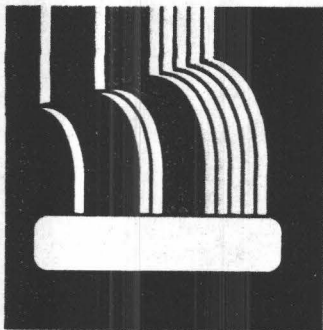
East Elevation



South Elevation



West Elevation



Colorflex

WATERPROOF ELASTOMERIC COATING

Features

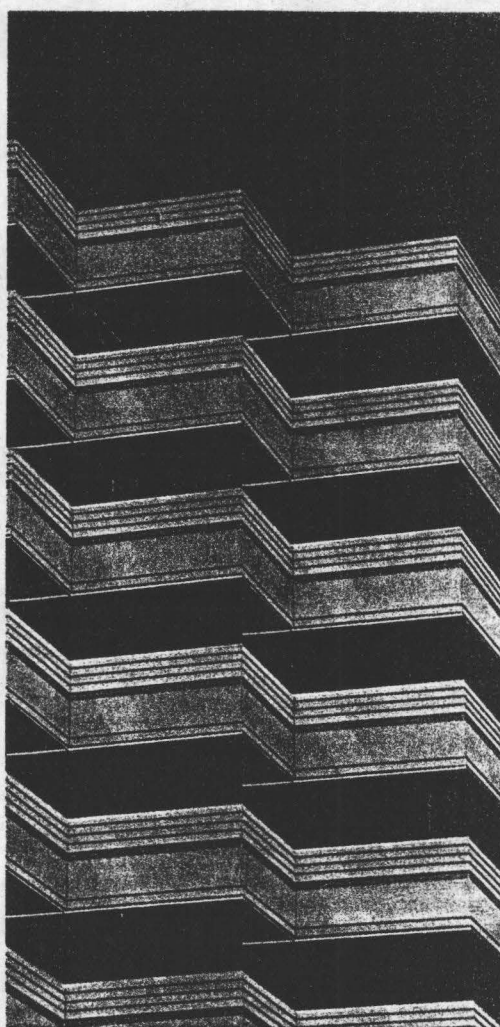
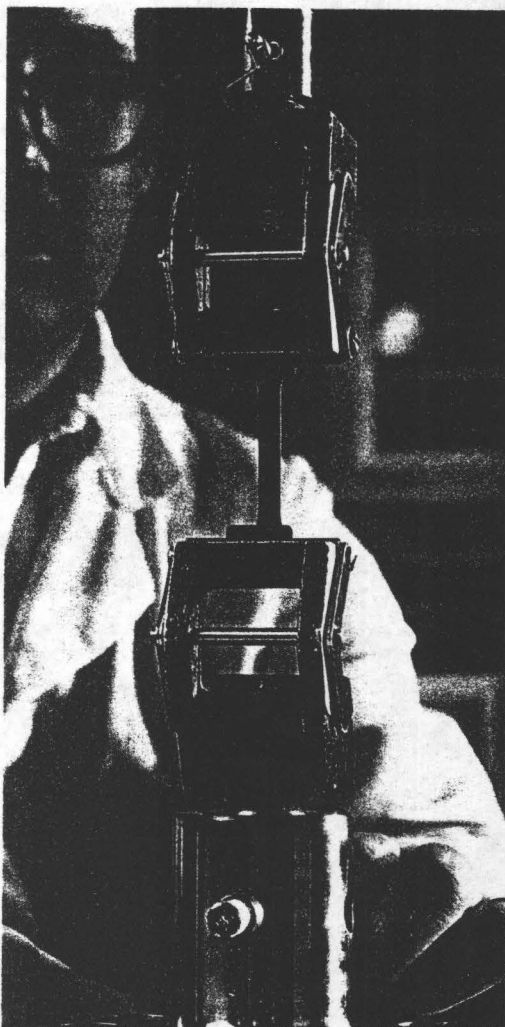
- Breathing film
- Elastomeric properties
- Outstanding adhesive and cohesive strength
- Superior weathering properties, resistant to fungus and mildew
- One finish coat application on most installations
- Water-based system
- Nontextured matte (low-gloss) finish
- Available in a variety of colors and textures

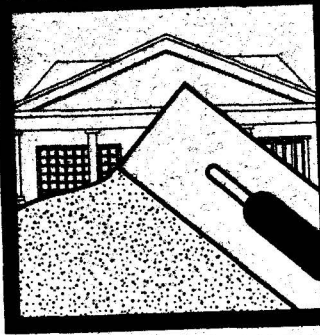
Benefits

- Allows substrates to breathe without damaging coating
- Excellent low temperature flexibility and long-term retention of elasticity
- Adheres tenaciously to variety of substrates
- Long-term exterior durability
- Reduced labor costs
- Easy clean-up
- Attractive finishes and coatings

Where to Use Colorflex

- Stucco
- Brick
- Above-grade concrete (cast in place and precast)
- Concrete block





sonowall™ systems

STUCCOBASE CEMENT-BASED FIBER-REINFORCED ONE-STEP BASE COAT

- Cement-based formulation

Where to Use StuccoBase

- Prepared concrete or masonry
- Existing stucco
- Interior or exterior
- Over stucco wire and metal lath
- Leveling irregular surfaces

Features

- Various textures
- Superior weathering properties
- Improved moisture resistance and low water absorption
- Fiber reinforced
- Needs only addition of water and sand
- Concentrated for local sand

Benefits

- Can be finished a variety of ways
- Long term durability
- Proprietary formulation
- Resists shrinkage cracking when properly cured
- Easy to mix and use
- Economical

Order Information

Packaging

- 80 lb. multi wall paper bag.

Color

- Natural cement gray

Coverage

- 80-90 sq. ft. per 80 lb. bag at 3/8" to 1/2" thickness
- Coverage may vary depending upon surface conditions and application technique.

Technical Data

Mixing ratio

- 5-6 gallons of water plus 200-250 lbs. ASTM C144 plaster sand



El Rey



Stucco
COMPANY INCORPORATED

SUPERIOR BOND 100

PRODUCT INFORMATION

PRODUCT DESCRIPTION

- Acrylic Based Liquid Bonding Agent

COMPONENTS

- Single Component Liquid

PROPERTIES

- Meets requirements of ASTM C 932.
- Remains flexible.
- Acid and alkali resistant.
- Capable of bonding whether wet or dry (up to 10 days, as long as surface remains clean).
- Uniformly consistent, with no settling of solids.
- Freeze/Thaw stable (up to 5 cycles)
- Suitable for application with brush, roller or spray (airless or Hudson type sprayer recommended).
- Tinted
- Non-Toxic
- Non-Flammable

ADVANTAGES

- **El Rey Superior Bond 100** is not rewettable. It may be used in areas continually exposed to water. (Cement should be fully cured - 28 days.)
- Bond coat performance is independent of film thickness and time of application.
- Compared to no bond coat, the use of **El Rey 100** results in at least a threefold increase in shear bond adhesion.
- May be wet or dry during the application of cementitious base or finish coats.
- Has minimal sensitivity to light.
- Tinted yellow for easy identification of covered areas.

IMPORTANT NOTES AND LIMITATIONS

- Substrate must be cleaned, removing all foreign matter, such as alkali deposits, oil, dirt, etc.
- Do not use as a bonder if surface temperature is below 50°F or if ambient temperature is not 50°F and rising.
- **El Rey 100** is not to be used as an admixture. (See **Superior Additive 200** product information.)
- Using **Superior Bond 100** over paint:
 - Paint should be cured for a minimum of 60 days.
 - Loose and scaled paint should be removed before application.
 - Do not use over water base paints such as White Wash or Kalsamine.
 - Do not use over oil or enamel base paints.

COVERAGE

- 200 - 300 sq. ft. per gallon depending on type of surface and method of application.

PACKAGING

- Quarts, Gallons, 5 Gallons.

EL REY
STUCCO COMPANY, INC.

4100 Broadway SE
Albuquerque, New Mexico 87105
Phone (505) 873-1180

3219 S. Drennan Industrial Loop
Colorado Springs, Colorado 80910
Phone (719) 392-9003

This Product Information Sheet has been prepared in good faith on the basis of information available to El Rey at the time of publication. It is intended to provide users with information about and guidelines for the proper use and application of the covered El Rey product(s) under normal environmental and working conditions. Because each project is different, El Rey cannot be responsible for the consequences of variations in such conditions, or for conditions not foreseen by El Rey.

QUIKRETE® Do-It-Yourself SERIES

QUIKRETE® Mixes & Their Use

CONCRETE, MORTAR AND SAND MIXES,
VINYL CONCRETE PATCHER
AND RELATED PRODUCTS

Fixing's *finest* with
QUIKRETE®
...building tool

QUIKRETE®
Concrete (Coarse) Mix, No. 1101



For any general concrete work. QUIKRETE® Concrete is a coarse blend of properly mixed cement, sand and gravel packed in a bag. Add only water to build walks, foundation walls, patio, bases for furnaces and washing machines, setting fence and clothesline posts. Simplifies

projects for do-it-yourselfers and provides contractors with the solution for many specialized jobs:

Air conditioner pads	Fish pools	Ramps
Basketball back stops	Flag pole bases	Riprap bulkheads
Boat anchors	Floors	Sidewalks
Birdbath castings	Footers	Stepping stones
Concrete steps	Mailbox posts	Swing set posts
Curbs	Patios	Tool Shed bases
Down-spout troughs	Pools	Walks
Driveway repairs	Poured walls	Wood deck supports

QUIKRETE®
Mortar (Masonry) Mix, No. 1102



For laying brick, block, and stone. Mortar mix is a uniformly blended mixture of masonry type cement and graded sands. Also for repairing and pointing existing brick, block and stone. Simply add water as directed to this factory-proportioned mixture for a long-lasting strong bonding mortar.

QUIKRETE®
Sand (Topping) Mix, No. 1103

A mixture of cement and fine sand for a smooth topping finish. Use in applications where concrete is needed in less than 2" thickness. For filling cracks, stuccoing, grouting drain tile and laying

ESTIMATING QUANTITIES OF QUIKRETE®, BLOCKS AND BRICKS YOU'LL NEED

Number of bags of QUIKRETE® Concrete Mix required to pour a concrete slab	
Area in square feet	2 3 5 7 9 15 20 35 45 50 100
Slab 4" thick	60-lb. bags 1½ 2 3½ 4½ 6 10 13½ 23½ 30 33½ 68½
Slab 6" thick	80-lb. bags 1 1½ 2½ 3½ 4½ 7½ 10 17½ 22½ 25 50
Slab 8" thick	80-lb. bags 2 3 5 7 9 15 20 35 45 50 100
	80-lb. bags 1½ 2¼ 3¾ 5¼ 6¾ 11¼ 15 26¼ 33¾ 37¼ 75
Number of bags of QUIKRETE® Mortar Mix required to lay blocks 8"x16"x8" with ¾" joints	
Number of blocks	20 27 40 80 100 200 300 400 500 750 1000
60-lb. bags	1 1½ 2 4 5 10 15 20 25 37½ 50
80-lb. bags	¾ 1 1½ 3 3¾ 7 11 15 18½ 28 37
In building a wall, approx. 1 block 8"x16"x8" laid with ¾" joints is required per square foot.	
Number of bags of QUIKRETE® Mortar Mix required to lay bricks 8"x2"x4" with ¾" joints	
Number of bricks	50 65 100 150 200 250 300 400 500 750 1000
60-lb. bags	1 1½ 2 3 4 5 6 8 10 15 20
80-lb. bags	¾ 1 1½ 2½ 3 4 4½ 6 7½ 11½ 15½

QUIKRETE® Vinyl Concrete Patcher Required for Resurfacing

40-lb. bag covers approximately 20 square feet ¼" thick.
7-lb. pail covers approximately 3½ square feet ¼" thick.

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ATLANTA, GA. 30345

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City of Santa Fe, New Mexico

Debbie Jaramillo, Mayor

Isaac J. Pino, City Manager

Councilors: Larry A. Delgado, Dist. 1, Mayor Pro Tem Frank Montaña, Dist. 3
Patti J. Bushee, Dist. 1 Art Sanchez, Dist. 3
Steven G. Farber, Dist. 2 Amy Manning, Dist. 4
Cristopher Moore, Dist. 2 Phil Griego, Dist. 4

Project description . . : REPAIR/RESTORATION OF BUILDING EXTERIOR
Project number . . . : 95- 10100091
Case Number : H-95-91
Project type : HISTORIC DESIGN REVIEW BOARD
Application date . . . : 06/19/95

PROJECT LOCATION(S) : 515 Paseo De Peralta

PROJECT NAMES:

OW- Gabel, Dorathea P.O. Box 1218
Santa Fe, NM 87501 (505) 5243952

BOARD ACTION

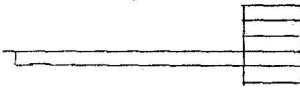
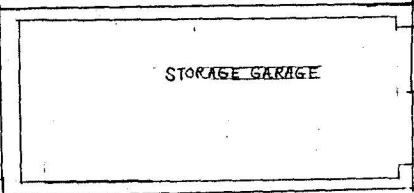
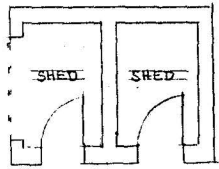
This is to certify that the Historic Design Review Board at its meeting on July 11, 1995, acted on the above referenced case. The decision of the Board was to conditionally approve your request. You shall make part of your Building Permit application any conditions imposed by the Board which are listed as follows: The applicant shall work with the HDRB subcommittee to verify the compatibility and appropriateness of the proposed stucco system. If determined to be incompatible, HDRB re-review shall occur.

For further information please call 984-6808.

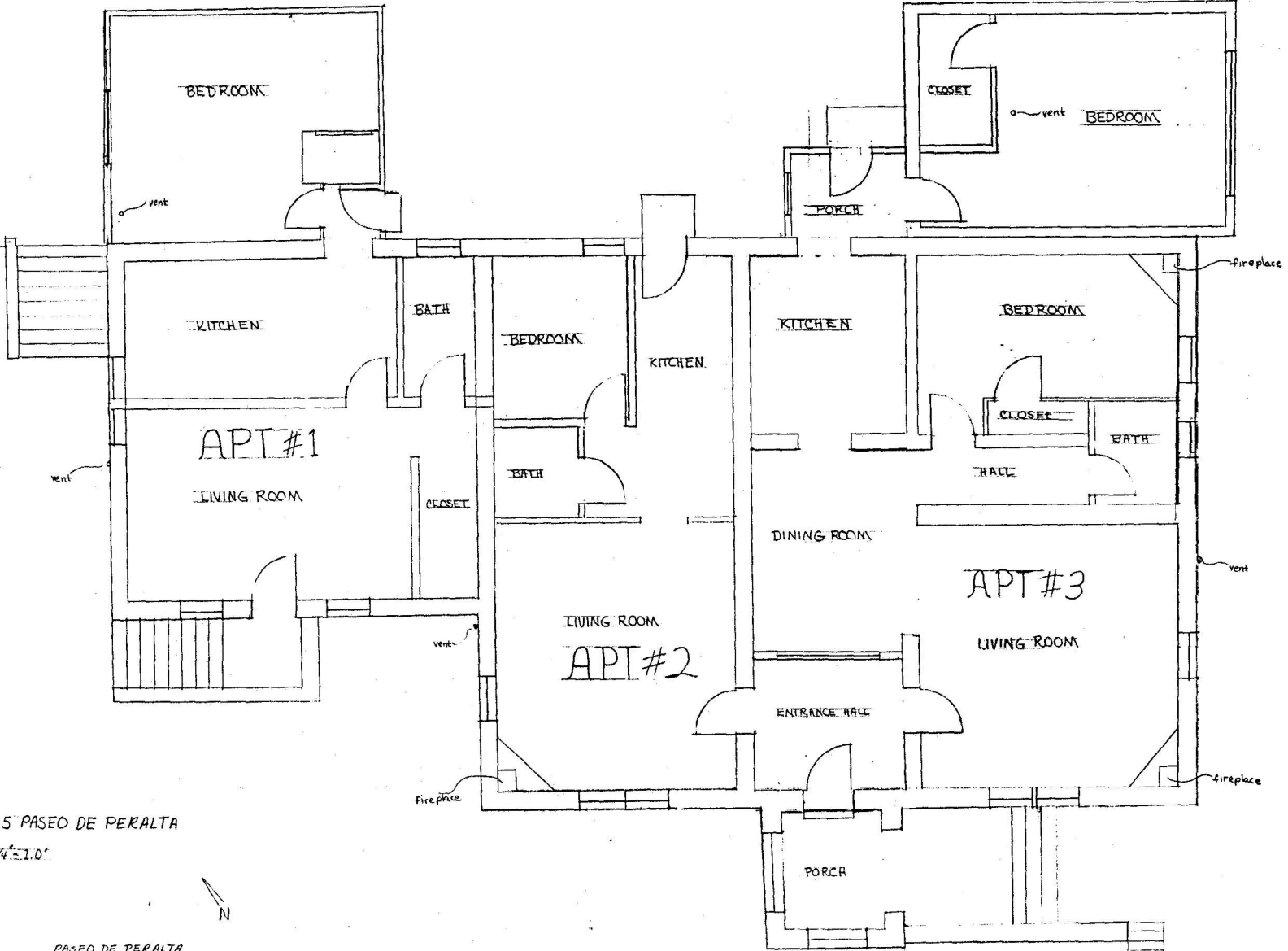
Sincerely,

Mary Grzeskowiak
Planner III

Note: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF ITS DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6). PLEASE PROVIDE COPIES OF THIS LETTER WHEN SUBMITTING FOR BUILDING PERMIT.



wood fence
stone and brick wall

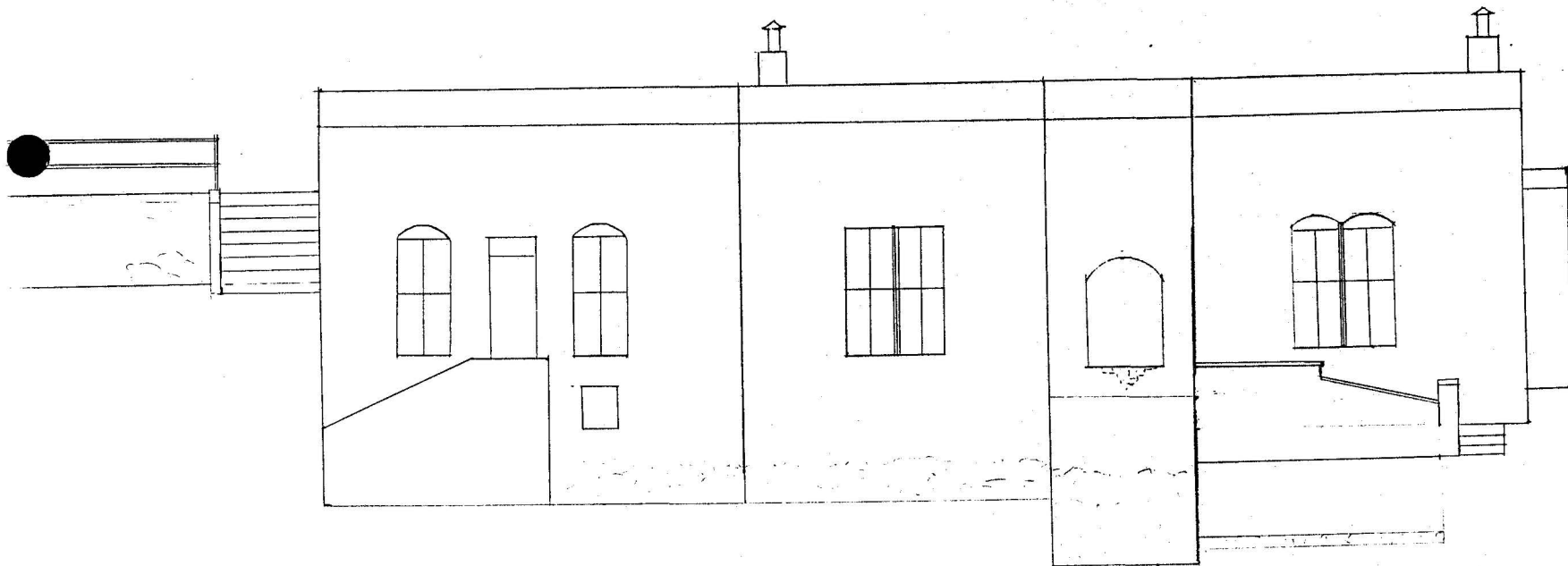


FLOOR PLAN - 515 PASEO DE PERALTA

SCALE 1/4" = 1.0'



PASEO DE PERALTA

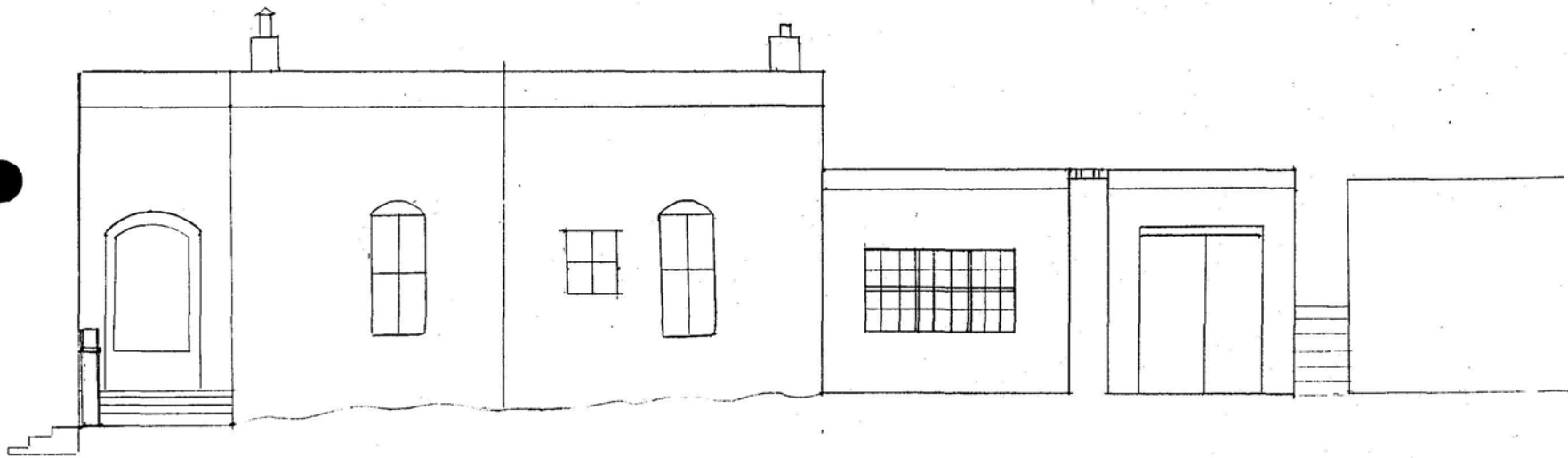


SOUTH ELEVATION

515 PASEO DE PERALTA

SCALE 1/4" = 1.0'

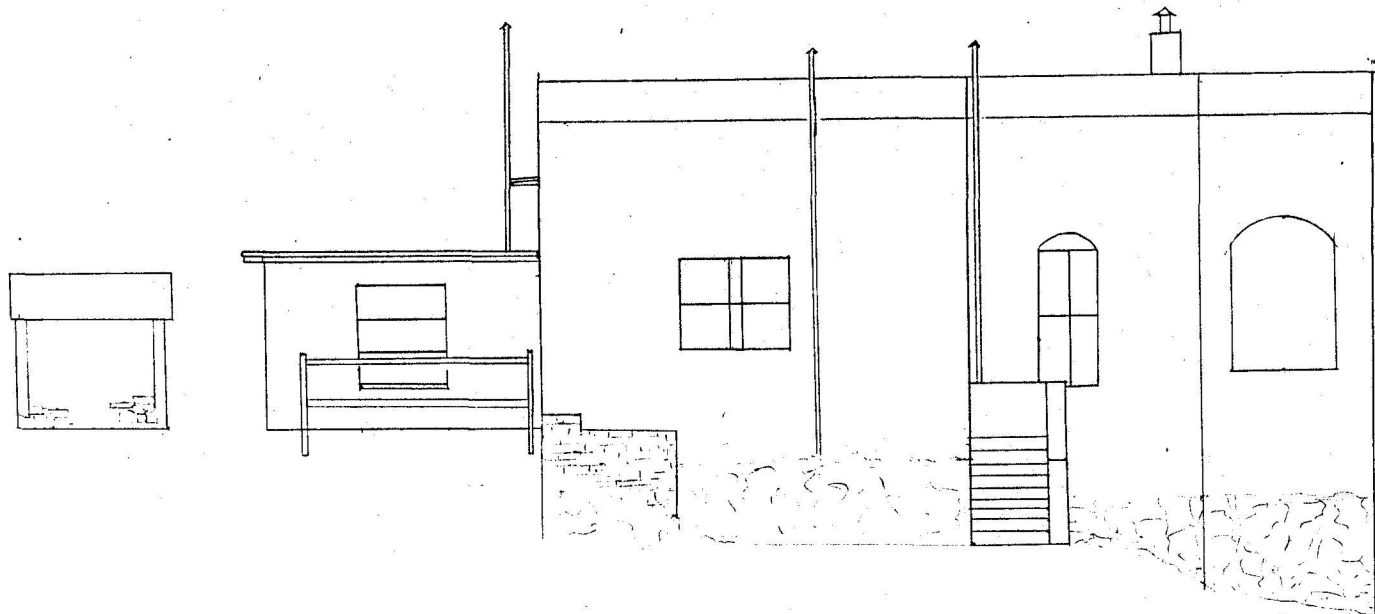
PASEO DE PERALTA



EAST ELEVATION

515 PASEO DE PERALTA

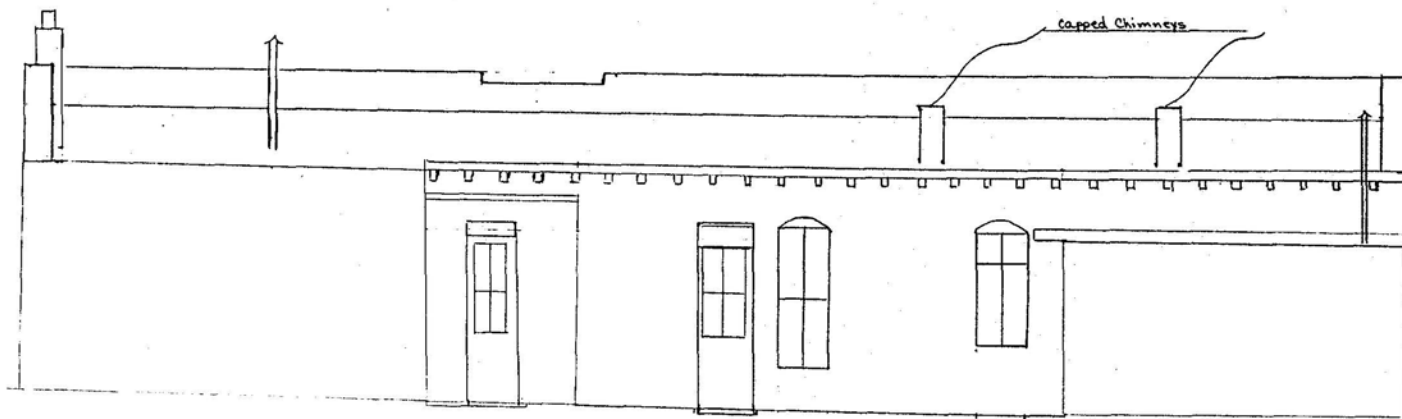
SCALE 1/4" = 10'



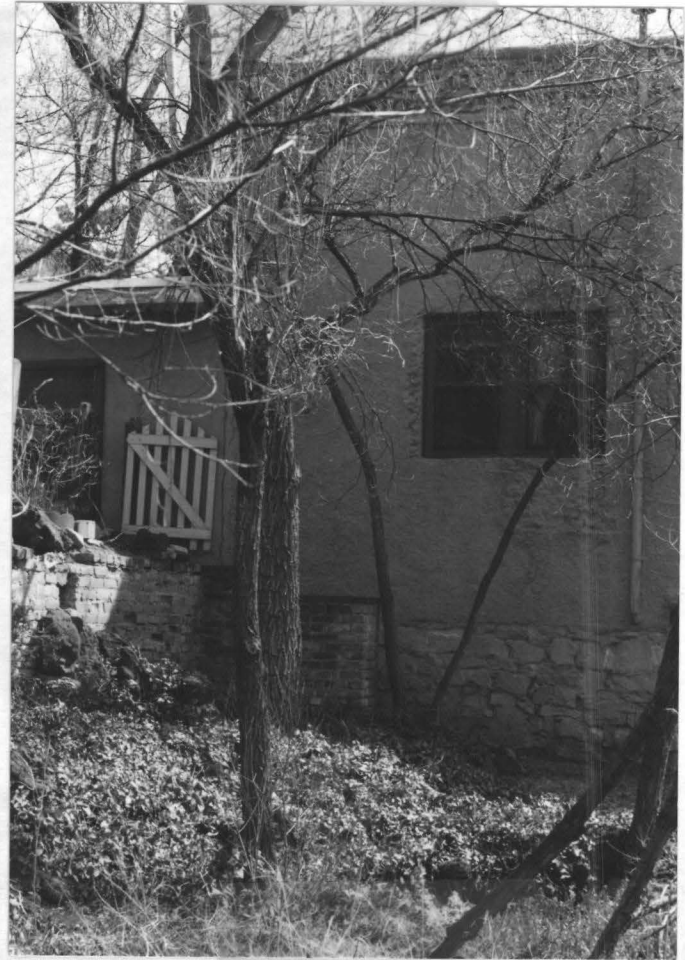
WEST ELEVATION

SIS PASEO DE PERALTA

SCALE 1/4" = 1.0'



NORTH ELEVATION



West Elevation



North Elevation



Roof



Shed

North Elevation

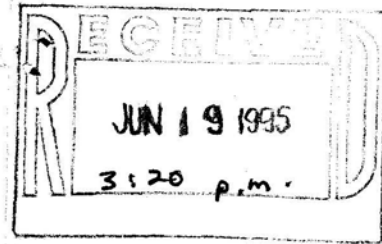


EXHIBIT (C)

HISTORIC DESIGN REVIEW BOARD APPLICATION FORM

Application Type: Preliminary Approval () Final Approval ()

Project Location: 515 Paseo de Peralta

Owner: Dorathea Gabel Address: P.O. Box 1218 Mesilla, NM 88046 Phone: 505 524-3952

Applicant: Dorathea Gabel Address: P.O. Box 1218 Mesilla, NM 88046 Phone: 505 524-3952

Project Proposal: Repair and restoration of exterior stucco, wood surfaces and repair of porch

Public Visibility: North () South (X) East (X) West (X)

New Construction: Single-Family Residence () Multi-family Residence () Commercial ()

Other Construction: Demolition () Remodel () Addition () Restucco (X) Sign(s) () Wall/Fence () Antenna () Solar ()

I certify that the documents submitted for Historic Design Review meet the minimum standards set forth in the Historical Ordinance, Section 14-70. Failure to meet these standards may result in rejection of my application. I also agree to post notice of construction/demolition on the project site seven (7) days prior to the H-Board meeting. I also hereby agree to surrender my building permit and cease construction if an appeal is filed within seven (7) days of Historical approval.

Dorathea G. Gabel
Signature of Applicant or Owner

6/19/95
Date

FOR OFFICIAL USE ONLY

Date Received: Case Number: H-95-91 Meeting Date

Historic District: Survey Number: Survey Area:

Age: Historic Significant () Contributing ()
Source: Status: Non Supporting ()

Ordinance Compliance Checklist:

SECTION	DESCRIPTION	COMPLIES	
		YES	NO
14-70.1	Harmony () Proportion () Style ()	()	()
14-70.9	Harmony () Proportion () Style ()	()	()
14-70.13	Demolition	()	()
14-70.14	Minimum Maintenance Requirements	()	()
14-70.15	Signs	()	()
	Applicable District Standards	()	()

Remarks: